

City of Ramsey
Agenda
Regular Planning Commission
Thursday, January 26, 2023

7:00 pm

Location: 7550 Sunwood Drive NW

Remote Attendance available at www.cityoframsey.com/meetings.
Those joining remotely and requesting to speak are asked to use a webcam when speaking.

1. **Call to Order**
2. **Pledge of Allegiance**
3. **Citizen Input**
4. **Approve Agenda**
5. **Consent Agenda**
 1. Approve December Planning Commission Meeting Minutes
6. **Public Hearing**
 1. PUBLIC HEARING - ARAA Dome Site Plan, Plat, and Variance to Height - 14600 Ferret St. NW
7. **Commission Business**
 1. Zoning Code Update - Business Districts
 2. Zoning Code Update - Residential Districts
8. **Commission/Staff Input**
9. **Adjournment**

Regular Planning Commission

5. 1.

Meeting Date: 01/26/2023

Submitted For: Dana Verbeek, Community Development

By: Dana Verbeek, Community Development

Information

Title:

Approve December Planning Commission Meeting Minutes

Purpose/Background:

The purpose of this case is to approve the Planning Commission regular meeting minutes from the December 1, 2022 meeting.

Notification:

Observations/Alternatives:

Funding Source:

Recommendation:

Action:

Attachments

December Planning Commission Meeting Minutes

Form Review

Inbox

Brian Hagen

Form Started By: Dana Verbeek

Final Approval Date: 01/05/2023

Reviewed By

Brian Hagen

Date

01/04/2023 05:06 PM

Started On: 12/20/2022 09:43 AM

**PLANNING COMMISSION
CITY OF RAMSEY
ANOKA COUNTY
STATE OF MINNESOTA**

The Ramsey Planning Commission conducted a regular meeting on Thursday, December 1, 2022, at the Ramsey Municipal Center, 7550 Sunwood Drive NW, Ramsey, Minnesota.

Members Present: Chairperson Randy Bauer
 Commissioner Bruce Anderson (via Zoom)
 Commissioner Cheri Gengler
 Commissioner Tom Hunt
 Commissioner Eric Peters
 Commissioner Gary VanScoy

Members Absent: Commissioner Brian Walker

Also Present: Planning Manager Todd Larson
 City Planner Brian McCann
 Senior Planner Chris Anderson
 City Council Liaison Matt Woestehoff

1. CALL TO ORDER

Chairperson Bauer called the regular meeting to order at 7:00 p.m.

2. PLEDGE OF ALLEGIANCE

Chairperson Bauer led the group in the Pledge of Allegiance.

3. CITIZEN INPUT

None.

4. APPROVAL OF AGENDA

Motion by Commissioner VanScoy, seconded by Commissioner Peters, to approve the agenda as presented.

A roll call vote was performed:

Commissioner Peters	aye
Commissioner Gengler	aye
Commissioner VanScoy	aye
Commissioner Anderson	aye

Commissioner Hunt aye
Chairperson Bauer aye

Motion Carried.

5. CONSENT AGENDA

5.01: Approve the October 27, 2022 Planning Commission Meeting Minutes

Motion by Commissioner Hunt, seconded by Commissioner Gengler, to approve the consent agenda as presented.

A roll call vote was performed:

Commissioner Hunt aye
Commissioner Anderson aye
Commissioner VanScoy aye
Commissioner Gengler aye
Commissioner Peters aye
Chairperson Bauer aye

Motion Carried.

6. PUBLIC HEARINGS

6.01: Public Hearing: Consider a Home Occupation Permit for Sewer Works at 17725 Nowthen Boulevard NW

Public Hearing

Chairperson Bauer called the public hearing to order at 7:02 p.m.

Presentation

City Planner McCann presented the staff report stating that staff recommends adoption of the resolution approving a Home Occupation Permit for Sewer Works at 17725 Nowthen Boulevard NW, with the contingency of removing the semi-trailer.

Commissioner VanScoy asked if the trailer referred to is the white shipping container.

City Planner McCann stated that he believes there is a trailer connected but confirmed that the shipping container is part of that.

Commissioner Peters asked if anyone knew there was a business being run out of the house when the accessory building was constructed.

City Planner McCann commented that staff was aware of that business but because the operation of the business would not be changing, a Home Occupation Permit was not required at that time.

Citizen Input

Julieanna Snow and Russell Peterson, 17725 Nowthen Boulevard, stated that they are requesting the ability for the trailer to be on the property because it helps with the business and helps to screen the area from the public. She stated that each year the State of Minnesota attempts to improve groundwater by instituting new regulations which requires them to have more materials and equipment for the business. She stated that they are able to store the equipment and material in the trailer so that is available onsite for servicing customers. She stated that allowing them to have the trailer onsite would allow the business to continue to function and service septic customers in Ramsey.

Commissioner Hunt noted the truck parked out front and asked if that is the second truck as the narrative mentioned that the first truck is parked inside.

Mr. Peterson replied that the second truck is in Isanti at this time. He noted that storing the second truck in that location causes a delay in time and additional fuel costs that must be passed onto the customer.

Commissioner Hunt asked if the second truck would be parked in the location shown on the picture.

Mr. Peterson confirmed that is where they had the second truck in attempt to keep it screened. He confirmed that the trailer has been on the property since 1975.

Commissioner VanScoy commented that it is his understanding that there would be two trucks onsite, one parked inside and one parked outside.

Mr. Peterson confirmed that is how he had been doing it until he completed the building in Isanti and now keeps one truck at each location.

Ms. Snow commented that they did have both vehicles parked onsite but now have one on the property in the garage and the other in Isanti. She stated that if the truck at the house were to breakdown, the truck stored in Isanti would not fit into the garage because it is seven inches too tall and therefore would be stored on the side as it had been in the photo.

Mr. Peterson stated that they would plan to have the one truck at the home, parked inside, and the other would be parked in Isanti with the exception of if a job were to run late and they needed to park it at the home overnight.

Commissioner VanScoy asked what is stored in the trailer.

Mr. Peterson noted the different equipment that is stored in the trailer.

Chairperson Peterson asked what is kept in the accessory building.

Mr. Peterson commented that his pickup and the pumper truck are inside as well as other equipment for the septic business that must be stored indoors. He confirmed that there is not space in the accessory building for the items stored in the trailer.

Commissioner Peters asked if there has been an issue with vehicles coming onto the property, as it was mentioned that one the reasons for the trailer is to protect the property.

Mr. Peterson confirmed that they have had issues with vehicles spinning out on that corner and coming onto the property. He noted that have had issues with theft and therefore keeping the equipment in the trailer helps to keep it more secure.

Motion by Commissioner VanScoy, seconded by Commissioner Peters, to close the public hearing.

A roll call vote was performed:

Commissioner Peters	aye
Commissioner Gengler	aye
Commissioner VanScoy	aye
Commissioner Anderson	aye
Commissioner Hunt	aye
Chairperson Bauer	aye

Motion Carried.

Chairperson Bauer closed the public hearing closed at 7:17 p.m.

Commission Business

Commissioner VanScoy asked the concern with the semi-trailer.

City Planner McCann replied that the trailer did come to their attention through the code enforcement process. He noted that it is technically a commercial vehicle and does not meet the requirements for a commercial vehicle.

Commissioner VanScoy commented that it appeared to be a shipping container, which have been allowed in certain circumstances in the past.

City Planner McCann confirmed that has been allowed for commercial or industrial properties and could not recall an instance of it being allowed for a residential property.

Commissioner VanScoy commented that the trailer has been on the property since 1975 and therefore perhaps screening would be helpful to screen it from the road. He noted that the trailer has been at the property for so long as a part of the normal operation and therefore it would seem extreme to request it to be removed.

Chairperson Bauer asked if the trailer would be prohibited within the R-1 district.

City Planner McCann noted that the Code has specifications for off street parking which include commercial vehicles. He noted that there are requirements for screening, allowed lengths of time, and it must be functional.

Chairperson Bauer noted that the trailer was in existence prior to the passing of the City Code requirements and asked if that would then be grandfathered in.

City Planner McCann replied that perhaps there could be a grandfathered allowance.

Commissioner Gengler asked to see the aerial map to show how the trailer aligns with adjacent properties.

City Planner McCann displayed the aerial photograph.

Commissioner Peters asked if there would be any pathway to make the trailer compliant if it were not grandfathered in, such as a variance.

City Planner McCann commented that he was unsure of alternatives.

Planning Manager Larson stated that perhaps an Interim Use Permit would be a good fit as that would expire with the sale of the property.

Chairperson Bauer suggested that the IUP could be linked to the sale of the land rather than issued for a five-year period.

Senior Planner Anderson commented that the IUP could be issued for a length of time, or it could be tied to the expiration of the Home Occupation Permit or sale of the property.

Commissioner VanScoy asked if conditions could be placed on an IUP, such as screening.

Senior Planner Anderson confirmed that reasonable conditions could be applied similar to a Conditional Use Permit.

Chairperson Bauer asked the applicant for input on whether they would be interested in pursuing an IUP for the trailer to remain on the property which would allow that trailer to remain on the property until the home occupation ceases or the property is sold.

Mr. Peterson agreed. He noted that they could run fencing along the trailer or could plant trees.

Chairperson Bauer asked if the IUP would require a second hearing.

City Planner McCann confirmed that would require a separation application and cost.

Chairperson Bauer noted that this motion could be made contingent upon later approval of an IUP.

Senior Planner Anderson noted that this could move forward to the City Council and the City Council could conduct the public hearing for the IUP at its meeting to avoid this having to come back before the Commission again.

Commissioner VanScoy asked if this would impact the ability for the resident to run their business, as it sounds like the business provides a critical service.

Planning Manager Larson asked the Commission to make a recommendation on this Home Occupation Permit tonight noting that the Commission could also make a recommendation on an IUP. He stated that the Council meeting could then be notified as the public hearing required for the IUP.

Motion by Commissioner Gengler, seconded by Commissioner Peters, to recommend that City Council adopt Resolution #22-271 Approving a Home Occupation Permit for Sewer Works at 17725 Nowthen Boulevard NW with an IUP for the trailer to remain onsite, only for this business, with additional screening and that shall terminate upon termination of the Home Occupation Permit or sale of the property.

Further discussion

Ms. Snow asked if staff discovered that the trailer was grandfathered in, would the IUP then not be necessary. Chairperson Bauer noted that the safer route would be to use the IUP to ensure there are no conflicts going forward. He noted that staff could verify that information with the City Attorney prior to the City Council meeting.

A roll call vote was performed:

Commissioner Hunt	aye
Commissioner Anderson	aye
Commissioner VanScoy	aye
Commissioner Gengler	aye
Commissioner Peters	aye
Chairperson Bauer	aye

Motion Carried.

6.02: Public Hearing: Gile Addition Sketch Plan and Preliminary Plat – 15710 St. Francis Boulevard NW

Public Hearing

Chairperson Bauer called the public hearing to order at 7:34 p.m.

Presentation

Planning Manager Larson presented the staff report stating that staff recommends approval of the sketch plan and preliminary plat.

Commissioner VanScoy asked if Krypton could be a through street once completed.

Planning Manager Larson confirmed that to be true.

Citizen Input

Jason Rude, representing the applicant, stated that the applicant is agreeable to moving the shed and snowmobiles that are near and/or over the lot line. He stated that the outlots are unique, noting that there are two outlots proposed to square off the neighboring lots to the northwest. He stated that the applicant has spoken with one of those neighbors, who is in agreement and is trying to reach the other. He explained that the neighbors would be deeded the outlots to make their lots rectangular.

Commissioner Anderson asked why Krypton Street could not go through now.

Planning Manager Larson replied that the City does not yet have enough right-of-way (ROW) to complete a full street. He noted that in order to construct the street now, they would need to condemn the hashed area on the map. He stated that the street is not needed at this time and therefore could wait for development to occur on the other side of the street that would provide the remaining ROW needed.

Commissioner Anderson asked how lot one would have access, as that appears to be blocked by lot two.

Planning Manager Larson provided details on the driveway that would come through the Krypton Street ROW to 157th Lane.

Motion by Commissioner Peters, seconded by Commissioner VanScoy, to close the public hearing.

A roll call vote was performed:

Commissioner Peters	aye
Commissioner Gengler	aye
Commissioner VanScoy	aye
Commissioner Anderson	aye
Commissioner Hunt	aye
Chairperson Bauer	aye

Motion Carried.

Chairperson Bauer closed the public hearing closed at 7:45 p.m.

Commission Business

Motion by Commissioner VanScoy, seconded by Commissioner Hunt, to recommend that City Council adopt Resolution #22-275 for the Sketch Plan and Preliminary Plat of “Gile Addition”.

A roll call vote was performed:

Commissioner Hunt	aye
Commissioner Anderson	aye
Commissioner VanScoy	aye
Commissioner Gengler	aye
Commissioner Peters	aye
Chairperson Bauer	aye

Motion Carried.

7. COMMISSION BUSINESS

7.01: Consider Sketch Plan for Parkside Townhomes (Project No. 22-143); Case of COR at Ramsey LLC

Presentation

Senior Planner Anderson presented the Staff Report stating that staff recommends that the Commission provide applicable feedback to the applicant and direct them to proceed with preparation of a Preliminary Plat submittal.

Commission Business

Councilmember Woestehoff mentioned the comment from staff about the site potentially being overparked for guest parking and asked for more information.

Senior Planner Anderson commented that there is nothing wrong with having additional guest parking, but the number of stalls could be reduced.

Councilmember Woestehoff commented that he is excited for this development and is a proponent of less parking as there is a lot of asphalt in the area. He believed that greenspace or bike racks could be more beneficial. He also agreed with the architectural upgrades recommended by staff.

Commissioner VanScoy stated that when this was last discussed he was very vocal about porches but noted that he did review the COR Framework and there is language that would allow a balcony and therefore he withdraws his previous objection to the porch element.

Commissioner Anderson commented that he would also withdraw his objection related to porches. He stated that if this design is going to be allowed, it should blend into the neighboring units. He also agreed that there should be upgraded architecture on the public street facing side.

Jason Palmby, applicant, commented that they are excited to create this development of townhomes with open space areas for the private residents to gather.

Commissioner VanScoy asked the applicant for input on the recommendation of staff for upgraded architecture.

John Rasc, builder, stated that this is a unique opportunity as there is a variety of architecture and different designs within the COR. He stated that they believe that their design blends well with the different types of architecture in the area. He stated that they also have to design a product that meets the demands of the market at a price point that people can afford. He noted that these would have a higher price of the other townhomes that have been built in the COR, estimating a price beginning at \$375,000. He stated that they would not be opposed to stone or brick, but there has to be a give and take with the fencing, patios, and landscaping. He stated that they tend to place value in the things people want and find value in and brick is not it in this case. He stated that they could keep that in mind as they move forward but would like flexibility in return for the other items they propose.

Commissioner VanScoy stated that when he first saw the renderings, he was not in favor of them as they were very flat but noted that he is much more comfortable with these renderings as there is a fair amount of modulation. He stated that he does feel that masonry or something of that nature is missing in the design. He stated that he does like the project.

Chairperson Bauer commented that they are excited to see this project continuing to move forward.

Senior Planner Anderson confirmed the consensus that the applicant should continue to the next step in this process.

7.02: Presbyterian Homes (Senior Housing Partners)/Lord of Life Church Site – 14501 Nowthen Boulevard NW

Presentation

Planning Manager Larson noted that the applicant had an accident about 15 minutes before the meeting and could not make it, but would like this to continue to move forward, so he offered to provide an update in order to keep this moving forward. He updated the Commission on recent activity including neighborhood meetings and worksessions with the City Council and Planning Commission.

Commission Business

Chairperson Bauer stated that it seems the primary concern of the neighbors was related to three or four stories and a preference not to have the greenspace in their backyard. He welcomed any input the Commission may have.

Commissioner VanScoy stated that his only concern would be that there is adequate parking for both the housing and the church. He stated that any of the options would seem acceptable. He asked if a rezoning would be necessary.

Planning Manager Larson commented that this would be likely to become a Planned Unit Development.

Commissioner Gengler stated that if this were to move forward, she would want to see traffic studies as this area is already very treacherous.

Commissioner Anderson stated that he likes the project and favors alternate two the best.

7.03: Adopt the 2023 Meeting and Application Calendar

Presentation

Planning Manager Larson presented the Staff Report stating that staff recommends adopting the 2023 calendar. He noted a potential conflict and noted that the group could meet one week earlier or one week later. It was the consensus of the Commission to postpone that meeting by one week.

7.04: Zoning Code Update Discussion - Lighting

Presentation

Senior Planner Larson presented the Staff Report and welcomed input from the Commission on the topic.

Commission Business

Commissioner VanScoy commented that this topic seems to be covered.

Planning Manager Larson used the example of PACT Charter School and the stadium lights, noting that the Code language did not address that element. He stated that a recent daycare application proposed tall light poles because of a cost savings, but that is adjacent to residential and therefore may not be appropriate in that setting. He stated that there should also be a standard for adequate lighting for businesses.

Commissioner VanScoy commented that the existing language mentions lumens, but the new language uses a different measurement.

Planning Manager Larson explained it is the difference between the light that is given versus what projects. He noted that bulb strength is measured in lumens while the light at the surface where it is measured is foot candles.

Commissioner VanScoy referenced compliance and asked for details on Section 140 that is mentioned.

Planning Manager Larson noted that the nonconforming use section.

Commissioner VanScoy commented that there are many places where lights are on a building and the light is bright from the street.

Planning Manager Larson commented that is correct, there should not be light spillage but if the lighting were installed before the regulation those lights would be legal nonconforming. He stated that if the building came in for a new request, the lighting could be required to be upgraded at that time.

Commissioner VanScoy commented on a bright light of a neighbor that causes disturbance in his home and asked if there are residential regulations.

Planning Manager Larson provided details on glare and its definition.

Commissioner Gengler asked if the brightness of illuminated signs would be covered in this updated code or the sign code.

Planning Manager Larson replied that would be part of the sign regulations and that will be discussed at a future meeting.

Commissioner Gengler commented that she likes the LED street lights. She noted that perhaps there would be a limitation on the number of LED lights that could be placed on a building.

Commissioner VanScoy stated that it seems that this ordinance focuses on safety, involving both a maximum and minimum but also recognized that there is an issue of aesthetics that would be limited in terms of regulation.

Commissioner Hunt stated that he also liked LED lighting and also suggested perhaps including a maximum allowed to prevent something from going over the line.

Planning Manager Larson noted that he could explore that idea.

Councilmember Woestehoff asked if the parking areas mentioned would include parking garages/ramps.

Planning Manager Larson replied that he would look into that.

8. COMMISSION / STAFF INPUT

Councilmember Woestehoff provided an update on staffing.

Planning Manager Larson noted that the regular December meeting has been canceled and the next meeting will be January.

Senior Planner Anderson noted that Anoka County will be hosting a Fix-It Clinic and paper shredding event at the Ramsey Public Works Facility on Saturday, December 3rd from 10 a.m. to 1:30 p.m.

9. ADJOURNMENT

Motion by Commissioner VanScoy, seconded by Commissioner Hunt, to adjourn the meeting.

A roll call vote was performed:

Commissioner Hunt	aye
Commissioner Anderson	aye
Commissioner VanScoy	aye
Commissioner Gengler	aye
Commissioner Peters	aye
Chairperson Bauer	aye

Motion Carried.

The regular meeting of the Planning Commission adjourned at 8:44 p.m.

Respectfully submitted,

Todd Larson
Planning Manager

ATTEST:

Dana Verbeek
Planning Administrative Assistant

Drafted by Amanda Staple
TimeSaver Off Site Secretarial, Inc.

Meeting Date: 01/26/2023

By: Todd Larson, Community Development

Information

Title:

PUBLIC HEARING - ARAA Dome Site Plan, Plat, and Variance to Height - 14600 Ferret St. NW

Purpose/Background:

The Anoka Ramsey Athletic Association (ARAA) is proposing a large inflatable dome on a 12.89 acre site north of Highway 10 west of Armstrong Boulevard. The dome will primarily be used for practices and training sessions for its members. Occasional games, tournaments, and other events are likely to occur.

The Planning Commission reviewed a rezoning request for the property in the summer of 2022. The City Council approved the rezoning to E-3, the same district as the adjacent Bunker Lake Industrial Park to the northwest. This district was selected due to the building design allowances and uses on the site (recreation and restaurant). A text amendment was also processed to allow medical clinics in the E-3 district in the event a sports medicine clinic were to co-locate on the site. The clinic and restaurant uses are not being proposed at this time and a new Land Use Application will be required at the time they are proposed.

The site currently consists of two parcels. A plat is proposed to consolidate the lots into one large lot. Indoor recreation is a permitted use, therefore the site is subject to a Site Plan Review. Lastly, the dome exceeds the 65-foot height limit of the E-3 district and a variance is being requested. Previously, one of the parcels were used for recreation uses with a go-kart track and paintball, though that business has been closed for several years.

Notification:

Staff mailed notices to owners of property within 700 feet of the site. A legal notice was published in the Anoka Union Herald Newspaper on January 13, 2023. A Land Use Application sign was placed on the property.

Observations/Alternatives:

Use

The use of the facility will primarily be used for youth sports training. The applicant has stated that they will, from time-to-time, have games, tournaments, and other events, though nothing has been specified. Tournaments and other events must be limited in capacity due to the occupancy of the building per the Building Code and availability of parking on-site.

During the 2022 rezoning application, it was anticipated that the site would include a sports medicine clinic and a restaurant. These uses are not proposed at this time. A concept plan is attached. When those users are identified, a new Land Use Application will be required for review of those uses and structures. It should also be noted that a telecommunications tower is located on the site and it will remain in place.

Building Architectural Design & Variance

The building consists of two parts--the dome and a support building. The 175,000 square foot air-supported fabric dome will be 78 feet in height. The nearly 3,700 square-foot one-story brick support building is proposed off the northeast corner of the dome. The support building houses the lobby, restrooms, a storage room, an office, and a pass-through garage bay.

The maximum building height in the E-3 district is 65 feet. A height of 78 feet to the top is proposed (roughly the height of a six-story office building). The applicant's narrative addresses the considerations for justifying a variance according to City Code. The dome needs to have enough height (interior clearance) so that sports like

baseball and softball can reasonably be played indoors without a fly ball hitting the ceiling. As an arched structure, the top of the roofline will not be visible from close views due to its curvature. It will be noticeable from farther distances. Staff recommends approval of the variance as it is reasonable given the use of the structure. The Planning Commission has the authority to grant the variance. The Commission's decision may be appealed to the City Council.

Access & Parking

Access to the site is provided via two one-way drives off Ferret Street. The in-bound driveway is located very close, though offset, to the intersection of 147th Avenue. Due to the offset, outbound traffic will not be permitted here due to traffic safety concerns. The outbound driveway is approximately 190 feet to the south. This loop system allows for a drop-off zone in front of the support building.

The applicant has provided a traffic and parking analysis which is attached to this report to explain different parking scenarios depending on use of the building. The 135-space parking lot is located on the north side of the building. If the building is used for younger children's practices, it is expected that many of the children will be dropped off. If it is used for high school driving-aged teens, then it is expected that many of the users will drive themselves and park. Some additional parking is also provided for spectators. Staff concurs with the report as being adequate for *typical* use of the facility.

Space for additional parking is located to the west of the building. This area is being reserved for the clinic and restaurant uses, though it could be used to create more parking if it is needed.

A building perimeter paved pathway is shown for maintenance and emergency access. The pavement is needed to catch the snow that falls from the structure and is sturdy enough to plow it away. This pathway must be kept clear at all times.

Pedestrian Connections

Ferret Street will likely be reconstructed in 2023. This reconstruction will include a sidewalk. The applicant is showing a walkway connection from the building to the future public sidewalk. It is anticipated that during events, people may want to walk to the planned retail and restaurant uses nearby on a break. As a youth-centered facility, area children may ride a bike to the site and bike racks are being provided.

It should be noted that the walkway between the parking lot and the dome will also collect the snowfall from the roof as noted earlier. Extra attention will need to be given to this area while the building is in use during snowfall to keep it clear and safe.

Landscaping and Screening

The applicant has submitted a landscape plan that meets the requirements of City Code. The design of the site focuses most of the trees to the north side of the parking lot and east side of the property. The Environmental Policy Board (EPB) was scheduled to review the plans on January 23.

Adjacent to the north and east sides of the building are pads for mechanical units. Once the units are determined, they will need to be screened for safety and visual aesthetic with a privacy fence.

Utilities

Public water and sanitary sewer mains are in the vicinity of the site. These utilities will be extended to the site with the upcoming reconstruction of Ferret Street and 147th Avenue. The facility will be connected to municipal services. The proposed plans have some minor adjustments and corrections needed by the time of building permit.

Storm Water Management

A series of storm water management basins are shown across the site. Preliminary review reveals additional design capacity is likely and should be able to be accommodated on site easily. WMO review will be required based on the size of the site as well as a maintenance agreement.

Lighting

The applicant has submitted a lighting plan with photometrics that has a well-lit parking lot and pedestrian walkways. All lights are downcast and shielded.

Funding Source:

Costs of processing the application are the responsibility of the applicant. Park dedication and development fees will be collected with the plat.

Recommendation:

Staff recommends approval of the plat, site plan review, and variance.

Alternatives to consider:

1. Recommend approval of the project as recommended by staff.
2. Recommend approval of the project with any modifications that the Planning Commission would like.
3. Recommend denial of the project based on certain findings.

Action:

Three motions are requested:

Motion to adopt Resolution #23-024 Approving a Variance to structure height in the E-3 Zoning District.

Motion to recommend approval of Resolution #23-025 Approving Plat of "ARAA Subdivision" and

Motion to recommend approval of Resolution #23-026 Approving Site Plan Review for an athletic training facility at 14600 Ferret St. NW.

Attachments

Site Location Map
Architectural Plans
Civil Plans
Draft Final Plat
Future Phase Concept
Landscape Plans
SWPP Plans
Applicant's Narrative
Rendering
ACTION - Resolution #23-024 Variance
Draft Resolution #23-025 Plat
Draft Resolution #23-026 Site Plan

Form Review

Inbox	Reviewed By	Date
Brian Hagen	Brian Hagen	01/19/2023 03:16 PM
Form Started By: Todd Larson		Started On: 01/12/2023 08:35 AM
Final Approval Date: 01/19/2023		

29-32-25-14-0005

29-32-25-14-0015

ARAA Athletic Dome

14622 Ferret St NW & 14650 Ferret St NW



Sources: Esri, HERE, Garmin; USGS, Intermap, INCREMENT P, NRCan; Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community, LOGIS

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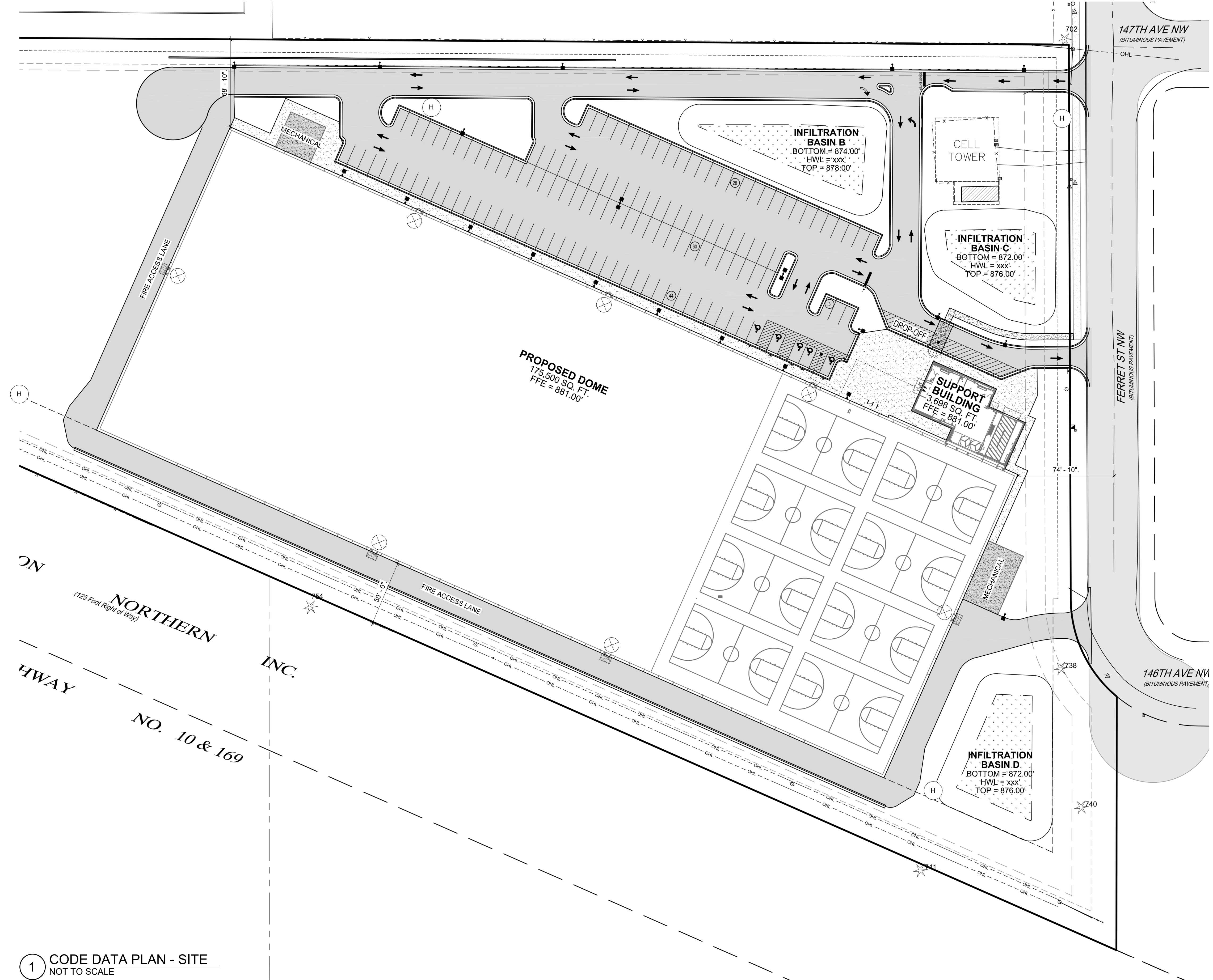


CODE SUMMARY KEY

CONSTRUCTION TYPE	II-B	A-4	OCCUPANCY GROUP
SPRINKLED SP OR NON-SPRINKLED NS	NS	Y	ALARM SYSTEM Y OR NO ALARM SYSTEM N
SPACE SQUARE FOOTAGE	171,776 SF		
OCCUPANT LOAD FACTOR	50	229	OCCUPANTS
EXIT WIDTH REQUIRED (INCHES)	59.8	544	EXIT WIDTH PROVIDED (INCHES)
NOTES	ACTUAL NUMBER OF PEOPLE		

CODE DATA PLAN KEY

	EXIT SIGN
	FIRE EXTINGUISHER
	FIRE EXTINGUISHER CABINET
	FRONTAGE DISTANCE
	KNOX BOX
	EMERGENCY LIGHT/BATTERY UNIT
	EXIT WIDTH IN INCHES EXIT OCCUPANT CAPACITY
	EXIT LIGHT
	MANUAL PULL
	HORN / STROBE
	BUILDING ADDRESS
	45° - 0" COMMON PATH OF TRAVEL 194' - 4" MAXIMUM EXIT TRAVEL DISTANCE
	30' x 48" CLEAR SPACE
	5' - 0" DIA. TURNING RADIUS
	HYDRANT
	ACCESSIBLE ROUTE
	PANIC DEVICE HARDWARE



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PROJECT

ARAA DOME

RAMSEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	21-26051
FILE NAME	
DRAWN BY	KMA
DESIGNED BY	DFS / KMA
REVIEWED BY	DFS
ORIGINAL ISSUE DATE	01/13/23
CLIENT PROJECT NO.	

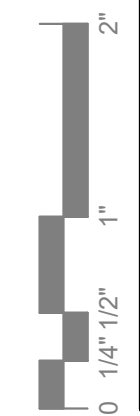
TITLE

CODE DATA PLAN - SITE

SHEET

G1-21

1 CODE DATA PLAN - SITE
NOT TO SCALE



PRELIMINARY NOT FOR CONSTRUCTION

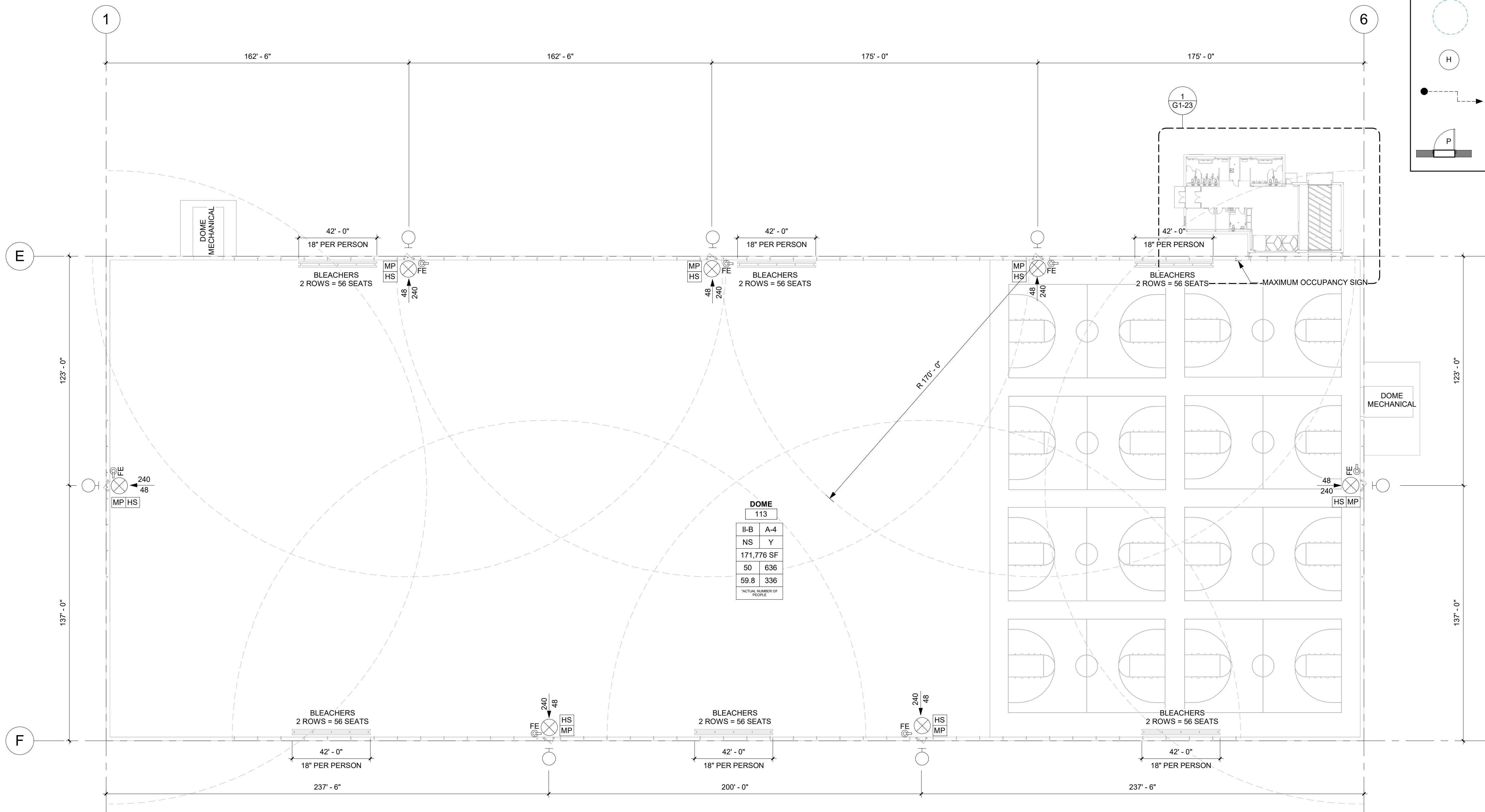


PRELIMINARY NOT FOR CONSTRUCTION

CODE SUMMARY KEY			
CONSTRUCTION TYPE	II-B	A-4	OCCUPANCY GROUP
SPRINKLED SP OR NON-SPRINKLED NS	NS	Y	ALARM SYSTEM Y OR NO ALARM SYSTEM N
SPACE SQUARE FOOTAGE	171,776 SF		
OCCUPANT LOAD FACTOR	50	229	OCCUPANTS
EXIT WIDTH REQUIRED (INCHES)	59.8	544	EXIT WIDTH PROVIDED (INCHES)
NOTES	ACTUAL NUMBER OF PEOPLE		

FIRE EXTINGUISHER LEGEND		
MARK	TYPE	COMMENTS
FE	FIRE EXTINGUISHER	
FEC	FULLY RECESSED FIRE EXTINGUISHER CABINET	CABINET COLOR: WHITE

CODE DATA PLAN KEY	
	EXIT SIGN
	FIRE EXTINGUISHER
	FIRE EXTINGUISHER CABINET
	FRONTAGE DISTANCE
	KNOX BOX
	EMERGENCY LIGHT/BATTERY UNIT
	EXIT WIDTH IN INCHES
	EXIT OCCUPANT CAPACITY
	EXIT LIGHT
	MANUAL PULL
	HORN / STROBE
	BUILDING ADDRESS
	45' - 0" COMMON PATH OF TRAVEL
	194' - 4" MAXIMUM EXIT TRAVEL DISTANCE
	30' x 48" CLEAR SPACE
	5' - 0" DIA. TURNING RADIUS
	HYDRANT
	ACCESSIBLE ROUTE
	PANIC DEVICE HARDWARE



DOME 113	
II-B	A-4
NS	Y
171,776 SF	
50	636
59.8	336
ACTUAL NUMBER OF PEOPLE	

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PROJECT

ARAA DOME

RAMSEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	21-26051
FILE NAME	
DRAWN BY	KMA
DESIGNED BY	DFS / KMA
REVIEWED BY	DFS
ORIGINAL ISSUE DATE	01/13/23
CLIENT PROJECT NO.	

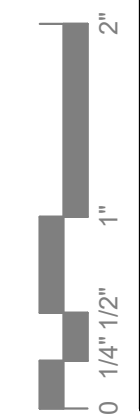
TITLE

CODE DATA PLAN - AREA B & C

SHEET

G1-22

2 CODE DATA PLAN - AREA B & C
1" = 30'-0"



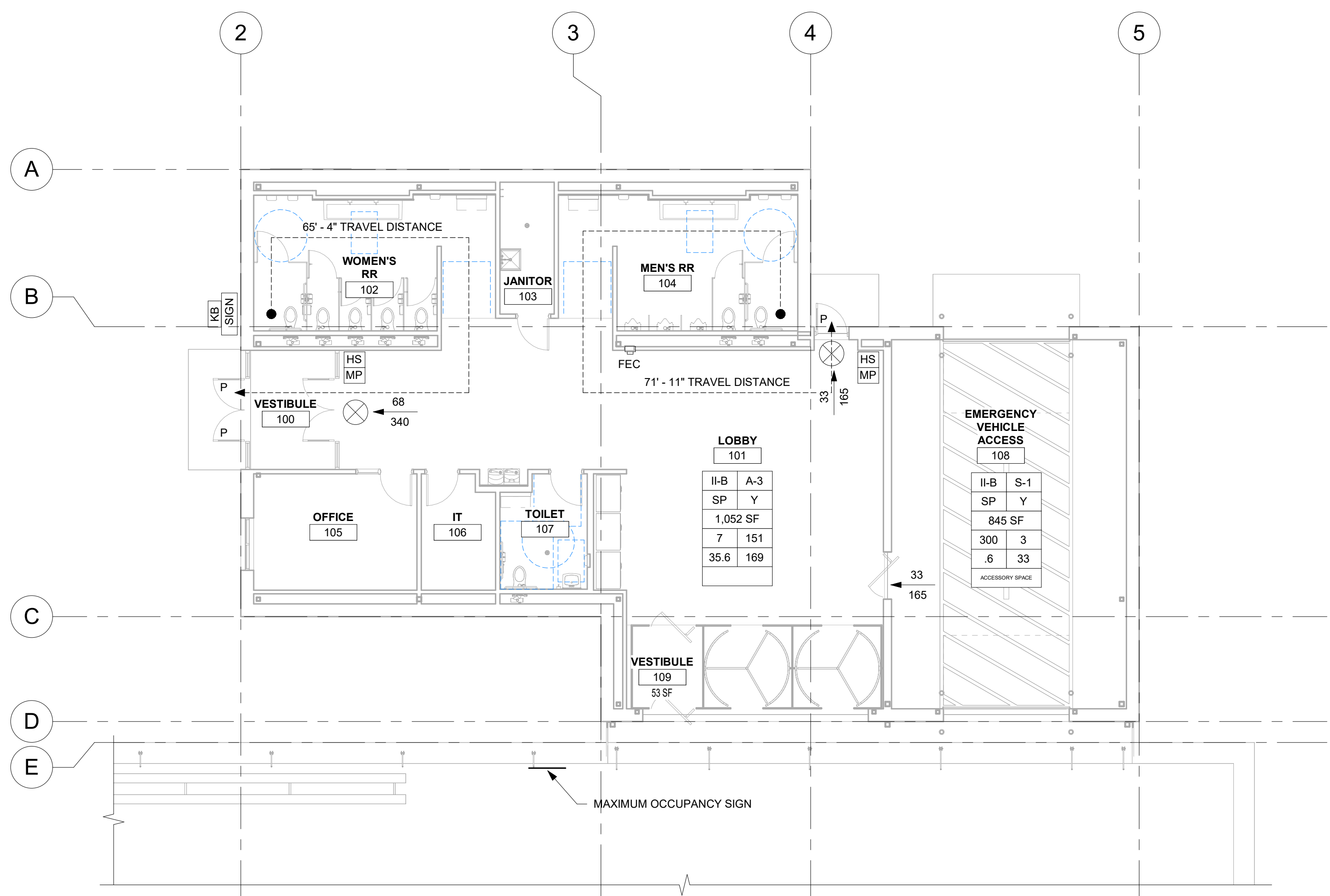


CODE SUMMARY KEY			
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NOTES			ACTUAL NUMBER OF PEOPLE

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MARK	TYPE	COMMENTS
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CODE DATA PLAN KEY	
	EXIT SIGN
	FIRE EXTINGUISHER
	FIRE EXTINGUISHER CABINET
	FRONTAGE DISTANCE
	KNOX BOX
	EMERGENCY LIGHT/BATTERY UNIT
	EXIT WIDTH IN INCHES
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	EXIT LIGHT
	MANUAL PULL
	HORN / STROBE
	BUILDING ADDRESS
	45' - 0" COMMON PATH OF TRAVEL
	194' - 4" MAXIMUM EXIT TRAVEL DISTANCE
	30' x 48" CLEAR SPACE
	5' - 0" DIA. TURNING RADIUS
	HYDRANT
	ACCESSIBLE ROUTE
	PANIC DEVICE HARDWARE

GENERAL CODE DATA	
OWNER	ANOKA RAMSEY ATHLETIC ASSOCIATION ANOKA, MINNESOTA 55303
ARCHITECT	ISG 7900 INTERNATIONAL DRIVE, SUITE 550 BLOOMINGTON, MINNESOTA 55425
BUILDING LOCATION	RAMSEY, MN
BUILDING CODE	2020 MINNESOTA BUILDING CODE 2020 MINNESOTA FIRE CODE 2020 MINNESOTA ENERGY CODE
ACCESSIBILITY CODE	2020 MINNESOTA ACCESSIBILITY CODE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
SCOPE	CONSTRUCT A 175,500 SF MEMBRANE AIR SUPPORTED DOME WITH ACCESSORY 3,731 SF BUILDING HOUSING TOILETS, OFFICE, AND STORAGE. DOME IS TO OPERATE ALL YEAR ROUND.
OCCUPANCY CLASSIFICATION AND USE	ASSEMBLY GROUP A-4
FIRE PROTECTION SYSTEMS	SUPPORT BUILDING: FULLY SPRINKLED DOME: NON-SPRINKLED (SECTION 507.4, EXCEPTION 2)
CONSTRUCTION TYPE	TYPE II-B
BUILDING HEIGHT	TABULAR ALLOWABLE HEIGHT: 3 STORIES / 75 FEET ABOVE GRADE PLANE ACTUAL HEIGHT: 1 STORY / 78 FEET (VARIANCE BEING REQUESTED)
BUILDING AREA	ALLOWABLE AREA: UNLIMITED (SECTION 507.4, EXCEPTION 2)
OCCUPANT LOAD	SUPPORT SPACES: SEE PLAN FOR OCCUPANT LOADS ACCESSORY STORAGE / MECHANICAL: 300 SF / OCC ASSEMBLY SPACE: 7 SF / OCC BUSINESS AREAS: 150 / OCC
DOME	636 ACTUAL MAXIMUM OCCUPANTS (ACTUAL OCCUPANT LOAD APPROVED BY BUILDING OFFICIAL PER 2020 MINNESOTA BUILDING CODE 1004.5 EXCEPTION)
MEANS OF EGRESS	MINIMUM NUMBER OF EXITS REQUIRED AT DOME: 4 MINIMUM NUMBER OF EXITS AT SUPPORT BUILDING: 2 ACTUAL NUMBER OF EXITS: SEE PLAN
	MINIMUM EGRESS WIDTH REQUIRED: SEE PLAN ACTUAL EGRESS WIDTH: SEE PLAN
	COMMON PATH OF EGRESS TRAVEL: 75 FEET MAXIMUM
	EXIT ACCESS TRAVEL DISTANCE: 250 FEET MAXIMUM
	PANIC HARDWARE OR FIRE EXIT HARDWARE REQUIRED AT LATCHING AND/OR LOCKING DOORS SERVING A GROUP "A" OCCUPANT LOAD OF 50 OR MORE
PLUMBING FIXTURES REQUIRED	636 OCCUPANTS / 2 = 318 MEN AND 318 WOMEN 318 / 125 = 3.54 (3) WATERCLOSETS FOR MEN 318 / 65 = 4.89 (5) WATERCLOSETS FOR WOMEN 318 / 200 = 1.59 (2) LAVATORIES FOR MEN 318 / 200 = 1.59 (2) LAVATORIES FOR WOMEN 636 / 500 = 1.27 (2) ACCESSIBLE DRINKING FOUNTAINS (1 HIGH SPOUT AND 1 LOW SPOUT) 1 SERVICE SINK
PLUMBING FIXTURES PROVIDED	MENS 2 WATER CLOSETS 3 URINALS 3 LAVATORIES
	WOMENS 5 WATER CLOSETS 3 LAVATORIES
	UNI-SEX 1 WATER CLOSET 1 LAVATORY
	1 JANITOR SINK 2 DRINKING FOUNTAINS



1 CODE DATA PLAN - AREA A
1/8" = 1'-0"

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PROJECT

ARAA DOME

RAMSEY MINNESOTA

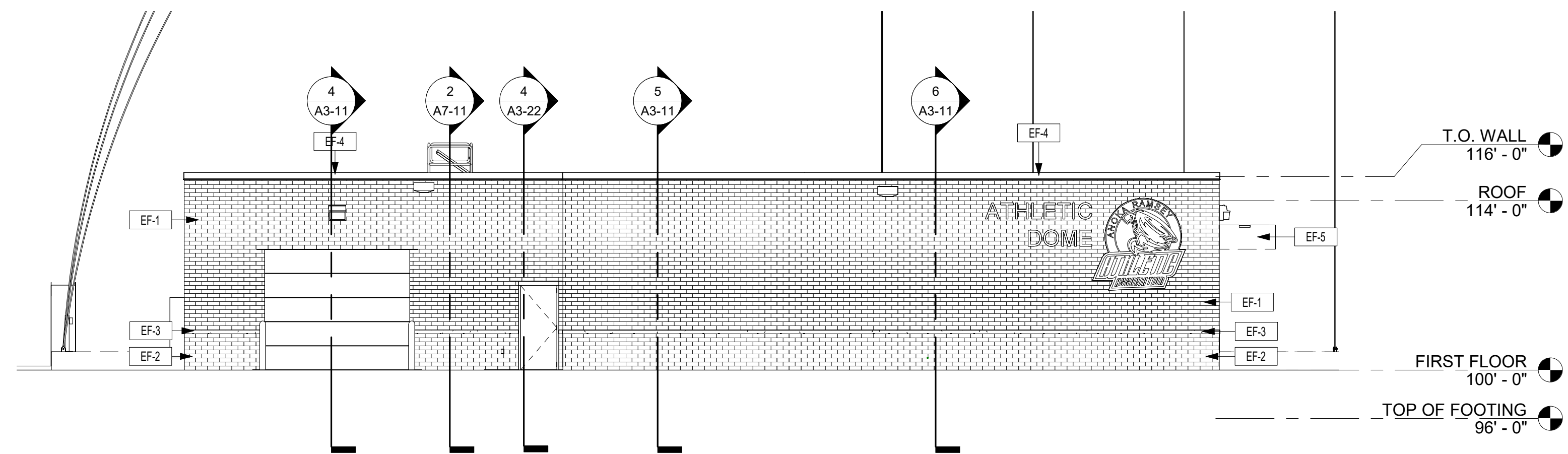
REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	21-26051
FILE NAME	
DRAWN BY	KMA
DESIGNED BY	DFS / KMA
REVIEWED BY	DFS
ORIGINAL ISSUE DATE	01/13/23
CLIENT PROJECT NO.	

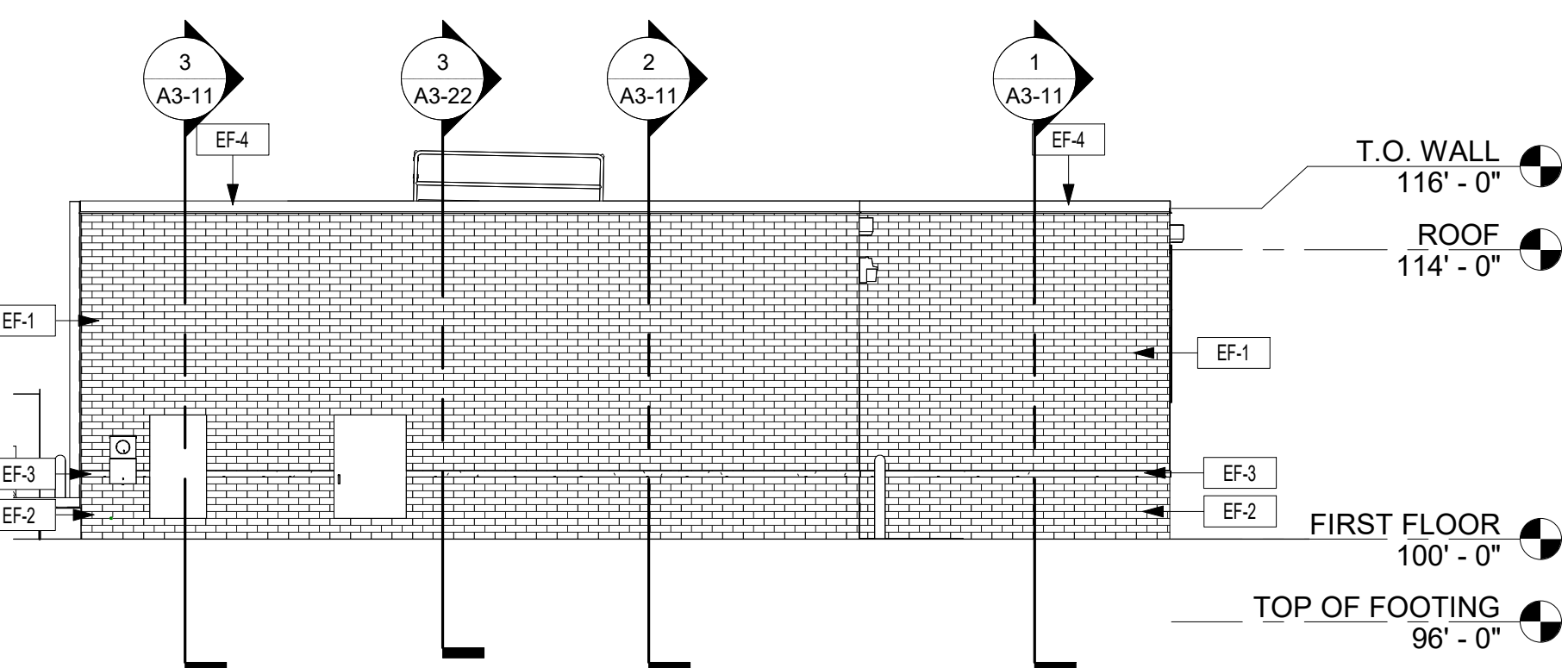
TITLE
CODE DATA & CODE DATA PLAN - AREA A

SHEET
G1-23

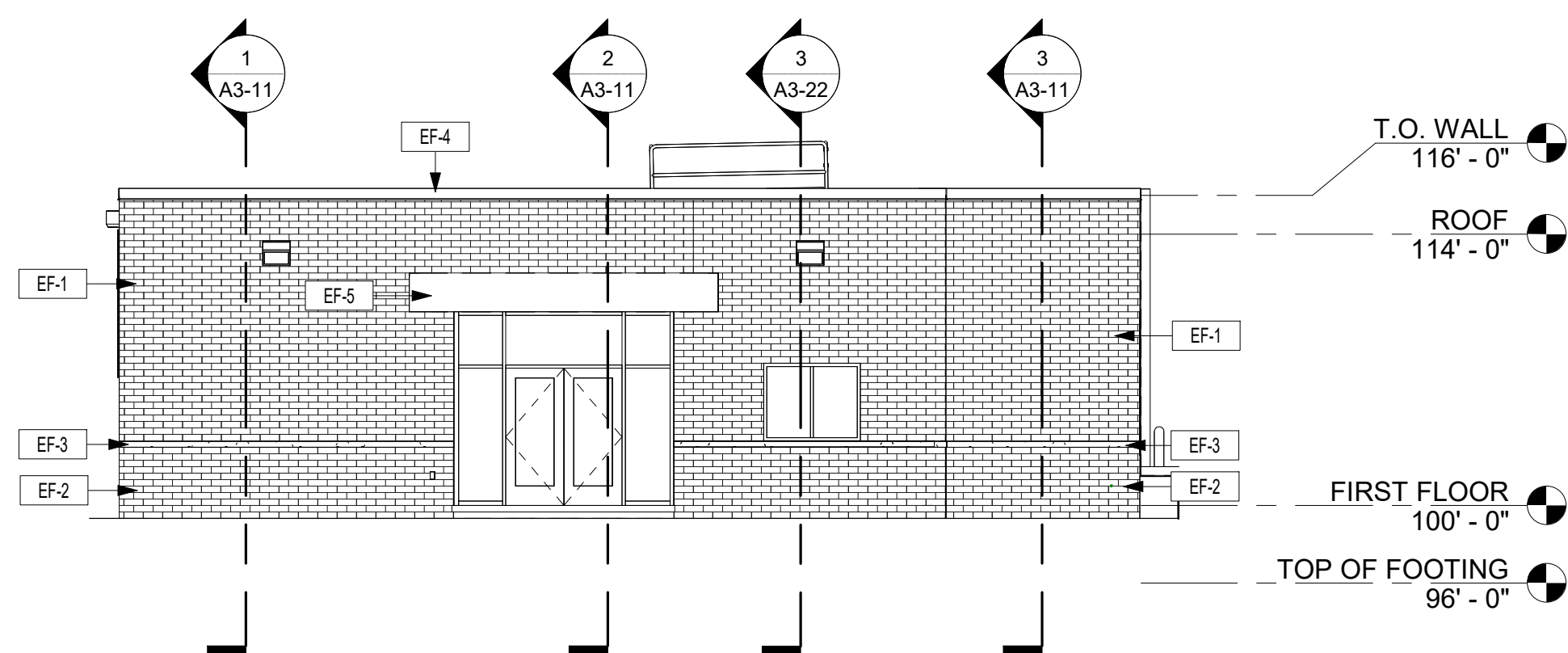
PRELIMINARY NOT FOR CONSTRUCTION



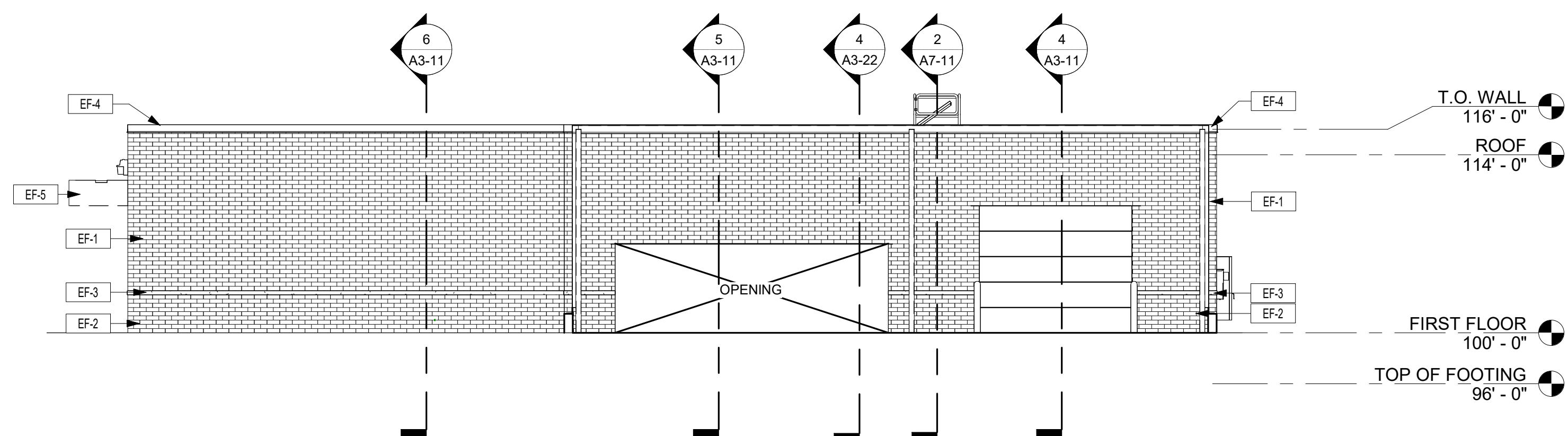
1 NORTH ELEVATION - AREA A
1/8" = 1'-0"



2 EAST ELEVATION - AREA A
1/8" = 1'-0"



3 WEST ELEVATION - AREA A
1/8" = 1'-0"



4 SOUTH ELEVATION - AREA A
1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE

MARK	MATERIAL TYPE	MANUFACTURER	MODEL / SIZE	COLOR	ADDITIONAL INFORMATION	COMMENTS
EF-1	BRICK	TBD	UTILITY	BLACK		
EF-2	BRICK	TBD	UTILITY	WHITE		
EF-3	BRICK	TBD	UTILITY	WHITE		BRICK TRANSITION
EF-4	PREFIN. MTL PARAPET CAP	TBD	-	BLACK		
EF-5	PREFIN. MTL PANEL	TBD	-	BLACK		CANOPY
EF-6	PREFIN. MTL SOFFIT PANEL	TBD	12" W	BLACK		CANOPY SOFFIT

*HM DOORS AND FRAMES, ALUMINUM FRAMES, AND OVERHEAD DOOR TO BE BLACK.



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PROJECT

ARA DOME

RAMSEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	21-26051
FILE NAME	
DRAWN BY	KMA
DESIGNED BY	DFS / KMA
REVIEWED BY	DFS
ORIGINAL ISSUE DATE	01/10/23
CLIENT PROJECT NO.	

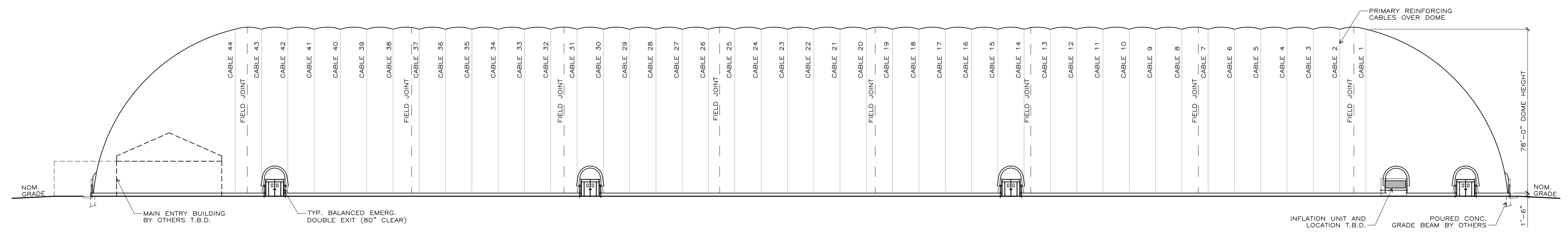
EXTERIOR ELEVATIONS - AREA A

SHEET
A2-11

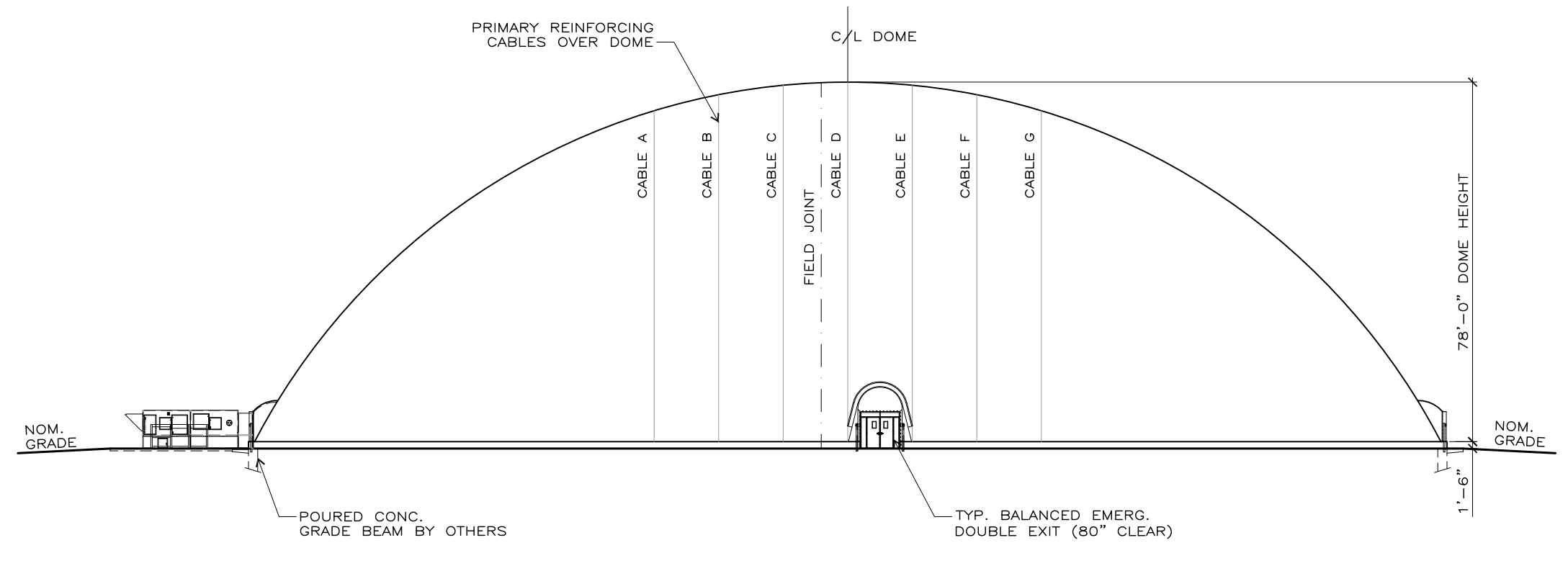


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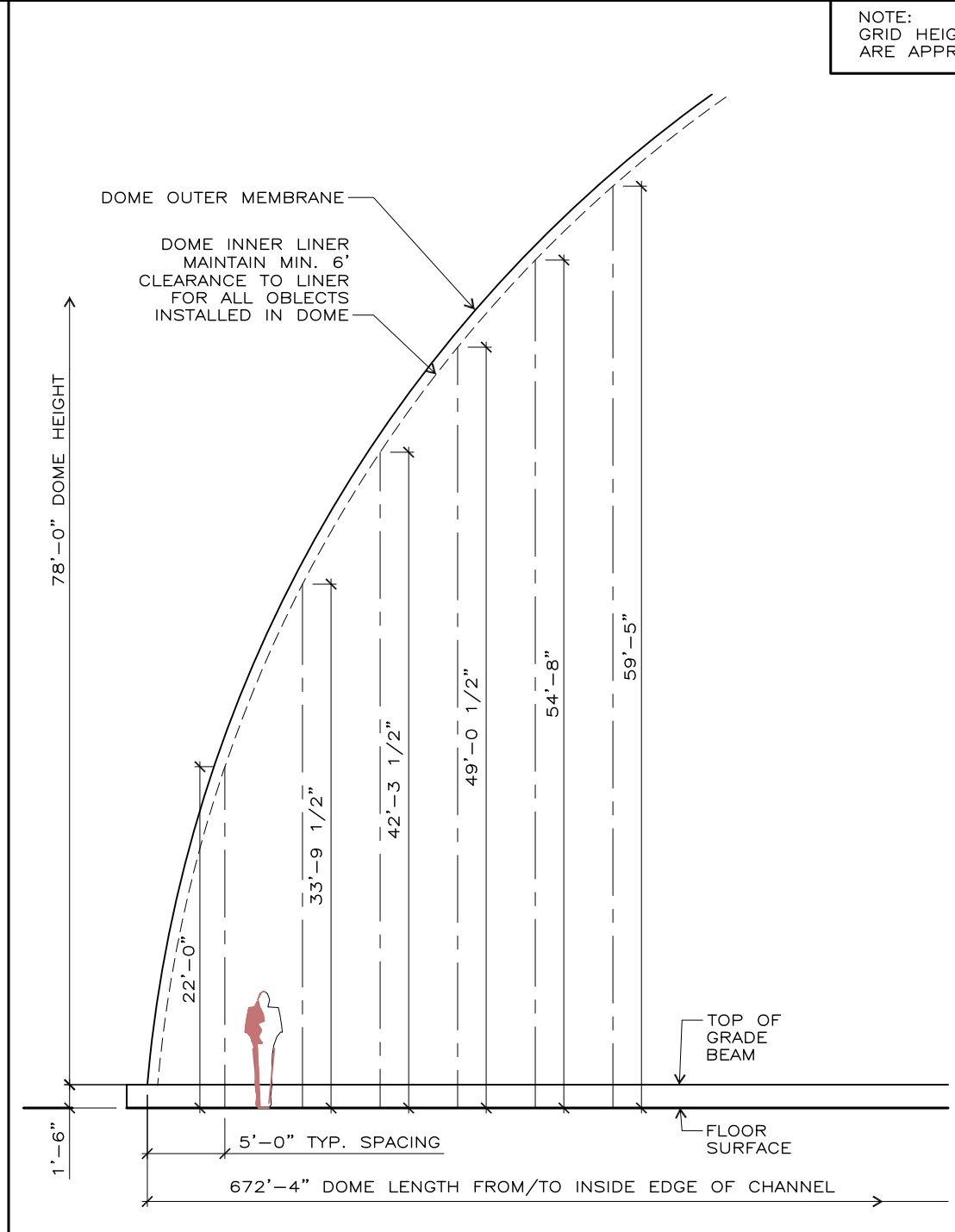
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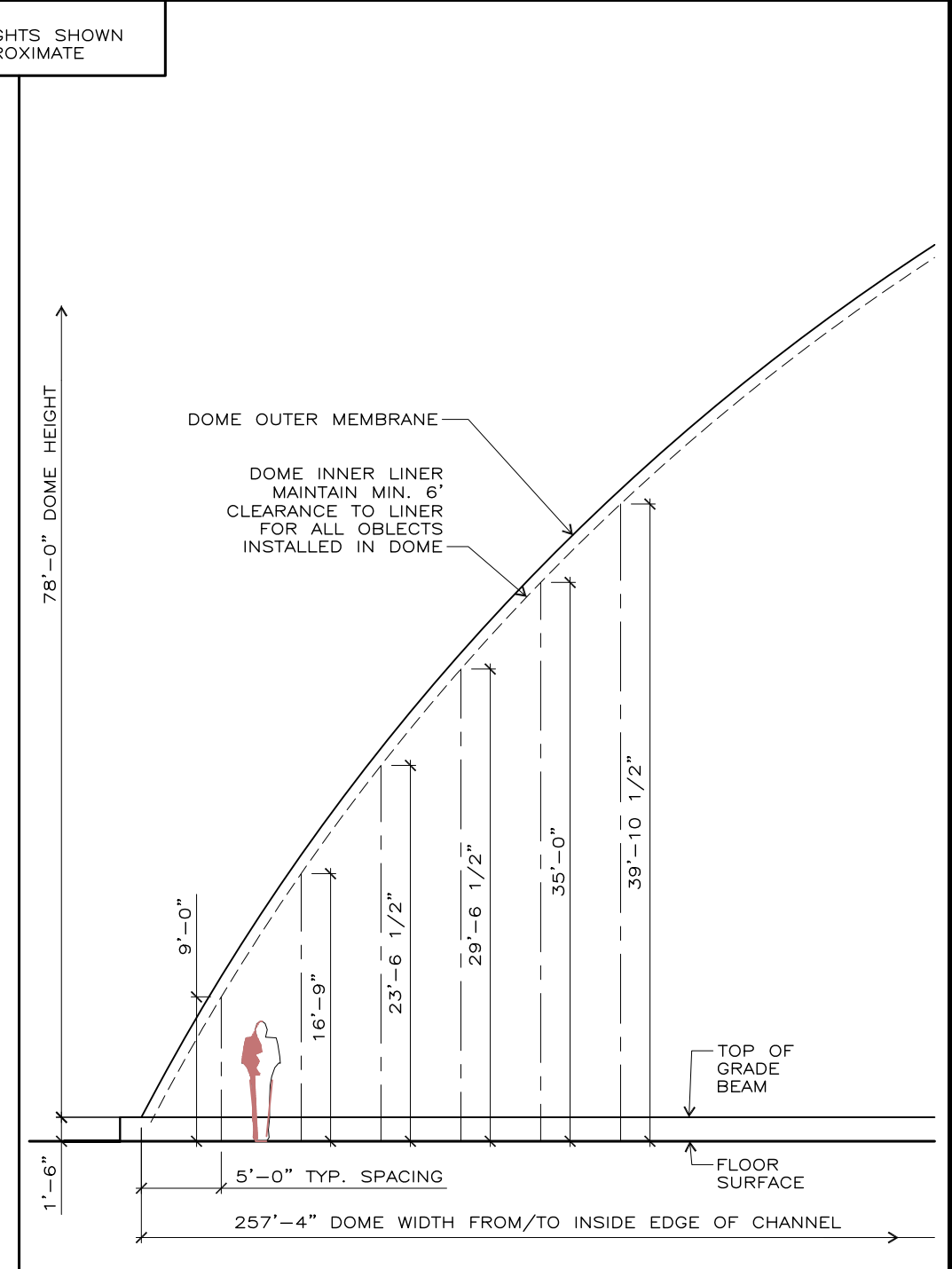
1 SIDE ELEVATION
SCALE : 1"=30'-0"



2 END ELEVATION
SCALE : 1"=30'-0"



3 APPROX. DOME PROFILE AT END
SCALE : 3/32"=1'-0"



4 APPROX. DOME PROFILE AT SIDE
SCALE : 3/32"=1'-0"

GENERAL NOTES:

1. DESIGN LOADS:
i) THIS STRUCTURE IS AN AIR SUPPORTED STRUCTURE IN WHICH THE FABRIC IS SUPPORTED BY INTERNAL PRESSURE. THE INTERNAL PRESSURE IS MONITORED DAILY BY THE OWNER AND IS INCREASED PRIOR TO HIGHER WINDS OR TO SNOWFALLS, AS DIRECTED IN THE OWNER'S MANUAL, IN ORDER TO PROVIDE REQUIRED RESISTANCE TO THE WEATHER LOADS.
ii) WIND : IN ACCORDANCE WITH 2015 IBC AND 2016 ASCE-7
- 110 MPH (ULT.) EXPOSURE C, PRESSURE DISTRIBUTION TO 2016 ASCE 7.
- RISK CATEGORY II, MAXIMUM OCCUPANCY IN DOME < 300
iii) INTERNAL DESIGN PRESSURE :
- INTERNAL DESIGN PRESSURE IS : 9.36 PSF (1.80" W.C.). THIS IS REQUIRED IN ORDER TO MAINTAIN STRUCTURAL INTEGRITY DURING WEATHER EVENTS.
- DURING NON-WEATHER EVENTS, THE OWNER MAY REDUCE THE INTERNAL PRESSURE, AT THEIR OWN DISCRETION. MINIMUM INTERNAL PRESSURE IS : 3.9 PSF (0.75" W.C.).
- STANDBY SET FOR 0.12 kPa (2.6 PSF, 0.5" W.C.) FOR THE "ON" VALUE.
iv) SNOW :
- GROUND SNOW 50PSF
- SNOW IMPORTANCE FACTOR Is=1.1, SNOW EXPOSURE FACTOR Ce=0.9, THERMAL FACTOR Ct=0.85
- DOME WILL SHED SNOW DUE TO CURVATURE OF MEMBRANE, INTERNAL PRESSURE AND HEAT.
- SNOW STARTS TO MELT ON CONTACT, THEN AS IT ACCUMULATES, A LAYER OF MELTWATER FORMS BETWEEN THE SNOW AND THE MEMBRANE SURFACE ALLOWING THE ACCUMULATED SNOW TO SLIDE OFF.
- SNOW TO BE MANUALLY REMOVED BY OWNER IN EXTREME CONDITIONS EXIST (ASCE 55-16 6.11)
- SNOW TO BE REMOVED FROM ALL SIDES OF DOME BY OWNER AFTER EVERY SNOWFALL
- IF SNOW IS FORECAST, THE OWNER MUST HAVE PERSONNEL AVAILABLE TO MONITOR DOME OPERATION DURING THE SNOW EVENT.
v) DEAD LOAD : SELF WEIGHT OF DOME, INSULATION AND CABLES

2. STRUCTURAL:
ALL WORK SHALL CONFORM TO THE APPLICABLE CODES, LOCAL REGULATIONS AND AUTHORITIES HAVING JURISDICTION.
THE ENGINEER SHALL BE GIVEN 48 HOURS MINIMUM NOTICE BY THE CONTRACTOR FOR ALL REQUIRED INSPECTIONS OF FOUNDATION, REINFORCING STEEL, STRUCTURAL STEEL AND FRAMING.
THIS SET OF DRAWINGS REPLACES ALL PREVIOUS DRAWINGS.
ALL SITE DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. NO CHANGES SHALL BE MADE WITHOUT WRITTEN APPROVAL BY THE ENGINEER.
ALL SURFACES OF STRUCTURES DIRECTLY EXPOSED TO THE INTERIOR OF THE AIR STRUCTURE SHALL BE DESIGNED TO WITHSTAND A MINIMUM OF 30 PSF OF AIR PRESSURE.
FABRIC STRESS RELIEF CABLES ABOVE OPENINGS IN THE PRIMARY MEMBRANE SHALL BE DESIGNED AS CATENARY SPANS OF STEEL CABLE, SELECTED AND SUPPLIED BY YEADON FABRIC STRUCTURES IN ACCORDANCE WITH THE FABRIC STRESS CALCULATIONS PROVIDED BY THE ENGINEER FOR THIS PROJECT.
THIS AIR STRUCTURE HAS BEEN DESIGNED USING CSA DOCUMENT CSA S367-12 AND ASCE 55-16 AS GUIDES.

3. EXCAVATION AND BACKFILL:
SOIL CONDITIONS SHALL BE REPORTED TO THE ENGINEER AT THE TIME OF EXCAVATION AND AT HIS DISCRETION THE ENGINEER MAY REQUIRE FURTHER SOILS INVESTIGATION, OR MODIFICATIONS TO THE GRADE BEAM DESIGN.
REMOVE ALL TOP SOIL AND DELETERIOUS MATERIAL FROM BENEATH ALL STRUCTURE COMPONENTS.
USE ONLY ENGINEER APPROVED COMPACTED FILL TO RAISE GRADES WHERE REQUIRED BENEATH STRUCTURES.
COMPACT ALL GRANULAR FILL TO 98% SPDD. COMPACTION TESTING SHALL BE CARRIED OUT BY A QUALIFIED GEOTECHNICAL CONSULTANT PRIOR TO INSTALLATION OF ANY STRUCTURES SUPPORTED ON FILL.
SLOPE ALL GRADES AWAY FROM THE AIR STRUCTURE AND ITS COMPONENTS.
PROTECT EXCAVATIONS AND GRADE BELOW SLABS FROM FROST PENETRATION BY PROPER USE OF STRAW, THERMAL BLANKETS AND TARPS.

4. CONCRETE:
ALL CONCRETE AND REBAR SHALL CONFORM TO ACI CODE 318-LATEST EDITION.
CONCRETE STRENGTH SHALL BE 3000 PSI, 6% +/-1% AIR ENT. IN ALL CASES, UNLESS OTHERWISE SPECIFIED.
USE ONLY GRADE 60 (60,000 PSI) DEFORMED REBAR.
APPROPRIATE MEASURES SHALL BE TAKEN TO PROTECT CONCRETE FROM EXCESSIVE EVAPORATIVE WATER LOSS AND ENSURE PROPER CURING.
ALL CONCRETE SHALL BE TESTED BY AN ACI CERTIFIED CONCRETE TESTING LABORATORY.
USE HIGH FREQUENCY VIBRATION TO PLACE ALL CONCRETE.
APPROPRIATE MEASURES SHALL BE TAKEN TO PROTECT CONCRETE FROM EXPOSURE TO FREEZING TEMPERATURES FOR AT LEAST (7) DAYS FOLLOWING CONCRETE PLACEMENT.
PROVIDE GROUT CLEANED RUBBED FINISH IN ACCORDANCE WITH ACI 301-10 FOR ALL FORMED CONCRETE SURFACES EXPOSED TO VIEW.
ENSURE 2" MINIMUM COVER FOR ALL REBAR IN FORMED CONCRETE, 3" MINIMUM COVER FOR CONCRETE POURED AGAINST SOIL.
PROVIDE VERTICAL CONTROL JOINTS @ 20'-0" O.C. MAX. LOCATE MID DISTANCE BETWEEN CABLE ANCHORAGE. KEY EA. FACE 1" MIN AND CAULK. CUT EVERY OTHER HORIZ. BAR.
RE-BAR LAP/SPLICE LENGTHS:
#4 = 22"
#5 = 28"
#6 = 32"

5. ELECTRICAL NOTES:
(SEE ALSO ELECTRICAL DRAWINGS BY OTHERS ISSUED FOR THIS PROJECT)
EXITS:
THE CONTRACTOR SHALL PROVIDE (1) 277V/15A DEDICATED CIRCUIT FOR EMERGENCY LIGHTING ONLY AND ALL EMERGENCY LIGHTS SHALL BE POWERED BY THIS CIRCUIT.
POWER SUPPLY FOR EMERGENCY EXITS SHALL BE BROUGHT WITHIN 12" OF EACH EXIT DOOR OPENING AS LOCATED IN THE CONSTRUCTION DRAWINGS.
WHERE THE POWER SUPPLY IS RUN IN CONDUIT CAST INTO THE FOUNDATION GRADE BEAM, 10" CLEARANCE MUST BE PROVIDED BELOW FINISHED CONCRETE SURFACE TO AVOID CONTACT WITH ANCHOR BOLTS.
LIGHTING:
POWER SUPPLY FOR LIGHT FIXTURES SHALL BE BROUGHT TO RECEPTACLE BOXES AS LOCATED IN THE CONSTRUCTION DRAWINGS.
ELECTRICAL CONTRACTOR TO TRIM AND INSTALL PLUG ENDS ON EACH LIGHT CORD IN PROPER LOCATIONS.
VOLTAGE, AMPERAGE AND J-BOX LOCATIONS SHALL BE CONFIRMED BY THE CONTRACTOR TO YEADON FABRIC STRUCTURES, IN WRITING, PRIOR TO COMMENCEMENT OF ELECTRICAL WORK.
IT IS RECOMMENDED THAT LIGHTING CONTRACTORS BE USED WITH REMOTE LOCATION SWITCHING AT A CONTROL POINT, LOCATED BY THE OWNER / DEVELOPER.
FOR SUSPENDED LIGHTING, EVERY EFFORT IS MADE TO ALIGN LIGHTS VERTICALLY AND HORIZONTALLY, DUE TO THE CURVATURES OF THE DOME AND THE DIFFERING LOCATIONS OF THE FIXTURES ON THE INDIVIDUAL PANELS, VARIATIONS IN HEIGHT AND HORIZONTAL ALIGNMENTS MAY OCCUR. OTHER FACTORS SUCH AS DOME PRESSURE MAY ALSO AFFECT THE LOOK AND ALIGNMENT OF THE FIXTURES.

6. MECHANICAL EQUIPMENT:
SEE MECHANICAL DRAWINGS (BY OTHERS) ISSUED FOR THIS PROJECT.
POWER SUPPLY FOR MECHANICAL EQUIPMENT SHALL BE BROUGHT TO LOCATIONS AS INDICATED ON THE CONSTRUCTION DRAWINGS. (NOTE: EQUIPMENT IS SUPPLIED WITH MAIN DISCONNECT).
VOLTAGE AND AMPERAGE REQUIREMENTS SHALL BE CONFIRMED BY THE CONTRACTOR TO YEADON FABRIC STRUCTURES IN WRITING, PRIOR TO COMMENCEMENT OF ELECTRICAL WORK.
THE ELECTRICAL CONTRACTOR SHALL COMPLETE ALL ELECTRICAL TERMINATIONS AND CONNECTIONS.
THE INFLATION UNIT IS SPLIT IN SECTIONS FOR SHIPPING, FIELD ASSEMBLY REQUIRED. ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR CONNECTING THE ELECTRICAL SPLITS ON THE SECTIONS.
ELECTRICAL CONTRACTOR SHALL TEST ROTATION PRIOR TO MANUFACTURER FACTORY STARTUP.
FOR PRESSURE SENSING TUBING, ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL 3/4" CONDUIT FROM CONTROL PANEL TO STUB UP IN BOX INSTALLED IN GRADE BEAM IN DOME INTERIOR, AND FROM CONTROL PANEL TO ATMOSPHERE, TO TERMINATE IN BOX WITH SCREENED VENT.
FOR BOTTOM DISCHARGE UNITS, ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL TEMPERATURE SENSORS IN THE DISCHARGE AND RETURN AIR DUCTS.
FOR REMOTE PC/MOBILE ACCESS, ELECTRICAL CONTRACTOR TO PROVIDE CONDUIT AND INSTALL ETHERNET CABLE FROM REMOTE PC LOCATION TO INFLATION UNIT.
OWNER TO PROVIDE IP ADDRESS AND PC CONNECTED AT TIME OF INSTALL FOR REMOTE ACCESS OPTION.

7. FABRIC SPECIFICATIONS:

	STYLE 8028	STYLE 9032
SHELTER RITE		
BASE TYPE	POLYESTER	POLYESTER
FABRIC WEIGHT	(7.5 oz/yd ²)	(10.0 oz/yd ²)
FINISHED COATED WEIGHT	(28 +/-2/-1 oz/yd ²)	(32 +/-2/-1 oz/yd ²)
ASTM D751		
TONGUE TEAR	(8" x10" SAMPLE @ 12"/MIN.)	(8" x10" SAMPLE @ 12"/MIN.)
ASTM D751	(275/275 lbr)	(300/300 lbr)
TRAPEZOID TEAR	(85/85 lbr)	(100/100 lbr)
ASTM D4533		
GRAB TENSILE	(700/700 lbr)	(840/840 lbr)
ASTM D751		
STRIP TENSILE	(515/515 lbr/in)	(650/650 lbr/in)
ASTM D751 PROCEDURE B		
ADHESION (MINIMUM)	(10 lbr/in)	(10 lbr/in)
ASTM D751 DIELECTRIC WELD		
HYDROSTATIC RESISTANCE	(500 psf)	(500 psf)
ASTM D751 PROCEDURE A		
DEAD LOAD	(2" SEAM, 4 HRS, 1" STRIP)	(2" SEAM, 4 HRS, 1" STRIP)
MIL-T-52283E (MODIFIED)	(133 lbr @ ROOM TEMPERATURE)	(133 lbr @ ROOM TEMPERATURE)
PARA 4.5.2.19		
LOW TEMPERATURE	(LTC: PASS @ -40° F)	(LTC: PASS @ -40° F)
ASTM D2135		
1/8" MANDREL 4HRS	(LTA: PASS @ -67° F)	(LTA: PASS @ -67° F)
FLAME RESISTANCE		
MEETS NFPA 701; CAN/ULC-5109; ASTM 6413-2 SECOND FLAMEOUT		
REGISTERED BY CALIFORNIA FIRE MARSHAL (NO. F-10301); GB824-2008;		
ASTM E84 & ULC-5102 - FLAME SPREAD INDEX <25, SMOKE DEVELOPMENT RATING <450		

NO.	DESCRIPTION	DATE

REVISIONS:

SEAL:

PRELIMINARY
NOT FOR CONSTRUCTION

PROJECT:
ANOKA RAMSEY ATHLETIC ASSOCIATION MULTI SPORT DOME

PROJECT LOCATION:
RAMSEY, MN.

DRAWING:
ELEVATIONS GEN. NOTES

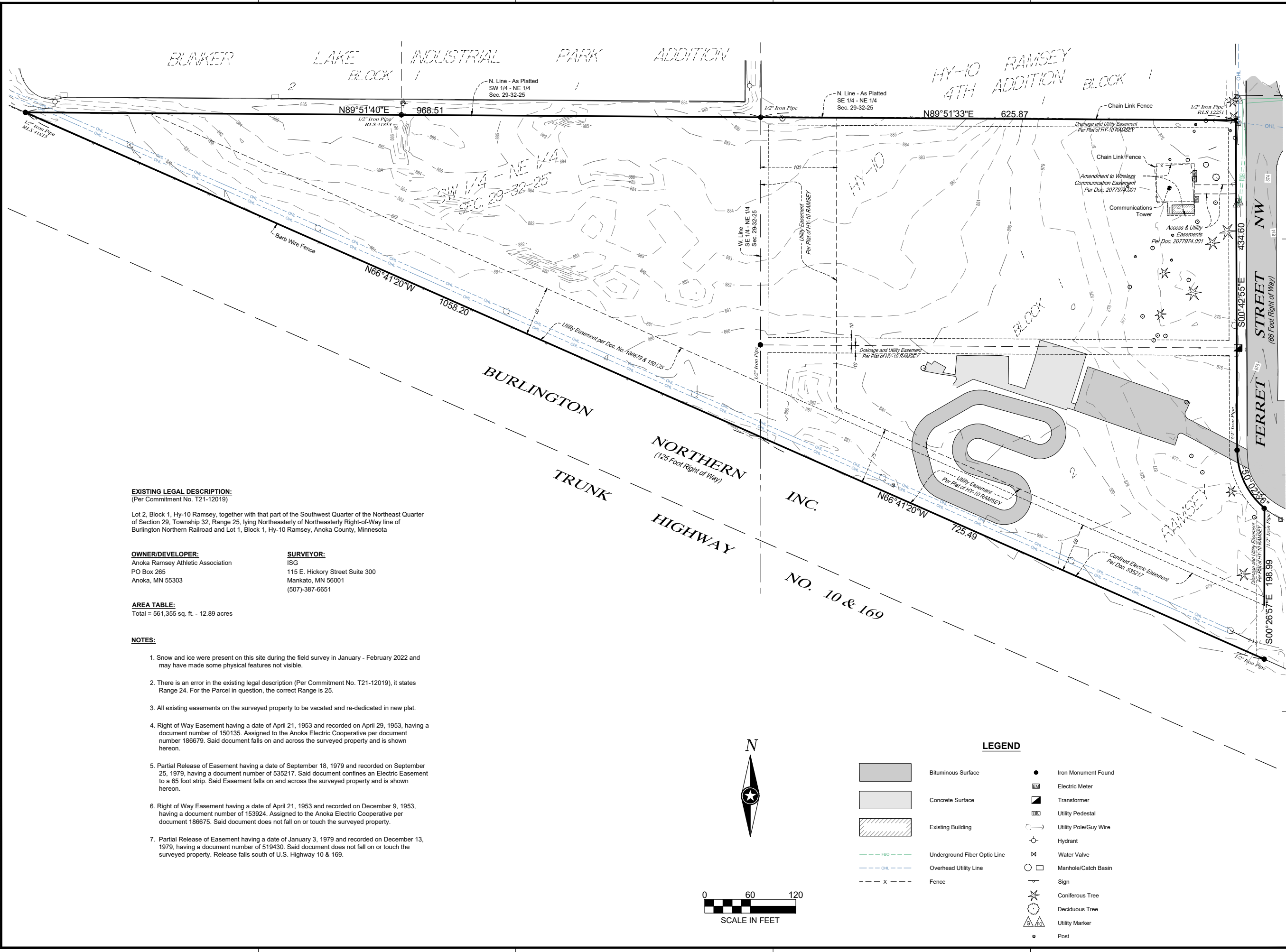
SCALE:
AS NOTED

DATE:
02/DEC/22

DRAWN BY:
R.K./D.K.

APPROVED BY:
D.K.

PROJECT NO.:
DWG. NO.
AS-2



EXISTING LEGAL DESCRIPTION:
(Per Commitment No. T21-12019)

Lot 2, Block 1, Hy-10 Ramsey, together with that part of the Southwest Quarter of the Northeast Quarter of Section 29, Township 32, Range 25, lying Northeastly of Northeastly Right-of-Way line of Burlington Northern Railroad and Lot 1, Block 1, Hy-10 Ramsey, Anoka County, Minnesota

OWNER/DEVELOPER:

Anoka Ramsey Athletic Association
PO Box 265
Anoka, MN 55303

SURVEYOR:

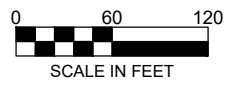
ISG
115 E. Hickory Street Suite 300
Mankato, MN 56001
(507)-387-6651

AREA TABLE:

Total = 561,355 sq. ft. - 12.89 acres

NOTES:

- Snow and ice were present on this site during the field survey in January - February 2022 and may have made some physical features not visible.
- There is an error in the existing legal description (Per Commitment No. T21-12019), it states Range 24. For the Parcel in question, the correct Range is 25.
- All existing easements on the surveyed property to be vacated and re-dedicated in new plat.
- Right of Way Easement having a date of April 21, 1953 and recorded on April 29, 1953, having a document number of 150135. Assigned to the Anoka Electric Cooperative per document number 186679. Said document falls on and across the surveyed property and is shown hereon.
- Partial Release of Easement having a date of September 18, 1979 and recorded on September 25, 1979, having a document number of 535217. Said document confines an Electric Easement to a 65 foot strip. Said Easement falls on and across the surveyed property and is shown hereon.
- Right of Way Easement having a date of April 21, 1953 and recorded on December 9, 1953, having a document number of 153924. Assigned to the Anoka Electric Cooperative per document 186675. Said document does not fall on or touch the surveyed property.
- Partial Release of Easement having a date of January 3, 1979 and recorded on December 13, 1979, having a document number of 519430. Said document does not fall on or touch the surveyed property. Release falls south of U.S. Highway 10 & 169.



LEGEND

- Bituminous Surface
- Concrete Surface
- Existing Building
- Underground Fiber Optic Line
- Overhead Utility Line
- Fence
- Iron Monument Found
- Electric Meter
- Transformer
- Utility Pedestal
- Utility Pole/Guy Wire
- Hydrant
- Water Valve
- Manhole/Catch Basin
- Sign
- Coniferous Tree
- Deciduous Tree
- Utility Marker
- Post

I HEREBY CERTIFY THAT THIS SURVEY, PLAN, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE _____ LIC. NO. _____

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PROJECT

ANOKA RAMSEY ATHLETIC ASSOCIATION NEW DOME

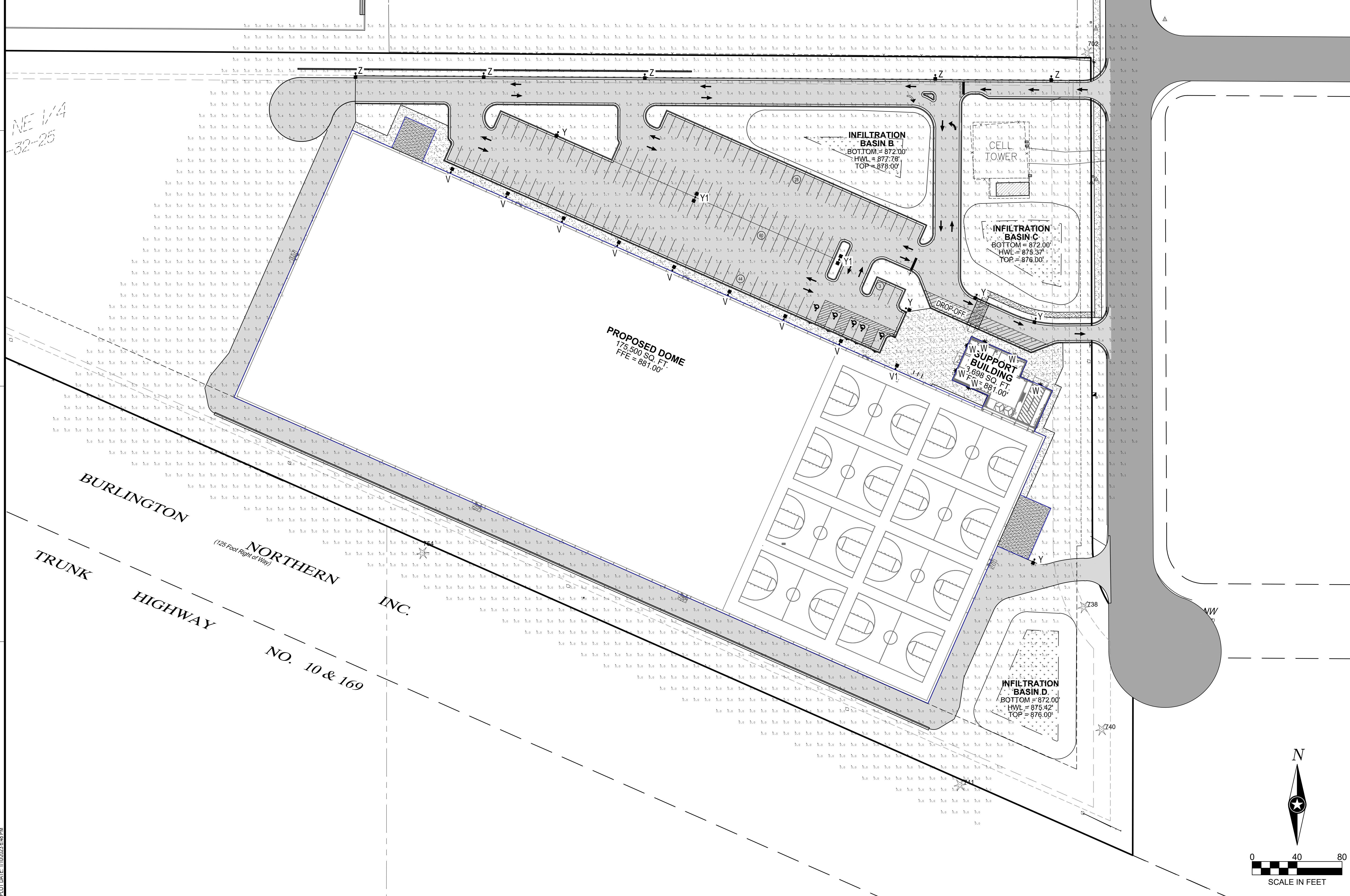
RAMSEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	22-26051
FILE NAME	26051 SKETCH PLAN
DRAWN BY	RK
DESIGNED BY	---
REVIEWED BY	---
ORIGINAL ISSUE DATE	---/---/---
CLIENT PROJECT NO.	---

SKETCH PLAN

LIGHT FIXTURE SCHEDULE										
Label	Manufacturer	Catalog Number	Description	Lamp	Mounting Height	Lamp Lumens	LLF	Watts (120-277V)	Remarks	
V	NLS LIGHTING	NV-1 SERIES (TYPE 2 DIST)	AREA LIGHT - SINGLE FIXTURE	LED	15'	9017	0.9	70	15' AFG OVERALL HEIGHT - SINGLE MOUNTED FIXTURE	
V1	NLS LIGHTING	NV-1 SERIES (TYPE 4 DIST)	AREA LIGHT - SINGLE FIXTURE	LED	15'	8307	0.9	70	15' AFG OVERALL HEIGHT - SINGLE MOUNTED FIXTURE	
W	NLS LIGHTING	NV-W SERIES (TYPE 4 DIST)	WALL PACK	LED	13'	4388	0.9	37	WALL MOUNTED AT 13' TO CENTER OF FIXTURE	
Y	NLS LIGHTING	NV-2 SERIES (TYPE 4 DIST)	AREA LIGHT - SINGLE FIXTURE	LED	30'	24000	0.9	200	30' AFG OVERALL HEIGHT - SINGLE MOUNTED FIXTURE	
Y1	NLS LIGHTING	NV-2 SERIES (TYPE 4 DIST)	AREA LIGHT - DUAL HEAD FIXTURE	LED	30'	48000	0.9	400	30' AFG OVERALL HEIGHT - DUAL FIXTURES MOUNTED AT 180 DEGREES	
Z	NLS LIGHTING	NV-2 SERIES (TYPE 4 DIST)	AREA LIGHT - SINGLE FIXTURE	LED	30'	20160	0.9	168	30' AFG OVERALL HEIGHT - SINGLE MOUNTED FIXTURE WITH HOUSE SIDE SHIELD	



NOTE:
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I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
REESE A. SUDELGTGE

DATE 12/15/2022 LIC. NO. 54243

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
MITCHELL R. WORKMON

DATE 12/15/2022 LIC. NO. 53748

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PROJECT
ANOKA RAMSEY ATHLETIC ASSOCIATION NEW DOME

RAMSEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 22-26051
FILE NAME 26051 C6-ELEC
DRAWN BY AJR
DESIGNED BY AJR
REVIEWED BY RAS
ORIGINAL ISSUE DATE 12/16/2022
CLIENT PROJECT NO. -

TITLE
PHOTOMETRIC PLAN

SHEET
C6-10

NLS LIGHTING NV-1
AREA, SITE & ROADWAY

FORM AND FUNCTION

- Sleek, low profile housing
- Spec grade performance
- Engineered for optimum thermal management
- Low depreciation rate
- Reduces energy consumption and costs up to 65%
- Exceeds IES foot candle levels utilizing the least number of poles and fixtures per project
- Optical system designed for:
 - Parking Lots
 - Auto Dealerships
 - General Area Lighting

CONSTRUCTION



- Die Cast Aluminum
- External cooling fins
- Corrosion resistant external hardware
- One-piece silicone gasket ensures IP-65 seal for electronics compartment
- One-piece Optics Plate™ mounting silicone Micro Optics
- Two-piece silicone Micro Optic system ensures IP-67 level seal around each PCB
- Grade 2 Clear Anodized Optics Plate™ standard

FINISH

- 3-5 mils electrostatic powder coat.
- NLS' standard high-quality finishes prevent corrosion, protects against extreme environmental conditions

WARRANTY

Five-year limited warranty for drivers and LEDs.

LED WATTAGE CHART

	16L	32L	48L	64L
350 milliamps	17w	-	-	-
530 milliamps	26w	-	-	-
700 milliamps	35w	71w	106w	141w
1000 milliamps	50w	100w	150w	200w

Project Name: _____ Type: _____

Cat#	Light Dist.	# of LEDs	Milliamps	Kelvin	Volts	Mounting	Color	Options
NV-1	Type 2 (T2)	16 (16L)	350 (3S)	2700K, 70 CRI (27K70)	120-277 (UNV)	Architectural Swing Arm (ASA)	Bronze Textured (BRZ)	Red Spikes (RS) Marine Grade Finish (MGF) Optic Plate Painted to Match Fixture (OPPF) Nema 7-Pin Receptacle (P7) Photoacoustic Receptacle (PAR) Receptacle + Shorting Cap (PSCR) FSP-211 with Motion Sensor (FSP-211) FSP-212 2' Pole Height (FSP-212) Quick Mount Bracket (QMB) Retrolite Mount Bracket (RMB) Round Pole Adaptor 3" - 4" Pole (RPA4) Rotated Optic Light (ROL) Automotive House Side Shield (AHS) Black Hardware (BH) Black Optic Frame (BOF)
	Type 3 (T3)	32 (32L)	530 (5S)	2700K, 80 CRI (27K80)	347-480 (HV)	Direct Pole 9" Arm Single, D180° (DP9)	White Textured (WHT)	
	Type 4 (T4)	48 (48L)	700 (7S)	3000K, 70 CRI (30K70)	347-480 (HV)	Direct Pole 11" Arm D180, D90, T90, T120, Quad (DP11)	Smooth White Glass (SWT)	
	Type 5 (T5)	64 (64L)	1050 (10S)	3000K, 80 CRI (30K80)	347-480 (HV)	Knuckle Mount (KM)	Silver Glass (SVG)	
	Nema 2 24" Narrow Beam (N2)	64 (64L)	1050 (10S)	3500K, 80 CRI (35K80)	347-480 (HV)	Wall Mount (WM)	Black Textured (BLK)	
	Nema 3 30" Narrow Beam (N3)	64 (64L)	1050 (10S)	4000K, 70 CRI (40K70)	347-480 (HV)	Turnmount Mount (TM)	Smooth Black Glass (SBK)	
				4000K, 80 CRI (40K80)		Tennis Arm (TA)	Graphite Textured (GPH)	
				5000K, 70 CRI (50K70)		Master Arm (MA)	Grey Textured (GRY)	
				5000K, 80 CRI (50K80)		Custom (CS)	Custom (CS)	

Notes:
 1. Consult Factory for Lead Time, Consult Factory for 90 CRI Requests.
 2. For Round Pole Specify RPA4 or RPA5.
 3. Standard Finish is stainless steel. Can be painted to match fixture.
 4. Universal Voltage 120-277.
 5. 1050 or lower must be selected to meet International Dark Sky Association certification.

REV 12.01.22

TYPE V, V1
NTS

NLS LIGHTING NV-W
ARCHITECTURAL HIGH PERFORMANCE FULL CUTOFF WALL PACK

KEY FEATURES

- Ideal for Exterior Walls, Entryways, Pathways, New Construction and Renovation, Warehouse and Receiving Docks, Court Yards, and School Playgrounds
- Sleek Minimalistic Design of the NV-W (up to 11,000 Lumens, 12"W x 9"D x 5.5"H). Complements the Design of the NV-W2 (up to 24,000 Lumens, 19"W x 9.38"D x 5"H)
- 2700K, 3000K, 3500K, 4000K, 5000K CCT. Multichip High Power 70 & 80 CRI LEDs
- IP65 Rated Against Dust & Water Ingress, IK10 Rated for Tamper/Vandalism/Impact Protection
- 20KA Surge Protection (120V - 480V) Cold Weather Integrated Battery Back-Up Safety Options
- Silicone Optics providing 96% Clarity and Heat Resistant up to 150°C
- 8 Standard Finishes, Custom Finish and Marine Grade Finish Available
- Corrosion Resistant, Compatible with Most Control Systems and Sensors
- Environmentally Friendly Product Which Reduces Energy Consumption, L70 > 100,000 hours
- IDA qualified for 3000K CCT and Lower for Down-light Application, Reducing Light Pollution and Trespass
- Buy America(s) Option Available, Quick Mount for Easy Installation
- Cost Competitive and Short Shipping Lead Times in Days & Weeks




LED WATTAGE CHART

	16L	32L
350 milliamps	17w	-
530 milliamps	26w	-
700 milliamps	35w	71w
1000 milliamps	50w	100w

Project Name: _____ Type: _____

Cat#	Light Dist.	# of LEDs	Milliamps	Kelvin	Volts	Mounting	Color	Controls	Options
NV-W	Type 2 (T2)	16 (16L)	350 (3S)	2700K, 70 CRI (27K70)	120-277 (UNV)	Wall Mount (WM)	Bronze Textured (BRZ)	FSP-211 with Motion Sensor (FSP-211) 1' Pole Height and 90° Pole Height (FSP-211)	Marine Grade Finish (MGF) Vanity Field 10' SQ (VP16) Housing Extension (HE) Surge Protector (SPK) Emergency Battery 6v 615-64 Lumens (EM-B) Emergency Battery 12v 1230 Lumens (EM-D) Emergency Cold Pk. Battery 14v 1800-1970 Lumens (EM-CP)
	Type 3 (T3)	32 (32L)	530 (5S)	2700K, 80 CRI (27K80)	347-480 (HV)	White Textured (WHT)	White Textured (WHT)		
	Type 4 (T4)	48 (48L)	700 (7S)	3000K, 70 CRI (30K70)	347-480 (HV)	Smooth White Glass (SWT)	Smooth White Glass (SWT)		
				3000K, 80 CRI (30K80)		Black Textured (BLK)	Black Textured (BLK)		
				3500K, 80 CRI (35K80)		Smooth Black Glass (SBK)	Smooth Black Glass (SBK)		
				5000K, 70 CRI (50K70)		Graphite Textured (GPH)	Graphite Textured (GPH)		
				5000K, 80 CRI (50K80)		Grey Textured (GRY)	Grey Textured (GRY)		
				5000K, 90 CRI (50K90)		Custom (CS)	Custom (CS)		

Notes:
 1. Consult Factory for Lead Time, Consult Factory for 90 CRI Requests.
 2. For Round Pole Specify RPA4 or RPA5.
 3. Standard Finish is stainless steel. Can be painted to match fixture.
 4. Universal Voltage 120-277.
 5. 1050 or lower must be selected to meet International Dark Sky Association certification.

REV 11.16.22

TYPE W
NTS

NLS LIGHTING NV-2
AREA LIGHTING

FORM AND FUNCTION

- Sleek, low profile housing
- Spec grade performance
- Engineered for optimum thermal management
- Low depreciation rate
- Reduces energy consumption and costs up to 65%
- Exceeds IES foot candle levels utilizing the least number of poles and fixtures per project
- Optical system designed for:
 - Parking Lots
 - Auto Dealerships
 - General Area Lighting

CONSTRUCTION

- Die Cast Aluminum
- External cooling fins
- Corrosion resistant external hardware
- One-piece silicone gasket ensures IP-65 seal for electronics compartment
- One-piece Optics Plate™ mounting silicone Micro Optics
- Two-piece silicone Micro Optic system ensures IP-67 level seal around each PCB
- Grade 2 Clear Anodized Optics Plate™ standard

FINISH

- 3-5 mils electrostatic powder coat.
- NLS' standard high-quality finishes prevent corrosion, protects against extreme environmental conditions

WARRANTY

Five-year limited warranty for drivers and LEDs.




LED WATTAGE CHART

	80L	160L	240L	320L
700 milliamps	16w	32w	48w	64w
1000 milliamps	25w	50w	75w	100w

Project Name: _____ Type: _____

Cat#	Light Dist.	# of LEDs	Milliamps	Kelvin	Volts	Mounting	Color	Options
NV-2	Type 2 (T2)	80 (80L)	700 (7S)	2700K, 70 CRI (27K70)	120-277 (UNV)	Direct Pole 6" Arm Single, D180° (DP6)	Bronze Textured (BRZ)	Red Spikes (RS) Marine Grade Finish (MGF) Optic Plate Painted to Match Fixture (OPPF) Nema 7-Pin Receptacle (P7) Photoacoustic Receptacle (PAR) Receptacle + Shorting Cap (PSCR) FSP-211 with Motion Sensor (FSP-211) FSP-212 2' Pole Height (FSP-212) Quick Mount Bracket (QMB) Retrolite Mount Bracket (RMB) Round Pole Adaptor 3" - 4" Pole (RPA4) Rotated Optic Light (ROL) Automotive House Side Shield (AHS) Black Hardware (BH) Black Optic Frame (BOF)
	Type 3 (T3)	96 (96L)	1050 (10S)	2700K, 80 CRI (27K80)	347-480 (HV)	Direct Pole 11" Arm D90, T90, T120, Quad (DP11)	White Textured (WHT)	
	Type 4 (T4)	112 (112L)	1400 (14S)	3000K, 70 CRI (30K70)	347-480 (HV)	Knuckle Mount (KM)	Smooth White Glass (SWT)	
	Type 5 (T5)	128 (128L)	1600 (16S)	3000K, 80 CRI (30K80)	347-480 (HV)	Wall Mount (WM)	Silver Glass (SVG)	
	Nema 3 30" Narrow Beam (N3)	128 (128L)	1600 (16S)	3500K, 80 CRI (35K80)	347-480 (HV)	Turnmount Mount (TM)	Black Textured (BLK)	
				4000K, 70 CRI (40K70)		Tennis Arm (TA)	Smooth Black Glass (SBK)	
				4000K, 80 CRI (40K80)		Master Arm (MA)	Graphite Textured (GPH)	
				5000K, 70 CRI (50K70)		Custom (CS)	Grey Textured (GRY)	
				5000K, 80 CRI (50K80)		Custom (CS)	Custom (CS)	

Notes:
 1. Consult Factory for Lead Time, Consult Factory for 90 CRI Requests.
 2. For Round Pole Specify RPA4 or RPA5.
 3. Standard Finish is stainless steel. Can be painted to match fixture.
 4. Universal Voltage 120-277.
 5. 1050 or lower must be selected to meet International Dark Sky Association certification.

REV 11.07.22

TYPE Z, Y, Y1
NTS



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REESE A. SUDELGTGE

DATE 12/15/2022 LIC. NO. 54243

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MITCHELL R. WORKMON

DATE 12/15/2022 LIC. NO. 53748

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PROJECT

ANOKA RAMSEY ATHLETIC ASSOCIATION NEW DOME

RAMSEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

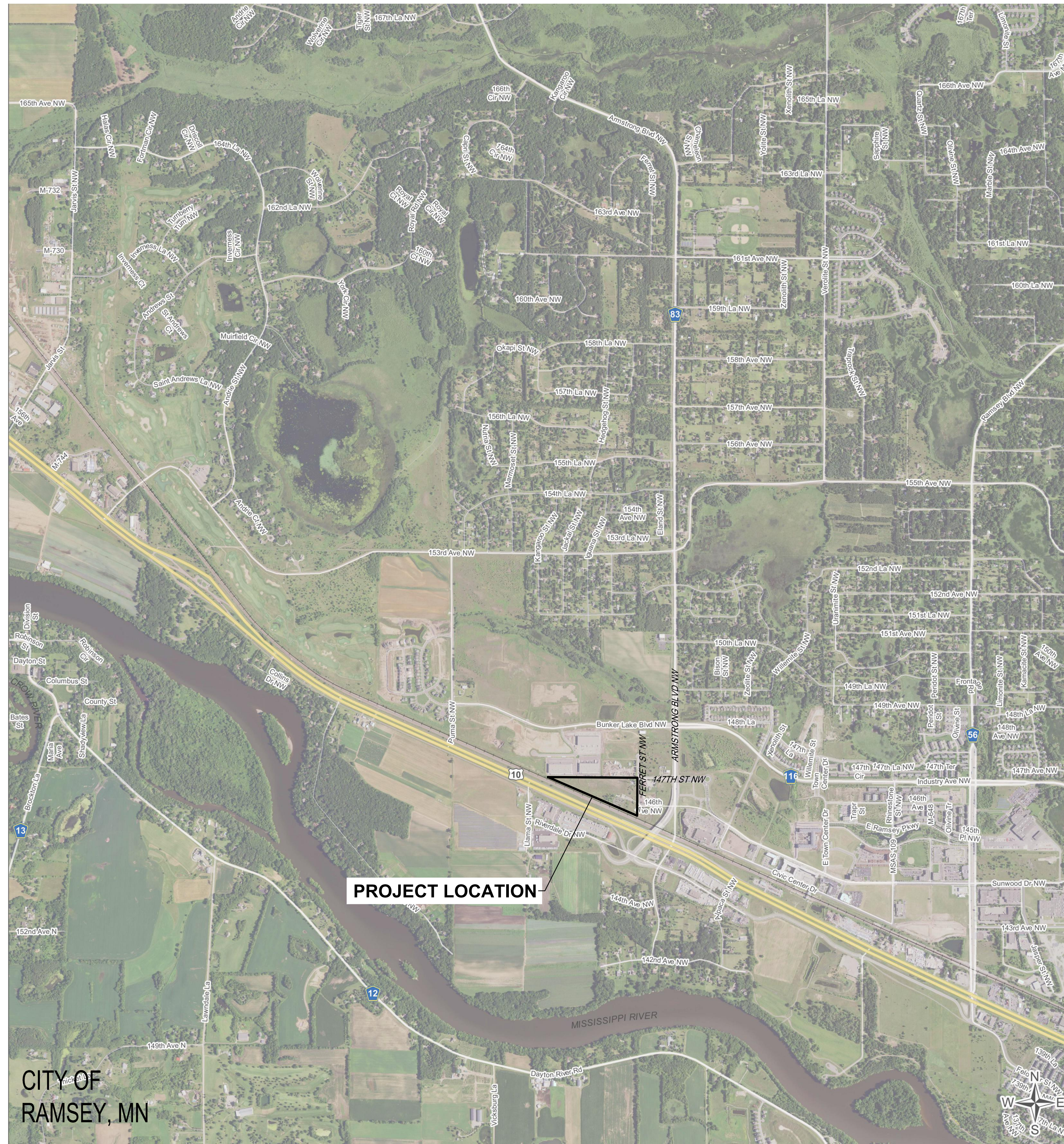
PROJECT NO.	22-26051
FILE NAME	26051 C6-ELEC
DRAWN BY	AJR
DESIGNED BY	AJR
REVIEWED BY	RAS
ORIGINAL ISSUE DATE	12/16/2022
CLIENT PROJECT NO.	-

TITLE

PHOTOMETRIC DETAILS

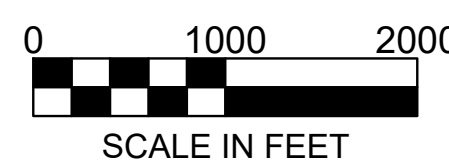
SHEET

C6-20



PROJECT LOCATION

LOCATION MAP



CIVIL PLAN ABBREVIATIONS:

AC	ACRE	CI	CONTROL JOINT	EOF	EMERGENCY OVERFLOW	GL	GUTTER LINE	IPS	IRON PIPE SIZE	NWL	NORMAL WATER LEVEL	RCP	REINFORCED CONCRETE PIPE	THRU	THROUGH
ADA	AMERICANS WITH DISABILITIES ACT	CL	CENTERLINE	EQ	EQUAL	GPM	GALLONS PER MINUTE	J-BOX	JUNCTION BOX	OC	ON CENTER	RD	ROOF DRAIN	TNFH	TOP NUT OF FIRE HYDRANT
ADD	ADDENDUM	CMP	CORRUGATED METAL PIPE	EX	EXISTING	GV	GATE VALVE	JT	JOINT	OCEW	ON CENTER EACH WAY	REBAR	REINFORCING BAR	TRANS	TRANSFORMER
AFF	ABOVE FINISHED FLOOR	CO	CLEANOUT	FDC	FIRE DEPARTMENT CONNECTION	HDPE	HIGH DENSITY POLYETHYLENE	LF	LINEAR FEET	OH	OVERHEAD	REM	REMOVE	TV	TELEVISION
AGG	AGGREGATE	CONC	CONCRETE	FDN	FOUNDATION	HD	HEAVY DUTY	LIN	LINEAR	OHD	OVERHEAD DOOR	ROW	RIGHT OF WAY	T/W	TOP OF WALL
APPROX	APPROXIMATE	CONST	CONSTRUCTION	FES	FINISHED FLOOR ELEVATION	HH	HANDHOLE	LPS	LOW PRESSURE STEAM	OZ	OUNCE	R/W	RIGHT OF WAY	TYP	TYPICAL
ARCH	ARCHITECT, ARCHITECTURAL	CONT	CONTINUOUS	FFE	FINISHED FLOOR ELEVATION	HORIZ	HORIZONTAL	LUM	LUMP SUM	PED	PEDESTAL PEDESTRIAN	SAN	SANITARY	UT	UTILITY, UNDERGROUND
BFE	BASEMENT FLOOR ELEVATION	CT	CUBIC YARD	FPM	FEET PER MINUTE	HR	HOUR	ISO	LOWEST STRUCTURAL OPENING	PERF	PERFORATED	SCH	SCHEDULE	VCP	VITRIFIED CLAY PIPE
BIT	BITUMINOUS	CBG	CURB AND GUTTER	FPS	FEET PER SECOND	HWL	HIGH WATER LEVEL	PL	PROPERTY LINE	SF	SQUARE FOOT	SPC	SPECIFICATION	W/O	WITHOUT
CAD	COMPUTER-AIDED DESIGN	DEM	DEMOLITION	FT	FOOT, FEET	HWY	HIGHWAY	PP	POLYPROPYLENE	SPEC	SPECIFICATION	SO	SQUARE	W/	WITH
CB	CATCH BASIN	DIA	DIAMETER	FTG	FOOTING	HYD	HYDRANT	PSI	POUNDS PER SQUARE INCH	SO	SQUARE	STA	STATION	YD	YARD
CFS	CUBIC FEET PER SECOND	DIM	DIMENSION	I	INVERT	MECH	MECHANICAL	PVC	POLYVINYL CHLORIDE	STA	STATION	SY	SQUARE YARD	YR	YEAR
CF	CUBIC FOOT	DS	DOWNSPOUT	GAL	GALLON	ID	INSIDE DIAMETER	PVMT	PAVEMENT	T/C	TOP OF CURB	TEL	TELEPHONE		
CI	CAST IRON	EA	EACH	GALV	GALVANIZED	IN	INCH	QTY	QUANTITY	R	RIM	TEMP	TEMPORARY		
CIP	CAST IRON PIPE	ELEC	ELECTRICAL	GC	GENERAL CONTRACTOR	INV	INVERT	NO	NUMBER	TEL	TELEPHONE				
CIPC	CAST IN PLACE CONCRETE	ELEV	ELEVATION	GE	GARAGE FLOOR ELEVATION	IP	IRON PIPE	NTS	NOT TO SCALE	RAD	RADIUS				

SITE SUMMARY

PROJECT ADDRESS/LOCATION:	14600 FERRET ST NW	
LEGAL DESCRIPTION:	Lot 2, Block 1, Hy-10 Ramsey, together with that part of the Southwest Quarter of the Northeast Quarter of Section 29, Township 32, Range 25, lying Northeasterly of Northeasterly Right-of-Way line of Burlington Northern Railroad and Lot 1, Block 1, Hy-10 Ramsey, Anoka County, Minnesota	
ZONING:	E-3 (EMPLOYMENT DISTRICT)	
ADJACENT ZONING:	EAST: B-3 BUSINESS DISTRICT, NORTH: E-3 & B-3, SOUTH: RAIL	
SITE/LOT AREA:	561,355 SF (12.89 AC)	
IMPERVIOUS AREA:	258,688 SF (5.94 AC) 46.1%	
GREENSPACE:	302,667 SF (6.95 AC) 53.9%	
TOTAL BUILDING AREA:	179,198 SF	
BUILDING COVERAGE:	31.9%	

REQUIRED SETBACKS

	PARKING	BUILDING
FRONT YARD	20'-0"	35'-0"
SIDE YARD	20'-0"	25'-0"
REAR YARD	20'-0"	25'-0"

PARKING DATA

LAND USE CLASSIFICATION	ATHLETIC COMPLEX	
EMPLOYEES	2 FULL-TIME & 6 PART-TIME	
PARKING SPACES REQUIRED (CODE)	N/A	
GOVERNING INFORMATION	N/A	
PARKING SPACES REQUIRED	N/A	
	PARKING STALLS PROVIDED	
STANDARD	130	
ACCESSIBLE	5	
TOTAL	135	

PROJECT GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS, WHICH INCLUDE, BUT ARE NOT LIMITED TO, THE OWNER - CONTRACTOR AGREEMENT, THE PROJECT MANUAL (WHICH INCLUDES GENERAL SUPPLEMENTARY CONDITIONS AND SPECIFICATIONS), DRAWINGS OF ALL DISCIPLINES AND ALL ADDENDA, MODIFICATIONS, AND CLARIFICATIONS ISSUED BY ARCHITECT/ENGINEER.
- CONTRACT DOCUMENTS SHALL BE ISSUED TO ALL SUBCONTRACTORS BY THE GENERAL CONTRACTOR IN COMPLETE SETS IN ORDER TO ACHIEVE THE FULL EXTENT AND COMPLETE COORDINATION OF ALL WORK.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- DETAILS SHOWN ARE INTENDED TO BE INDICATIVE OF THE PROFILES AND TYPE OF DETAILING REQUIRED THROUGHOUT THE WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO DETAILS SHOWN. WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED, AND CONDITIONED ACCORDING TO MANUFACTURERS' INSTRUCTIONS. IN CASE OF DISCREPANCIES BETWEEN MANUFACTURERS' INSTRUCTIONS AND THE CONTRACT DOCUMENTS, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID GALVANIC CORROSION.
- THE LOCATION AND TYPE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY AND ARE ACCURATE AND COMPLETE TO THE BEST OF THE KNOWLEDGE OF I & S GROUP, INC. (ISG). NO WARRANTY OR GUARANTEE IS IMPLIED. THE CONTRACTOR SHALL VERIFY THE SIZES, LOCATIONS, AND ELEVATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM PLAN.
- THE CONTRACTOR IS TO CONTACT "GOPHER STATE ONE CALL" FOR UTILITY LOCATIONS A MINIMUM OF 2 BUSINESS DAYS PRIOR TO ANY EXCAVATION / CONSTRUCTION (1-800-252-1166).

SPECIFICATIONS REFERENCE

ALL CONSTRUCTION SHALL COMPLY WITH THE 2018 CITY OF RAMSEY ENGINEERING DESIGN STANDARDS AND MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION, 2020 EDITION, THE STANDARD SPECIFICATIONS FOR SANITARY SEWER, STORM DRAIN AND WATERMAIN AS PROPOSED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA 2018, AND THE CURRENT VERSION OF THE MINNESOTA STATE PLUMBING CODE UNLESS DIRECTED OTHERWISE.

PROJECT DATUM

HORIZONTAL COORDINATES HAVE BEEN REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83). 1996 ADJUSTMENT (NAD83(1996)) ON THE RAMSEY COUNTY COORDINATE SYSTEM, IN U.S. SURVEY FEET. ELEVATIONS HAVE BEEN REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). RTK GPS METHODS WERE USED TO ESTABLISH HORIZONTAL AND VERTICAL COORDINATES FOR THIS PROJECT.

TOPOGRAPHIC SURVEY

THIS PROJECT'S TOPOGRAPHIC SURVEY CONSISTS OF DATA COLLECTED IN JANUARY 2022 BY ISG INC.

OWNER:

DUSTIN REEDER, PRESIDENT
ANOKA RAMSEY ATHLETIC ASSOCIATION
 PO BOX 265
 ANOKA, MN 55303

LEGEND

EXISTING	
---	CITY LIMITS
---	SECTION LINE
---	QUARTER SECTION LINE
---	RIGHT OF WAY LINE
---	PROPERTY / LOTLINE
---	EASEMENT LINE
---	ACCESS CONTROL
---	WATER EDGE
---	WETLAND BOUNDARY
---	WETLAND / MARSH
---	FENCE LINE
---	CULVERT
---	STORM SEWER
---	SANITARY SEWER
---	SANITARY SEWER FORCEMAIN
---	WATER
---	GAS
---	OVERHEAD ELECTRIC
---	UNDERGROUND ELECTRIC
---	UNDERGROUND TELEPHONE
---	UNDERGROUND TV
---	OVERHEAD UTILITY
---	UNDERGROUND UTILITY
---	UNDERGROUND FIBER OPTIC
---	CONTOUR (MAJOR)
---	CONTOUR (MINOR)
---	DECIDUOUS TREE
---	CONIFEROUS TREE
---	TREE LINE
---	MANHOLE/STRUCTURE
---	CATCH BASIN
---	HYDRANT
---	VALVE
---	CURB STOP
---	POWER POLE
---	UTILITY PEDESTAL / CABINET

PROPOSED	
---	LOT LINE
---	RIGHT OF WAY
---	EASEMENT
---	CULVERT
---	STORM SEWER
---	STORM SEWER (PIPE WIDTH)
---	SANITARY SEWER
---	SANITARY SEWER (PIPE WIDTH)
---	WATER
---	GAS
---	OVERHEAD ELECTRIC
---	UNDERGROUND ELECTRIC
---	UNDERGROUND TV
---	CONTOUR
---	MANHOLE (STORM, SANITARY)
---	CATCH BASIN
---	HYDRANT
---	VALVE

CIVIL SHEET INDEX

C0-10	SITE DATA
C0-20	SITE DETAILS
C0-21	SITE DETAILS
C0-22	SITE DETAILS
C0-23	SITE DETAILS
C0-24	SITE DETAILS
C1-10	SWPPP NARRATIVE
C1-20	SWPPP DETAILS
C1-30	PRE- CONSTRUCTION SWPPP
C1-40	PROPOSED SWPPP
C2-10	EXISTING SITE AND REMOVAL PLAN
C2-11	TREE INVENTORY AND PRESERVATION PLAN
C3-10	SITE PLAN
C3-11	FIRE ACCESS ROUTE
C3-12	FUTURE SITE PLAN
C3-20	UTILITY PLAN
C3-21	HYDRANT COVERAGE PLAN
C3-30	UTILITY SCHEDULES
C4-10	OVERALL GRADING PLAN
C5-10	PLANTING AND RESTORATION PLAN
C5-20	PLANTING NOTES AND DETAILS
C6-10	PHOTOMETRIC PLAN
C6-20	PHOTOMETRIC DETAILS

B.M. ELEVATION=884.89

MNDOT CONCRETE MONUMENT #66054
 PUMA MNDT RM 1 LOCATED NEAR
 TH 10 MILEPOINT 219.45

MANAGING OFFICE:

MINNEAPOLIS WEST OFFICE
 6465 WAYZATA BOULEVARD
 SUITE 970
 ST. LOUIS PARK, MN 55426
 PHONE: 952.426.0699

PROJECT MANAGER: REESE SUDTELGTE
 EMAIL: REESE.SUDTELGTE@ISGINC.COM



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REESE A. SUDTELGTE

DATE: 12/15/2022 LIC. NO. 54243

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MITCHELL R. WORKMON

DATE: 12/15/2022 LIC. NO. 53748

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PROJECT

**ANOKA RAMSEY
 ATHLETIC
 ASSOCIATION
 NEW DOME**

RAMSEY MINNESOTA

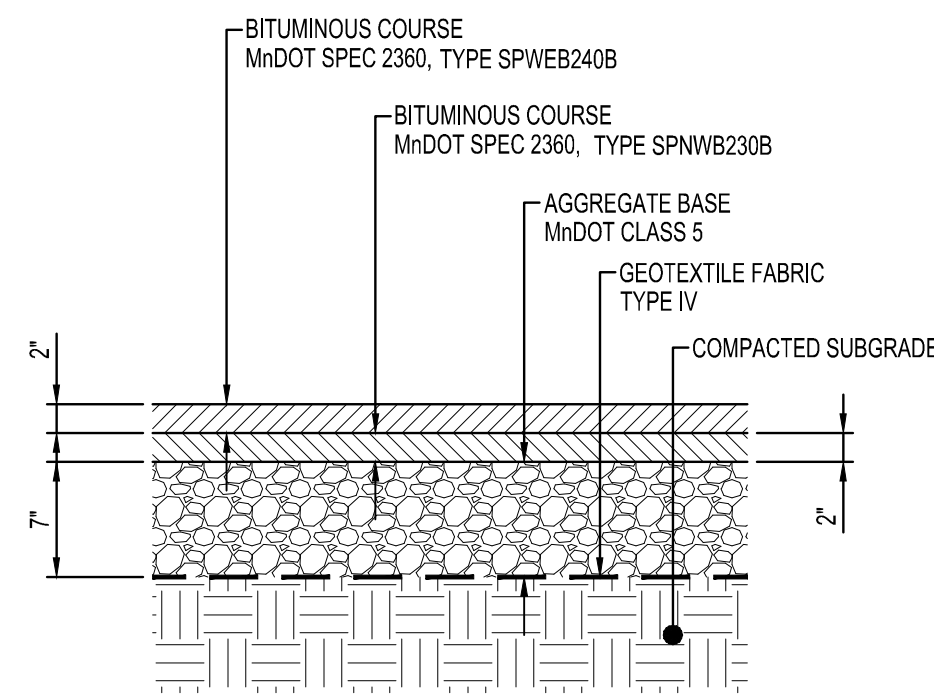
REVISION SCHEDULE		
DATE	DESCRIPTION	BY
1/10/2023	CITY SUBMITTAL #2	AJR

PROJECT NO.	22-26051
FILE NAME	26051 CO-DETAILS
DRAWN BY	AJR
DESIGNED BY	AJR
REVIEWED BY	RAS
ORIGINAL ISSUE DATE	12/16/2022
CLIENT PROJECT NO.	-

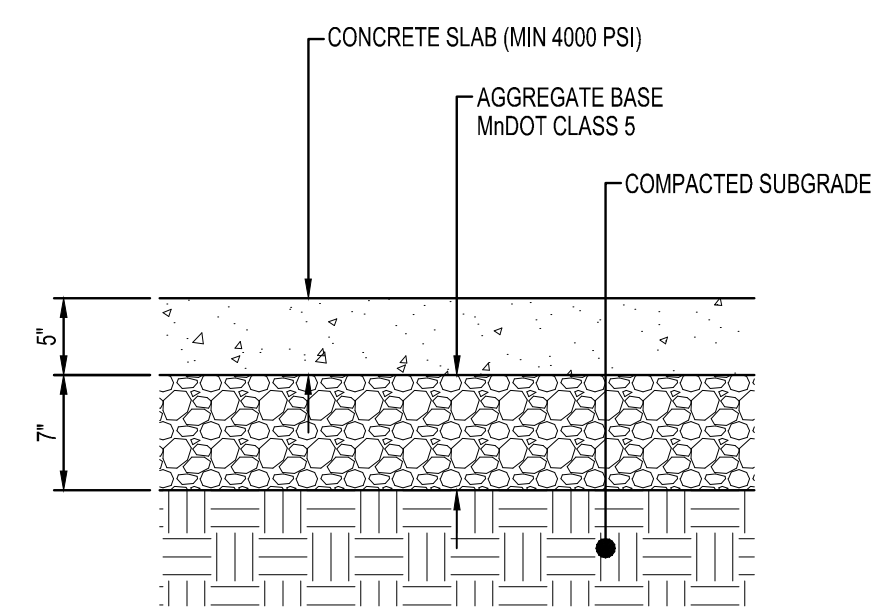
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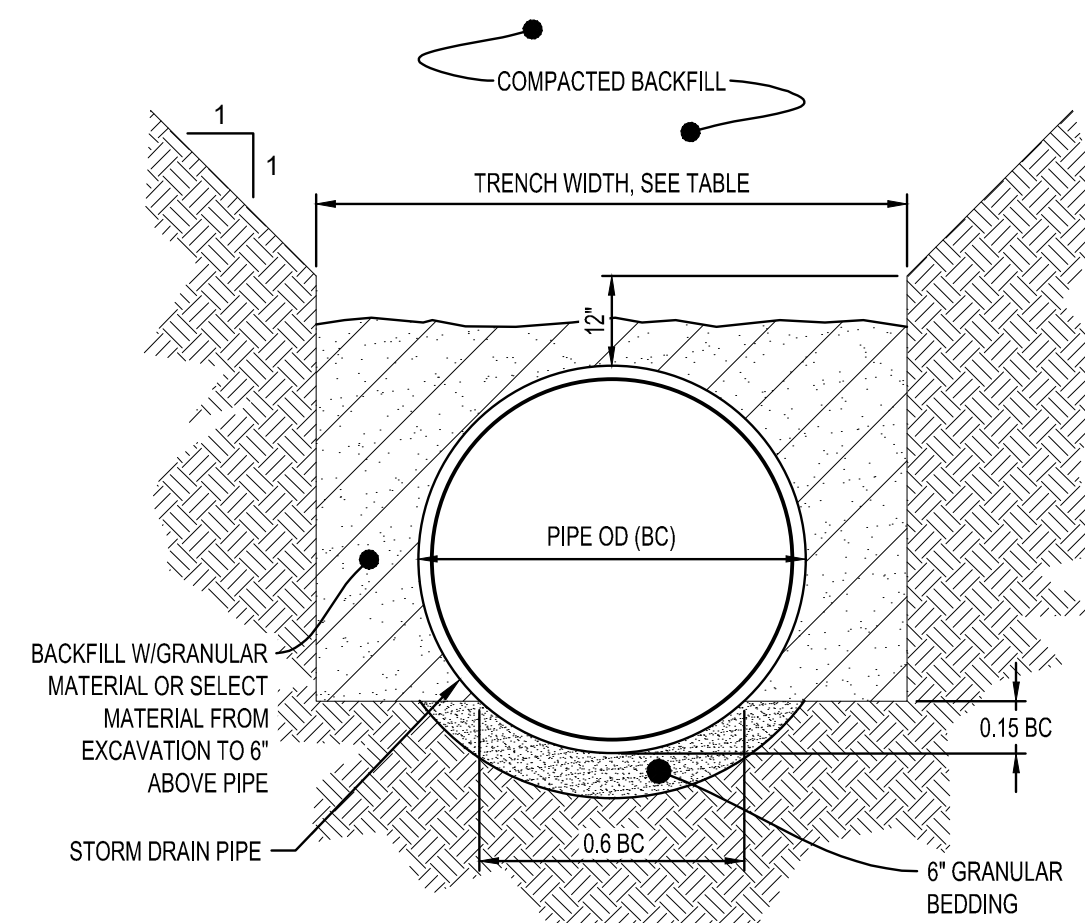
SHEET
C0-10



HEAVY DUTY BITUMINOUS PAVEMENT
NTS



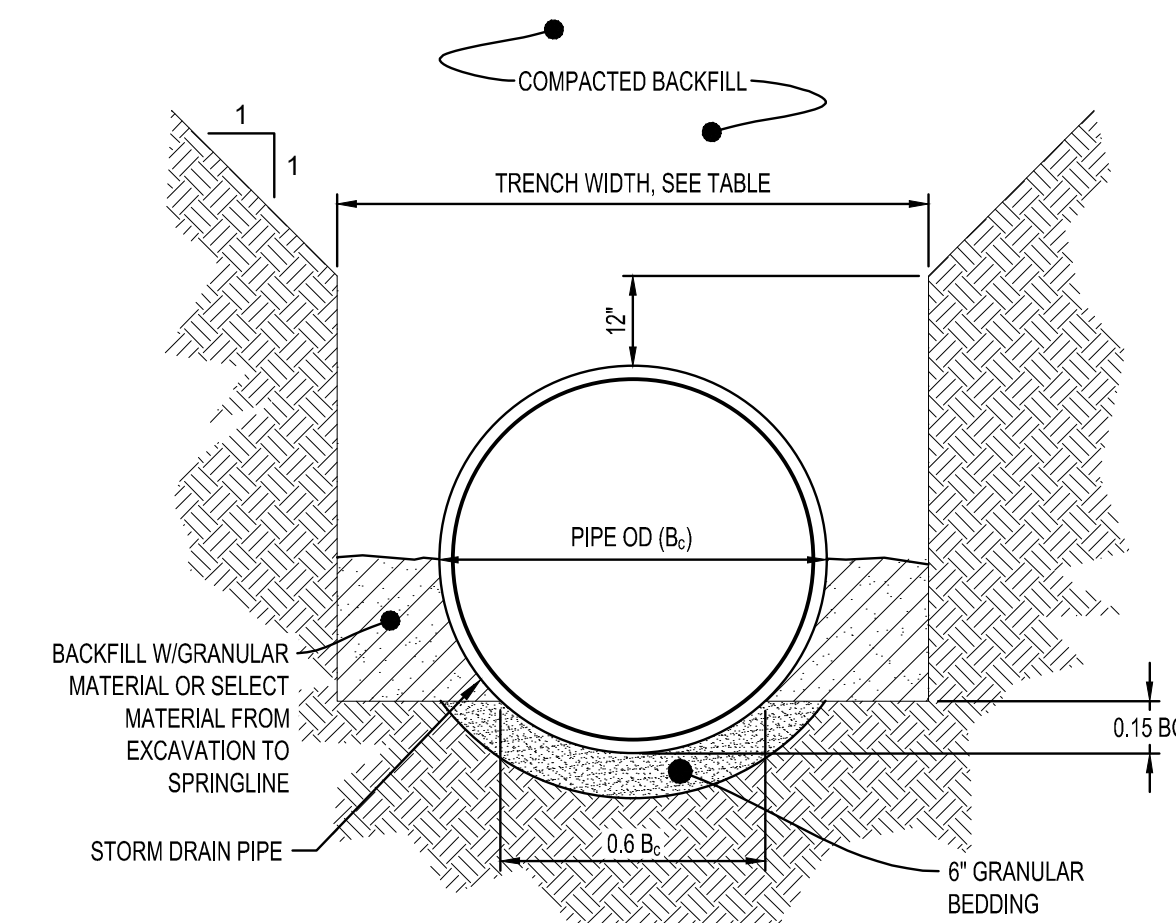
STANDARD CONCRETE PAVEMENT
NTS



PIPE Ø	TRENCH WIDTH
36" OR LESS	BC + 24"
42" TO 54"	1.5 x BC
60" OR OVER	BC + 36"

NOTES:
GRANULAR BEDDING AND BACKFILL FOR STORM DRAIN PIPES SHALL BE INCIDENTAL TO STORM DRAIN CONSTRUCTION

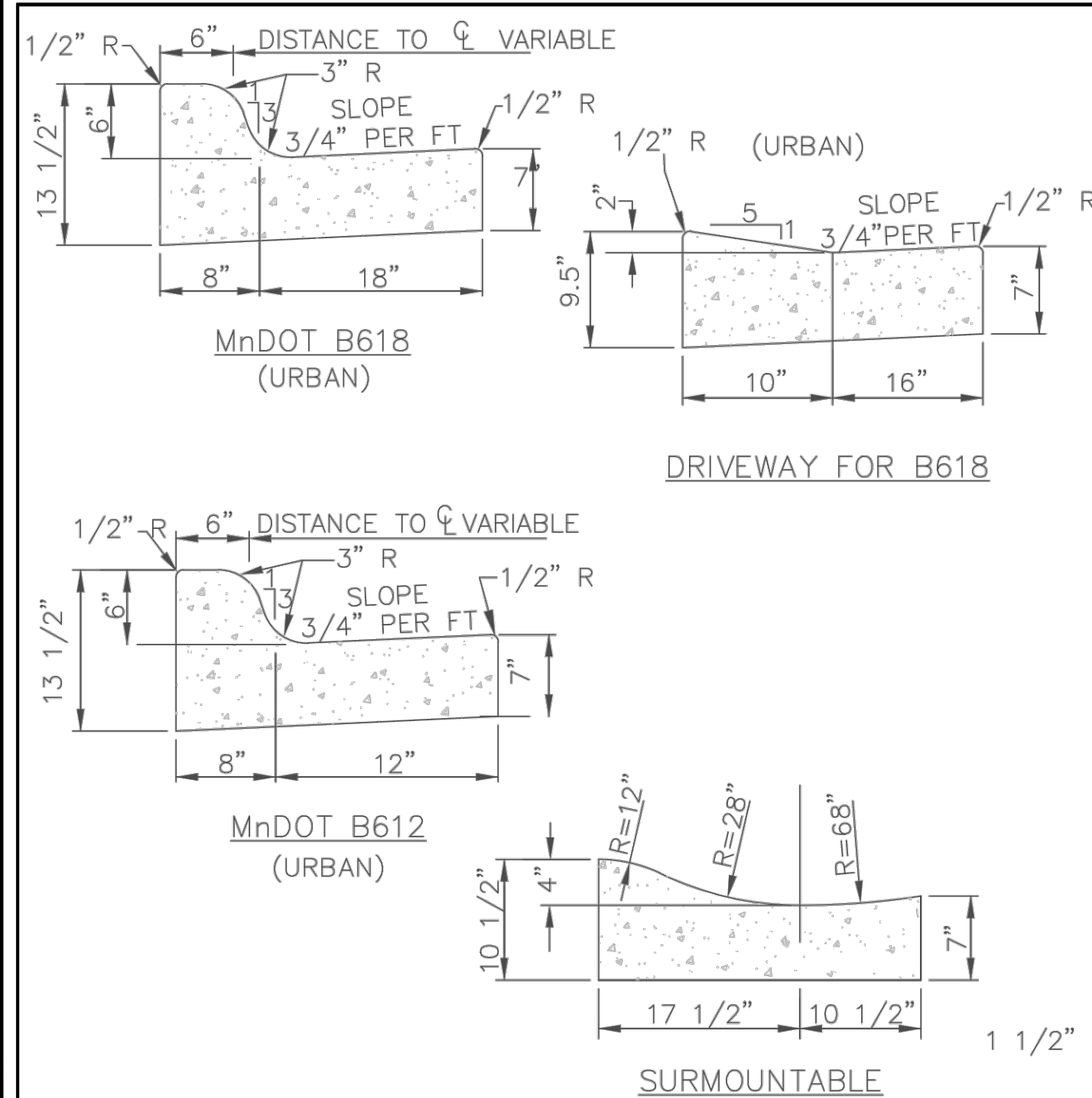
NON-CONCRETE STORM DRAIN PIPE BEDDING
NTS



PIPE Ø	TRENCH WIDTH
36" OR LESS	B _c + 24"
42" TO 54"	1.5 x B _c
60" OR OVER	B _c + 36"

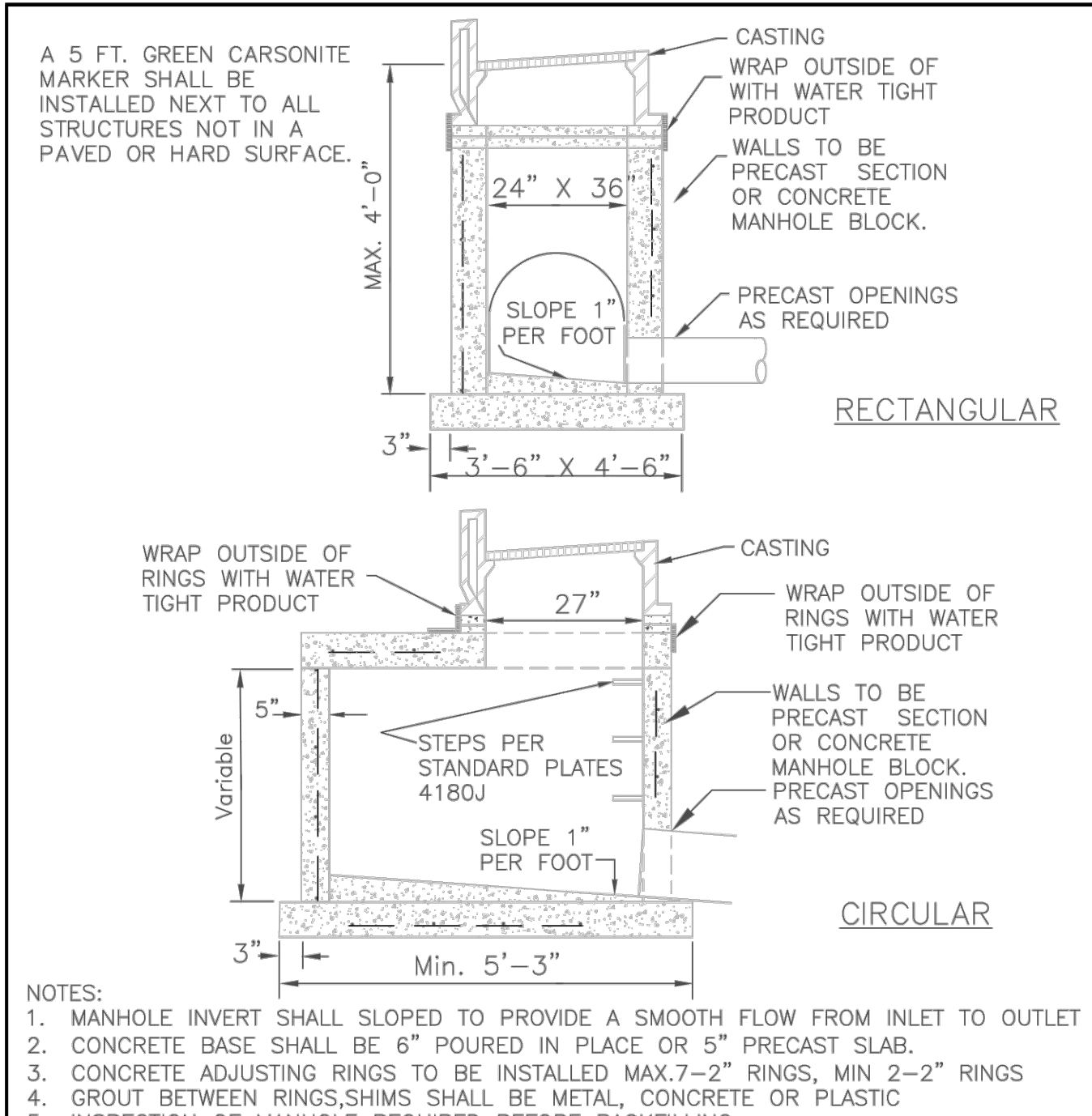
NOTES:
GRANULAR BEDDING AND BACKFILL FOR STORM DRAIN PIPES SHALL BE INCIDENTAL TO STORM DRAIN CONSTRUCTION

REINFORCED CONCRETE STORM DRAIN PIPE BEDDING
NTS



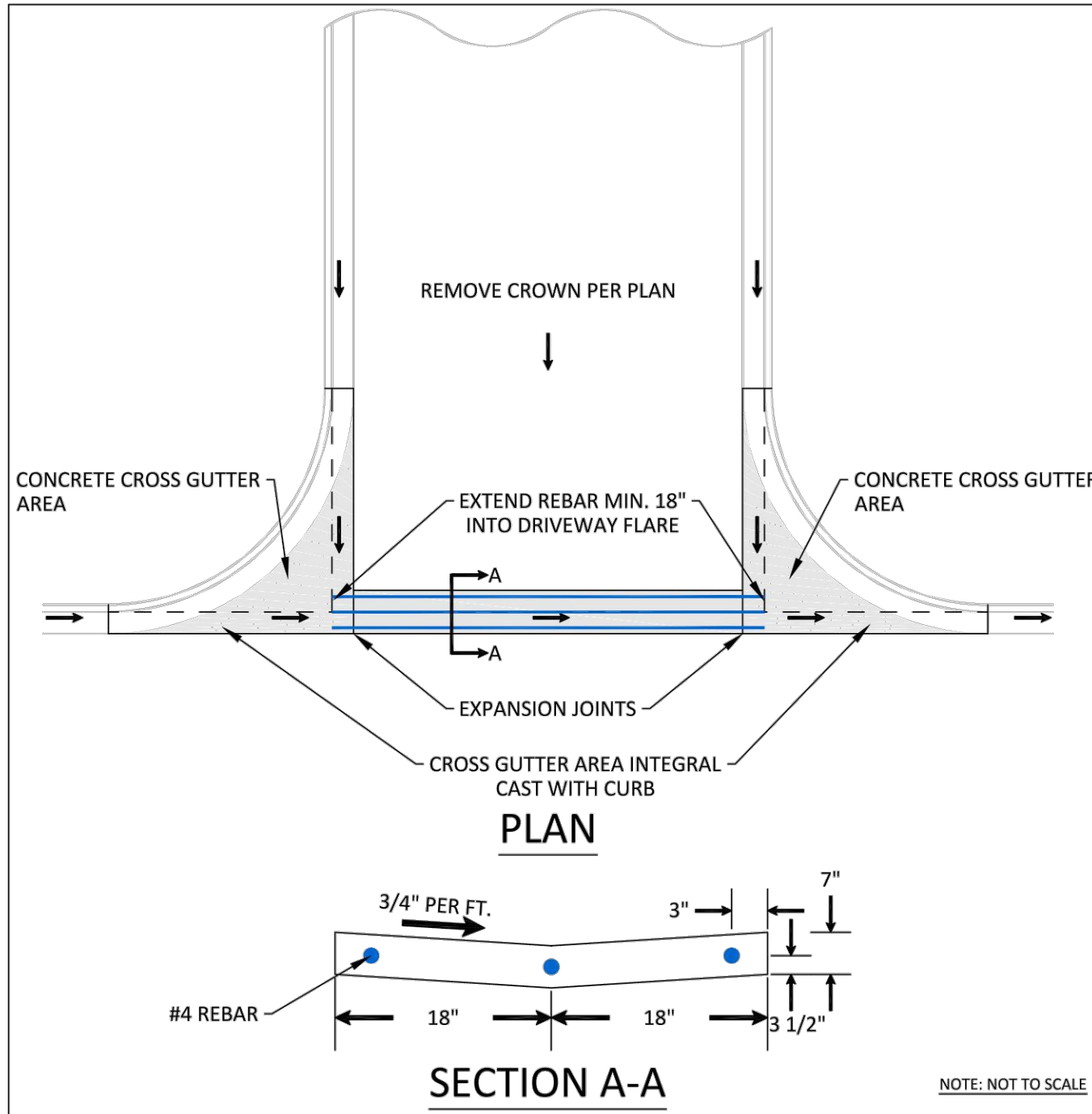
NOTES:
1. ON WEAR COURSE MILL THE EXISTING BITUMINOUS 1.5" BY 24" IN FRONT OF THE REPLACEMENT CURB.
2. ON BASE COURSE SAW CUT AND REMOVE EXISTING BITUMINOUS 18" IN FRONT OF THE REPLACEMENT CURB.

APPROVED: 1 - 2016
City of RAMSEY
STANDARD DETAILS: CURB AND GUTTER
CITY PLATE No. STR-1



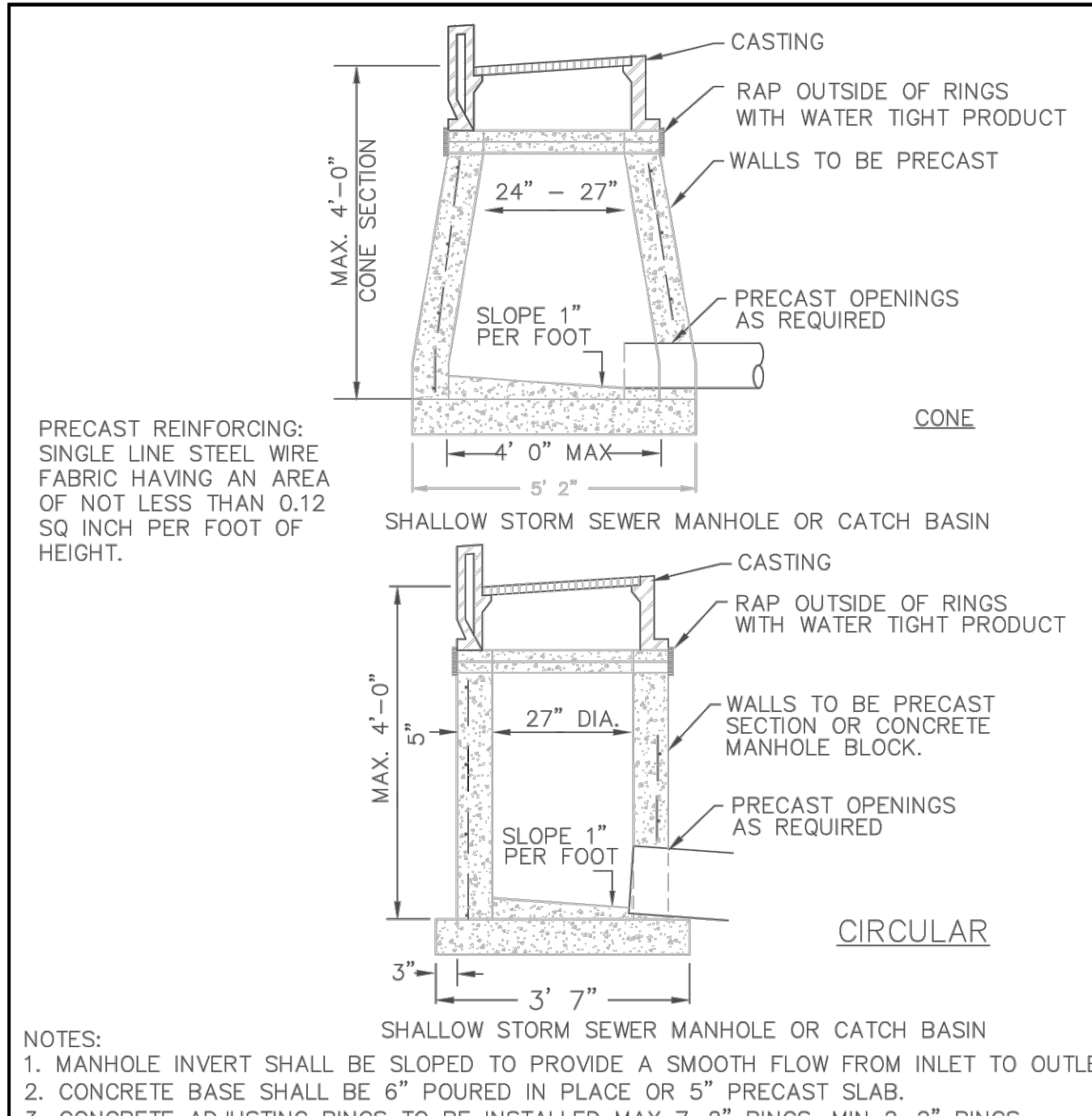
NOTES:
1. MANHOLE INVERT SHALL SLOPED TO PROVIDE A SMOOTH FLOW FROM INLET TO OUTLET.
2. CONCRETE BASE SHALL BE 6" POURED IN PLACE OR 5" PRECAST SLAB.
3. CONCRETE ADJUSTING RINGS TO BE INSTALLED MAX. 7-2" RINGS, MIN 2-2" RINGS.
4. GROUT BETWEEN RINGS, SHIMS SHALL BE METAL, CONCRETE OR PLASTIC.
5. INSPECTION OF MANHOLE REQUIRED BEFORE BACKFILLING.
6. A 10 GAUGE SOLID COPPER TRACER WIRE IS REQUIRED WITH ALL STORM LINES.
7. CONDUCTIVITY IS REQUIRED ON ALL TRACER WIRE.
8. STEPS ARE REQUIRED IF STRUCTURE FROM THE CASTING TO THE INVERT IS GREATER THAN 4 FEET.
9. TRACER WIRES ARE TO END IN STRUCTURES, AT FINISHED GRADE ON ALL SERVICES AND STUBS.

APPROVED: 4 - 2007
City of RAMSEY
STANDARD DETAILS: CATCH BASIN
CITY PLATE No. STO-1



NOTES:
1. WITH REMOVAL OF EXISTING CURB AT A STREET, MILL BITUMINOUS TO A DEPTH OF 1.5" AND A WIDTH OF 18" IN EXISTING STREET.
2. TO BE USED WHENEVER CROSS DRAINAGE IS < 2%.
3. CONCRETE CURB AND GUTTER SHALL BE CAST INTEGRAL WITH CONCRETE CROSS GUTTER AREA.
4. CONCRETE CURB AND GUTTER SHALL BE PAID SEPARATELY FROM CONCRETE CROSS GUTTER AREA.

APPROVED: 3 - 2017
City of RAMSEY
STANDARD DETAILS: CROSS GUTTER
CITY PLATE No. STR-2



NOTES:
1. MANHOLE INVERT SHALL BE SLOPED TO PROVIDE A SMOOTH FLOW FROM INLET TO OUTLET.
2. CONCRETE BASE SHALL BE 6" POURED IN PLACE OR 5" PRECAST SLAB.
3. CONCRETE ADJUSTING RINGS TO BE INSTALLED MAX 7-2" RINGS, MIN 2-2" RINGS.
4. GROUT BETWEEN RINGS.
5. SHIMS USED FOR LEVELING SHALL BE METAL OR CONCRETE.
6. A 10 GAUGE SOLID COPPER TRACER WIRE IS REQUIRED WITH ALL SEWER LINES.
7. CONDUCTIVITY IS REQUIRED ON ALL TRACER WIRE.
8. TRACER WIRE ARE TO END IN STRUCTURES, AT FINISHED GRADE ON ALL SERVICES AND STUBS.

APPROVED: 6 - 2008
City of RAMSEY
STANDARD DETAILS: STORM AREA INLET
CITY PLATE No. STO-2



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REESE A. SUDELGTE

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MITCHELL R. WORKMON

DATE: 12/15/2022 LIC. NO. 53748

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PROJECT
ANOKA RAMSEY ATHLETIC ASSOCIATION NEW DOME

RAMSEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 22-26051
FILE NAME 26051 CO-DETAILS
DRAWN BY AJR
DESIGNED BY AJR
REVIEWED BY RAS
ORIGINAL ISSUE DATE 12/16/2022
CLIENT PROJECT NO. -

TITLE

SITE DETAILS

SHEET
C0-20

PLOT DATE: 11/16/2022 8:42 PM

PRELIMINARY NOT FOR CONSTRUCTION



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ANOKA RAMSEY ATHLETIC ASSOCIATION NEW DOME

RAMSEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 22-26051
FILE NAME 26051 CO-DETAILS
DRAWN BY AJR
DESIGNED BY AJR
REVIEWED BY RAS
ORIGINAL ISSUE DATE 12/16/2022
CLIENT PROJECT NO. -

TITLE

SITE DETAILS

SHEET

C0-21

PRELIMINARY NOT FOR CONSTRUCTION

PLAN VIEW
NOT TO SCALE

SECTION VIEW
NOT TO SCALE

APPROVED: 9 - 2011
STANDARD DETAILS: HDPE DRAINAGE STRUCTURE
CITY PLATE No. STO-12

PLAN VIEW
NOT TO SCALE

SECTION VIEW
NOT TO SCALE

NOTE:
1. SAWCUT BIT, FULL DEPTH / REMOVE BIT.
2. PLACE 6" THICK CONCRETE FOR TRUNCATED DOMES UP TO EDGE OF PAVEMENT.
3. MEDIUM BROOM FINISH ON CONCRETE.
4. MAINTAIN 3" FROM EDGE OF TRUNCATED DOMES AND CONCRETE EDGE.
5. IT MAY BE NECESSARY TO TRIM TRUNCATED DOME PANELS.

APPROVED: 7 - 2015
STANDARD DETAILS: TRUNCATED DOME PLACEMENT BITUMINOUS TRAIL NO CURB
CITY PLATE No. STR-28

PLAN

SECTION ON C DRIVEWAY

DETAIL OF LIP

APPROVED: 4 - 2016
STANDARD DETAILS: COMMERCIAL DRIVEWAY CURB CUT
CITY PLATE No. STR-14

PLAN

SECTION A-A

NOTE:
1. BROOM FINISH CONCRETE WALK SURFACE
2. MAXIMUM 100 FOOT SPACING BETWEEN EXPANSION JOINTS
3. 1/2" EXPANSION JOINT MEETING MNDOT SPEC 3702. PROVIDE ONE PIECE OF FILLER FOR THE ENTIRE DEPTH AND WIDTH OF THE JOINT

APPROVED: 10 - 2015
STANDARD DETAILS: CONCRETE SIDEWALK
CITY PLATE No. STR-3

R-2560 Series Beehive Grates with Frames

SUITABLE FOR DRAINAGE ON CIRCUMSTANCES WHERE CLOGGING OF A FLAT GRATING IS A PROBLEM. EXCELLENT FOR ROADSIDE OR EARTH DITCH CATCH BASINS.

Catalog No.	Dimensions in inches							WL LBS
	A	B	C	D	E	F	G	
R-2560-A	12	1	11	12 1/2	19	4	4	80
R-2560-B	15 1/2	1 1/4	15	16 1/2	21	5	3	123
R-2560-C	18	1 1/4	18	20 1/2	24	6	4	190
R-2560-D	22	1 1/2	20	23	28	4	4 1/2	195
R-2560-E	22	1 1/2	20 1/2	24	28 1/4	6	4 1/2	270
R-2560-F	22	1 1/2	20 1/2	24 1/2	35	9	4 1/2	315
R-2560-G	22	1 1/2	20	23	28 1/4	4	7	210
R-2560-H	22	1 1/2	20 1/2	24	35	6	7	285
R-2560-I	22	1 1/2	20 1/2	24 1/2	36	9	7	345
R-2560-J	23	1 1/2	21	25 1/2	35 1/2	9	7	340
R-2560-K	25 3/4	7/8	24 1/8	28 1/2	35 1/2	4	6	235
R-2560-L	25 3/4	7/8	24 1/8	28 1/2	35 1/2	4	9	255
R-2560-M	25 3/4	7/8	24 1/8	28 1/2	35 1/2	7	6	285
R-2560-N	25 3/4	7/8	24 1/8	28 1/2	35 1/2	7	9	300
R-2560-O	25 3/4	7/8	24 1/8	28 1/2	35 1/2	8	6	365
R-2560-P	25 3/4	7/8	24 1/8	28 1/2	35 1/2	8	9	385
R-2560-Q	25 3/4	7/8	24 1/8	28 1/2	35 1/2	10	6	360
R-2560-R	25 3/4	7/8	24 1/8	28 1/2	35 1/2	10	9	385
R-2560-S	32	1 1/2	30	36	46	7	4	535

R-2570 Catch Basin Frame, Grate

Light Duty
Total Weight 170 Pounds

APPROVED: 9 - 2011
STANDARD DETAILS: STORM CASTING - NON TRAFFIC AREAS
CITY PLATE No. STO-6

STANDARD CATCHBASIN CASTING

NOTE: SURMOUNTABLE CURB & GUTTER

- CATCH BASIN CASTING SHALL BE NEENAH R-3067 WITH GRATED BACK (BICYCLE SAFE) OR APPROVED EQUAL.
- FOR CATCH BASINS ADJACENT TO RADIUS, USE NEENAH R-3246R OR APPROVED EQUAL.

NOTE: B 618 CURB & GUTTER

- CATCH BASIN CASTING SHALL BE NEENAH R-3246R OR APPROVED EQUAL.

APPROVED: 4 - 2005
STANDARD DETAILS: SLAB TOP MANHOLE COVER
CITY PLATE No. STO-5

STANDARD CATCHBASIN CASTING

NOTE: SURMOUNTABLE CURB & GUTTER

- CATCH BASIN CASTING SHALL BE NEENAH R-3067 WITH GRATED BACK (BICYCLE SAFE) OR APPROVED EQUAL.
- FOR CATCH BASINS ADJACENT TO RADIUS, USE NEENAH R-3246R OR APPROVED EQUAL.

NOTE: B 618 CURB & GUTTER

- CATCH BASIN CASTING SHALL BE NEENAH R-3246R OR APPROVED EQUAL.

APPROVED: 7 - 2016
STANDARD DETAILS: STORMWATER CASTING
CITY PLATE No. STO-4

STANDARD DETAIL

NOTE:
1. MANHOLE INVERT SHALL SLOPED TO PROVIDE A SMOOTH FLOW FROM INLET TO OUTLET
2. INSPECTION OF MANHOLE REQUIRED BEFORE BACKFILLING
3. ALL INLET INVERTS TO BE 0.10 ABOVE OUTLET INVERTS UNLESS OTHERWISE NOTED
4. A 10 GAUGE SOLID COPPER TRACER WIRE IS REQUIRED WITH ALL STORM LINES.
5. CONDUCTIVITY IS REQUIRED ON ALL TRACER WIRE
6. STEPS ARE REQUIRED IF STRUCTURE FROM THE CASTING TO THE INVERT IS GREATER THAN 4 FEET
7. TRACER WIRES ARE TO END IN STRUCTURES, AT FINISHED GRADE ON ALL SERVICES AND STUBS

APPROVED: 1 - 2016
STANDARD DETAILS: STORM MANHOLE
CITY PLATE No. STO-3



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DATE: 12/15/2022 LIC. NO. 53748

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PROJECT
ANOKA RAMSEY ATHLETIC ASSOCIATION NEW DOME

RAMSEY MINNESOTA
ANOKA RAMSEY ATHLETIC ASSOCIATION NEW DOME

REVISION SCHEDULE

DATE	DESCRIPTION	BY

PROJECT NO. 22-26051
FILE NAME 26051 CO-DETAILS
DRAWN BY AJR
DESIGNED BY AJR
REVIEWED BY RAS
ORIGINAL ISSUE DATE 12/16/2022
CLIENT PROJECT NO. -

TITLE

SITE DETAILS

SHEET

C0-22

PRELIMINARY NOT FOR CONSTRUCTION

NOTE:
1. A 10 GAGE SOLID COPPER TRACER WIRE REQUIRED WITH ALL SEWER LINES.
2. CONDUCTIVITY IS REQUIRED ON ALL TRACER WIRE.
3. TRACER WIRES ARE TO END IN STRUCTURES, AT FINISHED GRADE ON ALL SERVICES AND STUBS.
4. 6" BASE FOR ALL MANHOLES LESS THAN 14FT. DEEP, INCREASE BASE 2" PER 6 FT. OF DEPTH BEYOND 14 FT. 5" PRECAST BASE MAY BE USED FOR MANHOLES LESS THAN 14 FT. DEEP.

APPROVED: 1 - 2006
City of Ramsey
STANDARD DETAILS: POND OUTLET
CITY PLATE No. ST0-7

NOTE:
GUARDS MUST BE INCORPORATED ON ALL INSTALLATIONS EXCEPT WHERE SPECIFICALLY ALLOWED OTHERWISE BY THE CITY ENGINEER.

IMPORTANT
HINGED CONNECTIONS (TO BE FREE OF RIP RAP AND BACKFILL)

ALL GUARDS TO HAVE (1) CROSS BAR - 60" AND UP TO HAVE (2) EQUALLY SPACED

PIPE SIZE	BOLT DIA.	BAR SIZE
12"-24"	5/8"	5/8"
27"-48"	3/4"	3/4"
54"-90"	1"	1"
22"-29"	5/8"	5/8"
36"-59"	3/4"	3/4"
65"-88"	1"	1"

NOTE: COATINGS ARE AS SPECIFIED ELSEWHERE

IMPORTANT

APPROVED: 2 - 2006
City of Ramsey
STANDARD DETAILS: TRASH GUARD
CITY PLATE No. ST0-8

NOTE:
1. A 10 GAGE SOLID COPPER TRACER WIRE IS REQUIRED WITH ALL SEWER LINES.
2. CONDUCTIVITY IS REQUIRED ON ALL TRACER WIRE.
3. TRACER WIRES ARE TO END IN STRUCTURES, AT FINISHED GRADE ON ALL SERVICES AND STUBS.
4. STEPS WILL BE REQUIRED AT A MAXIMUM OF 3' FROM THE RIM AND 16" ON CENTER THERE AFTER.
5. 8" BASE FOR ALL MANHOLES LESS THEN 14' DEEP, INCREASE BASE THICKNESS BY 2" PER 6' OF DEPTH BEYOND 14' & REINFORCE WITH 6" X 6" & 10" X 10" MESH.

APPROVED: 1 - 2016
City of Ramsey
STANDARD DETAILS: SUMP MANHOLE
CITY PLATE No. ST0-9

NOTE: TRASH GUARDS SEE DETAIL ST0-12

NOTE: FOR USE WITH PIPE 36" DIA. OR GREATER

NOTE: BRING CONCRETE HEADWALL UP TO A POINT THAT WILL NOT HINDER THE OPERATION OF THE TRASH GUARD.

NOTE: LIGHTWEIGHT SHEET PILE ASTM-A-857, GR. 33&36
16.9 LBS PER LINEAL FOOT
0.209 NOMINAL THICKNESS

APPROVED: 9 - 2016
City of Ramsey
STANDARD DETAILS: STORM SEWER PILING & CONCRETE END SECTION
CITY PLATE No. ST0-10

NOTE:
1. A 10 GAGE SOLID COPPER TRACER WIRE IS REQUIRED WITH ALL SEWER LINES.
2. CONDUCTIVITY IS REQUIRED ON ALL TRACER WIRE.
3. TRACER WIRES ARE TO END IN STRUCTURES, AT FINISHED GRADE ON ALL SERVICES AND STUBS.
4. 6" BASE FOR ALL MANHOLES LESS THAN 14 FT. OF DEPTH, INCREASE BASE THICKNESS 2" PER 6 FT. OF DEPTH BEYOND 14 FT.
5. 5" PRECAST BASE MAY BE USED FOR MANHOLES LESS THAN 14 FT. DEEP.
6. ALL INVERTS TO BE 0.10' ABOVE OUTLET.

APPROVED: 1 - 2016
City of Ramsey
STANDARD DETAILS: SANITARY MANHOLE
CITY PLATE No. SEW-1

NOTE: NOT TO SCALE

APPROVED: 11 - 2015
City of Ramsey
STANDARD DETAILS: WOOD MARKER CASTING
CITY PLATE No. SEW-2

NOTE:
1. 10 GAGE SOLID COPPER TRACER WIRE IS REQUIRED WITH ALL SEWER LINES.
2. CONDUCTIVITY IS REQUIRED ON ALL TRACER WIRE.
3. TRACER WIRE ARE TO END IN STRUCTURES, AT FINISHED GRADE ON ALL SERVICES AND STUBS.

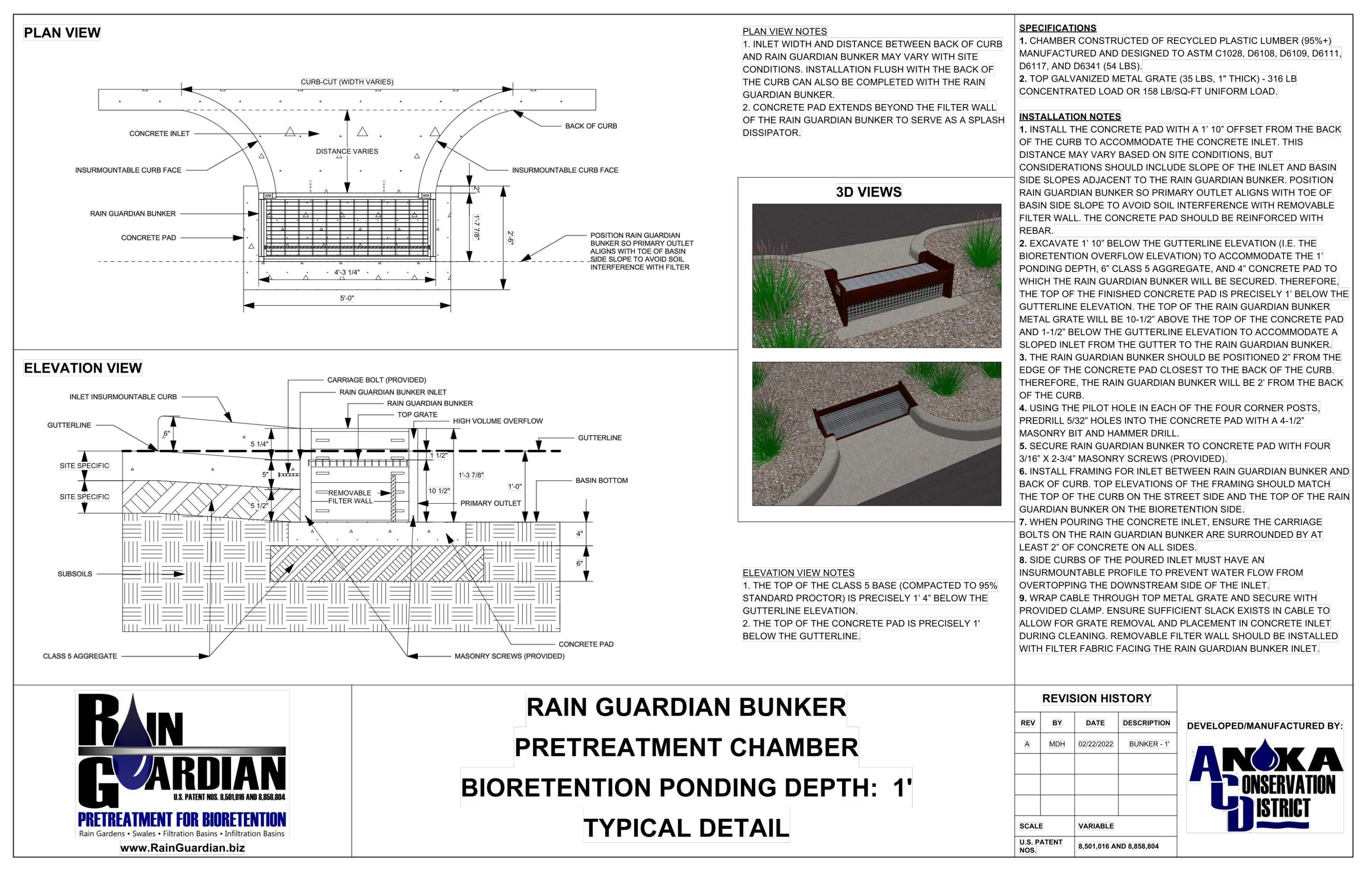
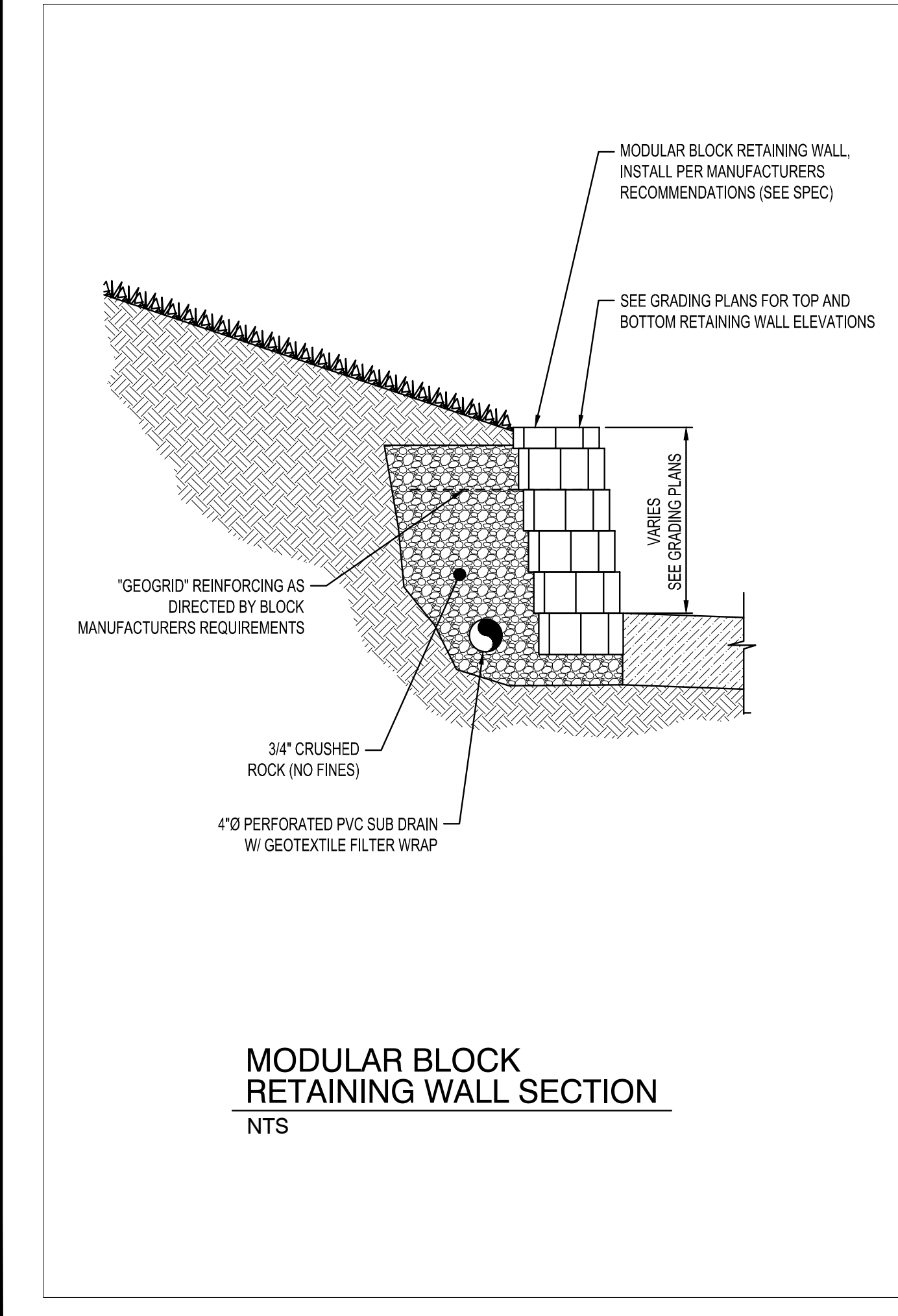
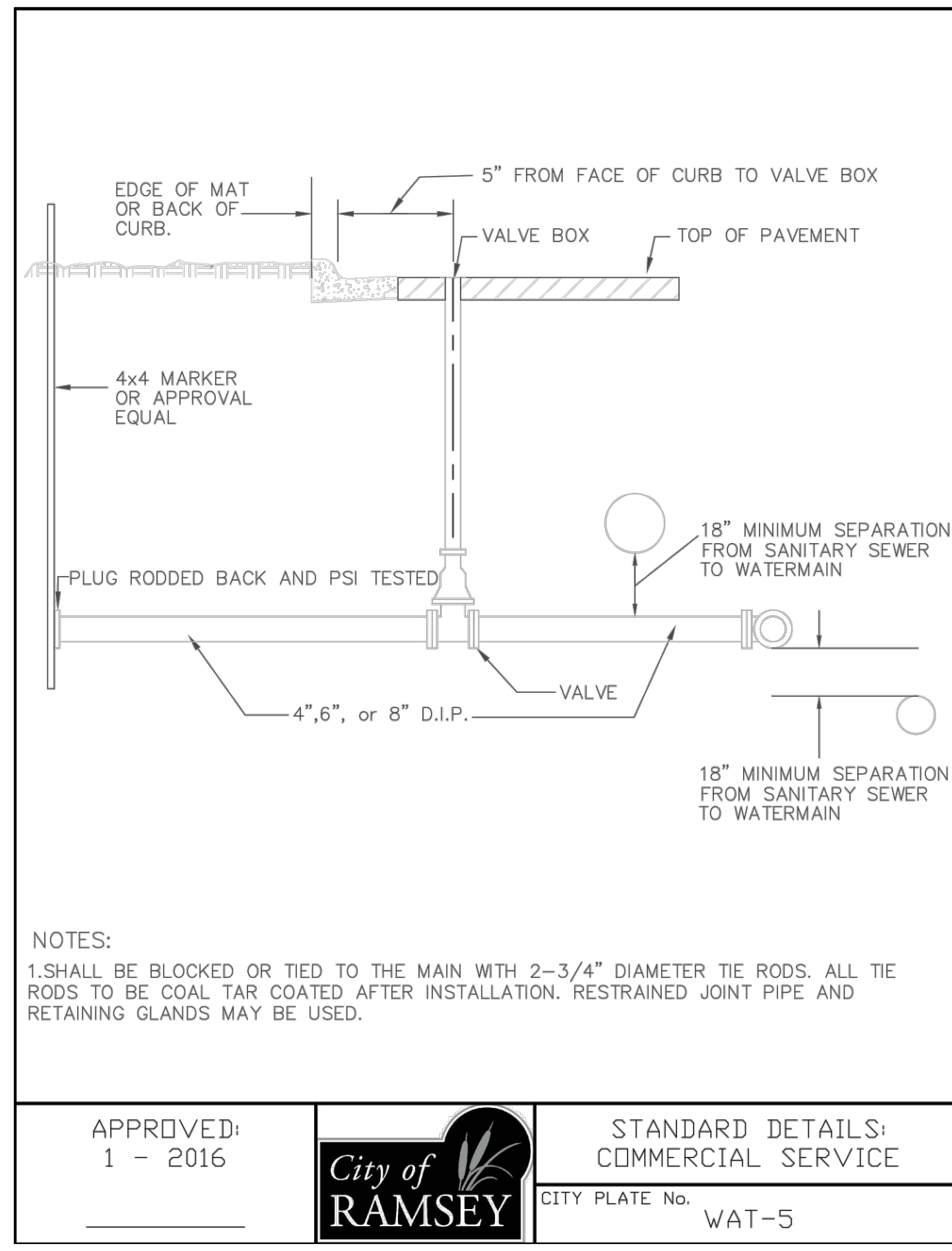
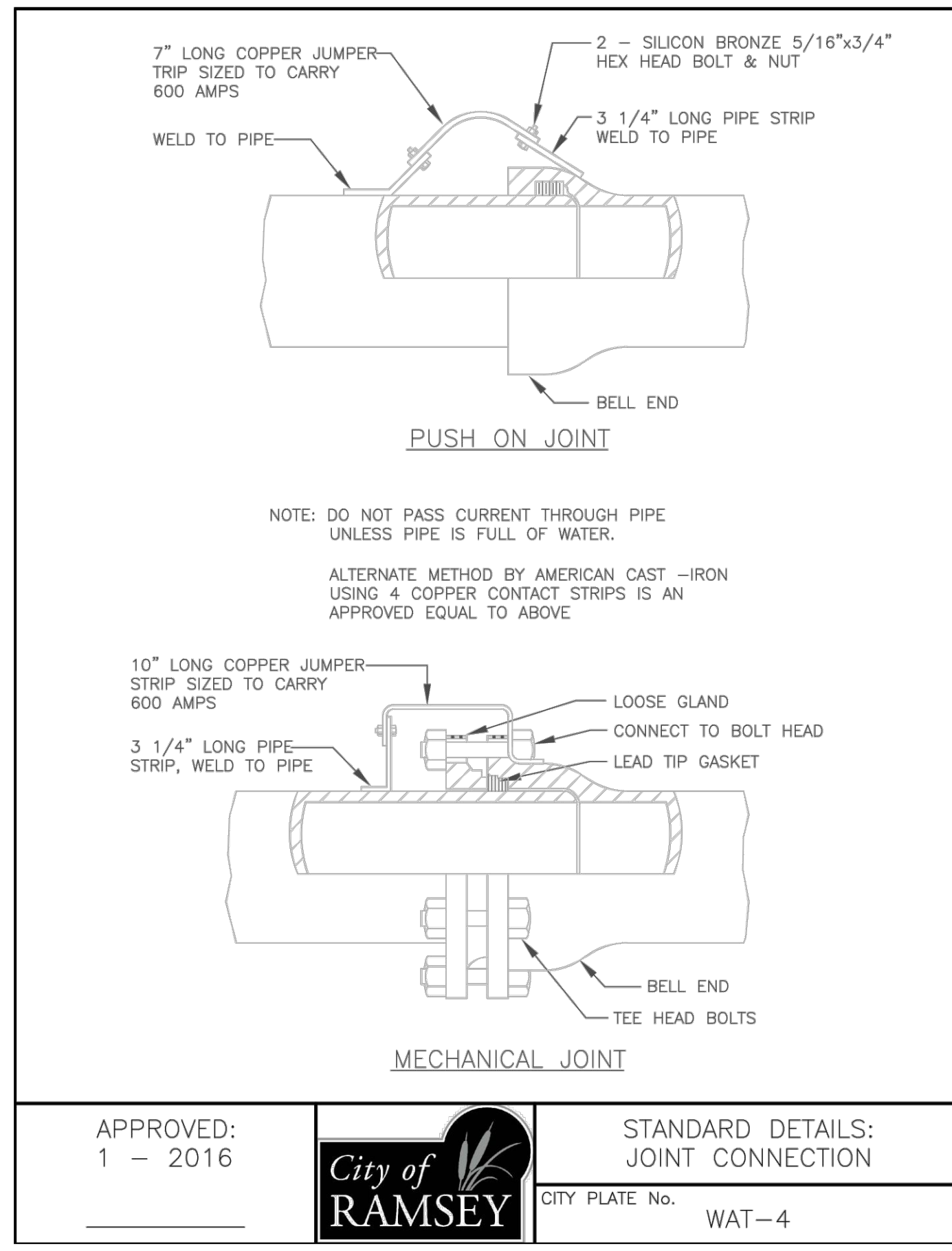
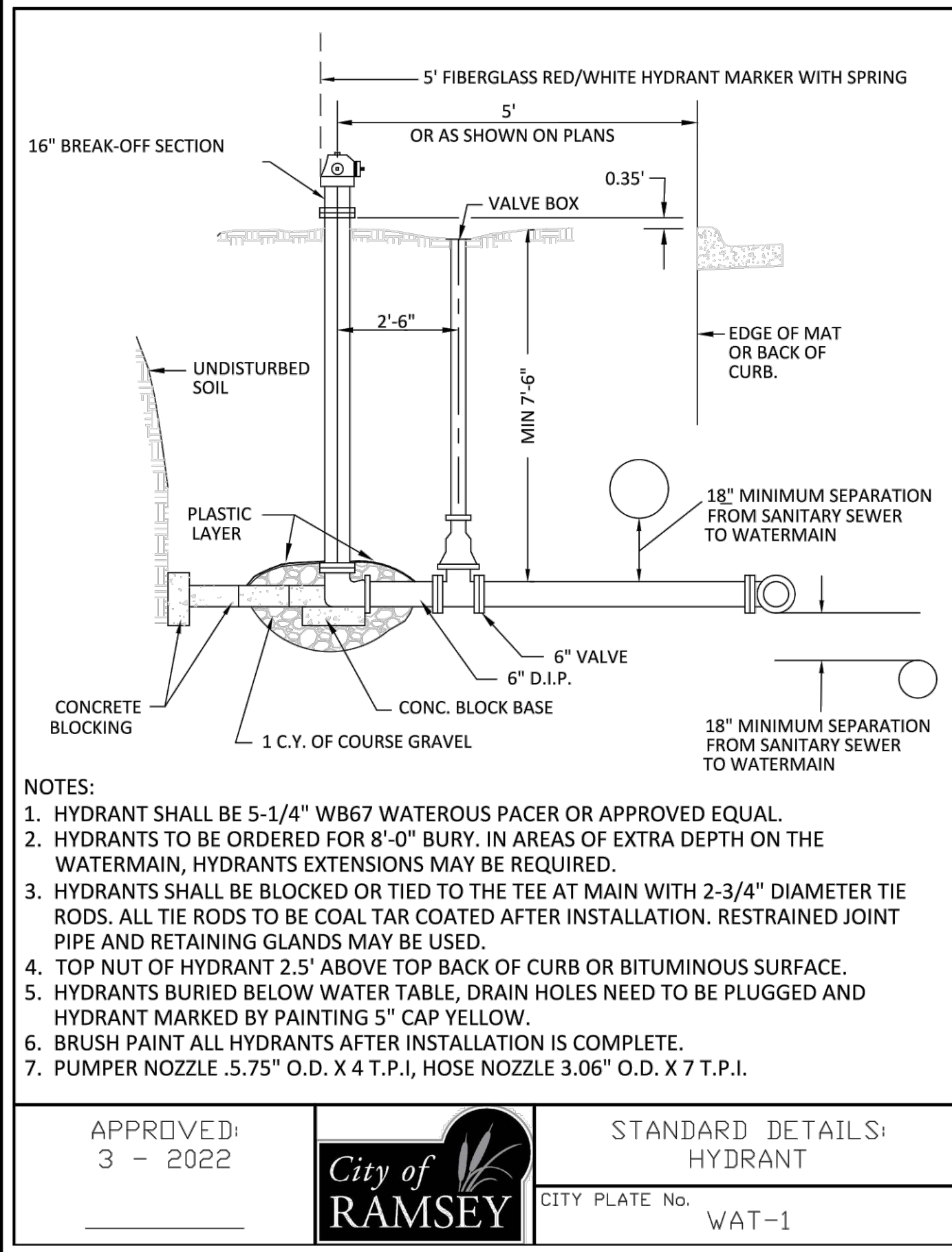
APPROVED: 4 - 2016
City of Ramsey
STANDARD DETAILS: SANITARY SEWER SERVICE
CITY PLATE No. SEW-3

NOTE:
1. A 10 GAGE SOLID COPPER TRACER WIRE IS REQUIRED WITH ALL SEWER LINES.
2. CONDUCTIVITY IS REQUIRED ON ALL TRACER WIRE.
3. TRACER WIRES ARE TO END IN STRUCTURES, AT FINISHED GARDE ON ALL SERVICES AND STUBS.

APPROVED: 4 - 2016
City of Ramsey
STANDARD DETAILS: SLAB-TOP MANHOLE
CITY PLATE No. SEW-4

PLOT DATE: 11/16/2022 8:42 PM

PLOT DATE: 11/10/2022 8:42 PM



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PROJECT

ANOKA RAMSEY ATHLETIC ASSOCIATION NEW DOME

RAMSEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 22-26051

FILE NAME 26051 CO-DETAILS

DRAWN BY AJR

DESIGNED BY AJR

REVIEWED BY RAS

ORIGINAL ISSUE DATE 12/16/2022

CLIENT PROJECT NO. -

TITLE

SITE DETAILS

SHEET

C0-23

PRELIMINARY NOT FOR CONSTRUCTION



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REESE A. SUDTELGTE

DATE 12/15/2022 LIC. NO. 54243

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MITCHELL R. WORKMON

DATE 12/15/2022 LIC. NO. 53748

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PROJECT

ANOKA RAMSEY ATHLETIC ASSOCIATION NEW DOME

RAMSEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

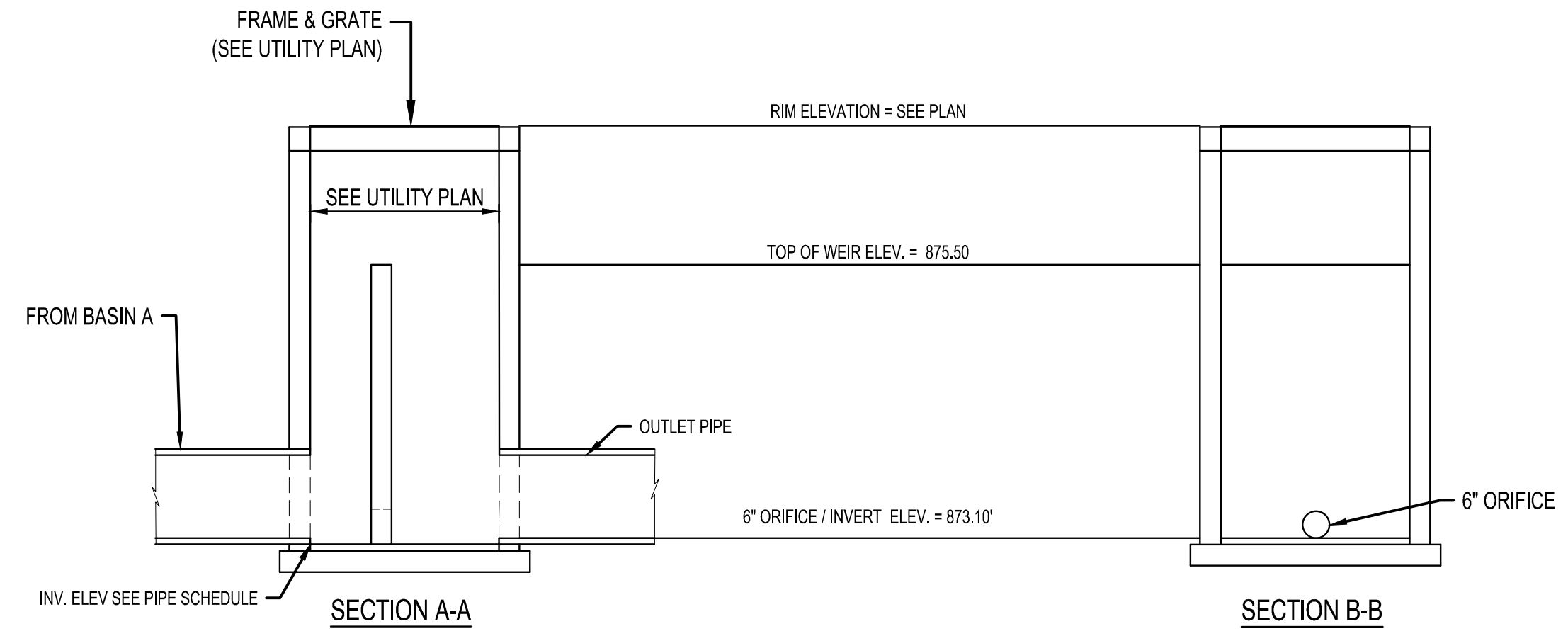
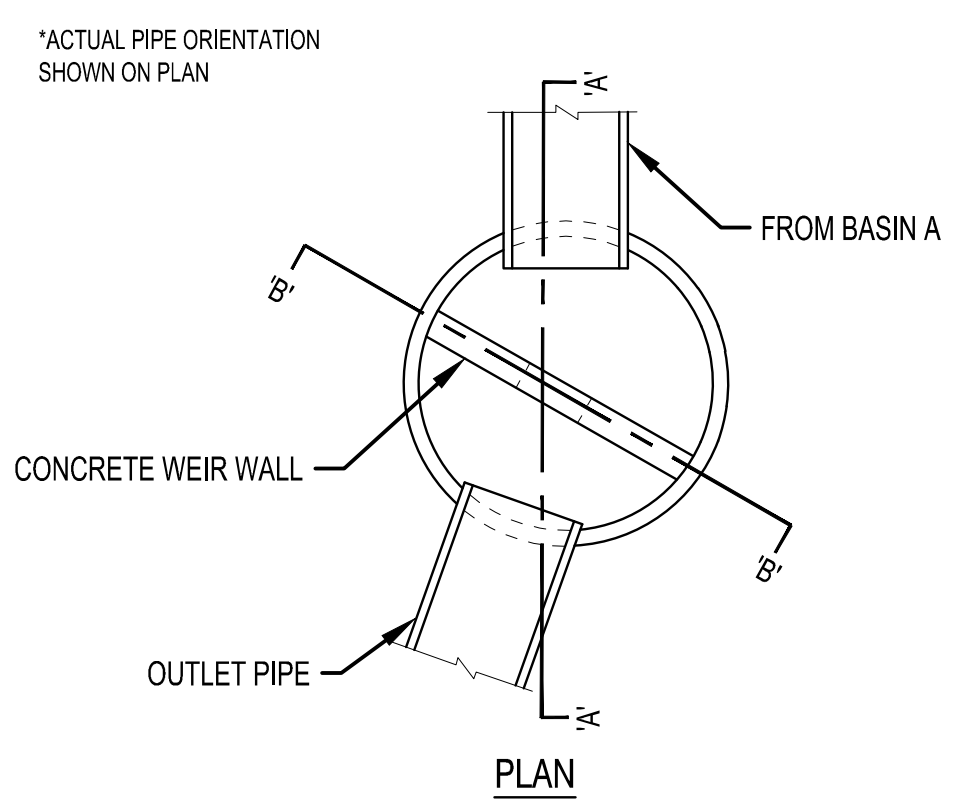
PROJECT NO.	22-26051
FILE NAME	26051 CO-DETAILS
DRAWN BY	AJR
DESIGNED BY	AJR
REVIEWED BY	RAS
ORIGINAL ISSUE DATE	12/16/2022
CLIENT PROJECT NO.	-

TITLE

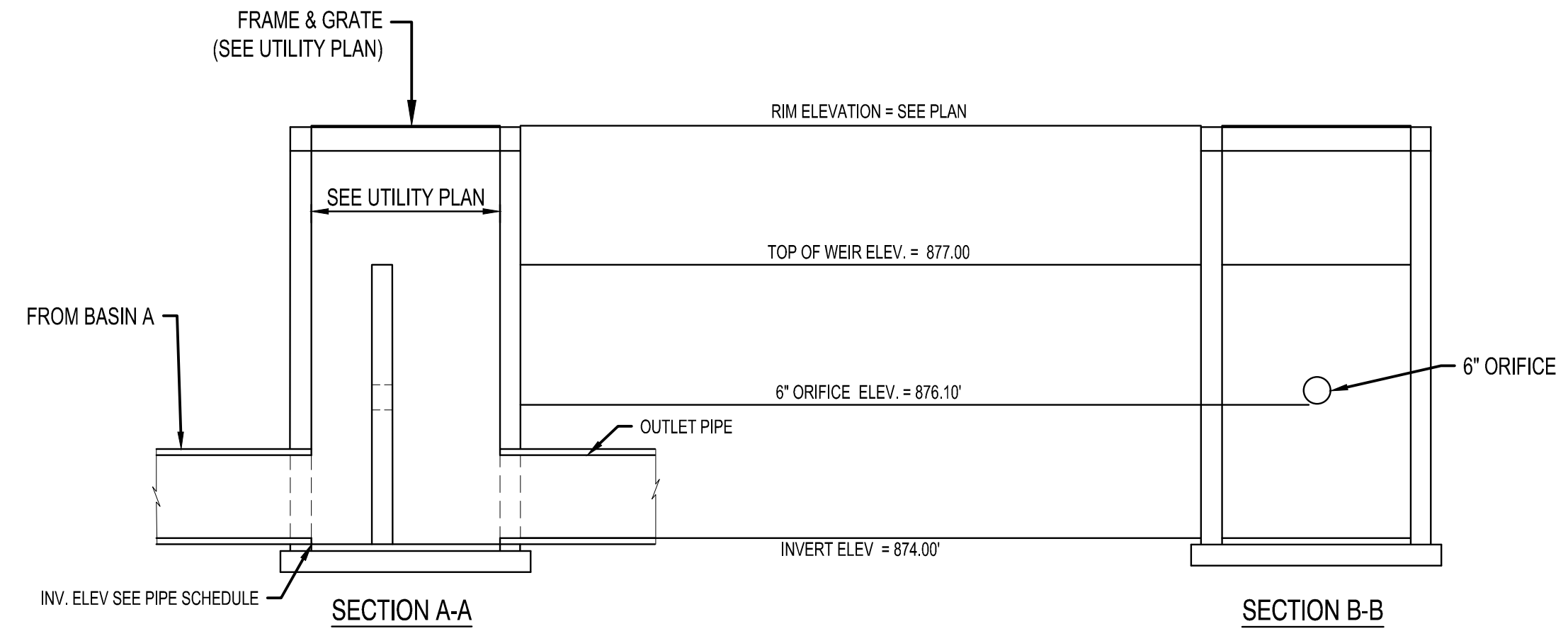
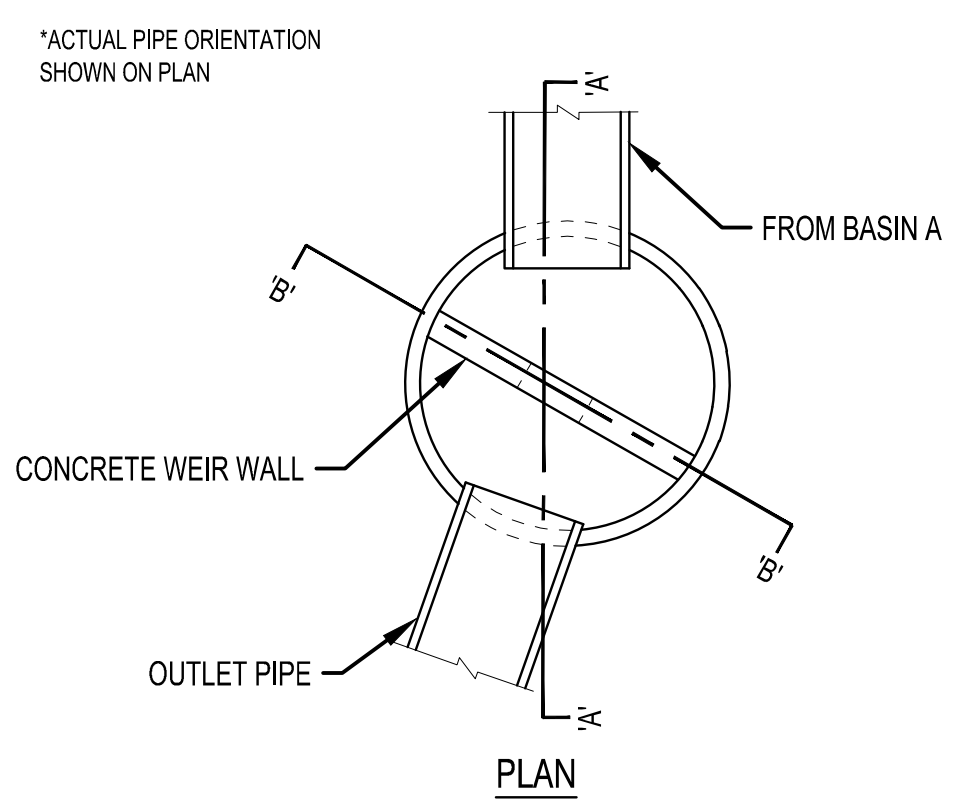
SITE DETAILS

SHEET
C0-24

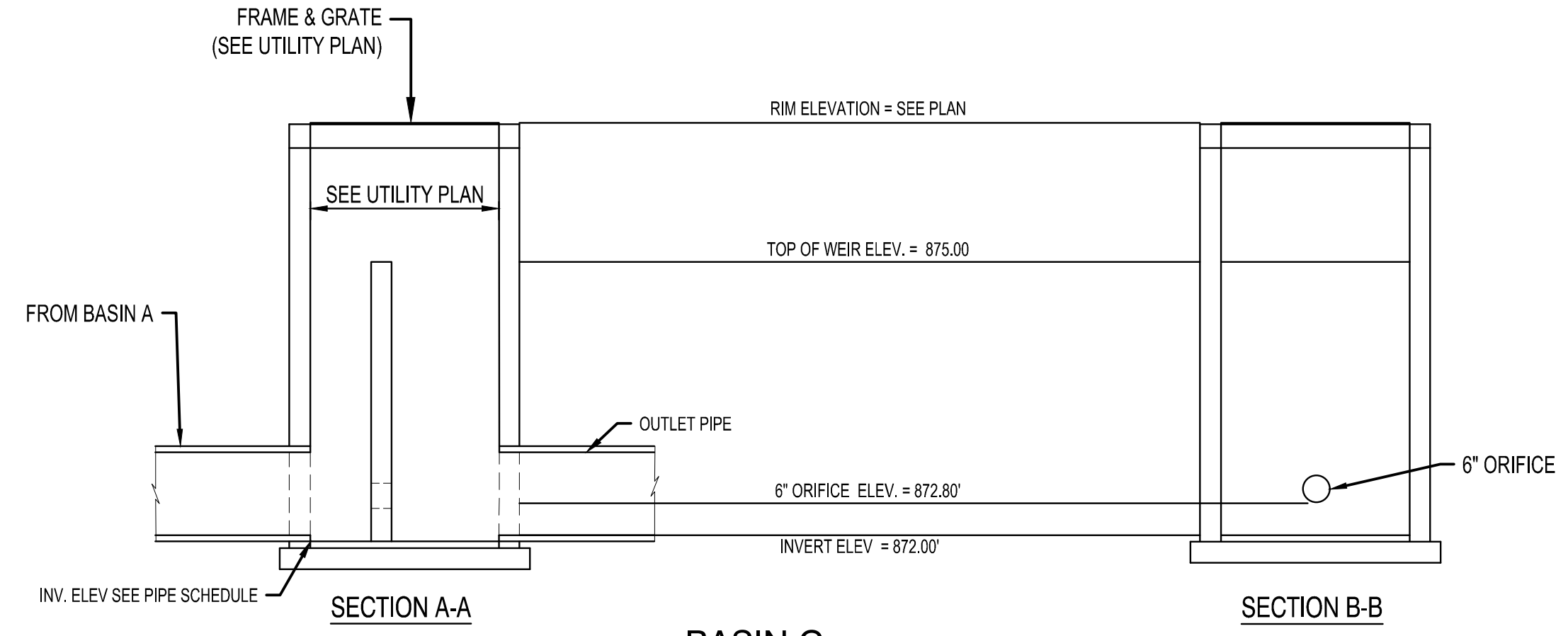
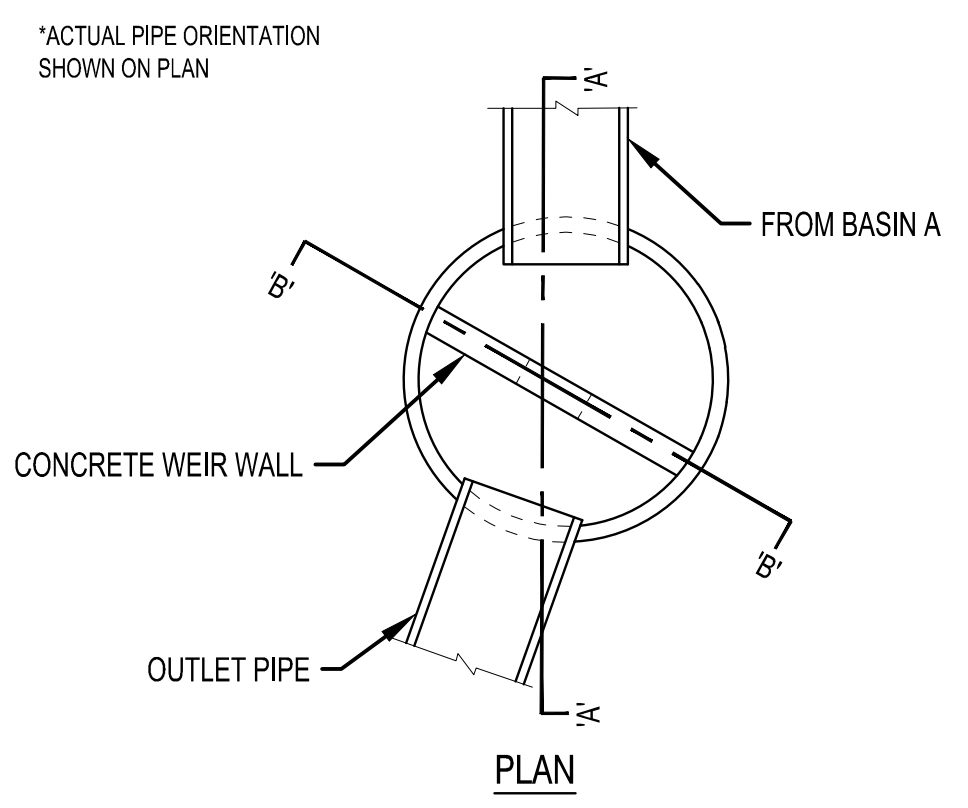
PRELIMINARY NOT FOR CONSTRUCTION



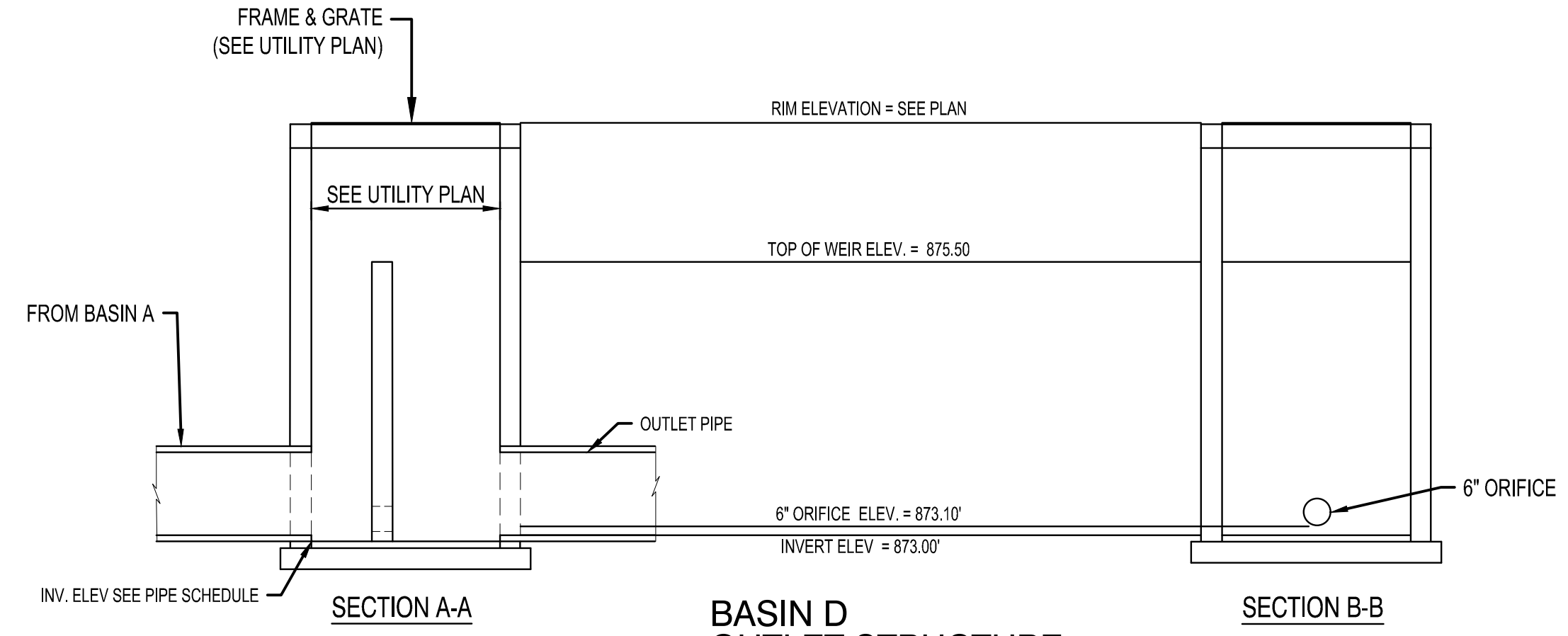
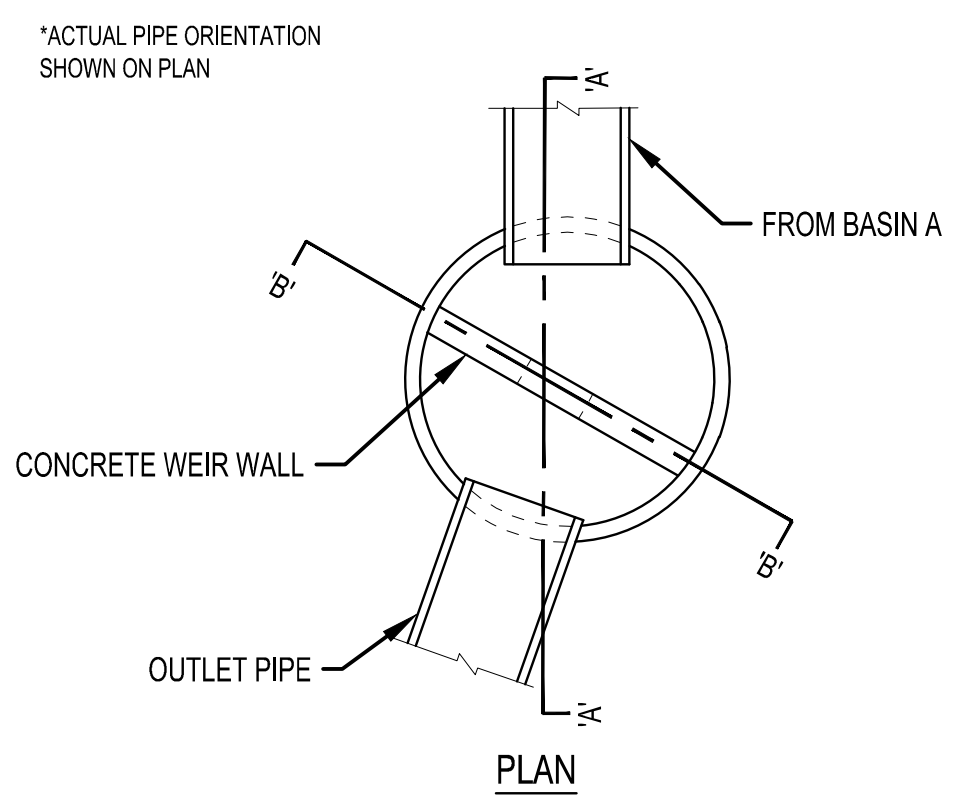
**BASIN A
OUTLET STRUCTURE**
NTS



**BASIN B
OUTLET STRUCTURE**
NTS



**BASIN C
OUTLET STRUCTURE**
NTS



**BASIN D
OUTLET STRUCTURE**
NTS

PLOT DATE: 11/16/2022 8:42 PM

FOR TREE PRESERVATION PLAN REFER TO SHEET C-511

REMOVAL LEGEND	
SYMBOL	DESCRIPTION
	REMOVE BITUMINOUS PAVEMENT
	REMOVE CONCRETE PAVEMENT
	REMOVE CONCRETE WALK
	REMOVE DECIDUOUS TREE (CLEAR AND GRUB)
	REMOVE CONIFEROUS TREE (CLEAR AND GRUB)

CONTRACTOR SHALL VERIFY EXISTING PAVEMENT SECTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES. PAVEMENT REMOVALS SHALL INCLUDE FULL DEPTH SAWCUT AND SECTION REMOVAL.



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REESE A. SUDELGTE

DATE 12/15/2022 LIC. NO. 54243

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DATE 12/15/2022 LIC. NO. 53748

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PROJECT
ANOKA RAMSEY ATHLETIC ASSOCIATION NEW DOME

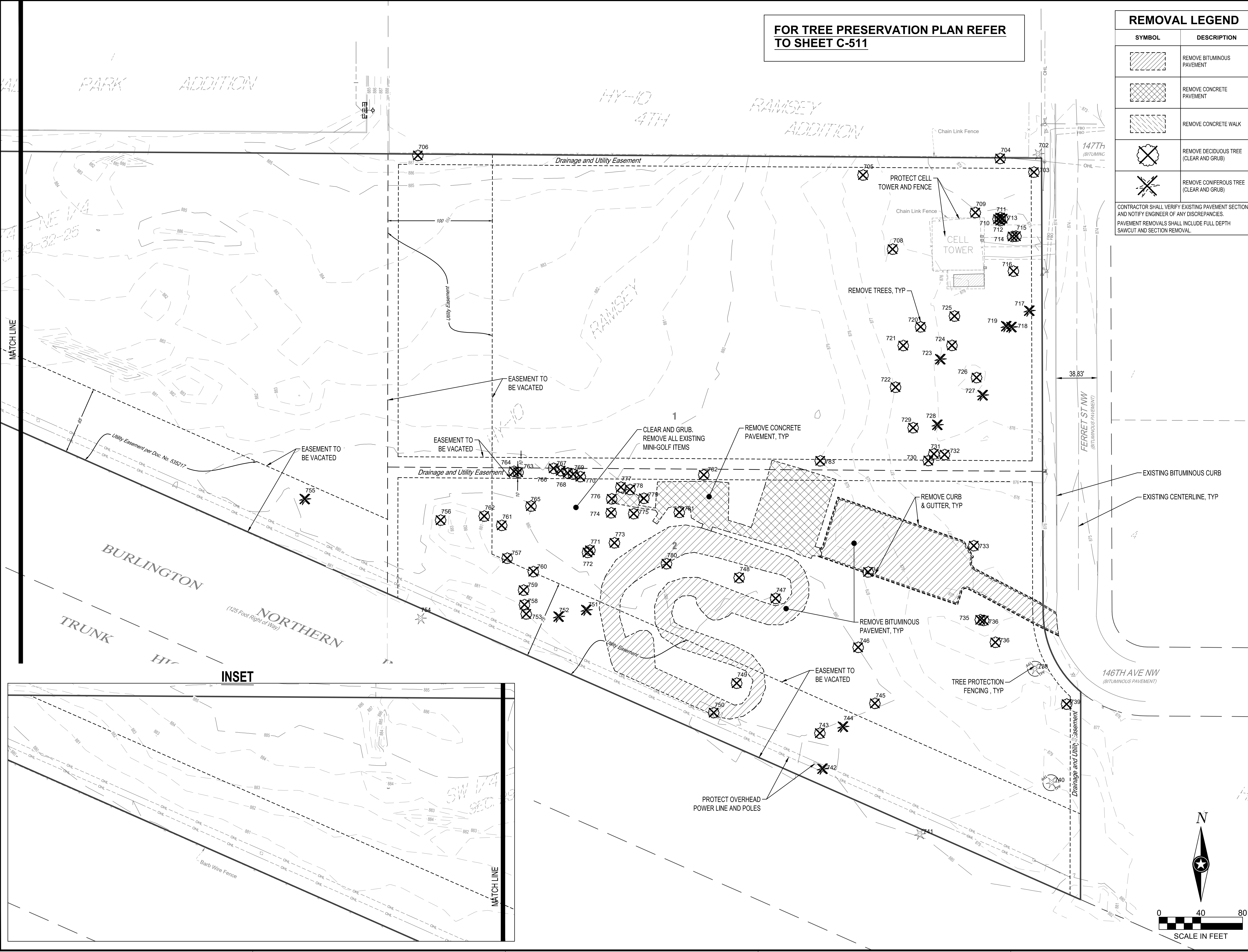
RAMSEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 22-26051
FILE NAME 26051 C2-EXIST
DRAWN BY AJR
DESIGNED BY AJR
REVIEWED BY RAS
ORIGINAL ISSUE DATE 12/16/2022
CLIENT PROJECT NO. -

TITLE
EXISTING SITE AND REMOVAL PLAN

SHEET
C2-10



PRELIMINARY NOT FOR CONSTRUCTION

PLOT DATE: 11/16/2022 8:43 PM



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PROJECT

**ANOKA RAMSEY
ATHLETIC
ASSOCIATION
NEW DOME**

RAMSEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

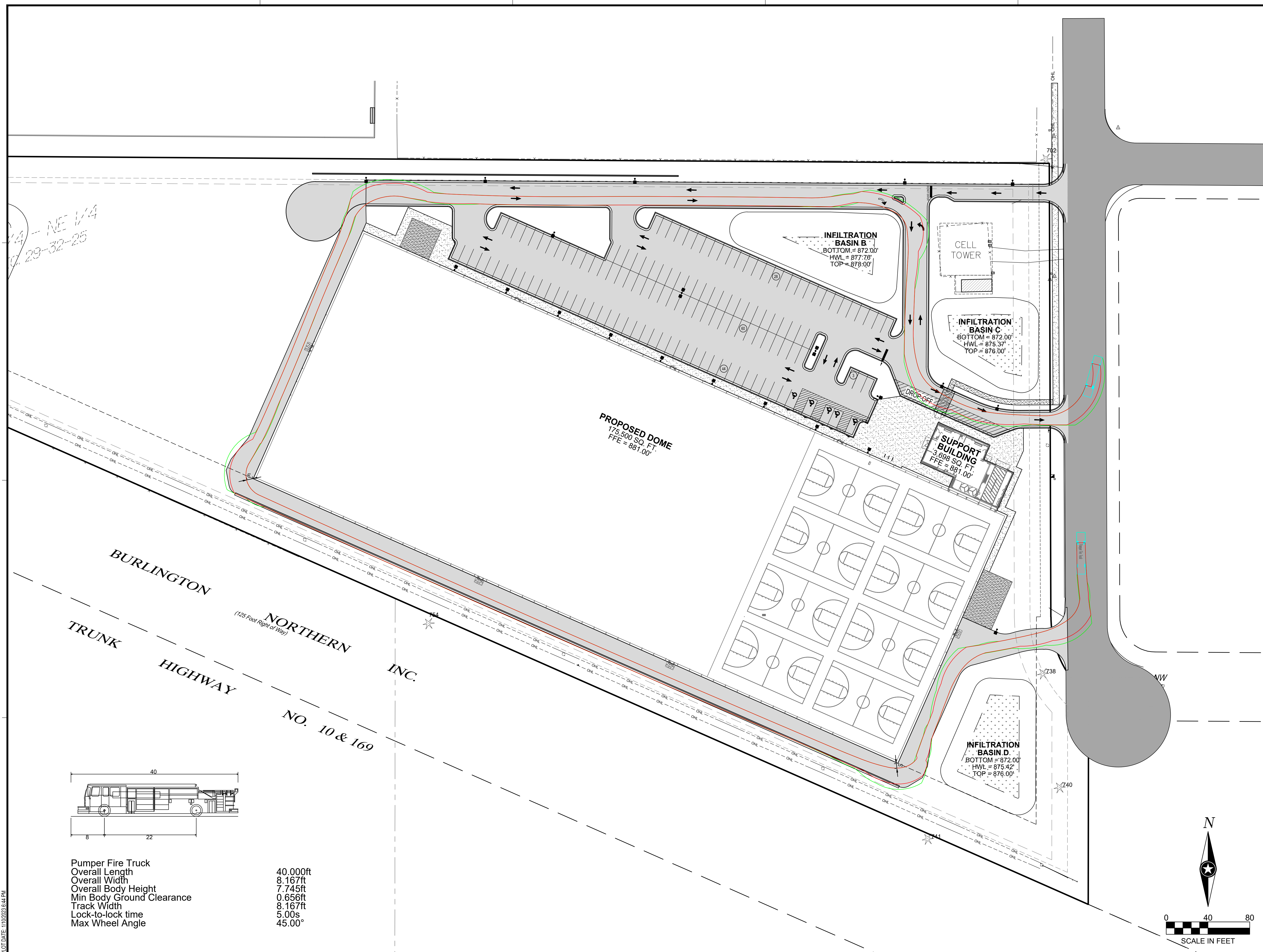
PROJECT NO. 22-26051
FILE NAME 26051 C3-TRUCK ROUTE
DRAWN BY AJR
DESIGNED BY AJR
REVIEWED BY RAS
ORIGINAL ISSUE DATE 12/16/2022
CLIENT PROJECT NO. -

TITLE

**FIRE ACCESS
ROUTE**

SHEET

C3-11



1/4 - NE 1/4
29-32-25

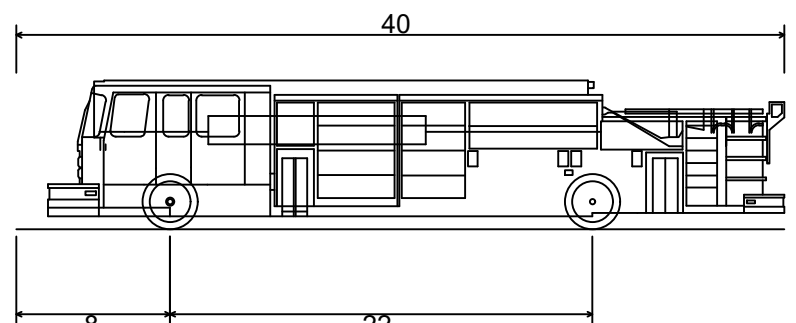
PROPOSED DOME
175,500 SQ. FT.
FFE = 881.00'

SUPPORT BUILDING
3,698 SQ. FT.
FFE = 881.00'

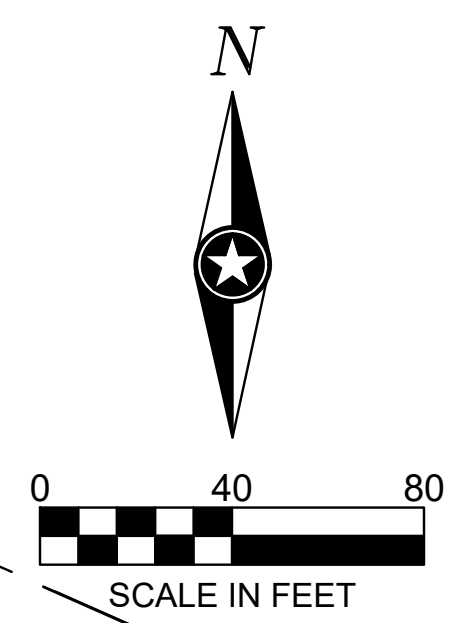
INFILTRATION BASIN B
BOTTOM = 872.00'
HWL = 877.76'
TOP = 878.00'

INFILTRATION BASIN C
BOTTOM = 872.00'
HWL = 875.37'
TOP = 876.00'

INFILTRATION BASIN D
BOTTOM = 872.00'
HWL = 875.42'
TOP = 876.00'



Pumper Fire Truck
Overall Length 40.000ft
Overall Width 8.167ft
Overall Body Height 7.745ft
Min Body Ground Clearance 0.656ft
Track Width 8.167ft
Lock-to-lock time 5.00s
Max Wheel Angle 45.00°



PLOT DATE: 11/02/2022 8:44 PM

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PROJECT
**ANOKA RAMSEY
ATHLETIC
ASSOCIATION
NEW DOME**

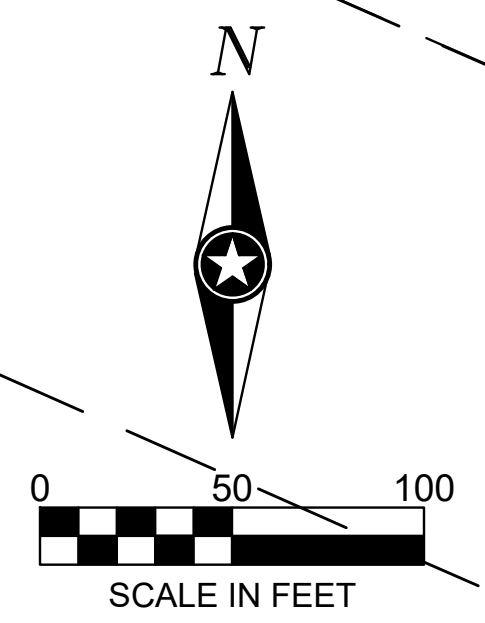
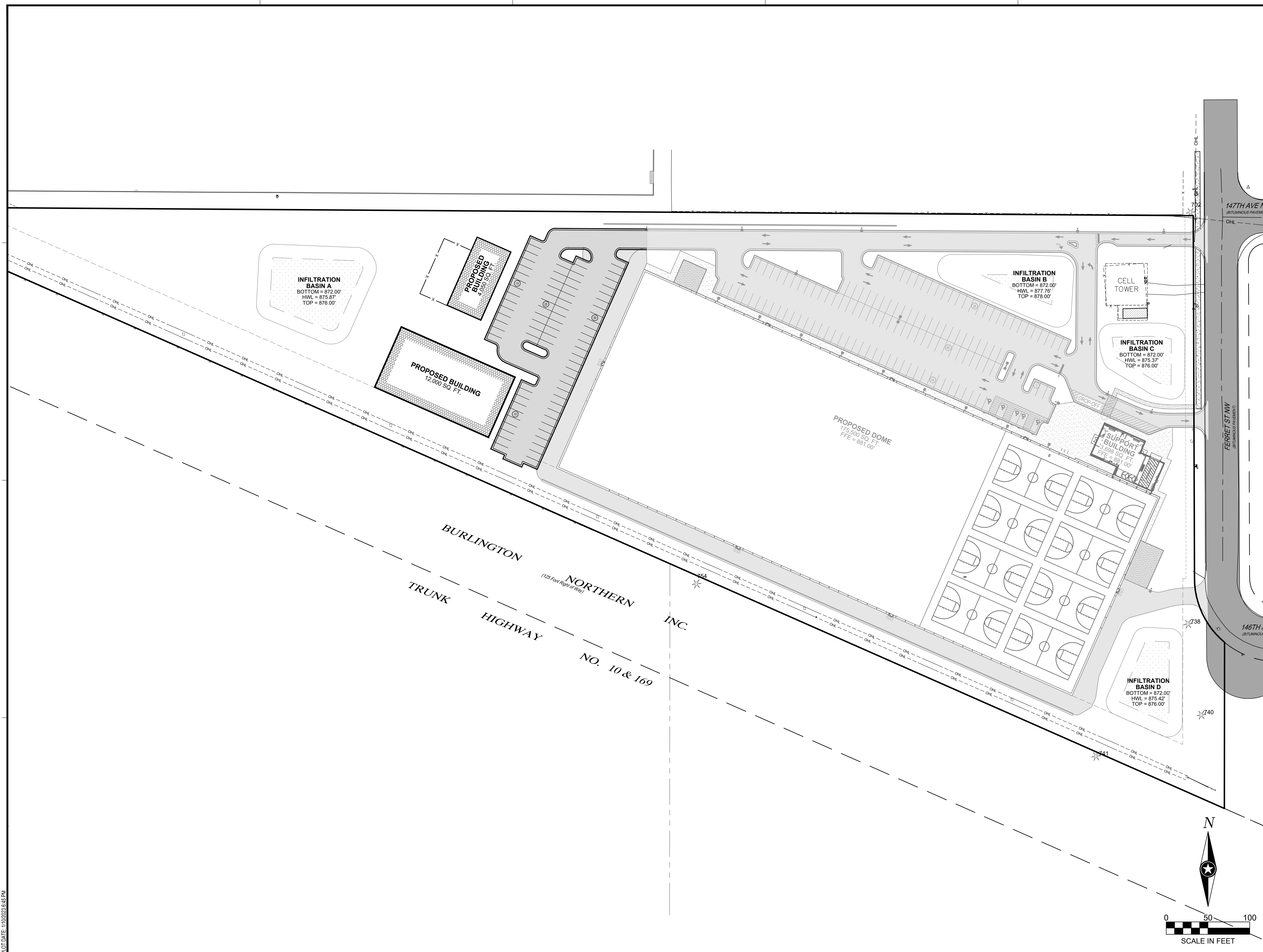
RAMSEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 22-26051
FILE NAME 26051 FUTURE SITE PHASE
DRAWN BY AJR
DESIGNED BY AJR
REVIEWED BY RAS
ORIGINAL ISSUE DATE 12/16/2022
CLIENT PROJECT NO. -

TITLE
**FUTURE PHASE
CONCEPT PLAN**

SHEET
1



PLOT DATE: 11/16/2022 8:45 PM

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PROJECT
ANOKA RAMSEY ATHLETIC ASSOCIATION NEW DOME

RAMSEY MINNESOTA

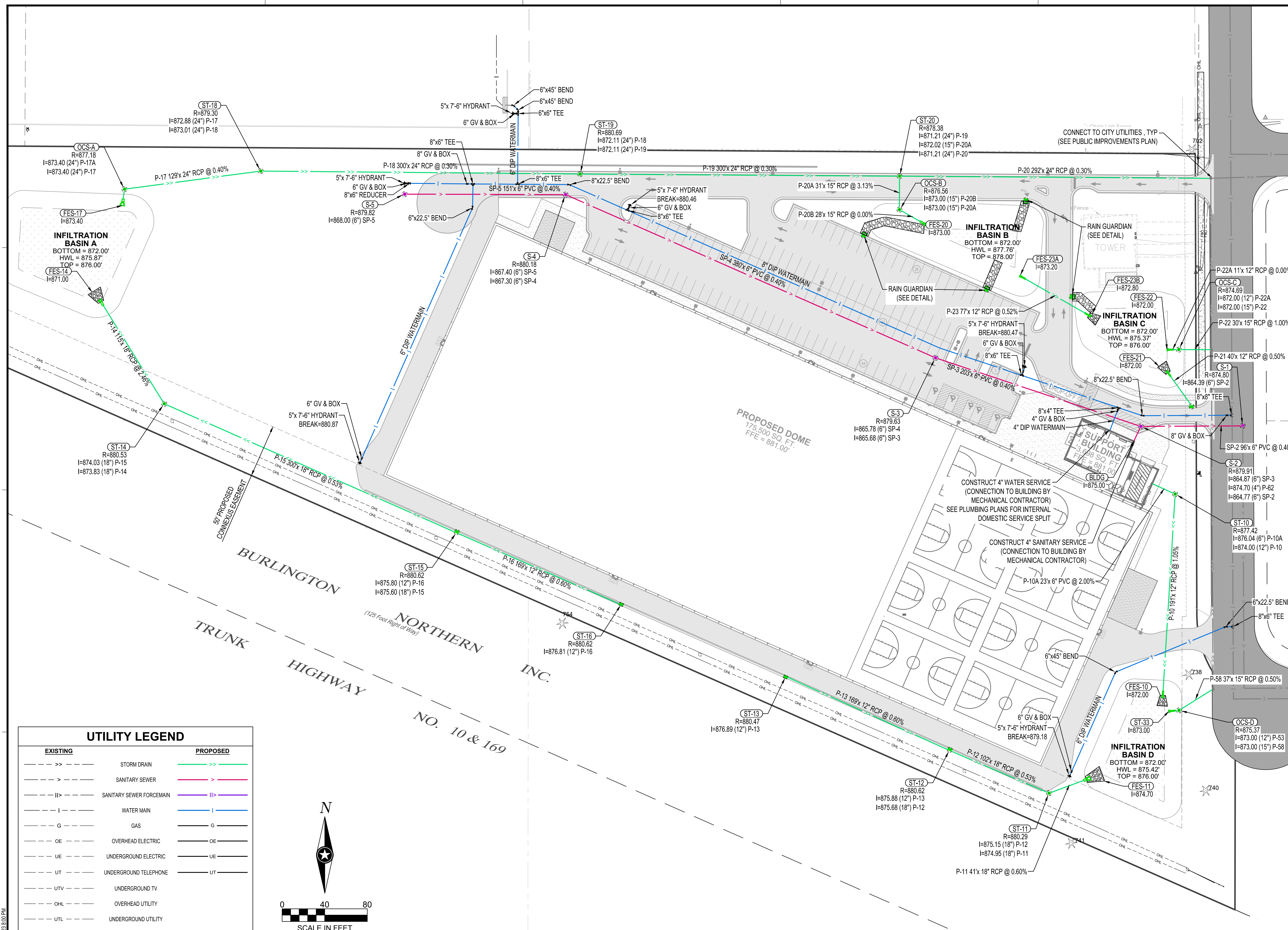
REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 22-26051
FILE NAME 26051 C3-UTILITY
DRAWN BY AJR
DESIGNED BY AJR
REVIEWED BY RAS
ORIGINAL ISSUE DATE 12/16/2022
CLIENT PROJECT NO. -

TITLE

UTILITY PLAN

SHEET **C3-20**

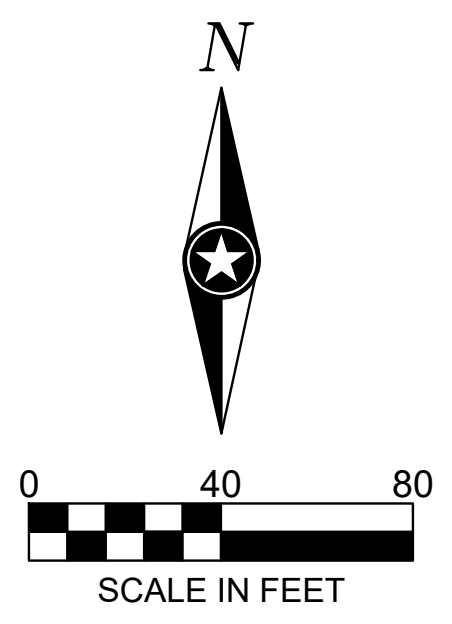


BURLINGTON TRUNK HIGHWAY NO. 10 & 169
NORTHERN INC. (125 Foot Right of Way)

UTILITY LEGEND

EXISTING	PROPOSED
--->---	--->---
--->---	--->---
--- ---	--- ---
--- ---	--- ---
---	---
---OE---	---OE---
---UE---	---UE---
---UT---	---UT---
---UTV---	---UTV---
---OHL---	---OHL---
---UTL---	---UTL---
---	---

NOTE:
CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES.



FERRET STREET IS PLANNED TO BE RECONSTRUCTED BY THE CITY. COORDINATE WITH CITY OF RAMSEY FOR ALL UTILITY CONNECTIONS

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PLOT DATE: 11/16/2022 8:00 PM



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PROJECT
ANOKA RAMSEY ATHLETIC ASSOCIATION NEW DOME

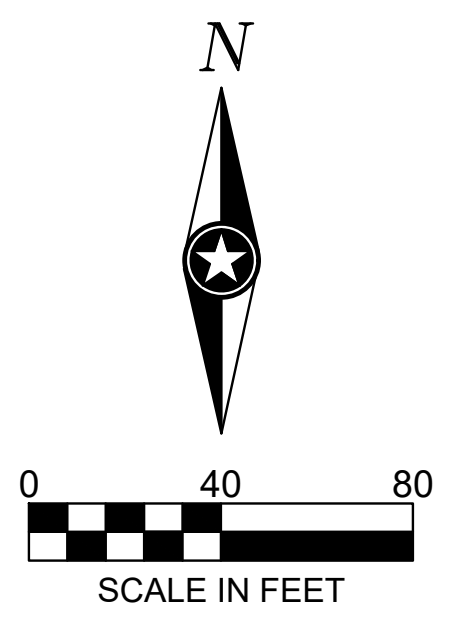
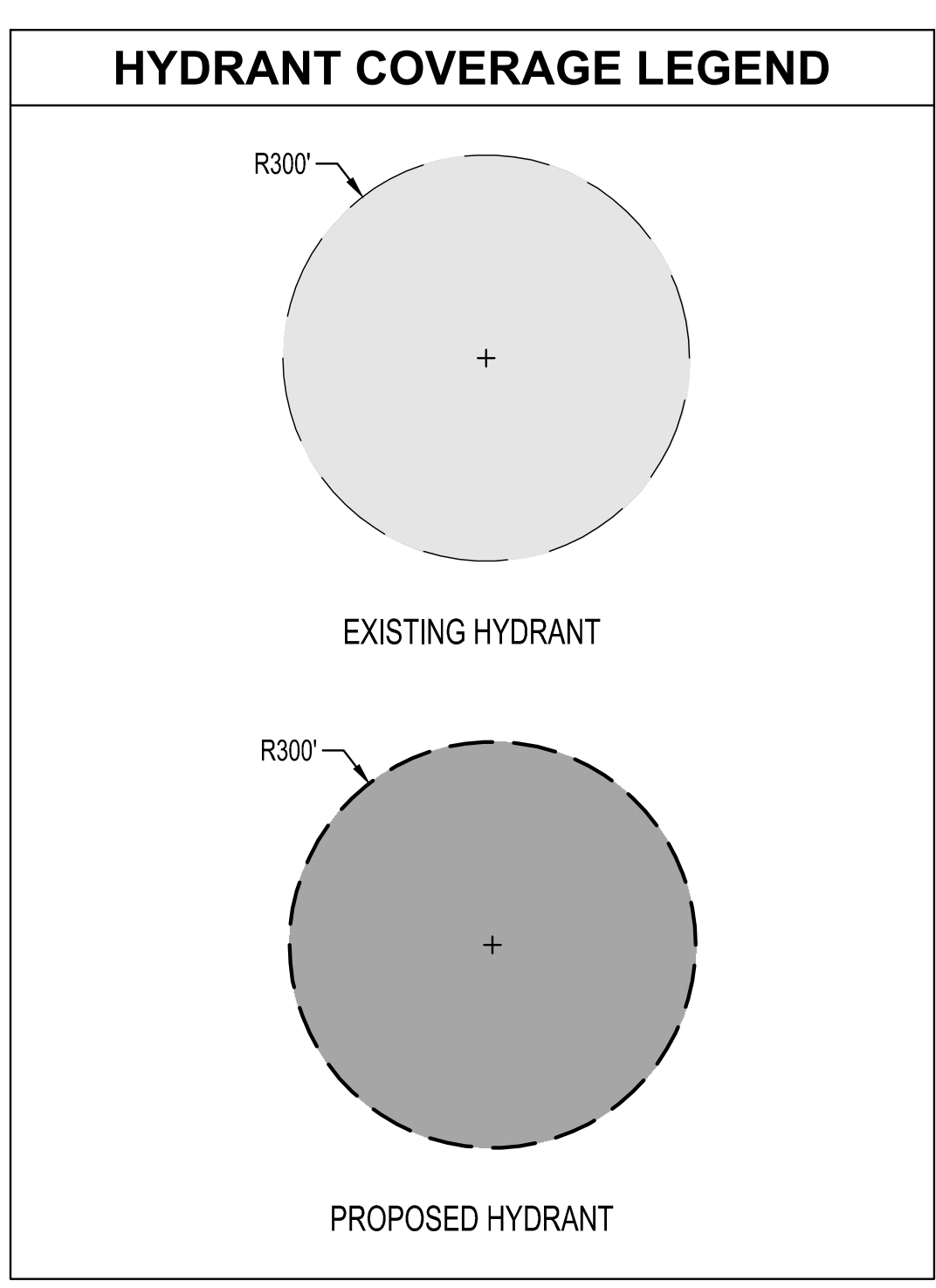
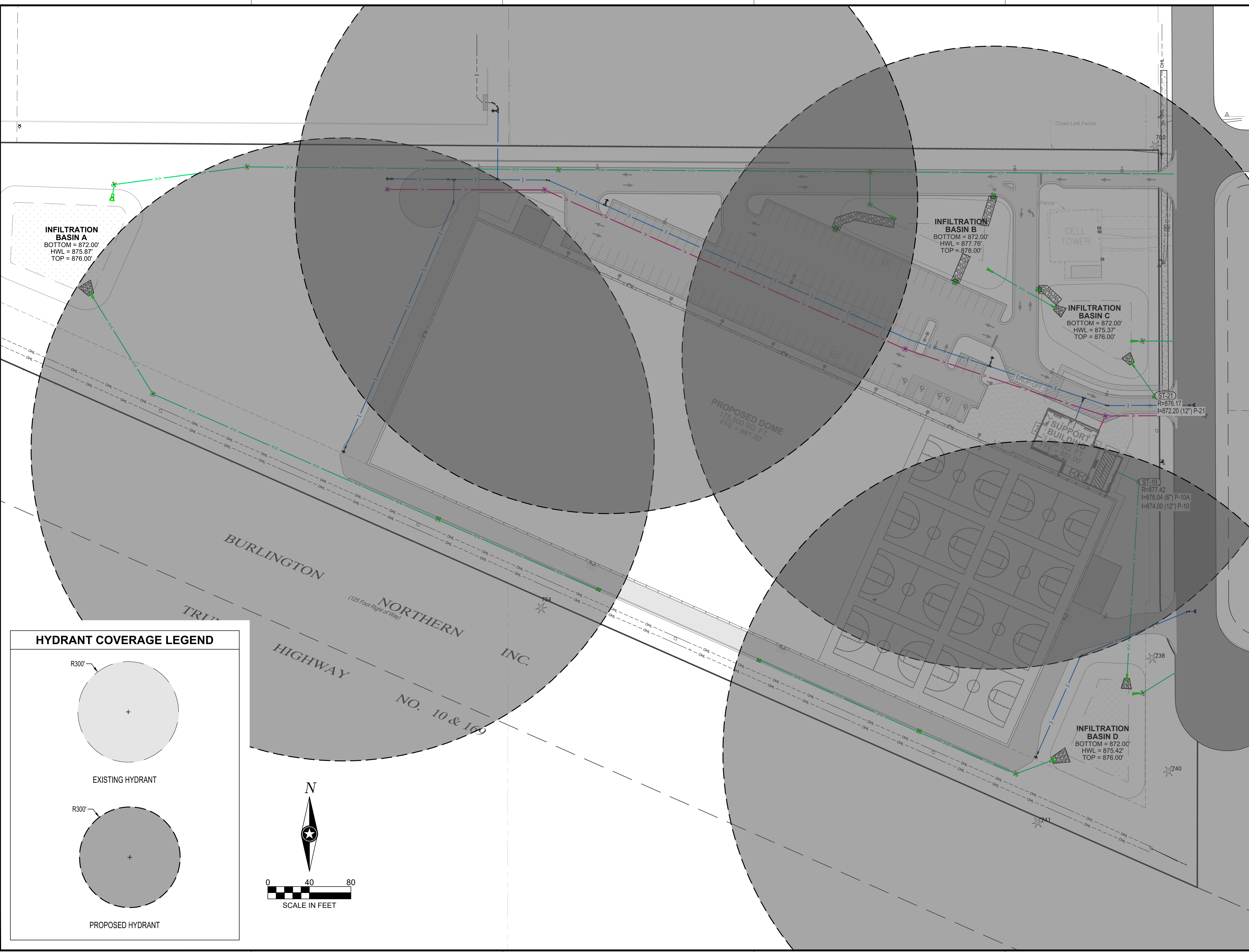
RAMSEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	22-26051
FILE NAME	26051 C3-HYDRANT
DRAWN BY	AJR
DESIGNED BY	AJR
REVIEWED BY	RAS
ORIGINAL ISSUE DATE	12/16/2022
CLIENT PROJECT NO.	-

TITLE
HYDRANT COVERAGE PLAN

SHEET
C3-21



PLOT DATE: 11/16/2022 8:01 PM

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PROJECT

ANOKA RAMSEY ATHLETIC ASSOCIATION NEW DOME

RAMSEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	22-26051
FILE NAME	26051 C3-UTILITY
DRAWN BY	AJR
DESIGNED BY	AJR
REVIEWED BY	RAS
ORIGINAL ISSUE DATE	12/16/2022
CLIENT PROJECT NO.	-

TITLE
UTILITY SCHEDULES

SHEET
C3-30

STORM DRAIN APRON SCHEDULE				
APRON NO.	APRON SIZE (IN)	APRON MATERIAL	INVERT ELEVATION	PIPE NO.
FES-11	18	RC	874.70	P-11
FES-14	18	RC	871.00	P-14
FES-17	24	RC	873.40	P-17A
FES-21	12	RC	872.00	P-21

STORM DRAIN STRUCTURE SCHEDULE								
STRUCTURE NO.	STRUCTURE TYPE	STRUCTURE SIZE (IN)	STRUCTURE MATERIAL	CASTING	PAY HEIGHT (LN FT)	* TOP OF CASTING ELEVATION	INVERT ELEVATION	OUTLET PIPE
OCS-A	MhDOT 4020	48 Ø	RC	NEENAH R-1670	3.98	877.18	873.20	P-17
ST-1	MhDOT 4020	48 Ø	RC	NEENAH R-3246R	2.48	876.83	874.35	
ST-10	MhDOT 4020	48 Ø	RC	NEENAH R-1670	3.42	877.42	874.00	P-10
ST-11	MhDOT 4020	48 Ø	RC	NEENAH R-1670	5.34	880.29	874.95	P-11
ST-12	MhDOT 4020	48 Ø	RC	NEENAH R-3067	4.94	880.62	875.68	P-12
ST-13	CATCH BASIN (TYPE 1)	36 x 24	RC	NEENAH R-3067	3.58	880.47	876.89	P-13
ST-14	MhDOT 4020	48 Ø	RC	NEENAH R-1670	6.70	880.53	873.83	P-14
ST-15	MhDOT 4020	48 Ø	RC	NEENAH R-3067	5.02	880.62	875.60	P-15
ST-16	CATCH BASIN (TYPE 1)	36 x 24	RC	NEENAH R-3067	4.08	880.62	876.54	P-16
ST-18	MhDOT 4020	48 Ø	RC	NEENAH R-1670	6.61	879.30	872.68	P-18
ST-19	MhDOT 4020	48 Ø	RC	NEENAH R-1670	8.78	880.69	871.91	P-19
ST-20	MhDOT 4020	48 Ø	RC	NEENAH R-1670	7.37	878.38	871.01	P-20

STORM DRAIN PIPE SCHEDULE									
PIPE NO.	DRAIN FROM	INLET ELEVATION	DRAIN TO	OUTLET ELEVATION	PIPE SIZE (IN)	MATERIAL	PIPE CLASS	PIPE GRADE	PIPE LENGTH (FT)
P-10	ST-10	874.00	FES-10	872.00	12	RCP	RCP	1.05%	191
P-10A	ST-50	876.50	ST-10	876.04	6	PVC	PVC	2.00%	23
P-11	ST-11	874.95	FES-11	874.70	18	RCP	RCP	0.60%	41
P-12	ST-12	875.68	ST-11	875.15	18	RCP	RCP	0.53%	102
P-13	ST-13	876.89	ST-12	875.88	12	RCP	RCP	0.60%	169
P-14	ST-14	873.83	FES-14	871.00	18	RCP	RCP	2.46%	115
P-15	ST-15	875.60	ST-14	874.03	18	RCP	RCP	0.53%	300
P-16	ST-16	876.81	ST-15	875.80	12	RCP	RCP	0.60%	169
P-17	OCS-A	873.40	ST-18	872.88	24	RCP	RCP	0.40%	129
P-17A	FES-17	873.40	OCS-A	873.40	24	RCP	RCP	0.00%	16
P-18	ST-18	873.01	ST-19	872.11	24	RCP	RCP	0.30%	300
P-19	ST-19	872.11	ST-20	871.21	24	RCP	RCP	0.30%	300
P-20	ST-20	871.21		870.34	24	RCP	RCP	0.30%	292
P-20A	OCS-8	873.00	ST-20	872.02	15	RCP	RCP	3.13%	31
P-20B	FES-20	873.00	OCS-8	873.00	15	RCP	RCP	0.00%	28
P-21	ST-21	872.20	FES-21	872.00	12	RCP	RCP	0.50%	40
P-22	OCS-C	872.00		871.70	15	RCP	RCP	1.00%	30
P-22A	FES-22	872.00	OCS-C	872.00	12	RCP	RCP	0.00%	11
P-23	FES-23A	873.20	FES-23B	872.80	12	RCP	RCP	0.52%	77
P-53	ST-33	873.00	OCS-D	873.00	12	RCP	RCP	0.00%	10
P-58	OCS-D	873.00		872.81	15	RCP	RCP	0.50%	37

SANITARY SEWER STRUCTURE SCHEDULE									
STRUCTURE NO.	STRUCTURE TYPE	STRUCTURE SIZE (IN)	STRUCTURE MATERIAL	CASTING	PAY HEIGHT (LN FT)	TOP OF CASTING ELEVATION	INVERT ELEVATION	OUTLET PIPE	
S-1	MhDOT 4007C	48 Ø	RC	MINDOT 700-7 SELF SEAL 716 COVER CONCEALED PICK HOLES	10.42	874.80	864.39		
S-2	MhDOT 4007C	48 Ø	RC	MINDOT 700-7 SELF SEAL 716 COVER CONCEALED PICK HOLES	15.14	879.91	864.77	SP-2	
S-3	MhDOT 4007C	48 Ø	RC	MINDOT 700-7 SELF SEAL 716 COVER CONCEALED PICK HOLES	13.95	879.63	865.68	SP-3	
S-4	MhDOT 4007C	48 Ø	RC	MINDOT 700-7 SELF SEAL 716 COVER CONCEALED PICK HOLES	12.88	880.18	867.30	SP-4	
S-5	MhDOT 4007C	48 Ø	RC	MINDOT 700-7 SELF SEAL 716 COVER CONCEALED PICK HOLES	11.82	879.82	868.00	SP-5	

SANITARY SEWER PIPE SCHEDULE									
PIPE NO.	DRAIN FROM	INLET ELEVATION	DRAIN TO	OUTLET ELEVATION	PIPE SIZE	MATERIAL	PIPE CLASS	PIPE GRADE	PIPE LENGTH (FT)
P-62	BLDG	875.00	S-2	874.70	4"	PVC	SDR-35	2.00%	15
SP-2	S-2	864.77	S-1	864.39	6"	PVC	SDR-35	0.40%	96
SP-3	S-3	865.68	S-2	864.87	6"	PVC	SDR-35	0.40%	203
SP-4	S-4	867.30	S-3	865.78	6"	PVC	SDR-35	0.40%	380
SP-5	S-5	868.00	S-4	867.40	6"	PVC	SDR-35	0.40%	151

WATERMAIN SCHEDULE		
PIPE TYPE	** PIPE LENGTH (FT)	PIPE SIZE (IN)
DIP	4	6
DIP	2	6
DIP	2	6
DIP	4	6
DIP	101	6
DIP	111	6
DIP	4	6
DIP	257	6
DIP	5	8
DIP	22	6
DIP	3	6
DIP	2	4
DIP	19	4
DIP	53	8
DIP	48	8
DIP	41	8
DIP	2	6
DIP	2	6
DIP	5	6
DIP	2	6
DIP	65	6
DIP	6	6
DIP	2	6
DIP	2	6
DIP	81	6

WATERMAIN SCHEDULE		
PIPE TYPE	** PIPE LENGTH (FT)	PIPE SIZE (IN)
DIP	320	8
DIP	59	8
DIP	79	6
DIP	23	6
DIP	95	6
DIP	4	6

WATERMAIN FITTING SCHEDULE		
TYPE	SIZE	WEIGHT (LBS)
BEND	6"x45"	36
BEND	6"x22.5"	31
TEE	8"x6"	79
TEE	8"x6"	79
BEND	6"x45"	36
BEND	6"x45"	36
???	6	???
TEE	8"x6"	79
BEND	6"x22.5"	31
REDUCER	8"x6"	39
BEND	8"x22.5"	50
TEE	8"x6"	79
TEE	8"x6"	79
TEE	8"x6"	79
TEE	8"x8"	90
BEND	8"x22.5"	50

HYDRANT & VALVE SCHEDULE		
TYPE	SIZE	NOTES
GV & BOX	4"	4in Gate Valve
GV & BOX	8"	8in Gate Valve
GV & BOX	6"	6in Gate Valve
GV & BOX	6"	6in Gate Valve
GV & BOX	8"	8in Gate Valve
GV & BOX	6"	6in Gate Valve
GV & BOX	6"	6in Gate Valve
GV & BOX	6"	6in Gate Valve
GV & BOX	6"	6in Gate Valve
GV & BOX	6"	6in Gate Valve
HYDRANT	5"x 7'-6"	Hydrant 7-6"
HYDRANT	5"x 7'-6"	Hydrant 7-6"
HYDRANT	5"x 7'-6"	Hydrant 7-6"
HYDRANT	5"x 7'-6"	Hydrant 7-6"
HYDRANT	5"x 7'-6"	Hydrant 7-6"

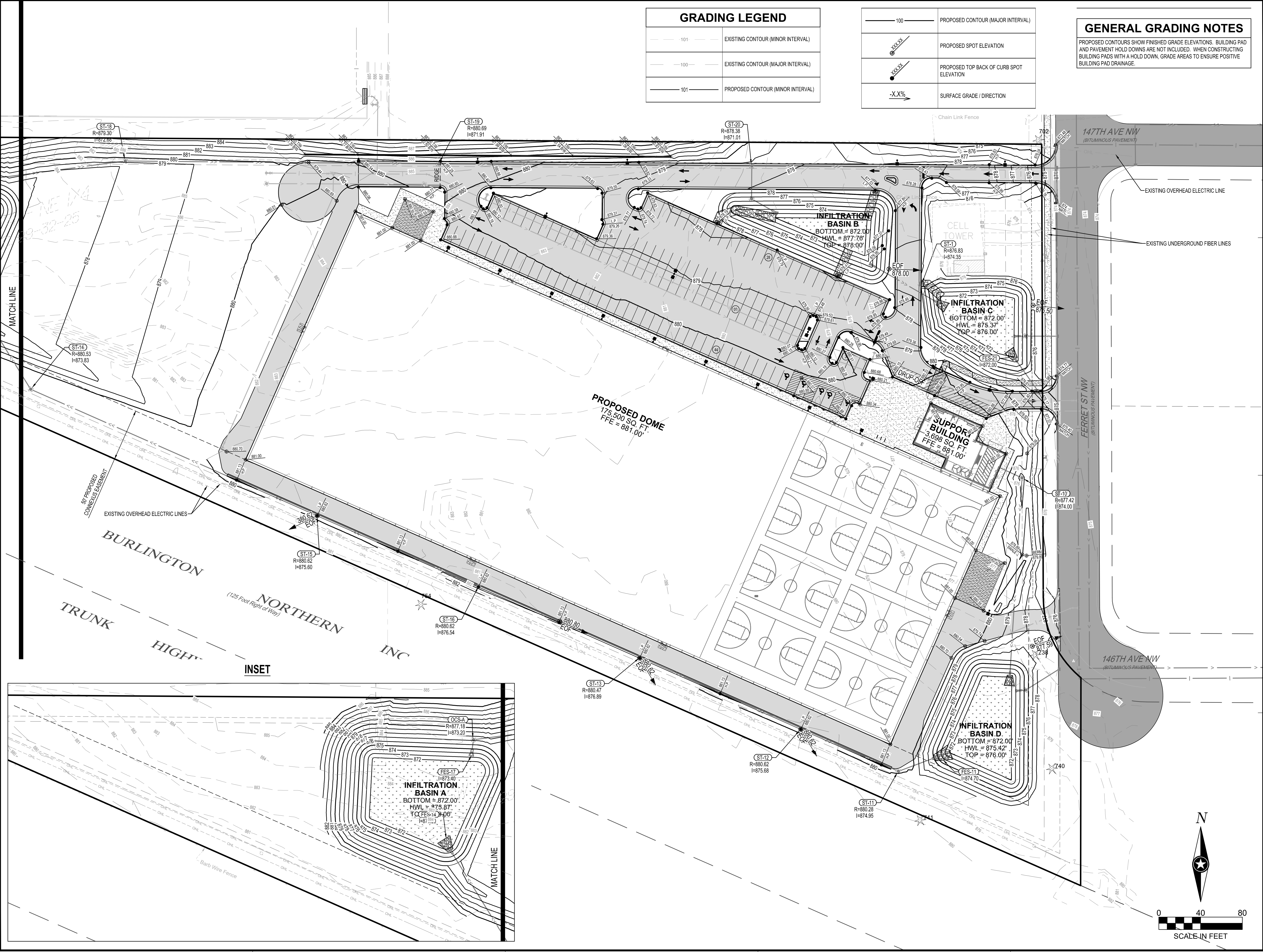
PLOT DATE: 11/16/2022 8:01 PM

GRADING LEGEND	
	EXISTING CONTOUR (MINOR INTERVAL)
	EXISTING CONTOUR (MAJOR INTERVAL)
	EXISTING CONTOUR (MINOR INTERVAL)
	PROPOSED CONTOUR (MINOR INTERVAL)

	PROPOSED CONTOUR (MAJOR INTERVAL)
	PROPOSED SPOT ELEVATION
	PROPOSED TOP BACK OF CURB SPOT ELEVATION
	SURFACE GRADE / DIRECTION

GENERAL GRADING NOTES

PROPOSED CONTOURS SHOW FINISHED GRADE ELEVATIONS. BUILDING PAD AND PAVEMENT HOLD DOWNS ARE NOT INCLUDED. WHEN CONSTRUCTING BUILDING PADS WITH A HOLD DOWN, GRADE AREAS TO ENSURE POSITIVE BUILDING PAD DRAINAGE.



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REESE A. SUDELGTGE

DATE: 12/15/2022 LIC. NO. 54243

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MITCHELL R. WORKMON

DATE: 12/15/2022 LIC. NO. 53748

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PROJECT
ANOKA RAMSEY ATHLETIC ASSOCIATION NEW DOME

RAMSEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 22-26051
 FILE NAME 26051 C4-GRADE
 DRAWN BY AJR
 DESIGNED BY AJR
 REVIEWED BY RAS
 ORIGINAL ISSUE DATE 12/16/2022
 CLIENT PROJECT NO. -

TITLE
OVERALL GRADING PLAN

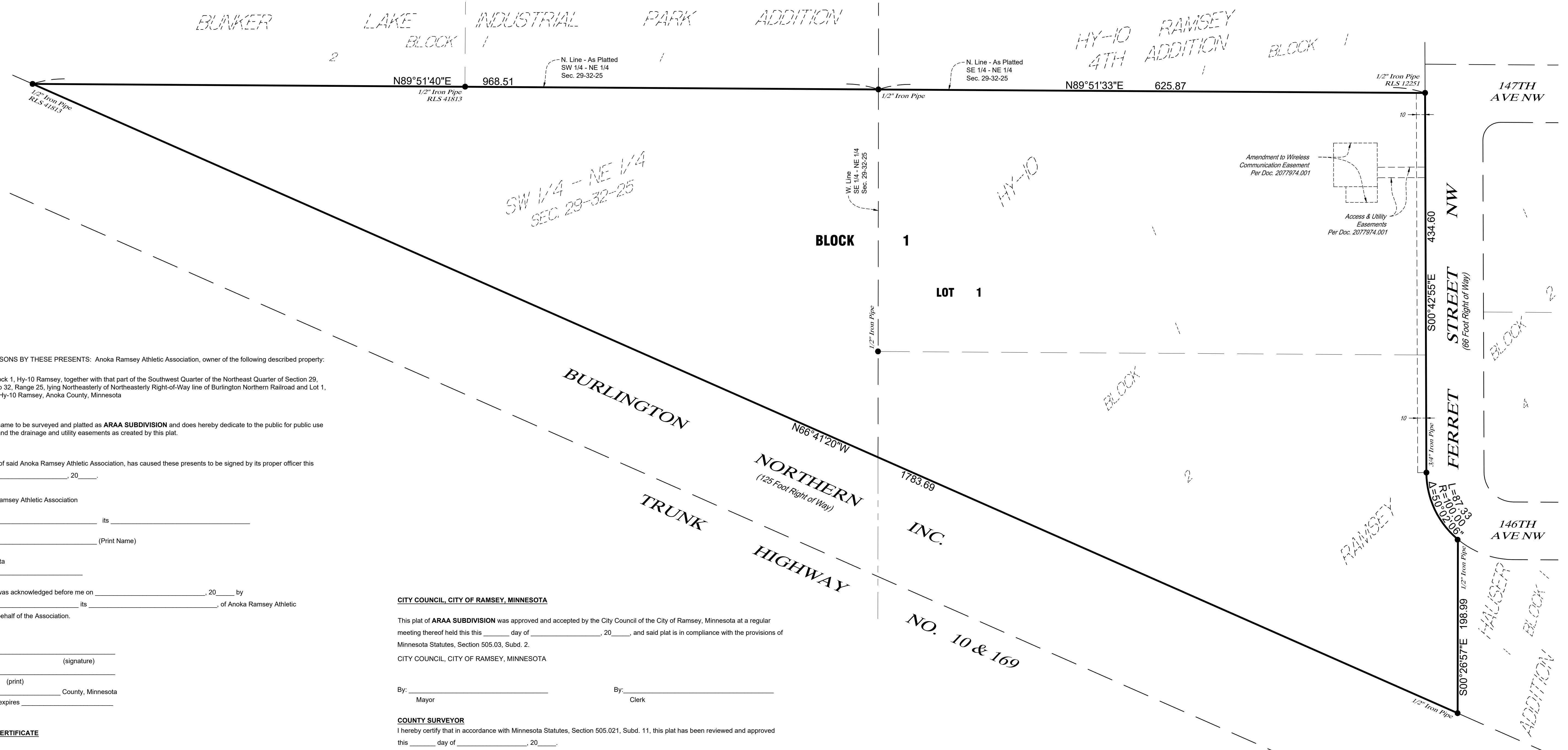
SHEET
C4-10

PLOT DATE: 11/02/2022 8:47 PM

PRELIMINARY NOT FOR CONSTRUCTION

ARAA SUBDIVISION

City of Ramsey
County of Anoka
Section 29, Township 32, Range 25



KNOW ALL PERSONS BY THESE PRESENTS: Anoka Ramsey Athletic Association, owner of the following described property:

Lot 2, Block 1, Hy-10 Ramsey, together with that part of the Southwest Quarter of the Northeast Quarter of Section 29, Township 32, Range 25, lying Northeasterly of Northeasterly Right-of-Way line of Burlington Northern Railroad and Lot 1, Block 1, Hy-10 Ramsey, Anoka County, Minnesota

Has caused the same to be surveyed and platted as **ARAA SUBDIVISION** and does hereby dedicate to the public for public use the public ways and the drainage and utility easements as created by this plat.

In witness whereof said Anoka Ramsey Athletic Association, has caused these presents to be signed by its proper officer this _____ day of _____, 20____.

Signed: Anoka Ramsey Athletic Association

_____, its _____
(Print Name)

State of Minnesota
County of _____

This instrument was acknowledged before me on _____, 20____ by _____ its _____ of Anoka Ramsey Athletic Association, on behalf of the Association.

(signature)

(print)

Notary Public _____ County, Minnesota
My Commission expires _____

SURVEYOR'S CERTIFICATE

I Daniel L. Stueber do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 20____.

Daniel L. Stueber, Licensed Land Surveyor
Minnesota License No. 43110

State of Minnesota
County of Blue Earth

This instrument was acknowledged before me on _____, 20____ by Daniel L. Stueber.

(signature)
Kent A. Hays
Notary Public, Blue Earth County, Minnesota
My Commission expires Jan. 31, 2025

CITY COUNCIL, CITY OF RAMSEY, MINNESOTA

This plat of **ARAA SUBDIVISION** was approved and accepted by the City Council of the City of Ramsey, Minnesota at a regular meeting thereof held this _____ day of _____, 20____, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

CITY COUNCIL, CITY OF RAMSEY, MINNESOTA

By: _____ Mayor
By: _____ Clerk

COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this _____ day of _____, 20____.

By: _____
Charles F. Gitzen
Anoka County Surveyor

COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20____ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this _____ day of _____, 20____.

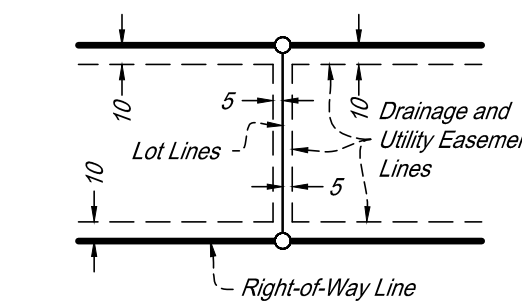
Property Tax Administrator
By: _____ Deputy

COUNTY RECORDER/REGISTRAR OF TITLES COUNTY OF ANOKA, STATE OF MINNESOTA

I hereby certify that this plat of **ARAA SUBDIVISION** was filed in the office of the County Recorder/Registrar of Titles for public record on this _____ day of _____, 20____, at _____ o'clock _____ M. and was duly recorded as Document Number _____.

County Recorder/Registrar of Titles
By: _____ Deputy

Drainage and Utility Easements are shown thus:

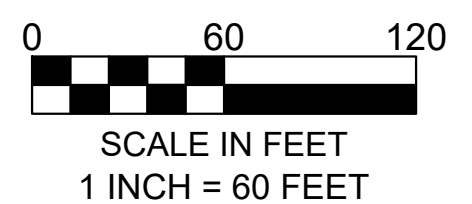


Being 5 feet in width and adjoining lot lines and being 10 feet in width and adjoining right - of - way lines and rear lot lines, unless otherwise indicated on the plat.

BEARING NOTE:
For the purposes of this plat, the orientation of this bearing system is based on the plat of Hy-10 Ramsey.

LEGEND

● Found Iron Monument



DRAFT

OWNER/DEVELOPER:
Anoka Ramsey Athletic Association
PO Box 265
Anoka, MN 55303

SURVEYOR:
ISG
115 E. Hickory Street Suite 300
Mankato, MN 56001
(507)-387-6651

ISG



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PROJECT

**ANOKA RAMSEY
ATHLETIC
ASSOCIATION
NEW DOME**

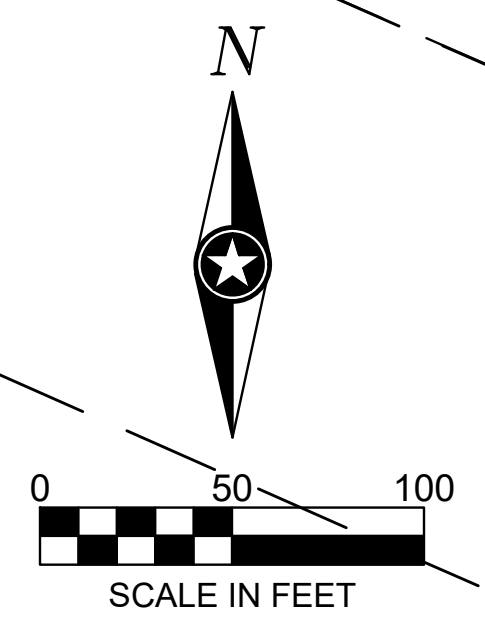
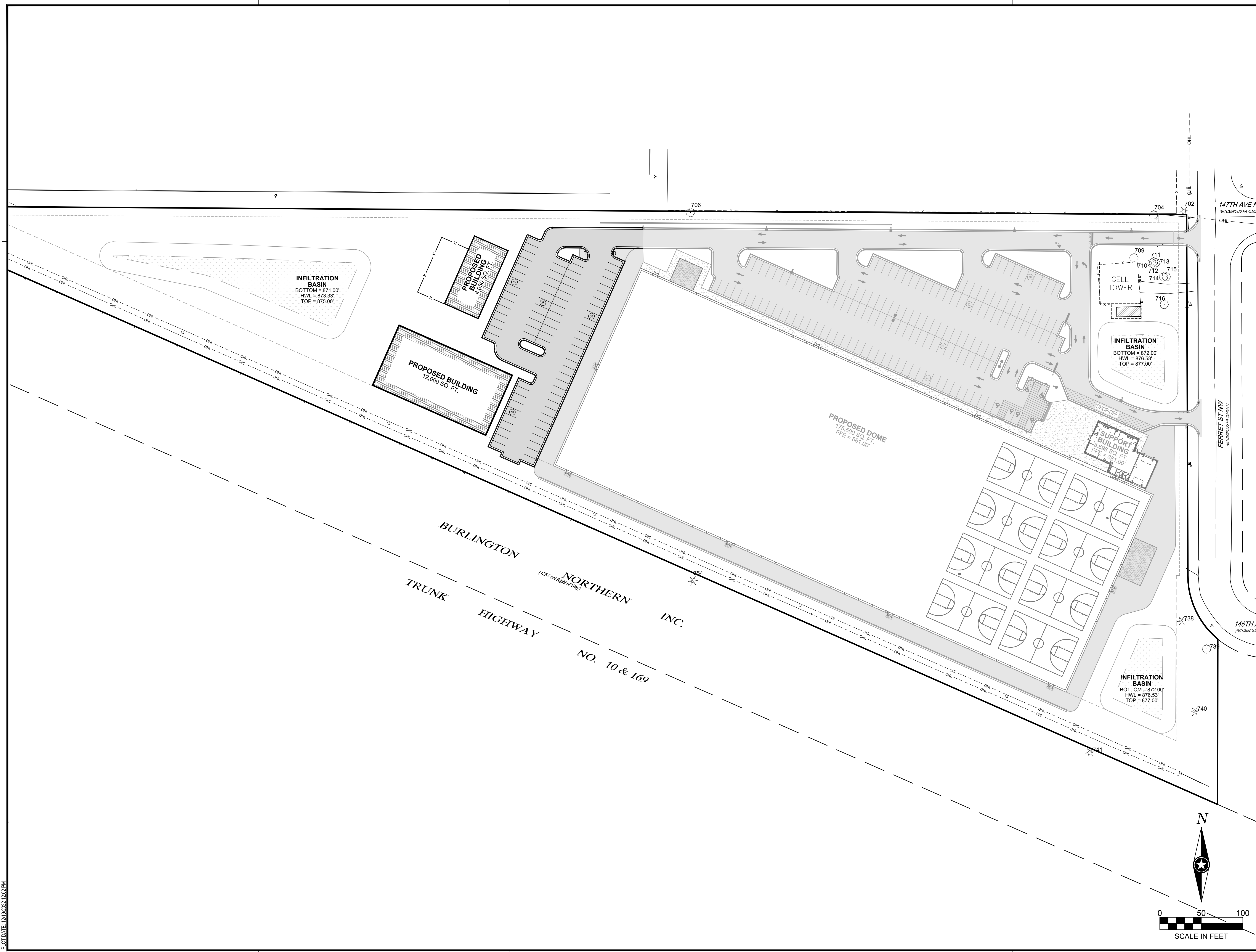
RAMSEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	22-26051
FILE NAME	26051 FUTURE SITE PHASE
DRAWN BY	---
DESIGNED BY	---
REVIEWED BY	---
ORIGINAL ISSUE DATE	---/---/---
CLIENT PROJECT NO.	-

TITLE
**FUTURE PHASE
CONCEPT PLAN**

SHEET
1



PLOT DATE: 12/15/2022 12:02 PM

PRELIMINARY NOT FOR CONSTRUCTION

FOR TREE PRESERVATION PLAN REFER TO SHEET C-511

REMOVAL LEGEND	
SYMBOL	DESCRIPTION
	REMOVE BITUMINOUS PAVEMENT
	REMOVE CONCRETE PAVEMENT
	REMOVE CONCRETE WALK
	REMOVE DECIDUOUS TREE (CLEAR AND GRUB)
	REMOVE CONIFEROUS TREE (CLEAR AND GRUB)

CONTRACTOR SHALL VERIFY EXISTING PAVEMENT SECTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES. PAVEMENT REMOVALS SHALL INCLUDE FULL DEPTH SAWCUT AND SECTION REMOVAL.



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PROJECT
ANOKA RAMSEY ATHLETIC ASSOCIATION NEW DOME

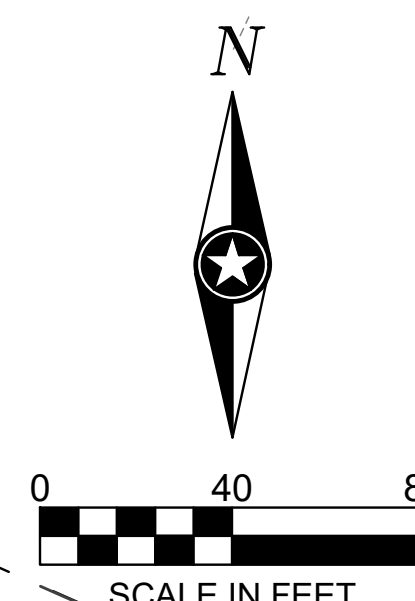
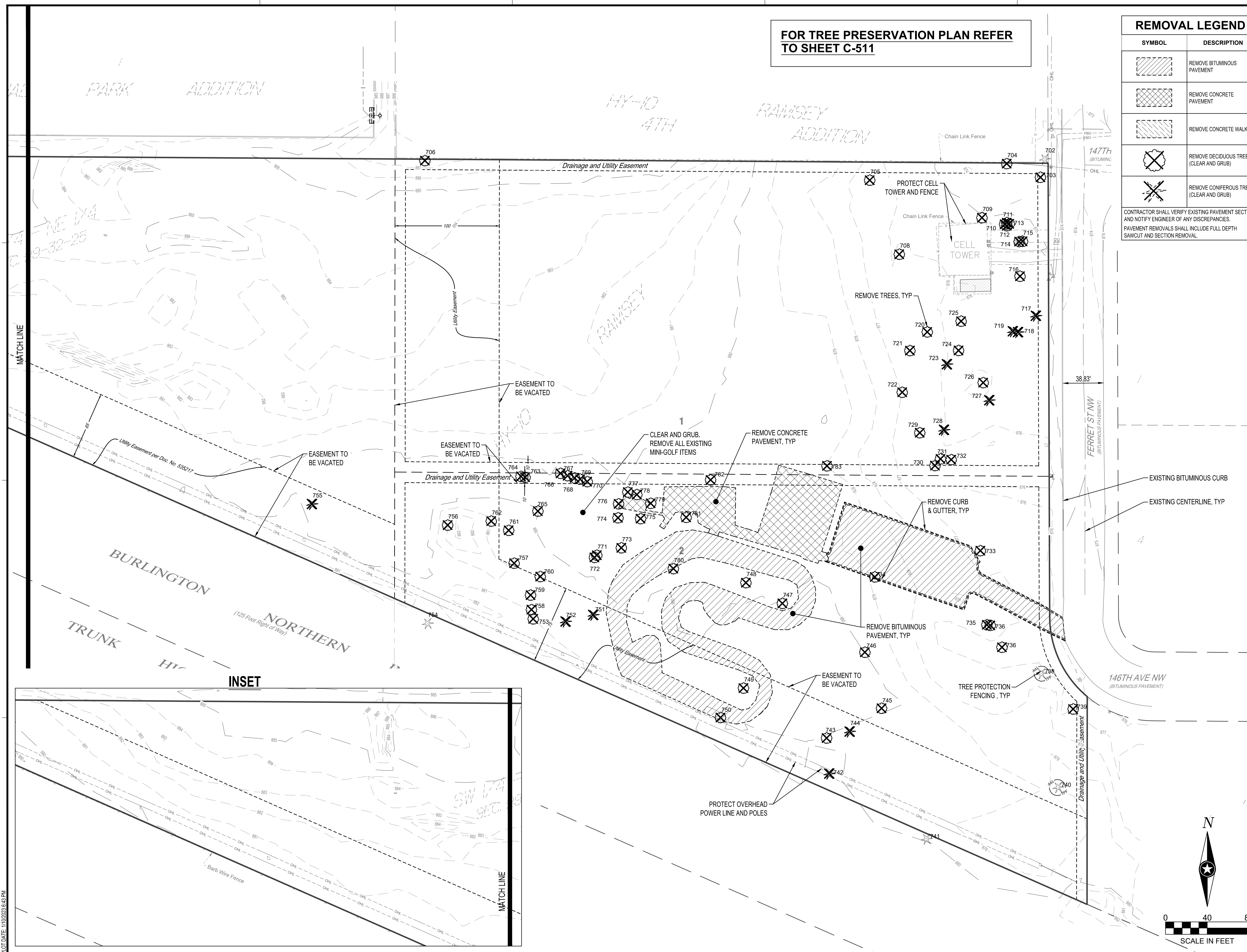
RAMSEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 22-26051
 FILE NAME 26051 C2-EXIST
 DRAWN BY AJR
 DESIGNED BY AJR
 REVIEWED BY RAS
 ORIGINAL ISSUE DATE 12/16/2022
 CLIENT PROJECT NO. -

TITLE
EXISTING SITE AND REMOVAL PLAN

SHEET
C2-10



PLOT DATE: 11/02/2022 8:43 PM

PRELIMINARY NOT FOR CONSTRUCTION

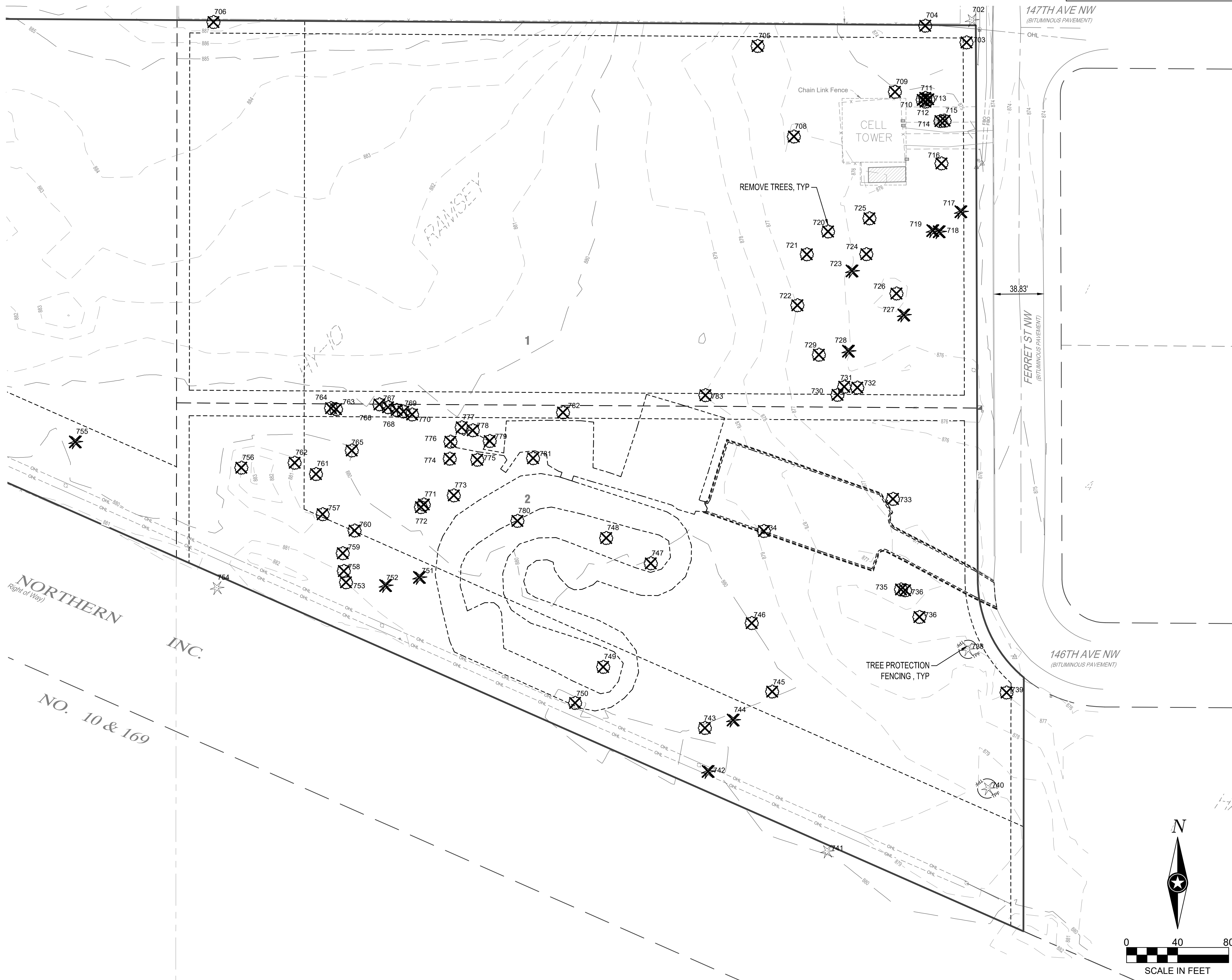
PT	TYPE	DIA	CONDITION	STATUS	REASON FOR REMOVAL
702	WHITE SPRUCE	8"	GOOD	REMAIN	-
703	SIBERIAN ELM	9"	POOR	REMOVE	INVASIVE
704	SIBERIAN ELM	8"	GOOD	REMOVE	INVASIVE
705	SIBERIAN ELM	11"	FAIR	REMOVE	INVASIVE
706	SIBERIAN ELM	15"	GOOD	REMOVE	INVASIVE
707	BOXELDER	16"	GOOD	REMAIN	-
708	SIBERIAN ELM	12"	FAIR	REMOVE	INVASIVE
709	SIBERIAN ELM	9"	GOOD	REMOVE	INVASIVE
710	SIBERIAN ELM	13"	FAIR	REMOVE	INVASIVE
711	SIBERIAN ELM	11"	FAIR	REMOVE	INVASIVE
712	SIBERIAN ELM	8"	FAIR	REMOVE	INVASIVE
713	SIBERIAN ELM	9"	FAIR	REMOVE	INVASIVE
714	SIBERIAN ELM	22"	GOOD	REMOVE	INVASIVE
715	SIBERIAN ELM	26"	GOOD	REMOVE	INVASIVE
716	SIBERIAN ELM	10"	FAIR	REMOVE	INVASIVE
717	EASTERN RED CEDAR	9"	GOOD	REMOVE	EARTHWORK
718	EASTERN RED CEDAR	7"	GOOD	REMOVE	EARTHWORK
719	EASTERN RED CEDAR	7"	GOOD	REMOVE	EARTHWORK
720	SIBERIAN ELM	10"	FAIR	REMOVE	INVASIVE
721	SIBERIAN ELM	13"	FAIR	REMOVE	INVASIVE
722	SIBERIAN ELM	8"	FAIR	REMOVE	INVASIVE
723	EASTERN RED CEDAR	4"	GOOD	REMOVE	EARTHWORK
724	SIBERIAN ELM	8"	FAIR	REMOVE	INVASIVE
725	SIBERIAN ELM	10"	FAIR	REMOVE	INVASIVE
726	SIBERIAN ELM	11"	FAIR	REMOVE	INVASIVE
727	EASTERN RED CEDAR	7"	GOOD	REMOVE	EARTHWORK
728	EASTERN RED CEDAR	11"	GOOD	REMOVE	EARTHWORK
729	SIBERIAN ELM	9"	FAIR	REMOVE	INVASIVE
730	SIBERIAN ELM	15"	POOR	REMOVE	INVASIVE
731	SIBERIAN ELM	10"	FAIR	REMOVE	INVASIVE
732	SIBERIAN ELM	10"	FAIR	REMOVE	INVASIVE
733	SIBERIAN ELM	12"	FAIR	REMOVE	INVASIVE
734	SIBERIAN ELM	10"	FAIR	REMOVE	INVASIVE
735	SIBERIAN ELM	10"	FAIR	REMOVE	INVASIVE
736	SIBERIAN ELM	9"	FAIR	REMOVE	INVASIVE
737	SIBERIAN ELM	12"	FAIR	REMOVE	INVASIVE
738	EASTERN RED CEDAR	12"	GOOD	REMAIN	-
739	SIBERIAN ELM	10"	FAIR	REMOVE	INVASIVE
740	EASTERN RED CEDAR	12"	GOOD	REMAIN	-
741	EASTERN RED CEDAR	4"	GOOD	REMAIN	-
742	EASTERN RED CEDAR	6"	POOR	REMOVE	EARTHWORK
743	SIBERIAN ELM	8"	GOOD	REMOVE	INVASIVE
744	SIBERIAN ELM	14"	GOOD	REMOVE	INVASIVE
745	SIBERIAN ELM	15"	FAIR	REMOVE	INVASIVE
746	SIBERIAN ELM	8"	GOOD	REMOVE	INVASIVE
747	SIBERIAN ELM	8"	FAIR	REMOVE	INVASIVE
748	SIBERIAN ELM	10"	GOOD	REMOVE	INVASIVE
749	SIBERIAN ELM	11"	FAIR	REMOVE	INVASIVE
750	SIBERIAN ELM	10"	FAIR	REMOVE	INVASIVE
751	EASTERN RED CEDAR	15"	GOOD	REMOVE	EARTHWORK
752	EASTERN RED CEDAR	4"	FAIR	REMOVE	EARTHWORK
753	SIBERIAN ELM	11"	GOOD	REMOVE	INVASIVE
754	EASTERN RED CEDAR	5"	GOOD	REMAIN	-
755	EASTERN RED CEDAR	8"	GOOD	REMOVE	EARTHWORK
756	SIBERIAN ELM	11"	FAIR	REMOVE	INVASIVE
757	WHITE ASH	17"	GOOD	REMOVE	EARTHWORK
758	CHERRY BLACK	9"	GOOD	REMOVE	EARTHWORK
759	CHERRY BLACK	10"	GOOD	REMOVE	EARTHWORK
760	ASH WHITE	14"	GOOD	REMOVE	EARTHWORK
761	SILVER MAPLE	12"	GOOD	REMOVE	EARTHWORK
762	WHITE ASH	12"	GOOD	REMOVE	EARTHWORK
763	SIBERIAN ELM	11"	FAIR	REMOVE	INVASIVE
764	SIBERIAN ELM	9"	FAIR	REMOVE	INVASIVE
765	WHITE ASH	13"	GOOD	REMOVE	EARTHWORK
766	AMUR MAPLE	12"	FAIR	REMOVE	INVASIVE
767	AMUR MAPLE	10"	FAIR	REMOVE	INVASIVE
768	AMUR MAPLE	10"	FAIR	REMOVE	INVASIVE
769	AMUR MAPLE	10"	FAIR	REMOVE	INVASIVE
770	AMUR MAPLE	10"	FAIR	REMOVE	INVASIVE
771	EASTERN COTTONWOOD	8"	FAIR	REMOVE	EARTHWORK
772	EASTERN COTTONWOOD	20"	EXCELLENT	REMOVE	EARTHWORK
773	SIBERIAN ELM	8"	POOR	REMOVE	INVASIVE
774	NORTHERN RED OAK	12"	GOOD	REMOVE	EARTHWORK
775	NORTHERN RED OAK	13"	GOOD	REMOVE	EARTHWORK
776	PAPER BIRCH	12"	GOOD	REMOVE	EARTHWORK
777	PAPER BIRCH	10"	GOOD	REMOVE	EARTHWORK
778	PAPER BIRCH	8"	GOOD	REMOVE	EARTHWORK
779	PAPER BIRCH	8"	POOR	REMOVE	EARTHWORK
780	SIBERIAN ELM	8"	FAIR	REMOVE	INVASIVE
781	SIBERIAN ELM	12"	FAIR	REMOVE	INVASIVE
782	SIBERIAN ELM	8"	FAIR	REMOVE	INVASIVE
783	SIBERIAN ELM	8"	FAIR	REMOVE	INVASIVE

TREE REMOVAL INVENTORY:

- TOTAL INCHES EXISTING = 865"
- TOTAL INCHES REMOVED = 808"
- TOTAL INCHES OF INVASIVE SPECIES BEING REMOVED = 500"

REMOVAL LEGEND	
SYMBOL	DESCRIPTION
	REMOVE DECIDUOUS TREE (CLEAR AND GRUB)
	REMOVE CONIFEROUS TREE (CLEAR AND GRUB)

CONTRACTOR SHALL VERIFY EXISTING PAVEMENT SECTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES. PAVEMENT REMOVALS SHALL INCLUDE FULL DEPTH SAWCUT AND SECTION REMOVAL.



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PROJECT
ANOKA RAMSEY ATHLETIC ASSOCIATION NEW DOME

RAMSEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 22-26051
 FILE NAME 26051 C2-EXIST
 DRAWN BY AJR
 DESIGNED BY AJR
 REVIEWED BY RAS
 ORIGINAL ISSUE DATE 12/16/2022
 CLIENT PROJECT NO. -

TITLE
TREE INVENTORY AND PRESERVATION PLAN

SHEET
C2-11

PRELIMINARY NOT FOR CONSTRUCTION

CITY LANDSCAPE REQUIREMENTS

E-3 EMPLOYMENT DISTRICT LANDSCAPE REQUIREMENTS:

MINIMUM TREE CROWN COVER REQUIREMENTS:
 IMPERVIOUS AREA: 258,688 SF
 PERVIOUS AREA: 302,667 SF
 RATIO OF IMPERVIOUS AREA: 46.08% / 0.4608
 TOTAL AREA: 561,355 SF

MULTIPLY THE IMPERVIOUS AREA/SITE AREA RATIO BY THE SQUARE FOOTAGE OF PERVIOUS AREA: 0.4608 X 302,667 = 139,468 REQUIRED / 139,468 PROPOSED
 NOTE: SEE SHEET C5-20 FOR DETAILS

THE FOLLOWING FORMULA SHALL BE UTILIZED TO DETERMINE THE AVERAGE CANOPY COVER FOR ACCEPTABLE SPECIES:
 $[(\text{MINIMUM} + \text{MAXIMUM SPREAD}) \times 4] \times \pi \times (0.65 \text{ FOR PREFERRED SPECIES}) = 114,806$

ROAD FRONTAGE REQUIREMENTS:
 FOR EVERY 35 FEET OF PUBLIC ROAD FRONTAGE, ONE OVERSTORY TREE SHALL BE PLANTED ADJACENT TO THE ROAD RIGHT-OF-WAY ON PRIVATE PROPERTY. THESE PLANTING ARE CREDITED TOWARD THE MINIMUM PLANTING REQUIREMENTS.
 • 522 LF OF ROAD FRONTAGE / 35 LF = 15 TREES REQUIRED / 15 TREES PROPOSED

PARKING LOT REQUIREMENTS:
 1 TREE PER EVERY TEN PARKING SPACES.
 • 153 PARKING SPACES / 10 = 15 TREES REQUIRED / 15 TREES PROVIDED

EVERY OVERSTORY TREE PLANTED SHALL BE PROVIDED WITH A PLANTING AREA PF AT LEAST 162 SF.

BUFFERYARD REQUIREMENTS:
 E-3 BUFFERYARD WIDTH: 35 FEET
 % INCREASE IN PLANTINGS: 20%

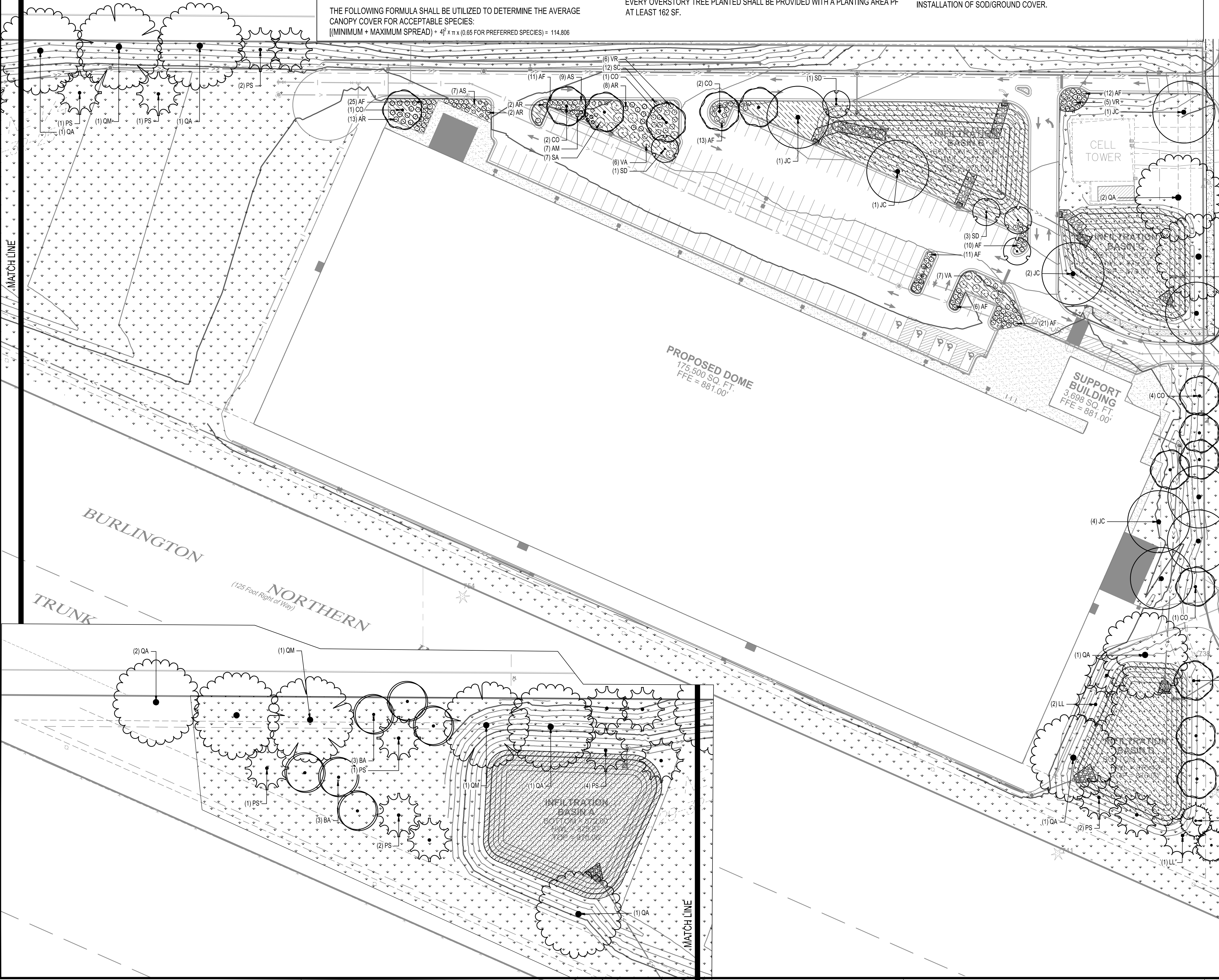
ACCEPTABLE GROUND COVER MATERIAL INCLUDES SOD, MULCH AND OTHER NATURAL GROUND COVER. USE OF LANDSCAPE ROCK AND PLASTIC UNDERLAYMENT IS PROHIBITED.

ALL AREAS DISTURBED DURING CONSTRUCTION AND NOT OTHERWISE IMPROVED WITH IMPERVIOUS SURFACING SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL WITH NO MORE THAN 35% SAND CONTENT. TOPSOIL INSPECTION IS REQUIRED PRIOR TO INSTALLATION OF SOD/GROUND COVER.

PLANT SCHEDULE

EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT
LL	3	LARIX LARICINA TAMARACK	6' HT MIN	B & B
PB	2	PICEA GLAUCA DENSATA BLACK HILLS SPRUCE	6' HT MIN	B & B
PS	14	PINUS STROBUS WHITE PINE	6' HT MIN	B & B
OVERSTORY TREES	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT
BA	6	BETULA ALLEGHANIENSIS YELLOW BIRCH	2.5' CAL	B & B
CO	14	CELTIS OCCIDENTALIS COMMON HACKBERRY	2.5' CAL	B & B
JC	9	JUGLANS CINEREA BUTTERNUT	2.5' CAL	B & B
QA	10	QUERCUS ALBA WHITE OAK	2.5' CAL	CONT
QM	3	QUERCUS MACROCARPA BURR OAK	2.5' CAL	B & B
SD	5	SORBUS DECORA SHOWY MOUNTAIN ASH	2.5' CAL	B & B
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT
AR	25	AMELANCHIER ALNIFOLIA 'REGENT' REGENT SERVICEBERRY	2' HT MIN	CONT
AS	16	AMELANCHIER SANGUINEA ROUNDLEAF SERVICEBERRY	2' HT MIN	CONT
AF	109	AMORPHA FRUTICOSA FALSE INDIGO	2' HT MIN	CONT
AM	7	ARONIA MELANOCARPA BLACK CHOKEBERRY	2' HT MIN	CONT
SA	7	SHEPHERDIA ARGENTEA SILVER BUFFALO BERRY	2' HT MIN	CONT
SC	12	SHEPHERDIA CANADENSIS RUSSETT BUFFALO BERRY	2' HT MIN	CONT
VR	11	VIBURNUM RAPINESOLIANUM DOWNY ARROWWOOD	2' HT MIN	CONT
VA	13	VIBURNUM TRILOBUM AMERICAN CRANBERRYBUSH	2' HT MIN	CONT

MULCH	QTY	BOTANICAL / COMMON NAME
	9,595 SF	DOUBLE SHREDDED WOOD MULCH (NATURAL COLOR)
SEED MIX	QTY	DESCRIPTION
	25,498 SF	EAST INFILTRATION BASIN SEED MIX
	21,393 SF	WEST INFILTRATION BASIN SEED MIX
SOD	QTY	DESCRIPTION
	185,113 SF	MNDOT SOD 25-131 (TURF)
EDGER	QTY	DESCRIPTION
	40 LF	POLYVINYL EDGER (BLACK COLOR)



NOTE:
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 REESE A. SUDTELGTE

DATE: 12/15/2022 LIC. NO. 54243

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 MITCHELL R. WORKMON

DATE: 12/15/2022 LIC. NO. 53748

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PROJECT
ANOKA RAMSEY ATHLETIC ASSOCIATION NEW DOME

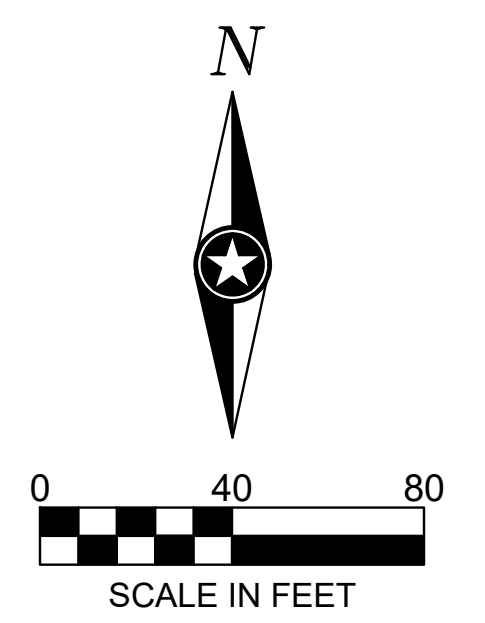
RAMSEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	22-26051
FILE NAME	26051 CS-LAND
DRAWN BY	AJR
DESIGNED BY	AJR
REVIEWED BY	RAS
ORIGINAL ISSUE DATE	12/16/2022
CLIENT PROJECT NO.	-

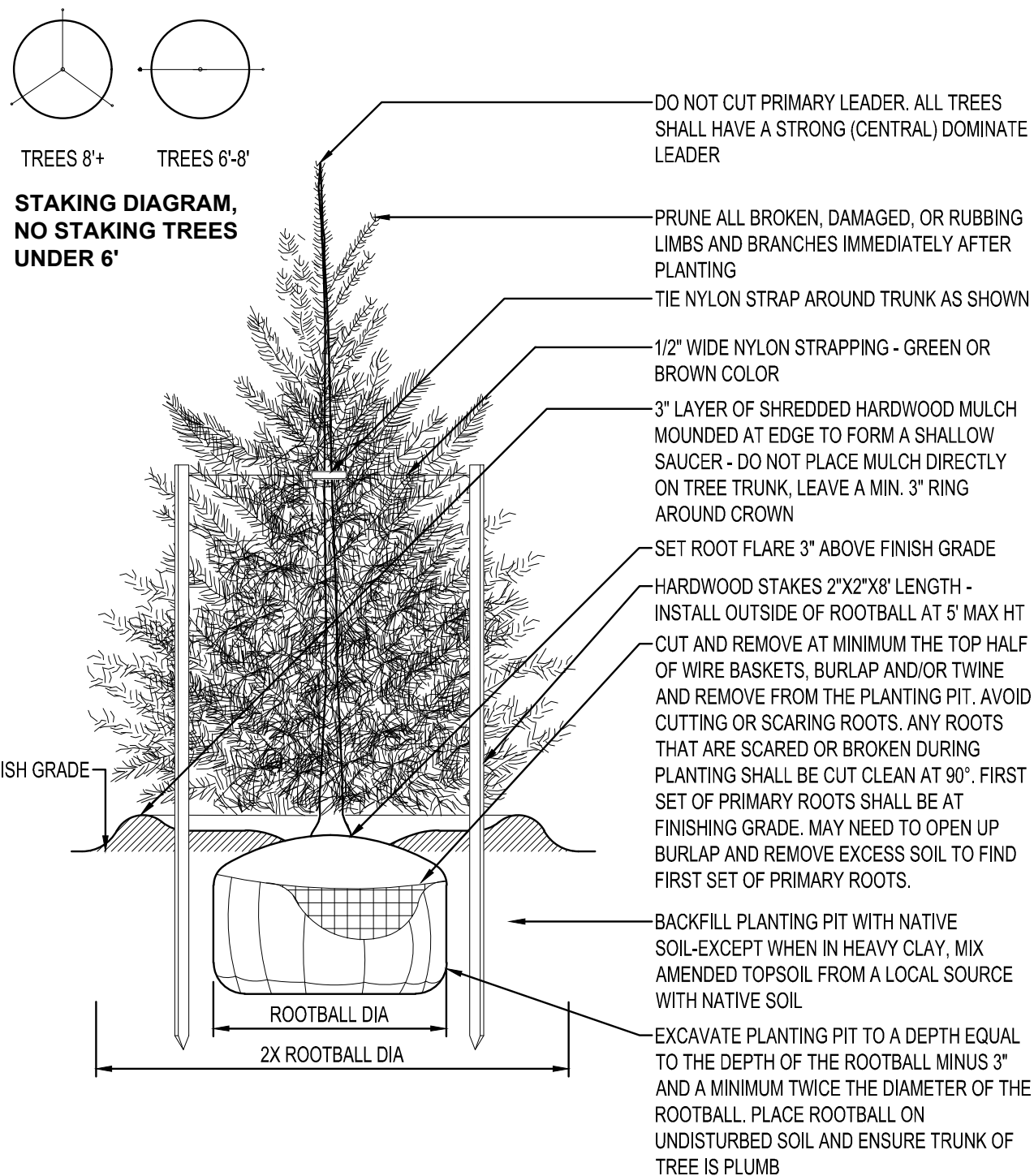
TITLE
PLANTING AND RESTORATION PLAN

SHEET
C5-10

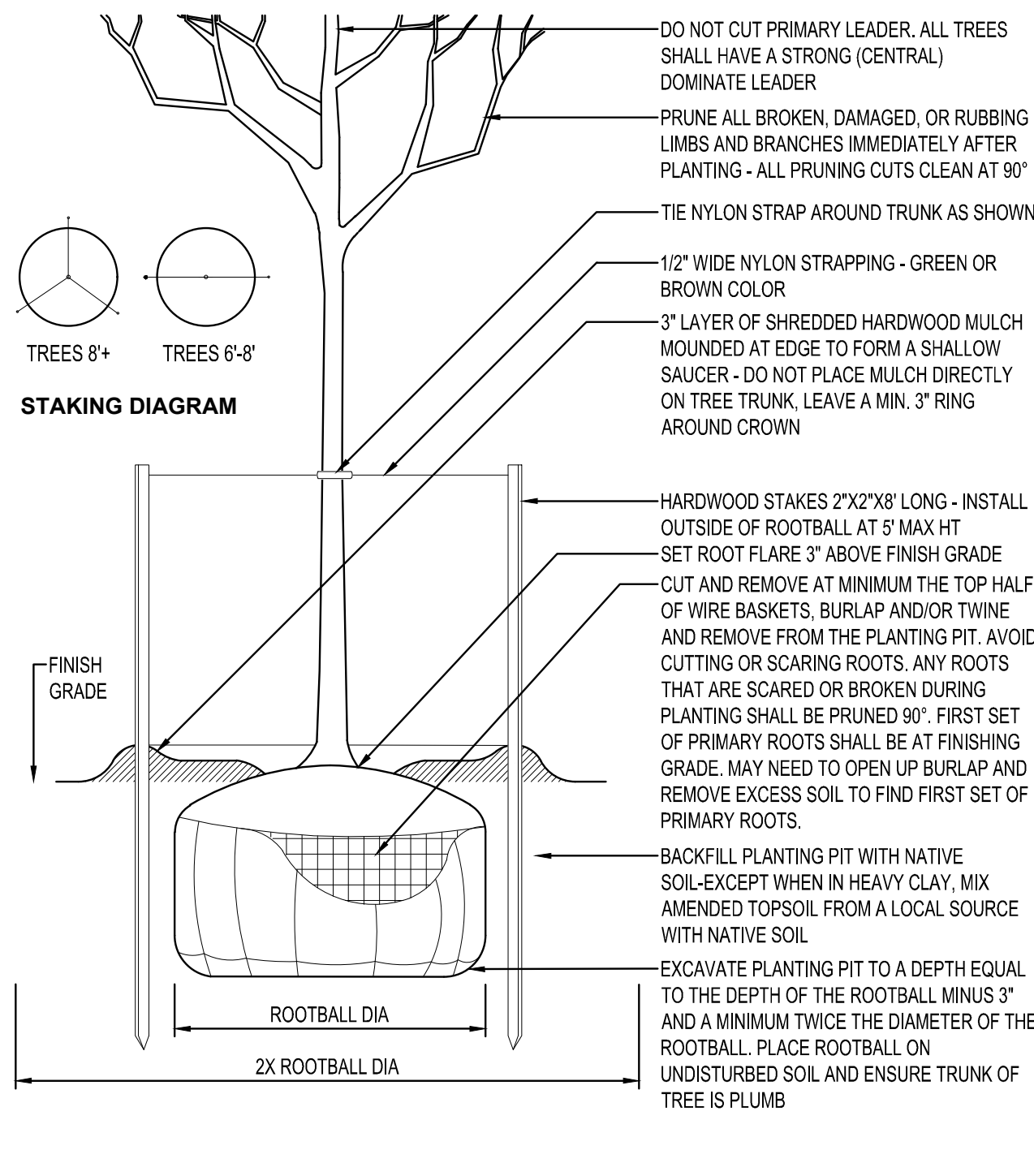


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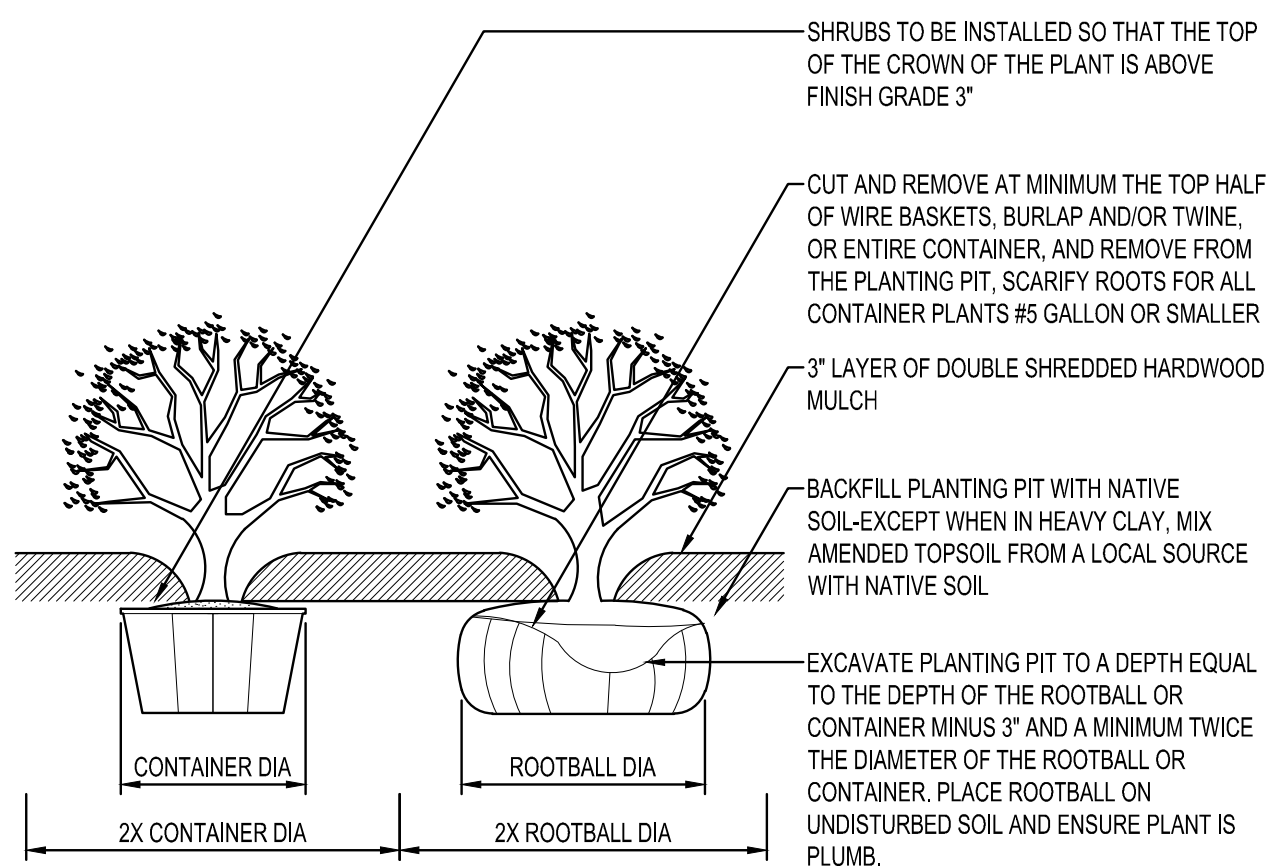
PRELIMINARY NOT FOR CONSTRUCTION



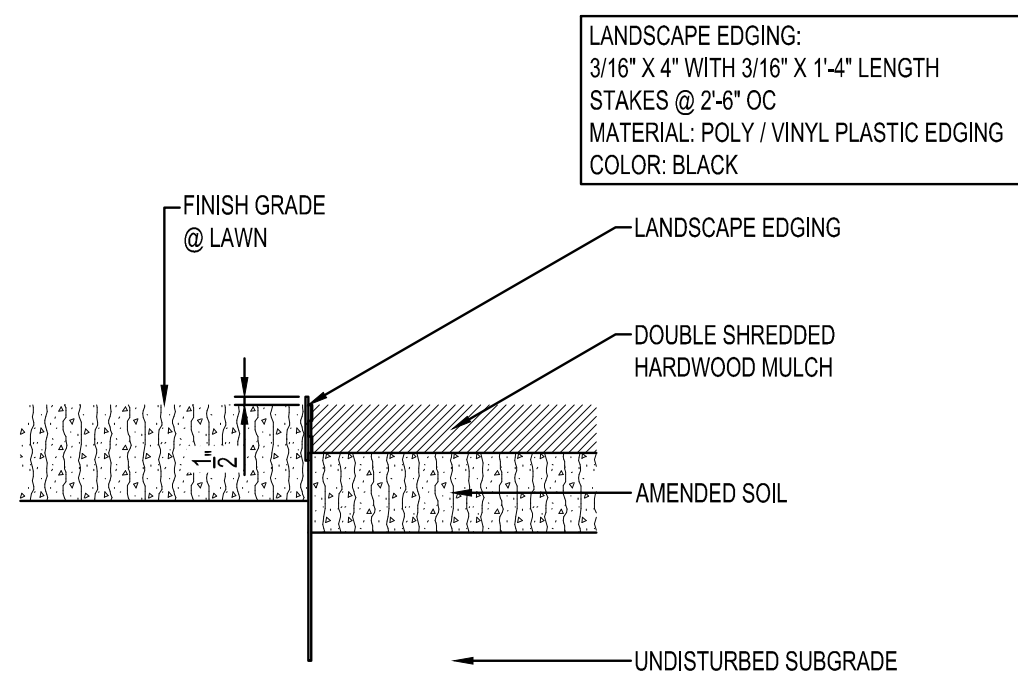
EVERGREEN TREE PLANTING
NTS



DECIDUOUS TREE PLANTING
NTS



SHRUB PLANTING
NTS



LANDSCAPE EDGING
NTS

PLANTING NOTES

- COORDINATE LOCATION OF ALL UTILITIES (LINES, DUCTS, CONDUITS, SLEEVES, FOOTINGS, ETC.) WITH LOCATIONS OF PROPOSED LANDSCAPE ELEMENTS (FENCE, FOOTINGS, TREE ROOTBALLS, ETC.). CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO OWNER'S REPRESENTATIVE PRIOR TO CONTINUING WORK.
- SAVE AND PROTECT ALL EXISTING TREES NOT NOTED TO BE REMOVED.
- REMOVE ALL CONSTRUCTION DEBRIS AND MATERIALS INJURIOUS TO PLANT GROWTH FROM PLANTING PITS AND BEDS PRIOR TO BACKFILLING WITH PLANTING MIX.
- REFER TO PLANTING DETAILS FOR AMENDED SOIL DEPTH IN PLANTING BEDS AND SURROUNDING TREES.
- FIELD STAKE PLANTINGS ACCORDING TO PLAN. OWNER'S REPRESENTATIVE SHALL APPROVE ALL PLANT LOCATIONS PRIOR TO INSTALLATION. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REVISE PLANTING LAYOUT AT TIME OF INSTALLATION.
- ALL PLANT MATERIALS SHALL BE TRUE TO THEIR SCIENTIFIC NAME AND SIZE AS INDICATED IN THE PLANT SCHEDULE.
- IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE SCHEDULE, THE PLANTING PLAN SHALL GOVERN.
- ANY PLANT SUBSTITUTIONS REQUIRE PRIOR APPROVAL BY THE CITY. ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIALS MUST CONFORM TO AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.1). LATEST EDITION PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, WASHINGTON D.C. LARGER SIZED PLANT MATERIALS OF THE SPECIES LISTED MAY BE USED IF THE STOCK CONFORMS TO ANSI Z60.1.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN A LIVE AND HEALTHY GROWING CONDITION FOR ONE FULL GROWING SEASON (ONE YEAR) AFTER FINAL PROJECT ACCEPTANCE OR SHALL BE REPLACED BY THE CONTRACTOR FREE OF CHARGE WITH THE SAME GRADE AND SPECIES.
- ALL TREES SHALL HAVE A STRONG CENTRAL LEADER. ANY TREES DEEMED NOT TO HAVE A STRONG CENTRAL LEADER SHALL BE REJECTED.
- CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE DUE TO CONSTRUCTION OPERATIONS. ANY AREAS THAT ARE DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- PROVIDE DOUBLE SHREDDED HARDWOOD MULCH SURROUNDING ALL PROPOSED TREES (5' Ø) AND WITHIN PLANTING BEDS TO A 3" MINIMUM DEPTH AS SHOWN IN TREE PLANTING DETAIL. DO NOT USE AN UNDERLAYMENT SUCH AS PLASTIC SHEET OR LANDSCAPE FABRIC. APPLY PRE-EMERGENT TO ALL PLANTING BEDS PRIOR TO MULCHING. REFER TO PLANS FOR ADDITIONAL DETAILS. REFER TO STORMWATER DETAILS FOR BASIN CONSTRUCTION AND MULCH APPLICATION.
- MULCHING MATERIAL SHALL BE DOUBLE SHREDDED HARDWOOD MULCH, WITH NO INDIVIDUAL PIECES LARGER THAN 3". FREE OF GROWTH OR GERMINATION INHIBITING INGREDIENTS. 3" MINIMUM DEPTH. MINIMUM DEPTHS AT LOCATIONS INDICATED ON DRAWINGS.
- CONTRACTOR SHALL PROVIDE SAMPLE OF MULCH TO BE APPROVED BY THE LANDSCAPE ARCHITECT.
- INDICATED QUANTITIES ARE ESTIMATES AND SHALL BE CONFIRMED BY THE CONTRACTOR.
- ADJUST SPACING OF PLANT MATERIALS AROUND ADJACENT UTILITY STRUCTURES.
- ANY CLEARING OF OAK STANDS SHALL BE PERFORMED PRIOR TO APRIL 15TH OR AFTER JULY 15TH EACH SEASON.
- ALL PLANT MATERIAL SHALL HAVE A 2-YEAR MAINTENANCE WARRANTY FROM DATE OF CITY APPROVAL OF INSTALLED LANDSCAPING.
- ALL AREAS DISTURBED DURING CONSTRUCTION AND NOT OTHERWISE IMPROVED WITH IMPERVIOUS SURFACING SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL WITH NO MORE THAN 35% SAND CONTENT. TOPSOIL INSPECTION IS REQUIRED PRIOR TO INSTALLATION OF SODD/GROUND COVER.

PROPOSED PLANT MATERIAL CROWN COVER PER RAMSEY TREE BOOK

- EVERGREEN TREE CROWN COVER:**
- AMERICAN LARCH 718 SF (3 TREES) = 2,154 SF OF CROWN COVER
 - BLACK HILLS SPRUCE 386 (2 TREES) = 772 SF OF CROWN COVER
 - WHITE PINE 1,995 (14 TREES) = 27,930 SF
- DECIDUOUS TREE CROWN COVER:**
- YELLOW BIRCH 992 SF (6 TREES) = 5,952 SF
 - COMMON HACKBERRY 992 SF (14 TREES) = 13,888 SF
 - BUTTERNUT 1,995 (9 TREES) = 17,955 SF
 - WHITE OAK 3,910 (10 TREES) = 39,100 SF
 - BURR OAK 3,910 (3 TREES) = 11,730 SF
 - SHOWY MOUNTAIN ASH 386 (5 TREES) = 1,930 SF

- SHRUB CROWN COVER:**
- REGENT SERVICEBERRY 18 (25 SHRUBS) = 450 SF
 - ROUNDLEAF SERVICEBERRY 10 (16 SHRUBS) = 160 SF
 - FALSE INDIGO 131 (109 SHRUBS) = 14,279 SF
 - BLACK CHOKECHERRY 10 SF (7 SHRUBS) = 70 SF
 - SILVER BUFFALOBERRY 93 SF (7 SHRUBS) = 651 SF
 - RUSSET BUFFALOBERRY 41 SF (12 SHRUBS) = 492 SF
 - DOWNY ARROWWOOD 41 SF (11 SHRUBS) = 451 SF
 - AMERICAN CRANBERRYBUSH 51 SF (13 SHRUBS) = 663 SF

- EXISTING EVERGREEN TREE CROWN COVER:**
- WHITE SPRUCE 460 SF (1 TREE) = 460 SF
 - EASTERN RED CEDAR 77 SF (2 TREES) = 514 SF

TOTAL CROWN COVER = 139,601 SF

WEST INFILTRATION BASIN CUSTOM SEED MIX				
SCIENTIFIC NAME	COMMON NAME	RATE (PLS OZ / ACRE)	RATE (SEEDS / SQ.FT)	% MIX BY WEIGHT
<i>Desmodium canadense</i>	Showy Tick Trefol	2	0.3	0.41
<i>Echinacea purpurea</i>	Purple Coneflower	8	1.2	1.65
<i>Helenium autumnale</i>	Sneezeweed	2	6.0	0.41
<i>Monarda fistulosa</i>	Wild Bergamot	2	3.2	0.41
<i>Oenothera biennis</i>	Common Evening Primrose	1	0.2	0.21
<i>Pycnanthemum virginianum</i>	Mountain Mint	0.5	2.5	0.10
<i>Symphoricarum laeve</i>	Smooth Blue Aster	2	2.5	0.41
<i>Symphoricarum lanceolatum</i>	Panicled Aster	1	3.6	0.21
<i>Rudbeckia hirta</i>	Black-eyed Susan	10	21.1	2.06
<i>Chamaecrista fasciculata</i>	Partridge Pea	16	1.0	3.29
<i>Verbena hastata</i>	Blue Vervain	4	8.5	0.82
<i>Asclepias incarnata</i>	Rose Milkweed	6	0.7	1.23
<i>Symphoricarum novae-angliae</i>	New England Aster	1	1.5	0.21
<i>Bidens polyplepis</i>	Bearded Beggarticks	1	0.2	0.21
<i>Rudbeckia laciniata</i>	Wild Golden Glow	1	0.2	0.21
<i>Helianthus maximiliani</i>	Maximilian's Sunflower	1	0.3	0.21
<i>Amoglossum atriplicifolium</i>	Pale Indian Plantain	1	0.1	0.21
TOTAL FORBS		59.5	53.2	12.24
<i>Andropogon gerardii</i>	Big Bluestem	32	7.3	6.58
<i>Beckmannia syzigachne</i>	American Slough Grass	16	18.4	3.29
<i>Calamagrostis canadensis</i>	Blue Joint Grass	0.5	3.2	0.10
<i>Bromus ciliatus</i>	Fringed Brome	8	1.8	1.65
<i>Spartina pectinata</i>	Cord Grass	10	1.5	2.06
<i>Sorghastrum nutans</i>	Indian Grass	32	8.8	6.58
<i>Panicum virgatum</i>	Switch Grass	4	1.3	0.82
<i>Elymus canadensis</i>	Canada Wild Rye	16	1.9	3.29
<i>Elymus virginicus</i>	Virginia Wild Rye	32	3.1	6.58
<i>Bromus kalmii</i>	Prairie Brome	16	2.9	3.29
<i>Poa palustris</i>	Fowl Bluegrass	16	47.8	3.29
<i>Carex vulpinoidea</i>	Brown Fox Sedge	4	9.2	0.82
TOTAL GRASSES & SEDGES		186.5	107.2	38.37
<i>Avena sativa</i>	Oats - Cover Crop	240	4.4	49.38
TOTAL COVER CROPS		240	4.4	49.38
TOTALS		486	164.8	100

EAST INFILTRATION BASINS CUSTOM SEED MIX				
SCIENTIFIC NAME	COMMON NAME	RATE (PLS OZ / ACRE)	RATE (SEEDS / SQ.FT)	% MIX BY WEIGHT
<i>Bouteloua curtipendula</i>	Side-oats Grama	16	2.2	4.09
<i>Calamagrostis canadensis</i>	Blue Joint Grass	1	6.4	0.26
<i>Elymus canadensis</i>	Canada Wild Rye	24	2.9	6.13
<i>Elymus hystrix</i>	Bottlebrush Grass	6	1.0	1.53
<i>Elymus riparius</i>	Riverbank Wild Rye	16	1.1	4.09
<i>Elymus villosus</i>	Silky Wild Rye	4	0.5	1.02
<i>Elymus virginicus</i>	Virginia Wild Rye	16	1.5	4.09
<i>Glyceria striata</i>	Fowl Manna Grass	6	12.4	1.53
<i>Panicum virgatum</i>	Switch Grass	2	0.6	0.51
<i>Poa palustris</i>	Fowl Bluegrass	16	47.8	4.09
<i>Schizachyrium scoparium</i>	Little Bluestem	16	5.5	4.09
<i>Spartina pectinata</i>	Cord Grass	8	1.2	2.04
TOTAL GRASSES		131	83.2	33.46
<i>Carex blanda</i>	Common Wood Sedge	2	0.6	0.51
<i>Carex brevior</i>	Plains Oval Sedge	4	2.7	1.02
<i>Carex crinita</i>	Fringed Sedge	1	0.5	0.26
<i>Carex molesta</i>	Field Oval Sedge	1	0.6	0.26
<i>Carex muskingumensis</i>	Palm Sedge	1	0.2	0.26
<i>Carex stipata</i>	Awl-fruited Sedge	3	2.3	0.77
<i>Carex vulpinoidea</i>	Brown Fox Sedge	6	13.8	1.53
<i>Juncus dudleyi</i>	Dudley's Rush	0.5	36.7	0.13
<i>Juncus tenuis</i>	Path Rush	1	23.0	0.26
<i>Scirpus pendulus</i>	Rufous Bulrush	1	7.1	0.26
TOTAL SEDGES & RUSHES		20.5	87.4	5.24
<i>Avena sativa</i>	Oats - Cover Crop	240	4.4	61.30
TOTAL COVER CROPS		240	4.4	61.30
TOTALS		391.5	175.0	100.00



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PROJECT

ANOKA RAMSEY ATHLETIC ASSOCIATION NEW DOME

RAMSEY MINNESOTA

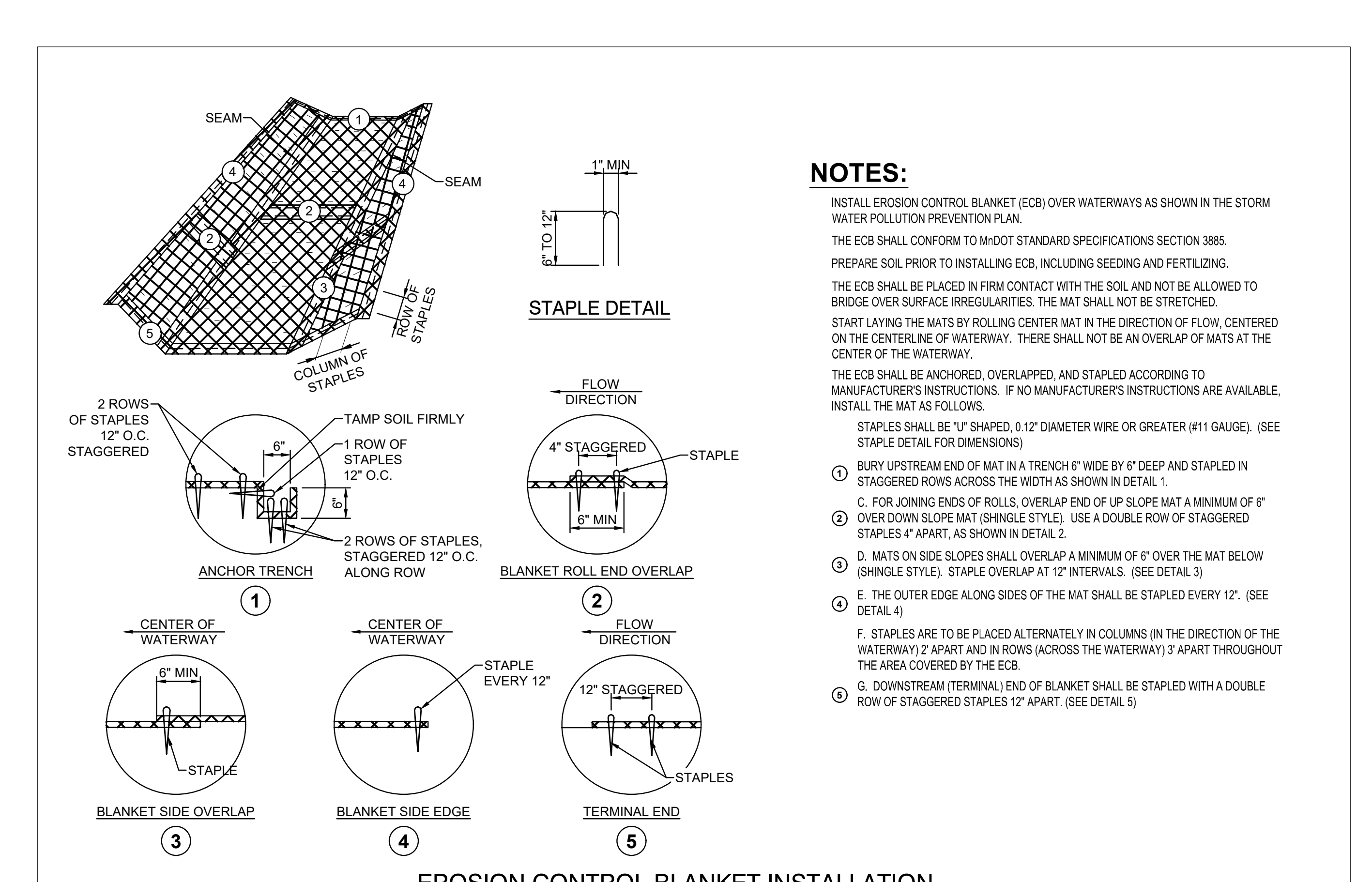
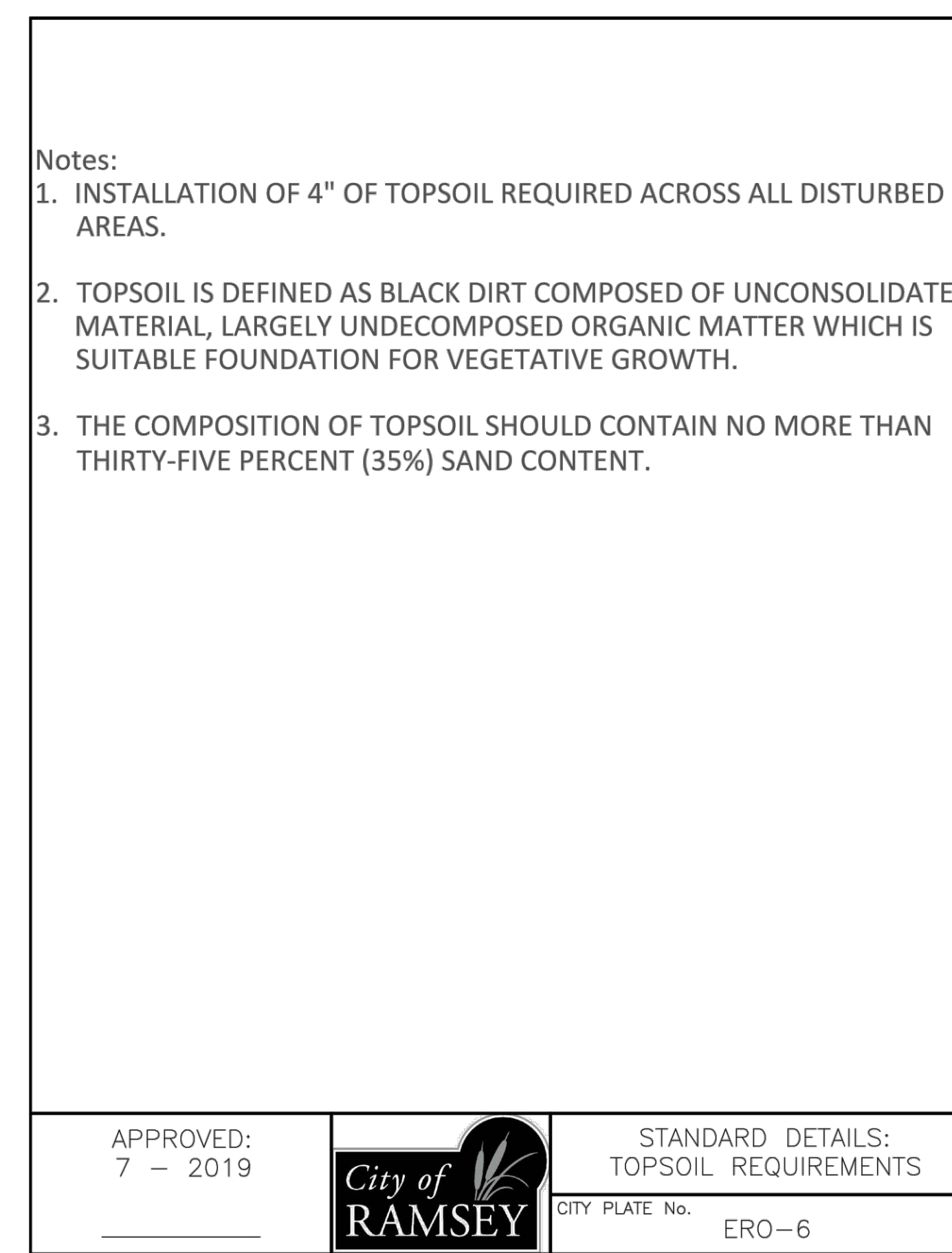
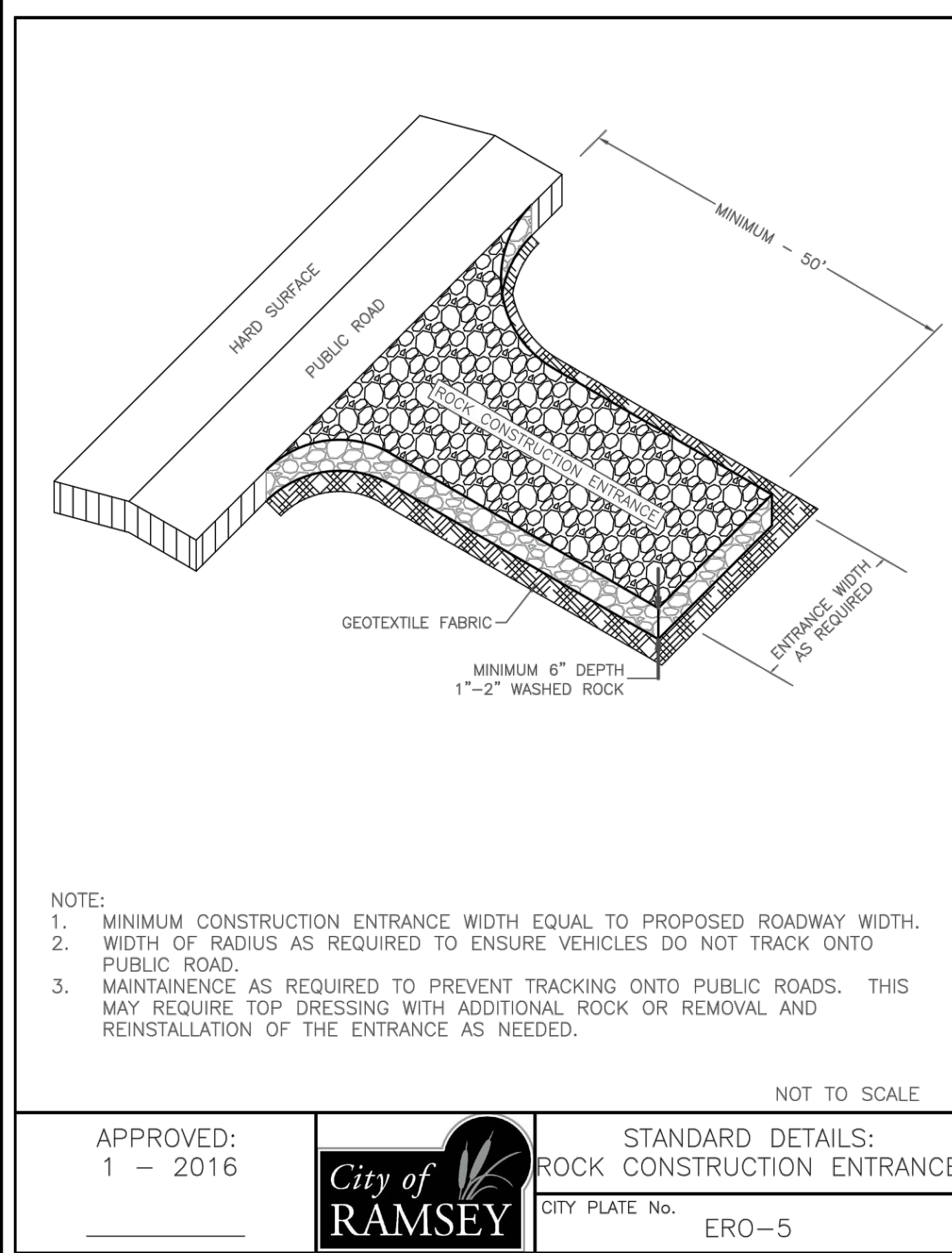
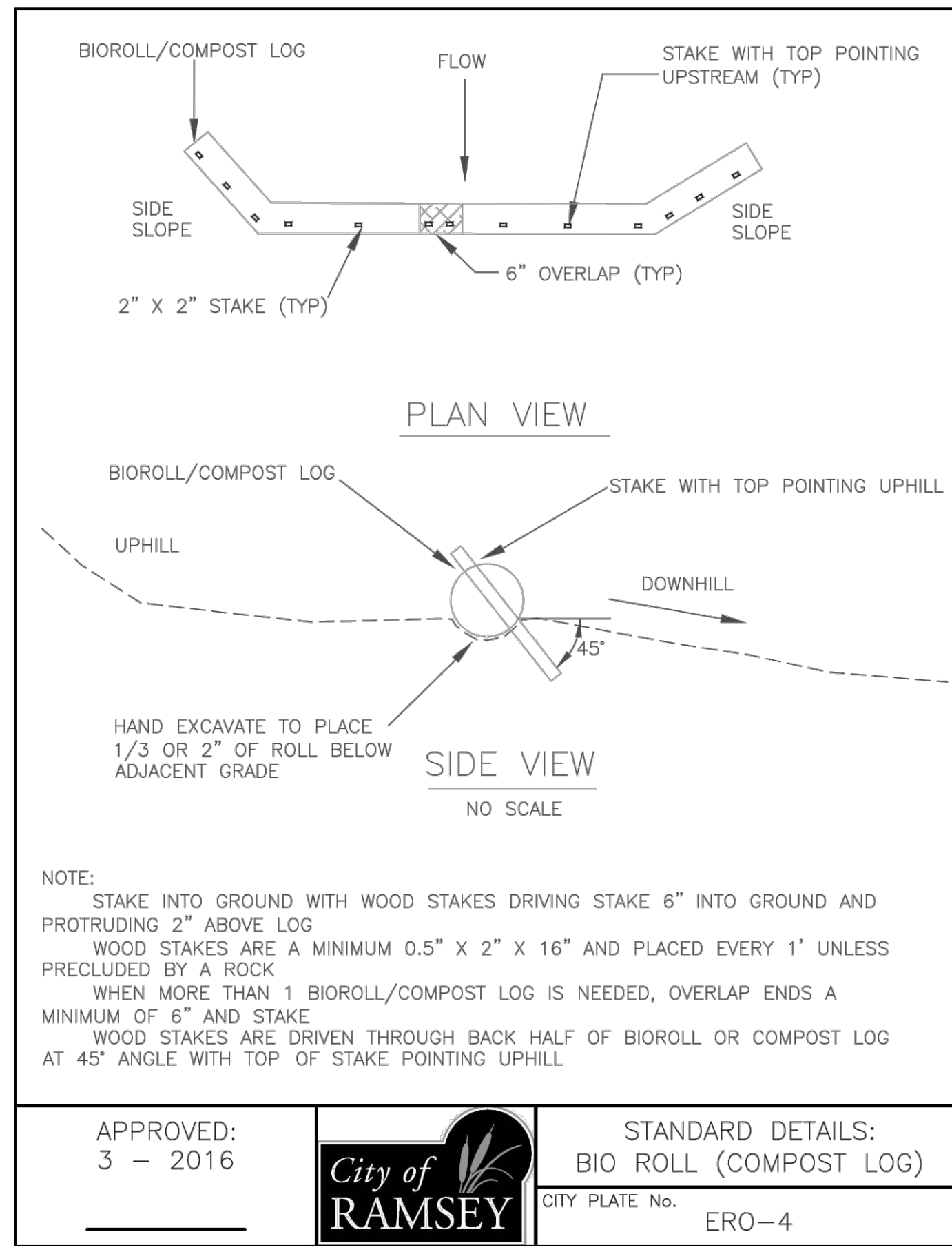
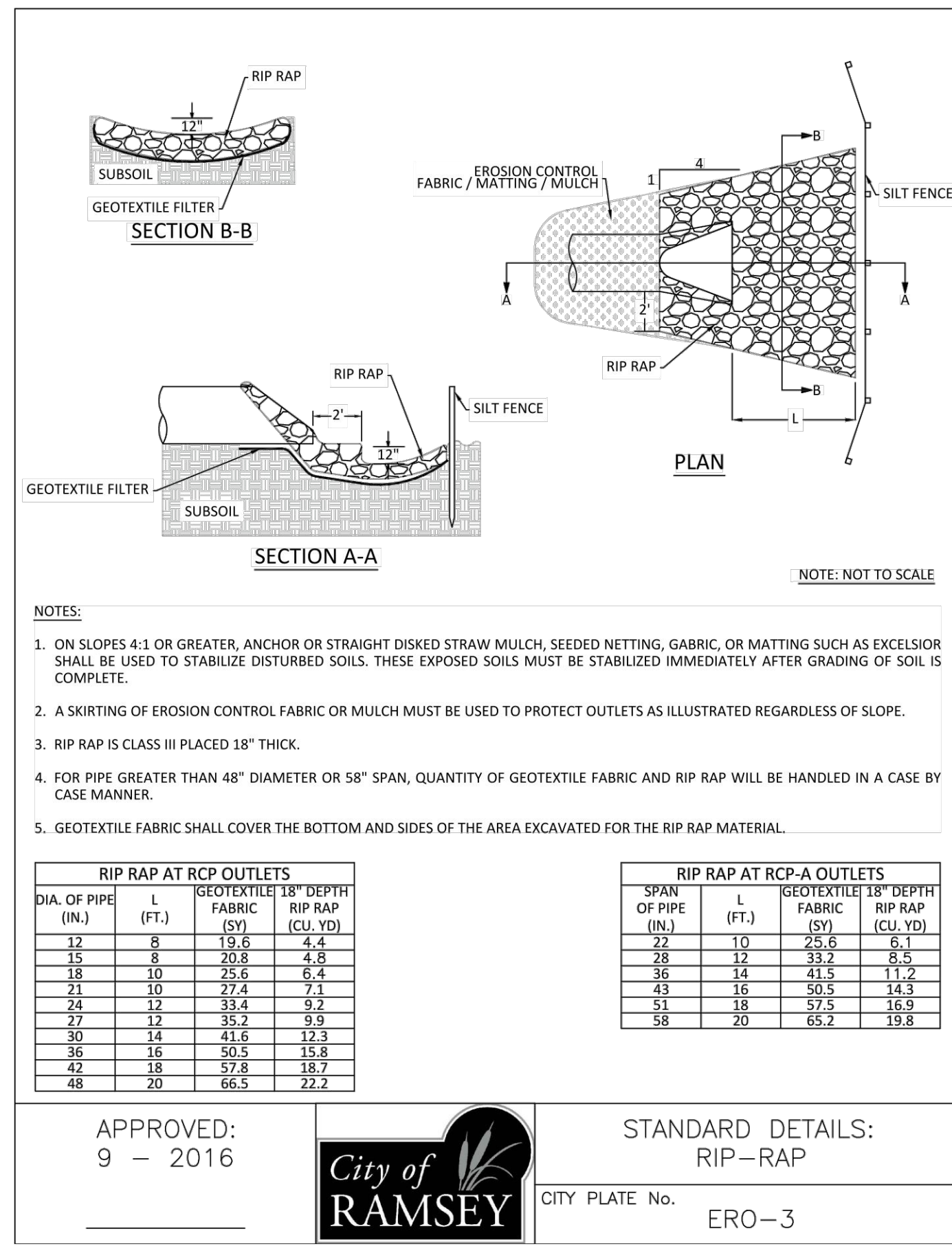
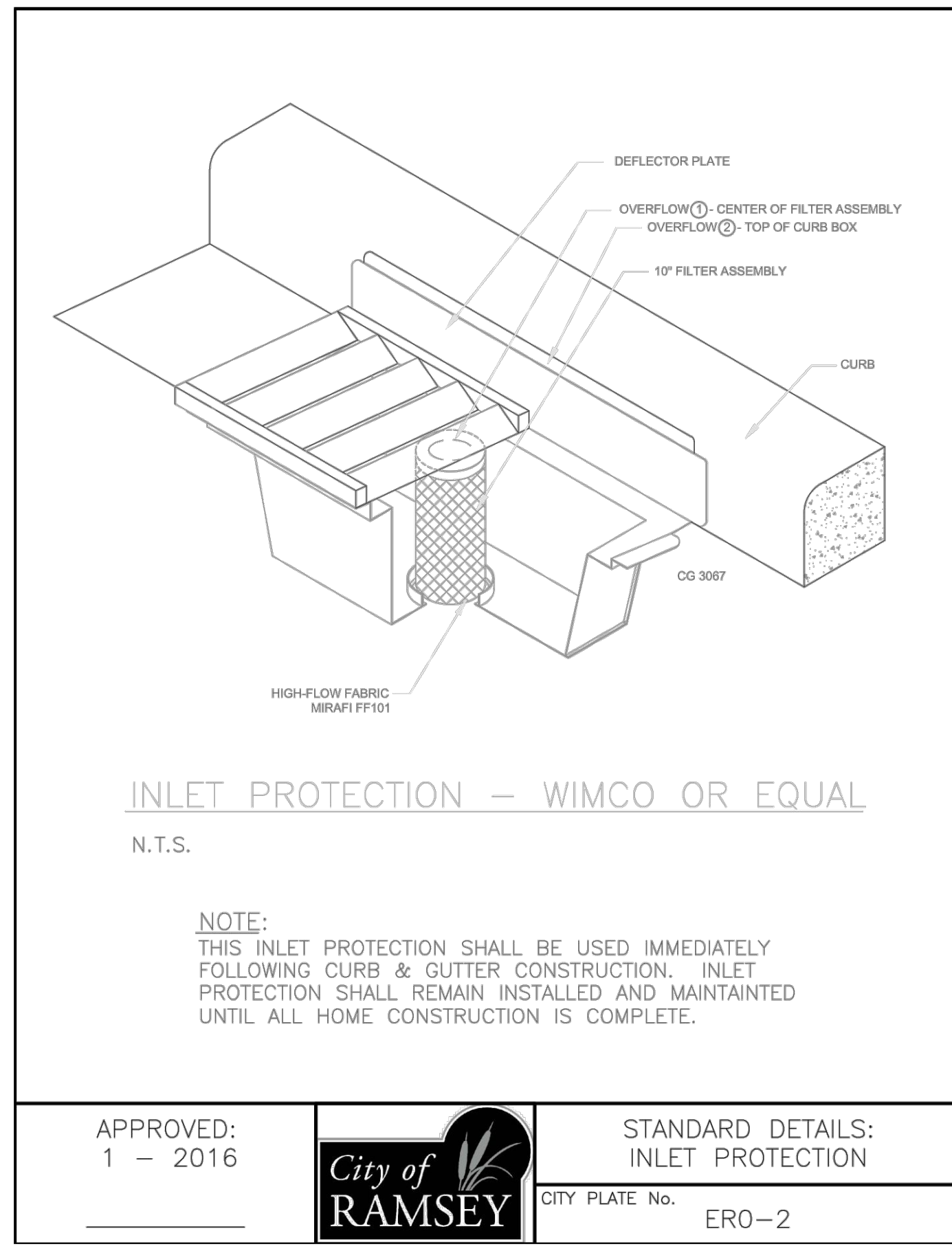
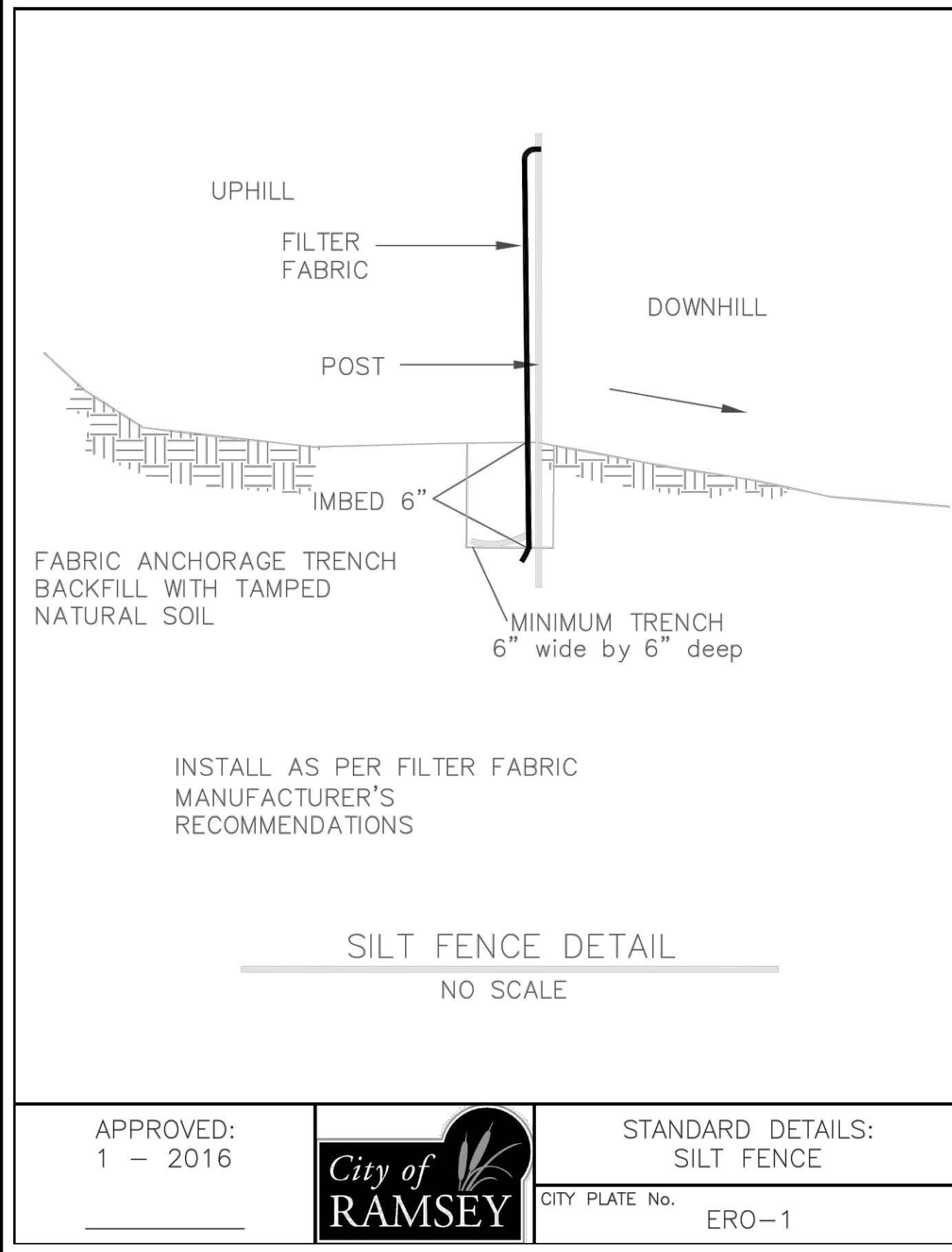
REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 22-26051
 FILE NAME 26051 CS-LAND
 DRAWN BY AJR
 DESIGNED BY AJR
 REVIEWED BY RAS
 ORIGINAL ISSUE DATE 12/16/2022
 CLIENT PROJECT NO. -

PLANTING NOTES AND DETAILS

PLOT DATE: 11/10/2022 8:48 PM

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PROJECT
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RAMSEY MINNESOTA

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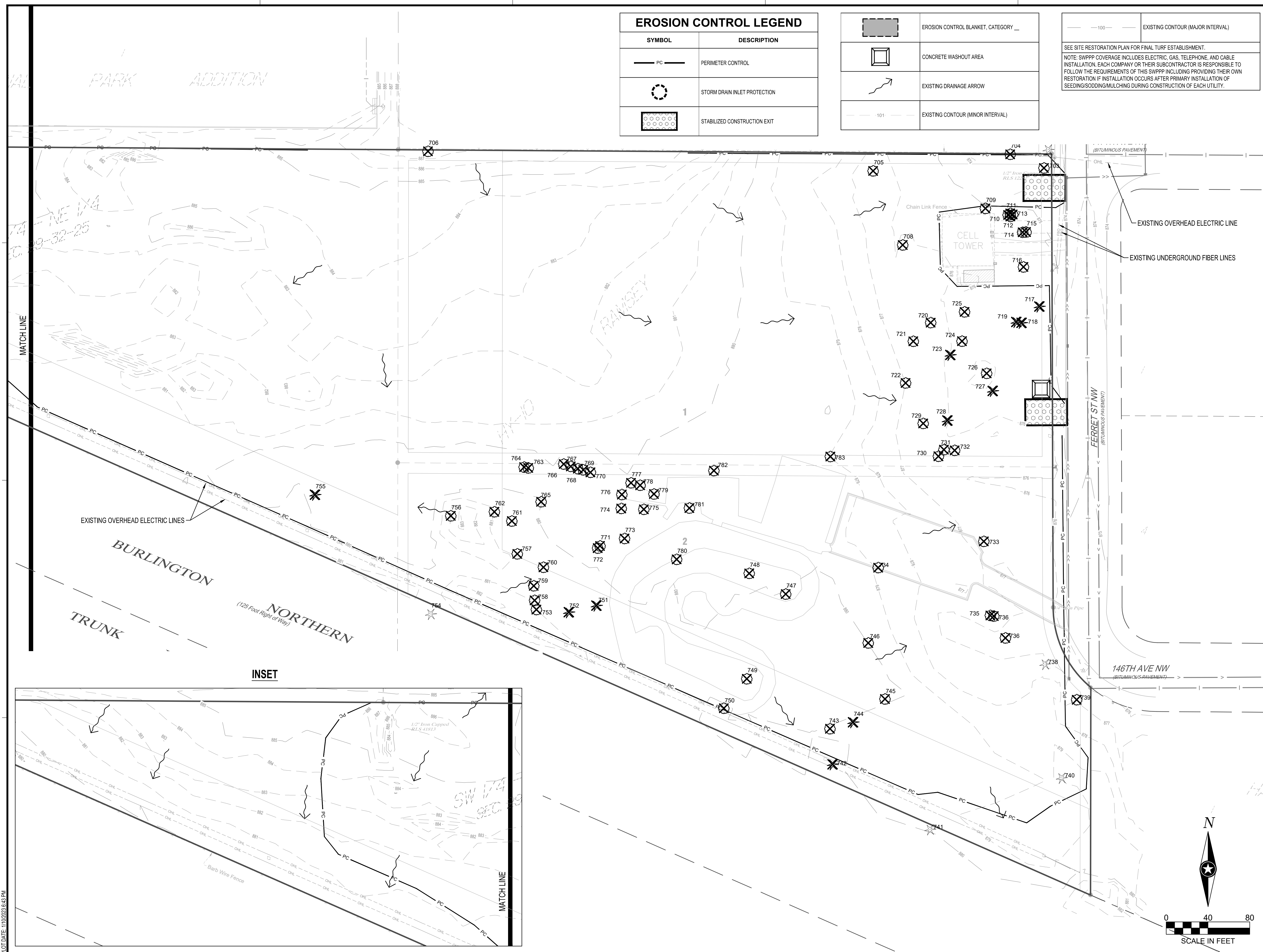
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FILE NAME 26051 C1-SWPPP
DRAWN BY AJR
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TITLE
SWPPP DETAILS

SHEET
C1-20

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PLOT DATE: 11/02/2022 8:42 PM



EROSION CONTROL LEGEND

SYMBOL	DESCRIPTION
— PC —	PERIMETER CONTROL
⊗	STORM DRAIN INLET PROTECTION
⊠	STABILIZED CONSTRUCTION EXIT

	EROSION CONTROL BLANKET, CATEGORY _
	CONCRETE WASHOUT AREA
	EXISTING DRAINAGE ARROW
— 101 —	EXISTING CONTOUR (MINOR INTERVAL)

— 100 — EXISTING CONTOUR (MAJOR INTERVAL)

SEE SITE RESTORATION PLAN FOR FINAL TURF ESTABLISHMENT.

NOTE: SWPPP COVERAGE INCLUDES ELECTRIC, GAS, TELEPHONE, AND CABLE INSTALLATION. EACH COMPANY OR THEIR SUBCONTRACTOR IS RESPONSIBLE TO FOLLOW THE REQUIREMENTS OF THIS SWPPP INCLUDING PROVIDING THEIR OWN RESTORATION IF INSTALLATION OCCURS AFTER PRIMARY INSTALLATION OF SEEDING/SODDING/MULCHING DURING CONSTRUCTION OF EACH UTILITY.



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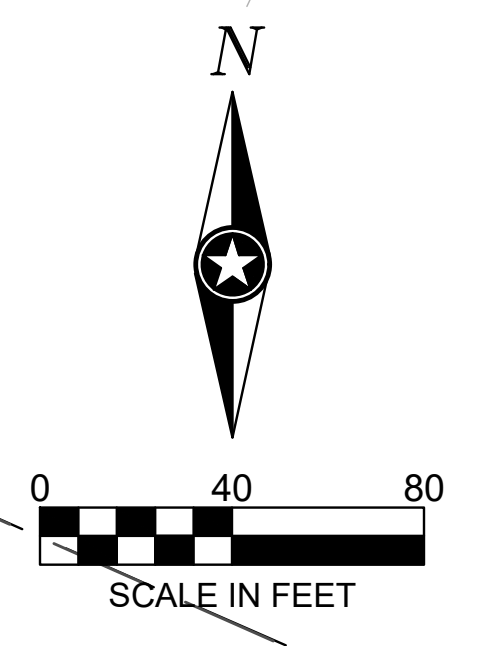
RAMSEY MINNESOTA

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TITLE
PRE-CONSTRUCTION SWPPP

SHEET
C1-30



PLOT DATE: 11/02/2022 8:43 PM

PRELIMINARY NOT FOR CONSTRUCTION

EROSION CONTROL LEGEND	
SYMBOL	DESCRIPTION
	EROSION CONTROL BLANKET, CATEGORY _
	CONCRETE WASHOUT AREA
	EXISTING DRAINAGE ARROW
	PROPOSED DRAINAGE ARROW
	STORM DRAIN INLET PROTECTION
	STABILIZED CONSTRUCTION EXIT
	PERIMETER CONTROL

	EXISTING CONTOUR (MINOR INTERVAL)
	EXISTING CONTOUR (MAJOR INTERVAL)
	PROPOSED CONTOUR (MINOR INTERVAL)
	PROPOSED CONTOUR (MAJOR INTERVAL)

SEE SITE RESTORATION PLAN FOR FINAL TURF ESTABLISHMENT.
 CONTRACTOR IS RESPONSIBLE FOR PROVIDING PERIMETER CONTROL AROUND ANY TEMPORARY STOCKPILE LOCATIONS.
 NOTE: SWPPP COVERAGE INCLUDES ELECTRIC, GAS, TELEPHONE, AND CABLE INSTALLATION. EACH COMPANY OR THEIR SUBCONTRACTOR IS RESPONSIBLE TO FOLLOW THE REQUIREMENTS OF THIS SWPPP INCLUDING PROVIDING THEIR OWN RESTORATION IF INSTALLATION OCCURS AFTER PRIMARY INSTALLATION OF SEEDING/SODDING/MULCHING DURING CONSTRUCTION OF EACH UTILITY.



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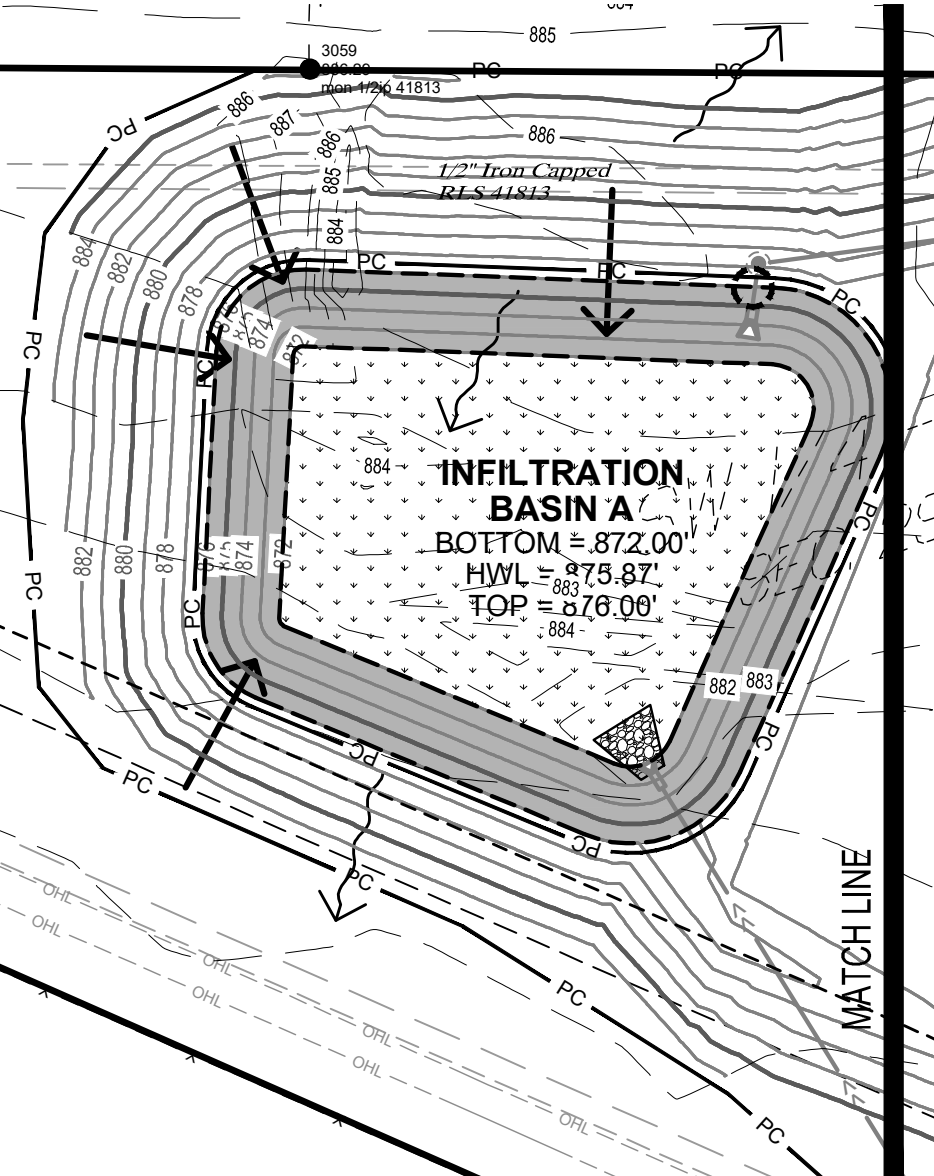
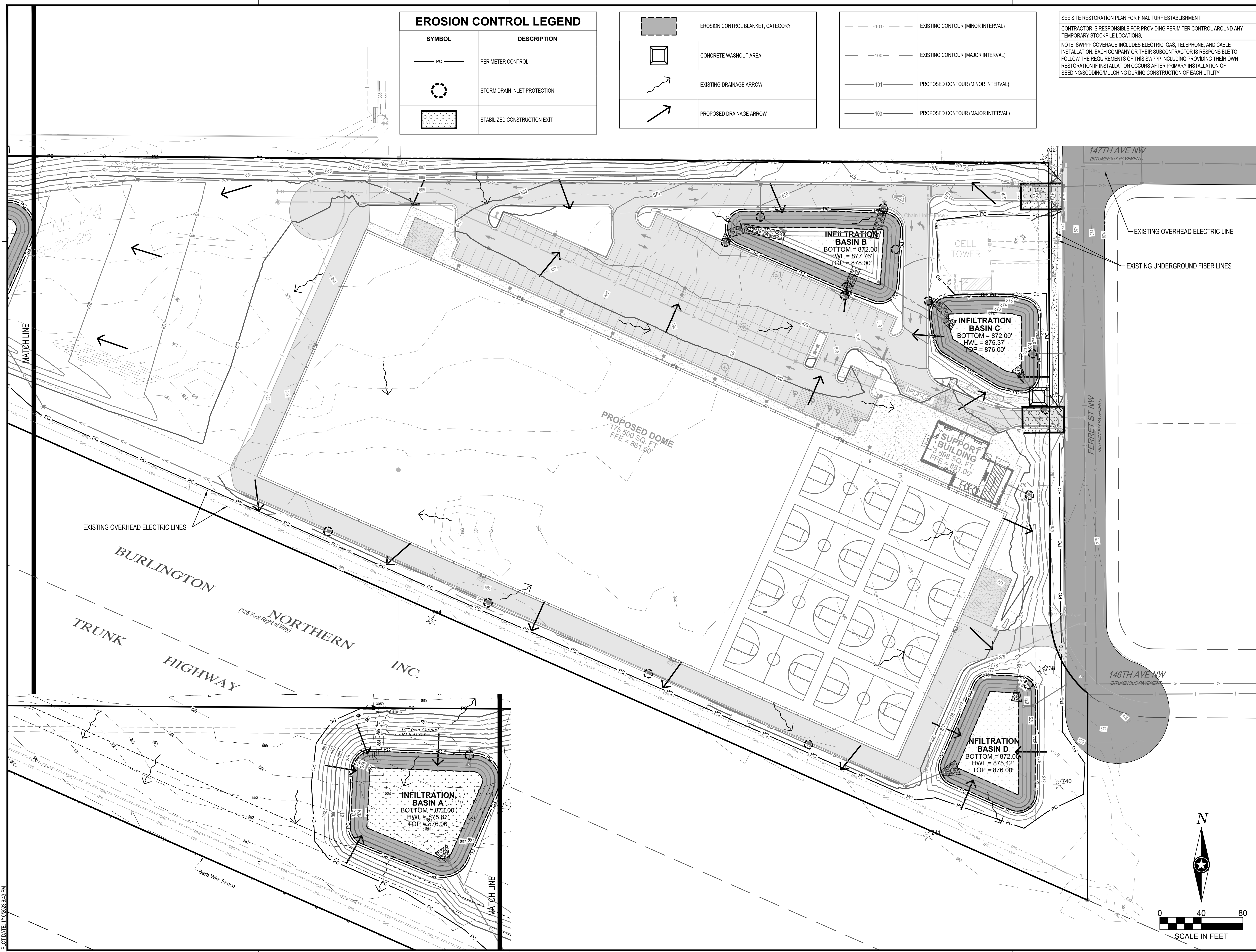
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TITLE
PROPOSED SWPPP

SHEET
C1-40



PLOT DATE: 11/02/2022 8:43 PM

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CITY LANDSCAPE REQUIREMENTS

E-3 EMPLOYMENT DISTRICT LANDSCAPE REQUIREMENTS:

MINIMUM TREE CROWN COVER REQUIREMENTS:
 IMPERVIOUS AREA: 258,688 SF
 PERVIOUS AREA: 302,667 SF
 RATIO OF IMPERVIOUS AREA: 46.08% / 0.4608
 TOTAL AREA: 561,355 SF

MULTIPLY THE IMPERVIOUS AREA/SITE AREA RATIO BY THE SQUARE FOOTAGE OF PERVIOUS AREA: 0.4608 X 302,667 = 139,468 REQUIRED / 139,468 PROPOSED
 NOTE: SEE SHEET C5-20 FOR DETAILS

THE FOLLOWING FORMULA SHALL BE UTILIZED TO DETERMINE THE AVERAGE CANOPY COVER FOR ACCEPTABLE SPECIES:
 $[(\text{MINIMUM} + \text{MAXIMUM SPREAD}) \times 4] \times \pi \times (0.65 \text{ FOR PREFERRED SPECIES}) = 114,806$

ROAD FRONTAGE REQUIREMENTS:
 FOR EVERY 35 FEET OF PUBLIC ROAD FRONTAGE, ONE OVERSTORY TREE SHALL BE PLANTED ADJACENT TO THE ROAD RIGHT-OF-WAY ON PRIVATE PROPERTY. THESE PLANTING ARE CREDITED TOWARD THE MINIMUM PLANTING REQUIREMENTS.
 • 522 LF OF ROAD FRONTAGE / 35 LF = 15 TREES REQUIRED / 15 TREES PROPOSED

PARKING LOT REQUIREMENTS:
 1 TREE PER EVERY TEN PARKING SPACES.
 • 153 PARKING SPACES / 10 = 15 TREES REQUIRED / 15 TREES PROVIDED

EVERY OVERSTORY TREE PLANTED SHALL BE PROVIDED WITH A PLANTING AREA PF AT LEAST 162 SF.

BUFFERYARD REQUIREMENTS:
 E-3 BUFFERYARD WIDTH: 35 FEET
 % INCREASE IN PLANTINGS: 20%

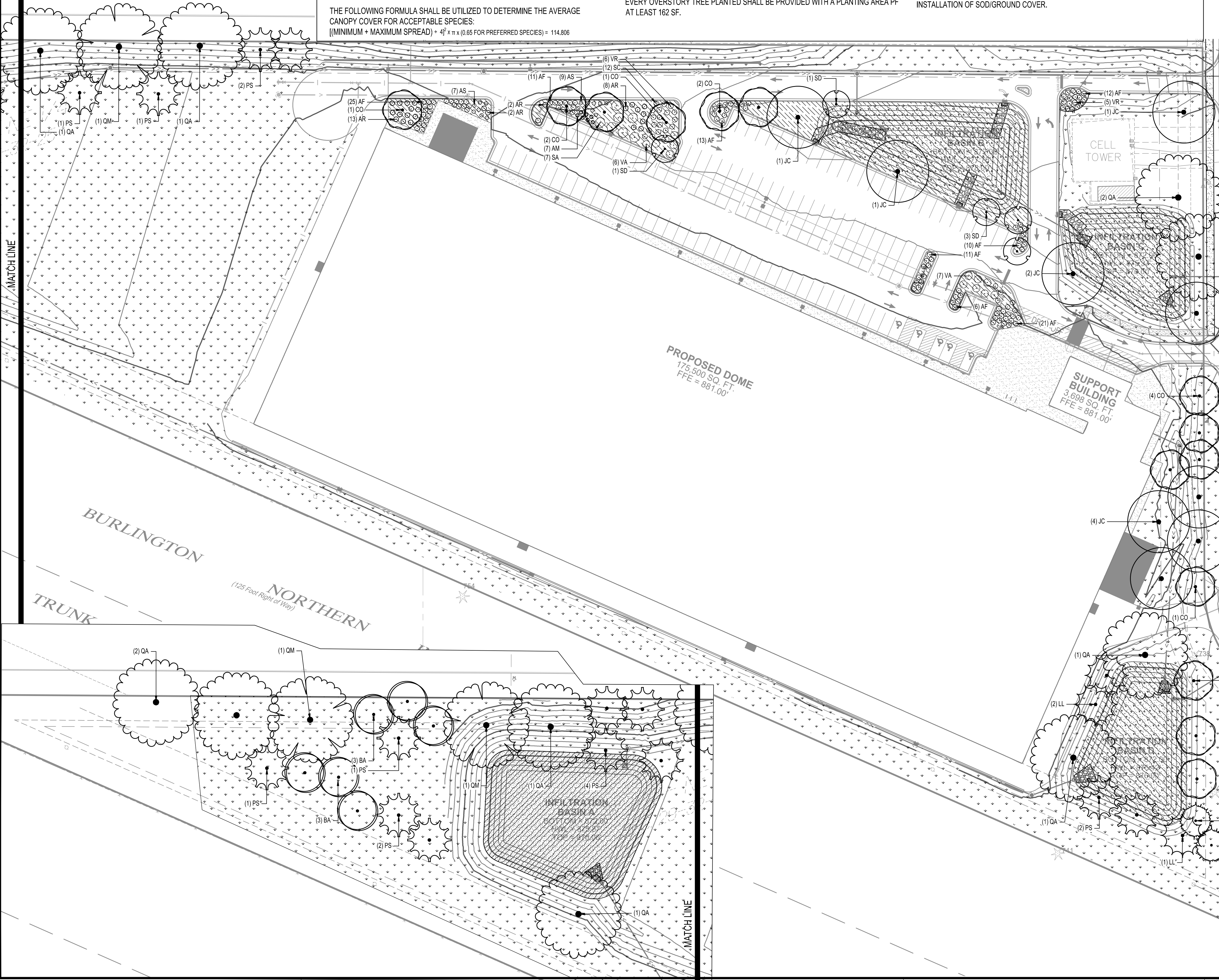
ACCEPTABLE GROUND COVER MATERIAL INCLUDES SOD, MULCH AND OTHER NATURAL GROUND COVER. USE OF LANDSCAPE ROCK AND PLASTIC UNDERLAYMENT IS PROHIBITED.

ALL AREAS DISTURBED DURING CONSTRUCTION AND NOT OTHERWISE IMPROVED WITH IMPERVIOUS SURFACING SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL WITH NO MORE THAN 3% SAND CONTENT. TOPSOIL INSPECTION IS REQUIRED PRIOR TO INSTALLATION OF SOD/GROUND COVER.

PLANT SCHEDULE

EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT
LL	3	LARIX LARICINA TAMARACK	6' HT MIN	B & B
PB	2	PICEA GLAUCA DENSATA BLACK HILLS SPRUCE	6' HT MIN	B & B
PS	14	PINUS STROBUS WHITE PINE	6' HT MIN	B & B
OVERSTORY TREES	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT
BA	6	BETULA ALLEGHANIENSIS YELLOW BIRCH	2.5' CAL	B & B
CO	14	CELTIS OCCIDENTALIS COMMON HACKBERRY	2.5' CAL	B & B
JC	9	JUGLANS CINEREA BUTTERNUT	2.5' CAL	B & B
QA	10	QUERCUS ALBA WHITE OAK	2.5' CAL	CONT
QM	3	QUERCUS MACROCARPA BURR OAK	2.5' CAL	B & B
SD	5	SORBUS DECORA SHOWY MOUNTAIN ASH	2.5' CAL	B & B
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	ROOT
AR	25	AMELANCHIER ALNIFOLIA 'REGENT' REGENT SERVICEBERRY	2' HT MIN	CONT
AS	16	AMELANCHIER SANGUINEA ROUNDLEAF SERVICEBERRY	2' HT MIN	CONT
AF	109	AMORPHA FRUTICOSA FALSE INDIGO	2' HT MIN	CONT
AM	7	ARONIA MELANOCARPA BLACK CHOCOBERRY	2' HT MIN	CONT
SA	7	SHEPHERDIA ARGENTEA SILVER BUFFALOBERRY	2' HT MIN	CONT
SC	12	SHEPHERDIA CANADENSIS RUSSETT BUFFALOBERRY	2' HT MIN	CONT
VR	11	VIBURNUM RAPINESOLIANUM DOWNY ARROWWOOD	2' HT MIN	CONT
VA	13	VIBURNUM TRILOBUM AMERICAN CRANBERRYBUSH	2' HT MIN	CONT

MULCH	QTY	BOTANICAL / COMMON NAME
	9,595 SF	DOUBLE SHREDDED WOOD MULCH (NATURAL COLOR)
SEED MIX	QTY	DESCRIPTION
	25,498 SF	EAST INFILTRATION BASIN SEED MIX
	21,393 SF	WEST INFILTRATION BASIN SEED MIX
SOD	QTY	DESCRIPTION
	185,113 SF	MNDOT SOD 25-131 (TURF)
EDGER	QTY	DESCRIPTION
	40 LF	POLYVINYL EDGER (BLACK COLOR)



NOTE:
 THE CLARITY OF THESE PLANS DEPEND UPON COLOR COPIES. IF THIS TEXT DOES NOT APPEAR IN COLOR, THIS IS NOT AN ORIGINAL PLAN SET AND MAY RESULT IN MISINTERPRETATION.

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 REESE A. SUDTELGTE

DATE: 12/15/2022 LIC. NO. 54243

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
 MITCHELL R. WORKMON

DATE: 12/15/2022 LIC. NO. 53748

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PROJECT
ANOKA RAMSEY ATHLETIC ASSOCIATION NEW DOME

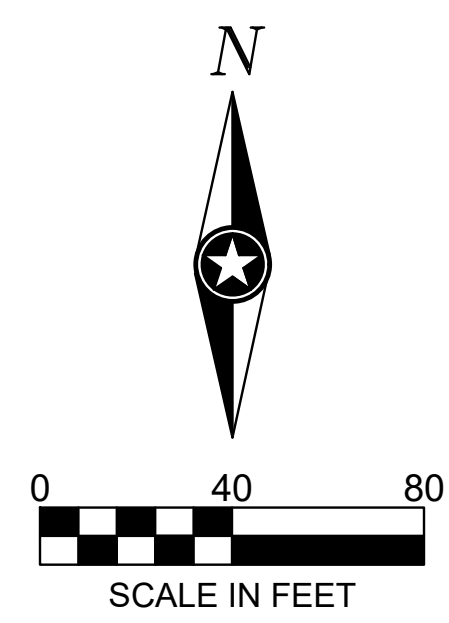
RAMSEY MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	22-26051
FILE NAME	26051 CS-LAND
DRAWN BY	AJR
DESIGNED BY	AJR
REVIEWED BY	RAS
ORIGINAL ISSUE DATE	12/16/2022
CLIENT PROJECT NO.	-

TITLE
PLANTING AND RESTORATION PLAN

SHEET
C5-10



DATE: 11/16/2023 7:04 PM

PRELIMINARY NOT FOR CONSTRUCTION



Todd Larson
Planning Manager
City of Ramsey
7550 Sunwood Dr NW
Ramsey, MN 55303

**RE: SITE PLAN, PRELIM/FINAL PLAT, EASEMENT VACATION APPLICATIONS
ATHLETIC DOME- RAMSEY, MN**

Todd,

On behalf of the Anoka Ramsey Athletic Association, ISG is submitting a Site Plan, Preliminary Plat, Final Plat and Easement Vacation application for the vacant property north of Highway 10, west of Ferret Street NW. The area consists of the parcels identified as:

1. **Parcel ID:** 29-32-25-14-0015
Parcel Address: 14622 FERRET ST NW, Ramsey, MN 55303
Parcel Size: 8.57 Acres
2. **Parcel ID:** 29-32-25-14-0005
Parcel Address: 14650 FERRET ST NW, Ramsey, MN 55303
Parcel Size: 4.31 Acres

These parcels are owned by the Anoka Ramsey Athletic Association and were recently rezoned to the E-3 district.

PROJECT DESCRIPTION

The proposed development is for the Anoka Ramsey Athletic Association's indoor athletic dome, with a potential clinic and restaurant use on the site as well. At this time, the site plan application is specific to the athletic dome, and the other uses would proceed with separate site plan approvals at the time of their development. The plan is to mass grade the site with this initial development and make it pad-ready for the other uses. Construction is planned for the athletic dome to start in April with the opening of the facility in November 2023.

The athletic dome will generally be open 7 days a week, with the weekdays open from around 2:00 pm – 10:00 pm and the weekends open from 7:00 am – 11:00 pm. There will be around 2 full-time employees and 6 part-time employees, with many youth sports volunteers. The peak season is from November-April.

The proposed athletic dome will be a year-round facility consisting of a ~ 175,500 sq ft dome (1.5 turf fields and 8 rubberized multipurpose courts). There will be a 3,698 sq ft support building housing the dome access, lobby, toilets, office, and emergency vehicle access. The primary purpose of the facility will be that of a sports practice/training facility. There may be occasional tournaments or large gatherings/shows in the dome. The dome will have limited spectator seating of 336 seats.

The dome will be Type II-B construction and classified as an A-4 occupancy. It will have a maximum occupancy of 636. The Dome will not have a fire suppression system. The support building will have a fire suppression system. Refer to the code analysis for a complete presentation of code compliance.

Entrance to the site will be from Ferrett Street. There will be 135 parking spaces. Overall, during the development of the dome and support building, 46.1% of the site will be impervious area, resulting in 53.9% as open/green space. An assumed additional 1.51 acres of impervious space will be generated during future phases which results in an ultimate impervious percentage of 63.7%, 36.3% pervious area.

Stormwater will be collected via structures and pipes and directed to four infiltration basins. One on the west side of the site will be used for a portion of the dome which may be expanded or placed underground as future development occurs. Stormwater for the parking lot and the rest of the dome will be directed to the three western.

The Preliminary Plat and Final Plat application are to combine the two lots into one. Additionally, an easement vacation request is included to vacate a portion of existing utility and drainage easements to allow for development on the site. The Final Plat shows that there will still be an easement on the entire perimeter of the site to adequately accommodate the existing and proposed utilities.

VARIANCE REQUEST

The proposed athletic dome will be 78 -ft tall at the highest point. Because the height limit of the E-3 zone district is 65-ft, we are requesting a height variance. Please see the sheet AS-2 Elevations Variance Area to show the portion of the top of the dome that exceeds the height limitation and the proportional area in scale to the overall dome. Article II, Division 2, Section 117-53(b)(2)(a) in the City Code provides the review criteria for a variance request. Following are the review criteria with a statement on how this variance request addresses each criterion:

A. In considering all requests for a variance and in taking subsequent action, the city staff, the board and the council shall make a finding of fact that the proposed action will not:

- 1. Impair an adequate supply of light and air to adjacent property.*

Response: There will be no impairment to the supply of light and air to the adjacent properties. The athletic dome complies with building setbacks and a 13-ft increase in height for the rounded portion of the dome top does not pose any encroachment issue of air or light to adjacent properties. Adjacent to the south is Highway 10. No shadowing will occur from the additional dome height to the south. To the west of the dome is a large portion of the subject site where there will be a future support clinic and restaurant building and therefore the dome does not encroach to any adjacent property to the west. To the north of the dome is the parking lot, and therefore the adjacent properties to the north are far enough away from the dome that they will not be impacted by the requested height increase. Directly to the east of the site is the local street, and the closest lot across the street is far enough to not be impacted either by the requested height increase.

- 2. Unreasonably increase the congestion in the public street.*

Response: The request for a height variance for the athletic facility will not impact traffic. While a height variance for most buildings is associated with an additional floor space and more people, the height for a

dome does not increase the number of people coming to the building. Rather, the height is necessary for athletic practice operations.

3. *Have the effect of allowing any uses prohibited in the applicable zoning district, permit a lesser degree of public health, safety, and general welfare protection than established by this chapter, or permit standards which are lower than those required by state law.*

Response: The proposed use is permitted within the zone district and granting a height variance does not permit a lesser degree to the public health, safety or welfare.

4. *Increase the danger of fire or endanger the public safety.*

Response: The increased height request does not increase the danger of fire or to the public. Our team has met with the city building division and will be conducting operations and designing the facility to comply with the building code.

5. *Unreasonably diminish or impair established property values within the neighborhood, or in any way be contrary to the intent of this chapter.*

Response: The proposed facility and the height variance request would not negatively impact or impair property values in the area. On the contrary, this type of facility has a proven history of revitalizing local business and supporting economic development in the local community.

6. *Violate the intent and purpose of the comprehensive plan.*

Response: The increased height request does not violate the intent and purpose of the comprehensive plan. A height variance is critical to the design and function of this dome. By granting a height variance, this proposed design will then become viable and will allow the development application to proceed. The athletic training facility will be an asset to the community, offering a gathering place for youth, families and adult athletes to train in athletics. This supports goals of community-building, health and wellness and economic development.

7. *Violate any of the terms or conditions of subsection (b)(2)b of this section.*

Response: A height variance would not violate an of the terms or conditions in subsection (b)(2)b.

A check for the application fees and escrow was mailed to the city on 12/9/22. Enclosed with the application submittal for review are the following documents:

1. Land Development Application
2. LRRWMO Application
3. Connexus Authorization
4. Title Report
5. Vesting Deed
6. Code Analysis
7. Site/Civil Plans
8. Rendering

9. Exterior Elevations – Dome
10. Exterior Elevations – Support Building
11. Traffic and Parking Impact Letter
12. Stormwater Report
13. Preliminary Sketch Plat
14. Final Plat
15. Easement Vacation Exhibit A
16. Easement Vacation Exhibit B
17. Elevations – Variance exhibit

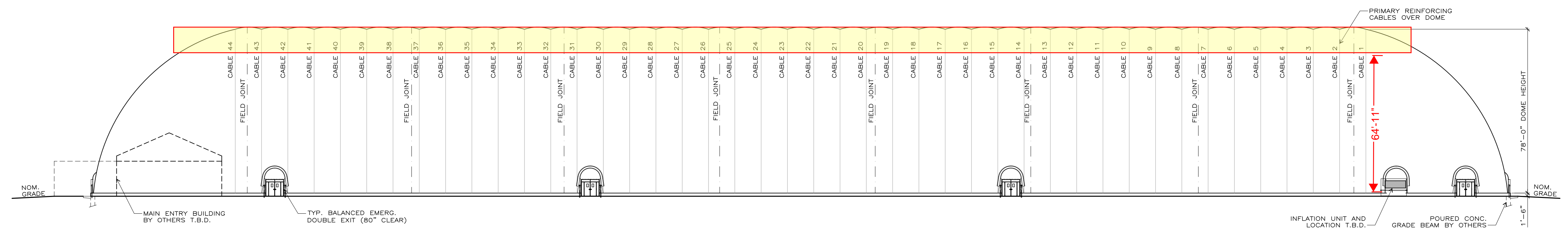
Please contact me at 952.426.0699 or via email at Andrea.Rand@ISGInc.com with any questions or if there is any additional information I can provide in support of this project.

Sincerely,

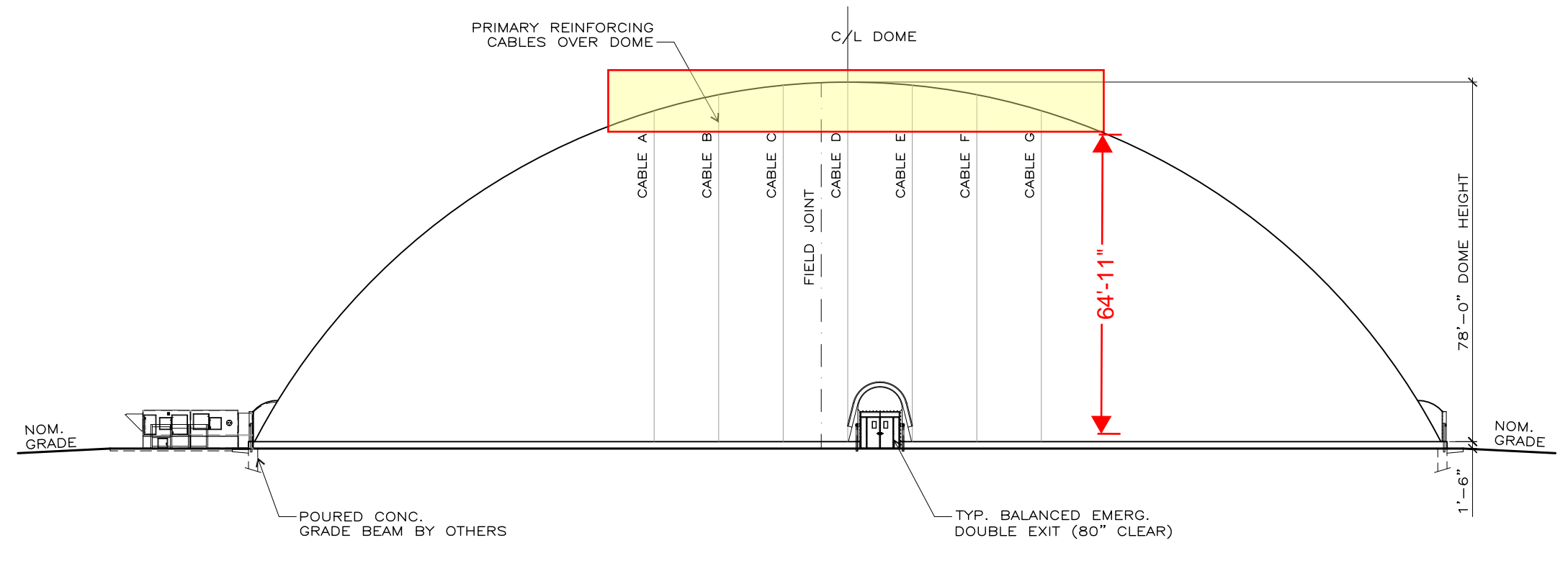


Andrea Rand, AICP
Project Coordinator

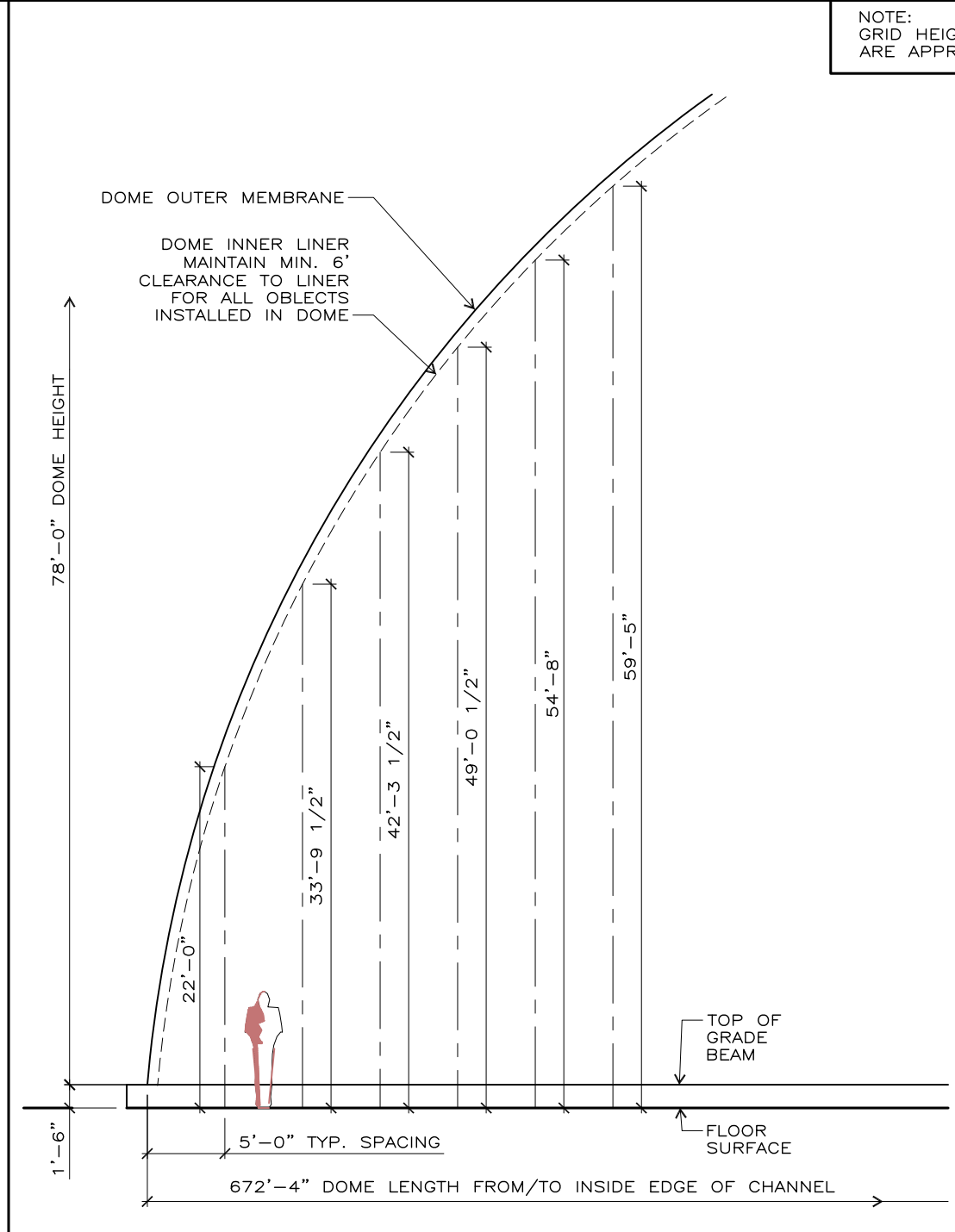
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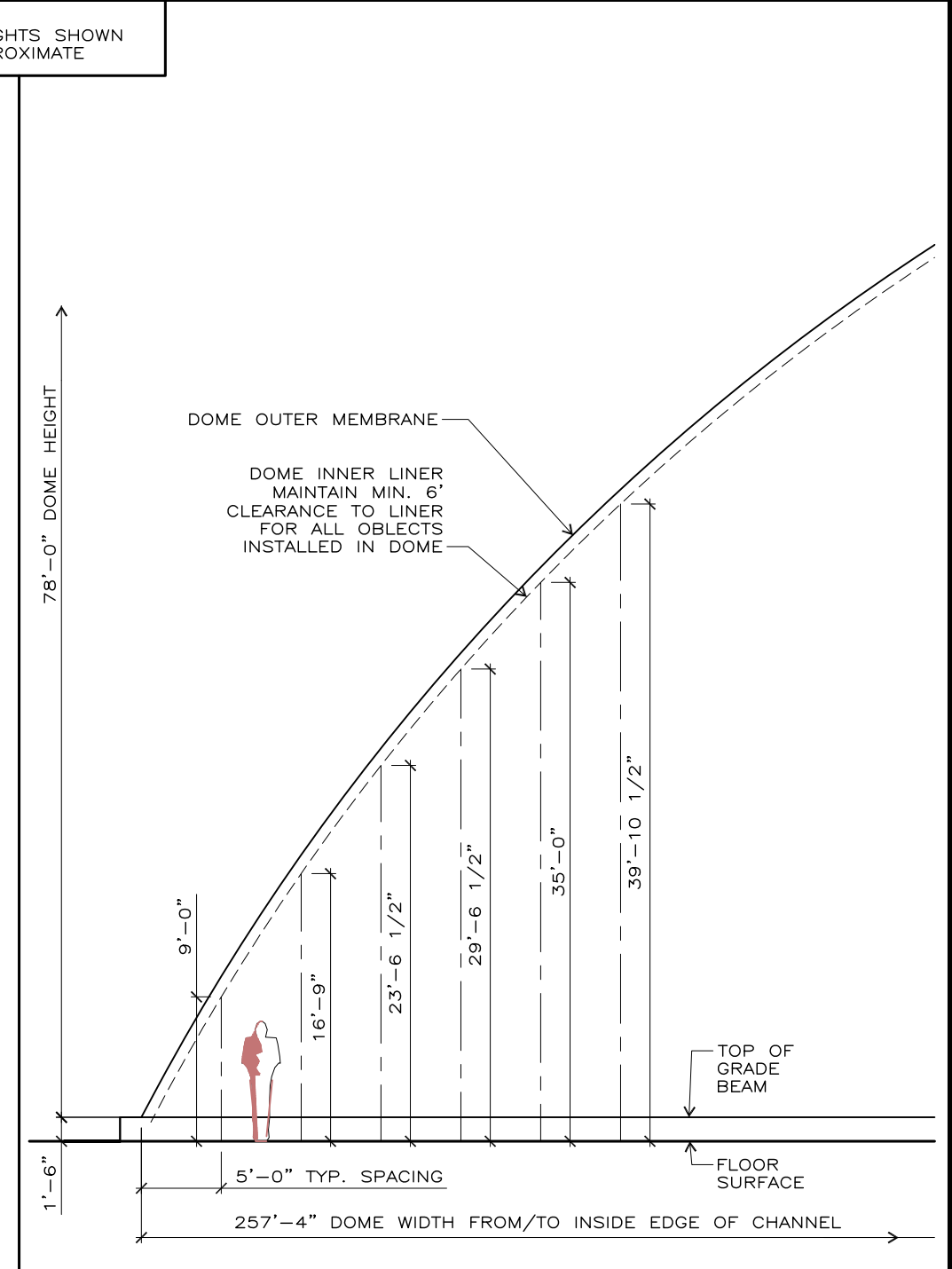
1 SIDE ELEVATION
 AS2 SCALE : 1"=30'-0"



2 END ELEVATION
 AS2 SCALE : 1"=30'-0"



3 APPROX. DOME PROFILE AT END
 AS2 SCALE : 3/32"=1'-0"



4 APPROX. DOME PROFILE AT SIDE
 AS2 SCALE : 3/32"=1'-0"

NOTE: GRID HEIGHTS SHOWN ARE APPROXIMATE

GENERAL NOTES:

1. DESIGN LOADS:
 i) THIS STRUCTURE IS AN AIR SUPPORTED STRUCTURE IN WHICH THE FABRIC IS SUPPORTED BY INTERNAL PRESSURE.
 THE INTERNAL PRESSURE IS MONITORED DAILY BY THE OWNER AND IS INCREASED PRIOR TO HIGHER WINDS OR TO SNOWFALLS, AS DIRECTED IN THE OWNER'S MANUAL, IN ORDER TO PROVIDE REQUIRED RESISTANCE TO THE WEATHER LOADS.
 ii) WIND : IN ACCORDANCE WITH 2015 IBC AND 2016 ASCE-7.
 - 110 MPH (ULT.) EXPOSURE C, PRESSURE DISTRIBUTION TO 2016 ASCE-7.
 - RISK CATEGORY II, MAXIMUM OCCUPANCY IN DOME < 300
 iii) INTERNAL DESIGN PRESSURE :
 - INTERNAL DESIGN PRESSURE IS : 9.36 PSF (1.80" W.C.). THIS IS REQUIRED IN ORDER TO MAINTAIN STRUCTURAL INTEGRITY DURING WEATHER EVENTS.
 - DURING NON-WEATHER EVENTS, THE OWNER MAY REDUCE THE INTERNAL PRESSURE, AT THEIR OWN DISCRETION. MINIMUM INTERNAL PRESSURE IS : 3.9 PSF (0.75" W.C.).
 - STANDBY SET FOR 0.12 kPa (2.6 PSF, 0.5" W.C.) FOR THE "ON" VALUE.
 iv) SNOW :
 - GROUND SNOW 50PSF
 - SNOW IMPORTANCE FACTOR Is=1.1, SNOW EXPOSURE FACTOR Ce=0.9, THERMAL FACTOR Ct=0.85
 - DOME WILL SHED SNOW DUE TO CURVATURE OF MEMBRANE, INTERNAL PRESSURE AND HEAT.
 - SNOW STARTS TO MELT ON CONTACT, THEN AS IT ACCUMULATES, A LAYER OF MELTWATER FORMS BETWEEN THE SNOW AND THE MEMBRANE SURFACE ALLOWING THE ACCUMULATED SNOW TO SLIDE OFF.
 - SNOW TO BE MANUALLY REMOVED BY OWNER IN EXTREME CONDITIONS EXIST (ASCE 55-16 6.11)
 - SNOW TO BE REMOVED FROM ALL SIDES OF DOME BY OWNER AFTER EVERY SNOWFALL
 - IF SNOW IS FORECAST, THE OWNER MUST HAVE PERSONNEL AVAILABLE TO MONITOR DOME OPERATION DURING THE SNOW EVENT.
 v) DEAD LOAD : SELF WEIGHT OF DOME, INSULATION AND CABLES

2. STRUCTURAL:
 ALL WORK SHALL CONFORM TO THE APPLICABLE CODES, LOCAL REGULATIONS AND AUTHORITIES HAVING JURISDICTION.
 THE ENGINEER SHALL BE GIVEN 48 HOURS MINIMUM NOTICE BY THE CONTRACTOR FOR ALL REQUIRED INSPECTIONS OF FOUNDATION, REINFORCING STEEL, STRUCTURAL STEEL AND FRAMING.
 THIS SET OF DRAWINGS REPLACES ALL PREVIOUS DRAWINGS.
 ALL SITE DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. NO CHANGES SHALL BE MADE WITHOUT WRITTEN APPROVAL BY THE ENGINEER.
 ALL SURFACES OF STRUCTURES DIRECTLY EXPOSED TO THE INTERIOR OF THE AIR STRUCTURE SHALL BE DESIGNED TO WITHSTAND A MINIMUM OF 30 PSF OF AIR PRESSURE.
 FABRIC STRESS RELIEF CABLES ABOVE OPENINGS IN THE PRIMARY MEMBRANE SHALL BE DESIGNED AS CATENARY SPANS OF STEEL CABLE, SELECTED AND SUPPLIED BY YEADON FABRIC STRUCTURES IN ACCORDANCE WITH THE FABRIC STRESS CALCULATIONS PROVIDED BY THE ENGINEER FOR THIS PROJECT.
 THIS AIR STRUCTURE HAS BEEN DESIGNED USING CSA DOCUMENT CSA S367-12 AND ASCE 55-16 AS GUIDES.

3. EXCAVATION AND BACKFILL:
 SOIL CONDITIONS SHALL BE REPORTED TO THE ENGINEER AT THE TIME OF EXCAVATION AND AT HIS DISCRETION THE ENGINEER MAY REQUIRE FURTHER SOILS INVESTIGATION, OR MODIFICATIONS TO THE GRADE BEAM DESIGN.
 REMOVE ALL TOP SOIL AND DELETERIOUS MATERIAL FROM BENEATH ALL STRUCTURE COMPONENTS.
 USE ONLY ENGINEER APPROVED COMPACTED FILL TO RAISE GRADES WHERE REQUIRED BENEATH STRUCTURES.
 COMPACT ALL GRANULAR FILL TO 98% SPDD. COMPACTION TESTING SHALL BE CARRIED OUT BY A QUALIFIED GEOTECHNICAL CONSULTANT PRIOR TO INSTALLATION OF ANY STRUCTURES SUPPORTED ON FILL.
 SLOPE ALL GRADES AWAY FROM THE AIR STRUCTURE AND ITS COMPONENTS.
 PROTECT EXCAVATIONS AND GRADE BELOW SLABS FROM FROST PENETRATION BY PROPER USE OF STRAW, THERMAL BLANKETS AND TARPS.

4. CONCRETE:
 ALL CONCRETE AND REBAR SHALL CONFORM TO ACI CODE 318-LATEST EDITION.
 CONCRETE STRENGTH SHALL BE 3000 PSI, 6% +/- 1% AIR ENT. IN ALL CASES, UNLESS OTHERWISE SPECIFIED.
 USE ONLY GRADE 60 (60,000 PSI) DEFORMED REBAR.
 APPROPRIATE MEASURES SHALL BE TAKEN TO PROTECT CONCRETE FROM EXCESSIVE EVAPORATIVE WATER LOSS AND ENSURE PROPER CURING.
 ALL CONCRETE SHALL BE TESTED BY AN ACI CERTIFIED CONCRETE TESTING LABORATORY.
 USE HIGH FREQUENCY VIBRATION TO PLACE ALL CONCRETE.
 APPROPRIATE MEASURES SHALL BE TAKEN TO PROTECT CONCRETE FROM EXPOSURE TO FREEZING TEMPERATURES FOR AT LEAST (7) DAYS FOLLOWING CONCRETE PLACEMENT.
 PROVIDE GROUT CLEANED RUBBED FINISH IN ACCORDANCE WITH ACI 301-10 FOR ALL FORMED CONCRETE SURFACES EXPOSED TO VIEW.
 ENSURE 2" MINIMUM COVER FOR ALL REBAR IN FORMED CONCRETE, 3" MINIMUM COVER FOR CONCRETE POURED AGAINST SOIL.
 PROVIDE VERTICAL CONTROL JOINTS @ 20'-0" O.C. MAX. LOCATE MID DISTANCE BETWEEN CABLE ANCHORAGE. KEY EA. FACE 1" MIN AND CAULK. CUT EVERY OTHER HORIZ. BAR.
 RE-BAR LAP/SPLICE LENGTHS:
 #4 = 22"
 #5 = 28"
 #6 = 32"

5. ELECTRICAL NOTES:
 (SEE ALSO ELECTRICAL DRAWINGS BY OTHERS ISSUED FOR THIS PROJECT)
 EXITS:
 THE CONTRACTOR SHALL PROVIDE (1) 277V/15A DEDICATED CIRCUIT FOR EMERGENCY LIGHTING ONLY AND ALL EMERGENCY LIGHTS SHALL BE POWERED BY THIS CIRCUIT.
 POWER SUPPLY FOR EMERGENCY EXITS SHALL BE BROUGHT WITHIN 12" OF EACH EXIT DOOR OPENING AS LOCATED IN THE CONSTRUCTION DRAWINGS.
 WHERE THE POWER SUPPLY IS RUN IN CONDUIT CAST INTO THE FOUNDATION GRADE BEAM, 10" CLEARANCE MUST BE PROVIDED BELOW FINISHED CONCRETE SURFACE TO AVOID CONTACT WITH ANCHOR BOLTS.
 LIGHTING:
 POWER SUPPLY FOR LIGHT FIXTURES SHALL BE BROUGHT TO RECEPTACLE BOXES AS LOCATED IN THE CONSTRUCTION DRAWINGS.
 ELECTRICAL CONTRACTOR TO TRIM AND INSTALL PLUG ENDS ON EACH LIGHT CORD IN PROPER LOCATIONS.
 VOLTAGE, AMPERAGE AND J-BOX LOCATIONS SHALL BE CONFIRMED BY THE CONTRACTOR TO YEADON FABRIC STRUCTURES, IN WRITING, PRIOR TO COMMENCEMENT OF ELECTRICAL WORK.
 IT IS RECOMMENDED THAT LIGHTING CONTRACTORS BE USED WITH REMOTE LOCATION SWITCHING AT A CONTROL POINT, LOCATED BY THE OWNER / DEVELOPER.
 FOR SUSPENDED LIGHTING, EVERY EFFORT IS MADE TO ALIGN LIGHTS VERTICALLY AND HORIZONTALLY, DUE TO THE CURVATURES OF THE DOME AND THE DIFFERING LOCATIONS OF THE FIXTURES ON THE INDIVIDUAL PANELS, VARIATIONS IN HEIGHT AND HORIZONTAL ALIGNMENTS MAY OCCUR. OTHER FACTORS SUCH AS DOME PRESSURE MAY ALSO AFFECT THE LOOK AND ALIGNMENT OF THE FIXTURES.

6. MECHANICAL EQUIPMENT:
 SEE MECHANICAL DRAWINGS (BY OTHERS) ISSUED FOR THIS PROJECT.
 POWER SUPPLY FOR MECHANICAL EQUIPMENT SHALL BE BROUGHT TO LOCATIONS AS INDICATED ON THE CONSTRUCTION DRAWINGS. (NOTE: EQUIPMENT IS SUPPLIED WITH MAIN DISCONNECT).
 VOLTAGE AND AMPERAGE REQUIREMENTS SHALL BE CONFIRMED BY THE CONTRACTOR TO YEADON FABRIC STRUCTURES IN WRITING, PRIOR TO COMMENCEMENT OF ELECTRICAL WORK.
 THE ELECTRICAL CONTRACTOR SHALL COMPLETE ALL ELECTRICAL TERMINATIONS AND CONNECTIONS.
 THE INFLATION UNIT IS SLIT IN SECTIONS FOR SHIPPING, FIELD ASSEMBLY REQUIRED.
 ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR CONNECTING THE ELECTRICAL SPLITS ON THE SECTIONS.
 ELECTRICAL CONTRACTOR SHALL TEST ROTATION PRIOR TO MANUFACTURER FACTORY STARTUP.
 FOR PRESSURE SENSING TUBING, ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL 3/4" CONDUIT FROM CONTROL PANEL TO STUB UP IN BOX INSTALLED IN GRADE BEAM IN DOME INTERIOR, AND FROM CONTROL PANEL TO ATMOSPHERE, TO TERMINATE IN BOX WITH SCREENED VENT.
 FOR BOTTOM DISCHARGE UNITS, ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL TEMPERATURE SENSORS IN THE DISCHARGE AND RETURN AIR DUCTS.
 FOR REMOTE PC/MOBILE ACCESS, ELECTRICAL CONTRACTOR TO PROVIDE CONDUIT AND INSTALL ETHERNET CABLE FROM REMOTE PC LOCATION TO INFLATION UNIT.
 OWNER TO PROVIDE IP ADDRESS AND PC CONNECTED AT TIME OF INSTALL FOR REMOTE ACCESS OPTION.

7. FABRIC SPECIFICATIONS:

	STYLE 8028	STYLE 9032
SHELTER RITE		
BASE TYPE	POLYESTER	POLYESTER
FABRIC WEIGHT	(7.5 oz/yd ²)	(10.0 oz/yd ²)
FINISHED COATED WEIGHT	(28 +/- 1 oz/yd ²)	(32 +/- 1 oz/yd ²)
ASTM D751		
TONGUE TEAR	(8" x 10" SAMPLE @ 12"/MIN.)	(8" x 10" SAMPLE @ 12"/MIN.)
ASTM D751	(275/275 lbr)	(300/300 lbr)
TRAPEZOID TEAR	(85/85 lbr)	(100/100 lbr)
ASTM D4533		
GRAB TENSILE	(700/700 lbr)	(840/840 lbr)
ASTM D751		
STRIP TENSILE	(515/515 lbr/in)	(650/650 lbr/in)
ASTM D751 PROCEDURE B		
ADHESION (MINIMUM)	(10 lbr/in)	(10 lbr/in)
ASTM D751 DIELECTRIC WELD		
HYDROSTATIC RESISTANCE	(500 psf)	(500 psf)
ASTM D751 PROCEDURE A		
DEAD LOAD	(2" SEAM, 4 HRS, 1" STRIP)	(2" SEAM, 4 HRS, 1" STRIP)
MIL-T-52933E (MODIFIED)	(133 lbr @ ROOM TEMPERATURE)	(133 lbr @ ROOM TEMPERATURE)
PARA 4.5.2.19		
LOW TEMPERATURE	(LTC: PASS @ -40° F)	(LTC: PASS @ -40° F)
ASTM D2135	(LTA: PASS @ -67° F)	(LTA: PASS @ -67° F)
1/8" MANDREL 4HRS		
FLAME RESISTANCE		
MEETS NFPA 701; CAN/ULC-5109; ASTM 6413-2 SECOND FLAMEOUT		
REGISTERED BY CALIFORNIA FIRE MARSHAL (NO. F-10301); GB824-2008;		
ASTM E84 & ULC-5102 - FLAME SPREAD INDEX <25, SMOKE DEVELOPMENT RATING <450		

NO.	DESCRIPTION	DATE

REVISIONS:

SEAL:

PRELIMINARY
 NOT FOR CONSTRUCTION

PROJECT:
ANOKA RAMSEY ATHLETIC ASSOCIATION MULTI SPORT DOME

PROJECT LOCATION:
RAMSEY, MN.

DRAWING:
ELEVATIONS GEN. NOTES

SCALE:
AS NOTED

DATE:
02/DEC/22

DRAWN BY: R.K./D.K.	APPROVED BY: D.K.
PROJECT NO.:	DWG. NO.: AS-2



Commissioner _____ introduced the following resolution and moved for its adoption:

RESOLUTION #23-024

**A RESOLUTION APPROVING A VARIANCE TO MAXIMUM STRUCTURE HEIGHT
AT 14600 FERRET STREET NORTHWEST**

RECITALS

1. The City of Ramsey received an application from Anoka-Ramsey Athletic Association (the “**Developer**”) requesting a Variance to Section 117-124(e)(1) (E-3 Employment District bulk standards) of the Ramsey City Code with regard to the maximum building height requirement to facilitate construction of a fabric air-supported athletic dome of the property legally described as follows:

Lot 1, Block 1, ARAA Subdivision, Anoka County, Minnesota

(the “**Subject Property**”)

2. That the **Subject Property** is approximately 12.89 acres in size and zoned E-3 Employment District.
3. That the Subject Property is guided Business Park in the 2040 Comprehensive Plan.
4. That the zoning of the Subject **Property** allows for structures of up to 65 feet in height.
5. That the **Developer** appeared before the Planning Commission for a public hearing pursuant to Section 117-53 (Variances) of the Ramsey City Code on January 26, 2023, and that said public hearing was properly advertised and that the minutes of said public hearing are available.

FINDINGS OF FACT

1. That the **increased height** of the dome will not impair an adequate supply of light and air to adjacent property due to the curvature of the structure.
2. That the **increased height** of the dome will not unreasonably increase the congestion on the public street as the height is not for additional building stories.
3. That the **increased height** of the dome will not have the effect of allowing any use prohibited in the E-3 Zoning District.
4. That the **increased height** of the dome will not permit a lesser degree of public health, safety, and general welfare protection than established by Chapter 117 of the Ramsey City Code, or permit standards which are lower than those required by state law.

5. That the **increased height** of the dome will not increase the danger of fire or endanger the public safety.
6. That the **increased height** of the dome will not unreasonably diminish or impair established property values within the neighborhood, or in any way be contrary to the intent of Chapter 117 of the Ramsey City Code.
7. That the **increased height** of the dome will be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and such use will not change the essential character of the area.
8. That the **increased height** of the dome will not violate the intent and purpose of the Comprehensive Plan.
9. That the **increased height** of the dome will be in accordance with the objectives of the intent of Section 117-53 (Variances) of the Ramsey City Code.
10. That the **increased height** of the dome is the minimum necessary to accomplish the **Developer's** intended purpose of indoor sports.

NOW THEREFORE, BE IT RESOLVED BY THIS PLANNING COMMISSION OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:

That the Ramsey Planning Commission hereby grants approval of a variance (the "**Variance**") to the maximum height requirement on the **Subject Property**, subject to review and approval as to legal form and contingent upon the following conditions:

CONDITIONS

1. That this **Variance** shall allow the height of the dome to be 78 feet, upon Final Plat site plan approval by the City Council.
2. That this **Variance** is tied to the Final Plat for **ARAA Subdivision**, and will only be recorded if the Final Plat is approved by the City Council.
3. That this **Variance** shall be perpetual in duration as long as the terms are herein complied with.
4. That the **Developer** shall be responsible for all City costs incurred in administering and enforcing this **Variance**.
5. That this **Variance** shall automatically expire if a valid building permit is not issued by January 26, 2024, and permitting timeline procedures not followed thereafter.

The motion for the adoption of the foregoing resolution was duly seconded by Commissioner _____, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

Whereupon said resolution was declared duly passed and adopted by the Ramsey Planning Commission this the 26th day of January, 2023.

Chairperson

ATTEST:

City Clerk

Councilmember _____ introduced the following resolution and moved for its adoption:

RESOLUTION #23-025

**RESOLUTION GRANTING PRELIMINARY AND FINAL PLAT APPROVAL
OF “ARAA SUBDIVISION”**

WHEREAS, Anoka-Ramsey Athletic Association, hereafter referred to as “Applicant”, properly applied for Preliminary and Final Plat approval of the following described property located in the City of Ramsey:

Lot 2, Block 1, Hy-10 Ramsey, together with that part of the Southwest Quarter of the Northeast Quarter of Section 29, Township 32, Range 25, lying Northeasterly of Northeasterly Right-of-Way line of Burlington Northern Railroad, Anoka County, Minnesota; and

Lot 1, Block 1, Hy-10 Ramsey, Anoka County, Minnesota

Or upon platting:

ARAA Subdivision, Anoka County, Minnesota

(the ‘Subject Property’); and

WHEREAS, on the proposed plat combines existing parcels; and

WHEREAS, the proposed plat meets all of the standards for the E-3 Employment zoning district;
and

WHEREAS, the result of this final plat is a lot consolidation.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:

- 1) That the Ramsey City Council hereby grants preliminary and final plat approval of “ARAA Subdivision” in accordance with relevant City Codes, subject to the following conditions:
 - a) Approval by the City Engineer; and
 - b) Final Plat subject to review and approval as to legal form by the City Attorney; and
 - c) Adoption of Resolution #23-027 vacating all existing drainage and utility easements on the Subject Property with the intent of dedicating new revised easements on this plat.
- 2) That the applicant will enter into a development agreement with the City as prescribed by City Code pertaining to development fees, park dedication, and financial guarantees.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember _____, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this 14th day of February, 2023.

Mayor

ATTEST:

City Clerk

Councilmember _____ introduced the following resolution and moved for its adoption:

RESOLUTION #23-026

A RESOLUTION APPROVING SITE PLAN FOR AN ATHLETIC TRAINING FACILITY AT 14600 FERRET STREET NORTHWEST

RECITALS

1. Anoka-Ramsey Athletic Association, hereinafter referred to as the “**Permittee**” has properly applied for a Site Plan for an athletic training facility on the property legally described as follows:

Lot 1, Block 1, ARAA Subdivision, Anoka County, Minnesota

(“**Subject Property**”)

2. That the **Subject Property** is zoned E-3 Employment District, which is a business park zoning designation and guided as such in the 2040 Comprehensive Plan.
3. That the City Code allows this type of permitted use in the E-3 Employment District.
4. That the **Permittee** appeared before the Planning Commission for a public hearing on January 26, 2023, that said public hearing was properly advertised and that the minutes of said public hearing are hereby incorporated by reference.
5. That the Planning Commission reviewed and recommended approval/denial of the request.
6. That the City Council reviewed the request at a regular meeting on February 14th, 2023.

NOW THEREFORE, BE IT RESOLVED BY THIS CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:

That the Ramsey City Council hereby grants approval of the Site Plan for an athletic training facility on the **Subject Property** contingent upon the following conditions:

CONDITIONS

1. That the Applicant enter into a Development Agreement with the City as prescribed by City Code pertaining to development fees and financial guarantees.
2. Final legal form approved by the City Attorney.
3. Modifications to the utility plans prior to building permit.

4. That the ground-level mechanical/HVAC equipment must be screened with privacy fencing.
5. That separate building permit and sign permits are required.
6. That the Permittee shall be responsible for all City costs incurred in administering and enforcing this Permit.
7. That this Permit shall automatically expire if the use is not initiated by February 14th, 2024, or a valid building permit has been issued.
8. That the Lower Rum River Watershed Management Organization shall review the proposed site plan and all conditions therein shall be met, including a storm water maintenance agreement.
9. That development of any future buildings on the site or expansion of the parking lot shall require a new Land Use Application.
10. This Site Plan Review is authorized for an athletic training facility. Given the architectural design of the facility and availability of parking on site, the use of this facility for games, tournaments, or other events is limited to the design occupant load. Any event exceeding the design occupant load will require a Special Event Permit to ensure compliance with all applicable Building, Fire, and Zoning Codes and conditions may be imposed.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember _____, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this 14th day of February, 2023.

Mayor

ATTEST:

City Clerk

Meeting Date: 01/26/2023

By: Todd Larson, Community Development

Information

Title:

Zoning Code Update - Business Districts

Purpose/Background:

On October 27, 2022, staff presented the proposed business zoning district descriptions and the principal use table to the Commission for feedback. Staff has worked more on the section by adding accessory uses, seasonal uses, and performance standards. Staff has also worked on other items for the business district like parking, lot dimensions, setbacks, architectural standards, screening, and others. Attached is the working draft of the business district section.

Staff is looking for some direction on the following items:

Bulk Standards/Maximum Impervious Surface (section 530). Would the Planning Commission like to see a maximum amount of impervious surfaces on business properties? Currently, there is no limitation to the total of building footprint, parking, driveways, etc. other than what is designated by setbacks.

Accessory Buildings for Business Uses (section 550). Staff is proposing to allow garages, sheds, or other accessory buildings on business properties in a similar manner as residential properties. Architecturally, they would need to be compatible with the main building. How many and how big should be allowed?

Landscaping Buffaryards (section 570). The bufferyard requirements are complicated, especially where a property borders multiple zoning districts. Should this be simplified between residential properties and business properties (proposed B1, B2, and B3) or industrial properties (proposed I1 and I2)? Generally speaking, there are no noticeable impacts between business uses within each grouping.

Is there anything else that the Commission would like to discuss within the draft business section? Is there anything that should be added, modified, or removed?

Notification:

None required at this time.

Observations/Alternatives:

Funding Source:

This work is handled through staff's normal duties.

Recommendation:

Action:

None at this time. Please provide any feedback on this section.

Attachments

Form Review

Inbox

Brian Hagen

Form Started By: Todd Larson

Final Approval Date: 01/19/2023

Reviewed By

Brian Hagen

Date

01/19/2023 03:02 PM

Started On: 01/04/2023 03:33 PM

Green Text = Carried over verbatim

Gold Text=Partially verbatim, paraphrased, or combined carried over paragraphs.

Red Text = Text deleted from a carried over paragraph

Blue Text = New text

500 Business Districts

510 Districts Established and Purpose

The following businesses districts (B-1, B-2, B-3, I-1, and I-2) are hereby established according their purpose and the intent of the Comprehensive Plan. Collectively, these five districts are herein this chapter called "business districts."

511 B-1 Neighborhood Business District

- (A) Purpose. This district is intended to provide a district which encourages compact walkable centers for office, retail sales, and personal services that connect to and serve the adjacent neighborhoods and to preserve and protect the general character of the adjacent areas.
- (B) Application – This district shall be applied to properties guided Commercial as shown on the current Comprehensive Plan.

512 B-2 Community Business District

- (A) Purpose. This district is intended to provide a district for the development of community-scale office, retail sales, restaurant, and services functional for both pedestrians and automobiles.
- (B) Application – This district shall be applied to properties guided Commercial as shown on the current Comprehensive Plan.

513 B-3 Regional Business District

- (A) Purpose. This district is intended to provide for large-scale commercial development, including retail, entertainment, restaurant, and other complementary commercial uses. The district is intended to provide a commercial environment that is functional for both pedestrians and automobiles serving the community and region.
- (B) Application – This district shall be applied to properties guided Commercial as shown on the current Comprehensive Plan.

514 I-1 Light Industrial District

- (A) Purpose. This district is intended to provide areas in which to locate businesses that enhance the city's tax base, have a large employee base, involve manufacturing, warehousing, distribution, office uses, and other accessory retail and service uses offered on site with minimal outdoor storage. This district also accommodates large users such as indoor recreational complexes.
- (B) Application – This district shall be applied to properties guided Business Park as shown on the current Comprehensive Plan.

515 I-2 General Industrial District

- (A) Purpose. This district is designed to provide a district for intense manufacturing, warehousing, distribution, and industrial uses due to the characteristics of the use of the property, and/or have an extensive amount of outdoor processing and/or outdoor storage.

- (B) Application – This district shall be applied to properties guided Business Park as shown on the current Comprehensive Plan.

520 Uses

The following sections establish listings of the permitted, conditional, principal, accessory, and temporary uses for the business zoning districts (B-1, B-2, B-3, I-1, I-2). The uses have been allocated to the individual districts to allow reasonable use of properties in a manner that is compatible with the Comprehensive Plan, the purpose of each business zoning district, and the overall purpose of this chapter. Whenever in any zoning district a use is neither specifically permitted or denied, the use shall be considered prohibited.

521 Primary Uses

Permitted and conditional principal uses are listed in the following table for each of the districts in this section. Additional performance standards for the uses are found in Section 525.

P=Permitted Use, C=Conditional Use, NP=Use Not Permitted

Use	B-1	B-2	B-3	I-1	I-2
Adult Uses – Principal	NP	NP	C	NP	NP
Animal Service Business and Veterinary Clinics	P	P	P	P	P
Asphalt and Concrete Plants	NP	NP	NP	NP	C
Assembly Halls, Banquet Halls, or Conference Centers	NP	C	C	C	NP
Banks	P	P	P	P	NP
Breweries and Distilleries	NP	P	P	P	P
Car Washes and Detailing Services	NP	C	C	C	NP
Commercial Recreation, Indoor	NP	C	C	C	NP
Commercial Recreation, Outdoor	NP	C	C	NP	NP
Communications Towers	C	C	C	C	C
Daycare Centers	P	P	P	P	NP
Digital Billboards	NP	C	C	C	C
Distribution Facility	NP	NP	NP	NP	P
Equipment, tool, and party supply rental business	NP	NP	C	C	C
Fitness Centers	P	P/C	P/C	P/C	NP
Funeral Homes and Crematoriums	P/NP	P	P	NP/P	NP/P
Gas Station, CNG Fuel Sales	NP	C	C	C	C
Governmental or Public Facility or Utility	P	P	P	P	P
Hotels	NP	P	P	NP	NP
Manufacturing, Assembly, Production, Research and Testing Labs, and the like	NP	NP	NP	P	P
Medical and Dental Offices and Clinics	P	P	P	P	NP
Motor Vehicle Repair	NP	C	C	C	C
Motor Vehicle Sales and Showrooms and Rental	NP	NP	C	C	C
Multiple Principal Structures on one Parcel	C	C	C	C	C
Offices and Professional Services	P	P	P	P	P
Personal Services	P	P	P	P	P
Post-Secondary Educational Facility	NP	P	P	P	P
Private Clubs or Lodges	C	C	C	NP	NP
Religious Institutions	P	P	P	NP	NP
Restaurants and Brewpubs	P	P	P	P	P

Retail landscape nurseries, garden centers	NP	C	C	NP	C
Retail Sales and Showrooms	P	P	P	P	P
Self-Storage Facility	NP	C	C	NP	C
Theaters, Movie Theaters	NP	P	P	NP	NP
Vehicle Impound Yards, Salvage Yards, Tow Yards	NP	NP	NP	NP	NP
Warehousing	NP	NP	NP	P	P
Wholesale Sales	NP	NP	NP	P	P

522 Accessory Uses

Permitted and conditional accessory uses are listed in the following table for each of the districts in this section. Additional performance standards for the uses are found in Section 525. All accessory uses must be subordinate to and be accompanied by a primary use on a parcel.

P=Permitted Use, C=Conditional Use, NP=Use Not Permitted

Accessory Use	B-1	B-2	B-3	I-1	I-2
Accessory Dwelling Units	C	C	C	NP	NP
Accessory Storage Buildings and Garages	P	P	P	P	P
Adult Uses – Accessory	NP	P	P	NP	NP
Commercial Recreation, Outdoor	NP	C	C	C	C
Drive-Thrus	NP	C	C	C	C
Electric Vehicle Charging Stations	P	P	P	P	P
Mobile Food Units	P	P	P	P	P
Motor Fuel Stations, CNG Stations	NP	NP	NP	P	P
Motor Vehicle accessory installation	NP	P	P	P	P
Outdoor Animal Runs	NP	C	C	C	P
Outdoor Displays	P	P	P	NP	P
Outdoor Sales	C	C	C	NP	NP
Outdoor Storage	NP	NP	C	C	C
Outdoor Vehicle and Equipment Storage	NP	NP	NP	P	P
Parking Lots and Structures	P	P	P	P	P
Retail Sales and Showrooms	P	P	P	P	P
Solar Energy Systems	P	P	P	P	P
Taprooms and Cocktail Rooms	NP	P	P	P	P
Vehicle sales inventory and display lots	NP	NP	C	NP	NP
WCES	P	P	P	P	P

523 Temporary/Seasonal Uses

The following uses are considered temporary in nature and accessory to an established business use listed in Section 521. If a date range is given, that use is only allowed during that time period. Additional performance standards for the uses are found in Section 525.

P=Permitted Use, C=Conditional Use, NP=Use Not Permitted

Use	B-1	B-2	B-3	I-1	I-2
Construction Trailers/Field Offices	P	P	P	P	P

Outdoor retail sales of Christmas trees, wreaths, and the like <i>November 1 – December 31.</i>	P	P	P	NP	NP
Outdoor retail sales of fireworks <i>June 15-July 15</i>	P	P	P	NP	NP
Outdoor storage of snow removal equipment, temporary salt/sand shed <i>October 15-April 15</i>	P	P	P	P	P
Outdoor retail sales of plants, flowers, and the like <i>May 1 – July 31.</i>	C	C	C	C	C
Seasonal outdoor storage of marine boats <i>September 1 through May 31</i>	NP	NP	C	C	C
Transient Merchants not listed elsewhere in this section	P	P	P	P	P

525 Performance Standards

Some permitted and conditional uses are further regulated based on the standards below.

- (A) Accessory dwelling units (ADU) in conjunction with certain business uses. Such business types include, but are not limited to, funeral homes or animal service businesses with boarding. Attached accessory dwelling units are permitted with the following requirements:
 - (1) Number. No more than two ADUs shall be allowed per business property.
 - (2) Occupancy. At least one resident of each ADU must be an employee of the business where the ADU is located and it is a part of the employee’s job duties to be on-site for extended or overnight hours. The unit cannot solely be rented to someone unaffiliated with the business.
 - (3) Maximum size. The maximum size of an ADU cannot exceed 800 square feet of habitable space.
 - (4) Address. The ADU must retain the same address as the principal structure.
 - (5) Utilities. Accessory dwelling units must share utilities with the principal structure.
 - (6) Ownership. Accessory dwelling units may not be sold separately from the primary residence, and cannot be created with a new tax parcel.
 - (7) The ADU is subject to rental licensing requirements of Chapter 26.

- (B) Adult Uses
 - (1) *Purpose.* The nature of adult uses is such that they are recognized as having adverse secondary characteristics, particularly when they are accessible to minors and located near residential property or related residential uses such as schools, day care centers, libraries or parks. Furthermore, the concentration of adult uses has an adverse effect upon the use and enjoyment of adjacent areas. The nature of adult uses requires that they not be allowed within certain zoning districts, or within minimum distances from each other or residential uses. Special regulation of adult uses is necessary to ensure that the adverse secondary effects would not contribute or enhance criminal activity in the area of such uses nor will it contribute to the blighting or downgrading of the surrounding property and lessening of its value.
 - (2) *Generally.* Adult uses as defined in this chapter shall be subject to the following general provisions:
 - a. Activities classified as obscene are not permitted and are prohibited.

- b. Adult uses, either principal or accessory, shall be prohibited from locating in any building that is also utilized for residential purposes.
 - c. Adult uses, either principal or accessory, shall be prohibited from locating in any place that is also used to dispense or consume alcoholic beverages.
 - d. An adult use that does not qualify as an accessory use pursuant to subsection (d)(1) of this section, shall be classified as an adult use - principal.
- (3) *Adult uses - principal.*
- a. Adult use - principal shall be located at least 1,000 radial feet, as measured in a straight line from the closest point of the property line of the building upon which the adult use - principal is located to the property line of:
 - 1. Residentially zoned property;
 - 2. A licensed day care center;
 - 3. A public or private educational facility classified as an elementary, junior high or senior high;
 - 4. A public library;
 - 5. A public park;
 - 6. Another adult use - principal;
 - 7. An on-sale liquor establishment; or
 - 8. Any religious organization.
 - b. No adult use - principal shall be located in the same building or upon the same property as another adult use - principal. This limitation does not apply to any business or establishment that contains more than one adult use - principal as of December 16, 1990; any such business or establishment that is required to terminate its location pursuant to this section is not prohibited from operating the same adult uses - principal that were in existence as of December 16, 1990, at any new location in the city where adult uses - principal are otherwise lawful under this Code.
 - c. Adult use - principal shall adhere to the following signing regulations.
 - 1. Sign messages shall be generic in nature and shall only identify the type of business that is being conducted.
 - 2. Sign messages shall not contain material classified as advertising.
 - 3. Signs shall comply with the requirements of size and number for the district in which they are located.
 - d. Adult use - principal shall be limited to 7:00 a.m. to 12:00 midnight for its hours of operation. A differing time schedule may be approved by the zoning administrator, subject to council appeal, if it can be satisfactorily demonstrated by the operator to the city that extended operational hours will:
 - 1. Not adversely impact or affect uses or activities within 1,000 feet.
 - 2. Will not result in increased policing and related service calls.
 - 3. Is critical to the operation of the business.
- (4) *Adult uses - accessory.*
- a. Adult use - accessory shall:
 - 1. Comprise no more than ten percent of the floor area of the establishment in which it is located.
 - 2. Comprise no more than 20 percent of the gross receipts of the entire business operation.
 - 3. Not involve or include any activity except the sale or rental of merchandise.
 - b. Adult use - accessory shall be restricted from and prohibit access to minors by the physical separation of such items from areas of general public access:

1. *Movie rentals.* Display areas shall be restricted from general view and shall be located within a separate room, the access of which is in clear view and under the control of the persons responsible for the operation.
 2. *Magazines.* Publications classified or qualifying as adult uses shall not be physically accessible to minors and shall be covered with a wrapper or other means to prevent display of any material other than the publication title.
 3. *Other use.* Adult uses - accessory not specifically cited shall comply with the intent of this section subject to the approval of the zoning administrator.
- c. Adult use - accessory shall be prohibited from both internal and external advertising and signing of adult materials and products.
- (5) *Nonconforming adult use - principal or accessory.* Adult uses which are classified as legal nonconforming uses may continue in accordance with the provisions of this chapter, except that any such nonconforming use shall be terminated and become illegal on and after January 31, 1992. To the extent possible, the city shall attempt to identify all such uses which become classified as nonconforming under the provisions of this subdivision and shall notify the property owners and operators of such uses in writing of the change in status and the terms and conditions which apply. The owner of any property on which an adult use is located may apply to the council for an extension of the termination date. Any such application shall be in writing and be received by the city no later than December 31, 1991. Failure to submit a timely extension application shall constitute a waiver of the right to request an extension. The council may grant such an extension if upon the council's determination, the applicant demonstrates that the amortization period is an unreasonable burden upon the business and does not allow adequate time to recover a reasonable return upon the business investment. The applicant shall have the burden of proof to demonstrate hardship with the established termination date and also the time required for an extension. In making its decision, the council may consider any factor relevant to the issue, including but not limited to:
- a. The degree or magnitude of threat to the public health, safety and general welfare posed by the secondary impacts of the operation.
 - b. The length of time that the adult use has been operating.
 - c. The ease by which the property could be converted to a conforming use.
 - d. The nature and character of the surrounding neighborhood.
 - e. The value and condition of the improvements on the property.
 - f. The amount of the applicant's investment in the business.
 - g. The amount of investment already realized.
 - h. The cost of relocating the adult use.

(C) **Breweries and Distilleries**

- (1) In B2 and B3 districts, production is limited to 15,000 barrels per year and must be accompanied by a taproom/cocktail room.
- (2) In I1 and I2, there is no production limit.

(D) **Commercial Indoor Recreation**

- (1) In B1 district, the indoor space is limited to 2,000 square feet.
- (2) **Indoor Shooting Ranges:**
 - (a) All firearms not in use in firing range lanes/stalls shall be unloaded and properly cased at all times in accordance with Minnesota laws.
 - (b) Controlled access to the shooting range shall be maintained at all times.

- (c) Any weapons stored overnight on the premises shall be properly secured, per direction from the police chief.

- (E) Commercial Outdoor Recreation
 - (1) As an accessory use, it must be in conjunction with a brewery and taproom, restaurant, brewpub use.

- (F) Construction trailer/Field Office – must be in conjunction with an active building permit onsite. The construction trailer/field office must be removed within two weeks of the building obtaining a certificate of occupancy.

- (G) Drive-Thrus
 - (1) All stacking space for vehicles shall be off-street and shall be constructed to size that will accommodate a reasonable number of vehicles for the use. A minimum of ten stacked vehicles shall be accommodated.
 - (2) Drive-thrus, menu boards, ordering equipment, and stacking queues shall be screened from view of abutting residential districts.
 - (3) Ordering equipment must not be audible from adjacent properties or rights-of-way.
 - (4) A bypass lane is required.

- (H) Fitness Centers.
 - (1) Permitted Use - In B1, B2, B3, and I1 districts, a fitness center use is limited to 2,000 square feet as a permitted use.
 - (2) Conditional Use – In B2, B3, and I1 districts, a fitness center use over 2,000 square feet is a conditional use. Fitness centers over 2,000 square feet are not permitted in the B1 district.

- (I) Funeral Homes and Crematoriums.
 - (1) In the B1 district, a crematorium is not permitted.
 - (2) In the B2 and B3 districts, a crematorium must be accompanied by a funeral home.
 - (3) In the I1 and I2 districts, a funeral home is not permitted, though a crematorium as a primary use is allowed as a permitted use.

- (J) Gas Stations, CNG Fuel Stations.
 - (1) Adequate space shall be provided to access gas pumps and allow maneuverability around the pumps
 - (2) Underground fuel storage tanks are to be positioned to allow adequate access by motor fuel transports and unloading operations do not conflict with circulation, access and other activities on the site.
 - (3) Fuel pumps shall be installed on pump islands with canopies. Canopies shall maintain a 20-foot setback from property lines as measured from the edge of the canopy.
 - (4) As an accessory use, fueling areas and canopies must be located to the rear or side of the principal structure.

- (K) Mobile Food Units. A mobile food unit is considered an accessory use to an established business use with the following requirements:
 - (1) The owner/operator of the mobile food unit shall have written permission of the current property owner to locate in a designated area.

- (2) The owner/operator of the mobile food unit must keep a copy of the mobile food unit license with the unit and demonstrate compliance with the license set forth in Chapter 26 upon inspection.
 - (3) The area(s) designated for the mobile food unit and accessory outdoor seating may not block sidewalks, walkways, impede pedestrian or vehicular traffic, or interfere with public safety.
 - (4) Mobile food unit locations are limited to private property located in a COR, Business, or Industrial District as listed in [this chapter](#).
 - (5) Mobile food units shall be located on an established parking area or on an asphalt or concrete surface.
 - (6) The owner/operator must provide waste receptacles for customer use and keep the site in a neat and orderly fashion, free from litter, refuse, debris, junk, or other waste which results in offensive odors or unsightly conditions.
 - (7) Temporary freestanding signage is permitted in the form of up to two "A" frame or sandwich boards not to exceed six square feet per side. The signs must be placed within 10 feet of the mobile food unit. Flags and banners attached directly to the mobile food unit are permitted.
 - (8) Mobile food units must vacate the property between 11:00 pm and 8:00 am the following day.
 - (A) *Exception.* A mobile food unit may remain in place overnight in conjunction with a multi-day special event permit.
 - (9) Deviations from the standards above may be considered with a special event permit.
- (L) Motor Vehicle Repair. The following standards are required for operating a motor vehicle repair business.
- (1) All repair operations must be conducted inside a building.
 - (2) All vehicles must be properly licensed.
 - (3) Parking of any vehicle is prohibited on an adjacent public roadway.
 - (4) Visibly damaged vehicles parked outdoors must be screened.
- (M) Motor Vehicle Sales/[Vehicle sales inventory and display lots](#) and vehicle showrooms. The following are standards for motor vehicle sales (includes RVs, trailers, campers, golf carts, farm implements, construction equipment, and the like):
- (1) In I1 and I2 districts, sales and inventory must be located indoors only. No outdoor displays or parking of sales vehicles are permitted.
 - (2) The building on the property must occupy at least ten (10) percent of the buildable site.
 - (3) A minimum lot area of two (2) buildable acres is required.
 - (4) Only one state-licensed business entity is allowed per property.
 - (5) State wholesale and lessor licenses may be considered office uses provided no vehicles are located on site.
 - (6) Vehicle sales inventory and display lots must follow the same design requirements as a parking lot found in Section 560.
- (N) Outdoor Animal Runs
- (1) Outdoor animal runs are only allowed in conjunction with an animal service business.
 - (2) In the I1 district, the runs must not be located closer to the street than the front façade of the building.
 - (3) The area of the outdoor animal run must not exceed 20 percent of the building or tenant area the animal service business is occupying.

(O) Outdoor Storage, Sales, and Display; Seasonal Outdoor Storage or Sales

(1) Outdoor storage, Sales, and Display site requirements for each of the districts in which it is an allowed use:

	B-1	B-2	B-3	I-1	I-2
Allows outdoor display	Yes	Yes	Yes	No	Yes
Allows outdoor sales	Yes	Yes	Yes	No	No
Allows outdoor storage	No	No	Yes	Yes	Yes
Minimum lot area to allow outdoor storage	N/A	N/A	1 acre	5 acres	No minimum
Area limit (total of sales, display, and storage)	5% building footprint	10% building footprint	30% building footprint	30% of building footprint	50% of parcel
Location Restriction	Front or side of building; within 6 feet of the building	Front or side of building	Front, side, or rear of building	Side and rear of building	No Restriction
Setback from rights-of-way	10 feet	10 feet	20 feet	20 feet	20 feet
Setback from side or rear	5 feet	5 feet	5 feet	5 feet	5 feet
Setback from Residential Use	35 feet	35 feet	35 feet	50 feet	50 feet
Surface Material	Pavement	Pavement	Pavement	Pavement	Pavement or dustless
Outdoor storage screening required	N/A	N/A	Yes	Yes	Yes

- (2) Outdoor storage areas must not take up required parking spaces, drive aisles, landscaped areas, or loading areas.
- (3) Storage areas must not be used for junk or debris and shall comply with chapter 30 of the Ramsey City Code entitled Public Nuisances.
- (4) With the exception of seasonal sales of fireworks and seasonal sales of Christmas trees, wreaths, and the like, all items sold, displayed, and stored outdoors must be directly related to the business operation inside the building on site.
- (5) The seasonal outdoor retail sales uses listed in Section 523 may be located on any side of the building.
- (6) Seasonal outdoor storage of snow removal equipment and temporary salt/sand sheds must be located to the side or rear of the building and screened from public rights-of-way.

(P) Retail Landscape nurseries/garden centers

- (1) Plants, trees, shrubs, and other vegetation available for sale outdoors is exempt from the outdoor storage, sales, and display regulations in this section.
- (2) All plants, trees, shrubs, and other vegetation available for sale must be in pots or containers.

(Q) Self Storage Facility

- (1) In B2, the rental spaces within the principal structure must be internally-accessed and climate-controlled.
- (2) Multiple buildings on the same property are considered permitted. The architectural design of all buildings must be coordinated.

530 Bulk Standards

- (A) The following bulk standards are required for all properties and buildings in business districts unless regulated elsewhere in this chapter:

	B-1	B-2	B-3	I-1	I-2
Lot Area	0.5 acre	0.5 acre	0.75 acre	0.75 acre	1 acre
Lot Width	100 feet	100 feet	100 feet	200 feet	200 feet
Lot Depth	150 feet	150 feet			
Building Height Maximum	35 feet	40 feet	50 feet	65 feet	65 feet
Minimum Building Footprint	N/A	N/A	2,000 sqft	5,000 sqft	5,000 sqft
Maximum Building Footprint	35%	35%	40%	50%	50%
Maximum Impervious Coverage					
Front Setback	20 feet	20 feet	20 feet	20 feet	20 feet
Side Setback (interior)	10 feet	10 feet	10 feet	20 feet	20 feet
Side Setback (to right-of-way)	20 feet	20 feet	20 feet	20 feet	20 feet
Rear Setback	35 feet	35 feet	35 feet	25 feet	25 feet
Setback to a residential district	60 feet	60 feet	60 feet	80 feet	80 feet

- (B) Zero-Lot-Line Standards. The side and rear setback requirements in the above table may become zero feet in the following situations:
- (1) Along a property line abutting a railroad right-of-way.
 - (2) In a shopping center or coordinated development where two or more buildings are abutting and parking or other site improvements are shared.

550 Accessory Structures

Accessory structures on business properties must be incidental and subordinate to the principal use on the site. Following are standards for accessory structures on business properties:

- (A) Structure design. All exterior materials must be compatible and coordinated with the principal structure.
- (B) Location. All accessory buildings must be located to the side or rear of the front façade of the principal structure, with the exception of gas station canopies.
- (C) Setbacks. All accessory structures must be set back at least 10 feet from side and rear property lines.
- (D) Size. The total area of accessory structures is limited to 10 percent of the footprint of the principle structure, except for gas station canopies which have no limitation.
- (E) Quantity. No more than one structure per five acres of lot area is permitted.

560 Business Parking Standards

(A) General requirements

- (1) Property that constitutes required off-street parking areas may not be separated, through sale or other means, from the property containing the principal use for which the parking area is required.
- (2) All off-street parking spaces shall have direct access off driveways and drive aisles and not directly off the public street unless otherwise approved by city council.

- (3) Required parking facilities serving two or more uses may be located on the same lot or in the same structure, provided that the total number of parking spaces furnished shall not be less than the sum of separate requirements for each use. The council may approve the joint use of parking facilities by the following uses or activities under the following conditions:
- a. ~~For the purposes of this section, the following uses are considered as daytime uses: banks, business offices, or wholesale or similar uses.~~
 - b. ~~The following are to be considered as nighttime or Sunday uses: auditoriums incidental to a public or parochial school, churches, bowling alleys, dance halls, theaters, retail stores, personal service shops, bars or restaurants.~~
 - c. ~~Up to 50 percent of the parking facilities required for nighttime uses may be supplied by the off-street parking facilities provided by daytime uses and vice versa.~~
 - a. Conditions required for joint use: the proposed joint parking space is within 500 feet of the use it will serve; the applicant shall show that there is no substantial conflict in the principal operating hours of the two buildings or uses for which joint use of off-street parking facilities is proposed.
 - b. A properly drawn legal instrument executed by the parties concerned for joint use of off-street parking facilities shall be filed with the zoning administrator, which shall run with the land and be recorded with the county recorder's office. This instrument must include a maintenance provision.
 - c. Reserved parking prohibited. All parking spaces in a shared parking lot must be available to all uses equally.
- (4) Time limit spaces authorized. Up to ten percent of spaces in a parking lot may be designated for limited-duration parking (i.e. 10-minute parking).

(B) *Off-street parking spaces required.* Paved off-street parking spaces, driveways, and drive aisles shall be provided in accordance with the specifications in this Code in any district whenever any new use is established or existing use is enlarged. ~~Screening as described in this section may be required where it is necessary to protect the aesthetic characteristics of residential neighborhoods (one space equals 300 square feet). When application of these regulations results in a requirement of a fractional space, any fraction up to and including one-half shall be disregarded. Fractions over one-half shall count as one additional space.~~ For uses not listed in the following table, a parking justification report shall be submitted to the zoning administrator explaining the anticipated parking needs based on the number of employees, customers, and visitors.

Use	Parking Space Required
Bowling alleys	Five spaces per lane.
Offices (excluding medical/dental of floor space).	One space for each 300 square feet offices (excluding medical/dental of floor space).
Clubs, lodginghouses	One space for each 100 square feet of floor area.
Churches, Assembly Uses: Religious Institutions, theaters	One space for each three seats auditoriums, mortuaries or for each five feet of pew and other places of length assembly of design capacity.
Convenience store, with and without gas sales	One space for each 250 square feet of floor space. Parking at each service pump qualifies as a parking space for calculation purposes.
Drive-ins	At least 15 spaces for those serving food and refreshments and at least 10 spaces for all others.

Hospitals	One space for each four beds and an additional space for each employee.
Industrial and manufacturing	One space for each 1000 square feet of floor space.
Office warehouse	The minimum number of spaces shall be calculated by using parking space standards for office and industrial uses as applied to the corresponding floor space.
Medical/dental clinics	Three spaces per doctor/dentist.
Overnight lodging facilities	One space for each unit and one space for each employee.
Outdoor sales and open	Merchandise displays in open sales lots and in outdoor sales premises shall have a minimum setback of 20 feet from the front property line and shall provide one parking space for each 800 square feet of merchandise area; except that, for auto sales lots, there shall be one parking space for each 10 autos displayed.
Retail shopping	One space for each 200 square feet of floor space for retail uses under 20,000 square feet. One space for each 250 square feet of floor space for retail uses over 20,000 square feet.
Restaurants, & drinking Brewpubs, Taprooms, Cocktail Rooms	One space for each three seats or design capacity.
Motor vehicle, implement, and recreation equipment service and repair facilities	Three spaces for each enclosed bay and one space for each full-time employee.

(C) Parking Maximum. For uses listed in the table above, uses may not exceed the calculated amount by 20 percent without submitting a parking justification report.

(D) *Parking spaces and drive aisles.* Minimum parking space and drive aisle sizes shall be as follows:

	Stall Width	Stall Depth	Aisle Width
90 degree	9 feet	18 feet	24 feet
60 degree	9 feet	17 feet	17 feet
45 degree	9 feet	19 feet	11 feet

(1) Motorcycle parking spaces may be provided. Such spaces shall be at least ten feet by five feet, have a concrete surface, and signed as such. Motorcycle spaces do not count towards the required parking spaces.

(E) Design Requirements

(1) All parking lot, drive aisles, driveways, loading areas, and the like shall be paved with a continuous hard surface such as concrete or bituminous. Driveway-rated pavers may be used. Concrete curbing must be used with a bituminous surface.

(2) **Setbacks – Parking lots and drive aisles have the following setbacks:**

- a. From public rights-of-way – 20 feet
 - b. Side and rear property lines – 5 feet
 - c. Side or rear adjacent to a residential zone – 35 feet.
- (3) Vehicle sales and rental inventory and display lots must follow these design requirements.
- (4) Structured Parking.
- a. Structured parking facilities shall be considered buildings for the purposes of setbacks.
 - b. Structures must be designed architecturally compatible with the building it is intended to serve. All levels must have exterior wall segments suitable to screen headlights of the parked vehicles.

561 Loading

- (A) One off-street loading berth/dock or designated loading zone shall be provided for every business and industrial use.
- (B) Loading, unloading, and transferring of product or materials to and from commercial vehicles must not occur on a public roadway.

565 Waste Management

All waste must be located in dumpsters or trash bins. Waste enclosures architecturally compatible with the principal structure shall screen the dumpsters or trash bins and have opaque gates shall be provided in B1, B2, B3, and I1 districts. Alternatively, a designated room interior to the building may be used.

570 Business Landscaping Standards

- (A) *Intent.* The City of Ramsey recognizes the advantages that landscaping and screening can provide, including enhanced health, safety, aesthetic, ecological and economic value. The intent of this section is to:
- (1) Enhance the quality of life within the city;
 - (2) Enhance aesthetic view of development(s) from public roads;
 - (3) Maintain and enhance property values;
 - (4) Aid in both physical and mental human health;
 - (5) Improve air quality and buffer against noise, glare, and heat;
 - (6) Reduce the potential for crime and violence;
 - (7) Improve energy efficiency;
 - (8) Add visual interest to blank building facades and soften appearance of hardscaping and buildings with accent plantings;
 - (9) Complement adjacent land uses;
 - (10) Improve the visual quality and continuity within and between developments;
 - (11) Reduce storm water runoff;
 - (12) Encourage the establishment and/or restoration of native landscapes.
- (B) *Goals and objectives.* Landscaping for any project is intended to achieve the following goals and objectives:
- (1) Provide immediate aesthetic enhancements to a development site while also taking into account space and input needs of plantings well into the future;
 - (2) Encourage a healthy environment and landscape in the future;
 - (3) Ensure a diverse mixture of species to protect against future pests and pathogens;
 - (4) Encourage native landscapes in suitable locations with appropriate management plans.
- (C) *Landscaping requirements.*
- (1) *Topsoil and ground cover.* All exposed ground areas, including boulevards and areas not devoted to off-street parking, driveways, sidewalks, trails, patios or other such impervious

improvements, shall be landscaped with turf, shrubs, trees, native grasses and wildflowers and/or other ornamental landscape materials within six months of the date of issuance of the certificate of occupancy.

- a. *Topsoil.* In all zoning districts, a minimum of four inches of topsoil, ~~as defined in section 117-1~~, shall be applied across all exposed ground areas to the edge of improved streets, sidewalks, driveways and other impervious surfaces, excluding natural areas that are left undisturbed, whenever a building permit is issued for the construction of a principal building.
 1. The depth of topsoil at the time of inspection shall be not less than four inches.
 2. Alternatives to the import of topsoil, such as compost or other soil amendments known to improve soil water holding capacity may be permitted, but only with the prior approval of the city engineer.
 - b. *Required ground cover.* In all **business** zoning districts ~~except R-1~~, all portions of a site not covered by structures, concrete, or asphalt, but excluding natural areas that are left undisturbed, shall be finished with sod and plantings, up to the edge of improved streets and other impervious surfaces. Any alternative to the sod requirement shall require City Council approval.
 1. ~~In the R-1 Residential District~~, Sod is required in all boulevards, excluding those areas devoted to sidewalks, trails and driveways.
 2. The remainder of a yard may be established with sod, seed, natural ground cover and/or native grasses and wildflowers. Noxious weeds do not constitute allowable ground cover.
 3. A landscape escrow, in an amount to be determined by the building official, shall be deposited for all required landscaping, including topsoil, sod and trees, which is not established at the time of issuance of a certificate of occupancy. Installation of required landscaping, including topsoil, sod (or seeding where permitted by this Code) and trees, shall be completed within six months of the issuance of the certificate of occupancy, weather permitting. The city may draw upon the escrow to install the required landscaping if said work is not completed within six months of the date of issuance of the certificate of occupancy. **When seeded, the turf must be at least 6 inches in height in order to qualify for escrow release.**
- (2) *Irrigation.* If a landscape irrigation system is provided, the system shall be equipped with the following:
- a. Technology that inhibits or interrupts operation of the irrigation system during periods of sufficient moisture (rain sensor).
 - b. One or more water efficient technologies. This could include, but is not limited to, WaterSense labeled weather-based irrigation controllers, soil moisture sensors, and/or evapotranspiration (ET) sensors.
- (3) *Existing trees.* A reasonable attempt shall be made to preserve as many existing trees as is practicable and incorporate them into a development ~~(see division 5, Tree Preservation for inventory and preservation requirements)~~. For each healthy significant tree retained on site and not identified on the city's list of prohibited trees, one overstory tree, or the equivalent canopy square footage, can be deducted from the minimum planting requirements.
- (4) *Planting types.* Acceptable planting types shall be determined by the Ramsey Tree Book. The complement of trees fulfilling the landscaping requirements shall not be less than 25 percent deciduous and not less than 25 percent coniferous. Not more than 25 percent of the required plantings shall consist of ornamental or understory trees. Projects should attempt to limit the planting of any one genus to no more than 20 percent of the total plantings.

(7) *Planting requirements for business and employment districts (B-1, B-2, B-3, Neighborhood Business, H-1, I-1, I-2, and E-3).*

- a. *Business districts (B-1, B-2, B-3, Neighborhood Business, and H-1).* The minimum number of trees required are outlined in the table below. These are minimum requirements and can be supplemented with other plantings, as well as flowers and various ground covers that would be appropriate to produce a complete and quality landscape.

Planting Type	Required Numbers
Deciduous/coniferous trees	1 tree per 50 lineal feet of site perimeter, or 1 tree per 1,000 square feet of building footprint, whichever is greater. For building expansions, 1 additional tree is required for each 1,000 square feet of new building footprint area.
Shrubs	1 shrub per 30 lineal feet of site perimeter or 1 shrub per 300 square feet of building footprint area, whichever is greater.

- b. *Business districts.* The minimum number of plantings required shall be determined based on canopy cover. To fulfill the planting requirements, a combination of trees and shrubs shall meet or exceed the minimum required canopy cover square footage. The minimum canopy cover required shall be as follows:
- Determine ratio of impervious area (including stormwater ponds below the 100-year flood elevation) to entire site.
 - Multiply the impervious area/site area ratio by the square footage of the pervious area to calculate the required canopy cover square footage for the project area.
 - The following formula shall be utilized to determine the average canopy cover of a species: $[(\text{Minimum} + \text{Maximum Spread}) \div 4]^2 \times \pi \times (0.65 \text{ for preferred species or } 0.50 \text{ for acceptable species, as identified in the Ramsey Tree Book})$.
- c. *Minimum size of plantings.* Required trees and shrubs shall meet or exceed the following size standards:

Plant Type	Size
Deciduous Tree	2.5 inch caliper
Coniferous Tree	6 feet in height
Ornamental/Understory Tree	1.5 inch caliper
Deciduous Shrub	2 feet in height
Coniferous Shrub	2 feet in height or width, based on growth characteristics

- d. *Road frontage plantings.* For every 35 feet of public road frontage, one overstory tree shall be planted adjacent to the road right-of-way on private property. These plantings are credited toward the minimum planting requirements.
- e. *Parking lot landscaping.* All parking lots are required to provide internal and/or adjacent overstory tree plantings in an effort to shade parking surfaces and provide visual relief. The planting schedule is established to provide an acceptable number of plantings that may be planted in regular symmetrical patterns or irregular clusters or groupings. Plantings are required at the following minimum schedule:
- 1 tree per every ten parking spaces.
 - Every overstory tree planting shall be provided with a planting area of at least 162 square feet.

3. Acceptable ground cover materials include sod, mulch, and other natural ground cover. Landscaping rock and plastic underlayment is prohibited in planting islands.
- f. *Bufferyards.* Bufferyards help to achieve screening between differing uses with varied intensities and impacts that are not always complementary when adjacent to one another. When a bufferyard is required, the yard space and planting requirements are not to be reduced for other purposes such as future parking and driveways, building expansions, or other activities that are not in keeping with the purposes of buffering and screening.
1. Bufferyards are intended to provide additional screening of businesses that are adjacent to residential areas. The following table details the width of the bufferyard along the common adjacent property line. An additional increase of landscape plantings is required in the bufferyard. The table below outlines the minimum required additional plantings, expressed as a percentage of the total required site landscaping:

Proposed Development	Existing Adjacent Development							
	R-1	R-2	R-3	NBD	B-1	B-2	B-3	H-1
Neighborhood Business (NBD) Bufferyard width	40 feet	30 feet	20 feet	NA	NA	NA	NA	NA
% increase in plantings	25%	20%	02%					
B-1 Bufferyard width	40 feet	30 feet	20 feet	NA	NA	NA	NA	NA
% increase in plantings	30%	25%	20%					
B-2 Bufferyard width	50 feet	40 feet	30 feet	NA	NA	NA	NA	NA
% increase in plantings	30%	25%	25%					
B-3 Bufferyard width	50 feet	40 feet	30 feet	NA	NA	NA	NA	NA
% increase in plantings	30%	25%	20%					
H-1 Bufferyard width	50 feet	40 feet	30 feet	NA	NA	NA	NA	NA
% increase in plantings	30%	25%	20%					
I-1 Bufferyard width	60 feet	60 feet	60 feet	35 feet	35 feet	35 feet	35 feet	35 feet
% increase in plantings	30%	30%	30%	20%	20%	20%	20%	20%
I-2 Bufferyard width	60 feet	60 feet	60 feet	35 feet	35 feet	35 feet	35 feet	35 feet

% increase in plantings	30%	30%	30%	20%	20%	20%	20%	20%
E-3 Bufferyard width	60 feet	60 feet	60 feet	35 feet	35 feet	35 feet	35 feet	35 feet
% increase in plantings	30%	30%	30%	20%	20%	20%	20%	20%

2. As an alternative method for screening in the Neighborhood Business, B-1, B-2, B-3, H-1, I-1, I-2 and E-3 Districts, fences that are 100 percent opaque may be used to mitigate the impacts of businesses that are adjacent to residential areas. Fences are subject to the provisions found in all applicable ordinances. When a fence is used for screening purposes, the bufferyard planting requirements may be reduced by ten percent from the stated minimum requirement.
- g. Credit for preservation or establishment of native grasses and plant communities. The total number of required trees may be offset by the provision of native grasses and wildflowers. Establishment or preservation of native plant communities can reduce the required number of tree plantings by one tree per 500 square feet of native grass/plant community area. Credit may not exceed 50 percent of the total requirements.
1. This area(s) must be shown on both the landscape plan and the grading plan.
 2. Species, quantities, and application method and rates, shall all be provided as part of the landscape plan.
 3. A three-year management plan shall be submitted for review and approval by the city as part of the civil plan set. Thereafter, an annual management plan shall be submitted to the city every year by March 1.

580 Business Architectural Design Standards

- (A) **Primary Exterior Materials.** All exterior wall finishes on any building shall consist of one or more of the following primary materials comprising at least 70 percent of a building façade:
- (1) Face brick and architectural concrete masonry units;
 - (2) Stucco;
 - (3) Glass;
 - (4) Natural or cementous stone;
 - (5) Specifically designed pre-cast concrete units whose surfaces have been integrally treated with an applied decorative material or texture;
 - (6) Factory fabricated panel materials;
 - (7) Other materials as may be approved by the Planning Commission and City Council given the building's use and context.
- (B) **Accent Exterior Materials.** Exterior wall finishes on any building may consist of one or more of the following accent materials combined limited to 30 percent of each side of a building facade:
- (1) Wood
 - (2) EIFS
 - (3) Metals

- (4) Vinyl
- (5) Other materials as may be approved by the Planning Commission and City Council given the building's use and context.

581 Screening

- (1) Rooftop HVAC and other mechanical units must be screened from views from the property lines using the following means:
 - a. Proper placement on the roof.
 - b. An integrated screen panel that is architecturally compatible with the building.
 - c. Parapet heights sufficient for screening the views.
- (2) Ground-mounted HVAC and other mechanical units must be screened from views from the property lines using the following means:
 - a. Privacy fencing
 - b. An integrated screen panel that is architecturally compatible with the building.
 - c. Landscaped berms.
- (3) Loading Docks and designated loading areas shall be screened from adjacent residential uses and public rights-of-way using the following means:
 - a. Wing walls.
 - b. Privacy fencing.
 - c. Landscaped berms.
- (4) Parking lots and drive aisles must be screened with a landscaped berm suitable for screening the headlights of the parked vehicles from public rights-of-way.

585 Commercial Fencing

- (A) Fencing Materials. The following fence materials are permitted on business properties:
 - (1) Vinyl coated Chain Link
 - (2) Privacy fences constructed of wood or a maintenance-free composite material
 - (3) Extruded aluminum, wrought iron, or a similar durable decorative fence material.
- (B) Prohibited Fencing Materials. The following fence materials are prohibited on business properties:
 - (1) Barbed wire, concertina wire, or the like
 - (2) Exposed galvanized metals
 - (3) Electric fencing
 - (4) Any material not typically intended for use or construction as a fence such as, but not limited to, pallets or plywood.
 - (5) Snow fencing between April 1 and October 31.
- (C) Design Standards
 - (1) All posts and support structures for fencing must be located on the inside of the fence.
 - (2) The maximum height of commercial fencing is 8 feet. This limit is waived when used in conjunction with a commercial outdoor recreation use where a taller fence is needed for containment of tennis balls, golf balls, and the like.
- (D) Setbacks and Placement
 - (1) Other than fences required for screening outdoor storage areas or in the I2 district, no fencing over 4 feet in height shall be located closer to the right-of-way line for any business use than the plane of the building.

Meeting Date: 01/26/2023

By: Todd Larson, Community Development

Information

Title:

Zoning Code Update - Residential Districts

Purpose/Background:

Staff has started working on the Zoning Code related to residential districts. Currently, staff is not proposing too many substantial changes to the existing regulations, rather a rearrangement and consolidation of several of the regulations.

There are a few areas that staff would like direction on:

Rural Developing properties. The current R-1 RD zoning district is being proposed to be renamed Rural Residential, a notation found in many other communities and one that is more easily understood. Currently, the R-1 RD district has a 2.5-acre minimum lot area. Only about one-third of the properties with this zoning designation actually meet this requirement, leaving over 2,000 properties labeled legal nonconforming. This label could be problematic for some mortgages. Should another district be created with a smaller lot size, say one acre, to adequately reflect what many existing properties have? About 1,300 properties would then be in compliance. The need for variances for in-fill subdivisions (like the recent Cedar Acres) would be reduced. Additionally, there are a few hundred lots that are currently zoned PUD for the sole purpose of providing smaller lot areas with larger dedicated open spaces or as an average of 2.5 acre lots throughout the subdivision (Northfork, Covenant Meadows, Fox Ridge Estates, Hunter's Ridge, and Rum River Hills). These subdivisions could also be adequately covered by a 1-acre Rural Residential district, except for portions of Hunter's Ridge which has several lots under 1.0 acre. There are approximately 1,100 R-1 RD lots under an acre and staff is not proposing to create any district to accommodate them in order to preserve rural character and provide space for individual utility systems. The attached maps show the area breakdown of the existing Rural Developing and rural PUDs.

Density Issues. The "standard" single-family lot within the urbanized portions of the community is the R-1 MUSA- 80 lot. At 80 feet wide and 10,890 square feet (0.25-acre), it has been exceedingly difficult to meet the Comprehensive Plan's density range of 3.0 to 4.0 units per acre, especially when storm water management and local roadways are included in the density calculation. In response, other R-1 districts were created for a 65-foot and a 50-foot lot as an offset. There has been some concern about these small lot areas as not being very desirable. Would the Commission be open to slightly reducing the "standard" lot width from 80 to 75 feet and from 10,890 to 10,000 square feet in hopes of meeting this density without the need for the small lots?

Density Transitioning. City Code currently offers a variety of ways to buffer between higher density uses and lower density uses. Heavily landscaped berms and buffer outlots seem to be the most heavily used with the higher density zones. The concern with the landscaping is that the large number of trees may not survive well and provide the intended screening or be maintained properly. Staff would like to suggest adding other alternatives such as privacy fencing with overstory trees for a more immediate effect and/or adding extra depth to these lots. There currently is a clause, "Other alternatives to transitioning can be used where agreed upon by tech developer and the city," that could be used, though offering additional alternatives could be helpful to developers.

Notification:

None required.

Observations/Alternatives:

Funding Source:

The Zoning Code update is being handled through staff's normal duties.

Recommendation:

Please provide staff direction on these topics. The Commission will review residential uses in greater depth in the upcoming months.

Action:

No action is requested. Please provide direction on these items.

Attachments

Rural Residential Maps

Form Review

Inbox

Brian Hagen

Form Started By: Todd Larson

Final Approval Date: 01/19/2023

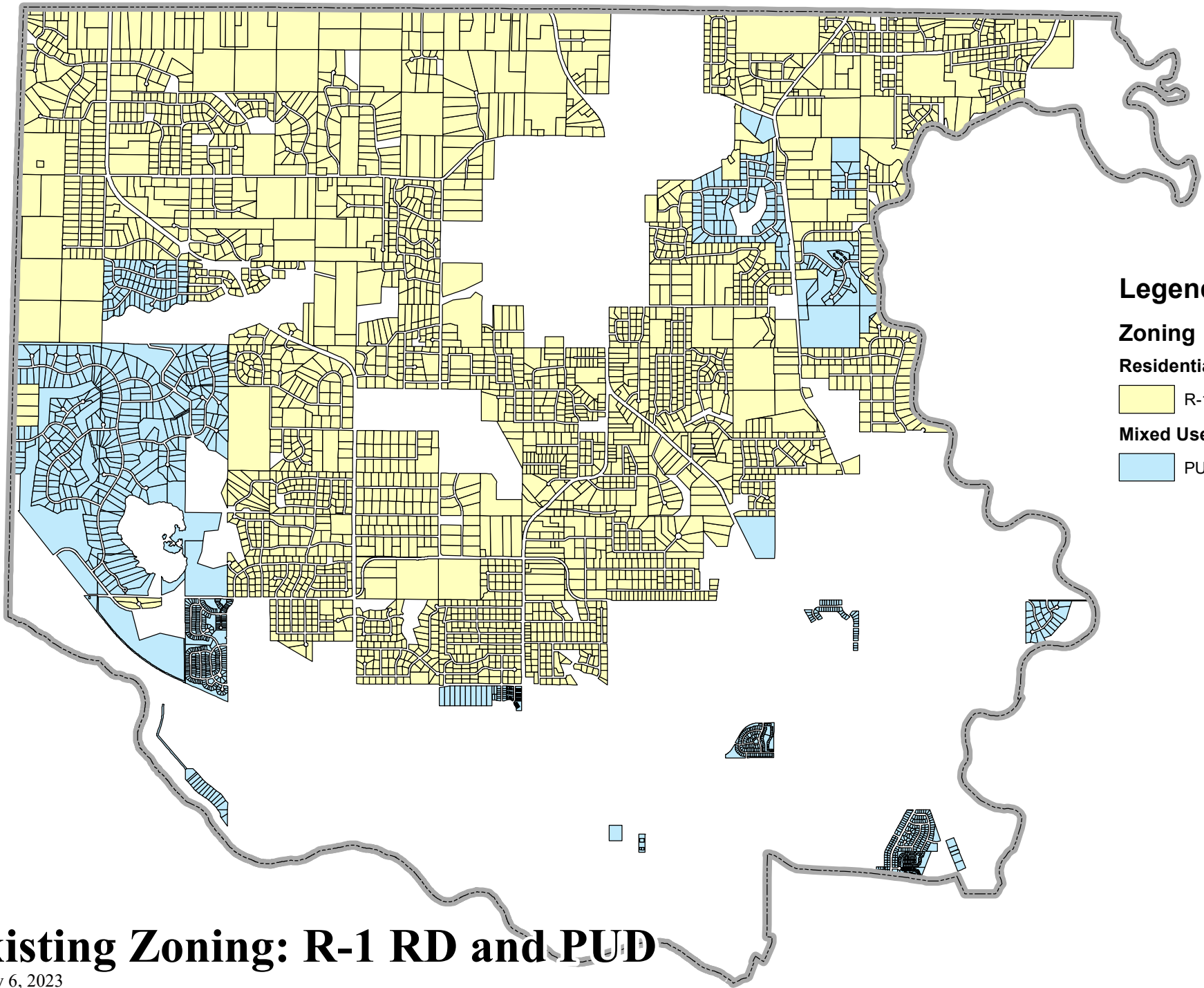
Reviewed By

Brian Hagen

Date

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
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Legend

Zoning

Residential

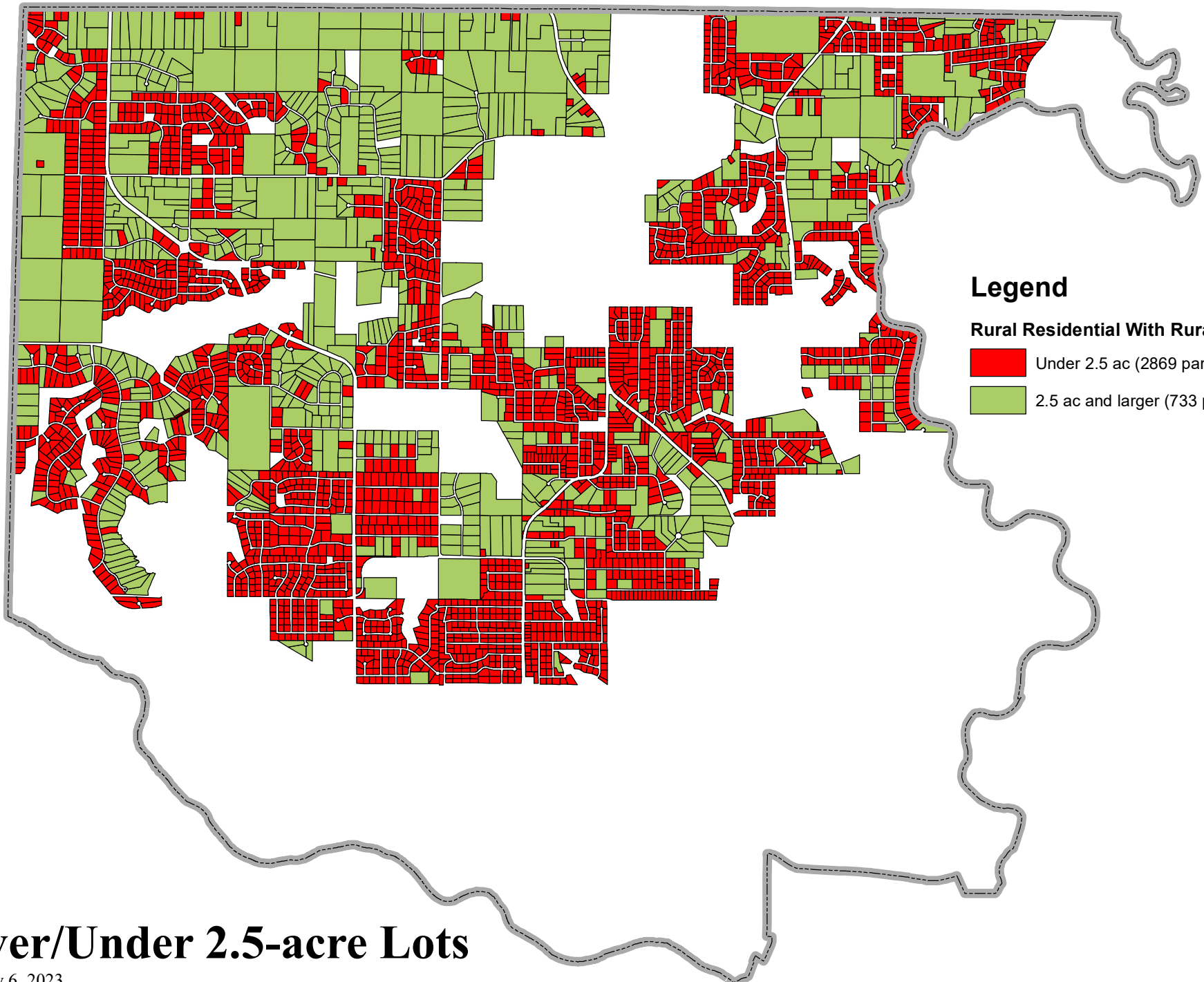
 R-1 RD

Mixed Use

 PUD

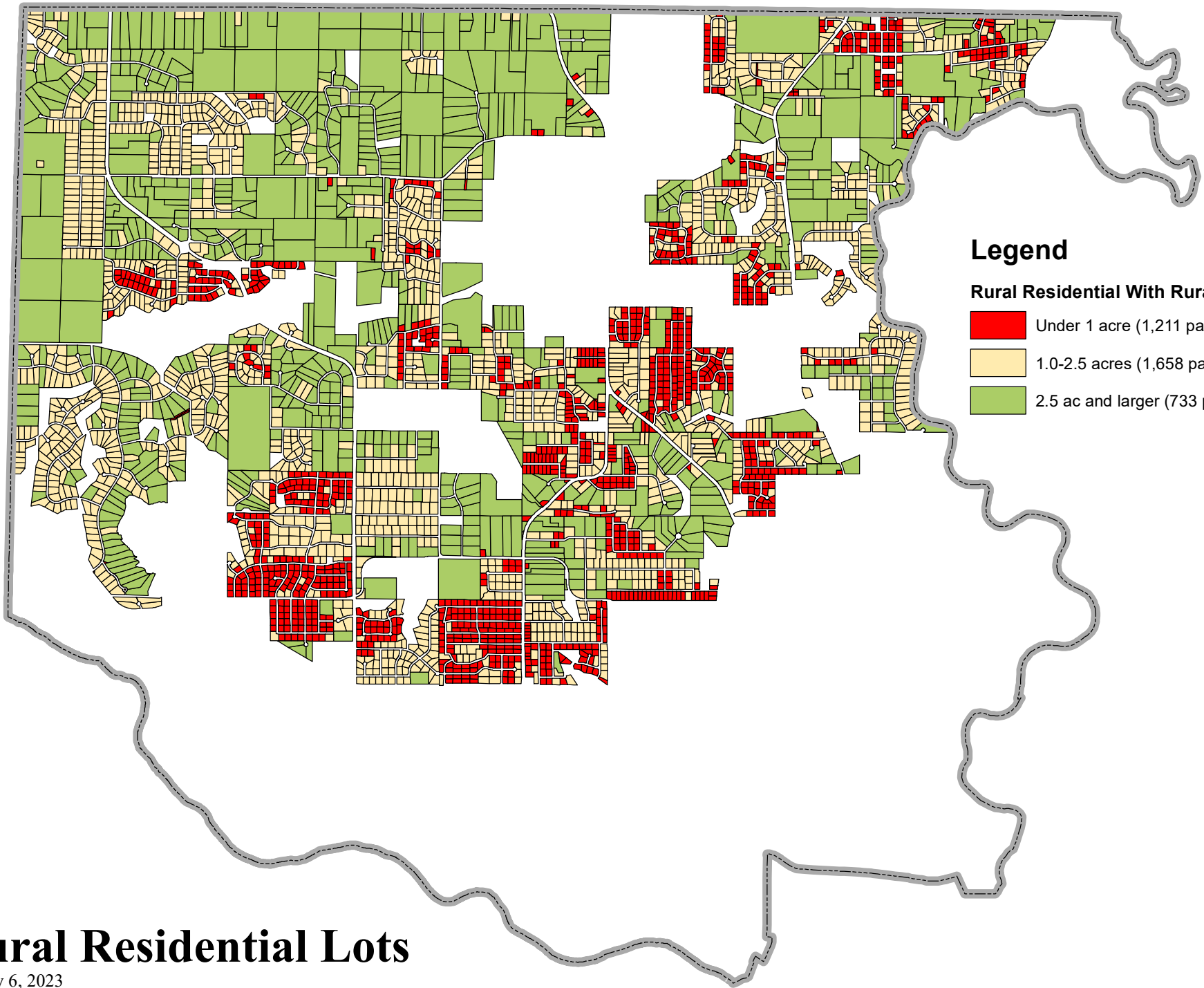
Existing Zoning: R-1 RD and PUD

January 6, 2023



Over/Under 2.5-acre Lots

January 6, 2023



Rural Residential Lots

January 6, 2023