

**City of Ramsey**  
**Agenda**  
**Regular Planning Commission**  
**Thursday, July 28, 2022**  
**7:00 pm**  
**Council Chambers, 7550 Sunwood Drive NW**

Remote Attendance available at [www.cityoframsey.com/meetings](http://www.cityoframsey.com/meetings).  
Those joining remotely and requesting to speak are asked to use a webcam when speaking.

1. **Call to Order**
2. **Pledge of Allegiance**
3. **Citizen Input**
4. **Approve Agenda**
5. **Consent Agenda**
  1. Approve June Planning Commission Meeting Minutes
6. **Public Hearing**
  1. PUBLIC HEARING: Consider a Home Occupation Permit and Conditional Use Permit for Your Computer Hero at 5435 180th Ln NW (Project 22-127)
  2. PUBLIC HEARING: Consider a request for a Sketch Plan, Conditional Use Permit, Zoning Map Amendment, Site Plan, Final Plat, and Comprehensive Plan Amendment approval for Green Valley Greenhouse to expand the commercial greenhouses on the properties generally located south of Green Valley Rd. NW and east of Nowthen Blvd. NW.
  3. PUBLIC HEARING: Consider Site Plan for Water Treatment Plant (Project No. 22-104); Case of City of Ramsey
  4. PUBLIC HEARING: An ordinance amending Section 117-57 (Nonconforming Structures and Land Use) to establish legal nonconformities resulting from a public action.
7. **Commission Business**
8. **Commission/Staff Input**
9. **Adjournment**

**Regular Planning Commission**

**5. 1.**

**Meeting Date:** 07/28/2022

**By:** Brian McCann, Community  
Development

---

**Information**

**Title:**

Approve June Planning Commission Meeting Minutes

**Purpose/Background:**

The purpose of this case is to approve the Planning Commission regular meeting minutes for the June 23, 2022 meeting.

**Notification:**

**Observations/Alternatives:**

**Funding Source:**

**Recommendation:**

**Action:**

---

**Attachments**

June Planning Commission Meeting Minutes

---

**Form Review**

**Inbox**

Brian Hagen

Form Started By: Brian McCann

Final Approval Date: 07/22/2022

**Reviewed By**

Brian McCann

**Date**

07/22/2022 01:24 PM

Started On: 07/22/2022 01:23 PM

**PLANNING COMMISSION  
CITY OF RAMSEY  
ANOKA COUNTY  
STATE OF MINNESOTA**

The Ramsey Planning Commission conducted a regular meeting on Thursday, June 23, 2022, at the Ramsey Municipal Center, 7550 Sunwood Drive NW, Ramsey, Minnesota.

Members Present:                   Chairperson Randy Bauer  
  Commissioner Bruce Anderson  
  Commissioner Cheri Gengler  
  Commissioner Tom Hunt  
  Commissioner Eric Peters  
  Commissioner Gary VanScoy  
  Commissioner Brian Walker

Members Absent:                   None

Also Present:                       Planning Manager Todd Larson  
  City Administrator Brian Hagen  
  City Council Liaison Matt Woestehoff  
  City Engineer Bruce Westby

**1.     CALL TO ORDER**

Chairperson Bauer called the regular meeting to order at 7:00 p.m.

**2.     PLEDGE OF ALLEGIANCE**

Chairperson Bauer led the group in the Pledge of Allegiance.

**3.     CITIZEN INPUT**

None.

**4.     APPROVAL OF AGENDA**

Motion by Commissioner VanScoy, seconded by Commissioner Peters, to approve the agenda as presented.

Motion Carried. Voting Yes: Chairperson Bauer, Commissioners VanScoy, Peters, Anderson, Gengler, Hunt, and Walker. Voting No: None. Absent: None.

**5.     CONSENT AGENDA**

### **5.01: Approve the May Planning Commission Meeting Minutes**

Motion by Commissioner Peters, seconded by Commissioner Gengler, to approve the consent agenda as presented.

Motion Carried. Voting Yes: Chairperson Bauer, Commissioners Peters, Gengler, Anderson, Hunt, VanScoy, and Walker. Voting No: None. Absent: None.

## **6. PUBLIC HEARINGS/COMMISSION BUSINESS**

### **6.01: Public Hearing: Anoka Ramsey Athletic Association (KRH Land LLC/ISE Inc.) Rezoning and Zoning Code Text Amendment at 14622 and 14650 Ferret Street**

#### **Public Hearing**

Chairperson Bauer called the public hearing to order at 7:02 p.m.

#### **Presentation**

Planning Manager Larson presented the staff report stating that staff recommends approval of Ordinance #22-21 for rezoning property from COR to E-3 and Ordinance #22-22 for a text amendment adding Medical Clinics as a permitted use in the E-3 district.

Commissioner VanScoy referenced the COR requirements and noted that it seems that all of those uses would be allowed. He asked the rationale for the change to E-3 and then to also change the text of E-3.

Planning Manager Larson stated that it is his understanding that the fitness centers within the COR were imagined at a smaller scale than what is proposed. He noted that this would not follow the COR design principals and provided examples.

Commissioner VanScoy commented that it would then seem the architectural standards are the issue as the proposed uses would seem to be allowed within the COR districts.

Planning Manager Larson confirmed that to be correct.

Chairperson Bauer noted that exceptions have been made to the architectural standards and asked if that could be done in this case.

Planning Manager Larson noted that it would be a very large exception in this case.

Commissioner Anderson asked the proposed square footage of the medical center.

Planning Manager Larson replied that the site plan is still in flux.

Commissioner Anderson asked if the developer has looked at the medical zoning area near the VA clinic as a possible location. He explained that he is trying to envision why all these uses would be in one spot.

Planning Manager Larson replied that the intent is that these buildings and structures work together as the clinic will have a strong sports medicine component, noting that the physicians would take their clients to the dome for their exercises. He stated that if approved, the Commission would see the actual plans for the project come forward in the normal planning process.

### **Citizen Input**

Reese Sudtelgte, ISG, spoke in representation of the applicant and stated that they are still working on options and iterations for the site. He stated that they are excited to place the facility in this location and are looking at the three uses together. He welcomed any questions the Commission may have.

Motion by Commissioner Peters, seconded by Commissioner Walker, to close the public hearing.

Motion Carried. Voting Yes: Chairperson Bauer, Commissioners Peters, Walker, Anderson, Gengler, Hunt, and VanScoy. Voting No: None. Absent: None.

Chairperson Bauer closed the public hearing closed at 7:11 p.m.

### **Commission Business**

Commissioner Walker referenced the concept drawing provided by the applicant and asked for clarification on the numbers.

Chairperson Bauer noted there is a key in the upper righthand corner.

Motion by Commissioner Walker, seconded by Commissioner Peters, to recommend that City Council adopt Ordinance #22-21 Rezoning 14622 and 14650 Ferret Street Northwest from COR to E-3 Employment District.

### **Further discussion**

Commissioner Anderson stated that he agrees with Commissioner VanScoy that the COR district would allow these are permitted uses and therefore was unsure why the zoning would be changed. City Administrator Hagen stated that it boils down to the fact that there is not a definition of health club and how that use could be interpreted. He clarified that the question of use would be the dome and whether that would be classified as a health club, in addition to the architectural standards within the COR. Commissioner VanScoy commented that he understands that the intent would be for the building to look similar to the industrial buildings adjacent to the site. Planning Manager Larson confirmed that this scale would fit better with the industrial buildings rather than the smaller building envisioned for the COR. Commissioner VanScoy stated that he does like the

concept and although he had questions in the beginning, he does understand that this would fit better under the standards of the E-3 district.

Motion Carried. Voting Yes: Chairperson Bauer, Commissioners Walker, Peters, Anderson, Gengler, Hunt, and VanScoy. Voting No: None. Absent: None.

Motion by Commissioner Peters, seconded by Commissioner Walker, to recommend that City Council adopt Ordinance #22-22 Amending Section 117-124(b) of City Code to Allow Medical Clinics as a Permitted Use in the E-3 Employment District.

### **Further discussion**

Commissioner VanScoy asked the current zoning districts that would allow this type of medical use. Planning Manager Larson replied that B-1 and B-2 currently allow medical clinic uses. He stated that the rationale to adding the use to E-3, would be that medical clinics do employ people and therefore an employment district would seem to be an appropriate fit. He stated that later tonight the Commission will have a discussion related to the zoning districts and some issues with terminology. He confirmed that the change would apply across the E-3 district.

Motion Carried. Voting Yes: Chairperson Bauer, Commissioners Peters, Walker, Anderson, Gengler, Hunt, and VanScoy. Voting No: None. Absent: None.

## **6.02: Public Hearing: Armstrong Boulevard Interchange/Highway 10 Signage Overlay District Zoning Code Text Amendment**

### **Public Hearing**

Chairperson Bauer called the public hearing to order at 7:20 p.m.

### **Presentation**

Planning Manager Larson presented the staff report stating that staff recommends approval of the proposed Code Amendment, Ordinance #22-20.

Commissioner VanScoy asked for details on how the park would be protected from signage.

Planning Manager Larson replied that the park land is within the proposed district boundaries, but it is a more open area and therefore a business would most likely not desire higher signage in that area.

Commissioner VanScoy asked if Anoka County was involved in these discussions.

Planning Manager Larson replied that the County did provide some comments but did not provide further participation. He noted that the area more impacted is closer to Sunfish Lake Boulevard.

### **Citizen Input**

John Hapca, Property Manager for Sunfish Commons, stated that they currently have a pylon sign which will not be visible after the overpass is constructed. He stated that the business would be interested in having a higher sign that would be visible to vehicle and asked if there would be funds available to assist with that cost. He stated that he was informed that the sign would need to be removed and relocated as an additional entrance would be added.

City Administrator Hagen stated that the City has not yet had those discussions. He invited the City Engineer to provide input on this type of project that would have impact to a property and whether the City would have an obligation to recreate what was there.

City Engineer Westby stated that they are in the final design process, therefore the elevations have not yet been set. He stated that they do work with property owners but noted that Anoka County is leading the project therefore he cannot speak to their policies. He noted that Anoka County did work with property owners on sign design during the Armstrong interchange project. He stated that he is unsure which signs will be impacted as part of the project but noted that perhaps this property owner has already been in discussions with the County. He stated that potential funding for assistance is still to be determined.

City Administrator Hagen provided details on a meeting with Anoka County about the project next Wednesday that will have two parts, one with businesses and one with residents.

Motion by Commissioner Walker, seconded by Commissioner VanScoy, to close the public hearing.

Motion Carried. Voting Yes: Chairperson Bauer, Commissioners Walker, VanScoy, Anderson, Gengler, Hunt, and Peters. Voting No: None. Absent: None.

Chairperson Bauer closed the public hearing closed at 7:29 p.m.

### **Commission Business**

Motion by Commissioner Walker, seconded by Commissioner Peters, to recommend that City Council adopt Ordinance #22-20 Amending Section 117-1 (Definitions) and Section 117-519 (Business Type Districts) of the City Code of Ramsey, Minnesota.

### **Further discussion**

Commissioner VanScoy stated that while he does not like the idea of many signs along Highway 10, this is a situation that is being created which makes it difficult for businesses to communicate with vehicles passing by and therefore supports this action.

Motion Carried. Voting Yes: Chairperson Bauer, Commissioners Walker, Peters, Anderson, Gengler, Hunt, and VanScoy. Voting No: None. Absent: None.

## **7. COMMISSION BUSINESS**

## **7.01: Consider Site Plan and Preliminary Plat Request for a New PACT Charter School 6-12 Grade Campus at 7633 161<sup>st</sup> Avenue NW (Project No. 22-107)**

### **Presentation**

Chairperson Bauer stated that because of their relationship with the Church of Saint Katharine Drexel, he and Commissioner VanScoy will continue to recuse themselves from the discussion and related vote.

City Administrator Hagen presented the Staff Report stating that staff supports either alternative one or two within the staff report. He noted that the applicant is making progress on plan revisions, and it is not unusual for a recommendation of approval to be contingent upon compliance with the staff review comments.

### **Commission Business**

Acting Chairperson Gengler invited the applicant to speak.

Justin Fincher, JB Vang, spoke in representation of the applicant.

Commissioner Anderson stated that at the last meeting it was requested that the applicant analyze the potential right-in access for buses off Variolite as well as a noise study. He asked if the noise study provided was recently completed.

Mr. Fincher confirmed that the sound study is recent as they conducted that once it was requested. He noted that it is still in draft form.

Commissioner Anderson stated that within the case he did not see anything about the right-in from Variolite. He asked if that analysis has been completed.

Mr. Fincher confirmed that was completed. He stated that the requested analysis was completed but was unsure what was included in the staff report. He stated that from their perspective a third access is not needed as the two proposed access points would operate as a level of service A. He stated that there would be sight distance obstructions because of the hill on Variolite and advised that a right-in only access would be hard to enforce as there would be no medians or anything to restrict turning movements along Variolite. He invited the traffic engineer to provide more details.

Jeff Bednar, traffic engineer, provided details on the level of service and queuing for the proposed access. He commented that the issue with access from Variolite to the school site is that due to the curve and vertical alignment/profile of Variolite north of 161<sup>st</sup> Avenue would likely cause a sight disruption that would cause traffic concerns. He stated that a right-in/right-out can be effective if traffic movements that are not desired can be prevented, using the example of a median that would prevent left turns in or out. He commented that it would be difficult to control a bus only access. He stated that they do not recommend access to Variolite be provided to the school site.

Mr. Fincher commented that a part of that conversation is related to the two curb cuts that they would already propose. He commented that they met with the neighborhood to discuss their concerns about parent pick-up and queuing on the site.

Mr. Bednar stated that they reviewed the onsite circulation for buses and parent pick-up in addition to student driver circulation in and around the site. He commented that drop off activity moves very smoothly as children exit the vehicle and enter the school quickly.

Mr. Fincher commented that typically, the most critical time is for pick-up times. He stated that about five percent of the total enrollment would be the maximum queuing which would equal about 40 vehicles. He noted that there would be queuing for 46 vehicles, and they could accommodate another 29 vehicles on the north and northwest side if needed in order to keep vehicles from queuing on 161<sup>st</sup>. He stated that they also plan to have shared parking with the church, therefore additional space would be available there as well.

Commissioner Anderson asked if the 40 cars includes the buses.

Mr. Fincher replied that count is specific for parent pick-up as the buses had a separate study. He stated that the analysis takes into account the buses, parent pick-up, and student drivers.

City Administrator Hagen displayed the proposed traffic circulation for the site.

Mr. Fincher identified the areas where parent pick-up/drop-off, buses, and student driver activity would be as well as the path those vehicles would take to access their locations. He also identified an area where a connection to the church parking lot could occur.

Commissioner Hunt asked the peak a.m. and p.m. time for buses.

Josh Nyquist, representing the applicant, replied that the times for the secondary school would currently be 8 a.m. to 3:05 p.m., noting that those times are subject to change due to busing availability.

Commissioner Hunt asked if PACT has Fridays off.

Mr. Nyquist replied that typically they have two Fridays per month off.

Commissioner Anderson asked the time buses would be expected to arrive.

Mr. Nyquist replied that bus drop off would be about 7:50 a.m.

Commissioner Hunt referenced the sound study and asked for clarification on the different maps provided.

Mr. Fincher replied that the second and third pages are the cut sheets showing how the analysis is completed and for reference only. He stated that the first page shows the location of the field, bleachers, perimeter property line, and decibels around the property line.

Commissioner Hunt commented that during the winter months there would not be much going on and assumed the same for the summer months, therefore the majority of activity would take place in the spring and fall.

Mr. Fincher agreed that the most intense use of the field for sporting events would be in the spring and fall. He stated that for football there are ten to 12 games per year and not all of those games are held at the school site. He noted that the same would be true for track and field and soccer.

Acting Chairperson Gengler commented that there have been some changes to the stormwater ponding and asked for clarification on those changes and what is hoped to be gained from those changes.

Mr. Fincher stated that one of the biggest changes was looking at the grading to the basin. He noted that the original plans met the requirements, but they lowered that grade and made the basin wider. He stated that staff also requested that a topographical survey be done showing the impact to neighboring properties, which was completed and updated. He stated that the neighbors are concerned about stormwater and noted that they do hear those concerns and do not want to compound the existing issues in that area, therefore they want to work as a member of the team to ensure their design does not contribute to the standing water issues those residents experience after rain events. He stated that once the building and site are completed, the rain runoff would be at a slower rate than it currently is, which allows the wetland to drain in a better manner. He commented that they would be willing to look into reducing the size of the pipe from their basin into the wetland but noted that they would want input from staff and the Lower Rum River Water Management Organization (LRRWMO).

Chairperson Gengler asked if the capacity of the basin increased, or whether it was just a change to the shape.

Mr. Fincher replied that it was a change to the overall shape of the basin.

Eric Meyer, Larson Engineering, stated that they did meet with the neighbors to discuss the flooding and runoff from the wetland that the neighbors experience. He stated that on the east side of Variolite there is a 15-inch pipe that crosses Variolite. He noted that their original plan included a 30-inch pipe from the basin to the wetland, but they could reduce that pipe to a 15-inch pipe if desired.

Commissioner Walker referenced the comment that the design as proposed would produce a lesser rate of runoff than currently exists. He stated that he does not fully understand that as any water hitting the site at this time could filter through the dirt, whereas after development there will be concrete and rooftop where dirt previously existed.

Mr. Meyer confirmed that the stormwater basin would collect the water and hold it back to release at a slower rate. He explained that even though the site is dirt currently, it can only soak in so much before water runoff is discharged from the site.

Councilmember Woestehoff asked if the infiltration basin as proposed is not entirely on the PACT property.

Mr. Meyer confirmed that some of that does go into the outlot of the church and there would be a shared use agreement for that similar to the shared parking agreement that would be in place.

Councilmember Woestehoff stated that the purview of the Commission is solely related to this plat and would caution against considered a second plat that has not yet been considered.

Commissioner Walker agreed with that comment and stated that he also has concern with the runoff that would be created from an expanded church and parking on the adjacent site. He stated that he has concern with the runoff in this area as a whole. He stated that once the school and church are built, any problems with water will be problems for the residents in that area. He asked who would be responsible if basements are flooded as a result.

Mr. Meyer stated that they reviewed the information available on the wetland when the flooding concerns arose. He displayed the subwatershed map from the LRRWMO and identified the school site, noting that they are attempting to find more information on the wetland with the WMO.

Commissioner Walker asked if the engineer could answer who would be responsible if there were flooding of basements after the school and church are developed.

Mr. Meyer stated that he is unsure he could say that and was unsure that an attorney could provide that answer because it would depend on the circumstances.

Mr. Fincher replied that with the stormwater designs there is a stormwater maintenance agreement put into place that stipulates what would be needed to ensure proper maintenance of the stormwater facility.

Mr. Meyer stated that if the wetland overflows over the City culvert, into the City storm sewer, and County ditch, it would be difficult to pinpoint who would be responsible.

Commissioner Walker stated that he looks out for the residents when reviewing applications. He stated that he lives up Variolite and has viewed the high water levels in the ditches along Variolite after storms. He stated that his concern is whether there would be an impact following the development of these sites and what would be done if there were an impact to homeowners in that area.

Mr. Meyer stated that they would work to ensure their storm water management is properly designed and can work with staff to ensure this works on a regional aspect if that information is available.

Acting Chairperson Gengler asked staff to speak to some of the concerns related to adjacent properties and potential liabilities as well as part of the basin being located on another plat.

City Administrator Hagen commented that it is not uncommon for a stormwater basin to jump a property line. He stated that when that it is proposed, staff reviews the easement documents that would be recorded against both properties. He stated that given that the northern lot is being platted as an outlot, it is quite common for a stormwater pond to be located in an outlot. He noted that even if the outlot were replatted, the easement would remain as a permanent easement.

Commissioner Hunt asked who approves the documents once the plans are finalized.

City Administrator Hagen stated that the LRRWMO would review and approve the stormwater plans. He noted that those plans would be reviewed by City staff as well as Barr Engineering, who completes the engineering review for the LRRWMO. He confirmed that the people reviewing the plans are experts in those fields.

Commissioner Hunt commented that he would defer to those that are experts in those fields.

Commissioner Anderson asked if the church has been consulted about the shared stormwater pond and whether the potential development of the church site has been accounted for in the stormwater pond capacity as well.

Mr. Fincher replied that they have been in discussion with the church about the stormwater pond as proposed and agreed with that easement. He stated that this pond is designed for the PACT site and does not account for future development on the church site. He stated that the church would go through the same process and account for runoff and stormwater management in their design as well.

Randy Bauer spoke in representation for the Church of Saint Katharine Drexel and stated that the current purchase agreement has a number of issues related to shared elements. He stated that the church has had a long relationship with PACT, even holding mass in the PACT building until their expansion was completed. He stated that there would be shared parking, utility, and stormwater pond easements as well as a trail/sidewalk connection. He commented that the church is aware that a future project on the church site would need to meet the stormwater requirements as well. He stated that the church does not have any plans for development of the north outlot.

Commissioner Hunt stated that one request at the last meeting was for the developer to have more interaction with the residents. He asked if that seemed productive and beneficial.

Mr. Fincher replied that they did meet with residents in the neighborhood the previous week and believed that it was productive. He stated that they focused on a few key areas including stormwater and traffic.

Acting Chairperson Gengler commented that although this is not a public hearing, she would still allow public comments to be made.

Jason Patrow, 16209 Sapphire Street NW, noted the 15-inch culvert going down Variolite noting that it may be pitched in the wrong direction. He referenced the potential to decrease the pipe from the basin from 30 inches to 15 inches which seems logical but means that more water would build up in the pond or spill over. He stated that the pond is not designed for the future expansion. He referenced the north side donated property noting that part of the drainage would go into the donated park land. He referenced the added tree removal for the expanded pond and commented that the pond is only designed to a 10-year storm event, and not a 100-year event. He referenced the parent pick-up/drop-off, noting that if there is stacking for 46 vehicles, that would still leave 150 vehicles off-site. He recognized that there is not much concern for drop-off as that cycles quickly but had concern with parent pick-up times. He stated that there was a comment that 15 buses would be used and noted a previous comment that there would be 12 buses. He did not believe there would be space for 12 to 15 buses. He noted that if there are buses in the identified area, visitors could not get out from those spaces. He stated that if there were a right-in for buses off Variolite that would provide additional space for staging the buses. He asked how an emergency vehicle would access the site during the time when buses are staged, and parents are waiting for pick-up. He referenced the noise study and noted that only addressed the PA system and did not address the HVAC equipment. He stated that the bigger issue with noise would be from those attending the games rather than the PA system. He asked for other uses of the field, such as band practice.

Acting Chairperson Gengler asked which future expansion plan the resident mentioned.

Mr. Patrow commented that there are two areas which reflect space for future expansion of the school.

City Administrator Hagen stated that even though there are areas marked for potential future expansion, the applicant would need to come back to show how the site could support such expansion and treat additional stormwater.

Cindy McKay, 7855 157<sup>th</sup> Avenue NW, commented that they moved to Ramsey because it was what they could afford and commented that it has become a nice community. She believed that the combination of the park, church and school would be a great combination for this area. She believed that the water issues in the area would improve with the treatment that would be added through this development. She encouraged the community to continue to build and grow and believed that this school would be an amenity for the City and its residents.

Ron Lindenberg, 7600 163<sup>rd</sup> Lane NW, stated that he is not an engineer and asked if those studies completed were based on a 100-year storm event. He stated that things do not operate in the optimum conditions currently. He stated that without accounting for a 100-year storm event, plus flooding, he has concerns with impacts to properties. He commented that the concern is whether the land would operate as it should after being developed to ensure the water is properly managed. He stated that he would also want assurance that the church would properly manage its water if a development application were to come forward in the future.

Dan Goepfert, 7601 163<sup>rd</sup> Lane, expressed the same concerns as the previous speaker with the water problems. He believed that this should be tabled until the water concerns could be addressed.

Danielle Holder, 7826 161<sup>st</sup> Avenue NW, stated that her biggest concern is the traffic on 161<sup>st</sup>, the stacking for parent pickup, and the traffic that would occur in the mornings. She stated that while the traffic flow looks great on paper, that is often not how it works in real life. She stated that she would like to see more wiggle room rather than a project designed to minimum standards. She believed that the size of the school should be reduced to properly manage the site or expand the area purchased to fit the additional needs. She expressed a concern from her neighbor to the north which mentioned that the sound study was only related to the PA system and not the attendees of the events. She asked how many days the residents would have to abstain from using their properties because of the noise from the games. She noted that not everyone enjoys the noise from sporting activities, and they should not have to be subjected to that. She asked that a study be done on the entire property including the noise from game attendees and HVAC units. She asked that this case be tabled until all those items are considered.

Commissioner Walker asked if Ms. Holder participated in the neighborhood meeting with PACT and asked her interpretation of how that meeting went from a resident perspective.

Ms. Holder commented that she felt that PACT listened to them and allowed them to speak but the response was that they would consider that further and welcome ideas as to how things could be fixed. She stated that residents are not engineers and are simply alerting everyone to the issues. She stated that she does not want to see the stadium require neighbors to stay in their homes on game days or get black out curtains to prevent the lights from shining in their windows. She recognized that the developer did listen to their concerns but did not feel that solutions were discussed.

Amanda Patrow, 16209 Sapphire Street, commented that there are still many concerns after meeting with the PACT team. She stated that their concerns were expressed in great detail, and they feel that those issues have not been resolved including traffic and stacking for parent pick-up. She stated that the PACT team has stated that there is additional room on the north and west sides for parent pick-up but there did not seem to be adequate space on their plans. She noted that the issues of sound and lighting are also still issues for the surrounding residents. She asked the type of lighting that would be used for the sports field. She noted that the retention plan is not based on a 100-year flood event and therefore there could be impacts to the residents. She commented on the Federal floodplain that exists to the north, which is in the backyards of many residents. She commented that the retention pond was increased in size but still does not meet the requirements. She believed that many modifications would need to be made to the plans in order to prevent negative impacts to the residents in this area.

Mr. Lindenberg commented that this children attended Anoka High School which has Castle Field for baseball. He noted that the PACT facility would probably be better than most of the other facilities where sporting events could be held. He explained that when there is a newer facility of better quality, the school is able to draw a majority of their opponents to their home field because of the quality of the facility. He asked that the Commission consider that when they are talking about the number of days the field could be in use. He noted that the field would be used for other spring, summer and fall sports as it will be an appealing facility. He asked that the Commission consider that the facility could also be rented for other use.

Councilmember Woestehoff asked staff to provide input on the improvements for 161<sup>st</sup>. He noted that the Public Works Committee recently discussed the potential project and trail.

City Engineer Westby commented that typically a road would be reconstructed to the same conditions unless another need comes forward. He stated that staff has concern with p.m. pick-up from parents and therefore they could potentially provide queuing on the street, but they would want to ensure that is not used for parking during the other hours. He stated that generally they would reconstruct the road without parking on either side and then an off-road trail for pedestrians. He stated that it would be hard to plan for a queuing lane when they are not aware of where vehicles would be coming from for parent pick-up.

Councilmember Woestehoff stated that his hope was to show residents that the City is looking at 161<sup>st</sup> as part of this project and there will be changes made. He noted that the trail/sidewalk is a big project and recognized the tree loss concerns. He stated that they are attempting to reduce the tree loss to the extent possible.

Commissioner Anderson asked why there could not be a right-in or right-out for buses off Variolite.

City Engineer Westby stated that the sight distances are not good on Variolite because of the crest and curve, therefore staff has concern with the sight distances and related safety concerns for a head on collision of vehicles attempting to pass buses turning right into that access.

Commissioner Anderson asked if those concerns would equally apply to that access being an exit only.

City Engineer Westby confirmed that his concerns would remain as a vehicle could attempt to pass a bus entering the road from the site and could have a head on collision with vehicles coming from the other direction. He also had concern with a bus being able to come up to speed going up the hill towards 161<sup>st</sup>.

Commissioner Hunt asked if the sight distance are based off current speeds or school zone speed limits.

City Engineer Westby replied that they could look to enact a school zone speed limit on the road, noting that is an MSA road and therefore MnDOT would need to be involved as there are additional requirements MnDOT would have to enact a school zone. He noted that his comments were based on the existing speed of the road. He stated that he understands the concern with drainage and the visibility of high water levels in the ditches after rain events but explained that those ditches are meant to fill up and hold water until it can be released downstream. He explained that just because a ditch is filled does not mean it is not functioning as it should be. He stated that the drainage design submitted by the applicant is reviewed diligently by staff as well as the LRRWMO engineering staff to ensure proper design. He stated that the City ensures that all developers are held to the standards for the two-, ten- and 100-year events noting that post development has to

result in the same or lesser than the existing conditions. He stated that the design that does not address a 100-year event would not be approved by the WMO.

Councilmember Woestehoff asked when the LRRWMO would be reviewing the case.

City Engineer Westby stated that it is his understanding that the developer intends to submit to the LRRWMO in July for review at its August meeting.

Commissioner Hunt asked if those meetings are open to public comments. He noted that perhaps residents with concerns about drainage should bring those concerns to the WMO.

City Engineer Westby confirmed that those meetings are also open to the public and provided details on where those meetings dates and packets can be found.

Councilmember Woestehoff stated that the WMO is a multi-jurisdictional organization and Councilmember Musgrove is the current Chair of the WMO Board.

City Engineer Westby confirmed that the WMO Board has representatives from Anoka, Ramsey, and Andover.

Jeff Lubarski, 7826 161<sup>st</sup> Avenue, reference the comments that a Variolite access would be unsafe. He noted that 161<sup>st</sup> is on top of the hill and therefore a vehicle moving up the hill could not see a bus taking a righthand turn.

Mr. Patrow commented that he is aware of the LRRWMO meeting dates and has submitted comments to that organization as well. He stated that the water issues were discussed in detail at the meeting with PACT and the neighborhood. He noted that some potential solutions were discussed and stated that perhaps the City could provide input on whether those options would be feasible, such as connecting to the storm drain that could service the church and PACT. He noted that another suggestion was to use permeable asphalt and concrete.

Mr. Fincher replied that permeable asphalt is incredibly more expensive than traditional asphalt which is why it is not commonly used as it is cost prohibitive. He stated that the funding model for a public charter school is very different than a traditional school and therefore it would be challenging to add that cost. He stated that he has also heard about the incredible amount of maintenance that would be required to ensure the asphalt remains permeable. He referenced the mentioned storm drain connection and in order to do that they would still need to treat the water before tying into the connection. He stated that in order to treat the water and make the connection, that would need to occur on the south portion of the site where a lot of the mature trees are located. He was unsure of the cost that would be required to make that connection as well and recognized the desire to preserve trees in that area.

Mr. Meyer commented that they did reach out to the City for as-builts of utilities at Variolite and 161<sup>st</sup> as they will connect to sewer and water in those locations. He stated that their stormwater would still need to be treated through a pond. He stated that once they receive the as-built information from the City they could investigate whether that would be a feasible connection. He

stated that they did design their stormwater to meet a 100-year event. He noted that if the pipe leaving the basin were reduced to 15 inches, they would raise the berm by four inches to ensure the water would remain within the pond. He noted that reducing the pipe size to match the culvert size would significantly reduce the rate of water leaving the site, well below the required rate.

Commissioner Walker asked if this project is funded at all.

Mr. Fincher replied that the funding is also in process. He stated that the preliminary bonding resolution was passed by the City Council and once that approval is finished by the City, it would go to the underwriting team for sale of the bonds. He stated that everyone is confident that this would be a successful transaction given the success and enrollment numbers for PACT. He did not feel that financing would be an issue for PACT.

Commissioner Walker commented that it was his understanding that the City of Ramsey is not going to be part of the financing.

Mr. Fincher clarified that the bonds used are conduit issuer bonds and therefore are issued through a municipality to receive tax exempt status. He stated that the City of Ramsey and State of Minnesota would not be backing the bonds and the bonds would be the sole responsibility of PACT. He commented that the City of Ramsey would not be providing any dollars and would actually collect a fee on an annual basis to cover any administrative costs.

Councilmember Woestehoff confirmed that the City would not have any fiscal risk in this.

Commissioner Walker commented that it seems that stormwater, lights, and noise continue to be concerns. He asked if the City has had any discussions with PACT to complete a joint stadium effort for any location other than this property. He commented that if the stadium were moved from this site onto Central Park, the stadium could benefit the school and all of Ramsey. He noted that it would also provide more space on the school site for parking and traffic circulation and prevent additional tree loss.

City Administrator Hagen replied that Central Park is utilized quite well with the current amenities. He was unsure there was capacity in Central Park to use for this type of purpose. He was unsure there was a park in Ramsey that could accommodate that type of use which would require PACT to purchase additional land. He noted that would create issues of function with PACT getting to the other location to use it.

Commissioner Walker stated that he is trying to find a path forward that would address resident concerns and allow PACT to move forward. He asked PACT to contact parks staff to determine if there would be potential for that concept.

Councilmember Woestehoff stated that he does not imagine the Council would support that, noting that he cannot speak for the entire Council. He commented that Central Park is already well used with established relationships with other organizations such as ARAA. He agreed that perhaps the residents would be more accepting of the project if there were no stadium or field but did not imagine that works for the school.

Commissioner Walker commented that he was not suggesting Central Park as the only location but believed there would be benefit to a shared facility of that type.

Acting Chairperson Gengler reviewed the available options for the Commission to consider.

City Administrator Hagen reviewed the possible actions and available review time. He noted that the City is already within the 60-day extension for the review.

Councilmember Woestehoff stated that he believes the City would benefit overall if the Commission could take action tonight as that would ensure the Council would have sufficient time to review the case and would have the ability to table if needed. He stated that these comments from the residents have been made on multiple occasions and noted that at a certain point the Commission needs to take action.

Commissioner Hunt agreed that he did not believe much would be gained by tabling the matter again.

Commissioner Anderson stated that he is torn as there is a lot, he does not like but he does like the idea of a school and its benefits. He stated that he is unhappy with parking and traffic flow. He noted that there are 125 items on the list provided by the City which need attention. He stated that he wants this to go forward but has concerns and will rely heavily on Councilmember Woestehoff to relay the discussion and concerns of the Planning Commission when the Council reviews this item.

Motion by Commissioner Anderson, seconded by Commissioner Peters, to recommend that City Council approval of the site plan and preliminary plat contingent upon compliance with staff review comments.

### **Further discussion**

Commissioner Hunt asked if the Commission would need to be more specific on the contingencies. City Administrator Hagen confirmed that would be broad enough to ensure the City can continue to review and make revisions where needed. Commissioner Walker stated that he made the statement that he fights for the residents whether he agrees with them or not as he feels it is his duty to represent the residents. He stated that a lot of times it is easy for those sitting on a Council or Commission to make a decision when they are not impacted by a project. He stated that frustrates him when he feels that the resident voices are not heard. He believed there are too many questions and unresolved issues and therefore cannot support the request until the residents support the project. Acting Chairperson Gengler commented that the input of residents has made a difference throughout this process and has brought attention to issues that need attention. She stated that while they look at the needs of the neighbors nearby, they also need to consider the needs of the overall community. She felt that there is progress towards the issue of stormwater that will continue to be developed. She also felt that there has been progress towards the impact of noise and there has been discussion related to traffic that will resolve that issue as well. She felt comfortable supporting the request. Commissioner Hunt agreed that everyone is taking into

account the residents. He recognized the comments of the residents that live nearby but noted that there are also thousands of other residents in Ramsey and the school would be good for the community as a whole. He stated that he has spoken to residents that are excited for the school and he is comfortable moving forward. Commissioner Walker asked how many of the members of the Commission would trade their home with someone that lives in this area. Acting Chairperson Gengler commented that she would. Commissioner Walker stated that he is simply trying to put himself in the position of those residents. He recognized that the residents already deal with Central Park but purchased their home knowing the park was there.

Motion Carried. Voting Yes: Acting Chairperson Gengler, Commissioners Anderson, Peters, and Hunt. Voting No: Commissioner Walker. Absent: None. Abstain: Chairperson Bauer and Commissioner VanScoy.

City Administrator Hagen replied that this is tentatively scheduled to go forward to the July 12<sup>th</sup> City Council meeting.

Chairperson Bauer and Commissioner VanScoy rejoined the Commission.

## **7.02: Zoning Code Update Preliminary Discussion**

### **Presentation**

Planning Manager Larson presented the Staff Report requesting direction on any areas that the Planning Commission would like to discuss or explore. Time will be scheduled over the next several months, keeping in mind other public hearing and development proposed on the agenda, to discuss various topics the Commission has interest in.

### **Commission Business**

Chairperson Bauer stated that many of the districts have specific uses allowed but other things are not mentioned specifically. He encouraged staff to ensure that the list is comprehensive or has allowances for certain things.

Planning Manager Larson stated that zoning establishes rights and very little of what is reviewed by the Planning Commission is discretionary. He stated that something cannot be denied simply because it is not liked. He stated that if there is a Comprehensive Plan amendment or change of that nature, it would provide the Commission with more discretion. He explained that parameters should then be included in the zoning code to ensure that the Commission would be happy with the allowed use. He also provided details on nonconformities and the ability to expand through a CUP, which then makes it a conforming use.

Commissioner Gengler asked if any other municipalities have aligned their Code to other codes, such as those used by the IRS, that provide specificity to the business use.

Planning Manager Larson commented that while some of those codes can be specific, some are very simple.

Commissioner Gengler stated that she would be interested in talking about lighting and would like to see more information on nonconformities. She agreed that the topics on the list are all good.

Commissioner Anderson agreed and liked the suggestion of tackling one or two topics at a time.

Planning Manager Larson welcomed any additional comments the Commission may think of between meetings that they would like to discuss. He noted that the list were some ideas from staff. He noted that there would also be proposed reorganization to make the Code more user friendly, such as consolidating all permit application information into one area.

Commissioner Anderson stated that he would be interested in what could be done to ensure Highway 10 does not turn into a corridor of signage.

Chairperson Bauer commented that this is an excellent idea and Planning Manager Larson has an impressive background with a lot of experience that will be helpful in this process. He thanked Planning Manager Larson for taking on this task and suggested he develop the plan for tackling this issue. He agreed with the approach of using 30 minutes or so of each meeting to review one or two topics. He suggested reviewing issues that have had multiple variances to determine if a change to the Code would be appropriate.

Planning Manager Larson commented that they would also be doing a public engagement survey to gather input.

Commissioner VanScoy referenced the subdistricts of the COR and asked if there could be clarification on the zoning for the section of the COR west of Armstrong.

City Administrator Hagen stated that part of this is following the adoption of the Comprehensive Plan to ensure the zoning and guidance match throughout the community.

Commissioner VanScoy did not believe the City has been consistent in applying the COR framework towards applications and would like to see that addressed.

Planning Manager Larson stated that if the Commission were interested in gaining input on other topics or entities, such as the purpose of the LRRWMO, perhaps presentations could be provided on those things as well.

Chairperson Bauer recognized that there are other agencies that have approval authority over certain issues, such as water management in the case of the LRRWMO. He stated that the Commission then places contingencies, but those issues are dealt with by the other entity and therefore perhaps it would make sense to better understand those review processes.

Planning Manager Larson thanked the Commission for their input and noted that they will begin to bring topics forward but recognized that this process will take a while to complete.

Commissioner Anderson suggested that staff begin with an issue that causes time delays for staff.

Commissioner VanScoy recognized concerns that are expressed by residents and found it helpful for the standard to be reviewed by the City Engineer which helps to address those concerns.

## **8. COMMISSION / STAFF INPUT**

City Administrator Hagen recognized the staffing changes within the City. He noted that he has officially been hired as the City Administrator but would still have regular involvement in Community Development until a new Director is hired. He reviewed some of the other staffing changes.

Chairperson Bauer congratulated City Administrator Hagen on the new position.

## **9. ADJOURNMENT**

Motion by Commissioner VanScoy, seconded by Commissioner Anderson, to adjourn the meeting.

Motion Carried. Voting Yes: Chairperson Bauer, Commissioners VanScoy, Anderson, Gengler, Hunt, Peters, and Walker. Voting No: None. Absent: None.

The regular meeting of the Planning Commission adjourned at 10:08 p.m.

Respectfully submitted,

---

Todd Larson  
Planning Manager

ATTEST:

---

Nicole Laubach  
Planning Administrative Assistant

Drafted by Amanda Staple  
*TimeSaver Off Site Secretarial, Inc.*

## Regular Planning Commission

6. 1.

**Meeting Date:** 07/28/2022

**By:** Brian McCann, Community  
Development

---

### Information

#### **Title:**

PUBLIC HEARING: Consider a Home Occupation Permit and Conditional Use Permit for Your Computer Hero at 5435 180th Ln NW (Project 22-127)

#### **Purpose/Background:**

The City has received an application for a Home Occupation Permit and a Conditional Use Permit from the business owners, William and Jenna MacLennan, of Your Computer Hero to operate their business from a two-story 45' x 30' accessory structure at their home at 5435 180th Ln NW (the "Subject Property").

#### **Notification:**

Staff attempted to notify property owners within 350 feet of the Subject Property, as reflected in the Anoka County Property Records, of the request for Home Occupation Permit and Conditional Use Permit consideration and the Public Hearing to be held by the Planning Commission on July 28, 2022. A notice of the Public Hearing was also published in the Anoka County UnionHerald, the City's official newspaper.

#### **Observations/Alternatives:**

##### **Subject Property**

The Subject Property is 0.77 acres in size and is zoned and guided R-1 Residential (Rural Developing). Surrounding parcels to the east, west, and south are also zoned and guided Rural Developing. There are currently two accessory structures on the property, but Zoning Code would allow for a third structure as long as it does not exceed the total maximum allowed square footage for the property of 1,800 square feet.

##### **Home Occupation Permit**

The Applicants currently have an existing operation in the COR in Suite 300 of the 7962 Sunwood Dr NW multi-tenant building, but they are planning to move locations to their residential home due to the limited number of foot traffic received at their current space. A copy of the Home Occupation Questionnaire is attached, as well as proposed Resolution #22-164 to approve the requested Home Occupation.

##### **Conditional Use Permit**

The Applicants are also proposing to build a new accessory structure near the northern border of the property. The proposed structure will have a second driveway accessing Erkium St NW, with the home accessing 180th Ln NW. An existing accessory structure on the north side of the property will be moved further east, and the additional driveway will connect to the new building. The structure will meet all zoning standards for size and location, but requires the CUP due to the second story. Architectural plans and survey showing the proposed building are attached, as well as proposed Resolution #22-164 approving the Conditional Use Permit.

##### **Public Comment**

The City received a call from a nearby resident that received a copy of the public hearing notice. They stated they were not able to attend the meeting, but were advised to submit a letter to the Planning Commission to be entered for the record. They did not state if they were in favor or opposed to the request.

##### **City Code Sections**

Section 117-51. - Conditional use permits.

Section 117-111. - R-1 Residential District.

Section 117-349. - Accessory uses and buildings

Section 117-351. - Home occupations.

**Alternatives**

Alternative 1: Recommend the City Council approve the Home Occupation Permit and Conditional Use Permit. The proposed use will generate minimal traffic and does not appear to be an intense home occupation use. A two-story accessory structure is a reasonable request to store any vehicles, along with equipment or office space for the operation.

Alternative 2: Recommend the City Council approve only one of the applications (either HOP or CUP). Staff does not support this alternative, as both requests are reasonable and would be necessary to move their operation to their residential property.

Alternative 3: Recommend the City Council deny the Home Occupation Permit and Conditional Use Permit. Staff does not support this alternative.

**Funding Source:**

All costs associated with this request are the Applicant's responsibility.

**Recommendation:**

City Staff recommend the Planning Commission recommend the City Council adopt Resolutions #22-164 and #22-165 approving the Conditional Use Permit and Home Occupation Permit on the Subject Property.

**Action:**

Motion to recommend the City Council adopt Resolution #22-164 approving a Conditional Use Permit to allow a two-story accessory structure on the Subject Property.

-and-

Motion to recommend the City Council adopt Resolution #22-165 approving a Home Occupation Permit to allow a computer business on the Subject Property.

---

**Attachments**

Public Hearing Notice

Site Location Map

Land Use Application

HOP Questionnaire

Property Survey with Building

Architectural Plans

CUP Resolution #22-164

HOP Resolution #22-165

---

**Form Review**

**Inbox**

Brian Hagen

Form Started By: Brian McCann

Final Approval Date: 07/21/2022

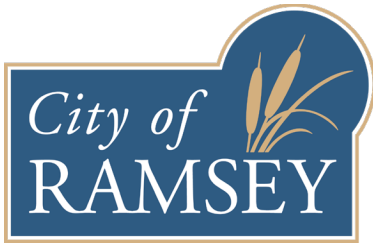
**Reviewed By**

Brian Hagen

**Date**

07/21/2022 08:58 AM

Started On: 07/18/2022 02:59 PM



7550 Sunwood Drive NW • Ramsey, MN 55303

City Hall: 763.427.1410 • Fax: 763.427.5543

[www.cityoframsey.com](http://www.cityoframsey.com)

---

**NOTICE OF PUBLIC HEARING  
PROJECT NO. 22-127: YOUR COMPUTER HERO**

**CITY OF RAMSEY  
ANOKA COUNTY  
STATE OF MINNESOTA**

**TO WHOM IT MAY CONCERN:**

Notice is hereby given that the Planning Commission of the City of Ramsey will hold a Public Hearing on Thursday, July 28, 2022 at 7:00 p.m. at Ramsey Municipal Center, 7550 Sunwood Drive NW, Ramsey, MN 55303. All interested persons are invited to attend and comment on the proposed requests.

The purpose of this hearing is to consider a request for a Home Occupational Permit for a computer programming business and Conditional Use Permit for a two-story accessory building located on the property generally known as 5435 180<sup>th</sup> Ln NW and legally described as follows:

LOT 1, BLOCK 10, FORD BROOK ESTATES (SUBJECT TO EASEMENTS AS SHOWN ON PLAT), Anoka County, Minnesota

The City of Ramsey complies with the Americans with Disabilities Act and upon advance request, information will be provided in an alternative form and interpreters will be available. Any person with such a request should contact Nicole Laubach at 763-433-9824 by noon on Wednesday, July 20, 2022.

All interested persons are invited to watch the meeting from a PC, Mac, Linus, IOS, or Android at [www.cityoframsey.com/meetings](http://www.cityoframsey.com/meetings).

Comments are welcome and shall be sent to [planning@cityoframsey.com](mailto:planning@cityoframsey.com) or addressed to the Ramsey Planning Commission, at 7550 Sunwood Drive NW, Ramsey, MN 55303. Any comments must be received at the above email or address prior to 4:00 p.m. on July 28, 2022. For any other inquiries relating to this project contact Brian McCann at 763-433-9860 or [bmccann@cityoframsey.com](mailto:bmccann@cityoframsey.com).

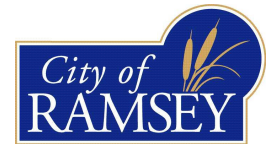
Brian McCann  
City Planner

Date: July 13, 2022

# Your Computer Hero

PID #: 01-32-25-22-0024

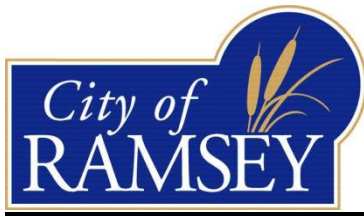
5435 180th Ln NW



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS UserCommunity, LOGIS

Print Date: June 27, 2022

0.00226045 0.009 0.0135 0.018  
mi



## Land Use Application

<input type="checkbox"/> Plat – Sketch Plan	<input type="checkbox"/> Plat – Preliminary Plat	<input type="checkbox"/> Plat – Final Plat
<input type="checkbox"/> Administrative Plat	<input type="checkbox"/> Site Plan Review	<input type="checkbox"/> Easement/ROW Vacation
<input type="checkbox"/> Conditional Use Permit	<input type="checkbox"/> Interim Use Permit	<input type="checkbox"/> Comprehensive Plan Amendment
<input type="checkbox"/> Zoning Amendment	<input type="checkbox"/> Home Occupation Permit	<input type="checkbox"/> Variance
<input type="checkbox"/> Dwelling Moving Permit	<input type="checkbox"/> Environmental Permit	<input type="checkbox"/> Registered Land Survey
<input type="checkbox"/> Non-Traditional Animal License	<input type="checkbox"/> Beekeeping License	<input type="checkbox"/> Private Kennel License

### Applicant Contact Information

*Please note: All official communication will be routed through this contact.*

Name:			
Street Address:			
City, State, ZIP:			
Home Phone:		Work Phone:	
Email:		Fax Number:	
Name of Business (if applicable):			
Business Address (if applicable)			
Business City, State, ZIP			
Business Phone:		Business Fax:	

### Subject Property Information

*(Location of Application)*

Address	
PIN	
Legal Description	
Zoning District	

Contact the Planning Division at 763-433-9824 or [planning@cityoframsey.com](mailto:planning@cityoframsey.com) to request a Zoning Verification

## Property Owner Information


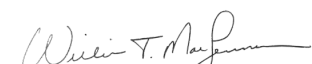
*(If different than Applicant)*

Name:			
Street Address:			
City, State, ZIP:			
Home Phone:		Work Phone:	
Email:		Fax Number:	



Please provide a detailed description of your request and attached a copy of a scaled site plan

A complete description can be found in the HOP Permit Ap.

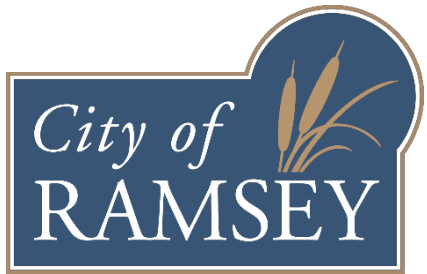
***A "Land Use Sign" will be placed on the Subject Property to allow Ramsey Residents the opportunity to obtain information about your request.***

Applicant Signature		Co-Applicant Signature	
Printed Name	Jenna MacLennan	Printed Name	William MacLennan
Title	Owner	Title	Owner
Date	6.22.22	Date	6.22.22

I understand that the application fee is non-refundable. All costs associated with the processing of this application are the responsibility of the applicant whether this application is approved or denied. Any excess of escrow account deposits over expenditures will be refunded at the time of account closure. I also understand that as the applicant, it is my responsibility to obtain all other permits or licenses required by any applicable regulatory agencies for this Land Use Application.

Property Owner Signature		Property Owner Signature	
Printed Name	Jenna MacLennan	Printed Name	William MacLennan
Title	Owner	Title	Owner
Date	6.22.22	Date	6.22.22

I hereby certify that I am the fee title owner/contract for deed vendee of record for the above-mentioned property. Failure to prove ownership may void any agreements entered into the City and I will be held liable for any and all costs incurred by the City.



# Home Occupation Permit Guide

---

*A guide for land use applications in the City of Ramsey*

*Created January, 2012*

*Revised April, 2022*

## Home Occupation Permit Basics

A Home Occupation Permit is required in order to operate a business within a principal dwelling or an accessory structure on a residential property.

Home occupation means any business or commercial activity that is conducted on a property that is zoned for residential use. There are two (2) types of Home Occupation Permits. Level I Home Occupation do not require a permit if they do not exceed the requirements in Section 117-351, item 1. Level II Home Occupation Permits require approval by the City Council after public hearing and recommendation by the Planning Commission.

## Application Fee and Escrow

Application Fee (non-refundable):	\$200
Minimum Escrow:	\$800*

\*Required escrows are minimum escrows. Remaining surplus shall be refunded to the Applicant after all remaining obligations are completed and accepted by the City. The Applicant shall be responsible for all costs incurred by the City above the minimum escrow.

## Home Occupation Procedures

1. Fill out the enclosed applicable application, supplemental questionnaire and pay the applicable application and escrow fee. Applications ***cannot*** be processed until the application and escrow fees have been paid.
2. Provide a detailed description of your request (attach a separate sheet if necessary).
3. Provide a site plan identifying detailed information regarding the request. Such information may include building and structure locations (existing and proposed) with dimensions, parking areas, screening (existing and required), additional information as required by the City.

## Home Occupation Process

1. Applications must be submitted to Staff thirty (30) days prior to the Planning Commission meeting (see attached meeting date schedule).
2. The City has 15 days to determine if the application is complete. In the event that the application is incomplete, Staff will notify the Applicant within the 15 days and provide direction on what information is still required.
3. Properties located within at least 350 feet of the subject property will be notified of the request and the public hearing date to be held by the Planning Commission.
4. City Staff will prepare a report detailing the information related to the request, findings of fact and proposed Home Occupation Permit.
5. The City Council meets on the second and fourth Tuesday of every month.

Address: 5435 180th Ln NW, Ramsey, MN 55303

### Home Occupation Supplemental Questionnaire

Does the home occupation owner live in the home on the property? Yes

Does the home occupation owner rent or own the property? Own

Will any part of the occupation be conducted in the home? No

If so, what activities will be conducted in the home and in which room(s)?


What is the gross living area of the home? 2000 sq. ft.

How much of that area will be used for the occupation? 0 sq. ft.

Will an attached garage or any detached accessory building or garage be used for the occupation? Yes

If so, explain: We are proposing a detached 4 car garage with a loft be built on the property. The structure will include space for 2 cars, additionally an area for programming and preparing computer equipment for off site installation. The loft will include 2 offices and a conference room.
---

Will there be at least 200 square feet of garage space reserved for indoor residential parking and storage related to the residential use on the property? Yes

Will any structural additions or alterations to home or garages be required for this occupation? Yes

If so, explain: We are proposed plans include the building of a 2 story detached structure that has a footprint of approximately 30'x45'
--

Will you employ persons that do not live in the home on the property? Yes

If yes, how many non-resident employees will work on the site? 1

How many non-resident employees will work off-site? 5

Will it be necessary employees working off-site to come to the home? Occasionally

If so, explain: Non-resident employees may occasionally come to the site to pick-up

computers, program technology for deployment or attend a meeting.

Will customers or clients come to the property? No

How many vehicle trips per day do you anticipate entering and leaving the property in a typical 24 hour period? (this includes employees, customers, deliveries, etc.)?

1-2. This will be mostly deliveries and occasionally an employee.

Will any vehicles, other than your private car(s), be used in connection with the home occupation? No

If so, provide number, size and type of vehicles:


Do you intend to store supplies and/or materials on the site? Yes

Please describe items to be stored and where?

We will temporarily store computers, switches, firewalls, low voltage wire, etc. on site a these items are scheduled and prepared installation at clients' business.

Are any of the home occupation processes or materials subject to review and permitting by Anoka County Environmental Services? No

If so, explain and/or provide necessary documents.


Homeowner's Name: Jenna MacLennan

Date: 06.22.2022

Homeowner's Signature: 

Email: jennam@yourcomputerhero.com

Phone: 763-229-3072

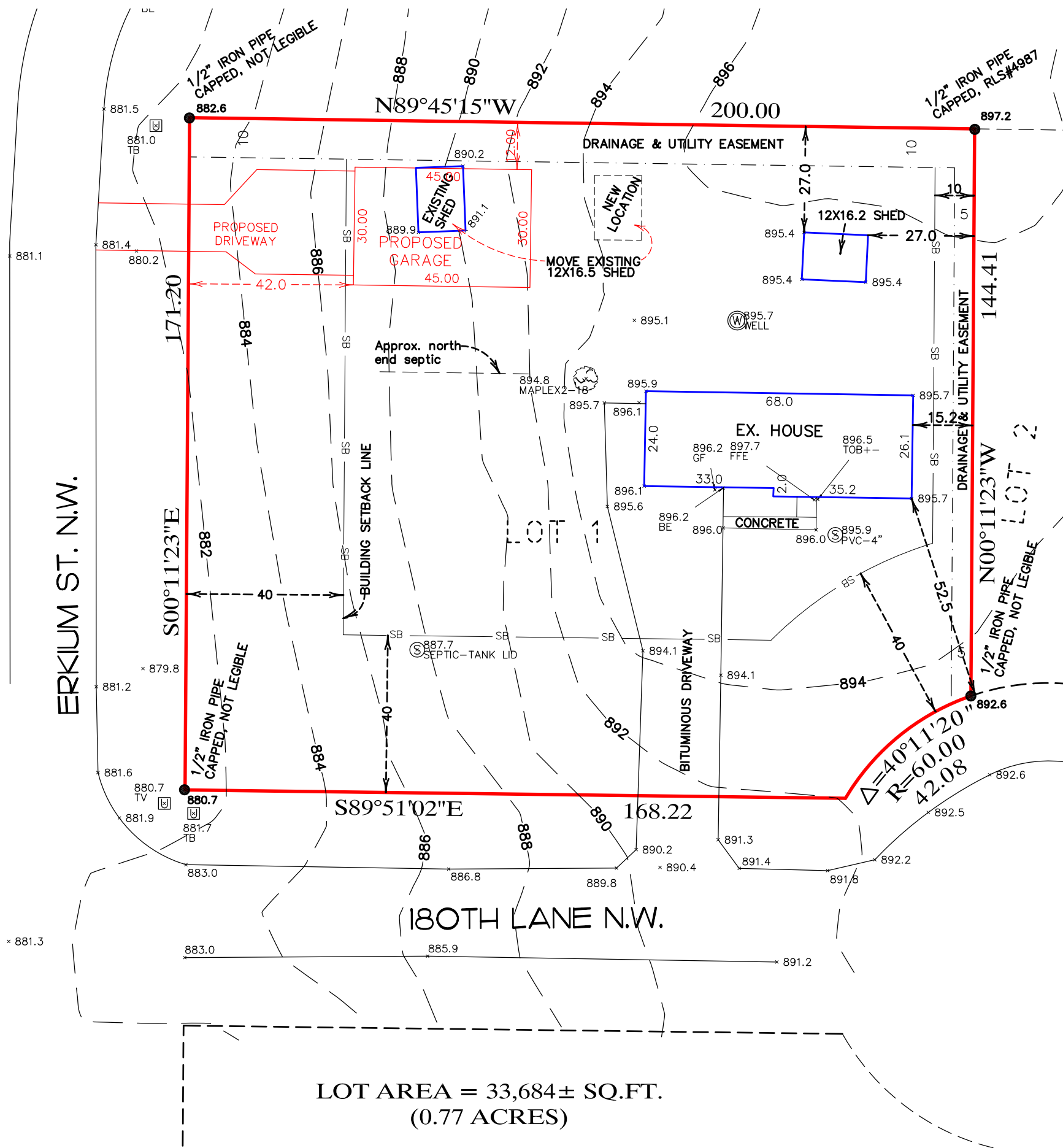
**Brief Description of Home Occupation:**

Your Computer Hero has been renting a space across from Acapulco in downtown Ramsey for the past 5 years. Since our lease will be up in that location, we have decided to let go of the PC repair portion of our business to focus on our business clients. At this time we have 2 support staff people that are 100% virtual and do not live in the area, we have 2 technicians that do on site computer work and both owners Jenna and Bill MacLennan work in some capacity in the business. The majority of work for our clients is done remotely or on site at the clients' place of business. The portion of work that will be done at the residential location is the staging and preparation of computer equipment before it is deployed to the client's business where it is installed.

# CERTIFICATE OF SURVEY

PROPERTY ADDRESS: #5435 - 180TH LANE N.W., RAMSEY, MN

FOR: JENNA MACLENNAN



## LEGEND

- DENOTES IRON MONUMENT FOUND
- ⊙ DENOTES WELL
- x1011.2 DENOTES EXISTING ELEVATION.
- ⊙ DENOTES EXISTING TREE
- SB— DENOTES BUILDING SETBACK LINE



NORTH



( IN FEET )  
 1 inch = 30 ft.

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

*Eric R. Vickaryous*  
 ERIC R. VICKARYOUS

Date: June 27th, 2022 Reg. No. 44125

**ACRE LAND SURVEYING**  
 Serving Twin Cities Metro area and beyond  
 763-458-2997 acrelandsurvey@gmail.com

JOB #22158hs

REVISIONS	BY
XXXXX	XX

**SPECIAL NOTICE:**  
CROIX DESIGN AND DRAFTING, INC. ACCEPTS NO RESPONSIBILITY FOR ERRORS AND/OR OMISSIONS. THESE DRAWINGS ARE DESIGN CONCEPT ONLY. EVERY EFFORT HAS BEEN MADE TO DESIGN ACCURATELY. THE OWNER, GENERAL CONTRACTOR, ARCHITECT, SUB-CONTRACTORS, AND SUPPLIERS MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR ANY CHANGES OR ADJUSTMENTS REQUIRED DURING ACTUAL CONSTRUCTION. NO REPRESENTATION IS MADE OR IMPLIED FOR ACCURACY.

**COPYRIGHT NOTICE, ALL RIGHTS RESERVED**  
THESE ARCHITECTURAL PLANS AND ALL RELATED WORKS ARE PROTECTED BY UNITED STATES COPYRIGHT LAWS, AND MAY NOT BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN PERMISSION OF CROIX DESIGN AND DRAFTING, INC. CROIX DESIGN AND DRAFTING, INC.

DESIGN and DRAFTING BY:



ARCHITECTURAL DESIGN and DRAFTING SERVICE  
HOME PLAN SERVICE • CUSTOM HOMES • REMODELING  
PHONE: 763.757.5997 • ANDOVER, MINNESOTA  
WWW.CROIXDESIGN.COM

BUILT BY:

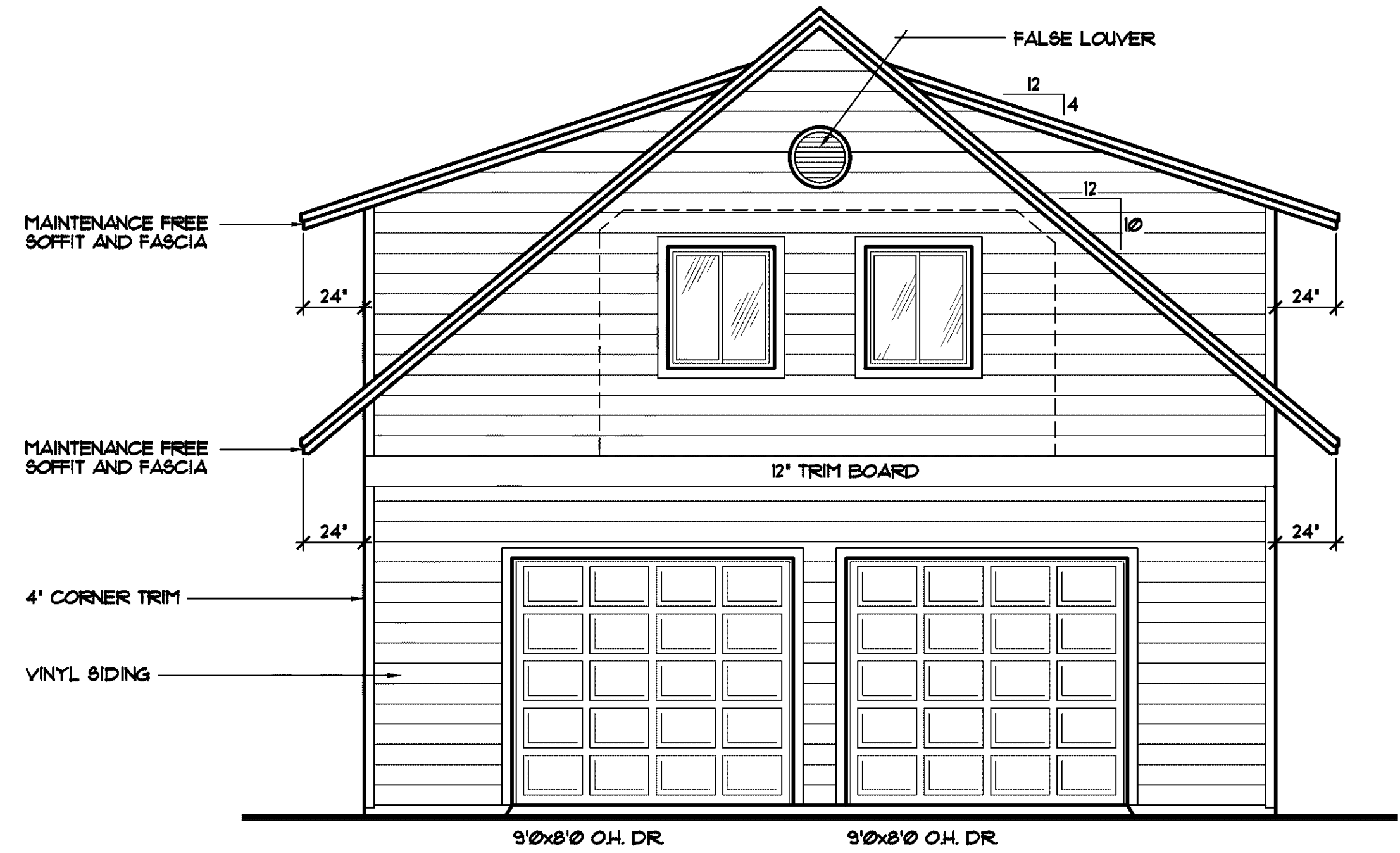
DRAWN	R.V.S.
CHECKED	XX
DATE	06/27/2022
SCALE	AS NOTED
CADD FILE #	22161
SHEET	1 OF 9



**LEFT ELEVATION** 1/4"=1'-0"

LEVEL	R.C.H.	TOP OF WINDOW R.O.
MAIN LEVEL	9'-1 1/8"	7'-10 1/2"
UPPER LEVEL	8'-1 1/8"	6'-10 1/2"

- GENERIC WINDOWS SPEC'D.
- VINYL SIDING SHOWN
- MAINTENANCE FREE SOFFITS & FASCIA
- DOOR & WINDOW TRIM WHERE SHOWN



**FRONT ELEVATION** 1/4"=1'-0"

615 SQFT. MAIN LEVEL  
1263 SQFT. UPPER LEVEL  
1878 SQFT. ABOVE GRADE

NEW GARAGE FOR:  
**MACLENNAN**

© COPYRIGHT 2022 NOTICE, ALL RIGHTS RESERVED  
CROIX DESIGN and DRAFTING, INC.

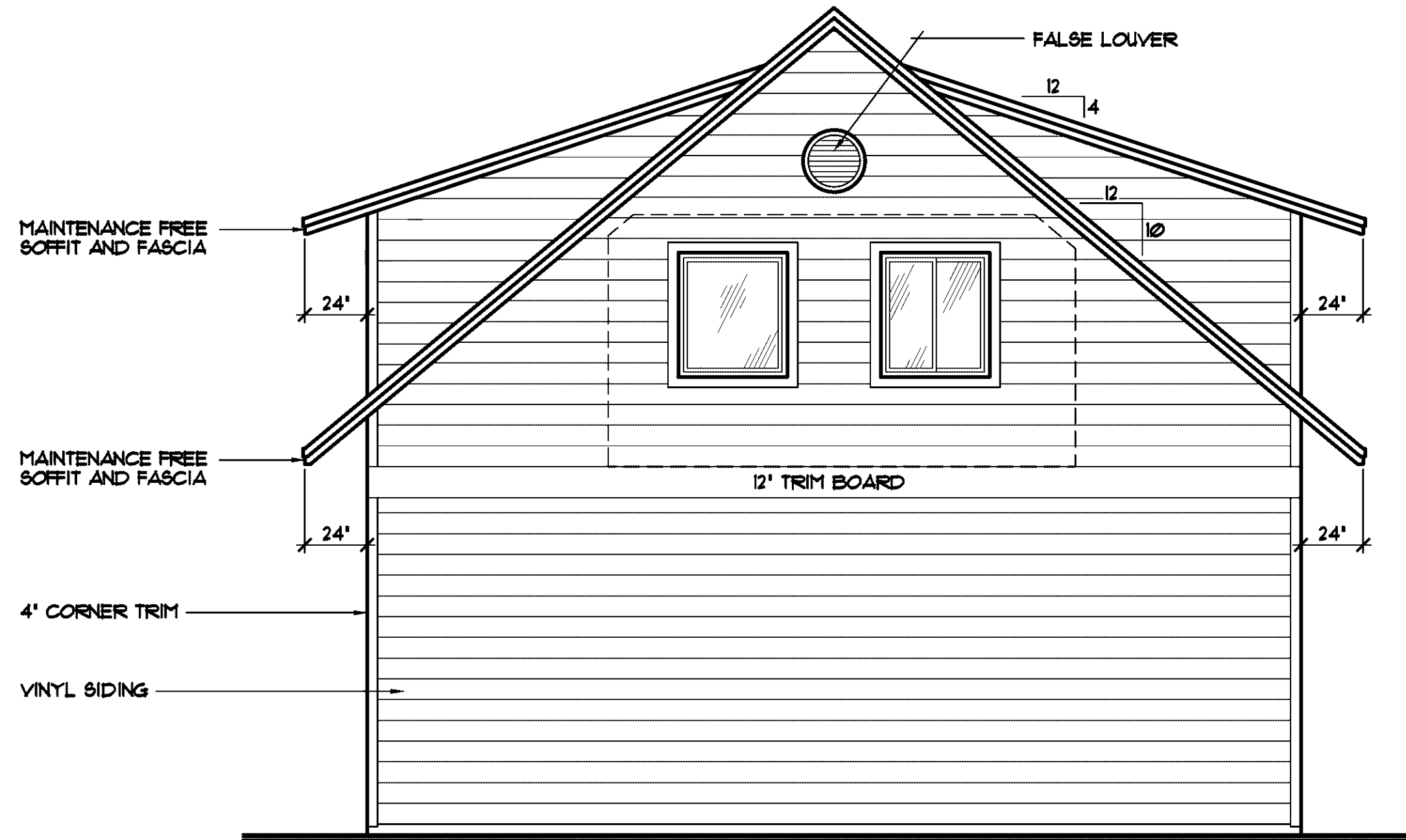
NOTE III  
PROVIDE STANDARD ENERGY HEEL • 4/12 ROOF TRUSSES (TYP.)

NOTE III  
PROVIDE 51' HEEL • 10/12 ROOF TRUSSES & BONUS ROOM TRUSSES

NOTE II  
PROVIDE 26 1/4' HEEL • 10/12 PARALLEL CHORD ROOF TRUSSES • STAIRWELL



**RIGHT ELEVATION** 1/4"=1'-0"



**REAR ELEVATION** 1/4"=1'-0"

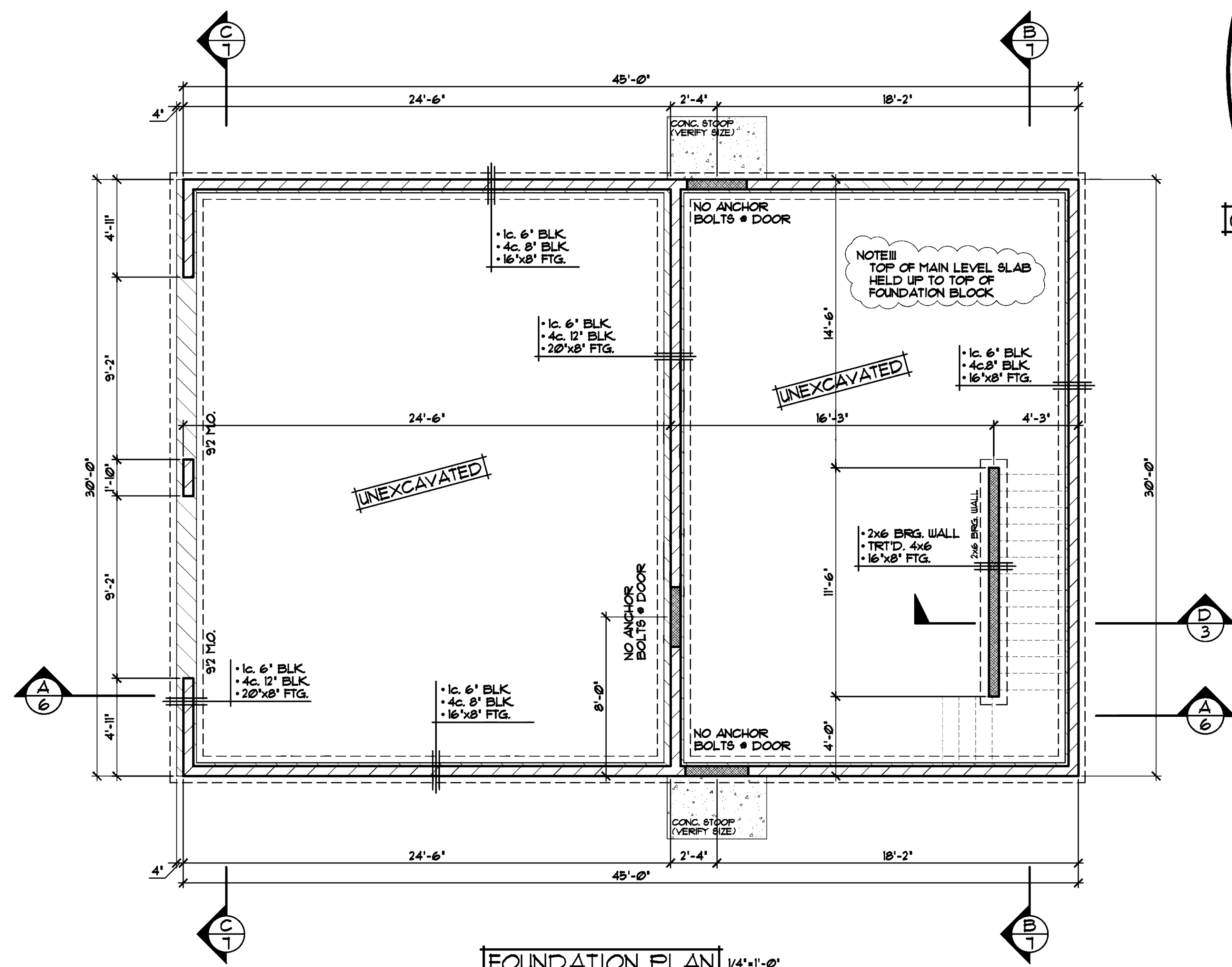
**SPECIAL NOTICE:**  
CROIX DESIGN AND DRAFTING, INC. ACCEPTS NO RESPONSIBILITY FOR ERRORS AND/OR OMISSIONS. THESE DRAWINGS ARE DESIGN CONCEPT ONLY. EVERY EFFORT HAS BEEN MADE TO PREPARE THESE DRAWINGS ACCURATELY AND TO REFLECT THE INTENT OF THE CLIENT. THE CLIENT IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE PROJECT. ANY CHANGES OR ADJUSTMENTS REQUIRED DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CLIENT. NO REPRESENTATION IS MADE OR IMPLIED FOR ACCURACY.

OFFICE: 763.757.5997  
FAX: 763.757.4383  
ANDOVER, MINNESOTA  
WWW.CROIXDESIGN.COM

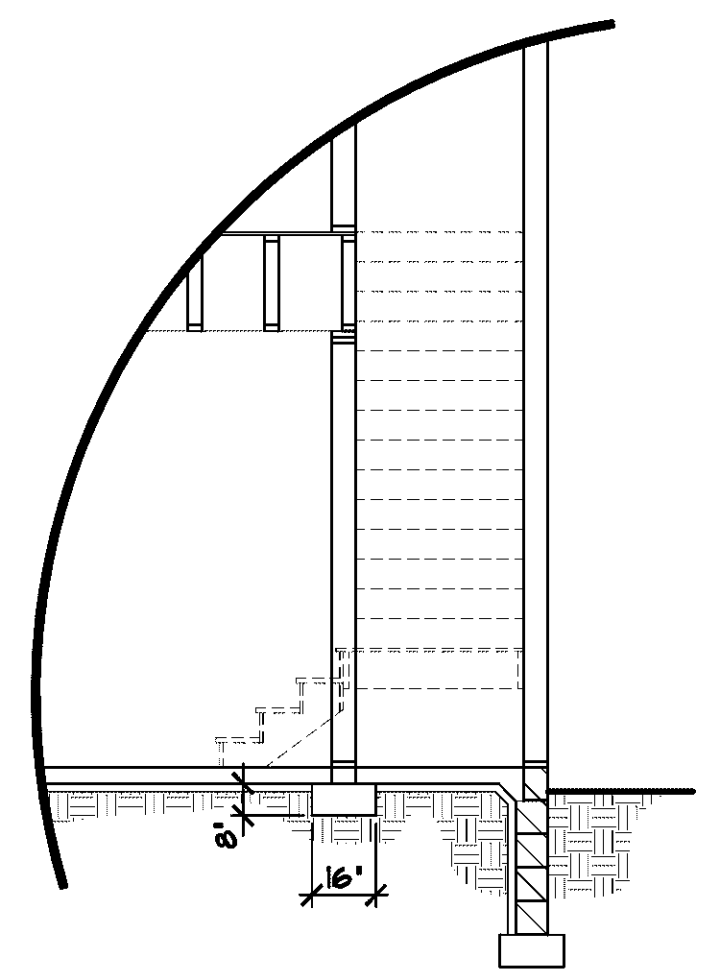


BUILT BY:

**FRONT**



**FOUNDATION PLAN** 1/4"=1'-0"  
SLAB-ON-GRADE FOUNDATION



**CROSS SECTION "D"** 1/4"=1'-0"

ALL HEIGHT CALCULATIONS FOR FOUNDATIONS ARE BASED ON THE USE OF FULL 8" HIGH BLOCK WITH 3/8" JOINTS. IF MODULAR BLOCK IS USED, CONTRACTORS SHOULD ADJUST HEIGHTS ACCORDINGLY

**FOUNDATION CONST. NOTES**

- SOLID CAP BLOCK at TOP COURSE & GROUT SOLID WHERE ANCHOR BOLTS ARE USED & BRICK LEDGES
- PROVIDE 2" R10 FOAM BOARD INSULATION • INTERIOR FOUNDATION WALLS
- INSULATION & AIR BARRIER TO BE CONT. OVER TOP OF FOUNDATION WALLS (TYP.)
- PROVIDE (2) #4 BAR AT ALL CONC. FOOTINGS (TYP.)

**SPECIAL NOTICE:**  
CROIX DESIGN AND DRAFTING, INC. ACCEPTS NO RESPONSIBILITY FOR ERRORS AND/OR OMISSIONS. THESE DRAWINGS ARE DESIGN CONCEPT ONLY. EVERY EFFORT HAS BEEN MADE TO PREVENT ERRORS AND OMISSIONS. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS. THE USER SHALL BE RESPONSIBLE FOR ANY CHANGES OR ADJUSTMENTS REQUIRED DURING CONSTRUCTION. NO REPRESENTATION IS MADE OR IMPLIED FOR ACCURACY.

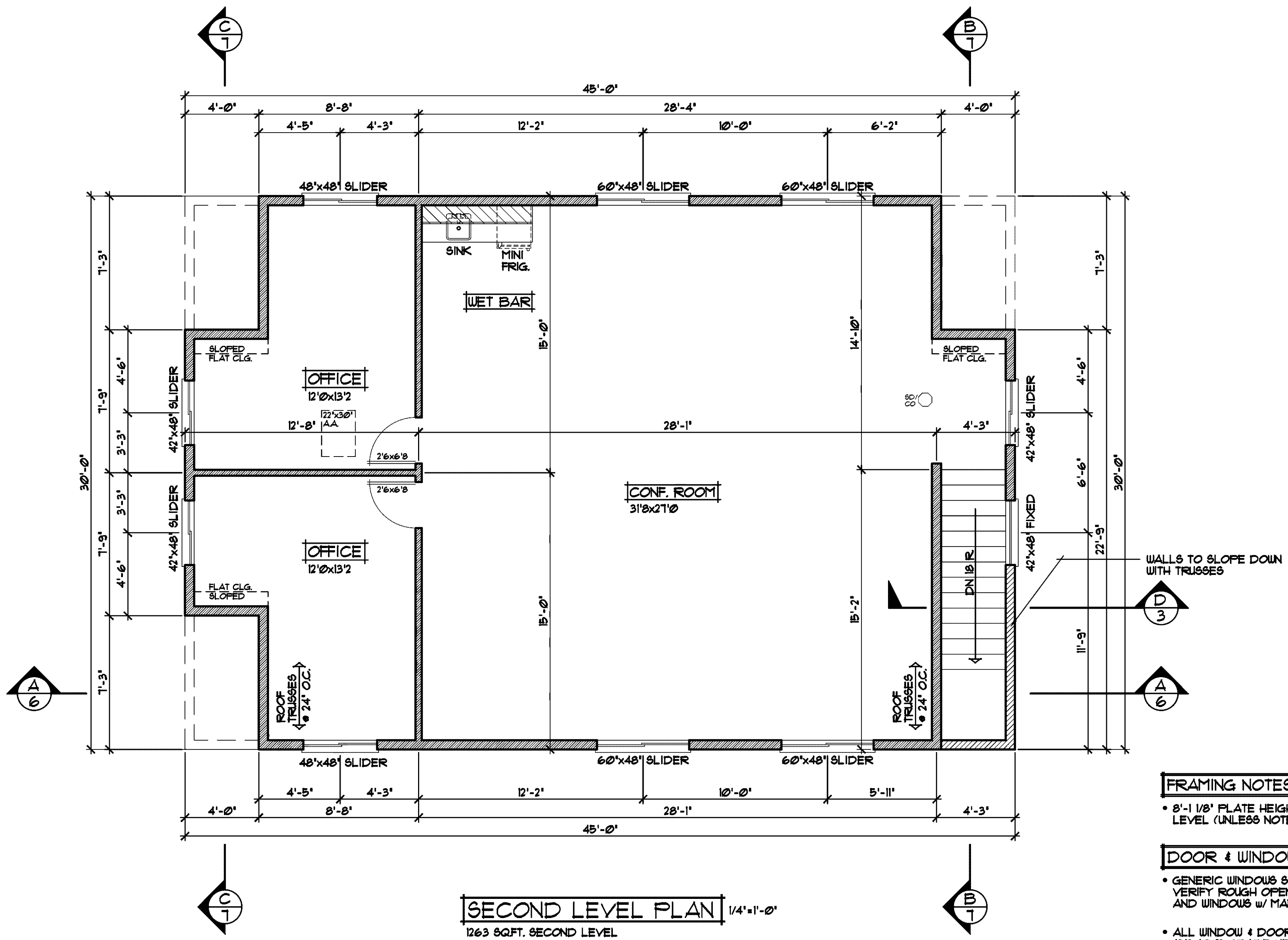
OFFICE: 763.757.5997  
FAX: 763.757.4383  
ANDOVER, MINNESOTA  
WWW.CROIXDESIGN.COM



BUILT BY:



FRONT



**SECOND LEVEL PLAN** 1/4" = 1'-0"  
1263 SQFT. SECOND LEVEL

**FRAMING NOTES**

- 8'-1 1/8" PLATE HEIGHT • ENTIRE MAIN LEVEL (UNLESS NOTED OTHERWISE)

**DOOR & WINDOW NOTES**

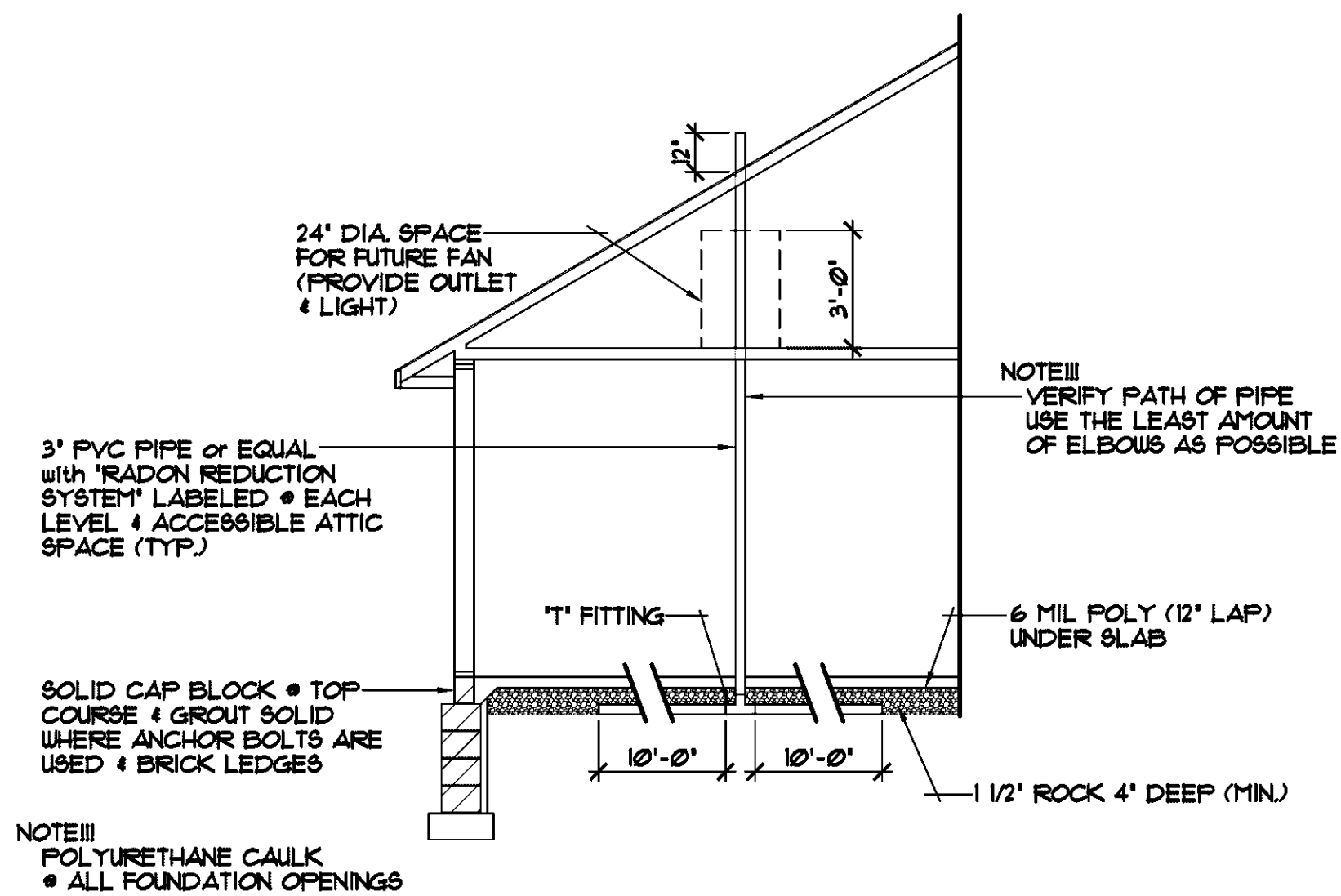
- GENERIC WINDOWS SPECIFIED VERIFY ROUGH OPENING SIZES FOR DOORS AND WINDOWS w/ MANUFACTURER
- ALL WINDOW & DOOR OPENINGS TO HAVE (2) 2x10 #2 GRADE HEADER or BETTER (UNLESS NOTED OTHERWISE)
- TOP OF RO. FOR ALL WINDOWS ON MAIN LEVEL TO BE 6'-10 1/2" FROM TOP OF SLAB (UNLESS NOTED OTHERWISE)

**SPECIAL NOTICE:**  
CROIX DESIGN AND DRAFTING, INC. ACCEPTS NO RESPONSIBILITY FOR ERRORS AND/OR OMISSIONS. THESE DRAWINGS ARE DESIGN CONCEPT ONLY. EVERY EFFORT HAS BEEN MADE TO PREVENT ERRORS, BUT THE USER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION. THE USER SHALL BE RESPONSIBLE FOR ANY CHANGES OR ADJUSTMENTS REQUIRED DURING ACTUAL CONSTRUCTION. NO REPRESENTATION IS MADE OR IMPLIED FOR ACCURACY.

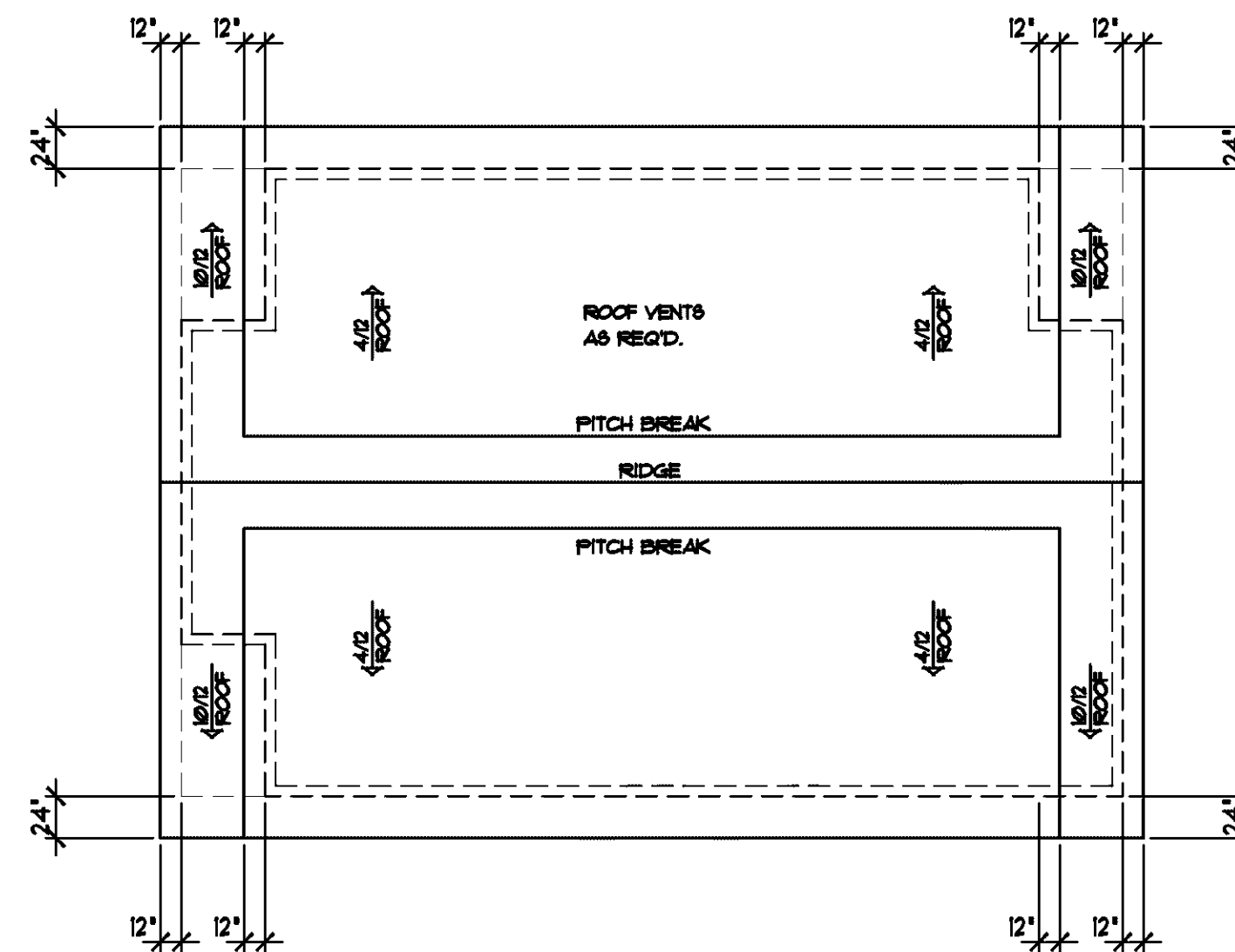
OFFICE: 763.757.5997  
FAX: 763.757.4383  
ANDOVER, MINNESOTA  
WWW.CROIXDESIGN.COM



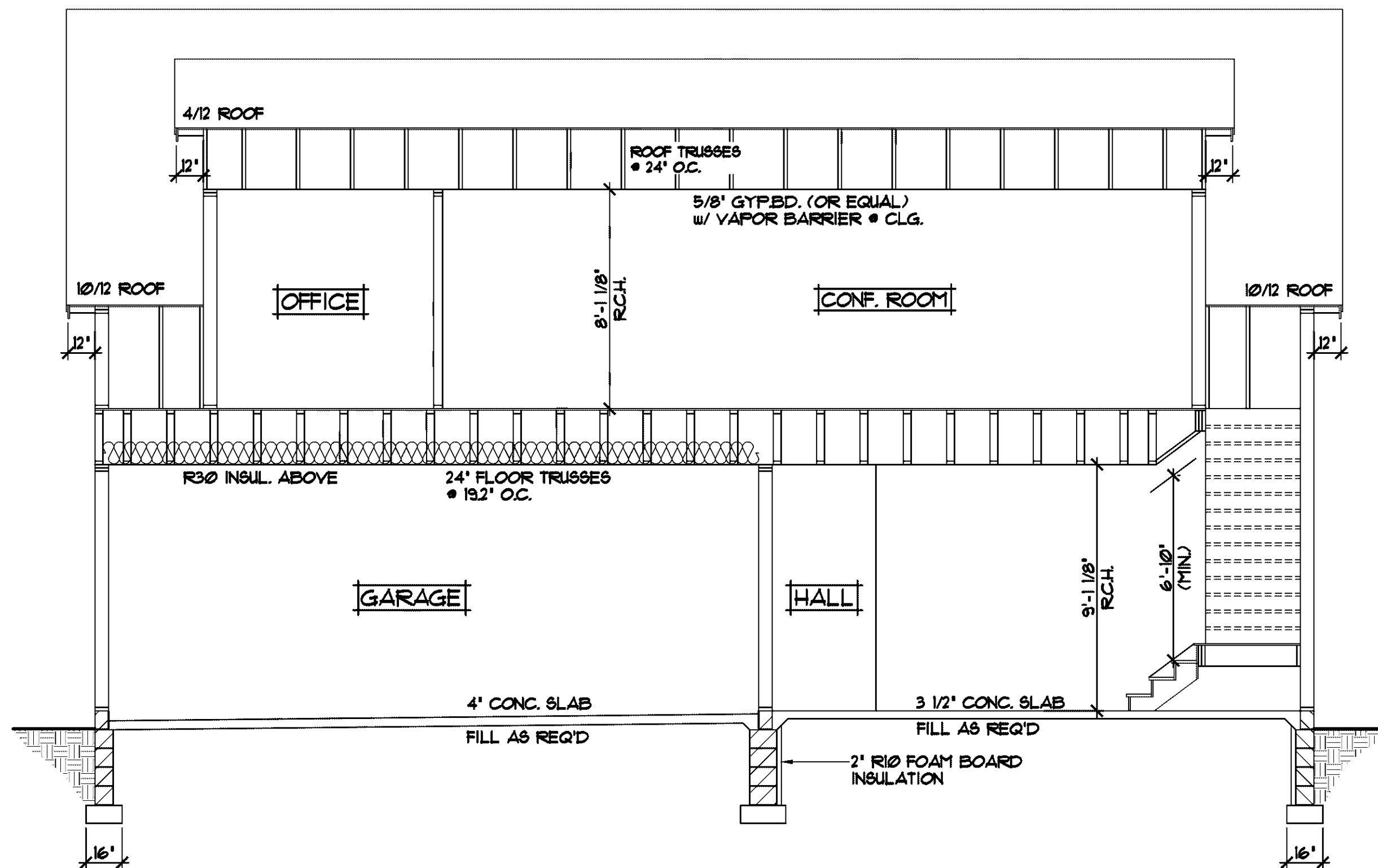
BUILT BY:



**ALTERNATE METHOD FOR PASSIVE RADON MITIGATION SYSTEM**



**BIRDS EYE ROOF PLAN** 1/8"=1'-0"



**CROSS SECTION "A"** 1/4"=1'-0"

- ROOF CONSTRUCTION:**
- MANUFACTURED ROOF TRUSSES ENGINEERED BY SUPPLIER - SLOPES VARY - SEE PLAN
  - R49 BLOWN FIBERGLASS INSULATION
  - 1/16" ROOF VENT AT SOFFITS, 1/16" VENT AT RIDGE
  - AIR CHUTE AT EACH TRUSS SPACE
  - 15/32" ROOF SHEATHING
  - 15" ROOFING FELT
  - ICE & WATER MEMBRANE APPLIED 24" PAST EXTERIOR WALL
  - METAL SEAM ROOF
- SOFFIT / FASCIA:**
- 2x6 SUB-FASCIA
  - MAINTENANCE FREE FASCIA COVER
  - MAINTENANCE FREE VENTED SOFFIT
- WALL CONSTRUCTION:**
- HOUSE WRAP
  - 1/16" OSB SHEATHING
  - 2x6 STUDS • 16" O.C.
  - WINDOWS PER SPEC'S.
  - R-20 F.G. BATT INSULATION
  - 4 MIL POLY VAPOR RETARDER
  - 1/2" GYPSUM BOARD
- RIM AREA CONSTRUCTION:**
- CLOSED CELL SPRAYED FOAM INSUL. R20 (MINIMUM) • RIM AREA AND R30 (MINIMUM) • CANTS.
- WALL CONSTRUCTION:**
- HOUSE WRAP
  - 1/16" OSB SHEATHING
  - 2x6 STUDS • 16" O.C.
  - WINDOWS PER SPEC'S.
  - R-20 F.G. BATT INSULATION
  - 4 MIL POLY VAPOR RETARDER
  - 1/2" GYPSUM BOARD
- SILL CONSTRUCTION:**
- 2x6 SILL PLATE & SEALER w/ 1/2" ANCHOR BOLTS • T2" O.C.
- SLAB CONSTRUCTION:**
- 4" POURED CONCRETE FLOOR
  - 6 MIL POLY VAPOR RETARDER UNDER SLAB
  - UNIFORM LAYER OF 3/4" CLEAN AGGRIGATE 4" THICK (MINIMUM)
  - SAND FILL AS REQUIRED

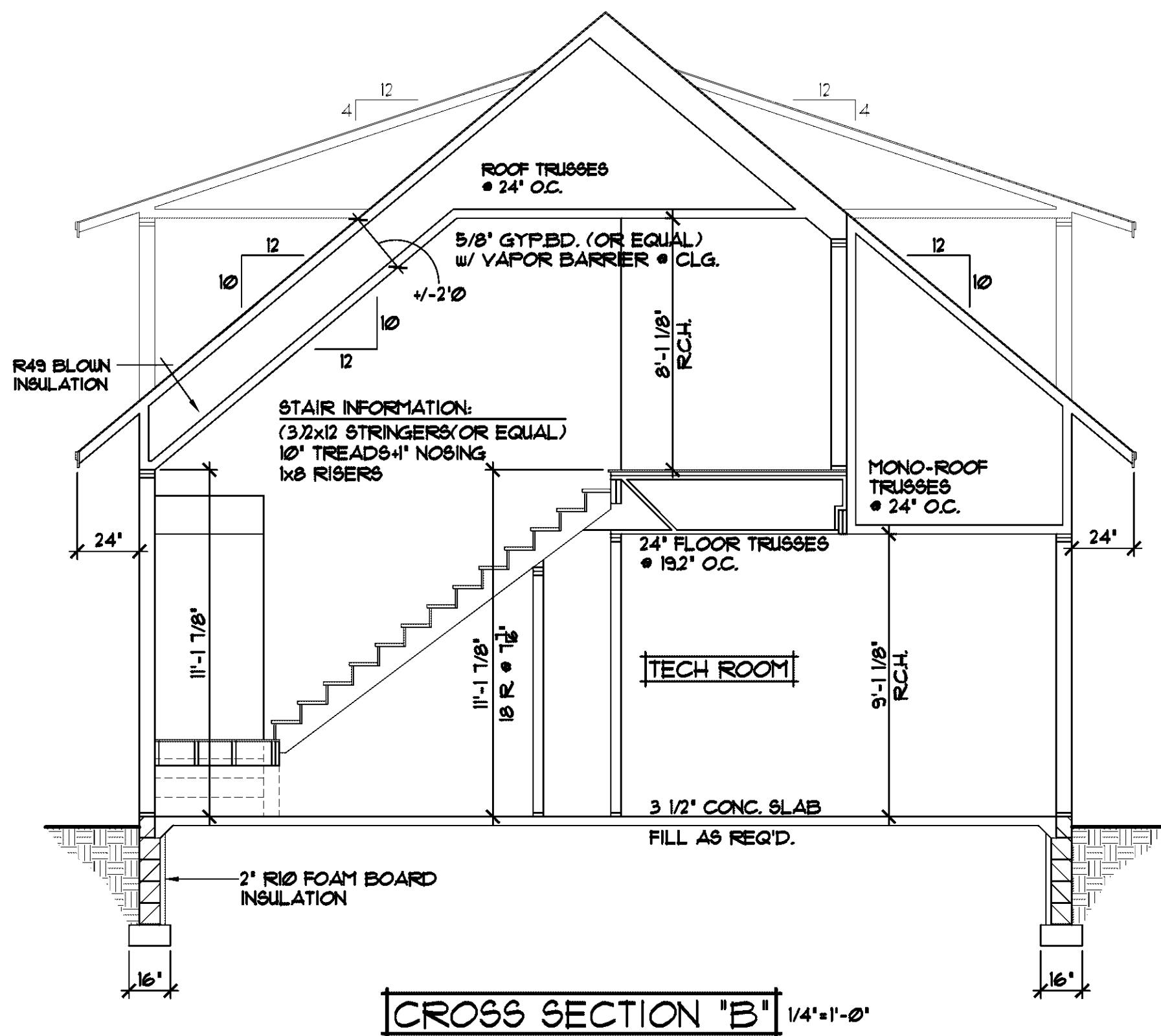
ALL HEIGHT CALCULATIONS FOR FOUNDATIONS ARE BASED ON THE USE OF FULL 8" HIGH BLOCK WITH 3/8" JOINTS. IF MODULAR BLOCK IS USED, CONTRACTORS SHOULD ADJUST HEIGHTS ACCORDINGLY

**SPECIAL NOTICE:**  
CROIX DESIGN AND DRAFTING, INC. ACCEPTS NO RESPONSIBILITY FOR ERRORS AND/OR OMISSIONS. THESE DRAWINGS ARE DESIGN CONCEPT ONLY. EVERY EFFORT HAS BEEN MADE TO PREVENT ERRORS AND OMISSIONS. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION. ANY CHANGES OR ADJUSTMENTS REQUIRED DURING ACTUAL CONSTRUCTION, NO REPRESENTATION IS MADE OR IMPLIED FOR ACCURACY.

OFFICE: 763.757.5997  
FAX: 763.757.4383  
ANDOVER, MINNESOTA  
WWW.CROIXDESIGN.COM



BUILT BY:



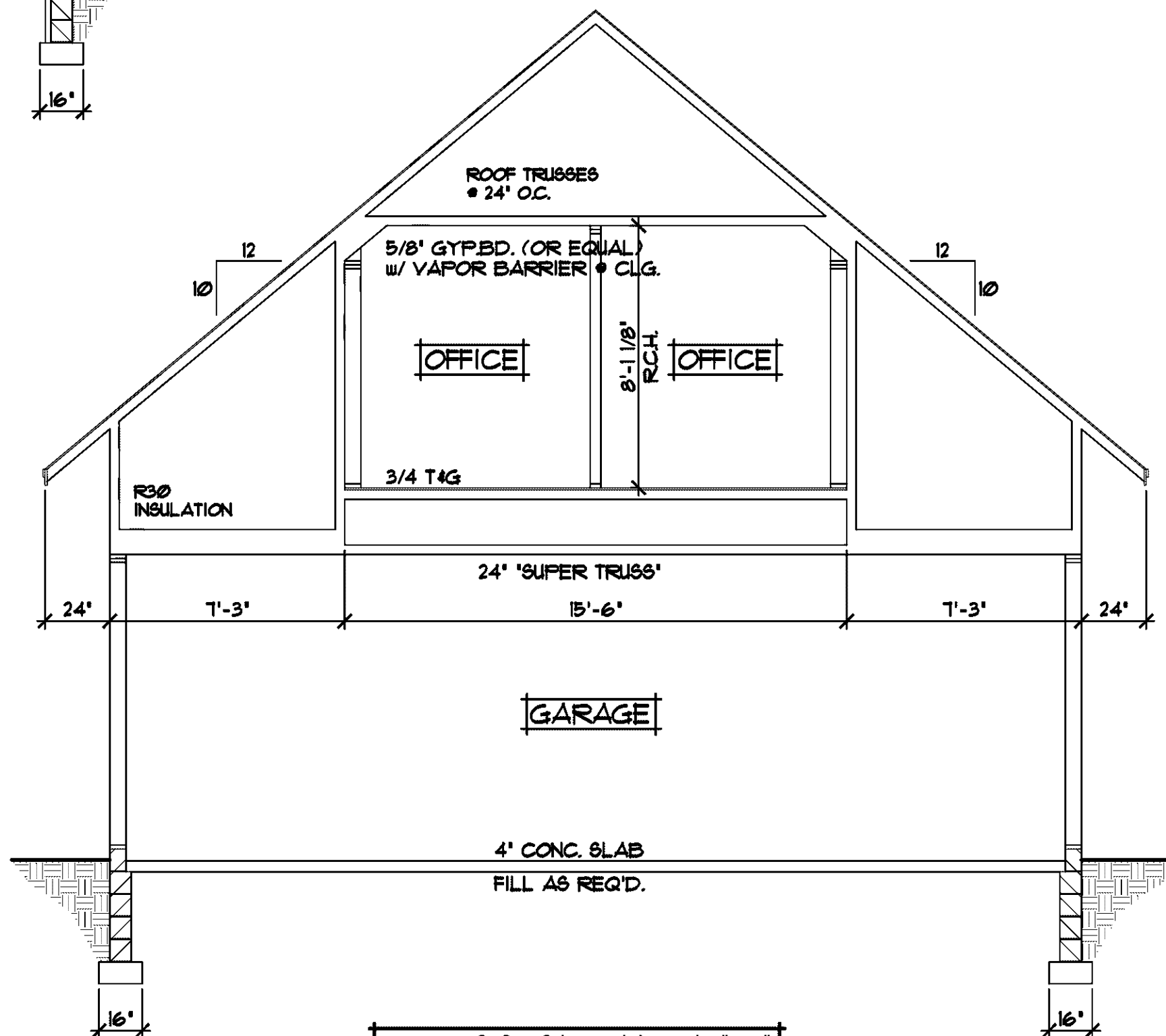
CROSS SECTION "B" 1/4"=1'-0"

NOTE III  
 PROVIDE STANDARD ENERGY HEEL • 4/12 ROOF TRUSSES (TYP.)

NOTE III  
 PROVIDE 51' HEEL • 10/12 ROOF TRUSSES & BONUS ROOM TRUSSES

NOTE III  
 PROVIDE 26 1/4' HEEL • 10/12 PARALLEL CHORD ROOF TRUSSES • STAIRWELL

ALL HEIGHT CALCULATIONS FOR FOUNDATIONS ARE BASED ON THE USE OF FULL 8" HIGH BLOCK WITH 3/8" JOINTS. IF MODULAR BLOCK IS USED, CONTRACTORS SHOULD ADJUST HEIGHTS ACCORDINGLY



CROSS SECTION "C" 1/4"=1'-0"

- ROOF CONSTRUCTION:**
- MANUFACTURED ROOF TRUSSES ENGINEERED BY SUPPLIER - SLOPES VARY - SEE PLAN
  - R49 BLOWN FIBERGLASS INSULATION
  - 1/16" ROOF VENT AT SOFFITS, 1/16" VENT AT RIDGE
  - AIR CHUTE AT EACH TRUSS SPACE
  - 15/32" ROOF SHEATHING
  - 15" ROOFING FELT
  - ICE & WATER MEMBRANE APPLIED
  - 24" FAST EXTERIOR WALL
  - METAL SEAM ROOF

- SOFFIT / FASCIA:**
- 2x6 SUB-FASCIA
  - MAINTENANCE FREE FASCIA COVER
  - MAINTENANCE FREE VENTED SOFFIT

- WALL CONSTRUCTION:**
- HOUSE WRAP
  - 1/16" OSB SHEATHING
  - 2x6 STUDS • 16" O.C.
  - WINDOWS PER SPEC'S.
  - R-20 F.G. BATT INSULATION
  - 4 MIL POLY VAPOR RETARDER
  - 1/2" GYPSUM BOARD

- RIM AREA CONSTRUCTION:**
- CLOSED CELL SPRAYED FOAM INSUL. R20 (MINIMUM) • RIM AREA AND R30 (MINIMUM) • CANTS.

- WALL CONSTRUCTION:**
- HOUSE WRAP
  - 1/16" OSB SHEATHING
  - 2x6 STUDS • 16" O.C.
  - WINDOWS PER SPEC'S.
  - R-20 F.G. BATT INSULATION
  - 4 MIL POLY VAPOR RETARDER
  - 1/2" GYPSUM BOARD

- SILL CONSTRUCTION:**
- 2x6 SILL PLATE & SEALER w/ 1/2" ANCHOR BOLTS • 12" O.C.

- SLAB CONSTRUCTION:**
- 4" POURED CONCRETE FLOOR
  - 6 MIL POLY VAPOR RETARDER UNDER SLAB
  - UNIFORM LAYER OF 3/4" CLEAN AGGREGATE 4" THICK (MINIMUM)
  - SAND FILL AS REQUIRED

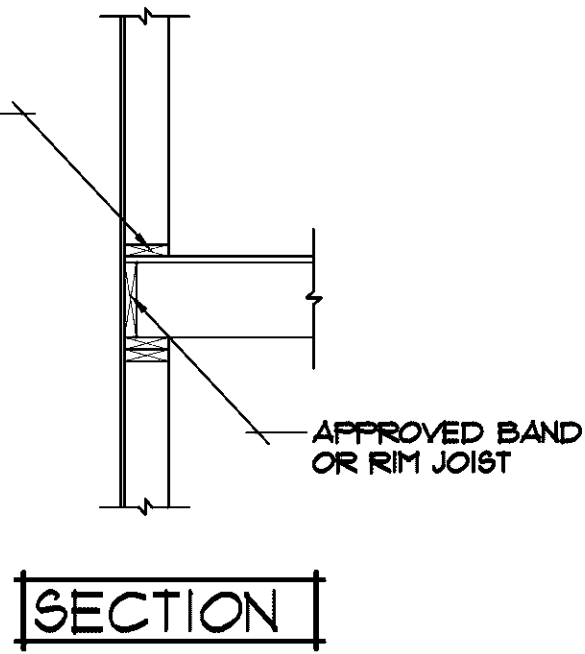
**SPECIAL NOTICE:**  
 CROIX DESIGN AND DRAFTING, INC. ACCEPTS NO RESPONSIBILITY FOR ERRORS AND/OR OMISSIONS. THESE DRAWINGS ARE DESIGN CONCEPT ONLY. EVERY EFFORT HAS BEEN MADE TO PREVENT ERRORS, BUT THE USER MUST VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE CONSTRUCTION. THE USER SHALL BE RESPONSIBLE FOR ANY CHANGES OR ADJUSTMENTS REQUIRED DURING ACTUAL CONSTRUCTION. NO REPRESENTATION IS MADE OR IMPLIED FOR ACCURACY.

OFFICE: 763.757.5997  
 FAX: 763.757.4383  
 ANDOVER, MINNESOTA  
 WWW.CROIXDESIGN.COM

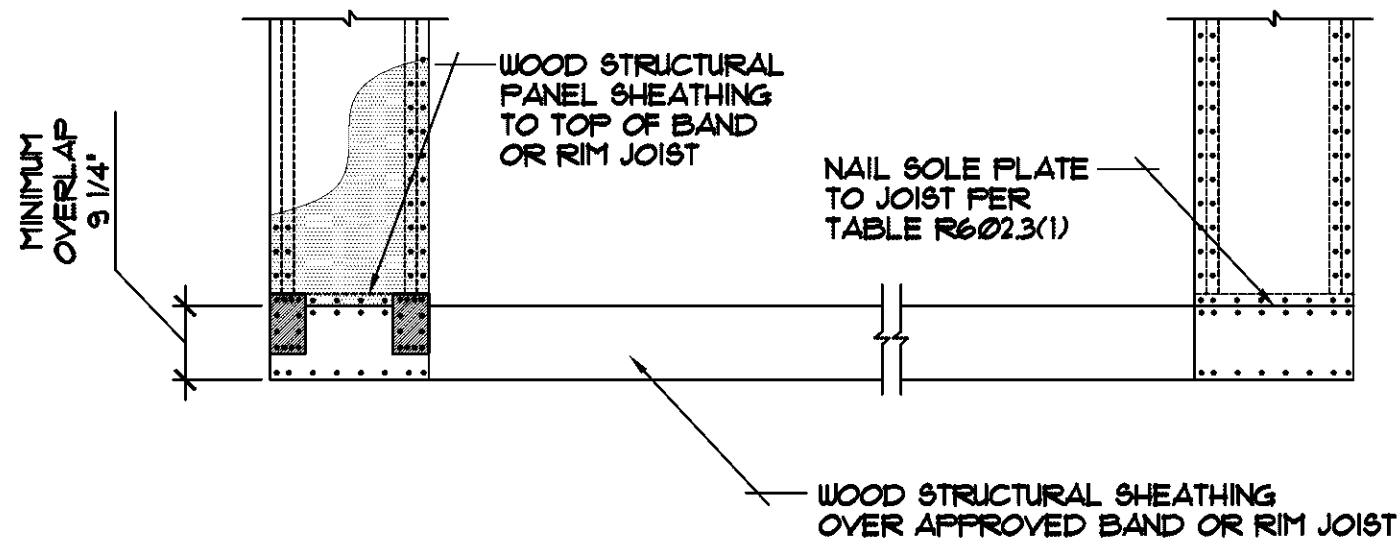


BUILT BY:

NAIL SOLE PLATE TO JOIST PER TABLE R602.3(1)



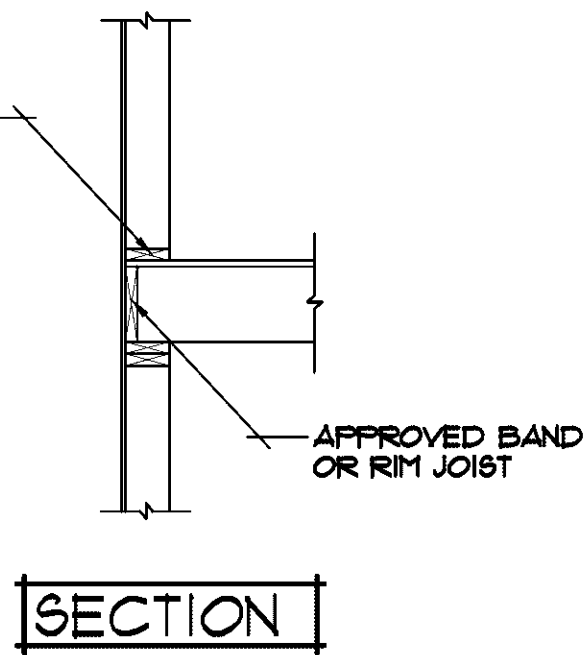
SECTION



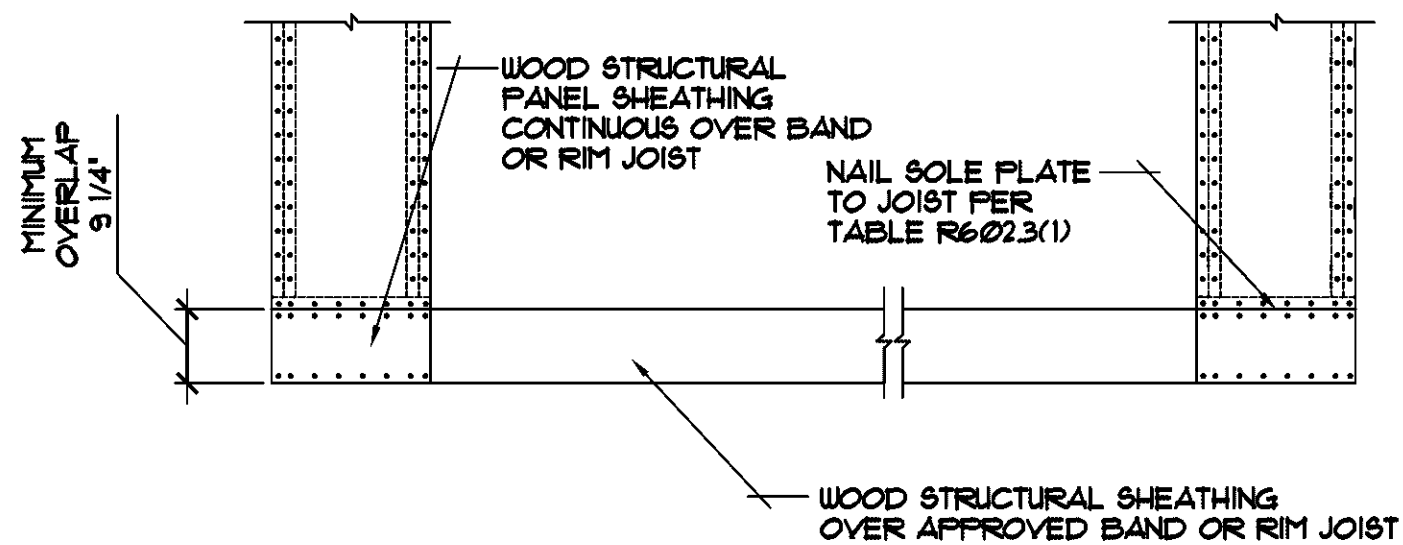
FRONT ELEVATION

OVER RAISED WOOD FLOOR - FRAMING ANCHOR OPTION

NAIL SOLE PLATE TO JOIST PER TABLE R602.3(1)



SECTION



FRONT ELEVATION

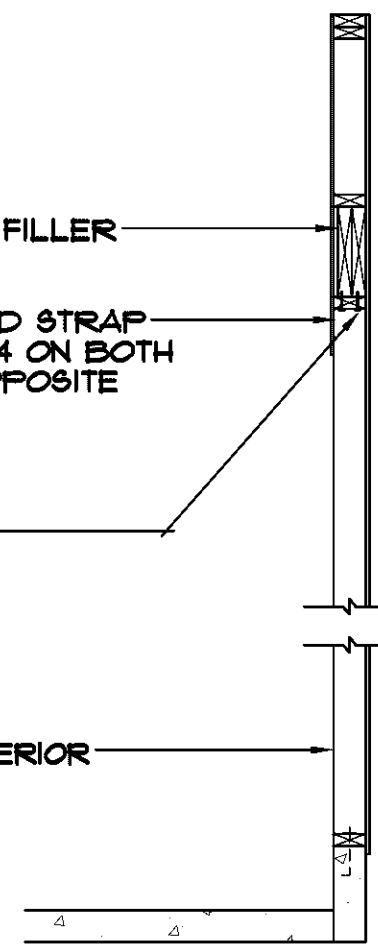
OVER RAISED WOOD FLOOR - OVERLAP OPTION

BLOCKING/SHEATHING FILLER IF NEEDED (TYP.)

HEADER TO JACK-STUD STRAP PER TABLE R602.10.3.4 ON BOTH SIDES OF OPENING OPPOSITE SIDE OF SHEATHING

16d SINKER NAILS IN 2 ROWS @ 3' O.C.

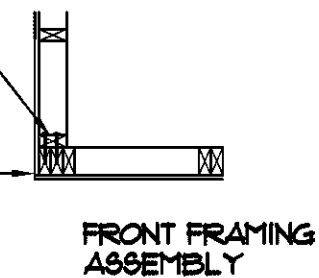
(2)2x6 STUDS w/OSB EXTERIOR SHEATHING



SIDE ELEVATION

16d NAILS @ 24" O/C

8d NAILS @ 6" O/C IN ALL PANEL EDGES, NOT PART OF FRONT FRAMING ASSEMBLY



CORNER FRAMING DETAIL

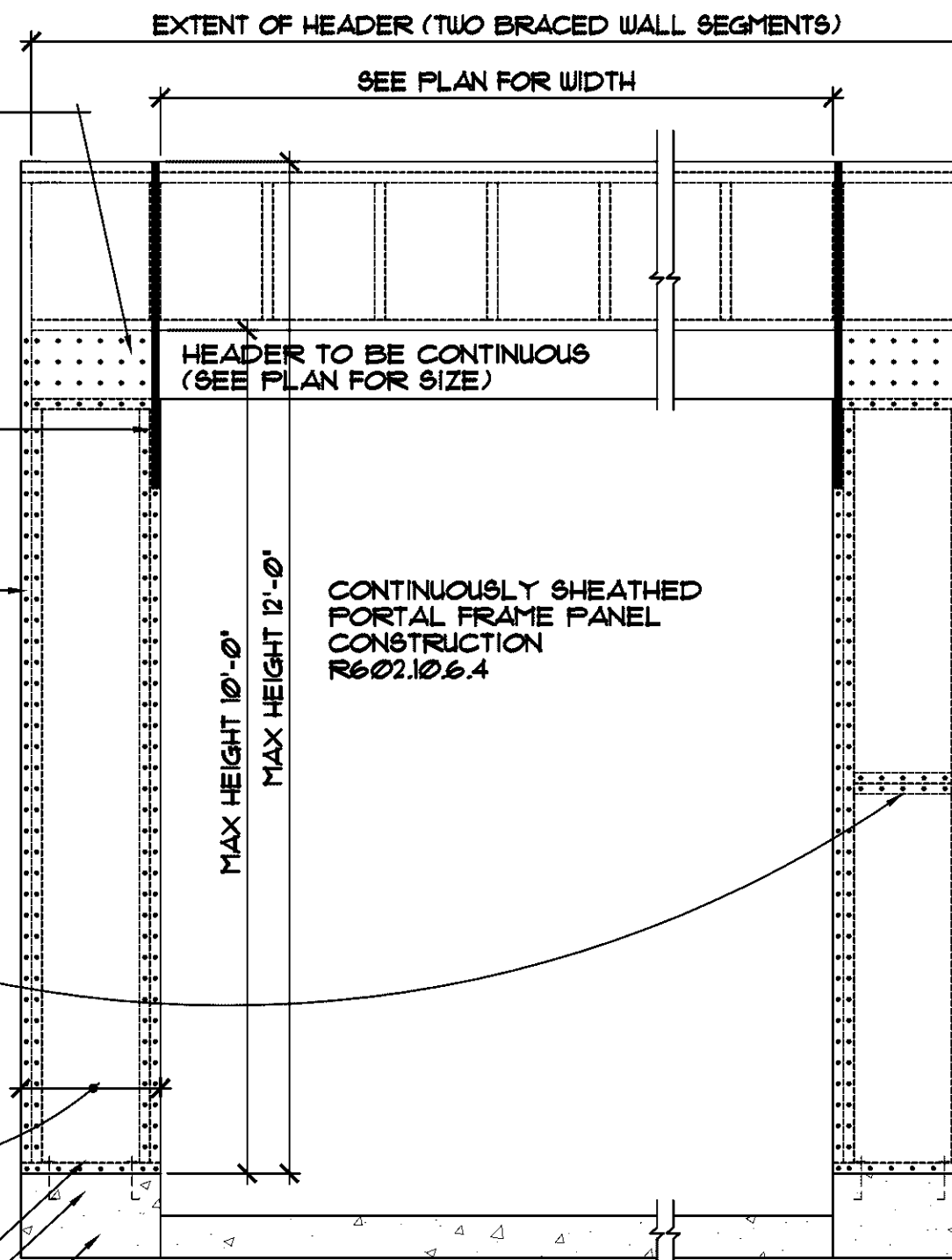
EXTENT OF HEADER (TWO BRACED WALL SEGMENTS)

SEE PLAN FOR WIDTH

FASTEN SHEATHING TO HEADER WITH 8d COMMON NAILS IN 3" GRID PATTERN AS SHOWN AND 3' O.C. IN ALL FRAMING (STUDS AND SILLS)

HEADER TO JACK-STUD STRAP PER TABLE R602.10.3.4 ON BOTH SIDES OF OPENING OPPOSITE SIDE OF SHEATHING

(2)2x6 STUDS



MAX HEIGHT 10'-0"

MAX HEIGHT 12'-0"

CONTINUOUSLY SHEATHED PORTAL FRAME PANEL CONSTRUCTION R602.10.6.4

HEADER TO BE CONTINUOUS (SEE PLAN FOR SIZE)

FOR A PANEL SPLICE (IF NEEDED), PANEL EDGES SHALL BE BLOCKED AND OCCUR WITH-IN 24" OF MID-HGHT. ONE ROW OF TYP. SHEATHING TO FRM'G. NAILING IS REQUIRED. IF 2x6 BLK'G. IS USED, THE 2x6'S MUST BE NAILED TOGETHER w/3 16d

SEE PLAN FOR WIDTH

MIN. 2"x2"x3/16" PLATE WASHER

ANCHOR BOLTS PER R403.1.6

FOUNDATION VARIES SEE PLAN FOR SIZES

FRONT ELEVATION

CONTINUOUSLY SHEATHED PORTAL FRAME PANEL CONSTRUCTION 1/2"=1'-0"

SPECIAL NOTICE: CROIX DESIGN AND DRAFTING, INC. ACCEPTS NO RESPONSIBILITY FOR ERRORS AND/OR OMISSIONS. THESE DRAWINGS ARE DESIGN CONCEPT ONLY. EVERY EFFORT HAS BEEN MADE TO PREVENT ERRORS AND OMISSIONS. THE USER SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS. THE USER SHALL BE RESPONSIBLE FOR ANY CHANGES OR ADJUSTMENTS REQUIRED DURING ACTUAL CONSTRUCTION. NO REPRESENTATION IS MADE OR IMPLIED FOR ACCURACY.

OFFICE: 763.757.5997  
FAX: 763.757.4383  
ANDOVER, MINNESOTA  
WWW.CROIXDESIGN.COM



BUILT BY:

SHEET

8

of 9

CADD FILE # 22167

TABLE R602.3(3) REQUIREMENTS FOR WOOD STRUCTURAL PANEL WALL SHEATHING USED TO RESIST WIND PRESSURE *a b c*

MINIMUM NAIL		MINIMUM WOOD STRUCTURAL PANEL SPAN RATING	MINIMUM NOMINAL PANEL THICKNESS (INCHES)	MAXIMUM WALL STUD SPACING (INCHES)	PANEL NAIL SPACING		MAXIMUM WIND SPEED (MPH)		
SIZE	PENETRATION (INCHES)				EDGES (INCHES O.C.)	FIELD (INCHES O.C.)	WIND EXPOSURE CATEGORY		
6d COMMON (2.0"x0.13")	1.5	24/0	3/8	16	6	12	B	C	D
8d COMMON (2.5"x0.13")	1.75	24/16	7/16	16	6	12	170	140	135
				24	6	12	140	115	110

FOR SI: 1" = 25.4mm, 1 mile per hour = 0.447 m/s

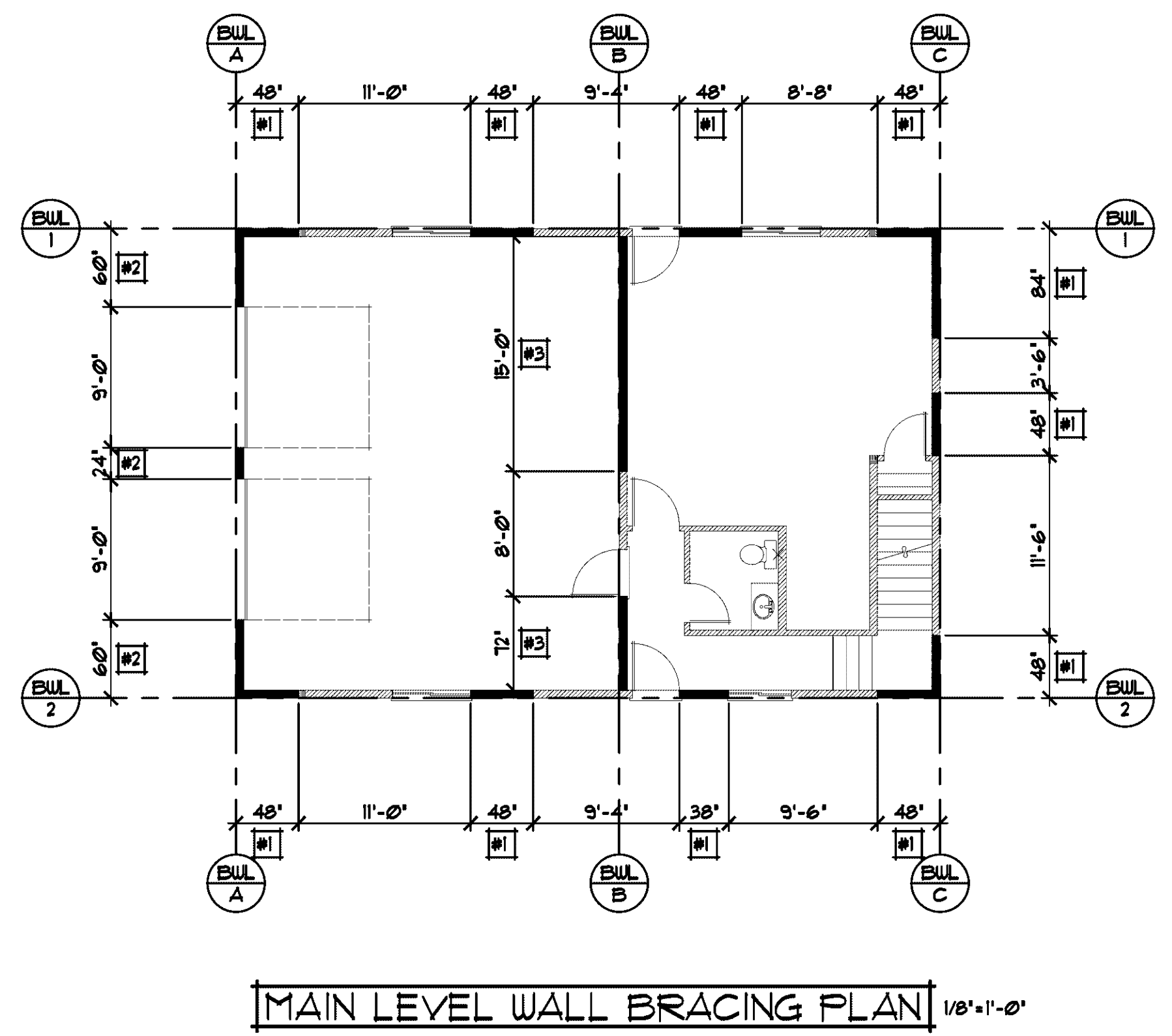
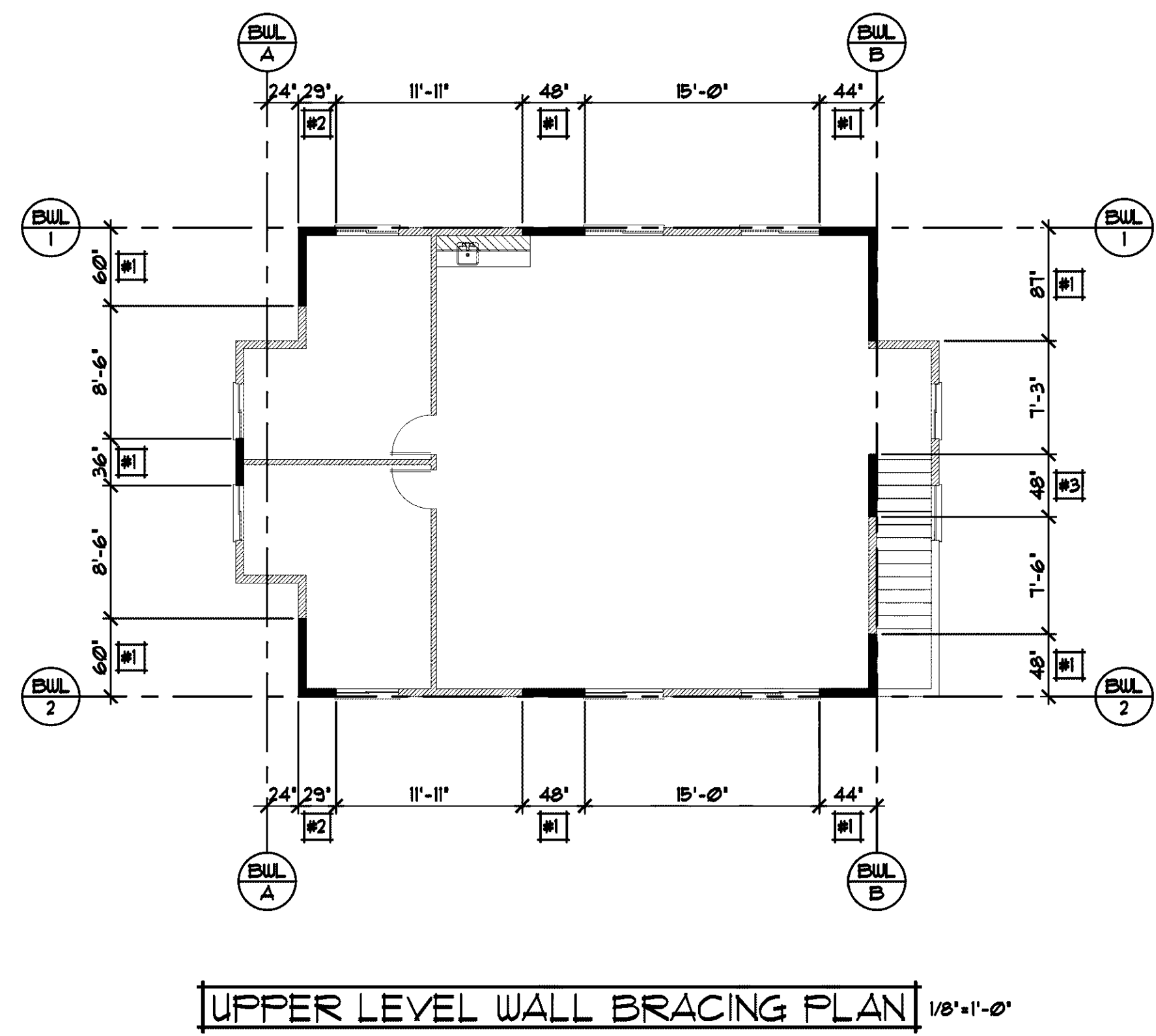
- a. Panel strength axis parallel or perpendicular to supports. three-ply plywood sheathing with studs spaced more than 16 inches on center shall be applied with panel strength axis perpendicular to supports
- b. Table is based on wind pressures acting toward and away from building surfaces per Section R301.2. Lateral bracing requirements shall be in accordance with Section R602.10
- c. Wood structural panels with span ratings of Wall-16 or Wall-24 shall be permitted as an alternate to panels with a 24/0 span rating. Plywood siding rated 16"o.c. or 24"o.c. shall be permitted as an alternate to panels with a 24/16 span rating. Wall-16 and Plywood siding 16"o.c. shall be used with studs spaced a maximum of 16 inches on center.

NOTE!!! BRACED WALL PANELS TO BE FRAMED FROM FLOOR TRUSS ATTACHMENT POINTS TO ROOF TRUSS ATTACHMENT POINTS BEHIND ROOF TRUSSES PER R602.10.2 • ENTIRE UPPER LEVEL (TYP.)

NOTE!!! APPROVED UPLIFT FRAMING CONNECTORS TO BE SPECIFIED BY TRUSS MANUFACTURER/ SUPPLIER TO PROVIDE A CONTINUOUS LOAD PATH TO A POINT WHERE UPLIFT FORCES ARE 100plf OR LESS (PER R602.3.5 AND PER SECTION R302.11)

	WALL BRACING METHOD	DESCRIPTION
#1	C5-WSP	(CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANEL) PER TABLE 602.3 (3)
#2	C5-FF	(CONTINUOUSLY SHEATHED PORTAL FRAMING) SEE THE C5-FF DETAIL (SHEET #9)
#3	GB	(GYPSUM BOARD) NAILS OR SCREWS PER TABLE R602.3(1) • EXTERIOR LOCATIONS # PER TABLE R102.3.5 • INTERIOR LOCATIONS

ALL BRACED PANEL LENGTHS GIVEN ARE TO BE TREATED AS MINIMUMS.  
 WIND EXPOSURE CATEGORY IS TO BE CATEGORY 'B' PER SECTION R301.2.1.4  
 WIND SPEED RESISTANCE TO BE MEASURED LESS THAN OR EQUAL TO 90 MPH.



SPECIAL NOTICE: CROIX DESIGN AND DRAFTING, INC. ACCEPTS NO RESPONSIBILITY FOR ERRORS AND/OR OMISSIONS. THESE DRAWINGS ARE DESIGN CONCEPT ONLY. EVERY EFFORT HAS BEEN MADE TO PREVENT ERRORS AND OMISSIONS. THE USER OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS. THE USER SHALL BE RESPONSIBLE FOR ANY CHANGES OR ADJUSTMENTS REQUIRED DURING ACTUAL CONSTRUCTION. NO REPRESENTATION IS MADE OR IMPLIED FOR ACCURACY.

OFFICE: 763.757.5997  
 FAX: 763.757.4383  
 ANDOVER, MINNESOTA  
 WWW.CROIXDESIGN.COM



BUILT BY:

Councilmember \_\_\_\_\_ introduced the following resolution and moved for its adoption:

**RESOLUTION #22-164**

**A RESOLUTION APPROVING THE ISSUANCE OF A CONDITIONAL USE PERMIT FOR A TWO-STORY ACCESSORY STRUCTURE ON THE PROPERTY GENERALLY KNOWN AS 5435 180<sup>TH</sup> LANE NW AND DECLARING TERMS OF SAME.**

**RECITALS**

1. William and Jenna MacLennan, hereinafter referred to as the “**Permittees**”, have properly applied for a Conditional Use Permit (the “**Permit**”) to allow a 45’ x 30’, two-story accessory structure (the “**Structure**”) on the property located at 5435 180<sup>th</sup> Ln NW and legally described as follows:

FORD BROOK ESTATES LOT 1 BLK 10 FORD BROOK ESTATES (SUBJECT TO EASEMENT AS SHOWN ON PLAT), Anoka County, Minnesota

(the “**Subject Property**”)

2. That on June 26, 2022, the **Permittees** submitted a completed questionnaire, land use application, property survey, architectural plans, and fees regarding the **Permit** for the **Structure** on the **Subject Property**.
3. That the **Subject Property** is zoned R-1 Residential (Rural Developing) and the surrounding parcels to the east, west, and south are also zoned R-1 Residential (Rural Developing). The parcels to the north are in the City of Nowthen.
4. That the **Subject Property** is approximately 0.77 acres in size and is surrounded by lots ranging in size from 0.17 acres to 1.01 acres.
5. That the **Subject Property** is guided for Rural Developing (residential) in the City’s Future Land Use Map.
6. The Applicant has stated that the accessory building will be used for a home occupation, which will require an approved Home Occupation Permit pursuant to Section 117-351 of Ramsey City Code. The building will not be used for habitation.
7. The proposed structure will have an exterior finish of vinyl siding to match the principal structure.
8. That the Planning Commission met and held a duly noticed public hearing on July 28, 2022, during their regularly scheduled meeting and recommended **approval/denial** of the **Permit**.

9. That the City Council reviewed the request during their regularly scheduled meeting on August 9, 2022, and **approved/denied** the request.

## **FINDINGS OF FACT**

1. That the proposed use **will not** adversely impact traffic in the area.
2. That the proposed use **will not** be compatible with the residential neighborhood due to (in part) density, lot size and use of the surrounding lots.
3. That the proposed use **will not** be unduly dangerous or otherwise detrimental to persons residing or working in the vicinity of the use or the public welfare.
4. That the proposed use **will not** substantially or adversely impair the use, enjoyment, or market value of neighboring properties.
5. That the proposed use **will not** be hazardous or disturbing to existing or future neighboring uses.
6. That the proposed use **will** be served adequately by public facilities and services such as highways and streets.
7. That the proposed use **will not** create excessive additional requirements at public cost for public facilities and services, and it will be detrimental to the economic welfare of the community.
8. That the proposed use **will not** involve activities and uses that would be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, or odors.

## **NOW THEREFORE, BE IT RESOLVED BY THIS CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:**

That the Ramsey City Council hereby grants approval of a Conditional Use Permit (the “**Permit**”) for a two-story accessory structure (the “**Structure**”) on the **Subject Property** pursuant to Section 117-51 of the Ramsey City Code and contingent upon the following conditions:

## **CONDITIONS**

1. That there shall be no additional accessory structures constructed on the **Subject Property**, unless in accordance with City Code.

2. That the **Permittee** shall construct the **Building** in accordance with all other provisions of City Code Section 117-349 (Accessory Uses and Buildings) and City Code Section 117-111 (R-1 Residential District).
3. That the **Permittee** shall utilize a secondary driveway to provide access to the **Building** and that the driveway shall comply with the standards in City Code Section 117-111.
4. That the **Permittee** agrees that there will not be any commercial activities within the detached accessory building unless in full compliance with City Code Section 117-351 (Home Occupations).
5. That the **Permittee** agrees that there will not be any habitation within the detached accessory building.
6. That this **Permit** shall be perpetual in duration as long as the terms are herein complied with.
7. That the **Permittee** shall be responsible for all City costs incurred in administering and enforcing this **Permit**.
8. That the **Permittee** shall obtain all necessary permits prior to commencing any construction of the **Building**, including a Building Permit.
9. That the City Administrator, or his/her designee, shall have the right to inspect the **Subject Property** for compliance and safety purposes annually or at any time, upon reasonable request.
10. That this **Permit** shall automatically expire if the use is not initiated by August 9, 2023 and issuance of the Building Permit shall constitute initiation.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember Shryock, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 9<sup>th</sup> day of August, 2022.

---

Mayor

**ATTEST:**

\_\_\_\_\_  
City Clerk

**PERMITTEES**

William and Jenna MacLennan, owners of fee title to the **Subject Property**, hereby acknowledge receipt of this **Permit** and have reviewed the conditions of this **Permit** and have agreed to comply with the terms of this **Permit**.

WILLIAM MACLENNAN

\_\_\_\_\_

JENNA MACLENNAN

\_\_\_\_\_

STATE OF MINNESOTA    )  
  ) ss.  
COUNTY OF \_\_\_\_\_ )

On this \_\_\_\_\_ day of \_\_\_\_\_, 2022, before me a Notary Public, personally appeared William and Jenna MacLennan, fee title owners of the **Subject Property**, to me known to be the persons described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

\_\_\_\_\_

Notary Public

Councilmember \_\_\_\_\_ introduced the following resolution and moved for its adoption:

**RESOLUTION #22-165**

**A RESOLUTION APPROVING A HOME OCCUPATION PERMIT  
FOR OPERATIONS OF A COMPUTER BUSINESS ON THE PROPERTY LOCATED  
AT 5435 180<sup>TH</sup> LN NW AND DECLARING TERMS OF PERMIT**

**RECITALS**

1. William and Jenna MacLennan, hereinafter referred to as the “**Permittees**”, have properly applied for a Home Occupation Permit (the “**Permit**”) to operate a computer business (the “**Home Occupation**”) on the property located at 5435 180<sup>th</sup> Ln NW and legally described as follows:

FORD BROOK ESTATES LOT 1 BLK 10 FORD BROOK ESTATES (SUBJECT TO EASEMENT AS SHOWN ON PLAT), Anoka County, Minnesota

(the “**Subject Property**”)

2. That on June 26, 2022, the **Permittee** submitted a completed questionnaire, land use application, property survey, architectural plans, and fees regarding the **Home Occupation** for a computer business on the **Subject Property**.
3. That the **Subject Property** is zoned R-1 Residential (Rural Developing) and the surrounding parcels to the east, west, and south are also zoned R-1 Residential (Rural Developing). The parcels to the north are in the City of Nowthen.
4. That the **Subject Property** is approximately 0.77 acres in size and is surrounded by lots ranging in size from 0.17 acres to 1.01 acres.
5. That the **Subject Property** is guided for Rural Developing (residential) in the City’s Future Land Use Map.
6. That the **Permittee** owns the **Subject Property**, and will occupy the dwelling while conducting business on the **Subject Property**.
7. That the **Home Occupation** is proposed to be based out of the proposed 1,350 square foot, two-story accessory structure on site where the computer equipment and personal vehicles will be stored.
8. That the **Permittees** have stated there will be at least 400 square feet of garage space reserved for indoor residential parking and storage in an attached garage related to residential use on the **Subject Property**, as established in City Code Section 117-351 (Home Occupation).
9. There will not be any business signs at the **Subject Property**.

10. That the **Permittees** have stated there will be no more than one (1) employee vehicle coming to the property per day.
11. That the **Home Occupation** employs six (6) other employees.
12. That the **Permittees** have stated employee parking will be off of the public street on the driveway.
13. That the **Home Occupation** does not involve operating methods that include transactions with the public (customers, clients, consultants, subcontractors, etc.) on the **Subject Property** but does involve operating the business via phone call and email in an office inside the home. Customers do not come to the **Subject Property**.
14. Hours of operation – 9:00 am through 5:00 pm Monday through Friday. The **Permittees** are permitted to work quietly outside of these hours and on weekends.
15. That the City finds the **Home Occupation** operates beyond the parameters of Level I home occupation permit requirements (City Code Section 117-351 and Ordinance #22-06) and therefore requires Planning Commission and City Council review and approval.
16. That the Planning Commission met and held a duly noticed public hearing on July 28, 2022, during their regularly scheduled meeting and recommended **approval/denial** of the **Permit**.
17. That the City Council reviewed the request during their regularly scheduled meeting on August 9, 2022, and **approved/denied** the request.

#### **FINDINGS OF FACT**

1. That the proposed use **will not** adversely impact traffic in the area.
2. That the proposed use **will not** be compatible with the residential neighborhood due to (in part) density, lot size and use of the surrounding lots.
3. That the proposed use **will not** be unduly dangerous or otherwise detrimental to persons residing or working in the vicinity of the use or the public welfare.
4. That the proposed use **will not** substantially or adversely impair the use, enjoyment, or market value of neighboring properties.
5. That the proposed use **will not** be hazardous or disturbing to existing or future neighboring uses.

6. That the proposed use **will** be served adequately by public facilities and services such as highways and streets.
7. That the proposed use **will not** create excessive additional requirements at public cost for public facilities and services, and it will be detrimental to the economic welfare of the community.
8. That the proposed use **will not** involve activities and uses that would be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, or odors.

**NOW THEREFORE, BE IT RESOLVED BY THIS CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:**

That the request for a Home Occupation Permit (the “**Permit**”) for the operation of Your Computer Hero on the **Subject Property** is hereby approved pursuant to Sections 117-51 and 117-351 of the Ramsey City Code with the following conditions:

1. That this agreement shall permit the **Home Occupation** of a computer business on the **Subject Property** pertaining to computer repair and maintenance operations.
2. That customers never visit the **Subject Property**.
3. That equipment and vehicles will be placed on the driveway, or inside the structure; not at any time on the public streets.
4. That the **Permittees** shall necessary permits, inspections, and approvals prior to conducting business operations.
5. That the **Permittees** agree there will be no exterior evidence of the **Home Occupation** permitted on the **Subject Property** unless in compliance with Chapter 117-351 (Home Occupations) of City Code except employee vehicles during hours of operation.
6. That the **Permittees** are responsible to verify and ensure that the structure(s) is compliant with all applicable state and local codes.
7. That should the **Permittees** die or should the **Subject Property** be sold, the **Permit** shall be automatically terminated, except that in the case of death, should a surviving spouse or child, residing at the same address, desire to continue the **Home Occupation**, written notice to that effect shall be given to the Zoning Administrator may authorize continuation of the **Permit** without further hearing.
8. The **Permittees** shall reside on the **Subject Property**; if the **Permittees** do not reside on the **Subject Property**, the **Permit** shall be automatically terminated.

9. That the **Permittees** agree that if the operation expands, they will notify the City of Ramsey and reapply for a **Permit**, including any operations pertaining to manufacturing of the corrugated boxes.
10. That adequate water supply and on-site sewage disposal facilities shall be the responsibility of the **Permittees**.
11. The **Permittees** shall be responsible for obtaining and having in full force and effect all applicable State, County and City licenses. This includes a Business License with the City and registering with the State of Minnesota.
12. The **Permittees** shall be responsible for all costs incurred in the administration and enforcement of this **Permit**.
13. That the City Administrator, or his/her designee, shall have the right to inspect the **Subject Property** for compliance and safety purposes annually or at any time, upon reasonable request to the **Permittees**.
14. That this **Permit** does not authorize a future homeowner of the **Subject Property** from utilizing the detached accessory building for a home-based business.
15. That there shall be no outdoor storage at any time related to the **Home Occupation** besides the single employee vehicle per day.
16. That the use shall not cause any other nuisance violations or City Code violations, and the **Subject Property** must remain in compliance with off-street parking violations, public nuisance code provisions, and in compliance with the International Property Maintenance Code. This includes but is not limited to: no junk being stored outside, parking only on the driveway(s), no driving on the grass, etc.
17. That the City reserves the right to revoke the permit for any violation of the above conditions.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember \_\_\_\_\_, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

Whereupon said resolution was declared duly approved and adopted by the Ramsey City Council this the 9<sup>th</sup> day of August, 2022.

---

Mayor

**ATTEST:**

---

City Clerk



**Meeting Date:** 07/28/2022

**By:** Todd Larson, Community Development

**Information**

**Title:**

PUBLIC HEARING: Consider a request for a Sketch Plan, Conditional Use Permit, Zoning Map Amendment, Site Plan, Final Plat, and Comprehensive Plan Amendment approval for Green Valley Greenhouse to expand the commercial greenhouses on the properties generally located south of Green Valley Rd. NW and east of Nowthen Blvd. NW.

**Purpose/Background:**

**Background**

Green Valley Greenhouse (GVG) has been in operation for many years along the south side of Green Valley Road. Over the years, the business has expanded after receiving the proper approvals. The most recent approval, in 2018, identified an overall area for additional greenhouses to be installed in phases over the years. GVG is planning to purchase a 22-acre portion of the property to the west owned by the Hunt family to expand the greenhouse operations further. The portion southwest of the meandering ditch will be retained by the Hunt family.

**Notification:**

Staff mailed a public hearing notice to property owners within 700 feet of the parcels included in the plat on July 28, 2022. A notice of the Public Hearing was also published in the Anoka County UnionHerald, the City's official newspaper.

**Observations/Alternatives:**

**Zoning**

The GVG property is zoned R-1 MUSA. The Hunt property is split with the eastern half also being zoned R-1 MUSA-80 and the western half being zoned R-2. Commercial greenhouses are an allowed conditional use in the R-1 districts, though the use is not allowed in R-2. In order to expand greenhouses fully onto the adjacent property, it must be zoned entirely R-1 to accommodate it. Approximately six acres are affected. In exchange, a 6.73-acre portion of the Hunt property (conveniently drawn from two lot corners) is proposed to be rezoned to R-2.

**Comprehensive Plan Amendment**

Simply rezoning the R-2 to R-1 MUSA-80 on the Hunt property cannot be accomplished since that portion of land is also guided for medium density residential uses in the Comprehensive Plan. Zoning designations must be in conformance with the Comprehensive Plan per state statutes. An amendment to the Comprehensive Plan is proposed that re-guides the medium density land to low density residential.

In recent years, the City has been under pressure from the Metropolitan Council to maintain or increase overall density to justify its investment in the sanitary sewer system in Ramsey. Getting the Metropolitan Council to sign off on downgrading approximately six acres is extremely unlikely as our existing overall density is at 2.9 units/acre (3.0 units/acre is the benchmark). Therefore, the applicant is looking to swap density on the Hunt's property to the south. This land is still adjacent to other medium density property. Once the density is swapped, the rezoning can occur for both the area that GVG is purchasing and what the Hunt family is retaining.

Since maintaining areas for medium- and high-density residential property is important, should the Planning Commission and Council want, additional portions of the Hunt property can be up-guided/up-zoned to provide the City the density cushion it needs--up to a total of 40.85 acres. The Hunt property is encumbered by wetlands, the ditch easement, and a pipeline easement that will make a traditional single-family development difficult. The

medium density designation could be more forgiving in that attached or clustered homesites could offset the open areas that are restricted due to these easements or odd shapes between easement. Representatives of the Hunt family have stated that they have no desire to develop their property in the foreseeable future.

**Plat**

The proposed plat of Davis Farms 2nd Addition is proposed to turn these three existing parcels into two lots. By incorporating the area southwest of the ditch into the Hunt’s southern parcel in the plat, the possibility of a landlocked parcel is eliminated.

**Conditional Use Permit Amendment**

Like in 2017, GVG is proposing a site plan that shows the extent of future greenhouses. It is anticipated that the additional area will take several years before it is filled with greenhouses. The applicant has indicated that the business is not expected to generate additional employees with the expansion and that their delivery trucks have become more efficient, so traffic is not expected to be noticeably increased with the expansion.

**Funding Source:**

All costs associated with the application is the responsibility of the applicant.

**Recommendation:**

Recommendation - Staff recommends approval of the four-part application as proposed.

Alternative 1 - Recommend approval of the four-part application including the entire Hunt parcel reguided to Medium Density Residential and rezoned to R-2.

Alternative 2 - Deny the request based on certain findings.

**Action:**

Four motions are required:

Motion to recommend approval of Sketch Plan and Final Plat of Davis Farms 2nd Addition.

Motion to recommend approval of a Comprehensive Plan amendment re-guiding lands between Low Density Residential and Medium Density Residential southeast of Green Valley Road NW and Nowthen Blvd. NW.

Motion to recommend approval of a rezoning ordinance rezoning lands between R-1 MUSA-80 and R-2 southeast of Green Valley Road NW and Nowthen Blvd. NW.

Motion to recommend approval of a Conditional Use Permit amendment for the expansion of a commercial greenhouse at 6530 Green Valley Road NW.

---

**Attachments**

Location Map

Sketch Plan/CUP Site Plan

Existing CUP

Davis Farms 2nd Addition Final Plat

Land Use Application

Zoning/Land Use Exhibits

Draft Comp Plan Resolution #22-173

Draft CUP Resolution #22-174

Draft Rezoning Ordinance #22-24

---

## Form Review

**Inbox**

Brian Hagen

Brian Hagen

Form Started By: Todd Larson

Final Approval Date: 07/21/2022

**Reviewed By**

Brian Hagen

Brian Hagen

**Date**

07/21/2022 07:56 AM

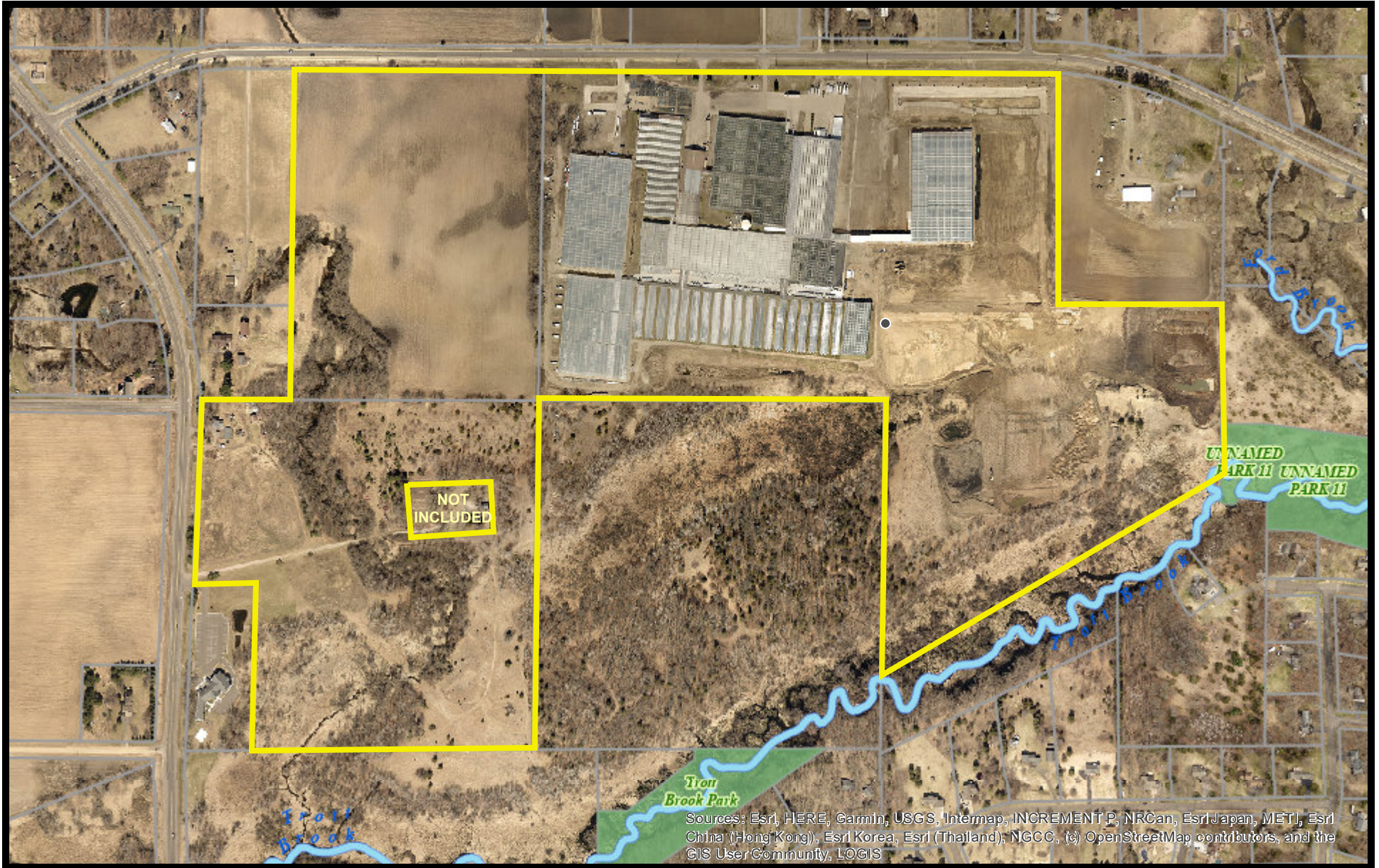
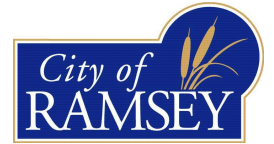
07/21/2022 02:19 PM

Started On: 07/19/2022 03:00 PM

PID #'s:  
03-32-25-42-0002  
03-32-25-43-0006  
03-32-25-41-0005

# Green Valley Greenhouse

6530 and 6750 Green Valley Road NW



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community, LOGIS

Print Date: July 12, 2022

0.0375 0.075 0.15 0.225 0.3  
mi

# CERTIFICATE OF SURVEY/SKETCH PLAN/SITE PLAN

~for~ GREEN VALLEY GREENHOUSE  
 ~of~ PROPOSED DAVIS FARMS SECOND ADDITION

## PROPERTY DESCRIPTION

- Parcel 1:  
Lot 1, Block 1, HUNT ADDITION, Anoka County, Minnesota.
- Parcel 2:  
Lot 2, Block 1, TROTT BROOK ADDITION, Anoka County, Minnesota.
- Parcel 3:  
Lot 1, Block 1, DAVIS FARMS ADDITION, Anoka County, Minnesota.

## NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 6/9/2022.
- Bearings shown are on Anoka County datum.
- Parcel ID Numbers:  
03-32-25-42-0002 (Parcel 1)  
03-32-25-43-0003 (Parcel 2)  
03-32-25-41-0005 (Parcel 3)
- Curb shots are taken at the top and back of curb.
- This survey was prepared using a Title Commitment No. 86728, issued by Gibraltar Title Agency, LLC as agent for Stewart Title Guaranty Company. The Title Commitment is dated effective on May 16, 2022.

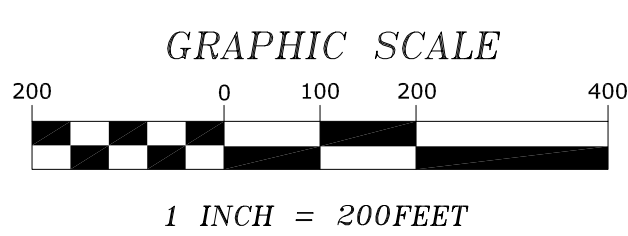
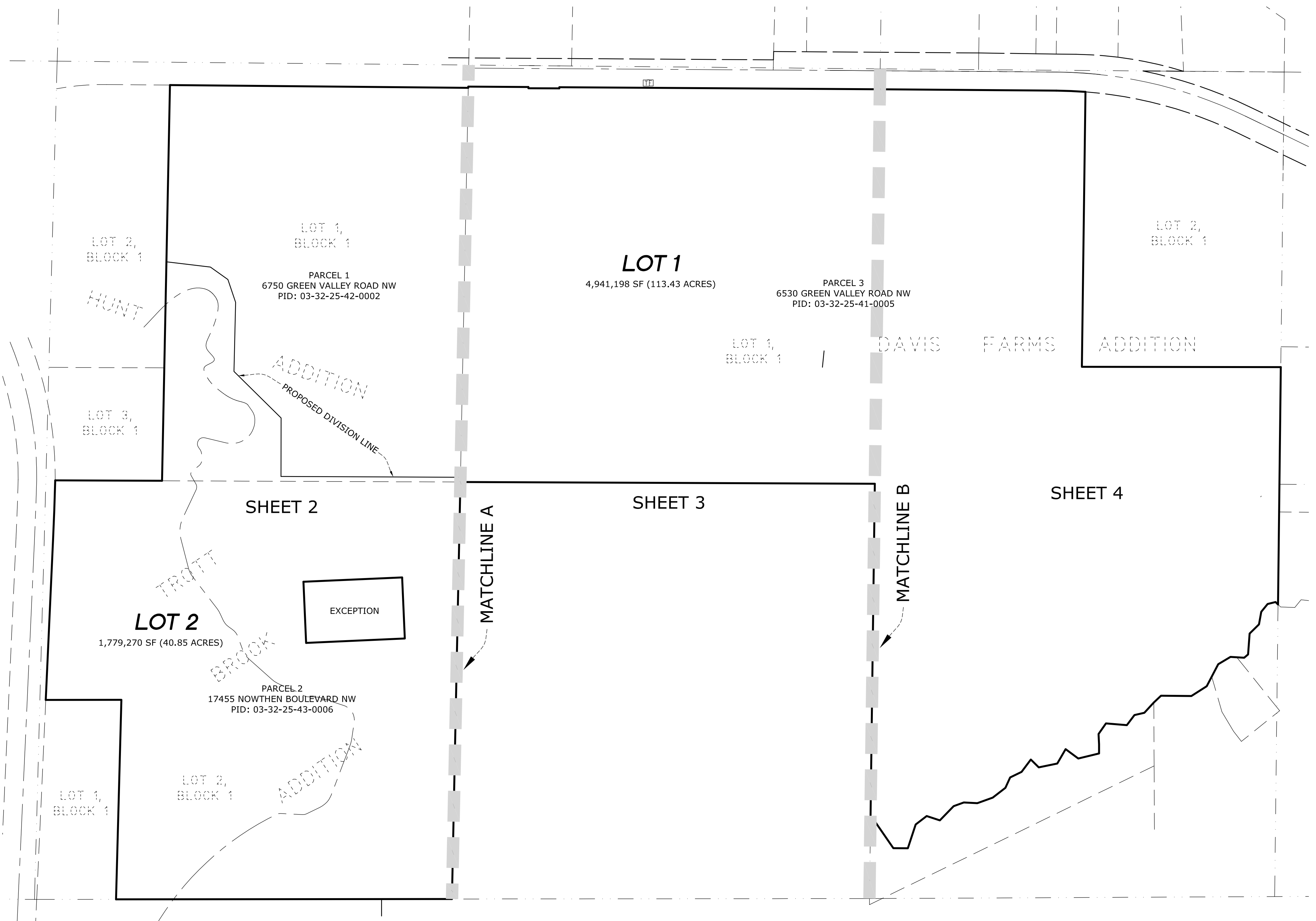
## LEGEND

- DENOTES IRON MONUMENT FOUND MARKED RLS 41578 (UNLESS OTHERWISE NOTED)
- DENOTES IRON MONUMENT SET, MARKED RLS# 41578
- ⊙ DENOTES ANOKA COUNTY CAST IRON MONUMENT
- X 952.36 DENOTES EXISTING SPOT ELEVATION
- OHU — CD — DENOTES EXISTING CONTOURS
- X — X — DENOTES POWER POLE AND OVERHEAR WIRES
- X — X — DENOTES FENCE
- DENOTES ELECTRICAL BOX
- DENOTES TELEPHONE PEDESTAL
- DENOTES FIBER OPTIC BOX
- ◀ DENOTES STORM SEWER APRON
- ⊙ DENOTES WELL
- △ DENOTES RIGHT OF ACCESS DEDICATED TO ANOKA COUNTY PER PLAT OF DAVIS FARMS ADDITION
- WET — DENOTES WETLAND DELINEATED BY JACOBSON ENVIRONMENTAL IN 2017
- DENOTES BITUMINOUS SURFACE
- DENOTES CONCRETE SURFACE
- DENOTES GRAVEL SURFACE
- DENOTES PAVER SURFACE
- DENOTES ADJACENT PARCEL OWNER INFORMATION (PER ANOKA COUNTY TAX INFORMATION)

## BENCHMARK

ANOKA COUNTY BENCHMARK NO. 3078  
 ELEVATION 867.97 (NAVD88)

## OVERALL PARCEL SKETCH



I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD  
 Date: 6/22/2022 License No. 41578

**E. G. RUD & SONS, INC.**  
 EST. 1977 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701  
 www.egrud.com

DRAWN BY: BAB	JOB NO: 17457PP	DATE: 6/21/2022	
CHECK BY: JER	FIELD CREW: RW/MR		
1			
2			
3			
NO.	DATE	DESCRIPTION	BY

# CERTIFICATE OF SURVEY/SKETCH PLAN/SITE PLAN

~for~ GREEN VALLEY GREENHOUSE  
 ~of~ PROPOSED DAVIS FARMS SECOND ADDITION

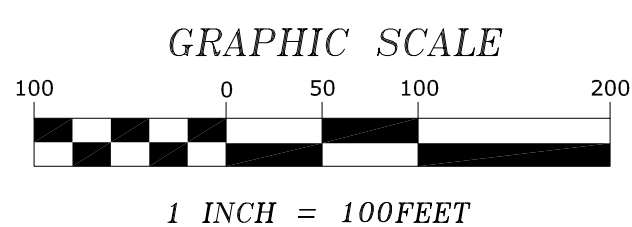
SEE SHEET 1 FOR LEGEND AND NOTES

NORTH



MATCHLINE A  
 (SEE SHEET 3 OF 4 SHEETS)

**E. G. RUD & SONS, INC.**  
 EST. 1977 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701



I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

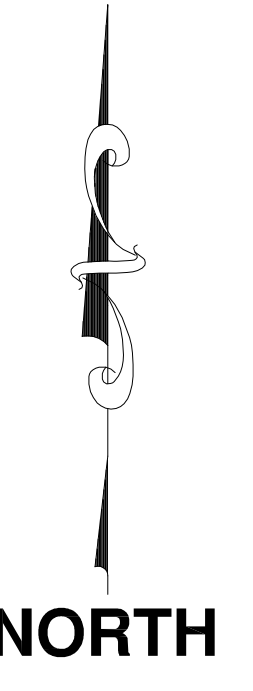
JASON E. RUD  
 Date: 6/22/2022 License No. 41578

DRAWN BY: BAB	JOB NO: 17457PP	DATE: 6/21/2022	
CHECK BY: JER	FIELD CREW: RW/MR		
1			
2			
3			
NO.	DATE	DESCRIPTION	BY

# CERTIFICATE OF SURVEY/SKETCH PLAN/SITE PLAN

~for~ GREEN VALLEY GREENHOUSE  
 ~of~ PROPOSED DAVIS FARMS SECOND ADDITION

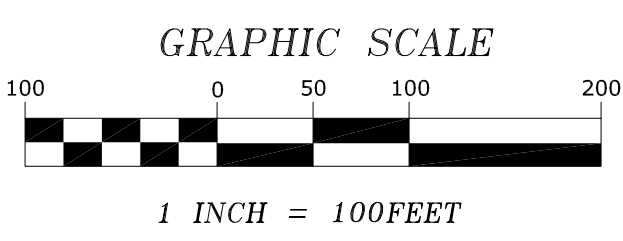
SEE SHEET 1 FOR LEGEND AND NOTES



MATCHLINE A  
(SEE SHEET 2 OF 4 SHEETS)

MATCHLINE B  
(SEE SHEET 4 OF 4 SHEETS)

**E. G. RUD & SONS, INC.**  
 EST. 1977 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701  
 www.egrud.com



I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

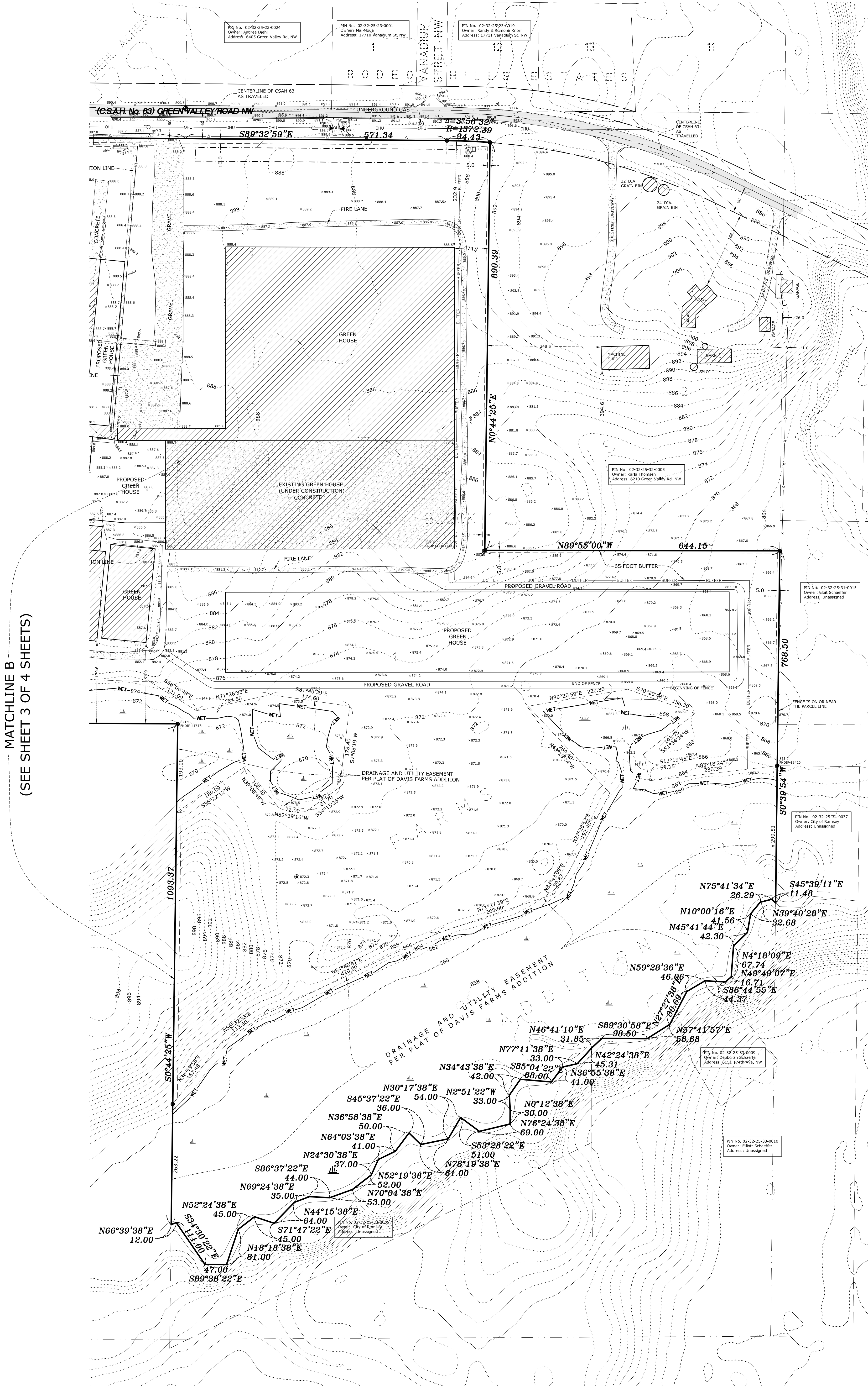
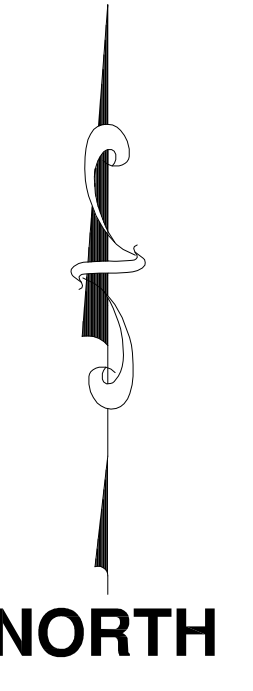
JASON E. RUD  
 Date: 6/22/2022 License No. 41578

DRAWN BY: BAB	JOB NO: 17457PP	DATE: 6/21/2022	
CHECK BY: JER	FIELD CREW: RW/MR		
1			
2			
3			
NO.	DATE	DESCRIPTION	BY

# CERTIFICATE OF SURVEY/SKETCH PLAN/SITE PLAN

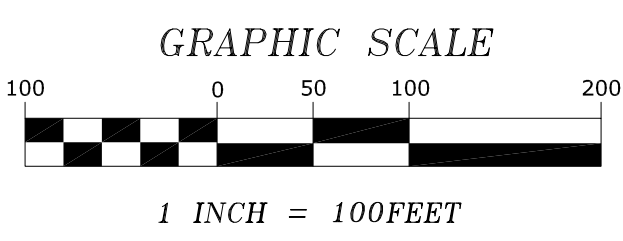
~for~ GREEN VALLEY GREENHOUSE  
 ~of~ PROPOSED DAVIS FARMS SECOND ADDITION

SEE SHEET 1 FOR LEGEND AND NOTES



MATCHLINE B  
(SEE SHEET 3 OF 4 SHEETS)

**E. G. RUD & SONS, INC.**  
 Professional Land Surveyors  
 6776 Lake Drive NE, Suite 110  
 Lino Lakes, MN 55014  
 Tel. (651) 361-8200 Fax (651) 361-8701



I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

*Jason E. Rud*  
 JASON E. RUD  
 Date: 6/22/2022 License No. 41578

DRAWN BY: BAB	JOB NO: 17457PP	DATE: 6/21/2022	
CHECK BY: JER	FIELD CREW: RW/MR		
1			
2			
3			
NO.	DATE	DESCRIPTION	BY

Councilmember Riley introduced the following resolution and moved for its adoption:

**RESOLUTION #18-178**

**A RESOLUTION APPROVING THE ISSUANCE OF AN AMENDED CONDITIONAL USE PERMIT TO ALLOW FOR EXPANSIONS OF THE GREEN VALLEY GREENHOUSE OPERATIONS IN A RESIDENTIAL DISTRICT AT 6530/6560 GREEN VALLEY ROAD**

**RECITALS**

1. Green Valley Greenhouse, Inc., hereinafter referred to as the “**Permittee**”, has properly applied for a Conditional Use Permit to expand greenhouse operations on the properties generally known as 6530/6560 Green Valley Road NW, legally described as follows:  
  
Lot 1, Block 1, Davis Farms Addition and the Southeast One Quarter of the Southeast One Quarter of Section 3, Township 32, Range 25, Anoka County, Minnesota  
  
(the “**Subject Property**”)
2. That Green Valley Greenhouse, Inc. (the “**Permittee**”) is the owner of the **Subject Property**.
3. The City of Ramsey received an application to amend the existing conditional use permit for greenhouse operations and site plan approval to expand existing greenhouse operations on the **Subject Property** on July 9th, 2018.
4. That on July 31, 1990, the City of Ramsey issued a Conditional Use Permit on the subject property to expand the lawful, non-conforming greenhouse use, which was initiated in 1977 to increase the size of the warehouse from 4,050 square feet to 8,910 square feet and add another 13,000 square feet of greenhouse space.
5. That on November 28, 2000, the City of Ramsey approved an amendment to the Conditional Use Permit to add a 528 square foot permanent accessory structure to the greenhouse operation.
6. That on August 24, 2004 the City of Ramsey approved Resolution 04-08-231 amending the Conditional Use Permit and establishing an ultimate business growth area on the property.
7. That on September 27, 2005, the City of Ramsey approved an amendment to the Conditional Use Permit to allow for outdoor storage of bulk landscape materials, including crushed rock, wood mulch, and soil.
8. That on September 22, 2015, the City of Ramsey approved a Conditional Use Permit for expanded greenhouse operations, restricting outdoor storage onsite.

9. That the **Subject Property** is located within the R-1 MUSA Residential District and surrounded by residentially zoned properties in both the R-1 MUSA and R-1 Rural Development Residential Districts.
10. That greenhouse operations are listed as a conditional use in the R-1 District.
11. That the **Subject Property** is 89.84 acres total.
12. That the **Permittee** plans to build two new greenhouses, connected to the existing greenhouses. The proposed greenhouses are 620 x 576 feet and 144 x 192 feet.
13. That the **Permittee** plans to add two parking areas and a fire lane along the east side of the building.
14. That the **Permittee** plans to add three growing fields south of the proposed greenhouse building.
15. That the **Permittee** is proposing the buildings be served by private well and septic, which is currently on the site.
16. That there is currently a Conditional Use Permit in place for greenhouse operations.
17. That when the original greenhouse was built, there was a home on the property. The home was recently removed from the property, and the property is now entirely commercial greenhouse operations.
18. That the proposed use would not produce fire hazard or noxious emissions that will not disturb or endanger neighboring properties.

#### **FINDINGS OF FACT**

1. That the greenhouse expansion will not be unduly dangerous or detrimental to persons residing or working in the vicinity of the use, or to the public welfare.
2. That the greenhouse expansion will not substantially adversely impair the use, enjoyment or market value of any of the surrounding properties.
3. That the greenhouse expansion will be maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and will not change the essential character of the area.
4. That the greenhouse expansion will not be hazardous to existing or future neighboring uses.
5. That the greenhouse expansion will not impact essential public facilities and services, such as highways, streets, police and fire protection.

6. That the greenhouse expansion will not create excessive additional requirements at public cost for public facilities and services and will not be detrimental to the economic welfare of the community.
7. That the greenhouse expansion will not involve uses, activities and equipment that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

**NOW THEREFORE, BE IT RESOLVED BY THIS CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:**

That the Ramsey City Council hereby grants approval of a Conditional Use Permit (the “**Permit**”) and Site Plan for greenhouse expansion on the **Subject Property** contingent upon the following conditions:

**CONDITIONS**

1. That this amended Conditional Use Permit (the “Permit”) for Green Valley Greenhouse shall supersede and replace the Conditional Use Permit approved by City Council in Resolution #15-09-226, issued on September 22, 2015.
2. That this **Permit** shall be perpetual in its duration so long as the conditions imposed herein are complied with.
3. That this **Permit** allows for greenhouse expansion and greenhouse operations on the **Subject Property**.
4. The **Permittee** shall be responsible for maintaining a fifty (50) foot wide no-build area along the entire perimeter of the **Subject Property** to serve as a buffer yard between the commercial operations and the adjacent residential and public road right-of way.
5. That the **Permittee** shall obtain a permit from the Lower Rum River Water Management Organization (LRRWMO) prior to any improvements being made to the **Subject Property** and the **Permittee** shall provide the **City** with a copy of the permit received from the LRRWMO.
6. That the **Permittee** shall be responsible for providing the City Engineering Department with timely information (within 30 days of completion of any adjustments to building coverage) relating to each addition or reduction of the greenhouse facility for the purposes of accurately calculating REU stormwater fees on the **Subject Property**.
7. That all new construction and expansion of existing structures shall comply with applicable requirements of the Ramsey City Code and the Minnesota State Building Code. It is herein agreed that all structures are subject to Site Plan review and approval in accordance with City Code.

8. That the Permittee herein agrees that as of December 31, 2015, this **Permit** shall no longer allow for the storage and/or sale of bulk landscape materials on the **Subject Property**.
9. That the **Permittee** shall continue to coordinate with the **City's** Fire Department to ensure there is sufficient fire apparatus access throughout the Green Valley Greenhouse operations in accordance with Section 503.1 of the Fire Code.
10. That the Permittee shall be responsible for regularly monitoring County Road 63 (Green Valley Road) between County Road 5 and Trunk Highway 47, and removing spillage of any materials resulting from business operations on the **Subject Property**.
11. The Community Development Department of the **City** shall have the right to inspect the premises for compliance and safety purposes annually or at any time, upon reasonable request. In the event the **Permittee** is determined to be in violation of any of the conditions set forth herein, the **City** shall give the **Permittee** written notice of the violation. The **Permittee** shall be given 30 days to correct the violation and submit a written response to the notice.
12. That the **Permittee** shall obtain all necessary permits as determined by the Building Official prior to construction of the building on the **Subject Property**.
13. That the **Permittee** shall comply with all applicable local, state, and federal regulations.
14. That the **Permittee** shall be responsible for all City costs incurred in administering and enforcing this **Permit**.
15. That the City Administrator, or his/her designee, shall have the right to inspect the premises for compliance and safety purposes annually or at any time, upon reasonable request.
16. That this **Permit** shall automatically expire if the use is not initiated by September 25, 2019; issuance of a Zoning Permit for the tenant improvements shall be considered as initiating the use.
17. That the **Permittee** and the **City** complete a development fee credit agreement for stormwater, parks, trails, and other required development fees.
18. The proposed structures on the **Subject Property** cannot exceed the 35% lot coverage restriction.
19. That the **Permittee** shall submit a landscaping plan for review and approval by the City for proposed landscaping and berming.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember Johns, and upon vote being taken thereon, the following voted in favor thereof:

Acting Mayor LeTourneau  
Councilmember Riley  
Councilmember Johns  
Councilmember Kuzma  
Councilmember Shryock

and the following voted against the same:

None

and the following abstained:

None

and the following were absent:

Existing Vacancy  
Existing Vacancy

whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 25<sup>th</sup> of September, 2018

**PERMITTEE**

Green Valley Green House hereby acknowledges receipt of this Permit and that they have reviewed the conditions of this Permit and have agreed that they will comply with the terms of this Permit.

By: \_\_\_\_\_

Its: \_\_\_\_\_

STATE OF MINNESOTA)

) SS.

COUNTY OF \_\_\_\_\_)

On this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_, before me, a Notary Public, personally appeared \_\_\_\_\_, to me known to be the person described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

\_\_\_\_\_  
Notary Public



**CITY OF RAMSEY:**

By: \_\_\_\_\_  
Acting Mayor

By: \_\_\_\_\_  
City Clerk

STATE OF MINNESOTA    )  
  ) ss.  
COUNTY OF ANOKA        )

On this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_, before me a Notary Public personally appeared John LeTourneau and Jo Ann M. Thieling, to me personally known, who, being each by me duly sworn, did say that they are respectively the Acting Mayor and City Clerk of the City of Ramsey, the Municipal Corporation named in the foregoing instrument, and seal affixed to said instrument is the corporate seal of said Municipal corporation, and the said instrument was signed and sealed on behalf of said Municipal Corporation by authority of its City Council, and said John LeTourneau and Jo Ann M. Thieling acknowledge said instrument to be the free act and deed of said Municipal Corporation.

\_\_\_\_\_  
Notary Public

This document drafted by:  
City of Ramsey  
7550 Sunwood Dr NW  
Ramsey, MN 55303

This document reviewed by:  
Ratwik, Roszak & Maloney  
730 Second Ave. S., Suite 300  
Minneapolis, MN 55402



# DAVIS FARMS SECOND ADDITION

City of Ramsey  
County of Anoka  
Sec. 2 & 3, T32, R25

PRELIMINARY COPY

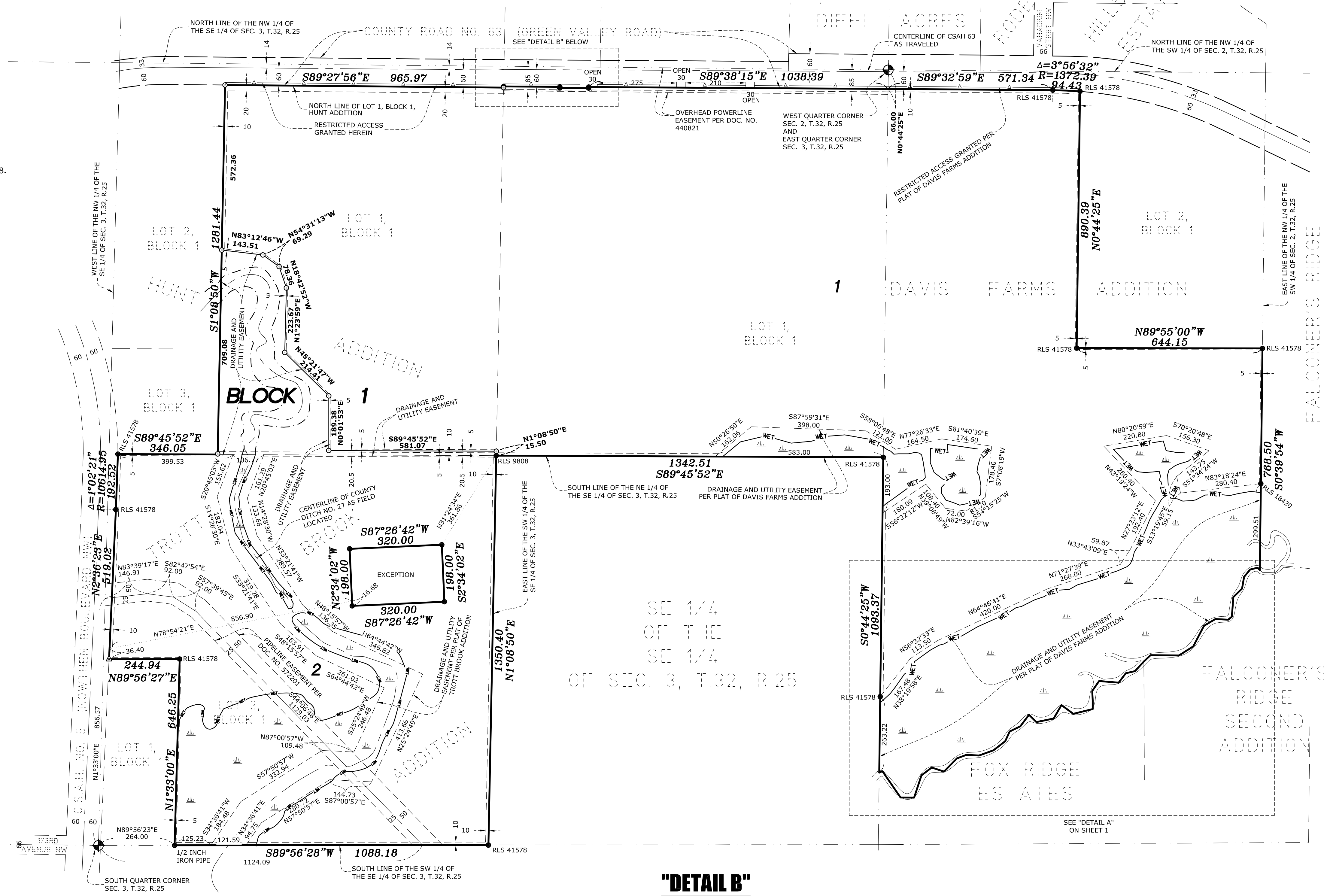
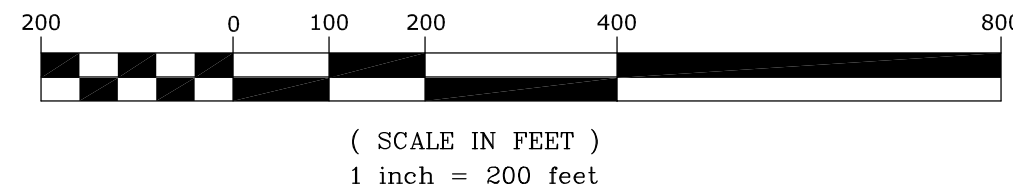
LAST SAVED BY: BBYER on Wednesday, June 22, 2022 at 1:28:37 PM  
LOCATION: C:\USERS\BBYER\EGRD\DESKTOP\REMOTE JOBS\17457 GREEN VALLEY  
FILENAME: 17457-2022-FINAL PLAT.DWG  
FILESIZE: 61.20MB

- ⊕ DENOTES ANOKA COUNTY MONUMENT
- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES 1/2 INCH BY 14 INCH IRON MONUMENT SET, MARKED BY RLS NO. 41578.
- △ DENOTES SET WASHER AND NAIL STAMPED RLS NO. 41578.
- △— DENOTES RIGHT OF ACCESS DEDICATED TO ANOKA COUNTY.
- WET— DENOTES WETLAND DELINEATED BY JACOBSON ENVIRONMENTAL IN 2017.
- - - DENOTES APPROXIMATE EDGE OF WETLAND PER AERIAL MAPPING.

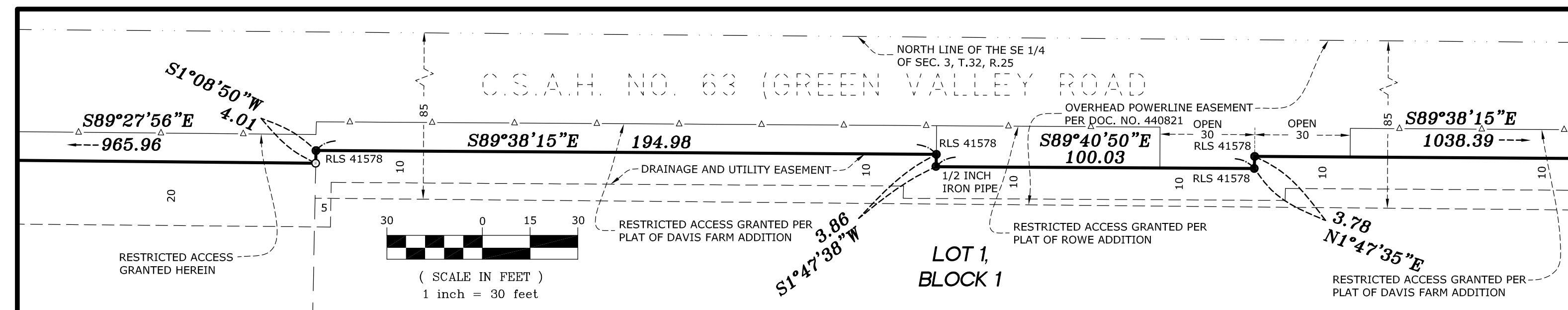
FOR THE PURPOSES OF THIS PLAT THE NORTH LINE OF LOT 1, BLOCK 1, HUNT ADDITION IS ASSUMED TO HAVE A BEARING OF SOUTH 89 DEGREES 27 MINUTES 56 SECONDS EAST.

NORTH

GRAPHIC SCALE

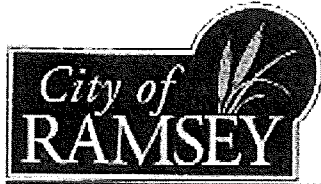


"DETAIL B"



**E. G. RUD & SONS, INC.**  
EST. 1977 Professional Land Surveyors

RECEIVED  
JUN 16 2022



**Land Use Application**

<input checked="" type="checkbox"/> Plat – Sketch Plan	<input type="checkbox"/> Plat – Preliminary Plat	<input checked="" type="checkbox"/> Plat – Final Plat
<input type="checkbox"/> Administrative Plat	<input checked="" type="checkbox"/> Site Plan Review	<input type="checkbox"/> Easement/ROW Vacation
<input checked="" type="checkbox"/> Conditional Use Permit	<input type="checkbox"/> Interim Use Permit	<input checked="" type="checkbox"/> Comprehensive Plan Amendment
<input checked="" type="checkbox"/> Zoning Amendment	<input type="checkbox"/> Home Occupation Permitt	<input type="checkbox"/> Variance
<input type="checkbox"/> Dwelling Moving Permit	<input type="checkbox"/> Environmental Permitt	<input type="checkbox"/> Registered Land Survey
<input type="checkbox"/> Non-Traditional Animal License	<input type="checkbox"/> Beekeeping License	<input type="checkbox"/> Private Kennel License

**Applicant Contact Information**

*Please note: All official communication will be routed through this contact.*

Name:	Phil Johnson		
Street Address:	6530 Green Valley Rd.		
City, State, ZIP:	Ramsey, MN 55303		
Home Phone:	612-816-9798	Work Phone:	763-753-1621
Email:	pjohnson@gvgh.com	Fax Number:	763-753-5943
Name of Business (if applicable):	Green Valley Greenhouse, Inc.		
Business Address (if applicable)	6530 Green Valley Rd.		
Business City, State, ZIP	Ramsey, MN 55303		
Business Phone:	763-753-1621	Business Fax:	763-753-5943

**Subject Property Information**

*(Location of Application)*

Address	6530 and 6750 Green Valley Rd.
PIN	03-32-25-42-0002 03-32-25-43-0006 03-32-25-41-0005
Legal Description	Lot 1 Block 1 Davis Farms Addition,
Zoning District	Lot 2 Block 1 Trott Brook Addition, Lot 1 Block 1 Hunt Addition

Contact the Planning Division at 763-433-9824 or [planning@cityoframsey.com](mailto:planning@cityoframsey.com) to request a Zoning Verification


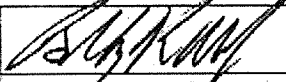
**Property Owner Information**  
(If different than Applicant)

Name:	Davis Farms, LLC	Judith A. Hunt, Trustee
Street Address:	6530 Green Valley Rd.	17455 Nowthen Blvd. NW
City, State, ZIP:	Ramsey, MN 55303	Ramsey, MN 55303
Home Phone:		Work Phone:
Email:	pjohnson@gvgh.com fmlywld@gmail.com	Fax Number:

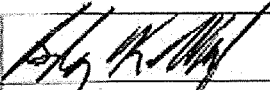
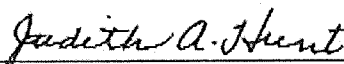
Please provide a detailed description of your request and attached a copy of a scaled site plan

Change zoning from R2 to R 1-80 on western side of Lot 1 Block 1 Hunt Addition and add R2 to northern portion of Lot 2 Block 1 Trott Brook Addition.
Change Comp Plan to reflect zoning change.
Minor plat to add approximately 22 acres of Lot 1 Block 1 Hunt Addition to Lot 1 Block 1 Davis Farms Addition and add approximately 6 acres from Lot 1 Block 1 Hunt Addition to Lot 2 Block 1 Trott Brook Addition
Amend CUP Resolution #18-178 to include approximately 22 acres of Lot 1 Block 1 Hunt Addition
Site Plan review for master building plan on Lot 1 Block 1 Davis Farms Addition.

**A "Land Use Sign" will be placed on the Subject Property to allow Ramsey Residents the opportunity to obtain information about your request.**

Applicant Signature		Co-Applicant Signature	
Printed Name	Phil Johnson	Printed Name	Brad Wolf
Title	CFO	Title	CEO
Date	6/15/2022	Date	6/15/2022

I understand that the application fee is non-refundable. All costs associated with the processing of this application are the responsibility of the applicant whether this application is approved or denied. Any excess of escrow account deposits over expenditures will be refunded at the time of account closure. I also understand that as the applicant, it is my responsibility to obtain all other permits or licenses required by any applicable regulatory agencies for this Land Use Application.

Property Owner Signature		Property Owner Signature	
Printed Name	Brad Wolf	Printed Name	Judith A. Hunt, Trustee
Title	Owner	Title	Owner
Date	6/15/2022	Date	6/15/2022

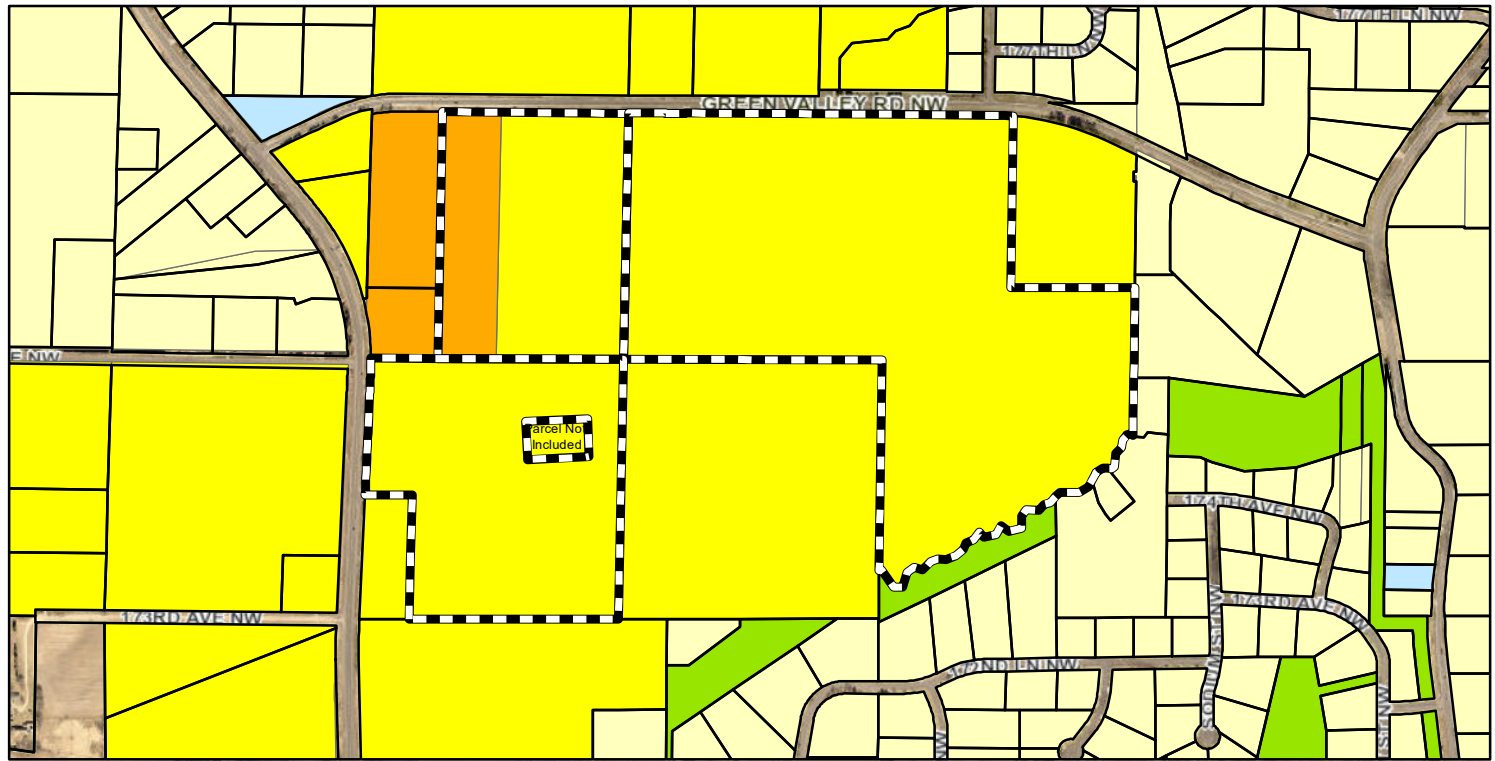
I hereby certify that I am the fee title owner/contract for deed vendee of record for the above mentioned property. Failure to prove ownership may void any agreements entered into the City and I will be held liable for any and all costs incurred by the City.



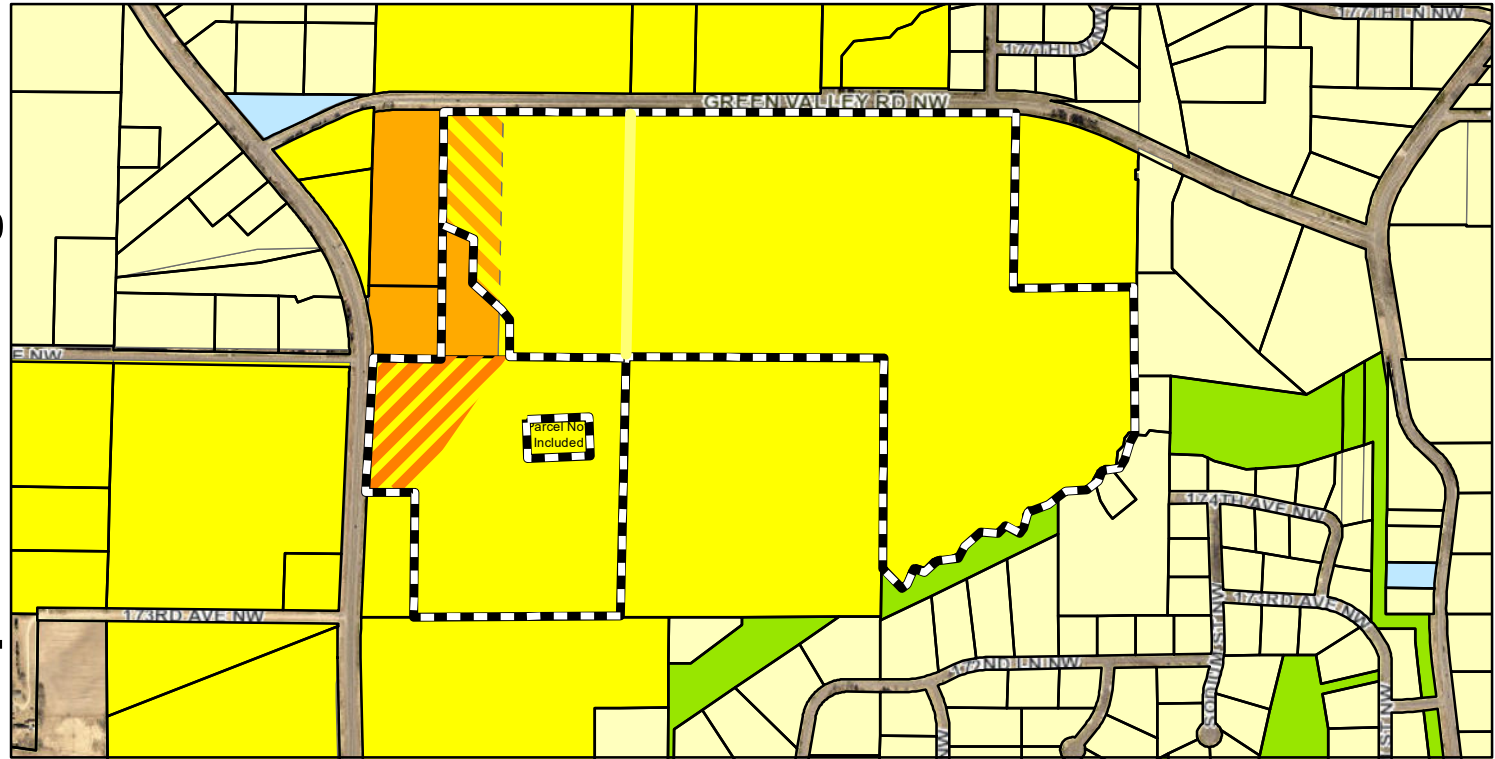
# Green Valley Greenhouse/ Davis Farms 2nd Addition

Planning Commission  
July 28, 2022

Existing Guiding



Proposed Guiding



## Land Use 2040

- Low Density Residential
- Medium Density Residential
- Park
- Public/Quasi Public
- Rural Developing
- Subject Parcels
- Proposed LDR
- Proposed MDR

**RESOLUTION #22-173**

**RESOLUTION AMENDING THE CITY'S 2040 COMPREHENSIVE PLAN FOR MODIFYING AREAS OF LOW- AND MEDIUM-DENSITY RESIDENTIAL IN DAVIS FARMS SECOND ADDITION**

**WHEREAS**, the City Council has recently reviewed a preliminary plat request for land Southeast of Nowthen Boulevard and Green Valley Road NW, and finds it necessary to amend the City's Comprehensive Plan to allow the exchange of densities (the 'Subject Properties'); and

**WHEREAS**, the Planning Commission met and reviewed the associated Preliminary Plat for Davis Farms Second Addition on July 28, 2022, and were supportive of densities as requested aligning with the proposed lot lines; and

**WHEREAS**, the proposed amendment does not reduce the overall density of the community while considering easements for Ditch 27; and

**WHEREAS**, the City Council reviewed the Comprehensive Plan amendment on September 9, 2022 and \_\_\_\_\_ of the proposed comprehensive plan amendment with contingencies as listed below.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:**

- 1) That the Ramsey City Council hereby grants a Comprehensive Plan amendment for the plat of Davis Farms Second Addition in accordance with relevant City Codes, contingent upon review and approval by Metropolitan Council
- 2) That the Ramsey City Council hereby authorizes Staff to notify adjacent jurisdictions, complete necessary documentation, and work with the Metropolitan Council on submission and follow up on said amendment.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember \_\_\_\_\_, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this \_\_\_ day of \_\_\_, 2022.

---

Mayor

**ATTEST:**

---

City Clerk

**Exhibit A: Subject Properties**

**From Medium Density Residential to Low Density Residential:** Generally, that northwestern 6(+/-) acres of Lot 1, Block 1, Davis Farms Second Addition.

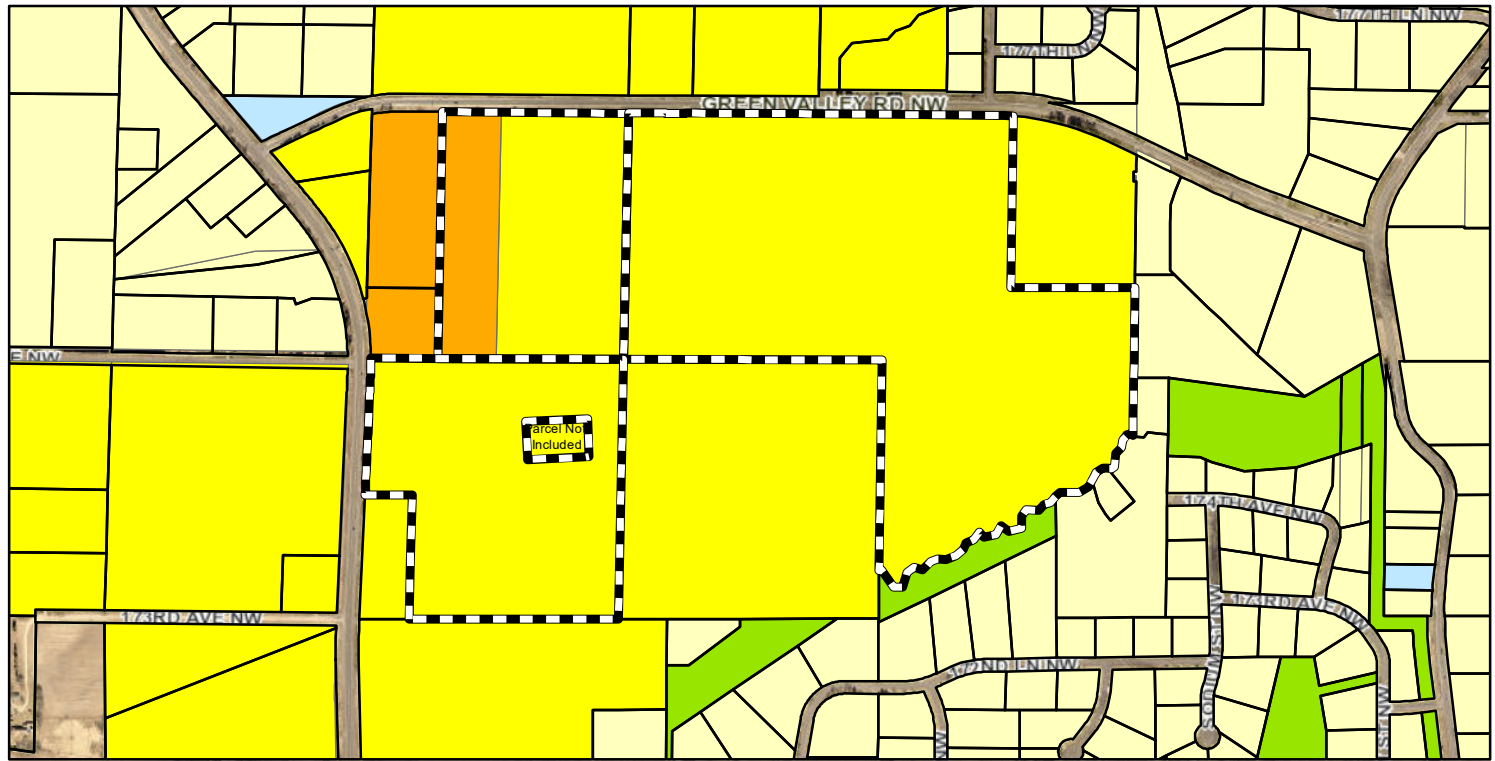
**From Low Density Residential to Medium Density Residential:** Generally, the northwestern 7(+/-) acres of Lot 2, Block 1, Davis Farms Second Addition.

*Graphic on the next page.*

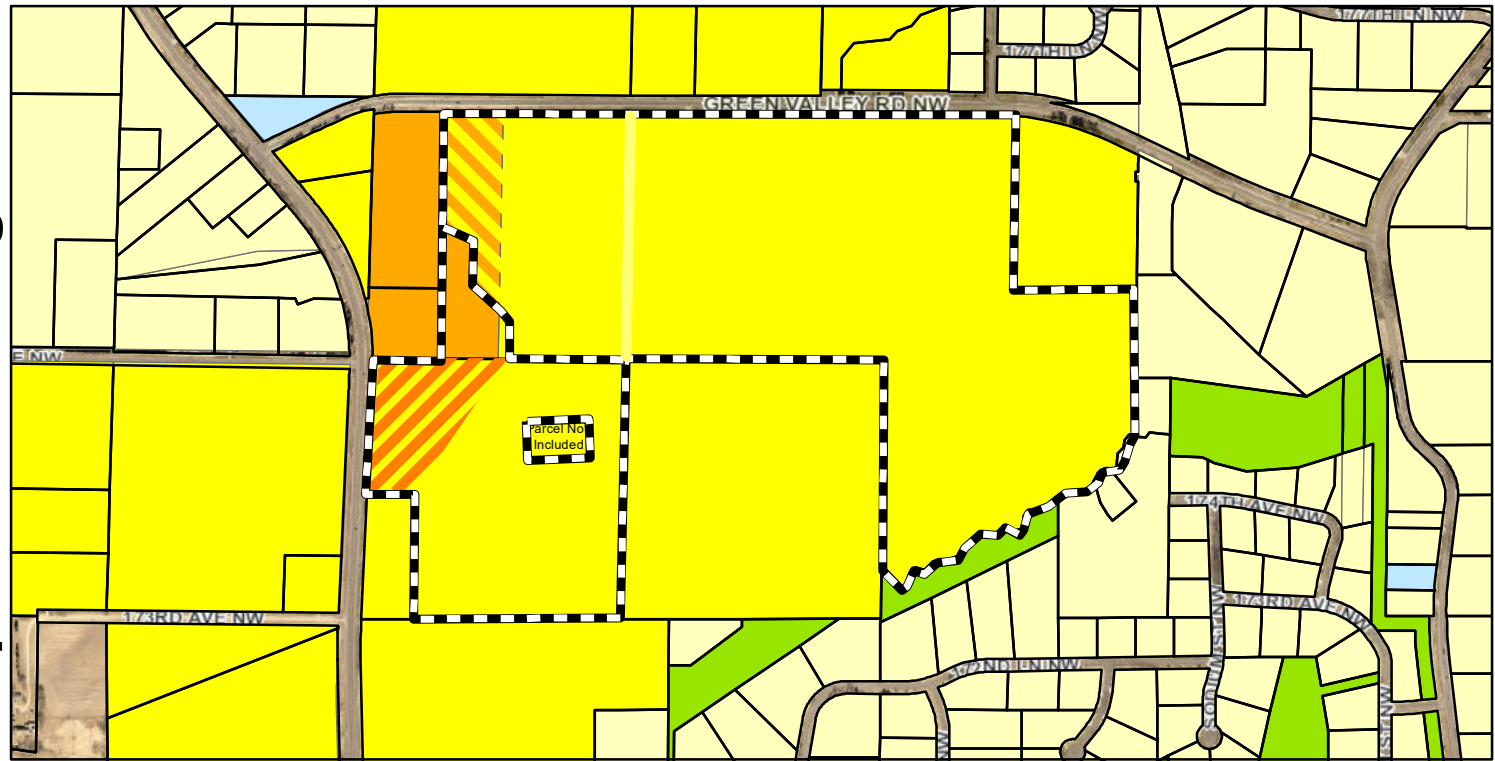
# Green Valley Greenhouse/ Davis Farms 2nd Addition

Planning Commission  
July 28, 2022









Existing Guiding



Proposed Guiding



## Land Use 2040

-  Low Density Residential
-  Medium Density Residential
-  Park
-  Public/Quasi Public
-  Rural Developing
-  Subject Parcels
-  Proposed LDR
-  Proposed MDR

## RESOLUTION #22-174

### A RESOLUTION APPROVING THE ISSUANCE OF AN AMENDED CONDITIONAL USE PERMIT TO ALLOW FOR EXPANSIONS OF THE GREEN VALLEY GREENHOUSE OPERATIONS IN A RESIDENTIAL DISTRICT AT 6530/6560 GREEN VALLEY ROAD

#### RECITALS

1. Green Valley Greenhouse, Inc., hereinafter referred to as the “**Permittee**”, has properly applied for a Conditional Use Permit to expand greenhouse operations on the properties generally known as 6530/6560 Green Valley Road NW, legally described as follows:  
  
Lot 1, Block 1, Davis Farms Second Addition, Anoka County, Minnesota  
  
(the “**Subject Property**”)
2. That Green Valley Greenhouse, Inc. (the “**Permittee**”) is the owner of the **Subject Property**.
3. The City of Ramsey received an application to amend the existing conditional use permit for greenhouse operations and site plan approval to expand existing greenhouse operations on the **Subject Property** on June 16, 2022.
4. That on July 31, 1990, the City of Ramsey issued a Conditional Use Permit on the subject property to expand the lawful, non-conforming greenhouse use, which was initiated in 1977 to increase the size of the warehouse from 4,050 square feet to 8,910 square feet and add another 13,000 square feet of greenhouse space.
5. That on November 28, 2000, the City of Ramsey approved an amendment to the Conditional Use Permit to add a 528 square foot permanent accessory structure to the greenhouse operation.
6. That on August 24, 2004 the City of Ramsey approved Resolution 04-08-231 amending the Conditional Use Permit and establishing an ultimate business growth area on the property.
7. That on September 27, 2005, the City of Ramsey approved an amendment to the Conditional Use Permit to allow for outdoor storage of bulk landscape materials, including crushed rock, wood mulch, and soil.
8. That on September 22, 2015, the City of Ramsey approved a Conditional Use Permit for expanded greenhouse operations, restricting outdoor storage onsite.

9. That on September 25, 2018, the City of Ramsey approved an amended Conditional Use Permit for expanded greenhouse operations.
10. That the **Subject Property** is located within the R-1 MUSA-80 Residential District and surrounded by residentially zoned properties in both the R-1 MUSA-80 and R-1 Rural Development Residential Districts.
11. That greenhouse operations are listed as a conditional use in the R-1 Districts.
12. That the **Subject Property** is 113.43 acres, upon recording of the plat of Davis Farms Second Addition.
13. That the **Permittee** plans to build new greenhouses over the next several years in areas designated as “proposed green house” on site plans dated 6/21/2022.
14. That the **Permittee** is proposing the buildings be served by private well and septic, which is currently on the site.
15. That there is currently a Conditional Use Permit in place for greenhouse operations.
16. That when the original greenhouse was built, there was a home on the property. The home was recently removed from the property, and the property is now entirely commercial greenhouse operations.
17. That the proposed use would not produce fire hazard or noxious emissions that will not disturb or endanger neighboring properties.

#### **FINDINGS OF FACT**

1. That the greenhouse expansion will not be unduly dangerous or detrimental to persons residing or working in the vicinity of the use, or to the public welfare.
2. That the greenhouse expansion will not substantially adversely impair the use or enjoyment of the surrounding properties.
3. That the greenhouse expansion will be maintained so as to be in good appearance with the existing or intended character of the general vicinity and will not change the essential character of the area.
4. That the greenhouse expansion will not be hazardous to existing or future neighboring uses.
5. That the greenhouse expansion will not impact essential public facilities and services, such as highways, streets, police and fire protection.

6. That the greenhouse expansion will not involve uses, activities and equipment that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.

**NOW THEREFORE, BE IT RESOLVED BY THIS CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:**

That the Ramsey City Council hereby grants approval of a Conditional Use Permit (the “**Permit**”) and Site Plan for greenhouse expansion on the **Subject Property** contingent upon the following conditions:

**CONDITIONS**

1. That this amended Conditional Use Permit (the “Permit”) for Green Valley Greenhouse shall supersede and replace the Conditional Use Permit approved by City Council in Resolution #18-178, issued on September 25, 2018.
2. That this **Permit** shall be perpetual in its duration so long as the conditions imposed herein are complied with.
3. That this **Permit** allows for greenhouse expansion and greenhouse operations on the **Subject Property** over the years in areas identified as “proposed green house.”
4. The **Permittee** shall be responsible for maintaining a fifty (50) foot wide no-build area along the entire perimeter of the **Subject Property** to serve as a buffer yard between the commercial operations and the adjacent residential and public road right-of way.
5. That the **Permittee** shall obtain a permit from the Lower Rum River Water Management Organization (LRRWMO) prior to any improvements being made to the **Subject Property** and the **Permittee** shall provide the **City** with a copy of the permit received from the LRRWMO.
6. That the **Permittee** shall be responsible for providing the City Engineering Department with timely information (within 30 days of completion of any adjustments to building coverage) relating to each addition or reduction of the greenhouse facility for the purposes of accurately calculating REU stormwater fees on the **Subject Property**.
7. That all new construction and expansion of existing structures shall comply with applicable requirements of the Ramsey City Code and the Minnesota State Building Code. It is herein agreed that all structures are subject to Site Plan review and approval in accordance with City Code.
8. That the **Permittee** shall continue to coordinate with the **City’s** Fire Department to ensure there is sufficient fire apparatus access throughout the Green Valley Greenhouse operations in accordance with Section 503.1 of the Fire Code.

9. That the Permittee shall be responsible for regularly monitoring County Road 63 (Green Valley Road) between County Road 5 and Trunk Highway 47, and removing spillage of any materials resulting from business operations on the **Subject Property**.
10. The Community Development Department of the **City** shall have the right to inspect the premises for compliance and safety purposes annually or at any time, upon reasonable request. In the event the **Permittee** is determined to be in violation of any of the conditions set forth herein, the **City** shall give the **Permittee** written notice of the violation. The **Permittee** shall be given 30 days to correct the violation and submit a written response to the notice.
11. That the **Permittee** shall obtain all necessary permits as determined by the Building Official prior to construction of the building on the **Subject Property**.
12. That the **Permittee** shall comply with all applicable local, state, and federal regulations.
13. That the **Permittee** shall be responsible for all City costs incurred in administering and enforcing this **Permit**.
14. The proposed structures on the **Subject Property** cannot exceed the 35% lot coverage restriction.
15. That the **Permittee** shall submit a landscaping plan for review and approval by City staff for installation of a total of twenty (20) overstory and evergreen trees along the western property line for screening purposes.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember Johns, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the \_\_ of \_\_, 2022

**PERMITTEE**

Green Valley Green House hereby acknowledges receipt of this Permit and that they have reviewed the conditions of this Permit and have agreed that they will comply with the terms of this Permit.

By: \_\_\_\_\_

Its: \_\_\_\_\_

STATE OF MINNESOTA)

) SS.

COUNTY OF \_\_\_\_\_)

On this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_, before me, a Notary Public, personally appeared \_\_\_\_\_, to me known to be the person described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

\_\_\_\_\_  
Notary Public

**PROPERTY OWNER**

Davis Farms, LLC hereby acknowledges receipt of this Permit and that they have reviewed the conditions of this Permit and have agreed that they will comply with the terms of this Permit.

By: \_\_\_\_\_

Its: \_\_\_\_\_

STATE OF MINNESOTA )  
 ) SS.  
COUNTY OF \_\_\_\_\_)

On this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_, before me, a Notary Public, personally appeared \_\_\_\_\_, to me known to be the person described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

\_\_\_\_\_  
Notary Public

**ORDINANCE #22-24**

**CITY OF RAMSEY  
ANOKA COUNTY  
STATE OF MINNESOTA**

**AN AMENDMENT TO CHAPTER 117 WHICH IS KNOWN AS THE ZONING AND  
SUBDIVISIONS CHAPTER OF THE CITY CODE OF RAMSEY, MINNESOTA.**

**AN ORDINANCE AMENDING SECTION 117-90 "MAP" OF CHAPTER 117  
OF THE CITY CODE OF RAMSEY, MINNESOTA.**

**SECTION 1. AMENDMENTS**

The following legally described property is hereby rezoned from R-1 MUSA-80 and R-2 to R-1 MUSA-80:

**6530 and 8750 Green Valley Road Northwest**

Lot 1, Block 1, Davis Farms Second Addition, Anoka County, Minnesota

The following legally described property is hereby rezoned from R-1 MUSA-80 and R-2 to R-1 MUSA-80 and R-2:

**17455 Nowthen Boulevard Northwest:**

Lot 2, Block 1, Davis Farms Second Addition, Anoka County, Minnesota

*Both parcels are depicted on the attached exhibit.*

**SECTION 2. MAP**

The City is hereby instructed to cause this amendment to be shown on the "City of Ramsey Zoning Map", which map was adopted pursuant to Section 117-90 of the Ramsey City Code.

**SECTION 3. EFFECTIVE DATE**

This ordinance becomes effective 30 days after its passage and publication, subject to City Charter Section 5.04.

PASSED by the City Council of the City of Ramsey, Minnesota the \_\_ day of \_\_\_\_, 2022.

Mayor \_\_\_\_\_

ATTEST:

City Clerk

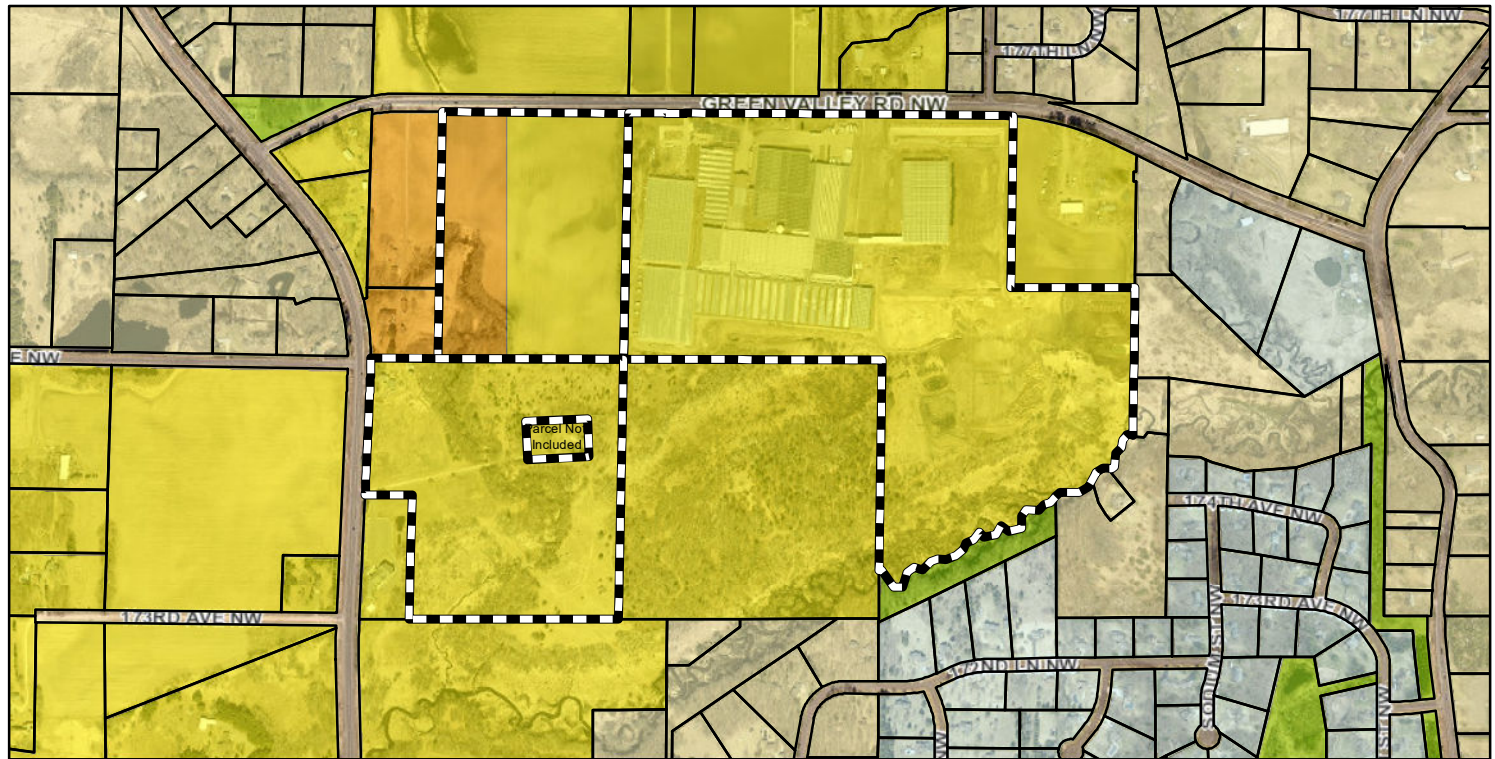
---

Introduction:  
Posting dates:  
Adoption date:  
Publication date:  
Effective date:

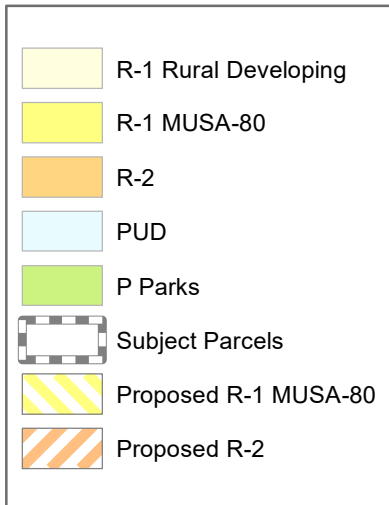
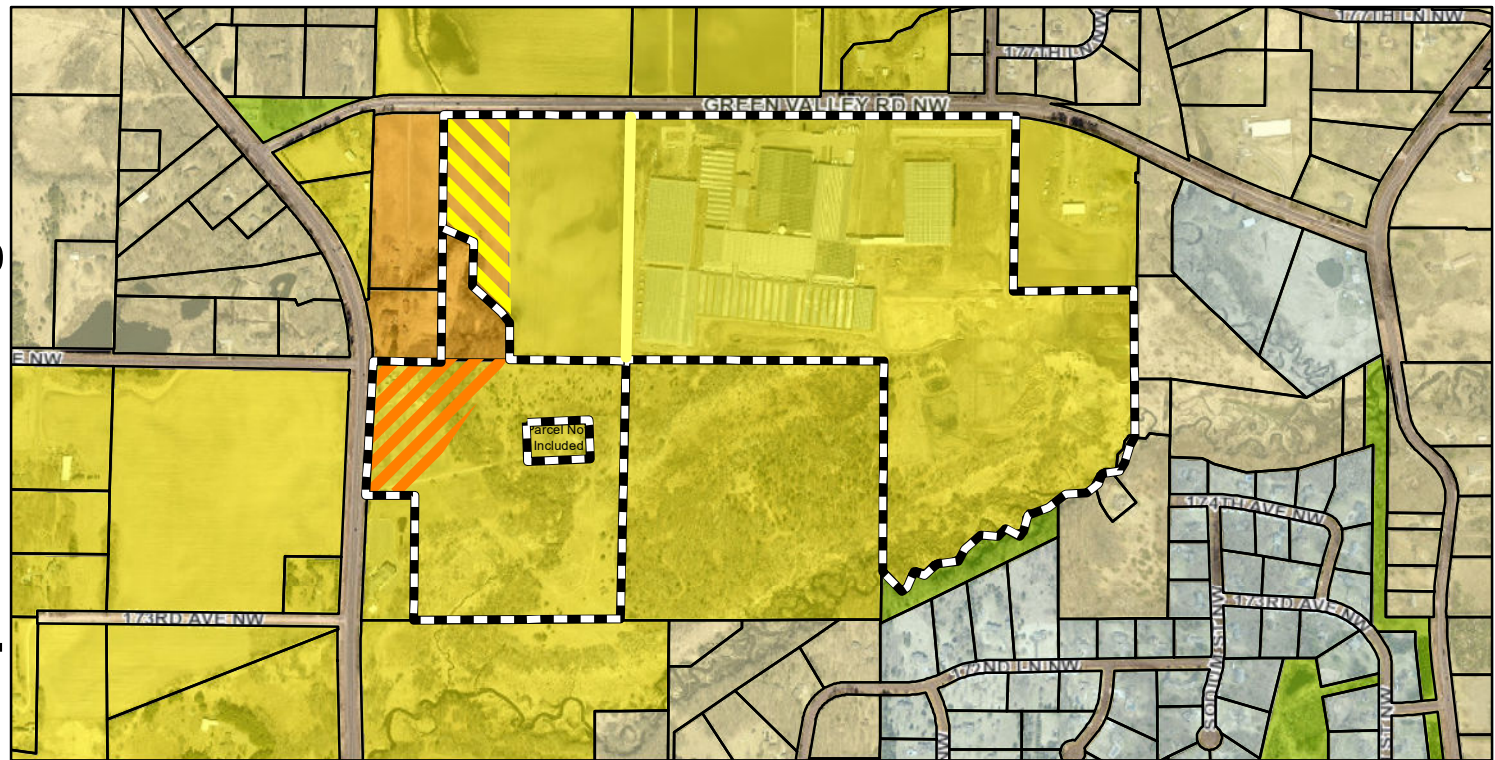
# Green Valley Greenhouse/ Davis Farms 2nd Addition

Planning Commission  
July 28, 2022

Existing Zoning



Proposed Zoning



**Regular Planning Commission**

**6.3.**

**Meeting Date:** 07/28/2022

**By:** Chris Anderson, Community  
Development

---

**Information**

**Title:**

PUBLIC HEARING: Consider Site Plan for Water Treatment Plant (Project No. 22-104); Case of City of Ramsey

**Purpose/Background:**

The City will be constructing a new Water Treatment Plant north of the Public Works building located at 14199 Jasper Street (the "Subject Property"). The City is attempting to get the civil plans approved so that the project can be bid this fall. This was noticed as a Public Hearing, as it was anticipated that a plat was also going to be available for review. However, that work was not completed in time for this meeting. It is not known yet whether this will be a Minor Plat (3 or fewer lots) or a Major Plat (4 or more lots) and thus, the Public Hearing should be opened this evening but then continued to August. Note that if the subdivision meets the criteria for a Minor Plat, it would only be reviewed by Staff and City Council per City Code.

**Notification:**

Staff attempted to notify property owners within 700 feet of the Subject Property, as reflected in the Anoka County Property Records, of the request for Preliminary Plat and Site Plan review at a Public Hearing held by the Planning Commission on July 28, 2022. A notice of the Public Hearing was also published in the Anoka County UnionHerald, the City's official newspaper.

**Observations/Alternatives:**

**Project Summary**

The City is proposing construction of a new Water Treatment Plant directly north of the Public Works building, located at 14199 Jasper Street (the "Subject Property"). The Water Treatment Plant is designed to remove both iron and manganese from the municipal drinking water and will have an initial capacity to treat up to ten million gallons per day. The project includes a primary building as well as an accessory building (water reservoir).

**Zoning and Land Use**

The Subject Property is in the E-2 Employment District. Governmental and public utility buildings and structures are a permitted use in this district. The Subject Property is guided as Business Park, which is intended for office and industrial development.

**Subdivision**

The City is working with a consultant to develop a plat to split this portion from the remainder of the Public Works Plant area. The plat will be subject to the bulk standards of the E-2 Employment District. All resulting parcels will need to be at least one (1) acre in size and each buildable parcel must also have at least 200 feet along a public road. This may be processed as a Minor Plat if there are three (3) or fewer lots created, or as a Major Plat if there are four (4) or more lots. A Major Plat would include a Preliminary Plat and thus, would be reviewed again by the Planning Commission. However, a Minor Plat, per City Code, would only be reviewed by Staff and City Council.

**Setbacks**

The E-2 Employment District requires a thirty-five (35) foot front setback and twenty-five (25) foot side and rear setback. Both the building and the water reservoir exceed the minimum setbacks on all sides of the property.

**Building Height and Building Coverage**

Buildings in the E-2 Employment District are restricted to sixty-five (65) feet or less in height and shall not cover

more than forty-five percent (45%) of a lot. At its tallest point, the Water Treatment Facility will be forty-seven (47) feet tall. The Water Treatment Plant will be 19,000 square feet and the water reservoir will be 12,000 square feet in area. Combined, this equates to about seventeen percent (17%) building coverage.

### **Architecture**

The exterior finish of this building will be a combination of prefinished concrete wall panels, ribbed metal paneling, flush metal paneling, and glass windows. The exterior finish of the reservoir will be a combination of EIFS (Exterior Insulation and Finish Systems) and a prefinished metal parapet cap. The exterior finishes comply with the architectural standards of the E-2 Employment District.

### **Trash Enclosure**

There is no trash enclosure proposed. It is anticipated that there would be the equivalent of one staff person on site for half a day. Thus, there will be minimal waste generated. The waste that is generated will be disposed of in the dumpster on the south side of the Public Works building.

### **Access**

A single access is proposed off of 143rd Avenue. However, an internal connection to the Public Works property to the south is also proposed. Thus, there will ultimately be two (2) access points to the Water Treatment Plant.

### **Parking and Maneuvering Areas**

All parking and maneuvering areas shall be at least twenty (20) feet from the right-of-way. As proposed, the drive aisle along the north side of the building (paralleling 143rd Avenue) is about forty (40) feet from the property boundary. All other maneuvering areas are even further from the public road right-of-way.

Industrial developments are required to provide one (1) parking stall per 1,000 square feet of floor space. The Water Treatment Plant is 19,000 square feet, which equates to a minimum of nineteen (19) parking stalls. The Site Plan indicates ten (10) parking stalls that will be constructed directly north of the water reservoir. The Site Plan also includes proof of parking with an additional eleven (11) stalls that could be added, if needed, in the future. Four (4) are on the south side of the Water Treatment Plant and seven (7) are north of the water reservoir.

### **Landscaping and Tree Preservation**

The Landscape Plan includes a mixture of coniferous and deciduous trees and shrubs. All species are acceptable. Three (3) different seed mixes are proposed across the site. A low maintenance turf mix, a stormwater seed mix (for the stormwater basin on the west side of the Water Treatment Facility), and a mesic prairie mix around the water reservoir.

There are very few 'significant' trees on the Subject Property, and they are located in the southeast corner of the site (around the perimeter of the cemetery). These consist of Siberian Elm and Black Locust, both of which are invasive species. The Environmental Policy Board has recommended that those trees be removed and the seeding be expanded, along with planting of more desirable tree species.

### **Alternatives**

Alternative 1: Motion to continue the Public Hearing to August and recommend approval of the Site Plan. There are no major or significant issues with the Site Plan. A plat, which is still needed, would not create a parcel less than what is shown on the Site Plan and therefore would not result in any deficiencies in terms of bulk standards. By continuing the Public Hearing, the City will not have to re-advertise and re-notice the Public Hearing should the subdivision be categorized as a Major Plat. Staff supports this option.

Alternative 2: Motion to continue the Public Hearing to August and recommend approval of the Site Plan with modifications. This action would be appropriate if the Planning Commission identifies specific items that do not meet the intent of the E-2 Employment District or do not meet the standards of said zoning district.

Alternative 3: Motion to continue the Public Hearing to August and recommend denial of the Site Plan. As proposed, there are no significant, unresolved issues with the Site Plan and thus, Staff does not support this alternative.

**Funding Source:**

This case is being handled as part of Staff's regular duties.

**Recommendation:**

Staff recommends approval of the Site Plan, contingent upon compliance with Staff review comments (this includes the need for a plat).

**Action:**

Motion to recommend City Council approve the Site Plan, contingent upon compliance with Staff review comments.

---

**Attachments**

Site Location Map

Aerial of Site with Public Works Building

Color Renderings

Site Plan

Plan Sheets with Comments

Draft Resolution #22-166

---

**Form Review****Inbox**

John Nelson

Bruce Westby

Brian Hagen

Form Started By: Chris Anderson

Final Approval Date: 07/22/2022

**Reviewed By**

John Nelson

Bruce Westby

Brian Hagen

**Date**

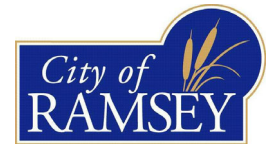
07/22/2022 11:44 AM

07/22/2022 12:01 PM

07/22/2022 12:56 PM

Started On: 07/19/2022 09:33 AM

# Site Location Map: Water Treatment Facility



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community, LOGIS

Print Date: July 11, 2022

0.0375 0.075 0.15 0.225 0.3 mi



The Cleaning Authority - Anoka

Molin Conc

SSM

142nd Ave NW

Ramsey Public Works

Point Construction Inc

RM Golf Carts  
Golf cart dealer

Auto Fitness & Service Center

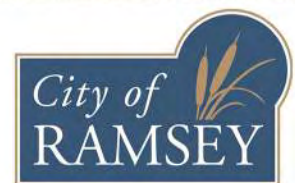
Star Auto and

Google

Imagery ©2022 Maxar

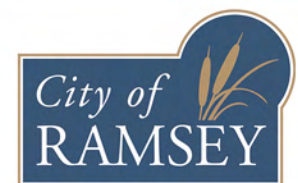


- THE RAMSEY WTP FACILITY DESIGN CONSIDERS BOTH THE FUNCTIONAL PROGRAM OF THE WATER TREATMENT PROCESS AND EXISTING CAMPUS AESTHETIC. BUILDING MASS IS BROKEN UP INTO THREE TIERS, ADMINISTRATION, FILTRATION, AND FLOCCULATION, LINKED TOGETHER BY A SERIES OF CASCADING TRANSLUCENT/GLAZED OPENINGS. THE ADMINISTRATION TIER IS THE FRONT OF HOUSE AND MOST RESEMBLES THE RECENTLY CONSTRUCTURED PUBLIC WORKS. THE FILTRATION TIER IS A SOLID PRECAST BOX TO BEST HANDLE THE MOIST AND CORROSIVE ENVIRONMENT ASSOCIATED WITH THE FILTRATION PROCESS. THE FLOCCULATION TIER IS THE TALLEST TO ACCOMMODATE THE THREE STORY PLATE SETTLERS.



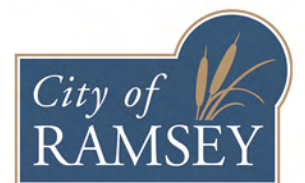


- THE RAMSEY WTP FACILITY DESIGN CONSIDERS BOTH THE FUNCTIONAL PROGRAM OF THE WATER TREATMENT PROCESS AND EXISTING CAMPUS AESTHETIC. BUILDING MASS IS BROKEN UP INTO THREE TIERS, ADMINISTRATION, FILTRATION, AND FLOCCULATION, LINKED TOGETHER BY A SERIES OF CASCADING TRANSLUCENT/GLAZED OPENINGS. THE ADMINISTRATION TIER IS THE FRONT OF HOUSE AND MOST RESEMBLES THE RECENTLY CONSTRUCTED PUBLIC WORKS. THE FILTRATION TIER IS A SOLID PRECAST BOX TO BEST HANDLE THE MOIST AND CORROSIVE ENVIRONMENT ASSOCIATED WITH THE FILTRATION PROCESS. THE FLOCCULATION TIER IS THE TALLEST TO ACCOMMODATE THE THREE STORY PLATE SETTLERS.



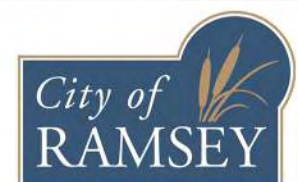


- THE RAMSEY WTP FACILITY DESIGN CONSIDERS BOTH THE FUNCTIONAL PROGRAM OF THE WATER TREATMENT PROCESS AND EXISTING CAMPUS AESTHETIC. BUILDING MASS IS BROKEN UP INTO THREE TIERS, ADMINISTRATION, FILTRATION, AND FLOCCULATION, LINKED TOGETHER BY A SERIES OF CASCADING TRANSLUCENT/GLAZED OPENINGS. THE ADMINISTRATION TIER IS THE FRONT OF HOUSE AND MOST RESEMBLES THE RECENTLY CONSTRUCTED PUBLIC WORKS. THE FILTRATION TIER IS A SOLID PRECAST BOX TO BEST HANDLE THE MOIST AND CORROSIVE ENVIRONMENT ASSOCIATED WITH THE FILTRATION PROCESS. THE FLOCCULATION TIER IS THE TALLEST TO ACCOMMODATE THE THREE STORY PLATE SETTLERS.



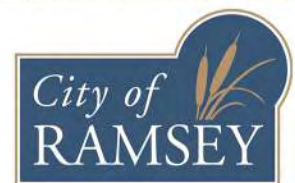


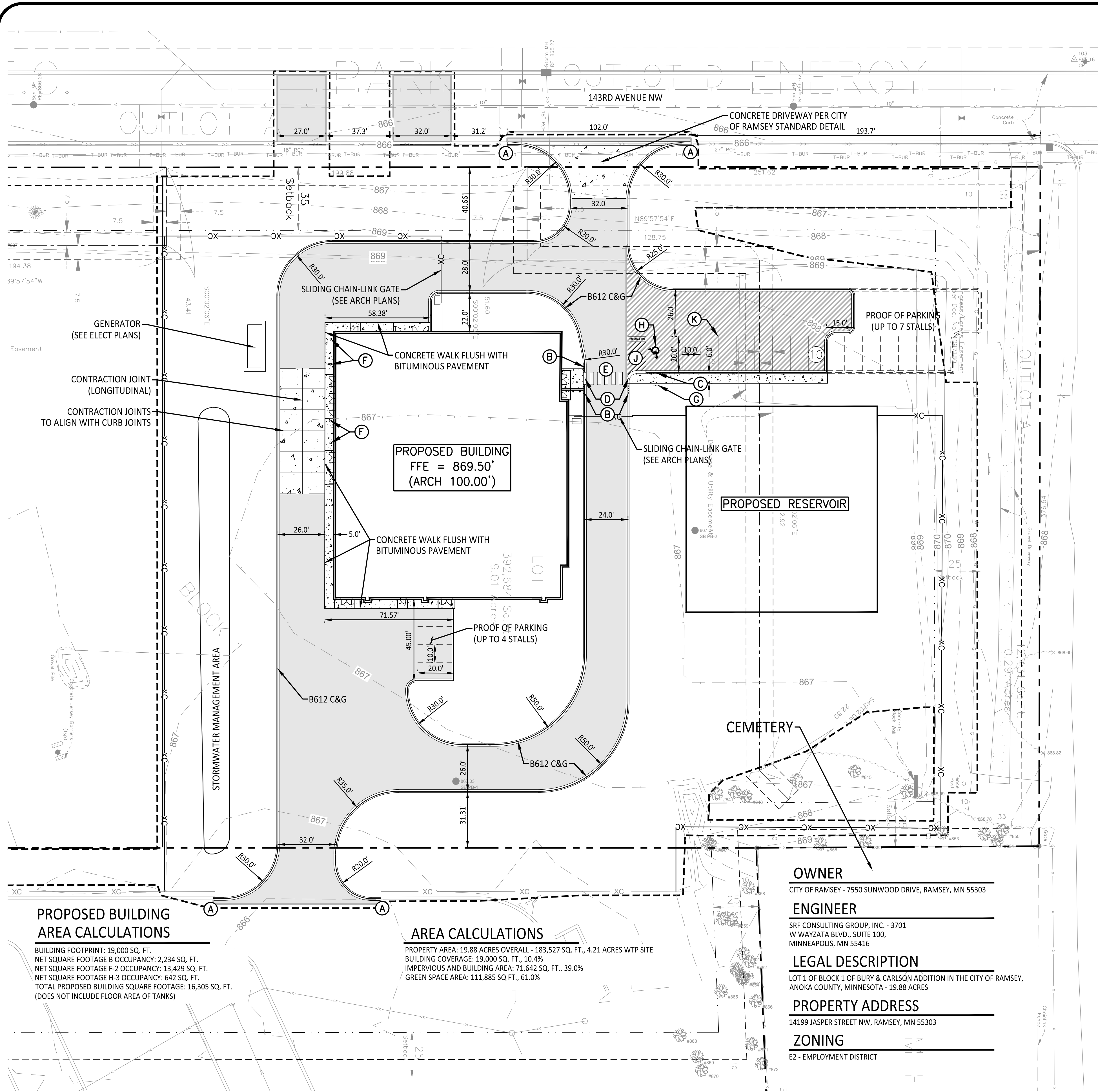
- THE RAMSEY WTP FACILITY DESIGN CONSIDERS BOTH THE FUNCTIONAL PROGRAM OF THE WATER TREATMENT PROCESS AND EXISTING CAMPUS AESTHETIC. BUILDING MASS IS BROKEN UP INTO THREE TIERS, ADMINISTRATION, FILTRATION, AND FLOCCULATION, LINKED TOGETHER BY A SERIES OF CASCADING TRANSLUCENT/GLAZED OPENINGS. THE ADMINISTRATION TIER IS THE FRONT OF HOUSE AND MOST RESEMBLES THE RECENTLY CONSTRUCTED PUBLIC WORKS. THE FILTRATION TIER IS A SOLID PRECAST BOX TO BEST HANDLE THE MOIST AND CORROSIVE ENVIRONMENT ASSOCIATED WITH THE FILTRATION PROCESS. THE FLOCCULATION TIER IS THE TALLEST TO ACCOMMODATE THE THREE STORY PLATE SETTLERS.





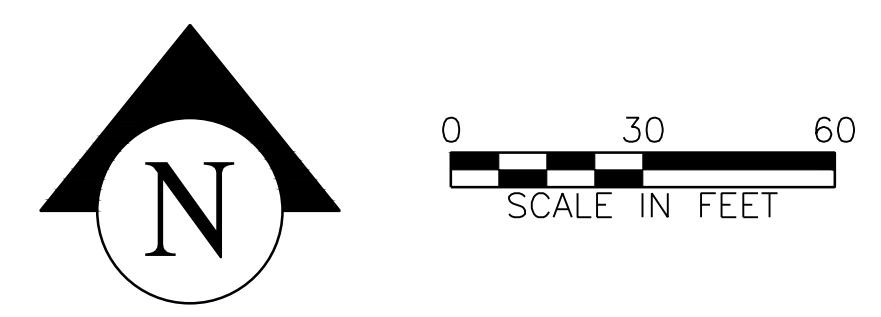
- THE RAMSEY WTP FACILITY DESIGN CONSIDERS BOTH THE FUNCTIONAL PROGRAM OF THE WATER TREATMENT PROCESS AND EXISTING CAMPUS AESTHETIC. BUILDING MASS IS BROKEN UP INTO THREE TIERS, ADMINISTRATION, FILTRATION, AND FLOCCULATION, LINKED TOGETHER BY A SERIES OF CASCADING TRANSLUCENT/GLAZED OPENINGS. THE ADMINISTRATION TIER IS THE FRONT OF HOUSE AND MOST RESEMBLES THE RECENTLY CONSTRUCTED PUBLIC WORKS. THE FILTRATION TIER IS A SOLID PRECAST BOX TO BEST HANDLE THE MOIST AND CORROSIVE ENVIRONMENT ASSOCIATED WITH THE FILTRATION PROCESS. THE FLOCCULATION TIER IS THE TALLEST TO ACCOMMODATE THE THREE STORY PLATE SETTLERS.





### SITE LEGEND

- PROPERTY LINE
- EASEMENT
- SETBACK LINE (PER CODE)
- EXISTING CONDITIONS
- LIGHT-DUTY BITUMINOUS PAVEMENT
- HEAVY-DUTY BITUMINOUS PAVEMENT
- 6" CONCRETE WALK
- 8" CONCRETE DRIVEWAY PAVEMENT
- CURB AND GUTTER
- CHAIN LINK FENCE (SEE ARCH. PLANS)
- PARKING LOT POLE LIGHT (SEE ELEC. PLANS)
- PARKING SPACES PER ROW
- LIMITS OF DISTURBANCE



### SITE NOTES

- SEE EXISTING CONDITIONS AND REMOVAL PLAN, ALONG WITH ANY RELATED SURVEYS FOR DETAILS ON PROPERTY BACKGROUND INFORMATION.
- REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION ON BUILDINGS, MONUMENT SIGNS, TRASH ENCLOSURES, AND OTHER RELATED ITEMS. VERIFY WITH ARCHITECTURAL PLANS THE EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMP, TRUCK DOCKS/SERVICE, AND OTHER RELATED BUILDING ITEMS.
- SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING LOCATIONS, DETAILS AND PHOTOMETRICS.
- ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF CONCRETE, OR EXTERIOR FACE OF BUILDING, UNLESS NOTED OTHERWISE.
- ALL CURB RADII SHALL BE 5.0 FEET (TO FACE OF CURB), UNLESS OTHERWISE NOTED.
- ALL CURB AND GUTTER SHALL BE CONCRETE B612 UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS, AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS, OR AS APPROVED.
- BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER, OR AS NOTED. PAVEMENT AND OTHER IMPROVEMENTS TO ADHERE TO ALL AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS FOR ACCESSIBILITY, INCLUDING SLOPE. CONTACT ENGINEER IMMEDIATELY INVOLVING ANY DISCREPANCIES.
- CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
- CONTRACTOR SHALL PROVIDE ALL CONSTRUCTION STAKING.
- CONTRACTOR SHALL PROVIDE ALL SITE GOVERNMENTAL PERMITS AND FEES.

### SIGNAGE AND STRIPING NOTES

- ALL TRAFFIC SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE STANDARDS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD), OR AS NOTED OTHERWISE.
- PARKING LOT STRIPING SHALL BE 4" WIDE COLOR WHITE, TWO COATS OF PAINT. CONTRACTOR SHALL PAINT ANY/ALL DIRECTIONAL TRAFFIC ARROWS AS SHOWN IN WHITE (TWO COATS).
- ACCESSIBLE PARKING SIGNS AND MARKINGS PER LATEST ADA CODE AND REQUIREMENTS. CONTRACTOR SHALL PAINT THE INTERNATIONAL SYMBOL OF ACCESSIBILITY IN EACH DESIGNATED ACCESSIBLE STALL IN BLUE BACKGROUND WITH WHITE BORDER (TWO COATS OF PAINT). CONTRACTOR SHALL PAINT THE WORDS "NO PARKING" IN EACH ACCESSIBLE ISLE ADJACENT TO AN ACCESSIBLE SPACE IN WHITE LETTERS MINIMUM 12" IN HEIGHT. SIGNS TO BE LOCATED AT THE HEAD OF THE PARKING SPACE. SEE ACCESSIBLE PARKING DETAILS.
- ALL SIGNS SHALL INCLUDE MOUNTING HARDWARE, POST, CONCRETE FOOTING AND CASING WHERE REQUIRED. CONCRETE CASING REQUIRED IN LOCATIONS WHERE POST IS NOT PROTECTED BY CURB.
- IF NOTED, ALL STOP SIGNS SHALL INCLUDE A 12" WIDE PAINTED STOP BAR IN WHITE PAINT (TWO COATS) PLACED AT THE STOP SIGN LOCATION, A MINIMUM OF 4' FROM CROSSWALK. ALL STOP BARS SHALL EXTEND FROM DIRECTIONAL TRANSITION BETWEEN LANES TO THE CURB.
- ALL SIGNS SHALL BE PLACED 18" BEHIND THE BACK OF CURB, UNLESS OTHERWISE NOTED.

### Ⓐ SITE KEY NOTES

- A. MATCH INTO EXISTING BITUMINOUS AND CURB & GUTTER
- B. CONCRETE CURB AND GUTTER - TAPER (5 FT LENGTH)
- C. CONCRETE CURB AND GUTTER - TAPER (5% MAX SLOPE)
- D. CONCRETE CURB AND GUTTER - FLUSH (0" HEIGHT; SEE GRADING PLAN)
- E. CROSSWALK PAVEMENT MARKINGS (FIVE 2' X 7' BARS WITH 2' SPACING)
- F. CONCRETE BOLLARD (SEE DETAIL)
- G. TRAFFIC SIGNAGE - INSTALL ACCESSIBLE PARKING SIGN (R7-8m) AND VAN ACCESSIBLE SIGN (R7-8b) PER MINNESOTA BUILDING CODE
- H. PAVEMENT MARKING - INTERNATIONAL SYMBOL OF ACCESSIBILITY
- J. PAVEMENT MARKING - "NO PARKING" AND ADA ACCESS AISLE CROSS HATCH STRIPING
- K. PAVEMENT MARKING - 4" WHITE STRIPING (PAINT)

### PROPOSED BUILDING AREA CALCULATIONS

BUILDING FOOTPRINT: 19,000 SQ. FT.  
 NET SQUARE FOOTAGE B OCCUPANCY: 2,234 SQ. FT.  
 NET SQUARE FOOTAGE F-2 OCCUPANCY: 13,429 SQ. FT.  
 NET SQUARE FOOTAGE H-3 OCCUPANCY: 642 SQ. FT.  
 TOTAL PROPOSED BUILDING SQUARE FOOTAGE: 16,305 SQ. FT.  
 (DOES NOT INCLUDE FLOOR AREA OF TANKS)

### AREA CALCULATIONS

PROPERTY AREA: 19.88 ACRES OVERALL - 183,527 SQ. FT., 4.21 ACRES WTP SITE  
 BUILDING COVERAGE: 19,000 SQ. FT., 10.4%  
 IMPERVIOUS AND BUILDING AREA: 71,642 SQ. FT., 39.0%  
 GREEN SPACE AREA: 111,885 SQ. FT., 61.0%

### OWNER

CITY OF RAMSEY - 7550 SUNWOOD DRIVE, RAMSEY, MN 55303

### ENGINEER

SRF CONSULTING GROUP, INC. - 3701 W WAYZATA BLVD., SUITE 100, MINNEAPOLIS, MN 55416

### LEGAL DESCRIPTION

LOT 1 OF BLOCK 1 OF BURY & CARLSON ADDITION IN THE CITY OF RAMSEY, ANOKA COUNTY, MINNESOTA - 19.88 ACRES

### PROPERTY ADDRESS

14199 JASPER STREET NW, RAMSEY, MN 55303

### ZONING

E2 - EMPLOYMENT DISTRICT

HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: MICHAEL C. AARON  
 PRINT NAME: MICHAEL C. AARON  
 DATE: 6/20/2022 LIC. NO.: 25721

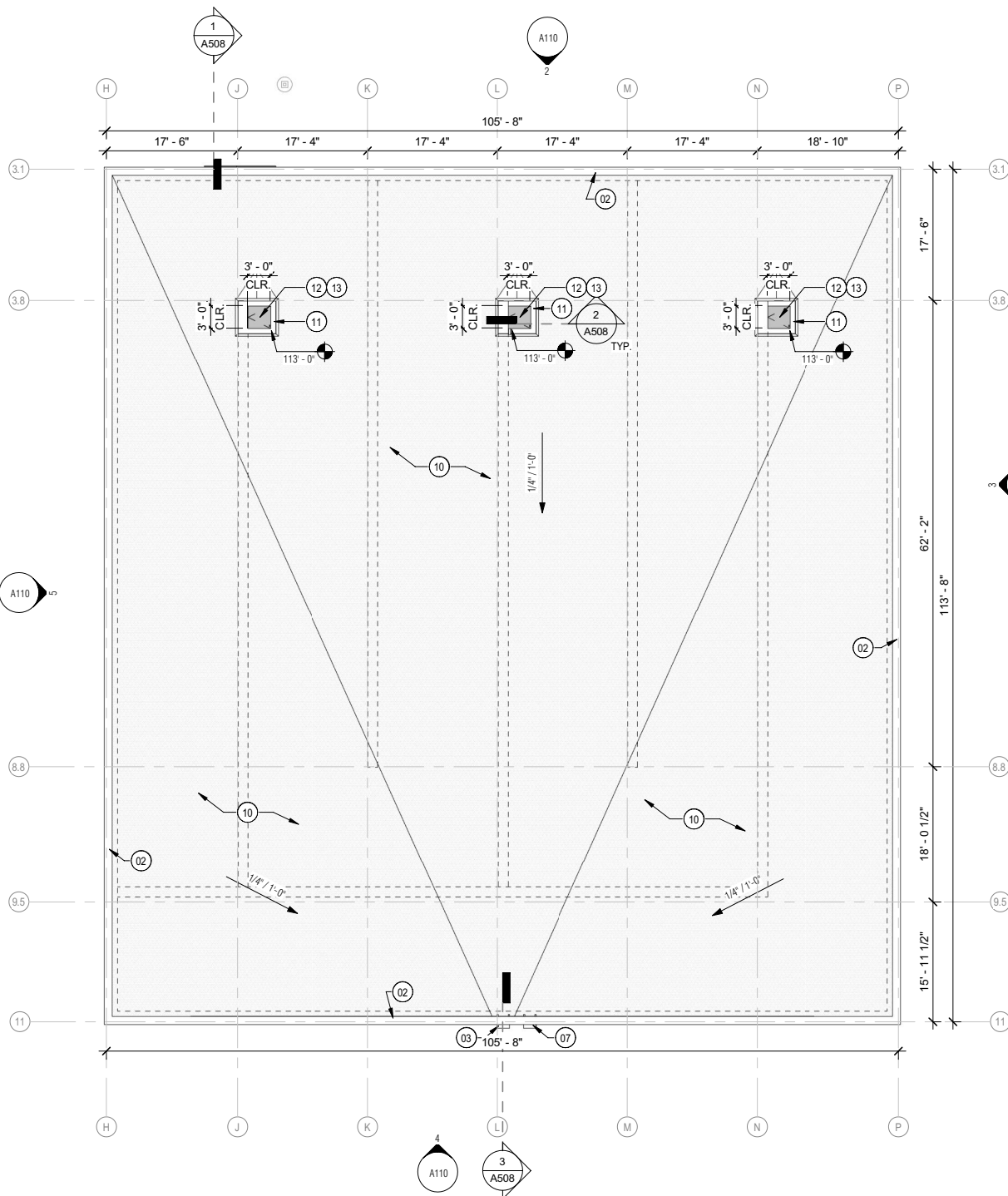
RAMSEY WATER TREATMENT PLANT  
 CITY OF RAMSEY  
 RAMSEY, MINNESOTA  
 SITE PLAN

DRAWING TYPE	PRELIMINARY
PREPARED BY	BPR
CHECKED/APPROVED	MCA/MCA
DATE	JUNE 2022
PROJECT NUMBER	05434-2020-002

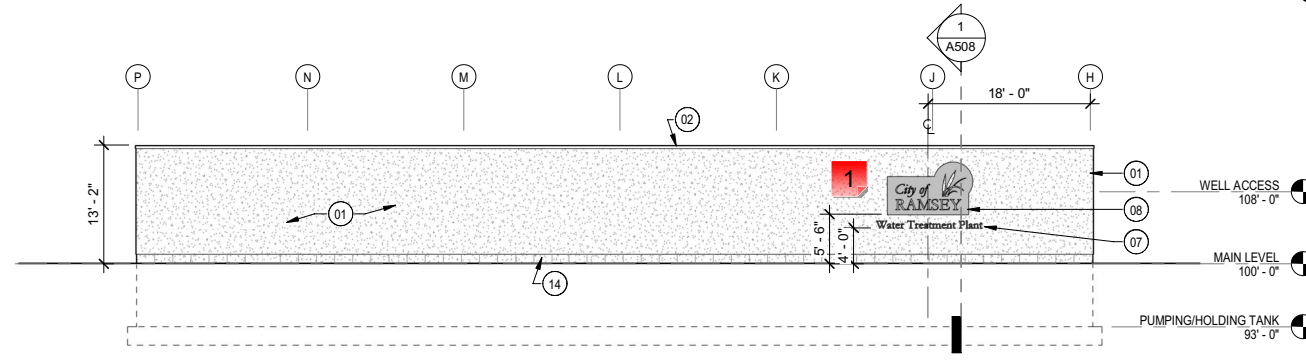
DRAWING  
**C200**

**RESERVOIR KEYNOTES:**

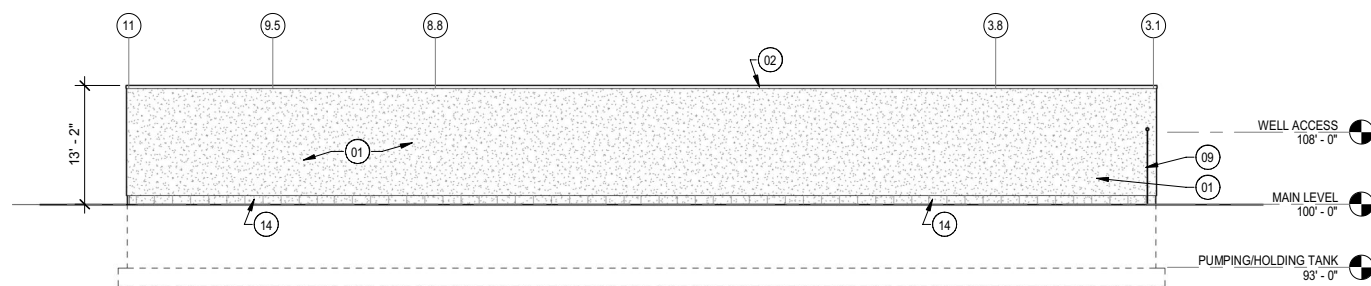
- 01 DRAINABLE EIFS WALL SYSTEM OVER 3" OF RIGID INSULATION, PAINT
  - 02 PRE-FINISHED MTL. PARAPET CAP
  - 03 20" x 6" PRE-FINISHED MTL. THRU-WALL SCUPPER
  - 04 20" x 6" PRE-FINISHED MTL. THRU-WALL OVERFLOW SCUPPER - BOTTOM OF SCUPPER 2" ABOVE MAIN ROOF SCUPPER
  - 05 SITE BERMING - SEE CIVIL
  - 06 LANDSCAPING - SEE CIVIL/SITE PLAN
  - 07 12" TALL WALL MOUNTED ANODIZED ALUM. BUILDING LETTERS
  - 08 WALL MOUNTED ANODIZED ALUM. CITY LOGO SIGNAGE
  - 09 SITE FENCING - SEE SITE PLAN FOR TYPE AND EXTENTS
  - 10 BALLASTED EPDM ROOFING MEMBRANE OVER TAPERED INSULATION AND MIN. 5.2" POLYISO ROOF INSULATION
  - 11 C.I.P. CONCRETE RESERVOIR ACCESS CURB
  - 12 WATERTIGHT FLUSH ALUM. RESERVOIR ACCESS HATCH WITH INTEGRAL DRAINAGE CHANNEL
  - 13 WALL MOUNTED FRP TANK LADDER WITH FALL ARRESTOR - SEE DETAIL 2/A508 FOR MORE INFORMATION
  - 14 CONCRETE FACED INSULATED WALL PANEL, PAINT - CONTINUE BELOW GRADE
- INDICATES INTERIOR RESERVOIR WALLS BELOW



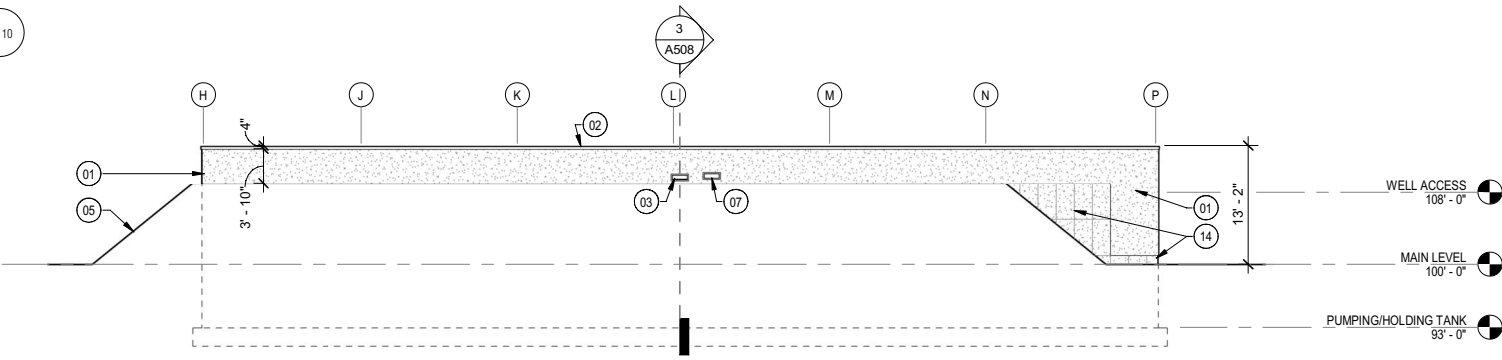
**1 RESERVOIR ROOF PLAN**  
 0 4' 8' 12' 16' 20'



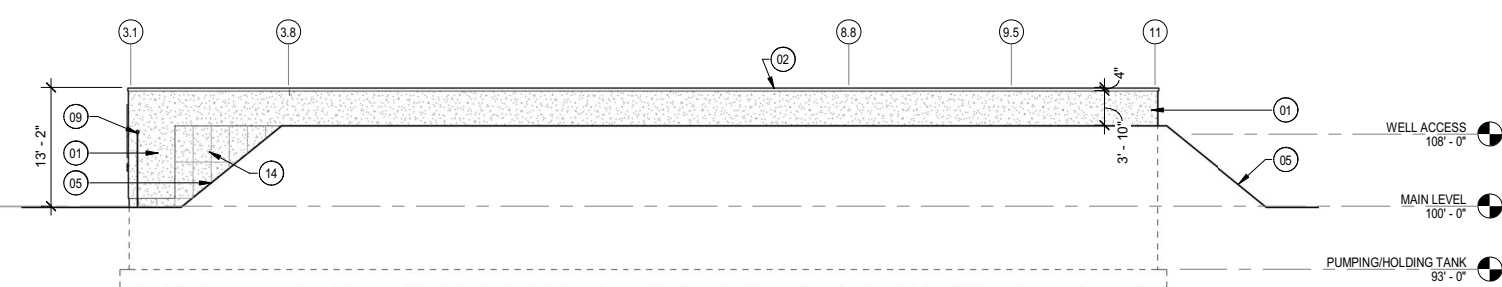
**2 RESERVOIR NORTH ELEVATION**  
 0 4' 8' 12' 16' 20'



**3 RESERVOIR EAST ELEVATION**  
 0 4' 8' 12' 16' 20'



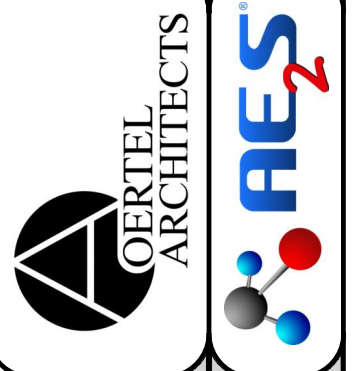
**4 RESERVOIR SOUTH ELEVATION**  
 0 4' 8' 12' 16' 20'



**5 RESERVOIR WEST ELEVATION**  
 0 4' 8' 12' 16' 20'

HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: \_\_\_\_\_  
 TYPED NAME: ANDREW N. COOPER  
 MAY, 2022 REG. NO. 46485



RAMSEY WATER TREATMENT PLANT  
 CITY OF RAMSEY  
 RAMSEY, MN  
 RESERVOIR ROOF PLAN AND ELEVATIONS

DRAWING TYPE  
**PRELIMINARY**  
 PREPARED BY  
 DCE  
 CHECKED / APPROVED  
 ANC / ANC  
 DATE  
 JUNE 2022  
 PROJECT NUMBER  
 21-24

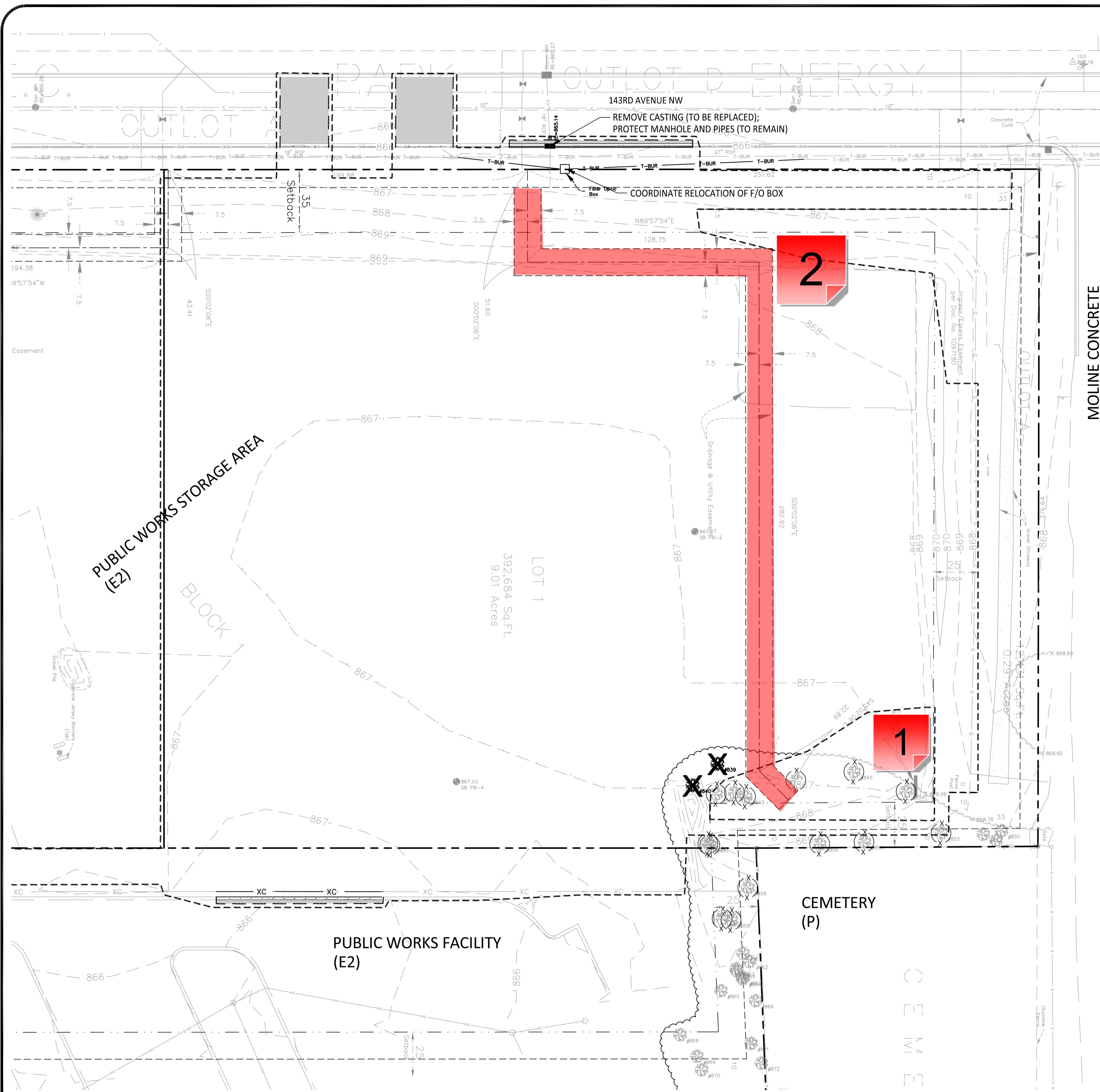
DRAWING  
**A110**

## 1 - Sign Permit

Created by: Chris Anderson  
On: 07/19/2022 11:39 AM

A Permanent Sign Permit will be required for the proposed signage. Please have sign contractor provide schematic drawing, including dimensions, and application for review.

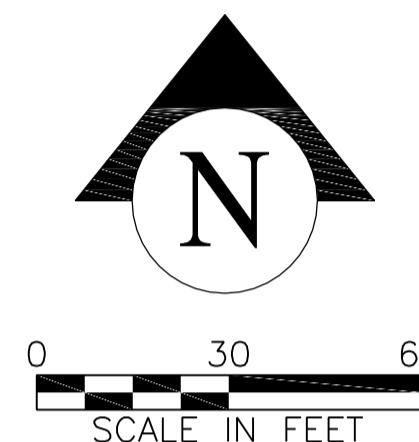
----- 0 Replies -----



### REMOVALS LEGEND

- PROPERTY LINE
- EXISTING TOPOGRAPHY TO REMAIN (GRAY/FADED LINEWORK, TYP.)
- ITEMS TO BE REMOVED (BLACK LINEWORK, TYP.)
- REMOVE BITUMINOUS PAVEMENT
- CLEAR AND GRUB (TREE)
- TREE PROTECTION
- SAWCUT PAVEMENT (FULL-DEPTH)
- REMOVE CURB AND GUTTER
- REMOVE CHAIN-LINK FENCE
- LIMITS OF DISTURBANCE

MOLINE CONCRETE (E2)

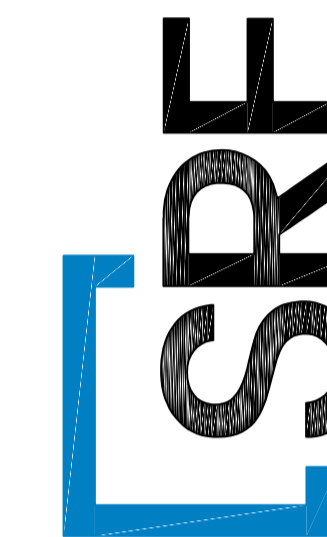


### EXISTING CONDITIONS AND SITE REMOVALS NOTES

1. EXISTING CONDITIONS BASED ON TOPOGRAPHIC SURVEY BY SRF CONSULTING GROUP, DATED 11-23-2021.
2. CONTRACTOR IS SOLELY RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION, AND NOTIFYING THE CIVIL ENGINEER AND OWNER IMMEDIATELY OF ANY DISCREPANCIES. THIS INCLUDES, BUT NOT LIMITED TO, TOPOGRAPHY, ELEVATIONS, UTILITIES, VEGETATION, AND OTHER RELATED ITEMS.
3. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL UTILITY LOCATES. THE CONTRACTOR SHALL SUBMIT A TICKET FOR PUBLIC UTILITY LOCATES 48 HOURS PRIOR TO ANY GRADING, EXCAVATION, OR UTILITY WORK THROUGH "GOPHER STATE ONE CALL" (GSOC) AT WWW.GSOCSUBMIT.ORG, OR CALLING 811, ALONG WITH ANY FOLLOW-UP TO MISSING INFORMATION. THE CONTRACTOR MUST HIRE A PRIVATE UTILITY LOCATING SERVICE TO LOCATE PRIVATE UTILITIES IN THE CONSTRUCTION AREA PRIOR TO ANY EXCAVATION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND.
4. CONTRACTOR SHALL PLACE ALL NECESSARY EROSION CONTROL MEASURES REQUIRED TO MAINTAIN SITE STABILITY PRIOR TO EXECUTING ANY SITE REMOVALS AND IMPROVEMENTS. SEE EROSION CONTROL PLAN AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND RELATED DOCUMENTS.
5. CONTRACTOR SHALL COORDINATE LIMITS OF REMOVALS WITH PROPOSED IMPROVEMENTS AND FIELD VERIFY CONDITION OF EXISTING APPURTENANCES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, REPAIRING, OR REPLACING MISCELLANEOUS ITEMS (SUCH AS FENCES, SIGNS, IRRIGATION HEADS, ETC.) THAT MAY BE DAMAGED BY CONSTRUCTION. CONTRACTOR SHALL PROTECT SURFACE AND SUBSURFACE FEATURES NOT NOTED FOR REMOVAL. PROVIDE SAWCUT AT PAVEMENT EDGE REMOVAL. PROVIDE SMOOTH TRANSITION OF ANY REMOVAL OR IMPROVEMENTS AT DISTURBANCE EDGE. HAUL AND DISPOSE OF ALL REMOVAL ITEMS OFF-SITE.
6. CONTRACTOR SHALL DEMOLISH AND REMOVE ALL ITEMS ILLUSTRATED ON THE PLANS AND OTHER ITEMS, AS NECESSARY FOR THE PROJECT AND RELATED IMPROVEMENTS. THIS INCLUDES ITEMS SUCH AS BUILDINGS, ACCESSORY STRUCTURES, FOUNDATIONS, PAVEMENTS, DEBRIS, VEGETATION, SUBSURFACE ITEMS (UTILITIES), UNDESIRE SOIL, AND OTHER RELATED ITEMS. VERIFY ALL SOIL CORRECTIONS WITH GEOTECH REPORT AND RECOMMENDATIONS, UNLESS NOTED OTHERWISE. HAUL AND DISPOSE OF ALL REMOVAL ITEMS OFF-SITE.
7. CONTRACTOR SHALL REMOVE, REPAIR AND/OR RELOCATE EXISTING PRIVATE OR PUBLIC UTILITIES AS NECESSARY, WHETHER STATED ON THE PLANS OR NOT, INCLUDING ANY RELATED PERMITS AND FEES. CONTRACTOR TO COORDINATE AND RECEIVE APPROVAL FOR ACTIVITIES WITH OWNER AND UTILITY COMPANIES BEFORE STARTING WORK.
8. CLEAR, GRUB, AND REMOVE ALL TREES AND VEGETATION WITHIN THE CONSTRUCTION LIMITS, OR AS NOTED. STRIP TOPSOIL, STOCKPILE, AND REDISTRIBUTE PER GRADING PLAN.
9. TREE PROTECTION FENCING SHALL BE INSTALLED AT THE DRIP LINE OF TREES TO REMAIN, OR AS ILLUSTRATED, WITHIN LIMITS OF DISTURBANCE PRIOR TO THE START OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE PROJECT. NO DETRIMENTAL CONDITIONS TO OCCUR AT TREE PRESERVATION AREAS, SUCH AS STORAGE OF EQUIPMENT/MATERIALS, CHEMICAL WASH, OR EXCAVATION.
10. CONTRACTOR SHALL PROVIDE ALL STAGING AND TEMPORARY TRAFFIC CONTROL FOR THE PROJECT, AS APPROVED BY THE OWNER AND GOVERNING AGENCY. PROVIDE MINIMAL DISRUPTION TO ADJACENT PROPERTIES AND STREETS, OR AS DIRECTED BY PROPERTY OWNER.
11. CONTRACTOR SHALL PROVIDE TEMPORARY CONDITIONS, SUCH AS CONSTRUCTION TRAILER, TEMPORARY FENCING, AND OTHER SECURITY MEASURES FOR THE LENGTH OF THE ENTIRE PROJECT.
12. ALL CONSTRUCTION PERMITS, APPLICATIONS AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR, UNLESS NOTED OTHERWISE.
13. FOR ANY SALVAGE AND/OR REINSTALL ITEMS, CONTRACTOR TO PROVIDE ALL WORK RELATED TO RE-LOCATION (TEMP AND PERMANENT), STORAGE, AND PROTECTION.

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: MICHAEL C. AARON  
 PRINT NAME: MICHAEL C. AARON  
 DATE: 6/20/2022 LIC. NO.: 25721



RAMSEY WATER TREATMENT PLANT  
 CITY OF RAMSEY  
 RAMSEY, MINNESOTA

DRAWING TYPE  
**PRELIMINARY**  
 PREPARED BY  
 BPR  
 CHECKED / APPROVED  
 MCA/MCA  
 DATE  
 JUNE 2022  
 PROJECT NUMBER  
 05434-2020-002

DRAWING  
**C100**

SYM	DATE	DESCRIPTION	APPR

**1 - Remove**

Created by: Chris Anderson  
On: 07/12/2022 08:49 AM

These trees appear to be siberian elm and black locust, both of which are considered invasive species. These should be removed, and the area should be established with mesic seed mix and more desirable tree species.

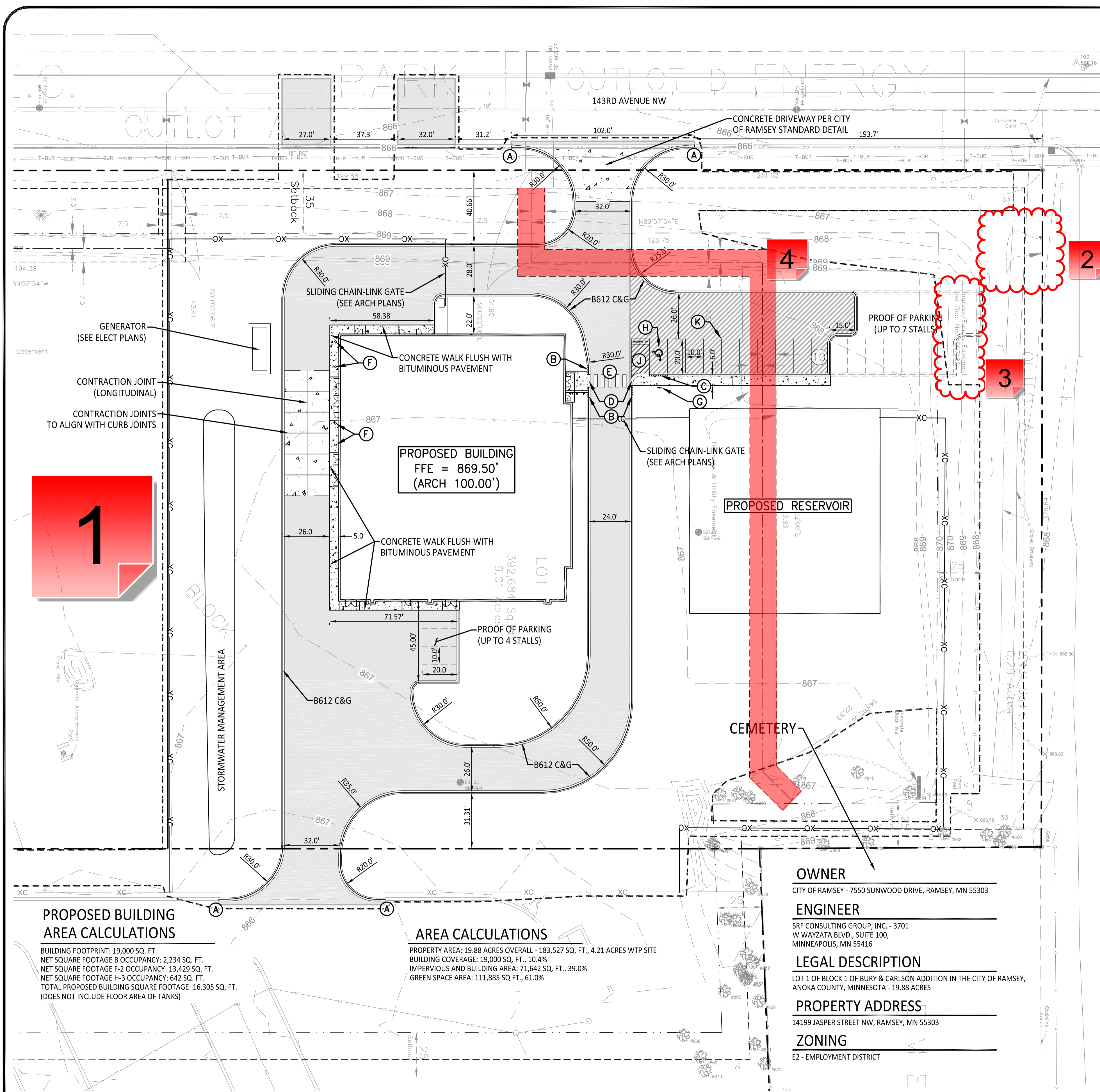
----- 0 Replies -----

**2 - Easement**

Created by: Chris Anderson  
On: 07/19/2022 11:38 AM

Is this easement still necessary? If not, please prepare an exhibit and legal description and the city will initiate the easement vacation process.

----- 0 Replies -----



**PROPOSED BUILDING AREA CALCULATIONS**  
 BUILDING FOOTPRINT: 19,000 SQ. FT.  
 NET SQUARE FOOTAGE B OCCUPANCY: 2,234 SQ. FT.  
 NET SQUARE FOOTAGE F-2 OCCUPANCY: 13,429 SQ. FT.  
 NET SQUARE FOOTAGE H-3 OCCUPANCY: 642 SQ. FT.  
 TOTAL PROPOSED BUILDING SQUARE FOOTAGE: 16,305 SQ. FT.  
 (DOES NOT INCLUDE FLOOR AREA OF TANKS)

**AREA CALCULATIONS**  
 PROPERTY AREA: 19.88 ACRES OVERALL - 183,527 SQ. FT., 4.21 ACRES WTP SITE  
 BUILDING COVERAGE: 19,000 SQ. FT., 10.4%  
 IMPERVIOUS AND BUILDING AREA: 71,642 SQ. FT., 39.0%  
 GREEN SPACE AREA: 111,885 SQ. FT., 61.0%

**OWNER**  
 CITY OF RAMSEY - 7550 SUNWOOD DRIVE, RAMSEY, MN 55303

**ENGINEER**  
 SRF CONSULTING GROUP, INC. - 3701 W WAYZATA BLVD., SUITE 100, MINNEAPOLIS, MN 55416

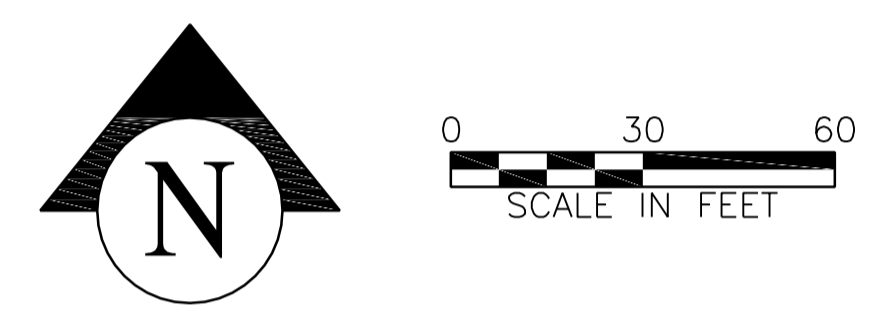
**LEGAL DESCRIPTION**  
 LOT 1 OF BLOCK 1 OF BURY & CARLSON ADDITION IN THE CITY OF RAMSEY, ANOKA COUNTY, MINNESOTA - 19.88 ACRES

**PROPERTY ADDRESS**  
 14199 JASPER STREET NW, RAMSEY, MN 55303

**ZONING**  
 E2 - EMPLOYMENT DISTRICT

**SITE LEGEND**

- PROPERTY LINE
- - - EASEMENT
- - - SETBACK LINE (PER CODE)
- EXISTING CONDITIONS
- [Hatched Box] LIGHT-DUTY BITUMINOUS PAVEMENT
- [Solid Grey Box] HEAVY-DUTY BITUMINOUS PAVEMENT
- [Dotted Box] 6" CONCRETE WALK
- [Dotted Box] 8" CONCRETE DRIVEWAY PAVEMENT
- == CURB AND GUTTER
- XC- CHAIN LINK FENCE (SEE ARCH. PLANS)
- [Light Pole Symbol] PARKING LOT POLE LIGHT (SEE ELEC. PLANS)
- (16) PARKING SPACES PER ROW
- - - LIMITS OF DISTURBANCE



**SITE NOTES**

1. SEE EXISTING CONDITIONS AND REMOVAL PLAN, ALONG WITH ANY RELATED SURVEYS FOR DETAILS ON PROPERTY BACKGROUND INFORMATION.
2. REFER TO ARCHITECTURAL PLANS FOR MORE INFORMATION ON BUILDINGS, MONUMENT SIGNS, TRASH ENCLOSURES, AND OTHER RELATED ITEMS. VERIFY WITH ARCHITECTURAL PLANS THE EXACT BUILDING DIMENSIONS AND LOCATIONS OF EXITS, RAMPS, TRUCK DOCKS/SERVICE, AND OTHER RELATED BUILDING ITEMS.
3. SITE LIGHTING SHOWN ON PLAN IS FOR REFERENCE ONLY. REFER TO LIGHTING PLAN PREPARED BY OTHERS FOR SITE LIGHTING LOCATIONS, DETAILS AND PHOTOMETRICS.
4. ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF CONCRETE, OR EXTERIOR FACE OF BUILDING, UNLESS NOTED OTHERWISE.
5. ALL CURB RADII SHALL BE 5.0 FEET (TO FACE OF CURB), UNLESS OTHERWISE NOTED.
6. ALL CURB AND GUTTER SHALL BE CONCRETE B612 UNLESS OTHERWISE NOTED.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGERS, AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. PLACEMENT OF THESE DEVICES SHALL BE APPROVED BY THE CITY PRIOR TO PLACEMENT. TRAFFIC CONTROL DEVICES IN PUBLIC RIGHT-OF-WAY SHALL CONFORM TO APPROPRIATE MNDOT STANDARDS, OR AS APPROVED.
8. BITUMINOUS PAVEMENT AND CONCRETE SECTIONS TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER, OR AS NOTED. PAVEMENT AND OTHER IMPROVEMENTS TO ADHERE TO ALL AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS FOR ACCESSIBILITY, INCLUDING SLOPE. CONTACT ENGINEER IMMEDIATELY INVOLVING ANY DISCREPANCIES.
9. CONTRACTOR SHALL MAINTAIN FULL ACCESS TO ADJACENT PROPERTIES DURING CONSTRUCTION AND TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES.
10. CONTRACTOR SHALL PROVIDE ALL CONSTRUCTION STAKING.
11. CONTRACTOR SHALL PROVIDE ALL SITE GOVERNMENTAL PERMITS AND FEES.

**SIGNAGE AND STRIPING NOTES**

1. ALL TRAFFIC SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE STANDARDS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD), OR AS NOTED OTHERWISE.
2. PARKING LOT STRIPING SHALL BE 4" WIDE COLOR WHITE, TWO COATS OF PAINT. CONTRACTOR SHALL PAINT ANY/ALL DIRECTIONAL TRAFFIC ARROWS AS SHOWN IN WHITE (TWO COATS).
3. ACCESSIBLE PARKING SIGNS AND MARKINGS PER LATEST ADA CODE AND REQUIREMENTS. CONTRACTOR SHALL PAINT THE INTERNATIONAL SYMBOL OF ACCESSIBILITY IN EACH DESIGNATED ACCESSIBLE STALL IN BLUE BACKGROUND WITH WHITE BORDER (TWO COATS OF PAINT). CONTRACTOR SHALL PAINT THE WORDS "NO PARKING" IN EACH ACCESSIBLE ISLE ADJACENT TO AN ACCESSIBLE SPACE IN WHITE LETTERS MINIMUM 12" IN HEIGHT. SIGNS TO BE LOCATED AT THE HEAD OF THE PARKING SPACE. SEE ACCESSIBLE PARKING DETAILS.
4. ALL SIGNS SHALL INCLUDE MOUNTING HARDWARE, POST, CONCRETE FOOTING AND CASING WHERE REQUIRED. CONCRETE CASING REQUIRED IN LOCATIONS WHERE POST IS NOT PROTECTED BY CURB.
5. IF NOTED, ALL STOP SIGNS SHALL INCLUDE A 12" WIDE PAINTED STOP BAR IN WHITE PAINT (TWO COATS) PLACED AT THE STOP SIGN LOCATION, A MINIMUM OF 4' FROM CROSSWALK. ALL STOP BARS SHALL EXTEND FROM DIRECTIONAL TRANSITION BETWEEN LANES TO THE CURB.
6. ALL SIGNS SHALL BE PLACED 18" BEHIND THE BACK OF CURB, UNLESS OTHERWISE NOTED.

**(A) SITE KEY NOTES**

- A. MATCH INTO EXISTING BITUMINOUS AND CURB & GUTTER
- B. CONCRETE CURB AND GUTTER - TAPER (5 FT LENGTH)
- C. CONCRETE CURB AND GUTTER - TAPER (5% MAX SLOPE)
- D. CONCRETE CURB AND GUTTER - FLUSH (0" HEIGHT; SEE GRADING PLAN)
- E. CROSSWALK PAVEMENT MARKINGS (FIVE 2' X 7' BARS WITH 2' SPACING)
- F. CONCRETE BOLLARD (SEE DETAIL)
- G. TRAFFIC SIGNAGE - INSTALL ACCESSIBLE PARKING SIGN (R7-8m) AND VAN ACCESSIBLE SIGN (R7-8b) PER MINNESOTA BUILDING CODE
- H. PAVEMENT MARKING - INTERNATIONAL SYMBOL OF ACCESSIBILITY
- J. PAVEMENT MARKING - "NO PARKING" AND ADA ACCESS AISLE CROSS HATCH STRIPING
- K. PAVEMENT MARKING - 4" WHITE STRIPING (PAINT)

HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: MICHAEL C. AARON  
 PRINT NAME: MICHAEL C. AARON  
 DATE: 6/20/2022 LIC. NO.: 25721

SYM	DATE	DESCRIPTION	APPR

**SRF**  
**AES**

RAMSEY WATER TREATMENT PLANT  
 CITY OF RAMSEY  
 RAMSEY, MINNESOTA

SITE PLAN

DRAWING TYPE  
**PRELIMINARY**

PREPARED BY  
 BPR

CHECKED / APPROVED  
 MCA/MCA

DATE  
 JUNE 2022

PROJECT NUMBER  
 05434-2020-002

DRAWING  
**C200**

**1 - Plat?**

Created by: Chris Anderson  
On: 07/11/2022 08:45 AM

A plat is required to create this lot. Please submit.

----- 0 Replies -----

**2 - What is this Pointing to?**

Created by: Chris Anderson  
On: 07/11/2022 08:49 AM

----- 0 Replies -----

**3 - Easement**

Created by: Chris Anderson  
On: 07/11/2022 08:49 AM

Show this easement on the Site Plan. Recommend that it get platted as separate outlot.

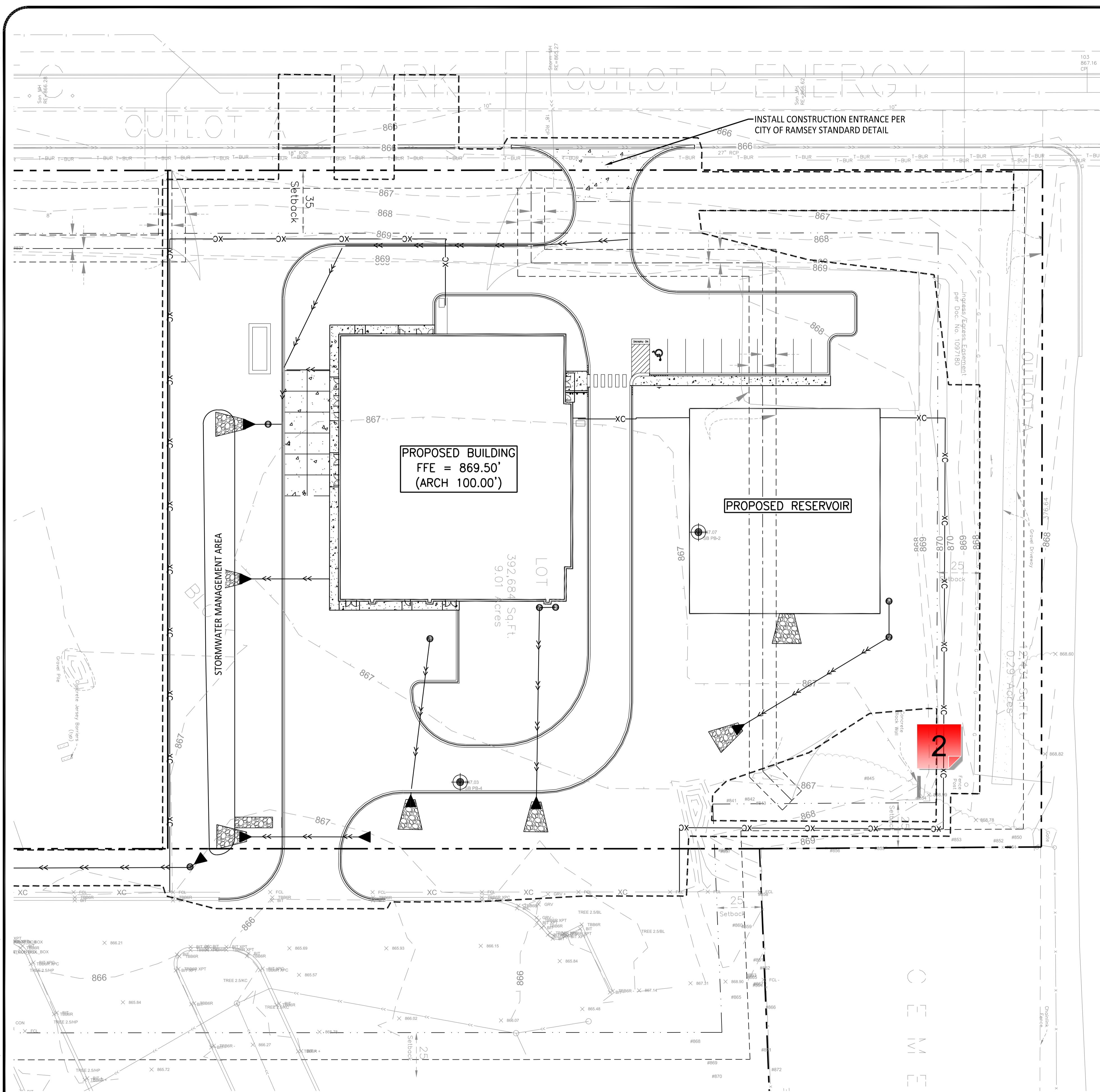
----- 0 Replies -----

**4 - D/U Easement**

Created by: Chris Anderson  
On: 07/19/2022 11:05 AM

What is the purpose of this d/u easement and is it needed any more? If not, an exhibit should be prepared, including legal description, and this should be vacated as part of this process.

----- 0 Replies -----



**GRADING AND EROSION CONTROL LEGEND**

- PROPERTY LINE
- 960 PROPOSED CONTOURS (MAJOR)
- 964 PROPOSED CONTOURS (MINOR)
- 960 EXISTING CONTOURS (MAJOR)
- 964 EXISTING CONTOURS (MINOR)
- 813.56 PROPOSED SPOT ELEVATION
- 944.50 EOF EMERGENCY OVERFLOW
- 2.0% PROPOSED SURFACE SLOPE
- SILT FENCE
- BIO ROLL
- INLET PROTECTIO
- EROSION CONTROL BLANKET
- RIP-RAP
- STORM SEWER (SEE UTILITY PLAN)
- DRAIN TILE (SEE UTILITY PLAN)
- TIP-OUT GUTTER
- LIMITS OF DISTURBANCE
- SOIL BORING LOCATION

ELEVATION 869.50 CIVIL = 100.00 ARCHITECTURAL

HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: MICHAEL C. AARON  
 PRINT NAME: MICHAEL C. AARON  
 DATE: 6/20/2022 LIC. NO.: 25721

SYM	DATE	DESCRIPTION	APPR

**100%**

**AE2**

SCALE IN FEET

30 60

**GRADING, DRAINAGE, AND EROSION CONTROL NOTES**

1. THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF C/ASCE 38-2, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."
2. THE CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
3. CONTRACTOR TO PROVIDE ALL WORK AND MATERIALS FOR GRADING, SUBSOIL CORRECTIONS (IMPORT/EXPORT), RETAINING WALLS, TOPSOIL, EROSION CONTROL AND OTHER RELATED ITEMS.
4. SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
5. CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.16 FEET. RIM ELEVATIONS SHOWN ON PLANS DO NOT REFLECT SUMPED ELEVATIONS.
6. ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF 4 INCHES OF TOP SOIL AND SEED/MULCH OR SOD. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED. STRIP, STOCKPILE, AND REDISTRIBUTE EXISTING TOPSOIL, AS SUITABLE.
7. FOR SITE RETAINING WALLS "TW" EQUALS SURFACE GRADE AT TOP FACE OF WALL (NOT TOP OF WALL), "GW" EQUALS SURFACE GRADE AT WALL GRADE TRANSITION, AND "BW" EQUALS SURFACE GRADE AT BOTTOM FACE OF WALL (NOT BOTTOM OF BURIED WALL COURSES).
8. STREETS MUST BE CLEANED AND SWEEPED WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED.
9. DUST SHALL BE ADEQUATELY CONTROLLED.
10. ALL SLOPES 1:3 (V:H) OR GREATER REQUIRED TO RECEIVE SURFACE EROSION CONTROL WHETHER IT IS INDICATED ON THE PLAN OR NOT; MAINTAIN SHEET FLOW AND MINIMIZE RILLS AND/OR GULLIES.
11. ALL STORM DRAINS AND INLETS MUST BE PROTECTED UNTIL ALL SOURCES OF POTENTIAL DISCHARGE ARE STABILIZED.
12. TEMPORARY SOIL STOCKPILES MUST HAVE EFFECTIVE SEDIMENT CONTROL AND CAN NOT BE PLACED IN SURFACE WATERS OR STORM WATER CONVEYANCE SYSTEMS. TEMPORARY STOCKPILES WITHOUT SIGNIFICANT AMOUNT OF SILT, CLAY, OR ORGANIC COMPOUNDS ARE EXEMPT EX: CLEAN AGGREGATE STOCK PILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES.
13. FINAL STABILIZATION REQUIRES THAT ALL SOIL DISTURBING ACTIVITIES HAVE BEEN COMPLETED AND THAT DISTURBED AREAS ARE STABILIZED BY A UNIFORM PERENNIAL VEGETATIVE COVER WITH 70% OF THE EXPECTED FINAL DENSITY, AND THAT ALL PERMANENT PAVEMENTS HAVE BEEN INSTALLED. ALL TEMPORARY BMP'S SHALL BE REMOVED, DITCHES STABILIZED, AND SEDIMENT SHALL BE REMOVED FROM PERMANENT CONVEYANCES AND SEDIMENTATION BASINS IN ORDER TO RETURN THE POND/BASIN TO DESIGN CAPACITY.
14. THE WATERSHED DISTRICT OR THE CITY MAY HAVE REQUIREMENTS FOR INSPECTIONS VERIFYING PROPER CONSTRUCTION OF THE BEST MANAGEMENT PRACTICES (BMP) - THE MORE RESTRICTIVE REQUIREMENT SHALL APPLY.
15. SEE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) NOTES AND DETAILS FOR ADDITIONAL EROSION CONTROL NOTES AND REQUIREMENTS. CONTRACTOR SHALL PROVIDE ALL REQUIRED EROSION CONTROL PERMITS/FEE'S, INSPECTORS, INSPECTIONS, AND DOCUMENTATION. PLAN REPRESENTS MINIMAL EROSION CONTROL, CONTRACTOR TO PROVIDE ADDITIONAL MEANS AND METHODS FOR THE PROJECT AS NECESSARY TO MAINTAIN COMPLIANCE.
16. CONTRACTOR TO PROVIDE ALL SUBGRADE SOIL CORRECTIONS, INCLUDING REMOVAL OF SUBGRADE DEBRIS, FOR PROJECT IMPROVEMENTS SUCH AS BUILDING, PAVEMENT, UTILITY, RETAINING WALLS, AND OTHER RELATED ITEMS. REFER TO THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT FOR ANY ADDITIONAL SITE PREPARATION INFORMATION OR REQUIREMENTS.
17. IF GROUND WATER IS PRESENT IN THE EXCAVATION, OR IF THE EXPOSED SOILS ARE WET AND UNSTABLE, CONTACT THE OWNER OR ENGINEER FOR A RECOMMENDATION FROM THE GEOTECHNICAL ENGINEER.
18. CONTRACTOR SHALL INSTALL ALL EROSION CONTROL MEASURES PRIOR TO COMMENCING GRADING ACTIVITIES AND SHALL MAINTAIN SAID MEASURES FOR DURATION OF CONSTRUCTION ACTIVITIES. UPON ESTABLISHMENT OF TURF, THE CONTRACTOR SHALL REMOVE THE EROSION CONTROL MEASURES AND DISPOSE OF OFF SITE.
19. CONTRACTOR TO PREVENT DIRT AND/OR DEBRIS FROM ENTERING STORM SEWER OR BEING TRANSPORTED OFF SITE IN AN UNCONTROLLED MANNER. CONTRACTOR TO VERIFY AT PROJECT CLOSEOUT THAT STORM SEWER SYSTEM IS CLEAR OF SEDIMENT AND/OR DEBRIS AND IS FULLY FUNCTIONAL.
20. CONTRACTOR SHALL PROVIDE REQUIRED EROSION CONTROL MONITORING, PER REQUIREMENTS AND CERTIFICATION, TO INSPECT AND DOCUMENT ALL EROSION CONTROL MEASURES WEEKLY (EVERY 7 DAYS) AND AFTER EVERY 0.5 INCH RAINFALL EVENT, PER REQUIREMENTS. CONTRACTOR TO PROVIDE CORRECTIVE MEASURES IMMEDIATELY FOR ANY NON-COMPLIANCE OBSERVATIONS.
21. ALL DISTURBED NON-PAVED AREAS SHALL RECEIVE TEMPORARY PROTECTION OR PERMANENT COVER WITHIN 14 DAYS OF DISTURBANCE OPERATIONS.
22. WHEN TRAPPED SEDIMENT REACHES 1/3 OF THE HEIGHT OF SILT FENCE, IT SHALL BE REMOVED AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
23. CATCH BASIN SEDIMENT FILTER SACKS SHALL BE CLEANED WHEN SEDIMENT REACHES 1/3 THE CAPACITY OF THE SACK.
24. WHEN SEDIMENT IS TRACKED ON TO PAVED SURFACES, IT SHALL BE REMOVED WITHIN 24 HOURS OF DISCOVERY.
25. ANY SEDIMENT FROM THE CONSTRUCTION SITE THAT ACCUMULATES ON OR OFF THE OWNER'S PROPERTY SHALL BE REMOVED BY THE CONTRACTOR AT HIS/HER EXPENSE. ANY DAMAGE THAT OCCURS FROM THE ACCUMULATED SEDIMENT OR FROM THE CONTRACTOR'S REMOVAL OF THE SEDIMENT, SHALL BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE.
26. ALL EXCAVATIONS MUST COMPLY WITH THE REQUIREMENTS OF OSHA 29 CFR, PART 1926, SUBPART P, "EXCAVATIONS AND TRENCHES." THIS DOCUMENT STATES THAT EXCAVATION SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
27. THE CONTRACTOR MUST COMPLY WITH THE REQUIREMENTS OF THE PROJECT SPECIFIC STORM WATER POLLUTION PREVENTION PLAN. TEMPORARY STORMWATER IMPROVEMENTS SHALL BE PROVIDED UNTIL THE PERMANENT IMPROVEMENTS ARE ESTABLISHED. CONTRACTOR TO DESIGN AND SUBMIT ALL TEMPORARY STORMWATER ITEMS FOR ENGINEER APPROVAL.
28. CONTRACTOR TO PROVIDE ALL SURVEY CONSTRUCTION STAKING.

**RAMSEY WATER TREATMENT PLANT**  
 CITY OF RAMSEY  
 RAMSEY, MINNESOTA

GRADING, DRAINAGE, AND EROSION CONTROL PLAN

DRAWING TYPE  
**PRELIMINARY**

PREPARED BY  
**BPR**

CHECKED / APPROVED  
**MCA/MCA**

DATE  
**JUNE 2022**

PROJECT NUMBER  
**05434-2020-002**

DRAWING  
**C300**

## 1 - Grading Plan

Created by: Len Linton  
On: 07/18/2022 10:07 AM

Turn on the spot elevations, proposed contours and information to guide the contractor in grading at the site.

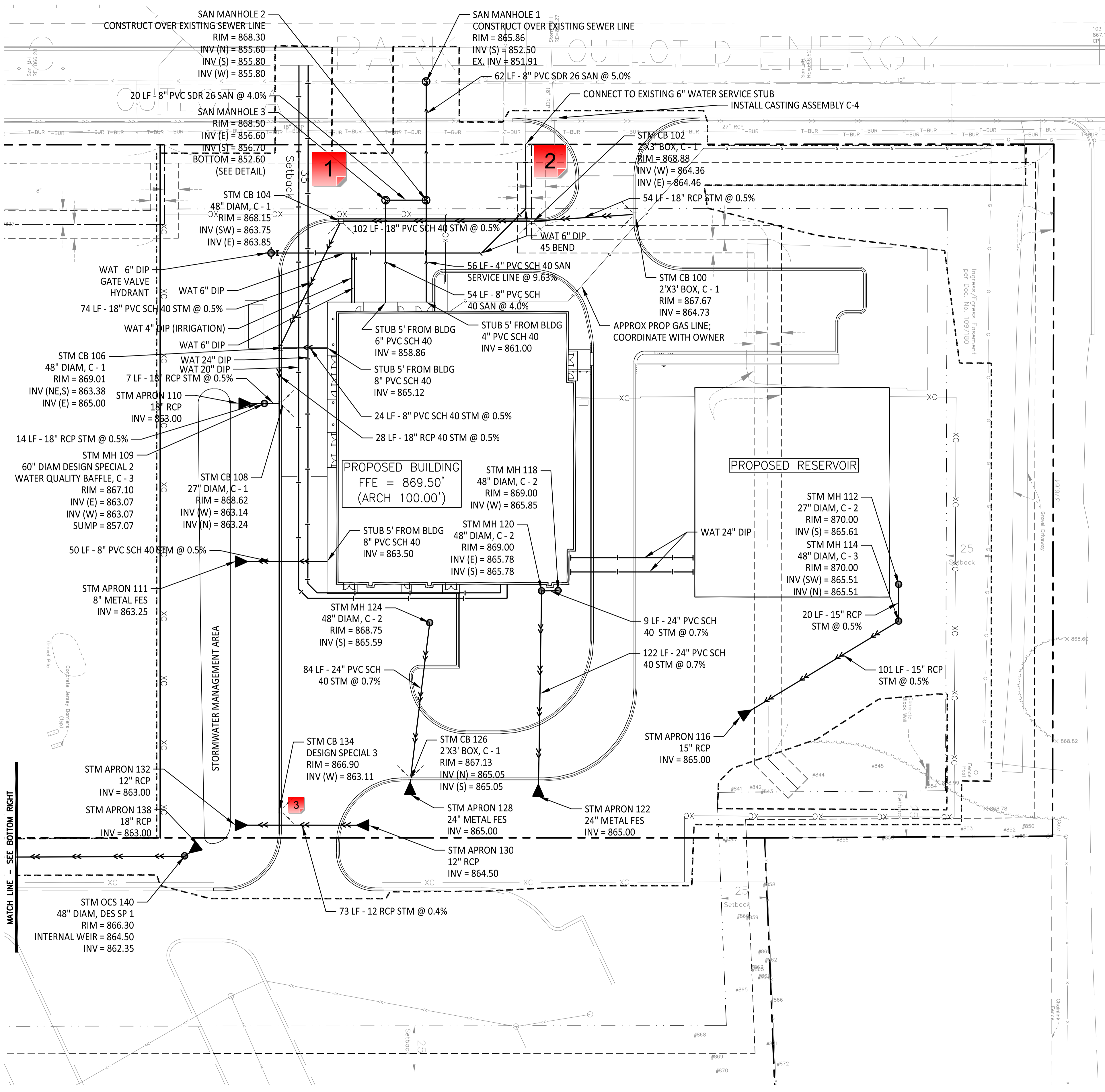
----- 0 Replies -----

## 2 - Grade this area

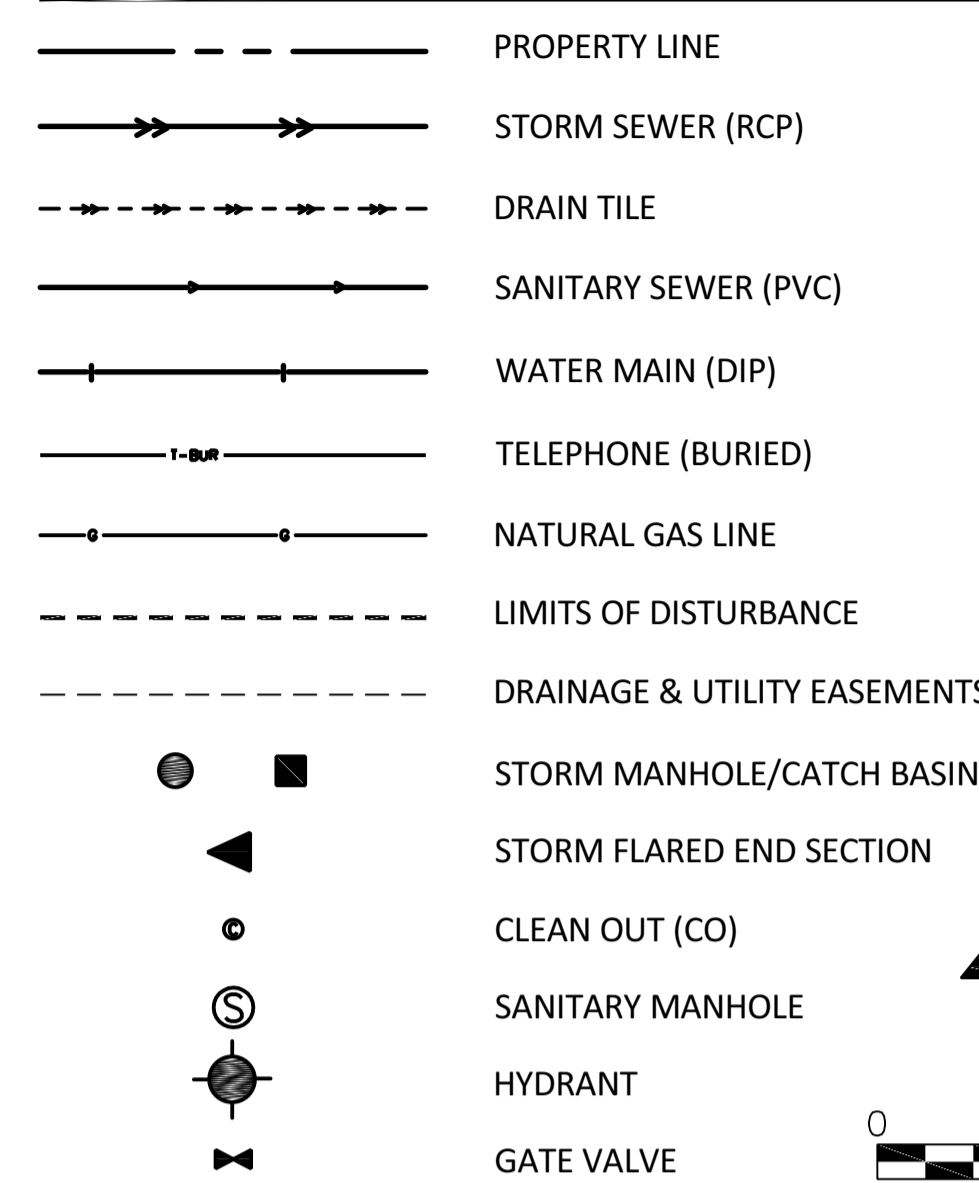
Created by: Chris Anderson  
On: 07/19/2022 11:41 AM

There's just Siberian Elm and Black Locust trees in here, both are invasive. These trees, along with the rubble piles, should be removed, the area graded, seeded with mesic prairie mix, and planted with more desirable trees.

----- 0 Replies -----



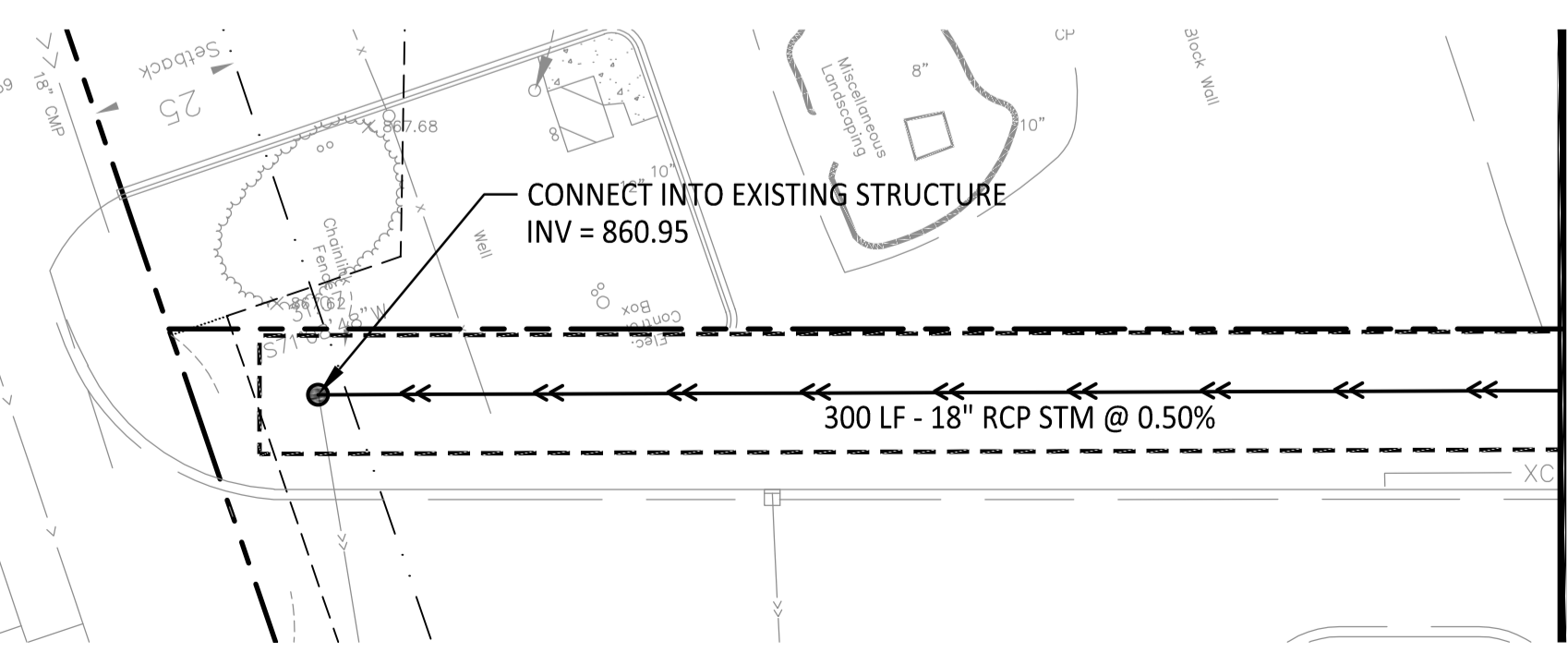
### UTILITY LEGEND



ELEVATION 869.50 CIVIL = 100.00 ARCHITECTURAL

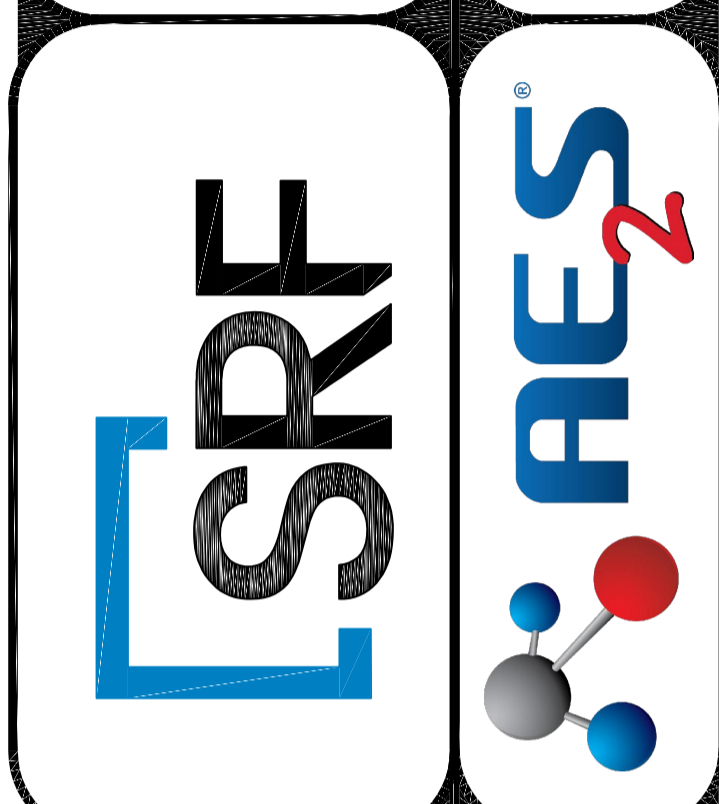
### UTILITY NOTES

1. THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-2, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."
2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL UTILITY LOCATES. CONTACT GOPHER STATE ONE CALL PER STATE STATUTES FOR PUBLIC UTILITY LOCATES PRIOR TO ANY EXCAVATION. THE CONTRACTOR MUST HIRE A PRIVATE UTILITY LOCATING SERVICE TO LOCATE PRIVATE UTILITIES IN THE CONSTRUCTION AREA PRIOR TO ANY EXCAVATION.
3. SEE EXISTING CONDITIONS FOR SURVEY INFORMATION. THE ENGINEER CAN NOT BE HELD RESPONSIBLE FOR INACCURACIES RELATED TO THE SURVEY INFORMATION.
4. COMPLY WITH ALL LOCAL AND STATE REQUIREMENTS FOR UTILITY MATERIALS, INSTALLATION, AND TESTING.
5. OBTAIN ALL PERMITS OR APPROVALS FROM LOCAL UTILITY OWNERS PRIOR TO BEGINNING UTILITY INSTALLATIONS. NOTIFY UTILITY OWNERS OF THE START OF CONSTRUCTION FOR THE PROJECT AND ANY SPECIFIC UTILITY WORK AT LEAST 48 HOURS IN ADVANCE.
6. FIELD VERIFY AND COORDINATE ALL BUILDING UTILITY CONNECTIONS AND PUBLIC UTILITY SERVICE CONNECTIONS PRIOR TO CONSTRUCTION, INCLUDING LOCATION, TYPE, SIZE, AND INVERT ELEVATION. NOTIFY ENGINEER OF ANY DISCREPANCIES FROM THE PLAN FOR RESOLUTION PRIOR TO BEGINNING UTILITY INSTALLATIONS.
7. ADJUST, OR ARRANGE TO BE ADJUSTED BY UTILITY OWNER, ALL STRUCTURES, PUBLIC AND PRIVATE, TO PROPOSED GRADES WHERE DISTURBED. COMPLY WITH ALL REQUIREMENTS OF UTILITY OWNERS. STRUCTURES RESET IN PAVED AREAS TO MEET OWNER'S TRAFFIC LOADING REQUIREMENTS.
8. SERVICE UTILITIES, SUCH AS ELECTRIC (TRANSFORMER), GAS, TELEPHONE, CABLE, FIBER OPTIC, AND OTHER RELATED SMALL UTILITIES, MAY BE SHOWN FOR GENERAL REFERENCE AND ARE DEEMED CONCEPTUAL LOCATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING AND COORDINATING ALL LOCATIONS OF SERVICE UTILITY CONNECTIONS AND RELATED ITEMS WITH SERVICE PROVIDERS.
9. WATERMAIN AND WATER SERVICE CONNECTIONS GREATER THAN 6" TO BE CLASS 52 DUCTILE IRON PIPE (DIP), AND ALL WATERMAIN 6" OR LESS SHALL BE DIP CLASS 53. MAINTAIN 7.5' OF COVER ON ALL NEW WATERMAIN. PROVIDE WATERMAIN THRUST RESTRAINTS AT CHANGE OF DIRECTION, AND PROVIDE 18" SEPARATION BETWEEN SEWER PIPE. ADJUST WATERMAIN VERTICALLY, AS NECESSARY, AS APPROVED BY THE ENGINEER. IF INSULATION IS REQUIRED, PROVIDE DOW STYROFOAM HI BRAND 35 OR EQUIVALENT, AT 4-INCH THICKNESS.
10. WATERMAIN SHALL BE INSTALLED IN CONFORMANCE WITH THE CITY ENGINEER'S ASSOCIATION OF MINNESOTA (CEAM) STANDARDS OR THE CITY'S WATERMAIN INSTALLATION STANDARDS. WHERE CONFLICTS OCCUR, THE MORE RESTRICTIVE REQUIREMENT SHALL GOVERN.
11. SANITARY SEWER PIPE OUTSIDE THE BUILDING SHALL BE POLYVINYL CHLORIDE (PVC) SDR 26. SDR 26 REQUIRED FOR DEPTHS GREATER THAN 15 FT.
12. STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP), WITH R-4 GASKETS. RCP CLASS 5 FOR PIPE DIAMETERS 18" OR SMALLER, CLASS 3 FOR PIPE DIAMETERS 21" AND LARGER UNLESS OTHERWISE NOTED. POLYVINYL CHLORIDE PIPE (PVC) TO BE SCHEDULE 40. IF ALLOWED BY THE CITY, HIGH DENSITY POLYETHYLENE PIPE (HDPE) SHALL MEET REQUIREMENTS OF ASTM F2648. PIPE SHALL BE WATER TIGHT ACCORDING TO ASTM D3212 REQUIREMENTS. FLARED END SECTIONS SHALL BE RCP WITH TRASH GUARDS AND ROCK RIP-RAP.
13. OUTSIDE OF PUBLIC RIGHT OF WAY, INLET AND OUTLET CONNECTIONS TO SEWER STRUCTURES SHALL USE APPROVED RESILIENT RUBBER JOINTS TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCH BASINS, AND OTHER STRUCTURES.
14. ALL MANHOLE COVERS TO BE STAMPED EITHER SANITARY OR STORM SEWER.
15. PIPE LENGTHS THAT MAY BE SHOWN ARE HORIZONTALLY FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
16. SITE UTILITY SERVICES TYPICALLY TERMINATE 5 FEET FROM BUILDING, UNLESS NOTED OTHERWISE.
17. ALL EXCAVATIONS MUST COMPLY WITH THE REQUIREMENTS OF OSHA 29 CFR, PART 1926, SUBPART P, "EXCAVATIONS AND TRENCHES." THIS DOCUMENT STATES THAT EXCAVATION SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
18. DRAINTILE LOCATIONS AND QUANTITIES ARE APPROXIMATE AS ILLUSTRATED. FIELD VERIFY FINAL LOCATIONS.
19. AFTER CONSTRUCTION IS COMPLETE, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT RECORD OF UTILITY CONSTRUCTION. THE AS-BUILT SHALL INCLUDE LOCATION AND LENGTH DEVIATIONS OR CHANGES TO THE PLAN. CONTRACTOR TO VERIFY WITH OWNER OR ENGINEER WHETHER A PLAN WITH POST-CONSTRUCTION ELEVATIONS IS REQUIRED.



HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: MICHAEL C. AARON  
PRINT NAME: MICHAEL C. AARON  
DATE: 6/20/2022 LIC. NO.: 25721



RAMSEY WATER TREATMENT PLANT  
CITY OF RAMSEY  
RAMSEY, MINNESOTA  
UTILITY PLAN

DRAWING TYPE  
PRELIMINARY  
PREPARED BY  
BPR  
CHECKED / APPROVED  
MCA/MCA  
DATE  
JUNE 2022  
PROJECT NUMBER  
05434-2020-002

DRAWING  
C400

**1 - Water Main**

Created by: Logan Czech  
On: 07/20/2022 07:52 AM

Provide information on these two water lines and connection point

----- 0 Replies -----

**2 - 6" Water Service**

Created by: Logan Czech  
On: 07/20/2022 07:52 AM

Add gate valve at connection point so that contractor does not have to test existing line

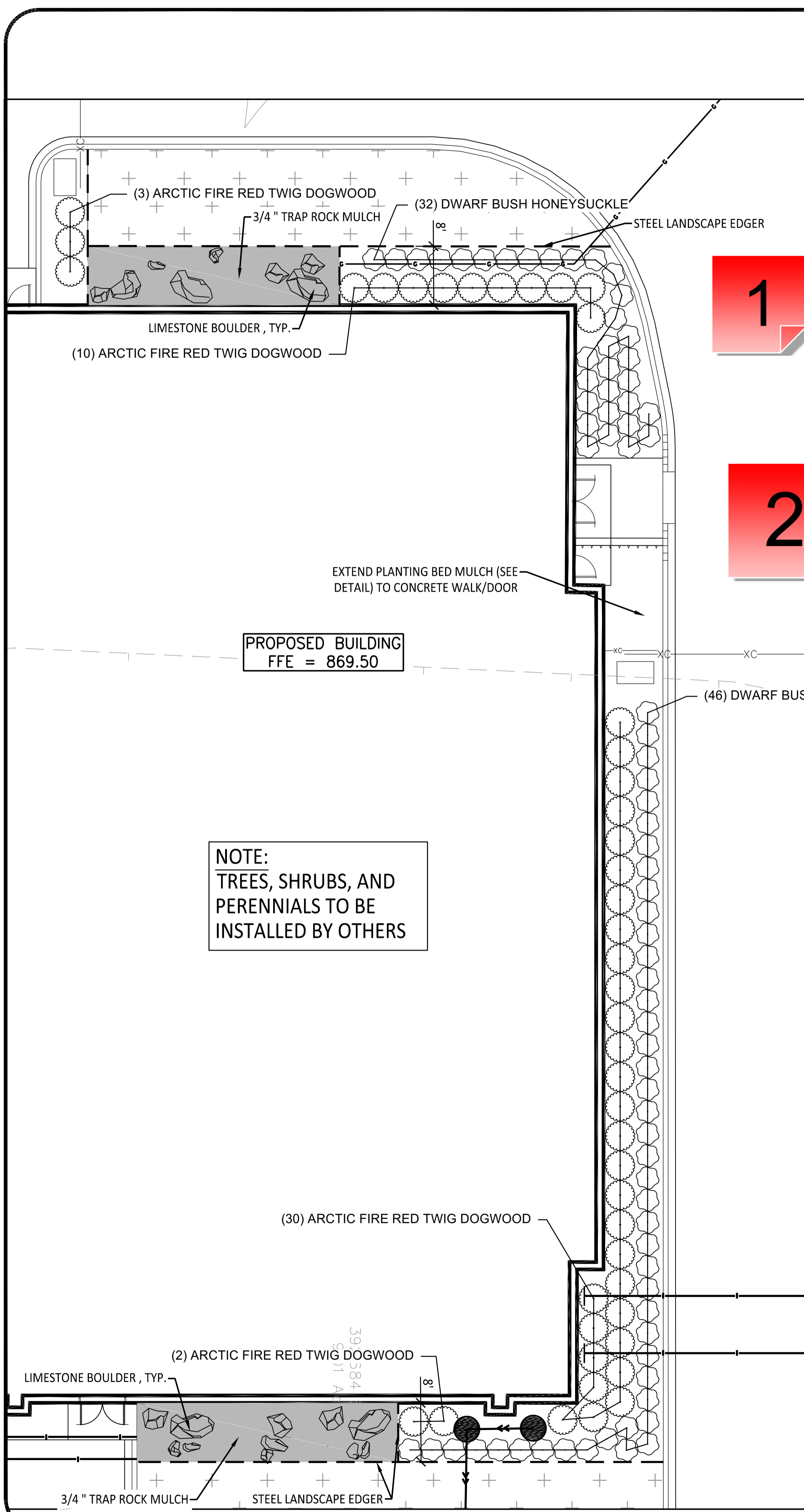
----- 0 Replies -----

**3 - CB 134**

Created by: Logan Czech  
On: 07/20/2022 07:58 AM

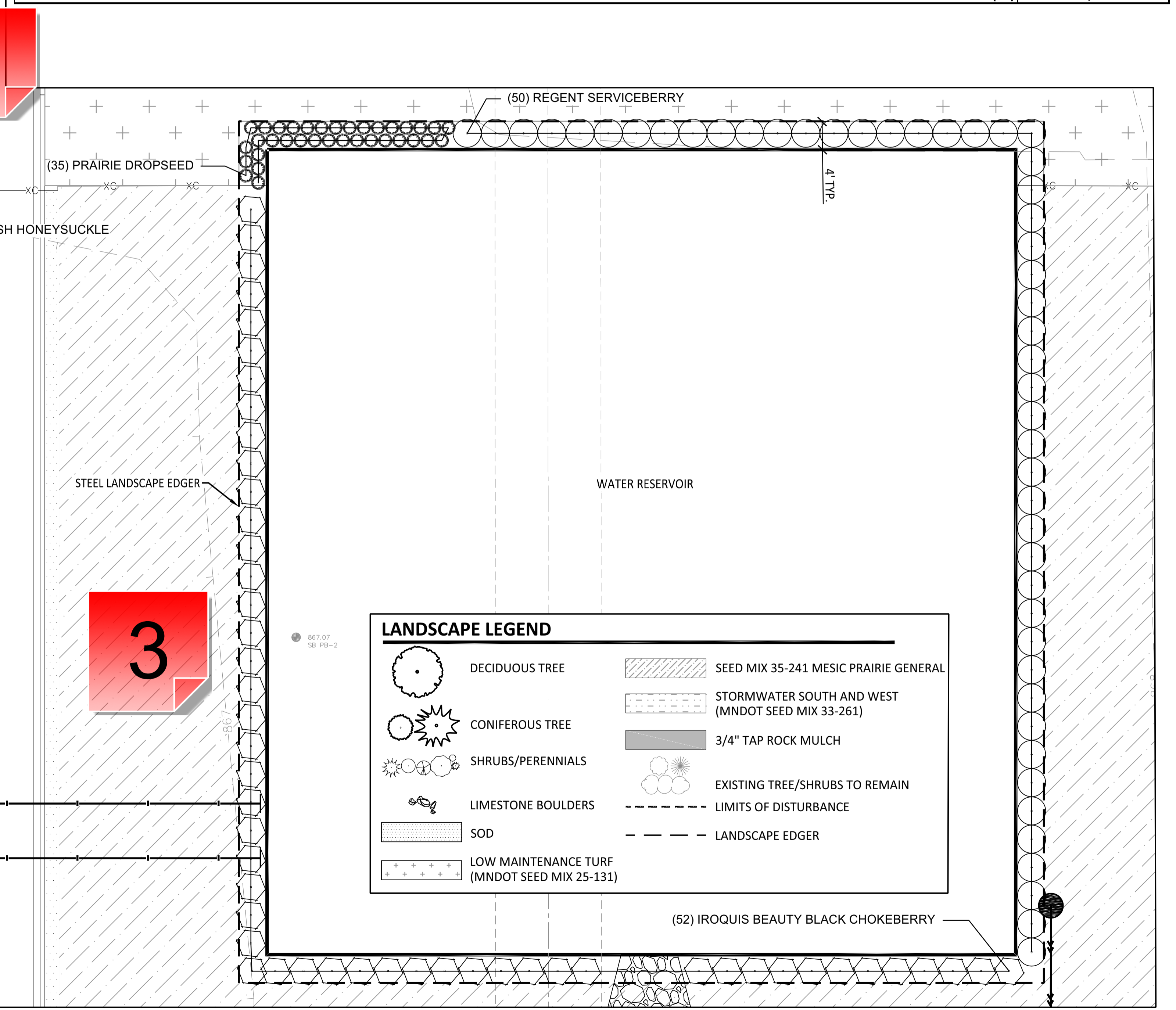
This structure does not appear to be connected with any outlet

----- 0 Replies -----



**PLANT SCHEDULE**

DECIDUOUS TREES							
Botanical	Common	Size	Container	Remarks	Quantity	Canopy Cover (SF)	Total Canopy Cover (SF)
CELTIS OCCIDENTALIS	COMMON HACKBERRY	2.5" CAL.	B&B	SINGLE, STRAIGHT LEADER	5	922	4,610
GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE' TM	SKYLINE HONEYLOCUST	2.5" CAL.	B&B	SINGLE, STRAIGHT LEADER	3	415	1,245
QUERCUS BICOLOR	SWAMP WHITE OAK	2.5" CAL.	CONT.	SINGLE, STRAIGHT LEADER	6	718	4,308
QUERCUS MACROCARPA	BUR OAK	2.5" CAL.	CONT.	SINGLE, STRAIGHT LEADER	7	3,910	27,370
SALIX NIGRA	BLACK WILLOW	2.5" CAL.	B&B	SINGLE, STRAIGHT LEADER	4	460	1,840
TILIA AMERICANA 'BOULEVARD'	BOULEVARD LINDEN	2.5" CAL.	B&B	SINGLE, STRAIGHT LEADER	3	354	1,062
ULMUS AMERICANA 'NEW HARMONY'	NEW HARMONY ELM	2.5" CAL.	B&B	SINGLE, STRAIGHT LEADER	7	3,910	27,370
SHRUBS							
Botanical	Common	Size	Container	Remarks	Quantity	Canopy Cover (SF)	Total Canopy Cover (SF)
AMELANCHIER ALNIFOLIA 'REGENT'	REGENT SERVICEBERRY	#5	CONT.	PLANT 4' O.C.	50	18	900
ARONIA MELANOCARPA 'MORTON' TM	IROQUIS BEAUTY BLACK CHOKEBERRY	#5	CONT.	PLANT 4' O.C.	52	10	520
CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE RED TWIG DOGWOOD	#5	CONT.	PLANT 4' O.C.	45	32	1,440
DIERVILLA LONICERA	DWARF BUSH HONEYSUCKLE	#5	CONT.	PLANT 3' O.C.	78	2	156
PERENNIALS AND GRASSES							
Botanical	Common	Size	Container	Remarks	Quantity	Canopy Cover (SF)	Total Canopy Cover (SF)
GERANIUM MACULATUM	WILD GERANIUM	#1	CONT.	PLANT 18" O.C.	45	0	0
SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	#1	CONT.	PLANT 24" O.C.	35	0	0
<b>TOTAL CANOPY COVER (SF)</b>						<b>89,911</b>	



**LANDSCAPE LEGEND**

- DECIDUOUS TREE
- CONIFEROUS TREE
- SHRUBS/PERENNIALS
- LIMESTONE BOULDERS
- SOD
- LOW MAINTENANCE TURF (MNDOT SEED MIX 25-131)
- SEED MIX 35-241 MESIC PRAIRIE GENERAL
- STORMWATER SOUTH AND WEST (MNDOT SEED MIX 33-261)
- 3/4" TAP ROCK MULCH
- EXISTING TREE/SHRUBS TO REMAIN
- LIMITS OF DISTURBANCE
- LANDSCAPE EDGER

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: JONATHAN W. FILLMORE  
 PRINT NAME: JONATHAN W. FILLMORE  
 DATE: 6/20/2022 LIC. NO.: 58679

SYM	DATE	DESCRIPTION	APPR

**SRF**

**AES**

**N**

0 10 20  
 SCALE IN FEET

**RAMSEY WATER TREATMENT PLANT**  
 CITY OF RAMSEY  
 RAMSEY, MINNESOTA

LANDSCAPE ENLARGEMENT PLAN

DRAWING TYPE  
**PRELIMINARY**

PREPARED BY  
**BPR**

CHECKED / APPROVED  
**MCA / MCA**

DATE  
**JUNE 2022**

PROJECT NUMBER  
**05434-2020-002**

DRAWING  
**L101**

### 1 - Shrub Size

Created by: Chris Anderson  
On: 07/11/2022 08:34 AM

Shrubs shall be at least 24" in height. Update Plant Schedule to specify size as 24" rather than container size.

----- 0 Replies -----

### 2 - Coniferous Tree Info

Created by: Chris Anderson  
On: 07/11/2022 08:36 AM

The Plant Schedule is missing the coniferous trees. Please update to include the Norway Spruce and White Pines proposed on the plan sheet.

----- 0 Replies -----

### 3 - Management Plan

Created by: Chris Anderson  
On: 07/11/2022 08:37 AM

Please provide a detailed 3-5 year management plan for the prairie area. The plan shall describe the prescribed management activities, include a calendar of when these activities shall occur. A competent subcontractor shall be identified to perform the management activities.

----- 0 Replies -----

Councilmember \_\_\_\_\_ introduced the following resolution and moved for its adoption:

**RESOLUTION #22-166**

**A RESOLUTION APPROVING THE SITE PLAN  
FOR A WATER TREATMENT FACILITY**

**RECITALS**

1. The City of Ramsey, hereinafter referred to as the “Permittee”, has properly applied for Site Plan approval for a new Water Treatment Facility on the property generally known as 14199 Jasper St NW and legally described as follows:

LOT 1, BLOCK 1 BURY AND CARLSON ADDITION, Anoka County, Minnesota

(“Subject Property”)

2. That the Permittee is the fee owner of the Subject Property.
3. That the Permittee shall complete a subdivision to create a separate parcel for the Water Treatment Facility.
4. That the Subject Property is zoned E-2 Employment District and is guided as Business Park in the 2040 Comprehensive Plan.
5. That Governmental and Public Utility Buildings and Structures are a permitted use in the E-2 Employment District.
6. That the Planning Commission reviewed the Site Plan on July 28, 2022, and recommended approval.
7. That the City Council reviewed the Site Plan on August 9, 2022.

**NOW THEREFORE, BE IT RESOLVED BY THIS CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:**

That the Ramsey City Council hereby grants approval of the Site Plan for the Water Treatment Facility on the Subject Property contingent upon the following conditions:

**CONDITIONS**

1. That the Permittee complete a subdivision to create a separate parcel for the Water Treatment Facility.
2. Compliance with Staff review comments.
3. That a separate building permit and sign permits are required.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember \_\_\_\_\_, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this 9<sup>th</sup> day of August, 2022.



Meeting Date: 07/28/2022

By: Todd Larson, Community Development

---

### Information

**Title:**

PUBLIC HEARING: An ordinance amending Section 117-57 (Nonconforming Structures and Land Use) to establish legal nonconformities resulting from a public action.

**Purpose/Background:**

Representatives from Anoka County are working with property owners on acquisitions for the upcoming Highway 10/Ramsey Gateway project. Some of the acquisitions will seem relatively minor--a few feet off the front of a property, for example. In some of these cases, the loss of just a few feet will put the existing buildings out of conformance with the setback rules for the zoning districts those buildings are in, even though they were constructed legally. The taking then makes the structure a non-conformity. The same thing could occur with a minimum lot area requirement.

Many communities have a provision in their City Codes calling out this type of non-conformity as a legal nonconformity giving the property owner rights to make improvements to the property and/or structure. Ramey's City Code discusses nonconformities, but is silent with the takings scenario. Anoka County representatives are recommending adding a section to assist the property owners after portions of their properties are taken for the road project.

A second clause is proposed that would give the Planning Commission the ability to consider a taking as a practical difficulty for a variance request should the property owner desire to make more improvements to the property. The Commission will still have to determine if the request that property owner is making is reasonable.

**Notification:**

A public hearing notice was published in the July 28 Anoka County Union Herald.

**Observations/Alternatives:**

1. Recommend approval of the ordinance as recommended by staff.
2. Recommend approval of the ordinance with modifications.
3. Recommend denial of the ordinance keeping the existing regulations in place.

**Funding Source:**

None associated with this request.

**Recommendation:**

Recommend approval of the ordinance as recommended by staff.

**Action:**

Motion to recommend approval of Ordinance #22-23 amending Section 117-57 of City Code pertaining to nonconforming structures and uses.

---

### Attachments

Draft Ordinance #22-23

---

## Form Review

**Inbox**

Brian Hagen

Form Started By: Todd Larson

Final Approval Date: 07/21/2022

**Reviewed By**

Brian Hagen

**Date**

07/21/2022 08:55 AM

Started On: 07/18/2022 09:00 AM

**ORDINANCE #22-23**

**CITY OF RAMSEY  
ANOKA COUNTY  
STATE OF MINNESOTA**

**AN AMENDMENT TO CHAPTER 117 WHICH IS KNOWN AS THE ZONING AND  
SUBDIVISIONS CHAPTER OF THE CITY CODE OF RAMSEY, MINNESOTA.**

**AN ORDINANCE AMENDING SECTION 117-57 (NONCONFORMING STRUCTURES  
AND USES) OF THE CITY CODE OF RAMSEY, MINNESOTA.**

The City of Ramsey ordains:

**SECTION 1. AUTHORITY**

This ordinance is adopted pursuant to and under the authority of the City Charter of the City of Ramsey.

**SECTION 2. AMENDMENT**

Sec 117-57 shall be amended to read as follows (additions indicated by underlined text):

Sec. 117-57. - Nonconforming structures and uses.

(a) Intent. It is the purpose of this section to provide for the regulation of nonconforming buildings, structures and uses and to specify those requirements, circumstances and conditions under which nonconforming buildings, structures and uses will be operated and maintained. This chapter establishes separate districts, each of which is an appropriate area for the location of uses that are allowed in that district. It is necessary and consistent with the establishment of these districts that nonconforming buildings, structures and uses not be allowed to continue without restriction. Furthermore, it is the intent of this section that all nonconforming uses shall be eventually brought into conformity or terminated.

(b) Regulations.

(1) Whenever a lawful nonconforming use of a structure or land or occupancy is discontinued for a continuous period of one year, any future use of said structure or lands shall be made to conform with the provisions of this chapter.

(2) Notwithstanding any other provisions of this chapter, any nonconformity, including the lawful use or occupation of land or premises existing at the time of the adoption of an additional control under this chapter, may be continued, including through repair, replacement, restoration, maintenance, or improvement, but not including expansion, unless it is a nonconforming use that is destroyed by fire or other peril to the extent of

greater than 50 percent of its market value, and no building permit has been applied for within 180 days of when the property is damaged. In this case, the city may impose reasonable conditions upon a building permit in order to mitigate any newly created impact on adjacent property. Any subsequent use or occupancy of the land or premises shall be a conforming use or occupancy.

(c) Creation of nonconformities by public action

- (1) Where there exists as of the date of adoption of this section a conforming land use, lot of record, sign, structure, and/or site improvement and a subsequent taking by a governmental body occurs under eminent domain or negotiated sale which renders such land use, lot of record, structure, or site improvement in violation of one or more provisions of this chapter, such land use, lot of record, sign, structure or site improvements becomes a legal non-conformity and may be used thereafter only in accordance with the provisions of this section.
- (2) The Planning Commission may consider government taking as a practical difficulty used with a request for a variance to a setback regulation for pre-existing buildings, parking lots, and/or signs.

**SECTION 3. EFFECTIVE DATE**

This ordinance becomes effective 30 days after its passage and publication, subject to City Charter Section 5.04.

PASSED by the City Council of the City of Ramsey, Minnesota, the \_\_\_ day of \_\_\_, 2022.

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
City Clerk

Introduction date: \_\_\_, 2022

Posting dates:

Adoption date: \_\_\_, 2022

Publication date:

Effective date: