

City of Ramsey
Agenda
Environmental Policy Board (EPB)
Monday, June 12, 2023
6:30 pm
Council Chambers, 7550 Sunwood Drive NW

Remote Attendance available at www.cityoframsey.com/meetings.
Those joining remotely and requesting to speak are asked to use a webcam when speaking.

1. **Call to Order**

2. **Citizen Input**

3. **Approve Agenda**

4. **Approve Minutes**
 1. Approve Meeting Minutes Dated May 15, 2023

5. **Policy Board Business**
 1. Consider Natural Resources Aspects of Proposed Site Plan for Aldi (Project No. 23-105)

 2. Consider Natural Resources Aspects of Proposed Site Plan and Plat for Bunker Lake Industrial Park (Project No. 23-106); Case of PSD, LLC

6. **Board/Staff Input**
 1. Update: COR Tree Clearing

 2. Small Scale Recycling Center Possibilities

7. **Adjournment**

Environmental Policy Board (EPB)

4. 1.

Meeting Date: 06/12/2023

By: Chris Anderson, Community Development

Information

Title:

Approve Meeting Minutes Dated May 15, 2023

Action:

Motion to approve the meeting minutes dated May 15, 2023.

Attachments

Meeting Minutes Dated May 15, 2023

Form Review

Inbox

Brian Hagen

Form Started By: Chris Anderson

Final Approval Date: 06/08/2023

Reviewed By

Brian Hagen

Date

06/08/2023 08:44 AM

Started On: 06/06/2023 12:02 PM

**ENVIRONMENTAL POLICY BOARD
CITY OF RAMSEY
ANOKA COUNTY
STATE OF MINNESOTA**

On Monday, May 15, 2023, the Environmental Policy Board (EPB) met in the Council Chambers at the Ramsey Municipal Center, 7550 Sunwood Drive N.W., Ramsey, Minnesota.

Members Present: Chairperson Laura Moore
 Board Member Melissa Fetterley
 Board Member Thomas Hagerty
 Board Member Hassan Salami
 Board Member Jessica Vikander

Members Absent: Board Member Reid Bernard

Also Present: Senior Planner Chris Anderson
 Council Liaison Chelsee Howell

1. CALL TO ORDER

Chairperson Moore called the meeting to order at 6:30 p.m.

2. CITIZEN INPUT

None.

3. APPROVE AGENDA

Motion by Board Member Fetterley and seconded by Board Member Vikander to approve the agenda as submitted.

Motion carried. Voting Yes: Chairperson Moore, Board Member Fetterley, Vikander, Hagerty, and Salami. Voting No: None. Absent: Board Member Bernard.

4. APPROVE MINUTES

4.01: Approve Meeting Minutes Dated April 17, 2023

Motion by Board Member Vikander and seconded by Board Member Hagerty to approve the regular meeting minutes dated April 17, 2023.

Motion carried. Voting Yes: Chairperson Moore, Board Member Vikander, Hagerty, Fetterley, and Salami. Voting No: None. Absent: Board Member Bernard.

5. POLICY BOARD BUSINESS

5.01: In Memory of Environmental Policy Board Member Michael Hiatt

Senior Planner Anderson commented that Michael Hiatt passed away on April 26, 2023. He commented that Mr. Hiatt served on the EPB since 2012, had a passion for giving back to the community and was always interested in getting out into the community to improve environmental awareness. He will be greatly missed, and the Board and staff wish to recognize him for all he has done for the community and as a member of the EPB.

Chairperson Moore agreed that he will be greatly missed, noting that Mr. Hiatt was a high school teacher of hers as well.

Board Member Fetterley commented that it was always a delight to work with Mr. Hiatt and he will be missed, noting that he was a great advocate not only for the EPB but for students and the schools.

Councilmember Howell commented that Mr. Hiatt will be greatly missed.

5.02: Consider Natural Resources Aspects of Proposed Site Plan for CorTrust Bank (Project No. 23-104)

Senior Planner Anderson presented the staff report. He stated that the City has received an application from CorTrust Bank for a proposed new bank to be located at the northeast corner of Zeolite Street and Sunwood Drive. The application includes a Site Plan, Plat and Zoning Amendment.

Chairperson Moore commented that she was hoping the area marked in red would be converted to native plantings, which it has been.

Board Member Salami asked if the road construction would be brought about because of the hotel and bank projects and whether those projects would contribute towards the road improvement.

Senior Planner Anderson replied that Zeolite Street was constructed as a temporary road to connect Bunker Lake Boulevard and Sunwood Drive, therefore the City was aware that it would eventually need to reconstruct the road to City standards. He commented that these projects are not triggering the road improvement as that was already slated to be completed in 2024 regardless of development.

Motion by Board Member Salami and seconded by Board Member Hagerty to recommend approval of the Landscape and Tree Preservation Plans contingent upon compliance with Staff review comments.

Motion carried. Voting Yes: Chairperson Moore, Board Member Salami, Hagerty, Fetterley, and Vikander. Voting No: None. Absent: Board Member Bernard.

5.03: Zoning Code Update

Senior Planner Anderson presented the staff report. He stated that City staff is in the process of rewriting the City's Zoning Code. The current drafts of the Landscaping and Tree Preservation sections were included in the packet for review. Staff has also created a separate chapter for Shade

Tree Diseases and Pests. Much of the language in the new chapter was simply moved from the Tree Preservation section. Staff has also added new language including a paragraph summarizing the intent of the standards, standards for tree contractors (licensing requirement), a declaration of what constitutes a tree nuisance, specific standards that would support issuance of a "Notice to Take Action" and preventative measures.

Chairperson Moore commented that the additional language is great and necessary and would be fine to see it included in either the Shade Tree section or licensing. She believed that this location would be the best location as a tree contractor looking up information would see the licensing requirement in this section.

Board Member Vikander asked if it would be possible to place the licensing requirements in the licensing section and simply make reference to it in this section.

Senior Planner Anderson confirmed that could be done.

Chairperson Moore agreed and confirmed the consensus of the Board to include the licensing requirements in the licensing section with a link provided in the Shade Tree section.

Senior Planner Anderson provided more language suggested for the Shade Tree Diseases and Pests section. He noted that he is still awaiting input from the City Attorney related to the hazard tree language.

Chairperson Moore stated that she agrees with all the additions. She asked if additional information could be added when appropriate.

Senior Planner Anderson confirmed that an ordinance amendment could be used to add additional information.

6. BOARD / STAFF INPUT

- **Spring Recycling Day Event Recap – May 6, 2023**

Senior Planner Anderson stated that the spring recycling event was held on May 6th noting that it was a bit slower than typical. He noted that typically there are 400 to 500 vehicles whereas there were about 300 vehicles for this event. He provided a recap of the event. He noted that the oil collection vendor continues to recommend a permanent drop off location for Ramsey. He stated that could be a future agenda topic if desired.

Chairperson Moore agreed that the oil drop off would be well used by the community. She stated that she did hear comments that the lines were long, perhaps because the oil drop off was first in the layout.

Senior Planner Anderson confirmed that there was a backup because of the oil drop off location but that could have been bypassed if the resident was not dropping off oil. He commented that there has been discussion about moving that location, or if there was a public oil drop location in Ramsey, that would alleviate that backup.

Board Member Fetterley commented that was the weekend of the first city-wide garage sale as well, so perhaps that played into the lower attendance numbers. She commented that she believes that O'Reilly's also collects oil.

Board Member Salami asked if the event is open to only Ramsey residents or other residents.

Senior Planner Anderson replied that while the event is geared to Ramsey residents, the recycling coordinators work together within Anoka County and residents from those communities are able to attend the events in those cities.

- **Arbor Day Planting Recap – May 3, 2023 at North Commons**

Senior Planner Anderson commented that this was an Eagle Scout project that was completed and provided a recap of the event where six fruit trees were planted in North Commons.

- **Compost Bin Distribution Event – May 16, 2023, 3pm to 6 pm – Public Works Campus – 14199 Jasper St NW**

Senior Planner Anderson commented that there are 19 bins that have been sold which would leave a couple left. He stated that he may post something on the City website offering the last few for sale.

- **June EPB Meeting – Reschedule due to Juneteenth holiday (MN adopted and could potentially go into effect yet in 2023); Staff suggests June 12th as the alternative date**

Senior Planner Anderson suggested rescheduling the June meeting from June 19th to June 12th. The Board agreed. It was noted that if a quorum could not be obtained for that date, staff would work to find a different date.

7. ADJOURNMENT

Motion by Board Member Fetterley and seconded by Board Member Vikander to adjourn the meeting.

The meeting adjourned at 7:32 p.m.

Respectfully submitted,

Chris Anderson
Senior Planner

ATTEST:

Dana Verbeek
Planning Administrative Assistant

Drafted by Amanda Staple
TimeSaver Off Site Secretarial, Inc.

Meeting Date: 06/12/2023

By: Chris Anderson, Community Development

Information

Title:

Consider Natural Resources Aspects of Proposed Site Plan for Aldi (Project No. 23-105)

Purpose/Background:

The City has received an application from Aldi (the "Applicant") for Site Plan, Plat, and Easement Vacation for a proposed Aldi grocery store to be located at the southeast corner of Armstrong Boulevard and 147th Avenue (the "Subject Property"). The Subject Property is currently owned by the City.

Observations/Alternatives:

Project Overview

The proposal is for an approximately 20,000 square foot Aldi grocery store to be situated along Sunwood Drive. The City currently owns all three (3) parcels south of 147th Avenue and west of Sunwood Drive. The plat would combine the two northern lots into a single parcel to accommodate this project. The City would retain ownership of the other parcel. Parking would be between Armstrong Boulevard and the building and the two existing access points along 14th Avenue and Sunwood Drive will be used for ingress and egress.

Natural Resources Inventory and Minnesota Land Cover Classification System

The City's Natural Resources Inventory (NRI) does not identify any native plant communities on the Subject Property. Additionally, the Minnesota Land Cover Classification System (MLCCS) categorizes the Subject Property as 'Urban with Little Vegetative Cover'. Aside from the existing streetscape, there are no trees on the Subject Property.

Wetlands and Floodplain

Per the National Wetland Inventory (NWI), there are no wetlands within the Subject Property. Furthermore, there are no designated floodplains either.

Tree Inventory and Preservation Plan

As was previously noted, there are no significant trees on the Subject Property. The existing streetscape trees will remain in place. Staff has noted as part of our review comments that any boulevard tree(s) damaged as a result of either site improvements or building construction will be required to be replaced.

Landscape Plan

The Landscape Plan focuses entirely on internal site plantings since the boulevard trees are already in place. The Landscape Plan includes multiple islands within the parking lot that contain trees, shrubs, and/or both. However, riverrock is proposed within these islands rather than woodchips. Staff has requested the plan be revised to replace the riverrock with an organic type of mulch to help moderate soil temperature and assist with water retention. The perimeter of the parking lot is also lined with both trees and shrubs on the west and north sides. Generally speaking, all species are acceptable. Staff has suggested that the Cockspur Hawthorn should be a thornless variety and that an alternative to Mountain Ash should maybe be considered for the parking lot plantings (Mountain Ash is somewhat intolerant of urban settings). Furthermore, Staff has recommended that additional plantings be added between the eastern wall of the building and Sunwood Drive.

Funding Source:

All costs associated with this request are the Applicant's responsibility.

Action:

Motion to recommend approval of the Landscape Plan, contingent upon compliance with Staff's review comments.

Attachments

Site Location Map

Site Plan

Building Elevations

Landscape Plan with Changemarks

Landscape Details with Changemarks

Form Review

Inbox

Brian Hagen

Form Started By: Chris Anderson

Final Approval Date: 06/07/2023

Reviewed By

Brian Hagen

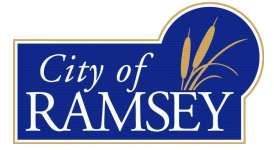
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06/07/2023 12:39 PM

Started On: 05/30/2023 10:52 AM

28-32-25-23-0012
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7994 & 7992
Sunwood Dr NW

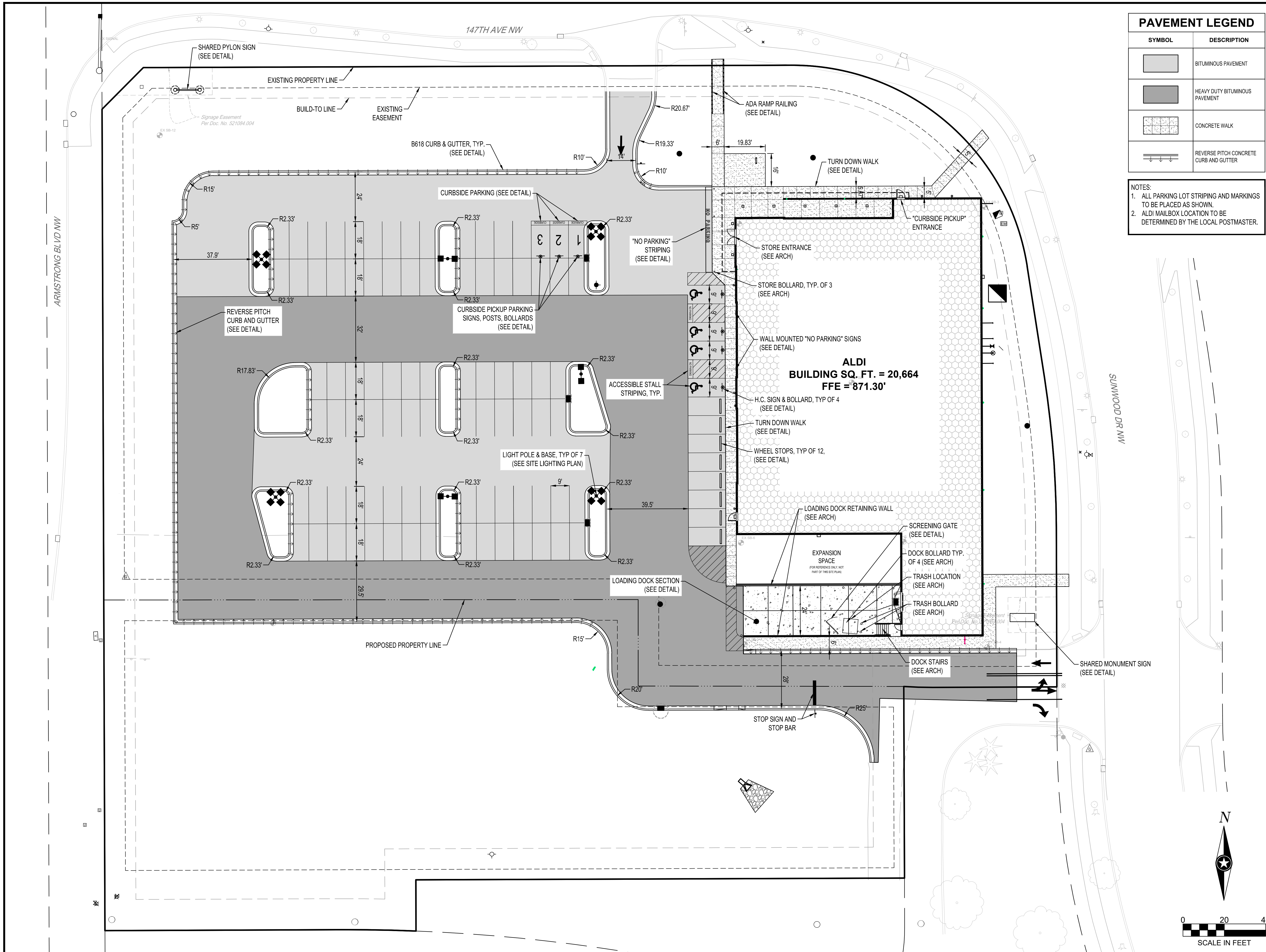
ALDI



LOGIS, Three Rivers Park District, Esri, HERE, Garmin, INCREMENT P, NGA, USGS

Print Date: May 12, 2023

0 0.00.01 0.03 0.04 0.06
mi



PAVEMENT LEGEND	
SYMBOL	DESCRIPTION
	BITUMINOUS PAVEMENT
	HEAVY DUTY BITUMINOUS PAVEMENT
	CONCRETE WALK
	REVERSE PITCH CONCRETE CURB AND GUTTER

NOTES:
 1. ALL PARKING LOT STRIPING AND MARKINGS TO BE PLACED AS SHOWN.
 2. ALDI MAILBOX LOCATION TO BE DETERMINED BY THE LOCAL POSTMASTER.

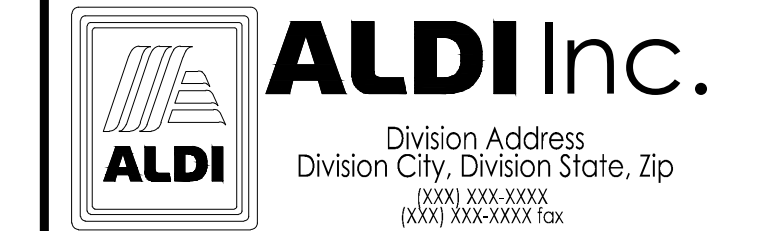
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A CITY SUBMITTAL #1	05/12/23
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Revisions:	
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I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 RYAN J. ANDERSON
Ryan Anderson
 DATE 05/12/2023 LIC. NO. 55938

NOTE:
 THE CLARITY OF THESE PLANS DEPEND UPON COLOR COPIES. IF THIS TEXT DOES NOT APPEAR IN COLOR, THIS IS NOT AN ORIGINAL PLAN SET AND MAY RESULT IN MISINTERPRETATION.

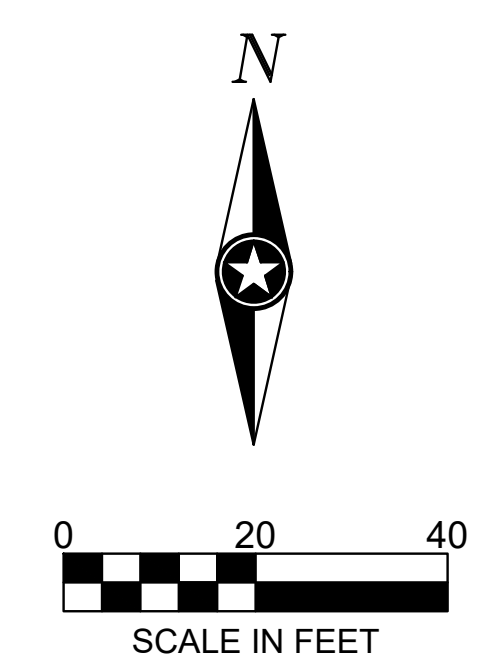


MANAGING LOCATION:
 BLOOMINGTON OFFICE
 7900 INTERNATIONAL DRIVE
 SUITE 550
 MINNEAPOLIS, MN 55425
 PHONE: 952.426.0699

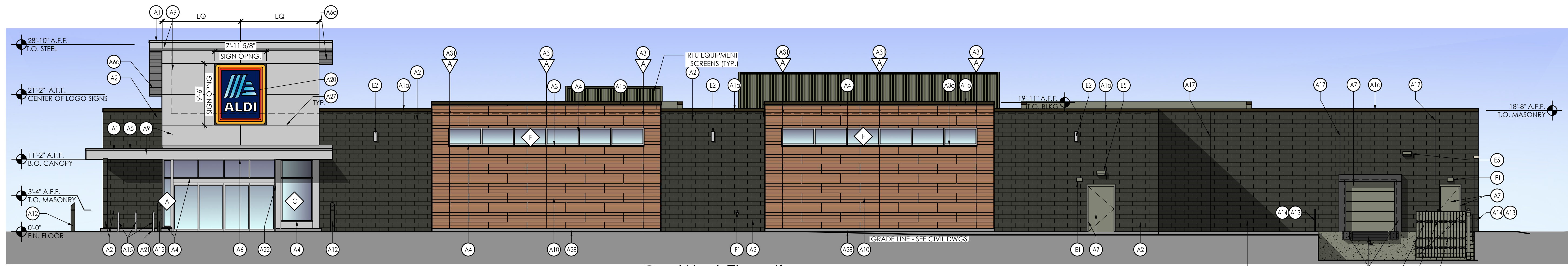


ALDI Inc. Store #: 143
 RAMSEY, MN
 7992 SUNWOOD DR NW
 RAMSEY, MN 55303
 ANOKA
 Project Name & Location:

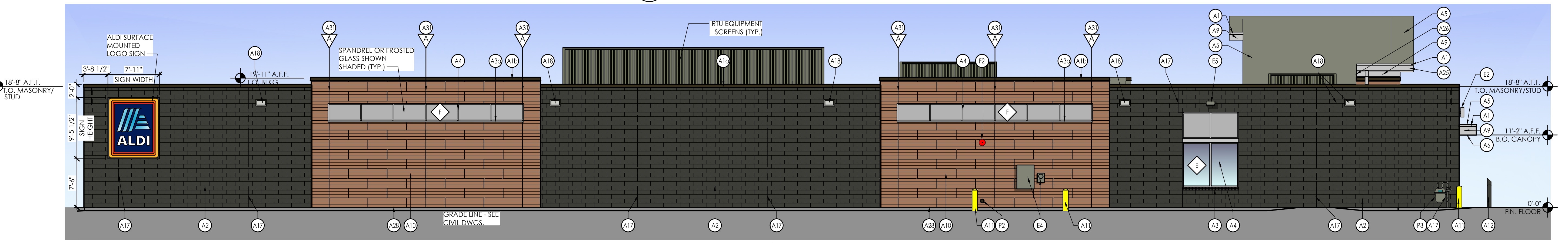
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Type: V7.0 ER	23-21339
Drawn By: AJR	
Designed By: AJR	C-310
Reviewed By: RJA	Drawing No.



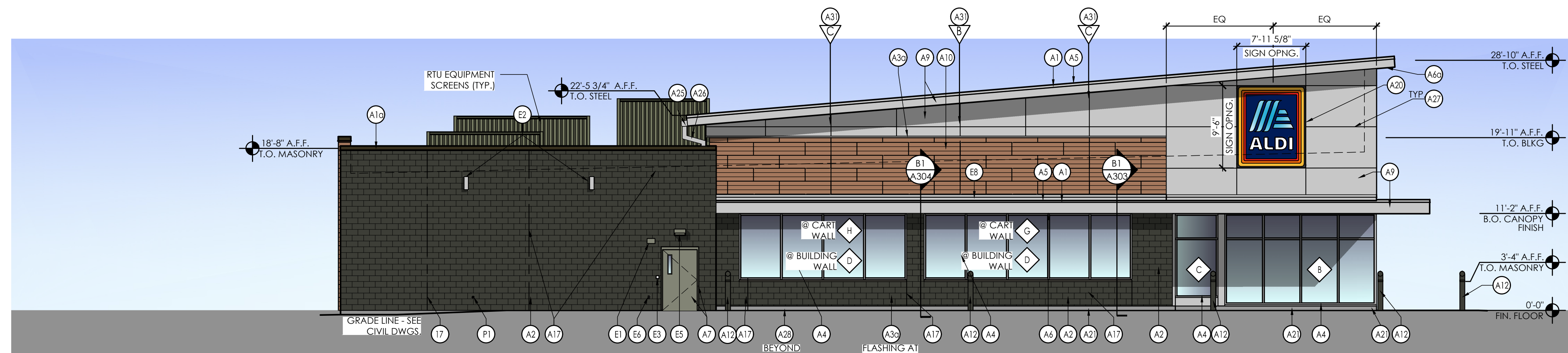
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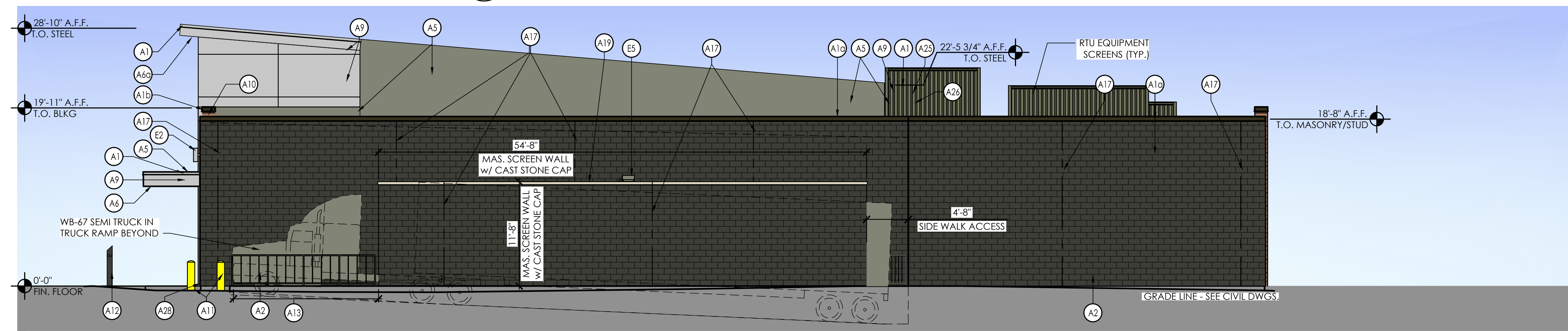
4 West Elevation
SCALE: 1/8" = 1'-0"



3 East Elevation
SCALE: 1/8" = 1'-0"



2 North Elevation
SCALE: 1/8" = 1'-0"



1 South Elevation
SCALE: 1/8" = 1'-0"

CEE-2 SIGNAGE			
DESCRIPTION	QUANTITY	SQ. FT. PER SIGN	TOTALS
TOWER SIGN	2	74.9	149.8
SURF. MOUNTED LOGO SIGN	1	74.9	74.9
TOTAL SIGNAGE			224.7

SIGNAGE IS SHOWN FOR REFERENCE ONLY AND SHALL BE UNDER SEPARATE PERMIT SUBMITTAL

Issued:	Date:
A Issued for Use Client Review	07/25/22
B Issued for Use Client Review	09/02/22
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E	

Revisions:	Date:
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Seal PROJECT ARCHITECT/ENGINEER DATE

PROJECT LEAD DATE

PROJECT DESIGNER DATE

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ALDI Inc.
4201 Bagley Avenue North
Faribault, MN 55021
(507) 333-9469
(507) 333-9475 fax

ALDI Inc. Store #: XX
Ramsey, MN

Ramsey, MN
Anoka County
Project Name & Location:

Exterior Elevations
Drawing Name:

Date: 07/22/22
Type: RHSDV7ER
Drawn By: CB
Scale: As Noted

Project No.
23-0230A
CEE-4
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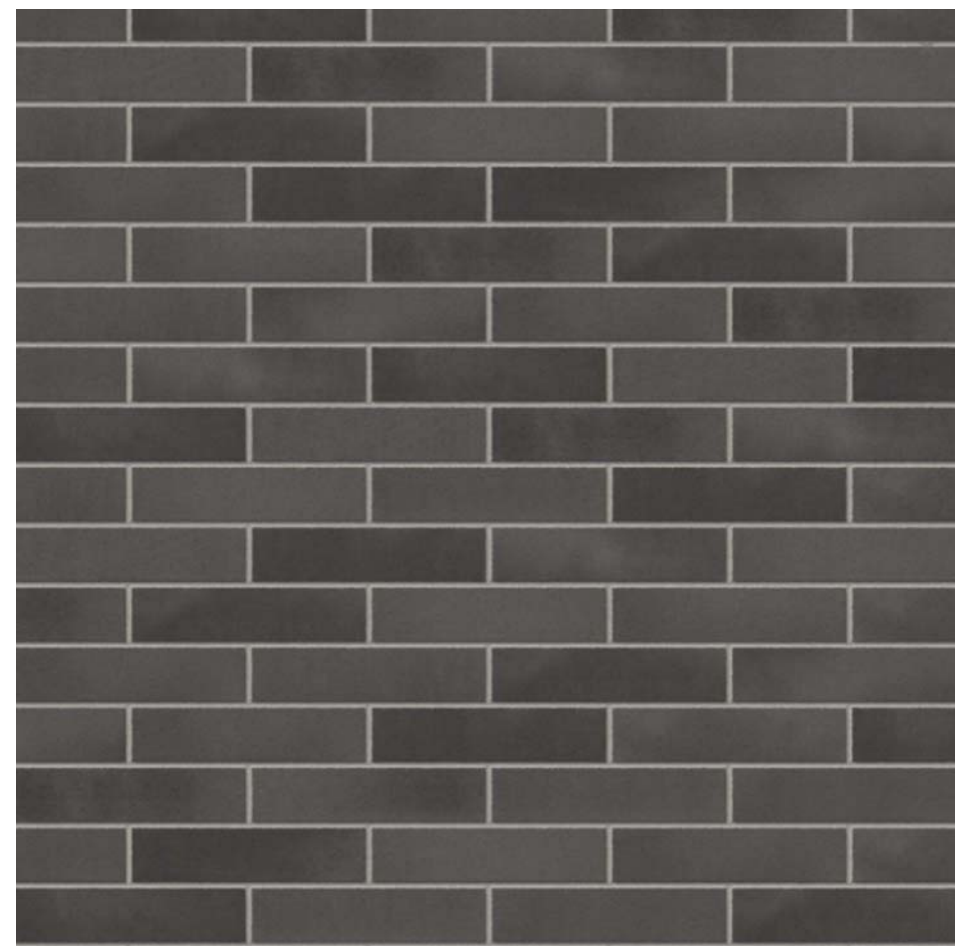


ALDI - Prototype Color Palette



Dark

Masonry:



Spec-Brik: Chesapeake Blend

Metal Coping:



At High Roof & Canopy: Silver



At Brick: Musket Gray



At Nichiha Towers: Cedar

Nichiha Panels:



Exterior Cladding: Cedar



Base Flashing: Cedar

Aluminum Composite Panel:



Bright Silver

Aluminum Sill:



Bright Silver



Cedar

EXTERIOR FINISH SCHEDULE			
KEY	MATERIAL / MFG.	COLOR / NO.	NOTES
A1	PREFINISHED METAL COPING	A1- SILVER - AT HIGH ROOF & CANOPY A1a - PETERSEN ALUM - MUSKET GREY-AT BRICK A1b - PETERSEN ALUM - #CEDAR 397C0290 SPRAY CODE - AT NICHHA TOWERS	SEE SPECIFICATIONS APPENDIX 'B'
A2	BASE BID (BRICK 'A') SPEC-BRICK CONCRETE MASONRY VENEER	4WX8HX16 CHESAPEAKE BLEND w/ HOLCIM "SMITH GRAY" MORTAR MORTAR ALT: SOLOMON "85X DARK CHOCOLATE"	CONTACT THE CONCRETE PRODUCTS GROUP AT 800-789-0872 FOR ORDERING SEE SPEC FOR ADDITIONAL INFO
	ALTERNATE No. 2 (BRICK 'B') QUIK-BRICK CONCRETE MASONRY VENEER	4WX8HX16 MAROUS BLEND w/ HOLCIM "SMITH GRAY" MORTAR MORTAR ALT: SOLOMON "85X DARK CHOCOLATE"	CONTACT ECHELON MASONRY AT 800-899-8455 FOR ORDERING SEE SPEC FOR ADDITIONAL INFO
	ALTERNATE No.3 (BRICK 'C') BELDEN BRICK	MODULAR EBONY BLACK BLEND w/ HOLCIM "SMITH GRAY" MORTAR MORTAR ALT: SOLOMON "85X DARK CHOCOLATE"	CONTACT THE BELDEN BRICK COMPANY AT 330-451-2031 FOR ORDERING SEE SPEC FOR ADDITIONAL INFO
A3	PREFINISHED ALUM. SILL FLASHING	A3 - BRIGHT SILVER A3a - PETERSEN ALUM # "CEDAR 397C0290 SPRAY CODE"	
A4	ALUMINUM STOREFRONT SYSTEM	ANODIZED ALUM.	RE: DWG. A602
A5	MEMBRANE ROOFING	GRAY	TOP OF SLOPED ROOF, CANOPY ROOF, AND BACK OF RAISED ROOF PROJECTIONS - SEE SPECIFICATIONS APPENDIX 'B'
A6	METAL SOFFIT PANELS	A6 - SOLID PANELS - SILVER METALLIC A6a - 1/2 VENTED PANELS - SILVER METALLIC	RE: DWG. A301-A304
A7	EXTERIOR PAINT		RE: DWG. A603
A8	NOT USED		
A9	ALUMINUM COMPOSITE PANEL	BRIGHT SILVER	PROVIDE PANEL JOINTS AS SHOWN - PROVIDE ONE PIECE TIGHT FIT EXTRUDED MOLDING INSTALLATION SYSTEM WITH CENTER REVEAL TRIM BETWEEN PANELS AND J TRIM AT PANEL EDGES.
A10	NICHHA FIBER CEMENT EXTERIOR CLADDING	VINTAGEWOOD 'CEDAR'	PANELS SHALL EXTEND ONTO THE ROOF FOR THE FULL DEPTH OF THE BUMPOUT. CONTACT NICHHA AT 770-805-9466 FOR ORDERING. SEE SPEC FOR TRIM REQUIREMENTS AND ADDITIONAL INFO. ALL INCLUDED TRIM ('H', 'J', 'L', CORNER, ETC) TO MATCH FCP
A11	BLRD-2	PT-19 / CL-4	RE: DWG A603
A12	BLRD-4		RE: DWG A603
A13	GUARD RAIL TYPE "A"	GALVANIZED STEEL	RE: DWG B2/A507
A14	GUARD RAIL TYPE "B"	GALVANIZED STEEL	RE: DWG B2/A507
A15	BLRD-3	GALVANIZED	RE: DWG A603
A16	DOCK LEVELER / SEAL AND BUMPERS	LEVELER - FACTORY FINISH / SEAL AND BUMPERS - FACTORY FINISH - BLACK	PROVIDE BRICK BEHIND DOCK SEAL
A17	MASONRY CONTROL JOINT		MAX 20' OC
A18	SCUPPER, 1/8" OVERFLOW SCUPPER, COLLECTOR & DOWN SPOUT (SEE PLUMBING DWGS)	MATCH COPING ABOVE	RE: DWG A2/A507
A19	ARCHITECTURAL CAST STONE	TANNERSTONE: AG-1	SEE SPEC FOR ADDITIONAL INFORMATION - MORTAR COLOR TO MATCH CAST STONE
A20	ALDI TOWER SIGN	BY SIGN VENDOR	7'-11 1/8" w. x 9'-5 1/2" h.; VERIFY SIGN SIZE PRIOR TO FRAMING OPENING SEE DETAIL C1/A504
A21	CRTB	NATURAL	RE: DWG A603 - SEE STRUCTURAL DWGS

EXTERIOR FINISH SCHEDULE			
KEY	MATERIAL / MFG.	COLOR / NO.	NOTES
A22	KNOX BOX	FACTORY FINISH	CONFIRM TYPE AND LOCATION WITH LOCAL FIRE MARSHAL
A23	AUTO DOOR SYSTEM & TRANSOM	ANODIZED ALUMINUM	RE: DWG A601 & A602
A24	NOT USED		
A25	8" X 8" PRE-FINISHED ALUM GUTTER	MATCH PREFINISHED METAL COPING	
A26	8" X 8" PRE-FINISHED ALUM DOWNSPOUT	MATCH PREFINISHED METAL COPING	TERMINATE AT CONC. SPLASH BLOCK
A27	ACP H/J TRIM / JOINT COVER		TYPICAL AT EDGES AND BUTT JOINTS OF ACP
A28	NICHHA FIBER CEMENT PANEL BASE FLASHING	PETERSEN ALUMINUM - #CEDAR 397C0290 SPRAY CODE	SEE SPEC FOR ADDITIONAL INFO
A29	NOT USED		
A30	DUMPSTER ENCLOSURE	WINCHESTER GREY	RE: DWG A507
A31	NICHHA CONTROL JOINT WITH "H" CLIP		
A32	NOT USED		
A33	NOT USED		
E1	EXIT DISCHARGE LIGHT	FACTORY FINISH	MOUNT @ 8'-0" A.F.F.
E2	WALL SCONCE	FACTORY FINISH	MOUNT @ 14'-8" A.F.F.; RE: DWG. A111 FOR DIMENSIONS
E3	JUNCTION BOX WITH COVER FOR FUTURE CARD READER		MOUNT CENTERED @ 46" A.F.F., SEE ELEC DWGS
E4	UTILITY METERING & C.T.	FACTORY FINISH	SEE ELECTRICAL DWGS
E5	EXTERIOR WALL PACK	FACTORY FINISH	MAN DOORS - MOUNT @ 9'-0" A.F.F., BREAK ROOM WINDOW @ 10'-0" A.F.F. LOADING DOCK - MOUNT @ 12'-0" A.F.F.
E6	EXTERIOR DUPLEX RECEPTACLE	FACTORY FINISH	MOUNT @ 1'-6" A.F.F. IN 4" SQUARE J-BOX
E7	NOT USED		
E8	EXTERIOR UPLIGHTING FIXTURES	FACTORY FINISH	SEE ELEC DWGS
F1	FIRE DEPT. CONNECTION	FACTORY FINISH	SEE FIRE PROTECTION DWGS
F2	MOTOR GONG	FACTORY FINISH	SEE FIRE PROTECTION DWGS
P1	HOSE BIB	FACTORY FINISH	SEE PLUMBING DWGS
P2	RPZ DISCHARGE	FACTORY FINISH	SEE PLUMBING DWGS
P3	GAS METER	FACTORY FINISH	SEE PLUMBING DWGS
XX	GLAZING KEY		RE: DWG A602
WV	ALIGN KEY		A: ALIGN NICHHA PANEL JOINTS AND WINDOW MULLIONS B: ALIGN ALUMINUM COMPOSITE PANEL JOINTS AND NICHHA PANEL JOINTS C: ALIGN NICHHA PANEL JOINTS, ALUMINUM COMPOSITE PANEL JOINTS, AND WINDOW MULLIONS

Issued:	Date:
A Issued for Use Client Review	07/25/22
B Issued for Use Client Review	09/02/22
C Issued for Use Client Review	09/07/22
D Issued for Use Client Review	05/08/23
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Revisions:	Date:
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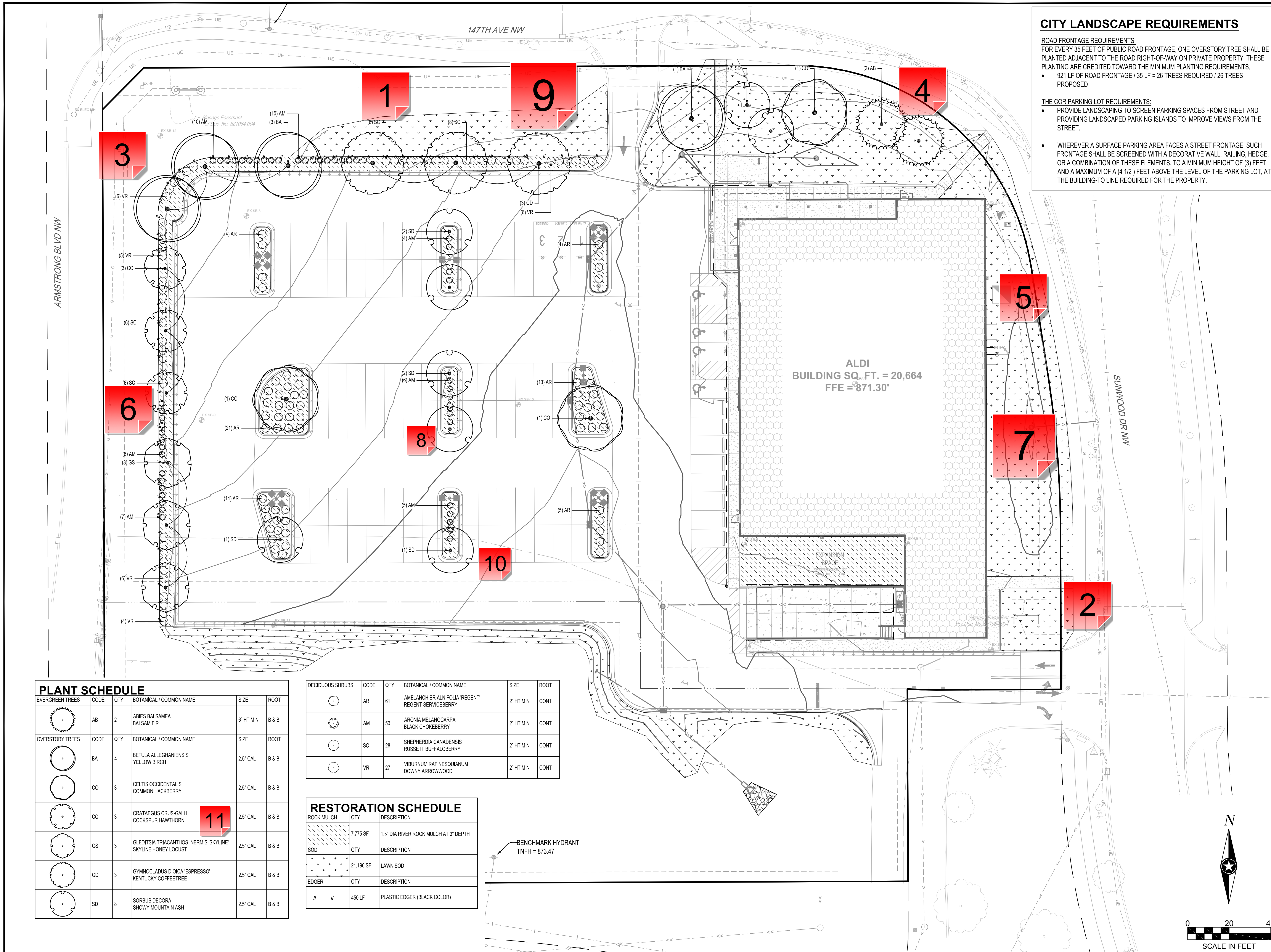
Seal	Seal
PROJECT ARCHITECT/ENGINEER	DATE
PROJECT LEAD	DATE
PROJECT DESIGNER	DATE

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ALDI Inc. Store #: XX
Ramsey, MN
Ramsey, MN
Anoka County
Project Name & Location:

Exterior Finish Schedule Drawing Name:		Project No. 23-0230A
Date:	07/22/22	
Type:	RHSDV7ER	
Drawn By:	CB	
Scale:	As Noted	Drawing No.



CITY LANDSCAPE REQUIREMENTS

ROAD FRONTAGE REQUIREMENTS:
 FOR EVERY 35 FEET OF PUBLIC ROAD FRONTAGE, ONE OVERSTORY TREE SHALL BE PLANTED ADJACENT TO THE ROAD RIGHT-OF-WAY ON PRIVATE PROPERTY. THESE PLANTING ARE CREDITED TOWARD THE MINIMUM PLANTING REQUIREMENTS.
 • 921 LF OF ROAD FRONTAGE / 35 LF = 26 TREES REQUIRED / 26 TREES PROPOSED

THE COR PARKING LOT REQUIREMENTS:
 • PROVIDE LANDSCAPING TO SCREEN PARKING SPACES FROM STREET AND PROVIDING LANDSCAPED PARKING ISLANDS TO IMPROVE VIEWS FROM THE STREET.
 • WHEREVER A SURFACE PARKING AREA FACES A STREET FRONTAGE, SUCH FRONTAGE SHALL BE SCREENED WITH A DECORATIVE WALL, RAILING, HEDGE, OR A COMBINATION OF THESE ELEMENTS, TO A MINIMUM HEIGHT OF (3) FEET AND A MAXIMUM OF A (4 1/2) FEET ABOVE THE LEVEL OF THE PARKING LOT, AT THE BUILDING-TO LINE REQUIRED FOR THE PROPERTY.

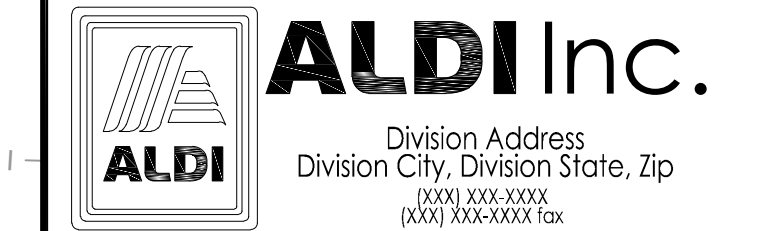
Issued:	Date:
A CITY SUBMITAL #1	05/12/23
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Revisions:	Date:
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I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 RYAN J. ANDERSON
Ryan Anderson
 DATE 05/12/2023 LIC. NO. 55938

NOTE:
 THE CLARITY OF THESE PLANS DEPEND UPON COLOR COPIES. IF THIS TEXT DOES NOT APPEAR IN COLOR, THIS IS NOT AN ORIGINAL PLAN SET AND MAY RESULT IN MISINTERPRETATION.



MANAGING LOCATION:
 BLOOMINGTON OFFICE
 7900 INTERNATIONAL DRIVE
 SUITE 550
 MINNEAPOLIS, MN 55425
 PHONE: 952.426.0699



ALDI Inc. Store #: 143
 RAMSEY, MN
 7992 SUNWOOD DR NW
 RAMSEY, MN 55303
 ANOKA
 Project Name & Location:

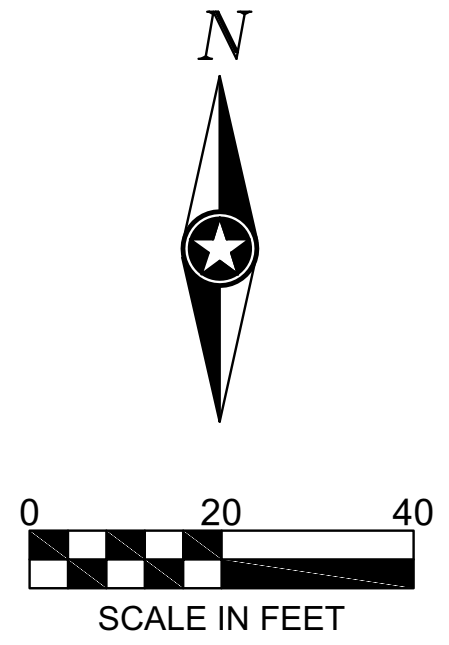
LANDSCAPE PLAN	
Drawing Name:	ISG Project No.
Type: V7.0 ER	23-21339
Drawn By: AE	C-510
Designed By: AE	Drawing No.
Reviewed By: MRW	

PLANT SCHEDULE					
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT
	AB	2	ABIES BALSAMEA BALSAM FIR	6' HT MIN	B & B
OVERSTORY TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT
	BA	4	BETULA ALLEGHANIENSIS YELLOW BIRCH	2.5" CAL	B & B
	CO	3	CELTIS OCCIDENTALIS COMMON HACKBERRY	2.5" CAL	B & B
	CC	3	CRATAEGUS CRUS-GALLI COCKSPUR HAWTHORN	2.5" CAL	B & B
	GS	3	GLEDTISIA TRIACANTHOS INERMIS 'SKYLINE' SKYLINE HONEY LOCUST	2.5" CAL	B & B
	GD	3	GYMNOCLADUS DIOICA 'ESPRESSO' KENTUCKY COFFEETREE	2.5" CAL	B & B
	SD	8	SORBUS DECORA SHOWY MOUNTAIN ASH	2.5" CAL	B & B

DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT
	AR	61	AMELANCHIER ALNIFOLIA 'REGENT' REGENT SERVICEBERRY	2' HT MIN	CONT
	AM	50	ARONIA MELANOCARPA BLACK CHOKEBERRY	2' HT MIN	CONT
	SC	28	SHEPHERDIA CANADENSIS RUSSETT BUFFALOBERRY	2' HT MIN	CONT
	VR	27	VIBURNUM RAFINESQUIANUM DOWNY ARROWWOOD	2' HT MIN	CONT

RESTORATION SCHEDULE		
ROCK MULCH	QTY	DESCRIPTION
	7,775 SF	1.5" DIA RIVER ROCK MULCH AT 3" DEPTH
SOD	QTY	DESCRIPTION
	21,196 SF	LAWN SOD
EDGER	QTY	DESCRIPTION
	450 LF	PLASTIC EDGER (BLACK COLOR)

BENCHMARK HYDRANT
 TNFH = 873.47



PRELIMINARY NOT FOR CONSTRUCTION

1 - Changemark note #01 TL

Status as of 05/19/2023 09:39 AM

Type: Action

State: For Discussion

Created by: Todd Larson
On: 05/19/2023 09:39 AM
Type: Action
State: For Discussion

In lieu of at least 40% building frontage, you will need to add a decorative wall (see east end of Sunwood Drive) to provide the required hardscape.

----- 0 Replies -----

2 - Changemark note #02 TL

Status as of 05/19/2023 09:40 AM

Type: Action

State: For Discussion

Created by: Todd Larson
On: 05/19/2023 09:40 AM
Type: Action
State: For Discussion

Please consider foundation shrubs and plantings to enhance your sign base.

----- 0 Replies -----

3 - Changemark note #03 TL

Status as of 05/19/2023 09:41 AM

Type: Action

State: For Discussion

Created by: Todd Larson
On: 05/19/2023 09:41 AM
Type: Action
State: For Discussion

Where is snow likely to be stored?

----- 0 Replies -----

4 - Changemark note #04 TL

Status as of 05/19/2023 09:41 AM

Type: Action

State: For Discussion

Created by: Todd Larson
On: 05/19/2023 09:41 AM
Type: Action
State: For Discussion

The one place you have windows on the building you are blocking with evergreens. Please consider something else.

----- 0 Replies -----

5 - Changemark note #05 TL

Status as of 05/19/2023 09:42 AM

Type: Action

State: For Discussion

Created by: Todd Larson
On: 05/19/2023 09:42 AM
Type: Action
State: For Discussion

If all of this utility equipment must be here, please add a decorative screen wall.

----- 0 Replies -----

6 - Changemark note #06 TL

Status as of 05/19/2023 09:43 AM

Type: Action

State: For Discussion

Created by: Todd Larson
On: 05/19/2023 09:43 AM
Type: Action
State: For Discussion

Why are the trees planted so close to the parking lot? Why not center them in the green spaces?

----- 0 Replies -----

7 - Add Trees

Created by: Chris Anderson
On: 05/26/2023 08:44 AM

This greenspace should be 'enhanced' somewhat by adding plantings (trees and shrubs).

----- 0 Replies -----

8 - Mulch

Created by: Chris Anderson
On: 05/26/2023 08:48 AM

Do not use riverrock in the parking lot islands. It's already a harsh growing environment and the rock will only absorb heat, which in turn heats the soil, baking the roots. Instead, use an organic type of mulch, such as wood chips or similar. This will not only aid in moderating soil temperature but will also help retain moisture.

----- 0 Replies -----

9 - Sod

Created by: Chris Anderson
On: 05/26/2023 08:52 AM

Why would sod not be installed up to the edge of the sidewalk? Whatever groundcover exists currently will not have as nice of an appearance as the new sod.

----- 0 Replies -----

10 - Recommendation - Consider alternate species

Created by: Chris Anderson
On: 05/26/2023 08:56 AM

Mountain Ash is at least somewhat intolerant of harsh urban areas. Suggest considering an alternate species for the parking lot islands.

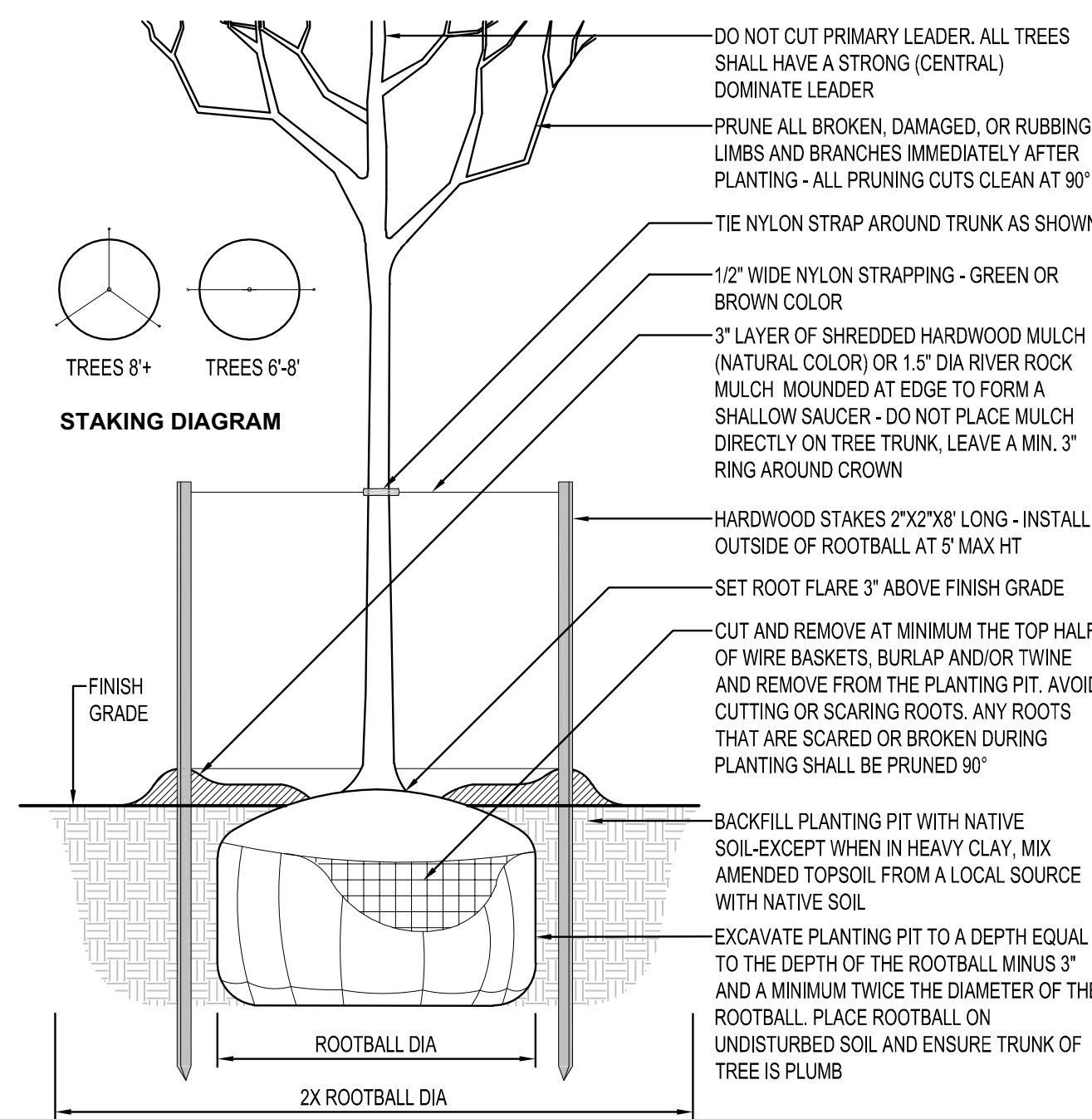
----- 0 Replies -----

11 - Thornless Variety?

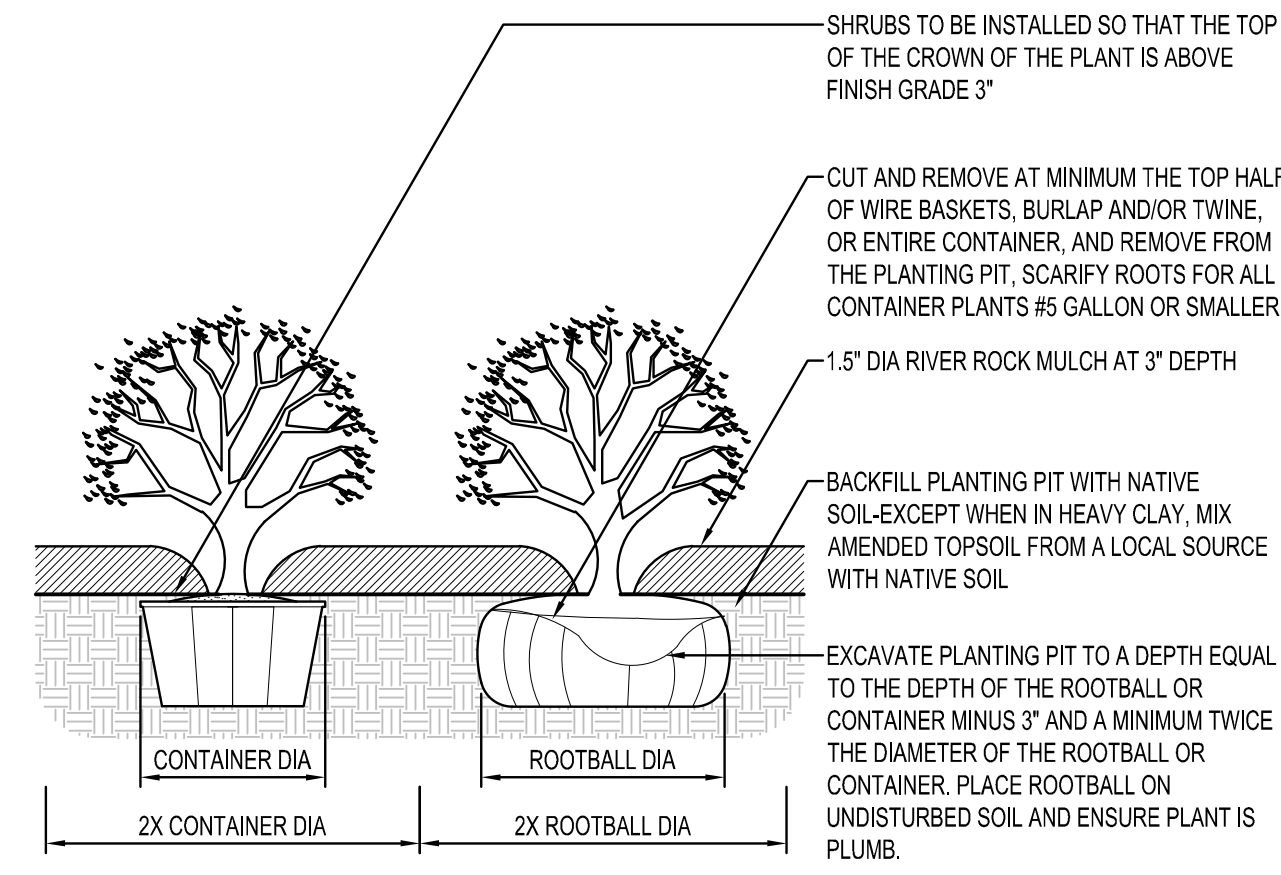
Created by: Chris Anderson
On: 05/26/2023 09:02 AM

This should be a thornless cultivar.

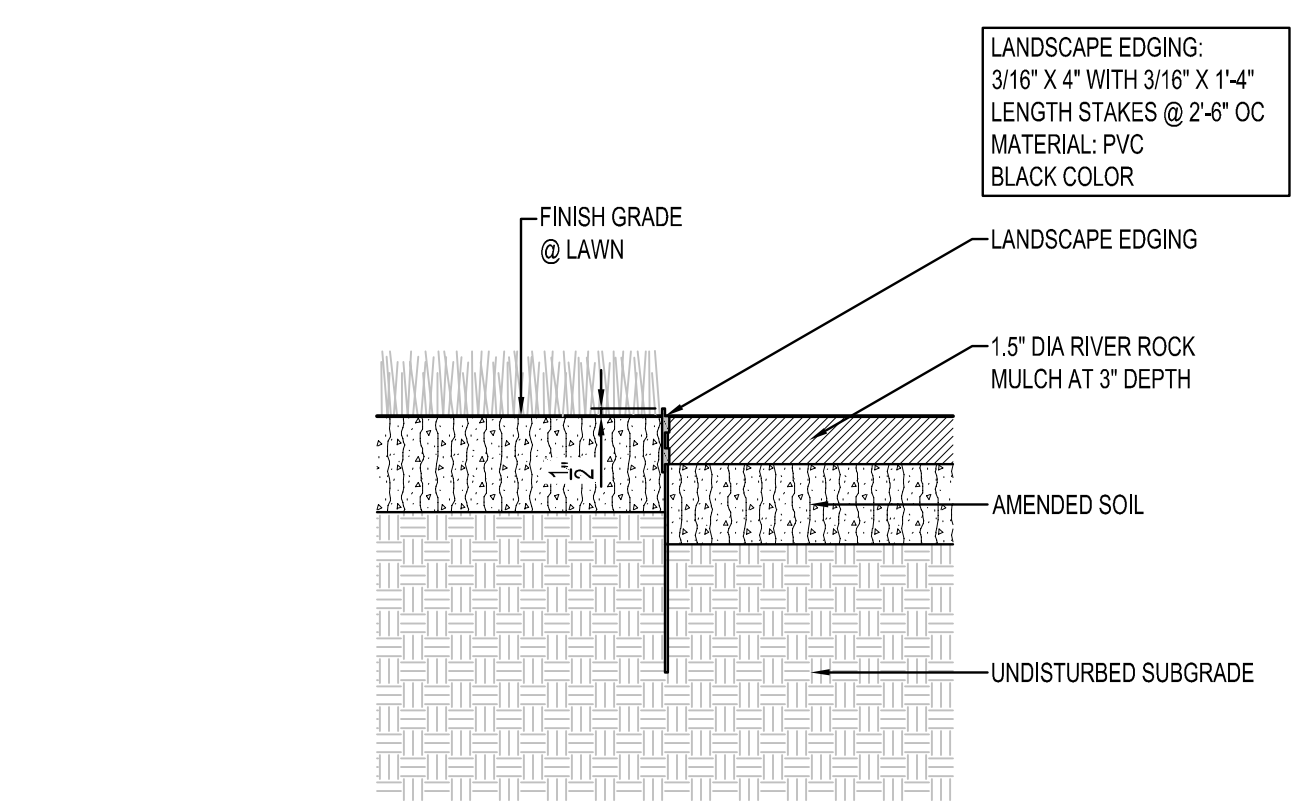
----- 0 Replies -----



DECIDUOUS TREE PLANTING
NTS



SHRUB PLANTING
NTS



LANDSCAPE EDGING
NTS

- PLANTING NOTES**
- COORDINATE LOCATION OF ALL UTILITIES (LINES, DUCTS, CONDUITS, SLEEVES, FOOTINGS, ETC.) WITH LOCATIONS OF PROPOSED LANDSCAPE ELEMENTS (FENCE, FOOTINGS, TREE ROOTBALLS, ETC.). CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO OWNER'S REPRESENTATIVE PRIOR TO CONTINUING WORK.
 - SAVE AND PROTECT ALL EXISTING TREES NOT NOTED TO BE REMOVED.
 - REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS INJURIOUS TO PLANT GROWTH FROM PLANTING PITS AND BEDS PRIOR TO BACKFILLING WITH PLANTING MIX.
 - REFER TO PLANTING DETAILS FOR AMENDED SOIL DEPTH IN PLANTING BEDS AND SURROUNDING TREES.
 - FIELD STAKE PLANTINGS ACCORDING TO PLAN. OWNER'S REPRESENTATIVE SHALL APPROVE ALL PLANT LOCATIONS PRIOR TO INSTALLATION. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REVISE PLANTING LAYOUT AT TIME OF INSTALLATION.
 - ALL PLANT MATERIALS SHALL BE TRUE TO THEIR SCIENTIFIC NAME AND SIZE AS INDICATED IN THE PLANT SCHEDULE.
 - IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE SCHEDULE, THE PLANTING PLAN SHALL GOVERN.
 - ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
 - ALL PLANT MATERIALS MUST CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1), LATEST EDITION PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, WASHINGTON D.C. LARGER SIZED PLANT MATERIALS OF THE SPECIES LISTED MAY BE USED IF THE STOCK CONFORMS TO ANSI Z60.1.
 - ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN A LIVE AND HEALTHY GROWING CONDITION FOR ONE FULL GROWING SEASON (ONE YEAR) AFTER FINAL PROJECT ACCEPTANCE OR SHALL BE REPLACED BY THE CONTRACTOR FREE OF CHARGE WITH THE SAME GRADE AND SPECIES.
 - ALL TREES SHALL HAVE A STRONG CENTRAL LEADER. ANY TREES DEEMED NOT TO HAVE A STRONG CENTRAL LEADER SHALL BE REJECTED.
 - CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE DUE TO CONSTRUCTION OPERATIONS. ANY AREAS THAT ARE DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
 - PROVIDE DOUBLE SHREDDED HARDWOOD MULCH (NATURAL COLOR) SURROUNDING ALL PROPOSED TREES (5' Ø) AND WITHIN PLANTING BEDS TO A 3" MINIMUM DEPTH AS SHOWN IN TREE PLANTING DETAIL. DO NOT USE AN UNDERLAYMENT SUCH AS PLASTIC SHEET OR LANDSCAPE FABRIC. APPLY PRE-EMERGENT TO ALL PLANTING BEDS PRIOR TO MULCHING. REFER TO PLANS FOR ADDITIONAL DETAILS. REFER TO STORMWATER DETAILS FOR BASIN CONSTRUCTION AND MULCH APPLICATION.
 - MULCHING MATERIAL SHALL BE 1.5" DIA RIVER ROCK MULCH AT 3" DEPTH, WITH NO INDIVIDUAL PIECES LARGER THAN 3". FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS, 3" MINIMUM DEPTH. MINIMUM DEPTHS AT LOCATIONS INDICATED ON DRAWINGS.
 - CONTRACTOR SHALL PROVIDE SAMPLE OF MULCH TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
 - INDICATED QUANTITIES ARE ESTIMATES AND SHALL BE CONFIRMED BY THE CONTRACTOR.
 - ADJUST SPACING OF PLANT MATERIALS AROUND ADJACENT UTILITY STRUCTURES.



Issued:	Date:
A CITY SUBMITTAL #1	05/12/23
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Revisions:	Date:
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RYAN J. ANDERSON

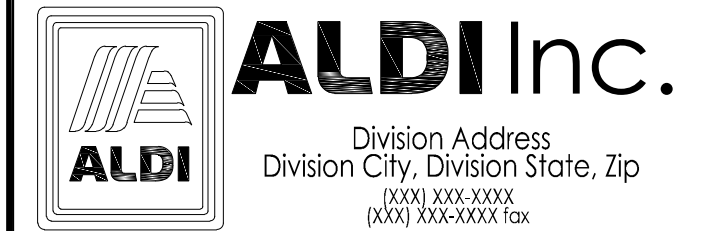
Ryan Anderson

DATE 05/12/2023 LIC. NO. 55938

NOTE:
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**MANAGING LOCATION:
BLOOMINGTON OFFICE**
7900 INTERNATIONAL DRIVE
SUITE 550
MINNEAPOLIS, MN 55425
PHONE: 952.426.0699



ALDI Inc. Store #: 143
RAMSEY, MN
7992 SUNWOOD DR NW
RAMSEY, MN 55303
ANOKA
Project Name & Location:

LANDSCAPE DETAILS

Drawing Name:	ISG Project No.
Type: V7.0 ER	23-21339
Drawn By: AE	
Designed By: AE	C-520
Reviewed By: MRW	Drawing No.

PRELIMINARY NOT FOR CONSTRUCTION

1 - Pruning Cuts

Created by: Chris Anderson
On: 05/26/2023 09:04 AM

Do not make flush cuts. The branch bark collar and ridge shall remain in tact.

----- 0 Replies -----

2 - Root Flare

Created by: Chris Anderson
On: 05/26/2023 09:06 AM

Root flare shall be flush with finished grade or no more than 2" above finished grade.

----- 0 Replies -----

3 - City Approval Required

Created by: Chris Anderson
On: 05/26/2023 09:08 AM

Any deviations from the approved landscape plan require prior approval of the City.

----- 0 Replies -----

4 - Warranty

Created by: Chris Anderson
On: 05/26/2023 09:09 AM

The Development Agreement will require a 2-year warranty period.

----- 0 Replies -----

5 - Parking Lot Islands

Created by: Chris Anderson
On: 05/26/2023 09:10 AM

Do not use riverrock in the parking lot islands. This must be an organic material such as hardwood mulch.

----- 0 Replies -----

6 - Topsoil

Created by: Chris Anderson
On: 05/26/2023 09:11 AM

Add note to either this sheet or the Landscape Plan stating that 4 inches of topsoil, with no more than 35% sand content is required over all disturbed areas not otherwise improved with impervious surfacing. A topsoil inspection is required prior to installation of landscaping.

----- 0 Replies -----

7 - Irrigation

Created by: Chris Anderson
On: 05/26/2023 09:13 AM

Will an irrigation system be installed? If so, please provide details. Any irrigation system installed shall include a rain sensor and some form of water efficient technology, such as a weather compensating smart controller.

----- 0 Replies -----

Meeting Date: 06/12/2023

By: Chris Anderson, Community Development

Information

Title:

Consider Natural Resources Aspects of Proposed Site Plan and Plat for Bunker Lake Industrial Park (Project No. 23-106); Case of PSD, LLC

Purpose/Background:

The City has received an application from PSD, LLC (the "Applicant") for a Site Plan and Plat for the remaining land in Bunker Lake Industrial Park (BLIP), located south of Bunker Lake Boulevard and east of Puma Street (the "Subject Property").

Observations/Alternatives:

Project Overview

The Applicant is proposing to plat the Subject Property into two (2) parcels and construct an 84,000 square foot building on the western parcel (this would be BLIP building 5) this year. The intention would be to construct buildings 6 & 7 in the next 1-2 years, which would complete the buildout of Bunker Lake Industrial Park. Buildings 6 & 7 would each be approximately 71,000 square feet in size, at least conceptually (they are future builds). There will be four (4) access points off of Bunker Lake Boulevard and an access off of the cul-de-sac on 147th Lane. The accesses off of Bunker Lake Boulevard will generally keep truck traffic separate from vehicle traffic.

Natural Resources Inventory and Minnesota Land Cover Classification System

The City's Natural Resources Inventory (NRI) does not identify any native plant communities within the Subject Property. The land cover is categorized as Dry Grassland according to the Minnesota Land Cover Classification System (MLCCS). There are very few existing trees on the Subject Property and those that are present will be preserved (along the western edge of the property).

Wetlands and Floodplain

According to the National Wetland Inventory (NWI), there are no wetlands present. Similarly, there are no designated floodplains on the Subject Property either.

Tree Inventory and Preservation Plan

There are seventeen (17) young trees on the Subject Property, all along the western boundary. All of these trees will be preserved. However, as part of the original mass grading of the Bunker Lake Industrial Park, all existing trees were removed. Staff has been tracking the replacement (reforestation) plantings as the BLIP land has been developed, to determine compliance with the tree preservation standards. A total of 2,528 caliper inches of newly planted trees is required over the entirety of the BLIP land. The Applicant did donate a significant number of smaller red cedar trees to the Anoka Conservation District for use in bank stabilization efforts along the Rum River, which Staff agreed to credit toward the reforestation requirements. Thus, 1,996 caliper inches of reforestation were required across the entire BLIP site. The landscaping installed with BLIP buildings 1-4 included 848 caliper inches of new trees (plus 799 shrubs). The remaining 'balance' of caliper inches required (to satisfy tree preservation standards) over the remaining BLIP land is 1,148. As part of this current project, fifty-three inches (53") of existing trees are being preserved and 332 caliper inches will be planted (along with another 431 shrubs), bringing the total caliper inches of reforestation still required down to 763 (1,148 - 53 = 1,095; 1,095 - 332 = 763"). This is the equivalent of still another 305 additional trees (assuming 2.5" caliper trees) or a payment of \$95,375 (763" x \$125). There is not space, even over the full forty-five (45) acres of BLIP, to accommodate 305 additional trees. The Applicant does own the land to the east, between 14799 Jackal Street

and Armstrong Boulevard, and has indicated that another industrial development is in the planning stages (would be BLIP building 8). While not part of the original BLIP industrial park, this land abuts BLIP, and it would be reasonable to allow landscaping for that site to count toward the reforestation standards, should that be of interest to the Applicant.

Landscape Plan

The submittal does include a Landscape Plan not only for Lot 1, where building 5 will be constructed, but also for Lot 2 as well (not currently slated for building improvements). The proposed species are generally acceptable and the proposed plantings meet the canopy cover requirements for the E-3 Employment District.

The property does abut existing residential homes along the western boundary of the plat and thus, a bufferyard is required. However, in the early stages of both BLIP and Riverstone North, the Applicant worked with Capstone (developer of Riverstone North) to proactively account for future industrial development by providing not only the space for the berm, but the material as well. The Site Plan does provide the required bufferyard width of sixty (60) feet and, in fact, provides much greater separation as there is a stormwater pond near the western boundary as well. Thus, there is about 150 feet separating the boundary of residential from the parking and maneuvering area of building 5.

Funding Source:

All costs associated with this request are the Applicant's responsibility.

Action:

Motion to recommend approval of the natural resources aspects of the proposed plat and site plan, contingent upon compliance with Staff's review comments.

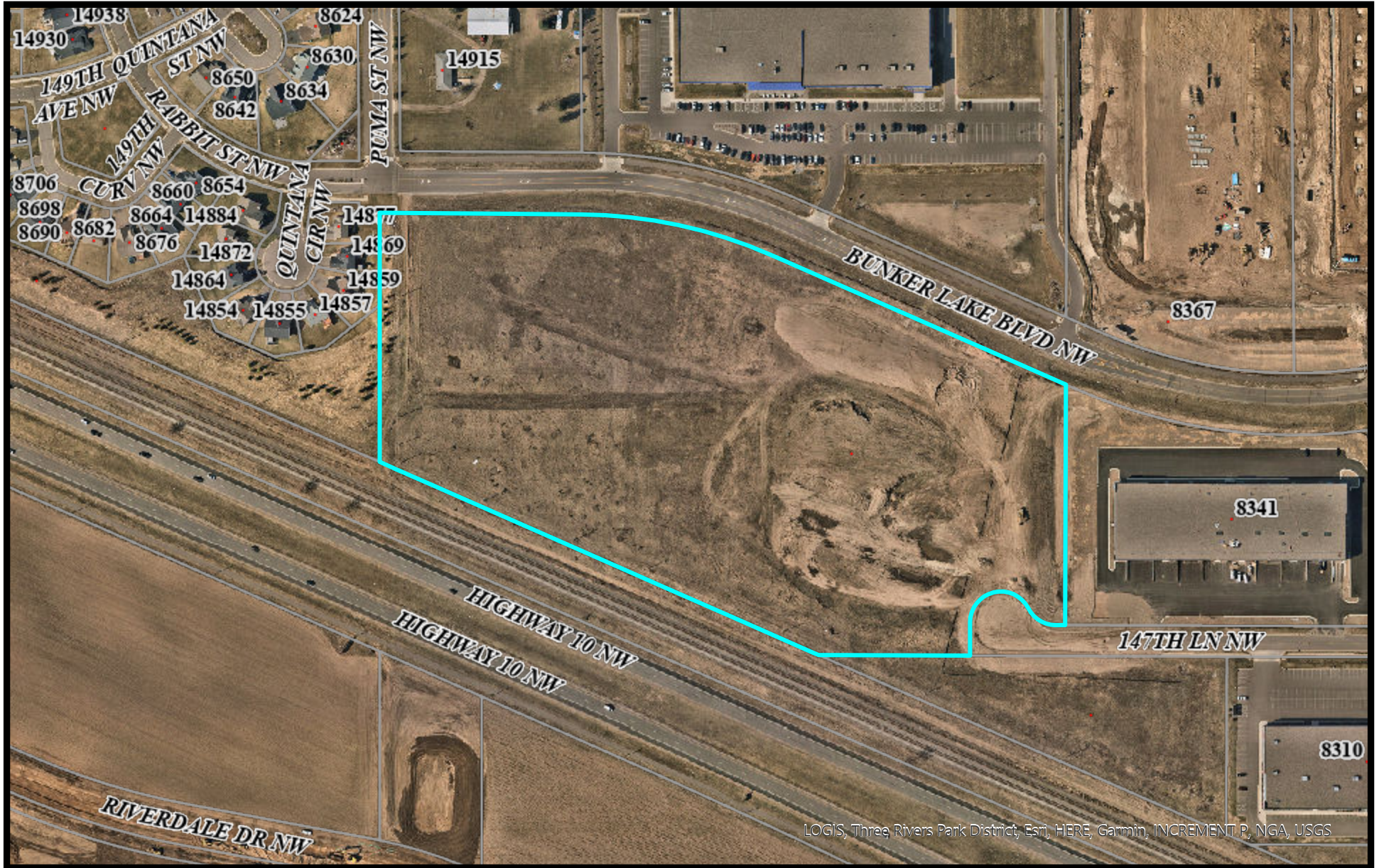
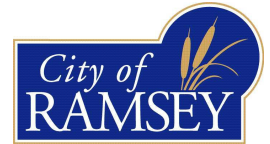
Attachments

- Site Location Map
- Site Plan
- Final Plat
- BLIP Building 5 Elevations
- Overall Landscape Plan

Form Review

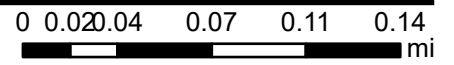
Inbox	Reviewed By	Date
Brian Hagen	Brian Hagen	06/07/2023 12:40 PM
Form Started By: Chris Anderson		Started On: 05/30/2023 12:17 PM
Final Approval Date: 06/07/2023		

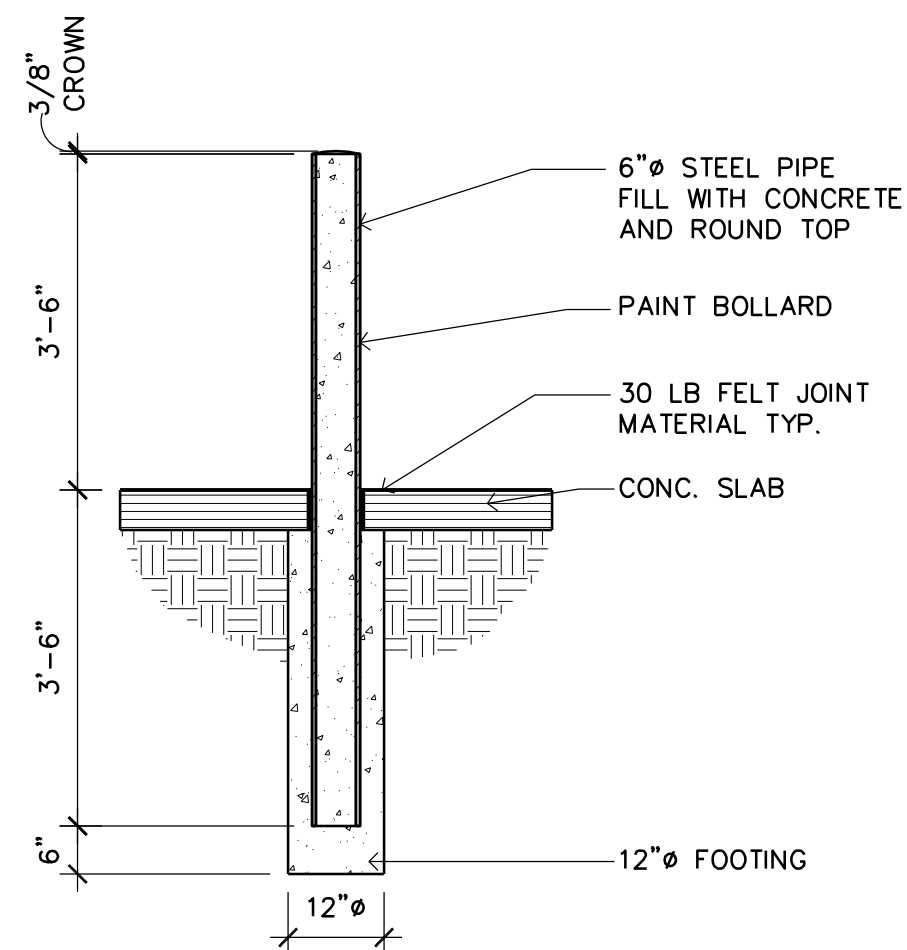
Site Location Map: BLIP IV (Plat) and Site Plan (BLIP V Building)



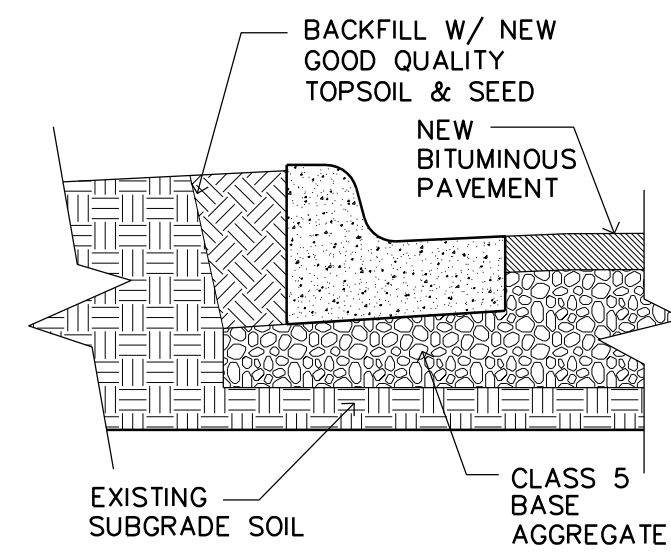
LOGIS, Three Rivers Park District, Esri, HERE, Garmin, INCREMENT P, NGA, USGS

Print Date: May 16, 2023

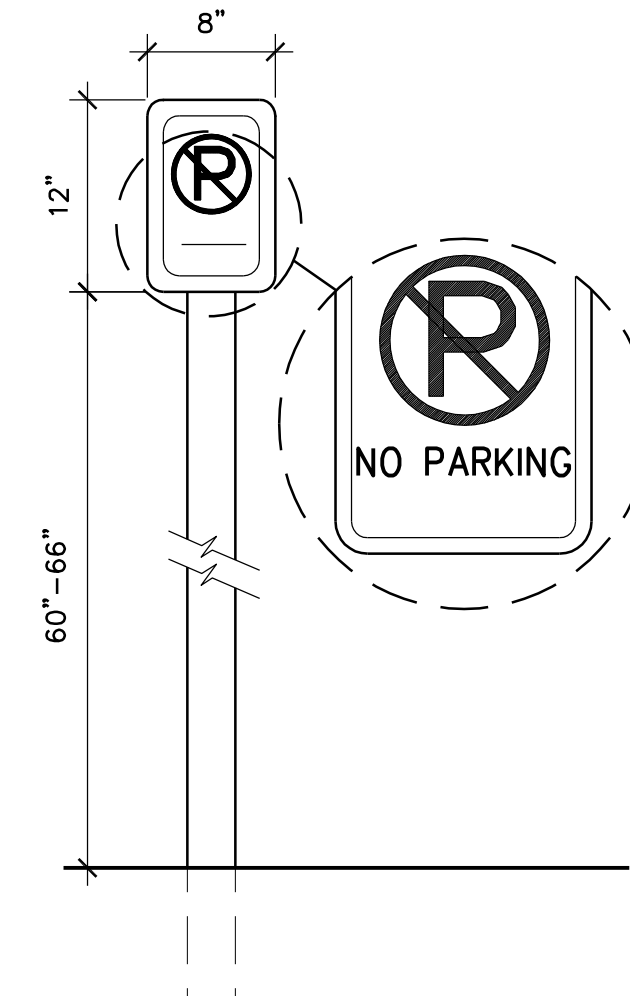




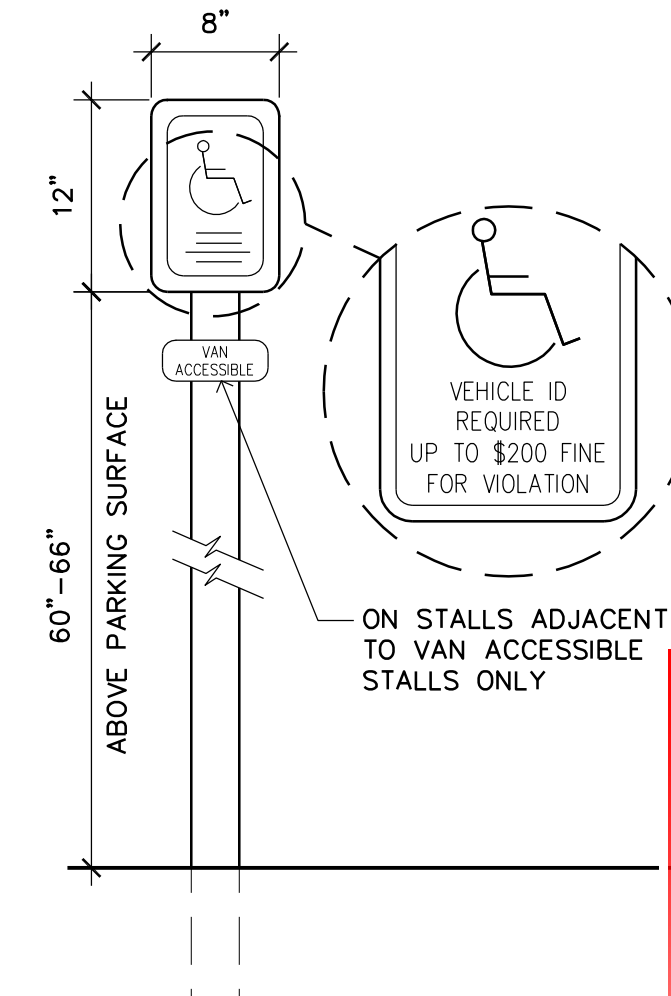
6 PROTECTIVE BOLLARD
A1 SCALE: 1/2" = 1'-0"



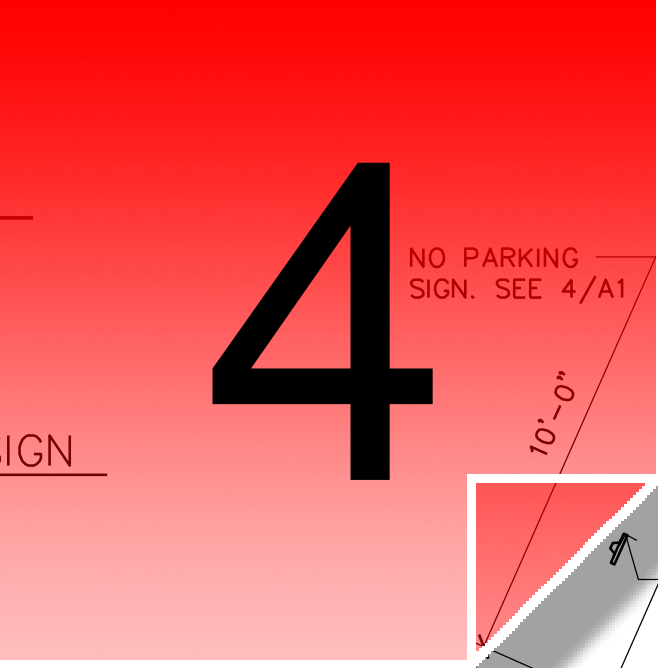
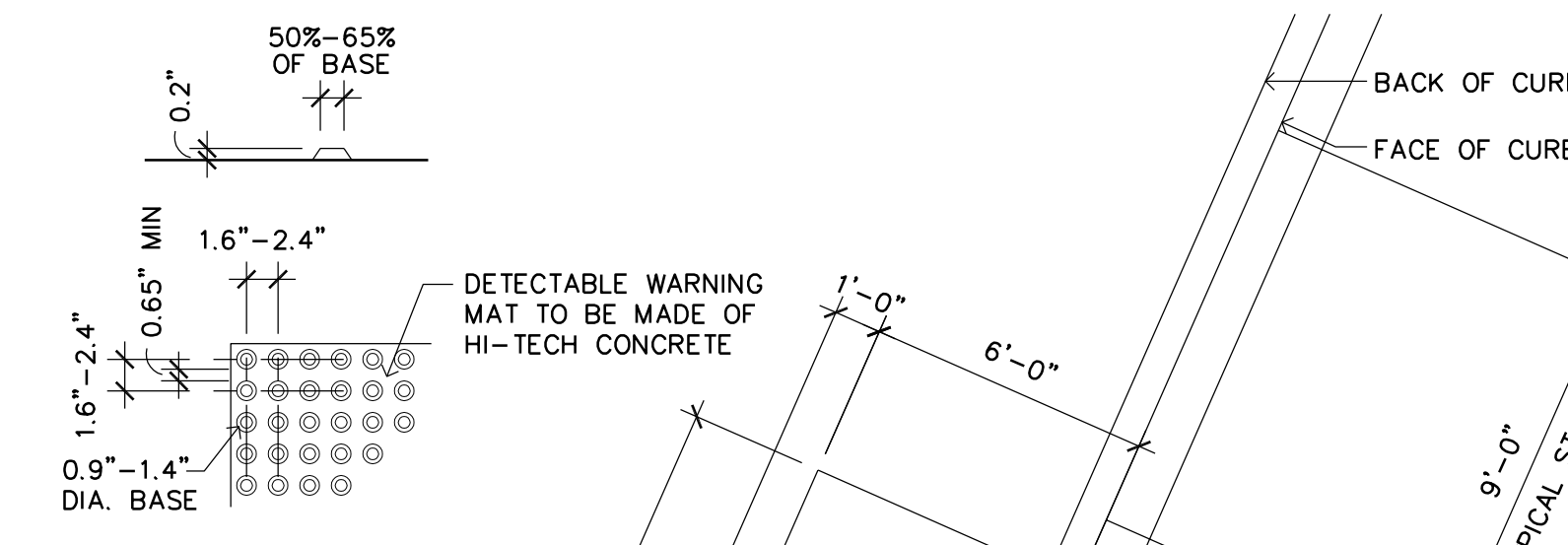
5 B6-12 CONCRETE CURB
A1 SCALE: 1/2" = 1'-0"



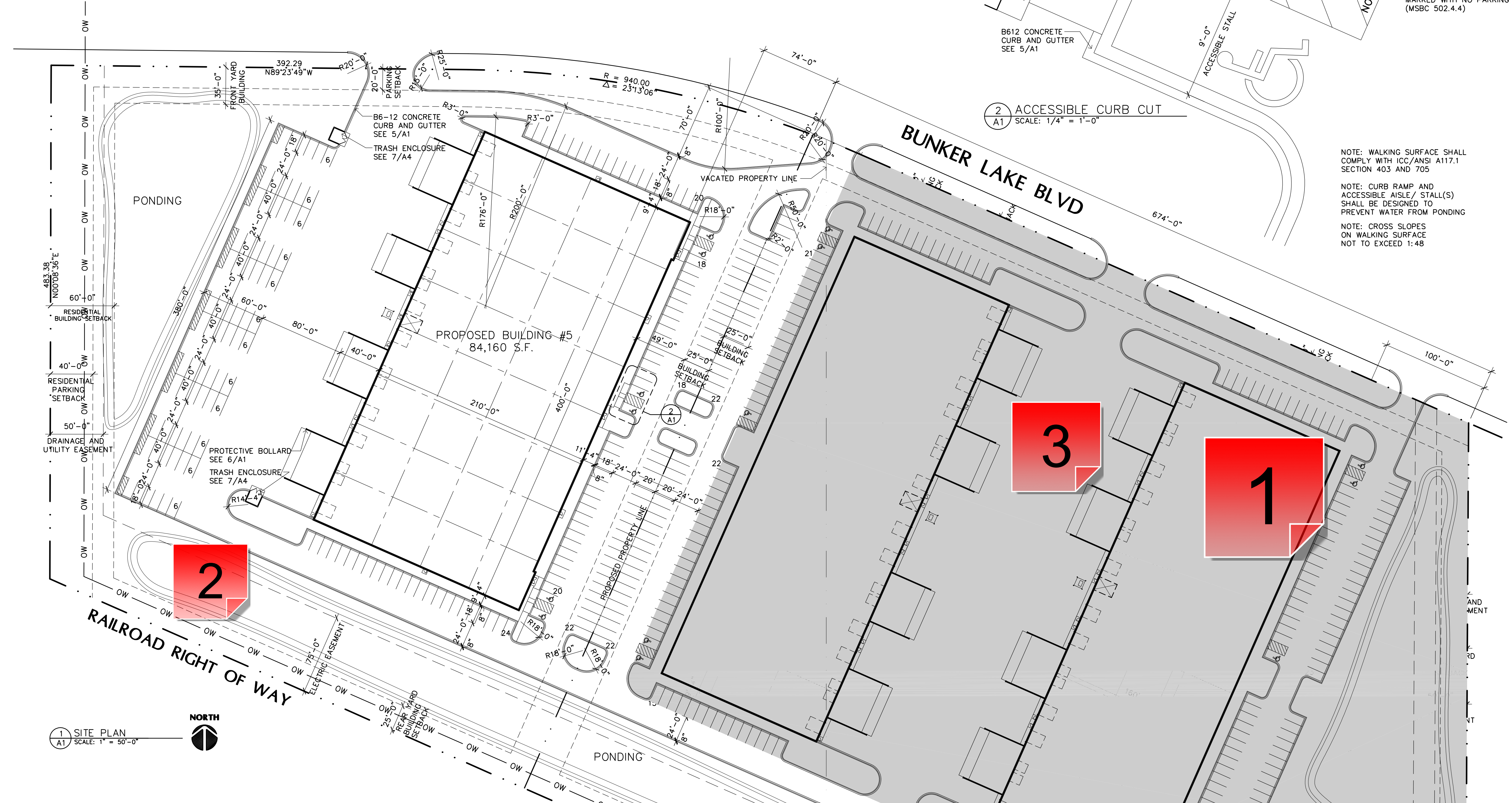
4 LOADING ZONE SIGN
A1 SCALE: 1" = 1'-0"



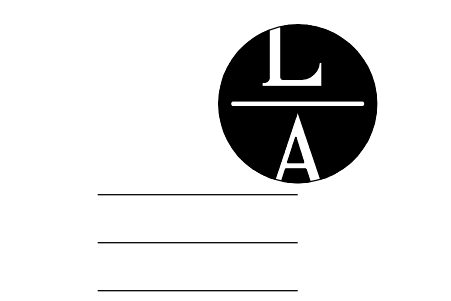
3 ACCESSIBLE PARKING SIGN
A1 1" = 1'-0"



2 ACCESSIBLE CURB CUT
A1 SCALE: 1/4" = 1'-0"



1 SITE PLAN
A1 SCALE: 1" = 50'-0"



LAMPERT ARCHITECTS
420 Summit Avenue
St. Paul, MN 55102
Phone: 763.755.1211 Fax: 763.757.2849
lampert@lampert-arch.com

ARCHITECT CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

LEONARD LAMPERT
SIGNATURE
PRINT NAME
13669
LICENSE NO.
2/6/23
DATE

BUNKER LAKE INDUSTRIAL PARK
BUILDING #5
Ramsey, Minnesota

Copyright 2023
Leonard Lampert Architects Inc.
Project Designer: JAMES B
Drawn By: ALE
Checked By: LL
Revisions

12/20/22	PRELIMINARY
1/10/23	FINAL REVIEW
2/6/23	ISSUE FOR PERMIT

SITE PLAN

Sheet Number

A1

Project No. 220506-1

1 - Building Square Footages

Created by: Chris Anderson
On: 05/16/2023 11:23 AM

Please provide the proposed square footages for all 3 buildings.

----- 0 Replies -----

2 - Written Approval Required

Created by: Chris Anderson
On: 05/16/2023 11:30 AM

Need to provide the City was documentation showing that the easement holder of the 75' wide electric easement approves locating the ponding within their easement.

----- 0 Replies -----

3 - Breakdown of Uses

Created by: Chris Anderson
On: 05/16/2023 12:09 PM

Please include a breakdown of uses within each building (warehouse, office, ect.) and associated square footages so that minimum required parking can be accurately calculated.

----- 0 Replies -----

4 - Separate Page

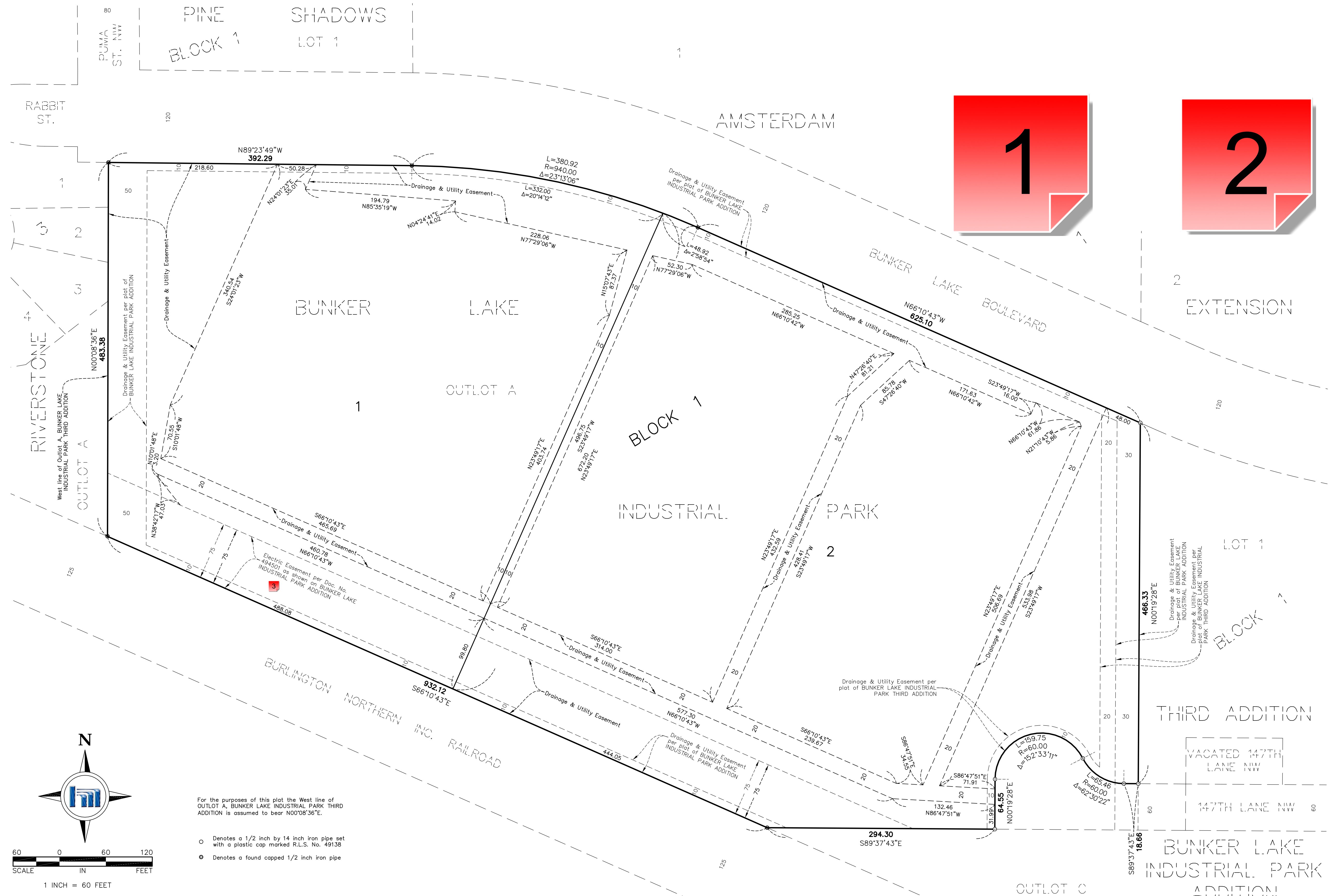
Created by: Chris Anderson
On: 05/18/2023 10:00 AM

Put these details on a separate page so that the entirety of the site improvements (all 3 buildings and all 3 lots) can be shown on the Site Plan sheet.

----- 0 Replies -----

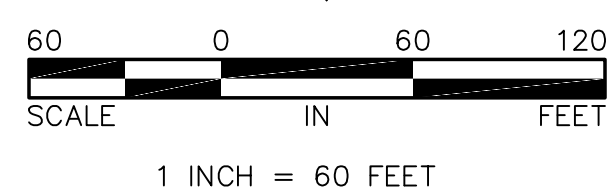
BUNKER LAKE INDUSTRIAL PARK FOURTH ADDITION

CITY OF RAMSEY
 COUNTY OF ANOKA
 SEC. 29, T. 32, R. 25



For the purposes of this plat the West line of
 OUTLOT A, BUNKER LAKE INDUSTRIAL PARK THIRD
 ADDITION is assumed to bear N00°08'36"E.

- Denotes a 1/2 inch by 14 inch iron pipe set
 with a plastic cap marked R.L.S. No. 49138
- Denotes a found capped 1/2 inch iron pipe



1 - 3 Lots

Created by: Chris Anderson
On: 05/16/2023 10:38 AM

Modify plat to create three (3) lots, one for each building. City Code does not allow more than one principal building on a lot.

----- 0 Replies -----

2 - Access Easement Agreement

Created by: Chris Anderson
On: 05/16/2023 10:38 AM

Provide a cross access easement (legal description and exhibit) for the shared 'truck lane' between the two eastern buildings.

----- 0 Replies -----

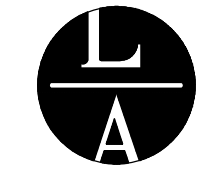
3 - Electric Easement

Status as of 05/26/2023 11:22 AM
Type: Action
State: For Discussion

Created by: Joe Feriancek
On: 05/26/2023 11:22 AM
Type: Action
State: For Discussion

Verify the electric easement gives authority to build a pond.

----- 0 Replies -----



LAMPERT ARCHITECTS

420 Summit Avenue
St. Paul, MN 55102
Phone: 763.755.1211 Fax: 763.757.2849
lampert@lampert-arch.com

ARCHITECT CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE
LEONARD LAMPERT
PRINT NAME
13669
LICENSE NO.
2/6/23
DATE

BUNKER LAKE INDUSTRIAL PARK
BUILDING #5
Ramsey, Minnesota

Copyright 2023
Leonard Lampert Architects Inc.

Project Designer: JAMES B

Drawn By: JRB

Checked By: LL

Revisions

12/20/22 PRELIMINARY

1/10/23 FINAL REVIEW

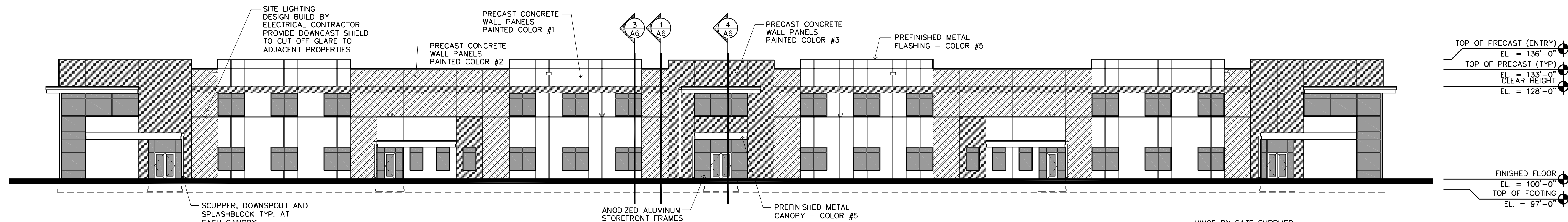
2/6/23 ISSUE FOR PERMIT

BUILDING ELEVATIONS

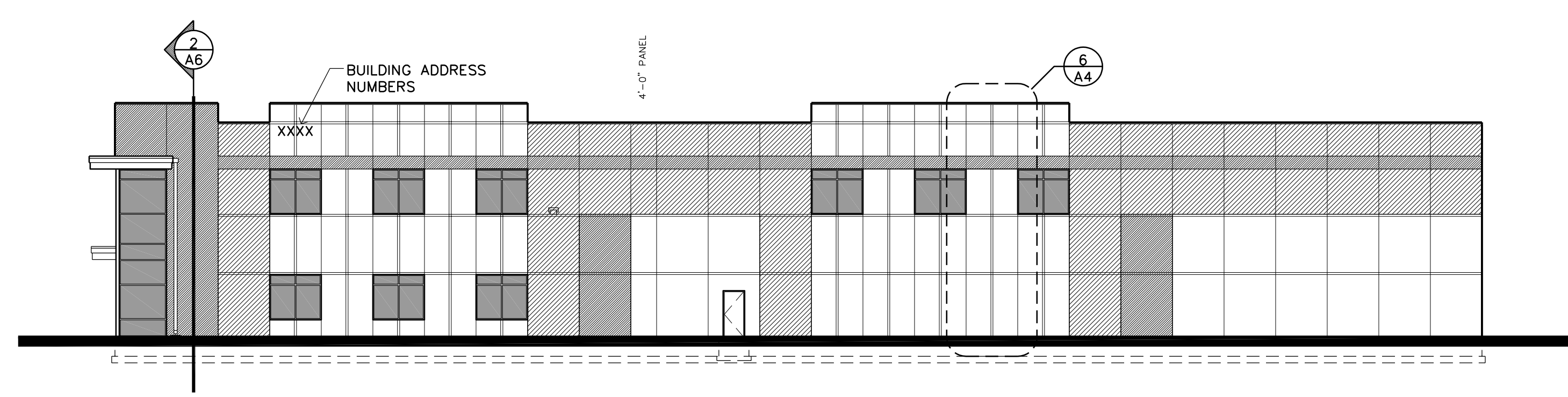
Sheet Number

A4

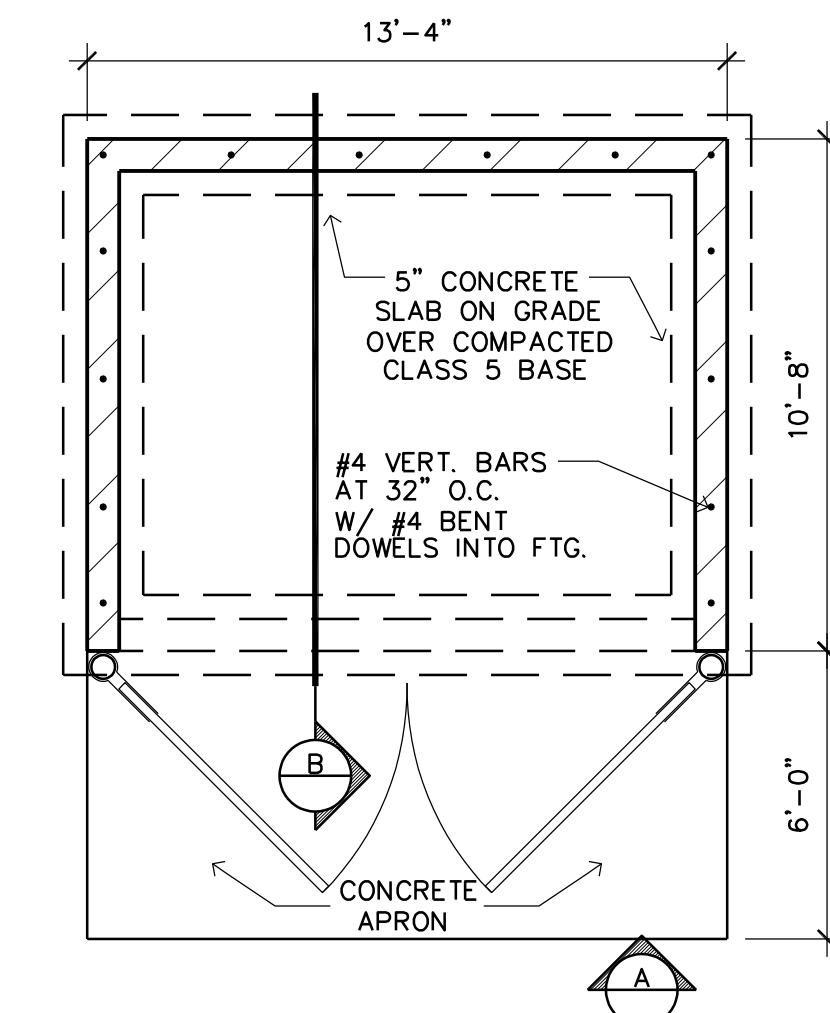
Project No. 220506-1



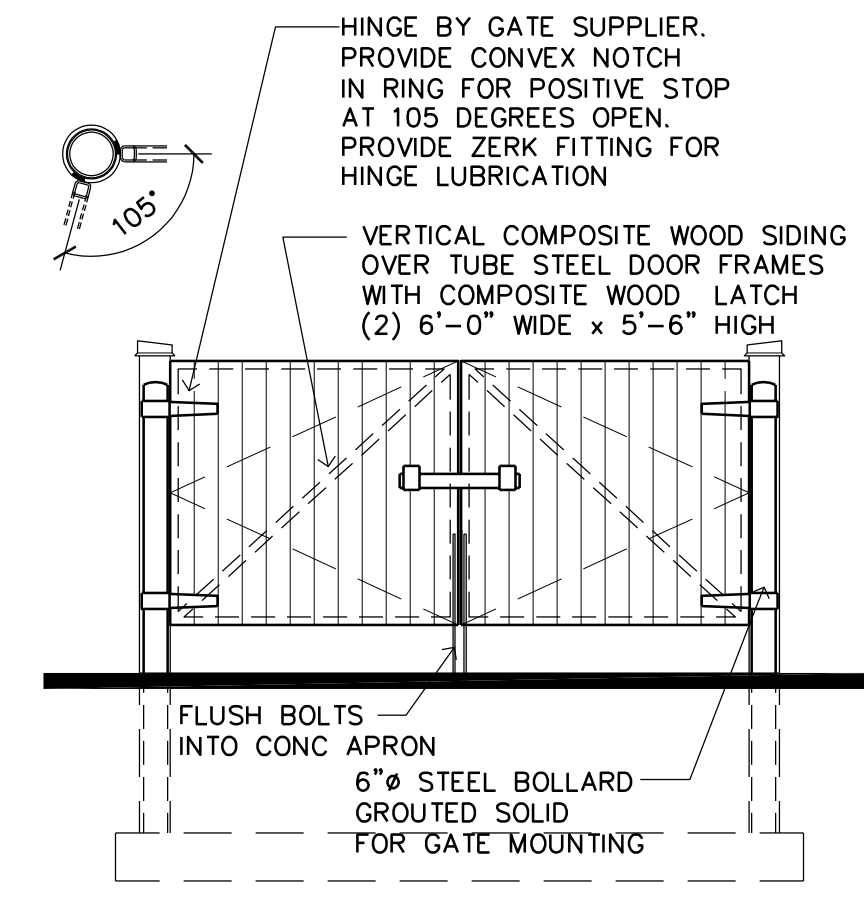
1 EAST ELEVATION
A4 SCALE: 1/16" = 1'-0"



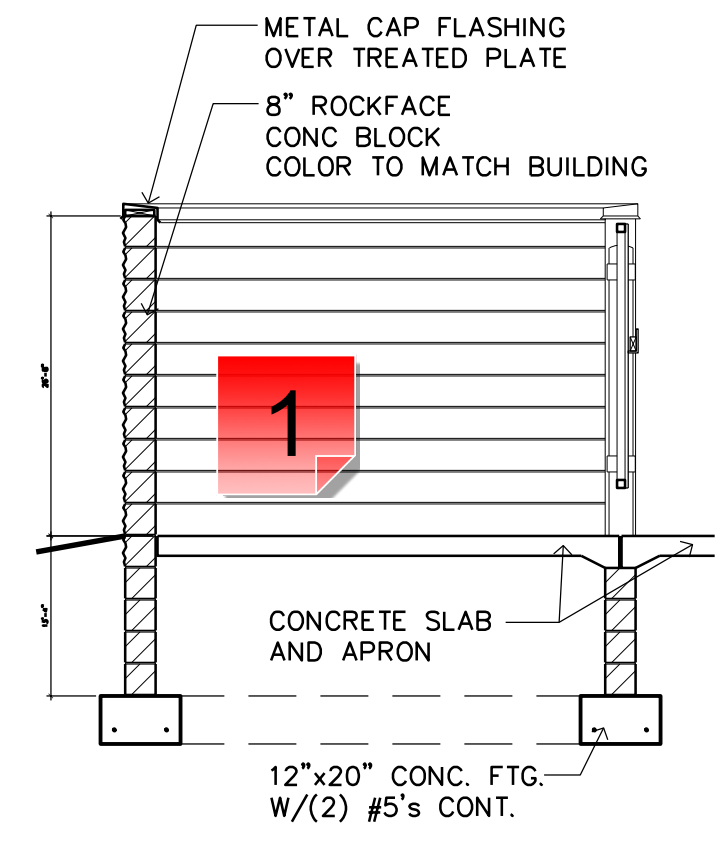
2 NORTH ELEVATION
A4 SCALE: 1/16" = 1'-0"



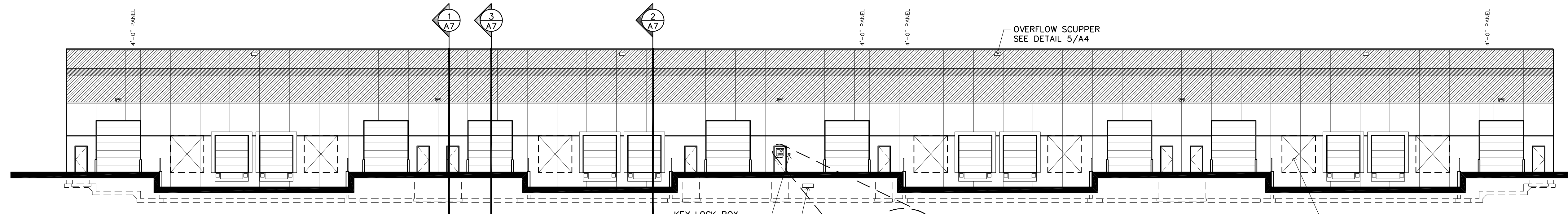
7 TRASH ENCLOSURE
A4 SCALE: 1/4" = 1'-0"



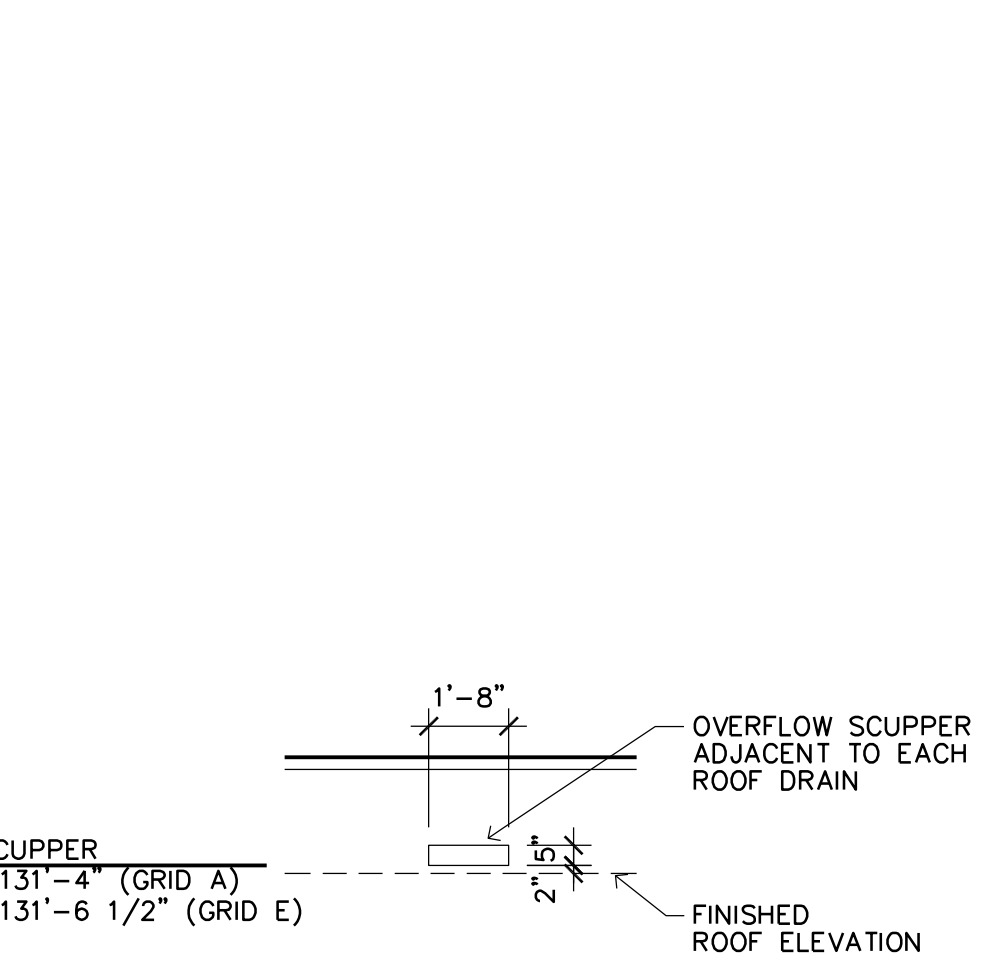
ELEVATION 'A'



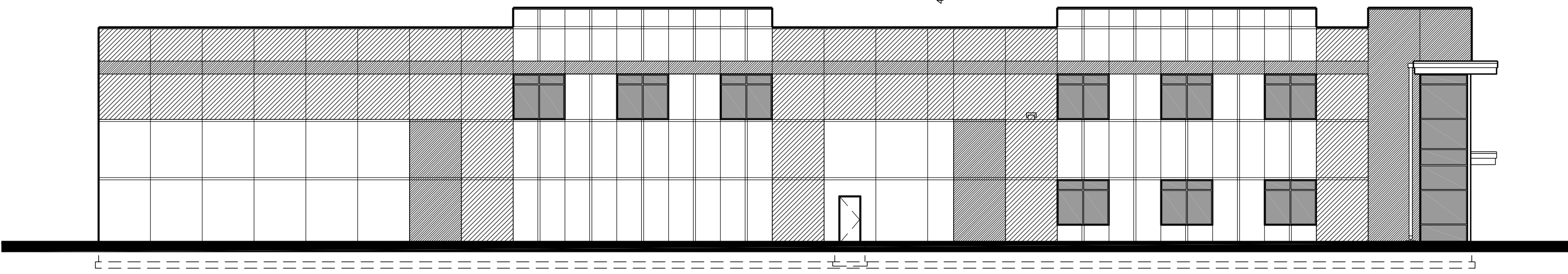
SECTION 'B'



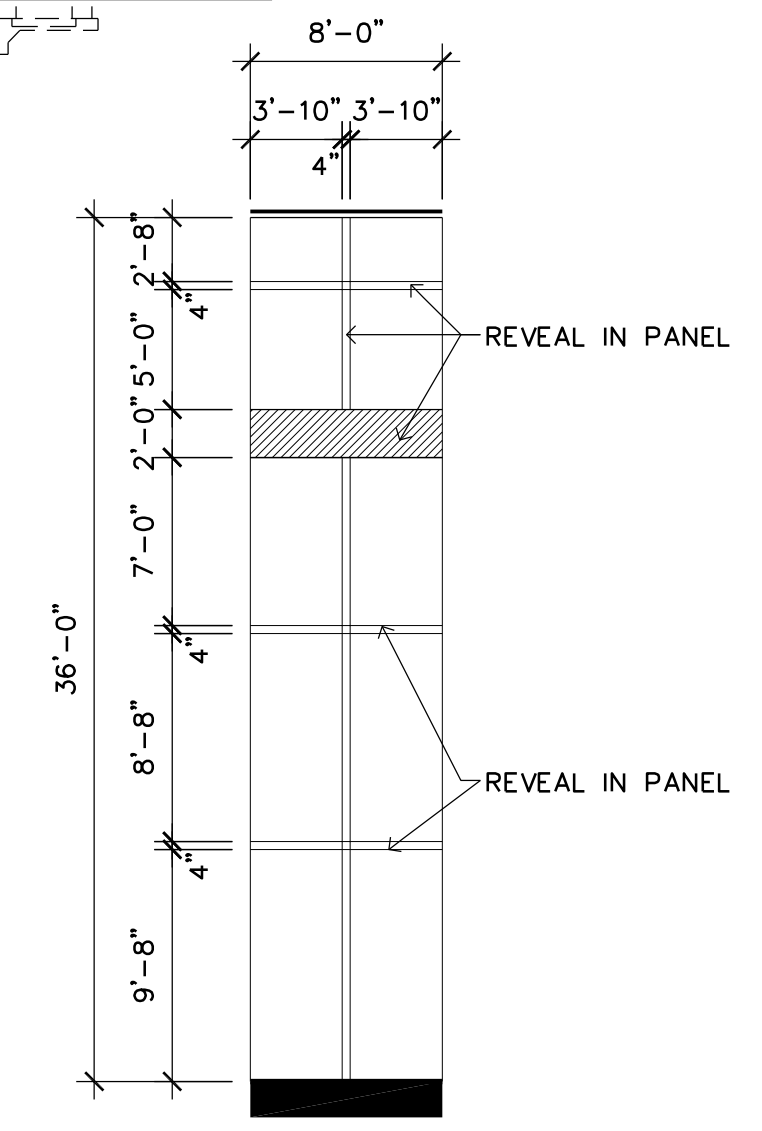
3 WEST ELEVATION
A4 SCALE: 1/16" = 1'-0"



5 OVERFLOW SCUPPER DETAIL
A4 SCALE: 1/4" = 1'-0"



4 SOUTH ELEVATION
A4 SCALE: 1/16" = 1'-0"



6 PRECAST PANEL DETAIL
A4 SCALE: 1/8" = 1'-0"

Filename: BUNKER LAKE INDUSTRIAL PARK\BUILDING #5\BUNKER LAKE #5-A4

NOTE: OVERFLOW SCUPPER IS SIZED ACCORDING TO IBC 1502.2.3 LEADER SIZE ASSUMED TO BE 8" DIAMETER. VERIFY WITH THE PLUMBING DESIGNER AND INT'L PLUMBING CODE

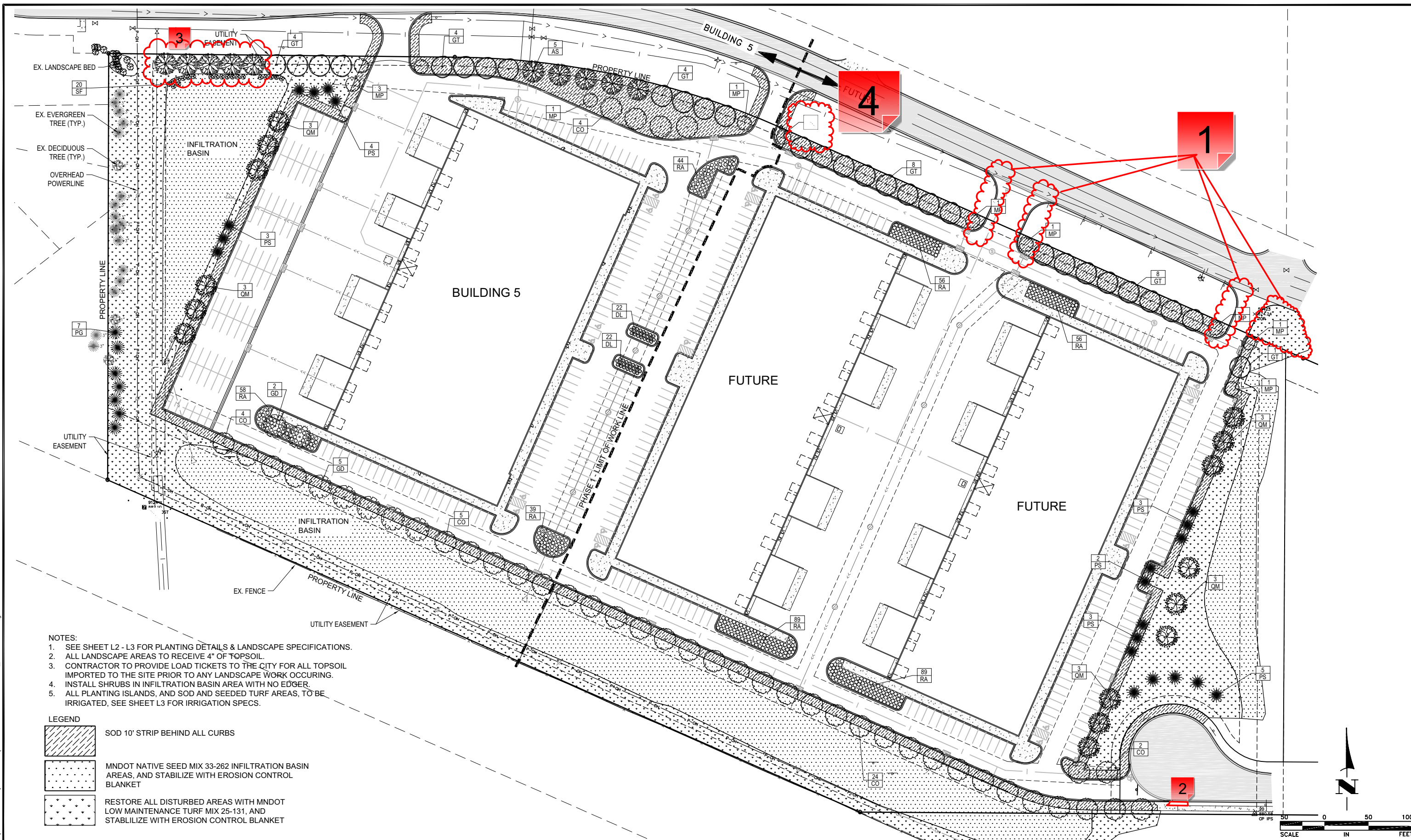
1 - Material?

Created by: Chris Anderson
On: 05/16/2023 11:36 AM

What is this material?

----- 0 Replies -----

May 15, 2023 - 9:56am K:\PRIVATE\2325.16\ENGINEERING\BASE DWG\HAA-BLIP-V-LANDSCAPE_rev021523.dwg



- NOTES:**
- SEE SHEET L2 - L3 FOR PLANTING DETAILS & LANDSCAPE SPECIFICATIONS.
 - ALL LANDSCAPE AREAS TO RECEIVE 4" OF TOPSOIL.
 - CONTRACTOR TO PROVIDE LOAD TICKETS TO THE CITY FOR ALL TOPSOIL IMPORTED TO THE SITE PRIOR TO ANY LANDSCAPE WORK OCCURRING.
 - INSTALL SHRUBS IN INFILTRATION BASIN AREA WITH NO EDGER.
 - ALL PLANTING ISLANDS, AND SOD AND SEEDED TURF AREAS, TO BE IRRIGATED, SEE SHEET L3 FOR IRRIGATION SPECS.

- LEGEND**
- SOD 10' STRIP BEHIND ALL CURBS
 - MNDOT NATIVE SEED MIX 33-262 INFILTRATION BASIN AREAS, AND STABILIZE WITH EROSION CONTROL BLANKET
 - RESTORE ALL DISTURBED AREAS WITH MNDOT LOW MAINTENANCE TURF MIX 25-131, AND STABILIZE WITH EROSION CONTROL BLANKET

DATE	REVISION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Shane M. Nelson
SHANE M. NELSON, P.E.
 Date 3/8/23 Lic. No. 43381

DESIGNED BY: SMN
 DRAWN BY: SGJ
 CHECKED BY: TAE



Hakanson Anderson
 Civil Engineers and Land Surveyors
 3601 Thurston Ave., Anoka, Minnesota 55303
 763-427-5860 FAX 763-427-0520
 www.hakanson-anderson.com

BLIP V DEVELOPMENT PLANS

OVERALL LANDSCAPE PLAN
 CITY OF RAMSEY, MINNESOTA

SHEET L4 OF L5 SHEETS

1 - Sod

Created by: Chris Anderson
On: 05/22/2023 11:17 AM

These areas, at a minimum, shall also be sod, similar to the access points further west.

----- 0 Replies -----

2 - Sod

Created by: Chris Anderson
On: 05/22/2023 11:43 AM

When this sidewalk work is done, need to make sure that sod is installed to match what's to the east.

----- 0 Replies -----

3 - Species?

Created by: Chris Anderson
On: 05/24/2023 10:03 AM

Please add what the species is of these trees.

----- 0 Replies -----

4 - Species

Created by: Chris Anderson
On: 05/26/2023 10:36 AM

Add species label or code.

----- 0 Replies -----

FUTURE LANDSCAPE REQUIREMENTS

E-3 EMPLOYMENT DISTRICT			
TOTAL AREA = 485,868 SF			
TOTAL IMPERVIOUS AREA = 345,847 SF			
TOTAL PERVIOUS AREA (Includes stormwater infiltration basins) = 140,021 SF			
(IMPERVIOUS AREA/TOTAL AREA) X PERVIOUS AREA = 99,669 SF			
TREES & SHRUBS BASED ON CANOPY COVER	UNIT	REQUIRED	ON THIS PLAN
TREE & SHRUB CANOPY COVER	SF	99,669	101,466
TREE CANOPY SF COVER DISTRIBUTION			
OVERSTORY TREES (GREATER THAN OR EQUAL TO 25%)	SF	GREATER THEN 24,918	67,339
CONIFER TREES (GREATER THAN OR EQUAL TO 25%)	SF	GREATER THEN 24,918	25,935
ORNAMENTAL TREES (LESS THAN OR EQUAL TO 25%)	SF	LESS THEN 24,918	942
OVERSTORY TREES ADJACENT TO PUBLIC R.O.W.			
PUBLIC R.O.W. 615 LF / 35 LF	EA	18	21
PARKING LOT LANDSCAPING - 201 STALLS			
1 OVERSTORY TREE PER 10 STALLS	EA	21	52

1

3

CANOPY SUMMARY

QTY	CODE	ITEM	CANOPY COVER			
			WIDTH	AREA	UNIT	TOTAL
OVERSTORY TREES						
17	GT	Gleditsia triacanthos inermis 'Shademaster'	30-40'	481	SF	8,177
9	QM	Quercus macrocarpa	25-50'	3910	SF	35,190
26	CO	Celtis occidentalis	35-50'	922	SF	23,972
ORNAMENTAL TREES						
6	MP	Malus 'Prairifire'	20-20'	157	SF	942
EVERGREEN TREES						
13	PS	Pinus strobus	50-75'	1995	SF	25,935
SHRUBS						
290	RA	Rhus aromatoaca 'Gro-Low'	6-8'	25	SF	7,250
					TOTAL	101,466

2

PLANT SCHEDULE

QTY	CODE	SCIENTIFIC NAME/COMMON NAME	SIZE	ROOT	REMARKS
OVERSTORY TREES					
17	GT	Gleditsia triacanthos inermis 'Shademaster'	2.5" cal.	BB	straight trunk, single leader
		Shademaster honeylocust			space 28-30' o.c.
9	QM	Quercus macrocarpa	2.5" cal.	BB	straight trunk, single leader
		Bur Oak			space 30' o.c.
26	CO	Celtis occidentalis	2.5" cal.	BB	straight trunk, single leader
		Hackberry			space 28-30' o.c.
ORNAMENTAL TREES					
6	MP	Malus 'Prairifire'	2" cal.	BB	straight trunk, single leader
		Prairie Fire crabapple			space 20' o.c.
EVERGREEN TREES					
13	PS	Pinus strobus	2" cal.	BB	straight trunk, single leader
		White pine			space 16-18' o.c.
SHRUBS (24" MIN. SHRUB AT TIME OF INSTALLATION)					
290	RA	Rhus aromatoaca 'Gro-Low'	#5	cont.	space 4.5-5' o.c.
		Gro-Low fragrant sumac			

May 15, 2023 - 9:56am K:\PRIVATE\2325.16\ENGINEERING\BASE DWG\HAA-BLIP-V-LANDSCAPE_rev021523.dwg

DATE	REVISION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Shane Nelson
SHANE M. NELSON, P.E.
 Date 3/8/23 Lic. No. 43381

DESIGNED BY: SMN
 DRAWN BY: SGJ
 CHECKED BY: TAE



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BLIP V DEVELOPMENT PLANS

OVERALL LANDSCAPE REQUIREMENTS
 CITY OF RAMSEY, MINNESOTA

SHEET L5 OF L5 SHEETS

1 - Future Landscaping

Created by: Chris Anderson
On: 05/24/2023 10:04 AM

This information will need to be submitted with the Building Permit(s) for buildings 6 & 7 in the future.

----- 0 Replies -----

2 - Additional Shrub Species

Created by: Chris Anderson
On: 05/24/2023 10:12 AM

Strongly recommend replacing some of the gro-low sumac with other species, just to create a bit of species diversity.

----- 0 Replies -----

3 - Overall BLIP Site Reforestation / Restitution

Created by: Chris Anderson
On: 05/24/2023 10:14 AM

All trees were removed from the BLIP land prior to any site improvements. Owner was informed that throughout the development of the entire BLIP site, reforestation and/or restitution was going to be required to comply with City Code. Staff has added a memo into the documents folder that outlines what will be required to meet those standards (since this is the last of the BLIP land).

----- 0 Replies -----

Environmental Policy Board (EPB)

6. 1.

Meeting Date: 06/12/2023

By: Chris Anderson, Community Development

Information

Title:

Update: COR Tree Clearing

Purpose/Background:

An action item within the City's Strategic Plan is to complete certain infrastructure improvements to prepare more shovel-ready parcels. This includes Parcel 46, which is in the northwest corner of The COR. Tree clearing is necessary to get the parcel to a shovel-ready state and is being implemented this summer. This does not pertain to any trees within any designated wetland(s), as those will be preserved, though all other trees will be removed (there were 207 significant trees on site and of those, 62 are Siberian Elm, an invasive species. Other species identified include Eastern Cottonwood, Trembling Aspen, Black Willow, and Red Cedar). The City has completed the calculations to ensure compliance with the tree preservation ordinance. A minimum of \$21,750 worth of new trees will be planted within the Waterfront Park (as part of the grading and restoration of that area). Additionally, the boulevard trees that are required as part of the streetscape standards for The COR will also apply to the reforestation standard. The combination of payment and future boulevard trees will ensure the City's project complies with the current tree preservation standard.

Action:

No action is necessary. Staff wanted to provide the Environmental Policy Board an update on this project as activity will begin in the coming weeks.

Attachments

No file(s) attached.

Form Review

Inbox	Reviewed By	Date
Brian Hagen	Brian Hagen	06/08/2023 11:40 AM
Form Started By: Chris Anderson		Started On: 06/06/2023 10:46 AM
Final Approval Date: 06/08/2023		

Environmental Policy Board (EPB)

6. 2.

Meeting Date: 06/12/2023

By: Chris Anderson, Community Development

Information

Title:

Small Scale Recycling Center Possibilities

Purpose/Background:

Staff recently inquired internally about the status of the former Utilities Division and Sign Shop building, located at 14210 Jasper St NW, as to whether the City was going to retain this building/parcel now that the Public Works Building is operational. It sounds likely that it will be retained, which means the City could contemplate implementing a small-scale recycling center here. This case is included under the Board/Staff update simply to get the Environmental Policy Board (EPB) thinking about a potential of a recycling center and what sort of materials could be accepted and what improvements would be helpful.

The City gets funding through Anoka County annually for its recycling program (funding is actually from the State Legislature through the Select Committee On Recycling and the Environment or SCORE). There is a section within the funding application specifically for permanent recycling centers. If the City were to establish a recycling center at this site, Staff could incorporate that into the funding request for 2025 (likely due to Anoka County around June 1, 2024). A portion of the funding could be applied towards various site improvements (e.g. fencing, cameras, surfacing, dumpsters, etc.) for a permanent recycling center. As such, Staff would encourage Board Members to visit some of the nearby recycling centers (Nowthen, Andover, and Coon Rapids), to get a sense of their operations (how they are set up, what materials are accepted, etc.).

If ultimately the City will retain this building/parcel, Staff will start to bring forward more specific information and ideas related to establishing a small-scale recycling center.

Action:

For update purposes only, no action is necessary.

Attachments

Site Location Map

Form Review

Inbox

Brian Hagen

Form Started By: Chris Anderson

Final Approval Date: 06/08/2023

Reviewed By

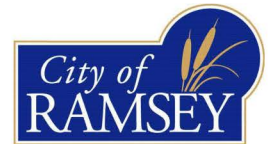
Brian Hagen

Date

06/08/2023 08:45 AM

Started On: 06/06/2023 11:29 AM

Site Location Map



Print Date: June 6, 2023

0 0.02 0.04 0.07 0.11 0.14 mi