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COMMERCIAL PLAN REVIEW FOR CODE COMPLIANCE

GENERAL INFORMATION

- A. PROJECT NAME: Jam Hops
- B. PROJECT LOCATION: 14165 Ramsey Blvd NW, Ramsey, Minnesota
- C. ZONING AND LAND USE: E-2 Employment District
- D. LOT SIZE: 4.13 Acres (180,011 s.f.)
- E. LOT COVERAGE: 24,440 s.f./180,011 s.f. = 13.6% < 15%

APPLICABLE CODES:

- A. RAMSEY ZONING ORDINANCE - Current Edition
- B. MINNESOTA STATE BUILDING CODE (MSBC) - 2020 Edition
- C. CHAPTER 1305 - INT'L BUILDING CODE - 2018 Edition
- D. CHAPTER 1311 - INT'L EXISTING BUILDING CODE - 2018 Edition
- E. CHAPTER 1315 - NATIONAL ELECTRIC CODE - 2018 Edition
- F. CHAPTER 1322/23 - INT'L ENERGY CONSERVATION CODE - 2018 Edition
- G. CHAPTER 1341 - MN ACCESSIBILITY CODE - 2020 Edition
- H. CHAPTER 1346 - INT'L MECHANICAL CODE - 2018 Edition
- I. CHAPTER 4714 - UNIFORM PLUMBING CODE - 2020 Edition

BUILDING CLASSIFICATION

A. OCCUPANCY GROUPS/ TYPE OF CONST (IBC Chpt 3 & IBC Chpt 6)

- 1. Office - Group B
 - Type of Construction - II-B
 - Area - 4,280 s.f. (Mezzanine)
 - Proposed Height - 35'-9", 1-Story
- 2. Theater - Group A-1
 - Type of Construction - II-B
 - Area - 1,924 s.f.
 - Proposed Height - 35'-9", 1-Story
- 3. Gymnasium - Group A-2
 - Type of Construction - II-B
 - Area - 22,516 s.f.
 - Proposed Height - 39'-9", 1-Story
- 4. Mixed Occupancy (IBC 508)
 - Groups A-1, A-3 & B are Non-Separated Uses
- 5. Incidental Uses (IBC 509) - None

B. FIRE-RESISTANCE-RATED CONSTRUCTION

Element	Rating
Structural Frame	0 Hours
Exterior Bearing Walls	0 Hours
Interior Bearing Walls	0 Hours
Exterior Non-Bearing Walls	0 Hours
Interior Non-Bearing Walls	0 Hours
Floor Construction	0 Hours
Roof Construction	0 Hours

2. Exterior Wall Openings (IBC Table 705.8)

Classification	Area of Opening
Unprotected	No Limit
Protected	No Limit

3. Fire Walls (IBC 706)

4. Fire Barriers (IBC 707)

5. Fire Partitions (IBC 708)

C. ROOF AND INTERIOR FINISH REQUIREMENTS

1. Minimum Wall and Ceiling Finish Requirement (IBC Table 803.13)

Building Component	Finish Class
Vertical Exits/Exit Passageways	Class B
Exit Access Corridors/Other Exit ways	Class B - Group A-1, A-2 Class C - Group B
Rooms and Enclosed Spaces	Class C

2. Minimum Roof Covering Classification (IBC Table 1505.1) = Class C

AUTOMATIC SPRINKLER REQUIREMENTS

- A. AN NFPA 13 AUTOMATIC SPRINKLER SYSTEM IS PROVIDED THROUGHOUT THE BUILDING (IBC 903.3.1.1)
- 1. Required Location(s) (IBC 903.2)
 - Throughout The Building When The Fire Area Containing Group A-2 Exceeds 5,000 s.f., Has An Occupant Load Of 100 Or More, Or Is Located On A Floor Other Than The Level Of Exit Discharge

ALLOWABLE HEIGHT, ALLOWABLE AREA

- A. ALLOWABLE HEIGHT (IBC Table 504.3/504.4)
 - 1. Groups A-1 And A-3 Are Equally More Restrictive Than Group B
 - 2. Group A-2 & A-3, Type II-B
 - Sprinklered: 75'-0", 3 Stories
 - 3. Height Check
 - 1 Story < 3 Stories
 - 39'-9" < 75'-0"
- B. ALLOWABLE AREA (IBC Table 506.2)
 - 1. Groups A-1 Is More Restrictive Than Groups A-3 And B
 - 2. Group A-1, Type II-B
 - Tabular Area = 34,000 s.f.
 - Frontage Increase (IBC 506.3)
 - $8.50 \times \left(\frac{720'-0"}{720'-0"} - .25 \right) \times \frac{30'}{30'} = 6,375 \text{ s.f.}$
 - Multi-Story Increase (IBC 506.4)
 - Per Floor = 40,375 s.f.
 - Whole Building = 40,375 s.f.
 - 3. Area Check
 - Whole Building Area Check
 - 24,440/40,375 = 60.5% < 100%

MEANS OF EGRESS

- A. DESIGN OCCUPANT LOAD (IBC Chpt 1004)
 - 1. Main Floor: 613 Occupants
 - 2. Mezzanine: 19 Occupants
 - 3. Total Occupants: 632
- B. EXIT/EXIT ACCESS
 - 1. Number Required (IBC Table 1006.2.1, 1006.3.2) = 3
 - 2. Number of Accessible Required (IBC 1009) = 2
 - 3. Arrangement (IBC 1007)
 - Not Less Than 1/3 Overall Diagonal (Sprinklered Building)
 - 4. Travel Distance Maximums
 - Exit Access (IBC 1017) = 250'
 - Common Path of Egress (IBC 1006.2.1) = 75'
 - Dead Ends (IBC 1020.4) = 20'
 - 5. Sizing (The Greater of Two Conflicting Widths Shall Be Used)
 - Design Egress Sizing (IBC 1005.3)
 - Stairways (Occ Load x .3) = 5.7" (Mezz.)
 - Other Components (Occ Load x .2) = 126.4"
 - Stairways (IBC 1011.2) = 36" (Mezz.)
 - Corridors (IBC 1020.2) = 44"
 - Exit Passageways (IBC 1024.2) = 44"
 - Exit Doors (IBC 1010.1.1) = 32" Min Clear
 - 48" Max Nom
- 6. Doors
 - Swing (IBC 1010.1.2.1)
 - Side Hinged Swinging Out At Occupant Load Of 50 Or More
 - Landings (IBC 1010.1.6)
 - Width Not Less Than Width of Door Or Stairway
 - Length In Direction of Travel Not Less Than 44"
 - Thresholds (IBC 1010.1.7)
 - Max Height = 1/2" = 1.2 Beveled Edge If 1/4"-1/2"
 - Door Arrangement (IBC 1010.1.8) 48" + Door Width Apart
 - Lock or Latch (IBC 1010.1.9)
 - Operable From Egress Side Without Use of Knowledge or Keys
 - Manually Operated Flush Bolts Permitted on Inactive Leaf
 - Panic/Fire Exit Hardware (IBC 1010.1.10)
 - Required At Exit/Exit Access Doors

PLUMBING FIXTURES

A. NUMBER FIXTURES REQUIRED (IBC 2902.1)

1. Group A-1 & A-2 (Theater & Gymnasium)

- 632 Occupants
- 316 Male Occupants, 316 Female Occupants

Fixture	Required	
	Men	Women
Water Closets	316 @ 1/125=2.53=3	316 @ 1/65=4.86=5
Urinals	-	-
Lavatories	316 @ 1/200=1.58=2	316 @ 1/200=1.58=2
Bathrooms/Showers	-	-
Drinking Fountains	632 @ 1/500=1.26=2	-
Service Sink	1	1

3. Total Number of Plumbing Fixtures Required

Fixture	Required		Provided	
	Men	Women	Men	Unisex
Water Closets	3	5	1	6
Urinals	-	-	-	-
Lavatories	2	2	1	6
Drinking Fountains	2	-	2	-
Service Sink	1	-	1	-

Note: Footnote k. - Urinals May Be Substituted For Up to 2/3 Of Required Water Closets

B. LOCATION OF FIXTURES (IBC 2902.3.3)

- Not More Than 1 Story Above Or Below Regular Working Area
- Travel Distance Less Than 500 Ft

C. SIGNAGE (IBC 2902.4)

- A Legible Sign For Each Sex Shall Be Provided Near The Entrance To The Toilet Facility

OTHER

A. ACCESSIBILITY

B. GUARDS (IBC 1015)

C. ROOF ACCESS (IBC 306.5)

D. CONCEALED SPACES

E. VENTILATION

G. SAFETY GLAZING (IBC 2406)

H. RECYCLING SPACE (MSBC 1303.1500)

J. FIRE ALARM AND DETECTION SYSTEMS

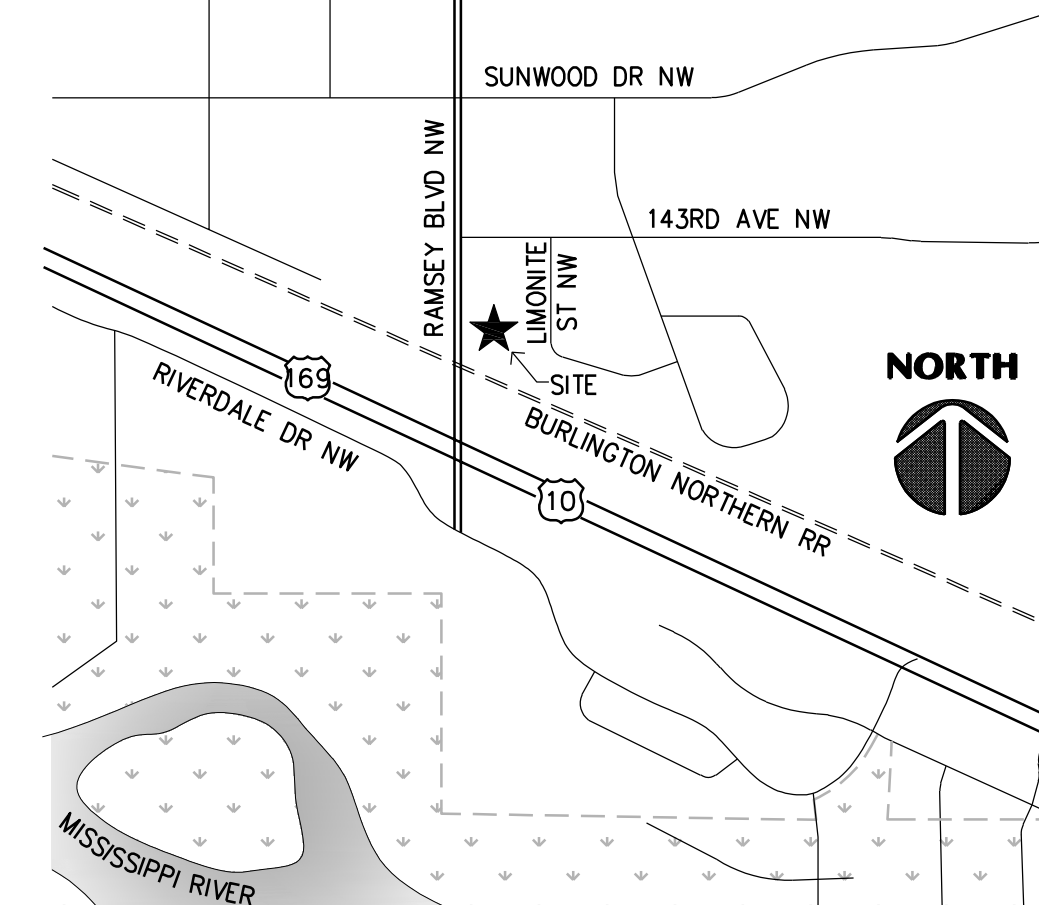
M. PARKING AND MANEUVERING (Ramsey Zoning Ordinance)

- 1. Owner To Coordinate With City Of Ramsey To Determine Req'd Parking Capacity
- 2. Stall Size
 - 3. Aisle Size
 - 4. Striping
- 5. Pavement Design
 - All Drive Aisles And Truck Maneuvering Areas
 - 2" Bituminous Wear Course
 - 2" Bituminous Binder Course
 - 8" Compacted Class 5 Base
 - All Parking Areas
 - 1 1/2" Bituminous Wear Course
 - 1 1/2" Bituminous Binder Course
 - 6" Compacted Class 5 Base
 - Verify With Existing Soil Conditions And Adjust Accordingly

SHEET SCHEDULE

Sheet	Description
T1	Title Sheet
A1	Site Plan
A2.1	Floor Plan
A2.2	Mezzanine Plan
A3	Building Elevations

VICINITY MAP



ANSI/ASHRAE STANDARD 90.1-2016

GENERAL

- A. Space Conditioning Category (5.1.2)
 - 1. Nonresidential Conditioned Space
- B. Climate (5.1.4)
 - 1. Zone 6 - Southern Minnesota

COMPLIANCE PATH

MANDATORY PROVISIONS

- A. Components Of The Building Envelope Shall Comply With Section 5.4
- 1. Insulation (5.4.1) Shall Comply With Section 5.8.1.1 - 5.8.1.9
- 2. Fenestration/Door Performance (5.4.2) Shall Comply With Section 5.8.2
- 3. Air Leakage (5.4.3)
 - The Building Envelope Shall Contain An Air Barrier And Be Sealed At The Following Areas:
 - Joints Around Fenestration And Door Frames
 - Junctions Between Walls And Floors, Walls At Building Corners, Walls And Roofs Or Ceilings
 - Penetrations Of Utility Services At Walls, Floors, and Roofs
 - Building Assemblies Used As Ducts Or Plenums
 - Joints, Seams, Conn. Between Planes Or Changes In Air Barrier Materials
 - Fenestration and Doors - According To 5.4.3.2
 - Loading Dock Weathersels - Required According To 5.4.3.3
 - Vestibules - Required at Building Entrances According To 5.4.3.4

PRESCRIPTIVE REQUIREMENTS

Building Component	Maximum Assembly	Minimum Insulation	Proposed
ROOF: Entirely Above Deck	U-0.032	R-30 (ci)	R-30 (ci)
WALLS: Mass	U-0.051	R-13.3 (ci)	R-28 (ci)
S. O. G. FLOORS: Unheated	F-0.510	R-20 For 24"	R-28 (ci)
OPAQUE DOORS: Swinging	U-0.500	U-0.500	U-0.20
OPAQUE DOORS: Non-Swinging	U-0.500	U-0.500	U-0.147
FENESTRATION: 0-40% Glazing	U-0.420 (0.40 SHGC)	U-0.340	U-0.340

SUBMITTALS

- A. Contractor To Provide Product Submittals If Requested By The Building Official

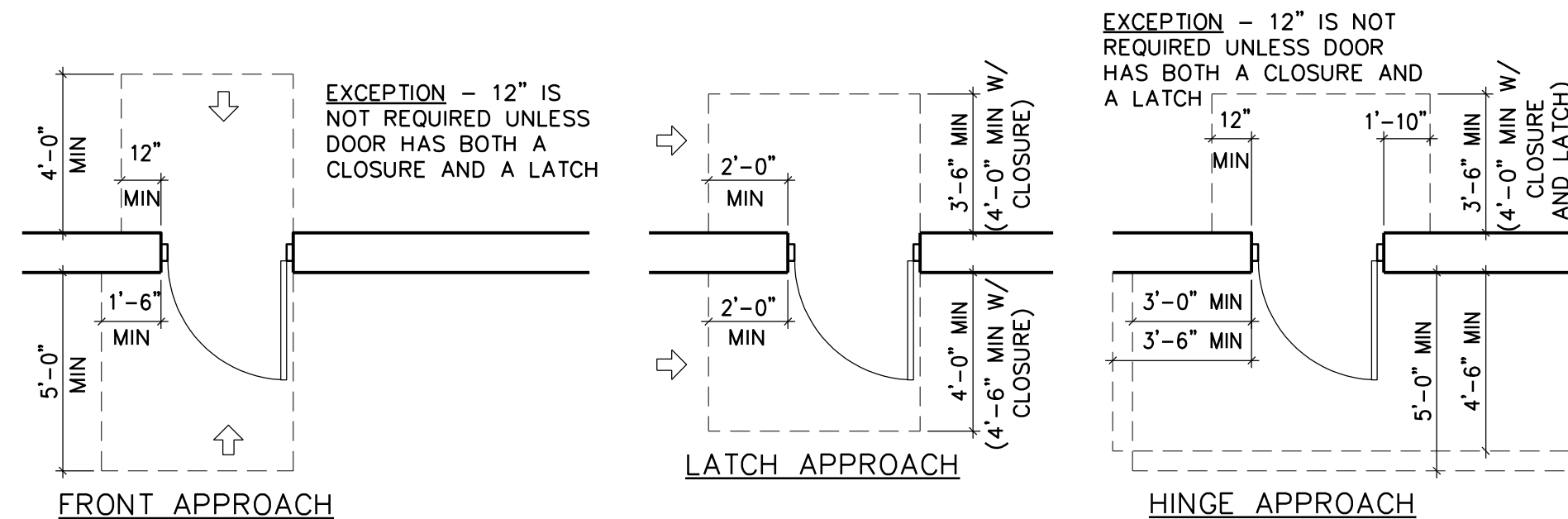
PRODUCT INFORMATION AND INSTALL. REQ.

- A. Building Components Must Identify R-Values Or U-Values Clearly Labeled On The Product In Accordance With Section 5.8

Note: Compliance Is For Building Envelope Only. The Design-Build HVAC and Electrical Designers Must Submit Documentation Proving Compliance With HVAC, Lighting, And Water Heating

NOTE TO ALL DESIGN/BUILD CONTRACTORS AND THEIR SUB-CONTRACTORS:

THE DESIGN/BUILD CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER, OR ANY OTHER DESIGN/BUILD SUB-CONTRACTOR'S DOCUMENTS AS PERTAINING TO THE WORK FOR THIS PROJECT. IT IS THE DESIGN/BUILD SUB-CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE DESIGN/BUILD CONTRACTOR OF ANY CONFLICTS WITH THE ARCHITECTURAL AND STRUCTURAL DOCUMENTS DUE TO SIZES, LOCATIONS, QUANTITIES, ROUGH-IN DIMENSIONS AND CODE INTERPRETATIONS. THE DESIGN/BUILD CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT IMMEDIATELY OF ANY ARCHITECTURAL REVISIONS REQUIRED DUE TO THE COORDINATION OF EACH DESIGN/BUILD SUB-CONTRACTOR'S DOCUMENTS.



1 DOOR CLEARANCES
 SCALE: 1/4" = 1'-0"

GENERAL ACCESSIBILITY REQUIREMENTS

1. INTERNATIONAL SYMBOL OF ACCESSIBILITY

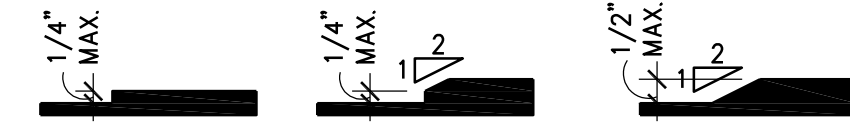


SIGNAGE WITH SYMBOLS OF ACCESSIBILITY SHALL HAVE A NON-GLARE FINISH AND CONTRASTING COLOR BETWEEN SYMBOL AND BACKGROUND

2. FLOOR SURFACES (MSBC 303)

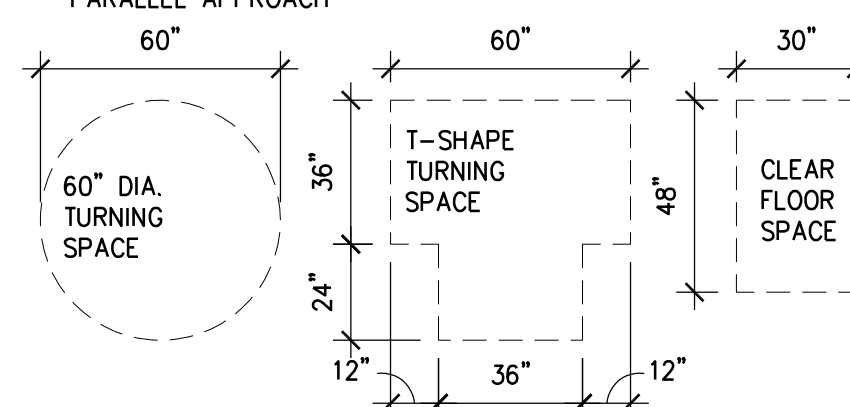
- FLOORS SHALL BE STABLE, FIRM AND SLIP RESISTANT
- CARPET SHALL BE SECURELY ATTACHED. PAD SHALL BE FIRM IF PROVIDED. PILE MAY BE LEVEL LOOP, TEXTURED LOOP, LEVEL CUT PILE OR LEVEL CUT/UNCUT PILE WITH A MAXIMUM HEIGHT OF 1/2" EXPOSED EDGES ARE TO BE FASTENED TO FLOOR AND PROVIDED WITH TRIM THE ENTIRE LENGTH OF THE EXPOSED EDGE.

3. CHANGES IN LEVEL

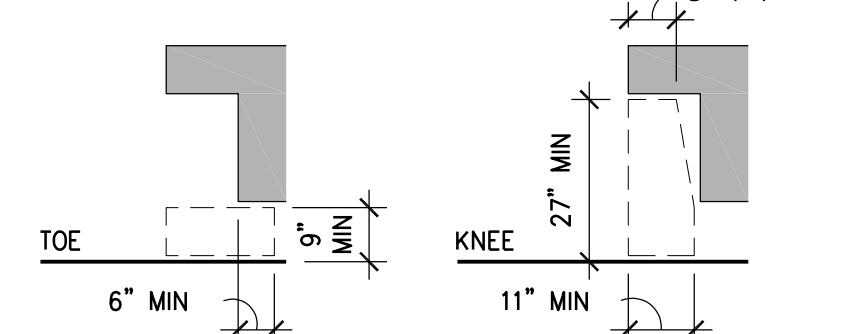


4. TURNING AND CLEAR FLOOR SPACE

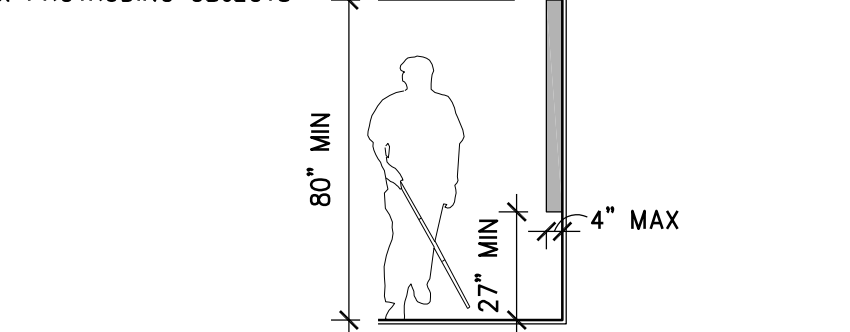
- CHANGES OF LEVEL NOT PERMITTED AT TURNING OR CLEAR FLOOR SPACES. FLOOR SLOPE NOT GREATER THAN 1:48 PERMITTED
- KNEE AND TOE CLEARANCE PERMITTED TO BE INCLUDED AT CIRCULAR TURNING SPACE, ONE ARM OR BASE OF T-SHAPED SPACE AND AT THE CLEAR FLOOR SPACE
- CLEAR FLOOR SPACE SHALL BE POSITIONED FOR A FORWARD OR PARALLEL APPROACH



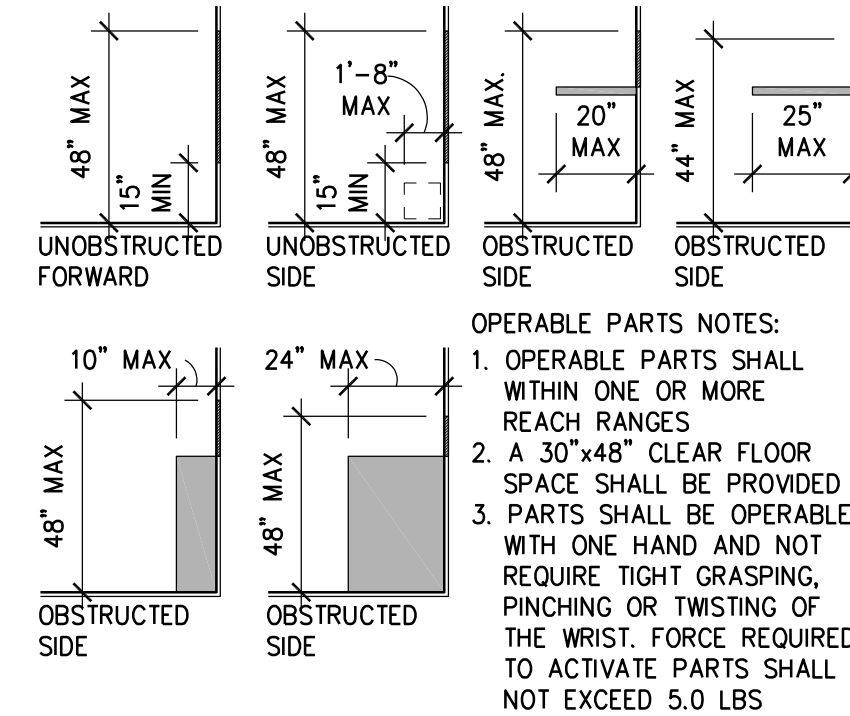
5. KNEE AND TOE CLEARANCE



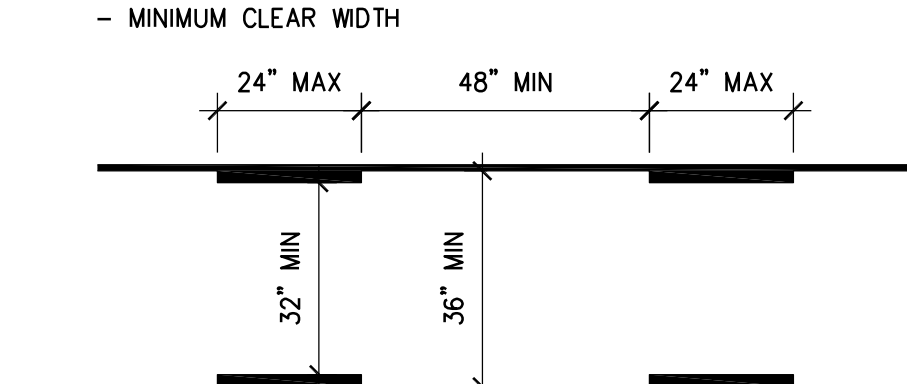
6. PROTRUDING OBJECTS



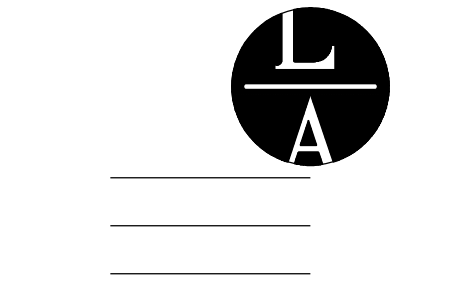
7. REACH RANGES



8. ACCESSIBLE ROUTE



- RUNNING SLOPES OF WALKING SURFACES SHALL NOT EXCEED 1:20 AND CROSS SLOPES SHALL NOT EXCEED 1:48



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ARCHITECT CERTIFICATION:
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JAM HOPS
 Ramsey, Minnesota

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Project Designer: L. SCHMIDT

Drawn By:

Checked By: LL

Revisions

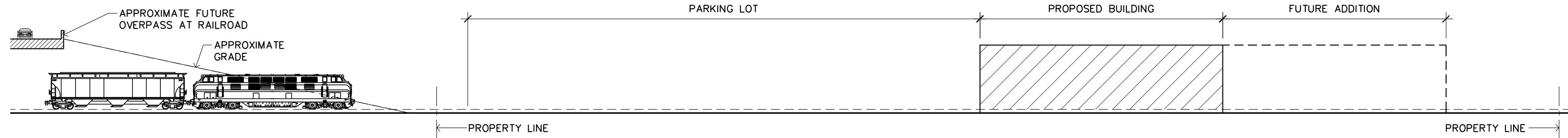
8/3/23 CITY COMMENTS

TITLE SHEET

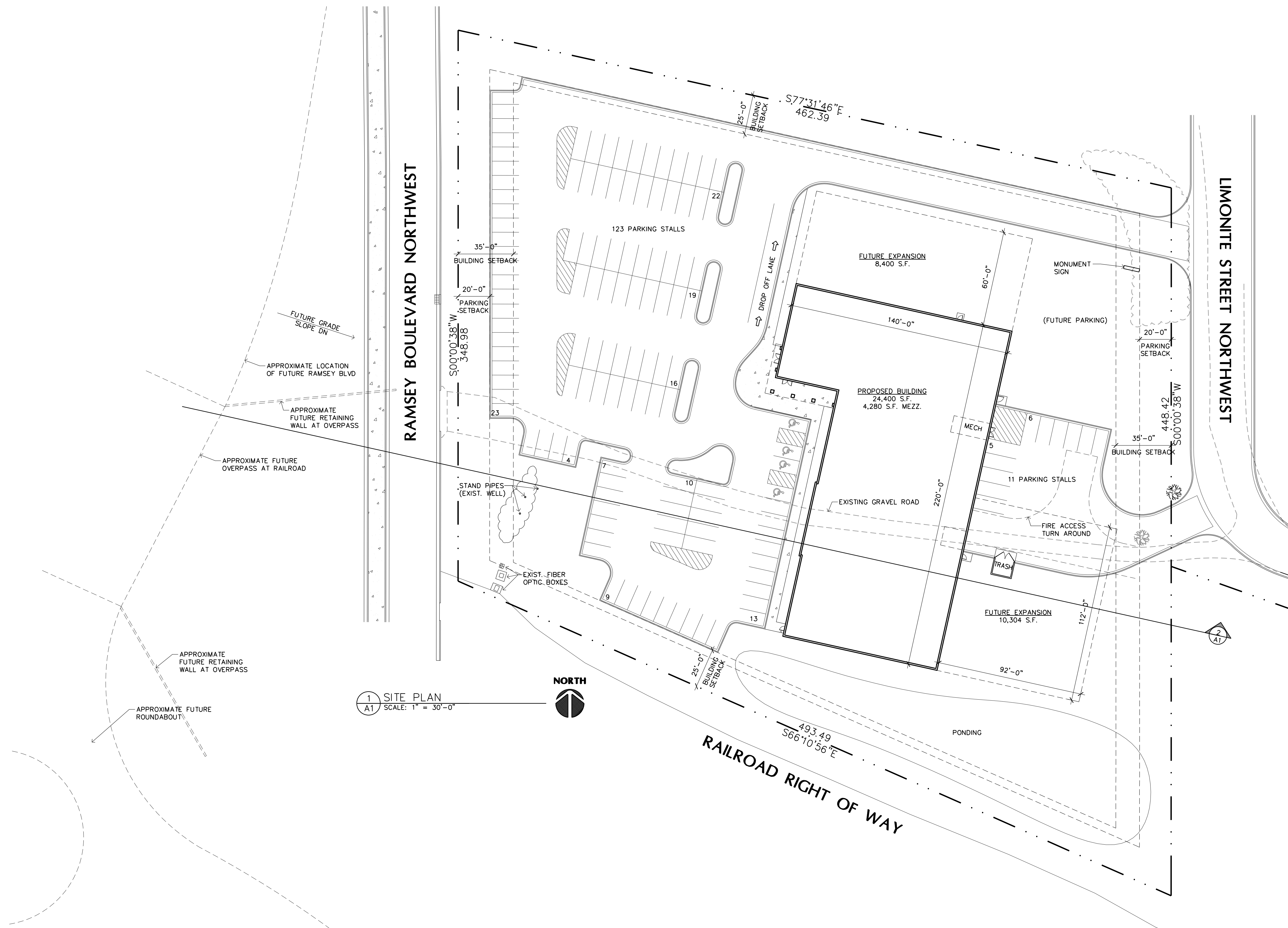
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T1

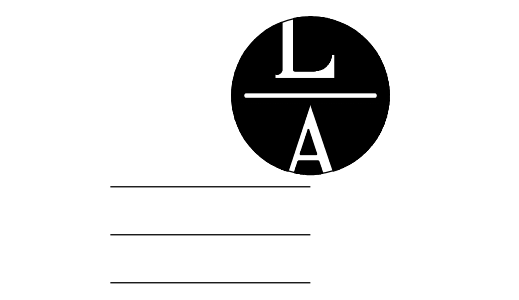
Project No. 23051-4



2 SECTION AT FUTURE RAMSEY BLVD
 A1 SCALE: 1" = 30'-0"



1 SITE PLAN
 A1 SCALE: 1" = 30'-0"



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LEONARD LAMPERT
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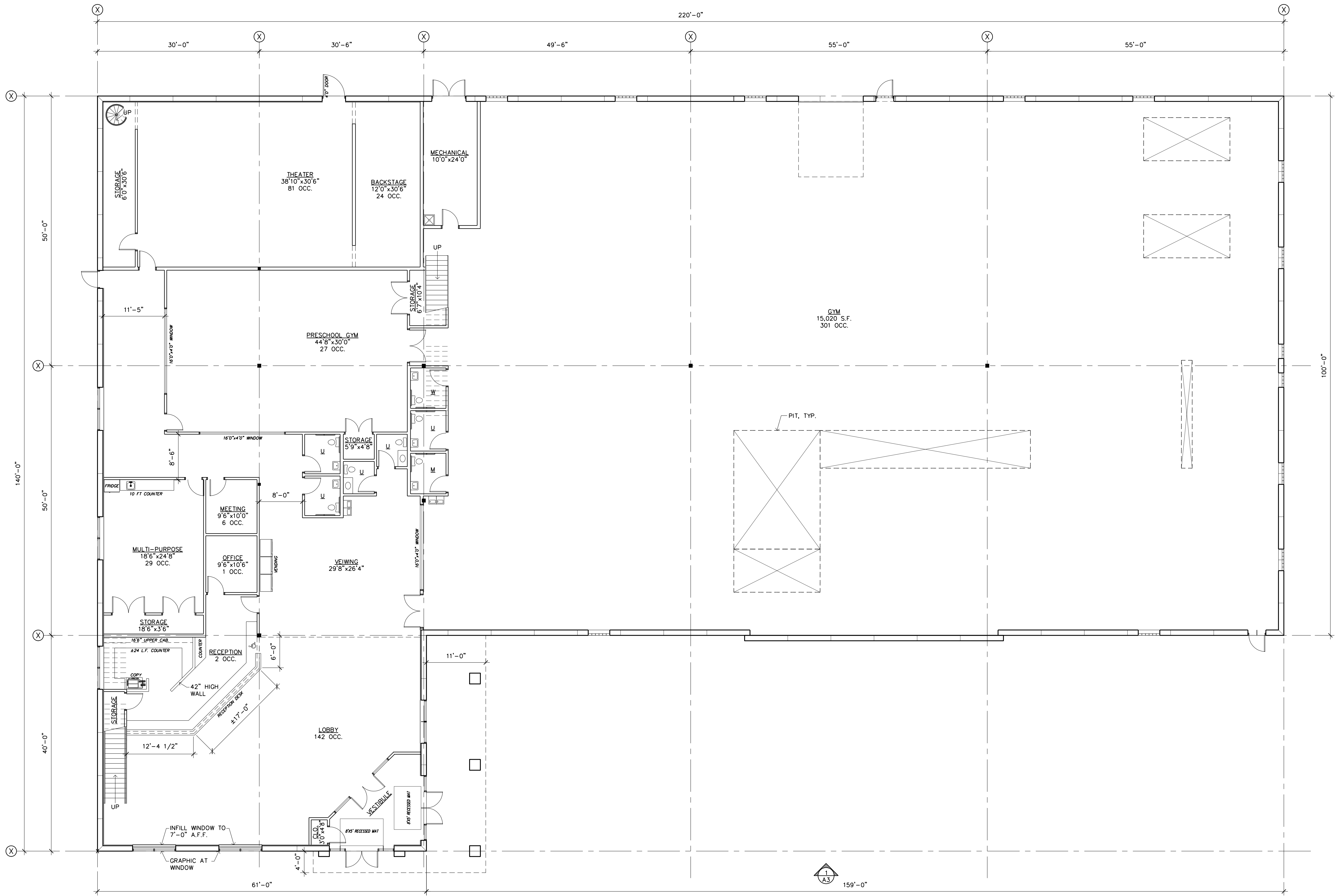
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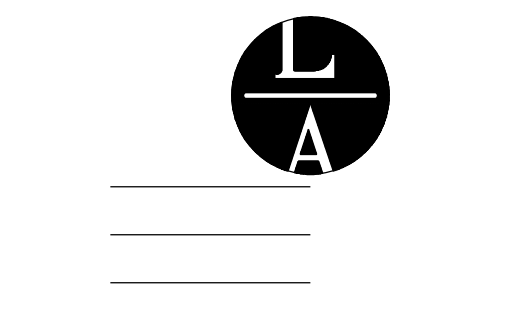
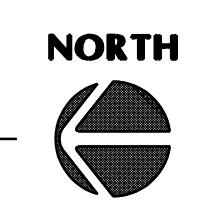
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 Checked By: LL
 Revisions

6/15/23	PRELIMINARY
6/26/23	PRELIMINARY
6/29/23	PRELIMINARY
7/5/23	PRELIMINARY
8/1/23	PRELIMINARY
8/3/23	CITY COMMENTS

SITE PLAN
 Sheet Number
A1
 Project No.



1 FLOOR PLAN
A2.1 SCALE: 1/8" = 1'-0"



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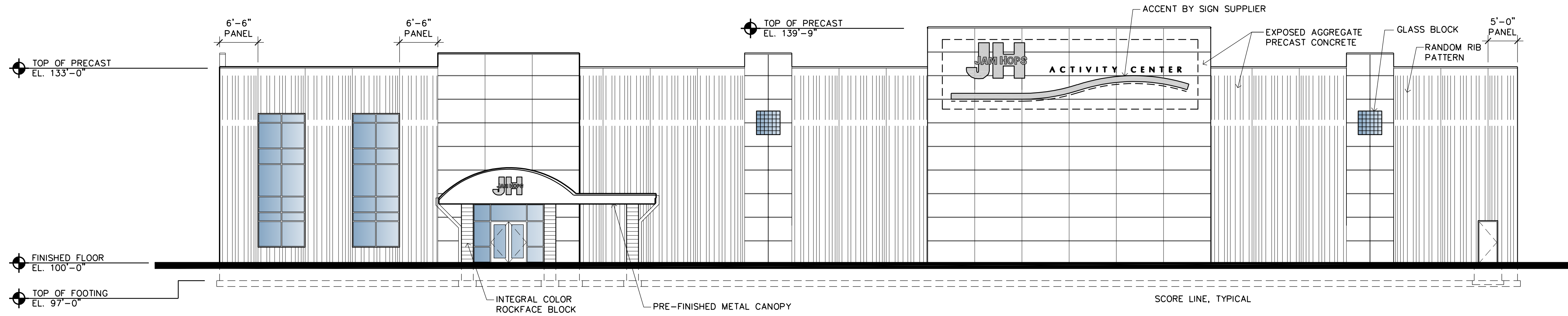
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8/1/23	PRELIMINARY
8/3/23	CITY COMMENTS

FLOOR PLAN

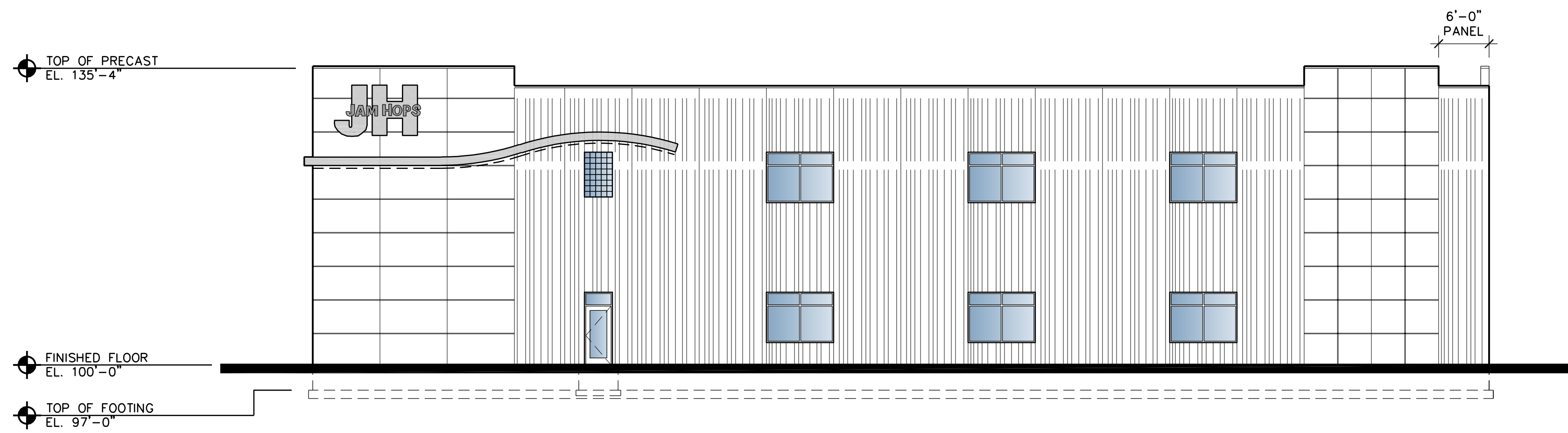
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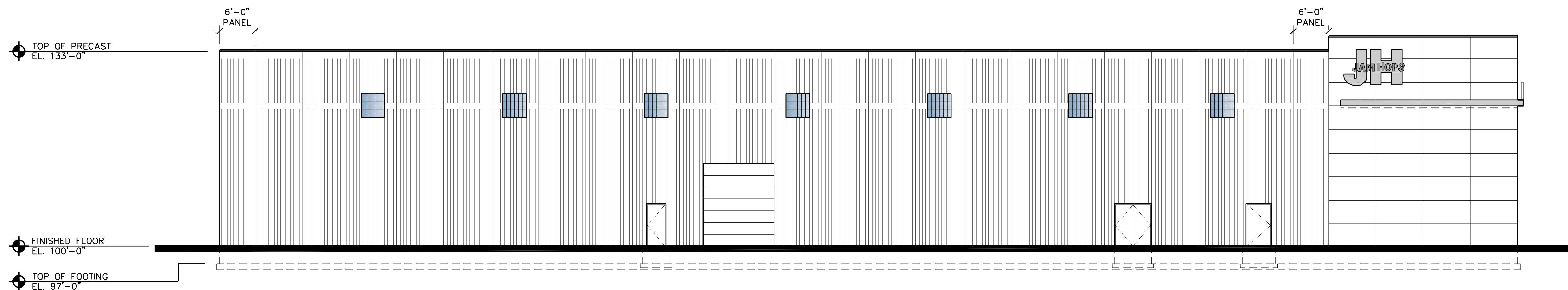
Project No. 23051-4



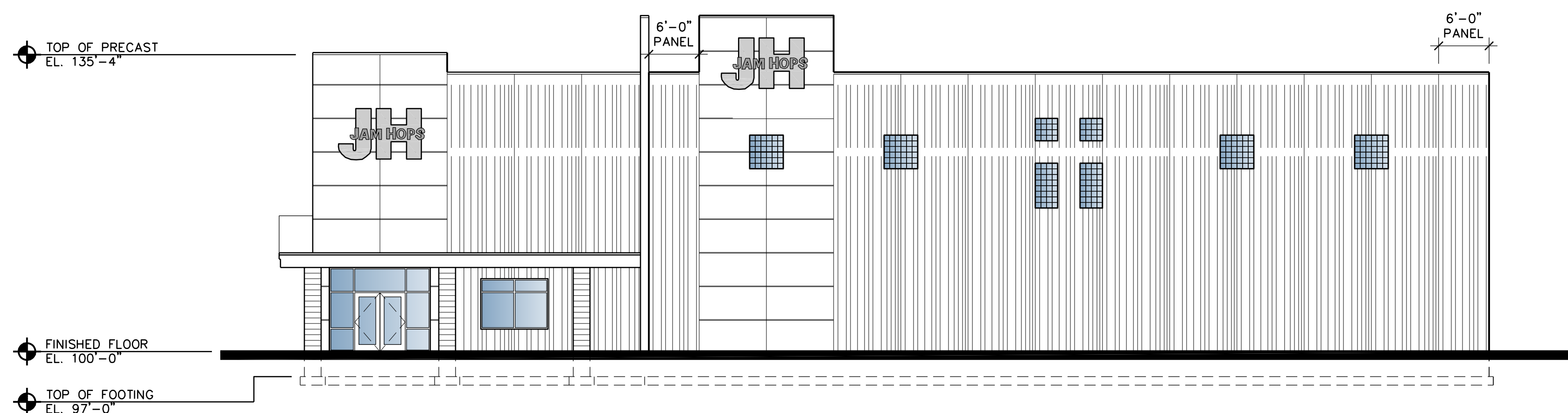
1 WEST ELEVATION
SCALE: 3/32" = 1'-0"



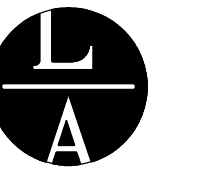
2 NORTH ELEVATION
SCALE: 3/32" = 1'-0"



3 EAST ELEVATION
SCALE: 3/32" = 1'-0"



4 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



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Checked By: LL

Revisions

7/18/23	PRELIMINARY
8/1/23	PRELIMINARY
8/3/23	CITY COMMENTS

BUILDING
ELEVATIONS

Sheet Number

A3

Project No. 23051-4



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JAM HOPS



Rest Room

**CITY OF
FITNESS**

