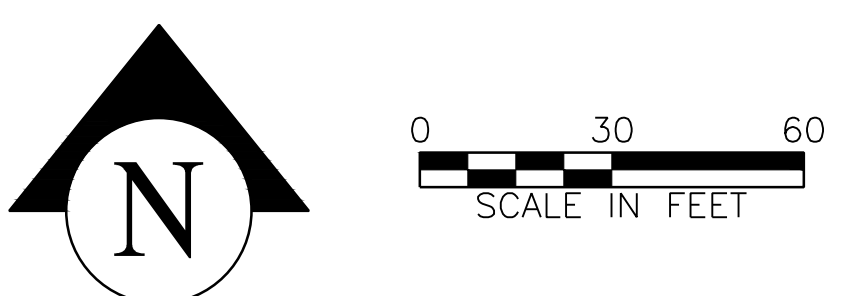


SITE LEGEND

- PROPERTY LINE
- EASEMENT
- SETBACK LINE (PER CODE)
- EXISTING CONDITIONS
- LIGHT-DUTY BITUMINOUS PAVEMENT
- HEAVY-DUTY BITUMINOUS PAVEMENT
- 6" CONCRETE WALK
- 8" CONCRETE DRIVEWAY PAVEMENT
- CURB AND GUTTER
- CHAIN LINK FENCE (SEE ARCH. PLANS)
- PARKING LOT POLE LIGHT (SEE ELEC. PLANS)
- PARKING SPACES PER ROW
- LIMITS OF DISTURBANCE



SITE NOTES

1. SEE EXISTING CONDITIONS AND REMOVAL PLAN, ALONG WITH ANY RELATED SURVEYS FOR DETAILS ON PROPERTY BACKGROUND INFORMATION.
2. REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION ON BUILDINGS, MONUMENT SIGNS, TRASH ENCLOSURES, AND OTHER RELATED ITEMS. VERIFY WITH ARCHITECTURAL PLANS THE EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMP, TRUCK DOCKS/SERVICE, AND OTHER RELATED BUILDING ITEMS.
3. SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING LOCATIONS, DETAILS AND PHOTOMETRICS.
4. ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF CONCRETE, OR EXTERIOR FACE OF BUILDING, UNLESS NOTED OTHERWISE.
5. ALL CURB RADII SHALL BE 5.0 FEET (TO FACE OF CURB), UNLESS OTHERWISE NOTED.
6. ALL CURB AND GUTTER SHALL BE CONCRETE B612 UNLESS OTHERWISE NOTED.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS, AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS, OR AS APPROVED.
8. BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER, OR AS NOTED. PAVEMENT AND OTHER IMPROVEMENTS TO ADHERE TO ALL AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS FOR ACCESSIBILITY, INCLUDING SLOPE. CONTACT ENGINEER IMMEDIATELY INVOLVING ANY DISCREPANCIES.
9. CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
10. CONTRACTOR SHALL PROVIDE ALL CONSTRUCTION STAKING.
11. CONTRACTOR SHALL PROVIDE ALL SITE GOVERNMENTAL PERMITS AND FEES.

SIGNAGE AND STRIPING NOTES

1. ALL TRAFFIC SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE STANDARDS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD), OR AS NOTED OTHERWISE.
2. PARKING LOT STRIPING SHALL BE 4" WIDE COLOR WHITE, TWO COATS OF PAINT. CONTRACTOR SHALL PAINT ANY/ALL DIRECTIONAL TRAFFIC ARROWS AS SHOWN IN WHITE (TWO COATS).
3. ACCESSIBLE PARKING SIGNS AND MARKINGS PER LATEST ADA CODE AND REQUIREMENTS. CONTRACTOR SHALL PAINT THE INTERNATIONAL SYMBOL OF ACCESSIBILITY IN EACH DESIGNATED ACCESSIBLE STALL IN BLUE BACKGROUND WITH WHITE BORDER (TWO COATS OF PAINT). CONTRACTOR SHALL PAINT THE WORDS "NO PARKING" IN EACH ACCESSIBLE ISLE ADJACENT TO AN ACCESSIBLE SPACE IN WHITE LETTERS MINIMUM 12" IN HEIGHT. SIGNS TO BE LOCATED AT THE HEAD OF THE PARKING SPACE. SEE ACCESSIBLE PARKING DETAILS.
4. ALL SIGNS SHALL INCLUDE MOUNTING HARDWARE, POST, CONCRETE FOOTING AND CASING WHERE REQUIRED. CONCRETE CASING REQUIRED IN LOCATIONS WHERE POST IS NOT PROTECTED BY CURB.
5. IF NOTED, ALL STOP SIGNS SHALL INCLUDE A 12" WIDE PAINTED STOP BAR IN WHITE PAINT (TWO COATS) PLACED AT THE STOP SIGN LOCATION, A MINIMUM OF 4' FROM CROSSWALK. ALL STOP BARS SHALL EXTEND FROM DIRECTIONAL TRANSITION BETWEEN LANES TO THE CURB.
6. ALL SIGNS SHALL BE PLACED 18" BEHIND THE BACK OF CURB, UNLESS OTHERWISE NOTED.

Ⓐ SITE KEY NOTES

- A. MATCH INTO EXISTING BITUMINOUS AND CURB & GUTTER
- B. CONCRETE CURB AND GUTTER - TAPER (5 FT LENGTH)
- C. CONCRETE CURB AND GUTTER - TAPER (5% MAX SLOPE)
- D. CONCRETE CURB AND GUTTER - FLUSH (0" HEIGHT; SEE GRADING PLAN)
- E. CROSSWALK PAVEMENT MARKINGS (FIVE 2' X 7' BARS WITH 2' SPACING)
- F. CONCRETE BOLLARD (SEE DETAIL)
- G. TRAFFIC SIGNAGE - INSTALL ACCESSIBLE PARKING SIGN (R7-8m) AND VAN ACCESSIBLE SIGN (R7-8b) PER MINNESOTA BUILDING CODE
- H. PAVEMENT MARKING - INTERNATIONAL SYMBOL OF ACCESSIBILITY
- J. PAVEMENT MARKING - "NO PARKING" AND ADA ACCESS AISLE CROSS HATCH STRIPING
- K. PAVEMENT MARKING - 4" WHITE STRIPING (PAINT)

PROPOSED BUILDING AREA CALCULATIONS

BUILDING FOOTPRINT: 19,000 SQ. FT.
 NET SQUARE FOOTAGE B OCCUPANCY: 2,234 SQ. FT.
 NET SQUARE FOOTAGE F-2 OCCUPANCY: 13,429 SQ. FT.
 NET SQUARE FOOTAGE H-3 OCCUPANCY: 642 SQ. FT.
 TOTAL PROPOSED BUILDING SQUARE FOOTAGE: 16,305 SQ. FT.
 (DOES NOT INCLUDE FLOOR AREA OF TANKS)

AREA CALCULATIONS

PROPERTY AREA: 19.88 ACRES OVERALL - 183,527 SQ. FT., 4.21 ACRES WTP SITE
 BUILDING COVERAGE: 19,000 SQ. FT., 10.4%
 IMPERVIOUS AND BUILDING AREA: 71,642 SQ. FT., 39.0%
 GREEN SPACE AREA: 111,885 SQ. FT., 61.0%

OWNER

CITY OF RAMSEY - 7550 SUNWOOD DRIVE, RAMSEY, MN 55303

ENGINEER

SRF CONSULTING GROUP, INC. - 3701 W WAYZATA BLVD., SUITE 100, MINNEAPOLIS, MN 55416

LEGAL DESCRIPTION

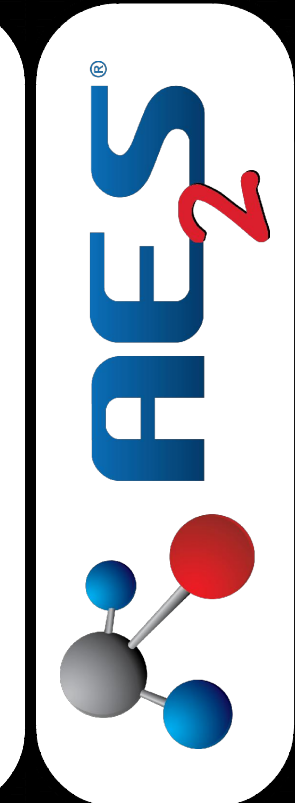
LOT 1 OF BLOCK 1 OF BURY & CARLSON ADDITION IN THE CITY OF RAMSEY, ANOKA COUNTY, MINNESOTA - 19.88 ACRES

PROPERTY ADDRESS

14199 JASPER STREET NW, RAMSEY, MN 55303

ZONING

E2 - EMPLOYMENT DISTRICT



HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: MICHAEL C. AARON
 PRINT NAME: MICHAEL C. AARON
 DATE: 6/20/2022 LIC. NO.: 25721

SYM	DATE	DESCRIPTION	APPR

RAMSEY WATER TREATMENT PLANT
 CITY OF RAMSEY
 RAMSEY, MINNESOTA
 SITE PLAN

DRAWING TYPE	PRELIMINARY
PREPARED BY	BPR
CHECKED/APPROVED	MCA/MCA
DATE	JUNE 2022
PROJECT NUMBER	05434-2020-002

DRAWING
C200