

City of Ramsey
Agenda
Environmental Policy Board (EPB)
Monday, January 23, 2023
6:30 pm
Council Chambers, 7550 Sunwood Drive NW

Remote Attendance available at www.cityoframsey.com/meetings.
Those joining remotely and requesting to speak are asked to use a webcam when speaking.

1. **Call to Order**

2. **Citizen Input**

3. **Approve Agenda**

4. **Approve Minutes**
 1. Approve Meeting Minutes Dated October 17, 2022

5. **Policy Board Business**
 1. Consider Natural Resource Aspects of Site Plan and Plat for AARA Dome (Project No. 22-123); Case of Anoka Ramsey Athletic Association
 2. Consider Natural Resources Related Elements for Parkside Townhomes Preliminary Plat

6. **Board/Staff Input**

7. **Adjournment**

Environmental Policy Board (EPB)

4. 1.

Meeting Date: 01/23/2023

By: Chris Anderson, Community Development

Information

Title:

Approve Meeting Minutes Dated October 17, 2022

Action:

Motion to approve the meeting minutes dated October 17, 2022.

Attachments

Meeting Minutes Dated October 17, 2022

Form Review

Inbox

Brian Hagen

Form Started By: Chris Anderson

Final Approval Date: 01/12/2023

Reviewed By

Brian Hagen

Date

01/12/2023 02:38 PM

Started On: 01/12/2023 10:57 AM

**ENVIRONMENTAL POLICY BOARD
CITY OF RAMSEY
ANOKA COUNTY
STATE OF MINNESOTA**

On Monday, October 17, 2022, the Environmental Policy Board (EPB) met in the Council Chambers at the Ramsey Municipal Center, 7550 Sunwood Drive N.W., Ramsey, Minnesota.

Members Present: Chairperson Laura Moore
 Board Member Todd Arts
 Board Member Reid Bernard
 Board Member Melissa Fetterley
 Board Member Michael Hiatt
 Board Member Jared Little

Members Absent: None

Also Present: Senior Planner Chris Anderson
 City Council Liaison Chelsee Howell

1. CALL TO ORDER

Chairperson Moore called the meeting to order at 6:30 p.m.

2. CITIZEN INPUT

None.

3. APPROVE AGENDA

Motion by Board Member Little and seconded by Board Member Bernard to approve the agenda as submitted.

Motion carried. Voting Yes: Chairperson Moore, Board Member Little, Bernard, Arts, Fetterley, and Hiatt. Voting No: None. Absent: None.

4. APPROVE MINUTES

4.01: Approve Meeting Minutes Dated September 19, 2022

Motion by Board Member Hiatt and seconded by Board Member Fetterley to approve the regular meeting minutes dated September 19, 2022.

Motion carried. Voting Yes: Chairperson Moore, Board Member Hiatt, Fetterley, Arts, Bernard, and Little. Voting No: None. Absent: None.

5. POLICY BOARD BUSINESS

5.01: Consider Natural Resources Aspects Related to a Proposed Major Plat Known as Cedar Acres (Project No. 22-136): Case of Tom Dehn

Senior Planner Anderson presented the staff report. He stated that the City has received an application from Tom Dehn for a proposed three lot subdivision known as Cedar Acres. The proposal is to split the property located at 15060 Armstrong Boulevard into three parcels. The existing home would retain its access from Armstrong Boulevard while the two new lots would gain access from the extension of the existing 151st Lane cul-de-sac. Due to the extension of a public road, this application is being processed as a Major Plat (it otherwise would have been processed as a Minor Plat, which would have only been received by City staff and City Council).

Board Member Hiatt asked if this development is within the MUSA or would use well/septic.

Senior Planner Anderson replied that this property would be served by private well and septic systems as it is not within the MUSA service area. He identified the primary and secondary locations for septic for the lots as proposed within the plat.

Board Member Hiatt asked if the lot sizes require a variance.

Senior Planner Anderson confirmed that part of the application is a variance request from the minimum lot size. He noted that all of the lots to the west are similar in size and therefore these lots would fit within the existing character of the neighborhood. He stated that the Planning Commission would review these requests at its October meeting.

Board Member Little asked for details on the elm trees mentioned.

Senior Planner Anderson replied that generally speaking any of the elms would be Siberian elm.

Motion by Board Member Little and seconded by Board Member Hiatt to recommend approval of the Tree Inventory and Preservation Plan.

Motion carried. Voting Yes: Chairperson Moore, Board Member Little, Hiatt, Arts, Bernard, and Fetterley. Voting No: None. Absent: None.

5.02: Discussion Item: Density Transitioning Standards

Senior Planner Anderson presented the staff report. He stated that over the coming months, Planning staff will be bringing forth various discussion topics to the Planning Commission to consider potential updates to the Zoning Code (needed to ensure that the Zoning Code successfully achieves the intended outcomes of the Comprehensive Plan). One such topic is density transitioning, which is required when a higher density development is proposed adjacent to an existing lower density neighborhood. While there are multiple options to satisfy density transitioning, landscaping (or preservation of existing trees) is almost always the tool utilized. However, there are challenges with the current density transitioning standards and ideally, the standards could be modified to alleviate some of the more common issues.

Chairperson Moore commented that the photos within the case help to provide a comparison between what happens in person versus what it looks like on paper. She commented that there

would be merit in reviewing on a case-by-case basis. She recognized that when properties are mass graded, most of the trees are removed in order to grade the property and add the minimal number of trees. She stated that she would prioritize keeping existing vegetation. She referenced a case where an HOA dissolves after a set period of time and asked what would occur to the HOA owned/maintained property.

Senior Planner Anderson commented that in the scenario in the case, there was not an abundance of tree removal that occurred prior to development. He commented that while there was some tree removal, most were not high-quality trees and there was not an abundance of vegetation on the site. He explained that if an HOA were to go defunct and does not pay the property taxes on the HOA owned properties it would go the route of tax forfeit and then could end up in anyone's hands. He stated that situation has occurred in the past and the adjacent homeowner purchased the HOA owned lot, which created an odd shaped lot. He commented that while the City and/or County would have the option to acquire a tax forfeit lot, most HOA lots are unusable and therefore it would not be an asset to the City.

Board Member Hiatt commented that it seems when natural transitions are proposed, such as trees and berms, that occurs more over time. He stated that perhaps that transition should be required to provide that screen within a set period of time. He noted that a fence or wall provides instant transition, whereas vegetation takes years to accomplish that goal. He was unsure that they would want to go on a case-by-case basis but agreed that there should be flexibility to work with what exists on the site. He asked if there are other examples from cities in terms of regulation to use as an example.

Senior Planner Anderson commented that he had not yet done that research but has been contacted by staff working for another community that is in the process of doing that research and will be sharing that information. He stated that while case by case review might sound like a good idea, there still needs to be minimum standards within City Code.

Board Member Hiatt asked if it would make sense to have a target date for the screening to be provided, recognizing that will not occur in six months to one year.

Senior Planner Anderson replied that could be part of the discussion. He stated that it would be hard to expect immediate screening, but if it takes ten years it would seem that protection of the existing neighborhood has not happened.

Board Member Hiatt commented that as the discussion continues, he believes that target date should be kept in mind. He noted that most of the problems included in the presentation occurred over time or were a result of the length of time needed for the vegetation to grow.

Senior Planner Anderson agreed that could be addressed in the purpose and intent. He stated that the transition area is meant to exist in perpetuity and perhaps there should potentially be a sunset clause in the situation a tree dies years later or is damaged by a tornado so that the eventual homeowner is not liable for replacement.

Chairperson Moore referenced the scenario where the transition plan looked good on paper but 15 years later, the pines are still not established. She used the example of a developer that did a great

job filling in the gaps between the trees with long grasses. She noted that the grass grows quickly, while the trees are still growing.

Senior Planner Anderson referenced the previous case which proposes a native seed mix. He noted that if that is planted near trees, that might not be the best environment as some of those mixes require full sun. He noted that there would also be caution that the planted area can be overrun with invasives but agreed that other plantings can provide transitioning.

Board Member Little agreed that he would be in favor of a sunset for the transitioning requirement so that a homeowner is not liable 30 years later. He stated that there is a development behind his home and there is no way he could plant things that would provide immediate screening and therefore he would be interested in seeing a fence as part of the transitioning. He noted that many people would prefer a fence compared to waiting decades for a barrier to grow in.

Board Member Arts asked if there is a minimum height requirement for plantings.

Senior Planner Anderson confirmed that there are requirements and provided those details.

Board Member Arts asked if there would be significant cost difference in requiring taller trees, such as eight feet rather than six feet.

Senior Planner Anderson replied that taller trees can be purchased to somewhat provide more immediate screening, but more damage can be done to the roots in the transition process and therefore there is often more dieback in the canopy of the tree while its attempting to regrow its roots. He stated that the general rule is for every inch of caliper there is one year of shock before its root system has been replenished to the point there is noticeable above ground growth.

Chairperson Moore asked if the full-sized trees are shown on landscaping plans.

Senior Planner Anderson confirmed that generally speaking the plan would show the full-sized canopy of the tree. He recognized that it is difficult to imagine what landscaping would look like once completed compared to what is shown on the plan, which is why he provided the photos for assistance.

Board Member Arts asked if the photos with the large pine trees were from the development on the south side of Alpine and asked the height of that berm. He noted that the Board could use that for context when driving by the site.

Senior Planner Anderson confirmed that is one of the developments on the south side of Alpine. He noted that berm fluctuates in height from three to four feet in some areas to other areas where there is not an increase in height because of the existing conditions of the site (drainage patterns, existing vegetation, etc.).

Board Member Fetterley commented that berms can be done very nicely and provide immediate transition because plantings take time. She stated that while she does not love the idea of fencing, she would wonder if there was a reason that was not included as an option for transitioning.

Senior Planner Anderson was unsure why fencing was not included in the density transitioning options, as it can be used for commercial properties.

Board Member Fetterley stated that she would agree with fencing as an option but noted that if an existing homeowner does not like the view being created, they would most likely install their own fence.

Board Member Hiatt stated that he would be concerned with the upkeep of a fence over time. He noted that there are some composite fences that he has noticed more recently that would provide immediate screening.

Chairperson Moore recognized that while no one on the Board would choose fencing as the first option, perhaps that could be used in combination with another element or could be the best choice in some scenarios.

Senior Planner Anderson agreed that a fence alone should not be allowed for density transitioning but could be part of an overall plan with trees and vegetation. He noted that as this moves forward, he would work with this Board on the vegetation portions while also working with other groups, such as the Planning Commission, on other potential ideas.

Board Member Hiatt stated that perhaps it would be helpful to have input from developers as they would have experience on what worked well in other developments and communities they have worked in.

6. BOARD / STAFF INPUT

No comments.

7. ADJOURNMENT

Motion by Board Member Little and seconded by Board Member Bernard to adjourn the meeting.

The meeting adjourned at 7:41 p.m.

Respectfully submitted,

Chris Anderson
Senior Planner

ATTEST:

Dana Verbeek
Planning Administrative Assistant

Drafted by Amanda Staple
TimeSaver Off Site Secretarial, Inc.

Meeting Date: 01/23/2023

By: Chris Anderson, Community Development

Information

Title:

Consider Natural Resource Aspects of Site Plan and Plat for AARA Dome (Project No. 22-123); Case of Anoka Ramsey Athletic Association

Purpose/Background:

The City has received an application for a Site Plan, Variance, Preliminary Plat, and Final Plat from Anoka Ramsey Athletic Association (the "Applicant") for a proposed new athletic dome and associated improvements. The proposed project is located at 14622 and 14650 Ferret Street NW (jointly, the "Subject Property").

Observations/Alternatives:

Project Summary

The Subject Property is approximately 12.9 acres in size and is zoned E-3 Employment District. The Applicant is proposing to construct a new athletic dome that is approximately 179,200 square feet in size and seventy-eight (78) feet in height. The dome would include eight (8) rubberized, multipurpose courts and 1.5 turf fields. The dome is being designed, and will be managed specifically as a practice facility. Indoor commercial recreation is a permitted use in the E-3 Employment District. However, building height in this zoning district is limited to sixty-five (65) feet, necessitating the need for the Applicant to seek a variance to height. The Applicant has also provided an exhibit to show a future phase, which includes two (2) smaller buildings (about 12,000 square feet and 4,000 square feet) and additional parking (approximately eighty [80] additional parking stalls). However, should that phase materialize, it will be subject to future review.

Natural Resources Inventory

The City's Natural Resources Inventory (NRI) does not identify any native plant communities on the Subject Property. The Minnesota Land Cover Classification System (MLCCS) indicates three (3) land cover types: planted or cultivated vegetation, dry grassland, and urban with vegetative cover. There do not appear to be any significant natural plant communities on site.

Wetlands and Floodplains

It does not appear that there are any wetlands or floodplains on the Subject Property.

Tree Inventory and Preservation Plan

The submittal does include a Tree Inventory and Preservation Plan. The Subject Property is dominated by invasive tree species, including Siberian Elm and Amur Maple. Per City Code, in business and industrial developments, projects shall preserve at least thirty percent (30%) of the inches of significant trees on site or be subject to reforestation standards of 1.25 inches of newly planted trees for each one (1) inch removed above the threshold. There are 865 diameter inches of significant trees on site, with 500 of those inches consisting of invasive species. Per Staff's recommendation, the Applicant has modified the plan to remove all invasive species (removal of invasive species is excluded from the tree preservation threshold calculation). The combination of preserved trees and the proposed plantings does comply with the tree preservation standards.

Landscape Plan

The submittal does include a Landscape Plan. The plantings are comprised of a mix of conifers, shade trees, and ornamental trees and meet or exceed the minimum size requirements. The majority of the Subject Property's pervious area will be finished with sod. The exceptions being the multiple stormwater basins, which will be finished with native seed mixes. There are proposed plantings adjacent to the parking areas, and the parking lot

islands are proposed to be finished with double shredded hardwood mulch (a much better option than landscape rock in terms of retaining soil moisture and moderating soil temperatures).

Alternatives

Alternative #1: Motion to recommend approval of the natural resources aspects of this project. The Tree Inventory and Preservation Plan and the Landscape Plan both comply with City Code. There are no required plan corrections. Staff supports this alternative, but would be open to any potential modifications should the Environmental Policy Board (EPB) identify any.

Alternative #2: Motion to not approve these plans and specify exactly what deficiencies were identified by the EPB so the Applicant can make the necessary corrections. As previously noted, these plans appear to meet and/or exceed the minimum standards in City Code and therefore, Staff does not support this alternative.

Funding Source:

All costs associated with this request are the Applicant's responsibility.

Action:

Motion to recommend approval of the natural resources aspects related to this project.

Attachments

Site Location Map

Dome Rendering

Site Plan

Landscape Plan

Planting Details and Notes

Tree Inventory and Preservation Plan

Form Review

Inbox

Brian Hagen

Form Started By: Chris Anderson

Final Approval Date: 01/12/2023

Reviewed By

Brian Hagen

Date

01/12/2023 02:45 PM

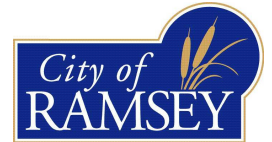
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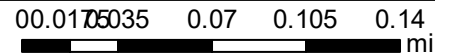
29-32-25-14-0015

ARAA Athletic Dome

14622 Ferret St NW & 14650 Ferret St NW



Sources: Esri, HERE, Garmin; USGS, Intermap, INCREMENT P, NRCan; Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand); NGCC, (c) OpenStreetMap contributors, and the GIS User Community, LOGIS





PRELIMINARY NOT FOR CONSTRUCTION

PARKING CALCULATIONS
(SEE TRAFFIC AND PARKING IMPACT LETTER FOR MORE INFORMATION)

Total No. of High School Courts	Average No. of Players per Court	Average No. of Coaches per Court	Total No. of Users per Courts	Percentage of Users Parking	No. of Vehicles Parking
8	10	2	96	80%	77
Total No. of High School Fields	Average No. of Players per Field	Average No. of Coaches per Field	Total No. of Users per Fields	Percentage of Users Parking	No. of Vehicles Parking
1.3	15	2	26	80%	21
Maximum No. of Parking Stalls Utilized During Practice for High School Level Sports Only					98.00

PAVEMENT LEGEND

SYMBOL	DESCRIPTION
[Pattern]	BITUMINOUS PAVEMENT
[Pattern]	HEAVY DUTY BITUMINOUS PAVEMENT
[Pattern]	CONCRETE PAVEMENT
[Pattern]	HEAVY DUTY CONCRETE PAVEMENT
[Pattern]	CONCRETE WALK
[Pattern]	REVERSE PITCH CONCRETE CURB AND GUTTER



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REESE A. SUDELGTE

DATE 12/15/2022 LIC. NO. 54243

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MITCHELL R. WORKMON

DATE 12/15/2022 LIC. NO. 53748

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PROJECT
ANOKA RAMSEY ATHLETIC ASSOCIATION NEW DOME

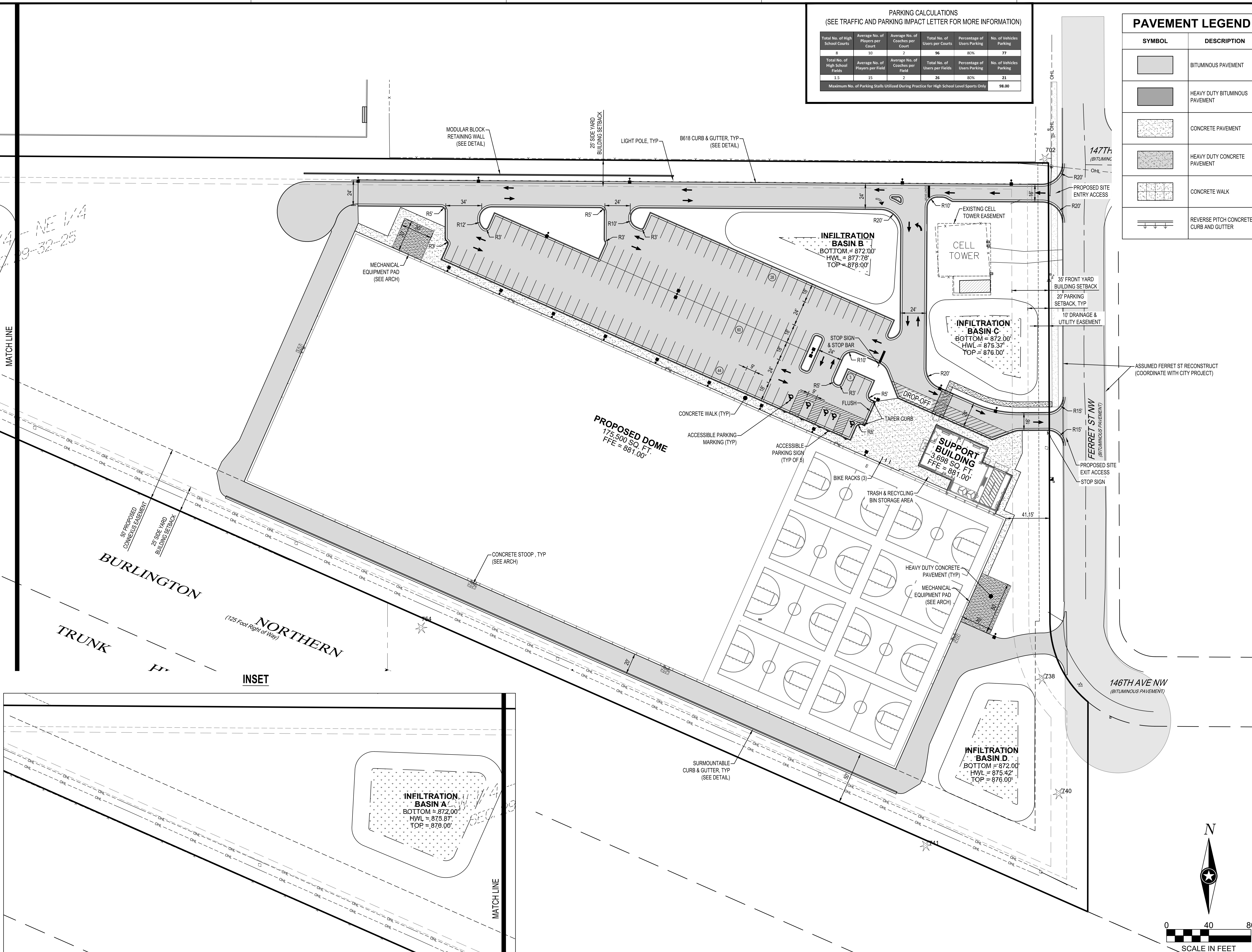
RAMSEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 22-26051
FILE NAME 26051 C3-SITE
DRAWN BY AJR
DESIGNED BY AJR
REVIEWED BY RAS
ORIGINAL ISSUE DATE 12/16/2022
CLIENT PROJECT NO. -

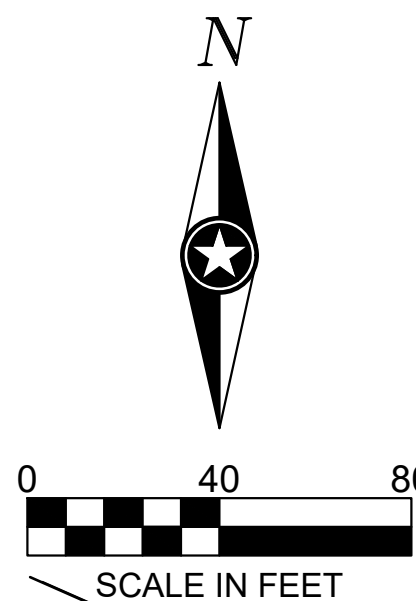
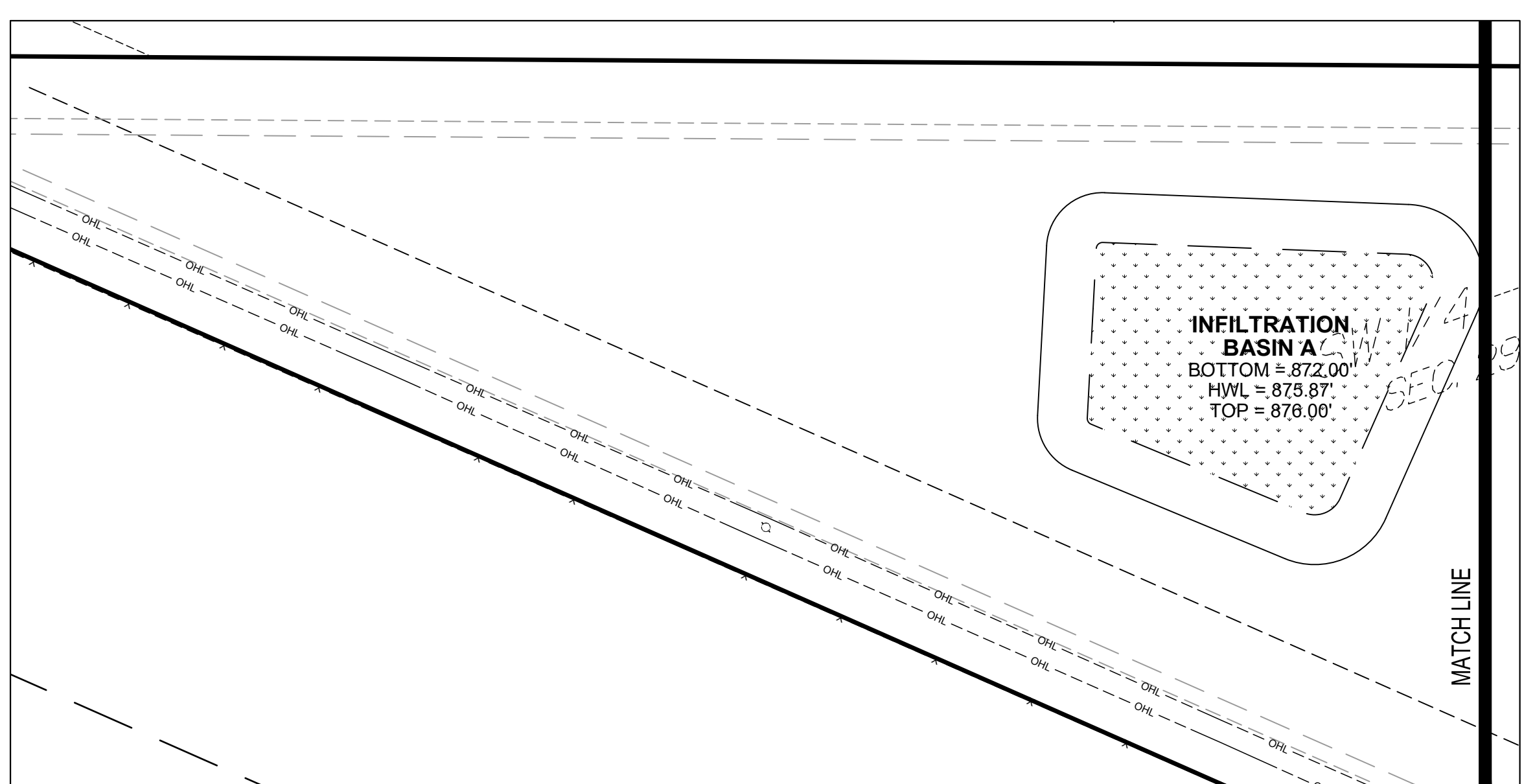
TITLE
SITE PLAN

SHEET
C3-10



14 NE 1/4
10 19-32-25

MATCH LINE



PLOT DATE: 11/02/2022 8:50 PM

CITY LANDSCAPE REQUIREMENTS

E-3 EMPLOYMENT DISTRICT LANDSCAPE REQUIREMENTS:

MINIMUM TREE CROWN COVER REQUIREMENTS:
 IMPERVIOUS AREA: 258,688 SF
 PERVIOUS AREA: 302,667 SF
 RATIO OF IMPERVIOUS AREA: 46.08% / 0.4608
 TOTAL AREA: 561,355 SF

MULTIPLY THE IMPERVIOUS AREA/SITE AREA RATIO BY THE SQUARE FOOTAGE OF PERVIOUS AREA: 0.4608 X 302,667 = 139,468 REQUIRED / 139,468 PROPOSED
 NOTE: SEE SHEET C5-20 FOR DETAILS

THE FOLLOWING FORMULA SHALL BE UTILIZED TO DETERMINE THE AVERAGE CANOPY COVER FOR ACCEPTABLE SPECIES:
 $[(\text{MINIMUM} + \text{MAXIMUM SPREAD}) \times 4] \times \pi \times (0.65 \text{ FOR PREFERRED SPECIES}) = 114,806$

ROAD FRONTAGE REQUIREMENTS:
 FOR EVERY 35 FEET OF PUBLIC ROAD FRONTAGE, ONE OVERSTORY TREE SHALL BE PLANTED ADJACENT TO THE ROAD RIGHT-OF-WAY ON PRIVATE PROPERTY. THESE PLANTING ARE CREDITED TOWARD THE MINIMUM PLANTING REQUIREMENTS.
 • 522 LF OF ROAD FRONTAGE / 35 LF = 15 TREES REQUIRED / 15 TREES PROPOSED

PARKING LOT REQUIREMENTS:
 1 TREE PER EVERY TEN PARKING SPACES.
 • 153 PARKING SPACES / 10 = 15 TREES REQUIRED / 15 TREES PROVIDED

EVERY OVERSTORY TREE PLANTED SHALL BE PROVIDED WITH A PLANTING AREA PF AT LEAST 162 SF.

BUFFERYARD REQUIREMENTS:
 E-3 BUFFERYARD WIDTH: 35 FEET
 % INCREASE IN PLANTINGS: 20%

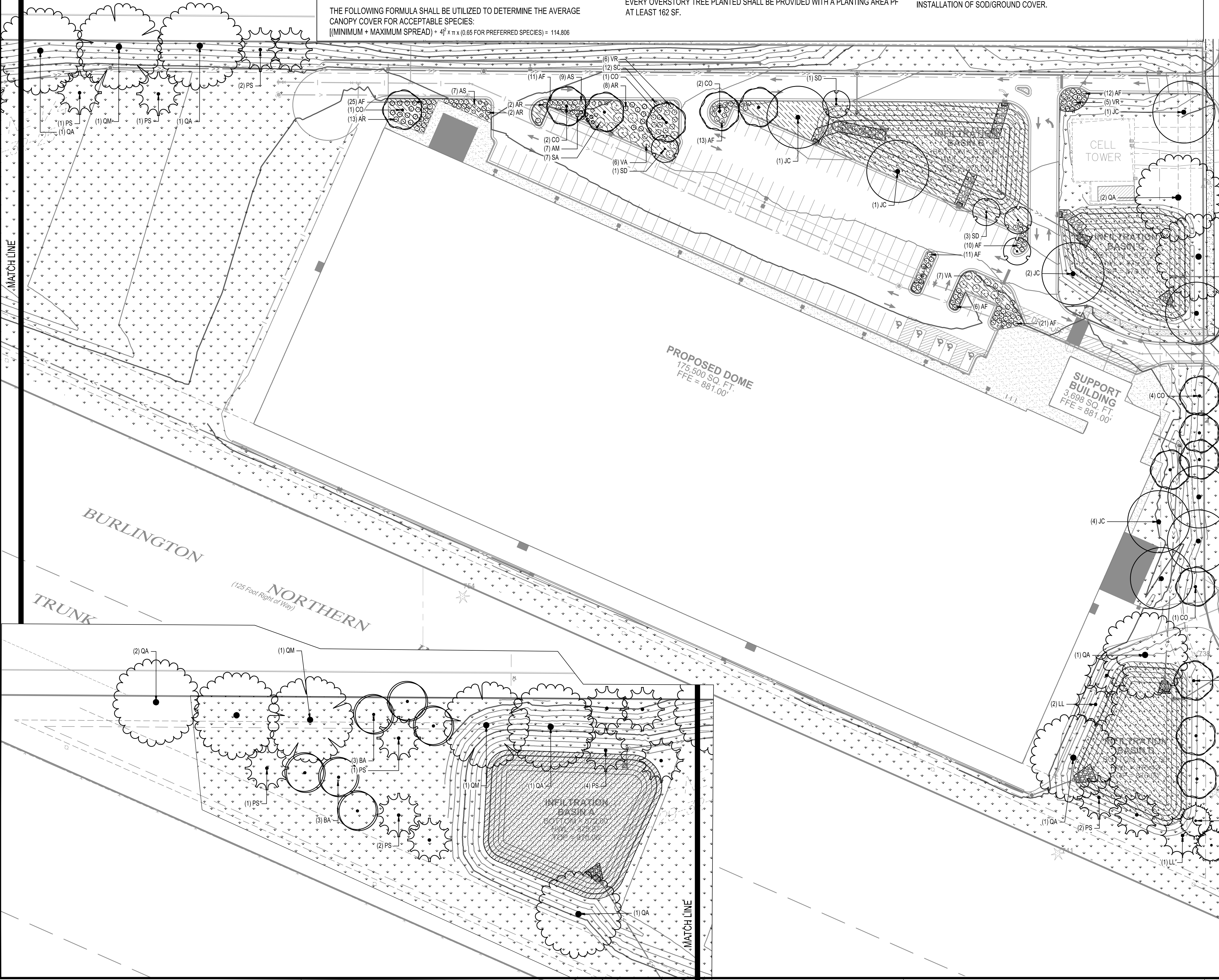
ACCEPTABLE GROUND COVER MATERIAL INCLUDES SOD, MULCH AND OTHER NATURAL GROUND COVER. USE OF LANDSCAPE ROCK AND PLASTIC UNDERLAYMENT IS PROHIBITED.

ALL AREAS DISTURBED DURING CONSTRUCTION AND NOT OTHERWISE IMPROVED WITH IMPERVIOUS SURFACING SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL WITH NO MORE THAN 35% SAND CONTENT. TOPSOIL INSPECTION IS REQUIRED PRIOR TO INSTALLATION OF SOD/GROUND COVER.

PLANT SCHEDULE

EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT
LL	3	LARIX LARICINA TAMARACK	6' HT MIN	B & B
PB	2	PICEA GLAUCA DENSATA BLACK HILLS SPRUCE	6' HT MIN	B & B
PS	14	PINUS STROBUS WHITE PINE	6' HT MIN	B & B
OVERSTORY TREES	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT
BA	6	BETULA ALLEGHANIENSIS YELLOW BIRCH	2.5' CAL	B & B
CO	14	CELTIS OCCIDENTALIS COMMON HACKBERRY	2.5' CAL	B & B
JC	9	JUGLANS CINEREA BUTTERNUT	2.5' CAL	B & B
QA	10	QUERCUS ALBA WHITE OAK	2.5' CAL	CONT
QM	3	QUERCUS MACROCARPA BURR OAK	2.5' CAL	B & B
SD	5	SORBUS DECORA SHOWY MOUNTAIN ASH	2.5' CAL	B & B
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT
AR	25	AMELANCHIER ALNIFOLIA 'REGENT' REGENT SERVICEBERRY	2' HT MIN	CONT
AS	16	AMELANCHIER SANGUINEA ROUNDLEAF SERVICEBERRY	2' HT MIN	CONT
AF	109	AMORPHA FRUTICOSA FALSE INDIGO	2' HT MIN	CONT
AM	7	ARONIA MELANOCARPA BLACK CHOKEBERRY	2' HT MIN	CONT
SA	7	SHEPHERDIA ARGENTEA SILVER BUFFALO BERRY	2' HT MIN	CONT
SC	12	SHEPHERDIA CANADENSIS RUSSETT BUFFALO BERRY	2' HT MIN	CONT
VR	11	VIBURNUM RAPINESOLIANUM DOWNY ARROWWOOD	2' HT MIN	CONT
VA	13	VIBURNUM TRILOBUM AMERICAN CRANBERRYBUSH	2' HT MIN	CONT

MULCH	QTY	BOTANICAL / COMMON NAME
	9,595 SF	DOUBLE SHREDDED WOOD MULCH (NATURAL COLOR)
SEED MIX	QTY	DESCRIPTION
	25,498 SF	EAST INFILTRATION BASIN SEED MIX
	21,393 SF	WEST INFILTRATION BASIN SEED MIX
SOD	QTY	DESCRIPTION
	185,113 SF	MNDOT SOD 25-131 (TURF)
EDGER	QTY	DESCRIPTION
	40 LF	POLYVINYL EDGER (BLACK COLOR)



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 REESE A. SUDTELGTE

DATE: 12/15/2022 LIC. NO. 54243

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 MITCHELL R. WORKMON

DATE: 12/15/2022 LIC. NO. 53748

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PROJECT
ANOKA RAMSEY ATHLETIC ASSOCIATION NEW DOME

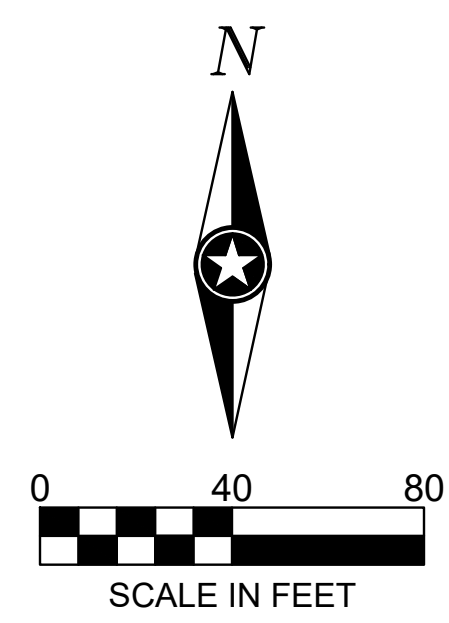
RAMSEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

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FILE NAME	26051 CS-LAND
DRAWN BY	AJR
DESIGNED BY	AJR
REVIEWED BY	RAS
ORIGINAL ISSUE DATE	12/16/2022
CLIENT PROJECT NO.	-

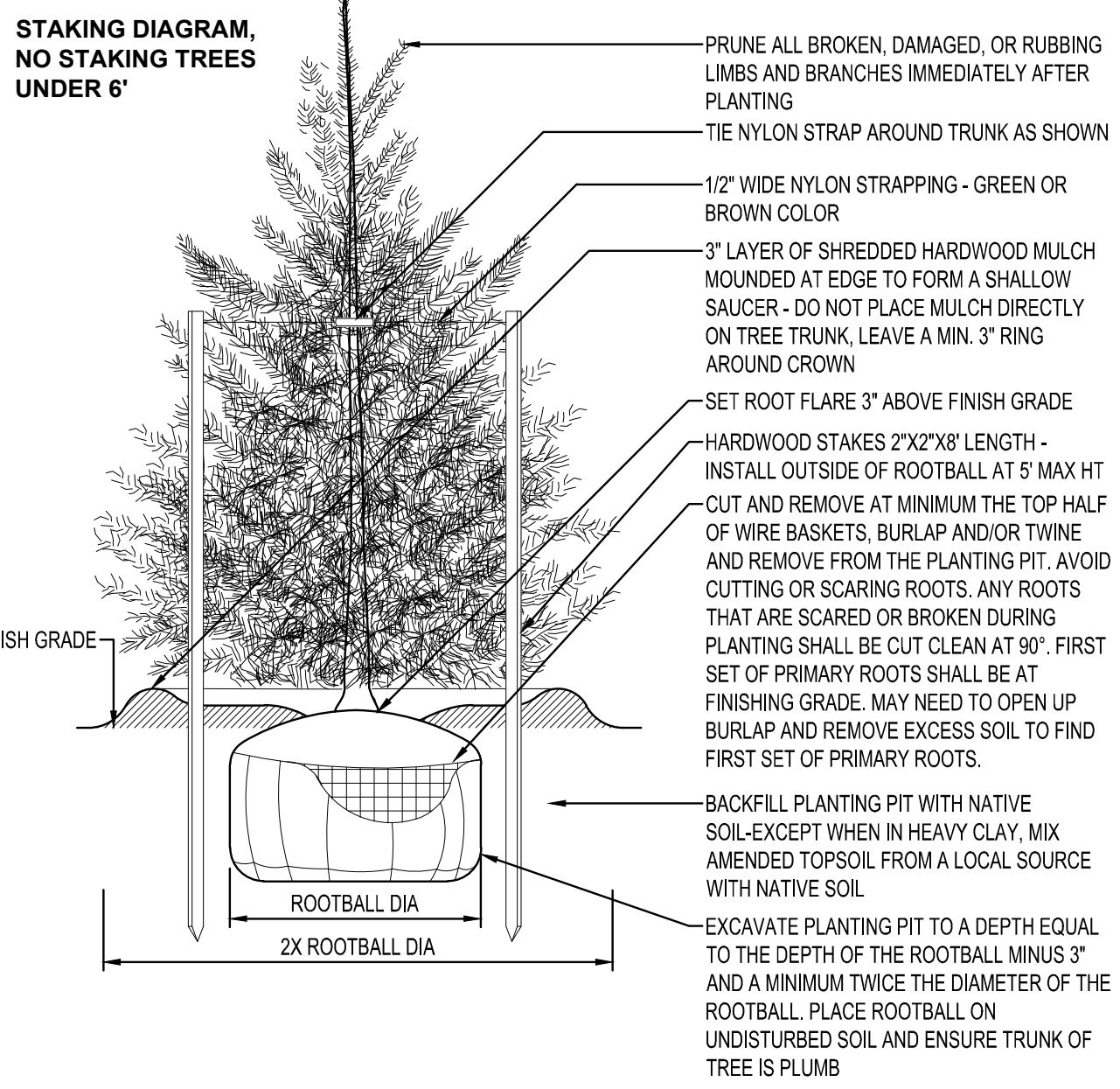
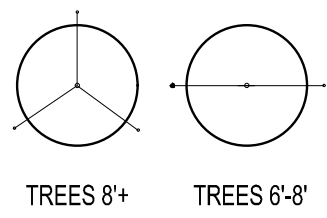
TITLE
PLANTING AND RESTORATION PLAN

SHEET
C5-10

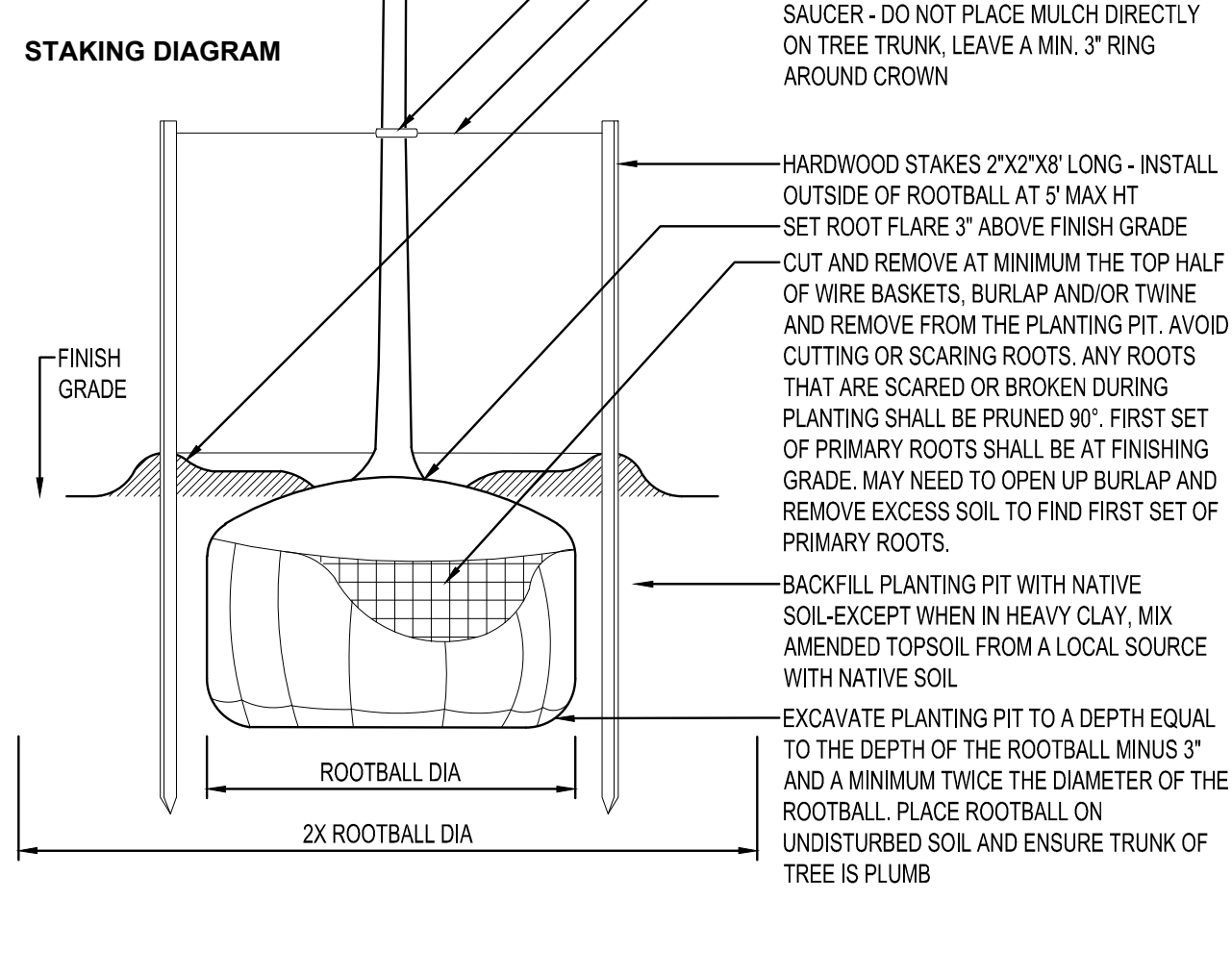
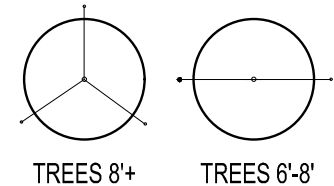


PLOT DATE: 11/02/2023 7:04 PM

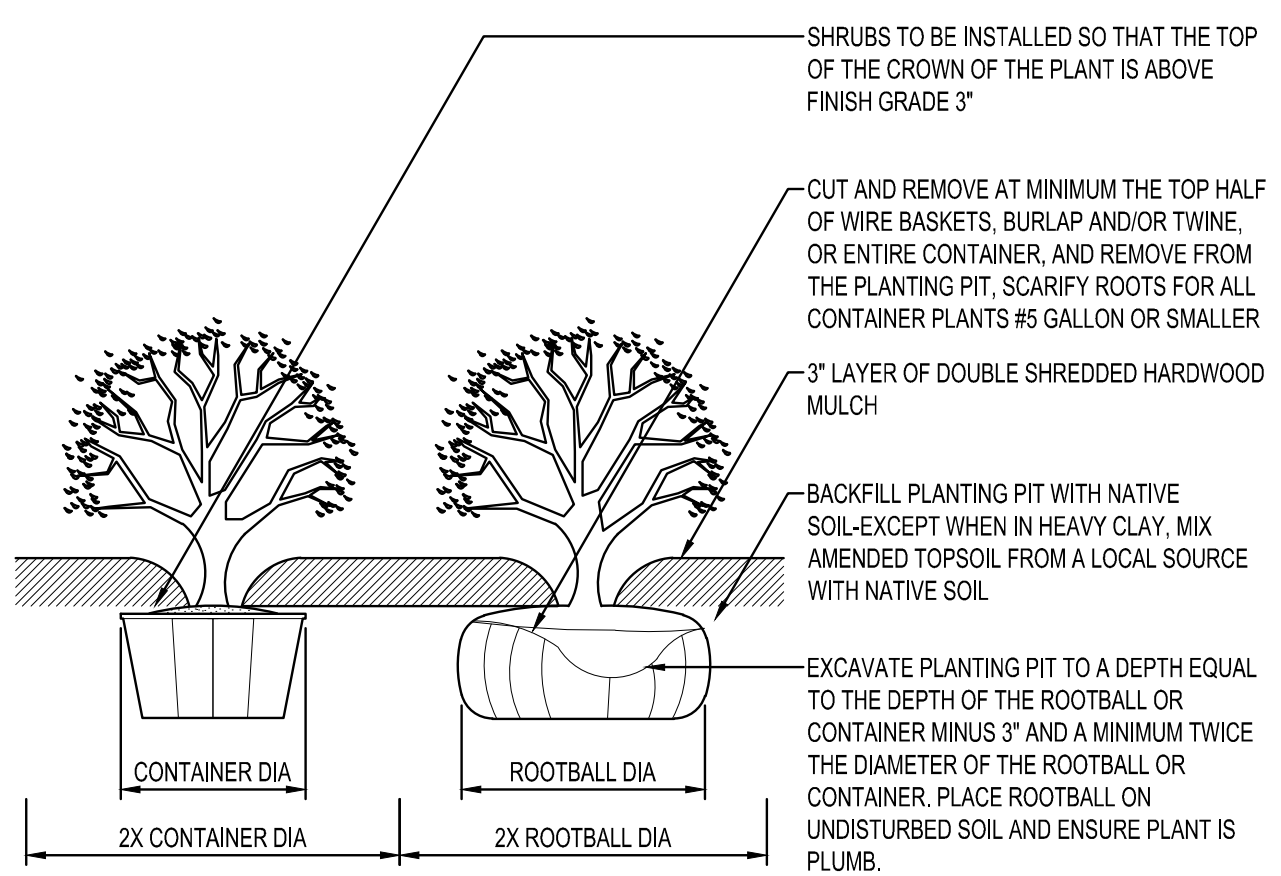
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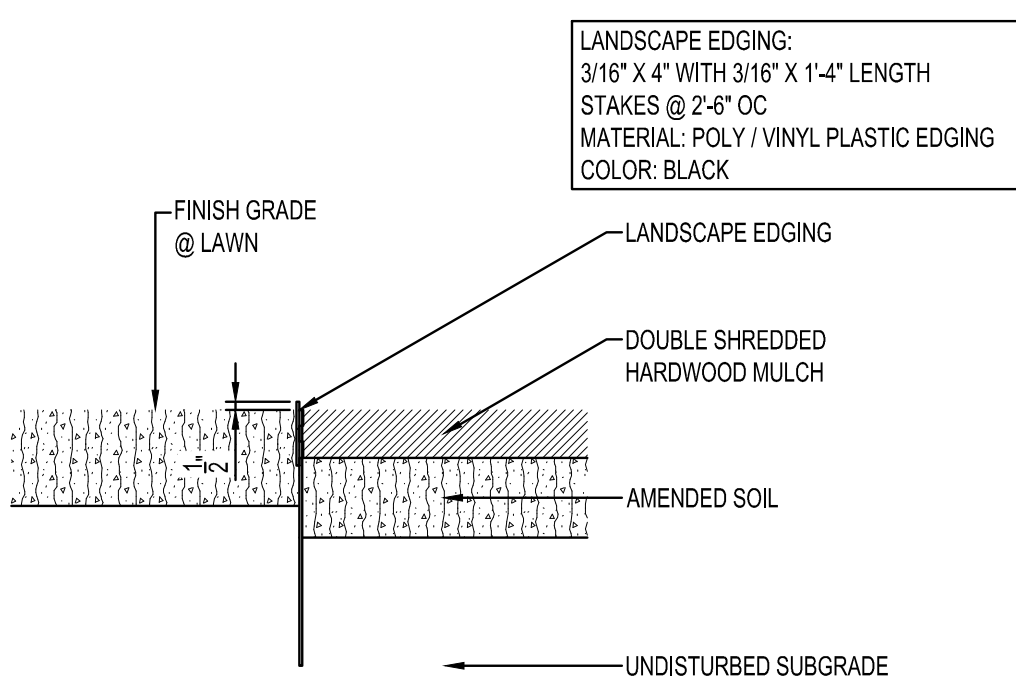
EVERGREEN TREE PLANTING
NTS



DECIDUOUS TREE PLANTING
NTS



SHRUB PLANTING
NTS



LANDSCAPE EDGING
NTS

PLANTING NOTES

- COORDINATE LOCATION OF ALL UTILITIES (LINES, DUCTS, CONDUITS, SLEEVES, FOOTINGS, ETC.) WITH LOCATIONS OF PROPOSED LANDSCAPE ELEMENTS (FENCE, FOOTINGS, TREE ROOTBALLS, ETC.). CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO OWNER'S REPRESENTATIVE PRIOR TO CONTINUING WORK.
- SAVE AND PROTECT ALL EXISTING TREES NOT NOTED TO BE REMOVED.
- REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS INJURIOUS TO PLANT GROWTH FROM PLANTING PITS AND BEDS PRIOR TO BACKFILLING WITH PLANTING MIX.
- REFER TO PLANTING DETAILS FOR AMENDED SOIL DEPTH IN PLANTING BEDS AND SURROUNDING TREES.
- FIELD STAKE PLANTINGS ACCORDING TO PLAN. OWNER'S REPRESENTATIVE SHALL APPROVE ALL PLANT LOCATIONS PRIOR TO INSTALLATION. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REVISE PLANTING LAYOUT AT TIME OF INSTALLATION.
- ALL PLANT MATERIALS SHALL BE TRUE TO THEIR SCIENTIFIC NAME AND SIZE AS INDICATED IN THE PLANT SCHEDULE.
- IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE SCHEDULE, THE PLANTING PLAN SHALL GOVERN.
- ANY PLANT SUBSTITUTIONS REQUIRE PRIOR APPROVAL BY THE CITY. ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIALS MUST CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1). LATEST EDITION PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, WASHINGTON D.C. LARGER SIZED PLANT MATERIALS OF THE SPECIES LISTED MAY BE USED IF THE STOCK CONFORMS TO ANSI Z60.1.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN A LIVE AND HEALTHY GROWING CONDITION FOR ONE FULL GROWING SEASON (ONE YEAR) AFTER FINAL PROJECT ACCEPTANCE OR SHALL BE REPLACED BY THE CONTRACTOR FREE OF CHARGE WITH THE SAME GRADE AND SPECIES.
- PROVIDE DOUBLE SHREDDED HARDWOOD MULCH SURROUNDING ALL PROPOSED TREES (5' Ø) AND WITHIN PLANTING BEDS TO A 3" MINIMUM DEPTH AS SHOWN IN TREE PLANTING DETAIL. DO NOT USE AN UNDERLAYMENT SUCH AS PLASTIC SHEET OR LANDSCAPE FABRIC. APPLY PRE-EMERGENT TO ALL PLANTING BEDS PRIOR TO MULCHING. REFER TO PLANS FOR ADDITIONAL DETAILS. REFER TO STORMWATER DETAILS FOR BASIN CONSTRUCTION AND MULCH APPLICATION.
- MULCHING MATERIAL SHALL BE DOUBLE SHREDDED HARDWOOD MULCH, WITH NO INDIVIDUAL PIECES LARGER THAN 3". FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS. 3" MINIMUM DEPTH. MINIMUM DEPTHS AT LOCATIONS INDICATED ON DRAWINGS.
- CONTRACTOR SHALL PROVIDE SAMPLE OF MULCH TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
- INDICATED QUANTITIES ARE ESTIMATES AND SHALL BE CONFIRMED BY THE CONTRACTOR.
- ADJUST SPACING OF PLANT MATERIALS AROUND ADJACENT UTILITY STRUCTURES.
- ANY CLEARING OF OAK STANDS SHALL BE PERFORMED PRIOR TO APRIL 15TH OR AFTER JULY 15TH EACH SEASON.
- ALL PLANT MATERIAL SHALL HAVE A 2-YEAR MAINTENANCE WARRANTY FROM DATE OF CITY APPROVAL OF INSTALLED LANDSCAPING.
- ALL AREAS DISTURBED DURING CONSTRUCTION AND NOT OTHERWISE IMPROVED WITH IMPERVIOUS SURFACING SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL WITH NO MORE THAN 35% SAND CONTENT. TOPSOIL INSPECTION IS REQUIRED PRIOR TO INSTALLATION OF SODD/GROUND COVER.

PROPOSED PLANT MATERIAL CROWN COVER PER RAMSEY TREE BOOK

- EVERGREEN TREE CROWN COVER:**
- AMERICAN LARCH 718 SF (3 TREES) = 2,154 SF OF CROWN COVER
 - BLACK HILLS SPRUCE 386 (2 TREES) = 772 SF OF CROWN COVER
 - WHITE PINE 1,995 (14 TREES) = 27,930 SF

- DECIDUOUS TREE CROWN COVER:**
- YELLOW BIRCH 992 SF (6 TREES) = 5,952 SF
 - COMMON HACKBERRY 992 SF (14 TREES) = 13,888 SF
 - BUTTERNUT 1,995 (9 TREES) = 17,955 SF
 - WHITE OAK 3,910 (10 TREES) = 39,100 SF
 - BURR OAK 3,910 (3 TREES) = 11,730 SF
 - SHOWY MOUNTAIN ASH 386 (5 TREES) = 1,930 SF

- SHRUB CROWN COVER:**
- REGENT SERVICEBERRY 18 (25 SHRUBS) = 450 SF
 - ROUNDLEAF SERVICEBERRY 10 (16 SHRUBS) = 160 SF
 - FALSE INDIGO 131 (109 SHRUBS) = 14,279 SF
 - BLACK CHOKECHERRY 10 SF (7 SHRUBS) = 70 SF
 - SILVER BUFFALOBERRY 93 SF (7 SHRUBS) = 651 SF
 - RUSSET BUFFALOBERRY 41 SF (12 SHRUBS) = 492 SF
 - DOWNY ARROWWOOD 41 SF (11 SHRUBS) = 451 SF
 - AMERICAN CRANBERRYBUSH 51 SF (13 SHRUBS) = 663 SF

- EXISTING EVERGREEN TREE CROWN COVER:**
- WHITE SPRUCE 460 SF (1 TREE) = 460 SF
 - EASTERN RED CEDAR 77 SF (2 TREES) = 514 SF

TOTAL CROWN COVER = 139,601 SF

WEST INFILTRATION BASIN CUSTOM SEED MIX				
SCIENTIFIC NAME	COMMON NAME	RATE	RATE	% MIX BY WEIGHT
		(PLS OZ / ACRE)	(SEEDS / SQ.FT)	
<i>Desmodium canadense</i>	Showy Tick Trefol	2	0.3	0.41
<i>Echinacea purpurea</i>	Purple Coneflower	8	1.2	1.65
<i>Helenium autumnale</i>	Sneezeweed	2	6.0	0.41
<i>Monarda fistulosa</i>	Wild Bergamot	2	3.2	0.41
<i>Oenothera biennis</i>	Common Evening Primrose	1	0.2	0.21
<i>Pycnanthemum virginianum</i>	Mountain Mint	0.5	2.5	0.10
<i>Symphoricarum laeve</i>	Smooth Blue Aster	2	2.5	0.41
<i>Symphoricarum lanceolatum</i>	Panicled Aster	1	3.6	0.21
<i>Rudbeckia hirta</i>	Black-eyed Susan	10	21.1	2.06
<i>Chamaecrista fasciculata</i>	Partridge Pea	16	1.0	3.29
<i>Verbena hastata</i>	Blue Vervain	4	8.5	0.82
<i>Asclepias incarnata</i>	Rose Milkweed	6	0.7	1.23
<i>Symphoricarum novae-angliae</i>	New England Aster	1	1.5	0.21
<i>Bidens polyplepis</i>	Bearded Beggarticks	1	0.2	0.21
<i>Rudbeckia laciniata</i>	Wild Golden Glow	1	0.2	0.21
<i>Helianthus maximiliani</i>	Maximilian's Sunflower	1	0.3	0.21
<i>Amoglossum atriplicifolium</i>	Pale Indian Plantain	1	0.1	0.21
TOTAL FORBS		59.5	53.2	12.24
<i>Andropogon gerardii</i>	Big Bluestem	32	7.3	6.58
<i>Beckmannia syzigachne</i>	American Slough Grass	16	18.4	3.29
<i>Calamagrostis canadensis</i>	Blue Joint Grass	0.5	3.2	0.10
<i>Bromus ciliatus</i>	Fringed Brome	8	1.8	1.65
<i>Spartina pectinata</i>	Cord Grass	10	1.5	2.06
<i>Sorghastrum nutans</i>	Indian Grass	32	8.8	6.58
<i>Panicum virgatum</i>	Switch Grass	4	1.3	0.82
<i>Elymus canadensis</i>	Canada Wild Rye	16	1.9	3.29
<i>Elymus virginicus</i>	Virginia Wild Rye	32	3.1	6.58
<i>Bromus kalmii</i>	Prairie Brome	16	2.9	3.29
<i>Poa palustris</i>	Fowl Bluegrass	16	47.8	3.29
<i>Carex vulpinoidea</i>	Brown Fox Sedge	4	9.2	0.82
TOTAL GRASSES & SEDGES		186.5	107.2	38.37
<i>Avena sativa</i>	Oats - Cover Crop	240	4.4	49.38
TOTAL COVER CROPS		240	4.4	49.38
TOTALS		486	164.8	100

EAST INFILTRATION BASINS CUSTOM SEED MIX				
SCIENTIFIC NAME	COMMON NAME	RATE	RATE	% MIX BY WEIGHT
		(PLS OZ / ACRE)	(SEEDS / SQ.FT)	
<i>Bouteloua curtipendula</i>	Side-oats Grama	16	2.2	4.09
<i>Calamagrostis canadensis</i>	Blue Joint Grass	1	6.4	0.26
<i>Elymus canadensis</i>	Canada Wild Rye	24	2.9	6.13
<i>Elymus hystrix</i>	Bottlebrush Grass	6	1.0	1.53
<i>Elymus riparius</i>	Riverbank Wild Rye	16	1.1	4.09
<i>Elymus villosus</i>	Silky Wild Rye	4	0.5	1.02
<i>Elymus virginicus</i>	Virginia Wild Rye	16	1.5	4.09
<i>Glyceria striata</i>	Fowl Manna Grass	6	12.4	1.53
<i>Panicum virgatum</i>	Switch Grass	2	0.6	0.51
<i>Poa palustris</i>	Fowl Bluegrass	16	47.8	4.09
<i>Schizachyrium scoparium</i>	Little Bluestem	16	5.5	4.09
<i>Spartina pectinata</i>	Cord Grass	8	1.2	2.04
TOTAL GRASSES		131	83.2	33.46
<i>Carex blanda</i>	Common Wood Sedge	2	0.6	0.51
<i>Carex brevior</i>	Plains Oval Sedge	4	2.7	1.02
<i>Carex crinita</i>	Fringed Sedge	1	0.5	0.26
<i>Carex molesta</i>	Field Oval Sedge	1	0.6	0.26
<i>Carex muskingumensis</i>	Palm Sedge	1	0.2	0.26
<i>Carex stipata</i>	Awl-fruited Sedge	3	2.3	0.77
<i>Carex vulpinoidea</i>	Brown Fox Sedge	6	13.8	1.53
<i>Juncus dudleyi</i>	Dudley's Rush	0.5	36.7	0.13
<i>Juncus tenuis</i>	Path Rush	1	23.0	0.26
<i>Scirpus pendulus</i>	Rufous Bulrush	1	7.1	0.26
TOTAL SEDGES & RUSHES		20.5	87.4	5.24
<i>Avena sativa</i>	Oats - Cover Crop	240	4.4	61.30
TOTAL COVER CROPS		240	4.4	61.30
TOTALS		391.5	175.0	100.00



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REESE A. SUDELGTE

DATE: 12/15/2022 LIC. NO. 54243

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MITCHELL R. WORKMON

DATE: 12/15/2022 LIC. NO. 53748

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PROJECT
ANOKA RAMSEY ATHLETIC ASSOCIATION NEW DOME
RAMSEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 22-26051
FILE NAME 26051 C5-LAND
DRAWN BY AJR
DESIGNED BY AJR
REVIEWED BY RAS
ORIGINAL ISSUE DATE 12/16/2022
CLIENT PROJECT NO. -

PLANTING NOTES AND DETAILS

PLOT DATE: 11/10/2022 8:48 PM

PRELIMINARY NOT FOR CONSTRUCTION

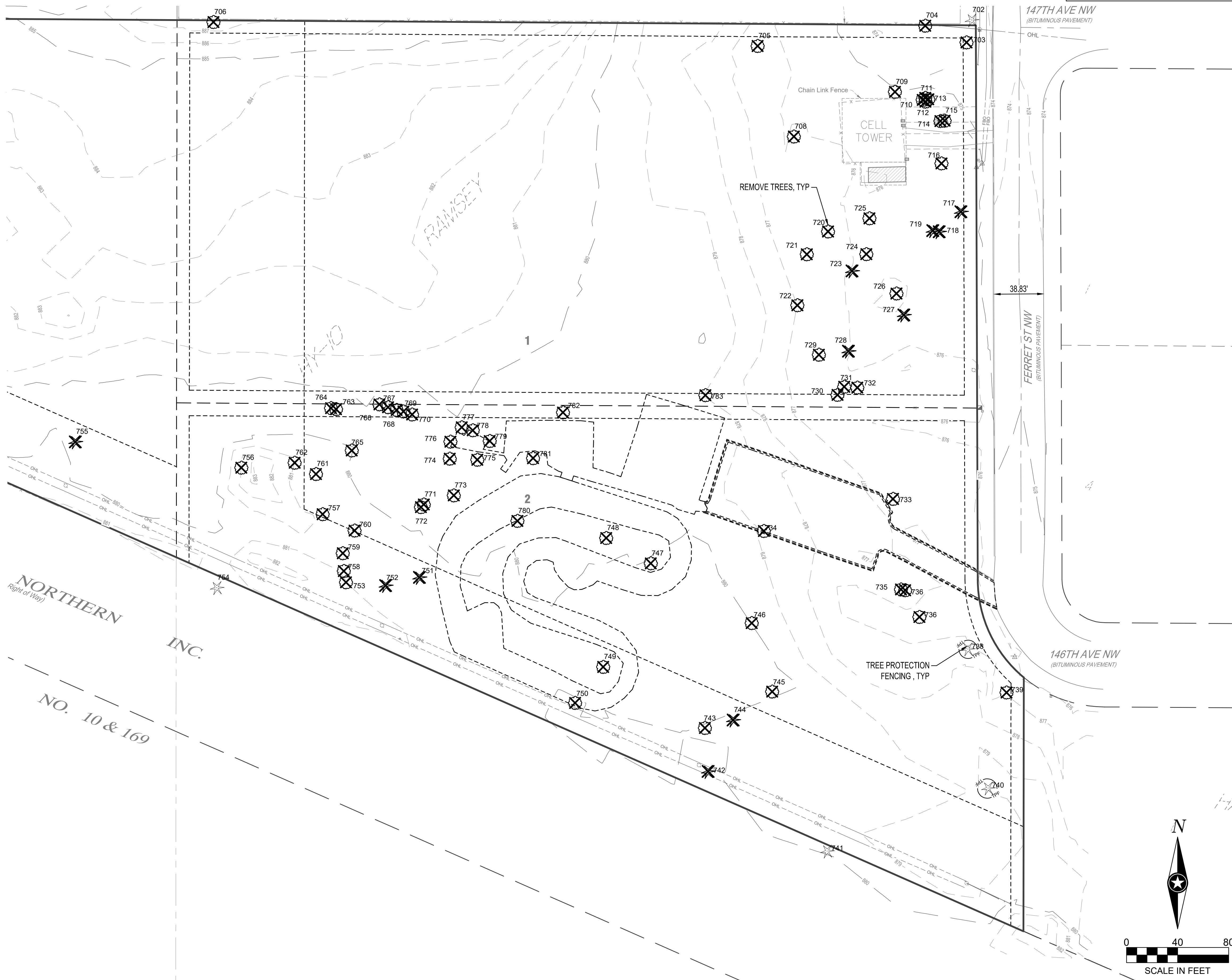
PT	TYPE	DIA	CONDITION	STATUS	REASON FOR REMOVAL
702	WHITE SPRUCE	8"	GOOD	REMAIN	-
703	SIBERIAN ELM	9"	POOR	REMOVE	INVASIVE
704	SIBERIAN ELM	8"	GOOD	REMOVE	INVASIVE
705	SIBERIAN ELM	11"	FAIR	REMOVE	INVASIVE
706	SIBERIAN ELM	15"	GOOD	REMOVE	INVASIVE
707	BOXELDER	16"	GOOD	REMAIN	-
708	SIBERIAN ELM	12"	FAIR	REMOVE	INVASIVE
709	SIBERIAN ELM	9"	GOOD	REMOVE	INVASIVE
710	SIBERIAN ELM	13"	FAIR	REMOVE	INVASIVE
711	SIBERIAN ELM	11"	FAIR	REMOVE	INVASIVE
712	SIBERIAN ELM	8"	FAIR	REMOVE	INVASIVE
713	SIBERIAN ELM	9"	FAIR	REMOVE	INVASIVE
714	SIBERIAN ELM	22"	GOOD	REMOVE	INVASIVE
715	SIBERIAN ELM	26"	GOOD	REMOVE	INVASIVE
716	SIBERIAN ELM	10"	FAIR	REMOVE	INVASIVE
717	EASTERN RED CEDAR	9"	GOOD	REMOVE	EARTHWORK
718	EASTERN RED CEDAR	7"	GOOD	REMOVE	EARTHWORK
719	EASTERN RED CEDAR	7"	GOOD	REMOVE	EARTHWORK
720	SIBERIAN ELM	10"	FAIR	REMOVE	INVASIVE
721	SIBERIAN ELM	13"	FAIR	REMOVE	INVASIVE
722	SIBERIAN ELM	8"	FAIR	REMOVE	INVASIVE
723	EASTERN RED CEDAR	4"	GOOD	REMOVE	EARTHWORK
724	SIBERIAN ELM	8"	FAIR	REMOVE	INVASIVE
725	SIBERIAN ELM	10"	FAIR	REMOVE	INVASIVE
726	SIBERIAN ELM	11"	FAIR	REMOVE	INVASIVE
727	EASTERN RED CEDAR	7"	GOOD	REMOVE	EARTHWORK
728	EASTERN RED CEDAR	11"	GOOD	REMOVE	EARTHWORK
729	SIBERIAN ELM	9"	FAIR	REMOVE	INVASIVE
730	SIBERIAN ELM	15"	POOR	REMOVE	INVASIVE
731	SIBERIAN ELM	10"	FAIR	REMOVE	INVASIVE
732	SIBERIAN ELM	10"	FAIR	REMOVE	INVASIVE
733	SIBERIAN ELM	12"	FAIR	REMOVE	INVASIVE
734	SIBERIAN ELM	10"	FAIR	REMOVE	INVASIVE
735	SIBERIAN ELM	10"	FAIR	REMOVE	INVASIVE
736	SIBERIAN ELM	9"	FAIR	REMOVE	INVASIVE
737	SIBERIAN ELM	12"	FAIR	REMOVE	INVASIVE
738	EASTERN RED CEDAR	12"	GOOD	REMAIN	-
739	SIBERIAN ELM	10"	FAIR	REMOVE	INVASIVE
740	EASTERN RED CEDAR	12"	GOOD	REMAIN	-
741	EASTERN RED CEDAR	4"	GOOD	REMAIN	-
742	EASTERN RED CEDAR	6"	POOR	REMOVE	EARTHWORK
743	SIBERIAN ELM	8"	GOOD	REMOVE	INVASIVE
744	SIBERIAN ELM	14"	GOOD	REMOVE	INVASIVE
745	SIBERIAN ELM	15"	FAIR	REMOVE	INVASIVE
746	SIBERIAN ELM	8"	GOOD	REMOVE	INVASIVE
747	SIBERIAN ELM	8"	FAIR	REMOVE	INVASIVE
748	SIBERIAN ELM	10"	GOOD	REMOVE	INVASIVE
749	SIBERIAN ELM	11"	FAIR	REMOVE	INVASIVE
750	SIBERIAN ELM	10"	FAIR	REMOVE	INVASIVE
751	EASTERN RED CEDAR	15"	GOOD	REMOVE	EARTHWORK
752	EASTERN RED CEDAR	4"	FAIR	REMOVE	EARTHWORK
753	SIBERIAN ELM	11"	GOOD	REMOVE	INVASIVE
754	EASTERN RED CEDAR	5"	GOOD	REMAIN	-
755	EASTERN RED CEDAR	8"	GOOD	REMOVE	EARTHWORK
756	SIBERIAN ELM	11"	FAIR	REMOVE	INVASIVE
757	WHITE ASH	17"	GOOD	REMOVE	EARTHWORK
758	CHERRY BLACK	9"	GOOD	REMOVE	EARTHWORK
759	CHERRY BLACK	10"	GOOD	REMOVE	EARTHWORK
760	ASH WHITE	14"	GOOD	REMOVE	EARTHWORK
761	SILVER MAPLE	12"	GOOD	REMOVE	EARTHWORK
762	WHITE ASH	12"	GOOD	REMOVE	EARTHWORK
763	SIBERIAN ELM	11"	FAIR	REMOVE	INVASIVE
764	SIBERIAN ELM	9"	FAIR	REMOVE	INVASIVE
765	WHITE ASH	13"	GOOD	REMOVE	EARTHWORK
766	AMUR MAPLE	12"	FAIR	REMOVE	INVASIVE
767	AMUR MAPLE	10"	FAIR	REMOVE	INVASIVE
768	AMUR MAPLE	10"	FAIR	REMOVE	INVASIVE
769	AMUR MAPLE	10"	FAIR	REMOVE	INVASIVE
770	AMUR MAPLE	10"	FAIR	REMOVE	INVASIVE
771	EASTERN COTTONWOOD	8"	FAIR	REMOVE	EARTHWORK
772	EASTERN COTTONWOOD	20"	EXCELLENT	REMOVE	EARTHWORK
773	SIBERIAN ELM	8"	POOR	REMOVE	INVASIVE
774	NORTHERN RED OAK	12"	GOOD	REMOVE	EARTHWORK
775	NORTHERN RED OAK	13"	GOOD	REMOVE	EARTHWORK
776	PAPER BIRCH	12"	GOOD	REMOVE	EARTHWORK
777	PAPER BIRCH	10"	GOOD	REMOVE	EARTHWORK
778	PAPER BIRCH	8"	GOOD	REMOVE	EARTHWORK
779	PAPER BIRCH	8"	POOR	REMOVE	EARTHWORK
780	SIBERIAN ELM	8"	FAIR	REMOVE	INVASIVE
781	SIBERIAN ELM	12"	FAIR	REMOVE	INVASIVE
782	SIBERIAN ELM	8"	FAIR	REMOVE	INVASIVE
783	SIBERIAN ELM	8"	FAIR	REMOVE	INVASIVE

TREE REMOVAL INVENTORY:

- TOTAL INCHES EXISTING = 865"
- TOTAL INCHES REMOVED = 808"
- TOTAL INCHES OF INVASIVE SPECIES BEING REMOVED = 500"

REMOVAL LEGEND	
SYMBOL	DESCRIPTION
	REMOVE DECIDUOUS TREE (CLEAR AND GRUB)
	REMOVE CONIFEROUS TREE (CLEAR AND GRUB)

CONTRACTOR SHALL VERIFY EXISTING PAVEMENT SECTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES. PAVEMENT REMOVALS SHALL INCLUDE FULL DEPTH SAWCUT AND SECTION REMOVAL.



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DATE: 12/15/2022 LIC. NO. 53748

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PROJECT
ANOKA RAMSEY ATHLETIC ASSOCIATION NEW DOME

RAMSEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 22-26051
FILE NAME 26051 C2-EXIST
DRAWN BY AJR
DESIGNED BY AJR
REVIEWED BY RAS
ORIGINAL ISSUE DATE 12/16/2022
CLIENT PROJECT NO. -

TITLE
TREE INVENTORY AND PRESERVATION PLAN

SHEET
C2-11

PRELIMINARY NOT FOR CONSTRUCTION

Meeting Date: 01/23/2023

By: Chris Anderson, Community Development

Information

Title:

Consider Natural Resources Related Elements for Parkside Townhomes Preliminary Plat

Purpose/Background:

The City has received an application from Ramsey at COR LLC (the "Applicant") for Preliminary Plat review of a proposed townhome development located on the block bordered by Rhinestone Street, Traprock Street, 146th Avenue, and Ramsey Parkway (the "Subject Property"). The purpose of this case is to review the Landscape Plan and other natural resources aspects of the project.

Observations/Alternatives:

Project Summary

The Subject Property is located within the COR District and, more specifically, the COR-4b neighborhood subdistrict. This zoning district allows a density of up to fifteen (15) units per acre. The project includes sixty-eight (68) townhome units across approximately 5.04 acres, which equates to a net density of 13.5 units per acre. The Subject Property was actually originally platted as Ramsey Town Center 7th Addition in the mid-2000s, but due to the housing crash, the former property owner never built out this portion of the project. The current preliminary plat is aligned very similarly to the existing property boundaries.

Natural Resources Inventory

The City's Natural Resources Inventory (NRI) does not identify any native (or even altered) plant communities on the Subject Property. The Minnesota Land Cover Classification System (MLCCS) categorizes the entire Subject Property as urban with little vegetative cover.

Wetlands and Floodplains

Per the National Wetland Inventory (NWI), there are no wetlands on the Subject Property. Also, per FEMA's Flood Insurance Rate Maps (FIRM), there are no floodplains on the Subject Property either.

Drinking Water Supply Management Area

The Subject Property is within a Drinking Water Supply Management Area (DWSMA), as is the majority of The COR subdivision. Furthermore, much of the Subject Property is within a 10-year capture zone (again, as is much of the COR subdivision). Thus, the project is not eligible to provide onsite stormwater infiltration. Rather, the project will have to make a financial contribution to the City's Infiltration Fund, which helps offset the cost of a City-installed infiltration basin serving the entire COR subdivision (this is located in the southeast corner of The COR, abutting Ramsey Boulevard and the BNSF railroad tracks and outside the DWSMA)

Tree Inventory and Preservation Plan

A Tree Inventory and Preservation Plan was included. While there are some trees on site, almost all do not meet the criteria of a significant tree (as defined in City Code). Additionally, most of these 'scrub' trees are Siberian Elm. The inventory only identified two (2) significant trees, both of which are located on the vacant land on the north side of 146th Avenue (also owned by the Applicant and will eventually be platted/developed, just not at this time).

Landscape Plan

The Landscape Plan includes a mix of deciduous and evergreen trees and shrubs. All species are acceptable or preferred per the Ramsey Tree Book. The Landscape Plan focuses entirely on landscaping internal to the Subject

Property, with no plantings shown in the boulevard. Per the COR Design Framework, the emphasis is focused on establishing the streetscape with boulevard plantings and street furniture, such as bike racks, trash receptacles, and benches (this is because Ramsey Parkway is designated as a Parkway Street in Street Hierarchy within the COR Design Framework). The Landscape Plan will need to be modified to include boulevard trees on all four public streets, either by rearranging the locations of proposed plantings or adding additional trees. Staff is recommending that the street furniture be installed on the south side of Ramsey Parkway, along The Draw Park, rather than in front of the proposed residential units. The Landscape Plan is generally acceptable, with the necessary corrections noted on the plan sheets.

Funding Source:

All costs associated with this application are the responsibility of the Applicant.

Action:

Motion to recommend approval of the Landscape Plan, contingent upon compliance with Staff's review comments.

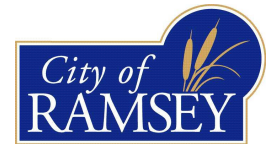
Attachments

- Site Location Map
- Preliminary Plat
- Landscape Plan with Comments
- Tree Inventory and Preservation Plan

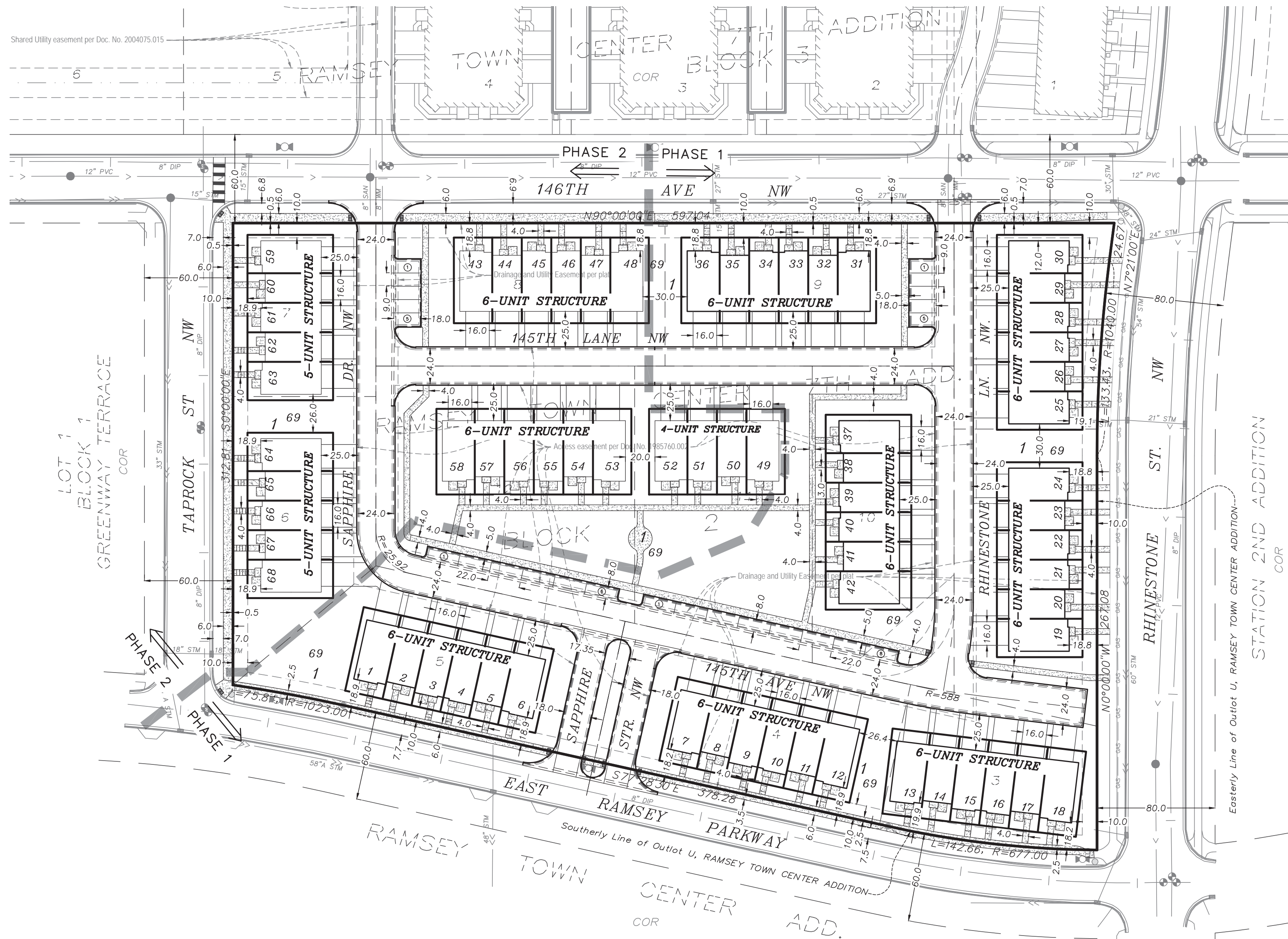
Form Review

Inbox	Reviewed By	Date
Brian Hagen	Dana Verbeek	01/19/2023 11:20 AM
Form Started By: Chris Anderson		Started On: 01/18/2023 03:14 PM
Final Approval Date: 01/19/2023		

Site Location Map: Parkside Townhomes



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS UserCommunity, LOGIS



Shared Utility easement per Doc. No. 2004075.015

SURVEY DATA

SURVEY INFORMATION PROVIDED BY:
LANDFORM
105 SOUTH FIFTH AVE. S
MINNEAPOLIS, MN 55401

DATED: 08/09/2021

BENCHMARK: EAST SIDE RHINESTONE STREET NW 2ND
HYDRANT SOUTH OF COUNTY ROAD #116
ELEVATION=873.42

EXISTING LEGAL DESCRIPTION

LOTS 1-12, BLOCK 2,
RAMSEY TOWN CENTER 7TH ADDITION
ANOKA COUNTY, MINNESOTA.

EXISTING ZONING

COR, THE COR

SITE DATA

TOTAL AREA = 219,440 SF = 5.04 AC
EXISTING TOTAL IMPERVIOUS AREA: 0.00%
PROPOSED NEW IMPERVIOUS AREA: 140,316 SF (3.22 AC)
PERCENT NEW IMPERVIOUS AREA: 63.9%
(140,316 SF / 219,440 SF)
PERCENT TOTAL IMPERVIOUS AREA: 63.9%
(140,316 SF / 219,440 SF)

NOTE:

- 1) EXISTING DRAINAGE AND UTILITY EASEMENTS PER EXISTING PLAT TO BE VACATED.
- 2) PROPOSED LOT 69 BLOCK 1 TO BE DRAINAGE AND UTILITY EASEMENT OVER ENTIRE LOT.

MINIMUM LOT REQUIREMENTS

LOT DEPTH 58 FT
LOT WIDTH 20 FT

BUILD TO REQUIREMENT

BUILDINGS MUST BE WITHIN 20' OF RIGHT OF WAY

DRIVEWAYS

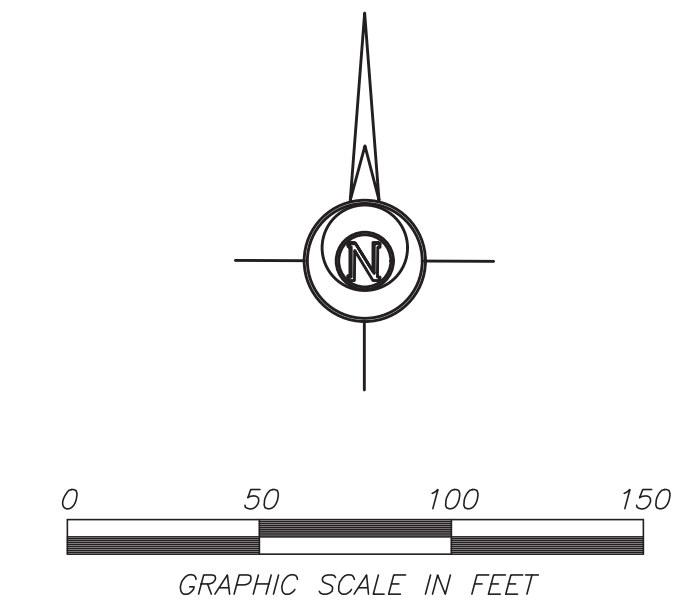
MINIMUM LENGTH 25 FT
MAX. WIDTH 20 FT

PROPOSED DENSITY

68 UNITS / 5.04 AC = 13.5 UNITS/AC

PROPOSED PHASE SCHEDULE

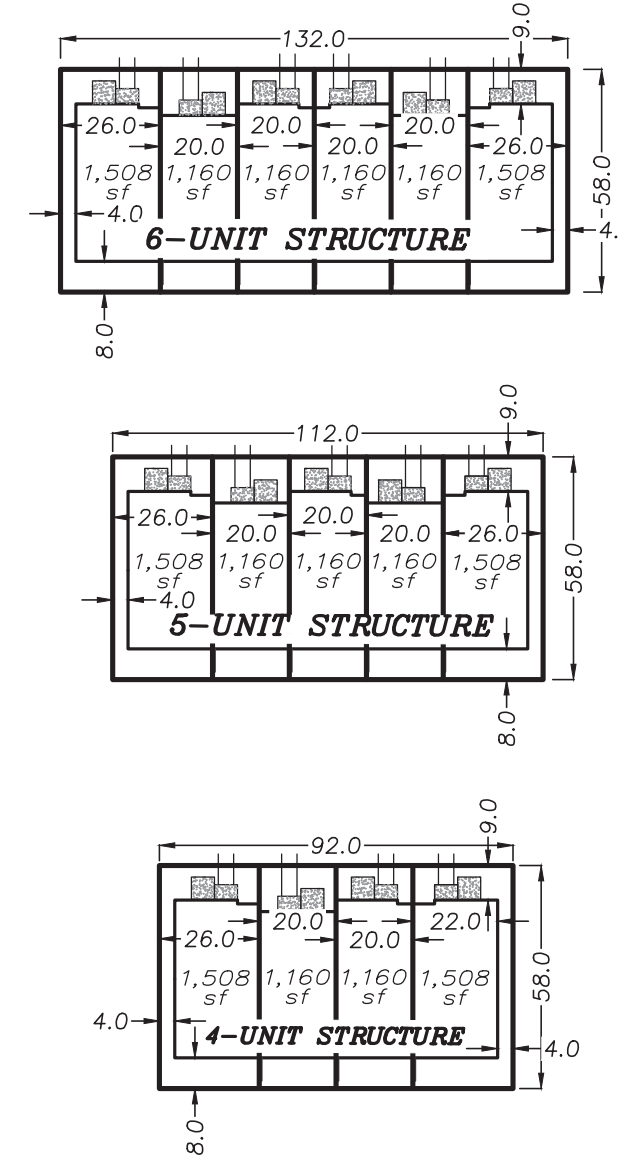
PHASE 1: UNITS 1-42 (42 UNITS) YEARS: 2023-2024
PHASE 2: UNITS 43-68 (26 UNITS) YEARS: 2024-2025



LEGEND:

- 908 — Existing Contours
- >> Existing Storm Sewer
- x 908.2 Existing Spot Elevation
- << Existing Storm Sewer
- < Existing Sanitary Sewer
- W — Existing Watermain Sewer
- T — Existing Underground Telephone
- E — Existing Underground Electric
- ~ Existing Tree Line
- - - Existing Easement Line
- - - Existing R/w Line
- - - Existing Boundary Line
- Existing Catch Basin
- Existing Manhole
- Existing Hydrant
- Existing Flared End Section
- Proposed Curb And Gutter Standard
- Proposed Curb And Gutter Tip-out
- Proposed Concrete Valley Gutter
- Proposed Concrete Light Duty Sidewalk
- Propose Lot Line
- Proposed Project Phase Line

TYPICAL LOT DIMENSION LAYOUT



INDEX OF CIVIL SITE DRAWINGS:

- C0 PROJECT LOCATION PLAN
- C1 PRELIMINARY PLAT
- C2 GRADING & DRAINAGE PLAN
- C3 SANITARY & WATER UTILITY PLAN
- C4 STORM SEWER UTILITY PLAN
- C5 SWPPP
- C6 EXISTING CONDITIONS & REMOVAL PLAN
- C7.1-7.2 PROFILES
- C8.1-C8.3 DETAILS

OWNER/DEVELOPER:

COR AT RAMSEY LLC

PO Box 302
Excelsior, MN 55331

Jason Palmby
612-220-6641
jason@palmby.com

PARKSIDE TOWNHOMES
Development Project

145th Lane NE
Ramsey, Minnesota 55303

PRELIMINARY PLAT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Date: 01/16/23 Reg. No. 24,348

PREPARED BY: **CIVIL ENGINEERING SITE DESIGN**
116 East Broadway St.
Monticello, Mn 55362
Phone: 763-314-0929
www.civiles.com

REVISIONS

DATE	DRAWN BY	DESIGNED BY	CHECKED BY
01/16/23	SD	SD	SD

FILE NO. 00866

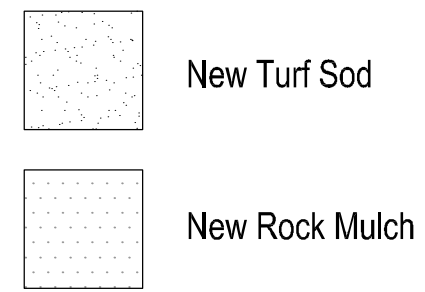
C1

Preliminary Plat

VERTICAL SCALE
1 inch = feet

HORIZONTAL SCALE
1 inch = feet
(FULL SIZE SHEET 22 X 30)

LANDSCAPE LEGEND:



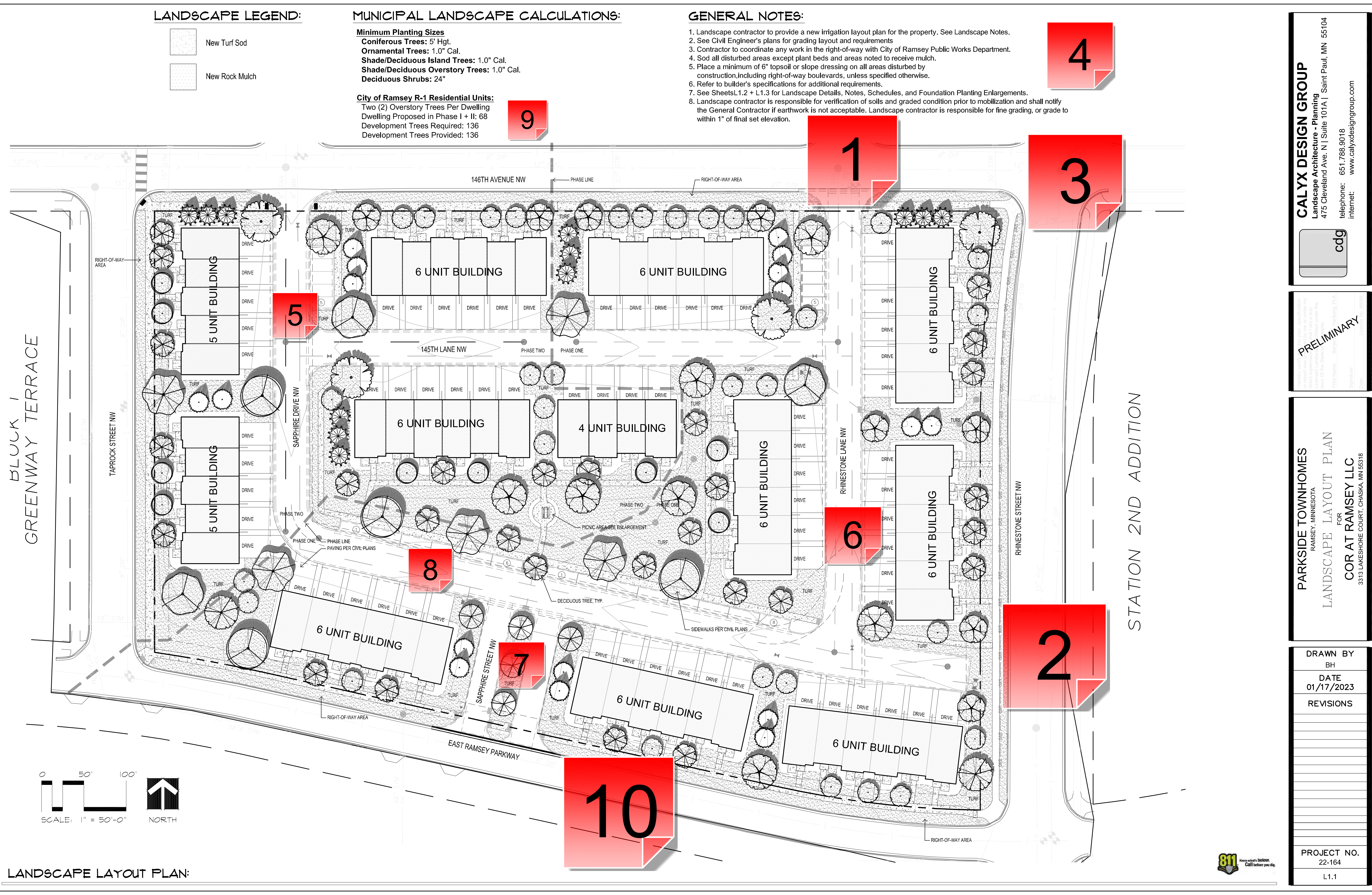
MUNICIPAL LANDSCAPE CALCULATIONS:

Minimum Planting Sizes
Coniferous Trees: 5' Hgt.
Ornamental Trees: 1.0" Cal.
Shade/Deciduous Island Trees: 1.0" Cal.
Shade/Deciduous Overstory Trees: 1.0" Cal.
Deciduous Shrubs: 24"

City of Ramsey R-1 Residential Units:
 Two (2) Overstory Trees Per Dwelling
 Dwelling Proposed in Phase I + II: 68
 Development Trees Required: 136
 Development Trees Provided: 136

GENERAL NOTES:

1. Landscape contractor to provide a new irrigation layout plan for the property. See Landscape Notes.
2. See Civil Engineer's plans for grading layout and requirements
3. Contractor to coordinate any work in the right-of-way with City of Ramsey Public Works Department.
4. Sod all disturbed areas except plant beds and areas noted to receive mulch.
5. Place a minimum of 6" topsoil or slope dressing on all areas disturbed by construction, including right-of-way boulevards, unless specified otherwise.
6. Refer to builder's specifications for additional requirements.
7. See Sheets L.1.2 + L.1.3 for Landscape Details, Notes, Schedules, and Foundation Planting Enlargements.
8. Landscape contractor is responsible for verification of soils and graded condition prior to mobilization and shall notify the General Contractor if earthwork is not acceptable. Landscape contractor is responsible for fine grading, or grade to within 1" of final set elevation.



LANDSCAPE LAYOUT PLAN:

CALYX DESIGN GROUP
 Landscape Architecture - Planning
 475 Cleveland Ave. N | Suite 101A | Saint Paul, MN 55104
 telephone: 651.788.9018
 internet: www.calyxdesigngroup.com

PRELIMINARY

PARKSIDE TOWNHOMES
 RAMSEY, MINNESOTA
 LANDSCAPE LAYOUT PLAN
 FOR
COR AT RAMSEY LLC
 3313 LAKESHORE COURT, CHASKA, MN 55318

DRAWN BY	BH
DATE	01/17/2023
REVISIONS	
PROJECT NO.	22-164
	L1.1



1 - Streetscape Plantings

Status as of 01/19/2023 08:14 AM

Type: Action

State: For Discussion

Created by: Chris Anderson

On: 01/19/2023 08:14 AM

Type: Action

State: For Discussion

The COR District emphasizes an attractive streetscape, including boulevard trees and street furniture. Please review the street tree and street furniture sections of the COR Design Framework, beginning on page 83:
<https://www.ci.ramsey.mn.us/DocumentCenter/View/669/The-COR-Design-Framework-PDF?bidId=#page83>

----- 0 Replies -----

2 - Street Hierarchy and Tree Species

Created by: Chris Anderson

On: 01/19/2023 08:15 AM

Per the Street Hierarchy, Rhinestone Street is categorized as a Connector Street and Ramsey Parkway is categorized as a Parkway Street. The other 2 streets are categorized as Local Streets. This is needed to determine appropriate tree species in the boulevards.

----- 0 Replies -----

3 - Blvd Tree Spacing

Created by: Chris Anderson

On: 01/19/2023 08:23 AM

Blvd trees shall be spaced at 35 feet on center.

----- 0 Replies -----

4 - Topsoil

Created by: Chris Anderson

On: 01/19/2023 08:24 AM

Add (or modify existing) note that all disturbed areas not otherwise improved with impervious surfacing shall have four (4) inches of topsoil, with not more than 35% sand content. Topsoil inspection is required PRIOR to installing sod and trees.

----- 0 Replies -----

5 - Street Name

Created by: Chris Anderson

On: 01/19/2023 08:48 AM

Update Street name to Sapphire Way.

----- 0 Replies -----

6 - Street Name

Created by: Chris Anderson

On: 01/19/2023 08:49 AM

Update Street name to Rhinestone Terrace NW

----- 0 Replies -----

7 - Street Name

Created by: Chris Anderson

On: 01/19/2023 08:49 AM

Update Street name to Sapphire Lane NW.

----- 0 Replies -----

8 - Street Name

Created by: Chris Anderson

On: 01/19/2023 08:51 AM

Add street name of 145th Place NW.

----- 0 Replies -----

9 - Planting Requirements

Created by: Chris Anderson

On: 01/19/2023 08:52 AM

The R-1 planting standards are not applicable to this project. This project is more similar to R-3, you can refer to those standards here:

https://library.municode.com/mn/ramsey/codes/code_of_ordinances?nodeId=PTIICORR_CH117Z_OSU_ARTIIZO_DIV6PEST_SDIINGE_S117-364LA

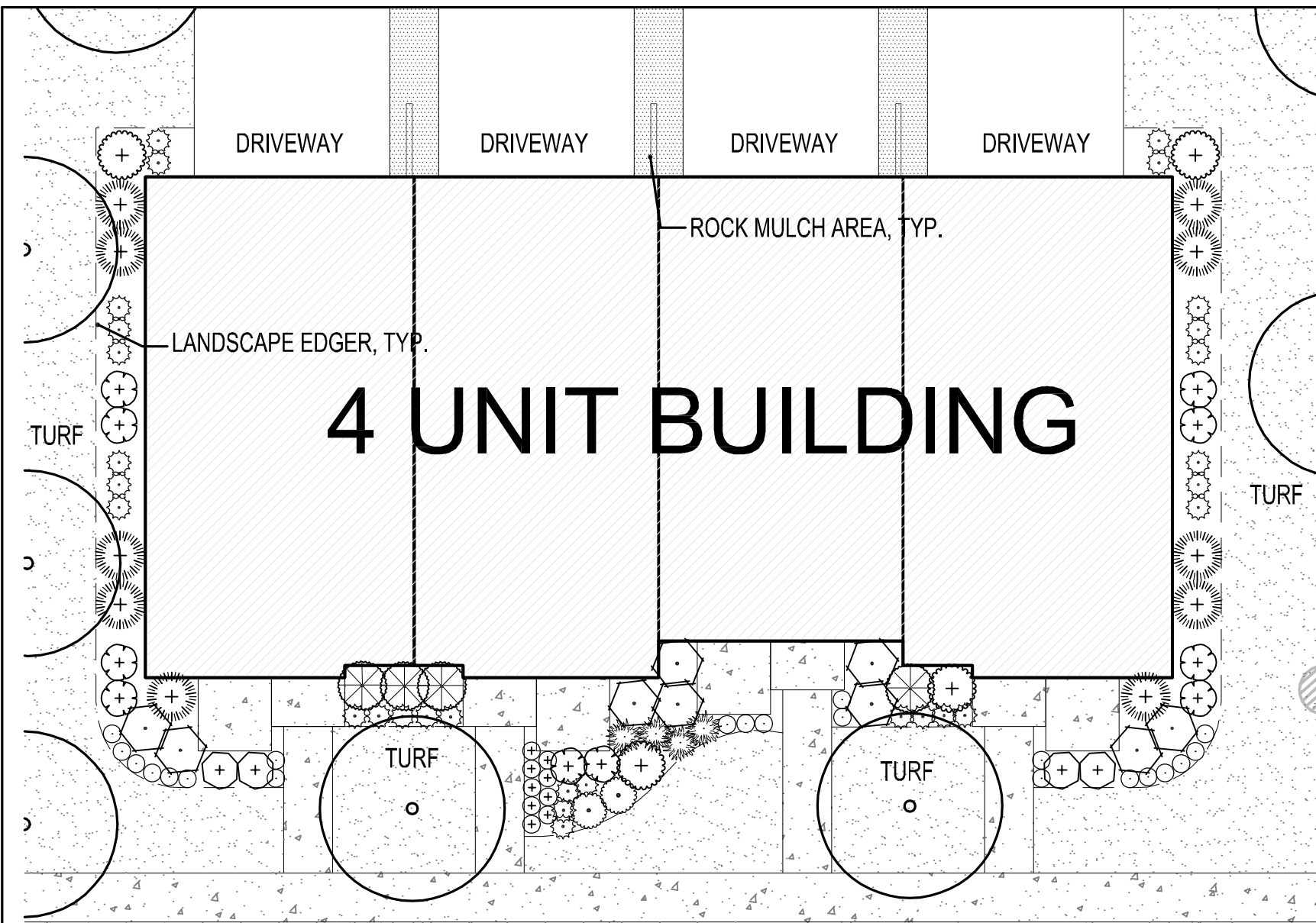
----- 0 Replies -----

10 - Street Furniture

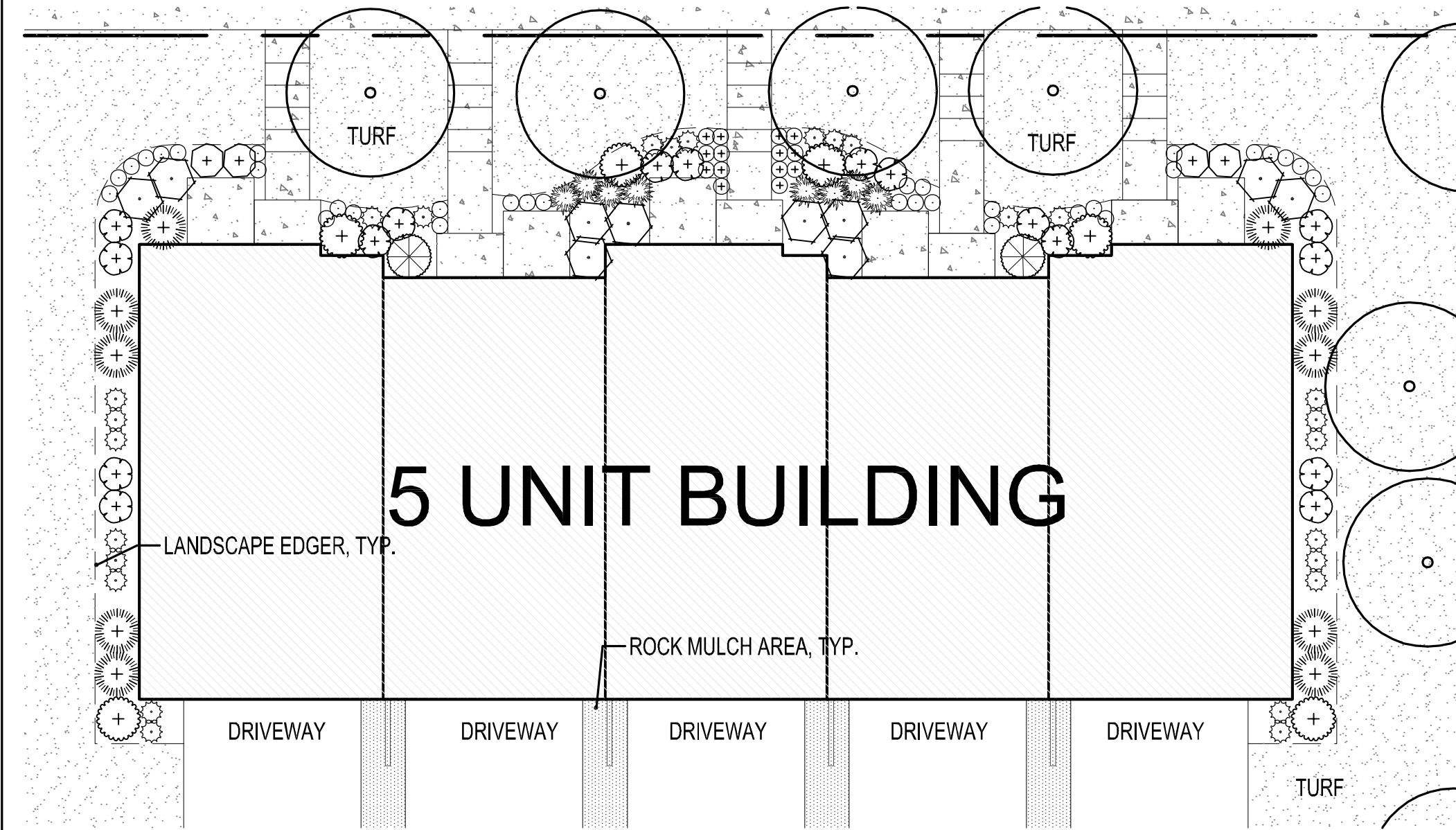
Created by: Chris Anderson

On: 01/19/2023 09:03 AM

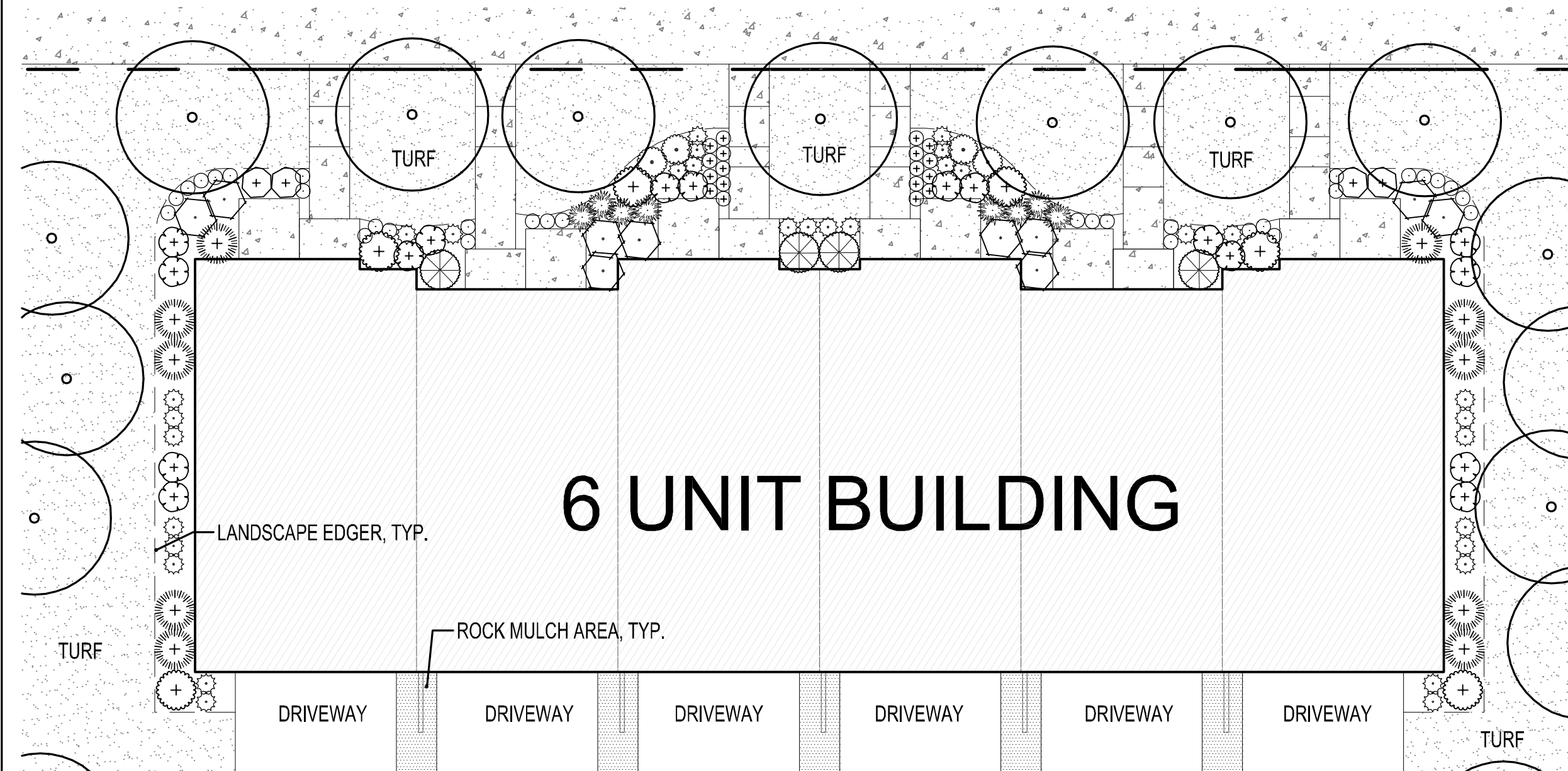
Per the Design Framework, street furniture, such as bike racks, trash receptacles, and benches are required along Parkway streets. City Staff would suggest that these be installed on the south side of Ramsey Parkway, adjacent to The Draw park, rather than in front of the 3, 6-unit buildings. Please coordinate with City Staff as there are specific models of each of the furniture sites that are acceptable.



TYPICAL 4 UNIT FOUNDATION PLANTING PLAN:



TYPICAL 5-UNIT FOUNDATION PLANTING PLAN:



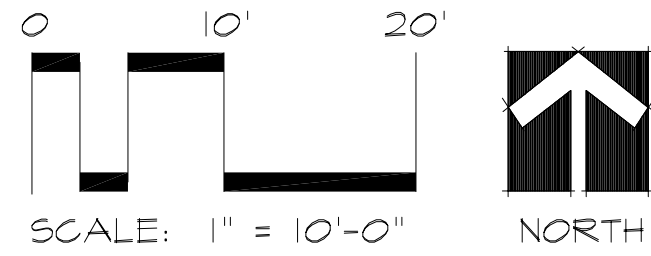
TYPICAL 6-UNIT FOUNDATION PLANTING PLAN:



GENERAL NOTES:

1. Landscape contractor to provide a new irrigation layout plan for the property. See landscape note #17.
2. See Civil Engineer's plans for grading layout and requirements.
3. Contractor to coordinate any work in the right-of-way with City of Ramsey Public Works Department.
4. Sod all disturbed areas except plant beds and areas noted to receive mulch.
5. Place a minimum of 6" topsoil or slope dressing on all areas disturbed by construction, including right-of-way boulevards, unless specified otherwise.
6. Refer to builder's specifications for additional requirements.
7. See Sheet L1.1 for development landscape layout plan.
8. Landscape contractor is responsible for verification of soils and graded condition prior to mobilization and shall notify the General Contractor if earthwork is not acceptable. Landscape contractor is responsible for fine grading, or grade to within 1" of final set elevation.

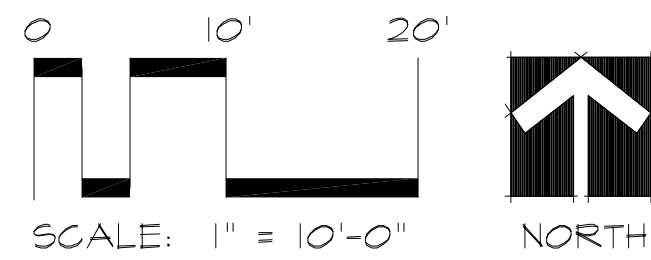
REFER TO LAYOUT PLAN SHEETS FOR TREE LOCATIONS



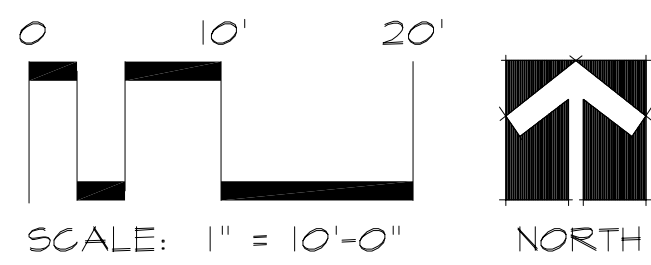
LANDSCAPE LEGEND:

- New Turf Sod
- New Rock Mulch

REFER TO LAYOUT PLAN SHEETS FOR TREE LOCATIONS

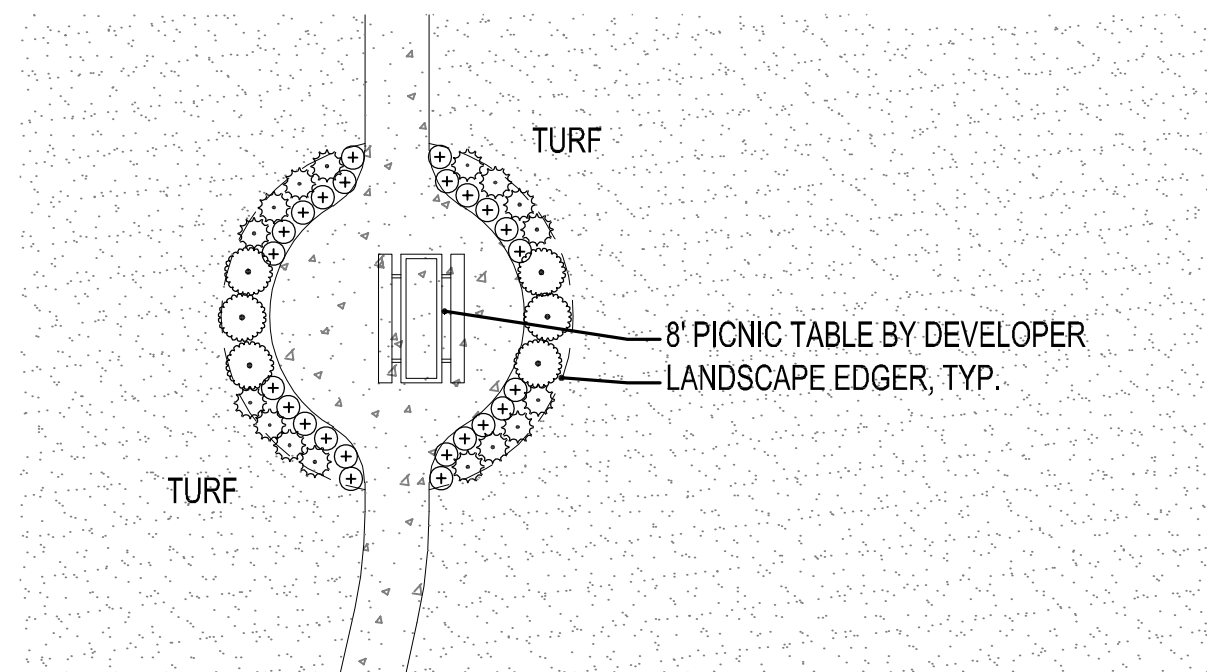


REFER TO LAYOUT PLAN SHEETS FOR TREE LOCATIONS

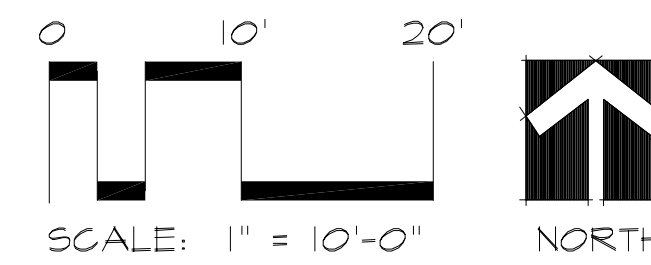


PLANT SCHEDULE

EVERGREEN TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	PD	<i>Picea glauca</i> 'Densata'	Black Hills Spruce	5' Ht.	B&B	17
	SP	<i>Pinus sylvestris</i>	Scotch Pine	5' Ht.	B&B	12
OVERSTORY TREE	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	AR	<i>Acer rubrum</i>	Red Maple	2" Cal.	B&B	2
	AS	<i>Acer x freemanii</i> 'Sienna'	Sienna Glen Maple	1.5" Cal.	B&B	4
	BR	<i>Betula nigra</i>	River Birch	1.5" Cal.	B&B	3
	BF	<i>Betula platyphylla</i> 'Fargo'	Dakota Pinnacle® Asian White Birch	1.5" Cal.	B&B	9
	CO	<i>Celtis occidentalis</i>	Common Hackberry	2" Cal.	B&B	4
	GI	<i>Gleditsia triacanthos inermis</i> 'Skycole'™	Skyline Thornless Honey Locust	1.5" Cal.	B&B	8
	QE	<i>Quercus ellipsoidalis</i>	Northern Pin Oak	1.5" Cal.	B&B	8
	QC	<i>Quercus robur x alba</i> 'Crimschmidt'	Crimson Spire™ Oak	1" Cal.	B&B	17
	QR	<i>Quercus rubra</i>	Northern Red Oak	1.5" Cal.	B&B	5
ORNAMENTAL TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	CC	<i>Crataegus laevigata</i> 'Crimson Cloud'	Crimson Cloud Hawthorn	1" Cal.	B&B	14
	MS	<i>Malus x</i> 'Spring Snow'	Spring Snow Crab Apple	1" Cal.	B&B	28
	SI	<i>Syringa reticulata</i> 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	1" Cal.	B&B	5
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	Am	<i>Aronia melanocarpa</i> 'Morton'™	Iroquois Beauty Black Chokeberry	5 gal.	Pot	70
	Cr2	<i>Clethra alnifolia</i> 'Ruby Spice'	Ruby Spice Clethra	5 gal.	Pot	186
	Cr	<i>Cornus alba</i> 'Regnzam'	Red Gnome Dogwood	5 gal.	Pot	119
	DI	<i>Diervilla lonicera</i>	Dwarf Bush Honeysuckle	3 gal.	Pot	44
	Jf	<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper	5 gal.	Pot	120
	Sm3	<i>Spiraea x bumalda</i> 'Goldmound'	Gold Mound Spirea	5 gal.	Pot	48
	Tt2	<i>Thuja occidentalis</i> 'Techny Globe'	Techny Globe Arborvitae	5 gal. (Min. 18" Height)	Pot	44
ANNUALS/PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	Hr	<i>Hemerocallis x</i> 'Ruby Stella'	Ruby Stella Daylily	1 gal.	Pot	223
	Ho	<i>Hemerocallis x</i> 'Stella de Oro'	Stella de Oro Daylily	1 gal.	Pot	377
	Nr	<i>Nepeta racemosa</i> 'Walker's Low'	Catmint	1 gal.	Pot	92
GRASSES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	Ck	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Feather Reed Grass	1 gal.	Pot	385



REFER TO LAYOUT PLAN SHEETS FOR TREE LOCATIONS



PICNIC AREA ENLARGEMENT:

CALYX DESIGN GROUP
 Landscape Architecture - Planning
 475 Cleveland Ave. N | Suite 101A | Saint Paul, MN 55104
 telephone: 651.788.9018
 internet: www.calyxdesigngroup.com

PRELIMINARY

PARKSIDE TOWNHOMES
 RAMSEY, MINNESOTA
 LANDSCAPE DETAILS
 FOR
COR AT RAMSEY LLC
 3313 LAKESHORE COURT, CHASKA, MN 55318

DRAWN BY BH
DATE 01/17/2023
REVISIONS
PROJECT NO. 22-164
L1.2

1 - Topsoil Requirement

Created by: Chris Anderson
On: 01/19/2023 08:28 AM

City Code requires a minimum of four (4) inches of topsoil applied to all disturbed areas not otherwise improved with impervious surfacing. Topsoil shall consist of not more than 35% sand content.

----- 0 Replies -----

2 - Shrub Size

Created by: Chris Anderson
On: 01/19/2023 08:34 AM

Modify Planting Schedule to specify that minimum size of shrubs at installation is 24 inches in height.

----- 0 Replies -----

LANDSCAPE NOTES + REQUIREMENTS:

- Landscape contractor to provide nursery pull list (bill of lading) including plant species and sizes shipped to the site. Additionally, the landscape contractor shall provide nursery stock traceability, proving none of the materials provided contain or are genetic strains of the neonicotinoid family including acetamiprid, clothianidin, imidacloprid, nitenpyram, nithiazine, thiacloprid and thiamethoxam.
- Refer to civil plan sheets for grading, drainage, site dimensions, survey, tree removal, proposed utilities & erosion control.
- All plant material shall comply with the latest edition of the American Standard for Nursery Stock, American Association of Nurserymen. Unless noted otherwise, deciduous shrubs shall have at least 5 canes at the specified shrub height. Plant material shall be delivered as specified. All deciduous trees are measured at 48" from finished grade to determine tree diameter (DBH). All coniferous trees are measured from finished grade to the top of the central leader. If no central leader is present on coniferous trees, that plant is rejected and must be replaced immediately.
- Plan takes precedence over plant schedule if discrepancies in quantities exist.
- All proposed plants shall be placed as close to the location(s) indicated on the plan as possible. Contact the landscape architect if discrepancies arise during plant installation that require deviating location(s) from those shown on the plans.
- Adjustment in location of proposed plant material may be needed in field. Should an adjustment be required, the client will provide field approval. Significant changes may require city review and approval.
- The project landscape contractor shall be held responsible for watering and properly handling all plant materials brought on the site both before and after installation. Schedule plant deliveries to coincide with expected installation time within 36 hours.
- All plant materials shall be fertilized upon installation as specified.
- The landscape contractor shall provide the owner with a watering schedule appropriate to the project site conditions and to plant material growth requirements.
- If the landscape contractor is concerned or perceives any deficiencies in the plant selections, soil conditions, drainage or any other site condition that might negatively affect plant establishment, survival or guarantee, they must bring these deficiencies to the attention of the landscape architect & client prior to bid submission. Plant bed drainage concerns during plant installation shall be brought to the attention of the Owner and General Contractor immediately.
- Contractor shall establish to his/ her satisfaction that soil and compaction conditions are adequate to allow for proper drainage at and around the building site.
- Contractor is responsible for ongoing maintenance of all newly installed material for the duration of the plant warranty, with the exception of turf sod, which shall be maintained for 30 days after installation or until the first mowing, whichever comes first. Contractor must bag clippings from initial mowing and remove from the job site. Any acts of vandalism or damage which may occur prior to warranty start shall be the responsibility of the contractor. Contractor shall provide the owner with O&M information, including (but not limited to), written instructions on proper lawn mowing height, yearly lawn maintenance recommendations, proper plant pruning information, plant & lawn fertilization schedule, and disease/pest control.
- The contractor shall guarantee newly planted material through one calendar year from the date punch list review. Plants that exhibit more than 20% die-back damage shall be replaced at no additional cost to the owner. The contractor shall also provide adequate tree wrap and deer/rodent protection measures for the plantings during the warranty period.
- This layout plan constitutes our understanding of the landscape requirements listed in the ordinance. Changes and modifications may be requested by the city based on applicant information, public input, council decisions, etc.
- The landscape contractor shall be responsible for obtaining any permits and coordinating inspections required throughout the work process.
- Plant size & species substitutions must be approved in writing prior to acceptance in the field.
- Irrigation: The landscape contractor shall furnish a complete irrigation layout plan for review. Design for head-to-head coverage of all landscaped areas. Include underground sleeve locations, irrigation connection location within the building, and locations of all heads, lateral lines, main lines, valves, & controls. Include a wired rain sensor per state plumbing code.
- Landscape Contractor is responsible for coordination with the General Contractor, to protect the new improvements on and off-site during landscape work activities. Report any damage to the General Contractor immediately.
- All plant beds and trees located outside of plant bed limits to receive Western Red Cedar wood mulch to a depth of 4-inches. Wood mulch tree rings per details. Submit mulch sample for Owner approval. Top dress wood mulch areas with Preen pre-emergent granule to prevent emergent weeds.
- Edger to be 16 GA Plated Finish Perforated Edger, Coyote or Equal. Stake every 18" minimum. Submit sample for approval.
- All planting areas shall be prepared prior to installation activities with clean, imported loam topsoil. Provide a firm planting bed free of stones, sticks, construction debris, etc.
- The Landscape Contractor shall furnish samples of all landscape materials for approval prior to installation.
- The Landscape Contractor shall clear and grub the underbrush from within the work limits to remove dead branches, leaves, trash, weeds and foreign materials.
- The landscape contractor shall contact Gopher State One Call no less than 48 hours before digging for field utility locations.
- The landscape contractor shall be responsible for the removal of erosion control measures once vegetation has been established to the satisfaction of the municipal staff. This includes silt curtain fencing and sediment logs placed in the landscape.
- The landscape contractor shall be responsible for visiting the site to become familiar with the conditions prior to bidding and installation. Coordinate with the general contractors on matters such as fine grading, landscaped area conditions, staging areas, irrigation connection to building, etc.
- Construction materials, stockpiles, equipment, and vehicles shall not be stored or operated on city boulevards without written permission from the city. Restore disturbed areas off-site to original condition.
- All sub-cut areas of the site that are designated on the site plan as open space for landscape shall be graded with imported, pulverized topsoil. Slope away from building. See note 29 below.
- Landscape contractor must prove the open sub-grade of all planting areas after their excavation is capable of infiltrating a minimum requirement of 1/4-inch of water per hour prior to installation of plant materials, topsoil, irrigation, weed mat, and mulch. Planting areas not capable of meeting this requirement shall have 4" diameter X 48" depth holes augured every 36" on-center and filled with MnDOT Free-Draining Coarse Filter Aggregate. Re-test sub-grade percolation for compliance to infiltration minimum requirement.
- Fencing (if noted) per Architect's Plans and Specifications.
- Grind or excavate existing stumps (if present) to 30" below grade & backfill with imported topsoil.
- Rock Mulch: Where noted on the plans, rock mulch shall be 3" depth of .75" dia. crushed buff limestone rock over 5oz, needle-punch free-draining landscape mat. Bryan Rock or equal. Overlap seams 6" and staple every 16" on-center.
- Landscape Contractor and Excavator shall be responsible for providing 6" depth topsoil under turf areas, 18" depth topsoil in plant beds and 24" in tree pits. See civil engineer's plans for grading, erosion control, and final grade elevations.

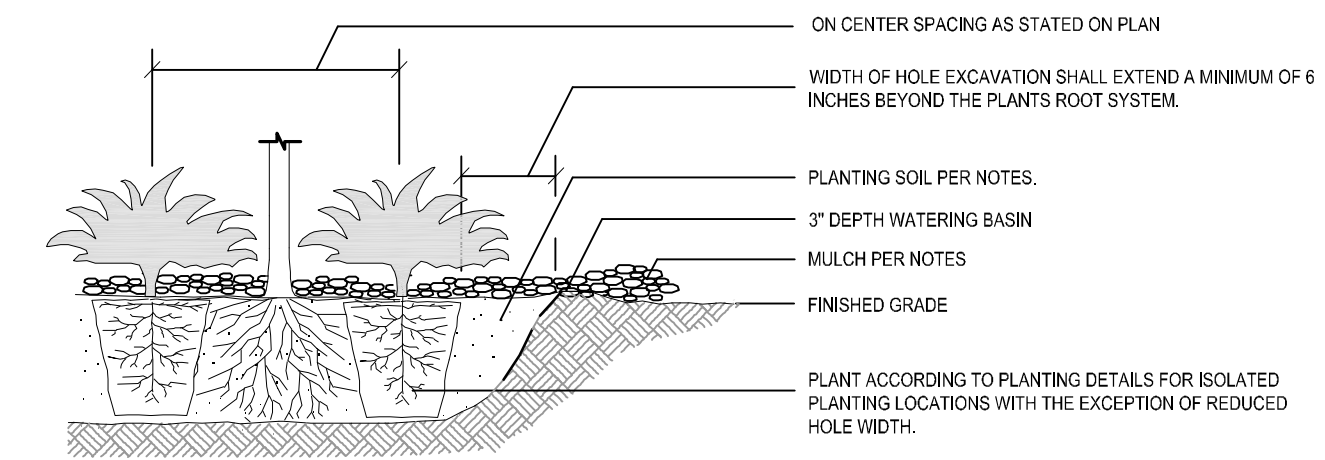
IRRIGATION NOTES + REQUIREMENTS:

- LAYOUT WORK AS ACCURATELY AS POSSIBLE TO THE CONTRACTOR PROVIDED AND OWNER-APPROVED IRRIGATION LAYOUT PLANS. THE CONTRACTOR MAY MAKE MINOR ADJUSTMENTS TO THE LOCATION AND SPACING AS NECESSARY TO ACCOMMODATE ACTUAL CONDITIONS. HEAD LOCATIONS SHALL BE FLAGGED AND REVIEWED BY THE OWNER'S REP. PRIOR TO INSTALLATION.
- COORDINATE SLEEVING AND IRRIGATION PIPE / HEAD / INTERNAL PLUMBING INSTALLATION WITH THE WORK OF OTHERS.
- ALL MATERIALS SHALL BE INSTALLED AS DETAILED ON DRAWINGS. (HOWEVER, IF THE CONTRACT DRAWINGS AND/OR SPECIFICATIONS DO NOT THOROUGHLY DESCRIBE THE METHOD OR TECHNIQUES TO BE USED, THE CONTRACTOR SHALL FOLLOW THE INSTALLATION METHODS ISSUED BY THE MANUFACTURER. ALL SUCH LITERATURE MUST BE SUBMITTED 2 WEEKS PRIOR TO INSTALLATION FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT.)
- CHECK AND VERIFY ALL EXISTING AND PROPOSED SITE CONDITIONS, UTILITIES AND SERVICES PRIOR TO TRENCHING.
- LATERAL PIPING TO BE A MINIMUM OF 12 INCHES DEEP AND MAINLINES A MINIMUM OF 18 INCHES DEEP.
- ALL MAIN LINE PIPING AND LATERAL PIPE OF 1-1/2" AND LARGER SHALL BE PVC (SDR 26 / CLASS 160). ALL OTHER LATERAL PIPE OF 1-1/4" AND SMALLER MAY BE POLYETHYLENE, UNLESS OTHERWISE NOTED ON THE PLANS. BUILDING CONNECTIONS ARE TO BE COPPER. TRACER WIRE IS REQUIRED ON ALL MAIN AND LATERAL LINES. SLEEVE LOCATIONS ARE TO BE MARKED ON THE SIDEWALK OR CURB, SO THEY CAN BE FOUND AFTER FINE GRADING.
- ALL TEES AND ELBOWS ON MAIN LINES SHALL BE PVC (160 PSI).
- IRRIGATION EQUIPMENT SHALL HUNTER, RAINBIRD, OR TORO BRAND HEADS, VALVES, AND ROTORS.
- ADJUST HEADS FOR GRADE, AS NECESSARY, AFTER TURF GRASS HAS BEEN ESTABLISHED AND ALL SETTLEMENT AT HEADS HAS OCCURRED.
- SUBMIT IRRIGATION PRODUCT DATA TO OWNER FOR REVIEW AND APPROVAL.
- USE TEFLON TAPE ON ALL THREADED JOINTS.
- CONDUCT PERFORMANCE TEST IN THE PRESENCE OF OWNER FOLLOWING COMPLETION OF SYSTEM INSTALLATION.
- CONDUCT AND DEMONSTRATE WINTERIZATION AND SPRING START-UP PROCESS TO OWNER IN THE FALL OF COMPLETION.
- IRRIGATION LINE LOCATIONS SUBJECT TO CHANGE IN THE FIELD, AS CONTRACTOR DEEMS NECESSARY.
- OVER-SPRAY OF THE IRRIGATION SYSTEM ON TO ADJACENT WALKS AND ASPHALT PAVING IS NOT ACCEPTABLE. DO NOT INSTALL ANY IRRIGATION EQUIPMENT OUTSIDE OF THIS PROPERTY LIMITS, UNLESS APPROVED BY THE CITY.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING A COMPLETE IRRIGATION LAYOUT PLAN SET AND SUBMITTING TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF FIELD INSTALLATION.
- SUBMIT LAYOUT PLAN AND PRODUCT DATA TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- IRRIGATION BID SHALL INCLUDE (1) FALL SHUT-DOWN AND (1) SPRING START-UP.
- PROVIDE THE OWNER WITH AN AS-BUILT PLAN, INCLUDING THE EXISTING SYSTEM AS WELL AS NEWLY INSTALLED MATERIALS.
- IRRIGATION CONTRACTOR TO VERIFY WATER PRESSURE FOLLOWING CONSTRUCTION OF THE BUILDING UTILITIES. ADJUSTMENT OF PIPE AND VALVE SIZES MAY BE REQUIRED, BASED ON ACTUAL GPM AND PSI AVAILABLE.
- PROVIDE A PRINTED 8.5X11 MAP OF ALL ZONES AFTER NEW CONTROLLER IS WIRED AND TESTED.
- IRRIGATION MECHANICALS TO INCLUDE DOMESTIC WATER BRASS OR BRONZE GATE (BALL) VALVE, DEDUCT WATER METER, IRRIGATION BACKFLOW DEVICE, AND BOTH A QUICK COUPLE VALVE IMMEDIATELY OUTSIDE THE FOUNDATION ON THE MAIN AND A BOILER DRAIN WITH RUBBER HOSE ROUTED TO FLOOR DRAIN, FOR WINTERIZATION.
- ALL IRRIGATION EQUIPMENT REQUIRED FOR OPERATION IS TO BE FURNISHED AND INSTALLED BY THE IRRIGATION CONTRACTOR AND THEIR LICENSED PLUMBING SUB-CONTRACTOR. THIS INCLUDES SLEEVING THROUGH FOUNDATION WITH WATERSTOPS, FOR IRRIGATION MAIN ROUTING TO THE LANDSCAPE.

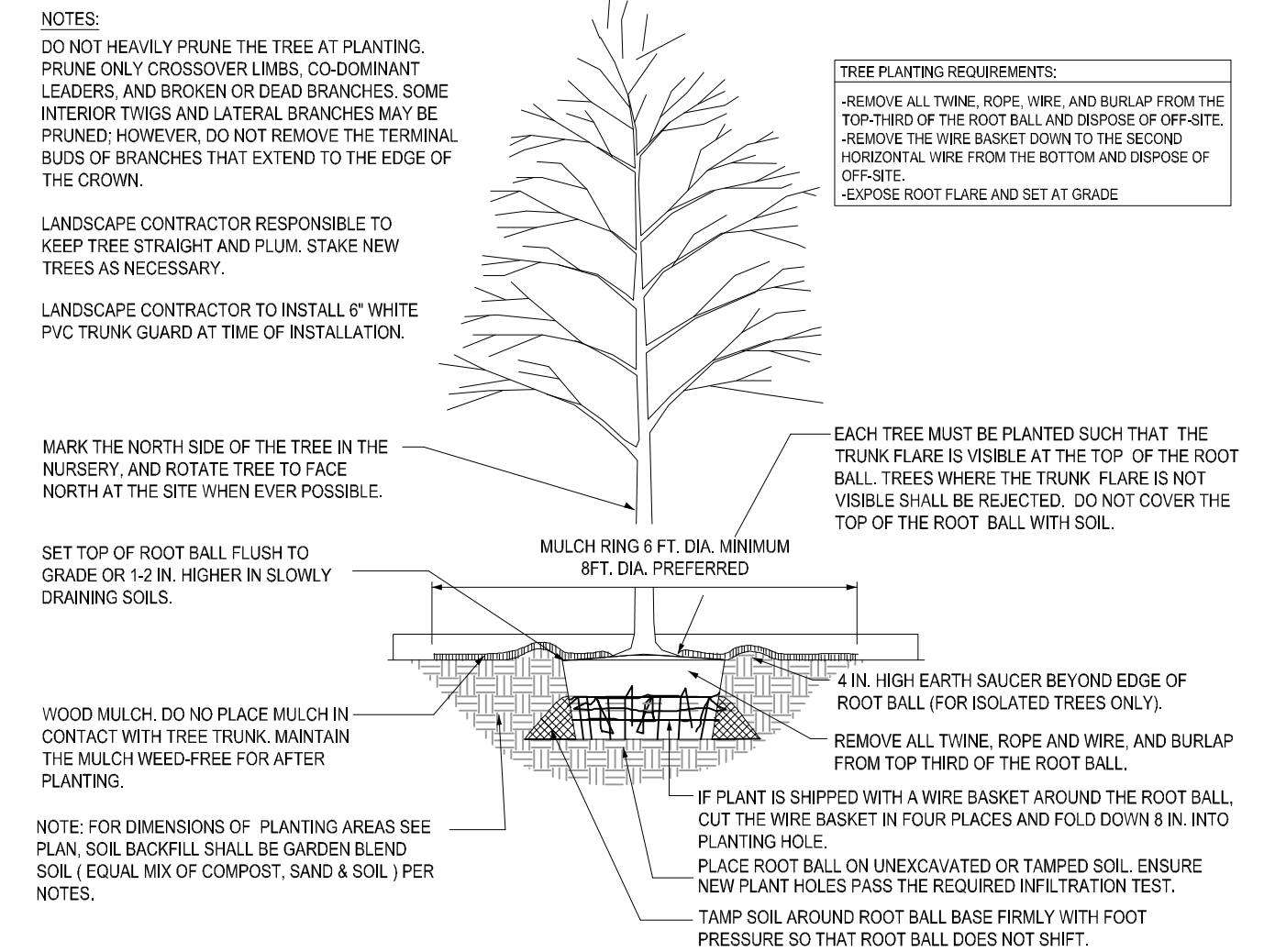
GENERAL NOTES:

- Landscape contractor to provide a new irrigation layout plan for the property. See landscape note #17.
- See Civil Engineer's plans for grading layout and requirements
- Contractor to coordinate any work in the right-of-way with City of Ramsey Public Works Department.
- Sod all disturbed areas except plant beds and areas noted to receive mulch.
- Place a minimum of 6" topsoil or slope dressing on all areas disturbed by construction, including right-of-way boulevards, unless specified otherwise.
- Refer to builder's specifications for additional requirements.
- See Sheet L1.1 for development landscape layout plan.
- Landscape contractor is responsible for verification of soils and graded condition prior to mobilization and shall notify the General Contractor if earthwork is not acceptable. Landscape contractor is responsible for fine grading, or grade to within 1" of final set elevation.

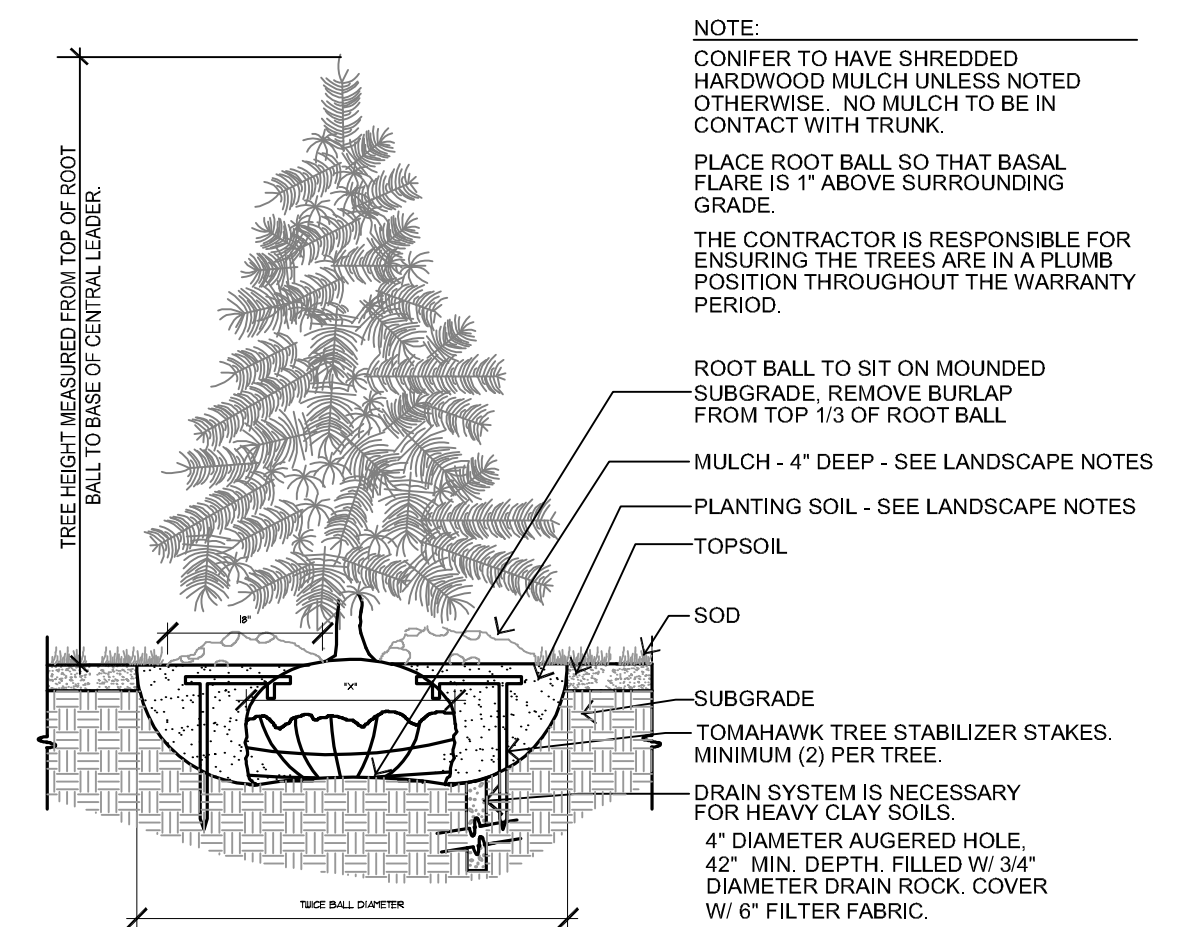
DETAILS, NOTES, AND SCHEDULES:



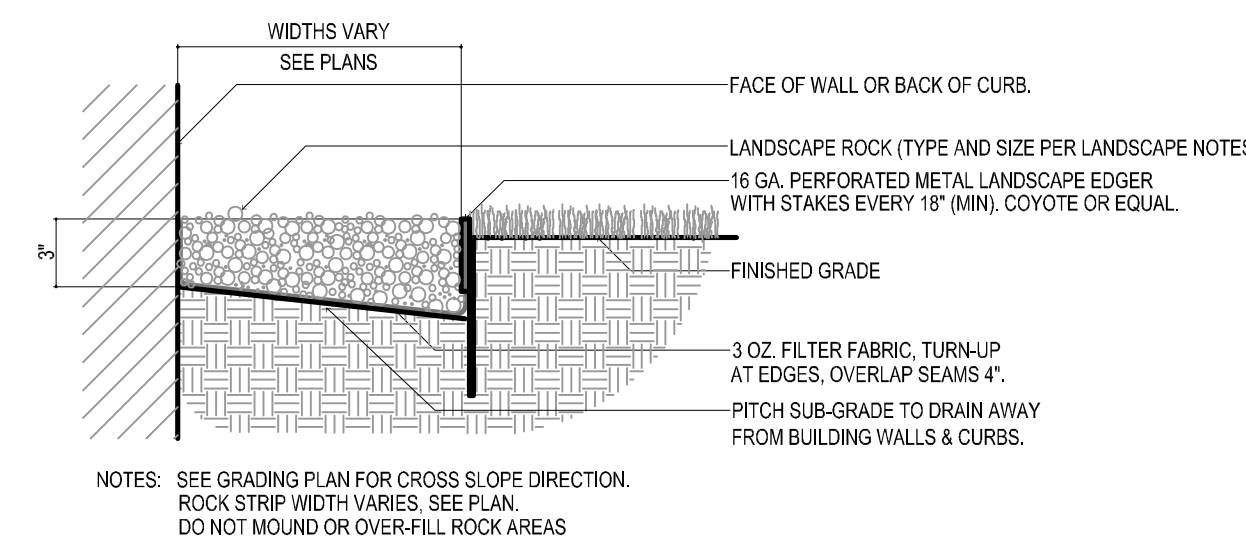
1 TYP. SHRUB PLANTING - SECTION
L1.3 NOT TO SCALE



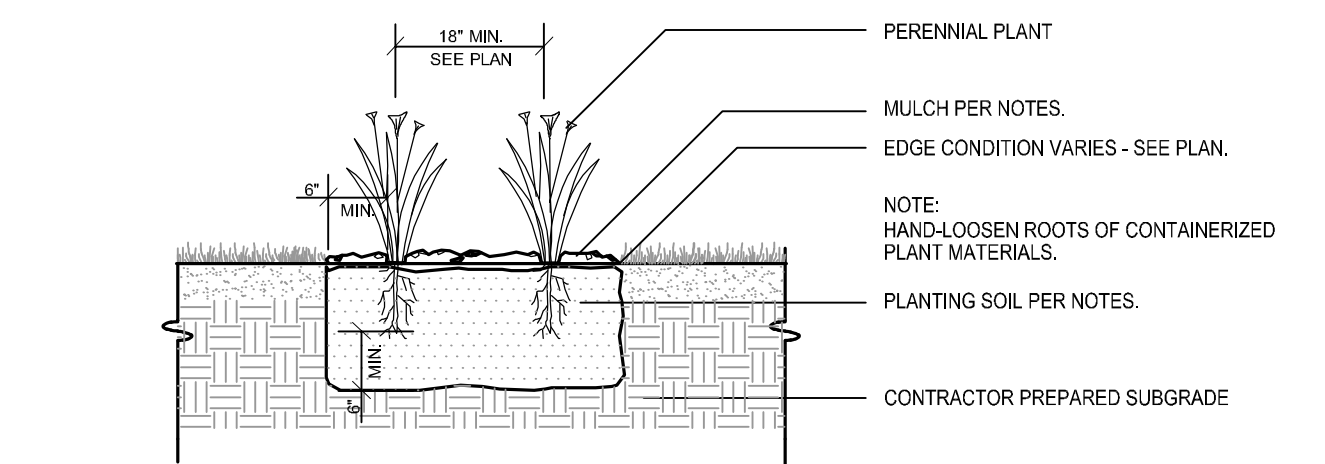
2 DECIDUOUS TREE PLANTING - SECTION
L1.3 NOT TO SCALE



3 CONIFEROUS TREE PLANTING - SECTION
L1.3 NOT TO SCALE

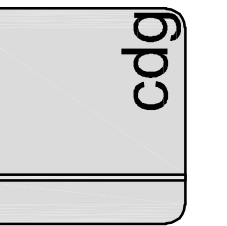


4 ROCK MAINTENANCE STRIP DETAIL
L1.3 NOT TO SCALE



5 TYP. PERENNIAL PLANTING DETAIL
L1.3 NOT TO SCALE

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PRELIMINARY

PARKSIDE TOWNHOMES
RAMSEY, MINNESOTA
LANDSCAPE DETAILS
FOR
COR AT RAMSEY LLC
3313 LAKESHORE COURT, CHASKA, MN 55318

DRAWN BY

BH

DATE
01/17/2023

REVISIONS

PROJECT NO.

22-164

L1.3



1 - Warranty Information

Created by: Chris Anderson
On: 01/19/2023 08:38 AM

The required Development Agreement will specify that all plantings are subject to a two (2) year Maintenance Guarantee.

----- 0 Replies -----

2 - Substitutions

Created by: Chris Anderson
On: 01/19/2023 08:40 AM

Any substitutions to either species or size must receive approval from the City prior to installation. Modify Note #16 to include this language.

----- 0 Replies -----

3 - Irrigation Requirement

Created by: Chris Anderson
On: 01/19/2023 08:44 AM

Add an Irrigation Note that specifies that the irrigation system must include a rain sensor AND water efficient technology, such as a smart controller.

----- 0 Replies -----

Town Center Tree Survey

Project Location-Ramsey, MN

Legend



Google Earth



1000 ft

Town Center Tree Survey

Tree Survey Results

Legend

Tree 02

Tree 01

Google Earth

400 ft



