

City of Ramsey
Agenda
Environmental Policy Board (EPB)
Monday, July 18, 2022
6:30 pm
Council Chambers, 7550 Sunwood Drive NW

Remote Attendance available at www.cityoframsey.com/meetings.
Those joining remotely and requesting to speak are asked to use a webcam when speaking.

1. **Call to Order**
2. **Citizen Input**
3. **Approve Agenda**
4. **Approve Minutes**
 1. Approve Meeting Minutes Dated May 16, 2022
5. **Policy Board Business**
 1. Consider Request for a Comprehensive Plan Amendment to Rearrange Areas Guided Low and Medium Density Residential (Project No. 22-126); Case of Green Valley Greenhouse
 2. Consider Natural Resources Aspects Related to the Proposed Water Treatment Facility (Project No. 22-104); Case of City of Ramsey
 3. 2023 Recycling Activities
6. **Board/Staff Input**
 - Summary of Rain Barrel/Compost Distribution Event
7. **Adjournment**

Environmental Policy Board (EPB)

4. 1.

Meeting Date: 07/18/2022

By: Chris Anderson, Community
Development

Information

Title:

Approve Meeting Minutes Dated May 16, 2022

Action:

Attachments

Meeting Minutes Dated May 16, 2022

Form Review

Inbox

Brian Hagen

Form Started By: Chris Anderson

Final Approval Date: 07/14/2022

Reviewed By

Brian Hagen

Date

07/14/2022 07:17 AM

Started On: 07/11/2022 09:09 AM

**ENVIRONMENTAL POLICY BOARD
CITY OF RAMSEY
ANOKA COUNTY
STATE OF MINNESOTA**

On Monday, May 16, 2022, the Environmental Policy Board (EPB) met in the Council Chambers at the Ramsey Municipal Center, 7550 Sunwood Drive N.W., Ramsey, Minnesota.

Members Present: Chairperson Laura Moore
 Board Member Todd Arts
 Board Member Reid Bernard
 Board Member Melissa Fetterley
 Board Member Michael Hiatt
 Board Member Jared Little

Members Absent: None

Also Present: Senior Planner Chris Anderson

1. CALL TO ORDER

Chairperson Moore called the meeting to order at 6:30 p.m.

2. CITIZEN INPUT

None.

3. APPROVE AGENDA

Motion by Board Member Little and seconded by Board Member Fetterley to approve the agenda as submitted.

Motion carried. Voting Yes: Chairperson Moore, Board Member Little, Fetterley, Arts, Bernard, and Hiatt. Voting No: None. Absent: None.

4. APPROVE MINUTES

4.01: Approve Meeting Minutes Dated April 18, 2022

Motion by Board Member Hiatt and seconded by Board Member Little to approve the regular meeting minutes dated April 18, 2022.

Motion carried. Voting Yes: Chairperson Moore, Board Member Hiatt, Little, Arts, Bernard, and Fetterley. Voting No: None. Absent: None.

5. POLICY BOARD BUSINESS

5.01: Consider Natural Resources Elements for PACT Charter School Site Plan,

Preliminary Plat and Final Plat (Project No. 22-107); Case of JB Vang on Behalf of PACT Charter School

Senior Planner Anderson presented the staff report. He stated that the City has received an application from JB Vang Partners on behalf of PACT Charter School for review of a Site Plan, Preliminary Plat and Final Plat related to a proposed new, second school campus to be located at 7633 161st Avenue NW. The subject property is presently owned by The Church of Saint Katharine Drexel. As the EPB will recall, the City previously reviewed a Sketch Plan along with requested Comprehensive Plan Amendment and Zoning Amendment related to the same project. The City Council ultimately approved the Comprehensive Plan Amendment and Zoning Amendment, contingent upon approval of the Preliminary Plat. He noted that several public comments were received related to drainage. He noted that those plans are being reviewed by the engineering department as well as the Lower Rum River Water Management Organization (LRRWMO), which is the Board that would review and approve of the stormwater management plans.

Chairperson Moore invited the applicant to address the Board.

Justin Fincher, JB Vang, spoke in representation of the applicant and stated that they have been working diligently for the past few months to develop more detailed plans for the project and stormwater management. He stated that they did look at relocating a smaller catch basin onsite in terms of stormwater management but was unsure if that needed to be addressed tonight.

Senior Planner Anderson replied that they did not need to review that level of specificity as that is not under the purview of this Board. He noted that the overall level of treatment would not be reduced by shifting the location of the basin.

Chairperson Moore referenced the northern corner and asked if that is a wetland or oak forest.

Senior Planner Anderson replied that area is delineated wetland, which is being reviewed by the LRRWMO. He stated that the oak forest area is to the west of that delineated wetland. He commented that there would be impacts to the oak forest area, but areas within the wetland setback would be protected. He commented that the majority of the trees on the school site would be removed as part of the project.

Chairperson Moore recognized that there has been discussion with the parks department to extend plantings into Central Park and asked for details.

Senior Planner Anderson replied that staff does not release its comments until the agenda for the public hearing is released, which will be later in the week, therefore the applicant has not seen those comments. He stated that he did have a brief discussion with the applicant prior to the meeting but did not want to put the applicant in the position to address comments he has not yet seen.

Chairperson Moore asked if 161st would need to be widened.

Senior Planner Anderson replied that the traffic study has been submitted and is being reviewed by City staff. He commented that improvements may be needed, but preliminarily that

improvement was not mentioned but it is still being reviewed and staff will provide comments at the Planning Commission meeting.

Board Member Fetterley stated that staff indicated that 444 trees were needed in total and that the applicant was not meeting that threshold. She asked if the applicant was aware they would be under the threshold.

Senior Planner Anderson replied that summary came from the tree preservation plan submitted by the applicant, therefore they are aware of the standards. He stated that it is not uncommon that those calculations need to be adjusted. He stated that this is not an official public hearing, as that will be held on May 26th by the Planning Commission. He noted that resident input can still be obtained tonight.

Chairperson Moore invited residents to provide input.

Jason Patrow, 16209 Sapphire Street NW, commented that he has concern with the vegetation being planted around the retention ponds. He commented that there will be steep banks and vegetation will be needed to prevent erosion. He also asked what would prevent water from spilling into the wetland.

Senior Planner Anderson replied that a staff member has made comments to suggest additional plantings on the downslope side to create root structure and stability. He reviewed the stormwater standards that would need to be met by the applicant and noted that engineering would be ensuring the plans and construction meet those requirements.

Ron Lindenberg, 7600 163rd Lane NW, commented that he previously spoke about the oak trees on his property which range in age from 75 to 125 years. He was concerned that the construction could impact trees on his property. He stated that he would not want changes to the subject property to impact other properties. He commented that water does travel through the system but was concerned that the removal of the trees on the subject property could negatively impact other properties.

Danielle Holder, 7826 161st Avenue, stated that she has a lot of concerns but will focus her comments tonight on the trees. She commented that there are old growth oaks throughout the site and trees replanted will never reach that size. She stated that the wildlife that relies on those trees will leave that area. She stated that 161st will most likely need to be widened because it is a narrow road and there will need to be room for buses and the mentioned trail, which will remove more trees.

Matt Boe, 7650 163rd Lane, echoed the comments made by the previous residents.

Amanda Patrow, 16209 Sapphire Street, stated that one of the main concerns she has is related to the floodplain area. She stated that she has another concern with noise and asked if a sound study has been completed.

Senior Planner Anderson replied that there will be a PA system.

Ms. Patrow commented that the neighborhood can already hear noise from Central Park and additional trees would help to buffer that noise. She stated that if this is going to go into a residential neighborhood, there should be assurance that this will not impact those homes. She stated that the staff presentation mentioned that Variolite St access was eliminated for safety reasons but noted that she watched the PACT School Board meeting, and it was said that option was eliminated because of a lack of funding.

Kristy Haight, 7600 163rd Lane NW, stated that there has been a large amount of rain in the last week which has filled the ditches. She stated that they have concern that removing the trees and developing the site could cause additional issues with water if the water is not managed appropriately on the site.

Mr. Patrow stated that the oak forest that will be removed to make space for the retention pond will also remove the shade provided by the forest to the wetland. He stated that could change the character of the wetland. He asked for additional details on a prevention system that would ensure that the pond does not overflow into the wetland.

Jeff Lubarski, 7826 161st Avenue, stated that he is concerned that all the traffic will now be placed on 161st which means the road needs to be widened and trees on adjacent properties will be damaged. He stated that if the road is widened it will also lend itself to commercial vehicles coming down the residential road. He was concerned with the safety of the children in the neighborhood because of the increased traffic.

Board Member Hiatt referenced the photos provided by residents related to rainfall levels and asked how often this situation is occurring.

Mr. Lindenberg replied that those photos are of his property and that typically happens a few times per season, maybe three times. He noted that the current system is not designed to handle much more water and confirmed that he has voiced concerns to the City in the past.

Mr. Fincher commented that funding was one aspect for eliminating Variolite, but it was not the only aspect of that decision. He stated that the way he understood it there are no specific light or noise ordinances that apply to this type of project. He stated that they have addressed the lighting concern with submission of their lighting plan. He stated that in terms of noise, they would be less programmed than Central Park in terms of how their football field would be used for events.

Board Member Hiatt asked the projected seating capacity for the football field.

Mr. Fincher estimated seating for 600, which would have 300 spaces per side. He noted that calculation is not exact but that would be the maximum.

Eric Meyer, Larson Engineering, commented that the stormwater management would be the same for the site, regardless of the type of development. He provided additional details on the LRRWMO stormwater management requirements that have to be met. He stated that with the platting of the property, the school would have the park dedication and dedication of right-of-way. He noted that the improvements to widen the road and add the trail would happen on the school and church properties.

Board Member Fetterley commented that it does sound like there is frequent filling of yards and wetlands now and asked if there would be a net zero flow or whether more water could even be moved out to help those other properties. She asked what would happen after development if there were issues with water flow.

Mr. Meyer commented that if there are drainage issues along 161st it would make sense to make those improvements when the improvements to the road are made.

Mr. Lindenberg commented that he coached at Central Park for ten years and noted that the proposed stadium is further north, near those homes. He stated that Central Park does not have stadium lighting or speakers but is still very bright and very loud. He commented that the football field will be much brighter and louder than the park activity.

Mr. Patrow commented that it sounds like the water from the pond would drain to the wetland, which he views as a concern. He commented on the contamination that would be contained in the runoff from the parking lot and fertilized areas on the school property that could damage the wetlands and plant communities.

Senior Planner Anderson asked the focus to come back to the purview of this Board. He noted that the comments related to drainage can be forwarded to the engineering department. He stated that impacts from deicing and fertilizers is not limited to this property and would apply to all residential and commercial properties.

Ms. Patrow asked when the traffic study was completed. She stated that she noticed the study on a Thursday, Friday, Saturday during Easter break therefore kids were only in school one of those days. She believed that in order to be accurate the study should be done on days kids are going to school and parents are going to work.

Ms. Holder commented that the MPCA states that noise pollution is considered anytime noise travels onto residential property in excess of 60 decibels for more than 50 percent of an hour. She stated that the park activity measured at 70 decibels in her child's room for seven hours. She stated that the MPCA also suggests that the City not place development in areas where it would impact residential properties. She stated that there is no room for a tree buffer to be installed with the development size proposed.

Mr. Fincher commented that the study was completed during three weekdays during peak school hours. He noted that a study was also done on Sunday in order to consider the plans for the church. He stated that information is detailed within the report that will be reviewed at the Planning Commission meeting. He stated that the stadium continues to be mentioned but the school is viewing this as field space for soccer and football and the area will not be programmed to the high level that Central Park is.

Board Member Fetterley commented that there are lots of things happening with the planning of this plot and the school use. She stated that in looking at this from the normal objective of the Board, specific to plantings and trees, she does not love the plan to remove large trees with replacement by small trees and/or restitution. She stated that she would prefer to see more trees preserved or planted on the school site, rather than spreading more onto Central Park.

Board Member Arts agreed with those comments.

Senior Planner Anderson stated that it is not uncommon to see adjustments to the number or quantity of trees on a plan. He stated that the Board could recommend that the required number of plantings be accommodated on site, but there has to be consideration that it would be hard to fit that number of trees without impacting growth characteristics therefore it could be helpful to allow additional plantings on Central Park property. He stated that the trees could be strategically placed in attempt to mitigate concerns raised.

Board Member Fetterley stated that the project is working well to meet the guidelines of the City. She stated that they can advocate for trees and the environment the best they can but must consider the rules in place as well.

Board Member Hiatt asked if there is a timeline on the reports from engineering and the LRRWMO, as that watershed issue is a key piece in this discussion.

Senior Planner Anderson replied that the City staff review should be wrapped up later this week to prepare for the public hearing that will be conducted by the Planning Commission. He noted that after that meeting, the case would be sent to the LRRWMO. He stated that the wetland delineation has been submitted to the LRRWMO for review as well.

Board Member Hiatt asked if the City considers stormwater retention an issue in this area currently.

Senior Planner Anderson replied that the stormwater management staff person is out of the office, therefore is he unsure if those photos are common. He stated that he does not doubt the statements of the residents but cannot confirm that either without that staff person.

Board Member Fetterley referenced the comments related to improvements to 161st and asked for details on that potential project.

Senior Planner Anderson replied that if this project is the premise to need to widen 161st, that would fall as a cost to the developer. He stated that the project is in the CIP for a reconstruction for 2024. He stated that there are discussions to perhaps move that to a 2023 project to better correspond with the timing of this project. He stated that improvements that would be needed because of the project (turn lanes, widening, trails) would be a cost of the developer. He stated that the developer is dedicating right-of-way on the north side of 161st, therefore those improvements, if needed, likely would go to the north.

Board Member Arts referenced the tree preservation along 161st and supports that. He stated that a trail was mentioned that would remove those plantings. He stated that he would recommend not to put the trail in and instead tie in Central Park to Variolite with sidewalks in order to preserve additional trees. He referenced the northeast portion of the property which shows a lot of tree removal. He believed that preservation of some of those trees would assist in providing a buffer as well.

Senior Planner Anderson commented that there are oaks in that area, which is classified as an oak forest, but there are other species of trees in there as well.

Chairperson Moore summarized some of the comments that had been received tonight and recognized that some revisions would be needed to the plan. She stated that the Board would like to see as many of the native plants and trees retained as possible. She recognized that technically speaking the requirements of the City have generally been met by the request.

Senior Planner Anderson recognized the comments of the Board to work with the applicant in an attempt to preserve additional trees in the northeast corner of the site and to maximize the reforestation onsite in strategically placed locations to mitigate resident concerns.

Board Member Hiatt asked if the Board could recommend a percentage of reforestation, such as no more than 50 percent of reforestation could be done monetarily.

Senior Planner Anderson commented that the Board could make that as part of its recommendation, and it would be the decision of the City Council as to whether to incorporate that into their action.

Motion by Board Member Fetterley and seconded by Board Member Little to recommend approval of the Landscape and Tree Preservation Plans, contingent upon compliance with staff review comments, the applicant review the plan to focus on preservation of trees in the northeast portion of the property, and that tree preservation be focused on the property with no more than 50 percent of the reforestation to occur through restitution.

Motion carried. Voting Yes: Chairperson Moore, Board Member Fetterley, Little, Arts, Bernard, and Hiatt. Voting No: None. Absent: None.

Senior Planner Anderson reminded the group that a public hearing will be held by the Planning Commission next week, at which time all staff review should be completed.

Board Member Fetterley thanked all the residents that came to speak tonight and recognized that this development proposal is causing some havoc in that neighborhood.

5.02: Arbor Day Recap

Senior Planner Anderson presented the staff report. He stated that on Friday, April 29, 2022, the City, in conjunction with a local Ramsey business, Dedicated Networks, celebrated Arbor Day by planting a ceremonial oak tree along with six maple trees. The planting event occurred at Dedicated Networks and the adjacent City owned property. Approximately 20 staff from Dedicated Networks participated in the event. Chairperson Moore kicked things off by talking about Arbor Day and some of the many benefits provided by trees. City staff also took the opportunity to review proper planting techniques with the volunteers. The event also satisfied the Tree City USA requirement of an observance of Arbor Day.

Chairperson Moore commented that it was a great event.

5.03: Rain Barrel and Compost Bin Sale Update

Senior Planner Anderson presented the staff report. He stated that as of Monday, May 9, 2022, there were 36 rain barrels and 42 compost bins still available for purchase. The Recycling

Association of Minnesota (RAM) has said that as other distribution events come and go, they are promoting this opportunity more and more to individuals interested in purchasing. Staff has information on the sale on the City's website and published information in the May/June issue of the *Ramsey Resident* newsletter. The distribution event will occur on June 13, 2022, from 3 p.m. to 6 p.m. at the City's Public Works facility.

Board Member Hiatt commented that he purchased a rain barrel last time and it has been great, noting that he waters his garden from the barrel.

Chairperson Moore noted that she did as well and agreed that it has worked out great.

6. BOARD / STAFF INPUT

- **Spring Recycling Day**

Senior Planner Anderson reported that the event was held on May 7th and reviewed the preliminary results.

Chairperson Moore noted the focus on the environment articles that will be included in the *Ramsey Resident*. She noted that a deadline was included showing when those articles would need to be provided to staff. She encouraged the members of the Board to provide articles to staff.

Board Member Little volunteered to write the tree trimming article.

7. ADJOURNMENT

Motion by Board Member Hiatt and seconded by Board Member Bernard to adjourn the meeting.

The meeting adjourned at 8:15 p.m.

Respectfully submitted,

Chris Anderson
Senior Planner

ATTEST:

Nicole Laubach
Planning Administrative Assistant

Drafted by Amanda Staple
TimeSaver Off Site Secretarial, Inc.

Environmental Policy Board (EPB)

5. 1.

Meeting Date: 07/18/2022

By: Chris Anderson, Community
Development

Information

Title:

Consider Request for a Comprehensive Plan Amendment to Rearrange Areas Guided Low and Medium Density Residential (Project No. 22-126); Case of Green Valley Greenhouse

Purpose/Background:

The City has received a Land Use Application from Green Valley Greenhouse (the "Applicant") for a Comprehensive Plan Amendment, Zoning Amendment, Plat, Site Plan, and Amended Conditional Use Permit related to their existing greenhouse operation. The request involves 6750 Green Valley Road and 17455 Nowthen Boulevard (together, the "Subject Properties"). Most of these actions are outside the purview of the Environmental Policy Board, with the exception of the requested Comprehensive Plan Amendment.

Notification:

The official public hearing, which will be held by the Planning Commission on July 28, 2022, will be noticed in the Anoka Union Herald, the City's official newspaper. Staff will also send out notification, via standard U.S. mail, to property owners within 700 feet of the Subject Properties.

Observations/Alternatives:

Project Summary and Background

The Applicant is in the process of acquiring 6750 Green Valley Road with the intention of expanding their greenhouse operation in the future. The property is approximately 28 acres in size and currently has a split zoning designation of R-1 Residential (MUSA) - 80 (about 18 acres) and R-2 Residential Medium Density (about 10 acres). This future land use designation for this property is also split between Low Density Residential (about 18 acres) and Medium Density Residential (about 10 acres). Commercial garden nurseries or greenhouses with buildings is a Conditional Use in the R-1 Residential District, but not in the R-2 Residential District. This is what is prompting the request for a Zoning Amendment and Comprehensive Plan Amendment.

The seller also owns the property to the south (17455 Nowthen Boulevard), which is about 36 acres in size. This property is zoned R-1 Residential (MUSA) - 80 and is guided as Low Density Residential. The seller is willing to 'swap' the zoning and land use designations over approximately equivalent 'buildable' acreage so that the expansion of the greenhouse operation can proceed in accordance with City Code. The proposal is to re-guide and rezone just under 7 acres of 6750 Green Valley Road from Medium Density Residential (R-2 Residential) to Low Density Residential (R-1 Residential MUSA - 80) and conversely, to re-guide and rezone approximately 7 acres of 17455 Nowthen Boulevard from Low Density Residential (R-1 Residential MUSA - 80) to Medium Density Residential (R-2 Residential). This would result in no net gain or loss of land intended for single family residential or medium density residential housing.

Natural Resources Information

There is a county ditch (encumbered with an easement), wetlands, and an 'undetermined' flood zone on 6750 Green Valley Road. There is also tree cover following the ditch area (the remainder of this parcel is farmland). The City's Natural Resources Inventory (NRI) indicates an 'altered/non-native plant community' along the county ditch. Any future residential development would be subject to the standard review process by the City, including the EPB reviewing the natural resources aspects of the project. At this time, there is no residential project proposed and the greenhouse expansion does not appear to impact the wetlands, ditch area, or existing trees.

Funding Source:

All costs associated with this request are the Applicant's responsibility.

Action:

Staff recommends approval of the requested Comprehensive Plan Amendment as there is no net loss of either land use designation.

Attachments

Site Location Map

Site Plan

Current and Proposed Zoning and Land Use Designations

Form Review

Inbox

Brian Hagen

Form Started By: Chris Anderson

Final Approval Date: 07/14/2022

Reviewed By

Brian Hagen

Date

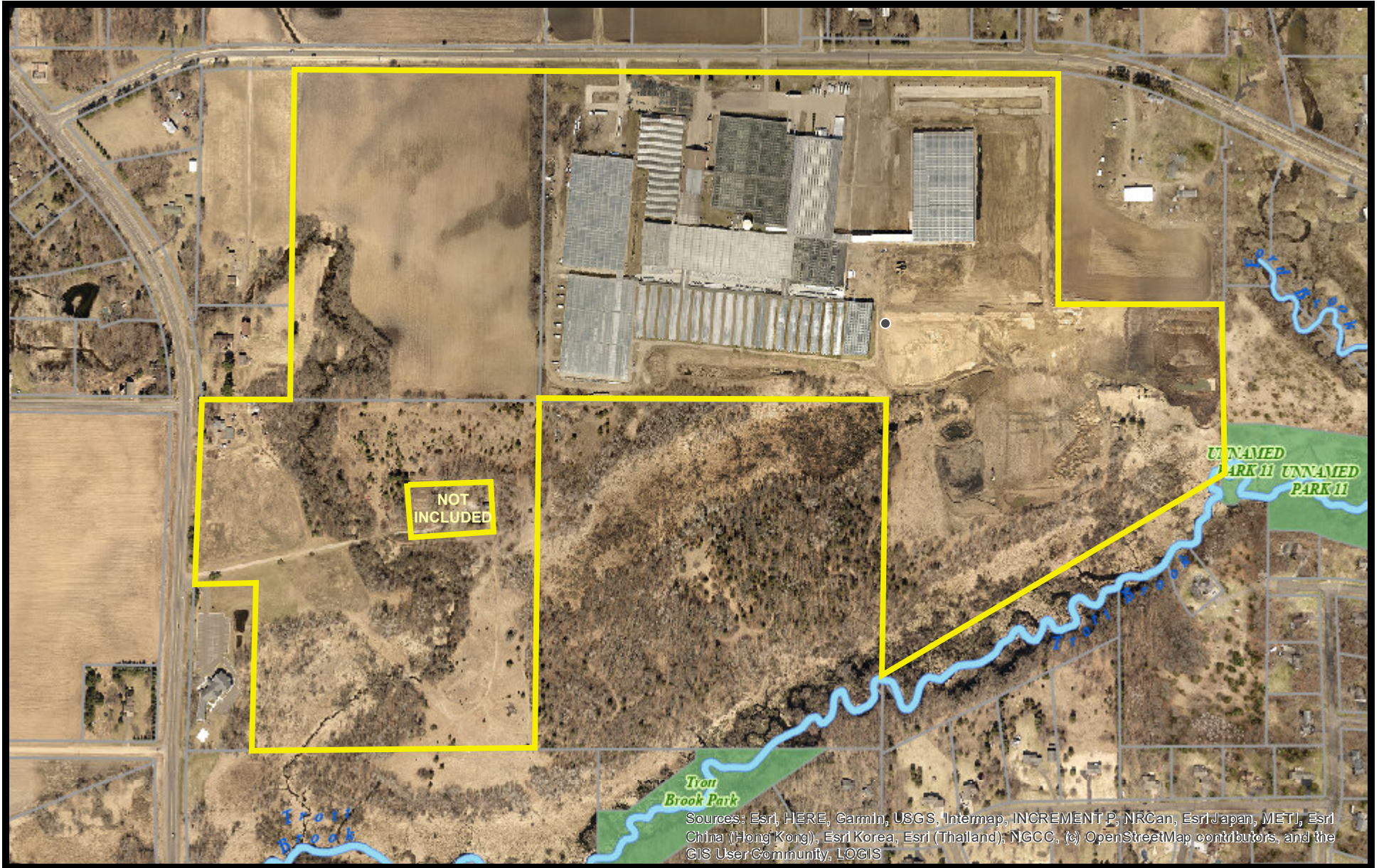
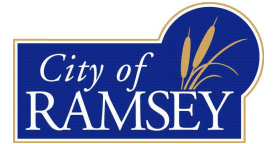
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PID #'s:
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03-32-25-43-0006
03-32-25-41-0005

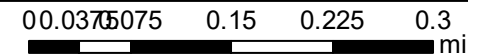
Green Valley Greenhouse

6530 and 6750 Green Valley Road NW



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community, LOGIS

Print Date: July 12, 2022



CERTIFICATE OF SURVEY/SKETCH PLAN/SITE PLAN

~for~ GREEN VALLEY GREENHOUSE
 ~of~ PROPOSED DAVIS FARMS SECOND ADDITION

PROPERTY DESCRIPTION

- Parcel 1:
 Lot 1, Block 1, HUNT ADDITION, Anoka County, Minnesota.
- Parcel 2:
 Lot 2, Block 1, TROTT BROOK ADDITION, Anoka County, Minnesota.
- Parcel 3:
 Lot 1, Block 1, DAVIS FARMS ADDITION, Anoka County, Minnesota.

NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 6/9/2022.
- Bearings shown are on Anoka County datum.
- Parcel ID Numbers:
 03-32-25-42-0002 (Parcel 1)
 03-32-25-43-0003 (Parcel 2)
 03-32-25-41-0005 (Parcel 3)
- Curb shots are taken at the top and back of curb.
- This survey was prepared using a Title Commitment No. 86728, issued by Gibraltar Title Agency, LLC as agent for Stewart Title Guaranty Company. The Title Commitment is dated effective on May 16, 2022.

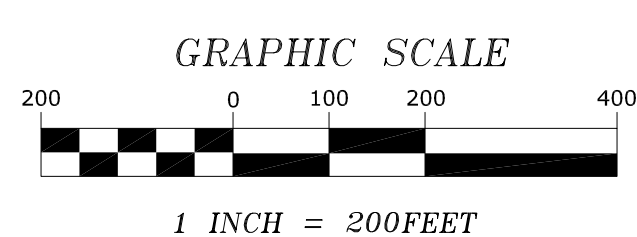
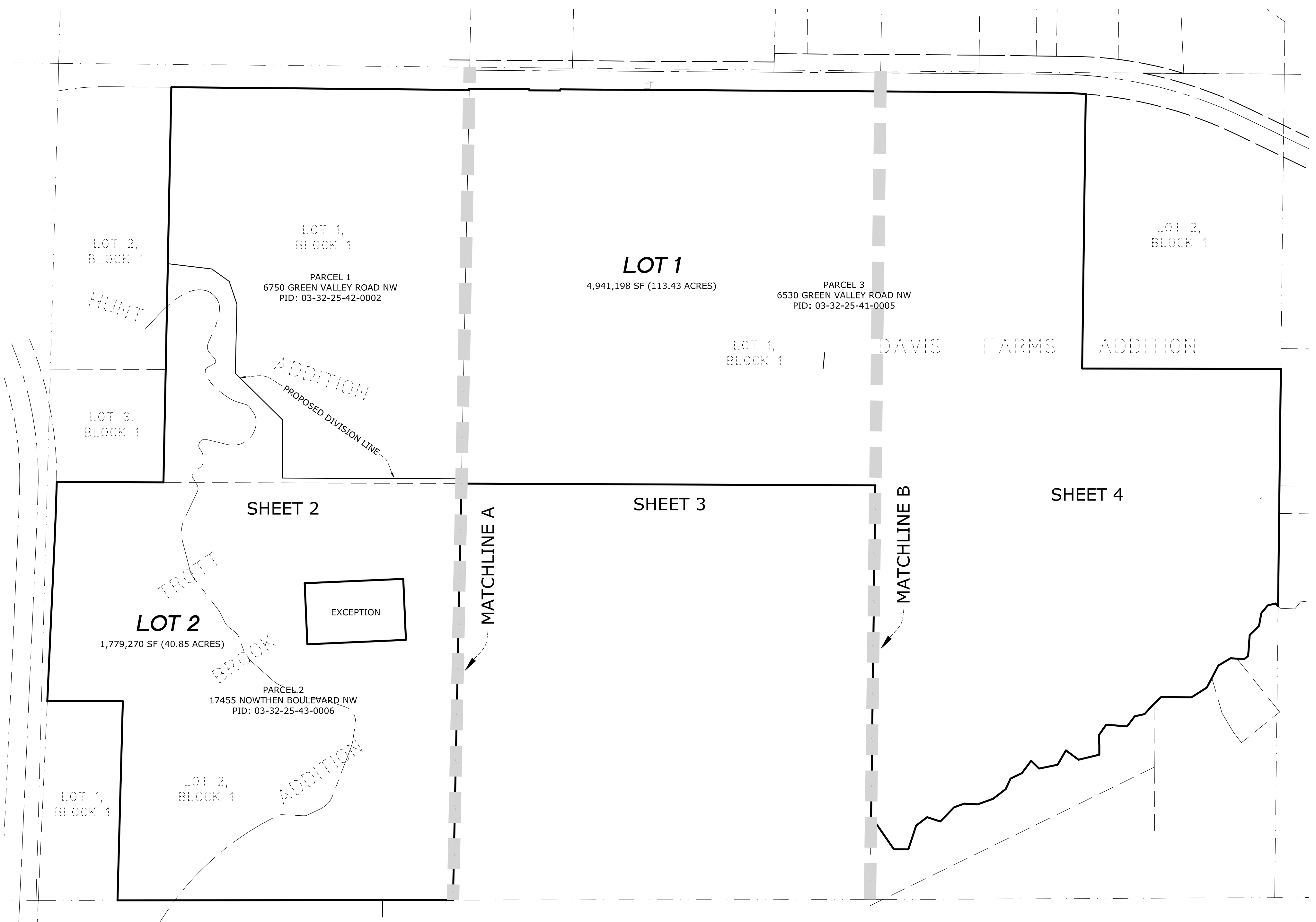
LEGEND

- DENOTES IRON MONUMENT FOUND MARKED RLS 41578 (UNLESS OTHERWISE NOTED)
 - DENOTES IRON MONUMENT SET, MARKED RLS# 41578
 - ⊙ DENOTES ANOKA COUNTY CAST IRON MONUMENT
 - X 952.36 DENOTES EXISTING SPOT ELEVATION
 - OHU — CD — DENOTES EXISTING CONTOURS
 - X — X — DENOTES POWER POLE AND OVERHEAR WIRES
 - X — X — DENOTES FENCE
 - DENOTES ELECTRICAL BOX
 - DENOTES TELEPHONE PEDESTAL
 - DENOTES FIBER OPTIC BOX
 - ◀ DENOTES STORM SEWER APRON
 - ⊙ DENOTES WELL
 - Δ — DENOTES RIGHT OF ACCESS DEDICATED TO ANOKA COUNTY PER PLAT OF DAVIS FARMS ADDITION
 - WET — DENOTES WETLAND DELINEATED BY JACOBSON ENVIRONMENTAL IN 2017
 - DENOTES BITUMINOUS SURFACE
 - DENOTES CONCRETE SURFACE
 - DENOTES GRAVEL SURFACE
 - DENOTES PAVER SURFACE
 - DENOTES ADJACENT PARCEL OWNER INFORMATION (PER ANOKA COUNTY TAX INFORMATION)
- PN No. 17-119-22-14-0008
 Owner: City of S
 Address: Unassigned

BENCHMARK

ANOKA COUNTY BENCHMARK NO. 3078
 ELEVATION 867.97 (NAVD88)

OVERALL PARCEL SKETCH



I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD
 Date: 6/22/2022 License No. 41578

E. G. RUD & SONS, INC.
 EST. 1977 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701
 www.egrud.com

DRAWN BY: BAB	JOB NO: 17457PP	DATE: 6/21/2022	
CHECK BY: JER	FIELD CREW: RW/MR		
1			
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NO.	DATE	DESCRIPTION	BY

CERTIFICATE OF SURVEY/SKETCH PLAN/SITE PLAN

~for~ GREEN VALLEY GREENHOUSE
 ~of~ PROPOSED DAVIS FARMS SECOND ADDITION

SEE SHEET 1 FOR LEGEND AND NOTES

NORTH



MATCHLINE A
 (SEE SHEET 3 OF 4 SHEETS)

PN No. 03-32-25-13-0001
 Owner: Ronald Hunt Trustee
 Address: 6787 Green Valley Rd, NW

PN No. 03-32-25-13-0001
 Owner: HUNT RONALD E & JUDITH A
 Address: UNASSIGNED

PN No. 03-32-25-14-0001
 Owner: Matthew Baird
 Address: 6501 Green Valley Rd, NW

PN No. 03-32-25-42-0003
 Owner: Ernest Mjha
 Address: 6780 Green Valley Rd, NW

PN No. 03-32-25-42-0005
 Owner: Ryan Hunt
 Address: 17225 Nowthen Blvd, NW

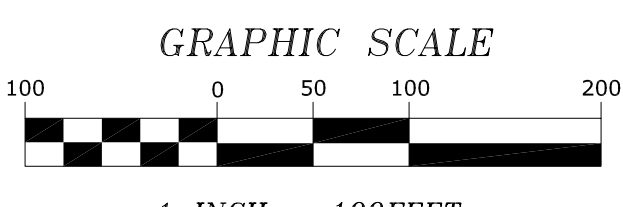
PN No. 03-32-25-43-0004
 Owner: Spencer Butler Jr, Trustee
 Address: 17405 Nowthen Blvd, NW

PN No. 03-32-25-43-0005
 Owner: Trott Brook Hall
 Address: 17301 Nowthen Blvd, NW

PN No. 10-32-25-12-0009
 Owner: Janice Wright Trustee
 Address: 17105 Nowthen Blvd, NW

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD
 Date: 6/22/2022 License No. 41578



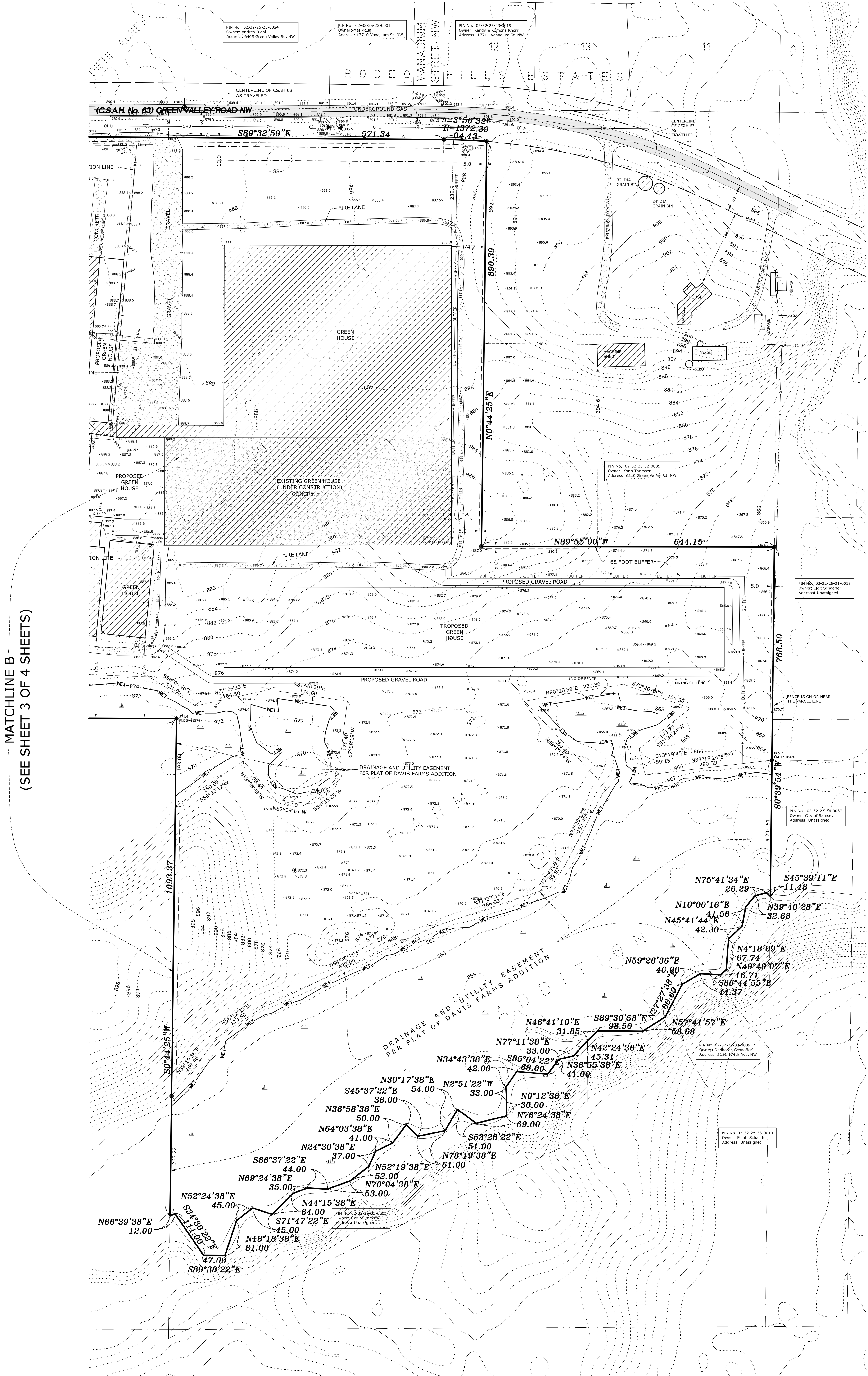
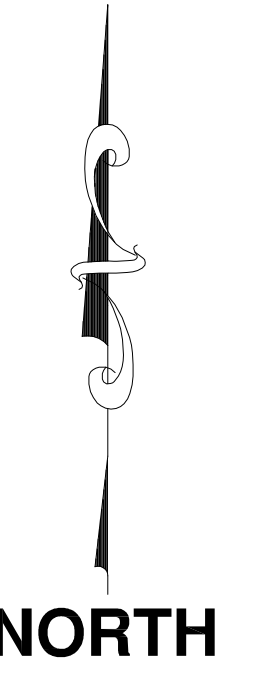
E. G. RUD & SONS, INC.
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DRAWN BY: BAB	JOB NO: 17457PP	DATE: 6/21/2022	
CHECK BY: JER	FIELD CREW: RW/MR		
1			
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NO.	DATE	DESCRIPTION	BY

CERTIFICATE OF SURVEY/SKETCH PLAN/SITE PLAN

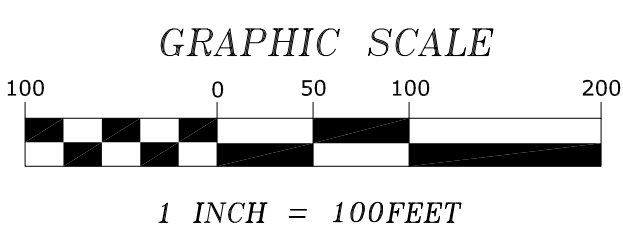
~for~ GREEN VALLEY GREENHOUSE
 ~of~ PROPOSED DAVIS FARMS SECOND ADDITION

SEE SHEET 1 FOR LEGEND AND NOTES



MATCHLINE B
(SEE SHEET 3 OF 4 SHEETS)

E. G. RUD & SONS, INC.
 Professional Land Surveyors
 6776 Lake Drive NE, Suite 110
 Lino Lakes, MN 55014
 Tel. (651) 361-8200 Fax (651) 361-8701

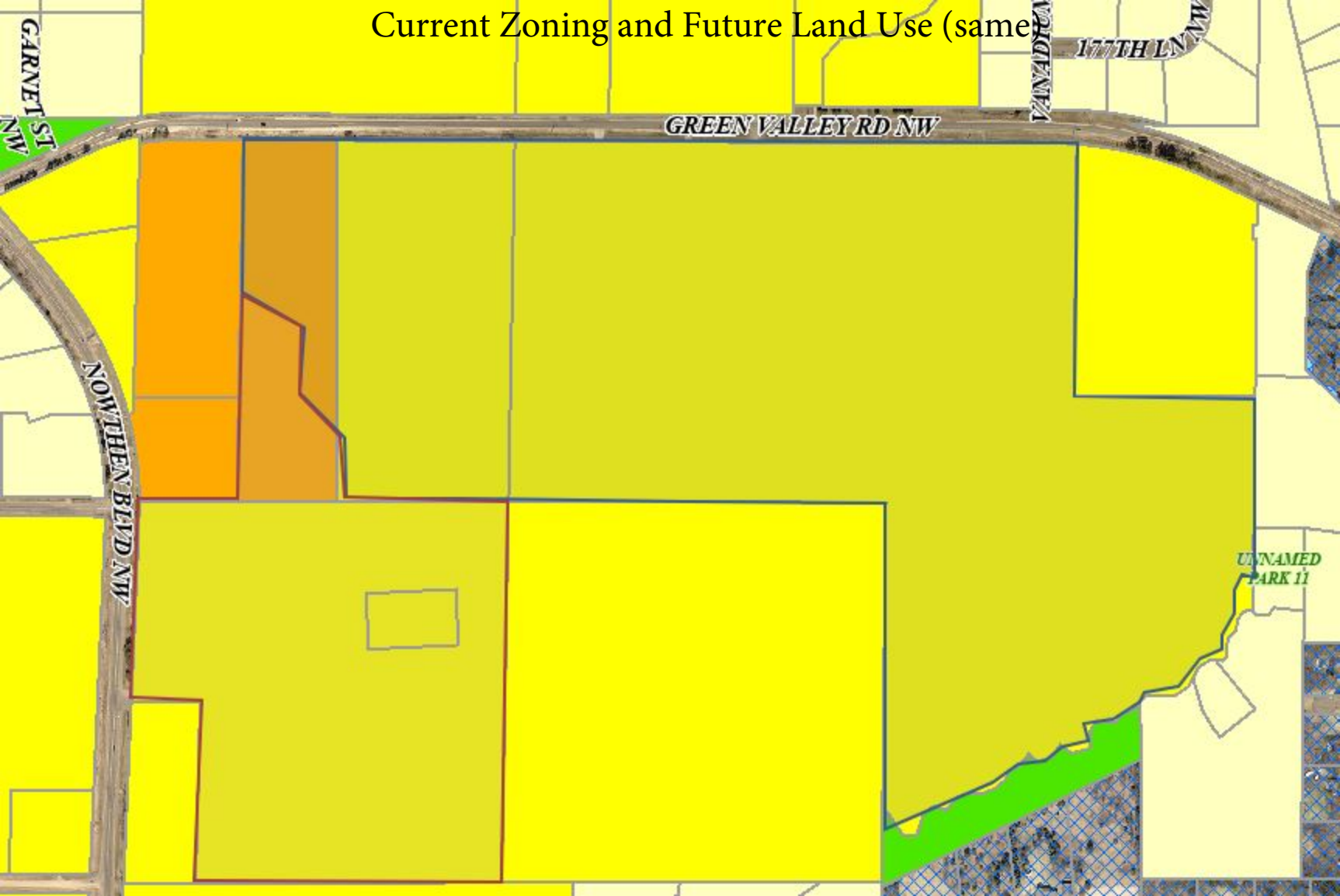


I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

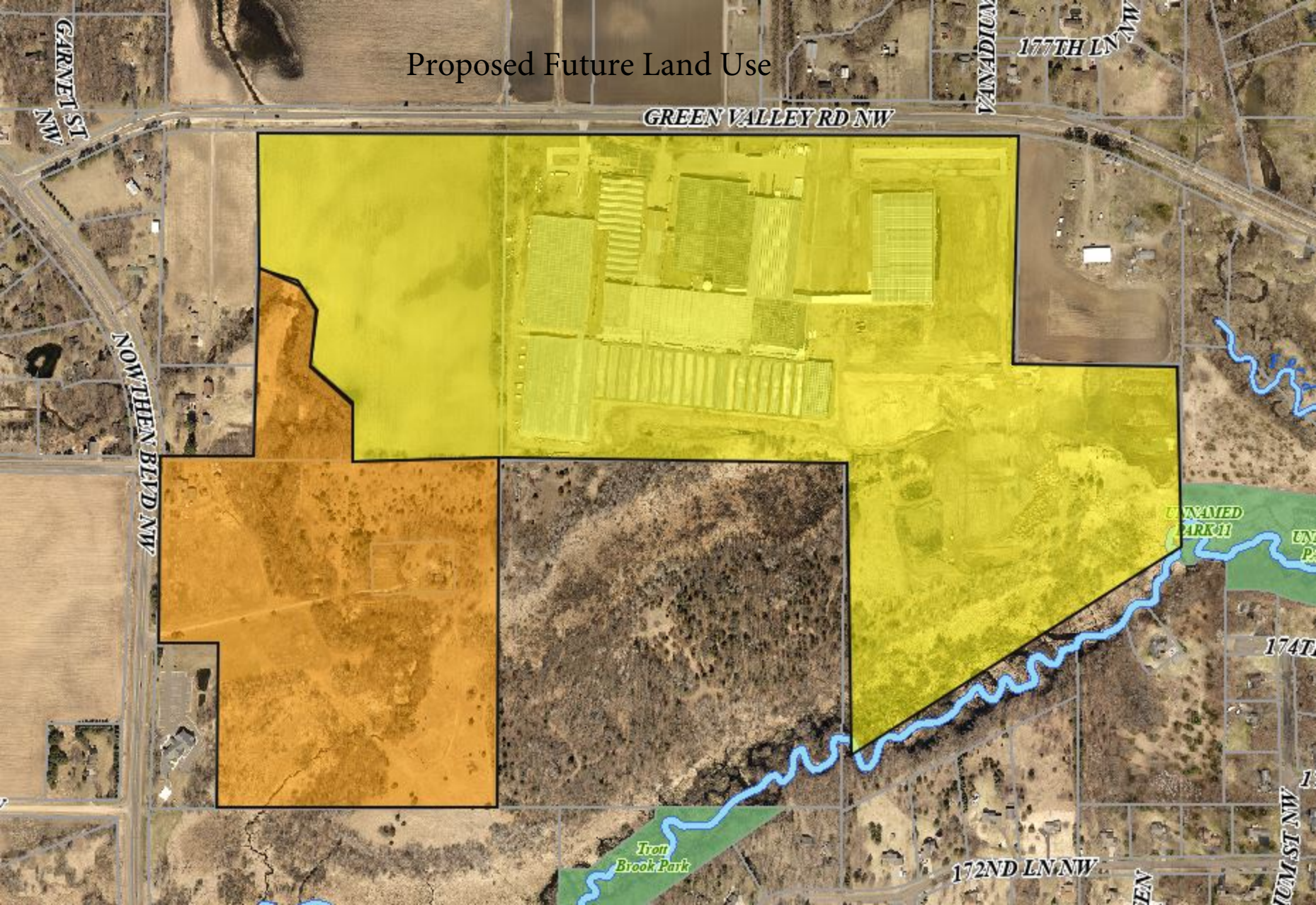
Jason E. Rud
 JASON E. RUD
 Date: 6/22/2022 License No. 41578

DRAWN BY: BAB	JOB NO: 17457PP	DATE: 6/21/2022	
CHECK BY: JER	FIELD CREW: RW/MR		
1			
2			
3			
NO.	DATE	DESCRIPTION	BY

Current Zoning and Future Land Use (same)



Proposed Future Land Use



GARNET ST NW

NORTHEN BLVD NW

GREEN VALLEY RD NW

VANADIUM

177TH LN NW

UNNAMED PARK #1

UNNAMED PARK #2

174TH

Iron Brook Park

172ND LN NW

NORTHEN

IRON ST NW

Meeting Date: 07/18/2022

By: Chris Anderson, Community
Development

Information

Title:

Consider Natural Resources Aspects Related to the Proposed Water Treatment Facility (Project No. 22-104); Case of City of Ramsey

Purpose/Background:

The City is proposing the construction of a Water Treatment Facility that would be located directly north of the new Public Works campus at 14199 Jaspar St NW (the "Subject Property"). The Water Treatment Facility is designed to remove iron and manganese from the municipal drinking water system and will have the capacity to treat up to 10 million gallons per day. The Water Treatment Facility will not only remove iron and manganese from the drinking water, but it is estimated that approximately 6 million gallons of water per year could be conserved as water main flushing will no longer need to be conducted in the spring and fall.

Observations/Alternatives:

Project Summary

The parcel for the Water Treatment Facility would be approximately 4.21 acres in size. The proposed facility would be approximately 19,000 square feet in area, resulting in 10.4% building coverage. The Subject Property is zoned E-2 Employment District and Governmental and Public Utility Buildings and Structures are a permitted use.

Natural Resources Inventory and Minnesota Land Cover Classification System

The City's Natural Resources Inventory (NRI) does not identify any natural plant communities on the Subject Property. Foster Cemetery, which abuts the Subject Property to the south and east, is identified as an Oak Forest of moderate quality in the NRI. No trees within the cemetery will be impacted; however, two (2) trees on the outer edge of this woodland will be removed.

The Minnesota Land Cover Classification System (MLCCS) identifies the Subject Property as 'Urban with Little Vegetative Cover'.

Wetlands and Floodplain

The National Wetlands Inventory (NWI) does not identify any wetlands on the Subject Property. The entirety of the Subject Property is considered to be in Flood Zone X, which indicates it is outside of any designated flood zone.

Tree Inventory and Preservation Plan

The bulk of the Subject Property is devoid of tree cover, with the exception of around the edge of Foster Cemetery and in the northwest corner, where there are planted trees (this area is presently outside the limits of proposed disturbance). After visiting the site, the only trees on site impacted by the proposed improvements are Siberian elm and black locust, both of which are considered invasive species. Per the Existing Conditions and Removals Plan Sheet, only two (2) trees (both are Siberian elms) are slated for removal. The remainder of the trees are proposed to be preserved or are on the proposed second lot (at the intersection of 143rd Avenue and Jaspar Street).

Staff is seeking input specifically on the trees slated to be preserved, which are all considered to be invasive species. Considering the moderate quality oak woodland in the cemetery and the proposed native prairie area around the reservoir, Staff would recommend removal of these trees. This would reduce the seed pool and thus, reduce the potential introduction into both an existing and proposed native plant community.

Landscape Plan

The proposed Landscape Plan includes a mix of deciduous and coniferous trees. As proposed, the plan meets/exceeds the required canopy cover requirements. The combination of species is acceptable as well. The site will be established with a low maintenance turf along the north and east sides; a stormwater seed mix along the western boundary (this is another native seed mix); and a mesic prairie seed mix around the water reservoir and along the southern boundary (abutting the Public Works Facility property). Staff supports the proposed groundcover, but is requesting a detailed, 3-5 year maintenance plan to help ensure proper establishment of the native plants.

Funding Source:

Review of this project is being handled as part of Staff's regular duties.

Action:

Motion to recommend approval of the natural resources elements of the plan set, contingent upon compliance with Staff's review comments.

Attachments

Site Location Map

Site Plan

Existing Conditions and Removals Plan

Landscape Plan

Form Review

Inbox

Brian Hagen

Form Started By: Chris Anderson

Final Approval Date: 07/14/2022

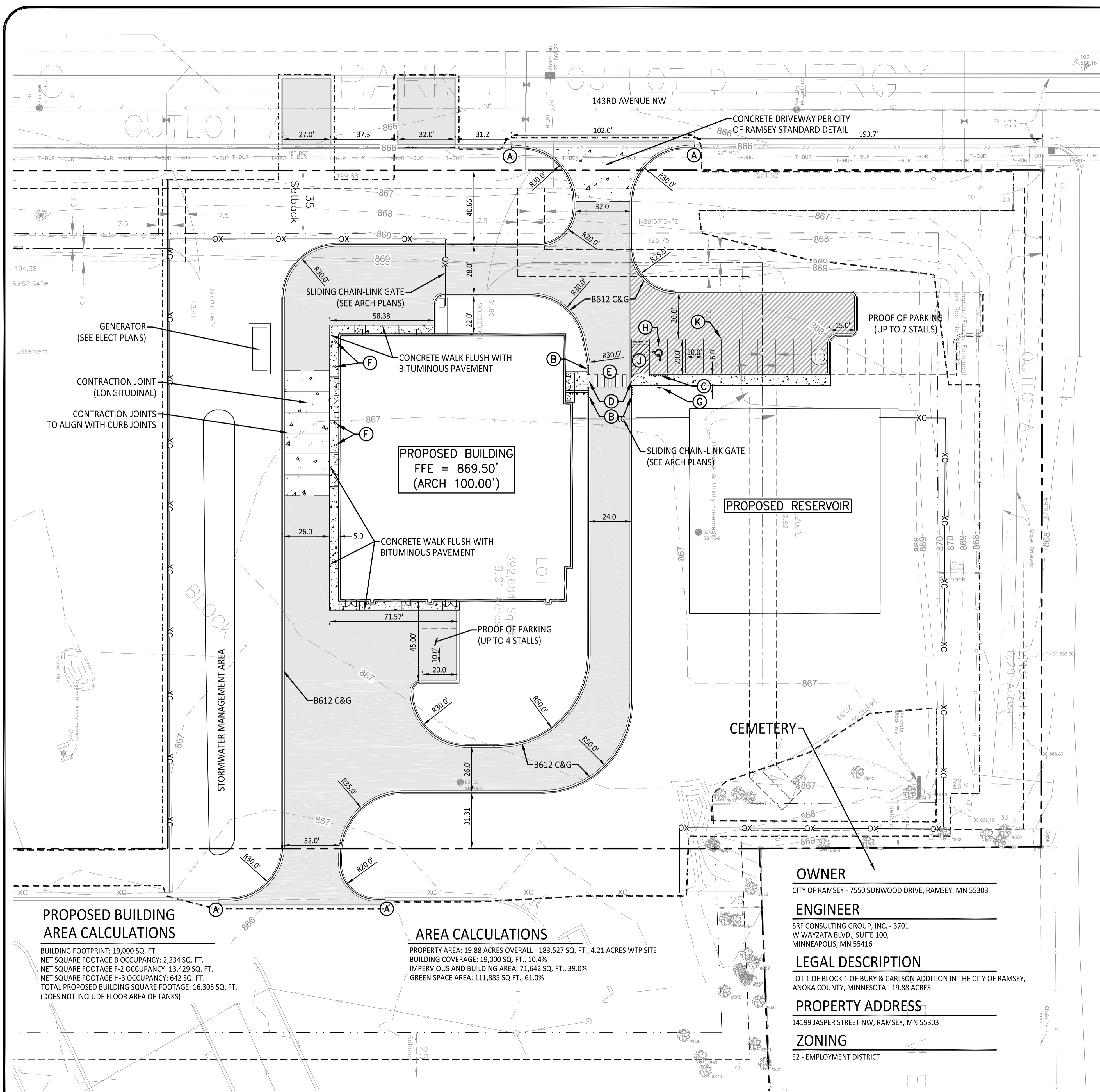
Reviewed By

Brian Hagen

Date

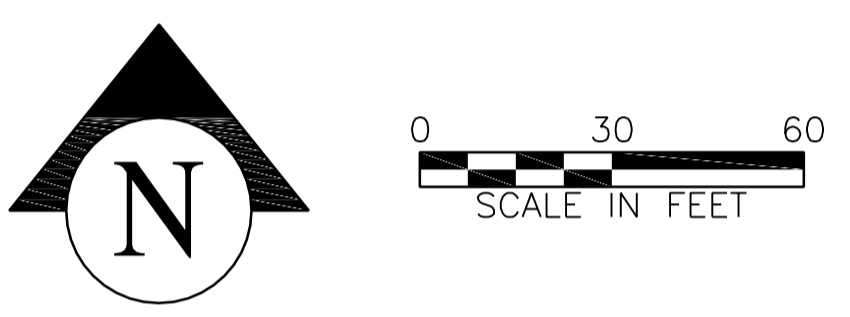
07/14/2022 09:36 AM

Started On: 07/11/2022 09:28 AM



SITE LEGEND

- PROPERTY LINE
- - - EASEMENT
- - - SETBACK LINE (PER CODE)
- EXISTING CONDITIONS
- [Hatched Box] LIGHT-DUTY BITUMINOUS PAVEMENT
- [Solid Grey Box] HEAVY-DUTY BITUMINOUS PAVEMENT
- [Dotted Box] 6" CONCRETE WALK
- [Cross-hatched Box] 8" CONCRETE DRIVEWAY PAVEMENT
- == CURB AND GUTTER
- XC- CHAIN LINK FENCE (SEE ARCH. PLANS)
- [Light Pole Symbol] PARKING LOT POLE LIGHT (SEE ELEC. PLANS)
- (16) PARKING SPACES PER ROW
- - - LIMITS OF DISTURBANCE



SITE NOTES

1. SEE EXISTING CONDITIONS AND REMOVAL PLAN, ALONG WITH ANY RELATED SURVEYS FOR DETAILS ON PROPERTY BACKGROUND INFORMATION.
2. REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION ON BUILDINGS, MONUMENT SIGNS, TRASH ENCLOSURES, AND OTHER RELATED ITEMS. VERIFY WITH ARCHITECTURAL PLANS THE EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, TRUCK DOCKS/SERVICE, AND OTHER RELATED BUILDING ITEMS.
3. SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING LOCATIONS, DETAILS AND PHOTOMETRICS.
4. ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF CONCRETE, OR EXTERIOR FACE OF BUILDING, UNLESS NOTED OTHERWISE.
5. ALL CURB RADII SHALL BE 5.0 FEET (TO FACE OF CURB), UNLESS OTHERWISE NOTED.
6. ALL CURB AND GUTTER SHALL BE CONCRETE B612 UNLESS OTHERWISE NOTED.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS, AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS, OR AS APPROVED.
8. BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER, OR AS NOTED. PAVEMENT AND OTHER IMPROVEMENTS TO ADHERE TO ALL AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS FOR ACCESSIBILITY, INCLUDING SLOPE. CONTACT ENGINEER IMMEDIATELY INVOLVING ANY DISCREPANCIES.
9. CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
10. CONTRACTOR SHALL PROVIDE ALL CONSTRUCTION STAKING.
11. CONTRACTOR SHALL PROVIDE ALL SITE GOVERNMENTAL PERMITS AND FEES.

SIGNAGE AND STRIPING NOTES

1. ALL TRAFFIC SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE STANDARDS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD), OR AS NOTED OTHERWISE.
2. PARKING LOT STRIPING SHALL BE 4" WIDE COLOR WHITE, TWO COATS OF PAINT. CONTRACTOR SHALL PAINT ANY/ALL DIRECTIONAL TRAFFIC ARROWS AS SHOWN IN WHITE (TWO COATS).
3. ACCESSIBLE PARKING SIGNS AND MARKINGS PER LATEST ADA CODE AND REQUIREMENTS. CONTRACTOR SHALL PAINT THE INTERNATIONAL SYMBOL OF ACCESSIBILITY IN EACH DESIGNATED ACCESSIBLE STALL IN BLUE BACKGROUND WITH WHITE BORDER (TWO COATS OF PAINT). CONTRACTOR SHALL PAINT THE WORDS "NO PARKING" IN EACH ACCESSIBLE ISLE ADJACENT TO AN ACCESSIBLE SPACE IN WHITE LETTERS MINIMUM 12" IN HEIGHT. SIGNS TO BE LOCATED AT THE HEAD OF THE PARKING SPACE. SEE ACCESSIBLE PARKING DETAILS.
4. ALL SIGNS SHALL INCLUDE MOUNTING HARDWARE, POST, CONCRETE FOOTING AND CASING WHERE REQUIRED. CONCRETE CASING REQUIRED IN LOCATIONS WHERE POST IS NOT PROTECTED BY CURB.
5. IF NOTED, ALL STOP SIGNS SHALL INCLUDE A 12" WIDE PAINTED STOP BAR IN WHITE PAINT (TWO COATS) PLACED AT THE STOP SIGN LOCATION, A MINIMUM OF 4' FROM CROSSWALK. ALL STOP BARS SHALL EXTEND FROM DIRECTIONAL TRANSITION BETWEEN LANES TO THE CURB.
6. ALL SIGNS SHALL BE PLACED 18" BEHIND THE BACK OF CURB, UNLESS OTHERWISE NOTED.

(A) SITE KEY NOTES

- A. MATCH INTO EXISTING BITUMINOUS AND CURB & GUTTER
- B. CONCRETE CURB AND GUTTER - TAPER (5 FT LENGTH)
- C. CONCRETE CURB AND GUTTER - TAPER (5% MAX SLOPE)
- D. CONCRETE CURB AND GUTTER - FLUSH (0" HEIGHT; SEE GRADING PLAN)
- E. CROSSWALK PAVEMENT MARKINGS (FIVE 2' X 7' BARS WITH 2' SPACING)
- F. CONCRETE BOLLARD (SEE DETAIL)
- G. TRAFFIC SIGNAGE - INSTALL ACCESSIBLE PARKING SIGN (R7-8m) AND VAN ACCESSIBLE SIGN (R7-8b) PER MINNESOTA BUILDING CODE
- H. PAVEMENT MARKING - INTERNATIONAL SYMBOL OF ACCESSIBILITY
- J. PAVEMENT MARKING - "NO PARKING" AND ADA ACCESS AISLE CROSS HATCH STRIPING
- K. PAVEMENT MARKING - 4" WHITE STRIPING (PAINT)

PROPOSED BUILDING AREA CALCULATIONS

BUILDING FOOTPRINT: 19,000 SQ. FT.
 NET SQUARE FOOTAGE B OCCUPANCY: 2,234 SQ. FT.
 NET SQUARE FOOTAGE F-2 OCCUPANCY: 13,429 SQ. FT.
 NET SQUARE FOOTAGE H-3 OCCUPANCY: 642 SQ. FT.
 TOTAL PROPOSED BUILDING SQUARE FOOTAGE: 16,305 SQ. FT.
 (DOES NOT INCLUDE FLOOR AREA OF TANKS)

AREA CALCULATIONS

PROPERTY AREA: 19.88 ACRES OVERALL - 183,527 SQ. FT., 4.21 ACRES WTP SITE
 BUILDING COVERAGE: 19,000 SQ. FT., 10.4%
 IMPERVIOUS AND BUILDING AREA: 71,642 SQ. FT., 39.0%
 GREEN SPACE AREA: 111,885 SQ. FT., 61.0%

OWNER

CITY OF RAMSEY - 7550 SUNWOOD DRIVE, RAMSEY, MN 55303

ENGINEER

SRF CONSULTING GROUP, INC. - 3701 W WAYZATA BLVD., SUITE 100, MINNEAPOLIS, MN 55416

LEGAL DESCRIPTION

LOT 1 OF BLOCK 1 OF BURY & CARLSON ADDITION IN THE CITY OF RAMSEY, ANOKA COUNTY, MINNESOTA - 19.88 ACRES

PROPERTY ADDRESS

14199 JASPER STREET NW, RAMSEY, MN 55303

ZONING

E2 - EMPLOYMENT DISTRICT

HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: MICHAEL C. AARON
 PRINT NAME: MICHAEL C. AARON
 DATE: 6/20/2022 LIC. NO.: 25721

SYM	DATE	DESCRIPTION	APPR

SRF
AES

RAMSEY WATER TREATMENT PLANT
 CITY OF RAMSEY
 RAMSEY, MINNESOTA

SITE PLAN

DRAWING TYPE
PRELIMINARY

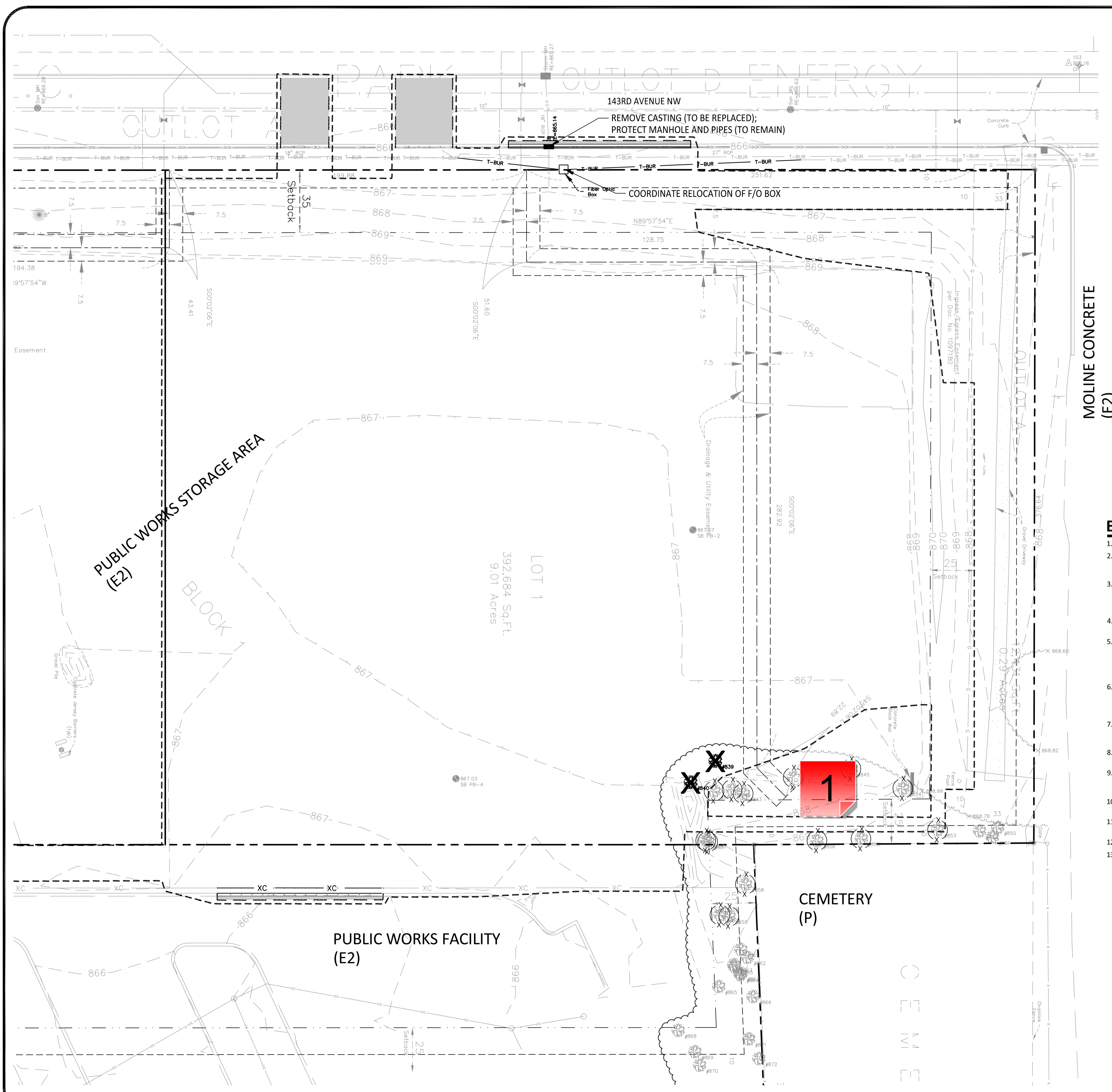
PREPARED BY
 BPR

CHECKED / APPROVED
 MCA/MCA

DATE
 JUNE 2022

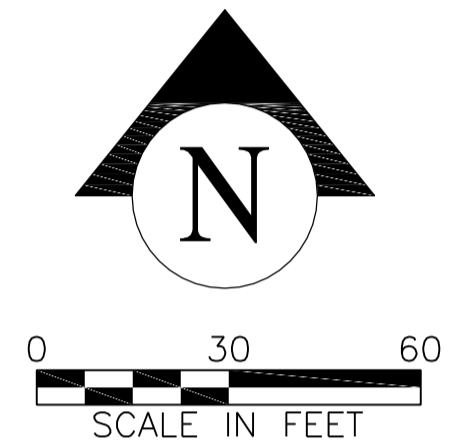
PROJECT NUMBER
 05434-2020-002

DRAWING
C200



REMOVALS LEGEND

- PROPERTY LINE
- EXISTING TOPOGRAPHY TO REMAIN (GRAY/FADED LINEWORK, TYP.)
- ITEMS TO BE REMOVED (BLACK LINEWORK, TYP.)
- REMOVE BITUMINOUS PAVEMENT
- CLEAR AND GRUB (TREE)
- TREE PROTECTION
- SAWCUT PAVEMENT (FULL-DEPTH)
- REMOVE CURB AND GUTTER
- REMOVE CHAIN-LINK FENCE
- LIMITS OF DISTURBANCE



EXISTING CONDITIONS AND SITE REMOVALS NOTES

1. EXISTING CONDITIONS BASED ON TOPOGRAPHIC SURVEY BY SRF CONSULTING GROUP, DATED 11-23-2021.
2. CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION, AND NOTIFYING THE CIVIL ENGINEER AND OWNER IMMEDIATELY OF ANY DISCREPANCIES. THIS INCLUDES, BUT NOT LIMITED TO, TOPOGRAPHY, ELEVATIONS, UTILITIES, VEGETATION, AND OTHER RELATED ITEMS.
3. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL UTILITY LOCATES. THE CONTRACTOR SHALL SUBMIT A TICKET FOR PUBLIC UTILITY LOCATES 48 HOURS PRIOR TO ANY GRADING, EXCAVATION, OR UTILITY WORK THROUGH "GOPHER STATE ONE CALL" (GSOC) AT WWW.GSOC.SUBMIT.ORG, OR CALLING 811, ALONG WITH ANY FOLLOW-UP TO MISSING INFORMATION. THE CONTRACTOR MUST HIRE A PRIVATE UTILITY LOCATING SERVICE TO LOCATE PRIVATE UTILITIES IN THE CONSTRUCTION AREA PRIOR TO ANY EXCAVATION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
4. CONTRACTOR SHALL PLACE ALL NECESSARY EROSION CONTROL MEASURES REQUIRED TO MAINTAIN SITE STABILITY PRIOR TO EXECUTING ANY SITE REMOVALS AND IMPROVEMENTS. SEE EROSION CONTROL PLAN AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND RELATED DOCUMENTS.
5. CONTRACTOR SHALL COORDINATE LIMITS OF REMOVALS WITH PROPOSED IMPROVEMENTS AND FIELD VERIFY CONDITION OF EXISTING APPURTENANCES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, REPAIRING, OR REPLACING MISCELLANEOUS ITEMS (SUCH AS FENCES, SIGNS, IRRIGATION HEADS, ETC.) THAT MAY BE DAMAGED BY CONSTRUCTION. CONTRACTOR SHALL PROTECT SURFACE AND SUBSURFACE FEATURES NOT NOTED FOR REMOVAL. PROVIDE SAWCUT AT PAVEMENT EDGE REMOVAL. PROVIDE SMOOTH TRANSITION OF ANY REMOVAL OR IMPROVEMENTS AT DISTURBANCE EDGE. HAUL AND DISPOSE OF ALL REMOVAL ITEMS OFF-SITE.
6. CONTRACTOR SHALL DEMOLISH AND REMOVE ALL ITEMS ILLUSTRATED ON THE PLANS AND OTHER ITEMS, AS NECESSARY FOR THE PROJECT AND RELATED IMPROVEMENTS. THIS INCLUDES ITEMS SUCH AS BUILDINGS, ACCESSORY STRUCTURES, FOUNDATIONS, PAVEMENTS, DEBRIS, VEGETATION, SUBSURFACE ITEMS (UTILITIES), UNDESIRE SOIL, AND OTHER RELATED ITEMS. VERIFY ALL SOIL CORRECTIONS WITH GEOTECH REPORT AND RECOMMENDATIONS, UNLESS NOTED OTHERWISE. HAUL AND DISPOSE OF ALL REMOVAL ITEMS OFF-SITE.
7. CONTRACTOR SHALL REMOVE, REPAIR AND/OR RELOCATE EXISTING PRIVATE OR PUBLIC UTILITIES AS NECESSARY, WHETHER STATED ON THE PLANS OR NOT, INCLUDING ANY RELATED PERMITS AND FEES. CONTRACTOR TO COORDINATE AND RECEIVE APPROVAL FOR ACTIVITIES WITH OWNER AND UTILITY COMPANIES BEFORE STARTING WORK.
8. CLEAR, GRUB, AND REMOVE ALL TREES AND VEGETATION WITHIN THE CONSTRUCTION LIMITS, OR AS NOTED. STRIP TOPSOIL, STOCKPILE, AND REDISTRIBUTE PER GRADING PLAN.
9. TREE PROTECTION FENCING SHALL BE INSTALLED AT THE DRIP LINE OF TREES TO REMAIN, OR AS ILLUSTRATED, WITHIN LIMITS OF DISTURBANCE PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT. NO DETRIMENTAL CONDITIONS TO OCCUR AT TREE PRESERVATION AREAS, SUCH AS STORAGE OF EQUIPMENT/MATERIALS, CHEMICAL WASH, OR EXCAVATION.
10. CONTRACTOR SHALL PROVIDE ALL STAGING AND TEMPORARY TRAFFIC CONTROL FOR THE PROJECT, AS APPROVED BY THE OWNER AND GOVERNING AGENCY. PROVIDE MINIMAL DISRUPTION TO ADJACENT PROPERTIES AND STREETS, OR AS DIRECTED BY PROPERTY OWNER.
11. CONTRACTOR SHALL PROVIDE TEMPORARY CONDITIONS, SUCH AS CONSTRUCTION TRAILER, TEMPORARY FENCING, AND OTHER SECURITY MEASURES FOR THE LENGTH OF THE ENTIRE PROJECT.
12. ALL CONSTRUCTION PERMITS, APPLICATIONS AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS NOTED OTHERWISE.
13. FOR ANY SALVAGE AND/OR REINSTALL ITEMS, CONTRACTOR TO PROVIDE ALL WORK RELATED TO RE-LOCATION (TEMP AND PERMANENT), STORAGE, AND PROTECTION.

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: MICHAEL C. AARON
 PRINT NAME: MICHAEL C. AARON
 DATE: 6/20/2022 LIC. NO.: 25721

SYM	DATE	DESCRIPTION	APPR

RAMSEY WATER TREATMENT PLANT
 CITY OF RAMSEY
 RAMSEY, MINNESOTA

REMOVALS PLAN

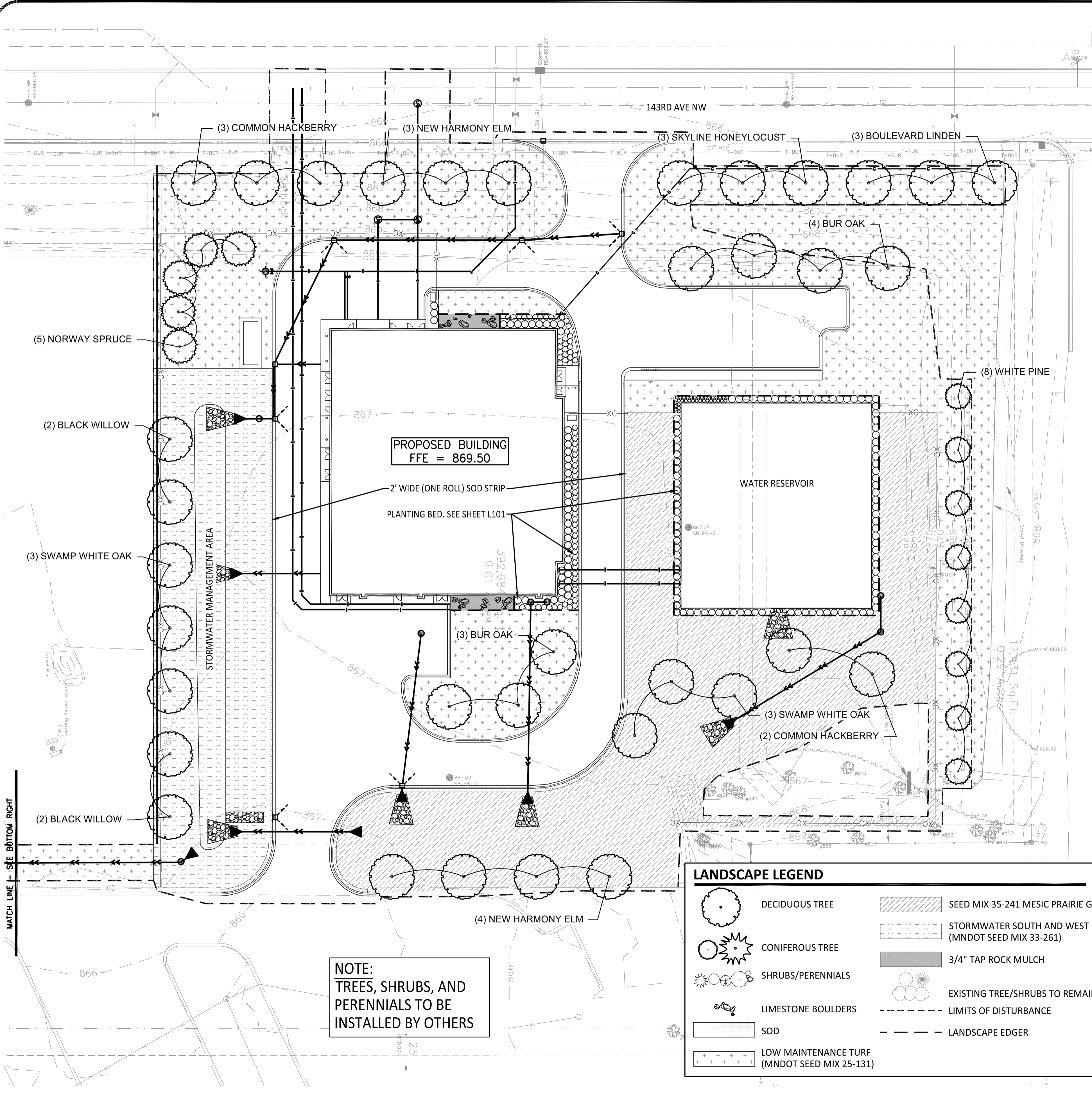
DRAWING TYPE	PRELIMINARY
PREPARED BY	BPR
CHECKED / APPROVED	MCA/MCA
DATE	JUNE 2022
PROJECT NUMBER	05434-2020-002
DRAWING	C100

1 - Remove

Created by: Chris Anderson
On: 07/12/2022 08:49 AM

These trees appear to be siberian elm and black locust, both of which are considered invasive species. These should be removed, which will reduce the potential for establishment within the moderate quality oak woodland in the cemetery and reduce the seed pool that could invade the proposed mesic prairie area around the reservoir.

----- 0 Replies -----



NOTE:
 TREES, SHRUBS, AND
 PERENNIALS TO BE
 INSTALLED BY OTHERS

LANDSCAPE LEGEND

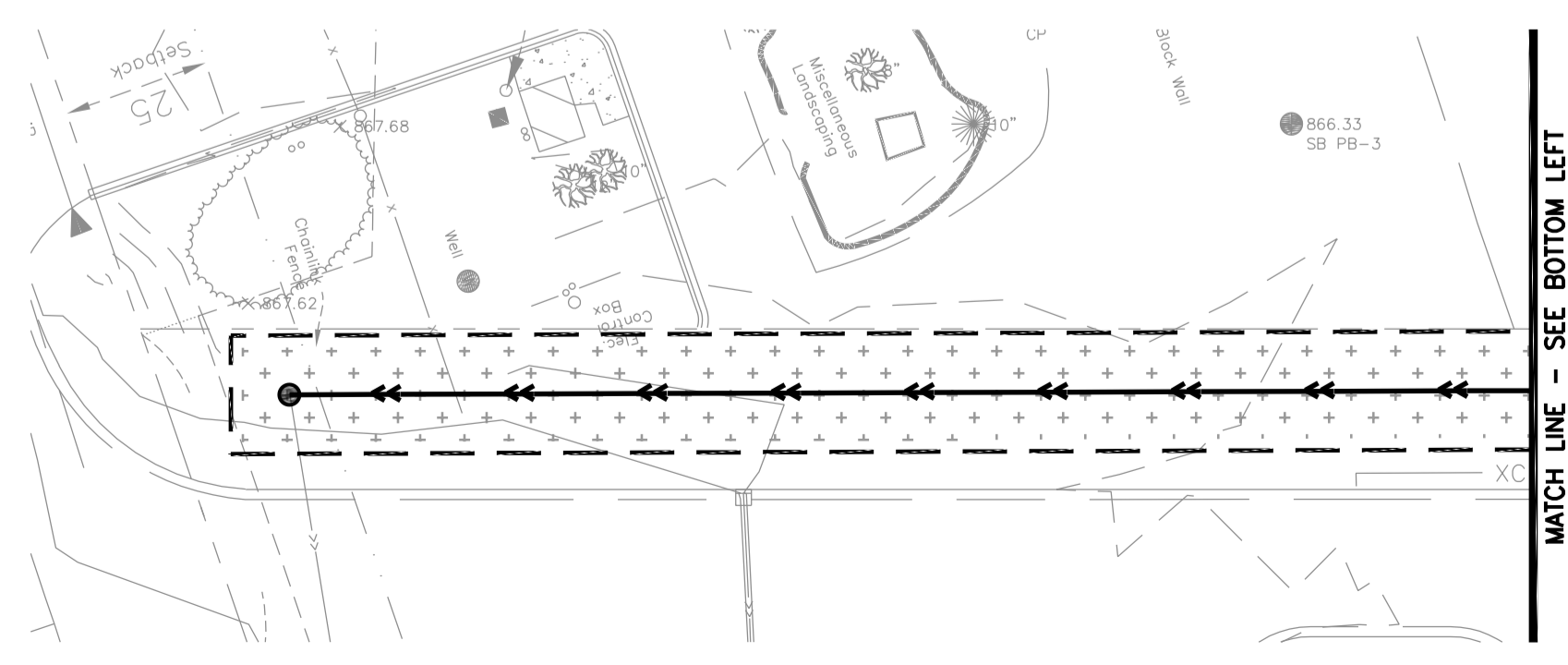
	DECIDUOUS TREE		SEED MIX 35-241 MESIC PRAIRIE GENERAL
	CONIFEROUS TREE		STORMWATER SOUTH AND WEST (MNDOT SEED MIX 33-261)
	SHRUBS/PERENNIALS		3/4" TAP ROCK MULCH
	LIMESTONE BOULDERS		EXISTING TREE/SHRUBS TO REMAIN
	SOD		LIMITS OF DISTURBANCE
	LOW MAINTENANCE TURF (MNDOT SEED MIX 25-131)		LANDSCAPE EDGER

LANDSCAPE NOTES

- CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY PLANTS OR LANDSCAPE MATERIAL
- ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SOIL CONDITIONS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- COORDINATE ALL LANDSCAPE WORK WITH APPROPRIATE TEMPORARY AND PERMANENT EROSION CONTROL.
- ALL SUBSTITUTIONS MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO SUBMISSION OF ANY BID AND/OR QUOTE BY THE LANDSCAPE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE TWO YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
- ALL PLANTS TO BE SPECIMEN GRADE, MINNESOTA-GROWN AND/OR HARDY. SPECIMEN GRADE SHALL ADHERE TO BUT IS NOT LIMITED BY, THE FOLLOWING STANDARDS:
 - ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.
 - ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES.
 - ALL PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES. ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING.
 - CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT TO WIDTH RATIO OF NO LESS THAN 5:3.
- PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
- PLANTS TO BE INSTALLED AS PER MNLA & ANSI STANDARD PLANTING PRACTICES.
- PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
- THE NEED FOR SOIL AMENDMENTS SHALL BE DETERMINED UPON SITE SOIL CONDITIONS PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR THE NEED OF ANY SOIL AMENDMENTS.
- TOPSOIL (AND PLANTING SOIL) TO ADHERE TO MN/DOT STANDARD SPECIFICATION 3877 (SELECT TOPSOIL BORROW), AND TO BE FREE OF ROOTS, ROCKS (LARGER THAN ONE INCH), SUBSOIL DEBRIS, AND LARGE WEEDS, UNLESS SPECIFIED OTHERWISE. UTILIZE EXISTING ON-SITE TOPSOILS AS APPROPRIATE. MINIMUM 4" DEPTH TOPSOIL FOR ALL LAWN GRASS AREAS AND 12" DEPTH TOPSOIL (PLANTING SOIL) FOR TREE, SHRUBS, AND PERENNIALS.
- MULCH TO BE AT ALL TREE, SHRUB, PERENNIAL, LANDSCAPE BED, AND MAINTENANCE AREAS, OR AS INDICATED ON THE PLAN. SHREDDED HARDWOOD MULCH TO BE A MINIMUM 4-INCH DEPTH, AND FREE OF DELETERIOUS MATERIAL. ROCK MULCH TO BE A MINIMUM 3-INCH DEPTH, TRAP ROCK (OR AS DIRECTED). ROCK MULCH TO BE ON COMMERCIAL GRADE FILTER FABRIC, BY TYPAR, OR APPROVED EQUAL WITH NO EXPOSURE. MULCH AND FABRIC TO BE APPROVED BY OWNER PRIOR TO INSTALLATION.
- ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. SOD TO BE STANDARD MINNESOTA GROWN AND/OR HARDY BLUEGRASS MIX, FREE OF LAWN WEEDS. SEED MIX AND APPLICATION RATE AS SPECIFIED PER MN/DOT SPECIFICATIONS, OR AS OTHERWISE NOTED. ALL TOPSOIL AREAS TO BE RAKED TO REMOVE DEBRIS AND ENSURE POSITIVE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED. IF NOT INDICATED ON LANDSCAPE PLAN, SEE EROSION CONTROL PLAN. REPAIR, REPLACE, OR RESEED ANY DAMAGED OR UNESTABLISHED AREAS UNTIL PROJECT ACCEPTANCE AND COMPLETION OF WARRANTY.
- PROVIDE IRRIGATION TO ALL TURF GRASS AND PLANTING BED AREAS ON SITE, OR AS INDICATED. IRRIGATION SYSTEM TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR TO PROVIDE IRRIGATION SYSTEM DESIGN PLANS, CALCULATIONS, AND SHOP DRAWINGS FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO INSTALLATION. CONTRACTOR TO PROVIDE OPERATION MANUALS, AS-BUILT PLANS, AND NORMAL PROGRAMMING. SYSTEM SHALL BE WINTERIZED AND HAVE SPRING STARTUP DURING FIRST YEAR OF OPERATION. SYSTEM SHALL HAVE ONE-YEAR WARRANTY ON ALL PARTS AND LABOR. COORDINATE ALL IRRIGATION PIPES, WIRING, SLEEVING, AND OTHER COMPONENTS WITH OTHER PROJECT IMPROVEMENTS.
- CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED. OWNER WILL NOT PROVIDE WATER FOR CONTRACTOR.
- REPAIR ALL DAMAGE FROM PLANTING OPERATIONS AT NO COST TO OWNER.
- SEE PLANT SCHEDULE ON SHEET L101

LANDSCAPE SUMMARY

- CODE REQUIREMENTS**
- 89,910 SF OF CANOPY COVER AS OUTLINED IN 1 SECTION 117.364
 - 1 TREE PER EVERY TEN PARKING SPACES
 - 1 OVERSTORY TREE FOR EVERY 35 FEET OF PUBLIC ROAD FRONTAGE.
- DECIDUOUS/CONIFEROUS TREES REQUIRED - BUILDING SQUARE FEET**
- IMPERVIOUS SF = 77,225 SF
 - PERVIOUS SF = 83,250 SF
 - RATIO: 1:1.08
 - MINIMUM CANOPY COVER = MULTIPLY IMPERVIOUS AREA/SITE AREA RATIO BY SF OF PERVIOUS AREA
 - 1.08*83,250 = 89,910 SF MIN. OF CANOPY COVER
 - PROPOSED CANOPY COVER = 89,911 - SEE PLANT PLANT SCHEDULE ON SHEET L101 FOR CALCULATION



HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: JONATHAN W. FILLMORE
 PRINT NAME: JONATHAN W. FILLMORE
 DATE: 6/20/2022 LIC. NO.: 58679

SYM	DATE	DESCRIPTION	APPR

SRF

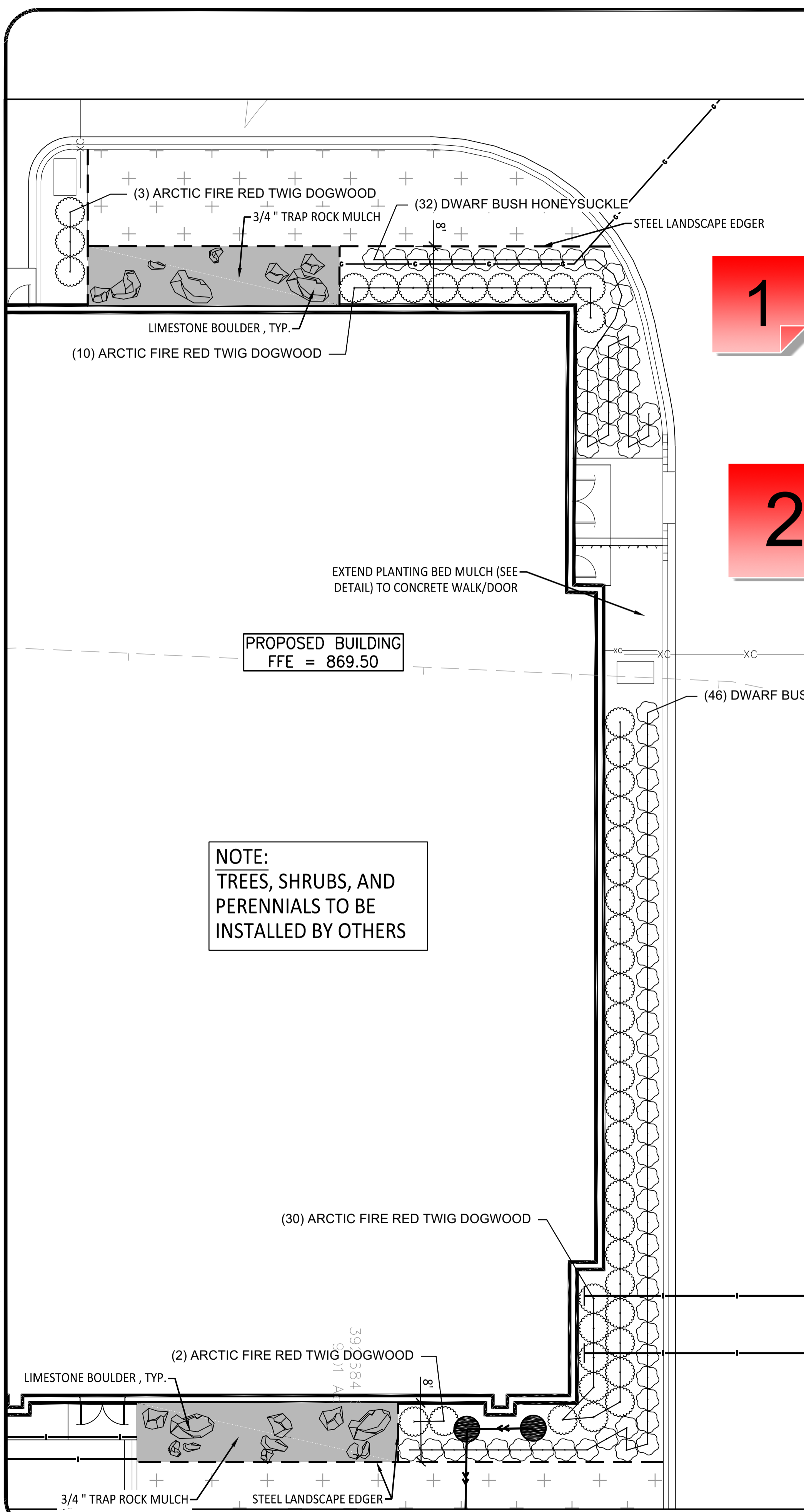
AES

RAMSEY WATER TREATMENT PLANT
 CITY OF RAMSEY
 RAMSEY, MINNESOTA

LANDSCAPE PLAN

DRAWING TYPE: PRELIMINARY
 PREPARED BY: BPR
 CHECKED / APPROVED: MCA/MCA
 DATE: JUNE 2022
 PROJECT NUMBER: 05434-2020-002

DRAWING: **L100**



PLANT SCHEDULE

DECIDUOUS TREES							
Botanical	Common	Size	Container	Remarks	Quantity	Canopy Cover (SF)	Total Canopy Cover (SF)
CELTIS OCCIDENTALIS	COMMON HACKBERRY	2.5" CAL.	B&B	SINGLE, STRAIGHT LEADER	5	922	4,610
GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE' TM	SKYLINE HONEYLOCUST	2.5" CAL.	B&B	SINGLE, STRAIGHT LEADER	3	415	1,245
QUERCUS BICOLOR	SWAMP WHITE OAK	2.5" CAL.	CONT.	SINGLE, STRAIGHT LEADER	6	718	4,308
QUERCUS MACROCARPA	BUR OAK	2.5" CAL.	CONT.	SINGLE, STRAIGHT LEADER	7	3,910	27,370
SALIX NIGRA	BLACK WILLOW	2.5" CAL.	B&B	SINGLE, STRAIGHT LEADER	4	460	1,840
TILIA AMERICANA 'BOULEVARD'	BOULEVARD LINDEN	2.5" CAL.	B&B	SINGLE, STRAIGHT LEADER	3	354	1,062
ULMUS AMERICANA 'NEW HARMONY'	NEW HARMONY ELM	2.5" CAL.	B&B	SINGLE, STRAIGHT LEADER	7	3,910	27,370
SHRUBS							
Botanical	Common	Size	Container	Remarks	Quantity	Canopy Cover (SF)	Total Canopy Cover (SF)
AMELANCHIER ALNIFOLIA 'REGENT'	REGENT SERVICEBERRY	#5	CONT.	PLANT 4' O.C.	50	18	900
ARONIA MELANOCARPA 'MORTON' TM	IROQUIS BEAUTY BLACK CHOKEBERRY	#5	CONT.	PLANT 4' O.C.	52	10	520
CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE RED TWIG DOGWOOD	#5	CONT.	PLANT 4' O.C.	45	32	1,440
DIERVILLA LONICERA	DWARF BUSH HONEYSUCKLE	#5	CONT.	PLANT 3' O.C.	78	2	156
PERENNIALS AND GRASSES							
Botanical	Common	Size	Container	Remarks	Quantity	Canopy Cover (SF)	Total Canopy Cover (SF)
GERANIUM MACULATUM	WILD GERANIUM	#1	CONT.	PLANT 18" O.C.	45	0	0
SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	#1	CONT.	PLANT 24" O.C.	35	0	0
TOTAL CANOPY COVER (SF)						89,911	

1

2

3

LANDSCAPE LEGEND

- DECIDUOUS TREE
- CONIFEROUS TREE
- SHRUBS/PERENNIALS
- LIMESTONE BOULDERS
- SOD
- LOW MAINTENANCE TURF (MNDOT SEED MIX 25-131)
- SEED MIX 35-241 MESIC PRAIRIE GENERAL
- STORMWATER SOUTH AND WEST (MNDOT SEED MIX 33-261)
- 3/4" TAP ROCK MULCH
- EXISTING TREE/SHRUBS TO REMAIN
- LIMITS OF DISTURBANCE
- LANDSCAPE EDGER

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: JONATHAN W. FILLMORE
 PRINT NAME: JONATHAN W. FILLMORE
 DATE: 6/20/2022 LIC. NO.: 58679

SYM	DATE	DESCRIPTION	APPR

SRF

AES

RAMSEY WATER TREATMENT PLANT
 CITY OF RAMSEY
 RAMSEY, MINNESOTA

LANDSCAPE ENLARGEMENT PLAN

SCALE IN FEET: 0, 10, 20

N

DRAWING TYPE: PRELIMINARY
 PREPARED BY: BPR
 CHECKED / APPROVED: MCA/MCA
 DATE: JUNE 2022
 PROJECT NUMBER: 05434-2020-002

DRAWING: L101

1 - Shrub Size

Created by: Chris Anderson
On: 07/11/2022 08:34 AM

Shrubs shall be at least 24" in height. Update Plant Schedule to speciy size as 24" rather than container size.

----- 0 Replies -----

2 - Coniferous Tree Info

Created by: Chris Anderson
On: 07/11/2022 08:36 AM

The Plant Schedule is missing the coniferous trees. Please update to include the Norway Spruce and White Pines proposed on the plan sheet.

----- 0 Replies -----

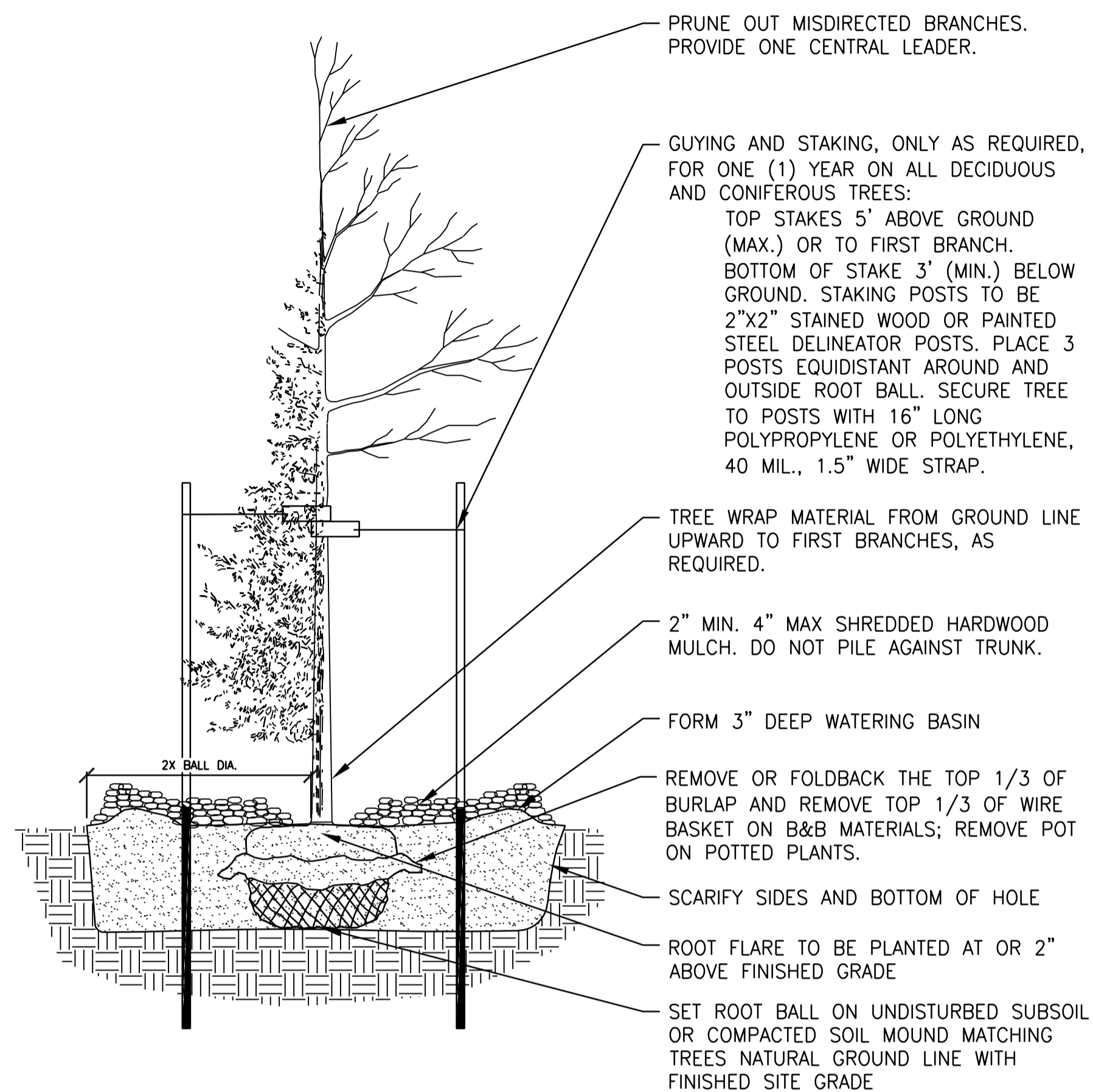
3 - Management Plan

Created by: Chris Anderson
On: 07/11/2022 08:37 AM

Please provide a detailed 3-5 year management plan for the prairie area. The plan shall describe the prescribed management activities, include a calendar of when these activities shall occur. A competent subcontractor shall be identified to perform the management activities.

----- 0 Replies -----

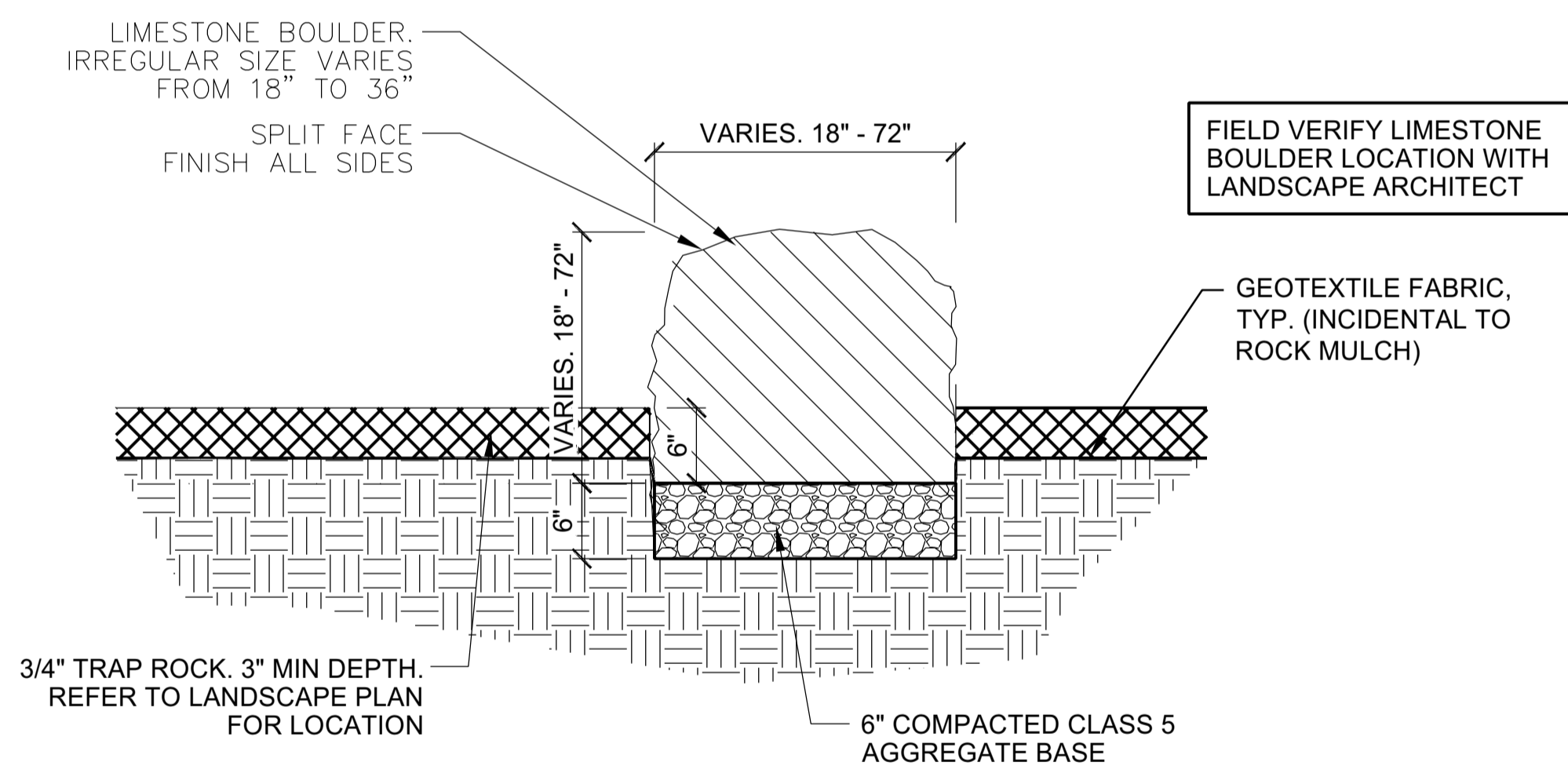
NOTE:
 TREES, SHRUBS, AND
 PERENNIALS TO BE
 INSTALLED BY OTHERS



DECIDUOUS/CONIFEROUS TREE PLANTING DETAIL

TREE PLANTING NOTES

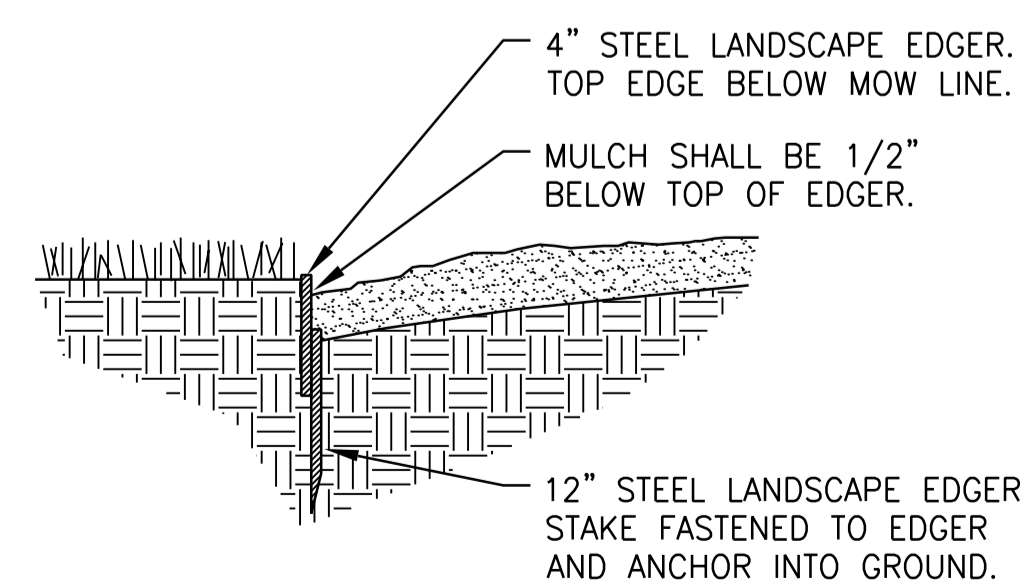
1. PRIOR TO PLANTING, FIELD VERIFY THAT THE ROOT COLLAR/ROOT FLAIR IS LOCATED AT THE TOP OF THE BALLED & BURLAP TREE. IF THIS IS NOT THE CASE, SOIL SHALL BE REMOVED DOWN TO THE ROOT COLLAR/ROOT FLAIR. WHEN THE BALLED & BURLAP TREE IS PLANTED, THE ROOT COLLAR/ROOT FLAIR SHALL BE EVEN OR SLIGHTLY ABOVE FINISHED GRADE.
2. OPEN TOP OF BURLAP ON B&B MATERIALS; REMOVE POT ON POTTED PLANTS; SPLIT AND BREAK APART PEAT POTS.
3. PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING AND TO FORM CENTRAL LEADER.
4. WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1ST.
5. STAKING OF TREES AS REQUIRED; REPOSITION, PLUMB AND STAKE IF NOT PLUMB AFTER ONE YEAR.



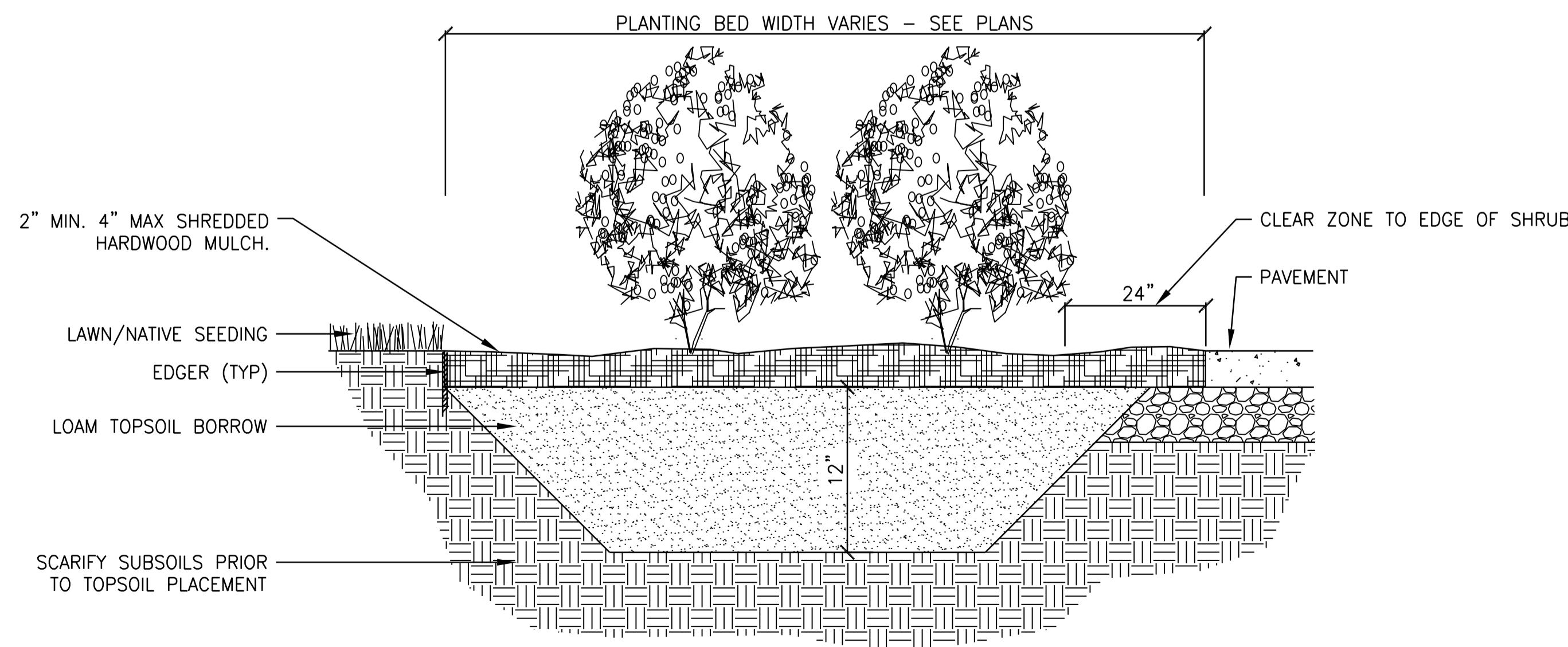
LIMESTONE BOULDER IN ROCK MULCH

EDGER NOTES

1. EDGING TO BE PROVIDED BETWEEN MULCH AND LAWN TURF AREAS, OR AS INDICATED. STEEL EDGING BETWEEN LANDSCAPE BEDS AND LAWN TURF AREAS TO BE COMMERCIAL BLACK STEEL EDGING, INSTALLED PER MANUFACTURER'S INSTALLATION GUIDELINES. BLACK STEEL EDGING SHALL BE PLACED WITH CONNECTORS AND METAL STAKES NO GREATER THAN 4-FOOT ON CENTER AND ELEVATION BELOW LAWN MOWER CUT LINE. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE. INDIVIDUAL TREE AND SHRUB AREAS TO BE SPADED EDGE BETWEEN MULCH AND LAWN TURF GRASS AREAS WITH V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION.



STEEL LANDSCAPE EDGER DETAIL



TYPICAL SHRUB/PERENNIAL PLANTING

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

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 JUNE 2022
 PROJECT NUMBER
 05434-2020-002

DRAWING
L102

Meeting Date: 07/18/2022

By: Chris Anderson, Community
Development

Information

Title:

2023 Recycling Activities

Purpose/Background:

The purpose of this case is to get feedback from the Environmental Policy Board (EPB) on potential recycling activities that could be offered in 2023. The City's recycling program is funded through the Select Committee On Recycling and the Environment (SCORE) program. Annually, the City must submit a funding request to Anoka County for SCORE funds for the upcoming year. Typically, each community is allocated base funding of \$10,000, plus \$5.00 per household. In 2023, Ramsey's base funding allocation is \$57,955.00. There are additional grant funding categories, including: Permanent Drop-Off Center Improvements, General Enhancement (includes Parks Recycling, Special Municipal Event Recycling, Special Curbside Recycling Pick Ups, Multi-Family Recycling Outreach, and Promotions), and Organics. Ramsey is not eligible for the first category (we do not have a permanent drop-off center). However, Ramsey is eligible for an additional \$9,591.00 for General Enhancement activities and \$9,591.00 for Organics activities (these equate to an additional \$1.00 per household).

Observations/Alternatives:

As part of last year's funding discussion, Staff discussed the potential of a 'micro recycling center' in one of the old public works buildings. However, at this time, the final disposition of that building is unknown and therefore, Staff has not invested any time or effort into that concept and will not do so until a decision has been made on the status of the building.

Ramsey will continue to offer the holiday lights collection in December and January, as well as the cardboard collection service from mid-December to mid-January. Both of these activities fall under the General Enhancements grant category. The City will serve as a host site for a Fix It Clinic, coordinated and run by Anoka County, in December of this year. If that is successful, the City would look to offer that again in 2023, which would also fall under the General Enhancements category.

Due to staffing vacancies and turnover over the past year, Staff is a bit hesitant to robustly explore and implement new programming. However, one potential option, that may not require an overwhelming amount of Staff time, could be to look at a special curbside pick-up program for bulky items, such as appliances, electronics, and mattresses. These items can be challenging to transport to the City's spring and fall recycling events (especially if one does not own or have access to a pick-up truck) and thus, this could be a value-added opportunity. Staff had a brief discussion about this possibility with a vendor earlier this year, but would need to flush out all the details still. If this seems to make sense (after working out the details), it would likely be offered in July, as that splits the difference between the spring and fall recycling event timeframes.

Staff is seeking feedback on the idea of a specialized curbside pick-up program along with any other possible recycling activities from the Board.

Funding Source:

All aspects of the City's recycling program are addressed with SCORE funding.

Action:

Provide feedback on the concept of a specialized curbside pick-up event as well as any specific materials the Board thinks should be focused on for recycling opportunities.

Attachments

No file(s) attached.

Form Review

Inbox

Brian Hagen

Form Started By: Chris Anderson

Final Approval Date: 07/14/2022

Reviewed By

Nicole Laubach

Date

07/14/2022 02:18 PM

Started On: 07/14/2022 09:54 AM