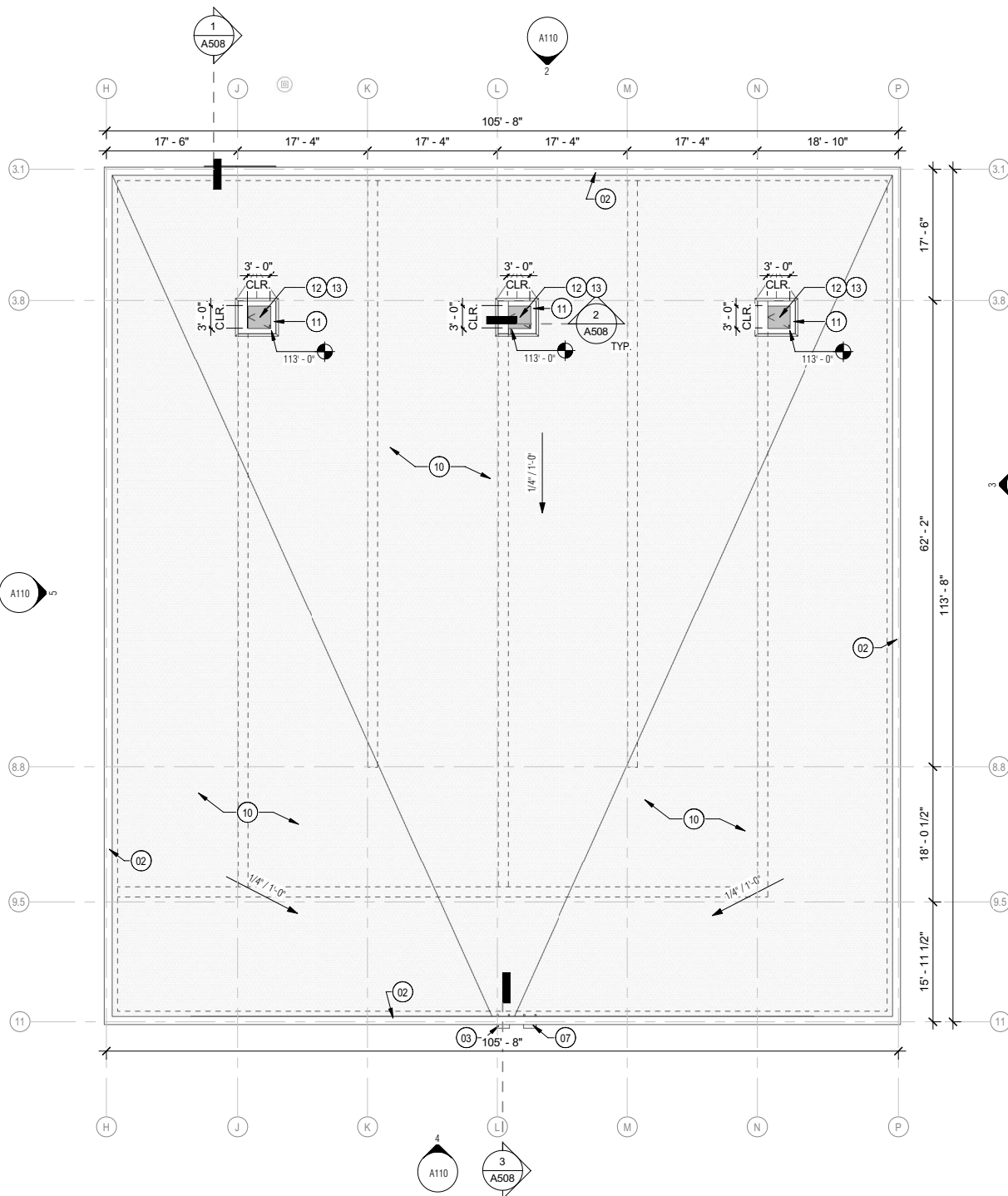
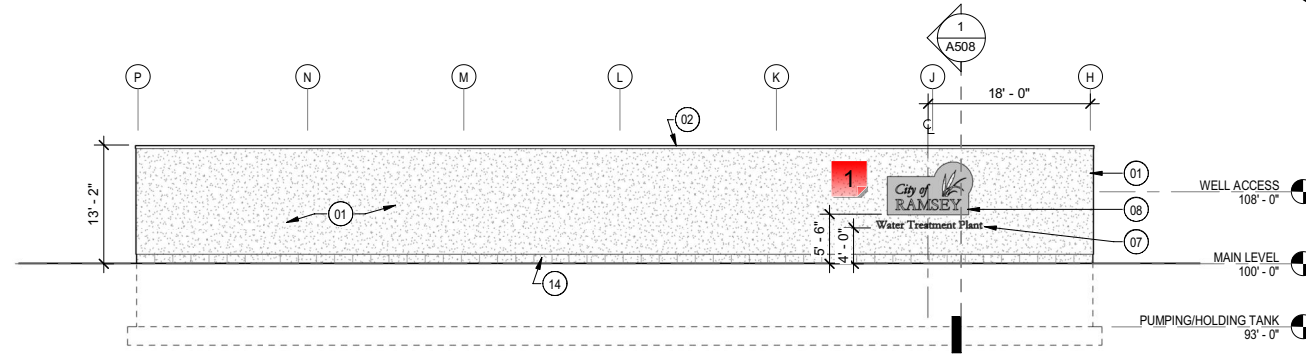


RESERVOIR KEYNOTES:

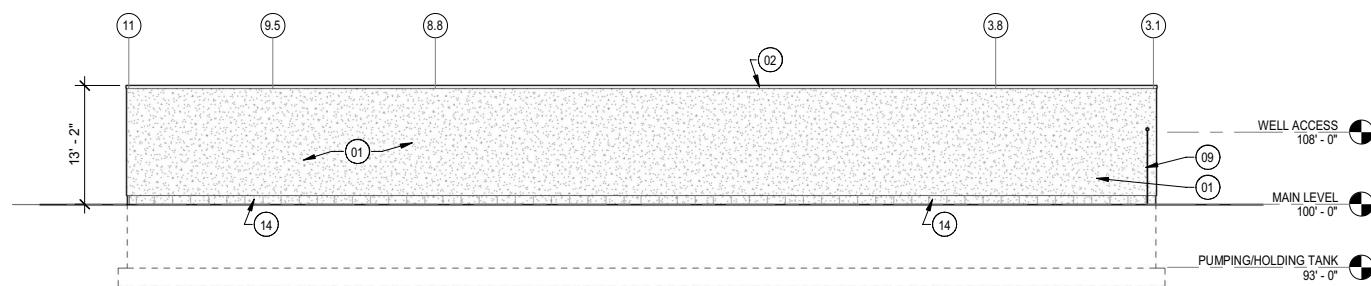
- 01 DRAINABLE EIFS WALL SYSTEM OVER 3" OF RIGID INSULATION, PAINT
 - 02 PRE-FINISHED MTL. PARAPET CAP
 - 03 20" x 6" PRE-FINISHED MTL. THRU-WALL SCUPPER
 - 04 20" x 6" PRE-FINISHED MTL. THRU-WALL OVERFLOW SCUPPER - BOTTOM OF SCUPPER 2" ABOVE MAIN ROOF SCUPPER
 - 05 SITE BERMING - SEE CIVIL
 - 06 LANDSCAPING - SEE CIVIL/SITE PLAN
 - 07 12" TALL WALL MOUNTED ANODIZED ALUM. BUILDING LETTERS
 - 08 WALL MOUNTED ANODIZED ALUM. CITY LOGO SIGNAGE
 - 09 SITE FENCING - SEE SITE PLAN FOR TYPE AND EXTENTS
 - 10 BALLASTED EPDM ROOFING MEMBRANE OVER TAPERED INSULATION AND MIN. 5.2" POLYISO ROOF INSULATION
 - 11 C.I.P. CONCRETE RESERVOIR ACCESS CURB
 - 12 WATERTIGHT FLUSH ALUM. RESERVOIR ACCESS HATCH WITH INTEGRAL DRAINAGE CHANNEL
 - 13 WALL MOUNTED FRP TANK LADDER WITH FALL ARRESTOR - SEE DETAIL 2/A508 FOR MORE INFORMATION
 - 14 CONCRETE FACED INSULATED WALL PANEL, PAINT - CONTINUE BELOW GRADE
- INDICATES INTERIOR RESERVOIR WALLS BELOW



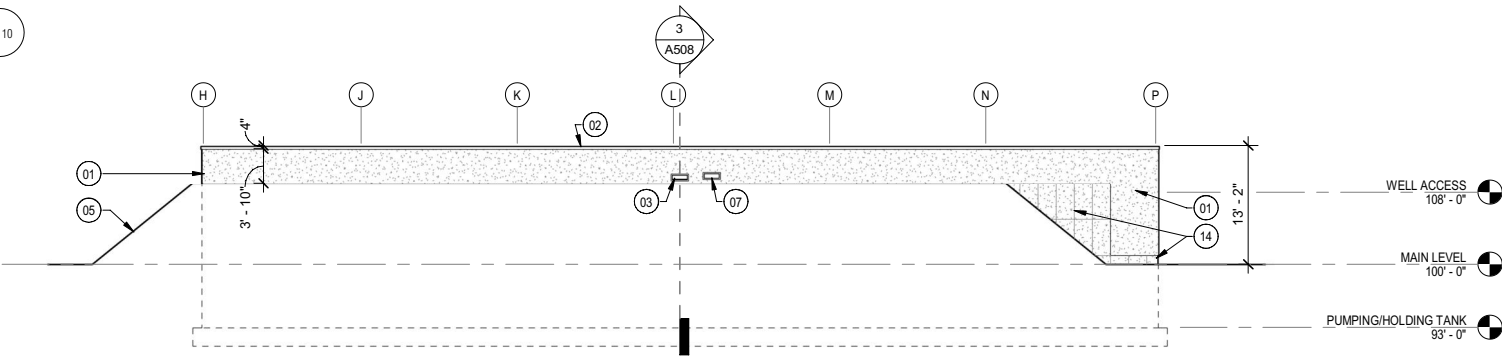
1 RESERVOIR ROOF PLAN
 0 4' 8' 12' 16' 20'



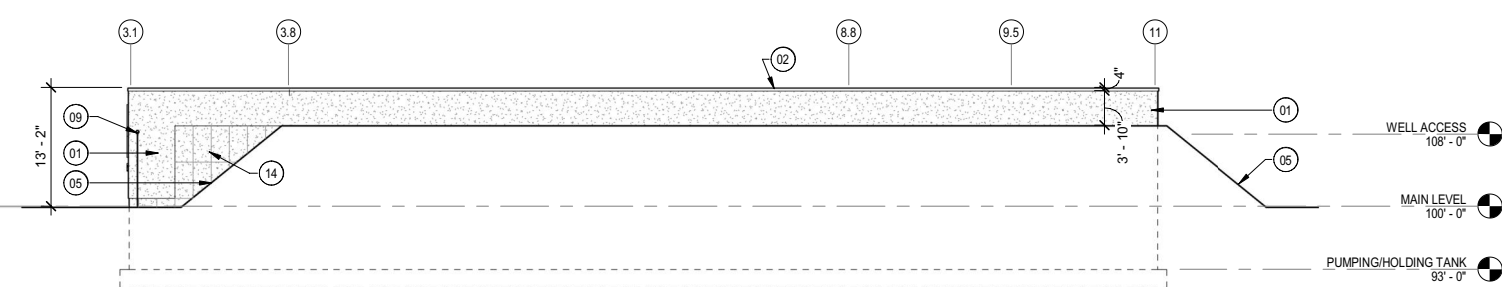
2 RESERVOIR NORTH ELEVATION
 0 4' 8' 12' 16' 20'



3 RESERVOIR EAST ELEVATION
 0 4' 8' 12' 16' 20'



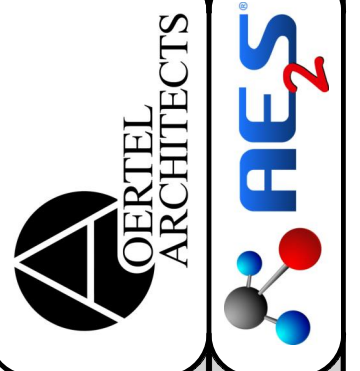
4 RESERVOIR SOUTH ELEVATION
 0 4' 8' 12' 16' 20'



5 RESERVOIR WEST ELEVATION
 0 4' 8' 12' 16' 20'

HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: _____
 TYPED NAME: ANDREW N. COOPER
 MAY, 2022 REG. NO. 46485



RAMSEY WATER TREATMENT PLANT
 CITY OF RAMSEY
 RAMSEY, MN
 RESERVOIR ROOF PLAN AND ELEVATIONS

DRAWING TYPE	PRELIMINARY
PREPARED BY	DCE
CHECKED / APPROVED	ANC / ANC
DATE	JUNE 2022
PROJECT NUMBER	21-24

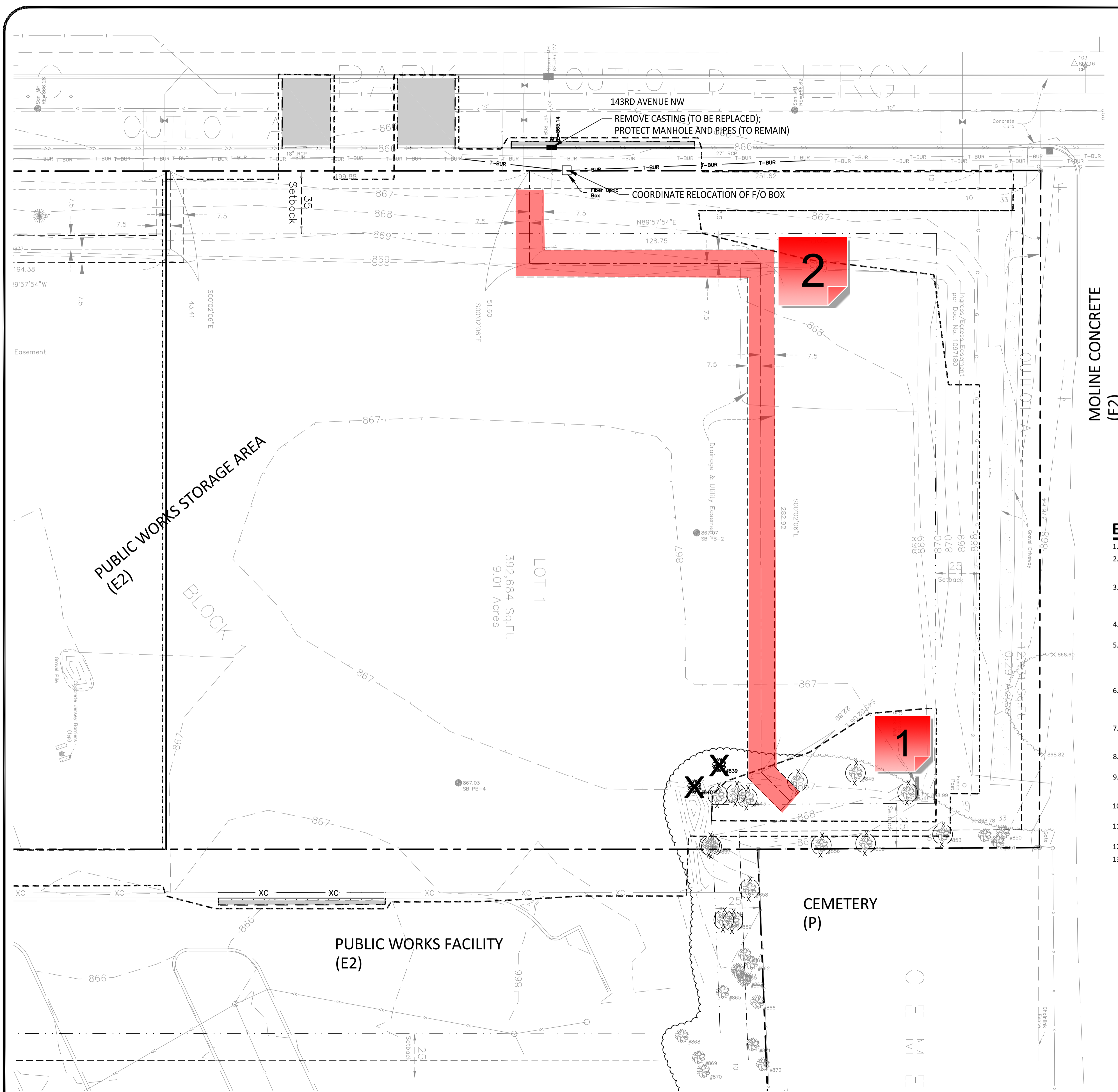
DRAWING
A110

1 - Sign Permit

Created by: Chris Anderson
On: 07/19/2022 11:39 AM

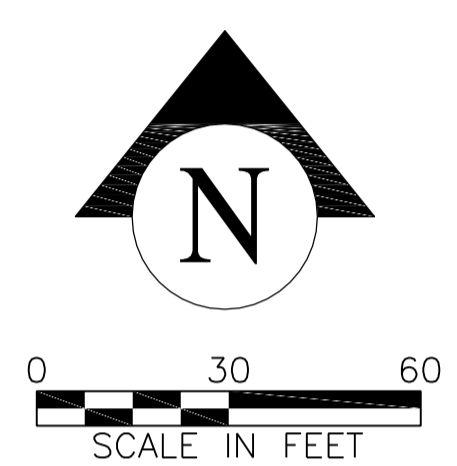
A Permanent Sign Permit will be required for the proposed signage. Please have sign contractor provide schematic drawing, including dimensions, and application for review.

----- 0 Replies -----



REMOVALS LEGEND

- PROPERTY LINE
- EXISTING TOPOGRAPHY TO REMAIN (GRAY/FADED LINEWORK, TYP.)
- ITEMS TO BE REMOVED (BLACK LINEWORK, TYP.)
- REMOVE BITUMINOUS PAVEMENT
- CLEAR AND GRUB (TREE)
- TREE PROTECTION
- SAWCUT PAVEMENT (FULL-DEPTH)
- REMOVE CURB AND GUTTER
- REMOVE CHAIN-LINK FENCE
- LIMITS OF DISTURBANCE



MOLINE CONCRETE (E2)

EXISTING CONDITIONS AND SITE REMOVALS NOTES

1. EXISTING CONDITIONS BASED ON TOPOGRAPHIC SURVEY BY SRF CONSULTING GROUP, DATED 11-23-2021.
2. CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION, AND NOTIFYING THE CIVIL ENGINEER AND OWNER IMMEDIATELY OF ANY DISCREPANCIES. THIS INCLUDES, BUT NOT LIMITED TO, TOPOGRAPHY, ELEVATIONS, UTILITIES, VEGETATION, AND OTHER RELATED ITEMS.
3. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL UTILITY LOCATES. THE CONTRACTOR SHALL SUBMIT A TICKET FOR PUBLIC UTILITY LOCATES 48 HOURS PRIOR TO ANY GRADING, EXCAVATION, OR UTILITY WORK THROUGH "GOPHER STATE ONE CALL" (GSOC) AT WWW.GSOC.SUBMIT.ORG, OR CALLING 811, ALONG WITH ANY FOLLOW-UP TO MISSING INFORMATION. THE CONTRACTOR MUST HIRE A PRIVATE UTILITY LOCATING SERVICE TO LOCATE PRIVATE UTILITIES IN THE CONSTRUCTION AREA PRIOR TO ANY EXCAVATION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
4. CONTRACTOR SHALL PLACE ALL NECESSARY EROSION CONTROL MEASURES REQUIRED TO MAINTAIN SITE STABILITY PRIOR TO EXECUTING ANY SITE REMOVALS AND IMPROVEMENTS. SEE EROSION CONTROL PLAN AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND RELATED DOCUMENTS.
5. CONTRACTOR SHALL COORDINATE LIMITS OF REMOVALS WITH PROPOSED IMPROVEMENTS AND FIELD VERIFY CONDITION OF EXISTING APPURTENANCES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, REPAIRING, OR REPLACING MISCELLANEOUS ITEMS (SUCH AS FENCES, SIGNS, IRRIGATION HEADS, ETC.) THAT MAY BE DAMAGED BY CONSTRUCTION. CONTRACTOR SHALL PROTECT SURFACE AND SUBSURFACE FEATURES NOT NOTED FOR REMOVAL. PROVIDE SAWCUT AT PAVEMENT EDGE REMOVAL. PROVIDE SMOOTH TRANSITION OF ANY REMOVAL OR IMPROVEMENTS AT DISTURBANCE EDGE. HAUL AND DISPOSE OF ALL REMOVAL ITEMS OFF-SITE.
6. CONTRACTOR SHALL DEMOLISH AND REMOVE ALL ITEMS ILLUSTRATED ON THE PLANS AND OTHER ITEMS, AS NECESSARY FOR THE PROJECT AND RELATED IMPROVEMENTS. THIS INCLUDES ITEMS SUCH AS BUILDINGS, ACCESSORY STRUCTURES, FOUNDATIONS, PAVEMENTS, DEBRIS, VEGETATION, SUBSURFACE ITEMS (UTILITIES), UNDESIRE SOIL, AND OTHER RELATED ITEMS. VERIFY ALL SOIL CORRECTIONS WITH GEOTECH REPORT AND RECOMMENDATIONS, UNLESS NOTED OTHERWISE. HAUL AND DISPOSE OF ALL REMOVAL ITEMS OFF-SITE.
7. CONTRACTOR SHALL REMOVE, REPAIR AND/OR RELOCATE EXISTING PRIVATE OR PUBLIC UTILITIES AS NECESSARY, WHETHER STATED ON THE PLANS OR NOT, INCLUDING ANY RELATED PERMITS AND FEES. CONTRACTOR TO COORDINATE AND RECEIVE APPROVAL FOR ACTIVITIES WITH OWNER AND UTILITY COMPANIES BEFORE STARTING WORK.
8. CLEAR, GRUB, AND REMOVE ALL TREES AND VEGETATION WITHIN THE CONSTRUCTION LIMITS, OR AS NOTED. STRIP TOPSOIL, STOCKPILE, AND REDISTRIBUTE PER GRADING PLAN.
9. TREE PROTECTION FENCING SHALL BE INSTALLED AT THE DRIP LINE OF TREES TO REMAIN, OR AS ILLUSTRATED, WITHIN LIMITS OF DISTURBANCE PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT. NO DETRIMENTAL CONDITIONS TO OCCUR AT TREE PRESERVATION AREAS, SUCH AS STORAGE OF EQUIPMENT/MATERIALS, CHEMICAL WASH, OR EXCAVATION.
10. CONTRACTOR SHALL PROVIDE ALL STAGING AND TEMPORARY TRAFFIC CONTROL FOR THE PROJECT, AS APPROVED BY THE OWNER AND GOVERNING AGENCY. PROVIDE MINIMAL DISRUPTION TO ADJACENT PROPERTIES AND STREETS, OR AS DIRECTED BY PROPERTY OWNER.
11. CONTRACTOR SHALL PROVIDE TEMPORARY CONDITIONS, SUCH AS CONSTRUCTION TRAILER, TEMPORARY FENCING, AND OTHER SECURITY MEASURES FOR THE LENGTH OF THE ENTIRE PROJECT.
12. ALL CONSTRUCTION PERMITS, APPLICATIONS AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS NOTED OTHERWISE.
13. FOR ANY SALVAGE AND/OR REINSTALL ITEMS, CONTRACTOR TO PROVIDE ALL WORK RELATED TO RE-LOCATION (TEMP AND PERMANENT), STORAGE, AND PROTECTION.

HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: MICHAEL C. AARON
 PRINT NAME: MICHAEL C. AARON
 DATE: 6/20/2022 LIC. NO.: 25721

SYM	DATE	DESCRIPTION	APPR

RAMSEY WATER TREATMENT PLANT
 CITY OF RAMSEY
 RAMSEY, MINNESOTA

REMOVALS PLAN

DRAWING TYPE
PRELIMINARY

PREPARED BY
 BPR

CHECKED / APPROVED
 MCA/MCA

DATE
 JUNE 2022

PROJECT NUMBER
 05434-2020-002

DRAWING
C100

1 - Remove

Created by: Chris Anderson
On: 07/12/2022 08:49 AM

These trees appear to be siberian elm and black locust, both of which are considered invasive species. These should be removed, and the area should be established with mesic seed mix and more desirable tree species.

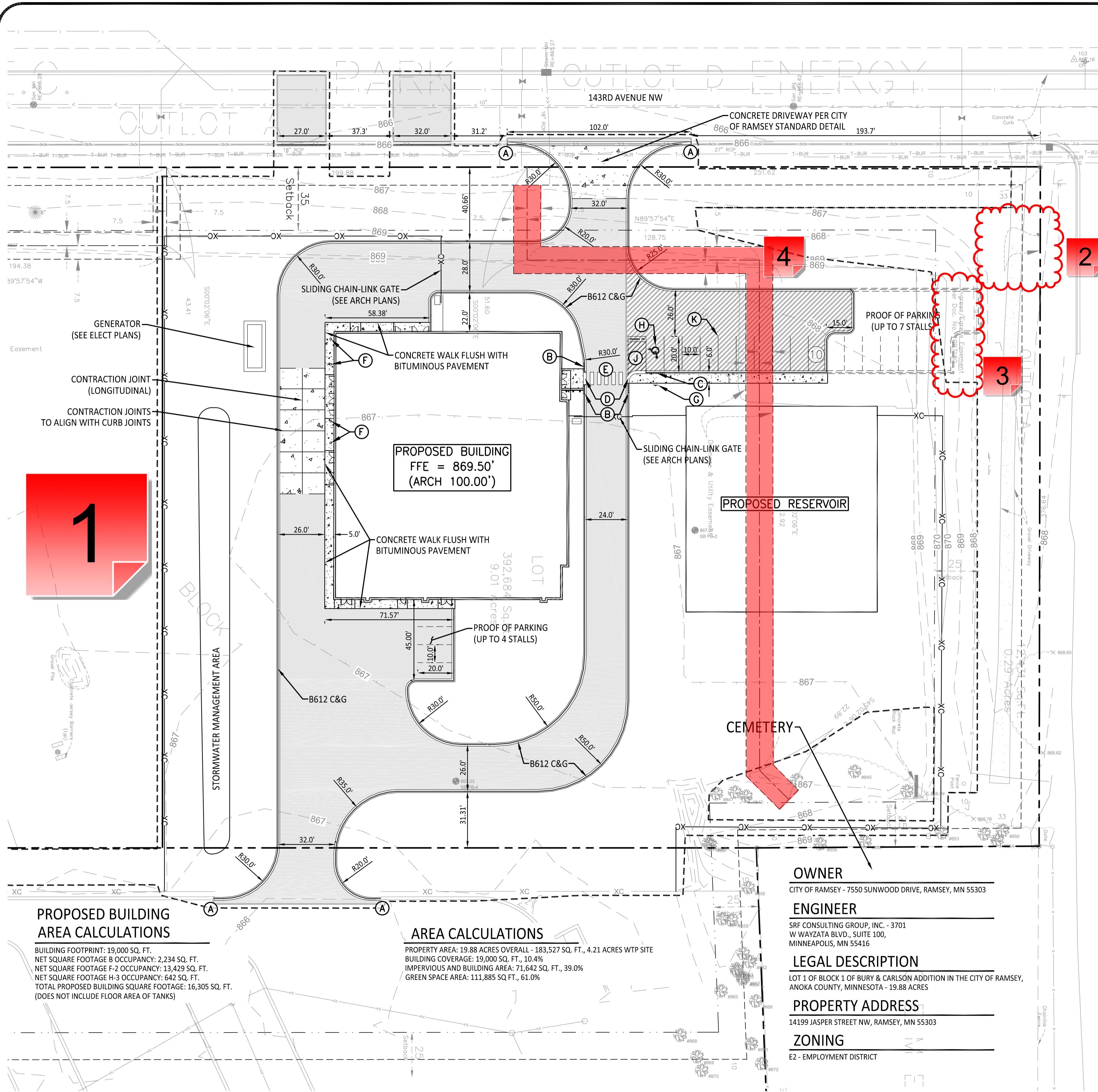
----- 0 Replies -----

2 - Easement

Created by: Chris Anderson
On: 07/19/2022 11:38 AM

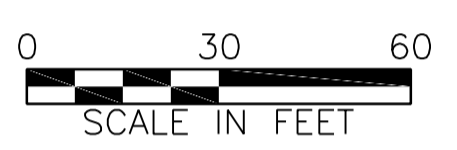
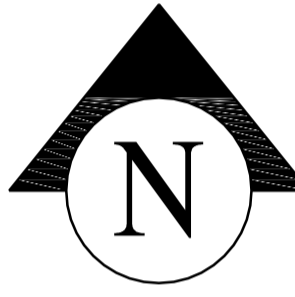
Is this easement still necessary? If not, please prepare an exhibit and legal description and the city will initiate the easement vacation process.

----- 0 Replies -----



SITE LEGEND

- PROPERTY LINE
- EASEMENT
- SETBACK LINE (PER CODE)
- EXISTING CONDITIONS
- LIGHT-DUTY BITUMINOUS PAVEMENT
- HEAVY-DUTY BITUMINOUS PAVEMENT
- 6" CONCRETE WALK
- 8" CONCRETE DRIVEWAY PAVEMENT
- CURB AND GUTTER
- CHAIN LINK FENCE (SEE ARCH. PLANS)
- PARKING LOT POLE LIGHT (SEE ELEC. PLANS)
- PARKING SPACES PER ROW
- LIMITS OF DISTURBANCE



SITE NOTES

1. SEE EXISTING CONDITIONS AND REMOVAL PLAN, ALONG WITH ANY RELATED SURVEYS FOR DETAILS ON PROPERTY BACKGROUND INFORMATION.
2. REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION ON BUILDINGS, MONUMENT SIGNS, TRASH ENCLOSURES, AND OTHER RELATED ITEMS. VERIFY WITH ARCHITECTURAL PLANS THE EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, TRUCK DOCKS/SERVICE, AND OTHER RELATED BUILDING ITEMS.
3. SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING LOCATIONS, DETAILS AND PHOTOMETRICS.
4. ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF CONCRETE, OR EXTERIOR FACE OF BUILDING, UNLESS NOTED OTHERWISE.
5. ALL CURB RADII SHALL BE 5.0 FEET (TO FACE OF CURB), UNLESS OTHERWISE NOTED.
6. ALL CURB AND GUTTER SHALL BE CONCRETE B612 UNLESS OTHERWISE NOTED.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS, AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS, OR AS APPROVED.
8. BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER, OR AS NOTED. PAVEMENT AND OTHER IMPROVEMENTS TO ADHERE TO ALL AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS FOR ACCESSIBILITY, INCLUDING SLOPE. CONTACT ENGINEER IMMEDIATELY INVOLVING ANY DISCREPANCIES.
9. CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
10. CONTRACTOR SHALL PROVIDE ALL CONSTRUCTION STAKING.
11. CONTRACTOR SHALL PROVIDE ALL SITE GOVERNMENTAL PERMITS AND FEES.

SIGNAGE AND STRIPING NOTES

1. ALL TRAFFIC SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE STANDARDS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD), OR AS NOTED OTHERWISE.
2. PARKING LOT STRIPING SHALL BE 4" WIDE COLOR WHITE, TWO COATS OF PAINT. CONTRACTOR SHALL PAINT ANY/ALL DIRECTIONAL TRAFFIC ARROWS AS SHOWN IN WHITE (TWO COATS).
3. ACCESSIBLE PARKING SIGNS AND MARKINGS PER LATEST ADA CODE AND REQUIREMENTS. CONTRACTOR SHALL PAINT THE INTERNATIONAL SYMBOL OF ACCESSIBILITY IN EACH DESIGNATED ACCESSIBLE STALL IN BLUE BACKGROUND WITH WHITE BORDER (TWO COATS OF PAINT). CONTRACTOR SHALL PAINT THE WORDS "NO PARKING" IN EACH ACCESSIBLE ISLE ADJACENT TO AN ACCESSIBLE SPACE IN WHITE LETTERS MINIMUM 12" IN HEIGHT. SIGNS TO BE LOCATED AT THE HEAD OF THE PARKING SPACE. SEE ACCESSIBLE PARKING DETAILS.
4. ALL SIGNS SHALL INCLUDE MOUNTING HARDWARE, POST, CONCRETE FOOTING AND CASING WHERE REQUIRED. CONCRETE CASING REQUIRED IN LOCATIONS WHERE POST IS NOT PROTECTED BY CURB.
5. IF NOTED, ALL STOP SIGNS SHALL INCLUDE A 12" WIDE PAINTED STOP BAR IN WHITE PAINT (TWO COATS) PLACED AT THE STOP SIGN LOCATION, A MINIMUM OF 4' FROM CROSSWALK. ALL STOP BARS SHALL EXTEND FROM DIRECTIONAL TRANSITION BETWEEN LANES TO THE CURB.
6. ALL SIGNS SHALL BE PLACED 18" BEHIND THE BACK OF CURB, UNLESS OTHERWISE NOTED.

(A) SITE KEY NOTES

- A. MATCH INTO EXISTING BITUMINOUS AND CURB & GUTTER
- B. CONCRETE CURB AND GUTTER - TAPER (5 FT LENGTH)
- C. CONCRETE CURB AND GUTTER - TAPER (5% MAX SLOPE)
- D. CONCRETE CURB AND GUTTER - FLUSH (0" HEIGHT; SEE GRADING PLAN)
- E. CROSSWALK PAVEMENT MARKINGS (FIVE 2' X 7' BARS WITH 2' SPACING)
- F. CONCRETE BOLLARD (SEE DETAIL)
- G. TRAFFIC SIGNAGE - INSTALL ACCESSIBLE PARKING SIGN (R7-8m) AND VAN ACCESSIBLE SIGN (R7-8b) PER MINNESOTA BUILDING CODE
- H. PAVEMENT MARKING - INTERNATIONAL SYMBOL OF ACCESSIBILITY
- J. PAVEMENT MARKING - "NO PARKING" AND ADA ACCESS AISLE CROSS HATCH STRIPING
- K. PAVEMENT MARKING - 4" WHITE STRIPING (PAINT)

PROPOSED BUILDING AREA CALCULATIONS
 BUILDING FOOTPRINT: 19,000 SQ. FT.
 NET SQUARE FOOTAGE B OCCUPANCY: 2,234 SQ. FT.
 NET SQUARE FOOTAGE F-2 OCCUPANCY: 13,429 SQ. FT.
 NET SQUARE FOOTAGE H-3 OCCUPANCY: 642 SQ. FT.
 TOTAL PROPOSED BUILDING SQUARE FOOTAGE: 16,305 SQ. FT.
 (DOES NOT INCLUDE FLOOR AREA OF TANKS)

AREA CALCULATIONS
 PROPERTY AREA: 19.88 ACRES OVERALL - 183,527 SQ. FT., 4.21 ACRES WTP SITE
 BUILDING COVERAGE: 19,000 SQ. FT., 10.4%
 IMPERVIOUS AND BUILDING AREA: 71,642 SQ. FT., 39.0%
 GREEN SPACE AREA: 111,885 SQ. FT., 61.0%

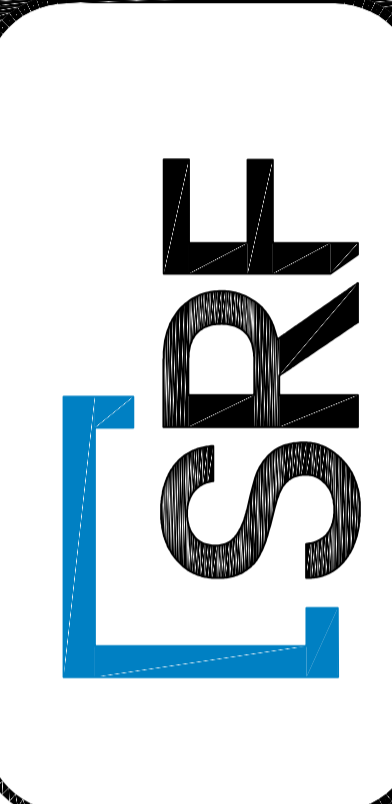
OWNER
 CITY OF RAMSEY - 7550 SUNWOOD DRIVE, RAMSEY, MN 55303

ENGINEER
 SRF CONSULTING GROUP, INC. - 3701 W WAYZATA BLVD., SUITE 100, MINNEAPOLIS, MN 55416

LEGAL DESCRIPTION
 LOT 1 OF BLOCK 1 OF BURY & CARLSON ADDITION IN THE CITY OF RAMSEY, ANOKA COUNTY, MINNESOTA - 19.88 ACRES

PROPERTY ADDRESS
 14199 JASPER STREET NW, RAMSEY, MN 55303

ZONING
 E2 - EMPLOYMENT DISTRICT



HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 SIGNATURE: MICHAEL C. AARON
 PRINT NAME: MICHAEL C. AARON
 DATE: 6/20/2022 LIC. NO.: 25721

SYM	DATE	DESCRIPTION	APPR

RAMSEY WATER TREATMENT PLANT
 CITY OF RAMSEY
 RAMSEY, MINNESOTA
 SITE PLAN

DRAWING TYPE	PRELIMINARY
PREPARED BY	BPR
CHECKED / APPROVED	MCA/MCA
DATE	JUNE 2022
PROJECT NUMBER	05434-2020-002

DRAWING
C200

1 - Plat?

Created by: Chris Anderson
On: 07/11/2022 08:45 AM

A plat is required to create this lot. Please submit.

----- 0 Replies -----

2 - What is this Pointing to?

Created by: Chris Anderson
On: 07/11/2022 08:49 AM

----- 0 Replies -----

3 - Easement

Created by: Chris Anderson
On: 07/11/2022 08:49 AM

Show this easement on the Site Plan. Recommend that it get platted as separate outlot.

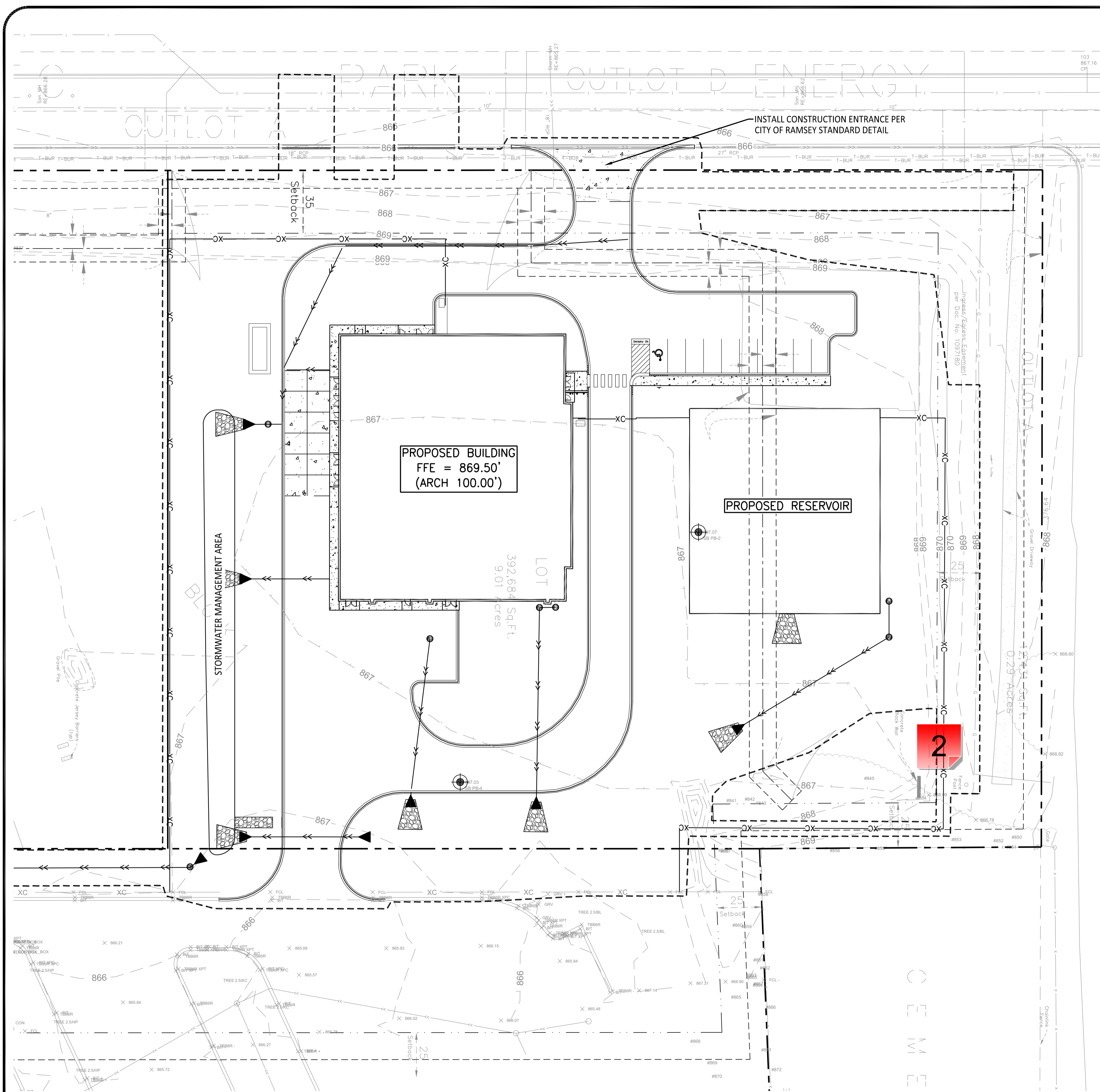
----- 0 Replies -----

4 - D/U Easement

Created by: Chris Anderson
On: 07/19/2022 11:05 AM

What is the purpose of this d/u easement and is it needed any more? If not, an exhibit should be prepared, including legal description, and this should be vacated as part of this process.

----- 0 Replies -----



GRADING AND EROSION CONTROL LEGEND

- PROPERTY LINE
- 960 PROPOSED CONTOURS (MAJOR)
- 964 PROPOSED CONTOURS (MINOR)
- 960 EXISTING CONTOURS (MAJOR)
- 964 EXISTING CONTOURS (MINOR)
- 813.56 PROPOSED SPOT ELEVATION
- 944.50 EOF EMERGENCY OVERFLOW
- 2.0% PROPOSED SURFACE SLOPE
- SILT FENCE
- BIO ROLL
- INLET PROTECTIO
- EROSION CONTROL BLANKET
- RIP-RAP
- STORM SEWER (SEE UTILITY PLAN)
- DRAIN TILE (SEE UTILITY PLAN)
- TIP-OUT GUTTER
- LIMITS OF DISTURBANCE
- SOIL BORING LOCATION

ELEVATION 869.50 CIVIL = 100.00 ARCHITECTURAL

GRADING, DRAINAGE, AND EROSION CONTROL NOTES

1. THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF C/ASCE 38-2, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."
2. THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
3. CONTRACTOR TO PROVIDE ALL WORK AND MATERIALS FOR GRADING, SUBSOIL CORRECTIONS (IMPORT/EXPORT), RETAINING WALLS, TOPSOIL, EROSION CONTROL AND OTHER RELATED ITEMS.
4. SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
5. CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.16 FEET. RIM ELEVATIONS SHOWN ON PLANS DO NOT REFLECT SUMPED ELEVATIONS.
6. ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF 4 INCHES OF TOP SOIL AND SEED/MULCH OR SOD. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED. STRIP, STOCKPILE, AND REDISTRIBUTE EXISTING TOPSOIL, AS SUITABLE.
7. FOR SITE RETAINING WALLS "TW" EQUALS SURFACE GRADE AT TOP FACE OF WALL (NOT TOP OF WALL), "GW" EQUALS SURFACE GRADE AT WALL GRADE TRANSITION, AND "BW" EQUALS SURFACE GRADE AT BOTTOM FACE OF WALL (NOT BOTTOM OF BURIED WALL COURSES).
8. STREETS MUST BE CLEANED AND SWEEPED WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED.
9. DUST SHALL BE ADEQUATELY CONTROLLED.
10. ALL SLOPES 1:3 (V:H) OR GREATER REQUIRED TO RECEIVE SURFACE EROSION CONTROL WHETHER IT IS INDICATED ON THE PLAN OR NOT; MAINTAIN SHEET FLOW AND MINIMIZE RILLS AND/OR GULLIES.
11. ALL STORM DRAINS AND INLETS MUST BE PROTECTED UNTIL ALL SOURCES OF POTENTIAL DISCHARGE ARE STABILIZED.
12. TEMPORARY SOIL STOCKPILES MUST HAVE EFFECTIVE SEDIMENT CONTROL AND CAN NOT BE PLACED IN SURFACE WATERS OR STORM WATER CONVEYANCE SYSTEMS. TEMPORARY STOCKPILES WITHOUT SIGNIFICANT AMOUNT OF SILT, CLAY, OR ORGANIC COMPOUNDS ARE EXEMPT EX: CLEAN AGGREGATE STOCK PILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES.
13. FINAL STABILIZATION REQUIRES THAT ALL SOIL DISTURBING ACTIVITIES HAVE BEEN COMPLETED AND THAT DISTURBED AREAS ARE STABILIZED BY A UNIFORM PERENNIAL VEGETATIVE COVER WITH 70% OF THE EXPECTED FINAL DENSITY, AND THAT ALL PERMANENT PAVEMENTS HAVE BEEN INSTALLED. ALL TEMPORARY BMP'S SHALL BE REMOVED, DITCHES STABILIZED, AND SEDIMENT SHALL BE REMOVED FROM PERMANENT CONVEYANCES AND SEDIMENTATION BASINS IN ORDER TO RETURN THE POND/BASIN TO DESIGN CAPACITY.
14. THE WATERSHED DISTRICT OR THE CITY MAY HAVE REQUIREMENTS FOR INSPECTIONS VERIFYING PROPER CONSTRUCTION OF THE BEST MANAGEMENT PRACTICES (BMP) - THE MORE RESTRICTIVE REQUIREMENT SHALL APPLY.
15. SEE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) NOTES AND DETAILS FOR ADDITIONAL EROSION CONTROL NOTES AND REQUIREMENTS. CONTRACTOR SHALL PROVIDE ALL REQUIRED EROSION CONTROL PERMITS/FEE'S, INSPECTORS, INSPECTIONS, AND DOCUMENTATION. PLAN REPRESENTS MINIMAL EROSION CONTROL, CONTRACTOR TO PROVIDE ADDITIONAL MEANS AND METHODS FOR THE PROJECT AS NECESSARY TO MAINTAIN COMPLIANCE.
16. CONTRACTOR TO PROVIDE ALL SUBGRADE SOIL CORRECTIONS, INCLUDING REMOVAL OF SUBGRADE DEBRIS, FOR PROJECT IMPROVEMENTS SUCH AS BUILDING, PAVEMENT, UTILITY, RETAINING WALLS, AND OTHER RELATED ITEMS. REFER TO THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT FOR ANY ADDITIONAL SITE PREPARATION INFORMATION OR REQUIREMENTS.
17. IF GROUND WATER IS PRESENT IN THE EXCAVATION, OR IF THE EXPOSED SOILS ARE WET AND UNSTABLE, CONTACT THE OWNER OR ENGINEER FOR A RECOMMENDATION FROM THE GEOTECHNICAL ENGINEER.
18. CONTRACTOR SHALL INSTALL ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING GRADING ACTIVITIES AND SHALL MAINTAIN SAID MEASURES FOR DURATION OF CONSTRUCTION ACTIVITIES. UPON ESTABLISHMENT OF TURF, THE CONTRACTOR SHALL REMOVE THE EROSION CONTROL MEASURES AND DISPOSE OF OFF SITE.
19. CONTRACTOR TO PREVENT DIRT AND/OR DEBRIS FROM ENTERING STORM SEWER OR BEING TRANSPORTED OFF SITE IN AN UNCONTROLLED MANNER. CONTRACTOR TO VERIFY AT PROJECT CLOSEOUT THAT STORM SEWER SYSTEM IS CLEAR OF SEDIMENT AND/OR DEBRIS AND IS FULLY FUNCTIONAL.
20. CONTRACTOR SHALL PROVIDE REQUIRED EROSION CONTROL MONITORING, PER REQUIREMENTS AND CERTIFICATION, TO INSPECT AND DOCUMENT ALL EROSION CONTROL MEASURES WEEKLY (EVERY 7 DAYS) AND AFTER EVERY 0.5 INCH RAINFALL EVENT, PER REQUIREMENTS. CONTRACTOR TO PROVIDE CORRECTIVE MEASURES IMMEDIATELY FOR ANY NON-COMPLIANCE OBSERVATIONS.
21. ALL DISTURBED NON-PAVED AREAS SHALL RECEIVE TEMPORARY PROTECTION OR PERMANENT COVER WITHIN 14 DAYS OF DISTURBANCE OPERATIONS.
22. WHEN TRAPPED SEDIMENT REACHES 1/3 OF THE HEIGHT OF SILT FENCE, IT SHALL BE REMOVED AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
23. CATCH BASIN SEDIMENT FILTER SACKS SHALL BE CLEANED WHEN SEDIMENT REACHES 1/3 THE CAPACITY OF THE SACK.
24. WHEN SEDIMENT IS TRACKED ON TO PAVED SURFACES, IT SHALL BE REMOVED WITHIN 24 HOURS OF DISCOVERY.
25. ANY SEDIMENT FROM THE CONSTRUCTION SITE THAT ACCUMULATES ON OR OFF THE OWNER'S PROPERTY SHALL BE REMOVED BY THE CONTRACTOR AT HIS/HER EXPENSE. ANY DAMAGE THAT OCCURS FROM THE ACCUMULATED SEDIMENT OR FROM THE CONTRACTOR'S REMOVAL OF THE SEDIMENT, SHALL BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE.
26. ALL EXCAVATIONS MUST COMPLY WITH THE REQUIREMENTS OF OSHA 29 CFR, PART 1926, SUBPART P, "EXCAVATIONS AND TRENCHES." THIS DOCUMENT STATES THAT EXCAVATION SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
27. THE CONTRACTOR MUST COMPLY WITH THE REQUIREMENTS OF THE PROJECT SPECIFIC STORM WATER POLLUTION PREVENTION PLAN. TEMPORARY STORMWATER IMPROVEMENTS SHALL BE PROVIDED UNTIL THE PERMANENT IMPROVEMENTS ARE ESTABLISHED. CONTRACTOR TO DESIGN AND SUBMIT ALL TEMPORARY STORMWATER ITEMS FOR ENGINEER APPROVAL.
28. CONTRACTOR TO PROVIDE ALL SURVEY CONSTRUCTION STAKING.

HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: MICHAEL C. AARON
PRINT NAME: MICHAEL C. AARON
DATE: 6/20/2022 LIC. NO.: 25721

SYM	DATE	DESCRIPTION	APPR

ERFC
AES²

1

SCALE IN FEET
0 30 60

RAMSEY WATER TREATMENT PLANT
CITY OF RAMSEY
RAMSEY, MINNESOTA

GRADING, DRAINAGE, AND EROSION CONTROL PLAN

DRAWING TYPE
PRELIMINARY

PREPARED BY
BPR

CHECKED / APPROVED
MCA/MCA

DATE
JUNE 2022

PROJECT NUMBER
05434-2020-002

DRAWING
C300

1 - Grading Plan

Created by: Len Linton
On: 07/18/2022 10:07 AM

Turn on the spot elevations, proposed contours and information to guide the contractor in grading at the site.

----- 0 Replies -----

2 - Grade this area

Created by: Chris Anderson
On: 07/19/2022 11:41 AM

There's just Siberian Elm and Black Locust trees in here, both are invasive. These trees, along with the rubble piles, should be removed, the area graded, seeded with mesic prairie mix, and planted with more desirable trees.

----- 0 Replies -----

1 - Water Main

Created by: Logan Czech
On: 07/20/2022 07:52 AM

Provide information on these two water lines and connection point

----- 0 Replies -----

2 - 6" Water Service

Created by: Logan Czech
On: 07/20/2022 07:52 AM

Add gate valve at connection point so that contractor does not have to test existing line

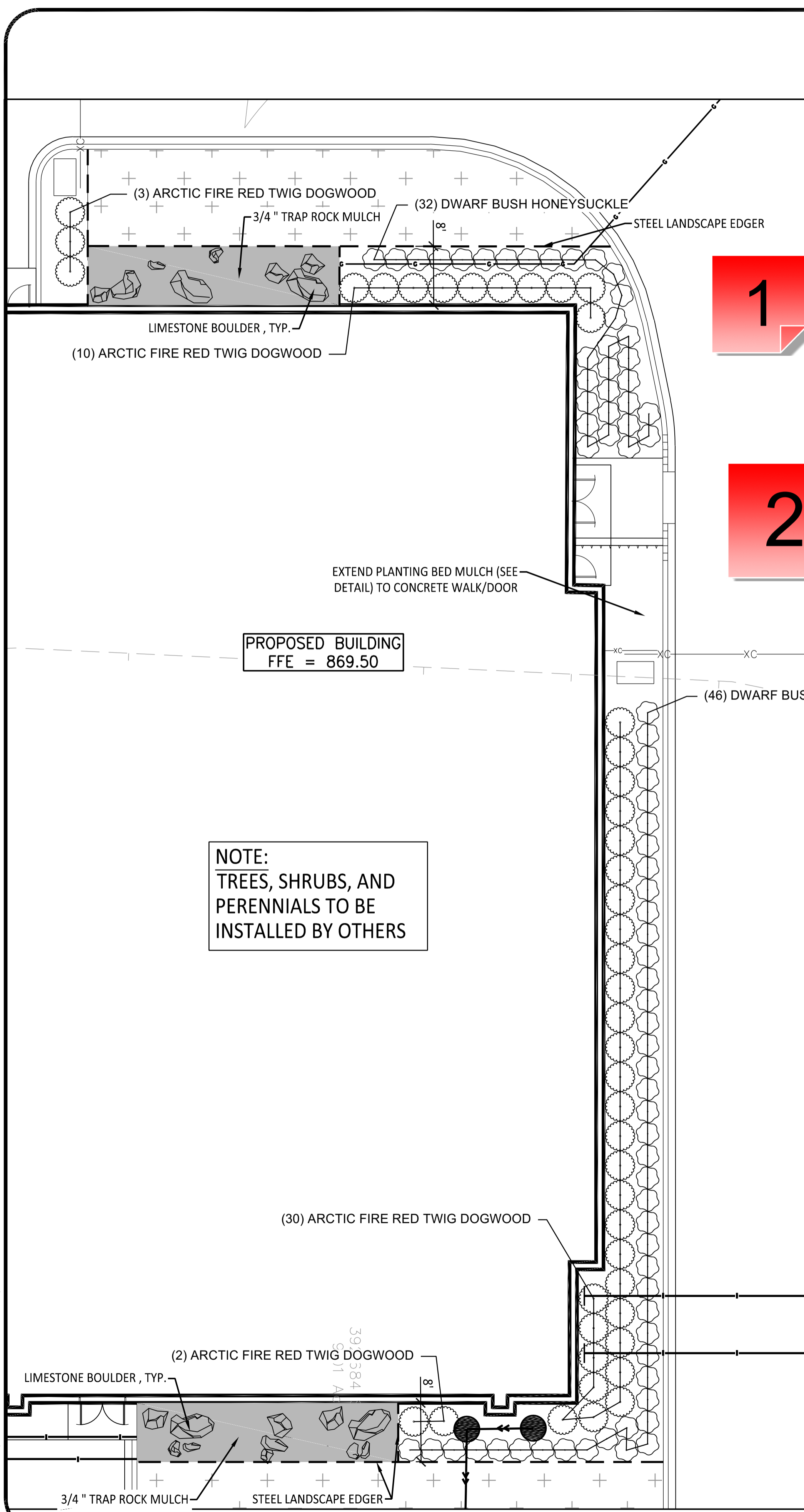
----- 0 Replies -----

3 - CB 134

Created by: Logan Czech
On: 07/20/2022 07:58 AM

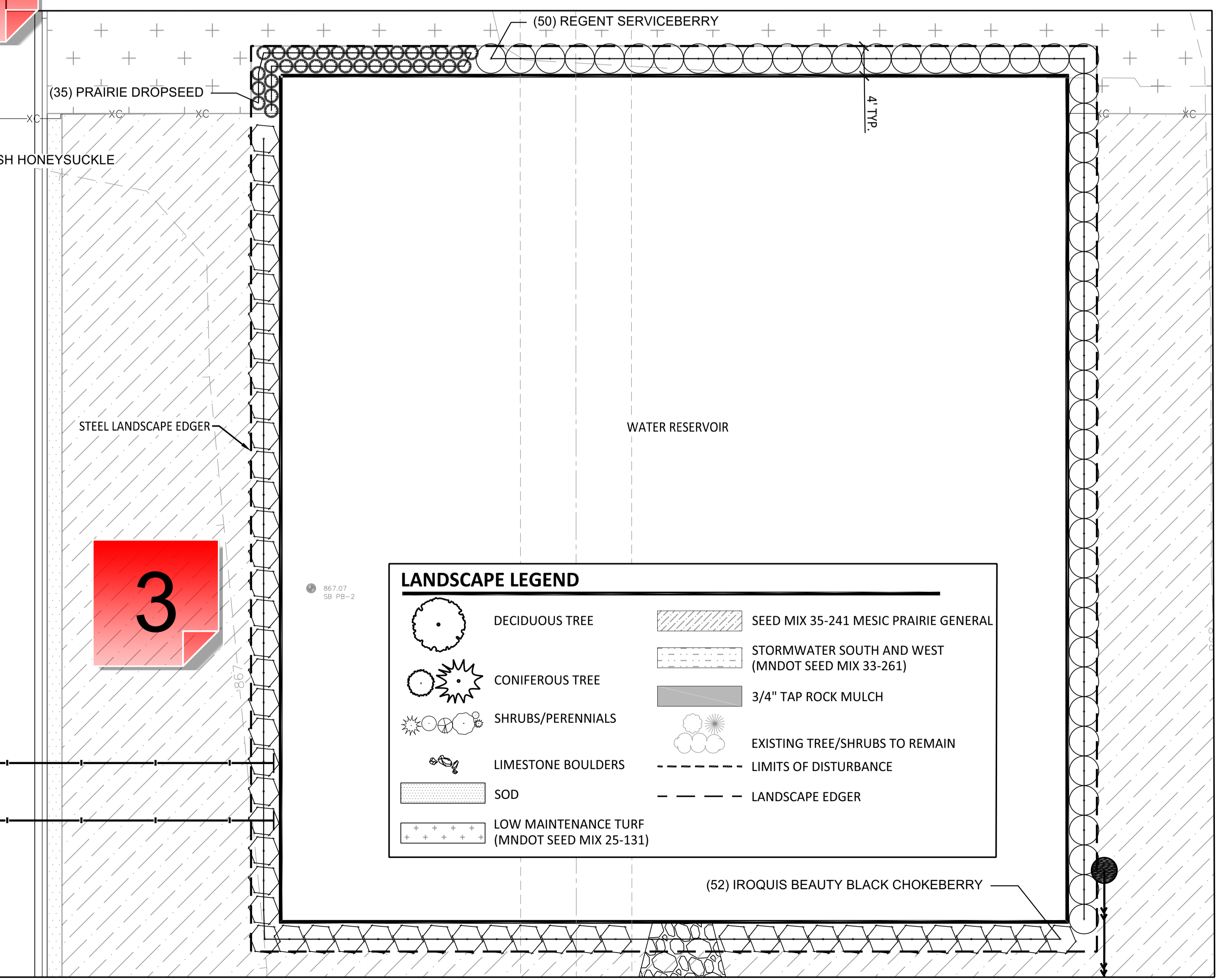
This structure does not appear to be connected with any outlet

----- 0 Replies -----



PLANT SCHEDULE

DECIDUOUS TREES							
Botanical	Common	Size	Container	Remarks	Quantity	Canopy Cover (SF)	Total Canopy Cover (SF)
CELTIS OCCIDENTALIS	COMMON HACKBERRY	2.5" CAL.	B&B	SINGLE, STRAIGHT LEADER	5	922	4,610
GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE' TM	SKYLINE HONEYLOCUST	2.5" CAL.	B&B	SINGLE, STRAIGHT LEADER	3	415	1,245
QUERCUS BICOLOR	SWAMP WHITE OAK	2.5" CAL.	CONT.	SINGLE, STRAIGHT LEADER	6	718	4,308
QUERCUS MACROCARPA	BUR OAK	2.5" CAL.	CONT.	SINGLE, STRAIGHT LEADER	7	3,910	27,370
SALIX NIGRA	BLACK WILLOW	2.5" CAL.	B&B	SINGLE, STRAIGHT LEADER	4	460	1,840
TILIA AMERICANA 'BOULEVARD'	BOULEVARD LINDEN	2.5" CAL.	B&B	SINGLE, STRAIGHT LEADER	3	354	1,062
ULMUS AMERICANA 'NEW HARMONY'	NEW HARMONY ELM	2.5" CAL.	B&B	SINGLE, STRAIGHT LEADER	7	3,910	27,370
SHRUBS							
Botanical	Common	Size	Container	Remarks	Quantity	Canopy Cover (SF)	Total Canopy Cover (SF)
AMELANCHIER ALNIFOLIA 'REGENT'	REGENT SERVICEBERRY	#5	CONT.	PLANT 4' O.C.	50	18	900
ARONIA MELANOCARPA 'MORTON' TM	IROQUIS BEAUTY BLACK CHOKEBERRY	#5	CONT.	PLANT 4' O.C.	52	10	520
CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE RED TWIG DOGWOOD	#5	CONT.	PLANT 4' O.C.	45	32	1,440
DIERVILLA LONICERA	DWARF BUSH HONEYSUCKLE	#5	CONT.	PLANT 3' O.C.	78	2	156
PERENNIALS AND GRASSES							
Botanical	Common	Size	Container	Remarks	Quantity	Canopy Cover (SF)	Total Canopy Cover (SF)
GERANIUM MACULATUM	WILD GERANIUM	#1	CONT.	PLANT 18" O.C.	45	0	0
SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	#1	CONT.	PLANT 24" O.C.	35	0	0
TOTAL CANOPY COVER (SF)						89,911	



LANDSCAPE LEGEND	
	DECIDUOUS TREE
	CONIFEROUS TREE
	SHRUBS/PERENNIALS
	LIMESTONE BOULDERS
	SOD
	LOW MAINTENANCE TURF (MNDOT SEED MIX 25-131)
	SEED MIX 35-241 MESIC PRAIRIE GENERAL
	STORMWATER SOUTH AND WEST (MNDOT SEED MIX 33-261)
	3/4" TAP ROCK MULCH
	EXISTING TREE/SHRUBS TO REMAIN
	LIMITS OF DISTURBANCE
	LANDSCAPE EDGER

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: JONATHAN W. FILLMORE
 PRINT NAME: JONATHAN W. FILLMORE
 DATE: 6/20/2022 LIC. NO.: 58679

SYM	DATE	DESCRIPTION	APPR

SRF

AES

RAMSEY WATER TREATMENT PLANT
 CITY OF RAMSEY
 RAMSEY, MINNESOTA

LANDSCAPE ENLARGEMENT PLAN

DRAWING TYPE
 PRELIMINARY

PREPARED BY
 BPR

CHECKED / APPROVED
 MCA/MCA

DATE
 JUNE 2022

PROJECT NUMBER
 05434-2020-002

DRAWING
L101

1 - Shrub Size

Created by: Chris Anderson
On: 07/11/2022 08:34 AM

Shrubs shall be at least 24" in height. Update Plant Schedule to speciy size as 24" rather than container size.

----- 0 Replies -----

2 - Coniferous Tree Info

Created by: Chris Anderson
On: 07/11/2022 08:36 AM

The Plant Schedule is missing the coniferous trees. Please update to include the Norway Spruce and White Pines proposed on the plan sheet.

----- 0 Replies -----

3 - Management Plan

Created by: Chris Anderson
On: 07/11/2022 08:37 AM

Please provide a detailed 3-5 year management plan for the prairie area. The plan shall describe the prescribed management activities, include a calendar of when these activities shall occur. A competent subcontractor shall be identified to perform the management activities.

----- 0 Replies -----