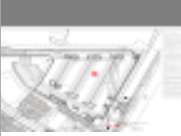



Changemarks Report

Project Name: Home2Suites


Workflow Started: 03/08/2023 12:22 PM

Report Generated: 03/31/2023 03:01 PM

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	1	45	False	Unresolved	Civil Engineer IV		09-C4.0-UTILITY PLAN.pdf	LL	Storm Sewer pipe sizing	Storm sewer pipes must be upsized. See attached site plan for project south of Sunwood Drive in Review Documents.	03/24/2023 11:50 AM	Len Linton	
		46	False	Unresolved	Civil Engineer IV		09-C4.0-UTILITY PLAN.pdf	LL	Make connection to Zeolite Street perpendicular	The connection to the storm sewer in Zeolite Street must be perpendicular, not at a shallow angle as shown. The 42" pipe must be extended to the northeast to serve adjacent properties.	03/24/2023 11:50 AM	Len Linton	



Changemarks Report

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	1	43	False	Unresolved	Civil Engineer IV		CSG 23034 STORMWATER REPORT - 3-10- 23.pdf	LL	LRRWMO Permit required	A Lower Rum River Watershed Management Organization (LRRWMO) permit will be required for this project. The permit application form and information are at www.lrrwmo.org. The application materials are due at the City of Ramsey on the second Thursday of the month. The City will review the application and submit it to the LRRWMO on the third Thursday of the month. The application will be considered at the LRRWMO board meeting on the third Thursday of the following month.	03/24/2023 10:49 AM	Len Linton	




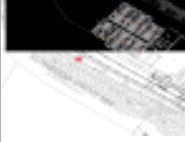
Changemarks Report

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	1	44	False	Unresolved	Civil Engineer IV		CSG 23034 STORMWATER REPORT - 3-10-23.pdf	LL	Stormwater requirements	The site is served by a regional stormwater system that provides rate control and water quality treatment. This site is in Drinking Water Supply Management Area (DWSMA). Infiltration is not permitted in DWSMA. The City has also constructed a volume reduction basin outside of the DWSMA. This project will be required to contribute to the volume reduction fund. The engineer must prepare an estimate for constructing a basin sized to provide the volume reduction required for this site. The City will review the estimate and recommend the contribution to the City volume reduction fund.	03/24/2023 10:49 AM	Len Linton	
		41	False	Unresolved	Civil Engineer II		19-SW1.3-SWPPP-NARRATIVE.pdf	Joe Feriancek	Inspections	A copy of every weekly and rainfall event inspection must be sent to the City Inspector. at the end of the project, the inspection history must be forwarded to the City.	03/23/2023 2:44 PM	Joe Feriancek	
		38	False	Unresolved	Civil Engineer II		17-SW1.1-SWPPP-PROPOSED CONDITIONS.pdf	Joe Feriancek	Silt Fence	Clearly separate proposed silt fence and bioroll line types. Perimeter control must all be silt fence.	03/23/2023 2:39 PM	Joe Feriancek	

Changemarks Report

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	1	30	False	Unresolved	Civil Engineer II		09-C4.0-UTILITY PLAN.pdf	Joe Feriancek	Water Connection - Valve?	May want to consider making connection with a valve, most contractors would not want to test against a valve that's been in the ground for a decade plus.	03/23/2023 10:12 AM	Joe Feriancek	
		31	False	Unresolved	Civil Engineer II		09-C4.0-UTILITY PLAN.pdf	Joe Feriancek	FES 13	This property is within the groundwater capture zone of a municipal well, no infiltration is allowed. This includes creating low areas to collect stormwater runoff. This area will need to be graded above the curb, to allow drainage to go over curb and an inlet placed in the curb line.	03/23/2023 10:12 AM	Joe Feriancek	
		32	False	Unresolved	Civil Engineer II		09-C4.0-UTILITY PLAN.pdf	Joe Feriancek	Storm Sewer Pipe Type	The run of storm sewer pipe which is in easement must be RCP. DOLI may require crossing pipe to be plastic, in that instance, PVC Pipe is acceptable. HDPE can be used for exclusively private storm sewer pipe if desired.	03/23/2023 10:12 AM	Joe Feriancek	
		33	False	Unresolved	Civil Engineer II		09-C4.0-UTILITY PLAN.pdf	Joe Feriancek	Water connections	call out pipe and valve sizes.	03/23/2023 10:12 AM	Joe Feriancek	

Changemarks Report

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	1	34	False	Unresolved	Civil Engineer II		09-C4.0-UTILITY PLAN.pdf	Joe Feriancek	Trash enclosure	It would seem likely the ultimate build out would have an additional entrance to Zeolite Street. With that in mind, is this the best location for the trash enclosure? Additionally, this is a long distance for staff members to have to haul trash from the hotel.	03/23/2023 10:12 AM	Joe Feriancek	
		35	False	Unresolved	Civil Engineer II		09-C4.0-UTILITY PLAN.pdf	Joe Feriancek	Temporary Patch	Pavement patching is required where the watermain connection is being made.	03/23/2023 10:12 AM	Joe Feriancek	
		28	False	Unresolved	Civil Engineer II		02-V1.1- TOPOGRAPHIC DETAIL EXHIBIT.pdf	Joe Feriancek	Survey Limits	Was the east side of Zeolite Street not included in the topographic survey? Water tie-in is going to require a bituminous patch across Zeolite St, those limits will need to be known.	03/23/2023 9:37 AM	Joe Feriancek	
		26	False	Unresolved	Civil Engineer II		06-C2.0-SITE PLAN.pdf	Joe Feriancek	Sunwood Drive Impacts	The utility sheet shows replacing the existing sanitary stub back to the manhole. If this is done, the impacts to Sunwood Drive including; pavement, curbing, sidewalk, tree removal and replacements must be included in the plans.	03/23/2023 9:36 AM	Joe Feriancek	

Changemarks Report

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Main Workflow	1	27	False	Unresolved	Civil Engineer II		06-C2.0-SITE PLAN.pdf	Joe Feriancek	Traffic Study / Sunwood Pavement Markings	If anticipated traffic levels will require two lanes out, has a traffic study been performed for Sunwood Drive traffic impacts. There are currently no turn lanes into this entrance, it would seem practical that they will be necessary.	03/23/2023 9:36 AM	Joe Feriancek	
		19	False	Unresolved	Environmental Review		06-C2.0-SITE PLAN.pdf	CA	Sidewalk	Install additional sidewalk panels to create a 10 foot wide sidewalk, similar to what is across Sunwood Drive. Need to create planter beds that have the same dimensions as those that are on the south side of Sunwood Drive, east of Zeolite St. City Staff can/will provide specs/details on planter bed dimensions, 1'x1' precast pavers (for along back of curb, where there is on street parking), irrigation, trees, and shrubs.	03/22/2023 8:57 AM	Chris Anderson	
		9	False	Unresolved	City Planner		06-C2.0-SITE PLAN.pdf	BM	Relocate Trash Enclosure	Relocate trash enclosure closer to the building, possibly on the east side, then shift parking spaces up.	03/21/2023 4:34 PM	Brian McCann	
		10	False	Unresolved	City Planner		06-C2.0-SITE PLAN.pdf	BM	Trash Enclosure Details	Details are not provided in the architectural plans as stated. Please provide them.	03/21/2023 4:34 PM	Brian McCann	


Changemarks Report

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	1	11	False	Unresolved	City Planner		06-C2.0-SITE PLAN.pdf	BM	Sunwood Sidewalk Improvements	COR requirements include enhanced sidewalks. Consider planter beds and larger sidewalk along Sunwood Drive, similar to neighboring properties.	03/21/2023 4:34 PM	Brian McCann	
		12	False	Unresolved	City Planner		06-C2.0-SITE PLAN.pdf	BM	Utility Locates	Complete utility locates in the southern 10' drainage and utility easement. If possible based on locates, reduce or eliminate the 10' easement so that the patio/sidewalk improvements do not encroach in the easement.	03/21/2023 4:34 PM	Brian McCann	
		15	False	Unresolved	Lead Engineering Tech		09-C4.0-UTILITY PLAN.pdf	Aaron	Restoration- wet tap	Restore road back to existing condition after utility work	03/21/2023 12:00 PM	Aaron Madsen	
		13	False	Unresolved	Lead Engineering Tech		09-C4.0-UTILITY PLAN.pdf	Aaron Madsen	Sanitary Service	Utilize the existing 8" Sanitary stub out the SMH.	03/21/2023 11:37 AM	Aaron Madsen	
		14	False	Unresolved	Lead Engineering Tech		09-C4.0-UTILITY PLAN.pdf	Aaron Madsen	Existing City Irrigation cabinet	The existing cabinet and irrigation lines along Sunwood need to be protected and or replaced with construction. Coordinate with the city irrigation specialist. Terry Byron 763-238-9823	03/21/2023 11:37 AM	Aaron Madsen	



Changemarks Report

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	1	16	False	Unresolved	Environmental Review		15-L1.1-LANDSCAPE PLAN NOTES & DETAILS.pdf	CA	Irrigation Note	Add note stating that irrigation system must have a rain sensor and utilize some form of water efficient technology, such as a weather compensating smart controller.	03/20/2023 2:05 PM	Chris Anderson	
		17	False	Unresolved	Environmental Review		15-L1.1-LANDSCAPE PLAN NOTES & DETAILS.pdf	CA	Shrub Size	Modify table to specify minimum shrub size at planting is 24 inches in height.	03/20/2023 2:05 PM	Chris Anderson	
		18	False	Unresolved	Environmental Review		15-L1.1-LANDSCAPE PLAN NOTES & DETAILS.pdf	CA	Tree Planting Detail	There are two separate tree planting details, this one, and one included on Sheet L1.0. Only use 1, so there is no conflicting detail. Must specify that root floor to be at finished grade and to cut and remove burlap, twine, and wire basket (if applicable) from top 1/3 of rootball.	03/20/2023 2:05 PM	Chris Anderson	
		20	False	Unresolved	Environmental Review		14-L1.0-LANDSCAPE PLAN.pdf	CA	Relocate?	These trees could/should be relocated into the existing boulevard at the same spacing as the existing street trees to the west. Just need to keep them out of the vision clearance triangle (may need to eliminate 1 of the trees).	03/22/2023 10:08 AM	Chris Anderson	

Changemarks Report

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	1	21	False	Unresolved	Environmental Review		14-L1.0-LANDSCAPE PLAN.pdf	CA	Planter Beds on Sunwood Drive	<p>Add 2 planter beds along Sunwood Drive (between the 3 street lights nearest Zeolite St), matching the dimensions of the beds on the south side of Sunwood Drive, east of Zeolite St (deviations may be considered if needed to align with the two proposed connecting walkways). Each planter bed shall include the following:</p> <ul style="list-style-type: none"> 2 Kentucky Coffeetrees or 2 Swamp White Oaks 3 Forsythia or Viburnum shrubs (compact varieties) 8 Reed Grasses 8 Hostas 24 Daylilies <p>The 3 shrubs should be located between the two trees. Grasses and perennials arranged outside the trees to the edge of the beds. All perennial plantings need to be at least 12" in from the outer edge of the planter bed. Planter beds that are adjacent to on-street parking must include 1'x1' precast pavers along back of curb (see beds on south side of road).</p>	03/22/2023 10:08 AM	Chris Anderson	

Changemarks Report

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	1	2	False	Unresolved	City Planner		107-A404-Color Building Elevations.pdf	BM	Architectural Enhancements	Consider architectural enhancements to the east and west elevations, similar to the north elevation. Both east and west elevations will be visible from Sunwood Drive.	03/16/2023 2:03 PM	Brian McCann	
		1	False	Unresolved	City Planner		106-A403-Color Building Elevations.pdf	BM	Brick on South Elevation	Consider adding brick, similar to the north elevation. The south elevation will receive the most visibility from Sunwood Drive.	03/16/2023 2:02 PM	Brian McCann	