

LAVERN
ESTATES
BLOCK 1

PID: 03-32-25-33-0001
YOU WISH YOU HAD THIS LAND, LLC

PID: 03-32-25-31-0001
JOHN G. WEBORG, TRUSTEE

PID: 03-32-25-31-0008
SHERYL L. SMITH

PID: 03-32-25-31-0001
JOHN G. WEBORG, TRUSTEE

HUNT ADDITION
BLOCK 1

PID: 10-32-25-42-0005
RYAN EVAN HUNT

PID: 10-32-25-43-0006
RONALD E. & JUDITH HUNT

PID: 10-32-25-43-0005
TROTT BROOK HALL

PID: 10-32-25-12-0009
JANICE F. WRIGHT, TRUSTEE

PID: 10-32-25-21-0002
MAKOWSKY FAMILY FARM, LLC

PID: 10-32-25-21-0003
STEPHEN A. & PAMELA A.
GRAUNKE

PID: 03-32-25-33-0004
CARL R. JR. & C. J. BIEDERMAN

PID: 03-32-25-33-0002
LORIN H. SMITH

PID: 03-32-25-33-0003
LORIN H. SMITH

WITH RIBBON FD 0.4 BELOW RD GRADE

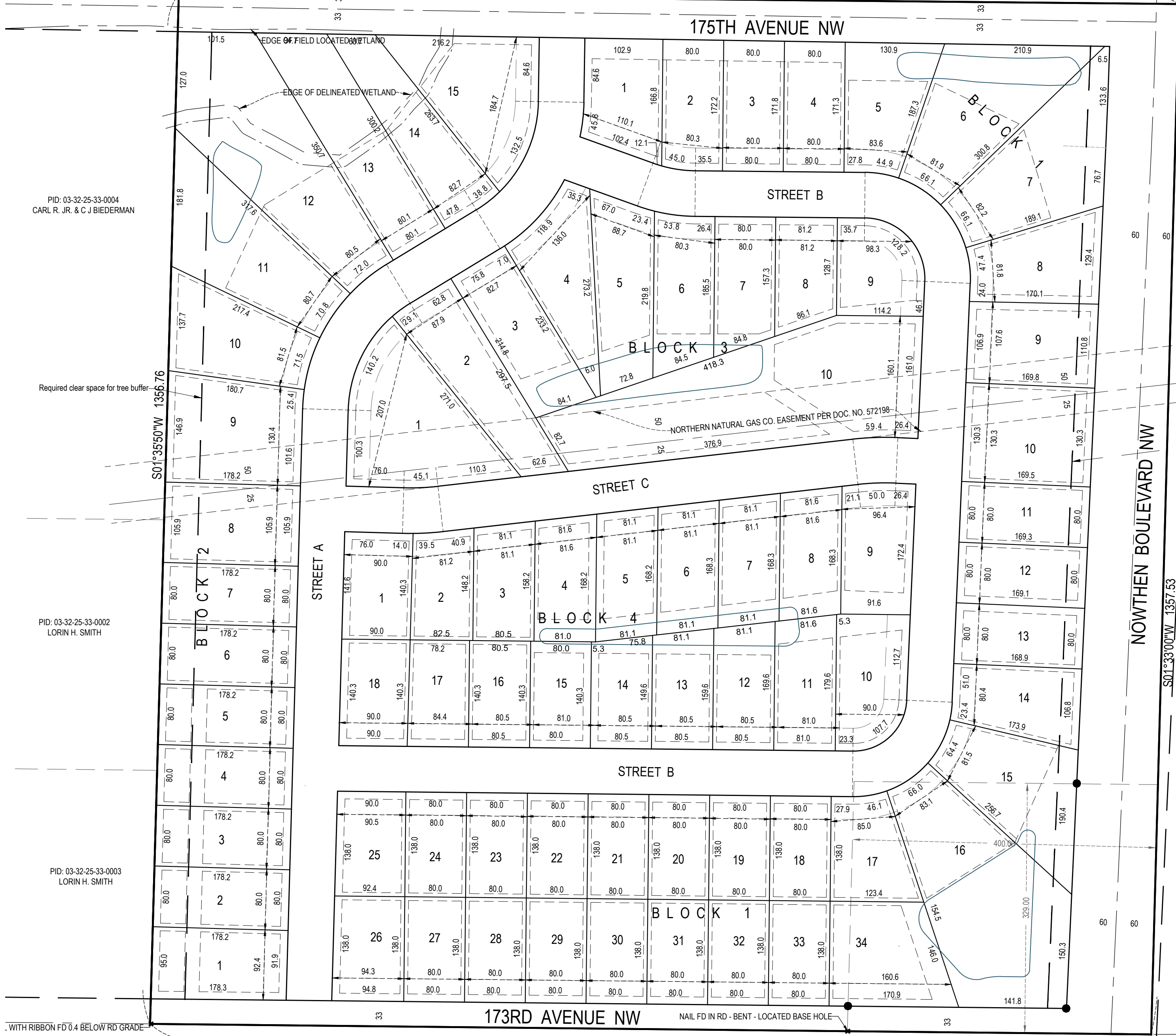
APPROXIMATE EDGE OF WETLAND

EDGE OF FIELD LOCATED WETLAND

EDGE OF DELINEATED WETLAND

Required clear space for tree buffer

Ideal clear space for tree buffer, if it can be preserved (not required, but preferred by city)



LEGAL DESCRIPTION

Parcel 1:
The Southeast Quarter of the Southwest Quarter (SE1/4 of SW1/4) of Section 3, Township 32, Range 25, except the East 400 feet of the South 329 feet, when measured by the East and South lines, also excepting those portions taken for County Road No. 5 and No. 63, and also for 173rd Street, Anoka County, Minnesota.

Parcel 2:
The South 329 feet of the East 400 feet of the Southeast Quarter of the Southwest Quarter of Section 3, Township 32, Range 25, excepting that part lying East of State Aid Highway No. 5, Anoka County, Minnesota.

BENCHMARK

Cast Iron Monument,
South Quarter corner of Section 3, Township 32, Range 25,
Elevation = 676.482

AREA SUMMARY

TOTAL SITE AREA: 1,787,850.0 SQ. FT. = 41.04 AC.
EXISTING RIGHT OF WAY AREA: 241,164.39 SQ. FT. = 5.54 AC.
WETLAND AREA: 42,235 SQ. FT. = 0.97 AC.
NET AREA: 1,504,450.61 SQ. FT. = 34.54 AC.
TOTAL SINGLE FAMILY LOTS = 77

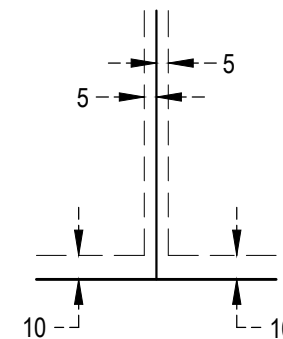
ZONING AND SETBACK SUMMARY

The Property is Zoned R-1 - MUSA
Building Setback Information is as follows:
Front Yard = 30 ft.
From major or minor arterial (Northen Blvd.) - 60 feet from ROW centerline plus normal setback standard.
Rear = 30 ft.
Side (interior) = 10 ft.
Side (street) = 30 ft.
Welland Setback = 16.5 ft.
Parking Setback Information is as follows:
Driveway setback 5 ft. from side lot line.
Minimum Lot Area: 10,890 S.F. (0.25 AC.)
Minimum Lot Width: 80 ft. (90 ft. for corner lot)
Minimum Lot Depth: 100 ft.

LOT AREA TABLE

Parcel #	Lot/Block	Area	Parcel #	Lot/Block	Area	Parcel #	Lot/Block	Area	Parcel #	Lot/Block	Area
1	1_1	15510	21	21_1	11040	41	7_2	14259	61	2_4	11657
2	2_1	13710	22	22_1	11040	42	8_2	18872	62	3_4	12330
3	3_1	13761	23	23_1	11040	43	9_2	24429	63	4_4	13219
4	4_1	13725	24	24_1	11040	44	10_2	19892	64	5_4	13542
5	5_1	17666	25	25_1	12585	45	11_2	28975	65	6_4	13544
6	6_1	28178	26	26_1	12915	46	12_2	44747	66	7_4	13545
7	7_1	29094	27	27_1	11040	47	13_2	26066	67	8_4	13630
8	8_1	17384	28	28_1	11040	48	14_2	19583	68	9_4	16242
9	9_1	18493	29	29_1	11040	49	15_2	25240	69	10_4	15967
10	10_1	22110	30	30_1	11040	50	1_3	30350	70	11_4	14143
11	11_1	13553	31	31_1	11040	51	2_3	20898	71	12_4	13250
12	12_1	13538	32	32_1	11040	52	3_3	18467	72	13_4	12447
13	13_1	13523	33	33_1	11040	53	4_3	17833	73	14_4	11645
14	14_1	15342	34	34_1	20306	54	5_3	18942	74	15_4	11224
15	15_1	23983	35	1_2	16653	55	6_3	16012	75	16_4	11294
16	16_1	46868	36	2_2	14259	56	7_3	13713	76	17_4	11136
17	17_1	13880	37	3_2	14259	57	8_3	11617	77	18_4	12629
18	18_1	11040	38	4_2	14259	58	9_3	13481			
19	19_1	11040	39	5_2	14259	59	10_3	63926			
20	20_1	11040	40	6_2	14259	60	1_4	12678			

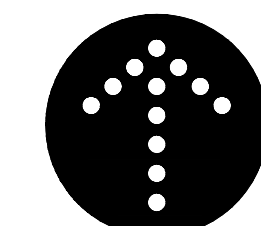
DRAINAGE AND UTILITY EASEMENTS
ARE SHOWN THUS:
(NOT TO SCALE)



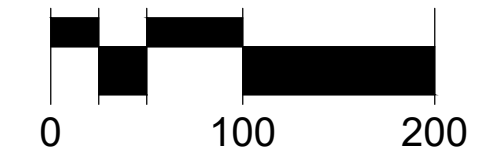
BEING 5 FEET IN WIDTH AND ADJOINING SIDE LOT LINES,
UNLESS OTHERWISE SHOWN AND 10 FEET IN WIDTH AND
ADJOINING REAR LOT LINES UNLESS OTHERWISE SHOWN
AND 10 FEET IN WIDTH AND ADJOINING RIGHT OF WAY LINES
UNLESS OTHERWISE SHOWN



Know what's Below.
Call before you dig.



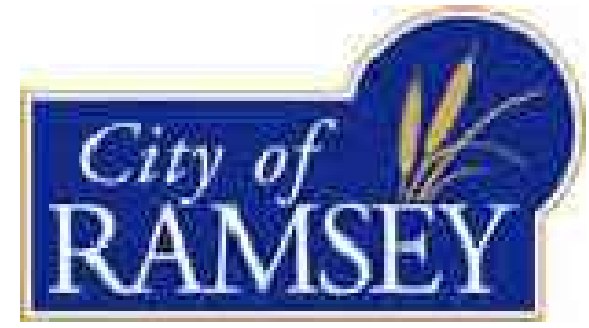
NORTH



DEVELOPER

PLATINUM LAND MN, LLC
5191 159TH AVE NW
ANDOVER, MN 55304
TEL 763-301-4550

MUNICIPALITY



PROJECT

NORTH BROOK
MEADOWS
RAMSEY, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
16 JUL 2021	PRELIMINARY PLAT SUBMITTAL	CNC

CERTIFICATION

I hereby certify that this plan was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer or Professional Land Surveyor in the State of MINNESOTA.

PRELIMINARY NOT FOR CONSTRUCTION

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

PRELIMINARY PLAT
07/16/2021



105 South Fifth Avenue Tel: 612-252-9070
Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

FILE NAME C002PLM001.dwg
PROJECT NO. PLM20001

PRELIMINARY PLAT
C0.2