

City of Ramsey
Agenda
Regular Planning Commission
Thursday, September 3, 2020

7:00 pm

Council Chambers, 7550 Sunwood Drive NW

The City reserves the right to limit attendance inside the Council Chambers to maintain social distancing requirements due to the COVID-19 Pandemic. If you can join remotely, you should join remotely.

Join us via computer at www.cityoframsey.com/meetings.

Meeting by telephone or other electronic means in accordance with Minnesota Statute 13D.02

1. Call to Order

2. Pledge of Allegiance

3. Citizen Input

4. Approve Agenda

5. Consent Agenda

1. Approve the August 6, 2020 Planning Commission Meeting Minutes.
2. Receive Update on O'Reilly Auto Parts Site Concept Plan
3. Review Proposed Site Plan for Storyteller Cafe, Case of Stories Foundation (Project 20-120)

6. Public Hearing

1. PUBLIC HEARING: Consider Resolution #20-187 Approving Preliminary Plat for Ramsey Villas North, Case of River's Bend Holdings, LLC (Project 20-117)
2. PUBLIC HEARING: Consider Resolution #20-190 Approving a Conditional Use Permit (CUP) for a Religious Institution, Connections Church (Project 20-125)
3. PUBLIC HEARING: Review Resolution #20-188 and Ordinance #20-17 Considering Allowing Event Center on Residential Property, Case of Blue Cottage Farms (Project 20-122)

7. Commission Business

1. Review Sketch Plan for Riverstone South; Case of Capstone Homes
2. Review Revised Sketch Plan for Hunt Addition, Case of Platinum Land (Project 20-105)

8. Commission/Staff Input

9. Adjournment

Regular Planning Commission

5. 1.

Meeting Date: 09/03/2020

By: JoAnn Shaw, Community Development

Information

Title:

Approve the August 6, 2020 Planning Commission Meeting Minutes.

Purpose/Background:

n/a

Notification:

Observations/Alternatives:

Funding Source:

Recommendation:

Action:

Attachments

[Planning Minutes 08 06 20](#)

Form Review

Inbox

Tim Gladhill

Form Started By: JoAnn Shaw

Final Approval Date: 08/28/2020

Reviewed By

Kathy Schmitz

Date

08/28/2020 02:09 PM

Started On: 08/20/2020 08:23 AM

**PLANNING COMMISSION
CITY OF RAMSEY
ANOKA COUNTY
STATE OF MINNESOTA**

The Ramsey Planning Commission conducted a regular meeting on Thursday, August 6, 2020, at the Ramsey Municipal Center, 7550 Sunwood Drive NW, Ramsey, Minnesota.

Members Present: Chairperson Randy Bauer
 Commissioner Bruce Anderson
 Commissioner Cheri Gengler
 Commissioner Eric Peters
 Commissioner Gary VanScoy
 Commissioner Matt Woestehoff

Members Absent: Commissioner Torrey Johnson

Also Present: Senior Planner Chloe McGuire Brigl
 Deputy City Administrator Tim Gladhill
 City Planner Chris Anderson
 Planning Consultant Eric Maass
 City Council Liaison Debra Musgrove

1. CALL TO ORDER

Chairperson Bauer called the regular meeting to order at 7:00 p.m.

2. PLEDGE OF ALLEGIANCE

Chairperson Bauer led the group in the Pledge of Allegiance.

3. CITIZEN INPUT

None.

4. APPROVAL OF AGENDA

Motion by Commissioner Peters, seconded by Commissioner Woestehoff, to approve the agenda as presented.

A roll call vote was performed:

Commissioner Peters aye
Commissioner Woestehoff aye
Commissioner Anderson aye

Commissioner Gengler aye
Commissioner VanScoy aye
Chairperson Bauer aye

Motion Carried.

5. CONSENT AGENDA

5.01: Approve the July 9, 2020 Planning Commission Work Session and Regular Session Meeting Minutes

5.02: ~~Consider Resolution #20-164 Granting a Conditional Use Permit (CUP) for Team Packaging at 14799 Jaekal St Suite 400 in Bunker Lake Industrial Park (Project No. 20-123)~~

Commissioner Anderson requested to remove Item 5.02 from the Consent Agenda. It will become Item 7.02 on the regular agenda.

Motion by Commissioner Anderson, seconded by Commissioner Peters, to approve the consent agenda as amended.

A roll call vote was performed:

Commissioner Peters aye
Commissioner Woestehoff aye
Commissioner Anderson aye
Commissioner Gengler aye
Commissioner VanScoy aye
Chairperson Bauer aye

Motion Carried.

6. PUBLIC HEARINGS/COMMISSION BUSINESS

6.01: Public Hearing: Consider Resolution #20-156 Approving Conditional Use Permit (CUP) Application for Car Sales and Service at 6021 Highway 10; Case of Lund Auto

Public Hearing

Chairperson Bauer called the public hearing to order at 7:03 p.m.

Presentation

Planning Consultant Maass presented the staff report stating that staff recommends adoption of Resolution #20-156 approving a Conditional Use Permit (CUP) for automotive sales and service at 6021 Highway 10 NW.

Citizen Input

Roman Gadaskin, property owner, stated that he regrets that the previous CUP was not revoked earlier because of problems with that tenant. He stated that the new tenant has been a good tenant and he believes he will continue to be a good tenant. He stated that the building will be brought up to Code as he continues to make improvements to the property.

Commissioner Anderson asked if Lund Auto Sales would be operating the back garage.

Mr. Gadaskin confirmed that to be true. He stated that he began conversations with him in March and the new tenant believes that this space would allow him to consolidate different elements of his business.

Steve Lund, owner of Lunds Auto, stated that he is looking forward to consolidating his businesses on this location in Ramsey. He commented that he has worked with City staff to ensure that he will meet or exceed the City’s expectations. He noted that the repair business would mainly be for company vehicles and vehicles posted for sale rather than for external customers.

Motion by Commissioner Anderson, seconded by Commissioner Woestehoff, to close the public hearing.

A roll call vote was performed:

Commissioner Anderson	aye
Commissioner Woestehoff	aye
Commissioner Peters	aye
Commissioner VanScoy	aye
Commissioner Gengler	aye
Chairperson Bauer	aye

Motion Carried.

Chairperson Bauer closed the public hearing closed at 7:14 p.m.

Commission Business

Commissioner Anderson commented that the owner has improved the condition of the property.

Motion by Commissioner Anderson, seconded by Commissioner Peters, to recommend that City Council adopt Resolution #20-156 Approving a Conditional Use Permit (CUP) for Automotive Sales and Service at 6021 Highway 10 NW.

A roll call vote was performed:

Commissioner Woestehoff	aye
Commissioner Peters	aye

Commissioner Anderson aye
Commissioner Gengler aye
Commissioner VanScoy aye
Chairperson Bauer aye

Motion Carried.

7. COMMISSION BUSINESS

7.01: Review Sketch Plan for Riverstone South; Case of Capstone Homes

Presentation

Deputy City Administrator Gladhill presented the Staff Report stating that the City has broad policy discretion as the request requires the approval of a Zoning Amendment (and possibly Comprehensive Plan amendment) due to lot sizes and densities. She encouraged the Commission to provide feedback to the developer as part of the plan development for the next stage in the process known as Preliminary Plat.

Commission Business

Councilmember Musgrove asked if there would be buffering on the east, adjacent to the solar farm.

Deputy City Administrator Gladhill replied that additional density transitioning buffering is not proposed as it is not required.

Councilmember Musgrove asked if there would be a connection to the ponds under the proposed road.

Deputy City Administrator Gladhill stated that he is unsure if there would be a connection point. He stated that there may be connections between one of the proposed ponds and the infiltration basin. He noted that additional details will be developed as this moves forward.

Commissioner Anderson asked if there are hydrants on Bowers Drive.

Deputy City Administrator Gladhill replied that the closest sewer and water is currently at Lazydays RV, therefore there is not a hydrant on Bowers Drive currently. He stated that this project would bring water to the development site and would bring in hydrants. He noted that a water line would be brought through this corridor and connected to Bowers Drive. He stated that there are no plans to extend sewer and water down Bowers Drive.

Commissioner Anderson asked how wide the streets will be in the development.

Deputy City Administrator Gladhill replied that the at minimum, Pearson Boulevard or Drive should be a typical standard size while the rest of the internal streets would be 29 feet wide, similar to Riverstone North, with parking allowed only on one side.

Commissioner Anderson asked if the entire project would be connected to sewer and water.

Deputy City Administrator Gladhill confirmed that the entire development would be connected to those utilities.

Commissioner Anderson asked if the townhome product would be similar to other homes in Ramsey.

Deputy City Administrator Gladhill stated that this would be similar to the Centra Homes project. He stated that Capstone is currently building this product in the current phase of its existing development.

Commissioner Anderson asked if sidewalks would be required.

Deputy City Administrator Gladhill confirmed that there would be sidewalks on one side of the street.

Chairperson Bauer commented that he lives in Riverstone North and has for two years. He stated that this is the first step in a three-step process, noting that they attempt to address questions and concerns at this step before additional time and funds are invested in the Preliminary Plat step. He noted that a public hearing would be held when the Commission reviews the Preliminary Plat.

Commissioner VanScoy referenced the access, noting that there was a concern for safety and connection. He stated that a full connection was discussed, and he believed was agreed upon. He stated that he sees a trail/vehicle access that is reduced in width and asked for details.

Deputy City Administrator stated that staff acknowledges that it is a sensitive topic and there is concern from the existing residents on Bowers Drive. He stated that the City allowed this situation to occur in years past and is trying to work through that. He stated that they are open to allowing something that accommodates the largest fire department vehicle but would not be open for full traffic.

Commissioner Anderson stated that he agrees that connection should be a public street. He stated that people from the development would not go down that to exit from Bowers Drive. He commented that Bowers Drive is not a private development and is a City street. He stated that he respects those properties and their properties but believes that a secondary access should be provided for emergency vehicles. He commented that should be a City street connection. He stated that the 65-foot-wide lots should be 80-foot lots to meet the R-1 standard.

Chairperson Bauer commented that although this is not a public hearing, he would still provide an opportunity for the developer to come forward to address concerns that were expressed at the open house prior to tonight's meeting.

Tom Bakritges, Capstone, thanked the Pearson family who has entrusted this team to create a special development on their farm homestead. He also expressed appreciation to the staff, advisory

Boards and City Council for their input and cooperation. He identified the existing uses and future guiding on the adjacent properties. He commented that Riverstone South is to mirror Riverstone North. He commented that there will be larger lots would be adjacent the exiting residential with the lot sizes reduced on the other side of the development, adjacent the solar farm. He stated that they will continue to work with the City and Pearson family on the design and connectivity to Highway 10 and the extension of Riverdale Drive. He stated that they will provide a 30-foot buffer area along Riverdale Drive that will be landscaped. He stated that there will be a one-acre neighborhood park with open space and a stand of existing Oak trees. He stated that there will be seven acres of trees preserved and dedicated to the City which will combine with the existing tree buffer. He stated that there will be an additional nine acres of open space, ponding, and basin area. He stated that the Bowers Drive connection is still be discussed and they will support the option agreed upon by the City and residents. He stated that the Capstone customer is typically a first- or second-time home buyer and there is a high demand of this type of product in the market. He stated that this Concept Plan is a result of much communication and coordination between Capstone, City Staff and input from residents, advisory Boards, and the City Council.

Chairperson Bauer asked for a comparison between Riverstone North and South on the mix of housing products and also for input on the demand from homebuyers at this time.

Mr. Bakritges stated that the sales this year within Riverstone North have exceeded their expectations, especially during the pandemic. He commented that interest rates are low and the variety of products within the development provides options for many different homebuyers. He stated that the difference between North and South would be that in Riverstone South, the lots against the preserved trees would be a premium style but would otherwise be similar in product. He stated that the only product that exists in the North that would not be included in the South would be the villas.

Chairperson Bauer commented that the older residents typically live in the villas and young families tend to choose the larger lot homes.

Mr. Bakritges stated that the Capstone developments thrive because they have a mix of buyers and residents. He stated that the design their developments to have people walking around, using the sidewalks and trails.

Commissioner Anderson asked if the 55 foot lots would be detached villas.

Mr. Bakritges clarified that those would be single-family homes as the villa product will not be included in the South.

Josh Fuerick, 14573 Bowers Drive, stated that the tree preservation area is an extremely ecologically unique area and feels that the developer has done a great job of considering that. He believed that it made sense to have the 65 foot lots in that area. He stated that he manages HOAs for townhomes and believed that the Commission should be asking where snow storage would occur. He commented that should be a consideration for all developments that are HOA maintained which would prevent snow from having to be hauled offsite.

Chairperson Bauer asked if these streets would be publicly maintained.

Deputy City Administrator Gladhill commented that as of now all the streets are proposed to be public, but that could change for the detached townhome section of the development as this moves forward.

Mr. Fuerick explained that his comment was related to driveway snow removal and storage for that snow. He encouraged the Commission to think about that element in all development projects.

Chairperson Bauer stated that in his development the snow from his driveway is piled into his yard.

Commissioner Anderson asked if Mr. Fuerick would support the 65-foot lots instead of the 80-foot lots.

Mr. Fuerick confirmed that he supports the 65-foot lots as he believes it makes sense and that the developer has taken the tree preservation into consideration. He believed that additional preserved trees are a sufficient tradeoff for the 65-foot lots.

Jeff Johnson, 4540 Bowers Drive, stated that when there was first discussion about Capstone building the 12 additional homes, there was never a mention of the piece of City owned land. He stated that there was never discussion of a roadway connection and believed that is fixing a problem that does not exist. He stated that he does not need the Commission or the City to review his calculated risk. He stated that he lives in the floodplain and pays higher insurance rate for that and because of the distance from a fire hydrant. He stated that everyone that purchased on Bowers Drive took that risk willingly and to be isolated from other development. He stated that Bowers Drive was able to support the 12 additional homes and did not want to see the City attempting to fix a problem that does not exist. He stated that there is not one incident where an emergency situation occurred, and the City services were not able to access. He stated that 95 percent of the residents on Bowers Drive reject the road connection and asked the City to take that off the table.

Chairperson Bauer commented that the decision to obtain the property for a roadway connection was obtained when the 12 homes were constructed. He stated that they are now discussing whether that connection is necessary.

Deputy City Administrator Gladhill stated that in 2016 they were attempting to be flexible with the design and should have been more specific in the plan set as to the potential future street connection. He noted that the information was disclosed in the 2016 presentation.

Mr. Fuerick stated that the concern of the Bowers Drive residents is not with traffic from the new development. He invited the Commissioners to come down Bowers Drive and see the pedestrian activity from the Bowers Drive residents. He stated that the entire road is tree lined and therefore if there is a storm that causes a tree to go down, they will deal with it as many residents have chainsaws. He stated that if the developments are connected, that will significantly increase the pedestrian traffic, which will impede the enjoyment of the Bowers Drive residents and their ability to drive down the road safely.

Mr. Johnson stated that there are no streetlights on Bowers Drive and therefore if the pedestrian traffic is increased that will cause a safety issue. He stated that one thing will lead to another, beginning with fixing a problem that does not exist that will cause other problems.

James Wadey, 14447 Bowers Drive, stated that there have been many studies that show crime rates increase when a cul-de-sac is opened as it provides criminals with increased opportunity to leave the neighborhood. He stated that he would be concerned with having a road that comes along the side of his property that would allow others to access his property.

Chairperson Bauer urged the residents to continue to raise their concerns over the roadway connection with City staff, as the decision will be made prior to the Preliminary Plat step. He stated that there should be additional input from public safety staff as to why they pushed for that connection.

Senior Planner McGuire Brigl stated that a written comment was provided from the property owner at 14435 Bowers Drive, noting that the property owner was not made aware of the potential road when they purchased their property.

Councilmember Musgrove asked the plans for Bowers Drive and whether there would be a connection planned to 142nd Ave NW.

Deputy City Administrator Gladhill stated that there is another dead-end road and therefore it would seem a logical solution to connection those roads, but City staff is aware that would cause more objection. He stated that City staff has heard loud and clear of the unique character of Bowers Drive and therefore public safety felt that this connection would be a good compromise.

Mr. Bakritges explained that at the June meetings it was agreed upon to preserve about 10 percent of the wooded area, which they did, by switching out the 80 foot lots with 65-foot lots. He noted that has been supported by the Bowers Drive residents and the Council because of the additional tree preservation that would be provided.

7.02: Consider Resolution #20-164 Granting a Conditional Use Permit (CUP) for Team Packaging at 14799 Jackal St Suite 400 in Bunker Lake Industrial Park (Project No. 20-123)

Presentation

Chairperson Bauer noted that there was not sufficient time to provide notice for a public hearing and therefore the Planning Commission was asked to review and provide input with the public hearing to be held at the City Council meeting.

Senior Planner McGuire Brigl presented the Staff Report stating that staff recommends that the Commission recommend approval of the Conditional Use Permit for Team Packaging for outdoor storage with a public hearing at the next City Council meeting.

Commission Business

Commissioner Anderson stated that he felt that this was being rushed without the public hearing. He stated that he visited the site and they are already using the site in this manner. He believed that the company should have obtained the necessary approvals before operating in this manner. He stated that he would like to hear from the public on this matter and therefore he feels that it should be tabled.

Chairperson Bauer stated that this property is in the middle of an industrial park and asked who the notice would be mailed to.

Senior Planner McGuire Brigl stated that staff recommended that the applicant speak with the neighboring property owners about the request.

Tom Sandstrom, Team Packaging, stated that they manufacture custom packaging including wood crating. He stated that they have bundles of plywood and other lumberyard type materials. He stated that they have been in Ramsey since 2004, in two different locations, that allowed outdoor storage. He stated that outdoor storage is imperative to their business, as it cannot be stored indoors. He stated that they had to move from the previous location because the building was being sold and therefore the landlord introduced them to the owner of the new location, who toured their site and saw the outdoor lumber storage. He stated that it was their understanding that the outdoor storage would be allowed, and it was written into the lease. He stated that they are not asking for more than they need and were not aware additional permission would be needed. He stated that they have never received complaints from neighbors and have been a good neighbor to the other businesses. He did not see that there would be an issue. He stated that he has not met the direct neighbor but asked the property owner to reach out to that business owner. He recognized that the moving process might not have provided the best impression, but they have been able to move those things where they needed to go. He stated that they need to have the fence installed before winter and one of the contractors said they have some wait time, so it is important to have this continue to move forward. He did not believe that their outdoor storage would be an eyesore.

Commissioner Anderson asked what would be fenced.

Senior Planner McGuire Brigl displayed the plan and identified the areas that would be fenced. She stated that she has input from the Fire Marshal noting that the applicant would need to stay within the confines of the CUP in order to remain in compliance with public safety.

Commissioner Anderson stated that his objection was with the process.

Chairperson Bauer commented that it is a straightforward proposal, outside of the timing of the process.

Senior Planner McGuire Brigl stated that the owner of this property, owns the majority of the other properties that would receive notice and he did sign off on the application. She stated that the Fire Marshal has been to the site and has been working with staff and the applicant but has not yet

signed off on the approval, which is typical of the process. She noted that approval would be required before the CUP is issued.

Commissioner Gengler stated that she appreciates Commission Anderson removing this from the Consent Agenda to provide an opportunity to discuss the request. She stated that after hearing from the business owner she would be comfortable moving forward.

Motion by Commissioner Gengler, seconded by Commissioner Peters, to recommend that City Council adopt Resolution #20-164 Granting a Conditional Use Permit (CUP) for Team Packaging at 14799 Jackal Street Suite 400 in Bunker Lake Industrial Park (Project No. 20-123).

A roll call vote was performed:

Commissioner Gengler	aye
Commission Anderson	aye
Commissioner Woestehoff	aye
Commissioner Peters	aye
Commissioner VanScoy	aye
Chairperson Bauer	aye

Motion Carried.

8. COMMISSION / STAFF INPUT

8.01: Receive Staff Update

The Staff Update was noted.

9. ADJOURNMENT

Motion by Commissioner Anderson, seconded by Commissioner Peters, to adjourn the meeting.

A roll call vote was performed:

Commissioner Gengler	aye
Commissioner VanScoy	aye
Commissioner Anderson	aye
Commissioner Woestehoff	aye
Commissioner Peters	aye
Chairperson Bauer	aye

Motion Carried.

The regular meeting of the Planning Commission adjourned at 8:45 p.m.

Respectfully submitted,

Chloe McGuire Brigl
Senior Planner

ATTEST:

JoAnn Shaw
Planning Division Secretary

Drafted by Amanda Staple
TimeSaver Off Site Secretarial, Inc.

Regular Planning Commission

5. 2.

Meeting Date: 09/03/2020

By: Chloe McGuire Brigl, Community
Development

Information

Title:

Receive Update on O'Reilly Auto Parts Site Concept Plan

Purpose/Background:

The purpose of this case is to receive an update on a proposal for a purchase agreement from O'Reilly Auto Parts. The current proposal is to buy a portion of the land directly west of Casey's off Sunwood Drive (see Site Location attachment) for a new store. The City of Ramsey currently owns the land, legally described as PID 28-32-25-41-0020 (the "Subject Property"). The Developer has proposed to purchase approximately .72 acres of the Subject Property, abutting Sunwood Drive to the north and Casey's to the east. The Subject Property would have a shared access off Sunwood Drive with Casey's.

Notification:

N/A

Observations/Alternatives:

Purpose of Case

The purpose of this case is similar to that of Sketch Plan for a residential subdivision - to provide the Developer high level feedback, identify red flags, and comment on the proposal for incorporation into formal engineering plan sheets. This process allows the Developer to receive feedback on the viability of a project prior to investment in engineering plans and surveying costs for the site.

Use

O'Reilly Auto Parts is a retail/commercial use, with all internal operations (no outdoor storage anticipated). Staff heard from residents throughout the Comprehensive Planning process that they desired more commercial opportunities in the City of Ramsey, and Staff notes that many residents indicated the lack of hardware stores in Ramsey. Staff feels that this use meets the goals and needs of residents, and is a compatible use with Casey's next door. This use may require a Comprehensive Plan amendment, which Staff will process once there is a formal application.

Parking and Streets

The proposal includes 22 parking stalls, which appears to meet the requirements of the City Code for retail uses. Staff is not concerned about there being adequate space for parking onsite.

The use would have a shared access off Sunwood Drive with Casey's. The City of Ramsey currently owns this shared access location. Staff recommends that at a minimum, there is some sort of striping on the shared access location, including a southbound (into the site) arrow, and a northbound left turn and northbound right turn arrow to exit the site. Staff notes that cars attempting to turn west out of the site can struggle to find gaps and the lack of turn lanes painted in the exit can cause issues for cars turning into the site.

Staff is also considering a frontage road to Sunwood Drive to access this use, which would run south of the proposed site and allow for additional options in and out of the site.

Elevations

Please see the attached elevations. The proposed elevations include brick end-caps, a stucco and aluminum

storefront, and rockface block in two colors for the main siding of the building. The building has a red front entrance area with tan and brown walls.

Funding Source:

Staff is handling this update as part of regular duties. The Applicant will be responsible for all costs associated with review once there is a formal application in place.

Recommendation:

Provide the Developer high level feedback and identify any red flags on the proposed site plan.

Action:

No formal action required. This case is meant as an update only and to allow the Developer to receive feedback from Staff and the Planning Commission prior to drawing up formal engineering plans.

Attachments

Site Location

Letter of Intent

Elevations

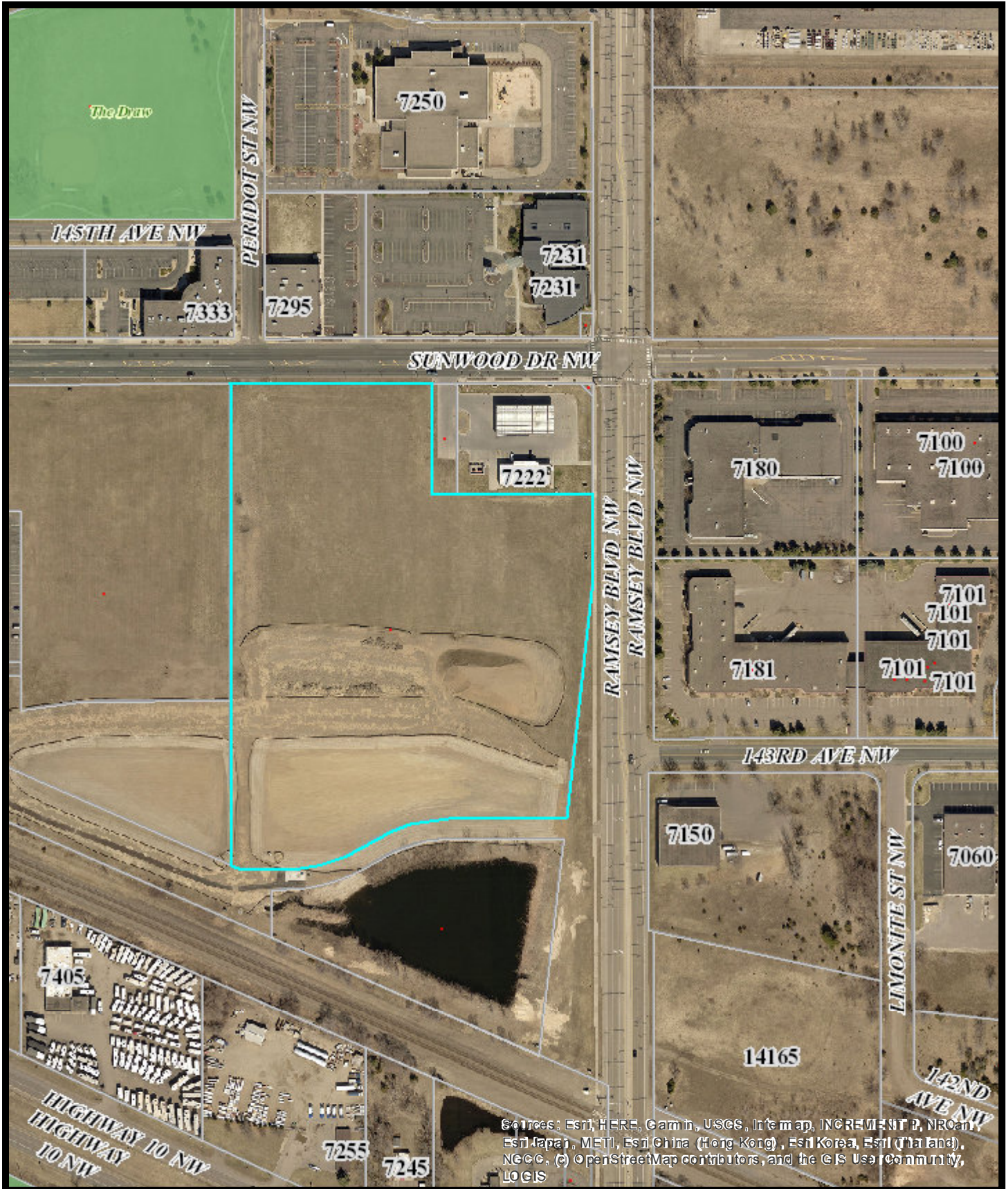
Elevations and Floor Plan

Site Plan

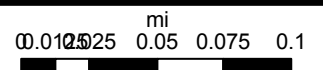
Form Review

Inbox	Reviewed By	Date
Sean Sullivan	Sean Sullivan	08/24/2020 01:07 PM
Kurt Ulrich	Kurt Ulrich	08/24/2020 01:12 PM
Tim Gladhill	Brian McCann	08/28/2020 01:39 PM
Form Started By: Chloe McGuire Brigl		Started On: 08/21/2020 02:46 PM
Final Approval Date: 08/28/2020		

Site Location



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NECC, © OpenStreetMap contributors, and the GIS User Community, LOGIS





LETTER OF INTENT – PURCHASE

Date: 8/11/2020

Sean Sullivan
Economic Development Manager
7550 Sunwood Drive NW
Ramsey, MN 55303

RE: Letter of Intent
Out Lot: Anoka County Tax Parcel: 28-32-25-41-0020
Ramsey, MN 55303

Dear Sean,

Following is a Letter of Intent expressing the interest of Java Companies, LLC & or Assigns to purchase the above-mentioned real property. If the following terms and conditions are suitable to you, they are in a position to proceed with a formal Purchase Agreement.

Seller: City of Ramsey

Buyer: Java Companies, LLC. & or Assigns

Property: **Out Lot (See Exhibit A):** Anoka County Tax Parcel: 28-32-25-41-0020
Ramsey, MN 55303

Tax Parcel: To be Determined

Purchase Price: \$228,864.00 (28,608 sf at \$8 psf)

Earnest Money: \$5,000.00

Closing: Closing shall occur one hundred and eighty (180) days after full execution of the purchase agreement and addendum.

Condition: Seller shall make certain customary representations regarding condition in Purchase Agreement. Including but not limited to environmental. Investigations will be assisted by Seller making certain disclosures, representations and warranties, which shall include, but not be limited to, condition of title, pending or historical legal actions, and hazardous materials conditions.

Inspection Period

& Contingencies: Buyer shall have until closing date to satisfy or waive contingencies (due diligence). Buyer's contingencies shall include:

1. **Title:** Seller to provide legible copies of all documents, plotted easements, current ALTA surveys and preliminary commitment for title insurance. As a material and substantial condition of this Purchase Agreement, the closing of this transaction shall be conducted by Jeff Peterson of Commercial Partners Title to provide title insurance.
2. **Financing:** Buyer gets approved for acceptable financing with the following terms: 5% or lower Interest Rate, Five year term, twenty-five year amortization, 20% of purchase price down payment, 80% of purchase price loan amount.
3. **Proration of Closing Cost:** As is custom in Minnesota, Seller will pay for a title insurance commitment and buyer will pay the insurance premium. Seller will pay transfer taxes, state deed taxes and real estate commissions. Buyer is to pay recording costs. Escrow fees are to be split 50/50. Property taxes shall be paid current and prorated as of the date of closing. All other items are to be determined/negotiated, but generally based upon custom and practice.
4. **Earnest Money, Schedule, and Closing Date:** Buyer will provide \$5,000 of refundable earnest money within 15 days of the signing of this purchase agreement by both parties. If the purchase agreement is cancelled by buyer, or if closing does not happen on or before the closing date, the earnest money will be refunded to buyer and this contract will be void.
5. **Default by Seller:** If there has occurred a material breach of any of Seller's representations, warranties, and/or covenants, or Seller fails to close per the Purchase Agreement, and Seller fails to cure such default within ten (10) days of written notice from Buyer, Buyer may, at its option, either (i) terminate this Agreement, as aforesaid, and receive a full refund of the Earnest Money (together with accrued interest thereon), or (ii) elect to enforce, by an action for specific performance, this Agreement.
6. **Environmental:** Any disclosure letters and/or off-site determinations from MPCA if in Owners possession shall also be provided. Buyer at its expense, will contract for its own Phase I, Phase II and any other environmental surveys that are necessary. Seller to provide access. Determinations from MPCA if in Owners possession shall also be provided. Seller shall be responsible for the liability incurred as a result of Existing Contamination.
7. **Regulatory Approvals:** Buyer, at its expense and with the cooperation of Seller, will be responsible for obtaining all regulatory approvals.
8. **Access, Parking, and Drainage Easement:** Seller will provide an Access, Parking, and Drainage Easements (See Exhibit A). These Easements will be mutually agreed upon by both seller and buyer before closing.

- 9. **Re-Platting of Property:** Buyer will re-plat the property into 2 tax parcels with cooperation of the seller. The buyer will be buying **Parcel A** (See Exhibit A).
- 10. **Assignability:** This purchase agreement is assignable to another individual or entity.
- 11. **Property Access:** Buyer and Java Properties shall have access to the premise between acceptance and closing with a twenty-four hour notice to seller.
- 12. **Extension of Purchase Agreement:** Buyer can extend purchase agreement three times for 60 days per extension with written notice to seller.
- 13. **Notification:** To seller and buyer by e-mail:

Buyer: Java Companies, LLC
E-mail: mark@javacompanies.com

Seller: City of Ramsey
E-mail: SSullivan@cityoframsey.com

In the event the above-mentioned contingencies are not satisfied within the due diligence period, Buyer may elect to terminate the Purchase Agreement, at which time all earnest money shall be refunded to Buyer, and neither party shall have any further obligations.

Non-Binding: Seller, Buyer, and brokers shall each have no obligation or liability relating to this document or to any verbal or written negotiations, discussions or correspondence. All parties shall expressly have full right to cease discussions/negotiations at any time and for any reason prior to full Purchase Agreement execution.

Purchase Agreement Form: Buyer will prepare, at its expense, within ten (10) days of acceptance of the Letter of Intent, a draft of the Purchase Agreement to be reviewed, negotiated in good faith and executed by the parties

If the terms of this summary are acceptable, please sign in the space provided below and return to Java Properties by **12:00 noon on September 15, 2020.**

AGREED & ACCEPTED: (Owner's Name)

AGREED & ACCEPTED: (Buyer's Name)

By: _____

By: _____

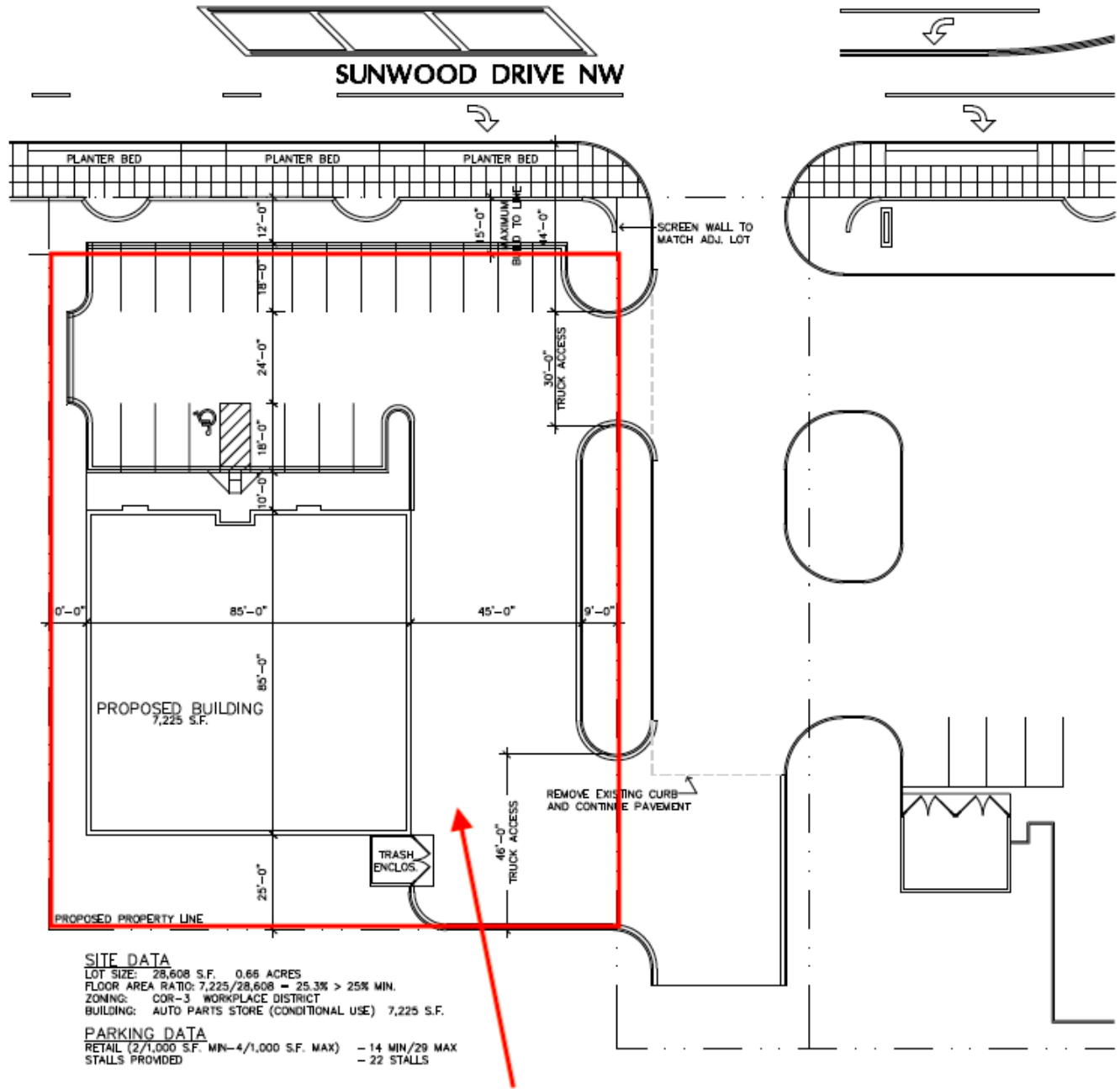
Its: _____

Its: Chief Manager

Date: _____

Date: _____

Exhibit A: Parcel Being Purchased



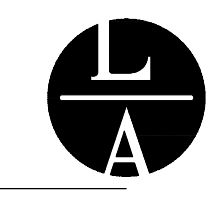
SITE DATA
 LOT SIZE: 28,608 S.F. 0.66 ACRES
 FLOOR AREA RATIO: 7,225/28,608 = 25.3% > 25% MIN.
 ZONING: COR-3 WORKPLACE DISTRICT
 BUILDING: AUTO PARTS STORE (CONDITIONAL USE) 7,225 S.F.

PARKING DATA
 RETAIL (2/1,000 S.F. MIN-4/1,000 S.F. MAX) - 14 MIN/29 MAX
 STALLS PROVIDED - 22 STALLS

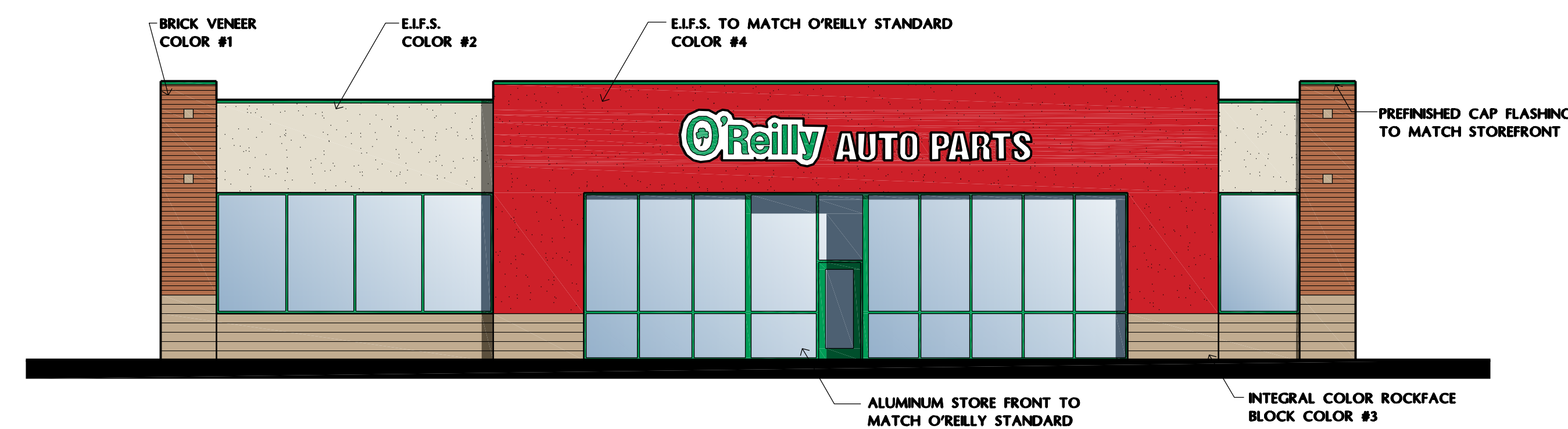
Parcel A: Re-platted parcel being purchased

1 SITE PLAN
 A1 SCALE: 1" = 20'-0"

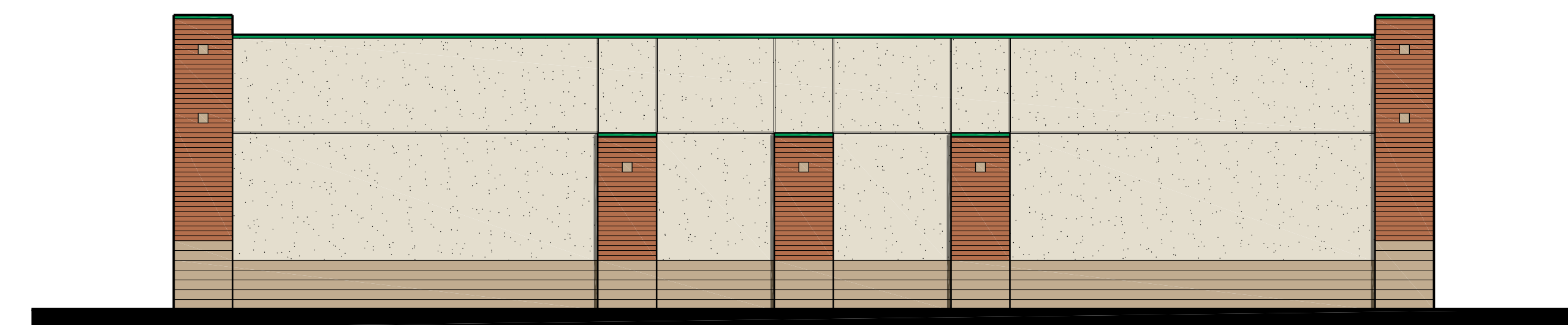
NORTH



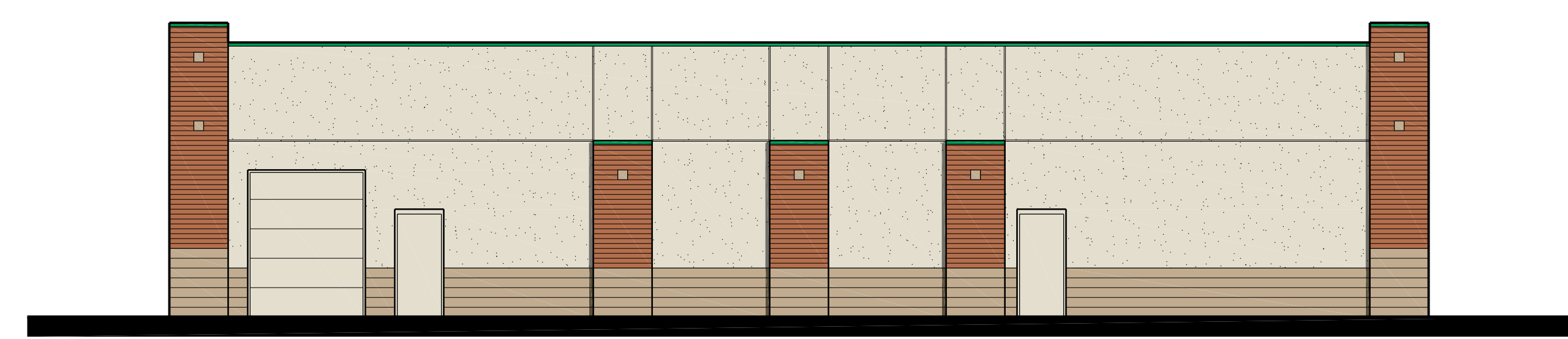
S
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NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



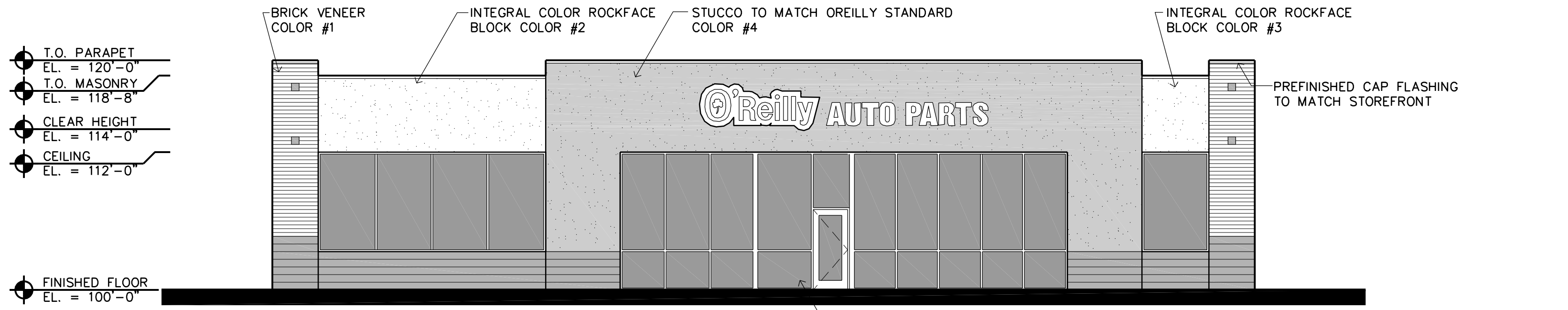
WEST ELEVATION

O'REILLY AUTO RAMSEY

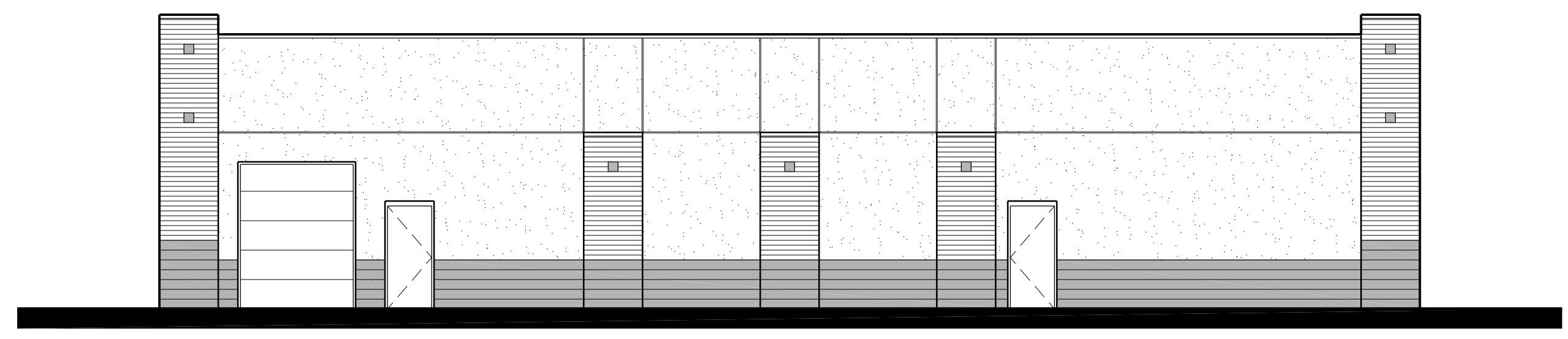
Ramsey, Minnesota

NOTE: THIS DRAWING IS FOR ILLUSTRATIVE PURPOSES ONLY. ACTUAL COLORS NEED TO BE FIELD VERIFIED.

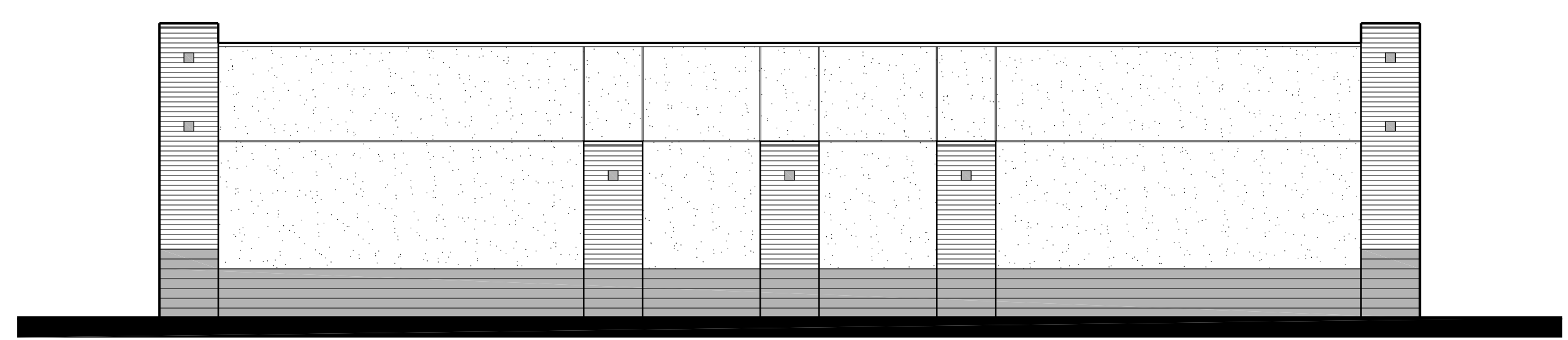
Filename: O'REILLY-SUNWOOD DRIVE\O'REILLY-SUNWOOD DRIVE-A3



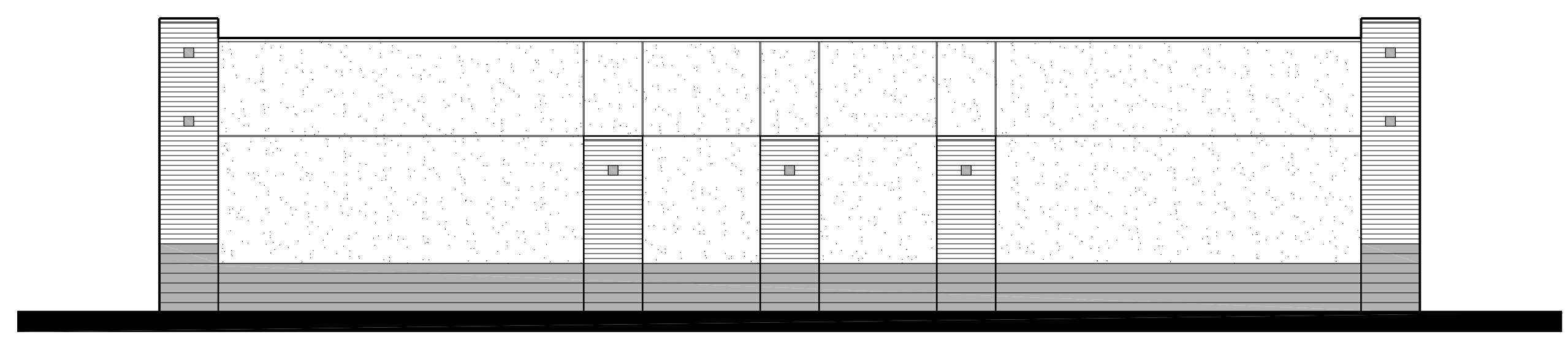
5 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



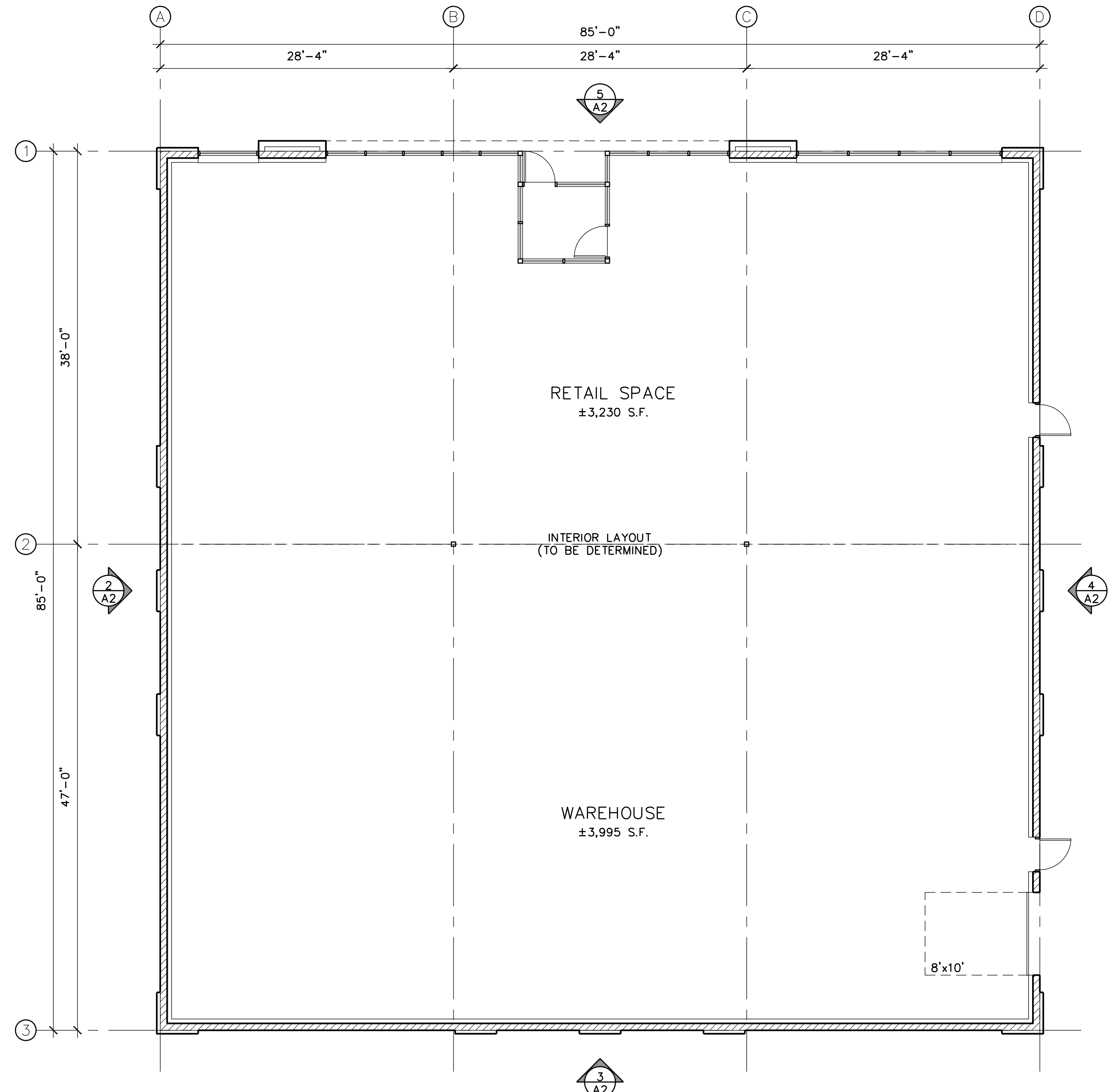
4 EAST ELEVATION
SCALE: 1/8" = 1'-0"



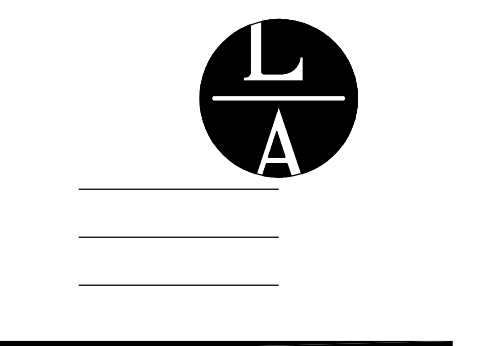
3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



1 FLOOR PLAN
SCALE: 1/8" = 1'-0"
NORTH



LAMPERT ARCHITECTS

420 Summit Avenue
St. Paul, MN 55102
Phone: 763.755.1211 Fax: 763.757.2849
lampert@lampert-arch.com

ARCHITECT CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRELIMINARY NOT FOR CONSTRUCTION

JAVA PROPERTIES

879 Scheffer Avenue
St. Paul, MN 55102
Phone: 952-403-9595

O'REILLY AUTO
SUNWOOD DR
Sunwood Drive NW, Ramsey Minnesota

Copyright 2020
Leonard Lampert Architects Inc.

Project Designer: JAMES B

Drawn By: ALE

Checked By: LL

Revisions

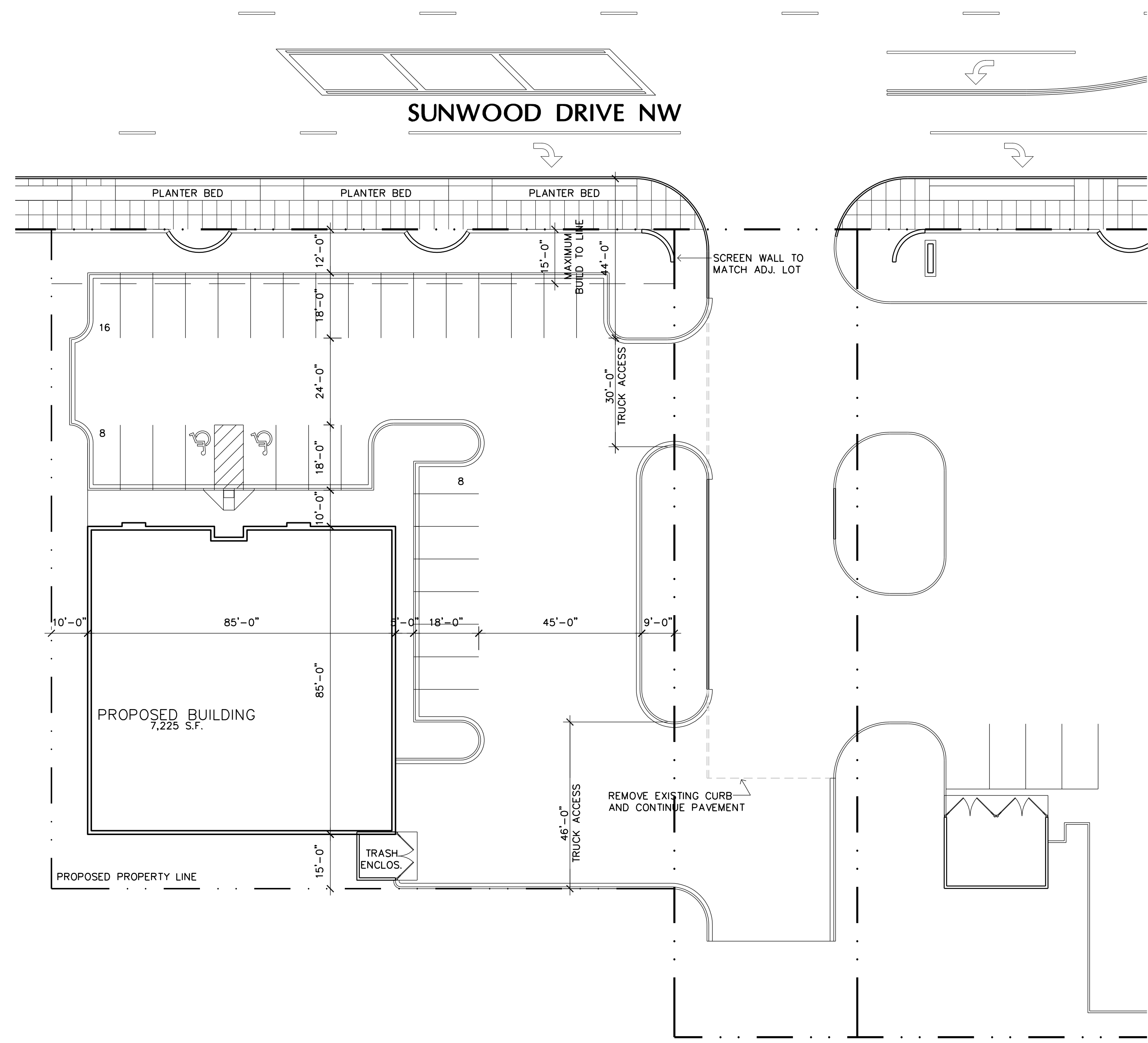
8/21/20 PRELIMINARY

FLOOR PLAN
BUILDING ELEVATIONS

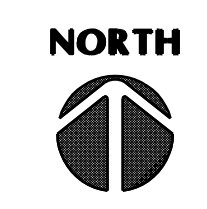
Sheet Number

A2

Project No.

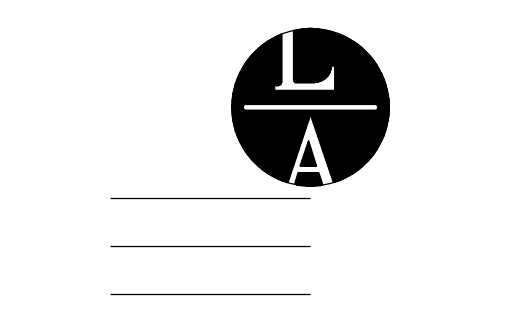


1 SITE PLAN
A1 SCALE: 1" = 20'-0"



SITE DATA
 LOT SIZE: 31,304 S.F. 0.72 ACRES
 FLOOR AREA RATIO: 7,225/31,304 = 23.1% < 25% MIN. *VARIANCE REQ'D
 ZONING: COR-3 WORKPLACE DISTRICT
 BUILDING: AUTO PARTS STORE (CONDITIONAL USE) 7,225 S.F.

PARKING DATA
 RETAIL (2/1,000 S.F. MIN-4/1,000 S.F. MAX) - 14 MIN/29 MAX
 STALLS PROVIDED - 32 STALLS *VARIANCE REQ'D



LAMPERT ARCHITECTS
 420 Summit Avenue
 St. Paul, MN 55102
 Phone: 763.755.1211 Fax: 763.757.2849
 lampert@lampert-arch.com

ARCHITECT CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRELIMINARY NOT FOR CONSTRUCTION

SIGNATURE
 LEONARD LAMPERT
 PRINT
 13669
 LICENSE
 06/01/00
 STATE

JAVA PROPERTIES
 879 Scheffer Avenue
 St. Paul, MN 55102
 Phone: 952-403-9595

**O'REILLY AUTO
 SUNWOOD DR**
 Sunwood Drive NW, Ramsey Minnesota

Copyright 2020
 Leonard Lampert Architects Inc.

Project Designer: JAMES B
 Drawn By: ALE
 Checked By: LL

Revisions

8/6/20	PRELIMINARY

SITE PLAN

Sheet Number

A1

Project No.

Regular Planning Commission

5. 3.

Meeting Date: 09/03/2020

Submitted For: Chloe McGuire Brigl, Community Development

By: Chloe McGuire Brigl, Community Development

Information

Title:

Review Proposed Site Plan for Storyteller Cafe, Case of Stories Foundation (Project 20-120)

Purpose/Background:

The purpose of this case is to review a proposed cafe within The COR. The Storyteller Cafe would serve breakfast and lunch as well as serving to provide office space to the nonprofit that runs the cafe along with retail and event space. The nonprofit currently employs two full time staff and two part time staff. The nonprofit would hire at least one more full time manager and 2-3 part time employees to run the cafe/retail space. The nonprofit goal is to begin to use the space to offer job training in year two of operation. Job training would be provided in a variety of industries and to vulnerable people and those who have been exploited.

The Application is incomplete at this time, but the Applicant is working on a purchase agreement for the land from the City of Ramsey, and the City is excited about this possible development. Staff wanted to update the Planning Commission on this potential project. Staff wanted to provide the Applicant feedback prior to developing a full site plan for the property.

Notification:

Notification is not required at this step of the process.

Observations/Alternatives:

The proposed project is located in the "COR2 Commercial" subdistrict of the City's COR development plan.

Site Development Requirements

The majority of buildings should front on the primary through street, with parking and service areas on the side or in the back, away from view. A mix of uses including retail, restaurant and residential is permitted in a mixed use setting. This mix of uses is intended to improve character/aesthetics of the building while also promoting activity throughout much of the day and evening hours.

The first floor of the proposed project would include a coffee shop, training room and co-working space. The second floor would consist of three apartments and additional co-working spaces and restroom. The elevation shows a rooftop terrace as well.

Parking

The submitted site plan has 20 parking spaces 2 of which are handicap spaces. The parking lot also includes a drive-thru lane. All of the parking is shown in the back of the site. Retail uses require a minimum of 2 and maximum of 4 stalls per 1,000 sq ft. Office uses require a minimum of 2 and maximum of 3 stalls per 1,000 sq ft. Restaurants require a minimum of 3 and maximum of 5 stalls per 1,000 sq ft. The proposed structure is about 14,000 sq ft. Based on the retail and office minimums that would require a minimum of 28 parking spaces. Based on the restaurant maximum that would require 70 parking spaces. Based on the proposed mix of uses Staff believes the proposed 20 parking stalls to be sufficient and that the business could utilize the municipal parking ramp for overflow parking when that need arises.

Architecture

Structures within this subdistrict are expected to make The COR unique, inviting and memorable. Architecture is to be '4-sided' at all locations visible to public areas. Emphasis is placed on great design along the public street frontage. The Applicant provided an image showing the front of the structure (north elevation) but not the east, west, or south elevations. The north elevation shows quality materials and a high level of architecture and Staff is supportive of the architecture shown but will need to see the elevations of the other three sides of the building to verify the "4-sided" architecture.

The build to line required is 15 feet. That distance is to be measured from building front to right-of-way (40% of front facade required to be within the max.) The Applicant will need to place the site plan onto the plat so staff can verify the 15 foot build to line.

Location and Development Standards

The proposed project faces on Sunwood Drive which is identified as a "Destination" roadway. The project backs up to Veterans Drive which is identified as a "Connector" roadway. The minimum lot width required is 80 feet. The proposed project has a lot width of 83.62 feet. The minimum lot depth is 100 feet. The proposed lot depth is 272.15 feet. There is not setback or build to line required for the side or rear yard. Because the use is primarily commercial it is not subject to the driveway length requirements. Building height must be between 1 and 4 stories. The proposed project is two stories in height with a rooftop patio. Tree spacing is required to be 35 feet on center with a 6 foot boulevard width and a 10 foot sidewalk width.

Lighting

Street lighting will be required in accordance with the master lighting plan shown in the Design Framework.

Residential Component

The floor plan on the second floor shows three apartment units. The Subject Property is approximately 0.52 acres. As a result the proposed density averages to about 6 units/acre. The COR 2 district has a minimum residential density of 15 units/acre for residential projects. However this project is the city's first true vertically mixed use (residential/commercial) building.

Sidewalk

The City would require the sidewalk be constructed on the southern side of the property. This sidewalk would fill in a current gap in the sidewalk system between the sidewalk constructed for the New Horizons daycare and the Sunwood Village apartments. The site plan shows a 12' sidewalk on the western property line as well as a 20' wide outdoor patio area along Sunwood Drive NW.

Funding Source:

Costs associated with this proposal are the responsibility of the Applicant.

Recommendation:

Staff is looking for general direction from the Planning Commission as to whether or not the Applicant should move forward with completing a formal application for review. The Planning Commission should indicate general support or lack of support for the proposed project to provide direction to both the Applicant and Staff as to how to proceed. Since this item is on the consent agenda, a pass of the consent agenda shall note support from the Planning Commission for this project and to move forward with formal site plan development (engineering and construction documents).

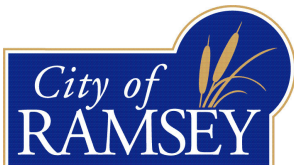
Action:

Recommend the developer move forward to formal site plan development (engineering and construction documents).

- [Site Location Map](#)
 - [Land Use Application](#)
 - [Site Plan](#)
 - [Building Elevation](#)
 - [Ground Floor Plan](#)
 - [Second Floor Plan](#)
-

Form Review



Inbox	Reviewed By	Date
Kurt Ulrich	Kurt Ulrich	08/25/2020 04:06 PM
Kurt Ulrich	Kurt Ulrich	08/25/2020 04:06 PM
Form Started By: Chloe McGuire Brigl		Started On: 08/21/2020 09:50 AM
Final Approval Date: 08/28/2020		



Site Location Map

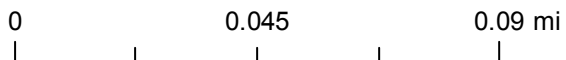
7800 Sunwood Dr NW

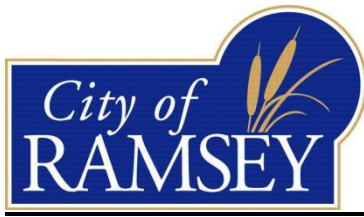
Legend

-  Site
-  Parcels



August 10, 2020





Land Use Application

<input type="checkbox"/> Plat – Sketch Plan	<input type="checkbox"/> Plat – Preliminary Plat	<input type="checkbox"/> Plat – Final Plat
<input type="checkbox"/> Administrative Plat	<input type="checkbox"/> Site Plan Review	<input type="checkbox"/> Easement/ROW Vacation
<input type="checkbox"/> Conditional Use Permit	<input type="checkbox"/> Interim Use Permit	<input type="checkbox"/> Comprehensive Plan Amendment
<input type="checkbox"/> Zoning Amendment	<input type="checkbox"/> Home Occupation Permit	<input type="checkbox"/> Variance
<input type="checkbox"/> Dwelling Moving Permit	<input type="checkbox"/> Environmental Permit	<input type="checkbox"/> Registered Land Survey
<input type="checkbox"/> Non-Traditional Animal License	<input type="checkbox"/> Beekeeping License	<input type="checkbox"/> Private Kennel License

Applicant Contact Information

Please note: All official communication will be routed through this contact.

Name:			
Street Address:			
City, State, ZIP:			
Home Phone:		Work Phone:	
Email:		Fax Number:	
Name of Business (if applicable):			
Business Address (if applicable)			
Business City, State, ZIP			
Business Phone:		Business Fax:	

Subject Property Information

(Location of Application)

Address	
PIN	
Legal Description	
Zoning District	

Contact the Planning Division at 763-433-9824 or planning@cityoframsey.com to request a Zoning Verification

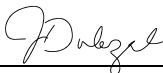

Property Owner Information

(If different than Applicant)

Name:			
Street Address:			
City, State, ZIP:			
Home Phone:		Work Phone:	
Email:		Fax Number:	

Please provide a detailed description of your request and attached a copy of a scaled site plan

A "Land Use Sign" will be placed on the Subject Property to allow Ramsey Residents the opportunity to obtain information about your request.

Applicant Signature		Co-Applicant Signature	
Printed Name		Printed Name	
Title		Title	
Date		Date	

I understand that the application fee is non-refundable. All costs associated with the processing of this application are the responsibility of the applicant whether this application is approved or denied. Any excess of escrow account deposits over expenditures will be refunded at the time of account closure. I also understand that as the applicant, it is my responsibility to obtain all other permits or licenses required by any applicable regulatory agencies for this Land Use Application.

Property Owner Signature		Property Owner Signature	
Printed Name		Printed Name	
Title		Title	
Date		Date	

I hereby certify that I am the fee title owner/contract for deed vendee of record for the above-mentioned property. Failure to prove ownership may void any agreements entered into the City and I will be held liable for any and all costs incurred by the City.



LITTFIN | DESIGN

© COPYRIGHT 2020

MLITTFIN@HOTMAIL.COM

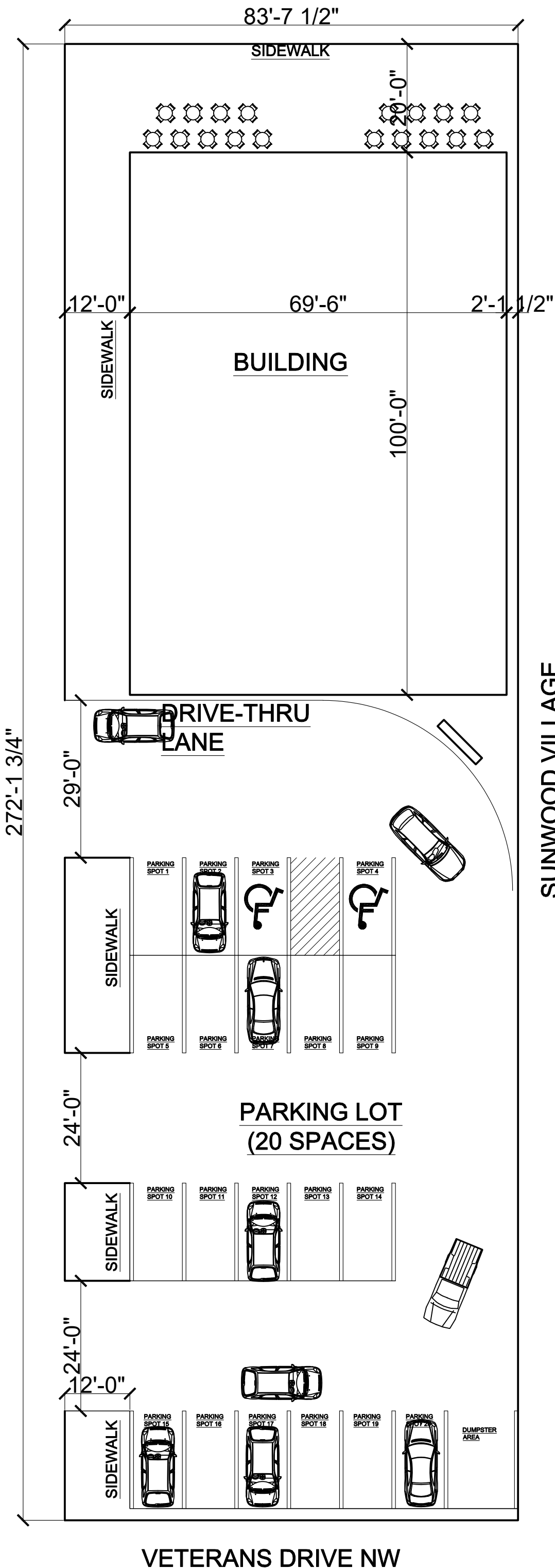
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SUNWOOD DRIVE NW

YOLITE STREET NW

YOLITE STREET NW

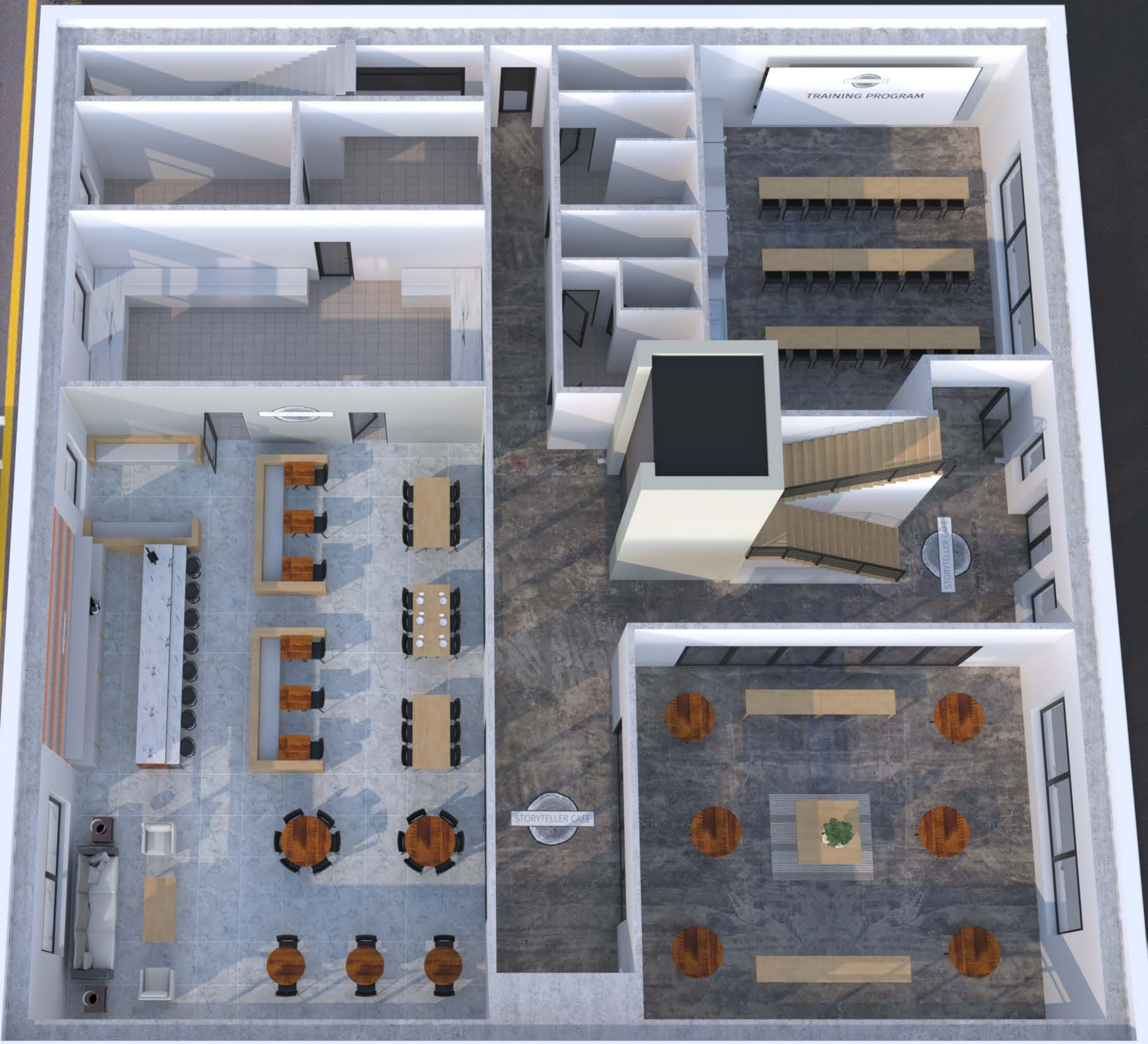
SUNWOOD VILLAGE



VETERANS DRIVE NW



STORYTELLER CAFE



Every Story Has Value



Regular Planning Commission

6. 1.

Meeting Date: 09/03/2020

By: Chloe McGuire Brigl, Community Development

Information

Title:

PUBLIC HEARING: Consider Resolution #20-187 Approving Preliminary Plat for Ramsey Villas North, Case of River's Bend Holdings, LLC (Project 20-117)

Purpose/Background:

The purpose of this case is to review a Preliminary Plat application from River's Bend Holdings, LLC (the "Applicant") for a three (3) lot residential subdivision off Xkimo St NW and east of Highway 47. The site is a 1.37 acre piece of land, PID 25-32-25-31-0006 (the "Subject Property"). The Subject Property is zoned R-2 and the Applicant has proposed three (3) lots within the Detached Villa (50 foot wide) lot width designation. The R-2 district allows for attached townhomes or a detached product at a 50 foot wide lot.

Notification:

The City attempted to notify all property owners, as reflected in the Anoka County Property Records, within 700 feet of the Subject Property of the request by U.S. Mail.

Observations/Alternatives:

Summary

The Applicant has proposed three (3) 50 foot wide lots. The R-2 Residential District allows for attached townhomes or detached villas with lot widths of 50 feet. Staff notes that of the three (3) proposed lots, only one lot is at the minimum lot size of 50 feet within this district, the southern-most and northern-most lots (the "outside" lots) are approximately 80 feet in width. The remaining lots on the cul-de-sac are zoned R-1 MUSA and are all 80 - 90 feet in width.

During Sketch Plan review, the Planning Commission noted the following items:

1. **Noise wall:** The Applicant has proposed a 6 foot cedar fence running north-south along Highway 47 behind these homes. Staff is working with Anoka County and the City's Public Works Department to ensure this is consistent with the existing noise wall along Highway 47 and provides an adequate buffer. This is a contingency of approval. It is worth noting that the Environmental Policy Board has also recommended a Noise Study be conducted to ensure that any required mitigation measures are identified and incorporated into the plan set.
2. **Traffic stacking and turning diagram for new cars on cul-de-sac:** The Applicant provided a stacking diagram, and Staff does not have a concern. Anoka County is also reviewing plans, which is a contingency of approval. Staff does not have any concerns over this item.

The Preliminary Plat appears to meet all of the requirements for the R-2 District.

Platting Process

1. Sketch Plan - Identify red flags and direct the Applicant on moving forward to Preliminary Plat
2. Preliminary Plat - Engineering documents, formal public hearing, if approved, the project has entitlement (we are here)
3. Final Plat - Construction documents and legal agreements, only heard by City Council

City Code Sections

- Section 117-111: R-2 Residential (Existing and Proposed Zoning - No Change)
- Section 117-588: Major Plat
- Section 117-614: Subdivision Design Standards

Funding Source:

The Applicant is responsible for all costs associated with review.

Recommendation:

Staff recommends approval of the project and recommends adoption of Resolution #20-187.

Action:

Motion to Recommend the City Council Adopt Resolution #20-187 Approving Preliminary Plat for Ramsey Villas North

Attachments

[Site Location Map](#)

[Preliminary Plat Plan Set](#)

[Proposed Architecture \(2\)](#)

[Proposed Architecture](#)

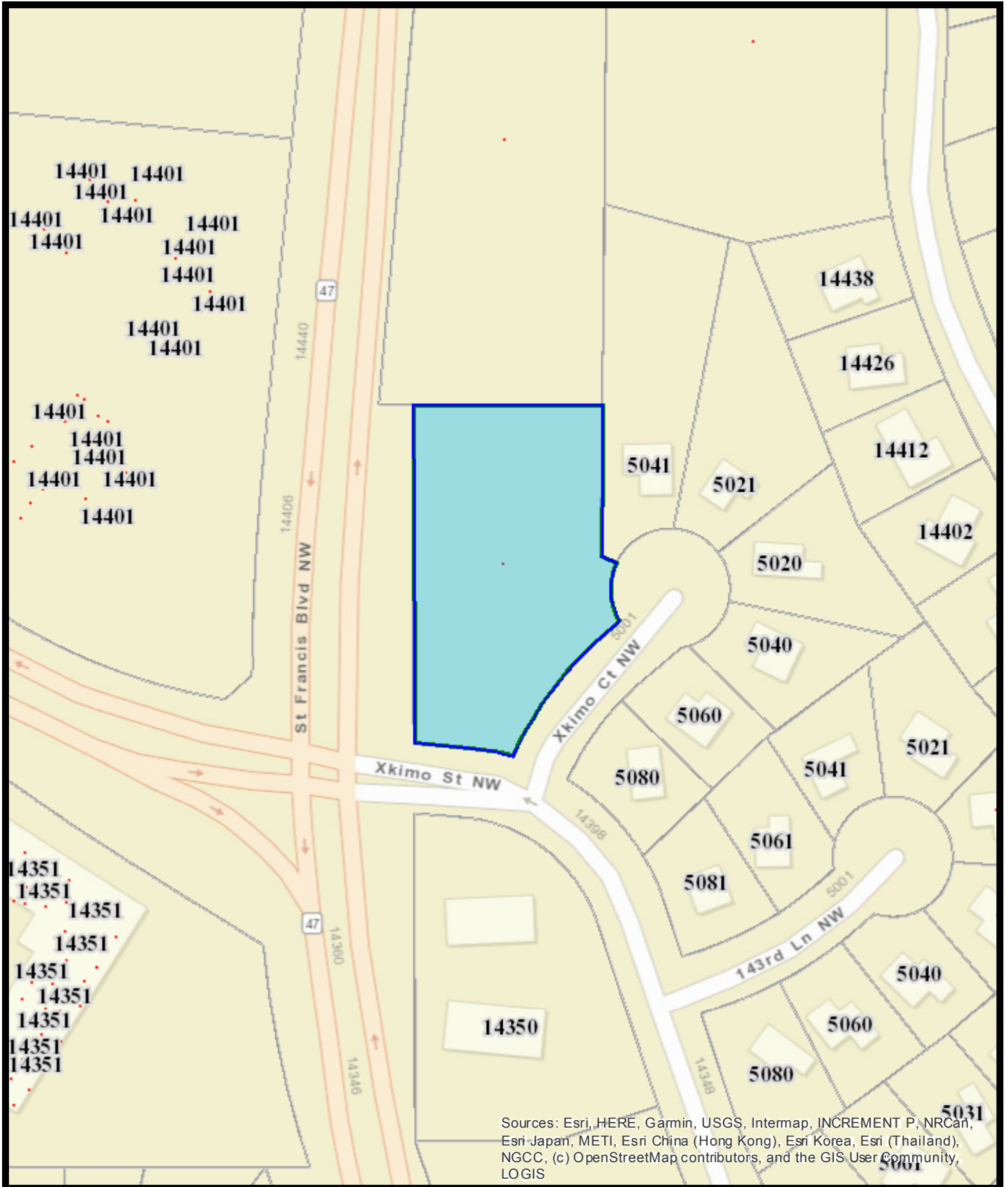
[Staff Comments \(ProjectDox\)](#)

[Stacking Diagram](#)

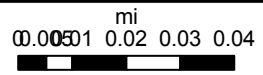
[Resolution #20-187](#)

Form Review

Inbox	Reviewed By	Date
Chris Anderson	Chris Anderson	08/25/2020 11:29 AM
Kurt Ulrich	Chloe McGuire Brigl	08/25/2020 01:20 PM
Chris Anderson	Chris Anderson	08/25/2020 03:42 PM
Kurt Ulrich	Kurt Ulrich	08/25/2020 04:02 PM
Form Started By: Chloe McGuire Brigl		Started On: 08/21/2020 09:48 AM
Final Approval Date: 08/28/2020		



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community, LOGIS



RIVERS BEND HOLDINGS LLC

RAMSEY VILLAS NORTH

XKIMO CT & XKIMO ST NW

CITY OF RAMSEY, ANOKA COUNTY, MN

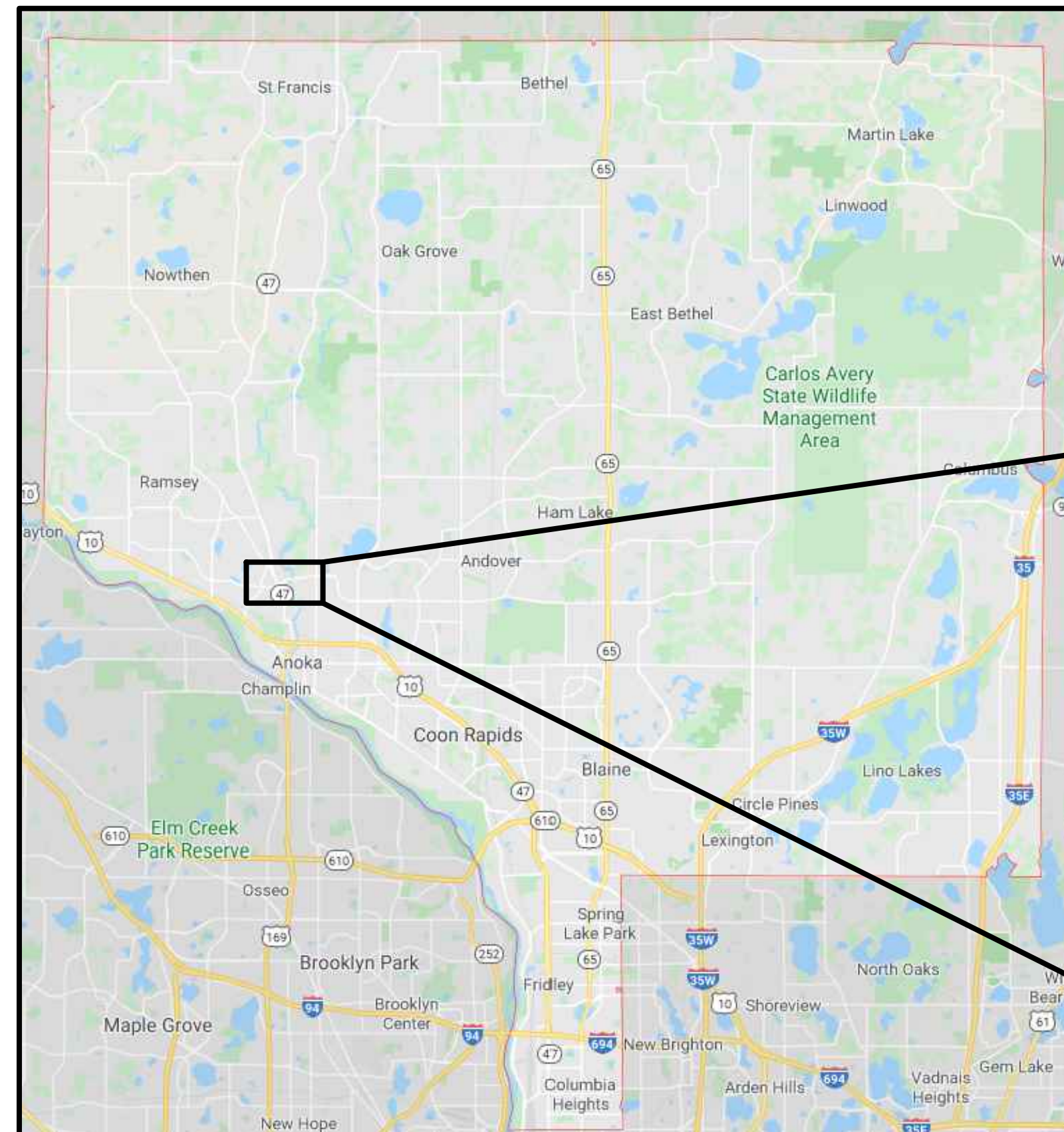
PRELIMINARY PLANS

CIVIL & SURVEY PLANS PREPARED BY:



SHEET INDEX:

CIVIL - REMOVALS PLAN	C1
CIVIL - SITE PLAN	C2
CIVIL - GRADING & EROSION CONTROL PLAN	C3
CIVIL - UTILITY PLAN	C4
CIVIL - CONSTRUCTION DETAILS	C5
CIVIL - CONSTRUCTION DETAILS	C6
CIVIL - LANDSCAPE PLAN	L7



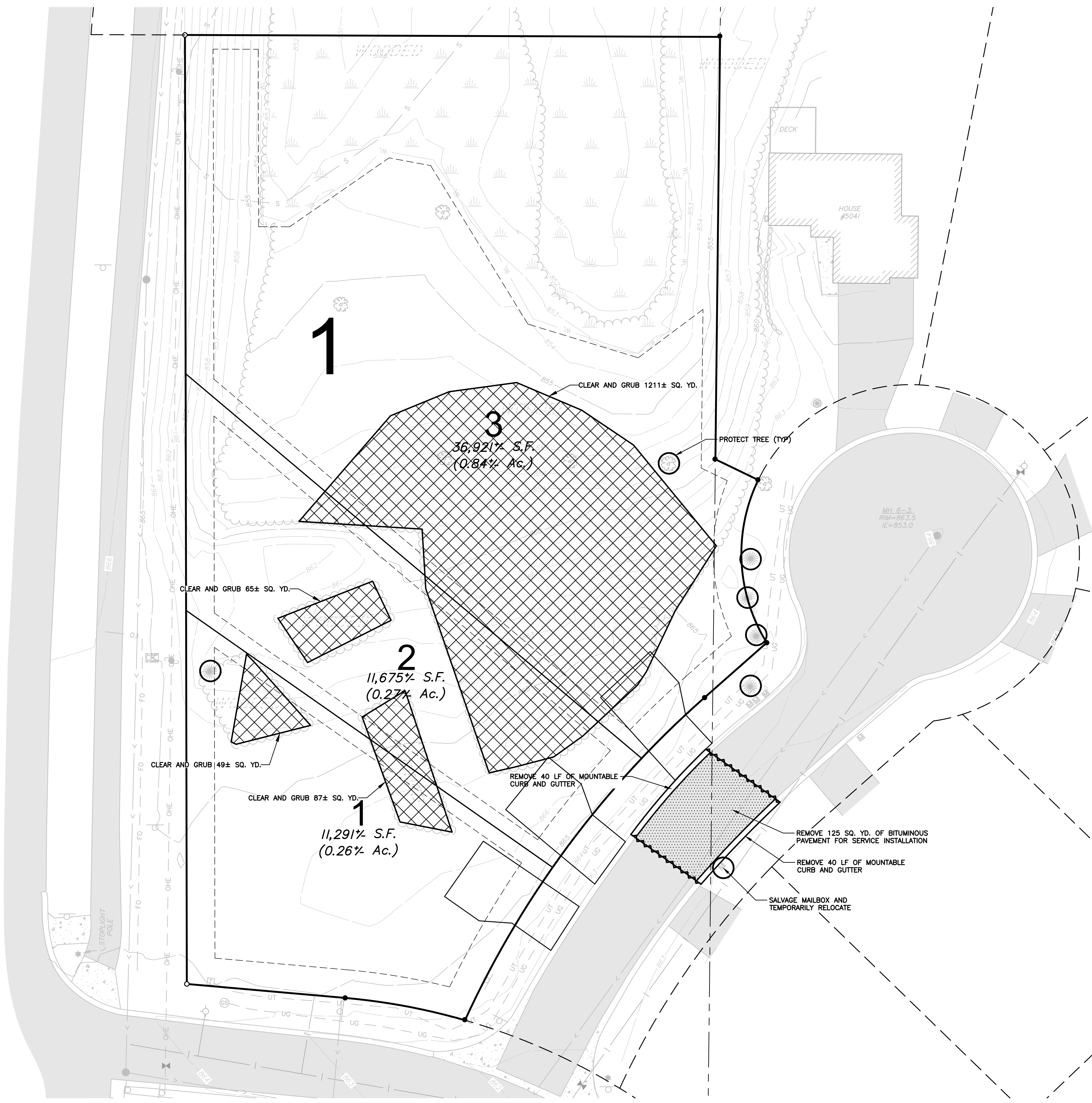
ANOKA COUNTY, MINNESOTA

PROJECT LOCATION








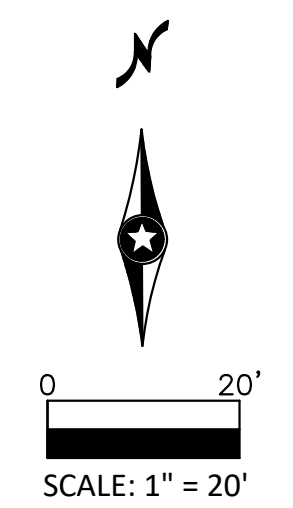
VICINITY MAP

REV NO.	DATE	DESCRIPTION
1	08/06/2020	DRAWINGS ISSUED TO CITY



LEGEND:

-  REMOVE PAVEMENT SECTION (AS INDICATED).
-  CLEARING AND GRUBBING (AS INDICATED)
-  REMOVE FEATURE (AS INDICATED)
-  PROTECT OR SALVAGE
-  SAW-CUT




DEMOLITION GENERAL NOTES:

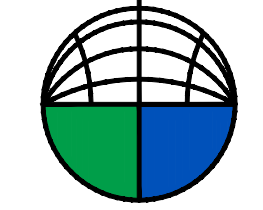
1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM OR COORDINATE ALL UTILITY CONNECTIONS AND RELOCATIONS FROM EXISTING UTILITY LOCATIONS TO THE PROPOSED BUILDING, AS WELL AS TO ALL ON-SITE AMENITIES. THESE CONNECTIONS INCLUDE BUT ARE NOT LIMITED TO WATER, SANITARY SEWER, UNDERGROUND GAS, ETC.
2. THE CONNECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH STATE AND LOCAL STANDARD SPECIFICATIONS FOR CONSTRUCTION. UTILITY CONNECTIONS (UNDERGROUND GAS, WATERMAIN, AND STORM SEWER) MAY REQUIRE A PERMIT FROM THE CITY.
3. THE CONTRACTOR SHALL VERIFY THE ELEVATIONS AT PROPOSED CONNECTIONS TO EXISTING UTILITIES PRIOR TO ANY DEMOLITION.
4. CONTRACTOR SHALL COORDINATE WITH THE CITY OF RAMSEY FOR ALL UTILITY DISCONNECTIONS, SERVICE TERMINATIONS AND REMOVALS. CONTRACTOR SHALL COORDINATE UTILITY DISCONNECTIONS AND RELOCATIONS WITH THE UTILITY PROVIDERS PRIOR TO THE START OF CONSTRUCTION. ALL SERVICE CONNECTIONS/DISCONNECTIONS SHALL BE PERFORMED IN ACCORDANCE WITH STATE AND LOCAL STANDARD SPECIFICATIONS FOR CONSTRUCTION. CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS NECESSARY FOR UTILITY CONSTRUCTION AND WORK WITHIN ADJACENT RIGHT-OF-WAYS.
5. IF DEWATERING IS REQUIRED FOR THIS PROJECT, THE PUMP DISCHARGE SHALL BE TREATED PRIOR TO BEING DISCHARGED OFF-SITE OR INTO A SURFACE WATER. THE DISCHARGE SHALL BE VISUALLY CHECKED TO ENSURE THAT IT IS VISIBLY CLEAN WATER.
6. CONTRACTOR SHALL PROTECT UTILITIES, STRUCTURES AND TREES (NOTED AND NOT NOTED) TO REMAIN AND SHALL BE RESPONSIBLE TO REPAIR DAMAGES TO ANY FEATURES TO REMAIN.
7. SEE LANDSCAPE PLAN FOR EXISTING TREE SURVEY. CONTRACTOR SHALL FIELD VERIFY THE EXISTING CONDITIONS OF THE PROJECT AREA AND REMOVE ALL TREES NOT DESIGNATED TO BE SAVED AND PROTECTED. ALL TREES, DEBRIS, ROOTS, BOULDERS AND TOPSOIL SHALL BE REMOVED FROM THE SITE.

	DESCRIPTION	DATE	REV. NO.	DRAWINGS ISSUED TO CITY
		08/06/2020	1	

DATE:	08/06/2020	DESIGN BY:	CJD, MJM	DRAWN BY:	MJM	CHECKED BY:	WFD	DWG FILE:	DEMOLITION	FILE NO.:	20-0000.00
-------	------------	------------	----------	-----------	-----	-------------	-----	-----------	------------	-----------	------------

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signed:  Wesley P. Davis
 Date: 08/06/2020 Lic. No. 55886



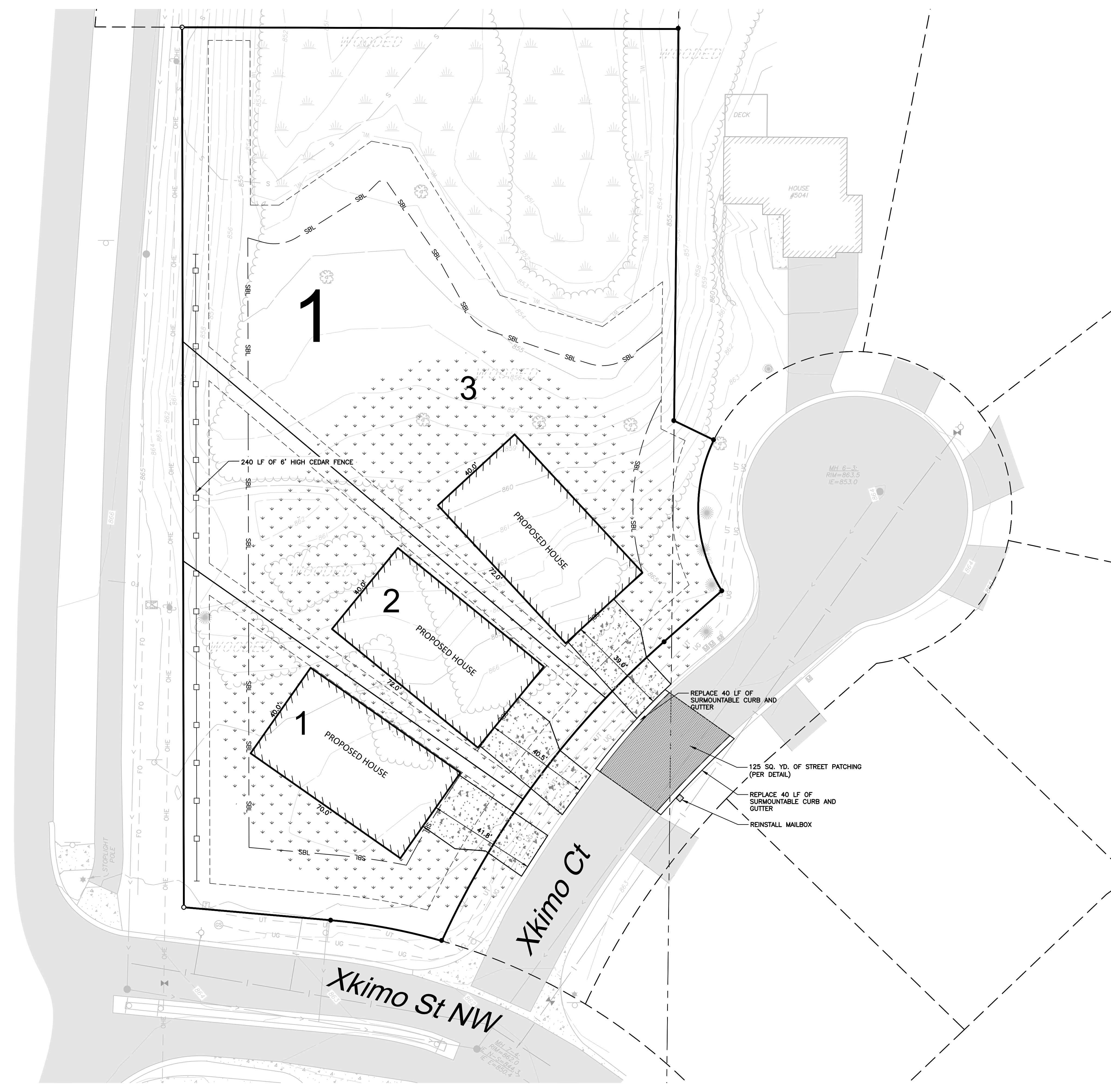
BOGART, PEDERSON & ASSOCIATES, INC.
 LAND SURVEYING
 ENVIRONMENTAL SERVICES
 13076 FIRST STREET, BECKER, MN 55308-9322
 TEL: 763-262-8822 FAX: 763-262-8844

Rivers Bend Holdings LLC Ramsey Villas North OUTLOT E, RIVERS BEND 3RD ADDITION City of Ramsey, Anoka County, MN	REMOVALS PLAN
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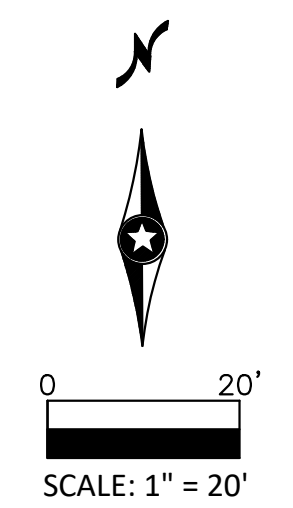
SHEET NO.

CALL 48 HOURS BEFORE DIGGING:
GOPHER STATE ONE CALL
 TWIN CITY AREA 651-454-0002
 MINNESOTA TOLL FREE 1-800-252-1166

C1



- LEGEND:**
- PROPOSED BITUMINOUS PAVEMENT
 - PROPOSED DRIVEWAY LOCATION
 - PROPOSED SOD
 - SURMOUNTABLE CONCRETE CURB AND GUTTER
 - PROPOSED CEDAR FENCE



SITE PLAN NOTES:

1. ALL CONCRETE RAMPS, SIDEWALKS AND ACCESSIBLE HANDICAPPED PARKING STALLS TO CONFORM TO CURRENT A.D.A. REQUIREMENTS.
2. CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
3. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION.
4. CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE CITY, COUNTY AND STATE REGULATIONS.
5. BUILDING ENVELOPE IS SHOWN FOR REFERENCE ONLY AND IS APPROXIMATE. REFER TO PLANS PROVIDED BY HOME BUILDERS FOR EXACT FOOTPRINT.
6. LANDSCAPING AND TURF ESTABLISHMENT PER LANDSCAPE PLANS & SPECIFICATIONS.
7. DRIVEWAY LOCATIONS ARE APPROXIMATE. FINAL MATERIAL AND LOCATION ARE TO BE DETERMINED BY BUILDER.

SITE PLAN INFORMATION:

SITE DATA	EXISTING	PROPOSED
PAVEMENT AREA	0 SF	2,575 SF
BUILDING AREA	0 SF	8,560 SF
PERVIOUS AREA	59,877 SF	48,742 SF
TOTAL AREA	59,877 SF	59,877 SF

REV. NO.	DATE	DESCRIPTION
1	08/06/2020	DRAWINGS ISSUED TO CITY

DATE:	08/06/2020
DESIGN BY:	C.J.D., M.J.M.
DRAWN BY:	M.J.M.
CHECKED BY:	W.P.D.
DWG FILE:	SITE_BASE
FILE NO.:	20-0000.00

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signed: Wesley P. Davis Lic. No. 55866
 Date: 08/06/2020

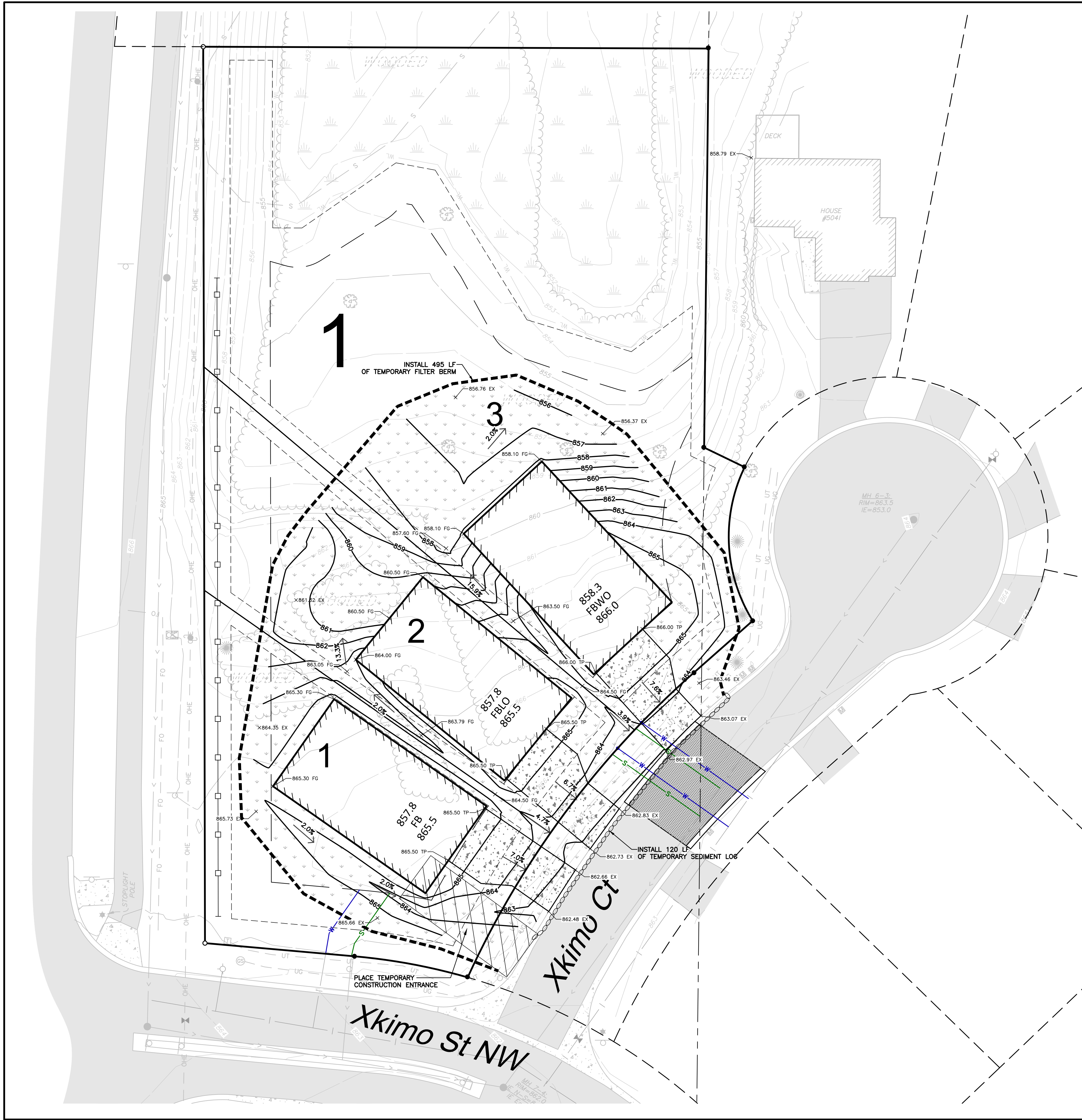
BOGART, PEDERSON & ASSOCIATES, INC.
 LAND SURVEYING
 ENVIRONMENTAL SERVICES
 13076 FIRST STREET, BECKER, MN 55508-9322
 TEL: 763-262-8822 FAX: 763-262-8844

Rivers Bend Holdings LLC
 Ramsey Villas North
 OUTLOT E, RIVERS BEND 3RD ADDITION
 City of Ramsey, Anoka County, MN

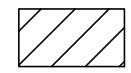








SITE PLAN

SHEET NO.
C2




CALL 48 HOURS BEFORE DIGGING:
GOPHER STATE ONE CALL
 TWIN CITY AREA 651-454-0002
 MINNESOTA TOLL FREE 1-800-252-1166



LEGEND:

-  TEMPORARY ROCK CONSTRUCTION ENTRANCE
-  PROPOSED SOD (TYP)
-  GRADING LIMITS AND PROPOSED TEMPORARY FILTER BERM
-  TEMPORARY SEDIMENT LOG (BIOROLL)
-  980.50 TP NEW TOP OF PAVEMENT ELEVATION
-  980.50 FG NEW FINISHED GRADE ELEVATION
-  980.50 EX EXISTING ELEVATION
-  984 PROPOSED CONTOUR
-  PROPOSED SLOPE

TYPICAL HOUSE PAD:

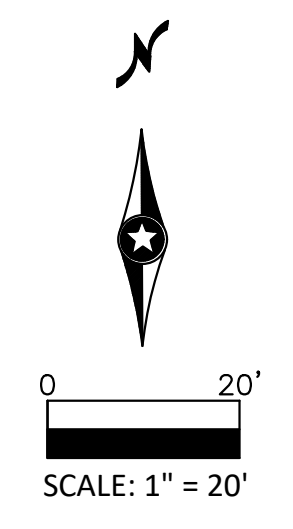
-  954.5 FG SUGGESTED REAR FINISH GRADE
 -  955.0 SLO SUGGESTED LOW FLOOR ELEVATION
 -  958.2 SUGGESTED BUILDING TYPE
 - SUGGESTED GARAGE FLOOR ELEVATION (SHOWN ON STREET SIDE)
- FB: DENOTES FULL BASEMENT
 FBLO: DENOTES FULL BASEMENT LOOKOUT
 SWO: DENOTES SPLIT WALKOUT
 SLO: DENOTES SPLIT LOOKOUT
 FBWO: DENOTES FULL BASEMENT WALKOUT

GRADING GENERAL NOTES:

- THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS IN THE FIELD REPRESENTED WITHIN THE PLANS AS SHOWN AND ALERT THE ENGINEER BEFORE BIDDING THE PROJECT AND BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL LOCATE AND VERIFY ALL UTILITIES WHICH MAY AFFECT THIS WORK AND NOTIFY THE OWNER OF ANY CHANGES. CONTACT LOCAL UTILITY COMPANIES FOR EXACT LOCATIONS PRIOR TO BIDDING THE PROJECT AND COMMENCING WORK.
- CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT SILT AND DEBRIS RUN-OFF DURING GRADING OPERATIONS (I.E. SILT FENCE, STRAW BALES, ETC.).
- CONTRACTOR SHALL VERIFY CRITICAL ELEVATIONS TO ENSURE CONFORMANCE WITH GRADING PLAN, PARTICULARLY WITH EXISTING STRUCTURES AND/OR PAVEMENTS TO REMAIN. MEET EXISTING GRADES ALONG STREETS, PROPERTY LINES, AND DRIVEWAY ENTRANCES. RESTORE ALL PAVEMENTS THAT REMAIN TO THEIR ORIGINAL IF NOT BETTER CONDITION. NOTIFY OWNER OF ANY CONFLICTS PRIOR TO BIDDING THE PROJECT.
- TURF ESTABLISHMENT AREAS SHALL RECEIVE MINIMUM OF 4" DEPTH AS MEASURED IN PLACE OF TOPSOIL. TOPSOIL WILL BE FURNISHED AND INSTALLED BY THE CONTRACTOR. ALL GRADED SLOPES GREATER THAN OR EQUAL TO 5:1 SHALL BE HYDROSEEDDED, EROSION CONTROL BLANKETED, OR MULCHED TO HELP STABILIZE THE SLOPES BY GENERAL CONTRACTOR.

EROSION CONTROL NOTES:


- CONTRACTOR SHALL CONFINE CONSTRUCTION OPERATIONS TO THE CONSTRUCTION/GRADING LIMITS SHOWN.
- ALL WORK SHALL CONFORM TO THE MINNESOTA POLLUTION CONTROL AGENCY'S STORM WATER PERMIT REQUIREMENTS. CONTRACTOR SHALL OBTAIN ALL PERMITS AND COMPLY WITH ALL PERMIT REQUIREMENTS.
- THE SITE SOIL EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE INSTALLED PRIOR TO ANY DEMOLITION OR GRADING OPERATIONS AND MAINTAINED TO CONFORM WITH THE STANDARDS SPECIFIED BY THE PERMIT.
- CONTRACTOR SHALL INSPECT TEMPORARY EROSION CONTROL MEASURES ON THE ENTIRE SITE AT LEAST EVERY 7 DAYS AND WITHIN 24 HOURS OF ANY MEASURABLE RAINSTORM. DAMAGED SILT FENCE OR OTHER EROSION CONTROL DEVICES OR PRACTICES SHALL BE REPAIRED IMMEDIATELY. INSPECTION AND MAINTENANCE OF DEVICES SHALL CONTINUE UNTIL THE SITE HAS UNDERGONE FINAL STABILIZATION AND A NOTICE OF TERMINATION IS SUBMITTED TO THE MPCA.
- ALL GRADING OPERATIONS SHALL BE CONDUCTED IN A MANNER TO MINIMIZE THE POTENTIAL FOR SITE EROSION.
- THE SITE SOIL EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE INSTALLED AND MAINTAINED TO CONFORM WITH THE STANDARDS SPECIFIED BY THE CITY OF RAMSEY AND THE MPCA.
- EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE DISTURBANCE OF ANY AREAS AND MAINTAINED UNTIL ALL TRIBUTARY DISTURBED AREAS ARE RESTORED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EROSION CONTROL MEASURES, INCLUDING SILT FENCE AND BALES, UPON ESTABLISHMENT OF PERMANENT VEGETATION IN SAID AREAS.
- ALL SOILS TRACKED ONTO PAVEMENT OR ANY OTHER OFF-SITE AREA SHALL BE REMOVED DAILY.
- THE SITE SEDIMENT CONTROL FACILITIES FOR THE PROJECT MUST BE INSTALLED PRIOR TO ANY GRADING OPERATION.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED AND VEGETATED AS SOON AS POSSIBLE. ANY FINISHED AREAS SHALL BE SEEDED AND MULCHED WITHIN 7 DAYS AFTER FINISHED GRADING IS COMPLETED IN ACCORDANCE TO MN/DOT 2575.
- ALL DISTURBED AREAS SHALL BE REVEGETATED WITH MN/DOT SEED MIX, MULCHED, FERTILIZED & DISK ANCHORED, PER THE FOLLOWING SCHEDULE:
 SEED MIX 25-131: 220 LB/AC.
 FERTILIZER 22-5-10: 350 LB/AC.
 MULCH TYPE 3: 2 TONS/AC.
- CONTRACTOR SHALL INSTALL TEMPORARY SEDIMENT BMP'S SHOWN AND NOT SHOWN ON PLANS DURING PHASING ON PROJECT TO COMPLY WITH MPCA, CITY INSPECTOR AND DEVELOPER REQUEST

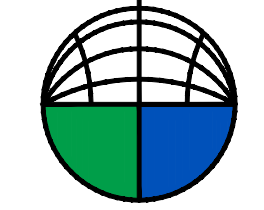


	DESCRIPTION	DATE	REV. NO.	DRAWINGS ISSUED TO CITY
		08/06/2020	1	

DATE:	08/06/2020	C.D.:	MJM	MJM
DESIGN BY:		DRAWN BY:	WFD	WFD
CHECKED BY:		DWG FILE:	GRADING	
		FILE NO.:	20-0000.00	

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signed:  Wesley P. Davis
 Date: 08/06/2020 Lic. No. 55886



BOGART, PEDERSON & ASSOCIATES, INC.
 LAND SURVEYING
 ENVIRONMENTAL SERVICES
 13076 FIRST STREET BECKER, MN 55508-9322
 TEL: 763-262-8822 FAX: 763-262-8844

Rivers Bend Holdings LLC Ramsey Villas North OUTLOT E, RIVERS BEND 3RD ADDITION City of Ramsey, Anoka County, MN	GRADING & EROSION CONTROL PLAN
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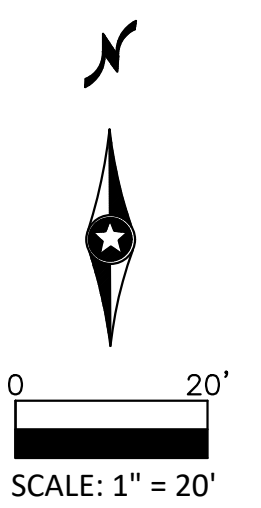
SHEET NO. **C3**

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LEGEND:

- PROPOSED WATER SERVICE
- PROPOSED SANITARY SERVICE
- PROPOSED CURB STOP & BOX



UTILITY GENERAL NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL UTILITY RELOCATIONS.
2. CONTRACTOR SHALL LOCATE AND VERIFY ALL UTILITIES WHICH MAY AFFECT THIS WORK AND NOTIFY OWNER OF ANY CHANGES. CONTACT LOCAL UTILITY COMPANIES FOR EXACT LOCATIONS PRIOR TO BIDDING THE PROJECT AND COMMENCING WORK.
3. CONTRACTOR SHALL VERIFY CRITICAL ELEVATIONS TO ENSURE CONFORMANCE WITH GRADING PLAN AND EXISTING UTILITIES, PARTICULARLY WITH EXISTING STRUCTURES AND/OR PAVEMENTS TO REMAIN.
4. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AS EXISTING IN THE FIELD AND AS REPRESENTED WITHIN THE PLANS AS SHOWN AND ALERT THE ENGINEER BEFORE BIDDING THE PROJECT AND BEGINNING CONSTRUCTION.
5. VERIFY INVERT ELEVATIONS OF EXISTING SANITARY LINE AT POINT OF CONNECTION WITH NEW SANITARY LINE PRIOR TO INSTALLING ANY NEW UTILITIES.
6. ALL CROSSING ELEVATIONS OF NEW UTILITIES & SIZES OF THE EXISTING UTILITIES ARE BASED ON ASSUMED ELEVATIONS AND SIZES PROVIDED BY THE SURVEY.
7. IF DEWATERING IS REQUIRED FOR THIS PROJECT, THE PUMP DISCHARGE SHALL BE TREATED PRIOR TO BEING DISCHARGED OFF-SITE OR INTO A SURFACE WATER. THE DISCHARGE SHALL BE VISUALLY CHECKED TO ENSURE THAT IT IS VISIBLY CLEAN WATER.
8. ALL SANITARY SERVICE PIPE AND FITTINGS WILL BE PVC SDR 26.
9. ALL WATER PIPE AND FITTINGS WILL BE TYPE K COPPER PIPE.
10. CONNECTION LOCATIONS AND ELEVATIONS OFF OF XKIMO CT PER RECORD DRAWINGS. FOR UTILITIES OFF XKIMO CT, CONTRACTOR SHALL VERIFY PIPE LOCATION AND INVERT ELEVATIONS PRIOR TO PROCEEDING WITH UTILITY INSTALLATION. CONTRACTOR SHALL NOTIFY BOGART, PEDERSON & ASSOCIATES IF LOCATION AND/OR INVERTS ARE DIFFERENT THAN PLAN INDICATES.
11. THE APPLICANT SHALL BE RESPONSIBLE FOR REPLACING ANY ASPHALT PAVEMENT WHICH IS DAMAGED OR REMOVED AS A RESULT OF THE PROPOSED SERVICE INSTALLATION.

EXISTING STUB LOCATIONS WERE PROVIDED BY RECORD PLANS FROM THE CITY. FIELD VERIFY PRIOR TO REMOVING PAVEMENT SECTION ON XKIMO CT.

CONNECT INTO EXISTING WATER SERVICE. VERIFY CURB STOP AND BOX LOCATION.

CONNECT INTO EXISTING SANITARY STUB. VERIFY LOCATION AND ELEVATION ON EXISTING STUB.

39 LF OF 4" SDR-26 PVC @ 2.0%
 49 LF OF 1" COPPER PIPE
 CONNECT TO EXISTING 8" PVC SDR 35 SANITARY SEWER WITH WYE. INV.=851.65± (FIELD VERIFY LOCATION & INVERT)
 CONNECT 1" WATER SERVICE INTO 6" DIP WATER MAIN WITH CORP. COCK

CONNECT TO EXISTING 8" PVC SDR 35 SANITARY SEWER WITH WYE. INV.=851.65± (FIELD VERIFY LOCATION & INVERT)
 51 LF OF 1" COPPER PIPE
 40 LF OF 4" SDR-26 PVC @ 2.0%

	DESCRIPTION	DATE	REV. NO.	DATE	REV. NO.
	DRAWINGS ISSUED TO CITY	08/06/2020	1	08/06/2020	1
DATE: 08/06/2020		DESIGN BY: C.J.D. MJM			
		DRAWN BY: MJM			
		CHECKED BY: WFD			
		DWG FILE: UTILITY			
		FILE NO.: 20-0000.00			
<p>I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.</p> <p>Signed: Wesley P. Davis Lic. No. 55886 Date: 08/06/2020</p>					
<p>BOGART, PEDERSON & ASSOCIATES, INC. LAND SURVEYING ENVIRONMENTAL SERVICES 13076 FIRST STREET, BECKER, MN 55508-9322 TEL: 763-262-8822 FAX: 763-262-8844</p>					
<p>Rivers Bend Holdings LLC Ramsey Villas North OUTLOT E, RIVERS BEND 3RD ADDITION City of Ramsey, Anoka County, MN</p>			<p>UTILITY PLAN</p>		
SHEET NO.					
C4					

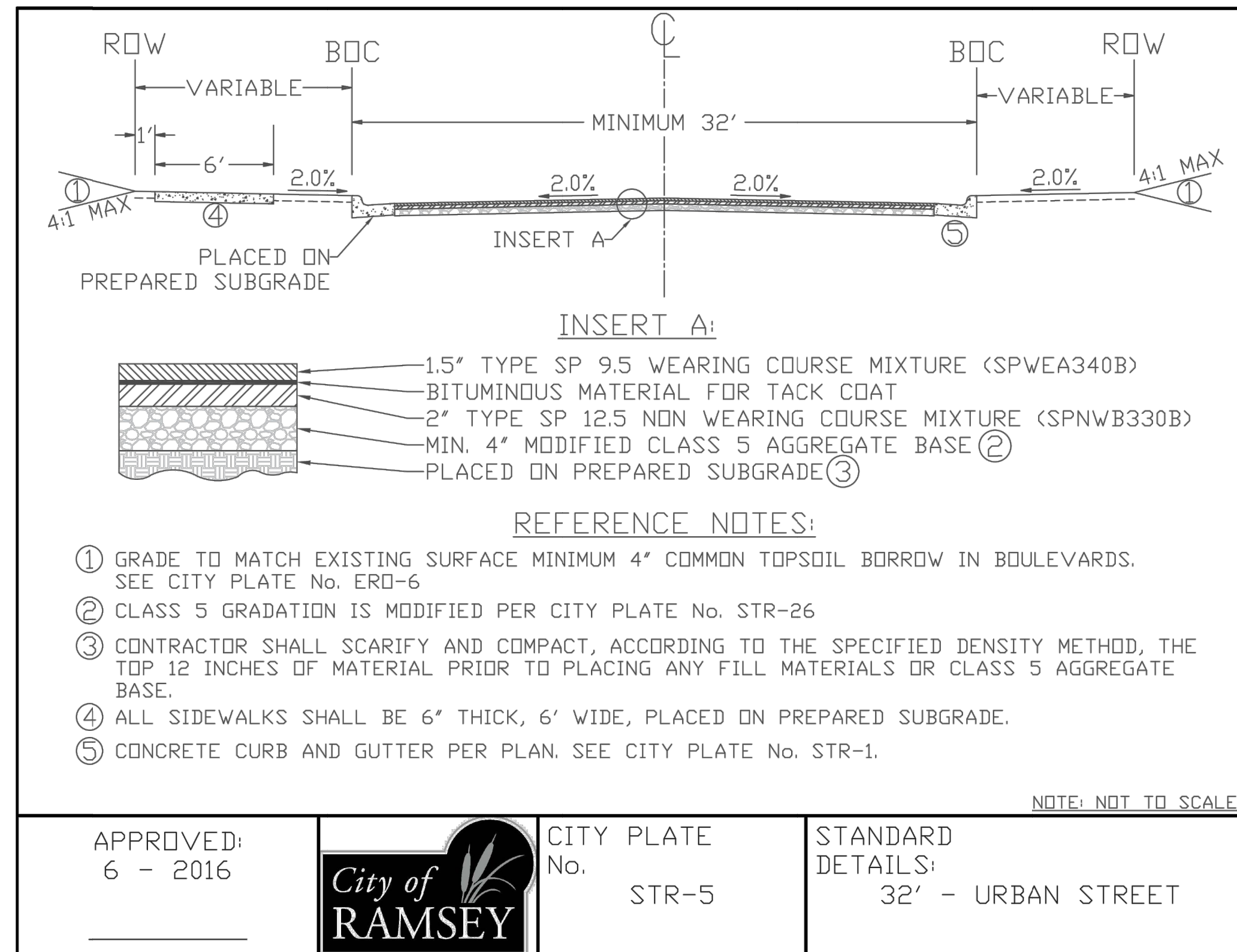
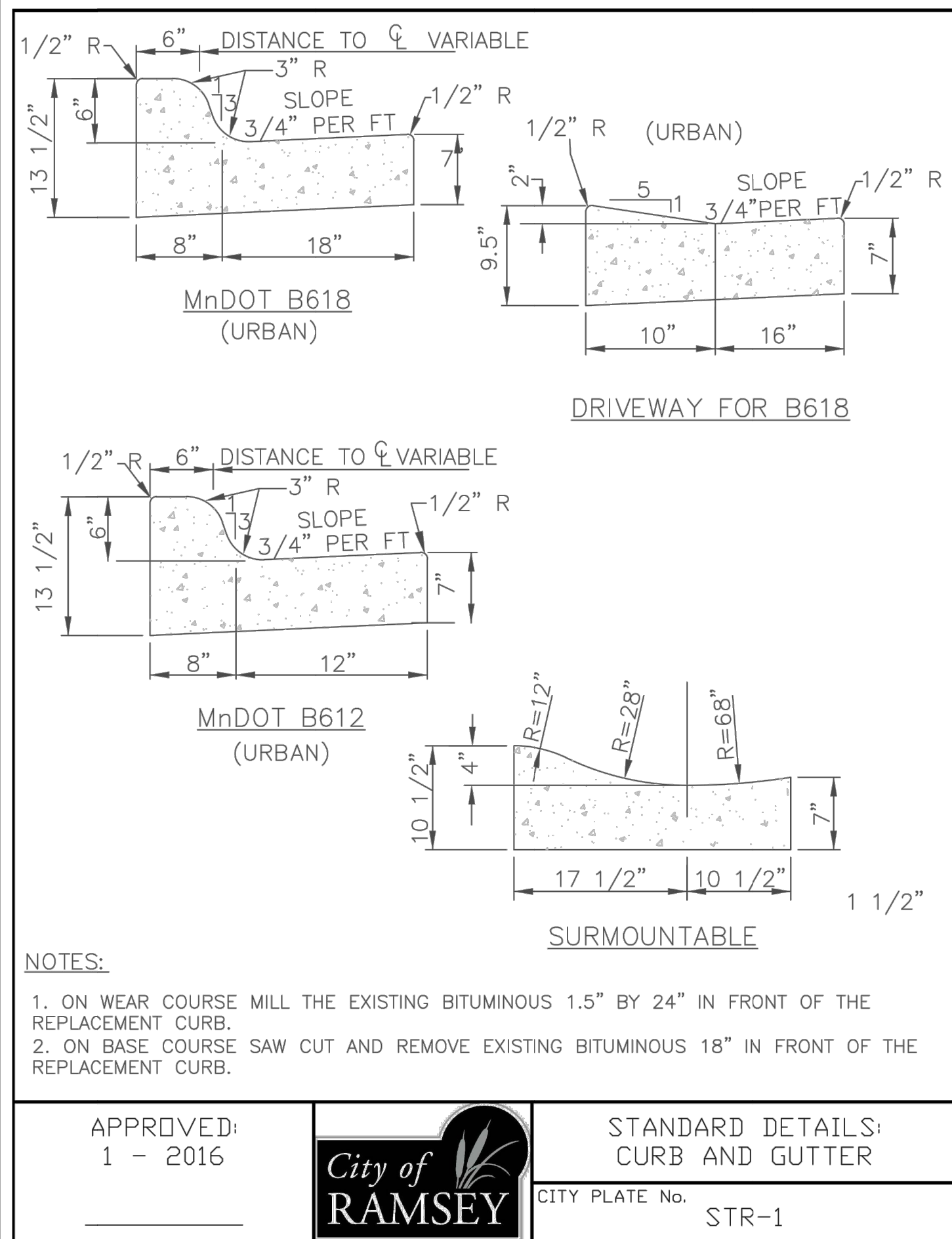


TABLE A MODIFIED CLASS 5 SPECIFICATIONS

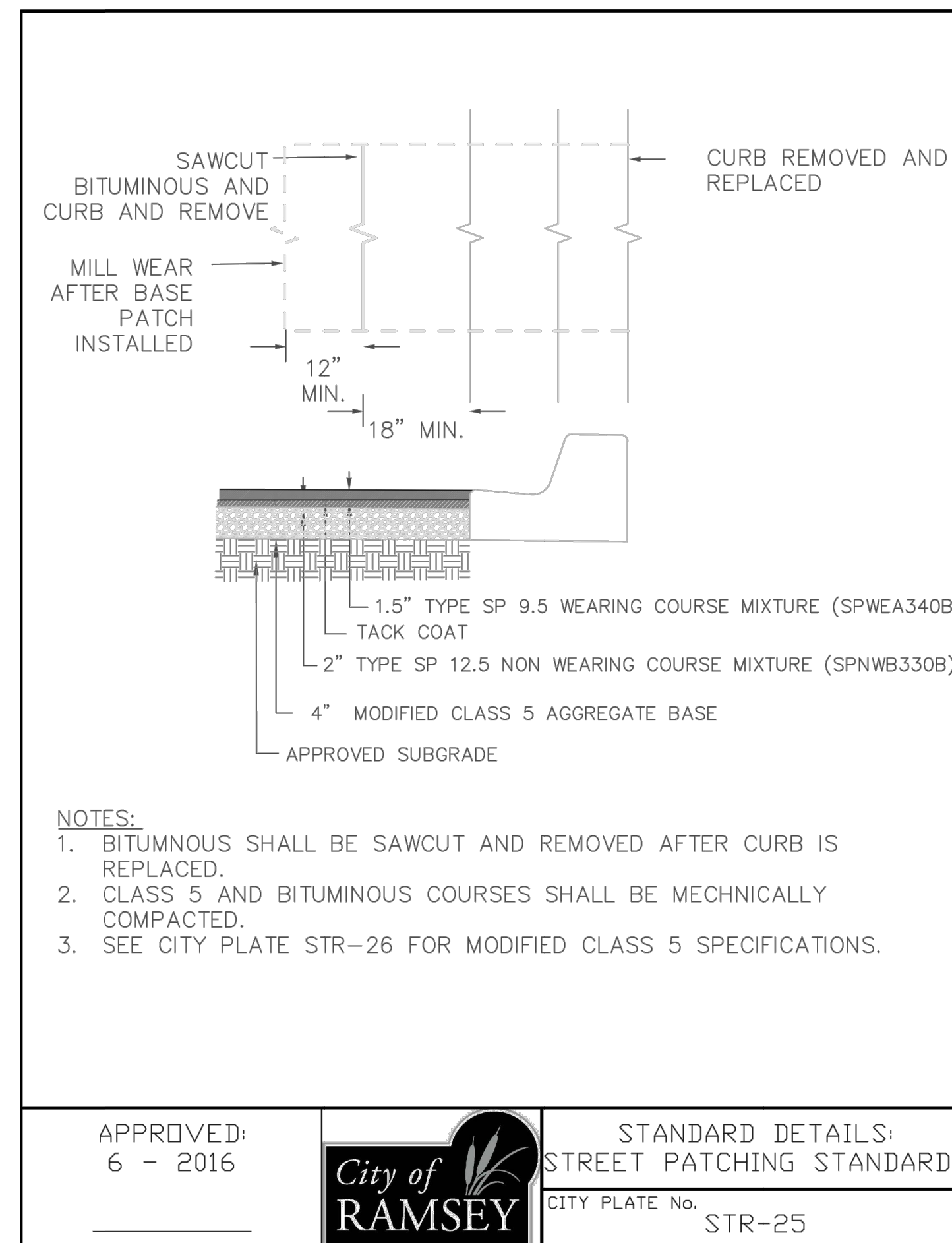
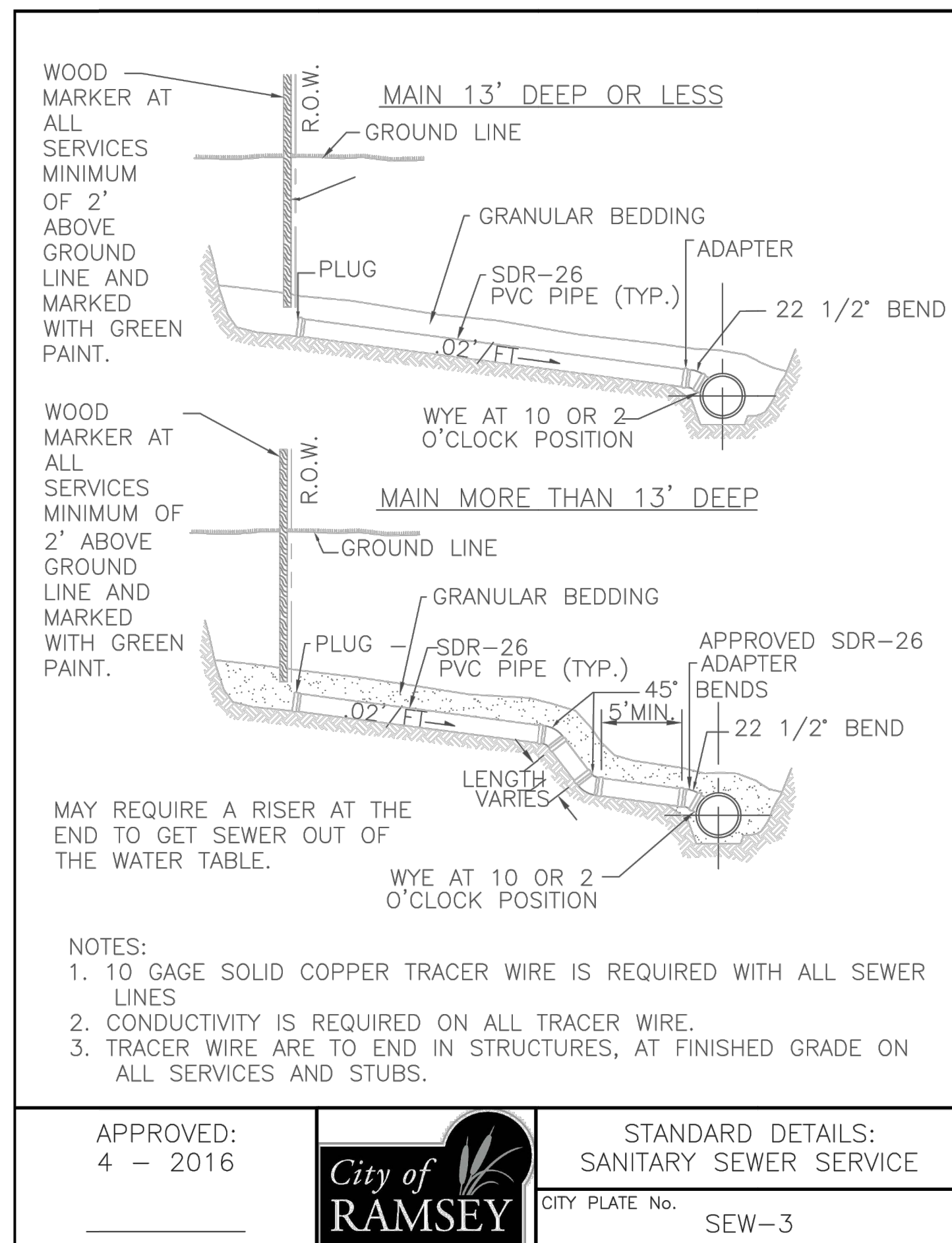
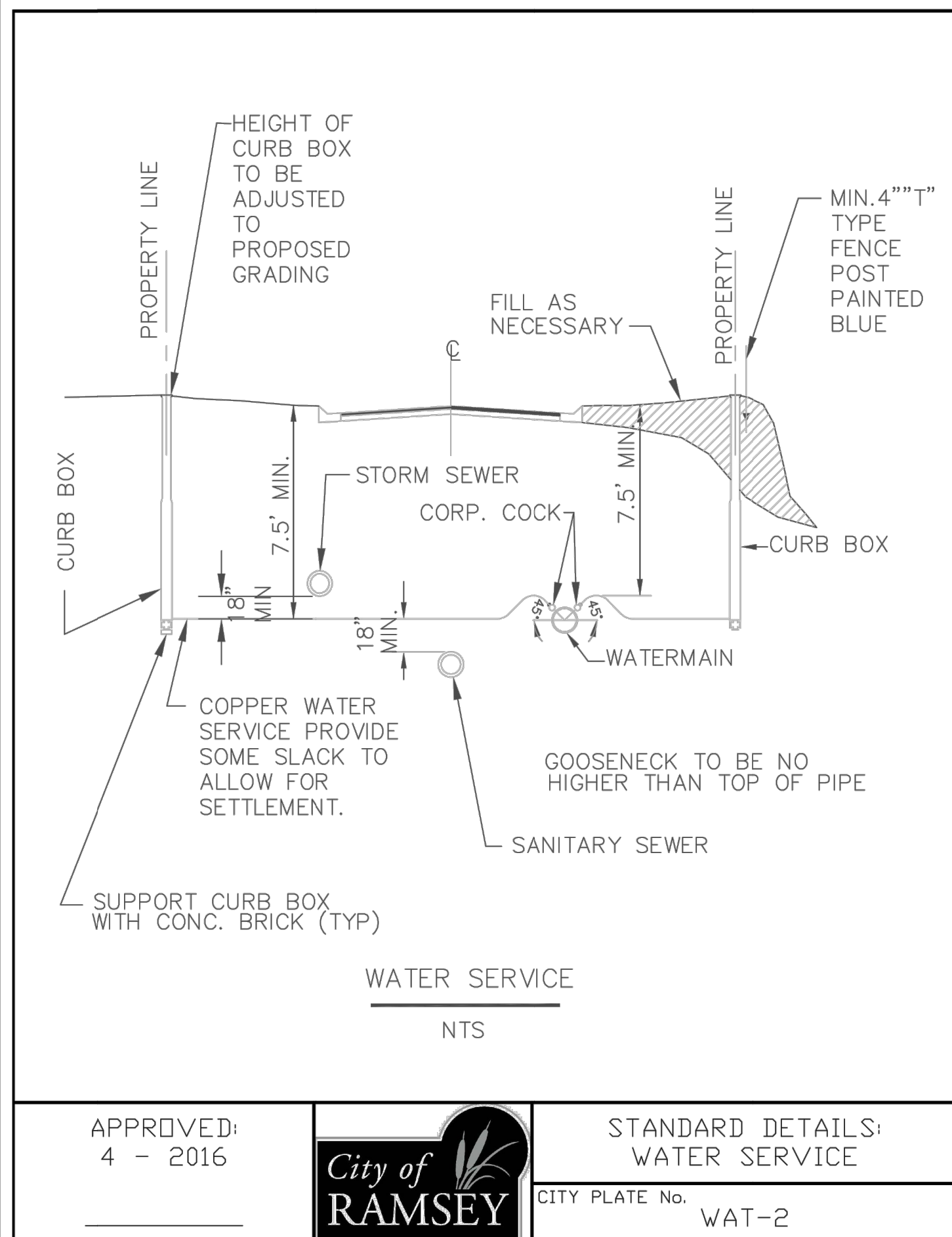
% PASSING	
1"	100
3/4"	90 - 100
3/8"	50 - 80
No.4	35 - 70
No.10	20 - 60
No.40	10 - 35
No.200	5 - 10

NOTES:
 1. THE AGGREGATE BASE CONSTRUCTION WILL BE ACCEPTED FOR PAYMENT IN ACCORDANCE WITH THE PROVISIONS IN TABLE A.
 2. IF THE AGGREGATE BASE FAILS TO MEET THE REQUIREMENTS OF TABLE A THE MATERIAL CAN BE CORRECTED IN PLACE OR REMOVED AND REPLACED WITH MATERIAL THAT MEET THE REQUIREMENTS OF TABLE A.
 3. IN THE EVENT THAT RECYCLED MATERIAL IS USE IT MUST MEET MNDOT REQUIREMENTS FOR RECYCLED BASE.

APPROVED: 2 - 2003

City of RAMSEY

STANDARD DETAILS: MODIFIED CLASS 5 SPECIFICATIONS
 CITY PLATE No. STR-26



REV. NO.	DATE	DESCRIPTION
1	08/06/2020	DRAWINGS ISSUED TO CITY
DATE:	DESIGN BY:	DRAWN BY:
08/06/2020	C.J.D. M.J.M.	M.J.M.
CHECKED BY:	DWG FILE:	FILE NO.:
W.P.D.	DETAILS	20-0000.00
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.		
Signed:	Wesley P. Davis	Lic. No. 55866
Date:	08/06/2020	Lic. No. 55866

BOGART, PEDERSON & ASSOCIATES, INC.

LAND SURVEYING
 ENVIRONMENTAL SERVICES
 13076 FIRST STREET BECKER, MN 55508-9322
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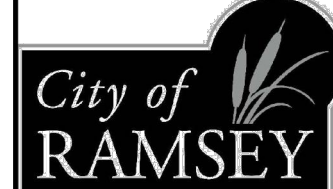
<p>Rivers Bend Holdings LLC Ramsey Villas North OUTLOT E, RIVERS BEND 3RD ADDITION City of Ramsey, Anoka County, MN</p>	<p>CONSTRUCTION DETAILS</p>
SHEET NO.	C5

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Notes:

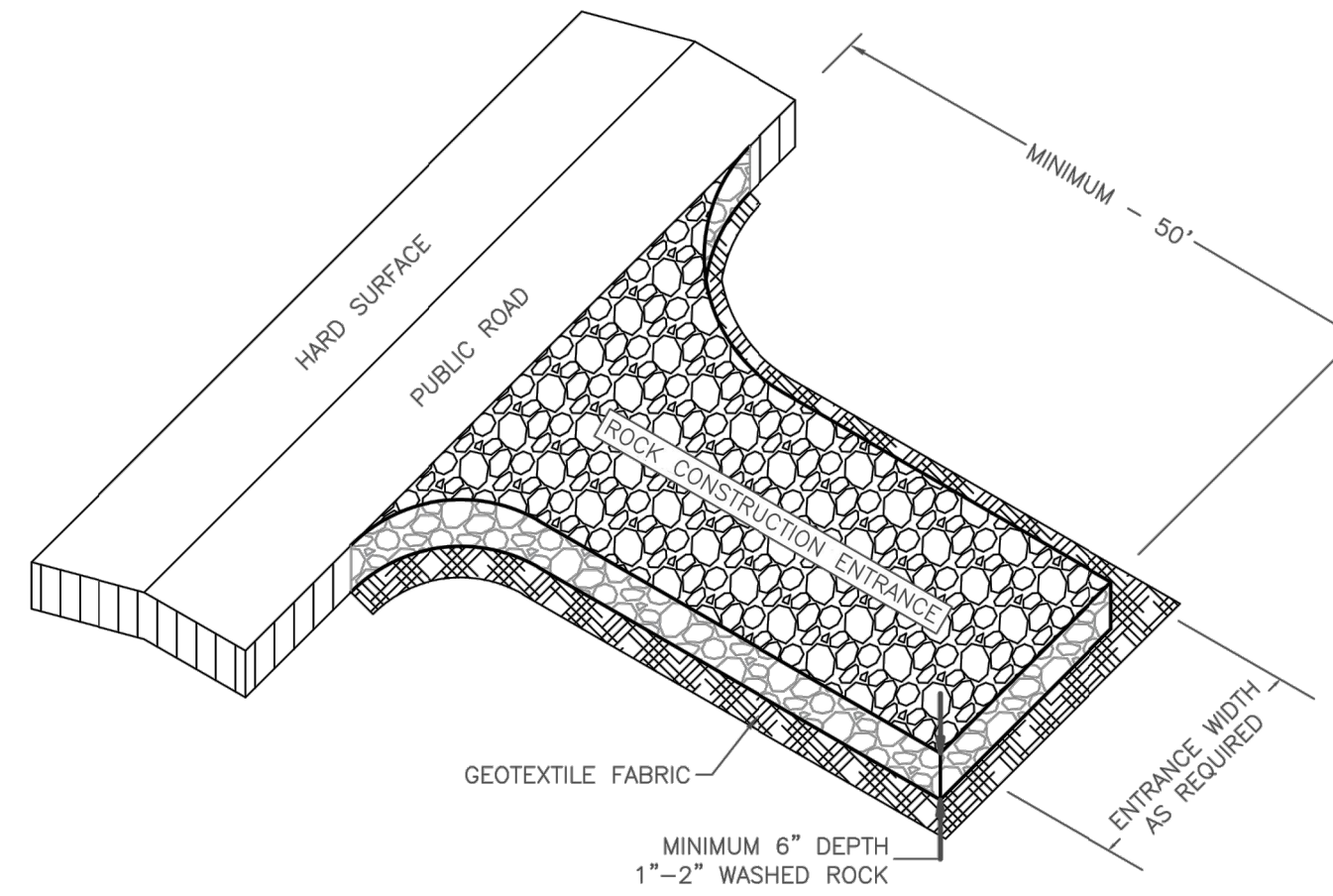
1. INSTALLATION OF 4" OF TOPSOIL REQUIRED ACROSS ALL DISTURBED AREAS.
2. TOPSOIL IS DEFINED AS BLACK DIRT COMPOSED OF UNCONSOLIDATED MATERIAL, LARGELY UNDECOMPOSED ORGANIC MATTER WHICH IS SUITABLE FOUNDATION FOR VEGETATIVE GROWTH.
3. THE COMPOSITION OF TOPSOIL SHOULD CONTAIN NO MORE THAN THIRTY-FIVE PERCENT (35%) SAND CONTENT.

APPROVED:
7 - 2019



STANDARD DETAILS:
TOPSOIL REQUIREMENTS

CITY PLATE No. ERO-6



NOTE:

1. MINIMUM CONSTRUCTION ENTRANCE WIDTH EQUAL TO PROPOSED ROADWAY WIDTH.
2. WIDTH OF RADIUS AS REQUIRED TO ENSURE VEHICLES DO NOT TRACK ONTO PUBLIC ROAD.
3. MAINTENANCE AS REQUIRED TO PREVENT TRACKING ONTO PUBLIC ROADS. THIS MAY REQUIRE TOP DRESSING WITH ADDITIONAL ROCK OR REMOVAL AND REINSTALLATION OF THE ENTRANCE AS NEEDED.

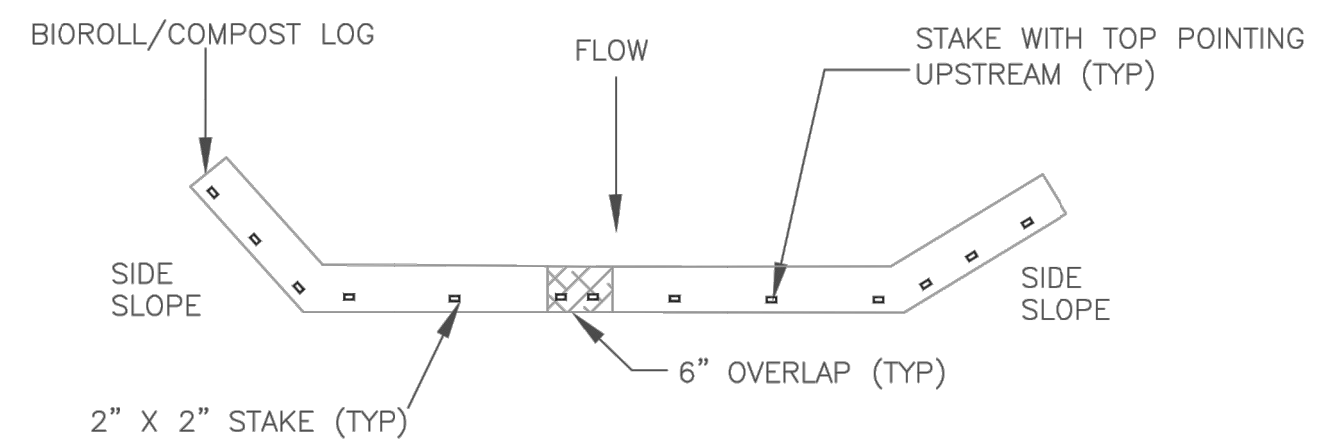
NOT TO SCALE

APPROVED:
1 - 2016

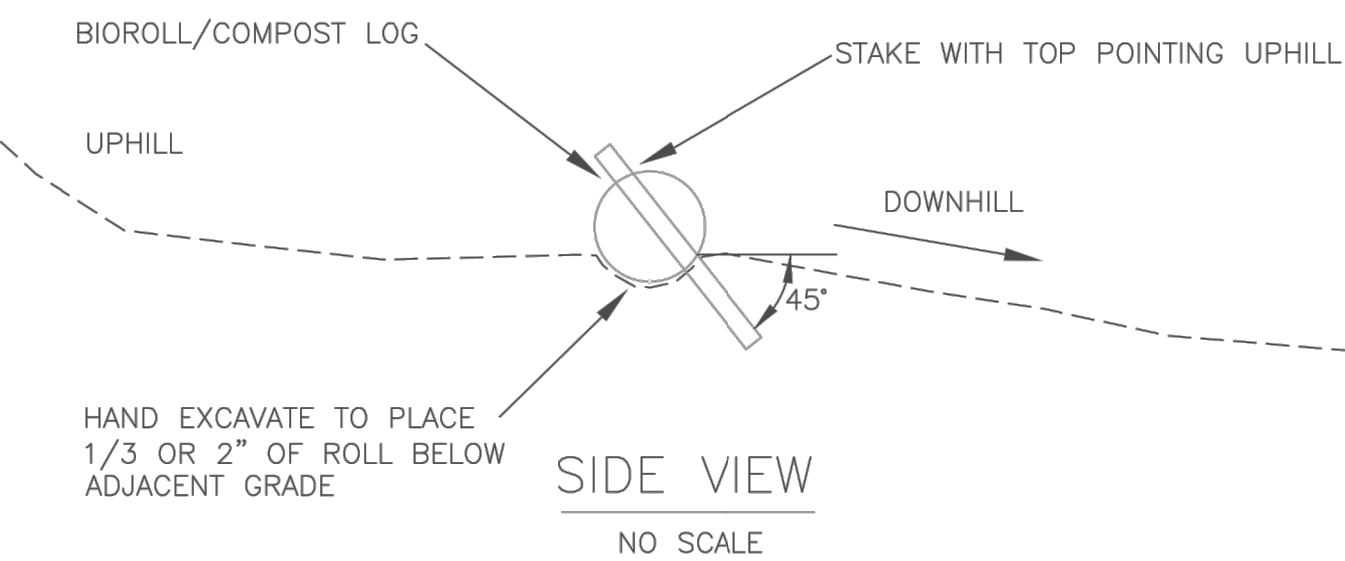


STANDARD DETAILS:
ROCK CONSTRUCTION ENTRANCE

CITY PLATE No. ERO-5



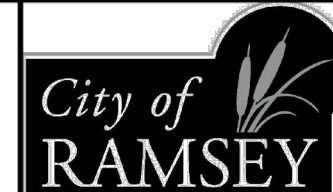
PLAN VIEW



NOTE:

- STAKE INTO GROUND WITH WOOD STAKES DRIVING STAKE 6" INTO GROUND AND PROTRUDING 2" ABOVE LOG
- WOOD STAKES ARE A MINIMUM 0.5" X 2" X 16" AND PLACED EVERY 1' UNLESS PRECLUDED BY A ROCK
- WHEN MORE THAN 1 BIOROLL/COMPOST LOG IS NEEDED, OVERLAP ENDS A MINIMUM OF 6" AND STAKE
- WOOD STAKES ARE DRIVEN THROUGH BACK HALF OF BIOROLL OR COMPOST LOG AT 45° ANGLE WITH TOP OF STAKE POINTING UPHILL

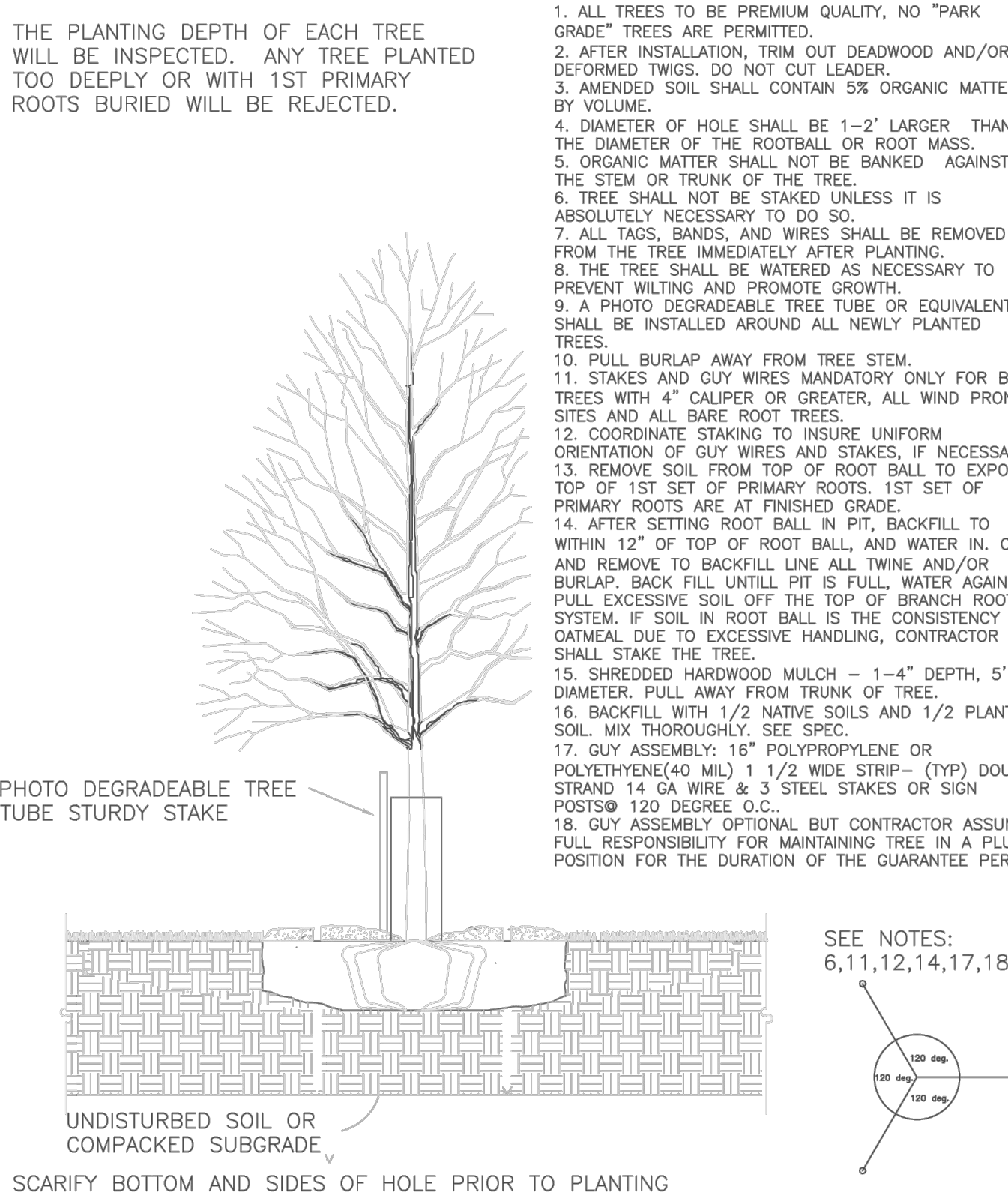
APPROVED:
3 - 2016



STANDARD DETAILS:
BIO ROLL (COMPOST LOG)

CITY PLATE No. ERO-4

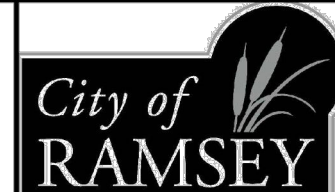
THE PLANTING DEPTH OF EACH TREE WILL BE INSPECTED. ANY TREE PLANTED TOO DEEPLY OR WITH 1ST PRIMARY ROOTS BURIED WILL BE REJECTED.



1. ALL TREES TO BE PREMIUM QUALITY, NO "PARK GRADE" TREES ARE PERMITTED.
2. AFTER INSTALLATION, TRIM OUT DEADWOOD AND/OR DEFORMED TWIGS. DO NOT CUT LEADER.
3. AMENDED SOIL SHALL CONTAIN 5% ORGANIC MATTER BY VOLUME.
4. DIAMETER OF HOLE SHALL BE 1-2" LARGER THAN THE DIAMETER OF THE ROOTBALL OR ROOT MASS.
5. ORGANIC MATTER SHALL NOT BE BANKED AGAINST THE STEM OR TRUNK OF THE TREE.
6. TREE SHALL NOT BE STAKED UNLESS IT IS ABSOLUTELY NECESSARY TO DO SO.
7. ALL TAGS, BANDS, AND WIRES SHALL BE REMOVED FROM THE TREE IMMEDIATELY AFTER PLANTING.
8. THE TREE SHALL BE WATERED AS NECESSARY TO PREVENT WILTING AND PROMOTE GROWTH.
9. A PHOTO DEGRADABLE TREE TUBE OR EQUIVALENT SHALL BE INSTALLED AROUND ALL NEWLY PLANTED TREES.
10. PULL BURLAP AWAY FROM TREE STEM.
11. STAKES AND GUY WIRES MANDATORY ONLY FOR B&B TREES WITH 4" CALIPER OR GREATER, ALL WIND PRONE SITES AND ALL BARE ROOT TREES.
12. COORDINATE STAKING TO INSURE UNIFORM ORIENTATION OF GUY WIRES AND STAKES, IF NECESSARY.
13. REMOVE SOIL FROM TOP OF ROOT BALL TO EXPOSE TOP OF 1ST SET OF PRIMARY ROOTS. 1ST SET OF PRIMARY ROOTS ARE AT FINISHED GRADE.
14. AFTER SETTING ROOT BALL IN PIT, BACKFILL TO WITHIN 12" OF TOP OF ROOT BALL, AND WATER IN. CUT AND REMOVE TO BACKFILL LINE ALL TWINE AND/OR BURLAP. BACK FILL UNTILL PIT IS FULL, WATER AGAIN. PULL EXCESSIVE SOIL OFF THE TOP OF BRANCH ROOT SYSTEM. IF SOIL IN ROOT BALL IS THE CONSISTENCY OF OATMEAL DUE TO EXCESSIVE HANDLING, CONTRACTOR SHALL STAKE THE TREE.
15. SHREDDED HARDWOOD MULCH - 1-4" DEPTH, 5" DIAMETER. PULL AWAY FROM TRUNK OF TREE.
16. BACKFILL WITH 1/2 NATIVE SOILS AND 1/2 PLANTING SOIL. MIX THOROUGHLY. SEE SPEC.
17. GUY ASSEMBLY: 16" POLYPROPYLENE OR POLYETHYLENE (40 MIL) 1 1/2" WIDE STRIP - (TYP) DOUBLE STRAND 14 GA WIRE & 3 STEEL STAKES OR SIGN POSTS @ 120 DEGREE O.C.
18. GUY ASSEMBLY OPTIONAL BUT CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR MAINTAINING TREE IN A PLUMB POSITION FOR THE DURATION OF THE GUARANTEE PERIOD.

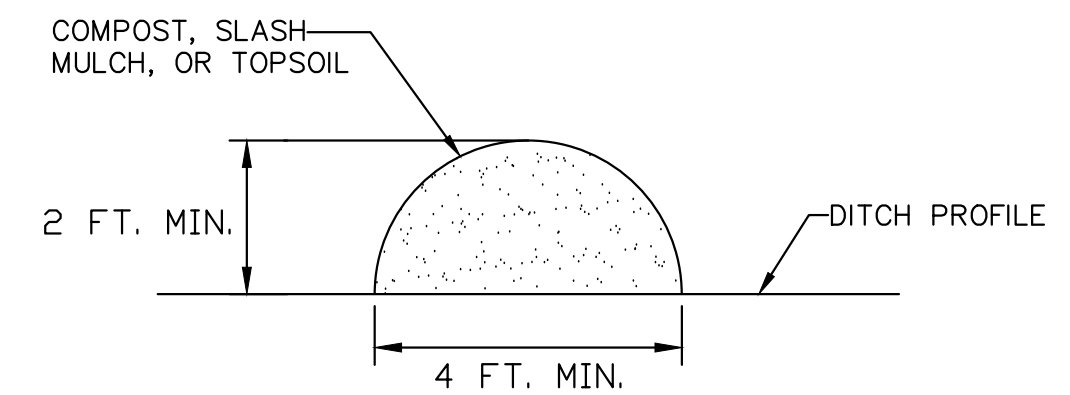
SEE NOTES:
6,11,12,14,17,18

APPROVED:
5 - 1997



STANDARD DETAILS:
TREE PLANTING

CITY PLATE No. PARK-2



TYPE 1 (COMPOST), TYPE 2 (SLASH MULCH), OR TYPE 4 (TOPSOIL)

FILTER BERM
N.T.S.

REV. NO.	DATE	DESCRIPTION
1	08/06/2020	DRAWINGS ISSUED TO CITY

DATE: 08/06/2020
 DESIGN BY: C.J.D. M.J.M.
 DRAWN BY: M.J.M.
 CHECKED BY: W.P.D.
 DWG FILE: DETAILS
 FILE NO.: 20-0000.00

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signed: Wesley P. Davis
 Date: 08/06/2020 Lic. No. 55866

BOGART, PEDERSON & ASSOCIATES, INC.
 LAND SURVEYING
 ENVIRONMENTAL SERVICES
 13076 FIRST STREET BECKER, MN 55508-9322
 TEL: 763-262-8822 FAX: 763-262-8844

Rivers Bend Holdings LLC
 Ramsey Villas North
 OUTLOT E, RIVERS BEND 3RD ADDITION
 City of Ramsey, Anoka County, MN
CONSTRUCTION DETAILS

SHEET NO.
C6

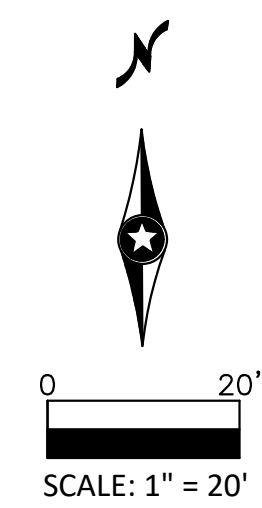
EXISTING TREE TABLE

Tree #	Species	DBH	Condition	Stems
1	Redcedar	3.5	Good	1
2	Oak, pin	4.5	Good	1
3	Elm, American	10.0	Good	1
4	Boxelder	18.0	Fair	1
5	Redcedar	9.5	Fair	1
6	Boxelder	22.5	Good	3
7	Boxelder	25.5	Good	3
8	Oak, pin	5.5	Good	1
9	Redcedar	16.0	Good	1
10	Oak, pin	9.0	Good	1
11	Redcedar	3.0	Good	1
12	Redcedar	4.5	Good	1
13	Oak, pin	4.0	Good	1
14	Oak, pin	5.5	Good	1
15	Oak, pin	5.5	Good	1
16	Boxelder	21.5	Good	3
17	Boxelder	13.0	Good	2
18	Redcedar	3.0	Good	1
19	Oak, pin	3.0	Good	1
20	Oak, pin	5.5	Good	1
21	Oak, pin	8.5	Good	1
22	Oak, pin	10.0	Good	1
23	Redcedar	12.0	Good	1
24	Oak, pin	5.0	Good	1
25	Oak, pin	10.0	Good	1
26	Oak, pin	5.5	Good	1
27	Oak, pin	5.0	Fair	1
28	Oak, pin	7.0	Good	1
29	Oak, pin	7.0	Good	1
30	Oak, pin	4.0	Fair	1
31	Oak, pin	8.0	Good	1
32	Oak, pin	6.0	Good	1
33	Oak, pin	7.0	Good	1
34	Oak, pin	25.0	Good	1
35	Oak, bur	13.0	Good	1
36	Oak, bur	16.0	Good	1
37	Oak, pin	19.5	Fair	1
38	Oak, pin	16.0	Good	1
39	Oak, pin	16.5	Good	1
40	Oak, pin	13.0	Good	1
41	Oak, pin	21.5	Good	1
42	Oak, pin	34.0	Good	2
43	Oak, pin	17.0	Fair	1
44	Oak, pin	20.0	Fair	1
45	Oak, bur	6.5	Good	1
46	Boxelder	10.0	Fair	1
47	Boxelder	12.5	Fair	1
48	Boxelder	11.0	Fair	1
49	Ash, green	19.0	Good	1
50	Ash, green	9.0	Good	1
51	Cherry, black	15.0	Good	1
52	Oak, bur	8.0	Fair	1
53	Oak, bur	5.0	Fair	1
54	Oak, bur	16.0	Good	2
55	Ash, black	9.5	Good	1
56	Oak, bur	20.5	Good	2
57	Oak, pin	23.0	Good	1
58	Oak, bur	11.0	Good	1
59	Boxelder	11.5	Good	1
60	Oak, bur	14.0	Good	1
61	Boxelder	8.0	Good	1
62	Oak, bur	18.0	Fair	1
63	Oak, bur	11.0	Good	1
64	Oak, bur	19.5	Good	1
65	Cherry, black	8.0	Good	1
66	Oak, bur	5.0	Good	1
67	Oak, bur	8.5	Good	1
68	Cherry, black	10.5	Good	1
69	Ash, green	8.0	Good	1
70	Boxelder	12.0	Fair	1
71	Boxelder	8.0	Fair	1
72	Boxelder	8.5	Fair	1
73	Ash, green	9.0	Good	1
74	Willow	10.0	Good	1
75	Willow	9.5	Good	1
76	Willow	13.5	Good	2
77	Willow	12.5	Good	1
78	Ash, green	11.0	Good	1
79	Oak, bur	27.5	Fair	1
80	Oak, bur	7.5	Good	1
81	Oak, bur	5.5	Good	1
82	Ash, black	9.0	Good	1
83	Boxelder	9.0	Good	1
84	Oak, bur	23.0	Good	1
85	Oak, bur	13.5	Good	1
86	Oak, bur	9.5	Good	1
87	Oak, bur	21.0	Good	1
88	Oak, bur	12.5	Good	1
89	Oak, bur	14.0	Good	1
90	Oak, bur	12.5	Good	1
91	Oak, bur	11.5	Good	1
92	Oak, bur	14.0	Good	1
93	Oak, bur	13.0	Fair	1
94	Boxelder	8.5	Fair	1
95	Boxelder	13.0	Fair	1
96	Boxelder	9.5	Fair	1
97	Oak, bur	14.5	Good	1
98	Pine, white	9.0	Fair	1
99	Pine, white	6.0	Good	1
100	Pine, white	7.0	Good	1



LEGEND:

- PROPOSED DRIVEWAY LOCATION
- PROPOSED SOD
- PROPOSED DECIDUOUS TREE
- PROPOSED CONIFEROUS TREE
- PROPOSED SHRUB
- EXISTING TREE LOCATED BY ARBORIST
- CLEARING AND GRUBBING (AS INDICATED)
- MAINTAIN AND PROTECT



LANDSCAPE NOTES:

- NUMBERED TREES WERE LOCATED AND IDENTIFIED BY STEPHEN NICHOLSON CF (TREEBIZ LLC). SEE THE EXISTING TABLE FOR ADDITIONAL INFORMATION. GRAYED OUT TREES ARE TO BE REMOVED.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED AND VEGETATED AS SOON AS POSSIBLE. ANY FINISHED AREAS SHALL BE SEEDED AND MULCHED WITHIN 7 DAYS AFTER FINISHED GRADING IS COMPLETED IN ACCORDANCE TO MN/DOT 2575.
- ANY CLEARING OF OAK STANDS SHALL BE PREFORMED PRIOR TO APRIL 15 OR AFTER JULY 15 OF EACH SEASON.
- SOILS ARE CHARACTERIZED AS NYMORE LOAMY SAND, 6 TO 12 PERCENT SLOPES, HYDROLOGIC GROUP A.
- PLANTING SOIL SHALL CONSIST 1:1:1 CONSISTING OF 33% SELECT LOAMY TOPSOIL, 33% PEAT MOSS, 33% PIT RUN SAND.
- ALL DISTURBED AREAS SHALL BE REVEGETATED WITH MN/DOT SEED MIX, MULCHED, & DISK ANCHORED, PER THE FOLLOWING SCHEDULE:
 SEED MIX 25-131: 220 LB/AC.
 MULCH TYPE 3: 2 TONS/AC.

FORESTER STATEMENT

On July 24, 2020 I performed a tree inventory and assessment at the property located at the corner of Xkimo Street and Xkimo Court (PID 25-32-25-31-0006). Information relating to tree species, diameter, condition and location was submitted to Bogart, Pederson & Associates for permitting purposes.

Stephen Nicholson
 TreeBiz LLC
 ISA Certified Arborist MN-4305A
 Certified Forester 2369

PLANTING SCHEDULE

QUANTITY	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
TREES					
4	HB	HACKBERRY	CELTIS OCCIDENTALIS	2" DIAMETER	STRAIGHT TRUNK, NO V-CROTCH
2	DH	DOTTED HAWTHORN	CRATAEGUS MOLLIS	2" DIAMETER	STRAIGHT TRUNK, NO V-CROTCH
2	BO	BUR OAK	QUERCUS MACROCARPA	2" DIAMETER	STRAIGHT TRUNK, NO V-CROTCH
10	WS	WHITE SPRUCE	PICEA GLAUCA	6' HIGH	STRAIGHT TRUNK, NO V-CROTCH
18	TOTAL				
SHRUBS					
9	SB	SILVER BUFFALOBERY	SHEPHERDIA CANADENSIS	24"	
9	TOTAL				

CALL 48 HOURS BEFORE DIGGING:
GOPHER STATE ONE CALL
 TWIN CITY AREA 651-454-0002
 MINNESOTA TOLL FREE 1-800-252-1166

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota. Signed: Wesley P. Davis Lic. No. 55866 Date: 08/06/2020	DATE: 08/06/2020 DESIGN BY: C.J.D. M.J.M. DRAWN BY: M.J.M. CHECKED BY: W.P.D. DWG FILE: LANDSCAPE FILE NO.: 20-0000.00	REV. NO. 1 DATE 08/06/2020 DESCRIPTION DRAWINGS ISSUED TO CITY	 BOGART, PEDERSON & ASSOCIATES, INC. LAND SURVEYING ENVIRONMENTAL SERVICES 13076 FIRST STREET BECKER, MN 55508-9322 TEL: 763-262-8622 FAX: 763-262-8844
Rivers Bend Holdings LLC Ramsey Villas North OUTLOT E, RIVERS BEND 3RD ADDITION City of Ramsey, Anoka County, MN LANDSCAPE PLAN		SHEET NO. L1	

Preliminary Plat of RAMSEY VILLAS NORTH

**CITY OF RAMSEY
COUNTY OF ANOKA
SEC.25, TWP.32, RNG.25**

For the purposes of this plat, the west line of Outlot E, RIVER'S BEND 3RD ADDITION is assumed to be N 0°16'54" W.

- Denotes 1/2 inch x 14 inch iron monument set with a plastic plug stamped R.L.S. 47466.
- Denotes 1/2 inch x 14 inch iron monument with a plastic plug stamped R.L.S. 47466 to be set within one year of platting date.
- Denotes iron monument found (IP # 18420, unless otherwise indicated).

REFERENCE BENCHMARK:
MNDOT Geodetic Monument "0206 AK" at Trunk Hwy 47 milepost 22.95, 47.2 feet W. of a southbound Trunk Hwy 47 fog line and 0.25 miles North along Trunk Hwy 47 from the intersection of Trunk Hwy 47 and County Rd 5.
Elevation = 862.11 feet (NAVD 88)

PROJECT BENCHMARK:
Top nut hydrant in the NE quadrant at the intersection of Xkimo Street NW and Trunk Hwy 47.
Elevation = 867.47 feet (NAVD 88)

OWNER/DEVELOPER:
River's Bend Holdings, LLC
Richard Foster
19230 Evans Street NW
Elk River, MN 55330
763-241-1801

SURVEYORS & ENGINEERS:
Bogart, Pederson & Associates, Inc.
13076 First Street
Becker, MN 55308-9322
763-262-8822

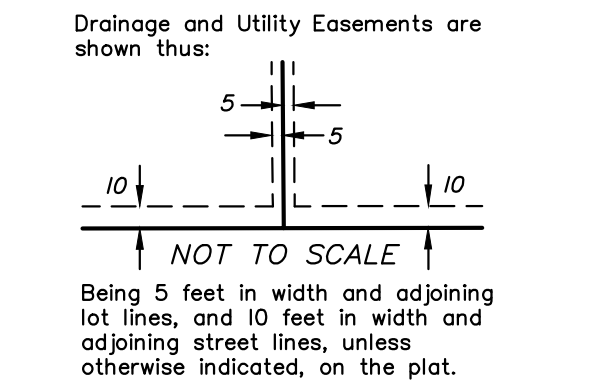
TOTAL AREA: 59,887± S.F. (1.37± Ac.)

EXISTING ZONING: Medium-Density Residential (R-2)

PROPOSED ZONING: Medium-Density Residential (R-2)

MINIMUMS:
50 feet Lot Width
0.15 Acres

DENOTES BUILDING SETBACKS:
25' exterior boundary
25' front yard
25' side yard corner lot
20' rear
16.5' wetland
5' side



DATE: August 6, 2020
FIELD DATE: July 28, 2020
BK/PG: xxx/xxx
DRAWN BY: CJR
CHECKED BY: RMB,CAW
DWG FILE: 20-0234 Prelim Plat
FILE NO: 20-0234.00

REVISIONS:

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Signed: *Craig Wensmann*
Craig A. Wensmann
Date: 8/6/20 Lic. No. 47466

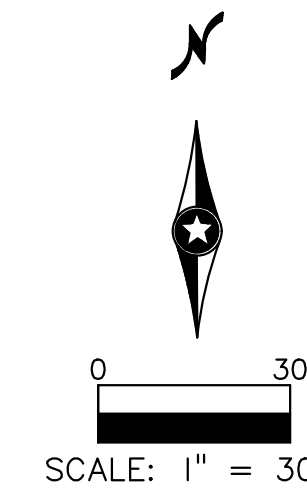
BOGART, PEDERSON & ASSOCIATES, INC.
LAND SURVEYING
CIVIL ENGINEERING
MAPPING
13076 FIRST STREET, BECKER, MN 55308-9322
TEL: 763-262-8822 FAX: 763-262-8844

PRELIMINARY PLAT
for
River's Bend Holdings, LLC
RAMSEY VILLAS NORTH
City of Ramsey
Anoka County, MN

Property Description (Title Commitment No. 12007-17):
Outlot E, RIVER'S BEND 3RD ADDITION, Anoka County, Minnesota.

Surveyor's Note(s):

1. Subject property is not within a flood plain district as mapped by FEMA or shoreland district.
2. A wetland delineation was performed by Matthew Blesi, BWSR Cert. No. 5092 of Bogart, Pederson & Associates, Inc. on July 24th, 2020.
3. Plat contains three (3) lots.



LEGEND:

- Denotes mailbox
- Denotes sanitary manhole
- Denotes water valve
- Denotes sign
- Denotes power pole
- Denotes electric vault
- Denotes hydrant
- Denotes soil boring
- Denotes light pole
- Denotes gas meter
- Denotes delineated wetland interior
- Denotes James M. Winter, LS
- Denotes Charles R. Christopherson, LS
- Denotes bituminous surface
- Denotes concrete surface
- Denotes underground telephone
- Denotes overhead electric
- Denotes underground gas line
- Denotes tree line
- Denotes easement
- Denotes major contour
- Denotes minor contour
- Denotes sanitary sewer
- Denotes waterline
- Denotes existing adjoiners
- Denotes delineated wetland edge
- Denotes retaining wall
- Denotes setback line

SOILS CHART

Map symbol & soil name	Hydrologic group	Water table depth (in)
Mc: Marsh	A/D	0
C73C: Nymore loamy sand, 6 to 12 percent slopes	A	>80

* Data from USDA Web Soil Survey

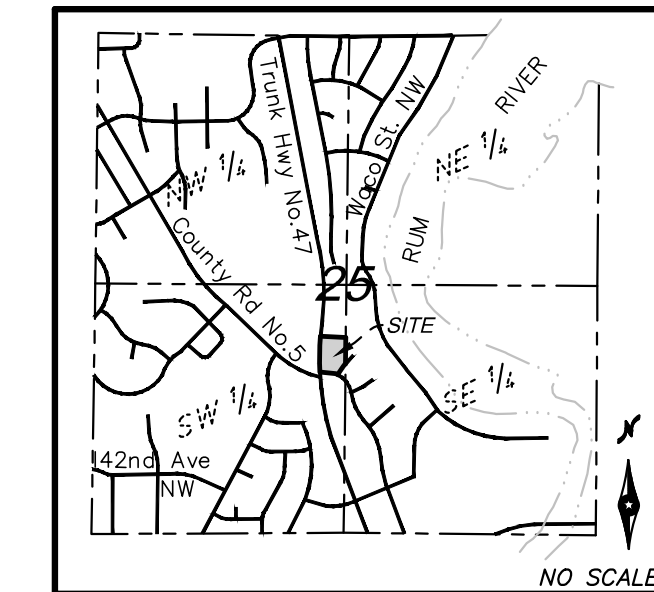
TYPICAL HOUSE PAD

946.0	MINIMUM LOWEST FLOOR ELEVATION
FB	SUGGESTED BUILDING TYPE
950.0	SUGGESTED GARAGE FLOOR ELEVATION
FB	DENOTES FULL BASEMENT
FBLO	DENOTES FULL BASEMENT LOOKOUT
SWO	DENOTES SPLIT WALKOUT
FBWO	DENOTE FULL BASEMENT WALKOUT

I hereby certify that a boundary survey has been completed for the preliminary plat of RAMSEY VILLAS NORTH, Anoka County, Minnesota.

Signed: *Craig Wensmann*
Craig A. Wensmann
Date: 8/6/20 Lic. No. 47466

VICINITY MAP
Sec. 25, Twp. 32, Rng. 25
Anoka County, MN



BOGART, PEDERSON & ASSOCIATES, INC.

1/8" THE BUYERS OF LOT _____ BLOCK _____
 SUBDIVISION: _____
 AND/OR ADDRESS: _____

HAVE EXAMINED THIS SET OF PLANS AND ACCEPT THESE AS A REPRESENTATIVE OF THE DWELLING TO BE BUILT BY PRICE CUSTOM HOMES. I/WE (THE BUYERS) ALSO ACKNOWLEDGE THE BUILDER'S RIGHT TO MAKE ALTERATIONS OF GREATER QUALITY TO THE DESIGN OF EQUAL OR GREATER QUALITY. ALL ALTERATIONS MADE IN COMPLIANCE WITH APPLICABLE BUILDING CODES & REGULATIONS. SUCH DESIGN ALTERATIONS SHALL INCLUDE BUT NOT BE LIMITED TO: CHANGES IN DIMENSIONS OF DWELLING ROOMS THEREIN, OPENING SIZES ON ANY LEVEL OF DWELLING, THE NUMBER OF STEPS TO THE FRONT PORCH OR ANY OTHER LEVEL OF DWELLING, LOCATION OF HEAT VENTILATORS, ELECTRICAL PANEL, & OUTLETS. THE BUYER(S) ALSO ACKNOWLEDGE THAT ALL DISPLAYS ARE SHOWN & PUBLISHED FOR ILLUSTRATION ONLY. ALTERATIONS TO PLAN, DESIGN, PRODUCTS, AND STANDARD FEATURES MAY HAVE BEEN MADE SINCE THE CONSTRUCTION OF A MODEL HOME OR ANY OTHER COMPLETED DWELLING OF THIS PLAN. THE BUYER(S) MAY HAVE SEEN MODEL HOME DECORATING FEATURES SUCH AS DRAPERIES, SHELVING, BATHROOM FURNITURE AND LANDSCAPING WHICH ARE NOT INCLUDED UNLESS OTHERWISE SPECIFICALLY CONTRACTED FOR.

STRUCTURAL SIGNOFF
 CUSTOMER SIGNATURES:

BUYER _____ DATE _____
 BUYER _____ DATE _____
 FINAL SIGNOFF
 CUSTOMER SIGNATURES:

BUYER _____ DATE _____
 BUYER _____ DATE _____

SQUARE FOOTAGE CALCULATIONS		
AREA	FINISHED	UNFINISHED
LOWER LEVEL	1530	200
MAIN FLOOR	1740	N/A
UPPER FLOOR	N/A	N/A
TOTAL	3270	200
GRAND TOTAL SQ. FT.	3470	
GARAGE	485 SQ FT	
PORCH	39 SQ FT	

FLASHING NOTE:
 ALL OPENINGS TO EXTERIOR MUST BE CAULKED & FLASHED. FLASHING IS REQUIRED WHERE ALL ROOF AND VERTICAL SURFACES MEET, OR WHERE SIDING MATERIAL CHANGES.

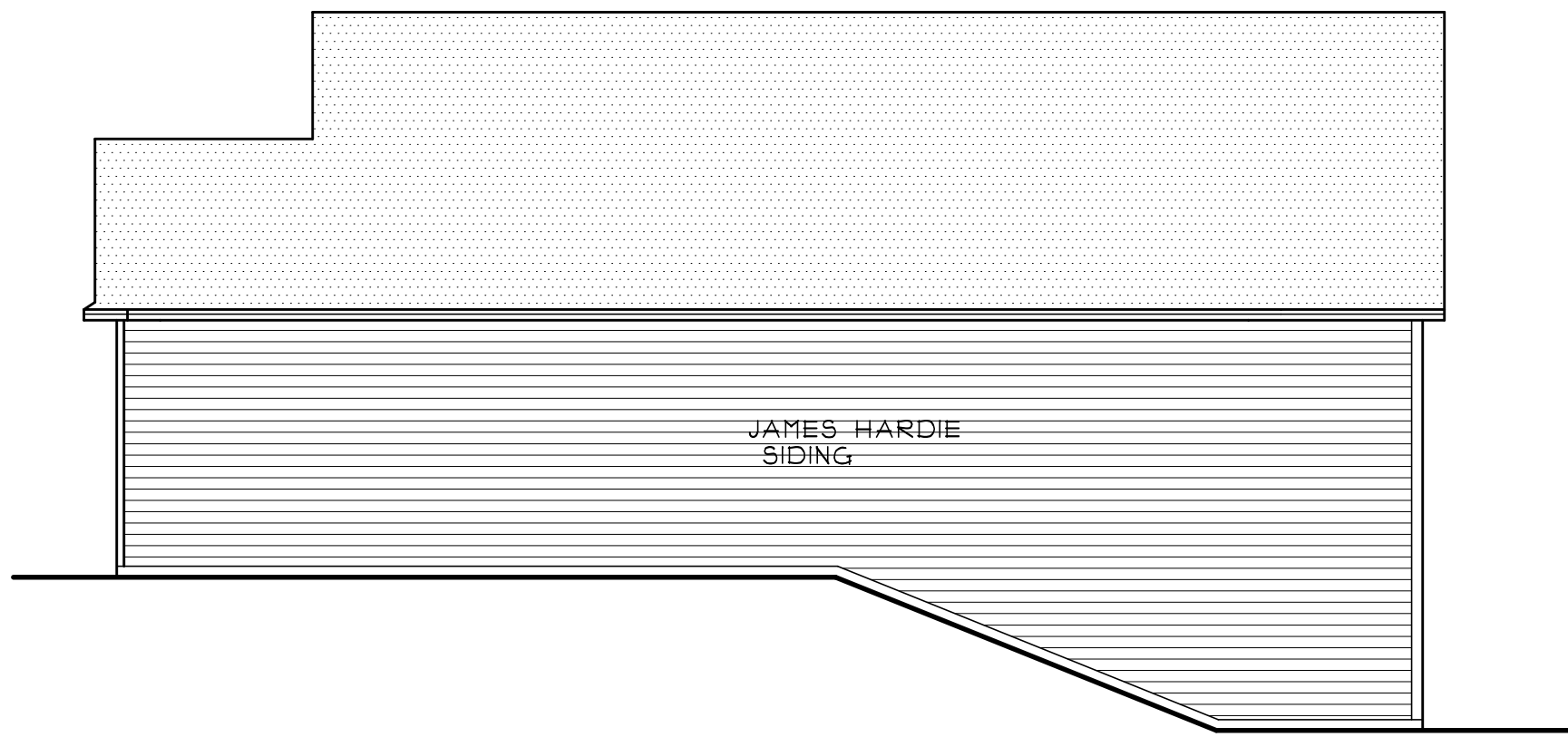


REAR ELEVATION
 SCALE: 1/8" = 1'-0"

BUYER NOTICE:
 DUE TO THE VARIOUS SITE CONDITIONS OF INDIVIDUAL LOTS, THE GRADE LINES REFLECTED BY THIS PRINT ARE FOR ILLUSTRATIVE PURPOSES ONLY. AND DO NOT REFLECT ACTUAL FINISH GRADE OR ELEVATIONS.

REVISION DATES

ALL MEASUREMENTS AND LOCATIONS OF ALL OBJECTS HAVE BEEN OBSERVED AS ACCURATELY AS POSSIBLE. SOME ADJUSTMENTS MAY BE NECESSARY IN THE ACTUAL CONSTRUCTION DUE TO STRUCTURAL FRAMING AND OTHER FIELD CONSIDERATIONS.

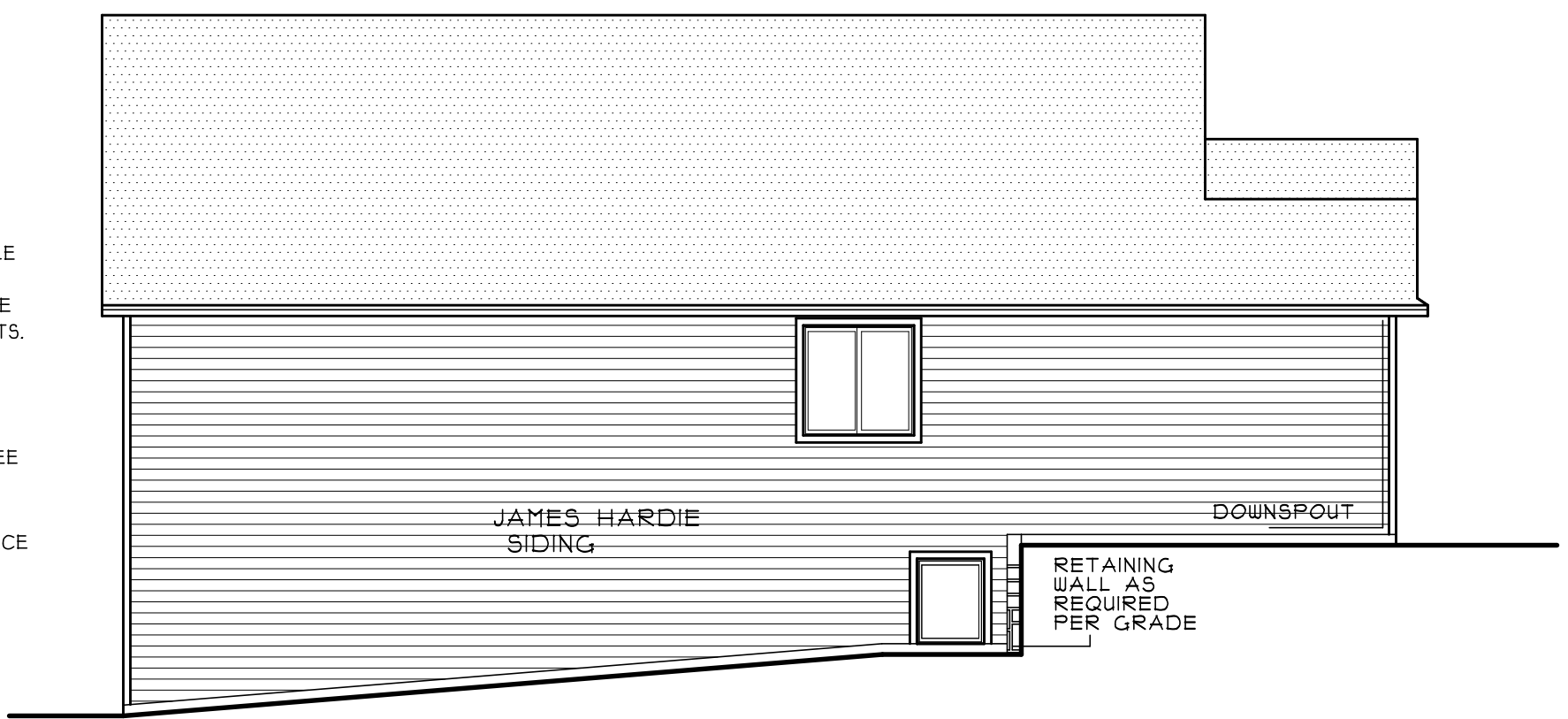


RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"

PROVIDE PROPER DRAINAGE AWAY FROM BUILDING.

HOUSE NUMBERS:
 THE APPROVED ADDRESS SHALL BE DISPLAYED, PLAINLY VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY. 4" HIGH NUMBERS WILL BE USED, SUBJECT TO CITY REQUIREMENTS.

ATTIC VENTILATION
 PROVIDE ATTIC VENTILATION, NET FREE AREA TO BE EQUAL TO 1/150TH OF ATTIC AREA OR 1/300TH OF ATTIC AREA PROVIDED AT LEAST 50% IS IN UPPER PORTION OF ROOF WITH BALANCE IN SOFFIT



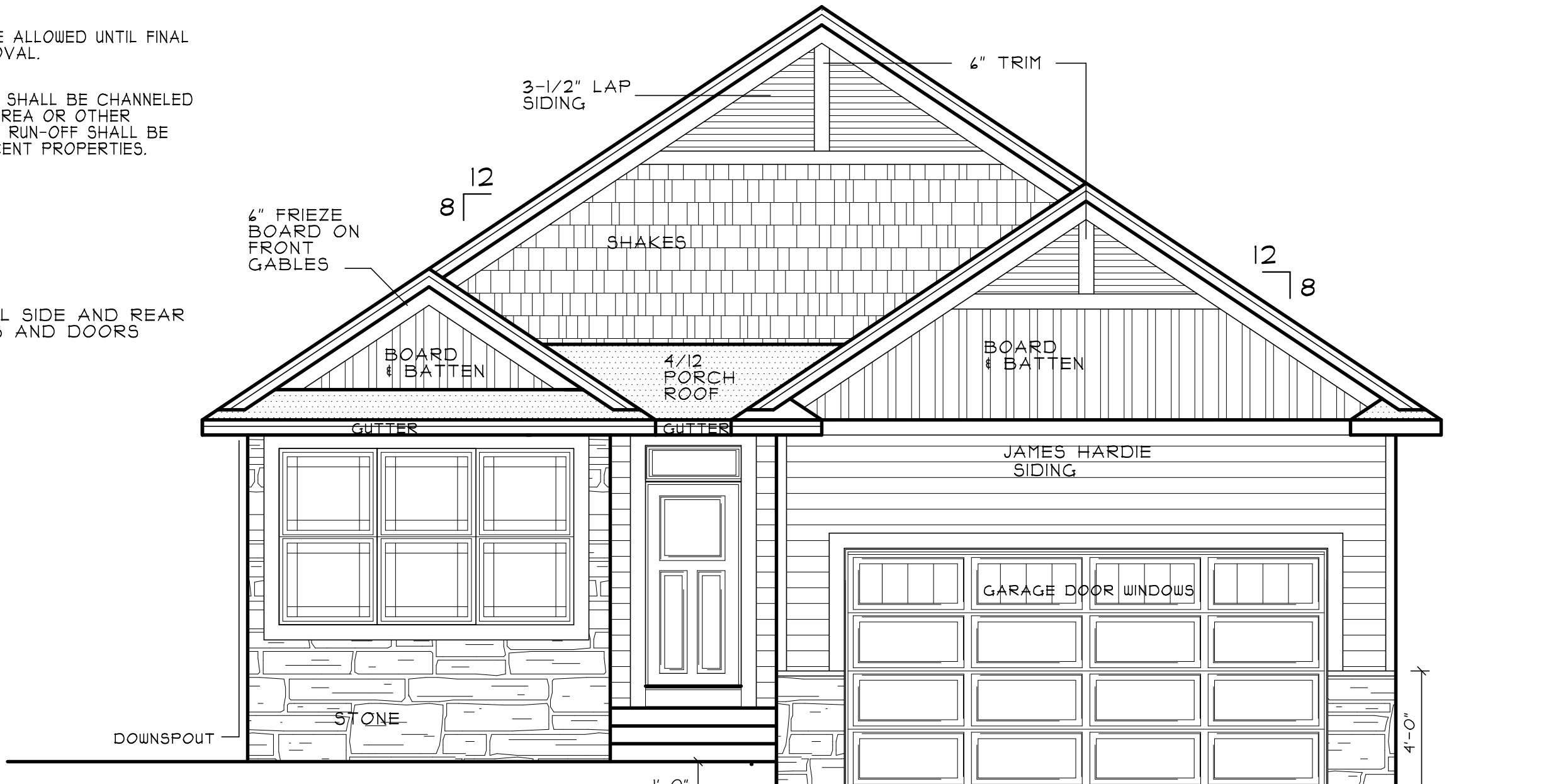
LEFT ELEVATION
 SCALE: 1/8" = 1'-0"

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 THE FLOOR PLANS AND ELEVATIONS OF ALL PRICE CUSTOM HOMES ARE COPYRIGHTED. OUR COPYRIGHTS HAVE BEEN ENFORCED AND WILL CONTINUE TO BE ENFORCED. THESE PLANS MAY NOT BE GIVEN TO OR USED BY ANY OTHER PERSON WITHOUT WRITTEN PERMISSION.

RESIDENCE FOR:
 MODEL ADDRESS RAMSEY LOT BLOCK DEVELOPMENT

NO OCCUPANCY OR USE ALLOWED UNTIL FINAL INSPECTION AND APPROVAL.

STORM WATER RUN-OFF SHALL BE CHanneled INTO SWALE, PONDING AREA OR OTHER SUITABLE FACILITY. NO RUN-OFF SHALL BE DIRECTED ONTO ADJACENT PROPERTIES.



FRONT ELEVATION
 SCALE: 1/4" = 1'-0"
 STEPS IN SIDEWALK IF REQUIRED PER GRADE

MUST POST ADDRESS ON CONSTRUCTION SITE VISIBLE FROM ROAD.

EVERY PERSON PERFORMING WORK FOR WHICH THE CODE IS APPLICABLE SHALL COMPLY

6" TRIM AROUND FRONT ELEVATION WINDOWS AND DOORS

PROPERTY LINES MUST BE STAKED IN ORDER TO VERIFY SETBACKS TO LOT LINES-IF NOT STAKED SURVEY MUST BE PROVIDED.

CLEAN STREET DAILY OF ANY MATERIAL TRACKED ONTO IT FROM THIS SITE.

ICE DAM PROTECTION
 1 LAYER OF 40# COATED ROOFING OR COATED GLASS G BASE SHEET SHALL BE APPLIED FROM THE EAVES TO A LINE 24" INSIDE THE EXTERIOR WALL LINE WITH ALL LAPS CEMENTED TOGETHER

PROJECT TITLE
 BROOKS VILLA MODEL

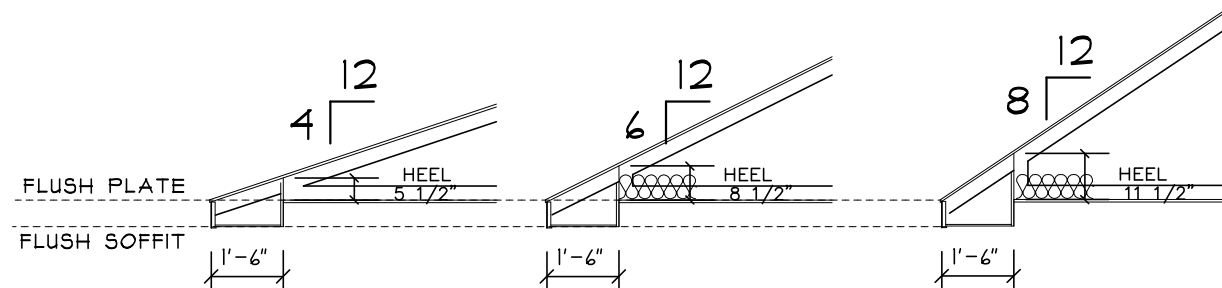
PRICE CUSTOM HOMES
 1110 INDUSTRIAL CIRCLE NW
 SUITE E
 ELK RIVER, MN 55330
 763-276-7197 OFFICE



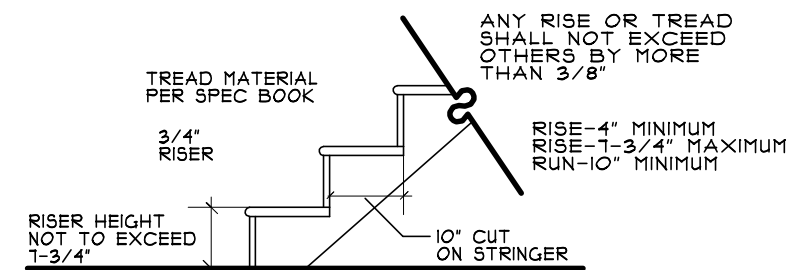
ELEVATIONS
 SCALE AS SHOWN

DATE: 4-21-20
 SHEET # 1 OF 8

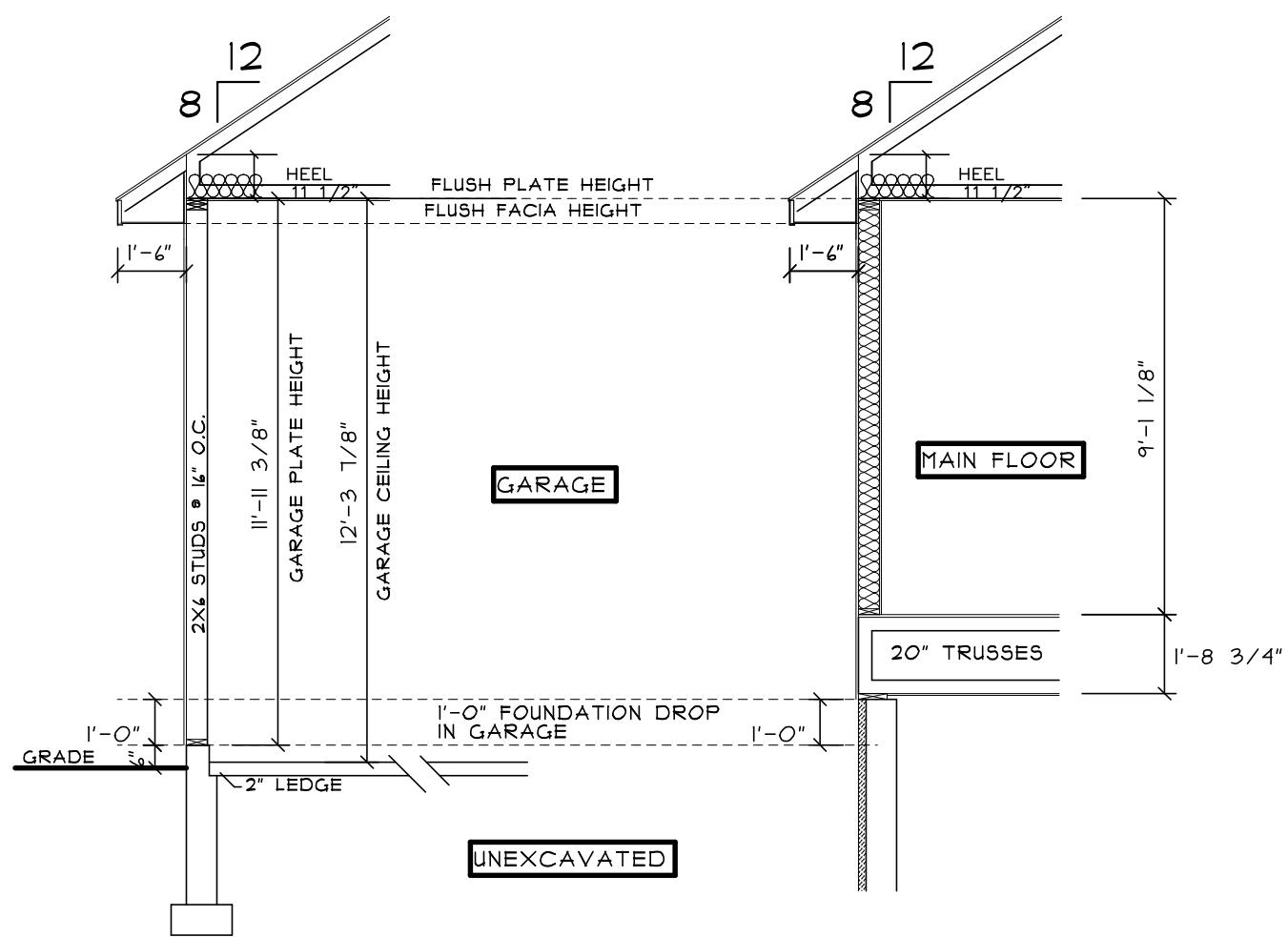
PERMIT PLAN



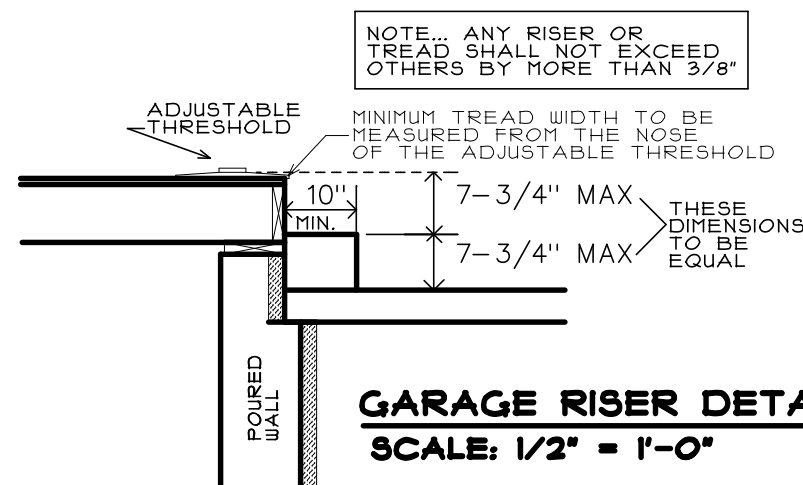
HEEL HEIGHT DETAIL
SCALE: 1/4" = 1'-0"



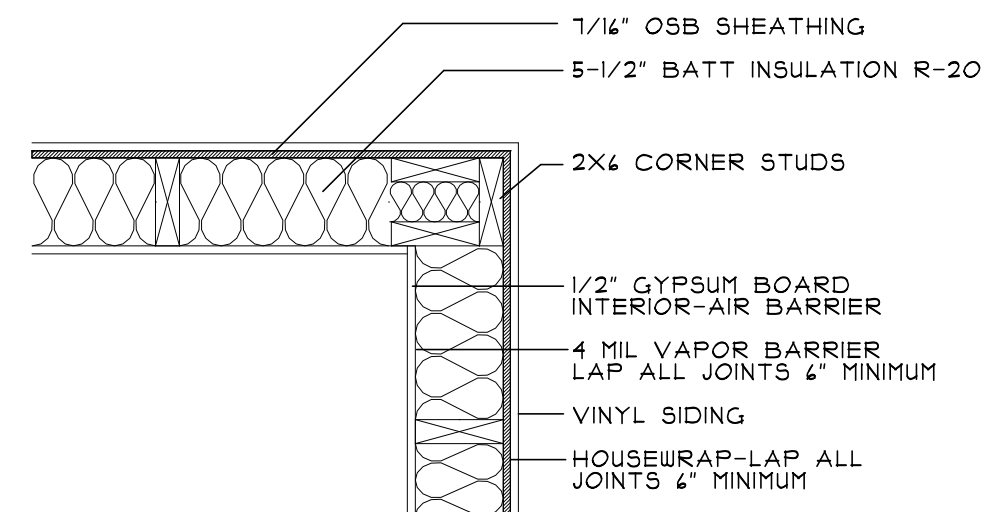
TYPICAL STAIR DETAIL
SCALE: 1/2" = 1'-0"



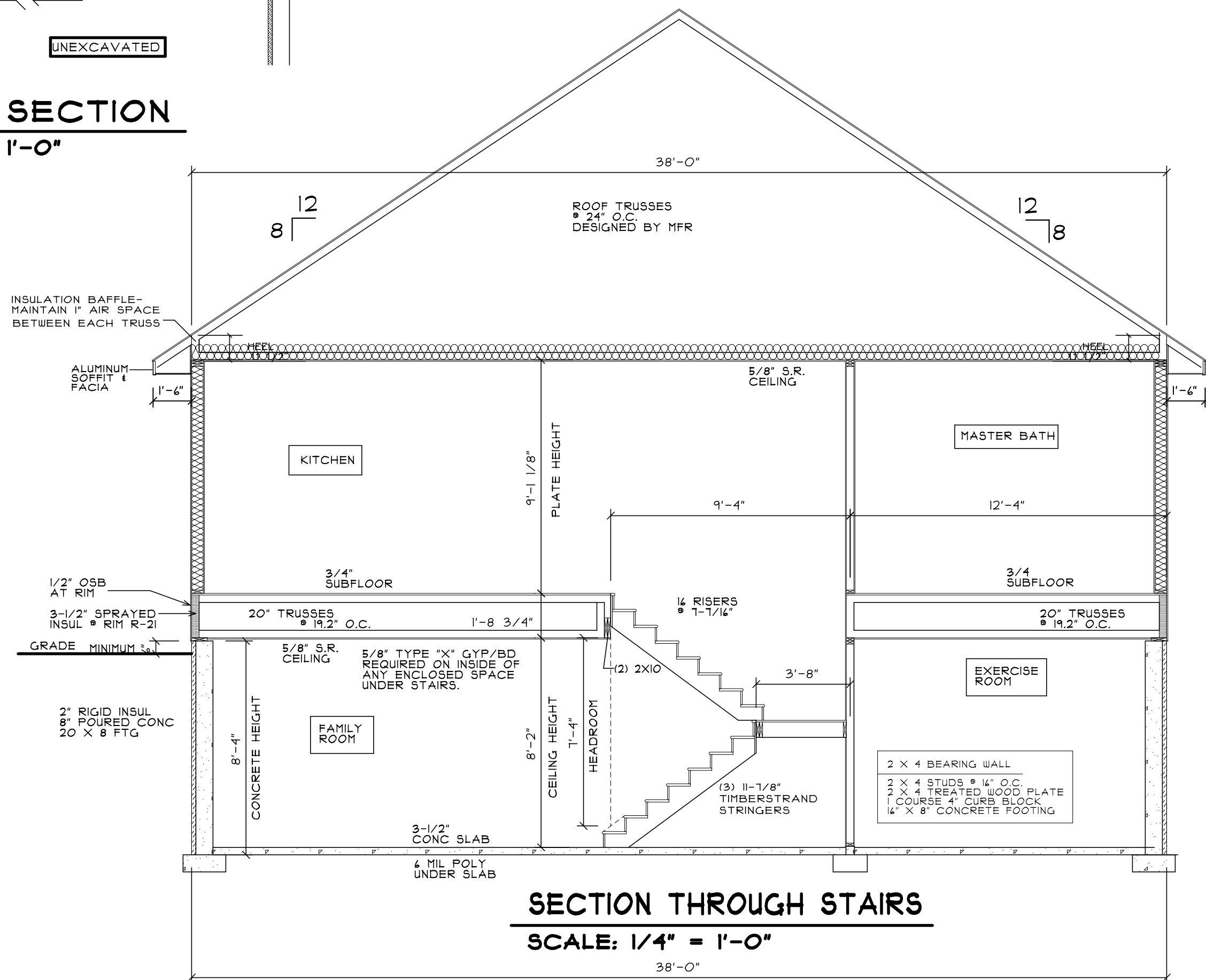
GARAGE SECTION
SCALE: 1/4" = 1'-0"



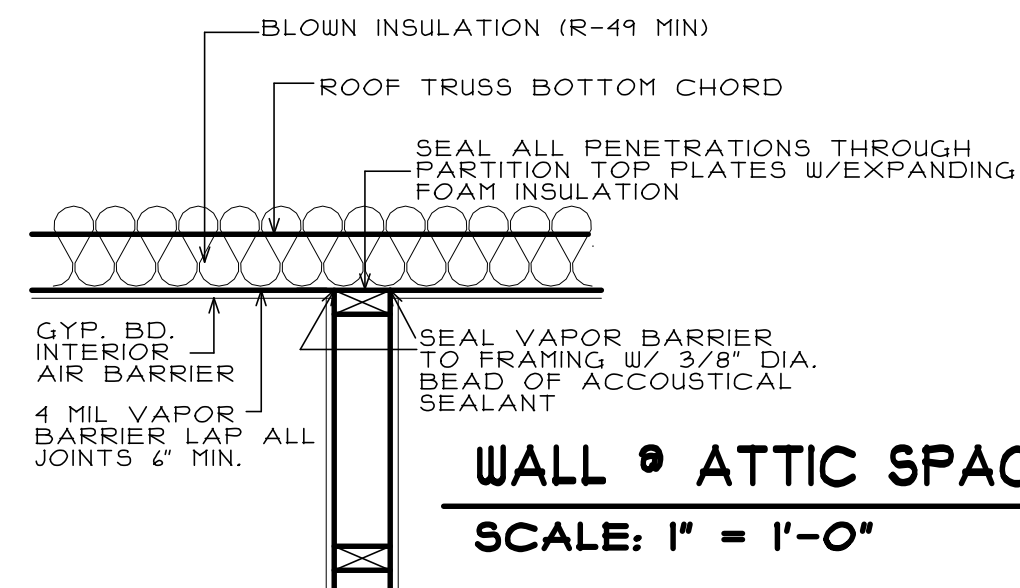
GARAGE RISER DETAIL
SCALE: 1/2" = 1'-0"



OUTSIDE CORNER DETAIL
SCALE: 1" = 1'-0"



SECTION THROUGH STAIRS
SCALE: 1/4" = 1'-0"



WALL & ATTIC SPACE
SCALE: 1" = 1'-0"

NOTE...FIRE BLOCKING VERTICALLY AT CEILINGS AND FLOORS, HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET, CONCEALED SPACES AT SOFFITS, DROP CEILINGS AND BETWEEN STAIR STRINGERS.

REVISION DATES

ALL MEASUREMENTS AND LOCATIONS OF ALL OBJECTS HAVE BEEN PLACED AS ACCURATELY AS POSSIBLE. SOME ADJUSTMENTS MAY BE NECESSARY IN THE ACTUAL CONSTRUCTION DUE TO STRUCTURAL FRAMING AND OTHER FIELD CONSIDERATIONS.

COPYRIGHT NOTICE
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RESIDENCE FOR:
MODEL ADDRESS RAMSEY LOT BLOCK DEVELOPMENT

PROJECT TITLE
BROOKS VILLA MODEL

PRICE CUSTOM HOMES
1110 INDUSTRIAL CIRCLE NW SUITE E ELK RIVER, MN 55330 763-276-7197 OFFICE

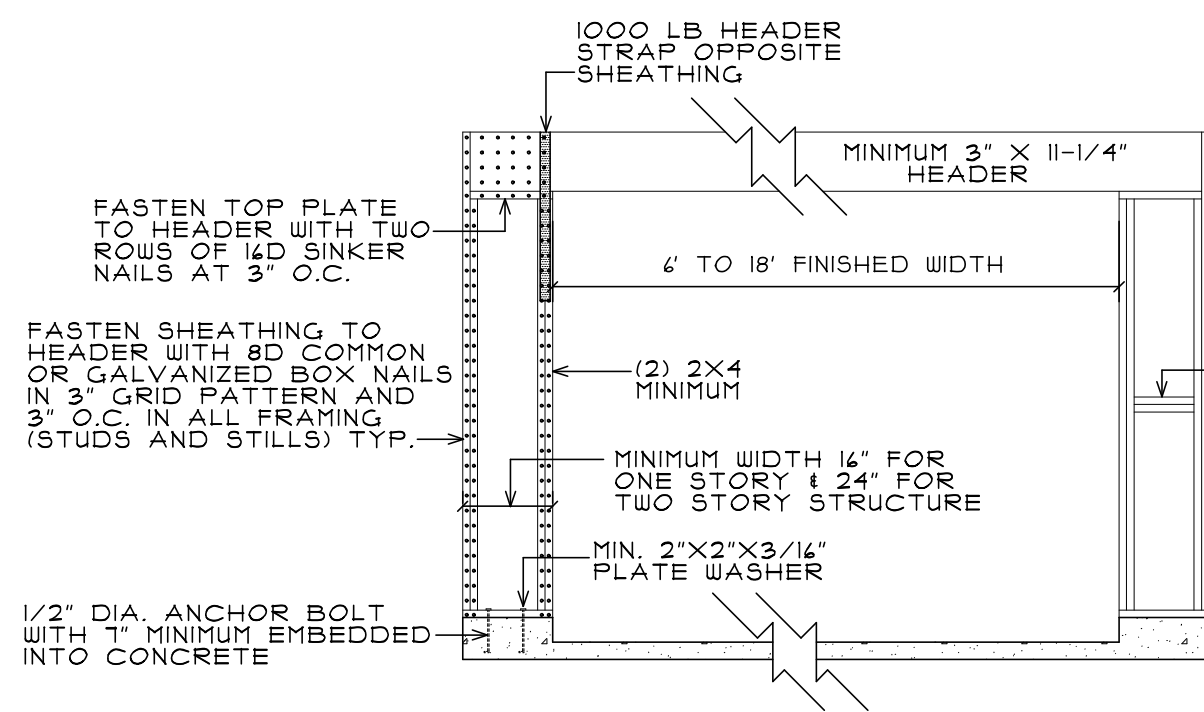


SECTIONS/DETAILS
SCALE: AS SHOWN

DATE 4-21-20

SHEET # 4 OF 8

PERMIT PLAN



BRACED WALL PANEL AT GARAGE DOORS

NO SCALE

IF PANEL SPLICE IS NEEDED IT SHALL OCCUR WITHIN 24\"/>

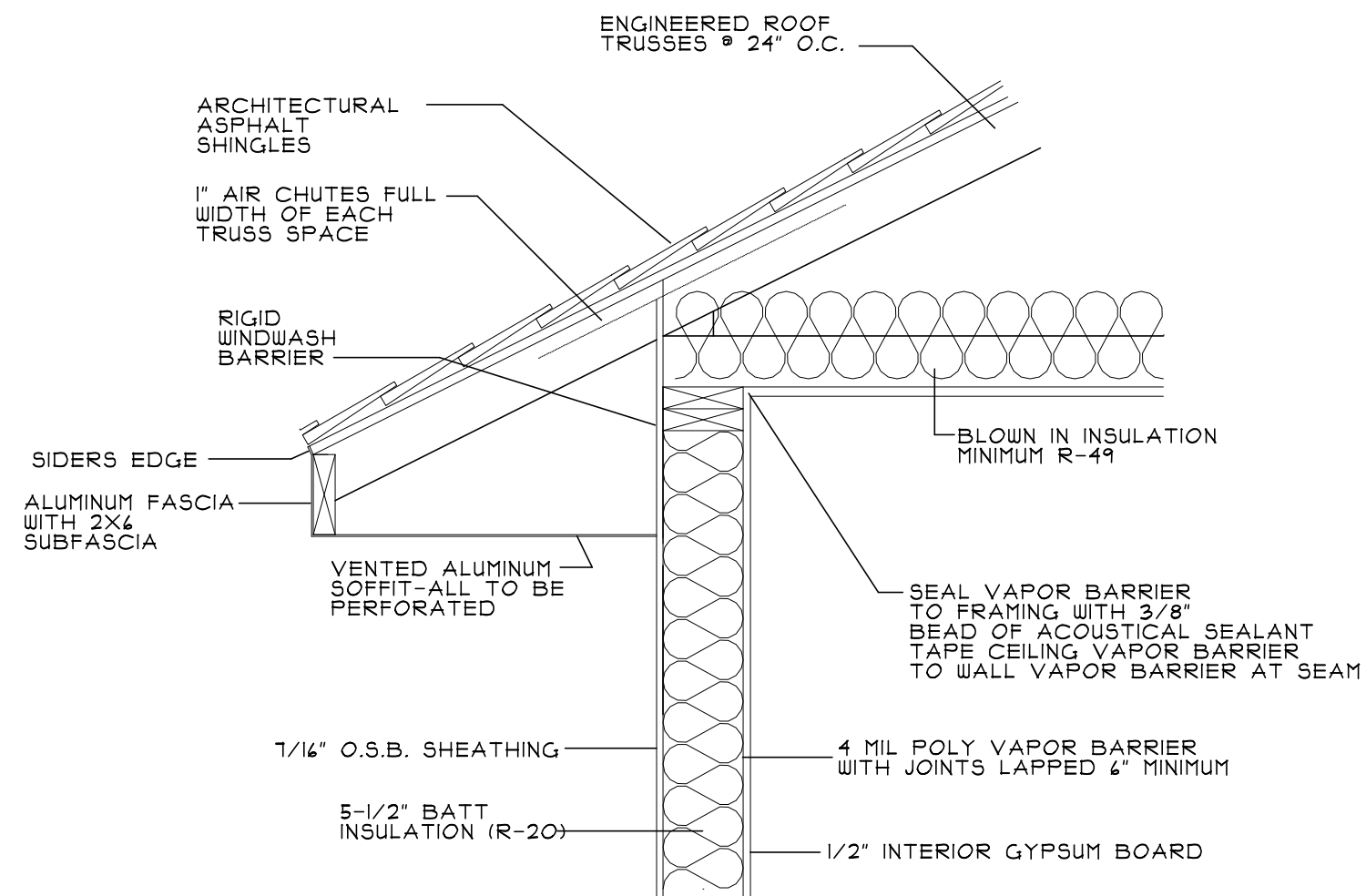
HEADERS GO PAST CRIPPLE STUDS TO OUTSIDE CORNERS
SHEATHING MUST BE CONTINUOUS VERTICAL AND HORIZONTAL FOR ENTIRE LENGTH AND WITH OF SHEET

IF VERTICAL SPLICE MUST BE MADE IT SHALL BE AT MID-HEIGHT ON DOUBLE BLOCKS PER DRAWING

ANCHOR BOLTS OR STRAPS MUST PENETRATE MINIMUM 2 BLOCK HEIGHTS OR BE IN SOLID FILLED CORES CONTAINING #4 REBARS EXTENDING TWO BLOCKS AND VISIBLE AT FOUNDATION INSPECTION

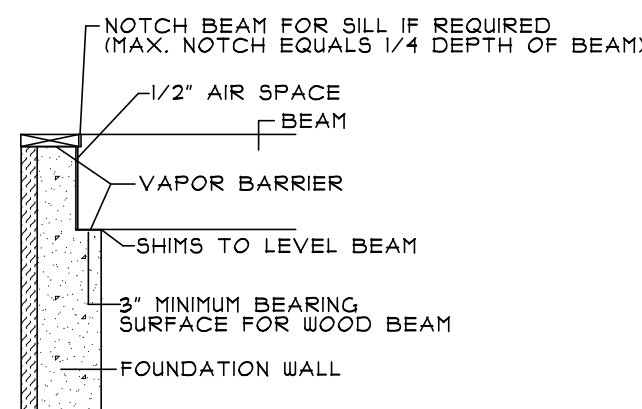
SHEATH ONE SIDE 3/4\"/>

DEPENDING UPON WIDTH OF WALL, ADDITIONAL CEILING BRACING MAY BE NEEDED



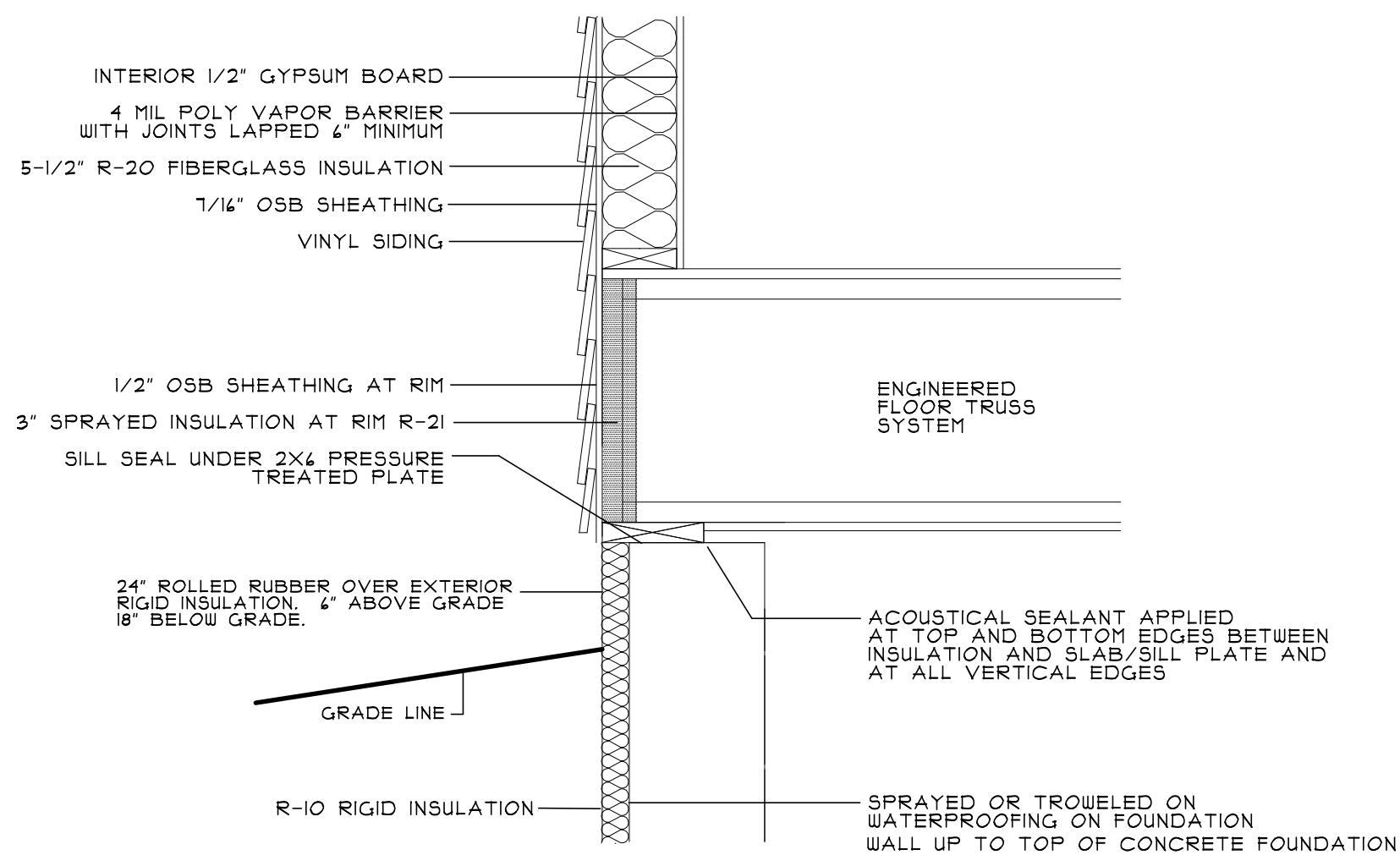
TRUSS DETAIL

SCALE: 1\"/>



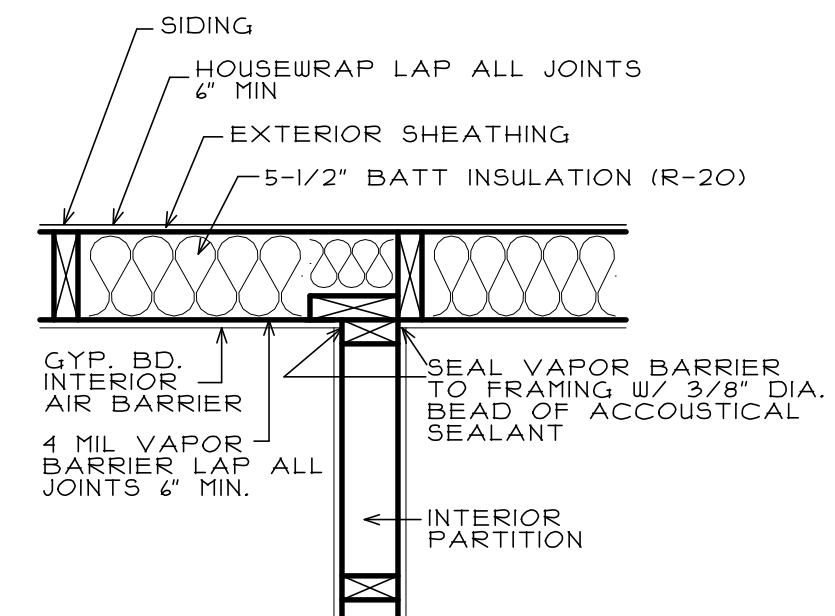
BEAM POCKET DETAIL

SCALE: 1/2\"/>



RIM AT FOUNDATION DETAIL

SCALE: 1\"/>



WALL INTERSECTION DETAIL

SCALE: 1\"/>

REVISION DATES

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RESIDENCE FOR:

MODEL ADDRESS RAMSEY LOT BLOCK DEVELOPMENT

PROJECT TITLE

BROOKS VILLA MODEL

PRICE CUSTOM HOMES
1110 INDUSTRIAL CIRCLE NW
SUITE E
ELK RIVER, MN 55330
T63-216-1191 OFFICE



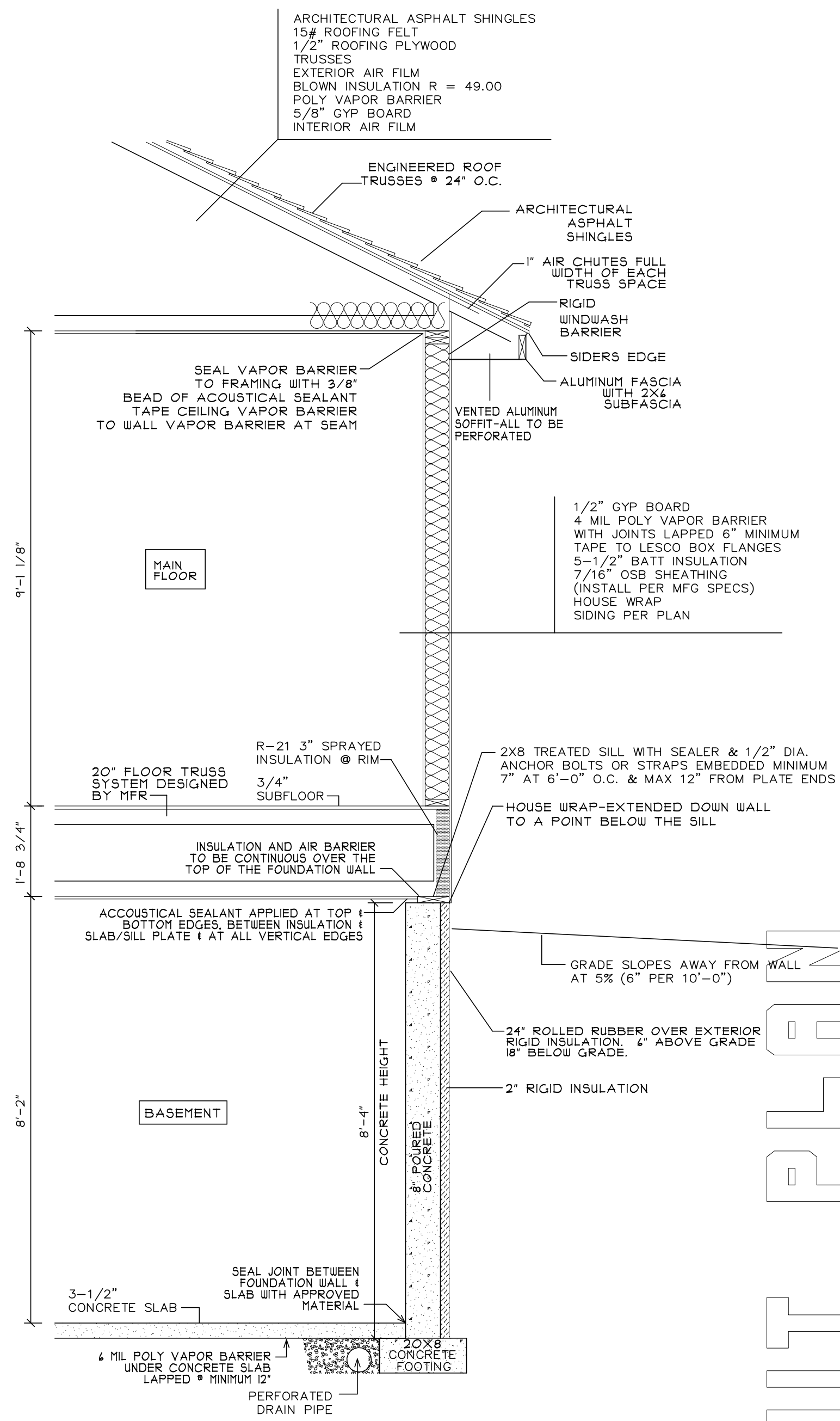
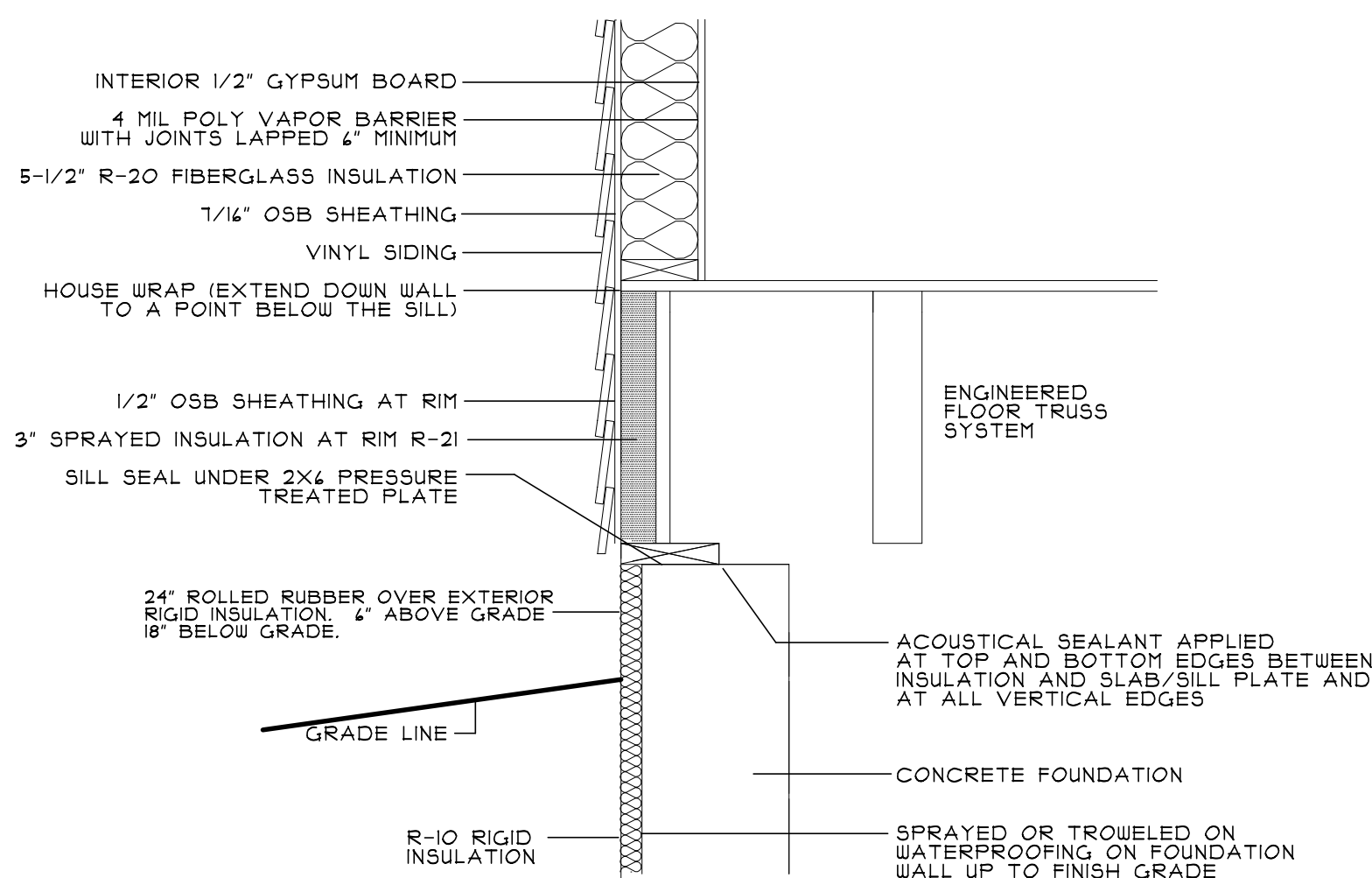
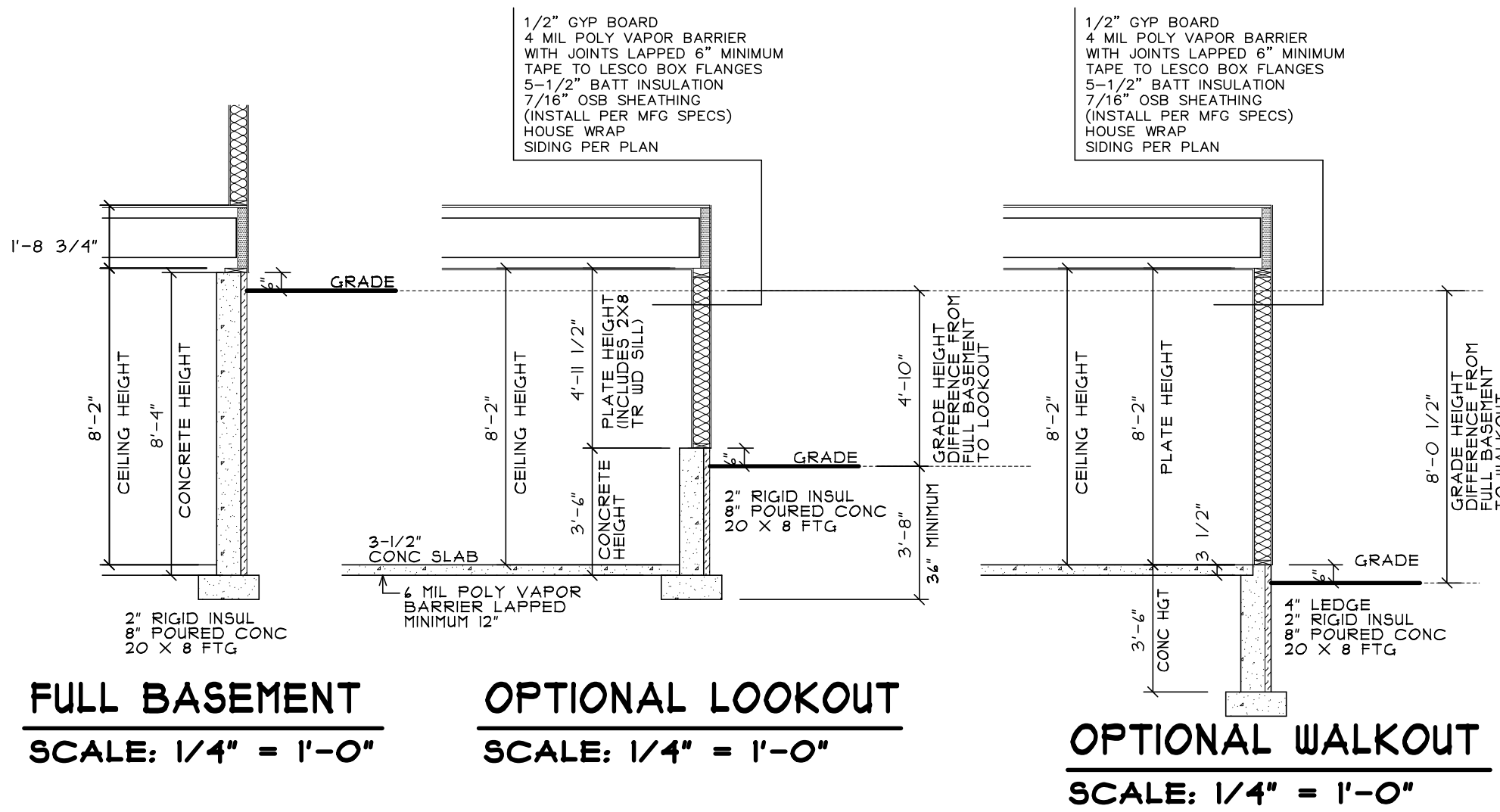
SECTIONS/DETAILS

SCALE: AS SHOWN

DATE: 4-21-20

SHEET # 5 OF 8

PERMIT PLAN



PERMIT PLAN

REVISION DATES
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RESIDENCE FOR: MODEL ADDRESS RAMSEY LOT BLOCK DEVELOPMENT
PROJECT TITLE BROOKS VILLA MODEL
PRICE CUSTOM HOMES 1110 INDUSTRIAL CIRCLE NW SUITE E ELK RIVER, MN 55330 763-276-7197 OFFICE
SECTIONS/DETAILS SCALE: AS SHOWN
DATE: 2-28-20
SHEET # 6 OF 8

RADON MITIGATION SYSTEM

RADON MITIGATION-PASSIVE SYSTEM

I. SUBFLOOR PREPARATION

CLAY JOBS

ALL INTERIOR BASEMENT FLOOR SPACE TO BE BACKFILLED WITH AGGREGATE APPROXIMATELY 8" DEEP. THE AGGREGATE SHALL CONSIST OF MATERIAL THAT WILL PASS THROUGH A 2 INCH SIEVE AND BE RETAINED BY A 1/4 INCH SIEVE.

SAND SUPPLIED BY EXCAVATOR
SAND INSTALLED BY EXCAVATOR
RADON SEALED SUMP BASKET AND COVER/DRAINTILE INSTALLED BY EXCAVATOR

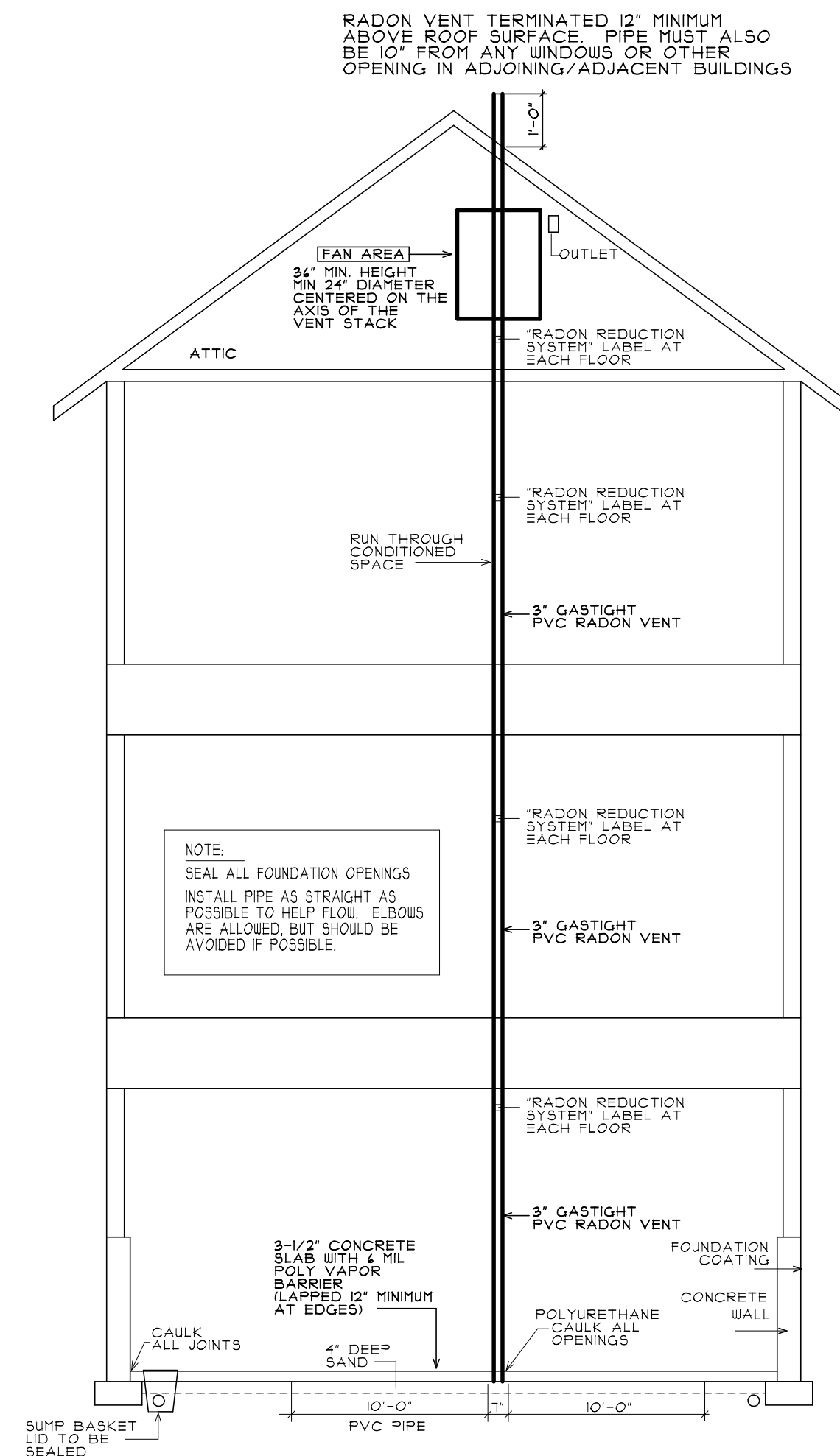
RADON MITIGATION-ALTERNATIVE PASSIVE SYSTEM

SAND JOBS

A FOUNDATION DRAIN PIPE SYSTEM INSTALLED UNDER CONCRETE FLOOR SLAB AREAS, CONSISTING OF A CONTINUOUS LOOP OF MINIMUM 4" PERFORATED PIPE SHALL BE LAID IN THE SUB-GRADE WITH THE TOP OF THE PIPE LOCATED APPROXIMATELY 1 INCH BELOW THE CONCRETE SLAB. THE LOOP OF PERFORATED PIPE MUST BE BURIED 4 INCHES DEEP IN A GAS-PERMEABLE LAYER OF CLEAN SAND FILL.

SAND SUPPLIED BY WATERPROOFING CONTRACTOR
SAND INSTALLED BY WATERPROOFING CONTRACTOR
RADON SEALED SUMP BASKET AND COVER/DRAINTILE SUPPLIED BY WATERPROOFING CONTRACTOR
RADON SEALED SUMP BASKET AND COVER/DRAINTILE INSTALLED BY WATERPROOFING CONTRACTOR

2. SOIL GAS RETARDER (6 MIL POLY) THE SOIL IN BASEMENT FLOOR AREAS SHALL BE COVERED WITH A CONTINUOUS LAYER OF MINIMUM 4 MIL POLYETHYLENE SOIL-GAS-RETARDER. THE GROUND COVER SHALL BE LAPPED A MINIMUM OF 12 INCHES AT JOINTS AND SHALL EXTEND TO ALL FOUNDATION WALLS ENCLOSING THE CRAWL SPACE AREA.
6 MIL POLY SUPPLIED AND INSTALLED BY CONCRETE SUBCONTRACTOR.
3. FLOOR OPENINGS-OPENINGS AROUND BATHTUBS, SHOWERS, WATER CLOSETS, PIPES, WIRES, OR OTHER OBJECTS THAT PENETRADE CONCRETE SLABS OR OTHER FLOOR ASSEMBLIES SHALL BE FILLED WITH A POLYURETHANE CAULK.
4. CONCRETE JOINTS-ALL CONCRETE JOINTS, ISOLATION JOINTS, CONSTRUCTION JOINTS, AND ANY OTHER JOINTS IN CONCRETE SLABS OR BETWEEN SLABS AND FOUNDATION WALLS SHALL BE SEALED WITH A CAULK OR SEALANT. GAPS OR JOINTS SHALL BE CLEARED OF LOOSE MATERIAL AND FILLED WITH POLYURETHANE CAULK.
5. CONDENSATION DRAINS-SHALL BE TRAPPED OR ROUTED THROUGH NON-PERFORATED PIPE TO DAYLIGHT.
6. SUMPS-SUMP PITS SERVING AS THE TERMINATION POINT FOR SUB-SLAB OR INTERIOR DRAIN TILE LOOPS SHALL BE COVERED WITH A GASKETED OR OTHERWISE SEALED LID. SUMPS USED AS THE SUCTION POINT IN A SUB-SLAB DEPRESSURIZATION SYSTEM SHALL HAVE A LID DESIGNED TO ACCOMMODATE THE VENT PIPE. SUMPS USED AS A FLOOR DRAIN SHALL HAVE A LID EQUIPPED WITH A TRAPPED INLET.
7. VENT PIPE-A PLUMBING TEE CONNECTION SHALL BE INSERTED HORIZONTALLY BENEATH THE POLY WITH ONE 10 FOOT SECTION OF A PERFORATED PIPE CONNECTED TO EACH SIDE OF THE "T" FITTING AND THEN CONNECTED TO A 3 OR 4 INCH DIAMETER FITTING WITH A VERTICAL VENT PIPE INSTALLED THROUGH THE SHEETING. THE VENT PIPE SHALL BE OF SOLID PIPING MATERIAL AND SHALL BE EXTENDED UP THROUGH THE BUILDING FLOORS, TERMINATED AT LEAST 10 FEET AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE CONDITIONED SPACES OF THE BUILDING THAT IS LESS THAN 2 FEET BELOW THE EXHAUST POINT, AND 10 FEET FROM ANY WINDOW OR OTHER OPENING.
8. VENT PIPE DRAINAGE-ALL COMPONENTS OF THE RADON VENT PIPE SYSTEM SHALL BE INSTALLED TO PROVIDE POSITIVE DRAINAGE TO THE GROUND BENEATH THE SLAB OR POLY.
9. VENT PIPE ACCESSIBILITY-RADON VENT PIPES SHALL PROVIDE ENOUGH SPACE AROUND THE PIPE FOR FUTURE INSTALLATION OF A FAN SYSTEM. THE SPACE PROVIDED FOR INSTALLATION OF A FUTURE FAN SHALL BE A MINIMUM OF 24 INCHES IN DIAMETER, CENTERED ON THE AXIS OF THE VENT STACK, AND SHALL EXTEND FOR A MINIMUM VERTICAL DISTANCE OF 3 FEET.
10. VENT PIPE IDENTIFICATION-ALL RADON VENT PIPES SHALL BE IDENTIFIED WITH AT LEAST ONE LABEL ON EACH FLOOR AND IN ACCESSIBLE ATTICS. THE LABEL SHALL READ: "RADON REDUCTION SYSTEM".
11. POWER SOURCE-TO PROVIDE FOR FUTURE INSTALLATION OF AN ACTIVE SUB-MEMBRANE, AN ELECTRICAL CIRCUIT TERMINATED IN AN APPROVED BOX SHALL BE INSTALLED DURING CONSTRUCTION IN THE ATTIC LOCATION OF VENT PIPE FANS.



PASSIVE RADON SYSTEM

REVISION DATES

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RESIDENCE FOR:
MODEL ADDRESS
RAMSEY
LOT BLOCK DEVELOPMENT

PROJECT TITLE
BROOKS VILLA
MODEL

PRICE CUSTOM HOMES
1110 INDUSTRIAL CIRCLE NW
SUITE E
ELK RIVER, MN 55330
763-276-7197 OFFICE



RADON
SCALE AS SHOWN
DATE: 4-21-20
SHEET # 7 OF 8

PERMIT PLAN

2015 CODE REQUIREMENTS

HVAC

ALL HVAC MUST BE RUN WITHIN THERMAL ENVELOPE (CONDITIONED SPACE)
DUCTWORK CANNOT BE EMBEDDED IN INSULATION

BLOWER DOOR TESTING REQUIRED

BLASTER DOOR TESTING NOT REQUIRED
SO LONG AS ALL HVAC IS WITHIN THE THERMAL ENVELOPE

ALL RETURN AIR DUCTING MUST BE HARD PIPED
NO FRAMING SHEETROCK CAVITIES

ALL DUCTWORK MUST BE SEALED WITH U.L. APPROVED MATERIALS
ALUMINUM TAPE IS NOT U.L. APPROVED FOR THIS APPLICATION

THE MINIMUM VERTICAL CLEARANCE BETWEEN CONTAMINANT SOURCE
AND AN OUTDOOR INTAKE HAS INCREASED FROM 2' TO 3'

FALL PROTECTION

OPERABLE WINDOWS TO COMPLY WITH ASTM F 2090

ENERGY

ATTICS MINIMUM R-49, EXTERIOR WALLS R-20
BASEMENT WALLS AT FOUNDATION R-15
R-10 MINIMUM OUTSIDE
R-5 INSIDE IN LOCATIONS REQUIRED BY CODE (R402.1.1 & R402.4.1.2)

FLOOR CANTILEVERS AND TUCKUNDERS R-30

BLOWER DOOR TESTING REQUIRED BEFORE CERTIFICATE OF OCCUPANCY

CONCRETE

ALL HOUSE STRIP FOOTINGS TO BE 5000 PSI

FRAMING

ALL SILL PLATES TO OVERHANG FOUNDATION BY 2".
USE 2X6 TREATED LSL AT WALKOUT
USE 2X8 BORATE TREATED SPF OTHER LOCATIONS

WINDOW & DOOR NOTES

EGRESS...ONE WINDOW IN LOWER LEVEL AND ONE WINDOW IN EACH
BEDROOM MUST HAVE 5.7 SQ. FT. OF NET OPENABLE AREA WITH A
MINIMUM OF 20" IN WIDTH AND 24" IN HEIGHT. MAXIMUM SILL HEIGHT
ABOVE FLOOR IS 44".

BLOCK ALL EXTERIOR PATIO DOORS WITH NO DECK ATTACHED SO
DOOR CANNOT BE OPENED MORE THAN 4".

GARAGE/HOUSE SEPARATION DOOR TO BE 20 MINUTE FIRE RATED,
LATCHING & GASKETED.

ALL VEHICLE ACCESS DOORS MUST BE RATED TO WITHSTAND 90 MPH
WIND LOADS. APPROVED ASSEMBLIES MUST BE MARKED OR LABELED
AS COMPLIANT WITH ANSI/D3MA108.

DOUBLE STUD EACH SIDE OF DOOR OPENING FOR TRIM

ROUGH OPENING SCHEDULE

ITEM	ROUGH OPENING
ALL WINDOWS-ADD 1/2" TO HEIGHT AND 1/2" TO WIDTH	
4068 PATIO DOOR	74" X 83"
8080 PATIO DOOR	99" X 99"
2868 EXTERIOR GARAGE DOOR	34" X 83"
3068 EXTERIOR FRONT DOOR	38" X 83"
3068 FRONT DOOR WITH 1 S.L.	50-1/2" X 82"
3068 FRONT DOOR WITH 2 S.L.	62-1/2" X 82"
3068 FRONT DOOR 1 S.L. & TRANSOM	50-1/2" X 94"
3068 FRONT DOOR 2 S.L. & TRANSOM	62-1/2" X 94"
2068 PREHUNG INTERIOR	26" X 83"
2468 PREHUNG INTERIOR	30" X 83"
2668 PREHUNG INTERIOR	32" X 83"
2868 PREHUNG INTERIOR	34" X 83"
3068 PREHUNG INTERIOR	38" X 83"
2068 BIFOLD	82" X 25-1/2"
2668 BIFOLD	82" X 31-1/2"
3068 BIFOLD	82" X 37-1/2"
4068 BIFOLD	82" X 49-1/2"
5068 BIFOLD	82" X 61-1/2"
6068 BIFOLD	82" X 73-1/2"

STAIR & RAILING NOTES

EVERY STAIRWAY SHALL HAVE A HEADROOM CLEARANCE
OF NOT LESS THAN 6'-8".

CARPENTER TO PROVIDE BLOCKING FOR NEWEL POSTS.

TOP OF HANDRAILS TO BE MOUNTED AT 36" ABOVE FRONT
EDGE OF TREAD NOSING-CONTINUOUS FULL LENGTH OF
STAIRS. TURN ENDS INTO NEWEL POST OR WALL.

RAILINGS ARE AT MINIMUM 36" HEIGHT WITH MAXIMUM LESS
THAN 4" BETWEEN INTERMEDIATE RAILS.

STAIRS 4" MINIMUM RISE AND 1-3/4" MAXIMUM RISE. STAIR
TREADS MINIMUM 10" RUN ON ALL STAIRS. ANY RISER OR
TREAD SHALL NOT EXCEED OTHERS BY 3/8".

EXTERIOR STAIR SHALL BE PROVIDED WITH AN ARTIFICIAL
LIGHT SOURCE IN THE IMMEDIATE VICINITY OF
THE TOP LANDING OF THE STAIRWAY.

FOUNDATION NOTES

FOUNDATION ANCHORAGE
PROVIDE MINIMUM 1/2" BOLTS WITH AT LEAST 2 PER PIECE AND PLACED
BETWEEN 3-1/2" TO 12" FROM ENDS OF EACH BOARD. SPACED A
MAXIMUM OF 6" O.C. BOLTS SHALL HAVE MINIMUM 1" EMBEDMENT IN
CONCRETE AND BE CAPPED WITH NUTS AND WASHERS. LATERALLY
SUPPORTED FOUNDATION WALL REQUIREMENT-2" WASHER, .125" THICK,
AND COUNTER SUNK .25"

FOUNDATION WATERPROOFING MEMBRANE:
CONCRETE AND MASONRY FOUNDATION WALLS THAT RETAIN EARTH AND
ENCLOSE INTERIOR SPACES SHALL BE WATERPROOFED WITH AN
APPROVED MATERIAL FROM TOP OF FOOTING TO FINISHED GRADE.
JOINTS SHALL BE LAPPED AND SEALED.

VAPOR RETARDER REQUIRED BETWEEN CONCRETE FLOOR SLAB AND
SUB-GRADE. GARAGE IS EXCLUDED.

APPROVED FOUNDATION DRAINAGE SYSTEM REQUIRED (R405.1)

DRAFTSTOPPING REQUIRED. CONCEALED AREA NOT TO EXCEED 1000 SQ. FT.

ALL WATER FROM FOUNDATION DRAINS OR SUMPS MUST BE PUMPED OR
DRAINED DIRECTLY TO THE EXTERIOR THROUGH RIGID PLASTIC OR
STEEL PIPING. NO SUMP WATER IS ALLOWED TO BE PUMPED INTO FLOOR
DRAINS, SINKS, OR ANY OTHER ACCESS TO SANITARY SEWER.

SUB-SLAB DEPRESSURIZATION SYSTEM REQUIRED (RADON REDUCTION
SYSTEM) PER MNRC 1322.2103 SECTION 103.4

PROVIDE CONNECTION LOCATION POINT FOR ELECTRICAL SERVICE TO
CONCRETE-ENCASED ELECTRODE. CONCRETE ENCASED ELECTRODE
MAY BE REQUIRED.

PROVIDE CLEARANCE TO COMBUSTIBLES PER MECHANICAL CODE FOR
ALL VENTS/CHIMNEYS CONVEYING COMBUSTION PRODUCTS.

PROVIDE OUTSIDE COMBUSTION AIR TO FURNACE AREA OR THE RETURN
AIR DUCT.

PROVIDE CORE FILL AND VERTICAL REINFORCEMENT A MINIMUM OF SIX
FEET ON CENTER PER MN BLDG CODE 1303-1900

PROVIDE 6" WOOD/EARTH SEPARATION

FROST FOOTING MINIMUM 42" DEPTH.

PLAN CHANGES

4-21-20 RFI 0290 (ADAM)

REMOVE SPORT COURT, MAKE 2 CAR GARAGE, 38' WIDE TOTAL

5-8-20 RFI 0290 (MOLLY)

CHANGED WATERMARK TO "PERMIT PLAN"

GENERAL PLAN NOTES

ALL INTERIOR WALLS 3-1/2" UNLESS NOTED OTHERWISE. ALL INTERIOR
PLUMBING WALLS 5-1/2" UNLESS NOTED OTHERWISE. ALL ANGLED WALLS
ARE 45 DEGREES UNLESS NOTED OTHERWISE.

ALL INTERIOR WALLS TO HAVE 1/2" GYPSUM BOARD. ALL CEILING TO
HAVE 5/8" FIRECODE GYPSUM BOARD.

TOWEL BARS MOUNTED AT 54" AND TOILET PAPER HOLDERS MOUNTED AT 24"
SAFETY GLAZING GLASS TO BE USED ON ALL GLASS IN TUB AND
SHOWER AREA.

ATTIC ACCESS REQUIRED MINIMUM 22" X 30" IN AN ACCESSIBLE LOCATION.

SMOKE DETECTORS INTERCONNECTED, HARD WIRED, WITH BATTERY
BACKUP EACH LEVEL AND EACH BEDROOM.

SUMP BASKET COVER TO BE SECURED.

GARAGE/HOUSE SEPARATION WALL TO BE ONE HOUR FIRE RESISTIVE
CONSTRUCTION ON GARAGE SIDE OF WALL WITH JOINTS TAPED.

LEGIBLE SET OF MANUFACTURERS ENGINEERED TRUSS DETAILS TO BE
POSTED ON JOB SITE.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF OCCUPANCY
HAS BEEN ISSUED.

CONTINUOUS AIR BARRIER TO BE PROVIDED AT ALL ELECTRICAL,
MECHANICAL, AND PLUMBING PENETRATIONS.

5/8" TYPE "X" GYP/BD REQUIRED ON INSIDE OF ANY ENCLOSED
SPACE UNDER STAIRS.

EVERY PERSON PERFORMING WORK FOR WHICH THE CODE IS APPLICABLE
SHALL COMPLY WITH THE CODE.

CARBON MONOXIDE DETECTORS ARE REQUIRED WITHIN 10 FEET OF
EACH ROOM LAWFULLY USED FOR SLEEPING PURPOSES.

EXHAUST FANS MUST BE VENTED TO OUTSIDE AIR.
INSULATE DUCT IN UNHEATED AREAS.

REVISION DATES

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RESIDENCE FOR:

MODEL
ADDRESS
RAMSEY
LOT BLOCK
DEVELOPMENT

PROJECT TITLE

BROOKS
VILLA
MODEL

PRICE CUSTOM HOMES
1110 INDUSTRIAL CIRCLE NW
SUITE E
ELK RIVER, MN 55330
163-276-1191 OFFICE

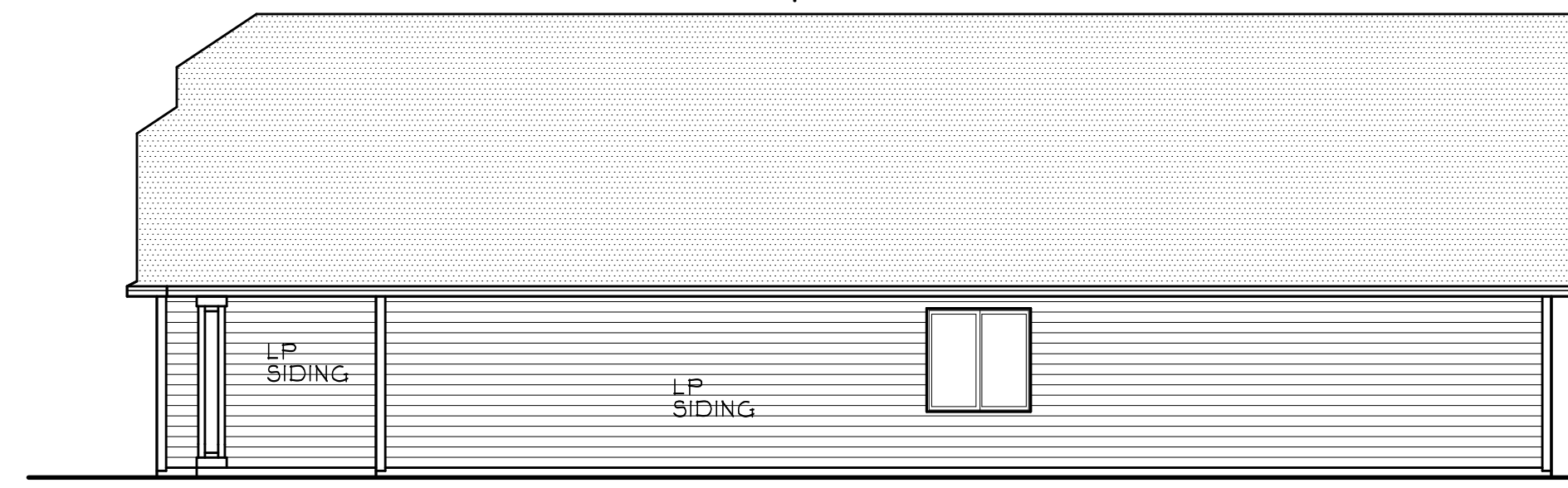


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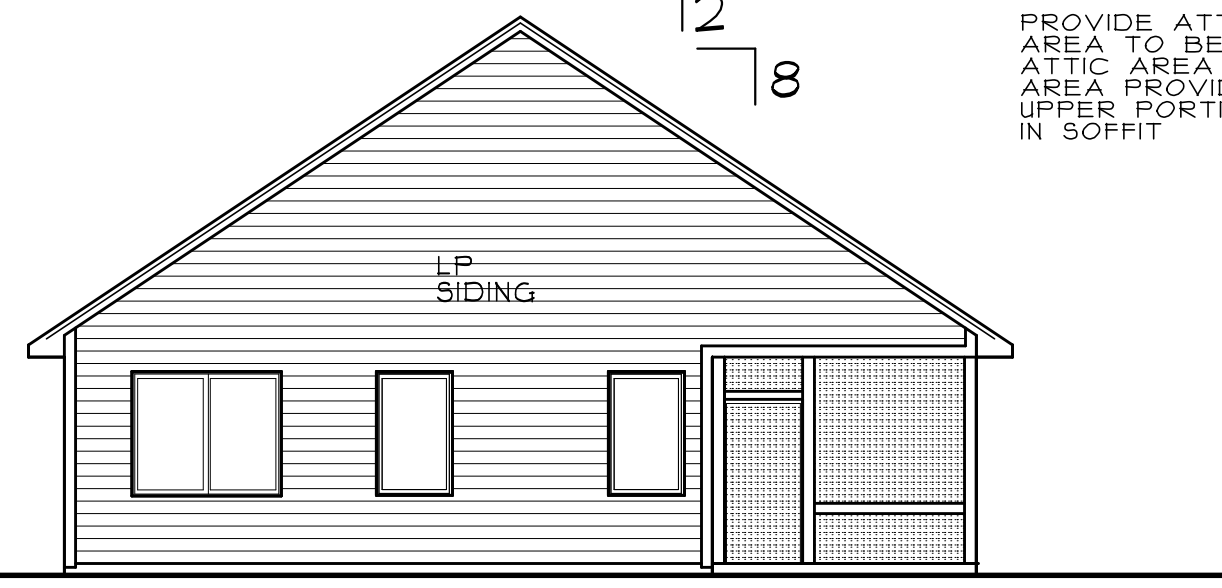
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SHEET # 8 OF 8



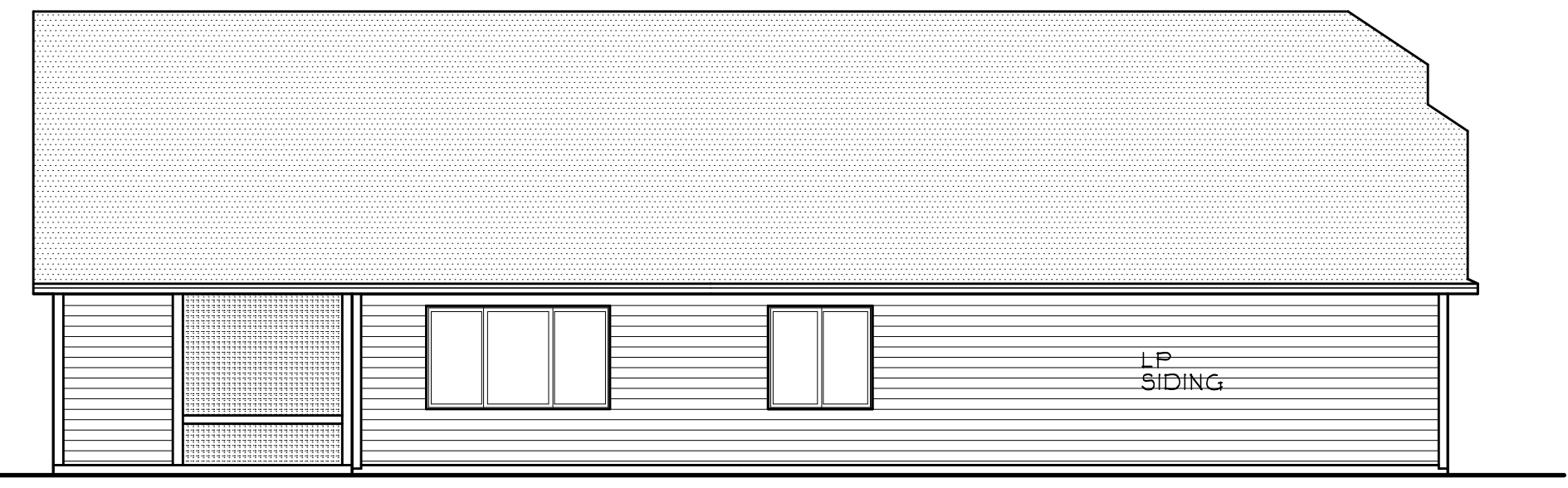
RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"

ATTIC VENTILATION
PROVIDE ATTIC VENTILATION, NET FREE AREA TO BE EQUAL TO 1/50TH OF ATTIC AREA OR 1/300TH OF ATTIC AREA PROVIDED AT LEAST 50% IS IN UPPER PORTION OF ROOF WITH BALANCE IN SOFFIT

PROVIDE PROPER DRAINAGE AWAY FROM BUILDING.



LEFT ELEVATION
SCALE: 1/8" = 1'-0"

ICE DAM PROTECTION
1 LAYER OF 40# COATED ROOFING OR COATED GLASS G BASE SHEET SHALL BE APPLIED FROM THE EAVES TO A LINE 24" INSIDE THE EXTERIOR WALL LINE WITH ALL LAPS CEMENTED TOGETHER

NOTE: DRIVEWAY MAY BE ADJUSTED IN FIELD TO LINE UP WITH CURB CUT BY DEVELOPER

FLASHING NOTE:
ALL OPENINGS TO EXTERIOR MUST BE CAULKED & FLASHED. FLASHING IS REQUIRED WHERE ALL ROOF AND VERTICAL SURFACES MEET, OR WHERE SIDING MATERIAL CHANGES.

SQUARE FOOTAGE CALCULATIONS		
AREA	FINISHED	UNFINISHED
LOWER LEVEL	N/A	N/A
MAIN FLOOR	1719	N/A
UPPER FLOOR	N/A	N/A
TOTAL	1719	N/A
GRAND TOTAL SQ. FT.	1719	
GARAGE	677 SQ FT	SCREEN PORCH 99 SQ FT
PORCH	81 SQ FT	



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

MUST POST ADDRESS ON CONSTRUCTION SITE VISIBLE FROM ROAD.

EVERY PERSON PERFORMING WORK FOR WHICH THE CODE IS APPLICABLE SHALL COMPLY WITH THE CODE.

NO OCCUPANCY OR USE ALLOWED UNTIL FINAL INSPECTION AND APPROVAL.

STORM WATER RUN-OFF SHALL BE CHanneled INTO SWALE, PONDING AREA OR OTHER SUITABLE FACILITY. NO RUN-OFF SHALL BE DIRECTED ONTO ADJACENT PROPERTIES.

PROPERTY LINES MUST BE STAKED IN ORDER TO VERIFY SETBACKS TO LOT LINES-IF NOT STAKED SURVEY MUST BE PROVIDED.

CLEAN STREET DAILY OF ANY MATERIAL TRACKED ONTO IT FROM THIS SITE.

HOUSE NUMBERS:
THE APPROVED ADDRESS SHALL BE DISPLAYED, PLAINLY VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY. 4" HIGH NUMBERS WILL BE USED, SUBJECT TO CITY REQUIREMENTS.

I/WE THE BUYERS OF LOT ____ BLOCK ____
SUBDIVISION: _____
AND/OR ADDRESS: _____

HAVE EXAMINED THIS SET OF PLANS AND ACCEPT THESE AS A REPRESENTATIVE OF THE DWELLING TO BE BUILT BY PRICE CUSTOM HOMES. I/WE THE BUYER(S) ALSO ACKNOWLEDGE THE BUILDER'S RIGHT TO MAKE ALTERATIONS OR SUBSTITUTE PRODUCT & DESIGN OF EQUAL OR GREATER QUALITY. ALL ALTERATIONS MADE IN COMPLIANCE WITH APPLICABLE BUILDING CODES & REGULATIONS. SUCH DESIGN ALTERATIONS SHALL INCLUDE BUT NOT BE LIMITED TO:
EXACT DIMENSIONS OF DWELLING & ROOMS THEREIN, OPENING SIZES ON ANY LEVEL OF DWELLING, THE NUMBER OF STEPS TO THE FRONT PORCH OR ANY OTHER LEVEL OF DWELLING, LOCATION OF HEAT VENTS & RUNS, ELECTRICAL PANEL, & OUTLETS. THE BUYER(S) ALSO ACKNOWLEDGE THAT ANY MODEL HOME, ADVERTISING, BROCHURE, AND/OR DISPLAYS ARE SHOWN & PUBLISHED FOR ILLUSTRATION ONLY. ALTERATIONS TO PLAN, DESIGN, PRODUCTS, AND STANDARD FEATURES MAY HAVE BEEN MADE SINCE THE CONSTRUCTION OF A MODEL HOME OR ANY OTHER COMPLETED DWELLING OF THIS PLAN. THE BUYER(S) MAY HAVE SEEN MODEL HOME DECORATING FEATURES SUCH AS DRAPERIES, SHELVING, WALLPAPER, FURNITURE, AND LANDSCAPING WHICH ARE NOT INCLUDED UNLESS OTHERWISE SPECIFICALLY CONTRACTED FOR.

STRUCTURAL SIGNOFF
CUSTOMER SIGNATURES:

BUYER _____ DATE _____
BUYER _____ DATE _____

FINAL SIGNOFF
CUSTOMER SIGNATURES:

BUYER _____ DATE _____
BUYER _____ DATE _____

BUILD

DOO

PRELIMINARY

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RESIDENCE FOR:
RIVERWALK MODEL
ADDRESS
RAMSEY
LOT BLOCK
DEVELOPMENT

PROJECT TITLE
HUMMINGBIRD III
RAMBLER

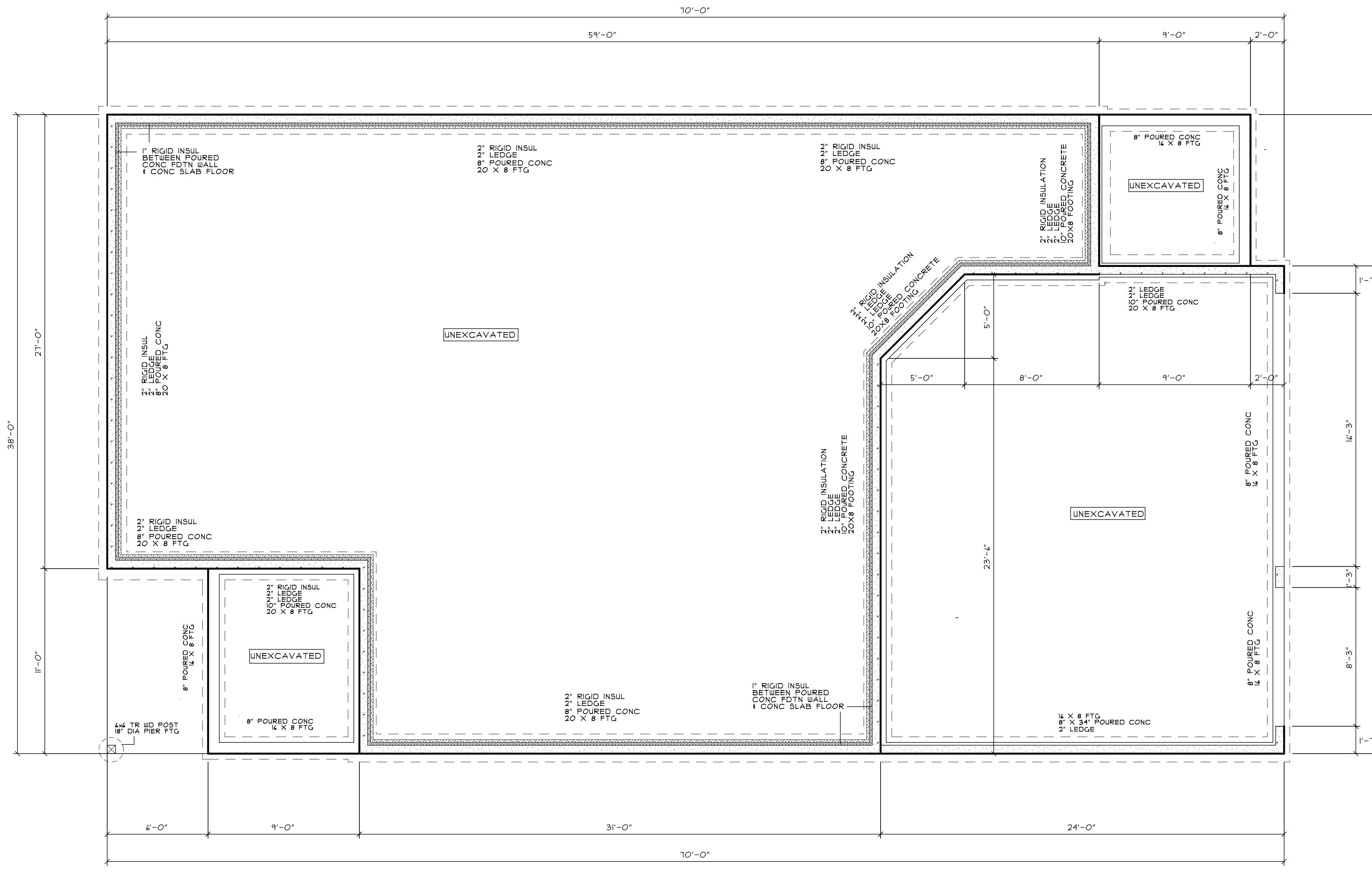
PRICE CUSTOM HOMES
1110 INDUSTRIAL CIRCLE NW
SUITE E
ELK RIVER, MN 55330
763-276-1191 OFFICE



ELEVATIONS
SCALE AS SHOWN

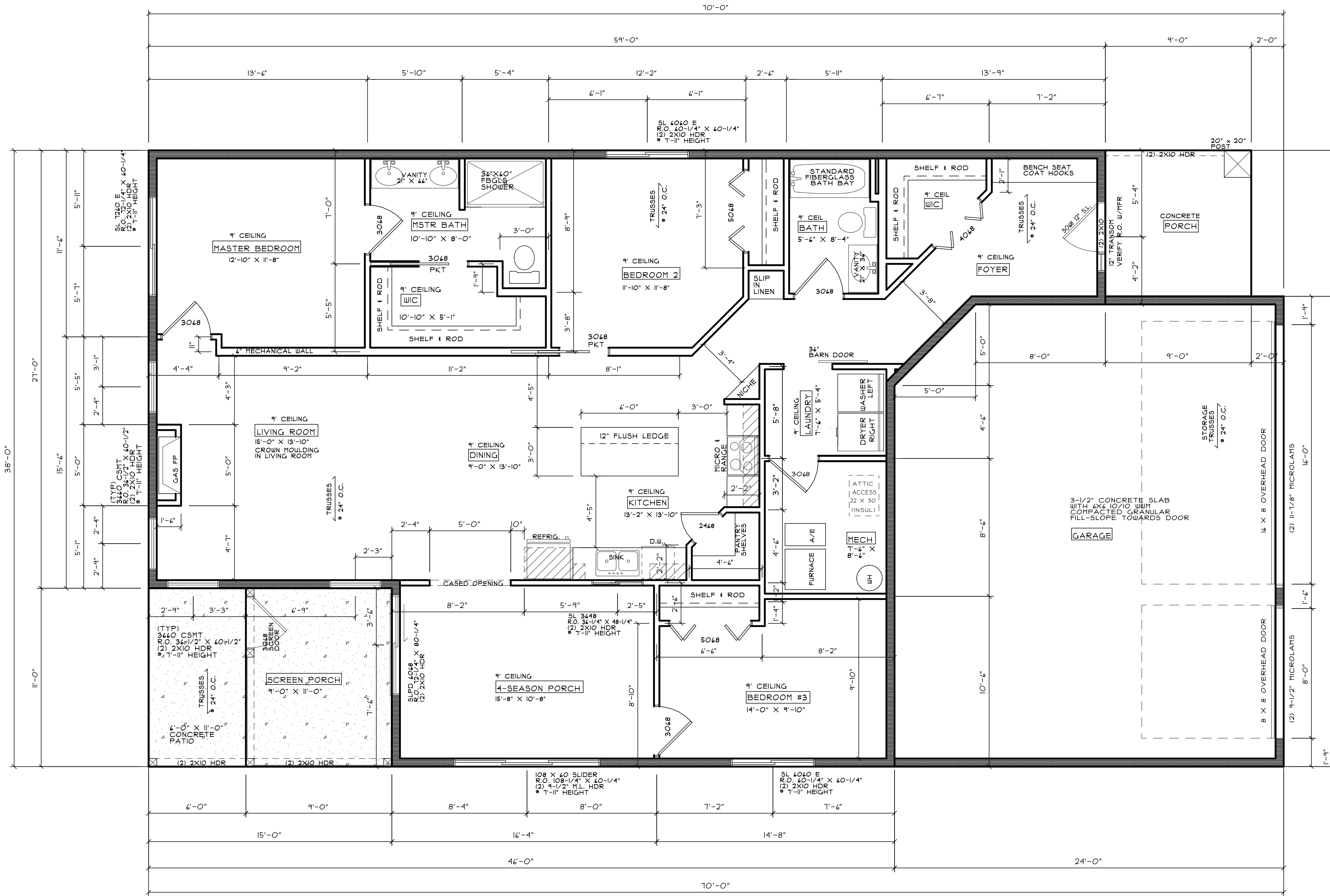
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SHEET # 1 OF 8



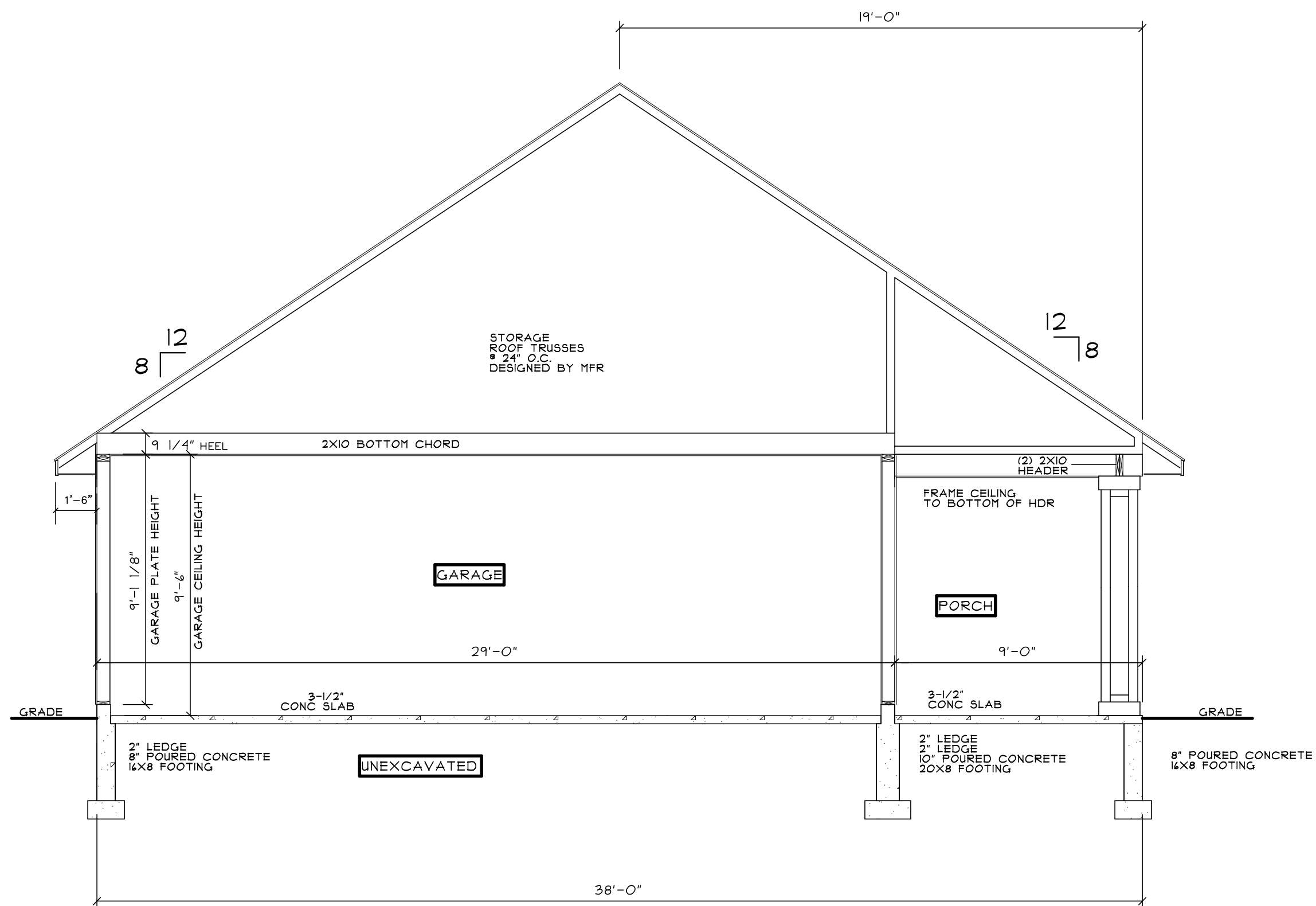
PRELIMINARY DO NOT BUILD

<p>PRICE CUSTOM HOMES 1110 INDUSTRIAL CIRCLE NW SUITE E ELK RIVER, MN 55330 763-276-7197 OFFICE</p>	<p>FOUNDATION PLAN SCALE: 1/4"=1'-0" PLAN DATE: 4-2-20 SHEET # 2 OF 8</p>	<p>PROJECT TITLE HUMMINGBIRD III RAMBLER</p>	<p>RESIDENCE FOR: RIVERWALK MODEL ADDRESS RAMSEY LOT BLOCK DEVELOPMENT</p>	<p>COPYRIGHT NOTICE THE FLOOR PLANS AND ELEVATIONS OF THIS CUSTOMER'S PROJECTS ARE COPYRIGHTED BY PRICE CUSTOM HOMES. ALL RIGHTS ARE RESERVED. THESE PLANS CONTINUE TO BE ENFORCED AND WILL CONTINUE TO BE GIVEN TO OR USED BY ANY OTHER PERSON OR COMPANY WITHOUT WRITTEN PERMISSION.</p>	<p>REVISION DATES ALL MEASUREMENTS AND LOCATIONS OF ALL OBJECTS HAVE BEEN PLACED AS ACCURATELY AS POSSIBLE. SOME ADJUSTMENTS MAY BE NECESSARY IN THE ACTUAL CONSTRUCTION DUE TO STRUCTURAL FRAMING AND OTHER FIELD CONSIDERATIONS.</p>
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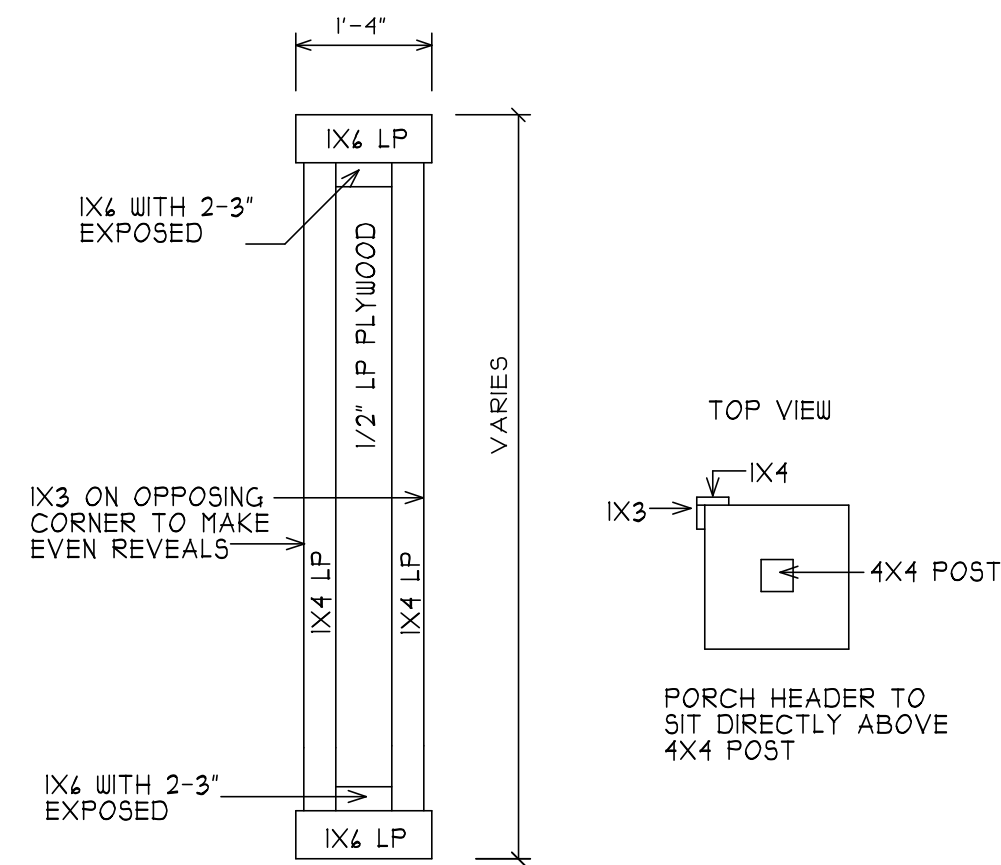


PRELIMINARY NOT BUILT

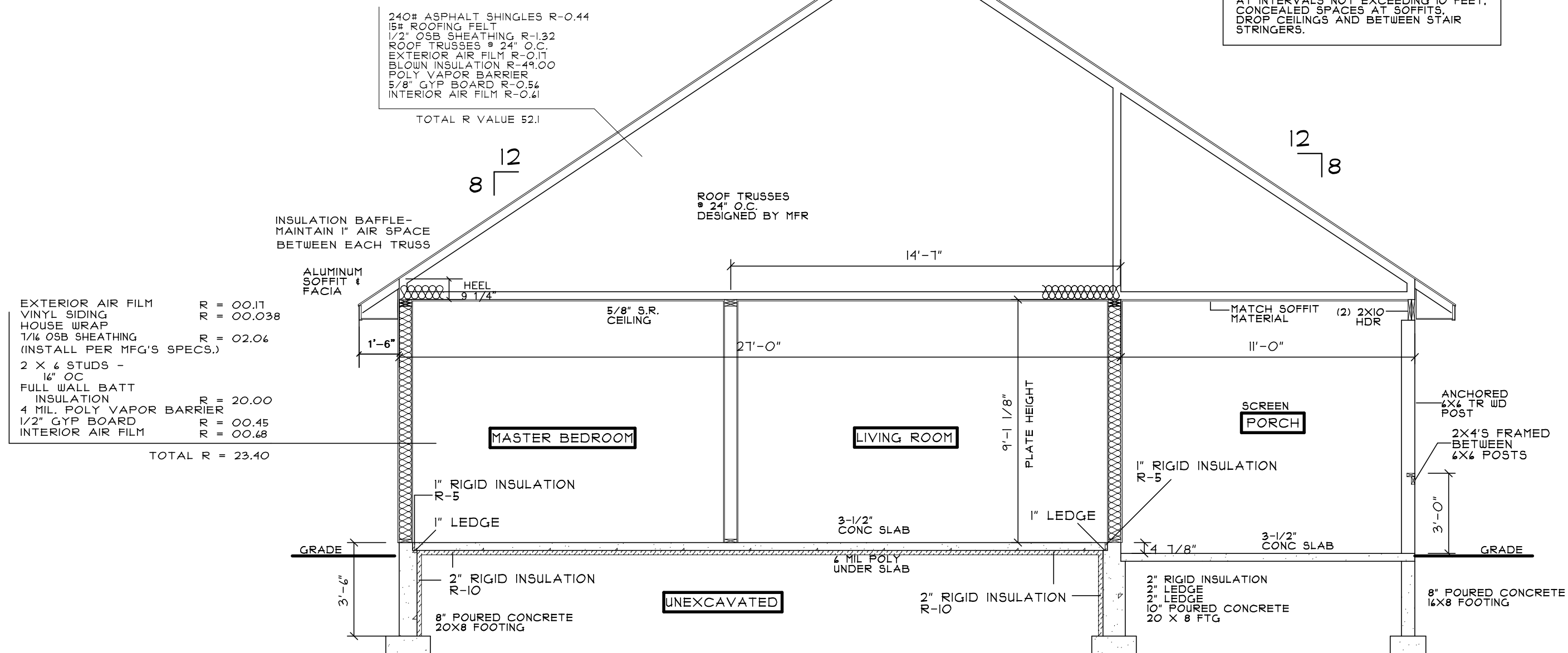
PRICE CUSTOM HOMES 1110 INDUSTRIAL CIRCLE NW SUITE E ELK RIVER, MN 55330 163-276-1191 OFFICE	PROJECT TITLE HUMMINGBIRD III RAMBLER	RESIDENCE FOR: RIVERWALK MODEL ADDRESS RAMSEY LOT BLOCK DEVELOPMENT	COPYRIGHT NOTICE THE FLOOR PLANS AND ELEVATIONS OF ALL PRICE CUSTOM HOMES ARE COPYRIGHTED. OUR COPYRIGHTS HAVE BEEN RESERVED. ANY INQUIRY TO BE GIVEN TO OR COMPLETED BY ANY OTHER PERSON OR COMPANY WITHOUT WRITTEN PERMISSION.	REVISION DATES
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SECTION THROUGH GARAGE
SCALE: 1/4" = 1'-0"



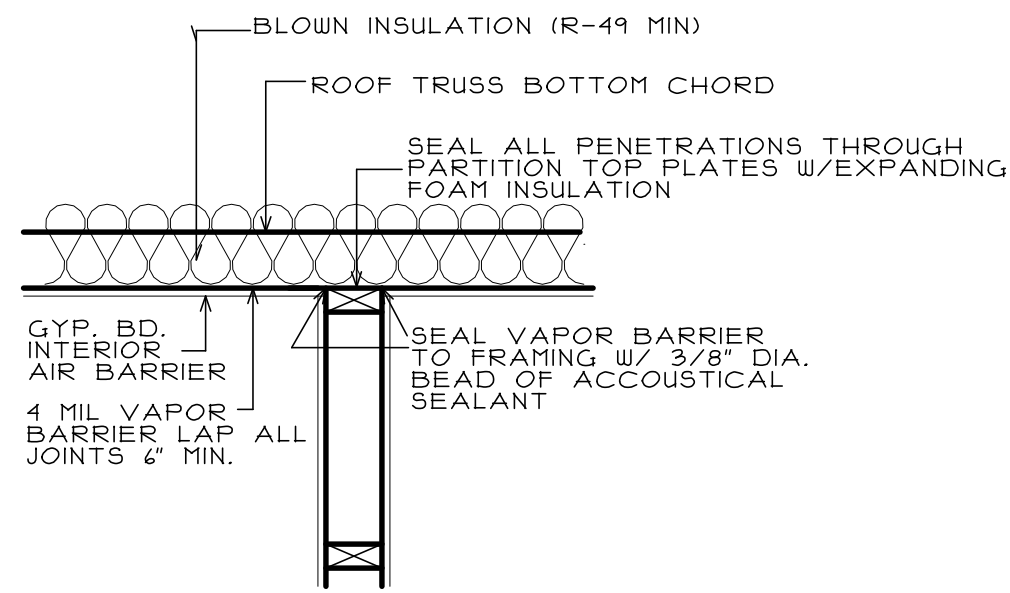
COLUMN DETAILS
SCALE: 1/2" = 1'-0"



SECTION THROUGH HOUSE
SCALE: 1/4" = 1'-0"

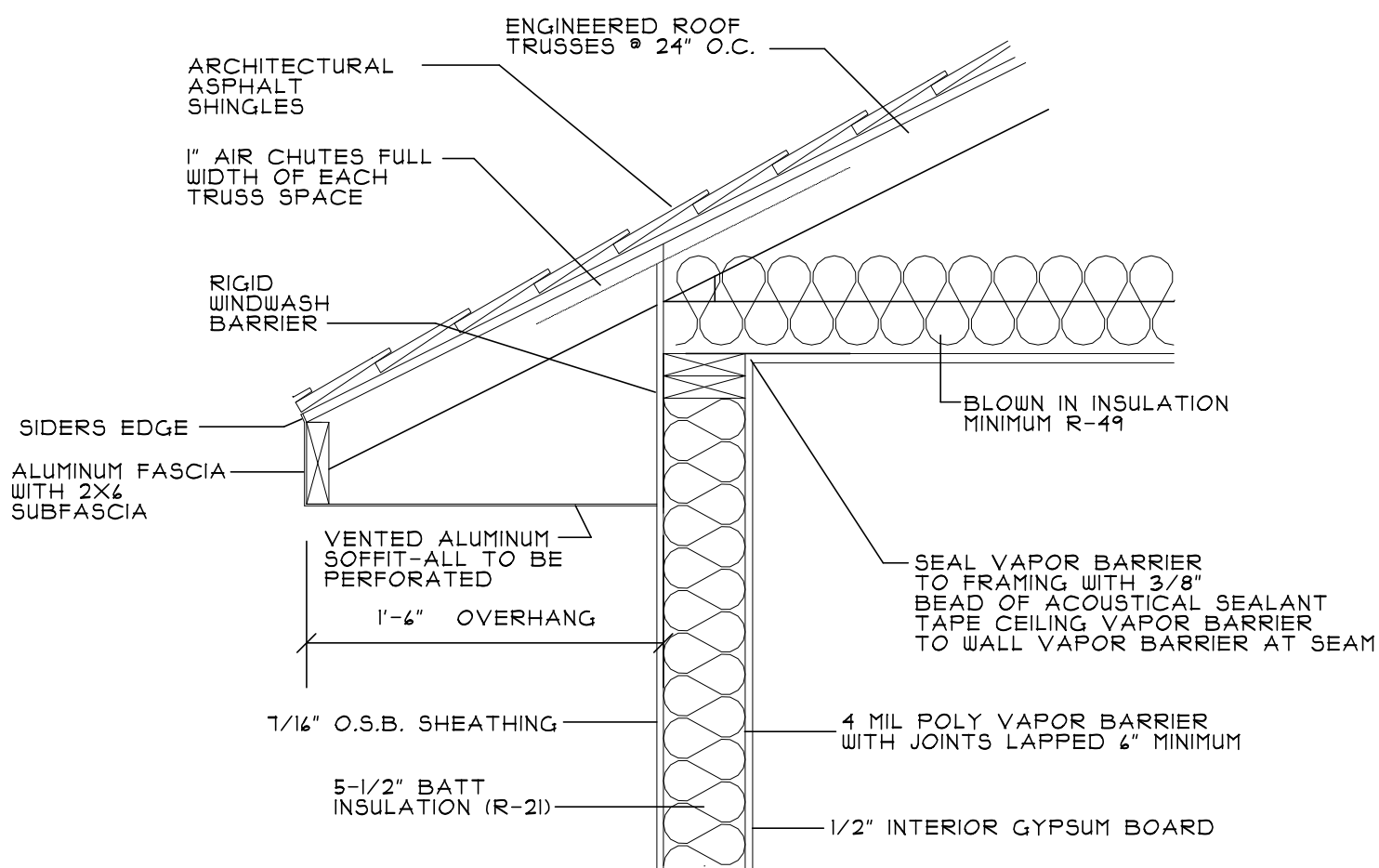
PRELIMINARY DO NOT BUILD

REVISION DATES	ALL MEASUREMENTS AND LOCATIONS OF ALL OBJECTS HAVE BEEN PLACED AS ACCURATELY AS POSSIBLE. SOME ADJUSTMENTS MAY BE NECESSARY IN THE ACTUAL CONSTRUCTION DUE TO STRUCTURAL FRAMING AND OTHER FIELD CONSIDERATIONS.
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RESIDENCE FOR:	RIVERWALK MODEL ADDRESS RAMSEY LOT BLOCK DEVELOPMENT
PROJECT TITLE	HUMMINGBIRD III RAMBLER
PRICE CUSTOM HOMES	1110 INDUSTRIAL CIRCLE NW SUITE E ELK RIVER, MN 55330 763-216-1191 OFFICE
SECTIONS	SCALE: AS SHOWN
PLAN DATE	4-2-20
SHEET #	4 OF 8



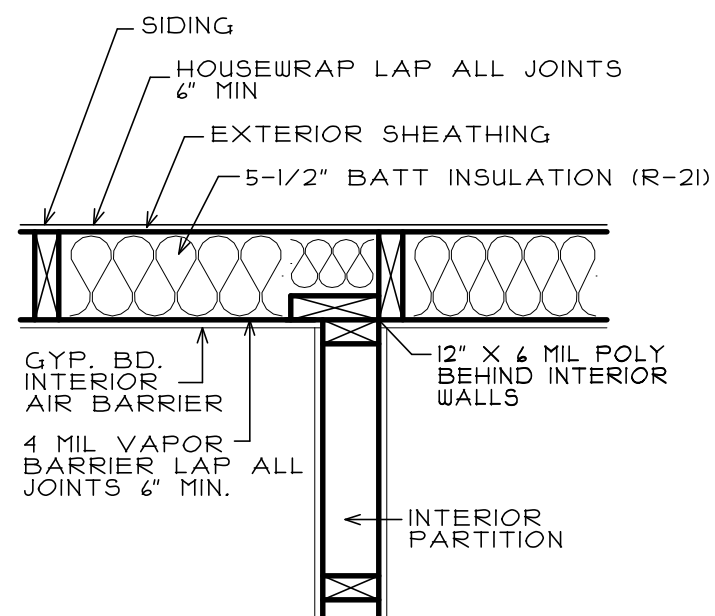
WALL ATTIC SPACE

SCALE: 1" = 1'-0"



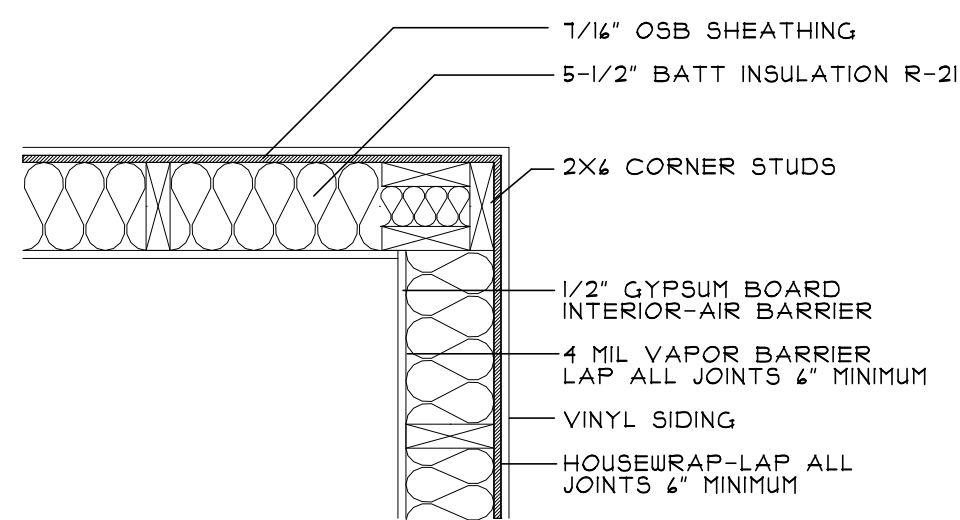
TRUSS DETAIL

SCALE: 1" = 1'-0"



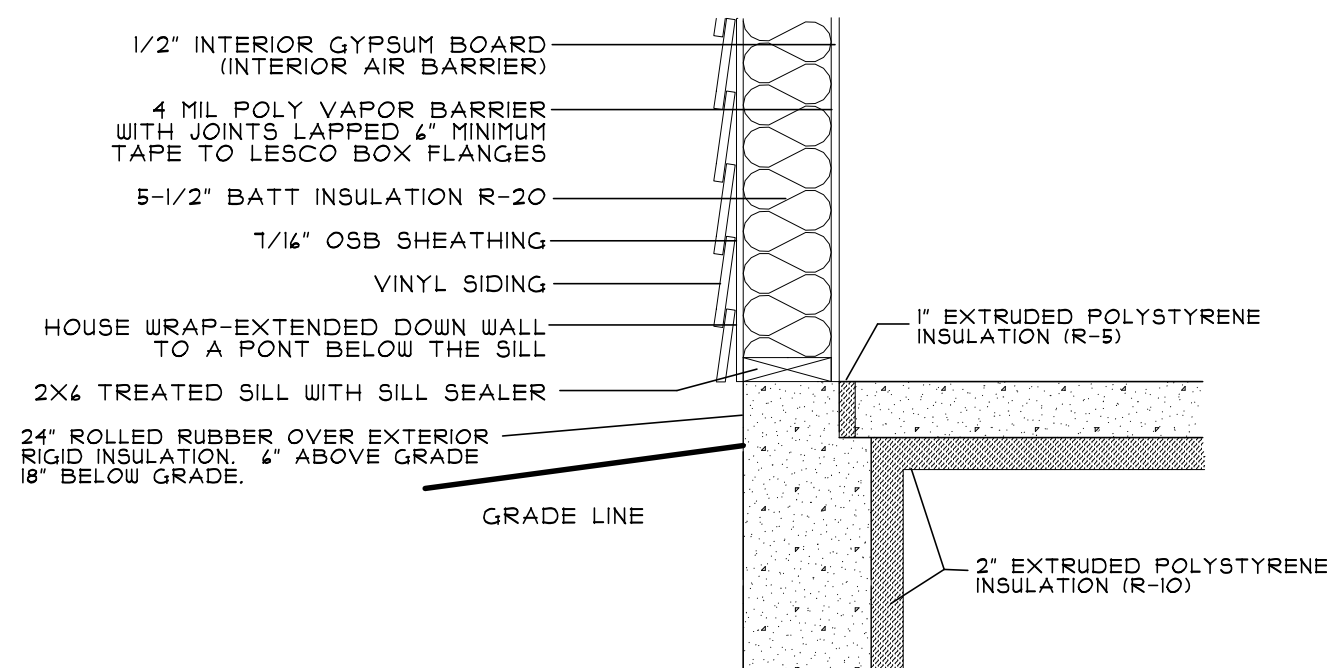
WALL INTERSECTION DETAIL

SCALE: 1" = 1'-0"



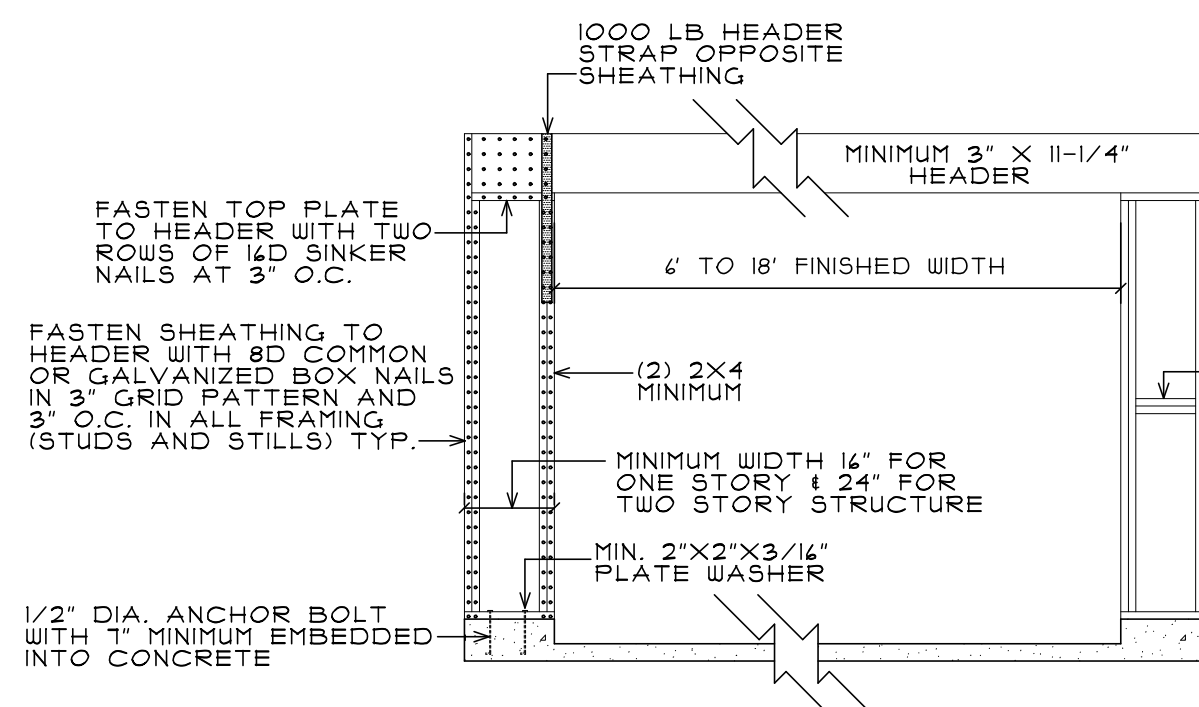
OUTSIDE CORNER DETAIL

SCALE: 1" = 1'-0"



SOG FOUNDATION DETAIL

SCALE: 1" = 1'-0"



BRACED WALL PANEL AT GARAGE DOORS

NO SCALE

CONSTRUCTION NOTES

- EXTERIOR DECKS, POSTS, ETC. TO BE GREEN TREATED OR EQUIVALENT
- WOOD ON CONCRETE OR MASONRY IN DIRECT CONTACT WITH EARTH OR WOOD WITHIN 6" OF GRADE MUST BE TREATED OR DECAY RESISTANT.
- PROVIDE SOLID BEARING UNDER ALL BEAMS, HEADERS, AND GIRDERS TO THE FOUNDATION.
- CARPENTERS TO PROVIDE BLOCKING FOR ALL NEWEL POSTS.
- CARPENTER TO PROVIDE BLOCKING FOR ALL UPPER AND LOWER CABINETS.
- FIRESTOP SOFFITS AT CEILING.
- FIRESTOP FLUESPACES AT FLOOR & CEILING.
- PLACEMENT OF MECHANICAL COMPONENTS WILL BE DETERMINED BY BUILDING CODES AND MAY VARY FROM THAT SHOWN.
- ELECTRICAL WILL BE PROVIDED TO CODE. LOCATION OF OUTLETS MAY VARY FROM THAT SHOWN. ADDITIONS AND UPGRADES MUST BE SPECIFIED ON PLANS.
- EGRESS: ONE WINDOW IN LOWER LEVEL AND ONE WINDOW IN EACH BEDROOM MUST HAVE 5.1 SQ. FT. OF NET OPENABLE AREA WITH A MINIMUM OF 20" IN WIDTH AND 24" IN HEIGHT. MAXIMUM SILL HEIGHT ABOVE FLOOR IS 44".
- BIFOLD DOORS: 80-1/2" TRIMMERS. ROUGH OPENING TO BE 1-1/4" WIDER THAN DOOR SIZE NOTED.
- PRE-HUNG DOORS: 8" TRIMMERS. ROUGH OPENING TO BE 2" WIDER THAN DOOR SIZE NOTED.
- SAFETY GLAZING TO BE USED ON ALL GLASS IN TUB AND SHOWER AREA.
- ATTIC ACCESS REQUIRED MINIMUM 22" X 30" IN AN ACCESSIBLE LOCATION.
- SMOKE DETECTORS: INTER-CONNECTED, HARD WIRED, WITH BATTERY BACKUP-EACH LEVEL & EACH BEDROOM.
- GARAGE/HOUSE SEPARATION WALL TO BE ONE HOUR FIRE RESISTIVE CONSTRUCTION ON GARAGE SIDE OF WALL WITH JOINTS TAPED.
- GARAGE/HOUSE SEPARATION DOOR TO BE 20 MINUTE FIRE RATED, LATCHING, AND GASKETED.
- LEGIBLE SET OF MANUFACTURERS ENGINEERED TRUSS DETAILS TO BE POSTED ON JOB SITE.
- BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF OCCUPANCY HAS BEEN ISSUED.
- CONTINUOUS AIR BARRIER TO BE PROVIDED AT ALL ELECTRICAL, MECHANICAL, AND PLUMBING PENETRATIONS.
- EXTERIOR JOINTS AND OPENINGS TO BE CAULKED, GASKETED, OR OTHERWISE SEALED IN AN APPROVED MANNER.
- 5/8" TYPE "X" GYP/BD REQUIRED ON INSIDE OF ANY ENCLOSED SPACE UNDER STAIRS.
- FINISHED LOWER LEVEL WALLS SHALL HAVE TREATED BOTTOM PLATE WHEN IN CONTACT WITH CONCRETE FLOOR.
- ALL CONSTRUCTION MATERIALS SHALL MEET BUILDING CODES AND MAY BE CHANGED AT THE BUILDER'S DISCRETION.
- CARPENTER TO PROVIDE WINDWASH 18" FROM BOTTOM OF TRUSS CORD & UP.
- MOISTURE BARRIER TO BE INSTALLED BEHIND ANY FACE BRICK.

REVISION DATES

COPYRIGHT NOTICE

RESIDENCE FOR:

PROJECT TITLE

PRICE CUSTOM HOMES

DETAILS

SCALE: AS SHOWN

PLAN DATE: 4-2-20

SHEET # 5 OF 8

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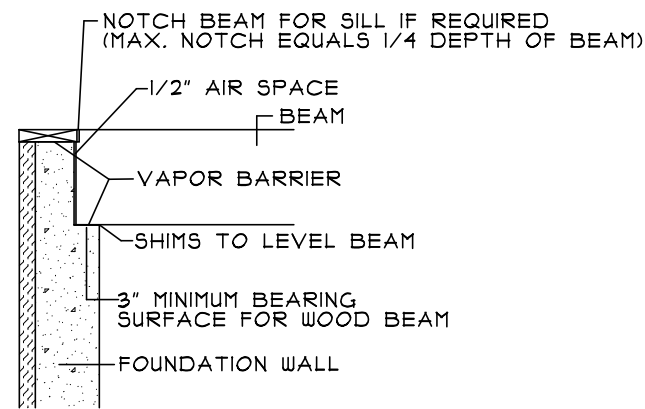
RIVERWALK MODEL ADDRESS RAMSEY LOT BLOCK DEVELOPMENT

HUMMINGBIRD III RAMBLER

110 INDUSTRIAL CIRCLE NW SUITE E ELK RIVER, MN 55330 763-276-7197 OFFICE

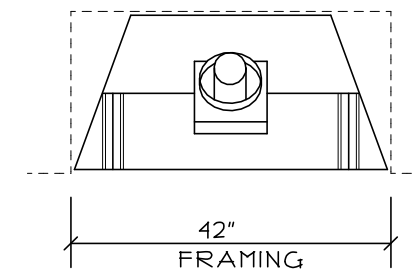


PRELIMINARY

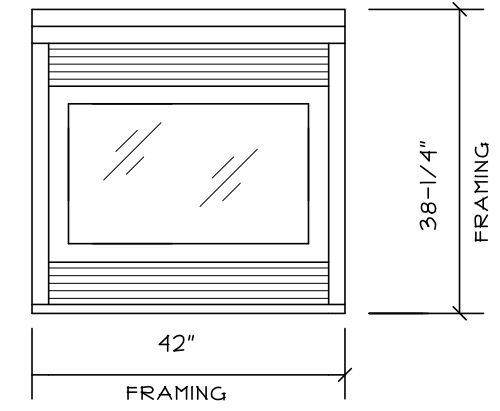


**BEAM POCKET DETAIL
IF APPLICABLE**

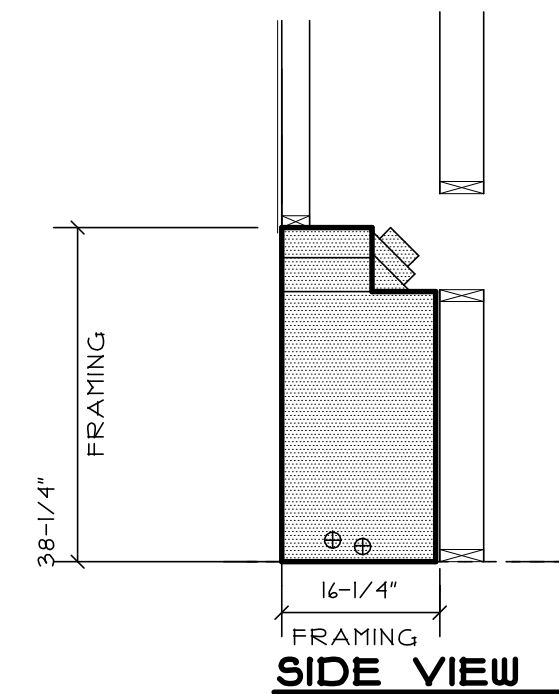
SCALE: 1/2" = 1'-0"



TOP VIEW

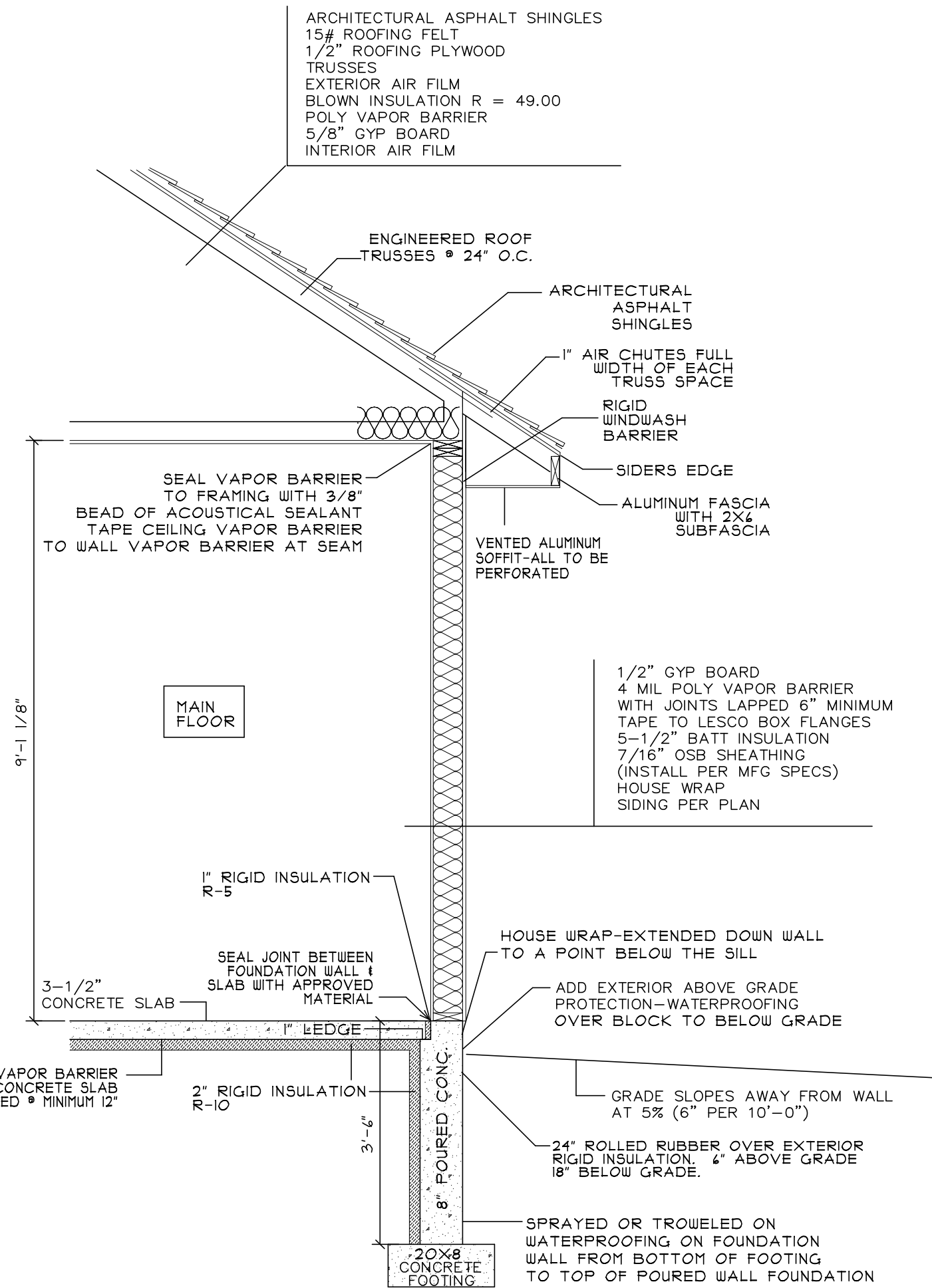


FRONT VIEW



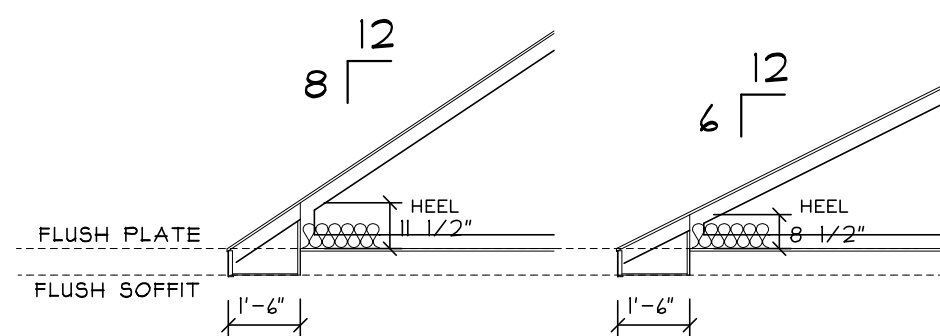
SIDE VIEW

**OPTIONAL
SL150 GAS FP**
REAR VENTED
NO SCALE



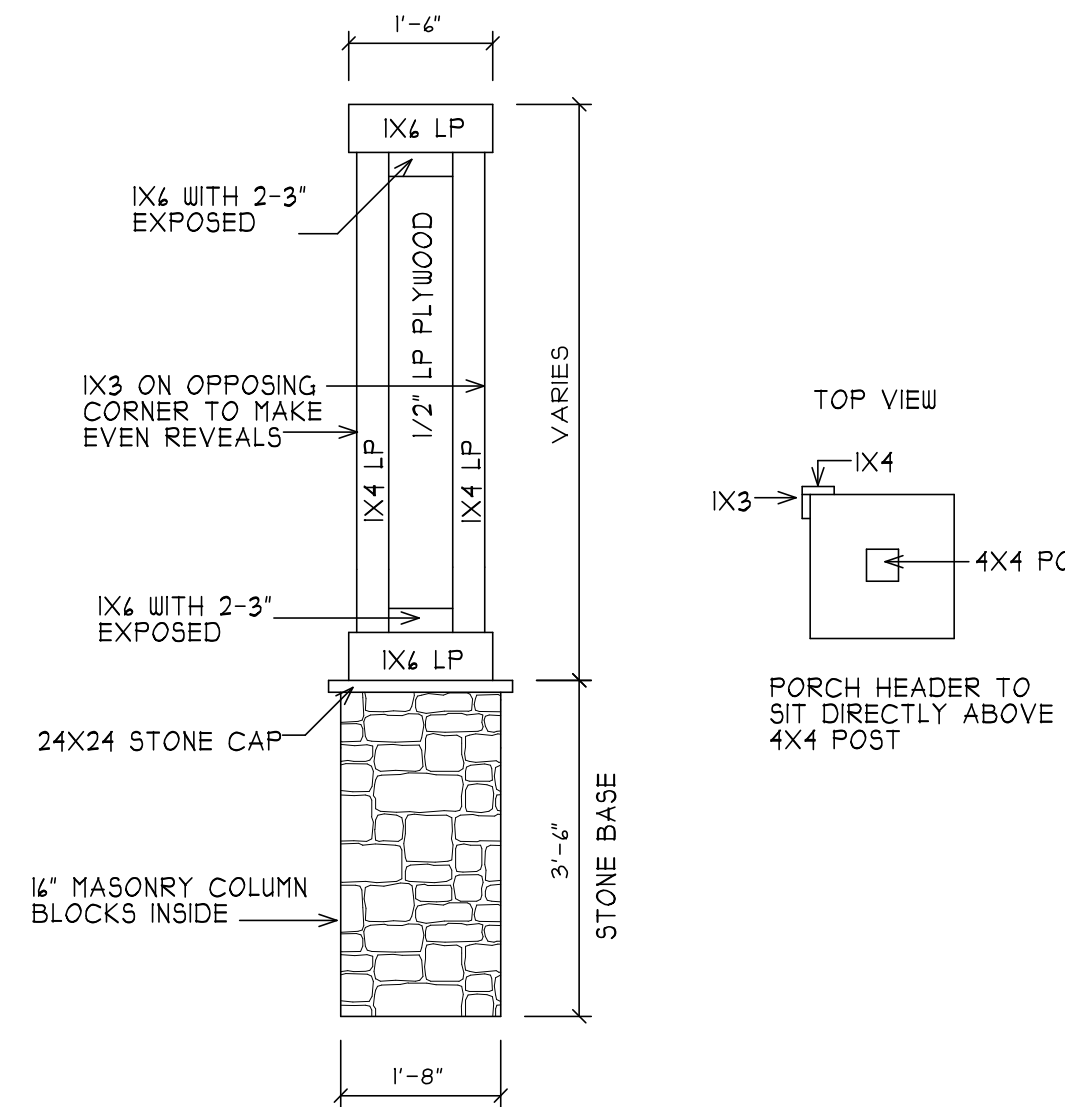
**RAMBLER SOG
WALL SECTION**

SCALE: 1/2" = 1'-0"



HEEL HEIGHT DETAIL

SCALE: 1/4" = 1'-0"



**OPTIONAL COLUMN
DETAILS**

SCALE: 1/2" = 1'-0"

PRELIMINARY DO NOT BUILD

REVISION DATES

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RESIDENCE FOR:
RIVERWALK MODEL
ADDRESS
RAMSEY
LOT BLOCK DEVELOPMENT

PROJECT TITLE:
HUMMINGBIRD III
RAMBLER

PRICE CUSTOM HOMES
1110 INDUSTRIAL CIRCLE NW
SUITE E
ELK RIVER, MN 55330
763-276-7197 OFFICE



SECTIONS
SCALE: AS SHOWN

PLAN DATE: 4-1-20

SHEET # 6 OF 8

RADON MITIGATION SYSTEM

RADON MITIGATION-PASSIVE SYSTEM

1. SUBFLOOR PREPARATION

CLAY JOBS

ALL INTERIOR BASEMENT FLOOR SPACE TO BE BACKFILLED WITH AGGREGATE APPROXIMATELY 8" DEEP. THE AGGREGATE SHALL CONSIST OF MATERIAL THAT WILL PASS THROUGH A 2 INCH SIEVE AND BE RETAINED BY A 1/4 INCH SIEVE.

SAND SUPPLIED BY EXCAVATOR
SAND INSTALLED BY EXCAVATOR
RADON SEALED SUMP BASKET AND COVER/DRAINTILE INSTALLED BY EXCAVATOR

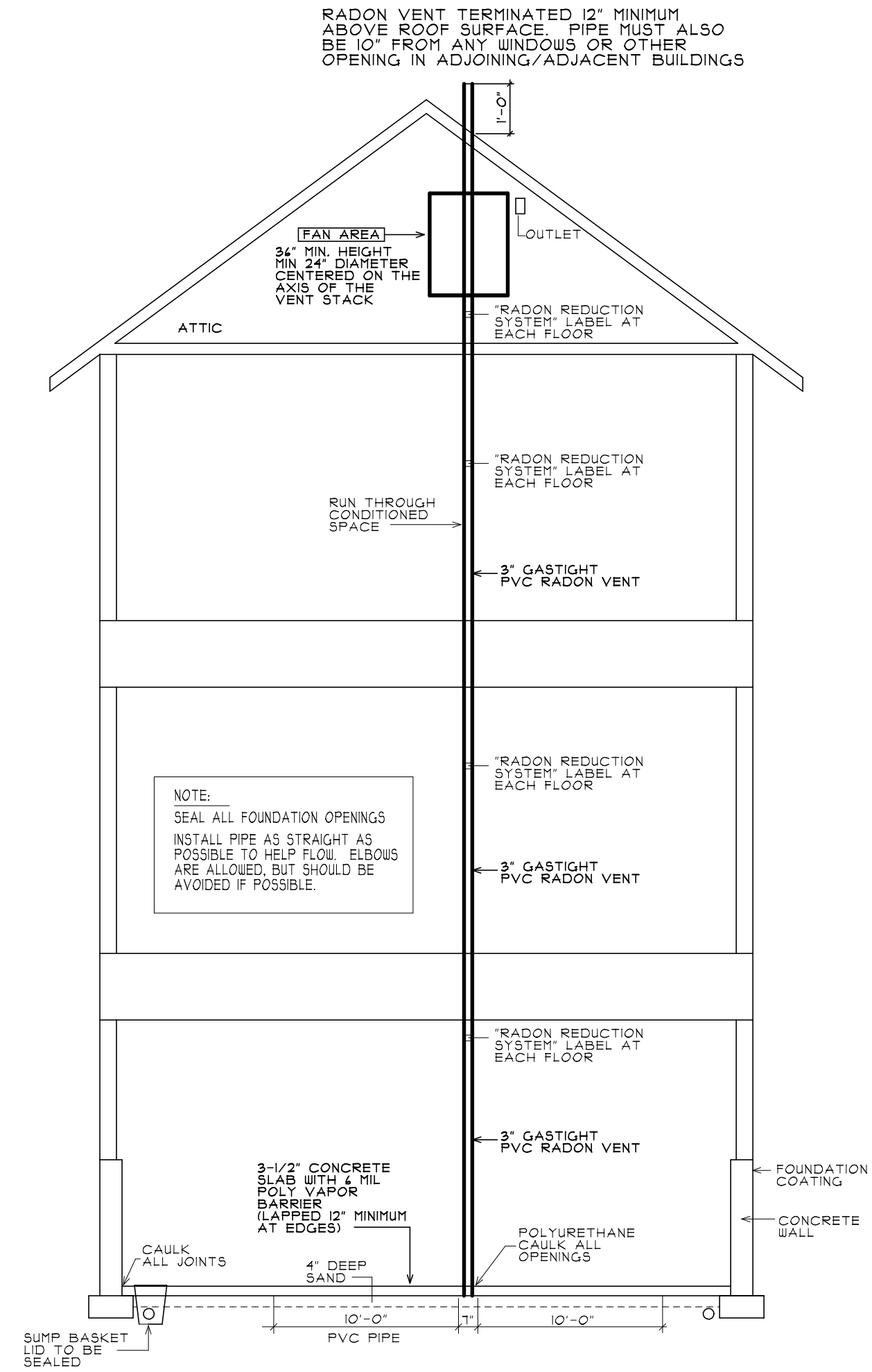
RADON MITIGATION-ALTERNATIVE PASSIVE SYSTEM

SAND JOBS

A FOUNDATION DRAIN PIPE SYSTEM INSTALLED UNDER CONCRETE FLOOR SLAB AREAS, CONSISTING OF A CONTINUOUS LOOP OF MINIMUM 4" PERFORATED PIPE SHALL BE LAID IN THE SUB-GRADE WITH THE TOP OF THE PIPE LOCATED APPROXIMATELY 1 INCH BELOW THE CONCRETE SLAB. THE LOOP OF PERFORATED PIPE MUST BE BURIED 4 INCHES DEEP IN A GAS-PERMEABLE LAYER OF CLEAN SAND FILL.

SAND SUPPLIED BY WATERPROOFING CONTRACTOR
SAND INSTALLED BY WATERPROOFING CONTRACTOR
RADON SEALED SUMP BASKET AND COVER/DRAINTILE SUPPLIED BY WATERPROOFING CONTRACTOR
RADON SEALED SUMP BASKET AND COVER/DRAINTILE INSTALLED BY WATERPROOFING CONTRACTOR

2. SOIL GAS RETARDER (6 MIL POLY) THE SOIL IN BASEMENT FLOOR AREAS SHALL BE COVERED WITH A CONTINUOUS LAYER OF MINIMUM 6 MIL POLYETHYLENE SOIL-GAS-RETARDER. THE GROUND COVER SHALL BE LAPPED A MINIMUM OF 12 INCHES AT JOINTS AND SHALL EXTEND TO ALL FOUNDATION WALLS ENCLOSING THE CRAWL SPACE AREA.
6 MIL POLY SUPPLIED AND INSTALLED BY CONCRETE SUBCONTRACTOR.
3. FLOOR OPENINGS-OPENINGS AROUND BATHTUBS, SHOWERS, WATER CLOSETS, PIPES, WIRES, OR OTHER OBJECTS THAT PENETRATE CONCRETE SLABS OR OTHER FLOOR ASSEMBLIES SHALL BE FILLED WITH A POLYURETHANE CAULK.
4. CONCRETE JOINTS-ALL CONCRETE JOINTS, ISOLATION JOINTS, CONSTRUCTION JOINTS, AND ANY OTHER JOINTS IN CONCRFETE SLABS OR BETWEEN SLABS AND FOUNDATION WALLS SHALL BE SEALED WITH A CAULK OR SEALANT. GAPS OR JOINTS SHALL BE CLEARED OF LOOSE MATERIAL AND FILLED WITH POLYURETHANE CAULK.
5. CONDENSATION DRAINS-SHALL BE TRAPPED OR ROUTED THROUGH NON-PERFORATED PIPE TO DAYLIGHT.
6. SUMPS-SUMP PITS SERVING AS THE TERMINATION POINT FOR SUB-SLAB OR INTERIOR DRAIN TILE LOOPS SHALL BE COVERED WITH A GASKETED OR OTHERWISE SEALED LID. SUMPS USED AS THE SUCTION POINT IN A SUB-SLAB DEPRESSURIZATION SYSTEM SHALL HAVE A LID DESIGNED TO ACCOMMODATE THE VENT PIPE. SUMPS USED AS A FLOOR DRAIN SHALL HAVE A LID EQUIPPED WITH A TRAPPED INLET.
7. VENT PIPE-A PLUMBING TEE CONNECTION SHALL BE INSERTED HORIZONTALLY BENEATH THE POLY WITH ONE 10 FOOT SECTION OF A PERFORATED PIPE CONNECTED TO EACH SIDE OF THE "T" FITTING AND THEN CONNECTED TO A 3 OR 4 INCH DIAMETER FITTING WITH A VERTICAL VENT PIPE INSTALLED THROUGH THE SHEETING. THE VENT PIPE SHALL BE OF SOLID PIPING MATERIAL AND SHALL BE EXTENDED UP THROUGH THE BUILDING FLOORS, TERMINATED AT LEAST 10 FEET AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE CONDITIONED SPACES OF THE BUILDING TGHAT IS LESS THAN 2 FEET BELOW THE EXHAUST POINT, AND 10 FEET FROM ANY WINDOW OR OTHER OPENING.
8. VENT PIPE DRAINAGE-ALL COMPONENTS OF THE RADON VENT PIPE SYSTEM SHALL BE INSTALLED TO PROVIDE POSITIVE DRAINAGE TO THE GROUND BENEATH THE SLAB OR POLY.
9. VENT PIPE ACCESSIBILITY-RADON VENT PIPES SHALL PROVIDE ENOUGH SPACE AROUND THE PIPE FOR FUTURE INSTALLATION OF A FAN SYSTEM. THE SPACE PROVIDED FOR INSTALLATION OF A FUTURE FAN SHLL BE A MINIMUM OF 24 INCHES IN DIAMETER, CENTERED ON THE AXIS OF THE VENT STACK, AND SHALL EXTEND FOR A MINIMUM VERTICAL DISTANCE OF 3 FEET.
10. VENT PIPE IDENTIFICATION-ALLJ RADON VENT PIPES SHALL BE IDENTIFIED WITH AT LEAST ONE LABEL ON EACH FLOOR AND IN ACCESSIBLE ATTICS. THE LABEL SHALL READ: "RADON REDUCTION SYSTEM".
11. POWER SOURCE-TO PROVIDE FOR FUTURE INSTALLATION OF AN ACTIVE SUB-MEMBRANE, AN ELECTRICAL CIRCUIT TERMINATED IN AN APPROVED BOX SHALL BE INSTALLED DURING CONSTRUCTION IN THE ATTIC LOCATION OF VENT PIPE FANS.



PASSIVE RADON SYSTEM

PRELIMINARY DO NOT BUILD

REVISION DATES

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RESIDENCE FOR:

RIVERWALK MODEL
ADDRESS
RAMSEY
LOT BLOCK
DEVELOPMENT

PROJECT TITLE

HUMMINGBIRD III
RAMBLER

PRICE CUSTOM HOMES
1110 INDUSTRIAL CIRCLE NW
SUITE E
ELK RIVER, MN 55330
163-276-1191 OFFICE

PRICE CUSTOM HOMES

ENERGY CODE
SCALE: AS SHOWN
PLAN DATE: 4-2-20
SHEET # 7 OF 8

ENERGY CODE
SCALE: AS SHOWN
PLAN DATE: 4-2-20
SHEET # 7 OF 8

2015 CODE REQUIREMENTS

HVAC

ALL HVAC MUST BE RUN WITHIN THERMAL ENVELOPE (CONDITIONED SPACE)
DUCTWORK CANNOT BE EMBEDDED IN INSULATION

BLOWER DOOR TESTING REQUIRED

BLASTER DOOR TESTING NOT REQUIRED
SO LONG AS ALL HVAC IS WITHIN THE THERMAL ENVELOPE

ALL RETURN AIR DUCTING MUST BE HARD PIPED
NO FRAMING SHEETROCK CAVITIES

ALL DUCTWORK MUST BE SEALED WITH U.L. APPROVED MATERIALS
ALUMINUM TAPE IS NOT U.L. APPROVED FOR THIS APPLICATION

THE MINIMUM VERTICAL CLEARANCE BETWEEN CONTAMINANT SOURCE
AND AN OUTDOOR INTAKE HAS INCREASED FROM 2" TO 3"

FALL PROTECTION

OPERABLE WINDOWS TO COMPLY WITH ASTM F 2090

ENERGY

ATTICS MINIMUM R-49, EXTERIOR WALLS R-20
BASEMENT WALLS AT FOUNDATION R-15
R-10 MINIMUM OUTSIDE
R-5 INSIDE IN LOCATIONS REQUIRED BY CODE (R402.1.1 & R402.4.1.2)

FLOOR CANTILEVERS AND TUCKUNDERS R-30

BLOWER DOOR TESTING REQUIRED BEFORE CERTIFICATE OF OCCUPANCY

CONCRETE

ALL HOUSE STRIP FOOTINGS TO BE 5000 PSI

FRAMING

ALL SILL PLATES TO OVERHANG FOUNDATION BY 2".
USE 2X4 TREATED LSL AT WALKOUT
USE 2X8 BORATE TREATED SPF OTHER LOCATIONS

WINDOW & DOOR NOTES

EGRESS...ONE WINDOW IN LOWER LEVEL AND ONE WINDOW IN EACH
BEDROOM MUST HAVE 5.7 SQ. FT. OF NET OPENABLE AREA WITH A
MINIMUM OF 20" IN WIDTH AND 24" IN HEIGHT. MAXIMUM SILL HEIGHT
ABOVE FLOOR IS 44".

BLOCK ALL EXTERIOR PATIO DOORS WITH NO DECK ATTACHED SO
DOOR CANNOT BE OPENED MORE THAN 4".

GARAGE/HOUSE SEPARATION DOOR TO BE 20 MINUTE FIRE RATED,
LATCHING & GASKETED.

ALL VEHICLE ACCESS DOORS MUST BE RATED TO WITHSTAND 90 MPH
WIND LOADS. APPROVED ASSEMBLIES MUST BE MARKED OR LABELED
AS COMPLIANT WITH ANSI/D5MA108.

DOUBLE STUD EACH SIDE OF DOOR OPENING FOR TRIM

ROUGH OPENING SCHEDULE

ITEM	ROUGH OPENING
ALL WINDOWS-ADD 1/2" TO HEIGHT AND 1/2" TO WIDTH	
6068 PATIO DOOR	74" X 83"
8080 PATIO DOOR	99" X 99"
2868 EXTERIOR GARAGE DOOR	34" X 83"
3068 EXTERIOR FRONT DOOR	38" X 83"
3068 FRONT DOOR WITH 1 S.L.	50-1/2" X 82"
3068 FRONT DOOR WITH 2 S.L.	62-1/2" X 82"
3068 FRONT DOOR 1 S.L. & TRANSOM	50-1/2" X 94"
3068 FRONT DOOR 2 S.L. & TRANSOM	62-1/2" X 94"
2068 PREHUNG INTERIOR	26" X 83"
2468 PREHUNG INTERIOR	30" X 83"
2668 PREHUNG INTERIOR	32" X 83"
2868 PREHUNG INTERIOR	34" X 83"
3068 PREHUNG INTERIOR	38" X 83"
2068 BIFOLD	82" X 25-1/2"
2668 BIFOLD	82" X 31-1/2"
3068 BIFOLD	82" X 31-1/2"
4068 BIFOLD	82" X 49-1/2"
5068 BIFOLD	82" X 61-1/2"
6068 BIFOLD	82" X 73-1/2"

STAIR & RAILING NOTES

EVERY STAIRWAY SHALL HAVE A HEADROOM CLEARANCE
OF NOT LESS THAN 6'-8".

CARPENTER TO PROVIDE BLOCKING FOR NEWEL POSTS.

TOP OF HANDRAILS TO BE MOUNTED AT 36" ABOVE FRONT
EDGE OF TREAD NOSING-CONTINUOUS FULL LENGTH OF
STAIRS. TURN ENDS INTO NEWEL POST OR WALL.

RAILINGS ARE AT MINIMUM 36" HEIGHT WITH MAXIMUM LESS
THAN 4" BETWEEN INTERMEDIATE RAILS.

STAIRS 4" MINIMUM RISE AND 1-3/4" MAXIMUM RISE. STAIR
TREADS MINIMUM 10" RUN ON ALL STAIRS. ANY RISER OR
TREAD SHALL NOT EXCEED OTHERS BY 3/8".

EXTERIOR STAIR SHALL BE PROVIDED WITH AN ARTIFICIAL
LIGHT SOURCE IN THE IMMEDIATE VICINITY OF
THE TOP LANDING OF THE STAIRWAY.

FOUNDATION NOTES

FOUNDATION ANCHORAGE
PROVIDE MINIMUM 1/2" BOLTS WITH AT LEAST 2 PER PIECE AND PLACED
BETWEEN 3-1/2" TO 12" FROM ENDS OF EACH BOARD. SPACED A
MAXIMUM OF 4" O.C. BOLTS SHALL HAVE MINIMUM 1" EMBEDMENT IN
CONCRETE AND BE CAPPED WITH NUTS AND WASHERS. LATERALLY
SUPPORTED FOUNDATION WALL REQUIREMENT-2" WASHER, .125" THICK,
AND COUNTER SUNK .25"

FOUNDATION WATERPROOFING MEMBRANE.
CONCRETE AND MASONRY FOUNDATION WALLS THAT RETAIN EARTH AND
ENCLOSE INTERIOR SPACES SHALL BE WATERPROOFED WITH AN
APPROVED MATERIAL FROM TOP OF FOOTING TO FINISHED GRADE.
JOINTS SHALL BE LAPPED AND SEALED.

VAPOR RETARDER REQUIRED BETWEEN CONCRETE FLOOR SLAB AND
SUB-GRADE. GARAGE IS EXCLUDED.

APPROVED FOUNDATION DRAINAGE SYSTEM REQUIRED (R405.1)

DRAFTSTOPPING REQUIRED. CONCEALED AREA NOT TO EXCEED 1000 SQ. FT.

ALL WATER FROM FOUNDATION DRAINS OR SUMPS MUST BE PUMPED OR
DRAINED DIRECTLY TO THE EXTERIOR THROUGH RIGID PLASTIC OR
STEEL PIPING. NO SUMP WATER IS ALLOWED TO BE PUMPED INTO FLOOR
DRAINS, SINKS, OR ANY OTHER ACCESS TO SANITARY SEWER.

SUB-SLAB DEPRESSURIZATION SYSTEM REQUIRED (RADON REDUCTION
SYSTEM) PER MNRC 1322.2103 SECTION 103.4

PROVIDE CONNECTION LOCATION POINT FOR ELECTRICAL SERVICE TO
CONCRETE-ENCASED ELECTRODE. CONCRETE ENCASED ELECTRODE
MAY BE REQUIRED.

PROVIDE CLEARANCE TO COMBUSTIBLES PER MECHANICAL CODE FOR
ALL VENTS/CHIMNEYS CONVEYING COMBUSTION PRODUCTS.

PROVIDE OUTSIDE COMBUSTION AIR TO FURNACE AREA OR THE RETURN
AIR DUCT.

PROVIDE CORE FILL AND VERTICAL REINFORCEMENT A MINIMUM OF SIX
FEET ON CENTER PER MN BLDG CODE 1303-1900

PROVIDE 6" WOOD/EARTH SEPARATION

FROST FOOTING MINIMUM 42" DEPTH.

PLAN CHANGES

4-2-20 RFI # 02TI (ADAM)

ORIGINAL PLAN ORDER, HUMMINGBIRD III THAT IS 38" WIDE AND 10' DEEP
REMOVE LINEN IN MASTER BATHROOM

ALL MEASUREMENTS AND
LOCATIONS OF ALL
OBJECTS HAVE BEEN
PLACED AS ACCURATELY
AS POSSIBLE. SOME
ADJUSTMENTS MAY BE
NECESSARY IN THE ACTUAL
CONSTRUCTION DUE TO
STRUCTURAL FRAMING AND
OTHER FIELD
CONSIDERATIONS.

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ADDRESS
RAMSEY
LOT BLOCK
DEVELOPMENT

PROJECT TITLE

HUMMINGBIRD III
RAMBLER

PRICE CUSTOM HOMES 1110 INDUSTRIAL CIRCLE NW SUITE E ELK RIVER, MN 55330

763-216-1191 OFFICE



CALCULATIONS NO SCALE

PLAN DATE 4-2-20

SHEET # 8 OF 8

GENERAL PLAN NOTES

ALL INTERIOR WALLS 3-1/2" UNLESS NOTED OTHERWISE. ALL INTERIOR
PLUMBING WALLS 5-1/2" UNLESS NOTED OTHERWISE. ALL ANGLED WALLS
ARE 45 DEGREES UNLESS NOTED OTHERWISE.

ALL INTERIOR WALLS TO HAVE 1/2" GYPSUM BOARD. ALL CEILINGS TO
HAVE 5/8" FIRECODE GYPSUM BOARD.

TOWEL BARS MOUNTED AT 54" AND TOILET PAPER HOLDERS MOUNTED AT 24"
SAFETY GLAZING GLASS TO BE USED ON ALL GLASS IN TUB AND
SHOWER AREA.

ATTIC ACCESS REQUIRED MINIMUM 22" X 30" IN AN ACCESSIBLE LOCATION.

SMOKE DETECTORS INTERCONNECTED, HARD WIRED, WITH BATTERY
BACKUP EACH LEVEL AND EACH BEDROOM.

SUMP BASKET COVER TO BE SECURED.

GARAGE/HOUSE SEPARATION WALL TO BE ONE HOUR FIRE RESISTIVE
CONSTRUCTION ON GARAGE SIDE OF WALL WITH JOINTS TAPED.

LEGIBLE SET OF MANUFACTURERS ENGINEERED TRUSS DETAILS TO BE
POSTED ON JOB SITE.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF OCCUPANCY
HAS BEEN ISSUED.

CONTINUOUS AIR BARRIER TO BE PROVIDED AT ALL ELECTRICAL,
MECHANICAL, AND PLUMBING PENETRATIONS.

5/8" TYPE "X" GYP/BD REQUIRED ON INSIDE OF ANY ENCLOSED
SPACE UNDER STAIRS.

EVERY PERSON PERFORMING WORK FOR WHICH THE CODE IS APPLICABLE
SHALL COMPLY WITH THE CODE.

CARBON MONOXIDE DETECTORS ARE REQUIRED WITHIN 10 FEET OF
EACH ROOM LAWFULLY USED FOR SLEEPING PURPOSES.

EXHAUST FANS MUST BE VENTED TO OUTSIDE AIR.

INSULATE DUCT IN UNHEATED AREAS.

Changemarks Report

Project Name: Ramsey Villas North

Workflow Started: 06/04/2020 1:56 PM

Report Generated: 08/24/2020 02:05 PM

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	1	9	False	Unresolved	Civil Engineer IV		Ramsey Villas North Sketch Plan 6-4-20.pdf	LL	Stormwater	A Lower Rum River Watershed Management Organization (LRRWMO) permit will be required. The LRRWMO requires rate control for the 2, 10 and 100 year rates. The LRRWMO also requires infiltration of the first 1" of runoff from the site. The sketch plan does not show any areas for ponding for rate control or infiltration. This must be corrected on the preliminary plat.	06/18/2020 12:47 PM	Len Linton	
		10	False	Unresolved	Community Development Director		Ramsey Villas North Sketch Plan 6-4-20.pdf	Tim Gladhill	Reduce Number of Lots	Based on a culmination of comments to the Sketch Plan (wetland setbacks, density transition, driveways/access spacing), Staff recommends reducing the # of lots by 1 (3 new lots instead of 4).	06/19/2020 8:27 AM	Tim Gladhill	
		11	False	Unresolved	Community Development Director		Ramsey Villas North Sketch Plan 6-4-20.pdf	Tim Gladhill	Noise Barrier	Noise barrier shall be required and should be added to sketch plan. Exact details to be worked out with Preliminary Plat. City to discuss contributing to oversizing noise barrier for broader benefit.	06/19/2020 8:27 AM	Tim Gladhill	

Changemarks Report

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response	
Main Workflow	1	12	False	Unresolved	Community Development Director		Ramsey Villas North Sketch Plan 6-4-20.pdf	Tim Gladhill	Footprint Details	Staff cannot accurately determine full compliance with easement and eave overhang interaction. Please provide more detailed footprints to ensure that eave overhangs do not encroach into drainage and utility easements.	06/19/2020 8:27 AM	Tim Gladhill		
		13	False	Unresolved	Community Development Director		Ramsey Villas North Sketch Plan 6-4-20.pdf	Tim Gladhill	Architectural Renderings	Please provide architectural renderings.	06/19/2020 8:27 AM	Tim Gladhill		
		7	False	Unresolved	Civil Engineer II			Ramsey Villas North Sketch Plan 6-4-20.pdf	JJF	Easement	Wetland plus 16.5' buffer must be incumbered within drainage & utility easement. The wetland must be delineated. Please keep in mind no part of a structure is allowed within easements, this includes roof overhangs.	06/11/2020 8:01 AM	Joe Feriancek	
		8	False	Unresolved	Civil Engineer II			Ramsey Villas North Sketch Plan 6-4-20.pdf	JJF	Lot 4	Lot 4 doesn't look buildable, no disturbance within 16.5' of wetland boundary doesn't appear attainable with this layout.	06/11/2020 8:01 AM	Joe Feriancek	
		1	False	Unresolved	Environmental Review			Ramsey Villas North Sketch Plan 6-4-20.pdf	CA	Wetland/Stormwater Pond Setback	While the 16.5 foot setback is shown on the plan, that is also the boundary of where silt fence should be installed and there shall not be any disturbance beyond that barrier. It is unclear if that is feasible based on this layout.	06/08/2020 12:53 PM	Chris Anderson	

Changemarks Report

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	1	2	False	Unresolved	Environmental Review		Ramsey Villas North Sketch Plan 6-4-20.pdf	CA	Wetland Delineation	Delineations are only valid for 5 years. A new wetland delineation will be required as part of any development proposal on this site.	06/08/2020 12:53 PM	Chris Anderson	
		3	False	Unresolved	Environmental Review		Ramsey Villas North Sketch Plan 6-4-20.pdf	CA	Tree Inventory	A Tree Inventory and Preservation Plan will be required. All oaks and evergreens with a DBH of 4 inches or greater as well as all other deciduous trees with a DBH of 8 inches or greater must be inventoried by an ISA Certified Arborist or a SAF Certified Forester. Inventory must include species, diameter, condition, status (remove/preserve), and if remove, reason for removal (e.g. house pad, grading, stormwater pond, etc.). At least 40% of the DBH inches shall be retained on site.	06/08/2020 12:53 PM	Chris Anderson	
		4	False	Unresolved	Environmental Review		Ramsey Villas North Sketch Plan 6-4-20.pdf	CA	Density Transitioning	It appears that Density Transitioning will be required along the eastern boundary of all 4 lots. If landscaping is used, it shall require 2 overstory trees, 2 evergreen trees, and 2 ornamental trees for every 100 feet of common boundary. Plantings shall be located within a 25 foot wide buffer area.	06/08/2020 12:53 PM	Chris Anderson	

Changemarks Report

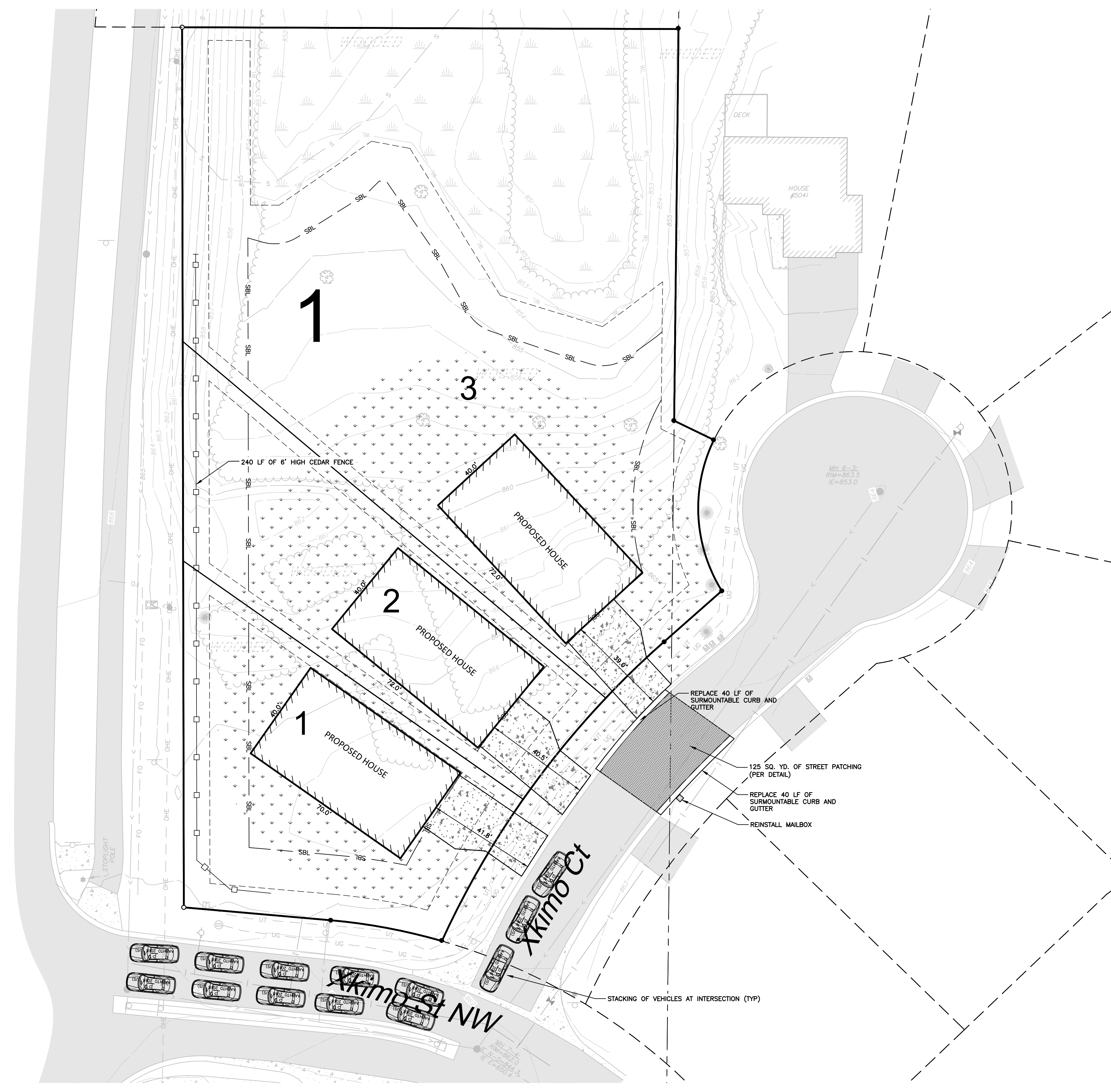
Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	1	5	False	Unresolved	Environmental Review		Ramsey Villas North Sketch Plan 6-4-20.pdf	CA	Noise Study	A noise study should be completed due to the site backing up to State Highway 47.	06/08/2020 12:53 PM	Chris Anderson	
		6	False	Unresolved	Environmental Review		Ramsey Villas North Sketch Plan 6-4-20.pdf	CA	Screening	Either through tree preservation or additional landscaping, screening should be seriously considered along the western boundary to help buffer against highway traffic.	06/08/2020 12:53 PM	Chris Anderson	
	2	35	False	Unresolved	Civil Engineer IV		C3 GRADING & EROSION CONTROL PLAN.pdf	LL	Rear Yard Drainage	A drainage and utility will be required over lots 2 & 3 to encumber drainage swale. Easement placement must allow for construction of Deck on rear of house without encroachment.	08/21/2020 10:07 AM	Len Linton	
		36	False	Unresolved	Civil Engineer IV		C3 GRADING & EROSION CONTROL PLAN.pdf	LL	Install Silt Fence	Install Silt Fence across front of lots, leaving openings for each future driveway. Biologs do not provide adequate protection in these locations.	08/21/2020 10:07 AM	Len Linton	
		31	False	Unresolved	Civil Engineer II		C6 CONSTRUCTION DETAILS.pdf	JJF	Add Details	Add detail for silt fence Add detail for tree save fence	08/14/2020 1:39 PM	Joe Feriancek	
		28	False	Unresolved	Civil Engineer II		C4 UTILITY PLAN.pdf	JJF	Sewer Connections	Use an Insert-A-Tee or approved equal.	08/14/2020 1:37 PM	Joe Feriancek	

Changemarks Report

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	2	29	False	Unresolved	Civil Engineer II		C4 UTILITY PLAN.pdf	JJF	Curb Stop	If the curb stop goes into the driveway it needs to have a driveway box. This curb stop looks like it will likely be in the driveway so consider adding it to the plans.	08/14/2020 1:37 PM	Joe Feriancek	
		30	False	Unresolved	Civil Engineer II		C4 UTILITY PLAN.pdf	JJF	Extending existing services Lot 1	Why partially extend services for Lot 1? Understand the desire to confirm location/elevation just not partial extension. I would recommend pot holing the services if there's doubt they exist.	08/14/2020 1:37 PM	Joe Feriancek	
		32	False	Unresolved	Civil Engineer II		C3 GRADING & EROSION CONTROL PLAN.pdf	JJF	Swale Lot 1	Don't understand the need for a swale through the front yard of Lot 1, looks like sheet flow to back of curb is possible.	08/14/2020 1:40 PM	Joe Feriancek	
		33	False	Unresolved	Civil Engineer II		C3 GRADING & EROSION CONTROL PLAN.pdf	JJF	Rear Lot Drainage	Stormwater is being directed near the back of the structures across Lots 2 and 3 rather than to the rear of the lots within drainage and utility easement. Appears to be adequate fall to the NW on Lots 2 and 3 particularly to carry the stormwater runoff within the D&U Easements.	08/14/2020 1:40 PM	Joe Feriancek	
		34	False	Unresolved	Civil Engineer II		C3 GRADING & EROSION CONTROL PLAN.pdf	JJF	Spot Elevations	Call out proposed spot elevations at all Lot Corners.	08/14/2020 1:40 PM	Joe Feriancek	
		27	False	Unresolved	Civil Engineer II		C2 SITE PLAN.pdf	JJF	Structure in Easement	FYI, no part of the structure including overhang is allowed with the D&U Easement.	08/14/2020 1:08 PM	Joe Feriancek	

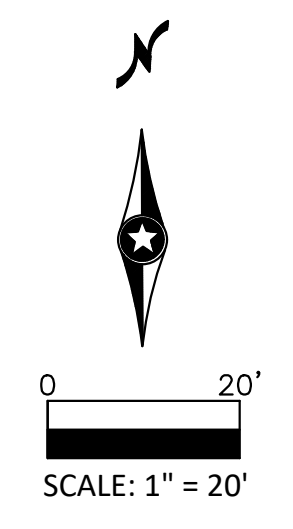
Changemarks Report

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	2	25	False	Unresolved	Civil Engineer II		C1 REMOVALS PLAN.pdf	JJF	Protect Mail Boxes	Protect mail boxes located SW of CDS bulb.	08/14/2020 12:55 PM	Joe Feriancek	
		26	False	Unresolved	Civil Engineer II		C1 REMOVALS PLAN.pdf	JJF	Tree Protection Fence	Aerial shows more trees than whats being removed. Provide tree protection fence at the dripline of trees to remain.	08/14/2020 12:55 PM	Joe Feriancek	
		24	False	Unresolved	Civil Engineer II		C0 Cover.pdf	JJF	Signature Block	Final Plans will need signature block wth dates, etc.	08/14/2020 12:48 PM	Joe Feriancek	
		21	False	Unresolved	Engineering Tech		C3 GRADING & EROSION CONTROL PLAN.pdf	Logan Czech	Service placement	Avoid running services directly under driveway.	08/12/2020 10:10 AM	Logan Czech	
		22	False	Unresolved	Engineering Tech		C3 GRADING & EROSION CONTROL PLAN.pdf	Logan Czech	Erosion Control	Install silt fence around perimeter instead of filter berm.	08/12/2020 10:10 AM	Logan Czech	
		23	False	Unresolved	Engineering Tech		C3 GRADING & EROSION CONTROL PLAN.pdf	Logan Czech	Noise study	Was noise study performed to ensure 6 ft cedar fence is sufficient?	08/12/2020 10:10 AM	Logan Czech	
		14	False	Unresolved	Environmental Review		L1 LANDSCAPE PLAN.pdf	CA	Additional Info Needed	Add legend so it's clear which trees are being removed and saved. Also, add tally of total tree inches, tree inches being removed, and add column with general purpose for removal (e.g. mass grading, stormwater pond, sidewalk, etc.). Certain removals may be exempt from the removal calculation.	08/12/2020 9:15 AM	Chris Anderson	



LEGEND:

- PROPOSED BITUMINOUS PAVEMENT
- PROPOSED DRIVEWAY LOCATION
- PROPOSED SOD
- SURMOUNTABLE CONCRETE CURB AND GUTTER
- PROPOSED CEDAR FENCE



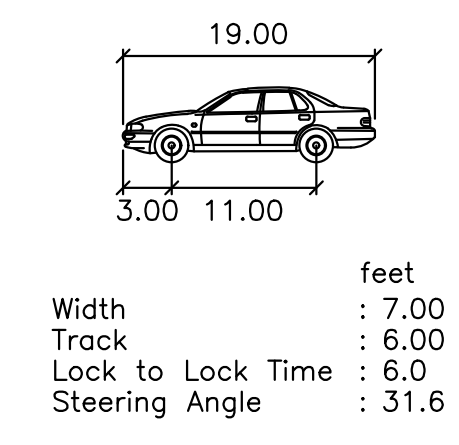
SITE PLAN NOTES:

1. ALL CONCRETE RAMPS, SIDEWALKS AND ACCESSIBLE HANDICAPPED PARKING STALLS TO CONFORM TO CURRENT A.D.A. REQUIREMENTS.
2. CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
3. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION.
4. CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE CITY, COUNTY AND STATE REGULATIONS.
5. BUILDING ENVELOPE IS SHOWN FOR REFERENCE ONLY AND IS APPROXIMATE. REFER TO PLANS PROVIDED BY HOME BUILDERS FOR EXACT FOOTPRINT.
6. LANDSCAPING AND TURF ESTABLISHMENT PER LANDSCAPE PLANS & SPECIFICATIONS.
7. DRIVEWAY LOCATIONS ARE APPROXIMATE. FINAL MATERIAL AND LOCATION ARE TO BE DETERMINED BY BUILDER.

SITE PLAN INFORMATION:

SITE DATA	EXISTING	PROPOSED
PAVEMENT AREA	0 SF	2,575 SF
BUILDING AREA	0 SF	8,560 SF
PERVIOUS AREA	59,877 SF	48,742 SF
TOTAL AREA	59,877 SF	59,877 SF

DESIGN VEHICLE INFORMATION:



REV. NO.	DATE	DESCRIPTION
1	08/06/2020	DRAWINGS ISSUED TO CITY

DATE:	08/06/2020
DESIGN BY:	C.J.D. M.J.M.
DRAWN BY:	M.J.M.
CHECKED BY:	W.P.D.
DWG FILE:	SITE_BASE
FILE NO.:	20-0000.00

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Signed: Wesley P. Davis Lic. No. 55886
 Date: 08/06/2020

BOGART, PEDERSON & ASSOCIATES, INC.
 LAND SURVEYING
 ENVIRONMENTAL SERVICES
 13076 FIRST STREET, BECKER, MN 55508-9322
 TEL: 763-262-8822 FAX: 763-262-8844

Rivers Bend Holdings LLC
 Ramsey Villas North
 OUTLOT E, RIVERS BEND 3RD ADDITION
 City of Ramsey, Anoka County, MN

SITE PLAN

SHEET NO.
C2

CALL 48 HOURS BEFORE DIGGING:
GOPHER STATE ONE CALL
 TWIN CITY AREA 651-454-0002
 MINNESOTA TOLL FREE 1-800-252-1166

Councilmember _____ introduced the following resolution and moved for its adoption:

RESOLUTION #20-187

**RESOLUTION APPROVING PRELIMINARY PLAT
FOR RAMSEY VILLAS NORTH**

WHEREAS, River’s Bend Holding, LLC, hereafter referred to as “Developer,” properly applied for Final Plat approval of the following described property located in the City of Ramsey:

Outlot E Rivers Bend 3rd Addition, Anoka County, Minnesota
(the ‘Subject Property’);

WHEREAS, the City has received an Application for Preliminary Plat Approval for Ramsey Villas North, which includes three (3) residential lots; and

WHEREAS, the Subject Property is located in the R-2 Residential District; and

WHEREAS, the Developer has proposed 50 foot-wide lots consistent with the requirements of the R-2 Residential (Detached Villa) District requirements; and

WHEREAS, the Planning Commission reviewed the sketch plan on July 9, 2020; and

WHEREAS, the Planning Commission reviewed the preliminary plat on September 3, 2020; and

WHEREAS, the City Council approved the Preliminary Plat on September 22, 2020.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:

1. That the Ramsey City Council hereby grants preliminary plat approval for Ramsey Villas North in accordance with relevant City Codes, subject to the following conditions:
 - a. Compliance with the Staff Review Letters.
 - b. Compliance with all Staff Review Comments in ProjectDox.
 - c. Final approval by City Engineer and City Attorney.
 - d. The Developer entering into a Development Agreement with the City.
 - e. Approved wetland delineation and 16.5 foot setback encumbered by easement.
 - f. Review and approval by Anoka County.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember _____, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this 22nd day of September, 2020.

Mayor

ATTEST:

City Clerk

DRAFT

Regular Planning Commission

6. 2.

Meeting Date: 09/03/2020

By: Chloe McGuire Brigl, Community
Development

Information

Title:

PUBLIC HEARING: Consider Resolution #20-190 Approving a Conditional Use Permit (CUP) for a Religious Institution, Connections Church (Project 20-125)

Purpose/Background:

The purpose of this case is to review an application from Kinghorn Construction and Connections Church (the "Applicant") for a Conditional Use Permit (CUP) for a religious institution at the property generally known as PID 34-32-34-14-0014 (the "Subject Property"). The property is approximately 7.11 acres, is south of Highway 10, north of Riverdale Drive, east of 6650 Highway 10 NW and west of 6440 Highway 10 NW (Comfort Suites).

The Applicant has been discussing the use on the Subject Property with the City and has been part of the discussions related to the Highway 10 improvements.

Notification:

City Staff attempted to notify property owners within 350 feet of the Subject Property, as reflected in the Anoka County Property Records, of the public hearing.

Observations/Alternatives:

Summary

The Applicant has requested feedback on the proposed use of the property (a religious institution) prior to developing full engineering plans for formal site plan review. The Applicant has noted that this project will take fundraising from its members, so they want to ensure the use is allowed by the City prior to developing these expensive plans. Staff is supportive of this approach, and has drafted the attached Conditional Use Permit (CUP) contingent upon future site plan approval.

Staff Comments

Based on the site plan, it appears that the Subject Property has adequate space for parking and a building, as well as stormwater ponds. The Applicant has drafted out future expansion areas on the site plan as well (attached), which also appears to fit well on the site. The site plan appears to generally meet the requirements and setbacks of the B-2 District.

Riverdale Drive is a 2021 reconstruction road project, and Staff notes that the Applicant should work with the City to get the curb cuts put into the site at the time of reconstruction to set the site up for future development.

Parking

The Applicant has done a parking analysis based on the City Code and number of seats in the sanctuary (400 seats), which would require approximately 134 spaces. The Applicant has shown 139 spaces on the draft site plan, and Staff notes that there is additional room to expand parking if needed.

Funding Source:

The Applicant is responsible for all costs associated with review of the project.

Recommendation:

Staff recommends approval of the Conditional Use Permit contingent upon future site plan approval within one (1) year.

Action:

Motion to recommend the City Council adopt Resolution #20-190 Approving a Conditional Use Permit for Connections Church

Attachments

Site Location Map

Site Plan

Resolution #20-190

Form Review

Inbox

Chris Anderson

Kurt Ulrich

Form Started By: Chloe McGuire Brigl

Final Approval Date: 08/28/2020

Reviewed By

Chris Anderson

Kurt Ulrich

Date

08/25/2020 03:57 PM

08/25/2020 04:17 PM

Started On: 08/21/2020 09:55 AM

Councilmember _____ introduced the following resolution and moved for its adoption:

RESOLUTION #20-190

**RESOLUTION APPROVING A CONDITIONAL USE PERMIT
FOR CONNECTIONS CHURCH**

RECITALS

1. Kinghorn Construction and Connections Church, hereafter referred to as “Applicant”, has properly applied for a Conditional Use Permit for a religious institution at the property generally known as PID 34-32-34-14-0014, on the land legally described as

Tract A Registered Land Survey Number 119, Anoka County, Minnesota (the ‘Subject Property’); and
2. The Subject Property is approximately 7.11 acres in size; and
3. The Subject Property is zoned B-2 Business District; and
4. Religious Institutions are a Conditional Use in the B-2 Business District; and
5. The Planning Commission met and held a public hearing on September 3, 2020 and the minutes of such are incorporated by reference; and
6. The Applicant has requested a Conditional Use Permit prior to formal site plan in order to allow the Applicant and Connections Church members time to fundraise for the new building; and
7. This permit shall be contingent upon future site plan approval; and
8. The City Council reviewed and approved the requested on September 22, 2020.

FINDINGS OF FACT

1. That the proposed use will not adversely impact traffic in the area.
2. That the proposed use will not be dangerous or detrimental to persons residing or working in the vicinity of the use or to the public welfare.
3. That the proposed use will not substantially or adversely impair the use, enjoyment or market value of surrounding properties.
4. That the proposed use will be operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and such use will not change the essential character of the area.
5. That the proposed use will not create additional requirements at public cost for public facilities and services.
6. That the proposed use will not be detrimental to the economic welfare of the community.
7. That the proposed use will not be disturbing or hazardous to existing or future neighboring uses.

8. That the proposed use will not involve uses, activities, processes, materials and equipment and conditions of operation that may be detrimental to any persons, property or the general welfare, by reason of excessive production of traffic, noise, smoke, or glare.
9. That the proposed use will be in accordance with the objectives of the intent of Section 117-51 Conditional Use Permits of the City Code.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:

That the Ramsey City Council hereby grants a Conditional Use Permit (the "Permit") for Connections Church contingent upon the following:

CONDITIONS

1. That this **Permit** allows for a religious institution on the **Subject Property**.
2. That this **Permit** is contingent upon an approved site plan for the use within one (1) year from the date of approval (September 22, 2021). If no site plan is approved within one (1) year, then the Permit shall expire. The Applicant may request extensions to this permit.
3. That the **Permittee** shall maintain the Subject Property in compliance with City Code Sections 117-356 (Commercial and Industrial Development Off-Street Parking), Chapter 117 (Zoning and Subdivisions), Article II (Zoning) Division 8 (Signs), and Chapter 30 (Nuisances) at all times.
4. That the **Permittee** shall obtain all necessary permits to complete any required building modifications.
5. That this **Permit** shall be perpetual in duration as long as the terms are herein complied with.
6. That the **Permittee** shall be responsible for all City costs incurred in administering and enforcing this Permit.
7. That the City Administrator, or his/her designee, shall have the right to inspect the premises for compliance and safety purposes annually or at any time, upon reasonable request.
8. That the City may amend this Permit based upon the future site plan if so needed once a site plan is submitted.
9. There shall never be parking related to the use on Riverdale Drive.
10. Contingent upon Staff Review in ProjectDox and City Engineer approval.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember _____, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this 22nd day of September, 2020.

Mayor

ATTEST:

City Clerk

Regular Planning Commission

6. 3.

Meeting Date: 09/03/2020

By: Chloe McGuire Brigl, Community
Development

Information

Title:

PUBLIC HEARING: Review Resolution #20-188 and Ordinance #20-17 Considering Allowing Event Center on Residential Property, Case of Blue Cottage Farms (Project 20-122)

Purpose/Background:

The purpose of this case is to review a request from Blue Cottage Farms, Rachel and Christopher Massmann, (the "Applicant") to operate a wedding and event venue at 5552 179th Ln NW (the "Subject Property"). Events onsite would include weddings, graduation parties, reunions, birthday parties, bridal showers, etc. The Subject Property has a barn that would be used for smaller events, and larger events would take place outside and utilize the barn as a backdrop. No events would take place in the home on the property. The site is approximately 13 acres and zoned R-1 Rural Residential.

Notification:

The City attempted to notify Property Owners, as reflected in the Anoka County Property Records, within 350 feet of the Subject Property of the request.

Observations/Alternatives:

Summary

Blue Cottage Farms has proposed an event venue on a residential property with a home at 5552 179th Ln NW. The Property Owners, Rachel and Christopher Massmann will own and operate the site, while living in the home on the Subject Property. The City became aware of the event center through the City's Code Enforcement program after a graduation party was hosted onsite. The owners were aware of the need for a special permit in the future for events such as weddings.

Blue Cottages Farms has a public Facebook Page available at: <https://www.facebook.com/bluecottagefarms>

The Subject Property abuts 6 residential lots on the east property line, each one acre or less, and 2 north of the Subject Property, each one acre or less. The Subject Property abuts a religious institution, Cross of Hope Lutheran Church, to the west, as well as part of an 8 acre residential lot. There is a 40 acre residential property with wetland on the shared property line to the south.

Event Information

Logistics

- **Parking:** The Applicant proposes to have parking on the north side of the site, north of the existing row of trees in the field area. The Applicant proposes to allow guests to park on the grass with a parking attendant onsite (likely a child residing on the Subject Property) to help direct traffic during events. Staff agrees that requiring a large parking pad in this area could be intense given the low frequency of events. Staff has currently drafted the Conditional Use Permit to allow parking on the grass only during events, and requiring that the site is kept up to City Standards (reseeded with grass seed as necessary, mowed, etc.). If there is continued wear and tear shown on the grass, the City could require it to be paved/graveled. The grass should survive given the low number of events per year and if the parking areas are shifted/alternated throughout the large parking area.

- The City of Ramsey does not allow parking on the grass anywhere in the City, and it is one of the most common Code Enforcement complaints Staff receives.
- Staff notes that there may be an opportunity for shared parking with the church directly to the west, who likely doesn't have events at the same time as Blue Cottage Farms. Staff recommends the Applicant reach out to the church to see if they would allow them to utilize their lots on Friday nights and Saturdays (most common wedding day).
- **Fire/Public Safety:** The Property Owners have sat down with Planning/Zoning and the Fire Marshal to discuss the improvements that would be required onsite. There will be requirements related to sprinkling the building and a full inspection will be required onsite if the use is approved by the City Council. Additionally, a new Certificate of Occupancy (CO) for the barn space, updates to the building required by ADA, and an inspection by the Building Official will be required. It is likely that building permits and updates will be required.
- **Bathrooms:** The site is zoned for well and septic, and has a private well and septic onsite. Septic systems are sized based on the household size, so the septic system onsite cannot support events. Instead, the Applicant has proposed to bring in portable toilets (port-o-potties) for events. If approved, Staff would like a condition related to how long the toilets can stay onsite, a maximum number of toilets, and where they can be located onsite in relation to the neighboring property owners.

Ordinance Amendment (Amending Section 117-111)

The attached ordinance amendment is written to allow event centers as a conditional use in the R-1 District. Conditional uses are a use that, if certain conditions are met, such as traffic, parking, architecture, site layout and setbacks, hours of operation, etc. the permit *must be issued to the Applicant*. The Planning Commission typically sees Conditional Use Permits for churches/religious institutions, auto repair shops, and over-sizing of structures. Permits for event centers on residential properties would be handled in a similar manner.

Currently, weddings on residential properties are handled by Public Safety and the Planning Department. The Applicant must notify the City of the proposal, agree to end music by 10 pm, ensure any vendor (e.g. foodtruck) gets the proper permits, and notify their neighbors of the event. The City has a Special Temporary Event Permit for these types of events available at:

<http://www.ci.ramsey.mn.us/DocumentCenter/View/666/Special-Temporary-Event-Permit-PDF?bidId=>

Staff does not process many of these permits typically, though with Covid-19, the number of these requests has increased. This process was the starting point for the ordinance amendment, which includes:

- Maximum of 26 events per year (Jan 1 - Dec 31)
- Site plan reviewed and approved by City
- Event space set back a minimum of 100 feet from any property line
- Acreage of ten (10) acres or greater
- Owner must reside on Property

If the Zoning Text Amendment is approved, Staff would create a handout specifically for these types of uses with recommendation from Staff in terms of hours of operation, days of operation, site layouts, required permits (e.g. building, septic, a new C.O., etc.)

Resident Comment

City Staff received one formal written comment in relation to this request, and it is attached. The resident is opposed to the request stating that a late night venue would change the character and quality of the neighborhood. They are also concerned about traffic. Please review the attached comment.

Other Cities

- Andover: Not allowed
- Anoka: Not allowed
- Shakopee: Not allowed
- Elk River: Not allowed

Staff will be reaching out to additional cities and will provide a verbal update on additional cities' ordinances at the meeting.

Alternatives

Alternative 1: Approve the proposal as-is, with attached draft Conditional Use Permit (CUP) and Ordinance Amendments. This would allow for an event center and home on the residential property. Staff is open to this alternative.

Alternative 2: Modify the ordinance and recommendation based on discussion. Staff is open to this alternative.

- Option 1: Modify the request from a Conditional Use Permit (CUP) to an Interim Use Permit (IUP) which is tied to this specific user with a set amount of time (e.g. 5 years) and does not run with the land like a CUP.
- Option 2: Recommend approval of ordinance amendment allowing event centers in residential districts with a CUP but not allow homes onsite, just event centers.
- Option 3: Add additional conditions to City Code for event centers or modify existing conditions, such as hours/days of operation, required acreage, parking requirements, etc.

Alternative 3: Deny the request, or table the request for further information/research is completed. Staff is open to this alternative.

Funding Source:

The Applicant is responsible for all costs associated with review.

Recommendation:

City Staff is open to the idea of having event centers on residential properties with strict conditions and items required for approval. Staff is open to modifications to the proposed ordinance amendments and conditional use permit. Staff notes that if the ordinance amendment and conditional use permit are approved, the applicant would still be required to work with the Fire Marshal and Building Official to receive an updated Certificate of Occupancy (CO) and address items onsite such as spacing, sprinkling/fire prevention, and ADA compliance.

Action:

Based on discussion.

Motion to Recommend the City Council Introduce Ordinance #20-17 and Adopt Resolution #20-188 with/without changes

Attachments

[Site Location](#)

[Business Plan](#)

[Event Details](#)

[Narrative](#)

[Barn Information](#)

[Comment Received](#)

[DRAFT Ordinance #20-17](#)

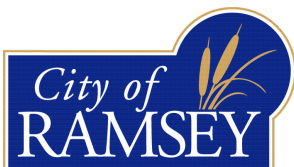
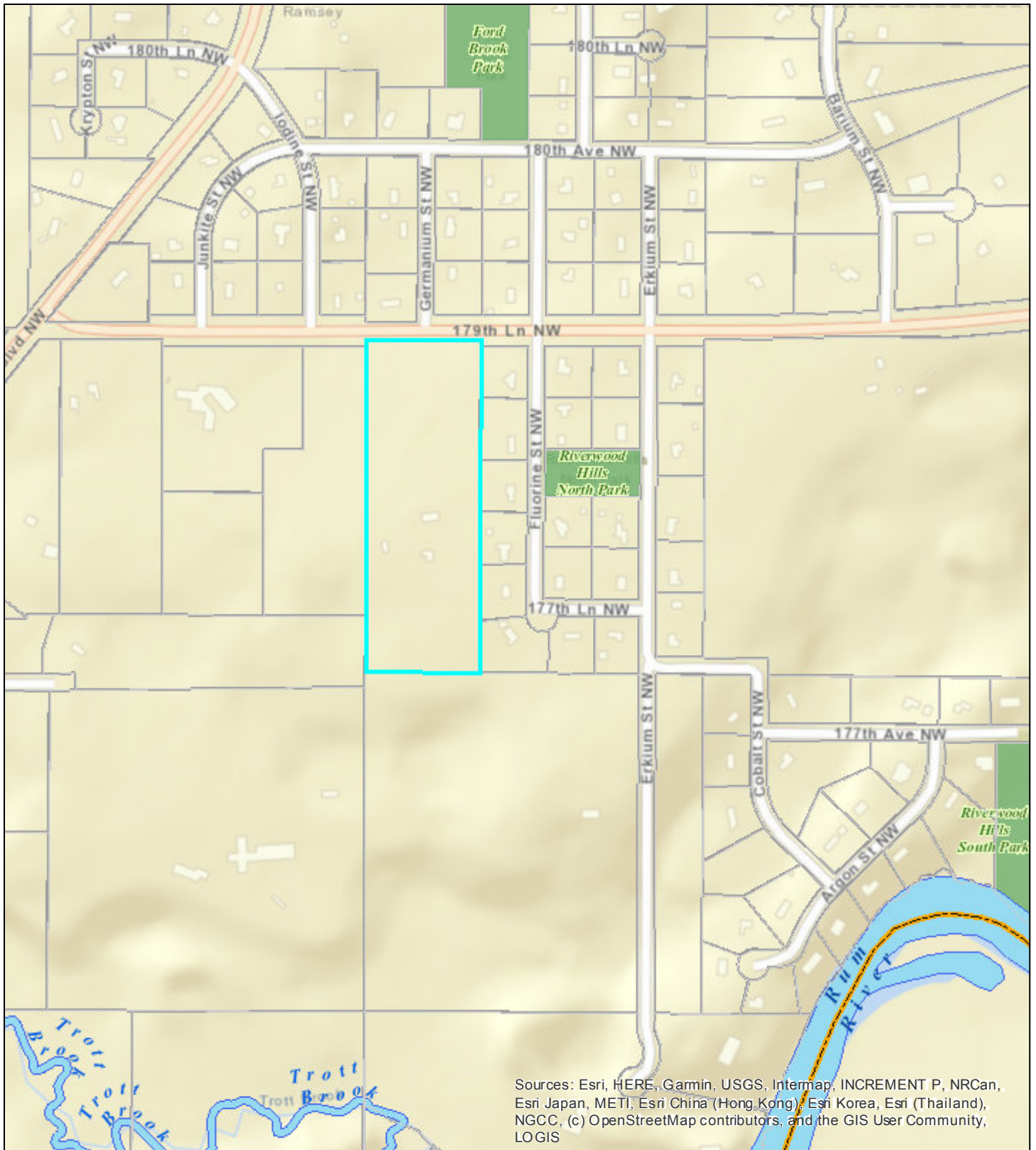
[Resolution #20-188](#)

Form Review

Form Started By: Chloe McGuire Brigl

Started On: 08/21/2020 09:47 AM

Final Approval Date: 08/28/2020



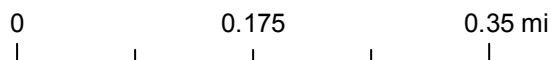
Site Location Map

Legend

-  Site
-  Parcels



Print Date: July 30, 2020



BUSINESS PLAN

Blue Cottage Farms
5552 179th Lane NW, Ramsey MN

July 17, 2020

Executive Summary

The Ownership

The company will be structured as a sole proprietorship.

The Management

Christopher and Rachel Massmann are both owners (50/50) of Blue Cottage Farms. The work will be divided evenly between them both.

Rachel will manage the marketing, social media and bookings for all events. She will work with the clients on the details of their events and manage or work with all of the vendors for the event day.

Chris will manage the finances which includes contracts with the clients, invoicing and accounting records. He will be in charge of maintaining the property, landscaping, repairs and upkeep.

Chris and Rachel will work together on the day of the event with set-up of tents, tables, chairs, decorating, and all vendors.

The Goals and Objectives

Create an affordable wedding and event venue for the surrounding community. We have a property with 15 acres of land and a barn that is perfect for hosting small to large gatherings. Our private home is also on the property, which will be off limits to our client and their guests. We were married on this property and have hosted several family graduation parties, birthday parties, and gatherings with friends and family. We understand the work it takes and what the best setup entails for events, big or small. We have the ideal location with plenty of parking.

Financial:

We will have minimal startup costs due to the fact we own and have lived on the property since April of 2015, and have been slowly working on the barn, landscaping, and out buildings. Money received for events will be put back into the business for upkeep and improvements as can be afforded. No loans are required, as personal savings from our full-time jobs are being used for current upkeep and improvements. Our goal is to turn a profit within two years of operating the event business.

Within the calendar year of 2021 we plan to start small by hosting 1-2 weddings, 1-2 small events and

advertise through social media and word of mouth. We have pricing ready for clients and a brochure that lists out costs.

Within five years, we hope to grow the business and have 12 out of 16 available weekends booked for events and we have grown in popularity. At this time, sales should be forecast at 10-15K a month.

The Product

The primary service being provided by Blue Cottage Farms is a venue and event rental space.

The rental space includes a barn and 15 acres of land to hold the events. Clients will sign a contract to be allowed to rent the land and barn for personal events such as weddings, graduation parties, reunions, birthday parties, bridal showers, receptions, ceremonies, etc.

With the popularity of barn venues, this will appeal to many people. You can decorate to your specific taste and style, as our barn will be a blank slate. There is wide open spaces for the ceremony, reception, and parking.

With the current pandemic (COVID-19) there will be a need for outdoor venues over the next few years where people are not in an enclosed space.

The Target Market

The target market is for newly engaged couples looking for an event venue to hold their weddings. The age range is anywhere from 21-65 for a wedding or vow renewal. The venue is perfect for anyone that would like a beautiful outdoor setting and host up to 200 guests.

The second target market is for young adults who graduate from High School and are looking for an event to hold a celebratory reception with their friends and family. Many people like the convenience of hosting events that is not their private residence. This gives them the opportunity to have a unique setting, with less stress.

Pricing Strategy

Our approach will be to host affordable weddings and gatherings. As we gain in popularity and start to acquire assets (tents, tables, & chairs) we will adjust pricing to include the rental of these items.

We have priced out six different event options, in two categories. 1. Small event gatherings and 2. Wedding gatherings (more costly and timely to plan).

Small Event Pricing:

Small Gathering Package

Up to 50 Guests

1 Hour Setup

3 Hour Event

1 Hour Tear Down

Hosts are responsible for tables and chair setup pre-party

Clients are responsible for decor set up, food and drink setup, tear down and cleanup

Porta Potty required and included in rental price

\$550.00

Intimate Ceremony Package

Up to 20 guests

1 Hour Ceremony

Minimal Setup/Decor 1 Hour prior to event

Hosts to set up tables/chairs if needed

Hosts to tear down tables/chairs

No Porta Potty required

\$350.00

Graduation, Open House, Reunions

1 Hour Setup

3-4 Hour Event

1 Hour Tear Down

Clients are responsible for decor set up, food and drink setup, tear down and cleanup

Porta Potty required and included in rental price

\$650.00

Wedding Event Pricing:

Do-It-Yourself Wedding Package

Up to 200 guests

Wedding day 9 a.m. - 11 p.m.

Client rents all tents, tables, chairs and will set up

Client provides all decor, linens and vendors

Client is responsible for tear down and cleanup

Client is responsible for Porta Potty rental

\$1750

Basic Wedding Package

Up to 200 guests

Decor drop off and setup at 4-6 p.m.

Wedding day 9 a.m. - 11 p.m.

Client rents all tents, tables, linens and chairs ~ to be delivered day before to the farm

Client provides all decor and vendors

Setup, tear down, and cleanup will be provided by Blue Cottage Farms

Porta Potty provided by Blue Cottage Farms

\$3000

Ultimate Wedding Package

Up to 200 guests

Rental starts the previous evening for decor set up, rehearsal and dinner 4-8 p.m.

Wedding day 9 a.m. - 11 p.m.

Client provides all decor, linens and vendors

(2-3) 20'x40' Tents, (25) 5' Round tables, 200 White Metal Chairs rented and set up by Blue Cottage Farms

Tear down and clean up provided by Blue Cottage Farms

Porta Potty provided by Blue Cottage Farms

\$5000

Blue Cottage Farms will provide the rentals and one porta potty for specific packages. Pricing will be dependent on number of guests.

If Blue Cottage Farms provides tents, tables, chairs and porta potty the price includes a 60% markup.

The Competitors

There are several barn venues in the Minneapolis/St. Paul and rural areas. Their competitive advantage is an established venue, size of their barns, catering facilities, bathroom facilities, owning tables/chairs/tents and being able to charge a premium price for their business. The prices range from simple ceremonies to elaborate in the \$5,000-\$17,000 price range.

Most of the larger competitors are located more south of the Twin Cities area and 1-2 hours from our own venue. A small competitor with a barn venue is located three miles away and they are competitively priced with a kitchen and bathroom facilities. The barn is not authentic, as it was recently built out of steel and does not have a lot of character. There is no alcohol permitted on the property and with their wedding packages the client must tear down and clean up before the end of the night. We will allow our guests to come back the next morning to clean up and return all rentals by noon.

In 2018, the average cost of a wedding for couples is \$28,000. Our goal is to provide a beautiful, unique venue that is affordable to couples that can't spend a lot of money and want to do the bulk of the work themselves. Our pricing is extremely competitive and a little underpriced to get established and gain clients.

Some advantages we will have with our venue will be an old original barn in excellent condition with rustic charm that couples are looking for. From a planning perspective, a wedding barn is something of a blank canvas. Barns allow for limitless ways to decorate and personalize your nuptials. Rachel has the advantage of being a designer and being able to bring a bride's vision to life, while offering creative services.

Another advantage is the property has fields for parking and everything can be held in one location, from exchanging vows to the reception and dance.

Business Plan - Blue Cottage Farms

The Company

Business Sector

The owners would like to start a business in the professional and technical services sector.

Company Goals and Objectives

Create an affordable wedding and event venue for the surrounding community. We have a property with 15 acres of land and a barn that is perfect for hosting small to large gatherings. Our private home is also on the property, which will be off limits to our client and their guests. We were married on this property and have hosted several family graduation parties, birthday parties, and gatherings with friends and family. We understand the work it takes and what the best setup entails for events, big or small. We have the ideal location with plenty of parking.

Financial:

We will have minimal startup costs due to the fact we own and have lived on the property since April of 2015, and have been slowly working on the barn, landscaping, and out buildings. Money received for events will be put back into the business for upkeep and improvements as can be afforded. No loans are required, as personal savings from our full-time jobs are being used for current upkeep and improvements. Our goal is to turn a profit within two years of operating the event business.

Within the calendar year of 2021 we plan to start small by hosting 1-3 weddings, 3-5 small events and advertise through social media and word of mouth. We have pricing ready for clients and a brochure that lists out costs.

Within five years, we hope to grow the business and have 12 out of 16 available weekends booked for events and we have grown in popularity. At this time, sales should be forecast at 10-15K a month.

Company Ownership Structure

The company will be structured as a sole proprietorship.

Ownership Background

Christopher and Rachel Massmann (owner):

Chris and Rachel are both educated with college degrees. Chris graduated in 1998 from Hennepin Technical College with an associates degree in cabinet making. Rachel graduated from Bemidji State University in 2000 with a Bachelors of Science degree in Design Technology.

They both have extensive event experience, as they each work for the same company called Star Exhibits and Environments. Chris has been with the company for 22 years and Rachel 20 years. Chris works on the production side of the company managing and running projects which include estimates, drawings and vendors. He works closely with the in-house production facility to ensure timelines are met and projects are built to specific requirements. He is involved in the build and setup of most projects along with supervision of setup and working with clients on their events.

Rachel is a senior graphic designer, providing creative for trade shows, corporate interiors, retail and events. Her main focus is understanding a clients goals and objective for marketing and branding their product at events. She also works with the marketing department within Star to advertise and create brand awareness through collateral and social media. Rachel has also worked with brides for over 15 years creating memorable wedding invitations and signage for their special day. She is a pro at decorating spaces and providing recommendation on set-up and flow for events.

Both Chris and Rachel have a wood working shop on their property which they design and build items for their friends and family, home and personal use. It will come in handy to make improvements and updates to the property as needed and add items to their inventory of offerings for events being hosted on the property.

Chris also owns and operates a business called M&G Properties with two partners. They own and maintain three rental properties. They bought the properties, did all of the work to fix them up and prepare them for renters. He understands about renting, lease agreements, contracts, taxes, accounting and running and maintaining a business.

Company Management Structure

Christopher and Rachel Massmann are both owners (50/50) of Blue Cottage Farms. The work will be divided evenly between them both.

Rachel will manage the marketing, social media and bookings for all events. She will work with the clients on the details of their events and manage or work with all of the vendors for the event day.

Chris will manage the finances which includes contracts with the clients, invoicing and accounting records. He will be in charge of maintaining the property, landscaping and repairs and upkeep.

Chris and Rachel will work together on the day of the event with set-up of tents, tables, chairs, decorating, and all vendors.

Organizational Timeline

Spring of 2020-Fall of 2020:

Work on Barn -

June: Take out old and pour new concrete in barn

July: All new electrical in barn to be up to code

Add EXIT Signs

August: Add wood paneling to walls

May of 2021: Add deck off hay mound, with landscaping

Fall of 2020

Work on Permits -

- Building permits
- Business license
- Certificate of occupancy
- Liquor license
- Food handler's permits
- General liability insurance

Marketing and Advertising -

Summer of 2020:

We plan to advertise through social media such as Facebook and Instagram to reach an audience that has a need for an event venue. This will build interest and attract bookings. List the property on wedding and event venue sites.

Spring/Summer/Fall 2021

Offer bookings starting in May 2021, running to October 2021

Spring/Summer/Fall 2022

Goal is to book six weddings for this calendar year.

Spring/Summer/Fall 2024

Plan to build a bridal and groom suite on the property to accommodate a bridal party. This will give the bride and groom's families the opportunity to have their own space to get ready and store their belongings. Funding will come from profits.

Spring of 2025

Build a bathroom facility. Funding will come from profits.

Spring of 2031

Build a new home on our property to live in. The current home, which is a 5 bedroom rambler would be used as a rental property to the bride/groom. Offered as part of the wedding package for a weekend rental. Can also be used for catering facilities.

Staff

We do not plan to hire staff in the first few years, as we plan to host and run the events. We will be on hand for the duration of every event and proving what is needed. For weddings we will ask the client to be responsible for staffing the event with their catering company and bartenders. We will be on hand for clean up during the event. In our wedding packages, the client will be responsible for set up, tear down, and cleanup. If the business grows to be larger and we can afford to add 1-2 people we will evaluate this need.

Company Assets

Chris and Rachel Massmann privately own the 15 acre parcel of land and barn in which the event business will be run. There is some inventory Blue Cottage Farms owns, along with decor. Assets are valued at or around \$1000.

The Product

The Product

The primary service being provided by Blue Cottage Farms is a venue and event rental space.

The rental space includes a barn and 15 acres of land to hold the events. Clients will sign a contract to be allowed to rent the land and barn for personal events such as weddings, graduation parties, reunions,

birthday parties, bridal showers, receptions, ceremonies, etc.

With the popularity of barn venues, this will appeal to many people. You can decorate to your specific taste and style, as our barn will be a blank slate. There is wide open spaces for the ceremony, reception, and parking.

With the current pandemic (COVID-19) there will be a need for outdoor venues over the next few years where people are not in an enclosed space.

Marketing Plan

The Target Market

The target market is for newly engaged couples looking for an event venue to hold their weddings. The age range is anywhere from 21-65 for a wedding or vow renewal. The venue is perfect for anyone that would like a beautiful outdoor setting and host 200-250 guests.

The second target market is for young adults who graduate from High School and are looking for an event to hold a celebratory reception with their friends and family. Many people like the convenience of hosting events that is not their private residence. This gives them the opportunity to have a unique setting, with less stress.

Pricing

Our approach will be to host affordable weddings and gatherings. As we gain in popularity and start to acquire assets (tents, tables, & chairs) we will adjust pricing to include the rental of these items.

We have priced out six different event options, in two categories. 1. Small event gatherings and 2. Wedding gatherings (more costly and timely to plan).

Small Event Pricing:

Small Gathering Package

Up to 50 Guests

1 Hour Setup

3 Hour Event

1 Hour Tear Down

Hosts are responsible for tables and chair setup pre-party

Clients are responsible for decor set up, food and drink setup, tear down and cleanup

Porta Potty required and included in rental price

\$550.00

Intimate Ceremony Package

Up to 20 guests

1 Hour Ceremony

Minimal Setup/Decor 1 Hour prior to event

Hosts to set up tables/chairs if needed

Hosts to tear down tables/chairs

No Porta Potty required

\$350.00

Graduation, Open House, Reunions

1 Hour Setup

3-4 Hour Event

1 Hour Tear Down

Clients are responsible for decor set up, food and drink setup, tear down and cleanup

Porta Potty required and included in rental price

\$650.00

Wedding Event Pricing:

Do-It-Yourself Wedding Package

Up to 200 guests

Wedding day 9 a.m. - 11 p.m.

Client rents all tents, tables, chairs and will set up

Client provides all decor, linens and vendors

Client is responsible for tear down and cleanup

Client is responsible for Porta Potty rental

\$1750

Basic Wedding Package

Up to 200 guests

Decor drop off and setup at 4-6 p.m.

Wedding day 9 a.m. - 11 p.m.

Client rents all tents, tables, linens and chairs ~ to be delivered day before to the farm

Client provides all decor and vendors

Setup, tear down, and cleanup will be provided by Blue Cottage Farms

Porta Potty provided by Blue Cottage Farms

\$3000

Up to 200 guests

Rental starts the previous evening for decor set up, rehearsal and dinner 4-8 p.m.

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(2-3) 20'x40' Tents, (25) 5' Round tables, 200 White Metal Chairs rented and set up by Blue Cottage Farms

Tear down and clean up provided by Blue Cottage Farms

Porta Potty provided by Blue Cottage Farms

\$5000

Blue Cottage Farms will provide the rentals and one porta potty for specific packages. Pricing will be dependent on number of guests.

If Blue Cottage Farms provides tents, tables, chairs and porta potty the price includes a 60% markup.

Advertising

Advertising will take place mainly through social media and work of mouth. Social media will direct interested people to the event website. The website will be created and updated by Rachel, who is a professional designer with experience in maintaining a site. Cost will be \$30 a month to maintain the site, which will be \$360 year.

Branded collateral such as business cards, letterhead, invoices, contracts and downloadable pdf brochures will be created. The cost will be \$150 to print business cards.

A branded sign for Blue Cottage Farms will be designed and created by Rachel to advertise the business. It will have the name and phone number of the business and be placed on the entrance of the road leading to the farm. Chris has built the structure out of materials we own, and the sign will be printed for \$100.

Initial marketing costs for the first year will be \$700. For years following, the marketing plan will be reevaluated and the budget will go up for more marketing efforts.

Ultimate goal would be a vendor at bridal shows to advertise the business.

Competitor Analysis

The Competitors

There are several barn venues in the Minneapolis/St. Paul and rural areas. Their competitive advantage is an established venue, size of their barns, catering facilities, bathroom facilities, owning tables/chairs/tents and being able to charge a premium price for their business. The prices range from simple ceremonies to elaborate in the \$5,000-\$17,000 price range.

Most of the larger competitors are located more south of the Twin Cities area and 1-2 hours from our own venue. A small competitor with a barn venue is located three miles away and they are competitively priced with a kitchen and bathroom facilities. The barn is not authentic, as it was recently built out of steel and does not have a lot of character. There is no alcohol permitted on the property and with their wedding packages the client must tear down and clean up before the end of the night. We will allow our guests to come back the next morning to clean up and return all rentals by noon.

In 2018, the average cost of a wedding for couples is \$28,000. Our goal is to provide a beautiful, unique venue that is affordable to couples that can't spend a lot of money and want to do the bulk of the work themselves. Our pricing is extremely competitive and a little underpriced to get established and gain clients.

Some advantages we will have with our venue will be an old original barn in excellent condition with rustic charm that couples are looking for. From a planning perspective, a wedding barn is something of a blank canvas. Barns allow for limitless ways to decorate and personalize your nuptials. Rachel has the advantage of being a designer and being able to bring a bride's vision to life, while offering creative services.

Another advantage is the property has fields for parking and everything can be held in one location, from exchanging vows to the reception and dance.

Operations

Daily Operations

Our day to day operations will be maintaining the property - mowing, weeding, painting, repairs. Client calls and working with vendors will take place on evenings and weekends. Event timelines, event details and invoicing will be worked on in the evenings and weekends. Client meetings will take place on the property (Saturdays from 9am - 12pm) and walk throughs will happen one month prior to the event day.

When the event is three days away, the property will be evaluated for any upkeep and repairs.

Day before event Chris and Rachel will set up rental items, working 4-6 hours that day. Day of event will be all day, with operating hours from 9am - 11pm.

Operational Facilities

The main operations will take place at Blue Cottage Farms. There is some work to be done on the barn to prepare for the 2021 wedding and event season.

The barn is in good condition and won't need renovations for the start of the business. There are future plans to add on to the barn space. A large deck from the haymound, landscaping and future cottages for bridal parties are in the five year plan.

The barn is currently 1100 sq. ft. We will need operating permits and occupancy permits with a walk-through by the city to decide on how many are allowed to be inside the barn at one time. All large events 50+ people will be required to be held outside. Tents will be required in the agreement to provide shelter from the weather and elements. Once we are permitted by the city we can book events.

Staffing

Blue Cottage Farms will employ one full-time employee in the initial startup phase.

Blue Cottage Farms
Projected Income Statement

For the year ending the 31st day of October: (USD - US Dollars)

	2021
	\$
Revenues:	
Gross Sales:	12,000.00
Less Cost of Goods Sold:	(4,800.00)
Gross Profit:	7,200.00
Expenses:	
Sales and Marketing	700.00
Research and Development	0.00
Insurance	200.00
Legal and Professional Services	0.00
Bookkeeping	0.00
Rent	0.00
Utilities	1,200.00
Repairs and Maintenance	500.00
General Office	0.00
Entertainment	0.00
Licenses	300.00
Salaries and Benefits	0.00
Bank Fees	0.00
Interest	0.00
Miscellaneous Expenses	0.00
Total Expenses:	2,900.00
NET INCOME (Before Tax):	4,300.00

BLUE COTTAGE FARMS



Your Hosts

Hello and welcome to the farm! We are Chris and Rachel Massmann, owners of Blue Cottage Farms in Ramsey Minnesota. Our property sits on a beautiful 15 acres of land with a sweet little barn, perfect for a small indoor gathering or the backdrop to any outdoor event. Our goal is to provide a stress free day at an affordable price. Rachel is a professional graphic designer for a marketing and event company with twenty years of experience. Design and details are her passion! Rachel has freelanced for many years, creating memorable one of a kind wedding invitations and signage packages for brides. She also creates custom invitations for any type of event. Chris works for the same marketing and event company on the production side. He is also a talented cabinet builder with a wood working shop on the property, He can build anything and everything you dream up! It will be our job on your big day to ensure everything runs smoothly, communicate with vendors and take care of the details.

Location:

Blue Cottage Farms

5552 179th Lane NW, Ramsey Minnesota

Located 45 minutes north of Minneapolis/St. Paul nestled in a rural setting

Events

We can host gatherings small or large up to 200 guests. Will work with you on every detail to ensure the event is flawless. The most popular type of events are:

- ♥ Wedding & Reception
- ♥ Rehearsal Dinner
- ♥ Ceremony Only
- ♥ Reception Only
- ♥ Graduation Party
- ♥ Family or Class Reunion
- ♥ Bridal Shower
- ♥ Anniversary Party
- ♥ Birthday Party
- ♥ Banquets

Hours

The farm will be open from 9 a.m. to 11 p.m. For small events, we request the event to be anytime between 10 a.m. and 6 p.m. Special requests can be made for evening gatherings.

For weddings, the event must come to an end by 10 p.m. and all guests must be gone by 11 p.m. The bride/groom, bridal party, parents and close family may be allowed to stay and cleanup decor. All rental items, decor and garbage have to be packed up and off the property by noon the next day.

Parking

The farm has ample parking, with a short walking distance to the property. Car parking signs will clearly mark where to park vehicles. A parking attendant may be assigned to direct traffic for larger events, such as weddings. If there are special needs for handicapped or elderly we will accommodate that need and allow them to be dropped off closer to the barn.

BLUE COTTAGE FARMS



Barn

The barn is 1100 square feet, to be used for gatherings inside up to 50 people. Small events such as a bridal shower or birthday party can be set up inside and decorated to your tastes. Small intimate wedding ceremonies can be held inside the barn. Tables and chairs will be setup by the hosts prior to your event. It will be your responsibility to decorate, setup special areas (dessert or gift tables) and tear down/cleanup all garbage.

For large weddings and reunions (up to 200) the event will be held outside and the barn can be used for food serving, decor, photo booth, small seating/visiting areas, and games. It can also be reserved for the bridal party to wait for the ceremony to take place. The hay mound will be off limits and a rope will be put up to deter guests from exploring. Future plans for a waiting/getting ready area and deck out of the hay mound are in the works.

Open houses can be both inside and outside of the barn, as people are coming and going. We can set up the additional 10x30 white tent in event of rain for overflow people that don't fit in the barn.

Tents ~ Tables ~ Chairs

For large wedding events, it will be required to rent tents, tables and chairs for an outdoor setup. With our Minnesota weather, tents will be needed in the event of rain or hot weather (shade needed).

Catering

A licensed caterer is required for events with 50+ people. You may choose any vendor and we will work out the details with them. Please keep in mind there are no kitchen facilities, the caterer must bring prepared food and set-up before the ceremony starts. There will be outlets provided - food setup for large events will be ideal in the barn. They may also cater under tents, and we will provide extension cords to the tent. Alcohol may be served and bartenders required - for weddings only. No alcohol allowed for graduation parties, reunions, or birthday parties. All bakery food items including cakes, desserts, cookies, pies and brownies must be from a licensed facility. We do not charge a cake cutting fee. Please assign a trusted guest to cut and serve your desserts, or the catering company.

Bathroom

Porta Potty rental required. Future bathroom facilities are in the works.

Insurance

We require weddings to acquire event insurance.

Private Facilities

At this time we do not have private areas for the wedding party to change or get ready. We ask you to come to the property in your attire, or change in the barn before guests arrive. A full length mirror and table will be set up in the milk house for any last minute touch ups or storage for the bridal party.

BLUE COTTAGE FARMS



Music and Dance

You may provide music for your events and during a ceremony. The dance can be held at the back of the barn on the cement slab, or the side with a stage/platform. *Please ask us for a price to provide this. We have neighbors to the east of our property and noise carries easily. If we feel any evening dance/noise levels are overly loud and excessive, we reserve the right to turn the music down and a warning will be issued. If problems persist the music will be shut down altogether.

Photography

If you book your wedding or event with Blue Cottage Farms you may have engagement pictures taken on the farm as part of your wedding package. It is up to you to arrange wedding day photography and details. We have an inexpensive preferred vendor who knows our property well and is local. She did our own wedding day photography along with our yearly family photo's and children's graduation pictures. Ask us for details and we will provide her information.

For a small fee, our property is available anytime for a photo shoot. We will only charge a \$50 fee for a 2 hour use of the property.

Private Property

We reserve the right to escort anyone off the property. If guests are excessively loud, fight, or create issues we will take action. Our home is off limits and no one beside the bride, groom, parents, event planner or pre-approved person may enter it. This is our private home and we are sharing it with you and your guests so please be considerate and help us keep it safe and clean for everyone.

Smoking

Smoking is not permitted on or near the barn, tents or properties. We will have a designated smoking area in the back field with a garbage for disposal.

Belongings & Gifts

We do not have a secure room for belongings and gifts. We suggest you assign someone to pack your cards and gifts up and secure in your car for the night.

Animals

You may include your pet in any engagement or family photo shoots. We ask you to keep them at home on the day of the event for the safety of your guests.

Contract

Blue Cottage Farms will have a contract with your reserved date, rental agreement, price, and all fees due for you to sign.

BLUE COTTAGE FARMS



Provided

We have several items that will be available to use free of charge with the barn rental:

6 - 6' Tables

1 - 8' Table

50 White Plastic chairs (not wedding type, for grad parties/reunions)

2 Card Tables

1 - Patio Table with 6 seats

1 - Patio Table with 4 seats

8 Gray Plastic Adirondack Chairs with side tables

1 - 10' White Washed Farm Table (Custom Built)

1 - 6' Rolling Bar Height Counter (Custom Built)

2 - 10'x30' White Tent (can be used with or without walls)

Garbage Cans

Horse Trough for Drinks ~ Water/Soda

2 Mason Jar Jugs for Punch or Lemonade

14 Vintage Blue Mason Jars

Burlap Runners

15 White Table cloths for 5' Round tables

3 Round Cake Platters for Desserts

1 Custom Hand Lettered Sign for Entrance

Parking Signs

BLUE COTTAGE FARMS



Pricing

Pricing will vary depending on the type of event and services you may choose to add on. A \$250 deposit is required to hold the date, with final payment due two weeks before the event. For weddings a \$200 check will be required and held for a damage deposit. It will be returned provided there is no damage and cleanup is complete. We are more than happy to work out a payment plan for weddings only. Once your date is chosen, we will start the planning process by going over your event in detail and create an event timeline for you and your family.



Small Gathering Package

Up to 50 Guests

1 Hour Setup

3 Hour Event

1 Hour Tear Down

Hosts are responsible for tables and chair setup pre-party

Clients are responsible for decor set up, food and drink setup, tear down and cleanup

Porta Potty required and included in rental price

\$550.00

Intimate Ceremony Package

Up to 20 guests

1 Hour Ceremony

Minimal Setup/Decor 1 Hour prior to event

Hosts to set up tables/chairs if needed

Hosts to tear down tables/chairs

No Porta Potty required

\$350.00

Graduation, Open House, Reunions

1 Hour Setup

3-4 Hour Event

1 Hour Tear Down

Clients are responsible for decor set up, food and drink setup, tear down and cleanup

Porta Potty required and included in rental price

\$650.00



BLUE COTTAGE FARMS



Minne-Sota Wedding

Up to 50 guests

Wedding day 9 a.m. - 8 p.m.

If client chooses not to use Blue Cottage Farms
6' tables/chairs/10x30 tent, you will rent your own

Client provides all decor, linens and vendors

Blue Cottage Farms will set-up and tear down

Client is responsible for Porta Potty rental

\$1150

Do-It-Yourself Wedding Package

Up to 200 guests

Wedding day 9 a.m. - 11 p.m.

Client rents all tents, tables, chairs and will set up

Client provides all decor, linens and vendors

Client is responsible for tear down and clean up

Client is responsible for Porta Potty rental

\$1750

** For more than 200 guests, an additional fee will be required.*

Basic Wedding Package

Up to 200 guests

Decor drop off and setup at 4-6 p.m.

Wedding day 9 a.m. - 11 p.m.

Client rents all tents, tables, linens and chairs ~ to be delivered day before to the farm

Client provides all decor and vendors

Setup, tear down, and cleanup will be provided by Blue Cottage Farms

Porta Potty provided by Blue Cottage Farms

\$3000

** Rehearsal and dinner additional \$200, 4-8 p.m.*

** For more than 200 guests, an additional fee will be required.*

Ultimate Wedding Package

Up to 200 guests

Rental starts the previous evening for decor set up, rehearsal and dinner 4-8 p.m.

Wedding day 9 a.m. - 11 p.m.

Client provides all decor, linens and vendors

(2-3) 20'x40' Tents, (25) 5' Round tables, 200 White Metal Chairs rented and set up by Blue Cottage Farms

Tear down and clean up provided by Blue Cottage Farms

Porta Potty provided by Blue Cottage Farms

\$5000

**Price is subject to change, based on style of tent, tables and chairs. If a fancier style is requested, price will be updated.*

** For more than 200 guests, an additional fee will be required.*



FOR ANY ADDITIONAL SERVICES OR ITEMS PLEASE INQUIRE AND WE CAN PROVIDE A QUOTE.

CUSTOM BUILT ITEMS FOR YOUR EVENT OR WEDDING

GRAPHIC DESIGN SERVICES BY BLUE COTTAGE CREATIVE

(WEDDING INVITATIONS, PROGRAMS, SIGNAGE)

WEDDING COORDINATOR OR PHOTOGRAPHER

Blue Cottage Farms
Chris & Rachel Massmann, Owners
5552 179th Lane NW
Ramsey MN 55303

August 7th, 2020

Thank you for the opportunity to present Blue Cottage Farms to the city of Ramsey and its community members. We look forward to working with the city and our community to become viable business owners. We are working toward obtaining all of the necessary permits (Conditional Use Permit and Zoning Amendment) to own and operate this business at our private residence.

We are bringing a business plan forward proposing to use our property as a wedding and event venue at the above residence. Chris and Rachel Massmann own this property, which is close to 15 acres with a house, barn, shop, and pole barn.

Our beautiful property is perfect for small to large gatherings. We are making updates to the barn to be up to code and ready to host events. The property has several acres to host larger gatherings, with a cap of up to 200 people for weddings. There will be ample space for parking right on the property. Any event will come to a close at 10 p.m. and noise will be closely monitored. All guests must leave by 11 p.m.

Our goal is to be an affordable venue for the community of Ramsey and provide an alternative to indoor hosted venues that can be used in a variety of ways. Most people who walk onto our property or visit for the first time always say the same thing – “WOW! You have a beautiful property and barn...you should host weddings here!”

We get many, many inquiries on when we can host weddings or start an event business. With the current economic and global pandemic, we feel this is the perfect time for us to start this business. On our property, people have the space to spread out, socially distance and follow state mandated guidelines for events. It will be our goal to provide a safe and fun place for guests.

Thank you,

Chris and Rachel Massmann

BLUE COTTAGE FAMS

BARN

...

DRAWN BY: CDM

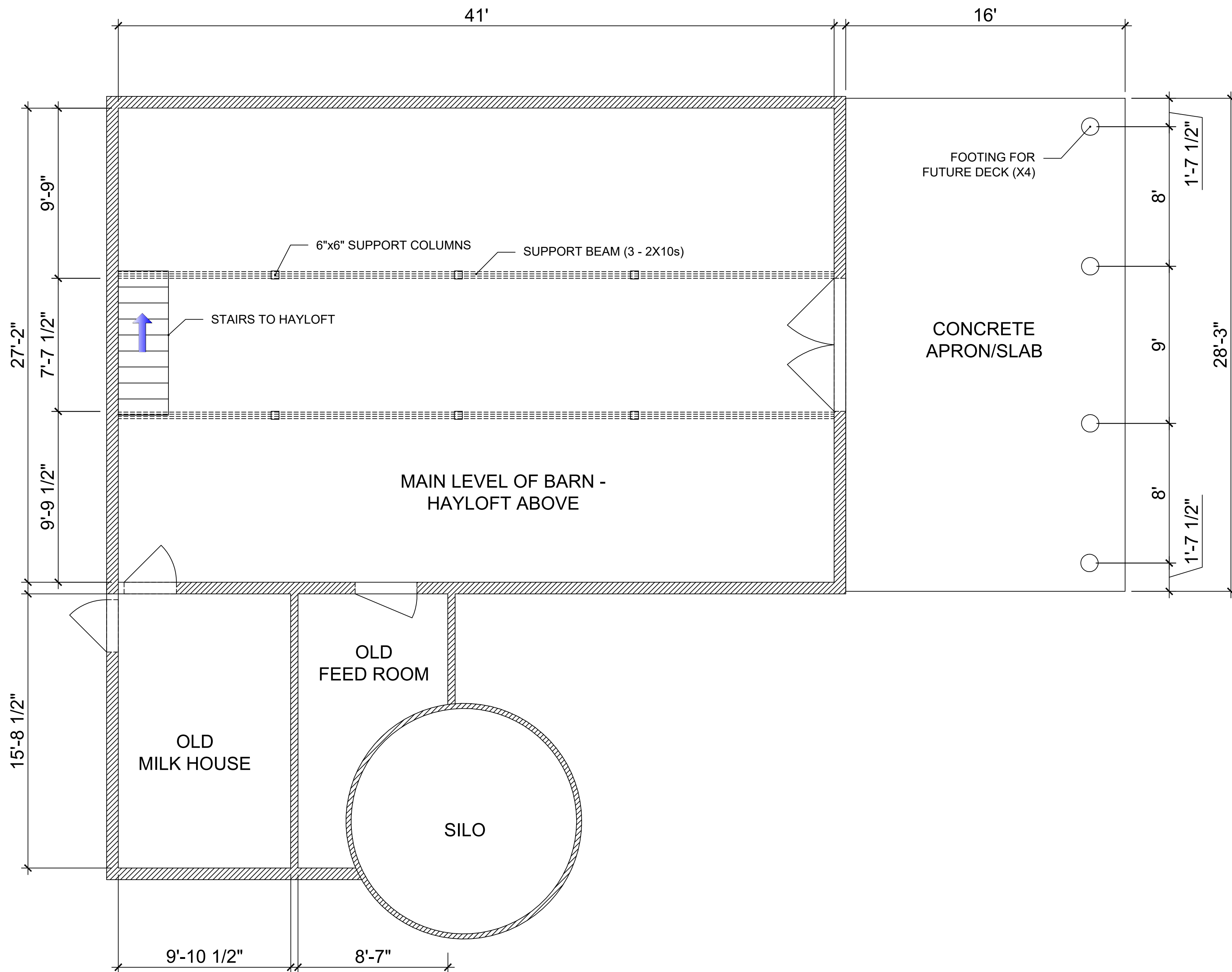
DATE: 8/5/2020

REVISION	DATE
1
2
3

CONSTRUCTION DETAILS:
 BLOCK & 2X6 FRAMED WALLS
 WOOD SIDING
 ASPHALT ROOFING SHINGLES
 CONCRETE FLOOR
 2X10 FLOOR JOIST
 (3) 2X10s NAILED TOGETHER TO
 CREATE SUPPORT BEAMS FOR
 FLOOR
 (6) 6X6 SUPPORT POSTS

NOTES:

SHEET: 1 OF 1



1 PLAN VIEW - GROUND LEVEL
 SCALE: 1/4"=1'-0"

August 22, 2020

City of Ramsey Planning Commission

7550 Sunwood Drive NW

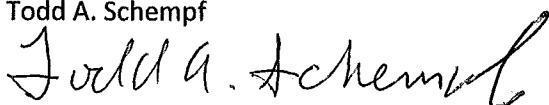
Ramsey, MN 55303

Ramsey City Council, I am writing to express my concern and opposition to the request for a Conditional Use Permit and Ordinance Amendment by Blue Cottage Farms to allow an event center on the residential property known as 5552 179th Lane NW. I understand that the purpose of zoning regulations is " promoting the health, safety, morals, comfort, convenience prosperity, and general welfare of the residents of the city." I feel that a late night venue of this type in a rural/residential zoned area would greatly change the character and quality of life not only in my neighborhood, but even more so in neighborhoods immediately adjacent to the property. In the past the City of Ramsey has touted this area as a hidden gem mix of rural and residential communities (per zoning). Despite the increase of residential development, it has largely remained so. These qualities have enticed myself and other property owners to make our homes here, in the northern limits of the city. Placing a commercial business here, totally removed from other commercial businesses, appears to be in direct contradiction of the planning and zoning practices of the past as evidenced by the need for a conditional use permit and ordinance amendment .

Another pertinent issue may be the capacity and safety of roads and intersections accessing the property. Access to 179th Lane to the east at 7th Ave has a high historical incidence of accidents (and fatalities) due to the intersection design, speeds, sight distances etc. and passes through a residential area fronting the road for approximately one mile. Access to the west, at Hwy 47, also has a high incidence of accidents for a mile in either direction for the same reasons, as easily evidenced by the seemingly constant replacement of steel guardrails in that area.

I sincerely hope that you will consider and appropriately address my concerns, and I assume those of other residents in this area, concerning this issue.

Sincerely, Todd A. Schempf



ORDINANCE #20-17

**CITY OF RAMSEY
ANOKA COUNTY
STATE OF MINNESOTA**

**AN AMENDMENT TO CHAPTER 117 OF THE CITY CODE, WHICH CHAPTER IS KNOWN AS
ZONING AND SUBDIVISIONS OF THE CITY CODE OF RAMSEY, MINNESOTA**

AN ORDINANCE AMENDING SECTION 117-111 (R-1 RESIDENTIAL DISTRICT)

The City of Ramsey Ordains:

SECTION 1 AUTHORITY

This ordinance is adopted pursuant to and under the authority of the City Charter of the City of Ramsey.

SECTION 2 AMENDMENTS

Sec. 117-111. - R-1 Residential District shall be amended to read as follows:

(c) Uses permitted by conditional use permit.

- (1) Religious institutions.
- (2) Commercial horse boarding.
- (3) Commercial dog kennels.
- (4) Oversizing of accessory structure size.
- (5) Two-story accessory buildings.
- (6) Cemeteries.
- (7) Essential services.
- (8) Cell towers in Tower Overlay District.
- (9) Commercial garden nurseries or greenhouses with buildings.
- (10) Micro-scale WECS.
- (11) Event centers on properties ten (10) acres or greater with the following conditions met:

a. Site plan approved by City

b. Event spaces set back a minimum of one hundred (100) feet from any property line

c. Owner must reside on Subject Property

d. Maximum of 26 events per year

SECTION 3. SUMMARY

The following official summary of Ordinance #20-17 has been approved by the City Council of the City of Ramsey as clearly informing the public of the intent and effect of the Ordinance.

Ordinance #20-17 amends Section 117-111 of the City Code to allow event centers on residentially zoned properties of ten acres or greater via a Conditional Use Permit.

SECTION 4. EFFECTIVE DATE

This ordinance becomes effective 30 days after its passage and publication, subject to City Charter Section 5.04.

PASSED by the City Council of the City of Ramsey, Minnesota the ____ day of _____, 2020.

Mayor

ATTEST:

City Administrator

Introduction date: 22 September 2020

Posting dates:

Adoption date:

Publication date:

Effective date:

Councilmember _____ introduced the following resolution and moved for its adoption:

RESOLUTION #20-188

**RESOLUTION APPROVING A CONDITIONAL USE PERMIT
FOR BLUE COTTAGE FARMS TO OPERATE AN EVENT CENTER
ON 5552 179TH LANE NW IN THE CITY OF RAMSEY**

RECITALS

1. Rachel and Christopher Massmann, hereafter referred to as “Applicant”, has properly applied for a Conditional Use Permit to operate an event center known as Blue Cottage Farms on the property generally known as 5552 179th Lane NW, on the land legally described as

The Southwest Quarter of the Northwest Quarter of Section 1 Township 32 Range 25, Excluding Part Platted as Riverwood Hills Plat 1 and Excluding Roads and Easements of Record, Anoka County, Minnesota (the ‘Subject Property’); and
2. The Subject Property is approximately 13.1 acres in size; and
3. The Subject Property is zoned R-1 Rural Residential District; and
4. The Subject Property is adjacent to other R-1 Rural Residential lots ranging from less than one (1) acre in size to forty (40) acres in size, and a religious use to the west; and
5. The Planning Commission met and held a public hearing on September 3, 2020 and the minutes of such are incorporated by reference; and
6. The Applicant has requested a Zoning Text Amendment to allow event centers on residential properties; and
7. This permit shall be contingent upon said Zoning Text Amendment; and
8. Blue Cottage Farms hosts weddings, graduation parties, reunions, birthday parties, bridal showers, and other similar events; and
9. The Subject Property has a barn that would be used for smaller events, and larger events would take place outside and utilize the barn as a backdrop. No events would take place in the home on the property; and
10. Whereas the Barn on the Subject Property is approximately 1,100 square feet; and
11. The City Council reviewed and approved the requested on September 22, 2020.

FINDINGS OF FACT

1. That the proposed use will not adversely impact traffic in the area.
2. That the proposed use will not be dangerous or detrimental to persons residing or working in the vicinity of the use or to the public welfare.

3. That the proposed use will not substantially or adversely impair the use, enjoyment or market value of surrounding properties.
4. That the proposed use will be operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and such use will not change the essential character of the area.
5. That the proposed use will not create additional requirements at public cost for public facilities and services.
6. That the proposed use will not be detrimental to the economic welfare of the community.
7. That the proposed use will not be disturbing or hazardous to existing or future neighboring uses.
8. That the proposed use will not involve uses, activities, processes, materials and equipment and conditions of operation that may be detrimental to any persons, property or the general welfare, by reason of excessive production of traffic, noise, smoke, or glare.
9. That the proposed use will be in accordance with the objectives of the intent of Section 117-51 Conditional Use Permits of the City Code.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:

That the Ramsey City Council hereby grants a Conditional Use Permit (the “Permit”) for Blue Cottage Farms contingent upon the following:

CONDITIONS

1. That this Permit allows for an event center on the Subject Property.
2. That this Permit is contingent upon:
 - a. An approved site plan for the use
 - b. Fire Marshal and Building Official approval
 - c. A new Certificate of Occupancy for the barn space
 - d. A Zoning Text Amendment allowing event centers on residential properties
 - e. Staff Review in ProjectDox, City Attorney, and City Engineer approval
 - f. There shall be no parking related to the use on 179th Lane NW or any other road. All parking for the use must take place on the site or on an adjacent site if a property owner expressly allows this.
3. Hours of operation shall be 9 AM to 11 PM daily, with music ending at 10 PM.
4. That the Permittee is limited to twenty six (26) events per year, with a year being January 1 to December 31.
5. Events shall have no greater than two hundred (200) attendees.
6. All events shall have event insurance.
7. There shall be no animals, excluding properly permitted Service Animals, on the Subject Property related to events.

8. If Blue Cottage Farms wishes to allow a smoking area, City Staff must approve of this location to ensure it will not impact adjacent Property Owners.
9. Any event with attendees who do not reside on the Subject Property, including events for friends or family members, constitutes an event for the purposes of this permit.
10. That the current septic system onsite cannot handle event loads, so the Permittee shall utilize portable toilets. All portable toilets shall be placed in a discrete location away from existing residential properties, and said location shall be approved administratively by City Staff.
11. That the Permittee shall maintain the Subject Property in compliance with City Code Sections Chapter 117 (Zoning and Subdivisions), Article II (Zoning) Division 8 (Signs), and Chapter 30 (Nuisances) at all times.
12. That the Permittee shall own and reside on the Subject Property at all times. If the Property Owners do not reside on the Subject Property, this permit shall be terminated.
13. That the Permittee shall obtain all necessary permits to complete any required building modifications.
14. That this Permit shall expire within one (1) year from the date of approval if the use is not initiated. Building Permit application shall constitute initiation.
15. That this Permit shall be perpetual in duration as long as the terms are herein complied with.
16. That the Permittee shall be responsible for all City costs incurred in administering and enforcing this Permit.
17. That the City Administrator, or his/her designee, shall have the right to inspect the premises for compliance and safety purposes annually or at any time, upon reasonable request.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember _____, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this 22nd day of September, 2020.

Mayor

ATTEST:

City Clerk

Regular Planning Commission

7. 1.

Meeting Date: 09/03/2020

By: Tim Gladhill, Community Development

Information

Title:

Review Sketch Plan for Riverstone South; Case of Capstone Homes

Purpose/Background:

The purpose of this case is to review a Sketch Plan for a project known as Riverstone South proposed by Capstone Homes located on the south side of Highway 10/160 east of Bowers Drive. The purpose of Sketch Plan Review is to provide high-level direction prior to the Developer preparing a Preliminary Plat. This is the time to indicate level of overall support and identify any red flags.

The Planning Commission and City Council have been discussing this project in planning stages since the beginning of 2020 along with multiple opportunities for public comment. The previous policy direction of the Planning Commission and City Council are summarized in the attached Planning Framework.

In addition to review of the Sketch Plan at the Regular Planning Commission Meeting, a hybrid In-Person/Virtual Open House is also scheduled for August 6 at 5:30 in the Lake Itasca Room or online at <https://us02web.zoom.us/j/83564456992>.

Notification:

Notification of the Sketch Plan Review was sent via Standard US Mail for all Property Owners, according to Anoka County Property Records, within 700 feet of the Subject Property. Additional signage has been placed on the Subject Property. Staff also worked with nearby Property Owners prior to a formal application.

Observations/Alternatives:

Comprehensive Plan

The Comprehensive Plan guides this area as LDR - Low Density Residential. This designation guides future development at 3-4 units per acre.

The Net Density of the site as a whole after factoring out the 7 acres preserved for forestry/open space preservation is 3.38 units per acre. However, Staff is requesting that Net Density Calculations be provided for each individual lot type provided (65 foot wide lots, 55 foot wide lots and 40 foot wide lots). It is anticipated that the area for the 40 foot wide lots as detached townhomes will need a Comprehensive Plan Amendment to MDR - Medium Density Residential.

Zoning District

The Subject Property is in the process of a Zoning Amendment for consistency with the 2040 Comprehensive Plan. Primarily as it relates to this scope of review, the following requirements are noted.

Minimum Lot Width	80 feet
Minimum Lot Size	10,800 square feet 1/4 acre

With that in mind, a Zoning Amendment will be required anyway. The following Zoning Districts will be required for this project.

65 Foot Wide Lots	R-1 Residential (Villa) District
55 Foot Wide Lots	R-2 Residential (Detached Villa) District
40 Foot Wide Lots	R-2 Residential (Townhome) District

The Subject Property is also located in the Mississippi River Corridor Critical Area (MRCCA), a designation of the State of Minnesota. Said rules were recently updated. The project generally conforms with the updated rules. The City will need to revise its Critical Area Ordinance as part of this project.

Tree Preservation

A significant amount of discussion has centered on preserving portions of the existing forestry cover. The canopy coverage of this forest is high-quality. While the understory has had some disturbance due to previous grazing by farm animals, the Planning Commission, Environmental Policy Board and City Council have agreed that the quality of the ecological area is worth attempting to protect portions thereof.

Through discussions, the Developer is proposing to convey fee title of approximately 7 acres along the back side of Bowers Drive for purposes of tree preservation. Staff recommends that this is contingent upon the City successfully securing a third-party funding source intended for natural resource protection. This funding and implementation plan will continue to be discussed with Preliminary Plat.

Public Park

The proposed project includes a 1 acre public park. The Park and Recreation Commission is supportive of this general approach. There are limited recreation areas in this area including for existing residents in the Bowers Drive Neighborhood and Alpaca Estates Neighborhood closer to Armstrong Boulevard. Eventually, the area of the east of the Subject Property is anticipated to develop as single-family residential as well. The Park and Recreation Commission feel a public park in this area is warranted.

In addition, this park is anticipated to be a nature-based park intended to preserve existing trees on the site with a tree fort theme.

Riverdale Drive

The project will require the extension of Riverdale Drive, a collector road serving multiple neighborhoods and business districts. The Riverdale Drive Extension is part of the long term plans to improve safety and mobility of Highway 10/169 regardless of future development. Additional detail is known since previous review. Staff will continue to work with the Developer on final design with potential construction in 2021. Additional detail on the funding approach is included in the attached Policy Framework.

Staff has been working with multiple residents on refining the final layout. Staff believes that the City, Developer and Property Owner are closer to a compromise with additional refinements to be made.

Access to Highway 10

Part of this project will result in the existing access from Bowers Drive to Highway 10/169 being closed. The new Riverdale Drive will be the new connection to Highway 10/169 as a right-in/right-out only. There will be no center median opening to access from westbound Highway 10. Bowers Drive residents will need to access westbound Highway 10/169 from Armstrong Boulevard.

Several residents have inquired about not allowing Riverdale Drive to connect to Highway 10. This would result in a long single access point to several hundred homes (Bowers Drive plus Riverstone South). This would not be

consistent with City Code requirements and require a Variance. Staff is not supportive of this request due to public safety concerns.

Second Bowers Drive Access

It has long been discussed providing a second access to Bowers Drive. Bowers Drive represents the longest dead end street in the community and exceeds current City Code requirements. First and foremost, the City acknowledges the unique neighborhood character of Bowers Drive and strives to protect this character. While the City feels strongly that a second connection is necessary and warranted, the City also believes that there is a way to accomplish this without traffic impacts. The connection point and road design can be accomplished in such a way that traffic modeling will demonstrate this this connection point will not result in additional traffic counts. In fact, Staff believes this may prove to be a benefit to Bowers Drive rather than a detriment.

Staff acknowledges that some on Bowers Drive are opposed to this connection, including the two new homes on either side of this connection point (currently an Outlot preserved for future road connection).

There are two general options on the table.

- 1. Full Road Connection
- 2. Restricted Public Safety Access

The Planning Commission previously recommended a full road connection. The City Council left both options on the table for further analysis and discussion. Staff generally prefers a public road connection with reduced width, but is open to policy direction.

Funding Source:

Processing of this case is the responsibility of the Applicant.

There is a Cost Share Agreement in place for the extension of Riverdale Drive that has the Developer, Property Owner and City contributing to the costs of this Collector Road serving multiple neighborhoods and areas and is part of the Ramsey Gateway Plan (US Highway 10/169).

Recommendation:

Based on discussion. The City has broad policy discretion as the request requires the approval of a Zoning Amendment (and possibly a Comprehensive Plan Amendment) due to lot sizes and densities.

Action:

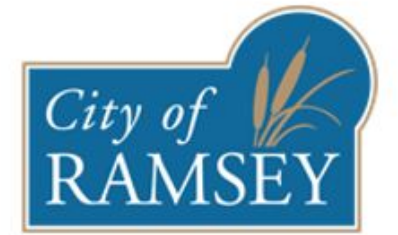
Based on discussion. Provide feedback to the Developer as part of the plan development for the next stage in the process known as Preliminary Plat. Preliminary Plat is the most crucial stage in the subdivision process.

Attachments

- Planning Framework
- REVISED Sketch Plan
- Riverdale Drive Plan (clean)
- Redlined Plans
- Review Comments

Form Review

Inbox	Reviewed By	Date
Kurt Ulrich	Kurt Ulrich	08/25/2020 04:01 PM
Tim Gladhill (Originator)	Kathy Schmitz	08/28/2020 02:09 PM
Form Started By: Tim Gladhill		Started On: 08/20/2020 03:26 PM
Final Approval Date: 08/28/2020		

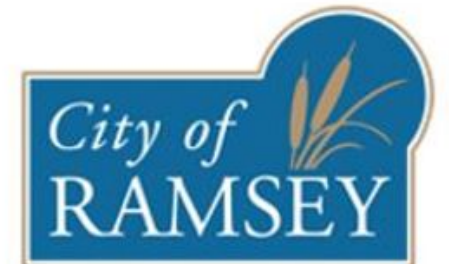


HIGHWAY 10 SOUTH SMALL AREA PLAN RIVERSTONE SOUTH PLANNING FRAMEWORK

June, 2020

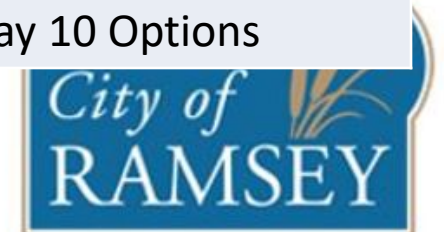
DOCUMENT PURPOSE

The purpose of this document is to outline high-level land use planning policy for a portion of the Highway 10 South Small Area Plan currently known as Riverstone South by Capstone Homes. This a visionary document to help guide policy discussions. This is not the official land use plan for the area nor carries any legal entitlements. This document would be implemented through amendments to the City's Comprehensive Plan and Zoning Code.



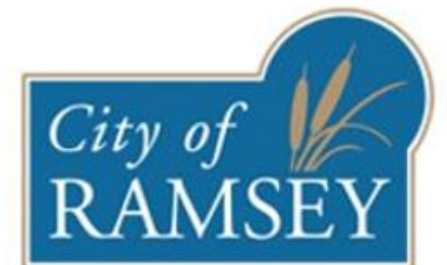
PREVIOUS REVIEW

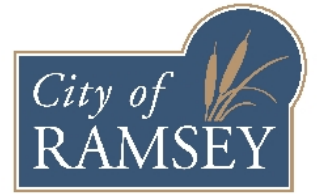
February 11, 2020	Joint Meeting City Council and Planning Commission Broad Overview and Riverdale Drive Funding
February 18, 2020	Public Works Committee Riverdale Drive Funding
March 24, 2020	City Council Riverdale Drive Funding
April 7, 2020	Small Group Neighborhood Meeting Southern Public Safety Connection to Bowers Drive
April 14, 2020	Public Webinar Broad Overview and Land Use Planning
April 26, 2020	Small Group Neighborhood Meeting Riverdale Drive Connection to Highway 10 Options



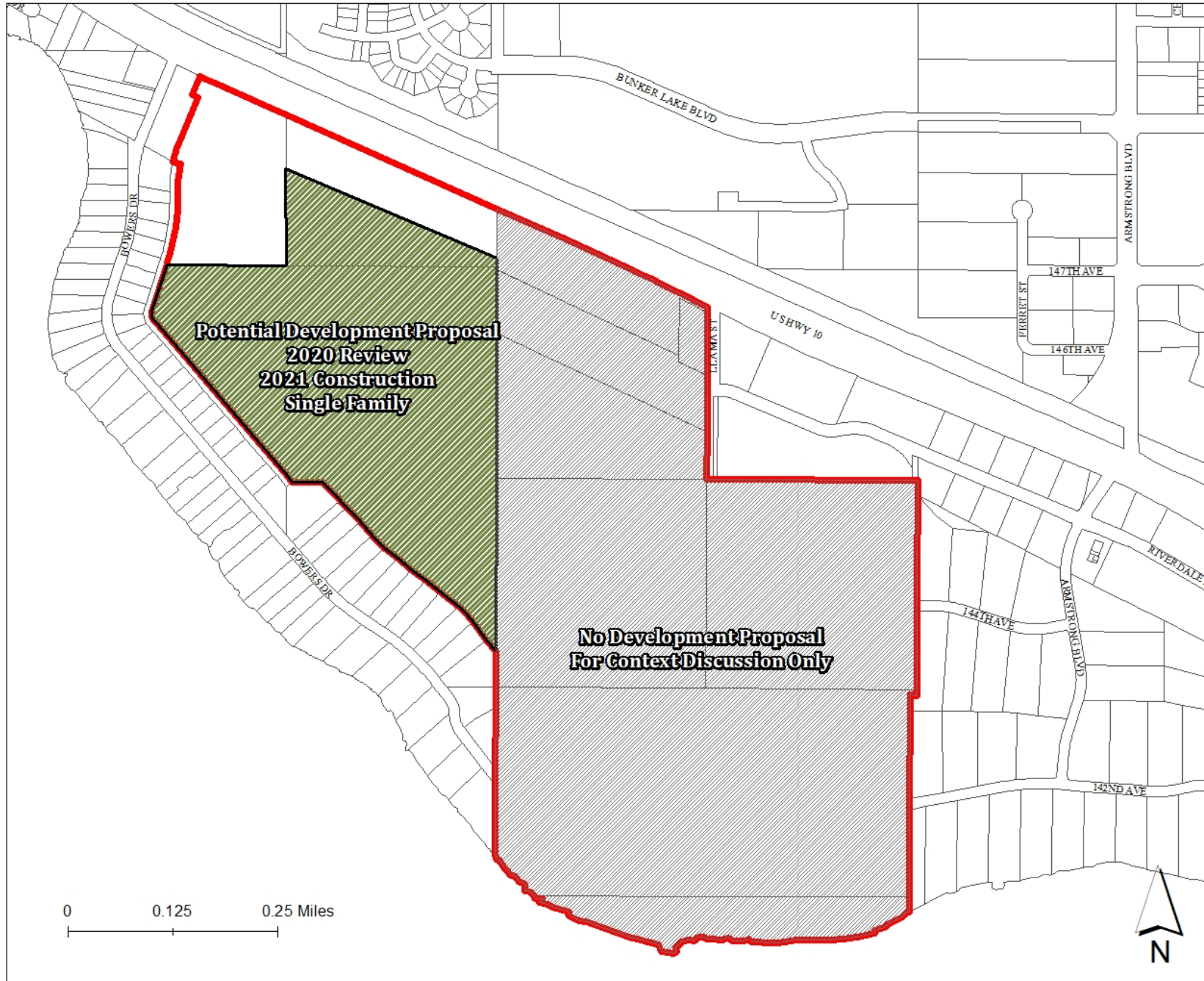
REVIEW OF THIS DOCUMENT

Planning Commission	Thursday, June 4, 2020	7:00 p.m.
Park and Recreation Commission	Thursday, June 11, 2020	6:30 p.m.
Environmental Policy Board	Monday, June 15, 2020	6:30 p.m.
City Council	Tuesday, June 23, 2020	7:00 p.m.





Highway 10 South Planning Area

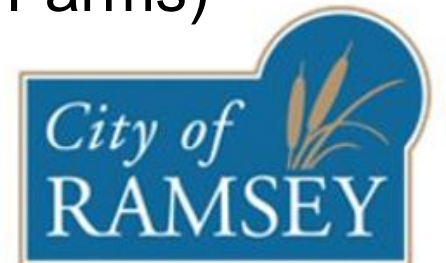


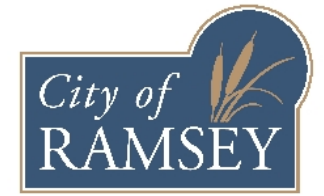
-  No Development Proposal
-  Potential Development
-  Planning Area

Map Prepared by the City of Ramsey
Data Source: Anoka County, City of Ramsey
April 16, 2020
Lambert Conformal Conic Projection
Project Folder

EXISTING CONDITIONS



- Riverdale Drive/Highway 10/169
- Connexus Solar Farm (17 acres)
- Significant Ecological Resources
 - Tree Cover
 - Mississippi River Corridor Critical Area
- Adjacent Land Uses
 - Adjacent to Residential to west (Bowers Drive)
 - Adjacent to Agricultural/Future Residential to east (Riverside Farms)



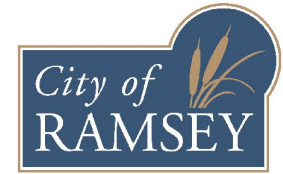


Tree Preservation

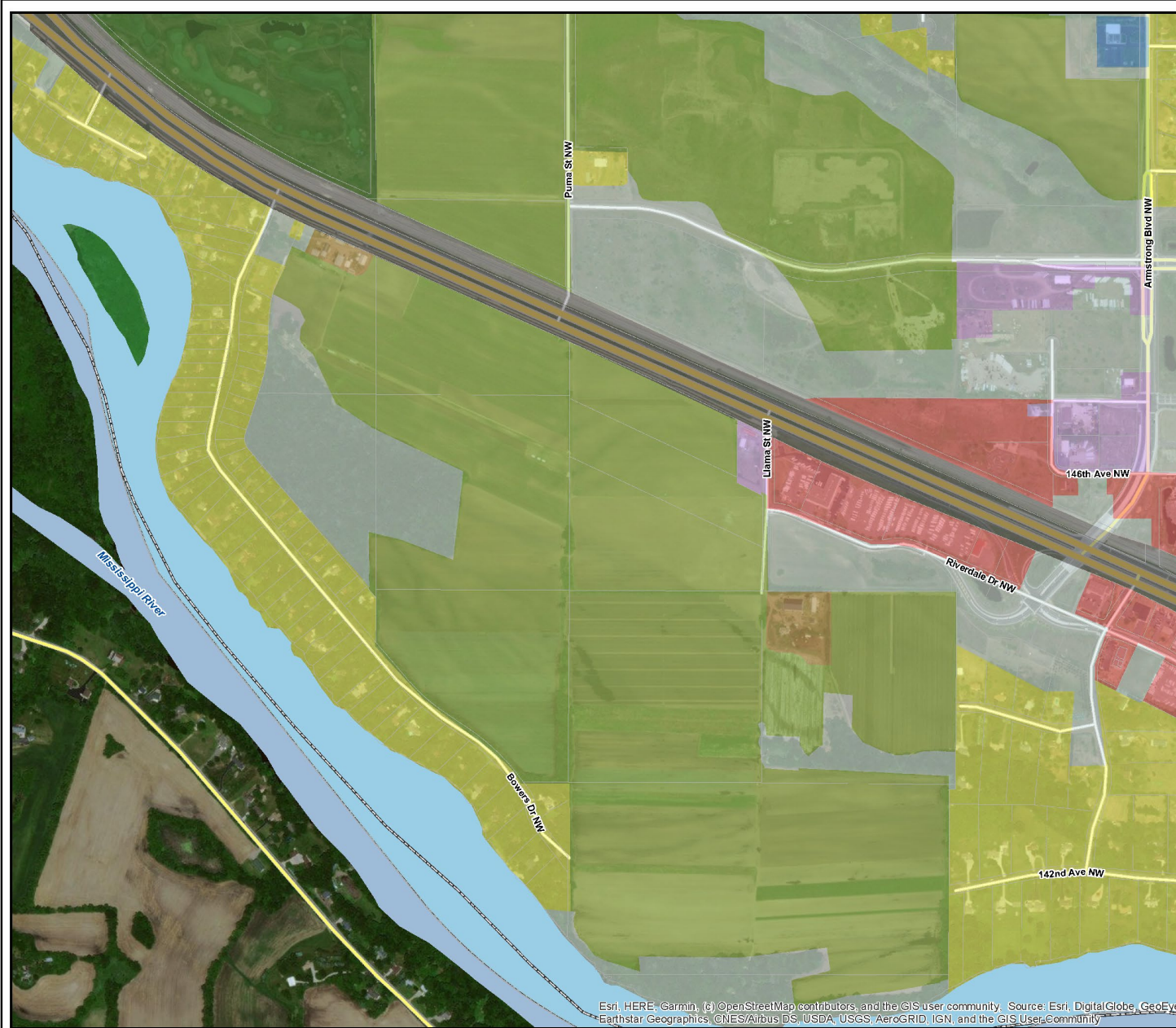


-  Mississippi River Critical Area
-  Potential Development

Map Prepared by the City of Ramsey
Data Source: Anoka County, City of Ramsey
April 16, 2020
Lampert Conformal Conic Projection
Project Folder

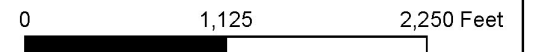


Ramsey Comprehensive Plan Existing Land Use Ramsey, MN



Legend

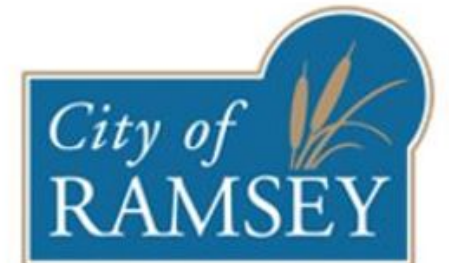
	Municipal Boundary		Extractive
	Farmstead		Institutional
	Single Family Detached		Park, Recreational, or Preserve
	Manufactured Housing Parks		Golf Course
	Single Family Attached		Major Highway
	Multifamily		Railway
	Retail and Other Commercial		Airport
	Office		Agricultural
	Mixed Use Residential		Open Water
	Mixed Use Industrial		Undeveloped
	Industrial and Utility		

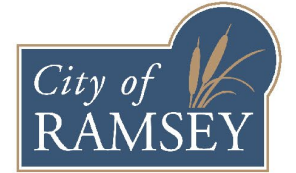


Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community. Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

FUTURE CONDITIONS

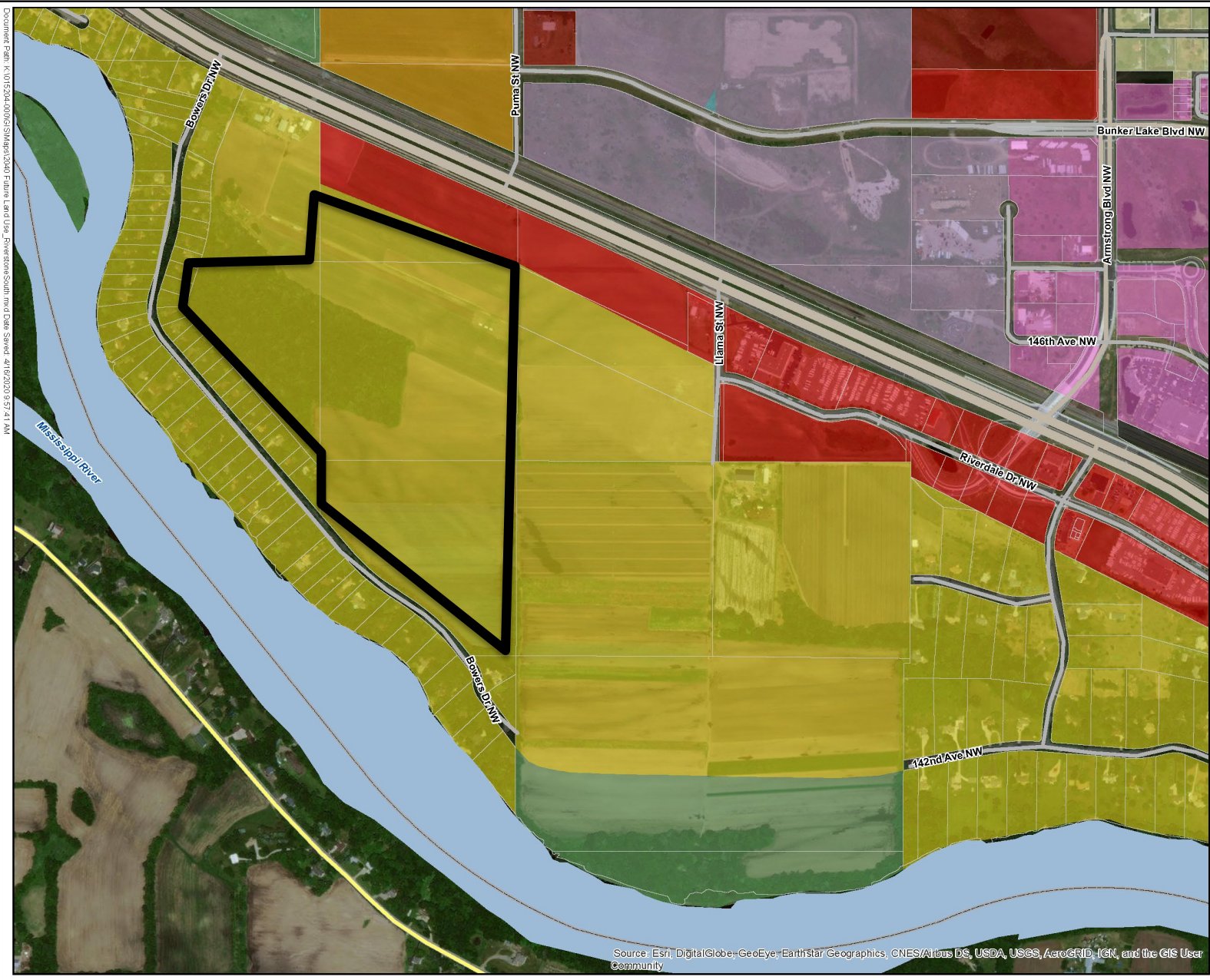
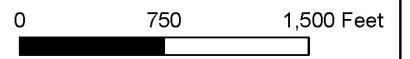
- Future Commercial/Industrial
 - North side of project
 - Between Highway 10 and future Riverdale Drive Extension
- Public Safety Connection to Bowers Drive
- Tree Preservation Plan
- Density Transition
 - Adjacent to Residential
 - Adjacent to Commercial/Industrial/Highway 10/169





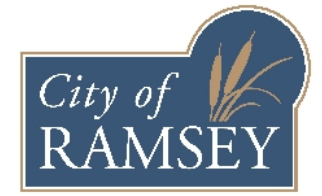
Ramsey Comprehensive Plan 2040 Future Land Use Ramsey, MN

- Parcel Boundary
- Ramsey Boundary
- Lakes and Rivers
- Future Land Use Designation
 - Business Park (BP)
 - Commercial (C)
 - Mixed Use (MU)
 - High Density Residential (HDR)
 - Medium Density Residential (MDR)
 - Low Density Residential (LDR)
 - Rural Developing (RD)
 - Park (P)
 - Public/Institutional (PI)
 - Closed Landfill (CL)
 - Right-of-way (ROW)




Source: Esri, DigitalGlobe, GeoEye, EarthStar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

Document Path: K:\0162044\000\0\MapInfo\0440 - Future Land Use - Riverfronts\South.mxd Date Saved: 4/16/2020 9:57:41 AM

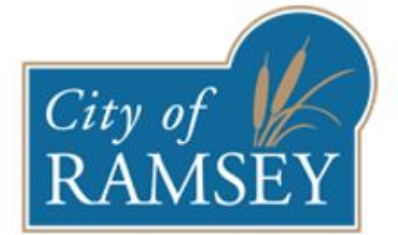


Built Environment

 Potential Development

Map Prepared by the City of Ramsey
 Data Source: Anoka County, City of Ramsey
 April 16, 2020
 Lambert Conformal Conic Projection
 Project Folder

Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



FUTURE LAND USE/DEVELOPMENT OPTIONS

CONNECTION TO BOWERS DRIVE (PUBLIC SAFETY)

City of Ramsey GIS LOGSmap v3.1.1

Find Parks and Subdivision:

Search: seaman Search

Features selected: 1 [Export Results](#) [Clear](#)

PID	Name	Address
293225320021	RAMSEY CITY OF	55303

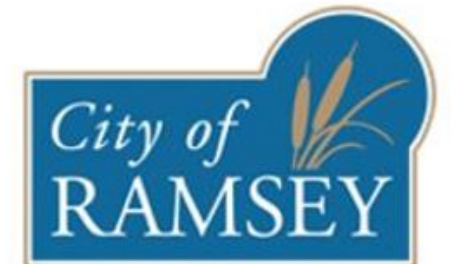
PID: 293225320021
undefined

Legal Information	
Display PID	293225320021
Parent PID	
School District	11
Lot	
Block	C
Addition #	2186615.002
Addition Name	PEARSON PLACE
Property Name	
Owner Change	
Metes & Bounds	OUTLOT C PEARSON PLACE

Owner Information

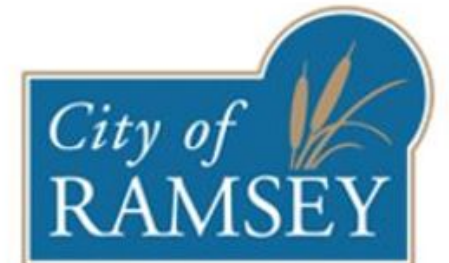
Owner #1	
First Name	
Last Name	
Full Name	RAMSEY CITY OF
Address 1	7550 SUNWOOD DRIVE
Address 2	
Address 3	
Address 4	
City	RAMSEY
State	MN

100ft
45.234529 -93.491973 Degrees
Three Rivers Park District, Esri, H

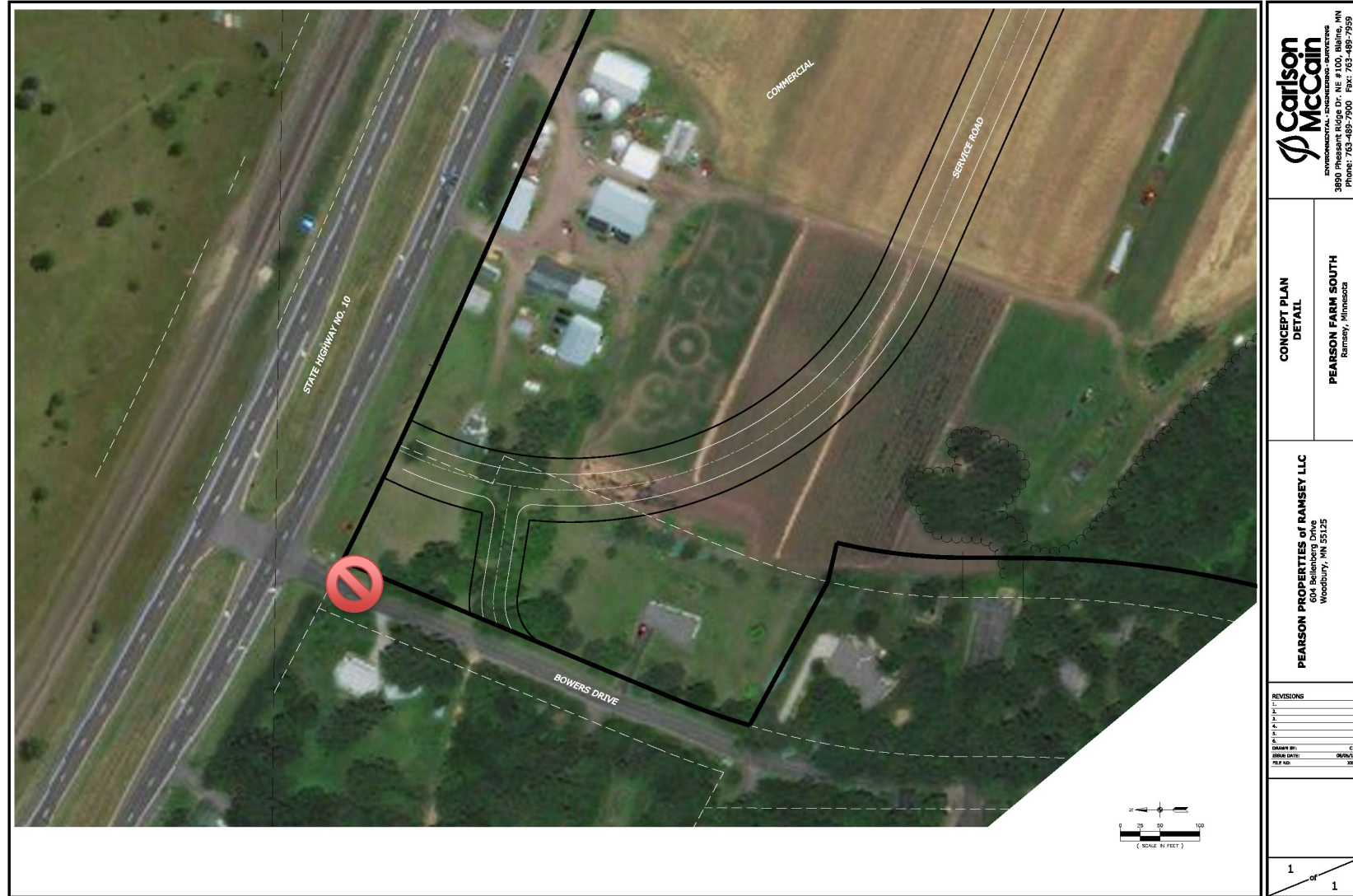



CONNECTION TO BOWERS DRIVE (PUBLIC SAFETY)

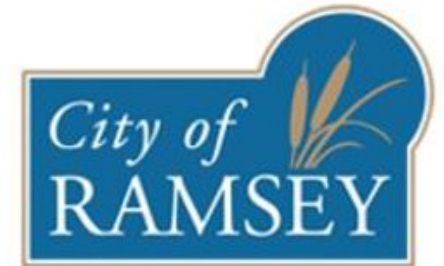
- Alternative #1
 - Full Public Street (28 foot width OK)
- Alternative #2
 - Heavy Duty ‘Driveway’
 - Surmountable Curb on Riverstone South Side – Local Road
 - Access itself does not need curb
 - Signage – Public Safety Access
 - 20 Foot Width
 - Landscaping
- Need turning templates



RIVERDALE DRIVE ALTERNATIVE #1 DEVELOPER/OWNER PREFERENCE



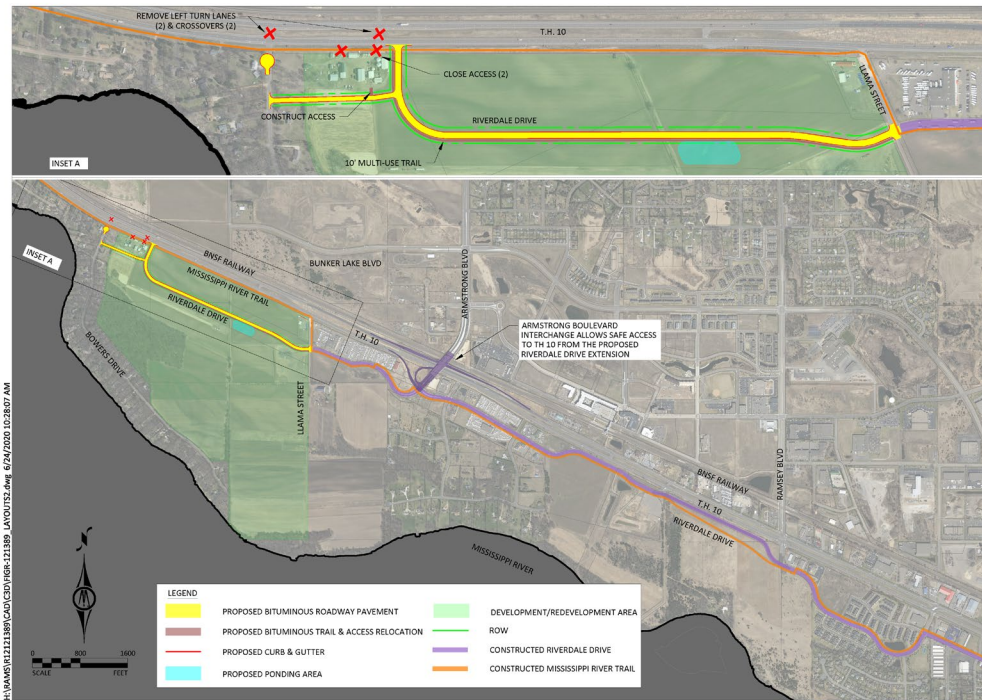
 <small>3800 Phone: 763-489-7900 Fax: 763-489-7959</small>																	
CONCEPT PLAN DETAIL	PEARSON FARM SOUTH <small>Ramsey, Minnesota</small>																
PEARSON PROPERTIES OF RAMSEY LLC <small>604 S. Bellington Woodbury, MN 55125</small>																	
REVISIONS <table border="1"> <tr><td>1.</td><td></td></tr> <tr><td>2.</td><td></td></tr> <tr><td>3.</td><td></td></tr> <tr><td>4.</td><td></td></tr> <tr><td>5.</td><td></td></tr> </table>	1.		2.		3.		4.		5.		<table border="1"> <tr><td>DESIGNED BY:</td><td>CJ</td></tr> <tr><td>DRAWN DATE:</td><td>08/06/20</td></tr> <tr><td>FILE NO.:</td><td>101</td></tr> </table>	DESIGNED BY:	CJ	DRAWN DATE:	08/06/20	FILE NO.:	101
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DESIGNED BY:	CJ																
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FILE NO.:	101																
1 OF 1																	



RIVERDALE DRIVE ALTERNATIVE #2 REQUEST BY NEIGHBORING PROPERTY

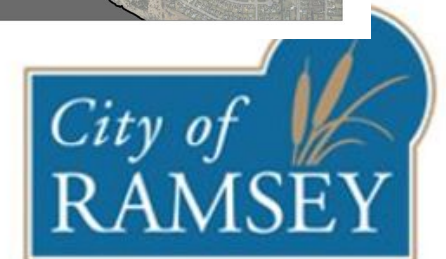
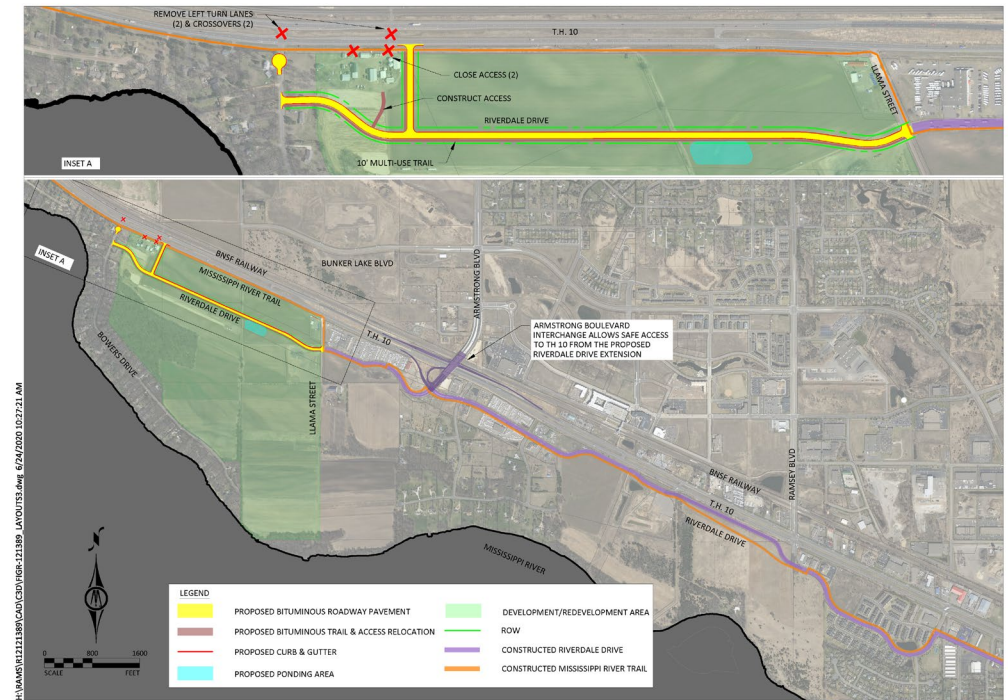
LOCAL PARTNERSHIP PROGRAM
CITY OF RAMSEY

RIVERDALE DRIVE EXTENSION
JUNE 2020 



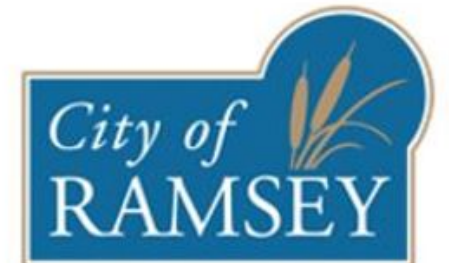
LOCAL PARTNERSHIP PROGRAM
CITY OF RAMSEY

RIVERDALE DRIVE EXTENSION
JUNE 2020 



POTENTIAL LAND USE/FUTURE DEVELOPMENT COMPROMISE

- Enhance Density Transitioning
 - More than currently required by City Code
- Enhance Tree Preservation
 - More than currently required by City Code
- Transects/Zones
 - Larger lots adjacent to Bowers Drive
 - Medium-sized lots in middle zone
 - Smaller lots to the northeast
 - Intersection of Commercial/Industrial and Solar Farm
- Conservation Subdivision Design
- Similar to Riverstone Neighborhood
 - North of Highway 10





Density Transitioning & Tree Preservation



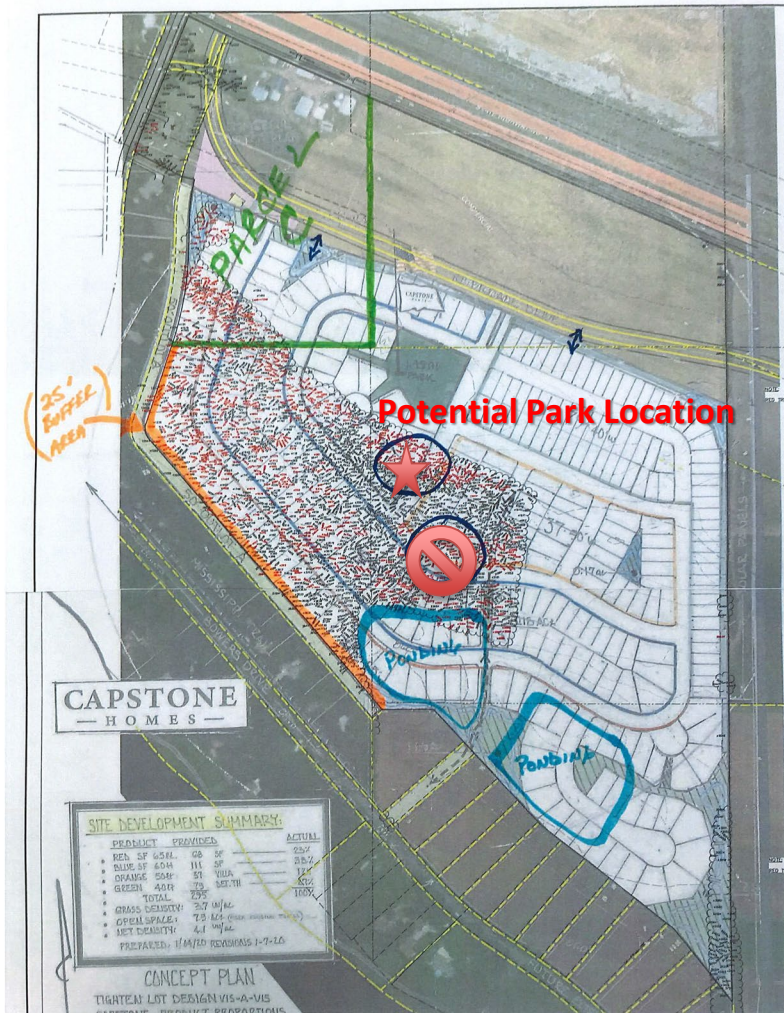
Potential Development

Map Prepared by the City of Ramsey
Data Source: Anoka County, City of Ramsey
April 16, 2020
Lampert Conformal Conic Projection
Project Folder

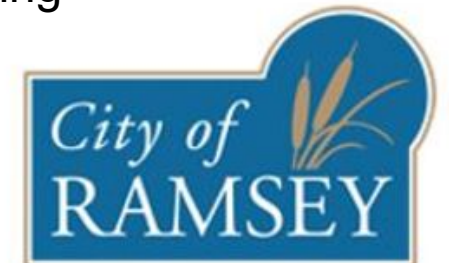
No Development
For Context Discus

Source: Esri, DigitalGlobe, GeoEye, Earthstar, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

ENHANCED TREE PRESERVATION PLAN



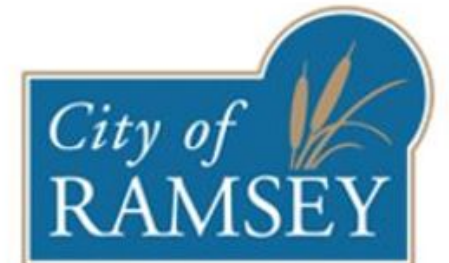
- Alternative #1
 - 1 Acre Nature Based Park
 - Preservation of existing trees
 - Additional 25 foot buffer adjacent to existing 50 foot buffer
 - 75 foot buffer total
 - NOTE: Parcel C retained by Pearson Properties and not part of development area
- Alternative #2
 - Preserve 10% of Project Site
 - Combo of Park Dedication and Other Open Space Preservation Funding

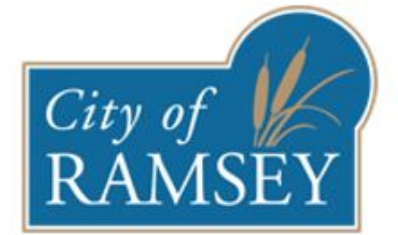


Previous concept underlay for context only. Actual concept will look different.

OPEN SPACE PRESERVATION FUNDING OPTIONS

- Park Dedication Credit
- Trust for Public Land
- Anoka Conservation District
- Minnesota Department of Natural Resources
- Great River Greening





IMPLEMENTATION PLAN

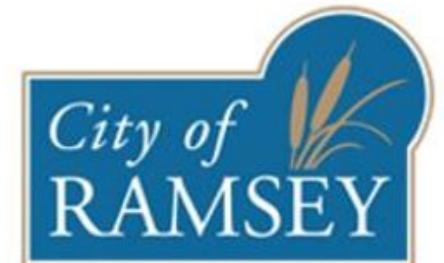


RESOLUTION #20-065: RIVERDALE DRIVE FUNDING

- 1/3 Cost Share of Pearson Frontage
- 1/3 Cost Share of Anoka County Frontage Funding Gap

	Pearson Frontage	Anoka County Frontage	Total
City/Public*	\$388,000	\$39,250	\$427,250
Capstone	\$339,125	\$39,250	\$378,375
Pearson	\$339,125	\$39,250	\$378,375
Total	\$1,066,250	\$117,750	\$1,184,000

*Includes both City Contribution and MnDOT Grant





**CONCEPT PLAN
RIVERDALE ALIGNMENT
DETAIL**

PEARSON FARM SOUTH
Ramsey, Minnesota

**PEARSON PROPERTIES
of RAMSEY LLC**
604 Beilenberg Drive
Woodbury, MN 55125

REVISIONS

1.	
2.	
3.	
4.	
5.	
6.	

DRAWN BY: _____ C# _____
ISSUE DATE: 07/07/2020
FILE NO: XXX

REVIEW COPY

Site: DBE: 07/07/20 / Users/8301 - 8301/0301 - pearson_property - ramsey_farm_south/Layout/3.dwg



CARLSON MCCAIG
 ENGINEERING SURVEYING ENVIRONMENTAL
 3950 PHEASANT RIDGE DRIVE NE, SUITE 100, BLAINE, MN 55448
 TEL: 763.485.7900 \ FAX: 763.485.7958 \ CARLSONMCCAIG.COM

**CONCEPT PLAN
 RIVERDALE ALIGNMENT
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PEARSON FARM SOUTH
 Ramsey, Minnesota

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 OF RAMSEY LLC**
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 Woodbury, MN 55125

REVISIONS

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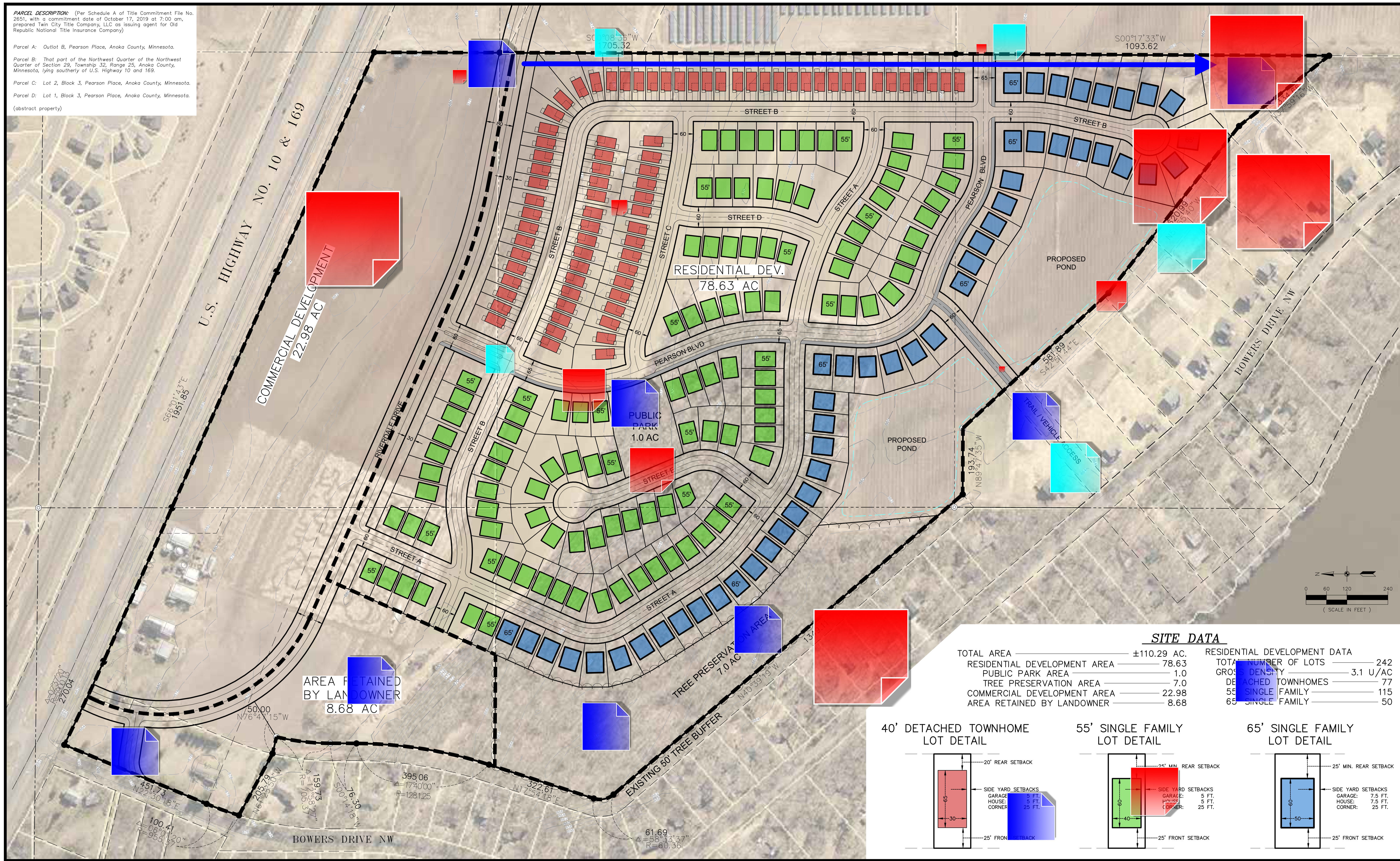
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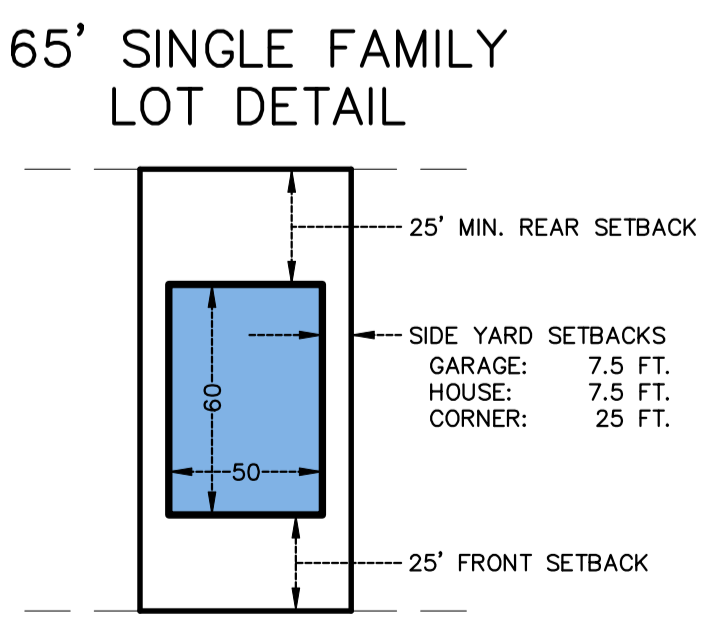
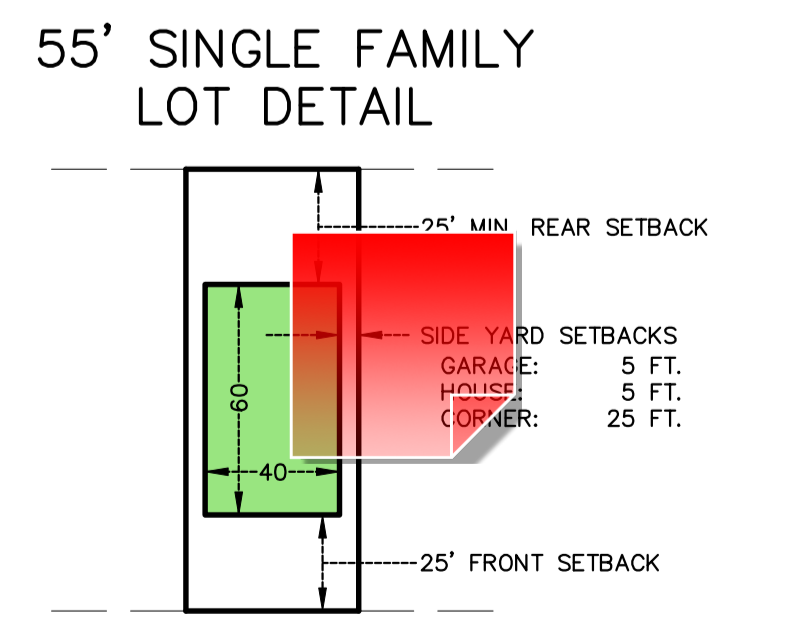
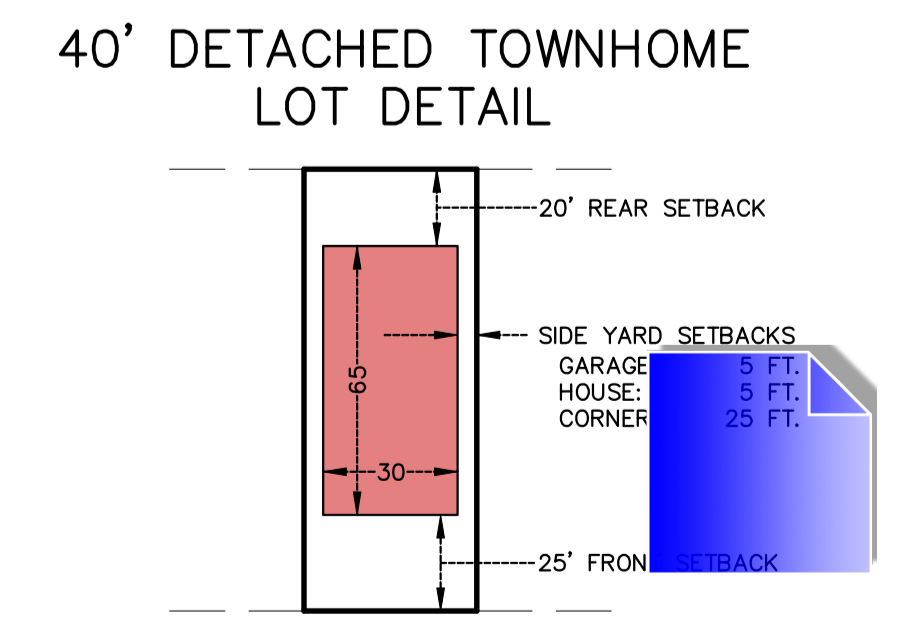
Site: DBE: 07/07/20 / Users/8301 - 8301/0301 - pearson_property - ramsey_lot_cad/ramsey/alignments/0301.dwg

PARCEL DESCRIPTION: (Per Schedule A of Title Commitment File No. 2651, with a commitment date of October 17, 2019 at 7:00 am, prepared Twin City Title Company, LLC as issuing agent for Old Republic National Title Insurance Company)

Parcel A: Outlot B, Pearson Place, Anoka County, Minnesota.
 Parcel B: That part of the Northwest Quarter of the Northwest Quarter of Section 29, Township 32, Range 25, Anoka County, Minnesota, lying southerly of U.S. Highway 10 and 169.
 Parcel C: Lot 2, Block 3, Pearson Place, Anoka County, Minnesota.
 Parcel D: Lot 1, Block 3, Pearson Place, Anoka County, Minnesota.
 (abstract property)



SITE DATA		RESIDENTIAL DEVELOPMENT DATA	
TOTAL AREA	±110.29 AC.	TOTAL NUMBER OF LOTS	242
RESIDENTIAL DEVELOPMENT AREA	78.63	GROSS DENSITY	3.1 U/AC
PUBLIC PARK AREA	1.0	DETACHED TOWNHOMES	77
TREE PRESERVATION AREA	7.0	55' SINGLE FAMILY	115
COMMERCIAL DEVELOPMENT AREA	22.98	65' SINGLE FAMILY	50
AREA RETAINED BY LANDOWNER	8.68		



(Save Date: 07/16/20) F:\0609481 - 8500\9494 - pearson place 2nd\pad c3\survey\layouts\9494_layout 4.dwg

Changemarks Report

Project Name: Riverstone South (Project No. 19-152)

Workflow Started: 07/20/2020 11:00 AM

Report Generated: 07/30/2020 01:04 PM

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	1	28	False	Unresolved	Civil Engineer IV		Riverstone South Sketch Plan.pdf	LL	Stormwater Route	The project to the south showed stormwater overflow from their pond onto this site. The overflow route for this site must be called out on the preliminary plat.	07/29/2020 3:23 PM	Len Linton	
		29	False	Unresolved	Civil Engineer IV		Riverstone South Sketch Plan.pdf	LL	Cul-de-sac	This must be a full cul-de-sac, losing the lots on either side of the stub until the next phase develops. The proximity of this stub to the south line of the solar farm limits future development until the solar farm is closed and the land redeveloped.	07/29/2020 3:23 PM	Len Linton	
		30	False	Unresolved	Civil Engineer IV		Riverstone South Sketch Plan.pdf	LL	Trunk Sanitary Sewer	Trunk Sanitary Sewer will require dedication of adequate drainage and utility easements. Layout may need to be changed to provide the necessary easements. A forcemain from the lift station will also be required which will require additional easement width.	07/29/2020 3:23 PM	Len Linton	

Changemarks Report

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	1	31	False	Unresolved	Civil Engineer IV		Riverstone South Sketch Plan.pdf	LL	Street Widths	Street widths must be 32 feet or the lot widths must be increased. The 29 foot lots require restriction of parking to one side of the street. The combination of narrow lot width and driveway width limit the number of available parking spaces even more with parking on one side of the street.	07/29/2020 3:23 PM	Len Linton	
		32	False	Unresolved	Civil Engineer IV		Riverstone South Sketch Plan.pdf	LL	Bowers Drive Access	Coordinate Bowers Drive access with plans from previous development on Bowers Drive. Provide street access through this area.	07/29/2020 3:23 PM	Len Linton	
		27	False	Unresolved	Civil Engineer IV		Pearson South Riverdale Realignment.pdf	LL	Sight Distance at intersection	Consider increasing building setback from Riverdale to provide better site distance from left.	07/29/2020 2:46 PM	Len Linton	
		22	False	Unresolved	Civil Engineer II		Riverstone South Sketch Plan.pdf	JJF	Existing Ponding Combination	Please consider working with the adjacent property owners to possibly combine the ponding for this site with the existing pond put in with the Pearson Place development. This pond is adjacent to the proposed pond as shown.	07/29/2020 2:52 PM	Joe Feriancek	
		23	False	Unresolved	Civil Engineer II		Riverstone South Sketch Plan.pdf	JJF	Bowers Drive Connection	My understanding is this connection was going to be a road connection rather than a trail. A road connection would make the most sense in my opinion.	07/29/2020 2:52 PM	Joe Feriancek	

Changemarks Report

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	1	24	False	Unresolved	Civil Engineer II		Riverstone South Sketch Plan.pdf	JJF	Pearson Blvd/Stub location	The stub location does not appear to leave much buildable area on the north side of the road if the next parcel develops before the Solar Farm site develops.	07/29/2020 2:52 PM	Joe Feriancek	
		25	False	Unresolved	Civil Engineer II		Riverstone South Sketch Plan.pdf	JJF	Trunk Sewer Line	To give more comment to Tim's comment, it is not desirable for the City to have trunk utilities, or any sanitary or water utilities in green space due to access/maintenance concerns.	07/29/2020 2:52 PM	Joe Feriancek	
		26	False	Unresolved	Civil Engineer II		Riverstone South Sketch Plan.pdf	JJF	home types	Do you have a plan with proposed house types, or not that far along yet? Are the townhomes planned to be slab on grade, spacing wise they appear close together to have a walkout type design.	07/29/2020 2:52 PM	Joe Feriancek	
		20	False	Unresolved	Civil Engineer II		Pearson South Riverdale Realignment.pdf	JJF	Radius of curvature	MSA Rules for 35 MPH with crowned road, 454 minimum radius of curvature, if this becomes a 40 mph Rmin 667 feet. Don't know what the speed limit will be, but may want to give more space incase it becomes 40.	07/29/2020 2:23 PM	Joe Feriancek	
		21	False	Unresolved	Civil Engineer II		Pearson South Riverdale Realignment.pdf	JJF	CDS Radius	Perminant CDS need 50' radius.	07/29/2020 2:23 PM	Joe Feriancek	

Changemarks Report

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	1	12	False	Unresolved	City Planner		Riverstone South Sketch Plan.pdf	Chloe	Bowers Drive Lots	Measure width of Bowers Drive lots (average or one or two is fine)	07/22/2020 2:48 PM	Chloe McGuire Brigl	
		13	False	Unresolved	City Planner		Riverstone South Sketch Plan.pdf	Chloe	Lot Depth	Indicate lot depth of these parcels for context	07/22/2020 2:48 PM	Chloe McGuire Brigl	
		14	False	Unresolved	City Planner		Riverstone South Sketch Plan.pdf	Chloe	Lot Depth	Indicate lot depth of this parcel	07/22/2020 2:48 PM	Chloe McGuire Brigl	
		15	False	Unresolved	City Planner		Riverstone South Sketch Plan.pdf	Chloe	Tree Preservation	Flag these trees as goal of preservation based on utility plan	07/22/2020 2:48 PM	Chloe McGuire Brigl	
		16	False	Unresolved	City Planner		Riverstone South Sketch Plan.pdf	Chloe	Backyard size	Measure size of backyard so we know how close house pads will be to existing property lines	07/22/2020 2:48 PM	Chloe McGuire Brigl	
		17	False	Unresolved	City Planner		Riverstone South Sketch Plan.pdf	Chloe	Density	Please provide approximate net density across site and per house type	07/22/2020 2:48 PM	Chloe McGuire Brigl	
		11	False	Unresolved	City Planner		Pearson South Riverdale Realignment.pdf	Chloe	Ponding?	Will this leftover piece be used for ponding? If so we should get under DU easement or outlot so it's not read as a buildable parcel	07/22/2020 2:44 PM	Chloe McGuire Brigl	
		1	False	Unresolved	Community Development Director		Riverstone South Sketch Plan.pdf	Tim Gladhill	Label Future Use	Label this as location of future Sanitary Sewer Lift Station	07/21/2020 6:47 PM	Tim Gladhill	

Changemarks Report

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	1	2	False	Unresolved	Community Development Director		Riverstone South Sketch Plan.pdf	Tim Gladhill	Trunk Sanitary Sewer Line	Is there space for the Trunk Sanitary Line in these back yards? How do we access if there is a need for repair?	07/21/2020 6:47 PM	Tim Gladhill	
		3	False	Unresolved	Community Development Director		Riverstone South Sketch Plan.pdf	Tim Gladhill	Revised Connection to Bowers Drive	Update plan set to match new drawing from Pearson/Dobbs.	07/21/2020 6:47 PM	Tim Gladhill	
		4	False	Unresolved	Community Development Director		Riverstone South Sketch Plan.pdf	Tim Gladhill	Connect to Bowers Drive	Must show connection to Bowers Drive.	07/21/2020 6:47 PM	Tim Gladhill	
		5	False	Unresolved	Community Development Director		Riverstone South Sketch Plan.pdf	Tim Gladhill	Contingent Support	The City's support for acquiring this area is contingent upon securing a third-party funding source.	07/21/2020 6:47 PM	Tim Gladhill	
		6	False	Unresolved	Community Development Director		Riverstone South Sketch Plan.pdf	Tim Gladhill	Ghost Plat	Please provide a separate exhibit that shows a ghost plat for this area.	07/21/2020 6:47 PM	Tim Gladhill	
		7	False	Unresolved	Community Development Director		Riverstone South Sketch Plan.pdf	Tim Gladhill	Linnear Connection - Park to Tree Preservation	Please provide a natural corridor between these two areas.	07/21/2020 6:47 PM	Tim Gladhill	
		8	False	Unresolved	Community Development Director		Riverstone South Sketch Plan.pdf	Tim Gladhill	80 Foot Wide Lots	Previous discussion centered around 80 foot wide lots along the back of the Bowers Drive Neighborhood. Perhaps the City is open in exchange for additional open space preservation.	07/21/2020 6:47 PM	Tim Gladhill	
		9	False	Unresolved	Community Development Director		Riverstone South Sketch Plan.pdf	Tim Gladhill	Zoning Amendment Required	These lot sizes will require a Zoning Amendment and likely a Comprehensive Plan Amendment.	07/21/2020 6:47 PM	Tim Gladhill	

Changemarks Report

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	1	10	False	Unresolved	Community Development Director		Riverstone South Sketch Plan.pdf	Tim Gladhill	Net Density Calculations	Please provide Net Density for the following: Overall (take out tree preservation area) Area of 65 foot wide lots (R-1 Residential District) Area of 55 foot wide lots and 40 foot wide lots (R-2 Residential District)	07/21/2020 6:47 PM	Tim Gladhill	
		18	False	Unresolved	Engineering Tech		Riverstone South Sketch Plan.pdf	Logan Czech	Parking Spaces	Assuming ~2.5 residents/home this development will house ~600 people. Five parking spaces is not enough for the only park.	07/20/2020 2:42 PM	Logan Czech	
		19	False	Unresolved	Engineering Tech		Riverstone South Sketch Plan.pdf	Logan Czech	Park Size	Since it is the only shared space, one acre is fairly small considering the size of this development. Is there going to be a playground?	07/20/2020 2:42 PM	Logan Czech	

Regular Planning Commission

7. 2.

Meeting Date: 09/03/2020

By: Chloe McGuire Brigl, Community Development

Information

Title:

Review Revised Sketch Plan for Hunt Addition, Case of Platinum Land (Project 20-105)

Purpose/Background:

The purpose of this case is to review a sketch plan application from Platinum Land LLC (the "Applicant") for Hunt Addition, a residential subdivision of 80 foot-wide lots on the property generally west of Nowthen Blvd

Notification:

No notification is required for Sketch Plan, but City Staff attempted to notify property owners within 700 feet of the Subject Property, as reflected in the Anoka County Property Records, of the meeting. Staff also updated the webpage dedicated to this project.

Observations/Alternatives:

Summary

Site Acreage	38 Acres
Proposed Lots	76
Proposed Lot Sizes	80 foot wide lots (consistent with zoning)
Proposed Density	2 units/acre
Existing Zoning	R-1 Residential (MUSA) District (80 Foot Wide Lots)

The revised sketch plan (attached) appears to meet all of the requirements, generally, of the R-1 District. There are revisions that will need to be made to the plan, which could be incorporated into a Preliminary Plat submittal if the project moves forward. Notably, those items include:

- Noise study along Nowthen Blvd, or proposal of noise wall or buffer along Nowthen Blvd
- Analysis of each lot to ensure they meet City Standards for buildable area, width at front yard setback line, etc. including a sheet showing proposed house pads on each lots
- Incorporation of density transitioning
- 16.5 foot setback encumbered by drainage and utility easement over all wetlands
- Plan does not show space for stormwater ponds, which need to be encumbered by drainage and utility easement
- Plan for future connection to lot in SE corner of site to allow for future redevelopment, per landowner's request

Staff also made the following recommendations:

- Consider realignment of lots to align existing easement with road or back yard of only one row of lots
- Easement through site needs to be clearly marked on the ground when homeowners take ownership of the land as it drastically cuts down buildable space on the lots

Utilities

This area is guided for municipal water supply and sanitary sewer (wastewater) in the City's Comprehensive Plan. Zoning Code requires that **new** lots created in this District connect to the municipal system. Staff would like to note

for the record that just because utilities are in the area, individual property owners on well and septic will not be forced to connect to City utilities per the City's Charter.

Preliminary Plat/Next Steps

At time of Preliminary Plat, the City requires: Grading Plan, Landscape Plan, Tree Inventory and Preservation Plan, Utility Plan, and Preliminary Plat. At this time, the Applicant and Staff are looking for high level review of the project as opposed to going into detailed engineering plans which takes place with the Preliminary Plat.

Alternatives

Alternative 1: Recommend the Developer move forward with Preliminary Plat design consistent with Staff Comments and Neighbor Comments. Staff will work with the Developer to ensure that comments are incorporated, noted, and included in any resubmit. Staff supports this alternative.

Alternative 2: Table the request and recommend the Developer revise the Sketch Plan and come back to a future Planning Commission meeting with a revised plan. Staff can be supportive of this alternative if the Planning Commission wishes to see a revised plan prior to moving forward. Staff notes that the site is zoned for 80 foot wide lots, so other items can be handled administratively if the Planning Commission feels comfortable with Staff handling items such as ponding, wetlands, etc.

City Code Sections

- Section 117-111: R-1 Residential (Existing Zoning and Proposed Zoning)
- Section 117-588: Major Plat
- Section 117-614: Subdivision Design Standards

Funding Source:

The Applicant is responsible for all costs associated with review.

Recommendation:

Staff recommends directing the Applicant to develop a preliminary plat incorporating staff comments and working with the adjacent neighbor to allow the neighboring property to develop in the future, per the property owner's request.

Action:

Direct the Applicant to/not to develop a preliminary plat application incorporating staff and neighbor comments.

Attachments

Site Location

Sketch Plan

Staff Comments (ProjectDox)

Staff Comments (Expanded)

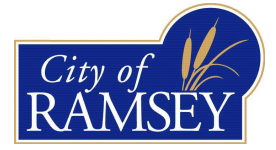
Neighbor Comment

Form Review

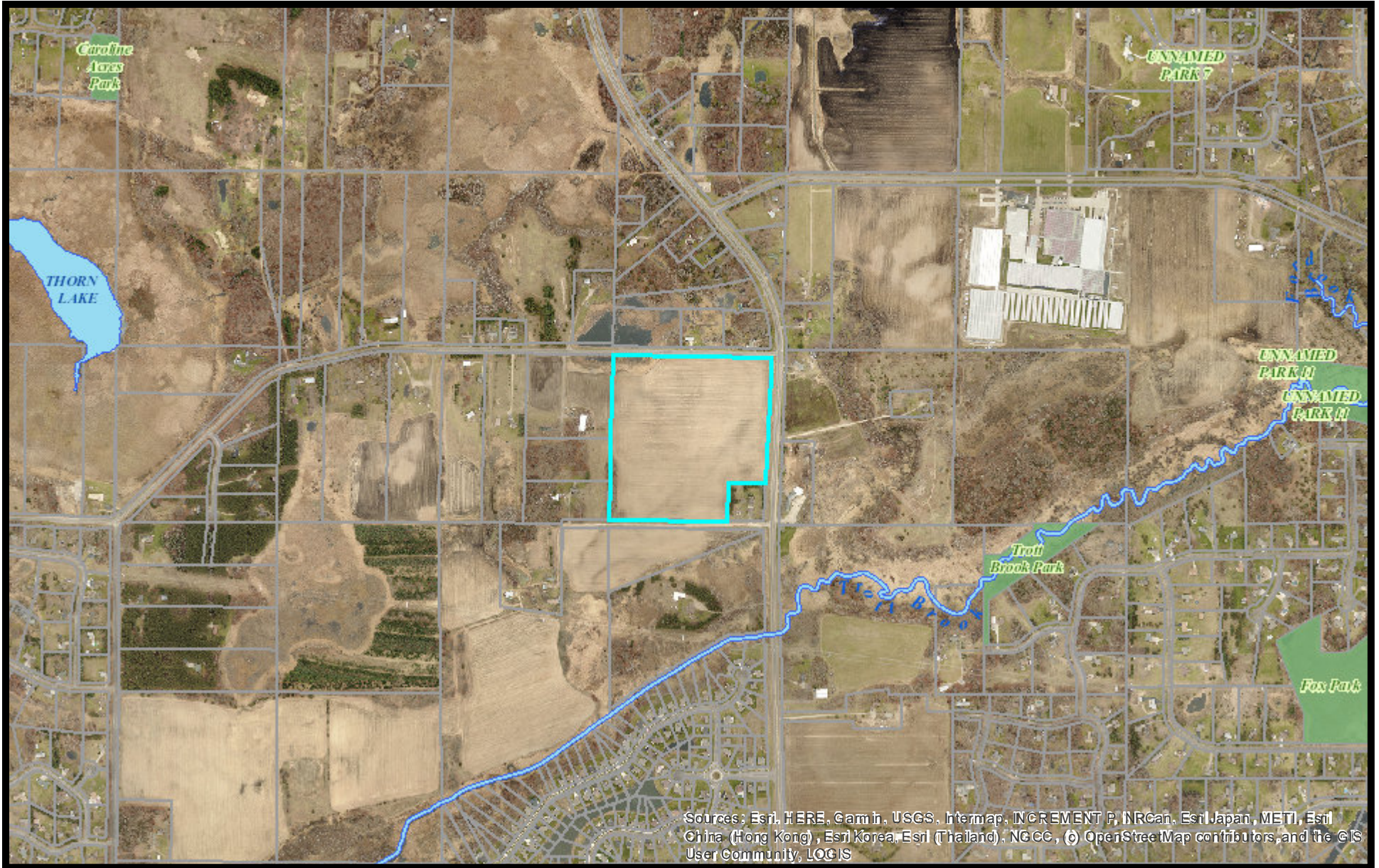
Inbox	Reviewed By	Date
Chris Anderson	Chris Anderson	08/27/2020 10:54 AM
Kurt Ulrich	Kurt Ulrich	08/27/2020 11:48 AM
Form Started By: Chloe McGuire Brigl		Started On: 08/21/2020 09:46 AM
Final Approval Date: 08/28/2020		

Subject Property

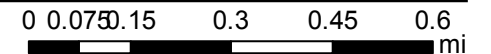
Hunt Property

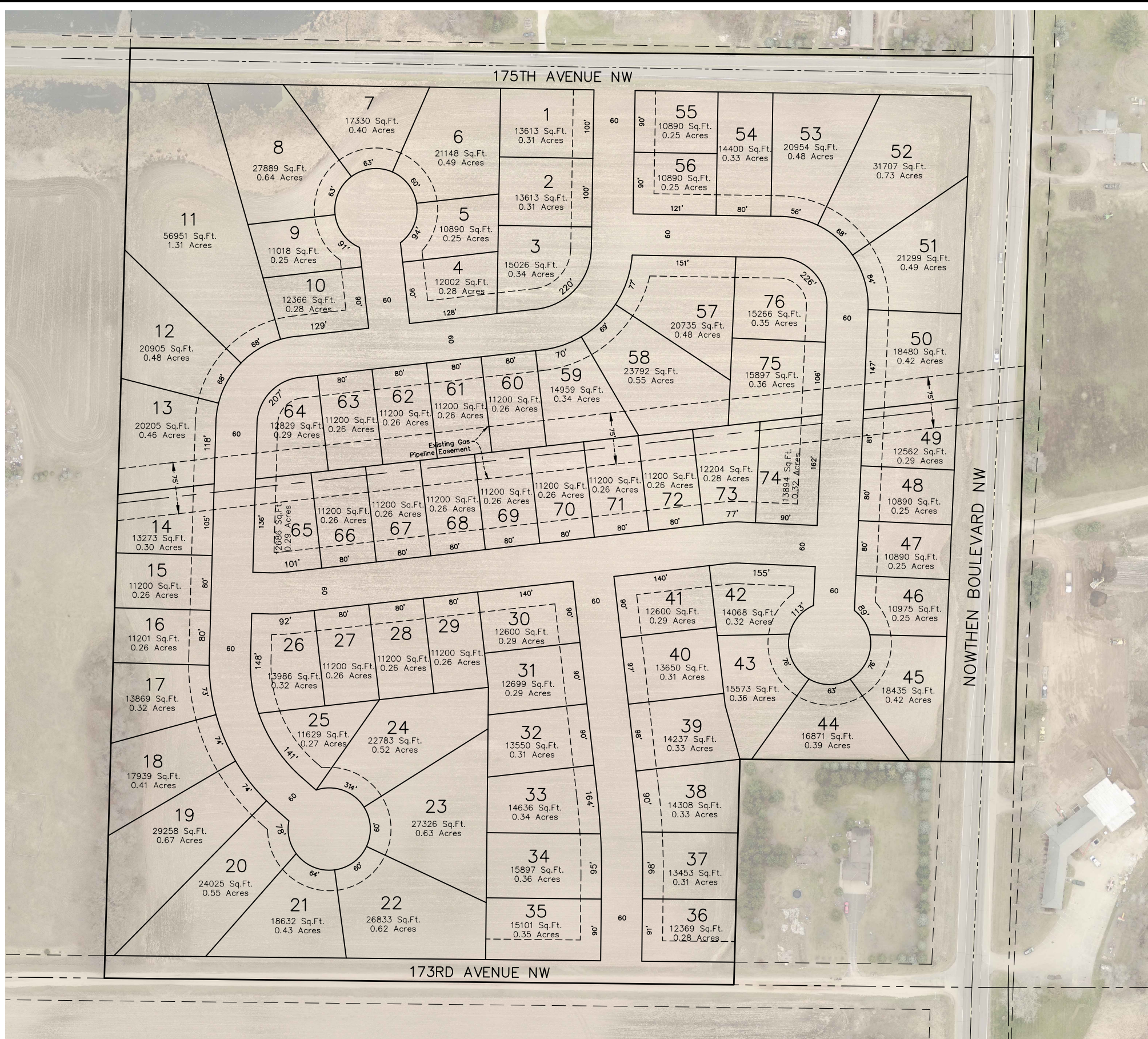


Hunt Property

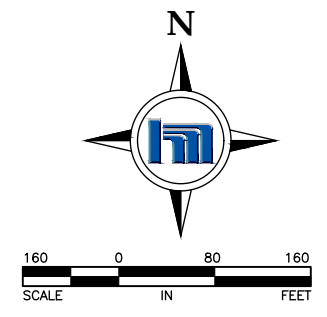


Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community, LOGIS





Municipality:	City of Ramsey	Building Setbacks:	Front yard: 30 feet Side yard: 6/10 feet Rear yard: 30 feet
Existing Zoning:	R-1 MUSA	Lot Summary:	76 Single Family Residential Lots (80' Minimum Lot Width measured at the front setback line)
Proposed Zoning:	R-1 MUSA	Owner:	Ronald & Judith Hunt 17455 Nowthen Blvd. NW Ramsey, MN 55303
Proposed Use:	Urban Residential	Subdivider:	Platinum Land LLC 15363 Radium St. NW Ramsey, MN 55303 Jason Bebeau (763) 301-4550
Road Mileage:	4,373 LF or 0.83 Miles	Designer/Surveyor:	Hakanson Anderson Assoc. 3601 Thurston Avenue Anoka, MN 55303 (763) 427-5860
Street Lighting:	as required		
Proposed Utilities:	Sewer: Municipal (Needs Extension) Water: Municipal (Needs Extension)		
Plot Area:	Total Area: 1,656,232 Sq.Ft. = 38.02 Acres Proposed ROW: 458,727 Sq.Ft. = 10.53 Acres Park Area: 0 Sq.Ft. = 0.00 Acres		
Density:	2 units/acre		



Aug 03, 2020 - 10:47am
 K:\end_surr\Land Desktop 2008\4455.02 Hunt Plot Ramsey\dwg\4455.02 Sketch MS WORKING.dwg

DATE	REVISION
07/24/20	revised layout per City comments

DESIGNED BY:	BP/BAW
DRAWN BY:	RM/SMM
CHECKED BY:	BP/SMM



Hakanson Anderson
 Civil Engineers and Land Surveyors
 3601 Thurston Ave., Anoka, Minnesota 55303
 763-427-5860 FAX 763-427-0520
 www.haa-inc.com

PLATINUM LAND, LLC

SKETCH PLAN
 CITY OF RAMSEY, MINNESOTA

SHEET	1
OF	1
SHEETS	1

Changemarks Report







Project Name: 20-105 Hunt Property Sketch Plan, Platinum Land

Workflow Started: 03/23/2020 8:41 AM




Report Generated: 08/24/2020 02:02 PM

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	1	12	False	Unresolved	Engineering Tech		Sketch Plan.pdf	Logan Czech	173rd Ave location	Coordinate location of 173rd Ave as well as site entrance with Trott Brook Property.	04/03/2020 12:54 PM	Logan Czech	
		13	False	Unresolved	Lead Engineering Tech		Sketch Plan.pdf	aaron	Changemark #01	This intersection needs attention if we plan on putting anymore traffic on it. It has very poor sightlines	04/02/2020 2:46 PM	Aaron Madsen	
		14	False	Unresolved	Lead Engineering Tech		Sketch Plan.pdf	aaron	Changemark #02	A road connection here would give better sight	04/02/2020 2:46 PM	Aaron Madsen	
		15	False	Unresolved	Lead Engineering Tech		Sketch Plan.pdf	aaron	good location for future conection		04/02/2020 2:46 PM	Aaron Madsen	
		11	False	Unresolved	Environmental Review		Sketch Plan.pdf	CA	General Floodplain District	Plan sheet needs to show the floodplain boundary.	03/30/2020 9:20 AM	Chris Anderson	
		4	False	Unresolved	City Planner		Sketch Plan.pdf	Chloe McGuire	Easement	Consider aligning road with easement. Provide easement ownership information and limitations with pre plat.	03/30/2020 8:37 AM	Chloe McGuire Brigl	
		5	False	Unresolved	City Planner		Sketch Plan.pdf	Chloe McGuire	Remove	Remove this cul-de-sac and connect through to road	03/30/2020 8:37 AM	Chloe McGuire Brigl	

Changemarks Report

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	1	6	False	Unresolved	City Planner		Sketch Plan.pdf	Chloe McGuire	Lot Size	Provide building pads to show adequate building area, these lots look too small	03/30/2020 8:37 AM	Chloe McGuire Brigl	
		7	False	Unresolved	City Planner		Sketch Plan.pdf	Chloe McGuire	Density Transitioning	Density transitioning will be required when abutting existing rural development	03/30/2020 8:37 AM	Chloe McGuire Brigl	
		8	False	Unresolved	City Planner		Sketch Plan.pdf	Chloe McGuire	Trees	Staff would like to see these trees saved. Full tree survey required with pre plat.	03/30/2020 8:37 AM	Chloe McGuire Brigl	
		9	False	Unresolved	City Planner		Sketch Plan.pdf	Chloe McGuire	3 Frontages	This lot has 3 frontages which is not preferred	03/30/2020 8:37 AM	Chloe McGuire Brigl	
		10	False	Unresolved	City Planner		Sketch Plan.pdf	Chloe McGuire	Density transitioning	Density transitioning will be required against this property	03/30/2020 8:37 AM	Chloe McGuire Brigl	
		1	False	Unresolved	Civil Engineer II		Sketch Plan.pdf	JJF	Connections to 173rd/175th	Ideal to centralize the connections within the plat. Need to make adjustments by connecting internal streets to avoid creating long cul-de-sacs. City Code doesn't allow for cds longer than 600'.	03/30/2020 7:46 AM	Joe Feriancek	

Changemarks Report

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	1	2	False	Unresolved	Civil Engineer II		Sketch Plan.pdf	JJF	Buildable Area	Some lots do not appear to have much buildable area. 78. Lots 76-95 are severely restricted to future improvements such as sheds, fences within the pipe line easement. Considerations to adjusting lots to improvement buildable area.	03/30/2020 7:46 AM	Joe Feriancek	
		3	False	Unresolved	Civil Engineer II		Sketch Plan.pdf	JJF	Pipe Line Easement	I'm assuming this is Northern Natural Gas? Please confirm they have been contacted, this easement likely contains 2 high pressure pipe lines. The grading plan will need to incorporate working with the existing ground over this pipes, or possibly making adjustments to the pipe, its a good idea to know early what is possible.	03/30/2020 7:46 AM	Joe Feriancek	
	2	30	False	Unresolved	Civil Engineer IV		Sketch Plan.pdf	LL	Stormwater Management	Sketch must be redrawn to provide storm water ponding. Ponds must include access routes in the drainage and utility easement for maintenance equipment. The slopes must be driveable.	08/13/2020 3:42 PM	Len Linton	

Changemarks Report

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	2	31	False	Unresolved	Civil Engineer IV		Sketch Plan.pdf	LL	Gas Line Easement	<p>Lots 57-76 require revision to provide drainage and utility easements for storm water management outside of the Gas pipeline easement.</p> <p>Grades cannot be changed in the gas line easement.</p> <p>Verify with the gas company what the restrictions on uses in their easement are. Typically sheds and fences are not permitted.</p> <p>Verify sewer water and storm sewer crossings will be permitted.</p>	08/13/2020 3:42 PM	Len Linton	
		28	False	Unresolved	Civil Engineer II		Sketch Plan.pdf	JJF	D&U Easements	Need easements over existing wetlands, plus 16.5' wetland buffer.	08/12/2020 3:52 PM	Joe Feriancek	
		29	False	Unresolved	Civil Engineer II		Sketch Plan.pdf	JJF	Ponding Area?	Need to have ponding on-site to meet the requirements of the Lower Rum River WMO.	08/12/2020 3:52 PM	Joe Feriancek	
		32	False	Unresolved	City Planner		Sketch Plan.pdf	CHloe	Lot Size/Buildable Area	Combine these two lots so each has adequate building location with required setbacks	08/12/2020 1:21 PM	Chloe McGuire Brigl	
		33	False	Unresolved	City Planner		Sketch Plan.pdf	CHloe	Lot Size	I'd like to see 80 feet of width without any encumbrance from the easement on this lot.	08/12/2020 1:21 PM	Chloe McGuire Brigl	

Changemarks Report

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	2	34	False	Unresolved	City Planner		Sketch Plan.pdf	CHloe	Lot Size	Lot is encumbered by easement, please give us 80 feet of width without encumbrance of easement	08/12/2020 1:21 PM	Chloe McGuire Brigl	
		35	False	Unresolved	City Planner		Sketch Plan.pdf	CHloe	Buildable Area	Rear yard setback for a house is 30 feet, show us how that works on this lot	08/12/2020 1:21 PM	Chloe McGuire Brigl	
		36	False	Unresolved	City Planner		Sketch Plan.pdf	CHloe	Buffer?	Density Transitioning	08/12/2020 1:21 PM	Chloe McGuire Brigl	
		37	False	Unresolved	City Planner		Sketch Plan.pdf	CHloe	Buffer		08/12/2020 1:21 PM	Chloe McGuire Brigl	
		38	False	Unresolved	City Planner		Sketch Plan.pdf	CHloe	Realignment	Is there a way to redraw this project that the easement is only in the backyard of one row of lots as opposed to the backyard of two lots?	08/12/2020 1:21 PM	Chloe McGuire Brigl	
		25	False	Unresolved	Engineering Tech		Sketch Plan.pdf	Logan Czech	Gas Line Easement	In addition to fences, sheds, etc., easement should be marked because it will limit constructable space for houses in lots 14 and 49.	08/12/2020 9:30 AM	Logan Czech	
		26	False	Unresolved	Engineering Tech		Sketch Plan.pdf	Logan Czech	Street Frontage	Correct street frontage value for lot 24	08/12/2020 9:30 AM	Logan Czech	
		27	False	Unresolved	Engineering Tech		Sketch Plan.pdf	Logan Czech	Street Frontage 2	Correct street frontage value for lot 33	08/12/2020 9:30 AM	Logan Czech	


Changemarks Report

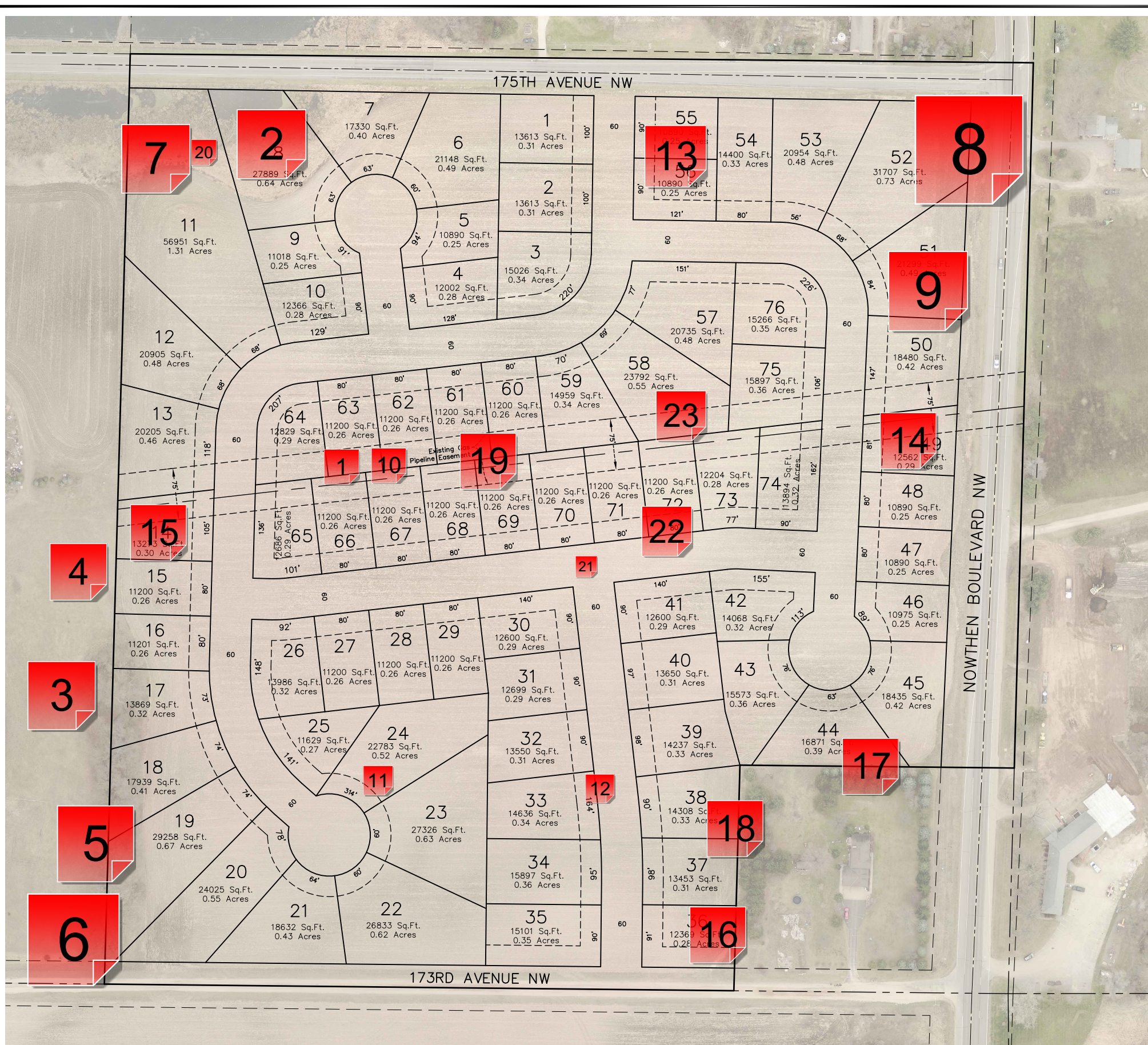
Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	2	16	False	Unresolved	Environmental Review		Sketch Plan.pdf	CA	Gas Line Easement	This easement boundary should be marked in field so that future property owners can clearly see where the boundary is as it will potentially restrict or impact future proposed improvements (fences, sheds, etc.).	08/06/2020 7:27 PM	Chris Anderson	
		17	False	Unresolved	Environmental Review		Sketch Plan.pdf	CA	Lot Depth	Does this lot have 100 feet of depth, excluding wetland, wetland setback area, etc?	08/06/2020 7:27 PM	Chris Anderson	
		18	False	Unresolved	Environmental Review		Sketch Plan.pdf	CA	Density Transitioning	Transitioning will be required along the western boundary, as well as the SE corner (lots 36-39 and 43-45).	08/06/2020 7:27 PM	Chris Anderson	
		19	False	Unresolved	Environmental Review		Sketch Plan.pdf	CA	Depth	Is there sufficient depth to account for transitioning if landscaping were to be used? Requires at least a 35 foot wide corridor with a berm (or 45 foot corridor with no berm) and 4 overstory, 4 understory, and 4 evergreen trees per 100 feet of common lot line (or 8 each if no berm). These are to remain in place and cannot be removed by future property owner(s).	08/06/2020 7:27 PM	Chris Anderson	

Changemarks Report

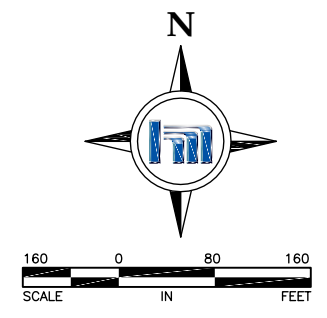
Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	2	20	False	Unresolved	Environmental Review		Sketch Plan.pdf	CA	Tree Inventory	A Tree Inventory is required, completed by an ISA Certified Arborist. Must include all oaks and evergreens 4" or greater DBH and all other deciduous trees with a DBH of 8 inches or greater. Inventory must include species, diameter, general condition, status (save or remove), and if remove, reason (e.g. mass grading, stormwater pond, etc).	08/06/2020 7:27 PM	Chris Anderson	
		21	False	Unresolved	Environmental Review		Sketch Plan.pdf	CA	General Landscaping	Project will require at least two (2) front yard trees per lot (plus density transitioning plantings if landscaping is proposed to satisfy that requirement). Trees shall be placed in boulevard or, if no sidewalk, about ten (10) feet back from curb.	08/06/2020 7:27 PM	Chris Anderson	
		22	False	Unresolved	Environmental Review		Sketch Plan.pdf	CA	Wetland Setback	A 16.5 foot wetland setback is required and shall be encumbered by drainage and utility easement. Silt fence is to be placed at the boundary of the easement and vegetation within setback area shall not be disturbed.	08/06/2020 7:27 PM	Chris Anderson	
		23	False	Unresolved	Environmental Review		Sketch Plan.pdf	CA	Rear Yard Plantings	Staff would encourage additional plantings in the rear yards of lots along Nowthen Blvd to buffer against noise and traffic.	08/06/2020 7:27 PM	Chris Anderson	

Changemarks Report

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	2	24	False	Unresolved	Environmental Review		Sketch Plan.pdf	CA	Noise Study	A noise study should be completed due to proximity to Nowthen Blvd.	08/06/2020 7:27 PM	Chris Anderson	



Municipality:	City of Ramsey	Building Setbacks:	Front yard: 30 feet Side yard: 6/10 feet Rear yard: 30 feet
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Road Mileage:	4.373 LF or 0.83 Miles	Designer/Surveyor:	Hakanson Anderson Assoc. 3601 Thurston Avenue Anoka, MN 55303 (763) 427-5860
Street Lighting:	as required		
Proposed Utilities:	Sewer: Municipal (Needs Extension) Water: Municipal (Needs Extension)		
Plot Area:	Total Area: 1,656,232 Sq.Ft. = 38.02 Acres Proposed ROW: 458,727 Sq.Ft. = 10.53 Acres Park Area: 0 Sq.Ft. = 0.00 Acres		
Density:	2 units/acre		



Aug 03, 2020 - 10:47am
K:\end_sun\Land Desktop 2008\4455.02 Hunt Plot Ramsey\wg\4455.02 Sketch MS WORKING.dwg

DATE	REVISION
07/24/20	revised layout per City comments

DESIGNED BY:
BP/BAW
DRAWN BY:
RM/SMM
CHECKED BY:
BP/SMM



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Civil Engineers and Land Surveyors
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PLATINUM LAND, LLC

SKETCH PLAN
CITY OF RAMSEY, MINNESOTA

SHEET	1
OF	1
SHEETS	1

1 - Gas Line Easement

Created by: Chris Anderson
On: 08/06/2020 07:02 PM

This easement boundary should be marked in field so that future property owners can clearly see where the boundary is as it will potentially restrict or impact future proposed improvements (fences, sheds, etc.).

----- 0 Replies -----

2 - Lot Depth

Created by: Chris Anderson
On: 08/06/2020 07:12 PM

Does this lot have 100 feet of depth, excluding wetland, wetland setback area, etc?

----- 0 Replies -----

3 - Density Transitioning

Created by: Chris Anderson
On: 08/06/2020 07:15 PM

Transitioning will be required along the western boundary, as well as the SE corner (lots 36-39 and 43-45).

----- 0 Replies -----

4 - Depth

Created by: Chris Anderson
On: 08/06/2020 07:19 PM

Is there sufficient depth to account for transitioning if landscaping were to be used? Requires at least a 35 foot wide corridor with a berm (or 45 foot corridor with no berm) and 4 overstory, 4 understory, and 4 evergreen trees per 100 feet of common lot line (or 8 each if no berm). These are to remain in place and cannot be removed by future property owner(s).

----- 0 Replies -----

5 - Tree Inventory

Created by: Chris Anderson
On: 08/06/2020 07:22 PM

A Tree Inventory is required, completed by an ISA Certified Arborist. Must include all oaks and evergreens 4" or greater DBH and all other deciduous trees with a DBH of 8 inches or greater. Inventory must include species, diameter, general condition, status (save or remove), and if remove, reason (e.g. mass grading, stormwater pond, etc).

----- 0 Replies -----

6 - General Landscaping

Created by: Chris Anderson
On: 08/06/2020 07:24 PM

Project will require at least two (2) front yard trees per lot (plus density transitioning plantings if landscaping is proposed to satisfy that requirement). Trees shall be placed in boulevard or, if no sidewalk, about ten (10) feet back from curb.

----- 0 Replies -----

7 - Wetland Setback

Created by: Chris Anderson
On: 08/06/2020 07:25 PM

A 16.5 foot wetland setback is required and shall be encumbered by drainage and utility easement. Silt fence is to be placed at the boundary of the easement and vegetation within setback area shall not be disturbed.

----- 0 Replies -----

8 - Rear Yard Plantings

Created by: Chris Anderson
On: 08/06/2020 07:27 PM

Staff would encourage additional plantings in the rear yards of lots along Nowthen Blvd to buffer against noise and traffic.

----- 0 Replies -----

9 - Noise Study

Created by: Chris Anderson
On: 08/06/2020 07:28 PM

A noise study should be completed due to proximity to Nowthen Blvd.

----- 0 Replies -----

10 - Gas Line Easement

Created by: Logan Czech
On: 08/12/2020 09:23 AM

In addition to fences, sheds, etc., easement should be marked because it will limit constructable space for houses in lots 14 and 49.

----- 0 Replies -----

11 - Street Frontage

Created by: Logan Czech

On: 08/12/2020 09:25 AM

Correct street frontage value for lot 24

----- 0 Replies -----

12 - Street Frontage 2

Created by: Logan Czech

On: 08/12/2020 09:30 AM

Correct street frontage value for lot 33

----- 0 Replies -----

13 - Lot Size/Buildable Area

Created by: Chloe McGuire Brigl

On: 08/12/2020 01:15 PM

Combine these two lots so each has adequate building location with required setbacks

----- 0 Replies -----

14 - Lot Size

Created by: Chloe McGuire Brigl

On: 08/12/2020 01:16 PM

I'd like to see 80 feet of width without any encumbrance from the easement on this lot.

----- 0 Replies -----

15 - Lot Size

Created by: Chloe McGuire Brigl

On: 08/12/2020 01:16 PM

Lot is encumbered by easement, please give us 80 feet of width without encumbrance of easement

----- 0 Replies -----

16 - Buildable Area

Created by: Chloe McGuire Brigl

On: 08/12/2020 01:17 PM

Rear yard setback for a house is 30 feet, show us how that works on this lot

----- 0 Replies -----

17 - Buffer?

Created by: Chloe McGuire Brigl
On: 08/12/2020 01:21 PM

Density Transitioning

----- 0 Replies -----

18 - Buffer

Created by: Chloe McGuire Brigl
On: 08/12/2020 01:22 PM

----- 0 Replies -----

19 - Realignment

Created by: Chloe McGuire Brigl
On: 08/12/2020 01:22 PM

Is there a way to redraw this project that the easement is only in the backyard of one row of lots as opposed to the backyard of two lots?

----- 0 Replies -----

20 - D&U Easements

Created by: Joe Feriancek
On: 08/12/2020 03:52 PM

Need easements over existing wetlands, plus 16.5' wetland buffer.

----- 0 Replies -----

21 - Ponding Area?

Created by: Joe Feriancek
On: 08/12/2020 03:52 PM

Need to have ponding on-site to meet the requirements of the Lower Rum River WMO.

----- 0 Replies -----

22 - Stormwater Management

Created by: Len Linton
On: 08/13/2020 03:33 PM

Sketch must be redrawn to provide storm water ponding.

Ponds must include access routes in the drainage and utility easement for maintenance equipment. The slopes must be driveable.

----- 0 Replies -----

23 - Gas Line Easement

Created by: Len Linton
On: 08/13/2020 03:37 PM

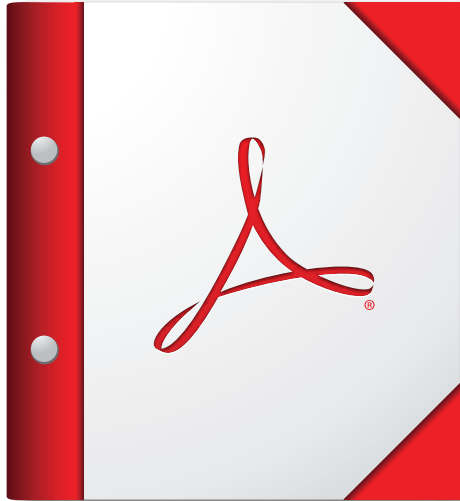
Lots 57-76 require revision to provide drainage and utility easements for storm water management outside of the Gas pipeline easement.

Grades cannot be changed in the gas line easement.

Verify with the gas company what the restrictions on uses in their easement are. Typically sheds and fences are not permitted.

Verify sewer water and storm sewer crossings will be permitted.

----- 0 Replies -----



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