

**City of Ramsey
Agenda
Park and Recreation Commission
Thursday, September 14, 2023**

6:30 pm

The Hallow park, 14642 Snowy Owl Street NW (south of Riverdale Drive)

Remote Attendance available at www.cityoframsey.com/meetings.

Those joining remotely and requesting to speak are asked to use a webcam when speaking.

- 1. Call to Order**

- 2. Citizen Input**

- 3. Approve Agenda**

- 4. Approve Minutes**
 1. Approve the following meeting minutes.
 1. Park and Recreation Commission meeting dated August 10, 2023

- 5. Commission Business**
 1. Approve Concept for Restroom for the Neighborhood Park South of Riverdale Drive
 2. Recommend the 2024 – 2033 Parks Capital Improvement Plan
 3. Recommend 2024 Park Development Fees

- 6. Commission/Staff Input**
 1. Commission/Staff Input

- 7. Adjournment**

Park and Recreation Commission

4. 1.

Meeting Date: 09/14/2023

By: Kathy Schmitz, Administrative Services

Information

Title:

Approve the following meeting minutes.

- 1. Park and Recreation Commission meeting dated August 10, 2023

Purpose/Background:

Purpose: To review and approve meeting minutes.

Background: Attached are the meeting minutes for review.

Notification:

Observations/Alternatives:

Funding Source:

n/a

Recommendation:

To review and approve meeting minutes dated August 10, 2023..

Action:

Motion to approve meeting minutes dated August 10, 2023..

Attachments

Park and Recreation Minutes 08/10/23

Form Review

Inbox	Reviewed By	Date
Mark Riverblood	Mark Riverblood	08/04/2023 08:44 AM
Bruce Westby	Bruce Westby	08/04/2023 09:39 AM
Brian Hagen	Brian Hagen	08/04/2023 12:29 PM
Mark Riverblood	Mark Riverblood	09/08/2023 02:15 PM
Bruce Westby	Bruce Westby	09/08/2023 03:09 PM
Brian Hagen	Kathy Schmitz	09/08/2023 03:37 PM
Form Started By: Kathy Schmitz		Started On: 08/03/2023 02:48 PM
Final Approval Date: 09/08/2023		

**PARK AND RECREATION COMMISSION
CITY OF RAMSEY
ANOKA COUNTY
STATE OF MINNESOTA**

The Ramsey Park and Recreation Commission conducted a regular meeting on August 10, 2023, at the Rivers Bend Park South Shelter, 5000 142nd Avenue NW and Waco Street NW, Ramsey, Minnesota.

Commission Members Present: Chair Nathan Barten
 Vice Chair Brandon Sis
 Commissioner Todd Arts
 Commissioner Shane Bennett
 Commissioner Jennifer Leistico
 Commissioner Dean Olson

Commission Members Absent: Commissioner Justin Loss

Also Present: City Council Liaison Debra Musgrove
 Parks & Assistant Public Works Director Mark Riverblood
 Assistant City Engineer Joe Feriancek

1. CALL TO ORDER

Chair Bennett called the Park and Recreation Commission meeting to order at 6:30 p.m.

2. CITIZEN INPUT

None.

3. APPROVE AGENDA

Commissioner Leistico requested to amend the agenda, specifically Item 4.01, to remove the April Commission minutes as those were approved in May.

Motion by Commissioner Leistico, seconded by Commissioner Sis to approve the Park and Recreation Commission meeting agenda as amended.

Motion carried. Voting Yes: Chair Barten; Commissioners Leistico, Sis, Arts, Bennett and Olson.
Voting No: None.

4. APPROVE MINUTES

4.01: Approve Park and Recreation Commission Meeting Minutes

Motion by Commissioner Sis, seconded by Commissioner Bennett, to approve the following Park and Recreation Commission Regular Meeting Minutes:

- ~~Park and Recreation Commission Meeting Minutes dated April 13, 2023~~
- Park and Recreation Commission Meeting Minutes dated May 11, 2023

Motion carried. Voting Yes: Chair Barten; Commissioners Sis, Bennett, Arts, Leistico, Loss, and Olson. Voting No: None.

5. COMMISSION BUSINESS

5.01: Consider Recommending City Council Partially Fund Central Park Main Parking Lot Reconstruction, Improvement Project #23-02 Using Park Trust Funds

Parks & Assistant Public Works Director Riverblood stated that this project was included in the 2023 Capital Improvement Projects. He noted that Assistant City Engineer Feriancek is present to provide an update on the project. He stated that the Commission will be asked to consider a funding request from the Park Trust Fund.

Assistant City Engineer Feriancek provided background information on the project noting that the project was authorized for bids on July 25th. He stated that staff worked with ARAA and the Game Fair in order to avoid conflicts to the extent possible. He provided details on the design that was developed as well as future considerations. He stated that the CIP estimate for the project was \$800,000 while the final estimate based on plans and timing of construction is \$924,000. He reviewed the funding sources proposed for the project, noting that the stormwater utility fund will cover all stormwater items and the remaining costs are split 50/50 between the capital maintenance fund and park trust fund. He stated that the Capital Maintenance Fund has a \$340,000 cap and therefore the remaining costs would be proposed to be funded through the Park Trust Fund. He reviewed the next steps and tentative project schedule.

Vice Chair Sis asked about the basketball hoops and whether those would be reused.

Assistant City Engineer Feriancek stated that area was reconstructed as part of the 161st project. He noted that there will be four hoops and it will be marked for basketball.

Councilmember Musgrove asked if the CIP funds were broken down in the same manner as discussed.

Parks & Assistant Public Works Director Riverblood confirmed that they did follow that breakdown between the three funds. He noted that the Stormwater funds and Capital Maintenance funds are approved in static amounts, therefore additional funding will be requested from the Park Trust Fund.

Commissioner Sis asked the genesis of the cap on the capital maintenance fund.

Parks & Assistant Public Works Director Riverblood provided additional details. He noted that the city-wide CIP projects also have allocated funding and therefore caps have been placed on

projects that have additional funding sources. He noted that additional improvements were built into this project and therefore because of that changed scope, the burden of those additional costs should not be placed on the Capital Maintenance Fund.

Commissioner Sis commented that he appreciates the additional stalls that will be added as the parking lot fills quickly during certain events. He asked if the width of the stalls will be appropriate for the vehicles that utilize the parks.

Assistant City Engineer Feriancek replied that nine feet in width is the standard.

Chair Barten asked if this will push closer to the trees.

Assistant City Engineer Feriancek replied that they would go 12 to 15 feet closer on both the north and south but noted that they would not want to go further as that would encroach on the roots.

Parks & Assistant Public Works Director Riverblood commented that there will be almost no impact to the tree roots. He noted that a mature tree could have up to one third of its rooting zone impacted without negative effects. He stated that the trees will have regular irrigation as part of the project.

Chair Barten stated that he was also wondering if the roots would have an eventual impact on the pavement, but it sounds like they will be far enough back.

Commissioner Olson recalled the discussion of angled spaces versus straight spaces and asked if there would have been a large difference in the number of spaces.

Assistant City Engineer Feriancek stated that they would have lost a few spaces if they would have used angled spaces. He noted that there were able to add some stalls in other locations.

Councilmember Musgrove stated that the Public Works Committee discussed this and were on the same page in supporting the number of stalls. She noted that the straight parking design provided more stalls.

Commissioner Bennett stated that he recalled that safety was an issue with the angled spaces. He believed that this design does a great job using medians and cuts down opportunities of people driving across the lot to cut through. He believed that this design provides additional stalls and improved safety.

Chair Barten asked if there are concrete gutters on the central islands.

Assistant City Engineer Feriancek replied that there is full height curb with curb cuts. He commented that there is a series of three curb cuts on each side of the median. He stated that the inlets are raised a bit to hold some of that water.

Parks & Assistant Public Works Director Riverblood stated that the City has drafted a cross parking agreement with PACT Charter School that will be before the appropriate entities within the next month which will add additional parking capacity during large tournaments. He

confirmed that some people attending Friday night games at the school may choose to park in Central's northeast parking lot.

Motion by Commissioner Sis, seconded by Commissioner Bennett, to recommend City Council partially fund the Central Park Main Parking Lot Reconstruction, Improvement Project #23-02, using the Park Trust Fund.

Motion carried. Voting Yes: Chair Barten; Commissioners Sis, Bennett, Arts, Leistico, Olson, and Sis. Voting No: None. Absent: None.

5.02: Initiate the 2024-2033 Parks Capital Improvement Plan Process – A General Policy and Priority Discussion

Parks & Assistant Public Works Director Riverblood recognized that the Commission is intimately familiar with the Capital Improvement Plan and its related process. He stated that the Commission typically reviewed the plan in the fall to plan for the coming year. He stated that he brought it forward a bit earlier this year to talk about more general priorities and whether there are additional items they should be thinking about. He noted that within the past year, the Commission reviewed the disc golf project within the plan and decided to focus on other projects because of the number of courses in close proximity to Ramsey. He asked if more emphasis should be placed on larger regional projects in 2024, such as the waterfront park project, rather than smaller neighborhood and trail projects. He commented that the Commission has done a great job in spreading improvements throughout the community to provide equity. He stated that this is meant to be a discussion item and formal action is not requested.

Commissioner Sis stated that his son is interested in the RC car park, acknowledging that item did not move forward. He asked the feasibility in exploring that concept again.

Parks & Assistant Public Works Director Riverblood replied that the Commission authorized the development of an area for that use, but momentum was lost. He stated that he did reach out to the resident that expressed interest in the past to see if momentum could be gained again.

Councilmember Musgrove referenced the concept of a dog park within the COR, asking if that was still on the radar of the Commission. She asked for an update on the trail repair plan.

Parks & Assistant Public Works Director Riverblood replied that the dog park is shown as a 2023 project. He stated that he has a good amount of work done on the specifications and plans but has not brought that forward for quotes yet. He anticipated that would have a cost of about \$20,000. He stated that they hope to develop a trail maintenance plan as a policy plan, noting that he hopes to bring that forward to the Public Works Committee in draft form in the next month or two. He stated that funds have been earmarked for trail repair each year in the budget and provided details on that. He stated that they will be doing trail maintenance this month.

Commissioner Arts asked if there is anything planned for trail expansion.

Parks & Assistant Public Works Director Riverblood replied that there is a placeholder within the CIP for priority trails. He provided additional details on those opportunities that could come with

development that will remain on the list. He anticipated that this item would be on the September agenda with a formal recommendation to be made to the City Council then, or at the Commission's October meeting.

Commissioner Sis asked if it would be possible to partner with a local company, noting that perhaps a local fencing company would assist with the dog park project if there were an opportunity for them to place signage.

Parks & Assistant Public Works Director Riverblood replied that opportunity could exist if the Commission wanted to invite a company to talk about that. He stated that exchanging subtle signage on the fencing in return for that donation would be a fair trade for the City.

Chair Barten commented that he would think there would be significant value in continuing the work for the dog park for the Commission to review at one of the upcoming meetings as a dog park would be a valuable addition to the residents in the COR.

Commissioner Bennett commented that generally the recommendations within the report seem to make a lot of sense. He stated that in terms of priorities he wants to ensure they are continuing to address the existing playground equipment per the recent policy that was adopted. He stated that he would also like to see continuous movement on the projects within the COR, as the movement of dirt has sparked resident interest.

Parks & Assistant Public Works Director Riverblood commented that the City Council recently held a worksession to provide staff direction relative to The COR. He stated that there was complete consensus that staff should continue to refine elements related to the splashpad and park building, along with a trail and restoration plan around The Waterfront. He stated that the anticipation is that the trail and landscaping would be ready for completion as soon as the Spring of 2024 to go along with The Waterfront while the splashpad and park building would have a longer timeline. He noted that the aeration project within the plan was pushed back as the fish died so there is no longer urgency.

Commissioner Arts asked for an update on the park located on the south side of Highway 10.

Parks & Assistant Public Works Director Riverblood replied that weather permitting, the Commission would be meeting at that location in September. He stated that the zipline has been installed, but some grading changes are needed before the remaining woodchip material can be placed in the fall zone.

Councilmember Musgrove asked if there is a plan for Lake Itasca Park with the current condition of the lake. She commented that the water level is currently so low that it makes recreation difficult.

Parks & Assistant Public Works Director Riverblood commented that the land is in place for a large community park, although he was unsure there is a need for a community park in that location at this time as the focus is currently on The COR. He noted that the previous CIP included an observation boardwalk, but the Council recommended that project be removed partly because of the droughty conditions.

Commissioner Arts referenced the Lake Itasca area, which is a natural and scenic area. He asked if there have been thoughts to placing natural plantings in the area that was previously tilled up.

Parks & Assistant Public Works Director Riverblood replied that the City created the 7-acre Monarch Trail, noting the goal to establish milkweed in that area. He stated that they have been unsuccessful in establishing that plant and they continue to work on it. He stated that they will be seeding and placing plugs again in the Spring of 2024.

Councilmember Musgrove provided context from recent resident input and discussion at the Lower Rum River Water Management Organization related to the low water level at Lake Itasca.

5.03: Proposed Haviland Fields Housing Project

Parks & Assistant Public Works Director Riverblood stated that the City Council was asked to consider funding assistance for this project, which he believed was not approved. He believed the developer is continuing in the funding process to bring this forward for development. He stated that an Environmental Assessment Worksheet (EAW) was sent to the Commission and is posted on the City website noting that it is currently open for comments. He noted that they are very early in this process. He commented that staff will be talking about the interface between the project and Solstice Park. He noted that the park is lacking pickleball and perhaps there could be a modest park expansion to accommodate courts that would be shared between the general public and development's residents.

Chair Barten commented that his biggest concern would be the impact to the park as that type of development could create a larger amount of traffic for the park and liked the idea of exploring pickleball as an expansion.

6. COMMISSION/STAFF INPUT

Parks & Assistant Public Works Director Riverblood stated that they will be moving forward with trail maintenance in the coming weeks. He provided an update on recent events including the giant waterslide that coincided with the summer concert event. He noted that the second to last concert will be held tonight. He provided flyers for Happy Days and announced that former Recreation Specialist Abigail Proulx is coming back the following week as the Recreation Coordinator for the City.

Commissioner Bennett referenced the legalization of cannabis, noting that there has been a lot of discussion about use within public parks. He asked if the City Council has talked about that concept.

Parks & Assistant Public Works Director Riverblood confirmed that the City is talking about that.

Councilmember Musgrove commented that the City Council tabled discussion on a proposed ordinance to ensure they are doing things right. She stated that it seemed there was consensus that cannabis use should be prohibited in parks but there was additional discussion needed related to

tobacco use in the parks. She welcomed input from the Commission on the topic. She stated that there were also concerns about the use of cannabis by minors.

Commissioner Bennett stated that he would agree that cannabis and tobacco should not be allowed within the parks.

7. ADJOURNMENT

Motion by Commissioner Leistico, seconded by Commissioner Bennett, to adjourn the meeting.

Motion carried. Voting Yes: Chair Barten; Commissioners Leistico, Bennett, Arts, Olson, and Sis.
Voting No: None.

The Park and Recreation Commission meeting adjourned at 7:37 p.m.

Respectfully submitted,

Mark Riverblood
Parks & Assistant Public Works Director

Drafted by Amanda Staple
TimeSaver Off Site Secretarial, Inc.

Meeting Date: 09/14/2023

By: Mark Riverblood, Engineering/Public Works

Information

Title:

Approve Concept for Restroom for the Neighborhood Park South of Riverdale Drive

Purpose/Background:

A 243 lot residential subdivision was approved by the City in 2021 entitled Riverstone South—and is generally south of Hwy's #10 & #169 and north of the Bowers Drive residential area. As part of the planning process in 2020-21 it was determined that Park Dedication for the new plat would consist of one acre for a neighborhood park, and \$350,000 in cash for the park's development.

The purpose of this case is to approve the general plan for restroom building for the park, consistent with the concept plans that the Commission approved late in 2022.

Notification:

Substantial public engagement, workshops and Public Hearings occurred in 2020 and 2021 leading up to the plat's approval.

Observations/Alternatives:

One of the stated goals for the park in this location was to preserve the existing trees—and then to incorporate the trees with the playground elements. The approved concept plan (attached) is the result of considerable planning to achieve these goals and to remain within the \$350,000 park development budget. Presently, staff is in the process of finalizing the Request for Proposals (RFP) such that some of the playground elements can be necessarily competitively bid upon; specifically the elevated boardwalk, which will include procuring the materials, and associated labor and construction costs.

The anticipated play equipment components to be attached to the boardwalk (attachment 4) are available from the State Bid Contract and do not need to go through the competitive bidding process. These components are likely to be purchased by the City directly, with the boardwalk contractor attaching and integrating them into the larger elevated boardwalk platforms. The zip line is one of these components that was available from the State Contract, and was installed this Summer.

The restroom building also will need to be competitively bid on, and thus the purpose of this case is to receive Commission concurrence that the restroom specifications are in-line with expectations. The restroom would be bid this Winter, for approval by the Commission and subsequent approval by City Council, likely altogether with the remaining playground and park elements. The goal would be to complete the project before school is out of session in the Spring of 2024.

Additional information will be presented at the meeting.

Funding Source:

The funding source is the \$350,000 in Park Dedication fees paid by the Developer of the residential subdivision.

Recommendation:

Staff recommends specifications (attachment 3), and obtaining bids for a Lynx Huffcut restroom or approved equal, as described within this case.

Action:

Motion to recommend staff proceed with developing specifications and obtaining bids for a restroom as described as part of this case.

Attachments

Location map
Site map and proposed bldg
Specifications
Concept Plan
Draft Budget
State Bid components
ZipVenture images

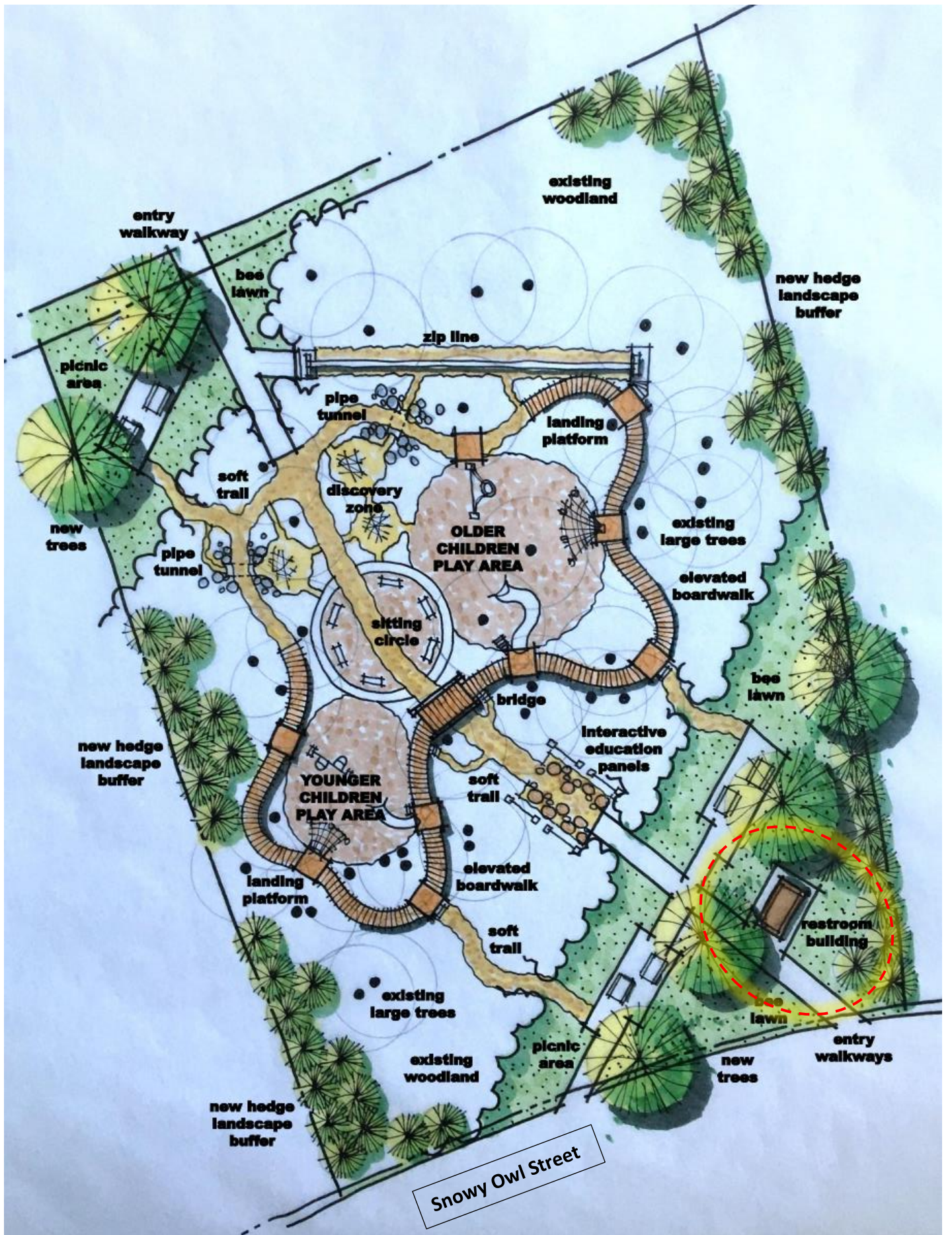
Form Review

Inbox	Reviewed By	Date
Bruce Westby	Bruce Westby	09/08/2023 03:15 PM
Brian Hagen	Kathy Schmitz	09/08/2023 03:37 PM
Form Started By: Mark Riverblood		Started On: 09/08/2023 01:15 PM
Final Approval Date: 09/08/2023		



New one-acre park

Mississippi National River and Recreation Area



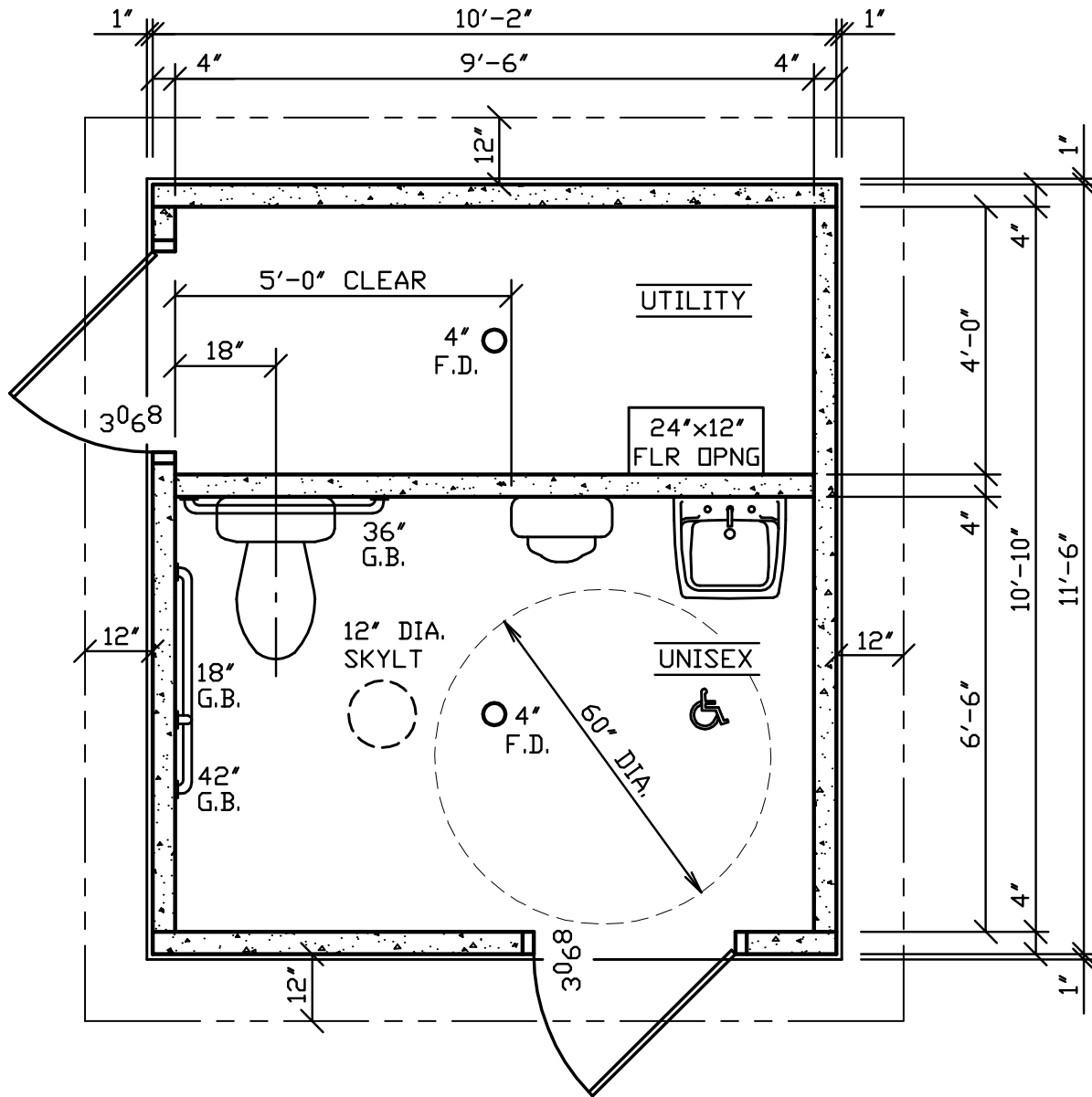


LYNX



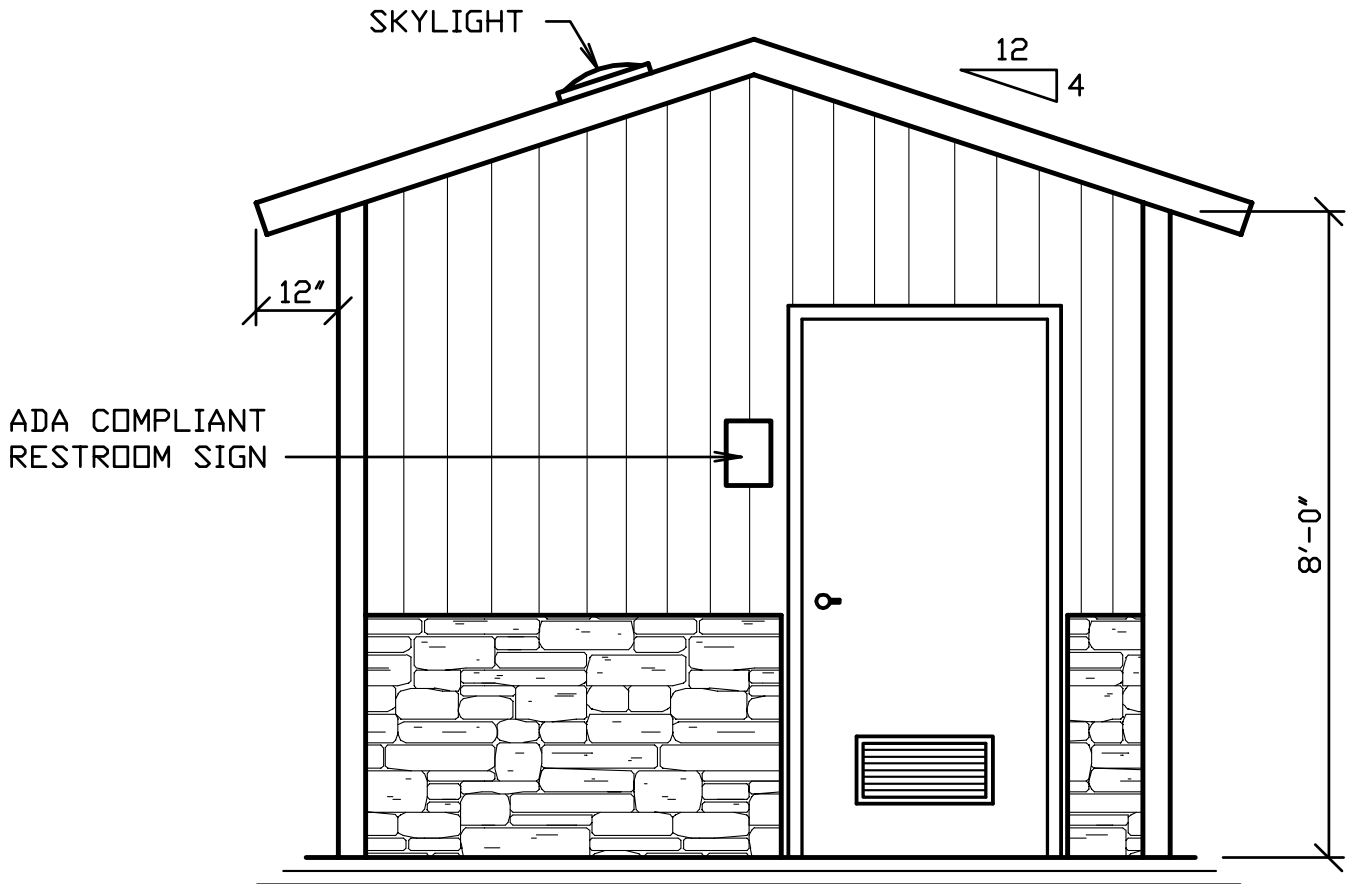
- RESTROOM -

LYNX



Floor plans are for reference only. This drawing shall not be copied or submitted to others without the consent of this company.

4154 123rd St. Chippewa Falls, WI 54729 | 715-723-7446
HUFFCUTT.COM



FRONT ELEVATION

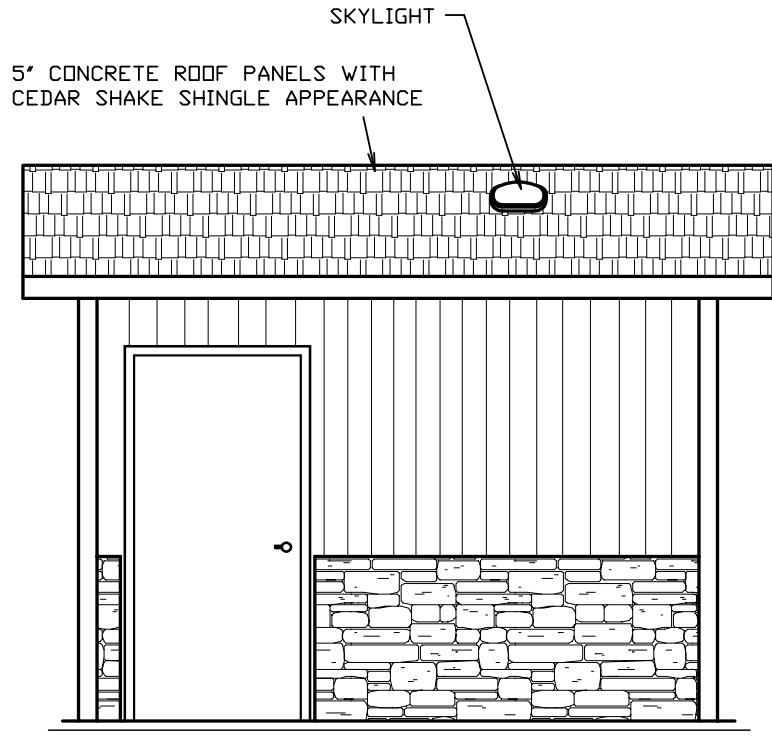
SCALE: 1/4" = 1'-0"

(REAR ELEVATION SIMILAR, EXCEPT NO DOOR)



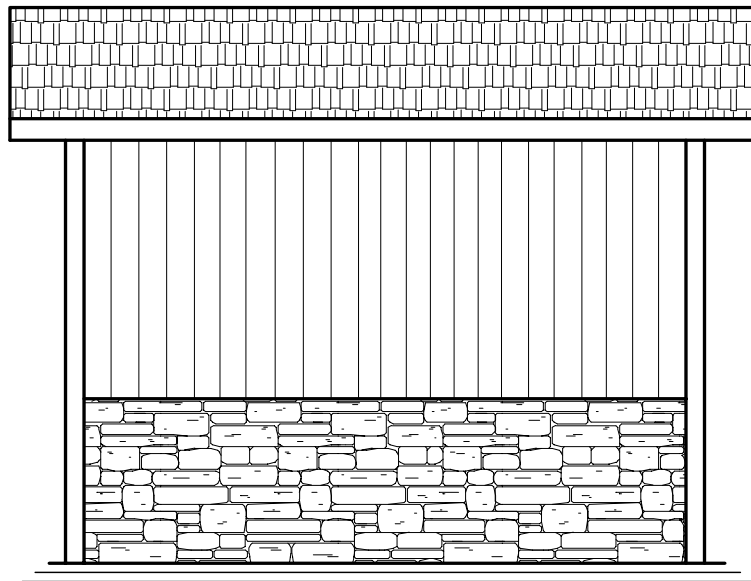
Floor plans are for reference only. This drawing shall not be copied or submitted to others without the consent of this company.

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LEFT ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

SPECIFICATIONS

PART 1 – GENERAL

1. SCOPE

1.1. Construction and onsite placement of a prefabricated precast concrete restroom building.

2. MANUFACTURER

2.1. Manufacturer shall be Huffcutt Concrete or a pre-approved equal.

2.2. Manufacturer shall be an NPCA Certified Plant or equal with verifiable references demonstrating quality, design and service upon request.

2.3. Manufacturer will provide a written warranty providing 20 years structural, manufacturer's warranty on all hardware and components not produced at precast concrete manufacturer's plant, and 3 years against defects in paint, caulk, and grout.

3. DESIGN

3.1. Building will be manufactured using precast concrete including the roof. Building's structural and foundation design will be relevant to the region and properties associated with its final placement. Design will also meet ADA and building code requirements.

4. SUBMITTALS

4.1. Manufacturer shall provide submittals and engineering if requested.

PART 2 – PRODUCTS

1. MATERIALS

1.1. Doors and Frames

1.1.1. Doors shall be 18ga galvanized metal, louvered with 16ga frames. Doors and frames shall include one coat of rust inhibitive primer and two finish coats of enamel paint.

1.2. Door Hardware

1.2.1. Aluminum drip cap. Reese or equal.

1.2.2. Door closure with hold open. Cal-Royal or equal.

1.2.3. Stainless hinges with non-removable pin. Cal-Royal or equal.

1.2.4. Grade 1 lockset. Function and keying to be verified with owner.

1.2.5. Brush style sweep. Reese or equal.

1.2.6. ADA compliant threshold. Reese or equal.

1.3. Windows

1.3.1. Vinyl frame, obscure glass, operable. Parco or equal.

1.4. Plumbing

1.4.1. Stools

1.4.1.1. Kohler porcelain wall mounted, ADA compliant, elongated bowl.

- 1.4.1.2. Sloan flush valve, concealed, hydraulic actuator.
- 1.4.2. Urinal
 - 1.4.2.1. Kohler porcelain wall mounted, ADA compliant.
 - 1.4.2.2. Sloan flush valve, concealed, hydraulic actuator.
- 1.4.3. Lavatories
 - 1.4.3.1. Kohler wall mounted sink, ADA compliant.
 - 1.4.3.2. Moen single handle ADA metering faucet.
- 1.4.4. Water Heater
 - 1.4.4.1. Bradford white electric water heater. Size to be sufficient for number of showers and lavatories.
- 1.4.5. Mixing Valve
 - 1.4.5.1. Honeywell thermostatic mixing valve, adjustable.
- 1.4.6. Floor Drains
 - 1.4.6.1. Sioux Chief on grade adjustable floor drain.
- 1.4.7. Sediment Filter
 - 1.4.7.1. Rusco sediment filter.
- 1.5. Electrical
 - 1.5.1. Interior
 - 1.5.1.1. RAB Vandalproof Tuff Dome motion sensor.
 - 1.5.1.2. RAB VAN1 lights.
 - 1.5.1.3. GFI receptacles.
 - 1.5.1.4. Murdock super secure.
 - 1.5.2. Exterior
 - 1.5.2.1. RAB Tallpack lights.
 - 1.5.3. Chase
 - 1.5.3.1. 100amp loadcenter.
 - 1.5.3.2. (2) 2 bulb florescent lamps. (1 per modular section)
 - 1.5.3.3. Soler & Palau exhaust fan.
- 1.6. Interior Hardware
 - 1.6.1. Stainless 3 roll toilet paper dispenser.
 - 1.6.2. ADA toilet stalls shall have (1) 18" stainless vertical grab bar, (1) 36" stainless horizontal grab bar, (1) 42" stainless horizontal grab bar.
 - 1.6.3. Stainless frame 18" x 36" mirror.
 - 1.6.4. (2) coat hooks
- 1.7. Sealers
 - 1.7.1. Floor shall be sealed using a deep penetrating, high alkali resistant, low volatility product. TK-290 or equal.
- 1.8. Caulks and Grout
 - 1.8.1. All joints between precast panels shall be caulked using a durable, flexible polyurethane sealant. BASF Sonolastic NP-1 or equal.

- 1.8.2. Weld plate panel connections shall be grouted flush with interior wall surface.
Speed Crete Red Line or equal.

2. FINISHES

2.1. Interior

- 2.1.1. Smooth trowel finish.

2.2. Exterior

- 2.2.1. Exterior wall appearance to be approved by owner using an architectural form liner.
- 2.2.2. Roof shall be cedar shake architectural form liner.

2.3. Paint

2.3.1. Interior

- 2.3.1.1. Wall panels shall be primed with a premium quality water based acrylic bonding primer moisture and alkali resistant. Finish coat shall be a high performance acrylic enamel.

2.3.2. Exterior

- 2.3.2.1. Roof shall be covered with a quality 100% acrylic satin paint. Owner to determine color.
- 2.3.2.2. Walls shall be covered with a quality concrete stain. Owner to determine color.
- 2.3.2.3. Doors shall be covered using 2 coats of a high performance 100% acrylic satin enamel. Owner to determine color.

Part 3 – Execution

1. PRECAST CONCRETE FAMILY STYLE RESTROOM – SHOWER BUILDING

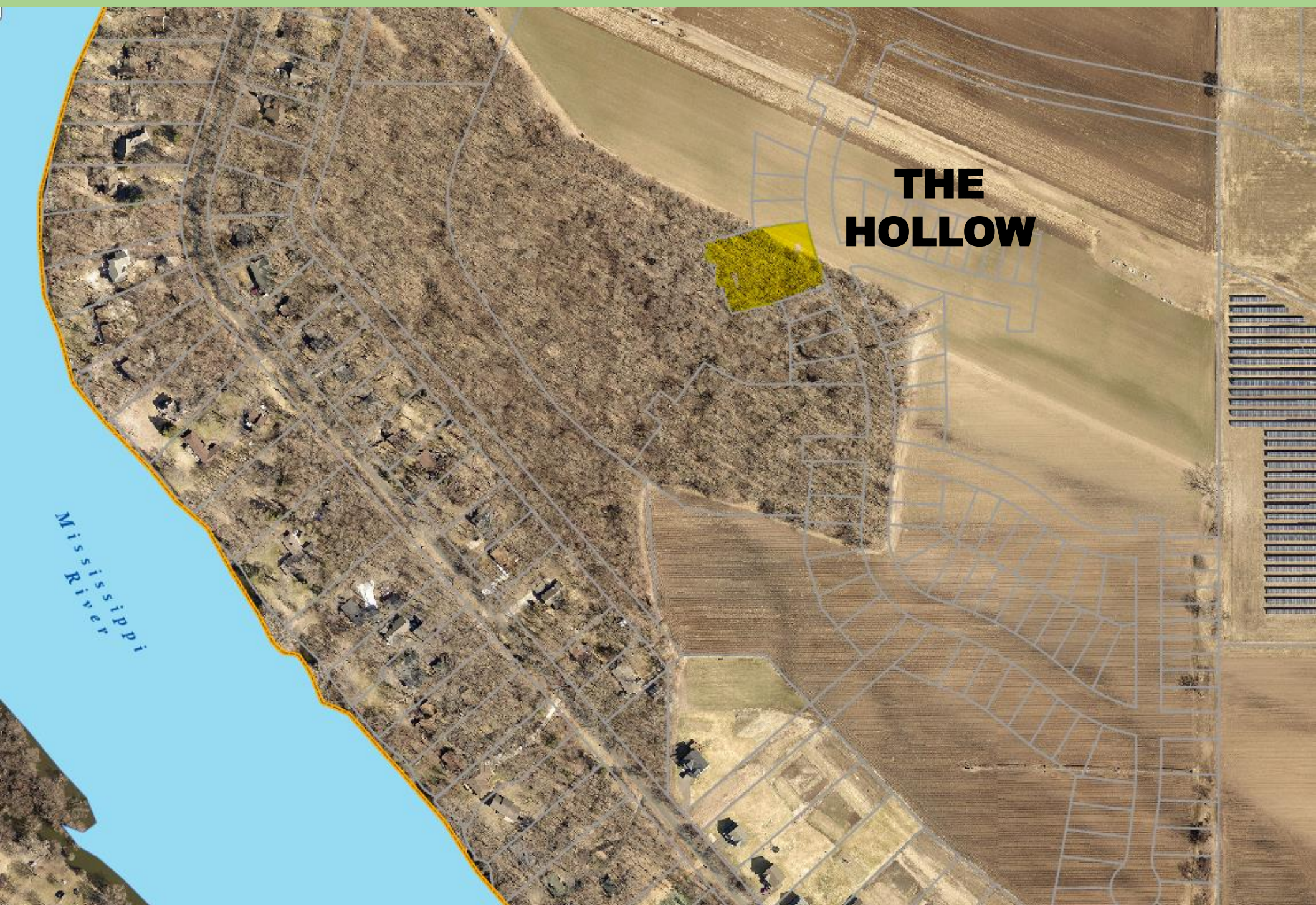
- 1.1. Building manufacturer shall construct, assemble, paint, install plumbing and electrical at their plant so that it may be transported to the jobsite in finished modules and placed using a crane.
- 1.2. Building manufacturer shall provide mechanical rough in drawing showing where electrical, water supply line, waste line, and floor drains are to be located for hook up to building.
- 1.3. Contractor will make final mechanical connections after the building is placed by manufacturer.
- 1.4. Manufacturer will caulk interior and exterior seams between modules. Manufacturer will also perform any shipping and handling repairs during installation.

2. ONSITE

- 2.1. Contractor shall provide adequate access and a level pad for the crane and semis to sit side by side under their own power. Working radius shall be 35' from center pin on crane.
- 2.2. Contractor shall design and pour a foundation suitable for building to sit on. Foundation shall be level to within ¼".

- 2.3. Contractor shall rough in mechanicals according to mechanical rough in drawing provided by building manufacturer. Mechanicals shall be terminated at top of foundation. Final mechanical connections shall be done by contractor including floor drains.
- 2.4. Contractor will perform initial startup of building using O & M manual as a reference. Contractor will also perform any troubleshooting during initial startup.

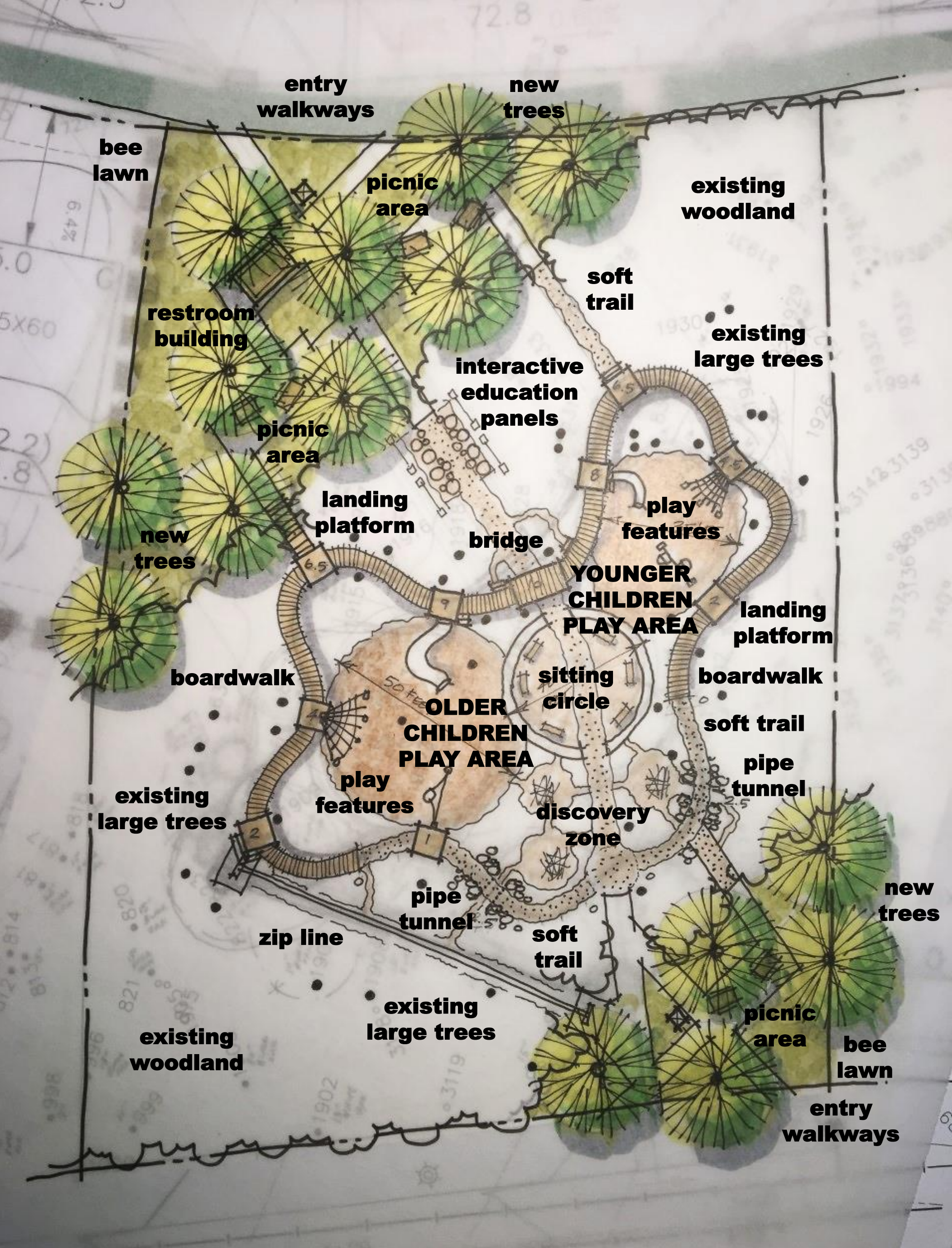




- DESIGN OBJECTIVES + PRIMARY PARK COMPONENTS**
- + Preserves and protects this remnant natural area
 - + Universally accessible – welcoming for all abilities
 - + Meandering boardwalk – play in the treetops
 - + Centrally located sitting/observation circle
 - + Separate play areas for various age groups
 - + Variety of play features (slide, climb, swing, zip line)
 - + Restroom building adjacent to picnic area
 - + Interactive interpretive/educational panels

Concept Design for THE HOLLOW

Riverstone South – Ramsey, Minnesota

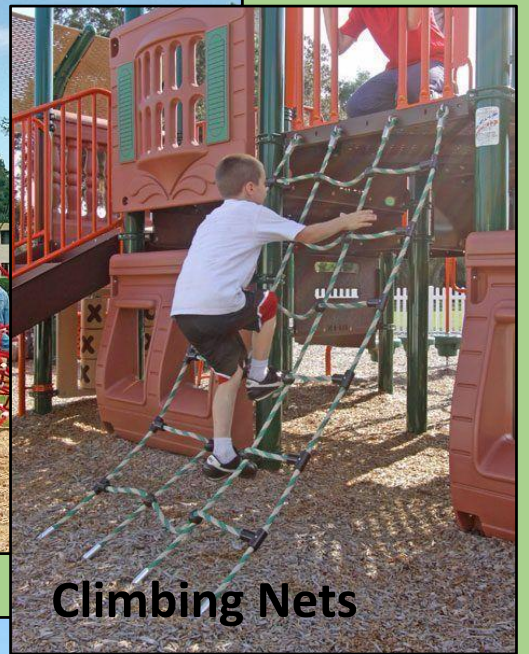


THE HOLLOW – Concept Plan

Riverstone South – Ramsey, Minnesota



Restroom Building



Climbing Nets



Saucer Swing



Spiral Slides



Toddler Swing



Zip Line

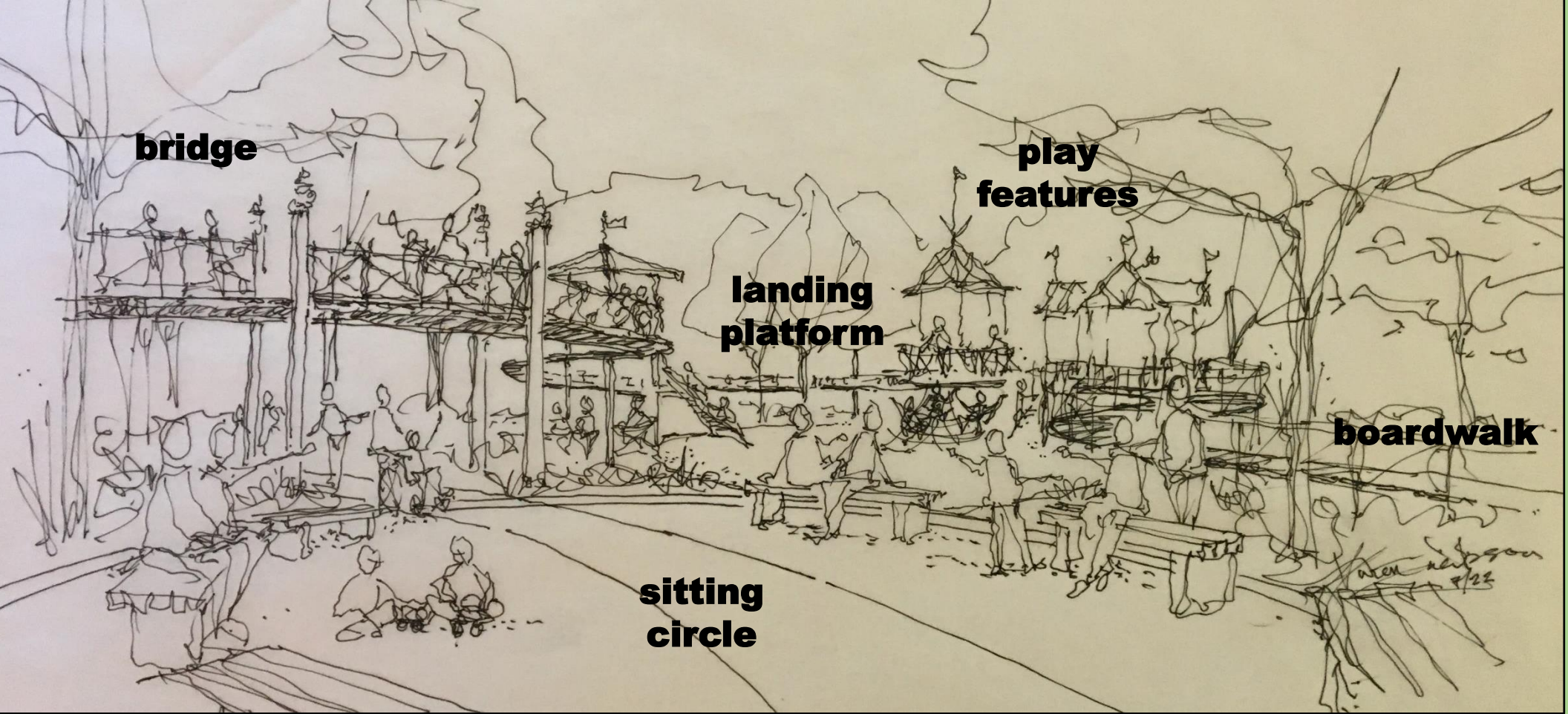


Wood Bridge



Elevated Boardwalk

THE HOLLOW – Park Elements **Riverstone South – Ramsey, Minnesota**



THE HOLLOW – Concept Sketches

Riverstone South – Ramsey, Minnesota

'THE HOLLOW' - City of Ramsey Parks and Recreation
Preliminary Cost Estimate (first draft 25 August 2022)

Restroom Building		
Prefabricated, delivered and installed		\$ 75,000
Boardwalk		
Ramps	300 l.f. @ \$150/l.f.	45,000
Landings	9 - 6' x 6' @ \$1,000 each	9,000
Bridge	1 - 6' x 12' @ \$5,000 each	5,000
Wood Stairs / Ladders		5,000
Concrete		
Walks and Plazas	2,500 s.f. @\$10/s.f.	25,000
Flat Curb at Sitting Circle	500 s.f. @ \$10/s.f.	5,000
Play Surface		
Wood Fiber 12" depth	3,500 s.f. @ \$4/s.f.	14,000
Soft Trails		
Crushed stone 6" depth	4,000 s.f. @ \$3/s.f.	12,000
Play Features		
Combination of catalog pieces and on-site fabrication including slides, net climbers, swings etc.		100,000
Zip Line		18,000
PVC Pipe (crawl-thru faux log tunnel)	2 @ \$ 500 each installed	1,000
Interactive Interpretive/Educational Panels		15,000
Furniture (catalog selections)		
6 Benches and 4 Picnic Tables		5,000
Landscape Materials		
New Trees, screen (hedge) and Prairie/Bee Lawn Seeding		10,000
Park Lighting (ambient light from street lights and surrounding home sites)		
Contingency		6,000
TOTAL COST (preliminary estimate subject to further refinement)		\$ 350,000

Burke Model #550-9011

T-Swing w/seats

Qty: 1

\$11,870 each



Images are intended to show play event as installed

Burke #370-0077

Cargo Net

Qty: 1

\$856 each



Images are intended to show play event as installed: product number does not include attachment columns or posts.

Burke #430-0554

Chute Slide Right

Qty: 1

\$3,435 each



Images are intended to show play event as installed: product number does not include attachment columns or posts.

Burke #370-0090

Leaf Climber

Qty: 1

\$1,270 each



Images are intended to show play event as installed: product number does not include attachment columns or posts.

Burke #490-0163

Viper Chute Slide (96")

Qty: 1

\$3,378 each



Images are intended to show play event as installed: product number does not include attachment columns or posts.

Burke 550-0206

ZipVenture Zip Line (75')

Qty: 1

\$17,562 each



Images are intended to show play event as installed: product number does not include attachment columns or posts.

Burke #370-0793

Nature Play Board Climber

Qty: 2

\$3,526 each



Images are intended to show play event as installed: product number does not include attachment columns or posts.

Burke #570-2717

Stability Sanctuary Hammock

Qty: 1

\$2,637 each



Images are intended to show play event as installed: product number does not include attachment columns or posts.

Burke #370-0124

Twist Net

Climber Qty: 1

\$3,002 each



Images are intended to show play event as installed: product number does not include attachment columns or posts.

Burke #370-0008

Wild Web Net Climber

Qty: 1

\$5,184 each



Images are intended to show play event as installed: product number does not include attachment columns or posts.

Burke #570-0012

Tree Branch Climber

Qty: 7

\$1,134 each



Images are intended to show play event as installed: product number does not include attachment columns or posts.

Burke #370-1616

TakTiks Tall Rope Wall Climber

Qty: 1

\$1,989 each



Images are intended to show play event as installed: product number does not include attachment columns or posts.

Burke #560-2615

Split Log Climber

Qty: 1

\$2,018 each



Burke #560-0457

Swift Twist Spinner

Qty: 1

\$1,435 each



Burke #560-2589

Comet II Spinning Orb

Qty: 1

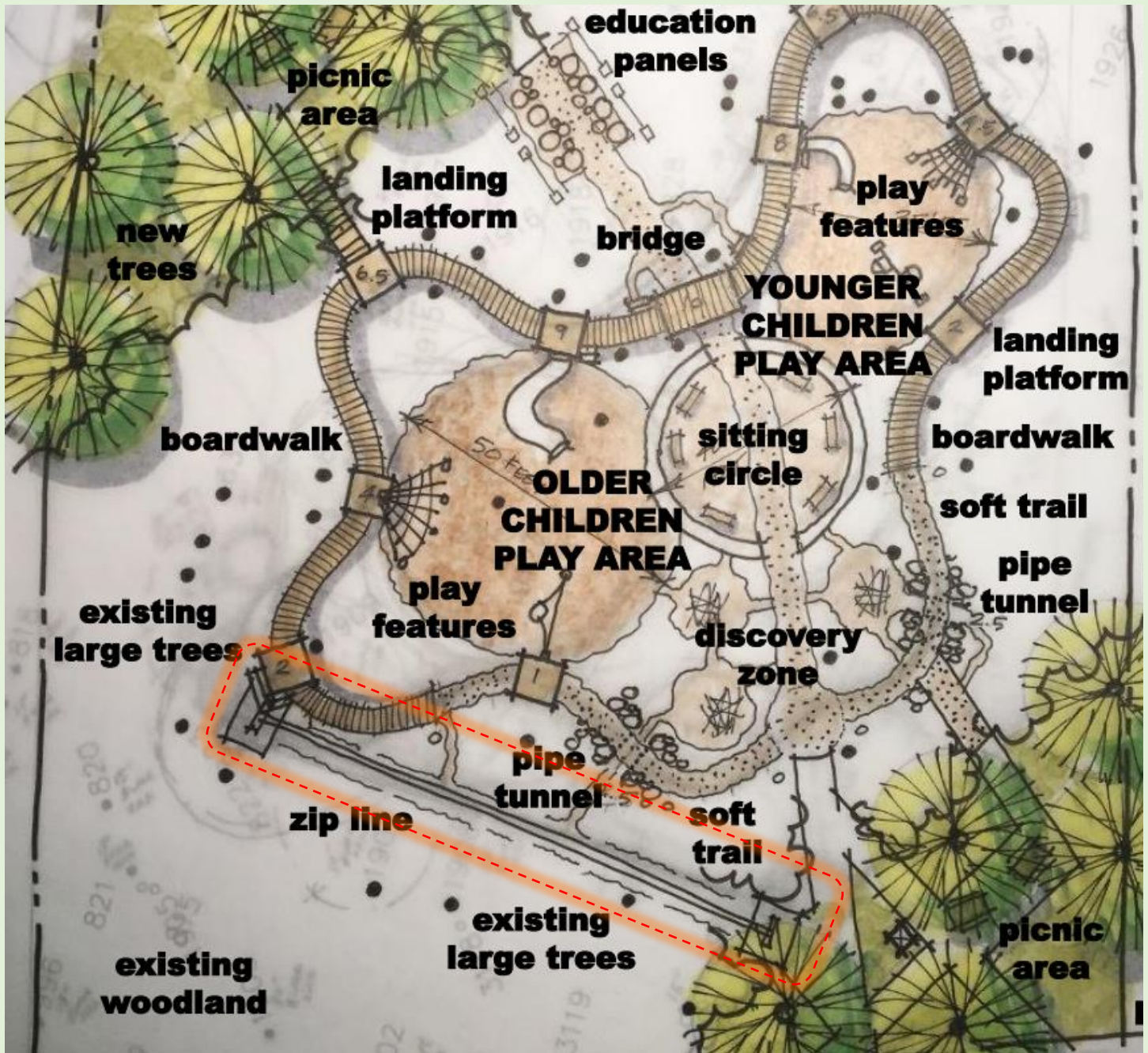
\$2,220 each



75' foot **ZIPVENTURE**







Meeting Date: 09/14/2023

By: Mark Riverblood, Engineering/Public Works

Information

Title:

Recommend the 2024 – 2033 Parks Capital Improvement Plan

Purpose/Background:

Annually, the 10-year Parks' Capital Improvement Plan (CIP) is formulated by the Commission with staff support for a formal recommendation to City Council in the Fall, with Council holding a Public Hearing prior to adoption of the city-wide CIP at the end of the calendar year. For 2023, the Park & Recreation Commission began the process in August and by consensus, agreed to the attached, proposed 10-year plan. Also attached in the Parks Supplemental (projected cash flows not current).

Notification:

A Public Hearing on the City-wide CIP will be held by City Council as soon as December of 2023.

Observations/Alternatives:

The following is an excerpt from the present, larger city-wide all-category CIP, and includes an explanation on the CIP document and process, and is useful context to restate as part of the Commission's discussion:

"Enclosed is the Ramsey Capital Improvements/Capital Outlay Plan (CIP) for the years 2023-2032. It has been prepared in an attempt to anticipate major capital expenditures in advance of the year in which there are budget requests. Further, several projects may interrelate or require other improvements prior to initiation, which would cause delays without prior planning. Additionally, projects may require budgeting over several years or receipt of funds from other sources (i.e. grants) requiring planning completion prior to the funding year. Finally, the plan enables a snapshot of the identified capital needs of the community, allowing for continual prioritization of these needs.

Approval of the CIP by Council does not authorize spending or initiation of a given project. It does, however, provide a guide for the community for a whole array of private and public decision-making, impacted by public capital expenditures. Therefore, the CIP should receive ratification only if the Council perceives actions contemplated within the plan as reasonable and planned within justified timeframes. It shall further be noted that initial project design of public infrastructure projects identified within this plan often begins two years or more prior to the date of construction.

The CIP is not intended to provide for precise budgeting. Capital costs are projected as estimates. Upon each update of the plan, deletions, additions, delays, or other revisions may occur, reflecting changing community needs. These changes allow for budget refinements as a particular project nears actual construction."

Each year, when the Commission begins work on the CIP it is acknowledged that; all capital improvements require on-going maintenance costs (day-to-day labor, utilities or annual expenses); and therefore, staff and City Council will evaluate very carefully the real and total costs of each capital improvement for consideration within the context of the General Fund operations budget at the time CIP projects are brought forward for planning and development.

Observations

As mentioned above, in August the Commission discussed in detail each of the projects in the proposed 10-year CIP, (including deleting certain projects), and by consensus agreed to the projects in the first attachment—except for the last project which staff has added for the Commission's consideration as part of this case.

Funding Source:

The Parks 10-Year CIP document includes proposed funding sources and project cost *estimates* as identified on the CIP worksheets.

Recommendation:

Staff recommends the draft 2024 – 2033 Parks Capital Improvement Plan and the Supplemental be recommended to City Council to be considered within the larger city-wide 2024-2033 Capital Improvement Plan .

Action:

Based upon discussion, Motion to recommend the 2024-2033 Parks Capital Improvement Plan.

Attachments

draft 10-year Parks CIP
Supplement CIP

Form Review

Inbox	Reviewed By	Date
Bruce Westby	Bruce Westby	09/08/2023 03:11 PM
Brian Hagen	Kathy Schmitz	09/08/2023 03:37 PM
Form Started By: Mark Riverblood		Started On: 09/08/2023 11:54 AM
Final Approval Date: 09/08/2023		

Capital Improvement Program
City of Ramsey, Minnesota

2023 thru 2032

Project # 04-PARK-003
Project Name Elmcrest Park & The Draw Entrance Monument & Sign

Department Park Improvements
Contact Unassigned
Type Improvement
Useful Life 20 Years
Category Park Improvement
Priority 2-New Addition (High)
Status Active

Description
Entrance signing for Elmcrest Park would consist of a substantial way-finding sign and associated landscape sited near the intersection of Quicksilver Street and 167th Avenue.
For the Draw, the sign would function as a monument for the park name and also potentially to advertise upcoming events.

Justification
The 100+ acre Elmcrest community park may warrant an attractive entrance monument benefiting the park's prominence in the community. Additionally, there will be continuing events where many hundreds of out-of-Ramsey visitors will come to the park. The monument will function as a way-finding sign and also to remind visitors that they are in Ramsey.
For The Draw, the monument would describe for the community the name of the park and amphitheater (a minor issue presently). Plus, if the advertising space was digital (versus posters), there could be a modest revenue stream from non-municipal sources.

Total Cost \$80,000

Expenditures	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Improvements Other than Building Cost	80,000										80,000
Total	80,000										80,000
Funding Sources	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Park Improvement Trust Fund	80,000										80,000
Total	80,000										80,000

Capital Improvement Program
City of Ramsey, Minnesota

2023 thru 2032

Department Park Improvements

Project # 06-PARK-011

Project Name Observation boardwalk - Lake Itasca

Contact

Type Improvement

Useful Life 20 Years

Category Park Improvement

Priority 4-New Addition (Med)

Status Active

Total Cost \$60,000

Description

A boardwalk or pier in the eastern portion of Lake Itasca will allow trail users and visitors to the Lake Itasca Community Park to view the lake which is mostly obscured by cattails.

Justification

The Lake Itasca is an important resource along the Mississippi Flyway for migratory waterfowl and home to many types of wetland fauna. Providing access to the open water portions of the lake will provide birdwatchers and trail users a relaxing rest point and destination along the Lake Itasca Trail.

	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Expenditures											
Improvements Other than Building Cost						60,000					60,000
Total						60,000					60,000
Funding Sources											
Park Improvement Trust Fund						60,000					60,000
Total						60,000					60,000

Capital Improvement Program
City of Ramsey, Minnesota

2023 thru 2032

Department Park Improvements

Project # 06-PARK-015

Contact

Project Name Observation deck on the Mississippi E of Dolomite

Type Improvement

Useful Life 20 Years

Category Park Improvement

Priority 2-New Addition (High)

Status Active

Total Cost \$100,000

Description

On the south side of Riverdale Drive, east of Dolomite exists a storm water discharge point to the river. This project discusses an observation deck at the top of the bluff over the existing storm sewer easement, concurrent with the residential development of the land there.

Justification

This access may provide improved maintenance to the storm outlet, but the primary public value would be to maintain contact with the river by residents for the remarkable view, and as a rest point along the National, Mississippi River Trail.

as part of the

This project ~~may~~ be combined, and funded ~~with~~ development of adjacent property.

	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Expenditures											
Improvements Other than Building Cost		100,000									100,000
Total		100,000									100,000
Funding Sources											
Park Improvement Trust Fund		100,000									100,000
Total		100,000									100,000

Capital Improvement Program
City of Ramsey, Minnesota

2023 thru 2032

Department Park Improvements
Contact
Type Improvement
Useful Life 20 Years
Category Park Improvement
Priority 5-Opportunity/Unfunded/Placeholder
Status Active

Project # 06-PARK-019
Project Name Trail Connections

Total Cost \$910,000

Description

This project would include the installation of one or more of the several high priority connections linking segments of the city's trail system as opportunities and funding become available.

Examples:

- 142nd Ave, east of TH#47, north to Xkimo Street (Est \$80,000)
- ~~Armstrong-Boulevard-Trail-from-Central-Park-to-Trott-Brook (Est.\$800,000)~~ Delete
- North Commons Neighborhood Trail Link at Zeolite Street - Projected for 2023 (Est.\$30,000)
- Boardwalk parallel with Trott Brook, west of Variolite Street (Est \$110,000)

Justification

The increase demand in use of the city's trail system compels the continued development of the trail system.

Resident requests for improved trail system connections are reflected in priority projects. Trails will also move people off high speed roadways and improve transportation and safety - an objective that is aligned within the strategic goal of a Connected Community.

Expenditures	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Improvements Other than Building Cost	30,000	80,000	200,000	400,000	200,000						910,000
Total	30,000	80,000	200,000	400,000	200,000						910,000
Funding Sources	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Park Improvement Trust Fund	30,000	80,000	200,000	400,000	200,000						910,000
Total	30,000	80,000	200,000	400,000	200,000						910,000

Handwritten: 2025 2026

Capital Improvement Program

2023 thru 2032

City of Ramsey, Minnesota

Department Park Improvements

Project # 08-PARK-005

Contact

Project Name Park Development in The COR

Type Improvement

Useful Life 20 Years

Category Park Improvement

Priority 2-New Addition (High)

Status Active

Total Cost \$1,350,000

Description

This proposed capital improvement represents additional park development in The COR, beginning in 2023. The project may be landscape improvements at Municipal Plaza and/or first phase development of The Waterfront to include a splash pad.

Justification

A splash pad continues to be requested by residents, and mass grading for The Waterfront park would generate fill for areas of The COR the city desires to sell.

Prior	Expenditures	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
150,000	Improvements Other than Building Cost	1,200,000	→									1,200,000
Total		1,200,000										1,200,000
Prior	Funding Sources	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
150,000	Park Improvement Trust Fund	1,200,000	→									1,200,000
Total		1,200,000										1,200,000

Capital Improvement Program

2023 thru 2032

City of Ramsey, Minnesota

Department Park Improvements

Project # 17-PARK-006

Contact

Project Name Field Lighting - Central or Alpine Park

Type Improvement

Useful Life 20

Category Park Improvement

Priority 4-New Addition (Med)

Status Active

Total Cost \$200,000

Description

Proposed improvement is for additional athletic field lighting for a community park for fall sport use. *to partner with PACT and ARAA, this project would be an opportunity*

Justification

Fall sports, most notably soccer and football, are constrained by shorter daylight, necessitating field lighting.

	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Expenditures								200,000			200,000
Improvements Other than Building Cost								200,000			200,000
Total								200,000			200,000
Funding Sources											
Grants/Outside Sources								50,000			50,000
Lawful Gambling Fund								150,000			150,000
Total								200,000			200,000

Capital Improvement Program
City of Ramsey, Minnesota

2023 thru 2032

Department Park Improvements

Contact

Type Improvement

Useful Life 20

Category Park Improvement

Priority 2-New Addition (High)

Status Active

Total Cost \$150,000

Project # 17-PARK-007
Project Name Northfork North Trail Connection

Description Construct 8 foot crushed granite trail through Outlot B, Northfork and Outlot A. Northfork Trail addition within dedicated 16' easement. Timing of the construction should occur outside of the Oak Wilt concern months of May-July.

Justification Trail connection constructed in lieu of on-road bicycle land on Andrie Street and 164th Lane NW per permanent pedestrian and bicycle trail easement agreement granted by Northfork Homeowner's Association on May 19th, 2016.

	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Expenditures											
Improvements Other than Building Cost	150,000	→									150,000
Total	150,000										150,000
Funding Sources											
Park Improvement Trust Fund	150,000	→									150,000
Total	150,000										150,000

Capital Improvement Program
 City of Ramsey, Minnesota

2023 thru 2032

Department Park Improvements

Project # 18-PARK-003

Contact

Project Name Amphitheater Lighting

Type Improvement

Useful Life 20 Years

Category Park Improvement

Priority 2-New Addition (High)

Status Active

Total Cost \$40,000

Description

Lighting enhancements and audio conduits at The Draw.

Justification

WYMA

Additional lighting around-the amphitheater is justified for concerts that go later into the evening and in the later summer.

Conduit and cable for audio (additional speakers) is likewise merited for larger events at the park.

Expenditures	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Improvements Other than Building Cost	40,000	→									40,000
Total	40,000										40,000
Funding Sources	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Park Improvement Trust Fund	40,000	→									40,000
Total	40,000										40,000

Capital Improvement Program

2023 thru 2032

City of Ramsey, Minnesota

Department Park Improvements

Project # 18-PARK-005

Contact

Project Name Aeration for Sunfish Lake & The Draw

Type Improvement

Useful Life 20

Category Park Improvement

Priority 2-New Addition (High)

Status Active

Total Cost \$40,000

Description

This project would install two separate aeration systems at The Draw and also at Sunfish Lake. Project elements include contracted installation, electrical power supply, signing, permitting and public notifications. A solar-powered system may be considered at Sunfish Lake - possibly with partial grant funding.

Note: The General Fund Budget would need to be adjusted to accommodate both annual electric expense and other Q&M costs estimated at \$1,000 to \$2,000 annually.

Justification

Both Sunfish Lake and The Draw have become popular destinations for youth fishing for panfish. During certain winter conditions, shallow water bodies can experience 'winterkill'. The two separate aeration systems would pump oxygen and circulate the water, maintaining the fish populations and the attendant recreational resource.

	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Expenditures											
Improvements Other than Building Cost	40,000										40,000
Total	40,000										40,000
Funding Sources											
Park Improvement Trust Fund	40,000										40,000
Total	40,000										40,000

Capital Improvement Program
 City of Ramsey, Minnesota

2023 thru 2032

Department Park Improvements

Project # 21-PARK-001

Contact

Project Name River's Bend South Shelter Replacement

Type Improvement

Useful Life 20 Years

Category Park Improvement

Priority 1-Existing Obligation (High)

Status Active

Total Cost \$75,000

Description

The south shelter at River's Bend Park was furnished and constructed by volunteers in the late 1980's. The condition of the shelter aesthetically is poor, and the concrete slab is broken as well.

Justification

Replacement of the shelter with a modern, nice looking facility would expand opportunities for shelter reservations and adding stone seat walls and an outdoor fireplace would enhance its appeal, and use as part of facility rentals.

Expenditures	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Improvements Other than Building Cost	75,000	→									75,000
	100,000										
Total	-75,000-										75,000
Funding Sources	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Park Improvement Trust Fund	75,000	→									75,000
Total	-75,000										75,000

100,000

Capital Improvement Program
City of Ramsey, Minnesota

2023 thru 2032

Department Park Improvements
Contact
Type Improvement
Useful Life 20
Category Park Improvement
Priority 1-Existing Obligation (High)
Status Active

Project # 21-PARK-002
Project Name Central Park Main Parking Lot Reconstruction

Parking to be completed in 2023

Total Cost \$800,000

Description
This reconstruction project would replace the 35+ year-old bituminous main parking area at the same time as the adjoining 161st Avenue reconstruction.

Justification
The bituminous surface is beyond its useful maintenance life and the drainage patterns would be modified to reduce significantly the amount of stormwater that flows across 161st Avenue.

Expenditures	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Improvements Other than Building Cost	800,000										800,000
Total	800,000										800,000

Funding Sources	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Park Improvement Trust Fund	345,000										345,000
Storm Water Utility Fund	115,000										115,000
Capital Maintenance Fund	340,000										340,000
Total	800,000										800,000

elements developed for landscape plan of 2023

Capital Improvement Program
 City of Ramsey, Minnesota

2023 thru 2032

Department Park Improvements

Contact

Type Equipment

Useful Life 20 Years

Category Park Improvement

Priority 1-Existing Obligation (High)

Status Active

Total Cost \$900,000

Project # 22-PARK-001
 Project Name Playground Replacement Program

Description

Consistent with the Playground Replacement Policy, this project worksheet reflects the anticipated replacement of a playground and associated park rejuvenation each year of the CIP. The aforementioned policy document forecasts the next three playgrounds for consideration as: Alpine, Solstice Park and Riverdale.

Justification

The city of Ramsey has seventeen playgrounds that will need to be replaced in the future. Due to fiscal and administrative constraints, as well as the varying ages and conditions of the city's playgrounds, the replacements are to be carried out over the span of more than a decade. As of the writing of this policy six of the city's playgrounds have reached the end of their twenty-year useful lifespan and over the next decade, nine more will have reached that point. Consequently, subsequent CIP's can be expected to 'pick-up' where this plan ends.

Prior	Expenditures	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
100,000	Improvements Other than Building Cost	100,000	100,000	100,000	100,000	100,000	0	100,000	0	100,000	100,000	800,000
Total	Total	100,000	100,000	100,000	100,000	100,000	0	100,000	0	100,000	100,000	800,000

Prior	Funding Sources	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
100,000	Lawful Gambling Fund	100,000	100,000	100,000	100,000	100,000	0	100,000	0	100,000	100,000	800,000
Total	Total	100,000	100,000	100,000	100,000	100,000	0	100,000	0	100,000	100,000	800,000

Capital Improvement Program
City of Ramsey, Minnesota

2023 thru 2032

Project # 22-PARK-002
Project Name Boulevard Trees - Sunwood Drive in COR

Department Park Improvements
Contact
Type Improvement
Useful Life 50 Years
Category Park Improvement
Priority 2-New Addition (High)
Status Active

*Completed
in 2023
HOBEN*

Total Cost \$80,000

Description

Sunwood Drive in The COR is essentially Ramsey's main street, and boulevard trees, sidewalk and streetscape and irrigation were installed on alternating halves of the approximately one mile arterial roadway in 2008. Planting trees on the opposite side, sooner than later, will minimize the disparity in the height and canopy size of basically a decade and a half differential in planting time for these new trees. In addition, to contract installation of approximately 100, 2-1/2 inch diameter trees and soil amendments, the project would include the installation of irrigation behind the curb to ensure the establishment and viability of the shade trees.

Justification

The above description calls attention to the intervention to minimize the future lopsided boulevard trees in Ramsey's most prominent street. Completing the trees along this street will also improve the overall aesthetic in this area of the downtown and include traffic calming benefits. The installation of trees and irrigation will also reduce future costs for private developer for sites that abut Sunwood Drive.

Expenditures	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Improvements Other than Building Cost	80,000										80,000
Total	80,000										80,000
Funding Sources	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Tax Increment Fund #14	80,000										80,000
Total	80,000										80,000

Delete

Capital Improvement Program
City of Ramsey, Minnesota

2023 thru 2032

Project # 22-PARK-003
Project Name Disc Golf Course

Department Park Improvements
Contact
Type Improvement
Useful Life 20 Years
Category Park Improvement
Priority 2-New Addition (High)
Status Active

Total Cost \$60,000

Description
This project would consist of two elements - the first identifying a suitable park location (which could be within a regional park), and then developing the design and scope of the course (e.g. 9-hole versus 18-hole). The second aspect would be the physical preparation of the site (to include clearing, grubbing, grading and landscape restoration), and the purchase and installation of the 'cages' or holes within the course.

Justification
Over the past few years, several residents continue to make requests for a disc golf course in Ramsey. Additionally, this amenity would diversify recreational opportunities in the community, and is a capital improvement with relatively low operation and maintenance costs.

Expenditures	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Improvements Other than Building Cost	10,000	50,000									60,000
Total	10,000	50,000									60,000

Funding Sources	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
General Fund	10,000										10,000
Park Improvement Trust Fund		50,000									50,000
Total	10,000	50,000									60,000

Disc Golf

CITY OF RAMSEY
2024-2033

CAPITAL IMPROVEMENT PROGRAM

PROJECT TITLE: Park Building(s) Stabilization
PROJECT TYPE: New Addition 4
PROJECT YEAR: 2024
TOTAL ESTIMATED COST: \$95,000

PROJECT DESCRIPTION AND LOCATION
 This project would consist of minor repairs to the farm house to bring it into housing code compliance, and stabilize and secure the historic barns at the site of the city's sixth community park.

PROJECT
Start Date
2024

PROJECT JUSTIFICATION
 The City of Ramsey had projected the need for a future Community Park #6 in this area, north of Trott Brook for decades, and more recently as part of the 2040 Comprehensive Plan - and the park was dedicated as part of a 2022 residential plat. A Community Park is generally defined as a large park space with a variety of attractions, often with unique aspects and a park that serves multiple neighborhoods and that is also a destination. Also over the same decade(s) of envisioning the need for a 6th community park to support more residential growth, Ramsey residents have continually expressed a lament that the community is losing its rural character. The opportunity to 'save' the existing farmstead instead of demolishing the century-old structure's represents a symbolic preservation of Ramsey's past culture or heritage. However, more valuable yet, will be the adaptive reuse of these same wood buildings and barn for public park uses, including as an Event Center. This project will stabilize the historic barn (from snow loading and wind storms), and also bring the farm house up to code such that it may be leased for park operational revenue until the city begins park development.

STRATEGIC PLAN INITIATIVE:
 Connect the community through Parks, Trails and Recreational Programming. Strengthen and enhance our identity, brand and image. Identify and implement operational efficiencies, cost savings and additional funding sources.

Summary of Total Project Costs:

A. Approximate total cost	\$	<u>95,000</u>
B. Cost already incurred	\$	<u> </u>
C. Balance of cost to complete	\$	<u>95,000</u>

Detail of Total Cost Estimates

1. Land Acquisition		
a. Site already acquired	\$	<u> </u>
b. Site to be acquired	\$	<u> </u>
c. Area required (acres)		<u> </u>
d. Total estimated cost	\$	<u> 0</u>
2. Building Cost/Construction		
	\$	<u> </u>
3. Improvements Other than Buildings Cost		
	\$	<u> </u>
4. Furnishings/Equipment		
	\$	<u> </u>
Total Project Costs	\$	<u> 0</u>

Source of Funding:

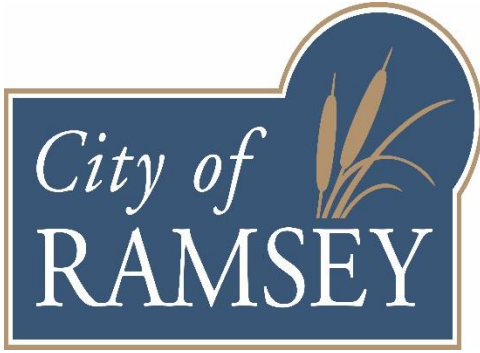
1. General Fund Property Tax Levy	\$	<u> </u>
2. Park Trust Fund	\$	<u>95,000</u>
3. Pavement Management Fund	\$	<u> </u>
4. MSA	\$	<u> </u>
5. Lawful Gambling Fund	\$	<u> </u>
6. Tax Increment Fund # _____	\$	<u> </u>
7. Public Improvement Revolving Fund	\$	<u> </u>
8. Water Utility Fund	\$	<u> </u>
9. Sewer Utility Fund	\$	<u> </u>
10. Street Lighting Utility Fund	\$	<u> </u>

Proposed Expenditures by Years - Capital Expense Only

Prior	2023	\$	<u> </u>	2028	\$	<u> </u>
	2023	\$	<u> </u>	2029	\$	<u> </u>
	2024	\$	<u>95,000</u>	2030	\$	<u> </u>
	2025	\$	<u> </u>	2031	\$	<u> </u>
	2026	\$	<u> </u>	2032	\$	<u> </u>
	2027	\$	<u> </u>	2033	\$	<u> </u>
				TOTAL	\$	<u>95,000</u>

Proposed Expenditures by Years - Annual Maintenance Expense Only

Prior	2023	\$	<u> </u>	2028	\$	<u> </u>
	2023	\$	<u> </u>	2029	\$	<u> </u>
	2024	\$	<u> </u>	2030	\$	<u> </u>
	2025	\$	<u> </u>	2031	\$	<u> </u>
	2026	\$	<u> </u>	2032	\$	<u> </u>
	2027	\$	<u> </u>	2033	\$	<u> </u>
				TOTAL	\$	<u> 0</u>

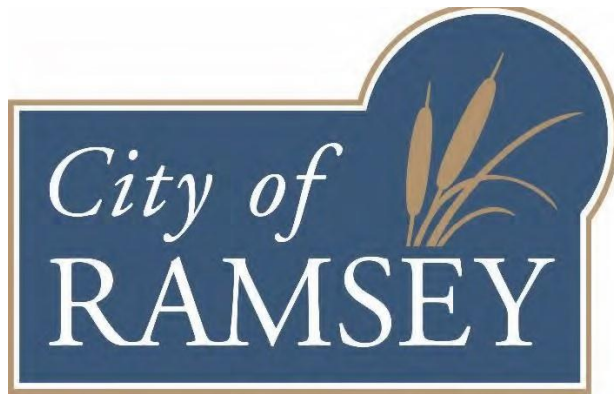


SUPPLEMENTAL FUTURE CONSIDERATION PROJECTS

CITY OF RAMSEY CAPITAL IMPROVEMENT PROGRAM 2023-2032

The Capital Improvement Program document is a planning tool maintained by the city to identify future projects, related expenditures, and funding sources. All projects designated in the Capital Improvement Program are contingent upon availability of resources during the planned year. The total expenditure of projects includes city-funded sources as well as other resources such as grants, fees, bonding, etc.





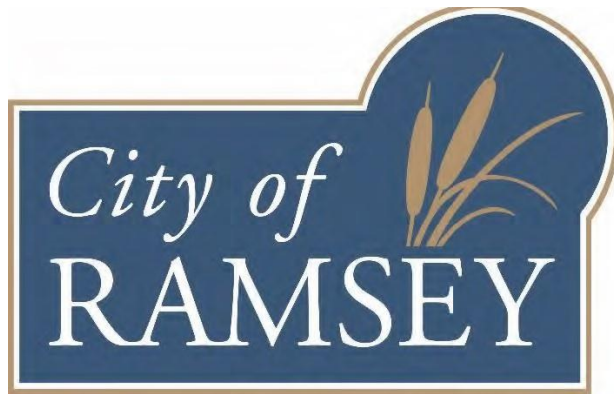
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Park and Trail Capital Improvements - Future Projects



The following are park, trail and park acquisition projects that have been identified by the Park and Recreation Commission as proposed, needed improvements into the future - but do not have identified funding at the time of the 10-Year Park's CIP adoption. In other instances they are predicated on land development or future demand.

The proposed improvements are assigned to category Priority #5 which is known as Opportunity Driven/Unfunded/Placeholder. All projects are given a number 5 Priority, as the projects are currently unfunded.

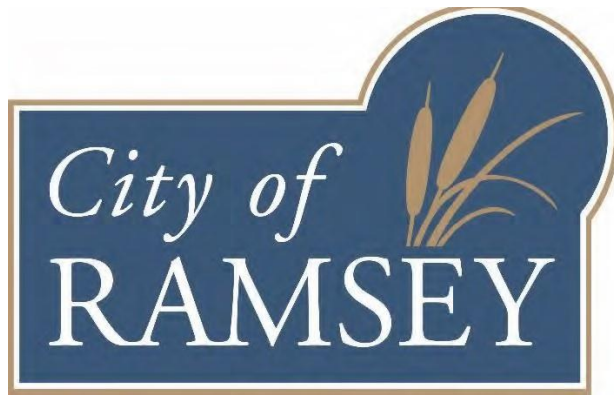


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City of Ramsey, Minnesota
Capital Improvement Program
2023 thru 2032

PROJECTS BY DEPARTMENT

Department	#	Priority	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Park Improvements													
Elmcrest Creek Trail to Central Park	04-PARK-002	5									800,000		800,000
Lake Itasca Community Park	04-PARK-007	5							1,200,000				1,200,000
Trott Brook Greenway Trail	04-PARK-014	5									4,000,000		4,000,000
Mississippi River Park Development- Bridge location	06-PARK-016	5									750,000		750,000
Municipal Plaza	07-PARK-001	5				3,700,000							3,700,000
The Waterfront	08-PARK-004	5	6,300,000										6,300,000
Central Anoka County Regional Trail Bridge over 10	08-PARK-008	5						5,600,000					5,600,000
Alpine Park Winter Facilities	11-PARK-003	5						2,500,000					2,500,000
Lake Itasca / COR Greenway	17-PARK-008	5					1,900,000						1,900,000
Park Improvements Total			6,300,000			3,700,000	1,900,000	8,100,000	1,200,000		5,550,000		26,750,000
Site Acquisitions													
Sixth Community Park (north central Ramsey)	06-ACQ-001	5				3,800,000							3,800,000
Site Acquisitions Total						3,800,000							3,800,000
GRAND TOTAL			6,300,000			7,500,000	1,900,000	8,100,000	1,200,000		5,550,000		30,550,000



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City of Ramsey, Minnesota
Capital Improvement Program

Data in Year 2023 and 2032

PROJECTS BY YEAR & PRIORITY

Project Name	Department	Project #	Priority	Project Cost
2023				
<i>Priority 5-Opportunity/Unfunded/Placeholder</i>				
The Waterfront	Park Improvements	08-PARK-004	5	6,300,000
			<i>Total for: Priority 5</i>	6,300,000
Total for 2023				6,300,000
2026				
<i>Priority 5-Opportunity/Unfunded/Placeholder</i>				
Municipal Plaza	Park Improvements	07-PARK-001	5	3,700,000
Sixth Community Park (north central Ramsey)	Site Acquisitions	06-ACQ-001	5	3,800,000
			<i>Total for: Priority 5</i>	7,500,000
Total for 2026				7,500,000
2027				
<i>Priority 5-Opportunity/Unfunded/Placeholder</i>				
Lake Itasca / COR Greenway	Park Improvements	17-PARK-008	5	1,900,000
			<i>Total for: Priority 5</i>	1,900,000
Total for 2027				1,900,000
2028				
<i>Priority 5-Opportunity/Unfunded/Placeholder</i>				
Central Anoka County Regional Trail Bridge over 10	Park Improvements	08-PARK-008	5	5,600,000
Alpine Park Winter Facilities	Park Improvements	11-PARK-003	5	2,500,000
			<i>Total for: Priority 5</i>	8,100,000
Total for 2028				8,100,000
2029				
<i>Priority 5-Opportunity/Unfunded/Placeholder</i>				
Lake Itasca Community Park	Park Improvements	04-PARK-007	5	1,200,000
			<i>Total for: Priority 5</i>	1,200,000
Total for 2029				1,200,000
2031				
<i>Priority 5-Opportunity/Unfunded/Placeholder</i>				
Elmcrest Creek Trail to Central Park	Park Improvements	04-PARK-002	5	800,000
Trott Brook Greenway Trail	Park Improvements	04-PARK-014	5	4,000,000
Mississippi River Park Development-Bridge location	Park Improvements	06-PARK-016	5	750,000
			<i>Total for: Priority 5</i>	5,550,000

Project Name	Department	Project #	Priority	Project Cost
	Total for 2031			5,550,000
GRAND TOTAL				30,550,000

Capital Improvement Program

2023 *thru* 2032

City of Ramsey, Minnesota

Project #	04-PARK-002
Project Name	Elmcrest Creek Trail to Central Park

Department	Park Improvements
Contact	Unassigned
Type	Improvement
Useful Life	50 Years
Category	Park Improvement
Priority	5-Opportunity/Unfunded/Placeholder
Status	Future Consideration

Total Cost \$800,000

Description

This trail would link Elmcrest Park to Central Park, the neighborhoods in between, and provide off-roadway trail experience within central Ramsey.

Justification

Connecting the two community parks would reduce the need to replicate some facilities in both locations. The construction of the trail may coincide at such time as residents may subdivide their lots east of Ramsey Blvd, along the county ditch.

Expenditures	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Improvements Other than Building Cost									800,000		800,000
Total									800,000		800,000

Funding Sources	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Grants/Outside Sources									150,000		150,000
Park Improvement Trust Fund									650,000		650,000
Total									800,000		800,000

Capital Improvement Program

2023 *thru* 2032

City of Ramsey, Minnesota

Project #	04-PARK-007
Project Name	Lake Itasca Community Park

Department	Park Improvements
Contact	Unassigned
Type	Improvement
Useful Life	50 Years
Category	Park Improvement
Priority	5-Opportunity/Unfunded/Placeholder
Status	Future Consideration

Total Cost \$1,200,000

Description
This project is intended to begin the development of Lake Itasca Park North of Alpine Drive, east of the lake to the west line of the adjacent subdivision.

Justification
Properties south of Alpine Drive, both east and west of Puma Street have developed as residential. This development as essentially provided the necessary Park Dedication funds for the 1st phase of construction, as well as contributing increased recreational demand.

Expenditures	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Improvements Other than Building Cost							1,200,000				1,200,000
Total							1,200,000				1,200,000

Funding Sources	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Park Improvement Trust Fund							1,200,000				1,200,000
Total							1,200,000				1,200,000

Capital Improvement Program

2023 *thru* 2032

City of Ramsey, Minnesota

Project #	04-PARK-014
Project Name	Trott Brook Greenway Trail

Department	Park Improvements
Contact	Unassigned
Type	Improvement
Useful Life	20 Years
Category	Park Improvement
Priority	5-Opportunity/Unfunded/Placeholder
Status	Future Consideration

Total Cost \$4,000,000

Description

The Trott Brook Greenway Trail extends from Elk River's Youth Athletic Complex near Jarvis Street and follows the brook easterly to Rum River Central Park about six miles away. The project would involve continued acquisition of scenic and trail easements, boardwalk and trail construction and natural resource enhancements. Segments of the trail may be on-street within certain neighborhoods.

Justification

This trail project would be predicated on significant planning leading up to construction and likely involve a Master Plan, as well as receiving grant monies for funding. The land around the brook is the largest and most contiguous undeveloped natural area within Ramsey. The City presently has about half of the land acquired (through Park Dedications and a LCCMR grant) to construct this trail.

This trail has a regional context. There is a trail proposed to connect Sherburne County and Ramsey to a metro regional park. This project may be a good candidate for Legacy Amendment funding, following a regional designation.

Expenditures	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Improvements Other than Building Cost									4,000,000		4,000,000
Total									4,000,000		4,000,000

Funding Sources	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Grants/Outside Sources									4,000,000		4,000,000
Total									4,000,000		4,000,000

Capital Improvement Program

2023 *thru* 2032

City of Ramsey, Minnesota

Project #	06-PARK-016
Project Name	Mississippi River Park Development-Bridge location

Department	Park Improvements
Contact	
Type	Improvement
Useful Life	20 Years
Category	Park Improvement
Priority	5-Opportunity/Unfunded/Placeholder
Status	Future Consideration

Description

Total Cost \$750,000

This neighborhood park is proposed in the general vicinity of the proposed bridge crossing, along the banks of the river. The park would consist of the usual park amenities, as well as open space that may be shared with adjoining new and existing residential land use.

The funding and the timing of the park development would be concurrent with the subdivision of the land.

This park may also serve as a trailhead for a trail (to be built with the bridge construction), that will connect Hennepin County, and the Three Rivers Park District to Ramsey and the Mississippi River Trail.

Justification

Expenditures	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Improvements Other than Building Cost									750,000		750,000
Total									750,000		750,000

Funding Sources	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Park Improvement Trust Fund									750,000		750,000
Total									750,000		750,000

Capital Improvement Program

2023 *thru* 2032

City of Ramsey, Minnesota

Project #	07-PARK-001
Project Name	Municipal Plaza

Department	Park Improvements
Contact	
Type	Improvement
Useful Life	20 Years
Category	Park Improvement
Priority	5-Opportunity/Unfunded/Placeholder
Status	Future Consideration

Description	Total Cost \$3,700,000
Development of the proposed 2-acre Municipal Plaza in The COR, based upon the parks framework plan at \$41 per square foot.	

Justification
This urban park-space may be the most prominent park space within The COR - due to its visibility along Sunwood Drive, and its relationship to the Municipal Center and transit hub. The site is also likely to be used for the city's festival known as Happy Days.

Expenditures	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Improvements Other than Building Cost				3,700,000							3,700,000
Total				3,700,000							3,700,000

Funding Sources	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Grants/Outside Sources				200,000							200,000
Park Improvement Trust Fund				3,500,000							3,500,000
Total				3,700,000							3,700,000

Capital Improvement Program

2023 *thru* 2032

City of Ramsey, Minnesota

Project #	08-PARK-004
Project Name	The Waterfront

Department	Park Improvements
Contact	
Type	Improvement
Useful Life	20 Years
Category	Park Improvement
Priority	5-Opportunity/Unfunded/Placeholder
Status	Future Consideration

Total Cost \$6,300,000

Description

This project will be the culmination of comprehensive planning for a significant water feature in The COR. The 'lake' will be a layering of public and private amenities - such as the integration of a restaurant, required open space, public paths, wading areas, a splash pad and shady aesthetics, all of which provides the "green" and "blue" (and stormwater) connections between The Draw and retail areas.

Justification

In addition to providing a superior view-shed for residential and retail sites as well as water recreation, the pond will handle storm run-off and provide fill material for other projects within The COR. The cost projections are based on the parks framework plan for The COR at \$11 per square foot.

Expenditures	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Improvements Other than Building Cost	6,300,000										6,300,000
Total	6,300,000										6,300,000

Funding Sources	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Park Improvement Trust Fund	6,300,000										6,300,000
Total	6,300,000										6,300,000

Capital Improvement Program

2023 *thru* 2032

City of Ramsey, Minnesota

Project #	08-PARK-008
Project Name	Central Anoka County Regional Trail Bridge over 10

Department	Park Improvements
Contact	
Type	Improvement
Useful Life	20 Years
Category	Park Improvement
Priority	5-Opportunity/Unfunded/Placeholder
Status	Future Consideration

Total Cost \$5,600,000

Description

Bridge #02053 will connect The COR to the trail to the Mississippi River along the storm sewer outfall and serve as a regional trail connection between the Northstar Rail Station and Mississippi West Regional Park.

Justification

The COR is designed to be pedestrian friendly. This bridge will provide a connection to West Mississippi Regional Park and the regional trail. Further, the rail and highway crossing will allow residents to access the commuter rail and The COR without adding automobile trips to Hwys #10 and #169.

Ramsey has received \$100,000 from Met Council for engineering and design, and \$490,000 from the National Park Service to complete the final plans and specifications. Additionally, a private developer has contributed the touch-down land adjacent to Riverdale Drive. Because this route is a regional trail, the project's construction should be a joint endeavor between Anoka County and the City, funded by a Metropolitan Council grant.

Expenditures	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Improvements Other than Building Cost						5,600,000					5,600,000
Total						5,600,000					5,600,000

Funding Sources	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Grants/Outside Sources						5,600,000					5,600,000
Total						5,600,000					5,600,000

Capital Improvement Program

2023 *thru* 2032

City of Ramsey, Minnesota

Project #	11-PARK-003
Project Name	Alpine Park Winter Facilities

Department	Park Improvements
Contact	
Type	Improvement
Useful Life	25
Category	Park Improvement
Priority	5-Opportunity/Unfunded/Placeholder
Status	Future Consideration

Total Cost \$2,500,000

Description

This project shall include the construction of a chalet/warming house capable of facilitating winter equipment rentals and vending. Improvements will also include the expansion of the existing parking lot, and the construction of refrigerated rinks.

Justification

This warming house will function as a hub for winter recreation in the city with ice skating, sliding, and cross-country ski trails. Further, the existing warming house and rinks at Ramsey Elementary are in sub-standard condition and would be discontinued under this proposal.

Expenditures	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Building Cost/Construction						750,000					750,000
Improvements Other than Building Cost						1,750,000					1,750,000
Total						2,500,000					2,500,000

Funding Sources	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Park Improvement Trust Fund						2,500,000					2,500,000
Total						2,500,000					2,500,000

Capital Improvement Program

2023 *thru* 2032

City of Ramsey, Minnesota

Project #	17-PARK-008
Project Name	Lake Itasca / COR Greenway

Department	Park Improvements
Contact	
Type	Improvement
Useful Life	20
Category	Park Improvement
Priority	5-Opportunity/Unfunded/Placeholder
Status	Future Consideration

Total Cost \$1,900,000

Description

This project envisions a Greenway connection from Municipal Plaza, The Draw and the proposed Waterfront, west through The COR to the Lake Itasca Community Park.

Justification

The Greenway will be the primary east/west pedestrian route on either side of Armstrong Blvd, connecting places to live, work and recreate. It is intended that the Greenway also will be a working component of the stormwater system.

Expenditures	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Improvements Other than Building Cost					1,900,000						1,900,000
Total					1,900,000						1,900,000

Funding Sources	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Park Improvement Trust Fund					1,900,000						1,900,000
Total					1,900,000						1,900,000

Capital Improvement Program

2023 *thru* 2032

City of Ramsey, Minnesota

Project #	06-ACQ-001
Project Name	Sixth Community Park (north central Ramsey)

Department	Site Acquisitions
Contact	
Type	Land
Useful Life	Unassigned
Category	Site Acquisition
Priority	5-Opportunity/Unfunded/Placeholder
Status	Future Consideration

Total Cost \$3,800,000

Description
The park location is presently proposed as Trott Brook Crossings, north of Trott Brook and geographically centralized within the city.
The park would have athletic fields, significant playground and repurposed barns serving as a community event center.

Justification
Given the projected build-out of Ramsey, it is anticipated that a sixth Community Park will be required to meet the needs of the existing and future residents.

Expenditures	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Land Acquisition				3,800,000							3,800,000
Total				3,800,000							3,800,000

Funding Sources	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	Total
Park Improvement Trust Fund				3,800,000							3,800,000
Total				3,800,000							3,800,000

Meeting Date: 09/14/2023

By: Mark Riverblood, Engineering/Public Works

Information

Title:

Recommend 2024 Park Development Fees

Purpose/Background:

This case is a part of the city's annual Adoption of Rates and Charges, and relates specifically to a portion of development fees, pertaining to the subdivision of land.

Description of Park Dedication and Trail Fees

Any time new development occurs within the city of Ramsey, the subdivision of land is evaluated for parks and trail needs. If park land is not needed, the City of Ramsey will accept cash in lieu of physical Park Dedication [land]. The cash payment is then used for current/future park development within the city. The same evaluation of the physical need versus a cash equivalent is true for both Park Dedication (land or cash) and Trail Fees (trail construction or cash). However, it may be noted that sidewalks in the MUSA and trails *along arterial roadways* in the city, are required as essential infrastructure (no credit assessed against development fees).

Park Dedication is calculated based on the size of a development and the density, as well as residential versus commercial/industrial land use and rates; and is listed within the city's annual Rates and Charges.

Purpose

The city recognizes that parks, trails, and open space are essential to the health, safety and welfare of the residents of the city and persons working in the city, and that the character and quality of the environment as well as recreational opportunities are of major importance - and therefore 'Park Dedication' and 'Trail Fees' are critical development fees in the planning and development processes of the city. The city must not only provide these necessary amenities for our citizens today, but also be insightful to the needs of future residents that new development brings.

Methodology and History

Rates for *land dedication* have remained fairly static for several decades – however, there have been some minor changes now that greater densities are permitted in the urban areas; and there were formulaic changes for land uses that have demonstrable lower ‘demand’ for parks and open-space (E.g. memory care centers).

Additionally, the acreage/fee structure is reviewed by City Council annually, for ‘cost of living’ adjustments each year as part of the Rates and Charges analysis. In earlier years there have been minor increases to Park Dedication and Trail Fees, and there were no increases adopted for 2020, 2021 nor 2022. For 2023 Council increased certain Park Dedication and Trail Fees based upon the Park & Recreation Commission's recommendation.

Further, Ramsey's rates are compared to similar suburban cities in the metropolitan area, as well as our immediate neighbors on an annual basis - however, while this may be useful, development fees must respond to a legitimate need associated with the change in land use (increased densities and park and trail users) and thus the following is what actually informs Park Dedication and Trail Fee rates.

In concluding, *park land* and park and trail *improvements* themselves are identified within the Parks Capital Improvement Plan – which is adopted each year by City Council following a recommendation by the Commission. This plan is a reflection of community need (then also, presumably in corresponding development fees)—with the forecast improvements sometimes outpacing anticipated revenue from both Park Dedication and

Trail Fees.

Notification:

Prior to adoption of the 2024 Rates and Charges Schedule, City Council will conduct a Public Hearing. Park Dedication and Trail Fees are a part of this schedule and Public Hearing.

Observations/Alternatives:

During detailed and comprehensive discussions on Park Dedication and Trail Fee cash contribution rates in both 2021 and 2022, the Park & Recreation Commission recommended increases that were adopted by City Council for calender year 2023. The attachment to this case shows the current rates and schedule in effect today.

Funding Source:

Funding is not required for this case, rather Development Fees are required to off-set demand on the park and trail system from new development in the city—for the development of new park and trail improvements, (**not** maintenance, which is funded by the General Fund Levy).

Recommendation:

Staff Recommends no change to the Park Dedication or Trail Fees for 2024, as represented in the attached 2023 schedule of development fees.

Action:

Motion to recommend to City Council Park Dedication and Trail Fees for 2024, based upon discussion.

Attachments

Existing Development Fees

Form Review

Inbox	Reviewed By	Date
Bruce Westby	Bruce Westby	09/08/2023 11:27 AM
Brian Hagen	Kathy Schmitz	09/08/2023 03:37 PM
Form Started By: Mark Riverblood		Started On: 09/08/2023 09:20 AM
Final Approval Date: 09/08/2023		

2023 Park Dedication and Trail Fees

SERVICE OR LICENSE	SPECIAL NOTES	2023 Adopted	2024 Proposed
Planning and Zoning			
Comp Plan Escrow		1,000.00	
Conditional use escrow minimum		1,000.00	
Dock permit		25.00	
Easement Encroachment Agreements		500.00	
Environmental Assessment (EAW, EIS, AUAR) Escrow		3000.00	
Grading Permit		200.00	
Home Occupation Permit		250.00	
Home Occupation Permit Escrow		1000.00	
Industrial Revenue Bond - application		200.00	
Industrial Revenue Bond - escrow		1,000.00	
Interim Use Permit Escrow - Minimum		600.00	
Land Use Application Fee		500.00	
Park Dedication - Cash Contribution: Residential Unit	Including Townhomes & Apartment Units	4,500.00/dwelling unit	
Park Dedication - Cash Contribution: Residential Unit	Exceed 12+ units per acre	7.5% Discount/\$4,163.00	
Park Dedication - Cash Contribution: Residential Unit	Exceed 20+ units per acre	15% Discount/\$3,825.00	
Park Dedication - Cash Contribution: Commercial/Assisted Living Facilities		5,100.00/acre	
Park Dedication - Cash Contribution: Industrial		4,375.00/acre	
Park Dedication - Land Contribution: Residential	0 - 3.0 dwelling units per acre	10% of land	
	3.1 - 5.0 dwelling units per acre	15% of land	
	5.1 + dwelling units per acre	Add .5% for each over 5	
Park Dedication - Land Contribution: Commercial/Industrial/Assisted Living Facilities		5% gross land area	
Park Dedication - Land Contribution: Planned Unit Developments	(public open space/rec. uses-not including wetlands)	10% gross land area	
		2,800.00/dwelling unit	
Trail Development Fee - Cash Contribution: Residential Unit		1,500.00/dwelling unit	
Trail Development Fee - Commercial/Industrial/Assisted Living Facilities		1,300.00/acre	

Park and Recreation Commission

Meeting Date: 09/14/2023

Primary Strategic Plan Initiative: Connect the community through Parks, Trails and Recreational Programming.

Information

Title:

Commission/Staff Input

Purpose/Background:

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Funding Source:

.

Recommendation:

.

Outcome/Action:

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Attachments

Pop-up Play Sept 14

Form Review

Inbox

Brian Hagen

Form Started By: Mark Riverblood

Final Approval Date: 09/08/2023

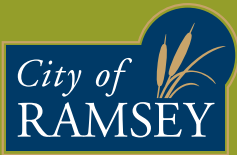
Reviewed By

Kathy Schmitz

Date

09/08/2023 03:37 PM

Started On: 09/08/2023 02:16 PM



PARKS & RECREATION



Pop-up Play

Time2Play at The Hollow

Celebrate community and have some family-friendly fun at The Hollow, a soon-to-be neighborhood playground. Northgate Church will host a special pop-up “Time2Play” session, a free, all-ages event with sensory play, yard games, snow cones, and more! Plus, be among the first to experience The Hollow’s new zipline, the inaugural feature of this exciting playground project. Afterward, the Park and Recreation Commission will host their monthly meeting.

No registration is required.
Children must be supervised.
See you there!



Location **The Hollow**
14642 Snowy Owl St.
(New subdivision south of
Highway 10 NW)
Ramsey, MN 55303

Date Thursday, September 14

Time 5:30-7:00 p.m.

cityoframsey.com/parksevent

CONTACT

Abby Proulx, Recreation Coordinator
aproulx@cityoframsey.com
763-433-9883