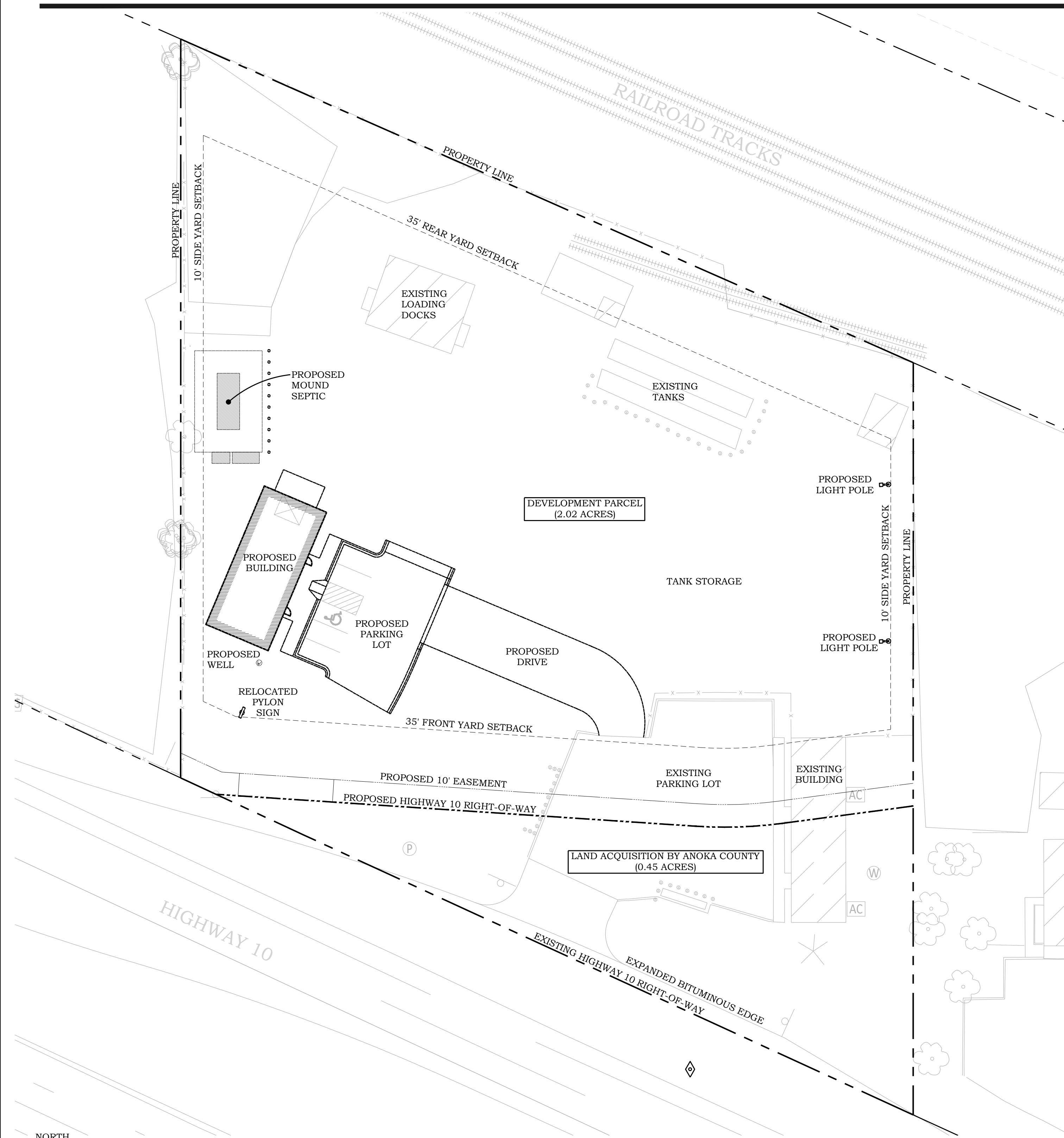


# FERRELLGAS - SITE REDEVELOPMENT PLANS

7255 HIGHWAY 10 NW - RAMSEY, MINNESOTA

PIERCE PINI &  
ASSOCIATES, INC.  
Consulting Civil Engineers

9298 CENTRAL AVENUE NE  
SUITE 312  
BLAINE, MN 55434  
TEL 763-537-1311



## CONTACT INFORMATION

**CIVIL ENGINEER**  
PIERCE PINI & ASSOCIATES, INC.  
9298 CENTRAL AVENUE NE, SUITE 312  
BLAINE, MN 55434  
CONTACT: Kevin Gardner  
TEL: 763-537-1311

**SEPTIC DESIGNER**  
KLOEPPNER SERVICES & DESIGN  
3450 LEXINGTON AVENUE N, SUITE 203  
SHOREVIEW, MN 55126  
CONTACT: Jesse Kloepfner  
TEL: 763-843-4114

**ARCHITECT**  
BUSCH ARCHITECTS  
310 FOURTH AVENUE S, SUITE 1000  
MINNEAPOLIS, MN 55415  
CONTACT: Kevin Busch  
TEL: 612-333-2279

## PROPERTY INFORMATION

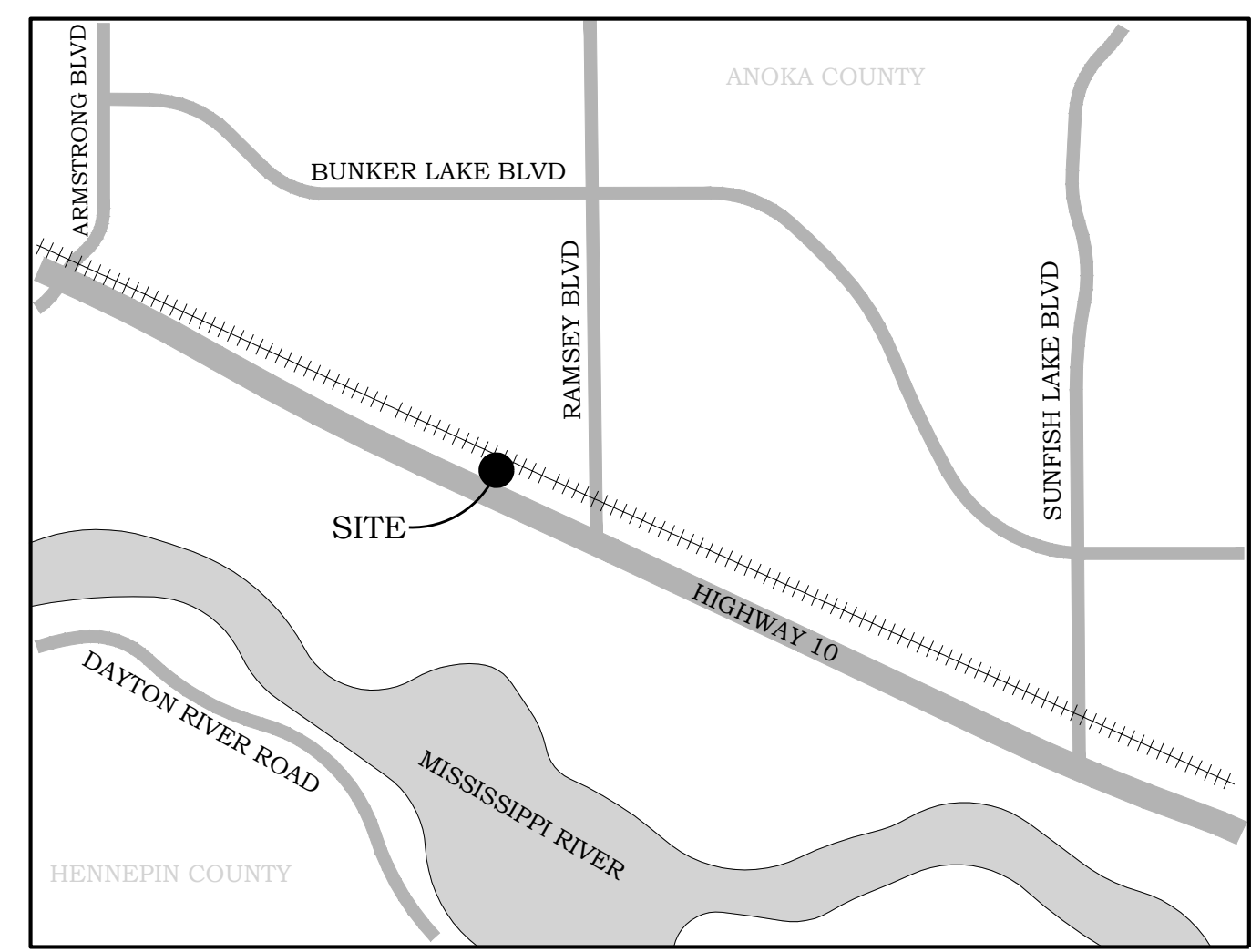
ADDRESS: 7255 HIGHWAY 10 NW, RAMSEY, MN  
PARCEL ID: 28-32-25-44-0011  
LOT AREA: 2.47 ACRES  
WATERSHED: LOWER RUM RIVER WMO

## DRAWING INDEX

- C000 - COVER SHEET
- C100 - SITE REMOVALS PLAN
- C101 - PHASE 2 SITE REMOVALS PLAN (BY COUNTY)
- C200 - STORMWATER POLLUTION PREVENTION NOTES
- C201 - STORMWATER POLLUTION PREVENTION NOTES
- C300 - STORMWATER POLLUTION PREVENTION DETAILS
- C400 - GRADING, DRAINAGE AND EROSION CONTROL PLAN
- C401 - PHASE 2 GRADING PLAN (BY COUNTY)
- C500 - UTILITY PLAN
- C600 - PAVING PLAN
- C601 - PHASE 2 PAVING PLAN (BY COUNTY)
- C700 - CIVIL DETAILS
- L100 - LANDSCAPING PLAN

## CONSTRUCTION NOTES

1. ALL EXISTING INFORMATION TAKEN FROM DESIGN DOCUMENTS PROVIDED BY ANOKA COUNTY AND BOLTON & MENK RELATED TO THE RAMSEY BOULEVARD OVERPASS AND RAMP PROJECT.
2. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING LOCATIONS OF EXISTING UTILITIES, AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
3. CONTRACTOR TO PREVENT DIRT AND/OR DEBRIS FROM BEING TRANSPORTED OFF-SITE IN AN UNCONTROLLED MANNER. SEDIMENT DISCOVERED SHALL BE REMOVED BY CONTRACTOR WITHIN 7 DAYS OF DISCOVERY.
4. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH CITY OF RAMSEY, ANOKA COUNTY AND STATE OF MINNESOTA REGULATIONS AND STANDARDS.
5. EXISTING UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS. CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES WHICH MAY INCLUDE BUT IS NOT LIMITED TO: ELECTRIC, TELEPHONE, GAS, CABLE TV, COMPUTER CABLE, FIBER OPTIC CABLE, SANITARY SEWER, STORM SEWER AND WATER MAIN. CONTRACTOR TO CONTACT THE GOPHER STATE ONE CALL BEFORE EXCAVATING.
6. CONTRACTOR TO PROTECT FROM DAMAGE ALL EXISTING IMPROVEMENTS, LANDSCAPING, STRUCTURES AND UTILITIES THAT ARE TO REMAIN. CONTRACTOR TO STORE AND PROTECT EXISTING SITE FEATURES WHICH NEED TO BE REMOVED AND REPLACED. CONTRACTOR TO PREVENT DAMAGE OR THEFT OF THESE ITEMS AND TO REPAIR AND REPLACE AT OWN EXPENSE.
7. ALL EXCAVATIONS MUST COMPLY WITH THE REQUIREMENTS OF OSHA 29 CFR, PART 1926, SUBPART P "EXCAVATIONS AND TRENCHES". THIS DOCUMENT STATES THAT EXCAVATION SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
8. CONTRACTOR SHALL COORDINATE WITH ARCHITECT'S DRAWINGS TO VERIFY LOCATION, SIZE AND QUANTITY OF ALL ROOF DRAINS AND UTILITY CONNECTIONS.
9. PROVIDE TRAFFIC CONTROL IN ACCORDANCE WITH MUTCD, INCLUDING "FIELD MANUAL FOR TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS", CURRENT EDITION.
10. DRAWINGS DO NOT INDICATE AREAS OF TEMPORARY SUPPORT SYSTEMS. THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS AND WILL HAVE TOTAL CONTROL OVER THE TYPES AND DESIGN OF ALL SHORING, SHEETING, BRACING, ANCHORAGES, EXCAVATION SUPPORT WALLS, DIRECTIONAL BORING, AUGER JACKING, SOIL STABILIZATION AND OTHER METHODS OF PROTECTING EXISTING IMPROVEMENTS. SEE SPECIFICATIONS FOR SUBMITTAL REQUIREMENTS.
11. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO STARTING CONSTRUCTION.
12. ALL MATERIALS FOR PROPOSED CONSTRUCTION OR REPAIR OF EXISTING FACILITIES SHALL BE NEW PRODUCTS DIRECT FROM THE FACTORY AND FREE FROM DEFECTS.
13. WHEN WORKING AROUND EXISTING UTILITIES, LIGHT POLES, TRAFFIC SIGNALS, TELEPHONE OR POWER POLES, THE CONTRACTOR SHALL PROVIDE SUFFICIENT SUPPORT OR BRACING TO PREVENT EXCESSIVE STRESS ON THE PIPING. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO EXACTLY LOCATE AND PRESERVE THESE UNDERGROUND FACILITIES.
14. CARE MUST BE TAKEN DURING CONSTRUCTION AND EXCAVATION TO PROTECT ANY SURVEY MONUMENTS AND/OR PROPERTY IRONS. MONUMENTS DAMAGED OR DISPLACED DUE TO CONTRACTOR NEGLIGENCE SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
15. CONTRACTOR SHALL NOT BLOCK DRAINAGE FROM OR DIRECT EXCESS DRAINAGE ONTO ADJACENT PROPERTY.
16. ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND ANY DRAINAGE STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THE SATISFACTION OF THE OWNING AUTHORITY.
17. CONTRACTOR MUST ADHERE TO AXLE LOAD LIMITS WHEN DELIVERING MATERIALS AND EQUIPMENT TO THE SITE. ANY DAMAGE TO THE ROADWAY AND THE CITY RIGHT-OF-WAY SHALL BE REPAIRED TO THE CITY'S SATISFACTION AT THE COST OF THE CONTRACTOR.
18. CONTRACTOR SHALL TAKE PHOTOGRAPHS AND DOCUMENT THE CONDITION OF THE EXISTING ROADWAY PRIOR TO CONSTRUCTION.



LOCATION MAP

**FERRELLGAS**  
**SITE REDEVELOPMENT**  
 7255 HIGHWAY 10 NW  
 RAMSEY, MN 55303

I hereby certify that this plan or drawing was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Company: PIERCE PINI & ASSOCIATES

Signed: \_\_\_\_\_

Name: Kevin Gardner

Date: 04/11/2023 Reg. No: 45815

Issued for \_\_\_\_\_ Date \_\_\_\_\_

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Comm. No. 22-049

Drawn TS

Checked KG

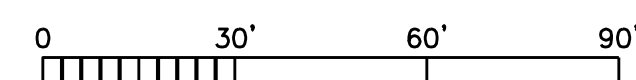
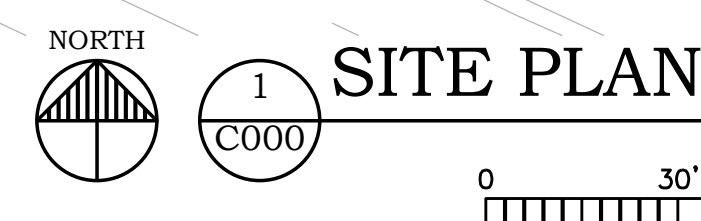
Date 04/11/2023

City Approval \_\_\_\_\_

Drawing Title

COVER SHEET

C000



1" = 30' (22" x 24" SHEET)  
1" = 60' (11" X 17" SHEET)



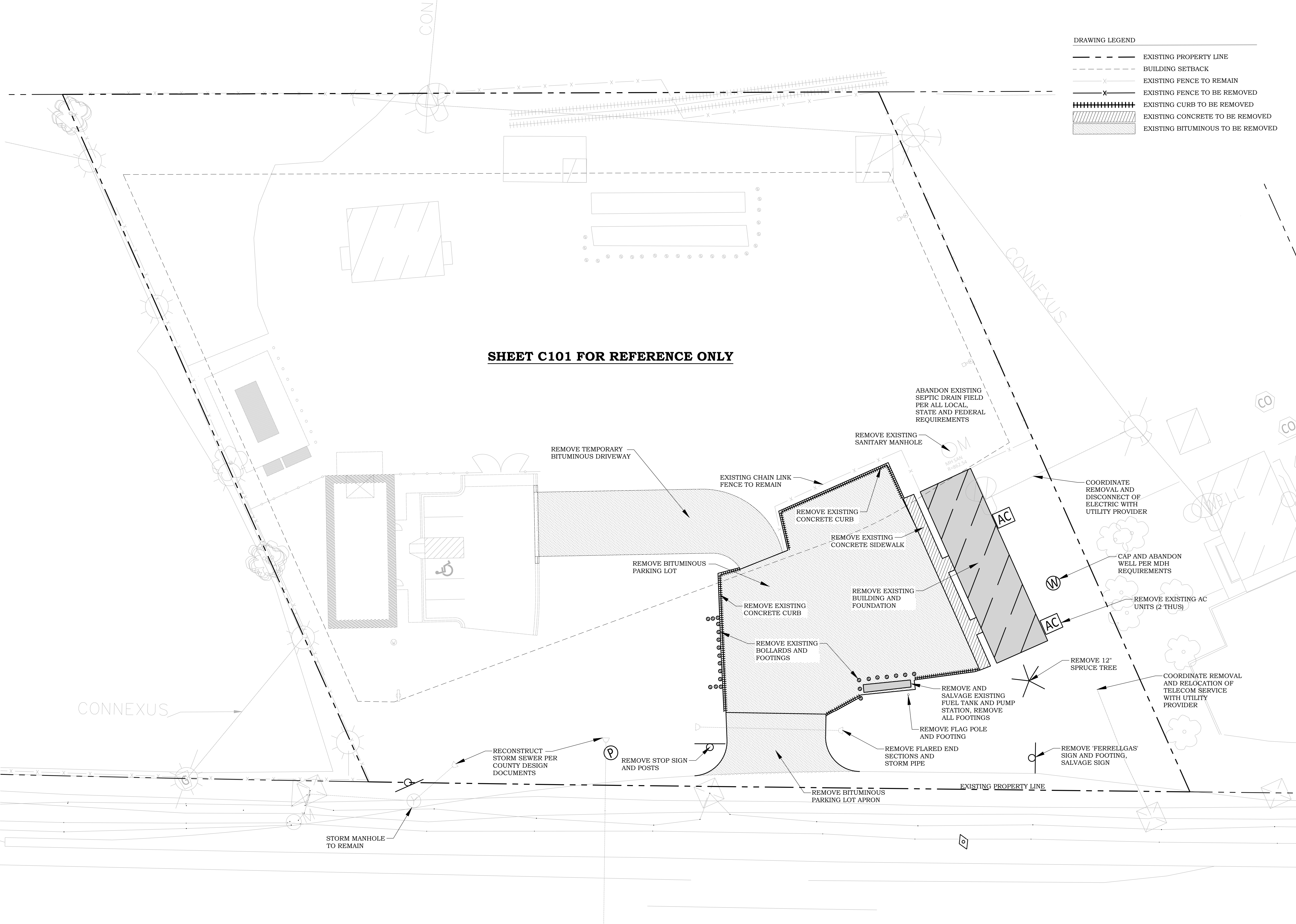
**FERRELLGAS  
 SITE REDEVELOPMENT**

7255 HIGHWAY 10 NW  
 RAMSEY, MN 55303

**DRAWING LEGEND**

	EXISTING PROPERTY LINE
	BUILDING SETBACK
	EXISTING FENCE TO REMAIN
	EXISTING FENCE TO BE REMOVED
	EXISTING CURB TO BE REMOVED
	EXISTING CONCRETE TO BE REMOVED
	EXISTING BITUMINOUS TO BE REMOVED

**SHEET C101 FOR REFERENCE ONLY**



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Drawing Title  
**PHASE 2 SITE  
 DEMOLITION PLAN  
 (BY COUNTY)**

**C101**





NPDES IMPAIRED WATERS MAP

**FERRELLGAS  
SITE REDEVELOPMENT**

7255 HIGHWAY 10 NW  
RAMSEY, MN 55303

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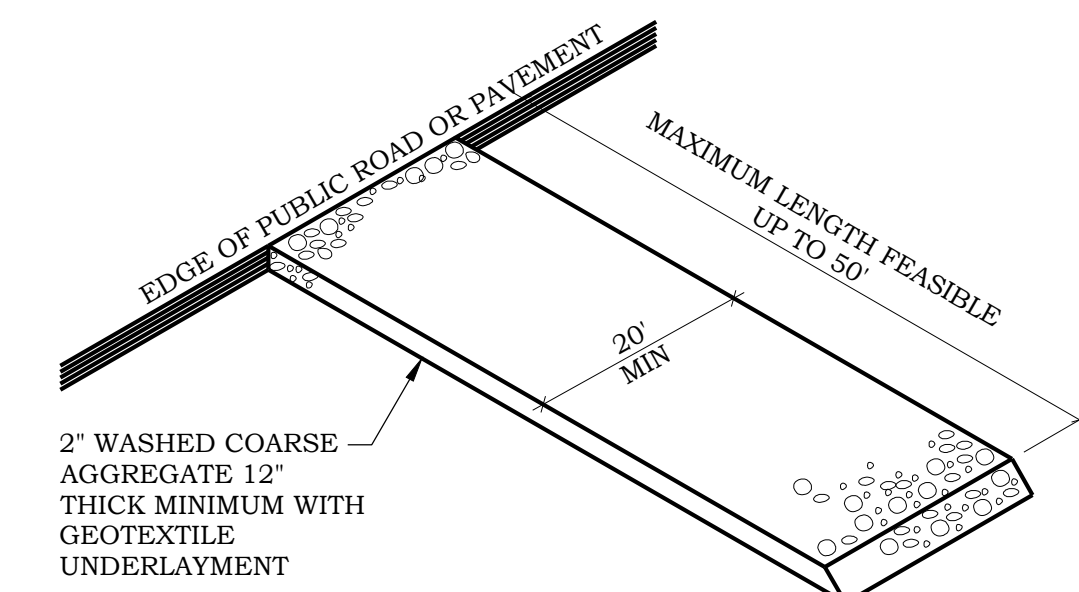
Date 04/11/2023

**City Approval**

Drawing Title

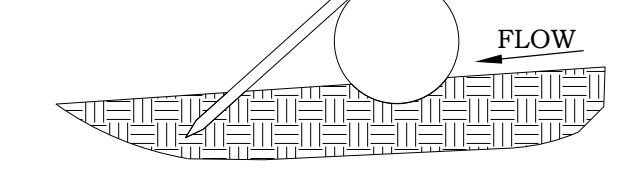
STORMWATER  
POLLUTION  
PREVENTION NOTES

**C201**



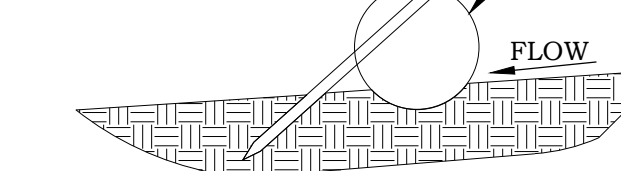
3 GRAVEL CONSTRUCTION ENTRANCE  
C300 NO SCALE

1"x2"x24" WOOD STAKES AT 3' MAX SPACING. STAKES SHALL BE DRIVEN OVER LOG AT A 45° ANGLE WITH TOP OF STAKE POINTING UPSTREAM. PROVIDE 8"-10" OF STAKE EMBEDMENT.



FIELD INSTALLATION USING MULCH OR COMPOST

1"x2"x24" WOOD STAKES AT 3' MAX SPACING. STAKES SHALL BE DRIVEN THROUGH BACK HALF OF LOG AT A 45° ANGLE WITH TOP OF STAKE POINTING UPSTREAM. PROVIDE 8"-10" OF STAKE EMBEDMENT.



FIELD INSTALLATION USING STRAW OR WOOD FIBER

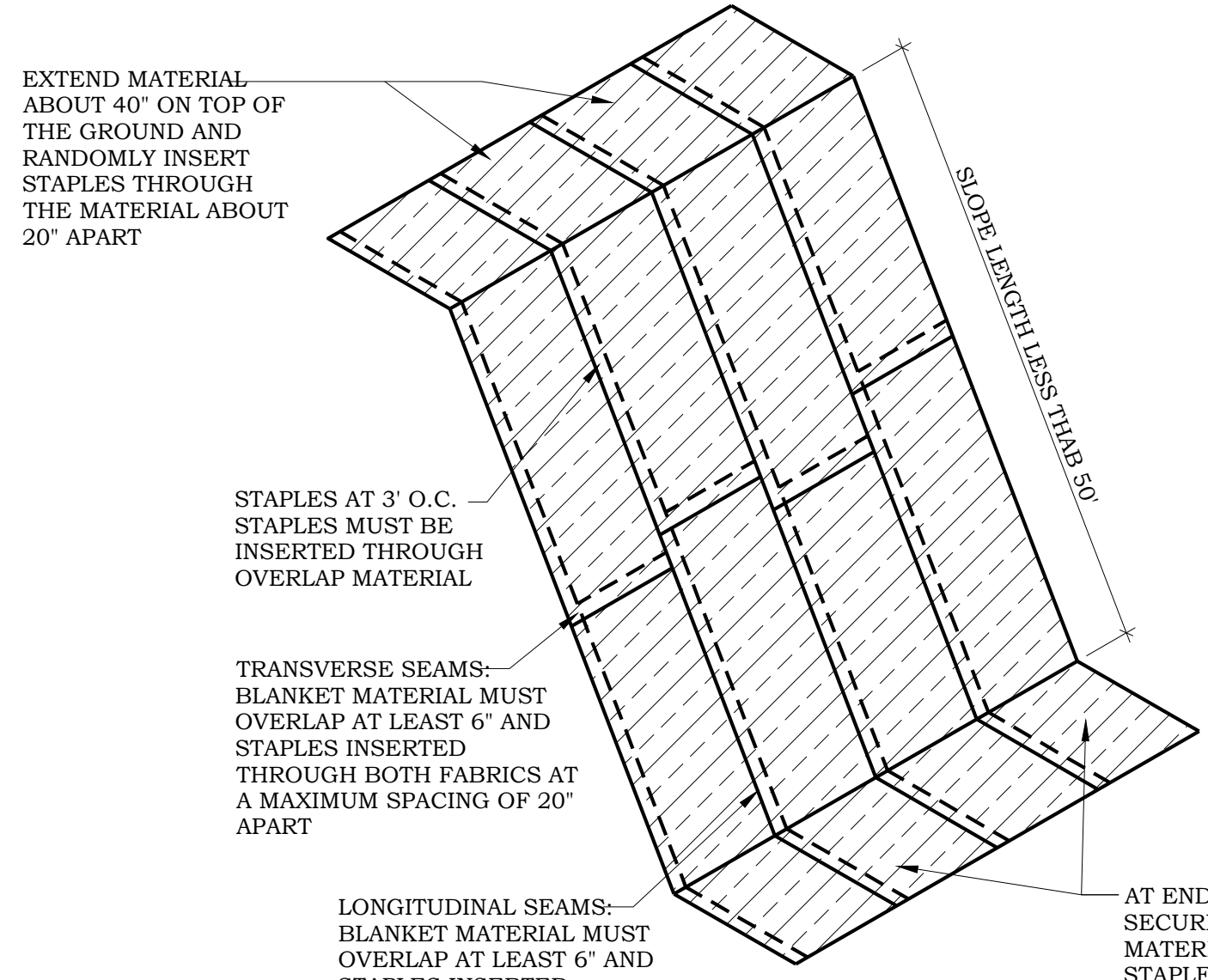
4 EROSION LOG  
C300 NO SCALE



- NOTES:
1. GEOTEXTILE FABRIC SHALL BE PER MNDOT SPEC 3886.
  2. SILT FENCES SHOULD BE INSTALLED ON THE CONTOUR (AS OPPOSED TO UP AND DOWN A HILL) AND CONSTRUCTED SO THAT FLOW CANNOT BYPASS THE ENDS.
  3. ENSURE DRAINAGE AREA IS NO GREATER THAN 1/4 ACRE PER 100 FT OF FENCE.
  4. FIELD VERIFY THE MAXIMUM SLOPE LENGTH IN THE TABLE. THIS LENGTH EQUATES TO A 2 FOOT STORAGE HEIGHT FOR THE 100-YEAR EVENT.
  5. SILT FENCE INSTALLATION TO CONFORM TO MNDOT SPEC 2573.3

		BY ACCEPTED DESIGN PRACTICES
SLOPE H:V	PERCENT	MAXIMUM SLOPE LENGTH
100:1	1%	100 FT
50:1	2%	75 FT
25:1	4%	75 FT
20:1	5%	75-50 FT
17:1	6%	50 FT
12.5:1	8%	50 FT
10:1	10%	50-25 FT
5:1	20%	25-15 FT
4:1	25%	15 FT
3:1	33%	15 FT
2:1	50%	15 FT

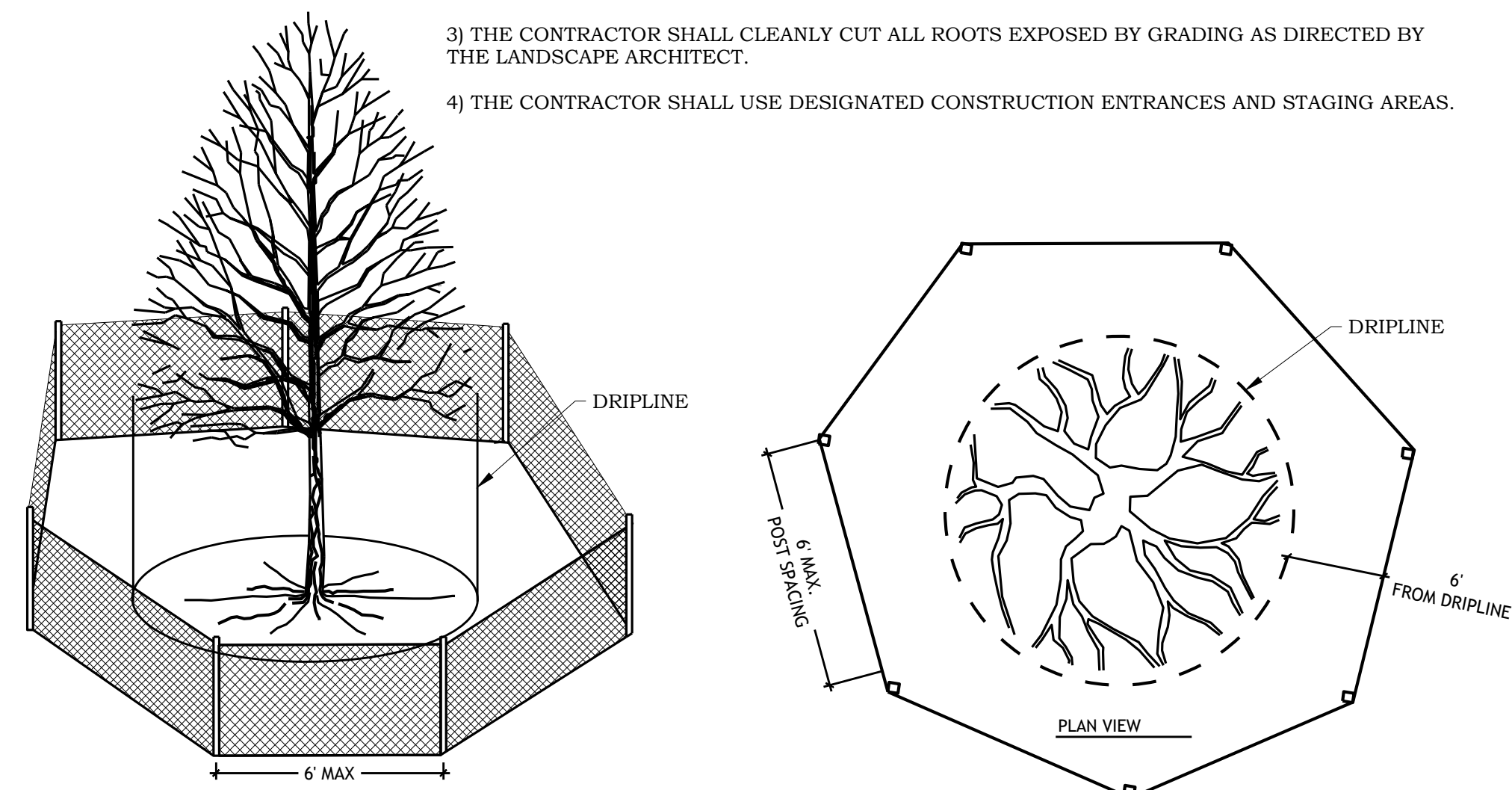
1 HEAVY DUTY SILT FENCE  
C300 NO SCALE



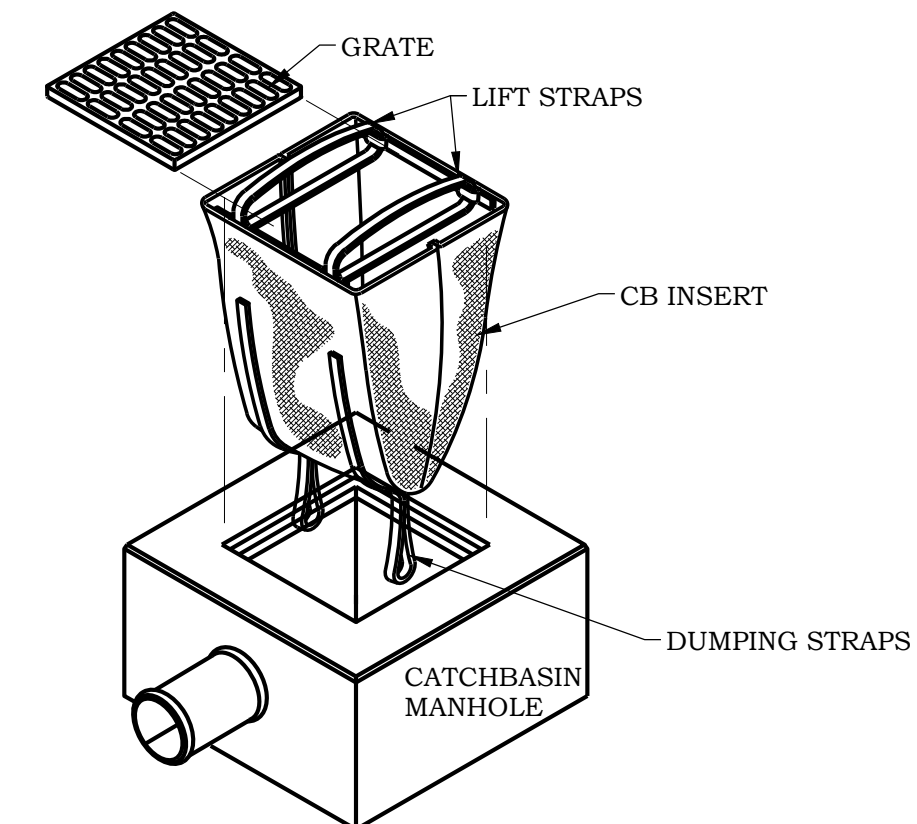
- NOTES:
1. EROSION CONTROL BLANKET TO BE CATEGORY 4-COCONUT 2S FOR SLOPES GREATER THAN 5:1 AND SIDES AND BOTTOM OF ALL DRAINAGE SWALES AND PONDING AREAS AND CATEGORY 2-STRAW 2S FOR ALL SLOPES LESS THAN 5:1 PER MNDOT SPEC. SECTION 3885.
  2. INSTALL PER MNDOT SPEC. SECTION 2575

2 EROSION CONTROL BLANKET  
C300 NO SCALE

- NOTES:
- 1) ALL TREE PROTECTION FENCING AND EROSION CONTROL FENCING SHALL BE INSTALLED ACCORDING TO THE PLANS PRIOR TO ANY DEMOLITION. AFTER DEMOLITION OR AS NECESSARY, TREE PROTECTION FENCING MAY BE RELOCATED WITH APPROVAL FROM THE LANDSCAPE ARCHITECT. ALL TREE PROTECTION FENCING AND EROSION CONTROL DEVICES SHALL BE MAINTAINED FOR THE DURATION OF THE CONSTRUCTION PERIOD.
  - 2) CONTRACTOR SHALL NOT STORE ANY MATERIALS OR PARK ANY VEHICLES IN TREE PROTECTION ZONES. THE FENCE SHALL PREVENT TRAFFIC MOVEMENT AND THE PLACEMENT OF TEMPORARY FACILITIES, EQUIPMENT, STOCKPILES AND SUPPLIES FROM HARMING VEGETATION WITHIN THE LIMITS OF PROTECTION.
  - 3) THE CONTRACTOR SHALL CLEANLY CUT ALL ROOTS EXPOSED BY GRADING AS DIRECTED BY THE LANDSCAPE ARCHITECT.
  - 4) THE CONTRACTOR SHALL USE DESIGNATED CONSTRUCTION ENTRANCES AND STAGING AREAS.



5 TREE PROTECTION FENCING  
C300 NO SCALE



2. USE DANDY® BAG II AS MANUFACTURED BY DANDY® PRODUCTS, INC.
3. AN EQUIVALENT CATCHBASIN EROSION CONTROL INSERT METHOD OR PRODUCT MAY BE USED WITH PRIOR APPROVAL FROM ENGINEER.

6 CATCH BASIN INSERT  
C300 NO SCALE

I hereby certify that this plan or drawing was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Company: PIERCE PINI & ASSOCIATES

Signed:

Name: Kevin Gardner

Date: 04/11/2023 Reg. No: 45815

Issued for	Date

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Comm. No. 22-049

Drawn TS

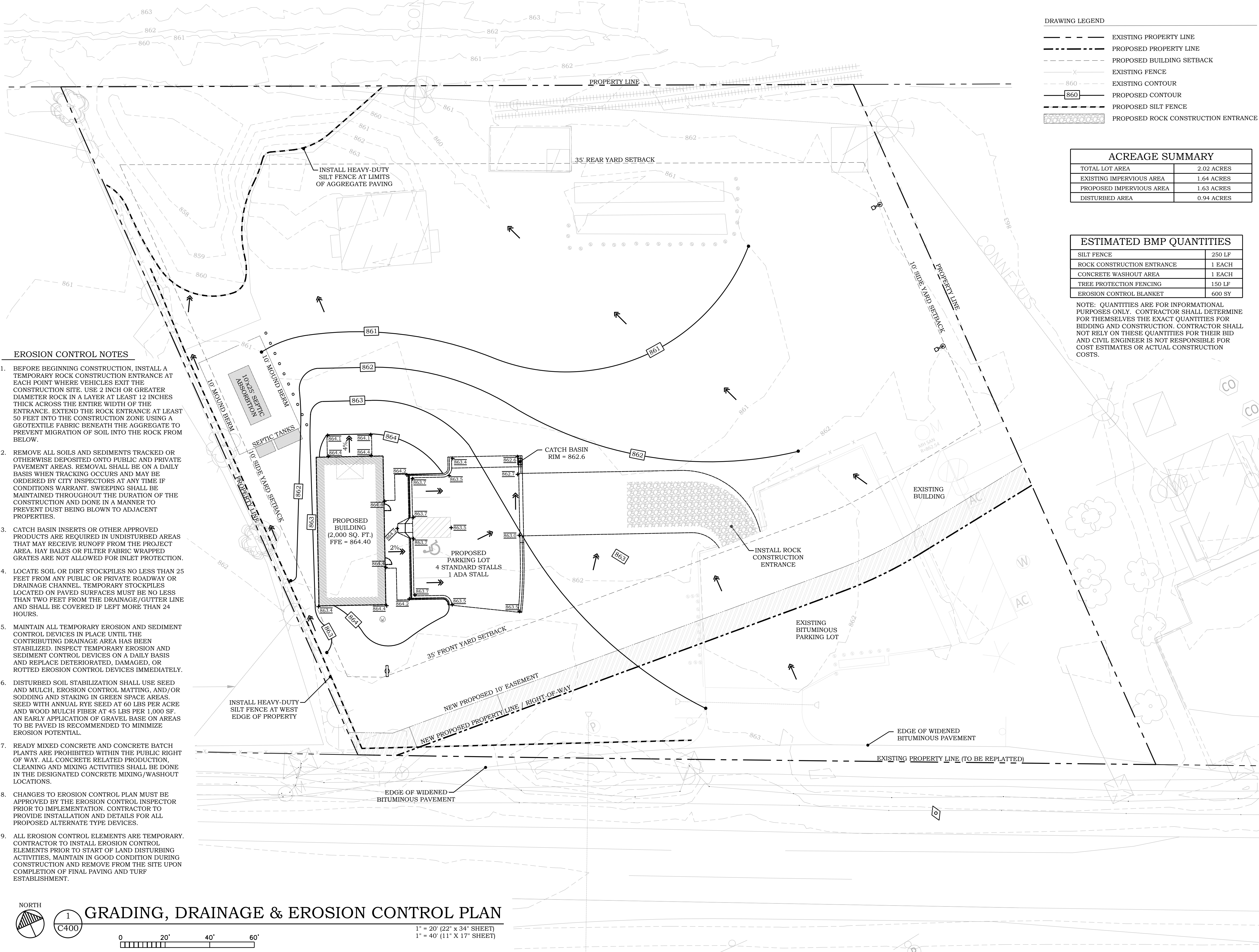
Checked KG

Date 04/11/2023

City Approval

Drawing Title

STORMWATER  
POLLUTION  
PREVENTION DETAILS



**DRAWING LEGEND**

- EXISTING PROPERTY LINE
- - - PROPOSED PROPERTY LINE
- - - PROPOSED BUILDING SETBACK
- - - EXISTING FENCE
- - - EXISTING CONTOUR
- 860 PROPOSED CONTOUR
- - - PROPOSED SILT FENCE
- XXXXX PROPOSED ROCK CONSTRUCTION ENTRANCE

**ACREAGE SUMMARY**

TOTAL LOT AREA	2.02 ACRES
EXISTING IMPERVIOUS AREA	1.64 ACRES
PROPOSED IMPERVIOUS AREA	1.63 ACRES
DISTURBED AREA	0.94 ACRES

**ESTIMATED BMP QUANTITIES**

SILT FENCE	250 LF
ROCK CONSTRUCTION ENTRANCE	1 EACH
CONCRETE WASHOUT AREA	1 EACH
TREE PROTECTION FENCING	150 LF
EROSION CONTROL BLANKET	600 SY

NOTE: QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL DETERMINE FOR THEMSELVES THE EXACT QUANTITIES FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL NOT RELY ON THESE QUANTITIES FOR THEIR BID AND CIVIL ENGINEER IS NOT RESPONSIBLE FOR COST ESTIMATES OR ACTUAL CONSTRUCTION COSTS.

**EROSION CONTROL NOTES**

- BEFORE BEGINNING CONSTRUCTION, INSTALL A TEMPORARY ROCK CONSTRUCTION ENTRANCE AT EACH POINT WHERE VEHICLES EXIT THE CONSTRUCTION SITE. USE 2 INCH OR GREATER DIAMETER ROCK IN A LAYER AT LEAST 12 INCHES THICK ACROSS THE ENTIRE WIDTH OF THE ENTRANCE. EXTEND THE ROCK ENTRANCE AT LEAST 50 FEET INTO THE CONSTRUCTION ZONE USING A GEOTEXTILE FABRIC BENEATH THE AGGREGATE TO PREVENT MIGRATION OF SOIL INTO THE ROCK FROM BELOW.
- REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE DEPOSITED ONTO PUBLIC AND PRIVATE PAVEMENT AREAS. REMOVAL SHALL BE ON A DAILY BASIS WHEN TRACKING OCCURS AND MAY BE ORDERED BY CITY INSPECTORS AT ANY TIME IF CONDITIONS WARRANT. SWEEPING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION AND DONE IN A MANNER TO PREVENT DUST BEING BLOWN TO ADJACENT PROPERTIES.
- CATCH BASIN INSERTS OR OTHER APPROVED PRODUCTS ARE REQUIRED IN UNDISTURBED AREAS THAT MAY RECEIVE RUNOFF FROM THE PROJECT AREA. HAY BALES OR FILTER FABRIC WRAPPED GRATES ARE NOT ALLOWED FOR INLET PROTECTION.
- LOCATE SOIL OR DIRT STOCKPILES NO LESS THAN 25 FEET FROM ANY PUBLIC OR PRIVATE ROADWAY OR DRAINAGE CHANNEL. TEMPORARY STOCKPILES LOCATED ON PAVED SURFACES MUST BE NO LESS THAN TWO FEET FROM THE DRAINAGE/GUTTER LINE AND SHALL BE COVERED IF LEFT MORE THAN 24 HOURS.
- MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ON A DAILY BASIS AND REPLACE DETEIORATED, DAMAGED, OR ROTTED EROSION CONTROL DEVICES IMMEDIATELY.
- DISTURBED SOIL STABILIZATION SHALL USE SEED AND MULCH, EROSION CONTROL MATTING, AND/OR SODDING AND STAKING IN GREEN SPACE AREAS. SEED WITH ANNUAL RYE SEED AT 60 LBS PER ACRE AND WOOD MULCH FIBER AT 45 LBS PER 1,000 SF. AN EARLY APPLICATION OF GRAVEL BASE ON AREAS TO BE PAVED IS RECOMMENDED TO MINIMIZE EROSION POTENTIAL.
- READY MIXED CONCRETE AND CONCRETE BATCH PLANTS ARE PROHIBITED WITHIN THE PUBLIC RIGHT OF WAY. ALL CONCRETE RELATED PRODUCTION, CLEANING AND MIXING ACTIVITIES SHALL BE DONE IN THE DESIGNATED CONCRETE MIXING/WASHOUT LOCATIONS.
- CHANGES TO EROSION CONTROL PLAN MUST BE APPROVED BY THE EROSION CONTROL INSPECTOR PRIOR TO IMPLEMENTATION. CONTRACTOR TO PROVIDE INSTALLATION AND DETAILS FOR ALL PROPOSED ALTERNATE TYPE DEVICES.
- ALL EROSION CONTROL ELEMENTS ARE TEMPORARY. CONTRACTOR TO INSTALL EROSION CONTROL ELEMENTS PRIOR TO START OF LAND DISTURBING ACTIVITIES. MAINTAIN IN GOOD CONDITION DURING CONSTRUCTION AND REMOVE FROM THE SITE UPON COMPLETION OF FINAL PAVING AND TURF ESTABLISHMENT.

**PIERCE PINI & ASSOCIATES, INC.**  
Consulting Civil Engineers

9298 CENTRAL AVENUE NE  
SUITE 312  
BLAINE, MN 55434  
TEL 763-537-1311

**FERRELLGAS**  
SITE REDEVELOPMENT

7255 HIGHWAY 10 NW  
RAMSEY, MN 55303

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Date: 04/11/2023 Reg. No: 45815

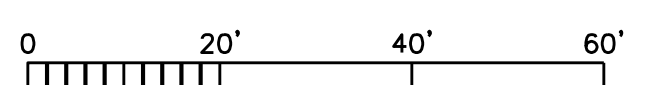
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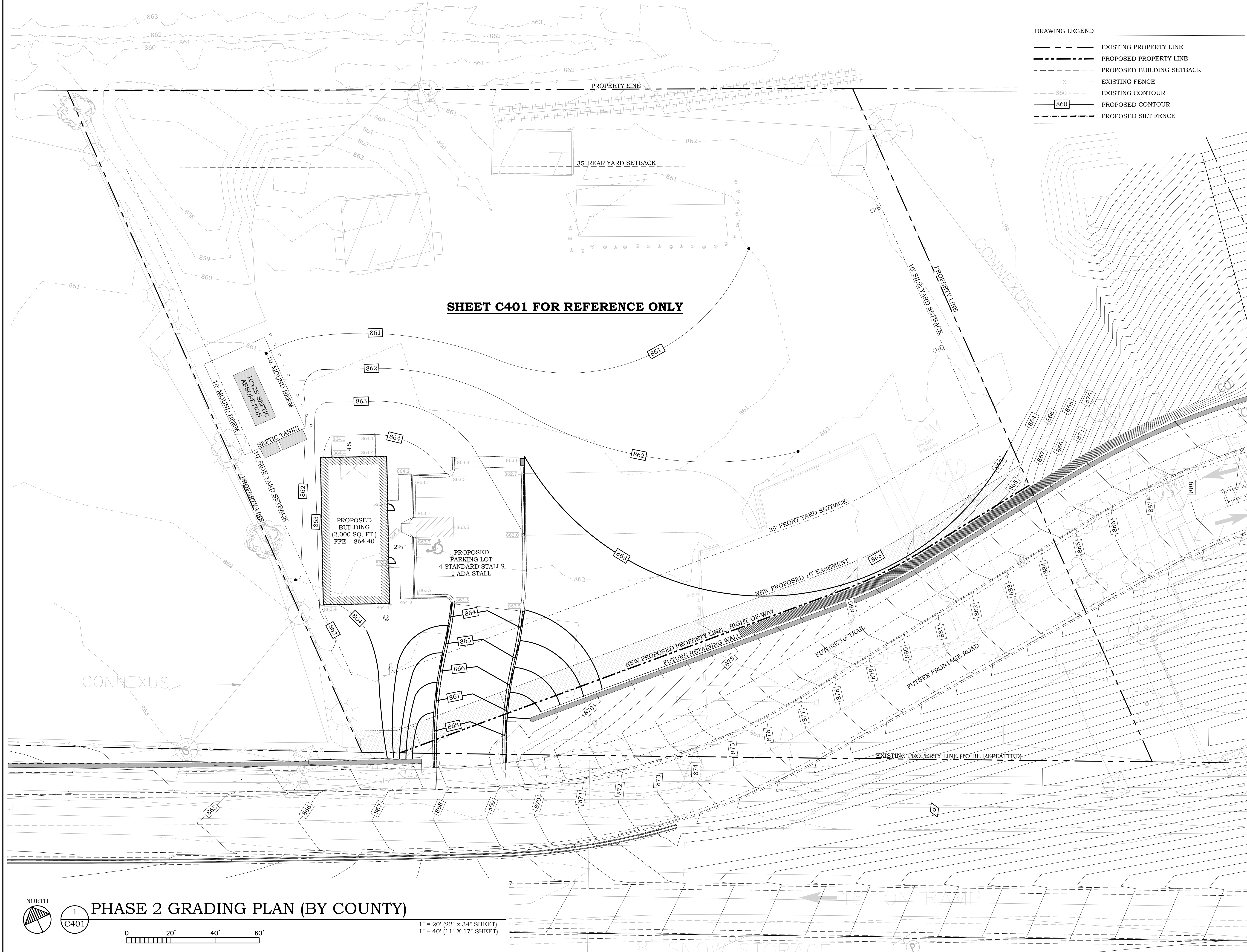
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Checked KG  
Date 04/11/2023

**City Approval**

Drawing Title  
GRADING, DRAINAGE & EROSION CONTROL PLAN

**C400**





**DRAWING LEGEND**

---	EXISTING PROPERTY LINE
- - - -	PROPOSED PROPERTY LINE
- · - · -	PROPOSED BUILDING SETBACK
- x - x -	EXISTING FENCE
860	EXISTING CONTOUR
860	PROPOSED CONTOUR
- - - -	PROPOSED SILT FENCE

**SHEET C401 FOR REFERENCE ONLY**

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**Consulting Civil Engineers**

9298 CENTRAL AVENUE NE  
 SUITE 312  
 BLAINE, MN 55434  
 TEL 763-537-1311

**FERRELLGAS**  
**SITE REDEVELOPMENT**

7255 HIGHWAY 10 NW  
 RAMSEY, MN 55303

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Drawn	TS
Checked	KG
Date	04/11/2023

**City Approval**

Drawing Title  
**PHASE 2 GRADING PLAN (BY COUNTY)**

**C401**

**PHASE 2 GRADING PLAN (BY COUNTY)**

1  
 C401

0 20' 40' 60'

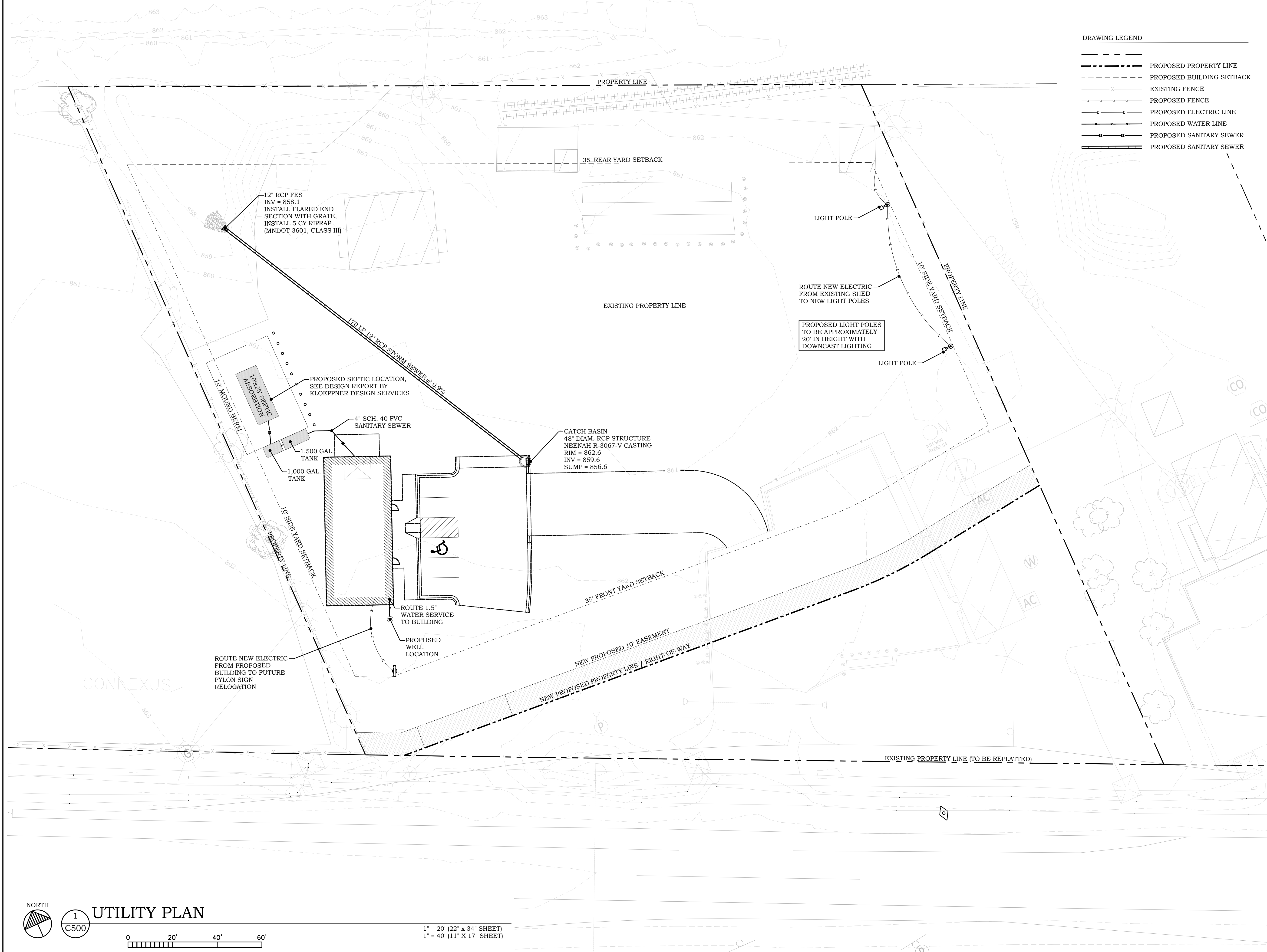
1" = 20' (22" x 34" SHEET)  
 1" = 40' (11" x 17" SHEET)

**FERRELLGAS  
 SITE REDEVELOPMENT**

7255 HIGHWAY 10 NW  
 RAMSEY, MN 55303

**DRAWING LEGEND**

	PROPOSED PROPERTY LINE
	PROPOSED BUILDING SETBACK
	EXISTING FENCE
	PROPOSED FENCE
	PROPOSED ELECTRIC LINE
	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER
	PROPOSED SANITARY SEWER



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Drawing Title

UTILITY PLAN

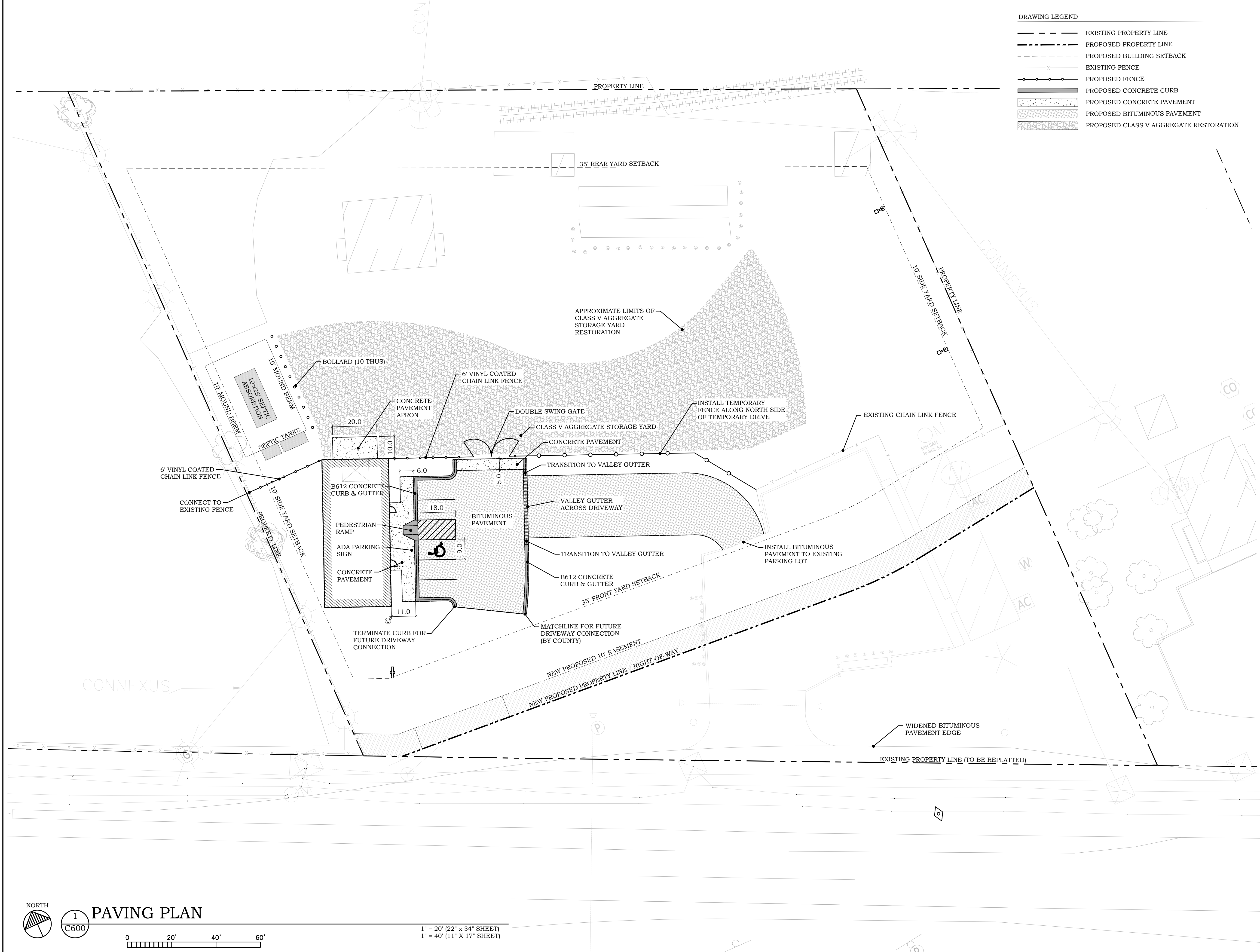
**C500**

**FERRELLGAS  
SITE REDEVELOPMENT**

7255 HIGHWAY 10 NW  
RAMSEY, MN 55303

**DRAWING LEGEND**

	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE
	PROPOSED BUILDING SETBACK
	EXISTING FENCE
	PROPOSED FENCE
	PROPOSED CONCRETE CURB
	PROPOSED CONCRETE PAVEMENT
	PROPOSED BITUMINOUS PAVEMENT
	PROPOSED CLASS V AGGREGATE RESTORATION



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Date 04/11/2023

**City Approval**

Drawing Title  
**PAVING PLAN**

**C600**

DRAWING LEGEND

	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE
	PROPOSED BUILDING SETBACK
	EXISTING FENCE
	PHASE 1 FENCE (INSTALLED)
	PHASE 2 FENCE
	PROPOSED CONCRETE CURB
	PROPOSED BITUMINOUS PAVEMENT

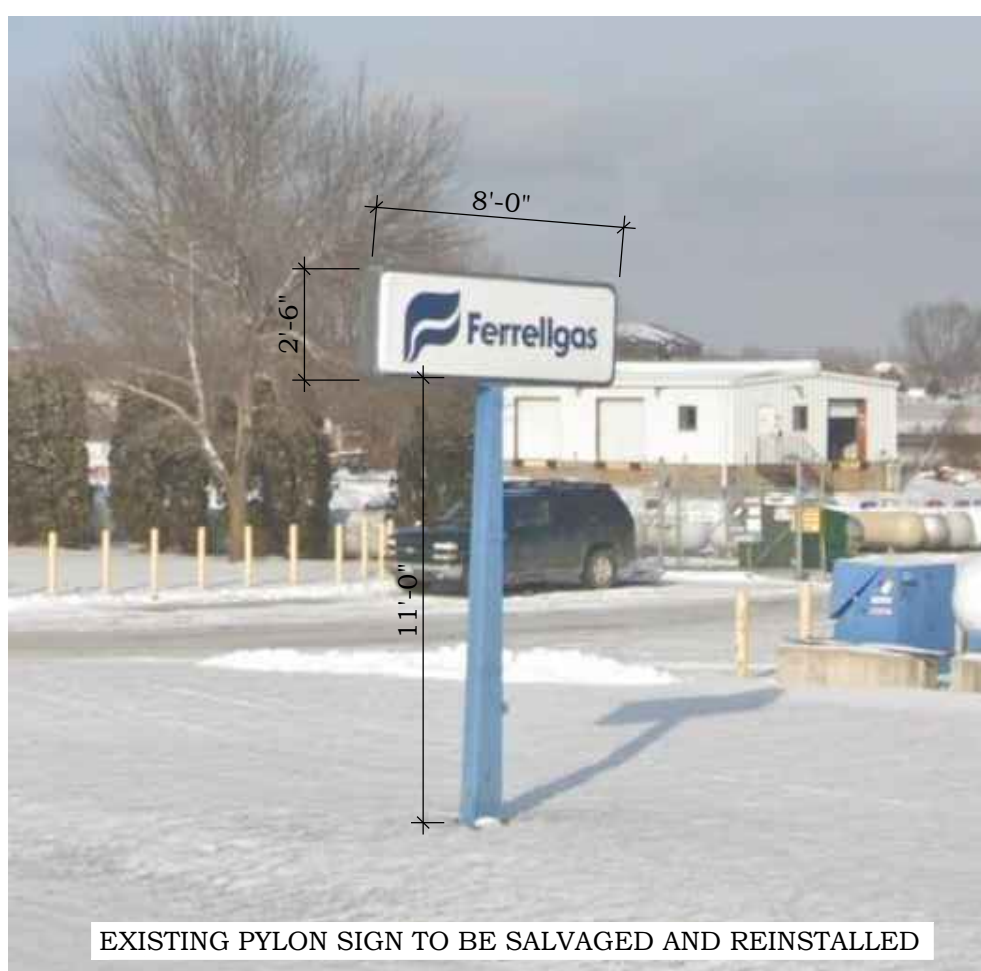
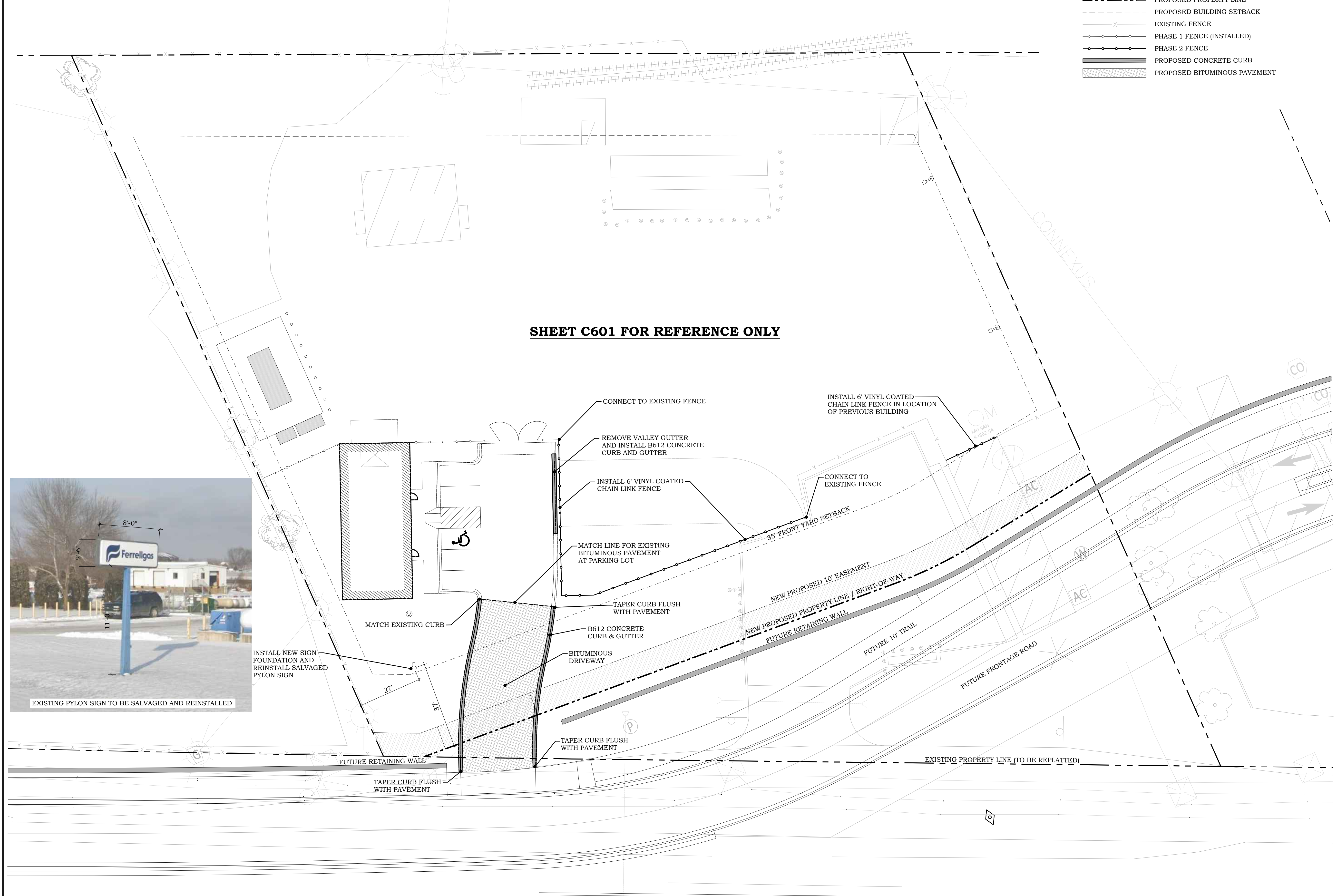
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**Consulting Civil Engineers**

9298 CENTRAL AVENUE NE  
 SUITE 312  
 BLAINE, MN 55434  
 TEL 763-537-1311

**FERRELLGAS**  
**SITE REDEVELOPMENT**

7255 HIGHWAY 10 NW  
 RAMSEY, MN 55303

**SHEET C601 FOR REFERENCE ONLY**



I hereby certify that this plan or drawing was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.  
 Company: PIERCE PINI & ASSOCIATES

Signed: \_\_\_\_\_  
 Name: Kevin Gardner  
 Date: 04/11/2023 Reg. No: 45815

Issued for	Date

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Comm. No.	22-049
Drawn	TS
Checked	KG
Date	04/11/2023

**City Approval**

Drawing Title  
**PHASE 2 PAVING PLAN (BY COUNTY)**

**C601**

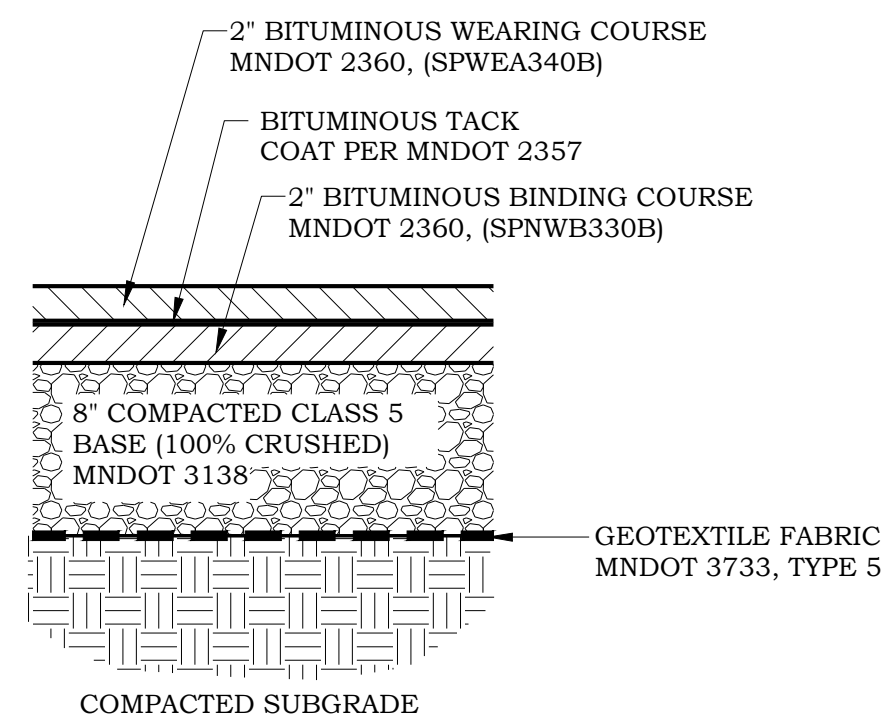
NORTH

1 C601

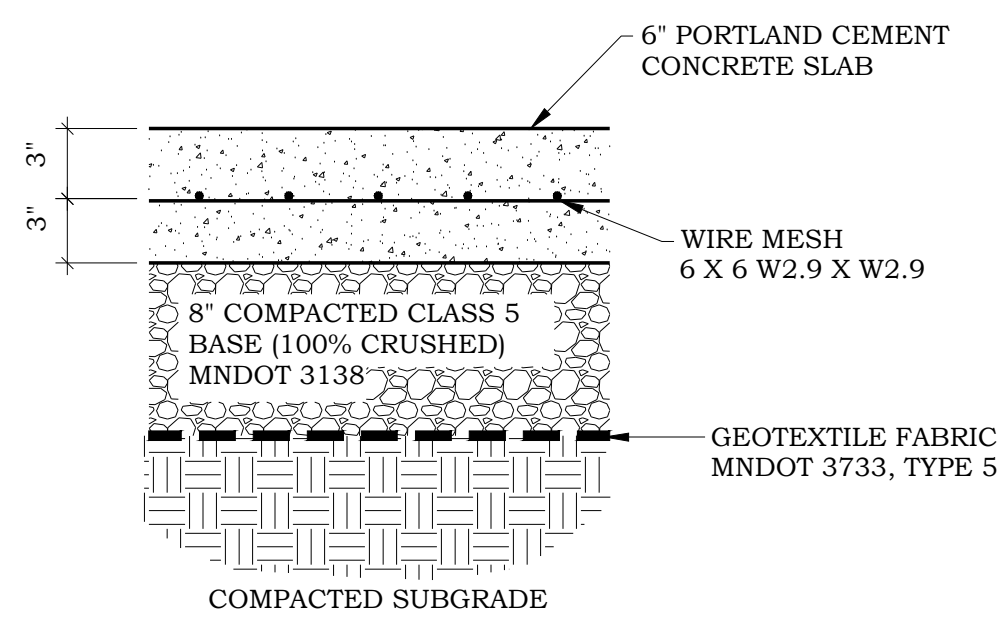
**PHASE 2 PAVING PLAN (BY COUNTY)**

0 20' 40' 60'

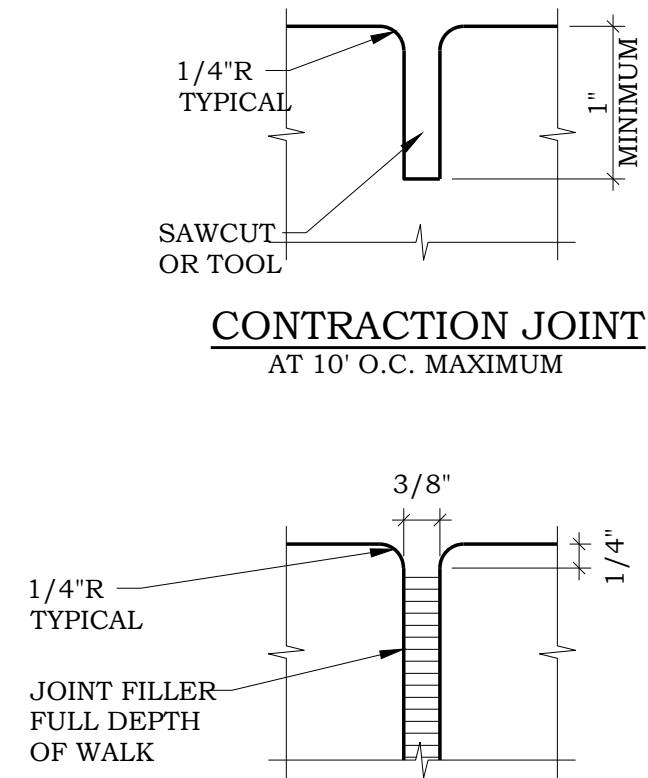
1" = 20' (22" x 34" SHEET)  
 1" = 40' (11" x 17" SHEET)



**1 BITUMINOUS PAVEMENT**  
C700 NO SCALE

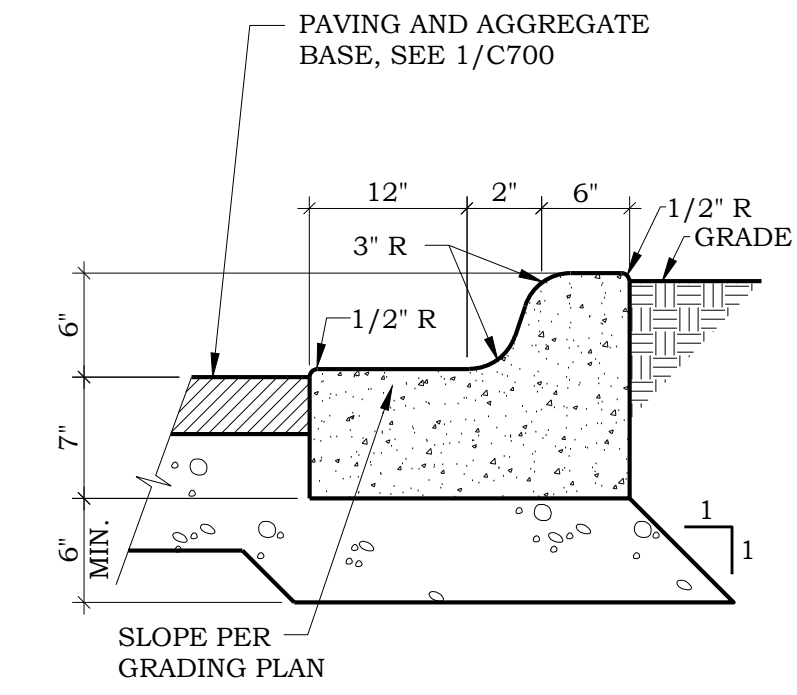


**2 CONCRETE PAVEMENT**  
C700 NO SCALE

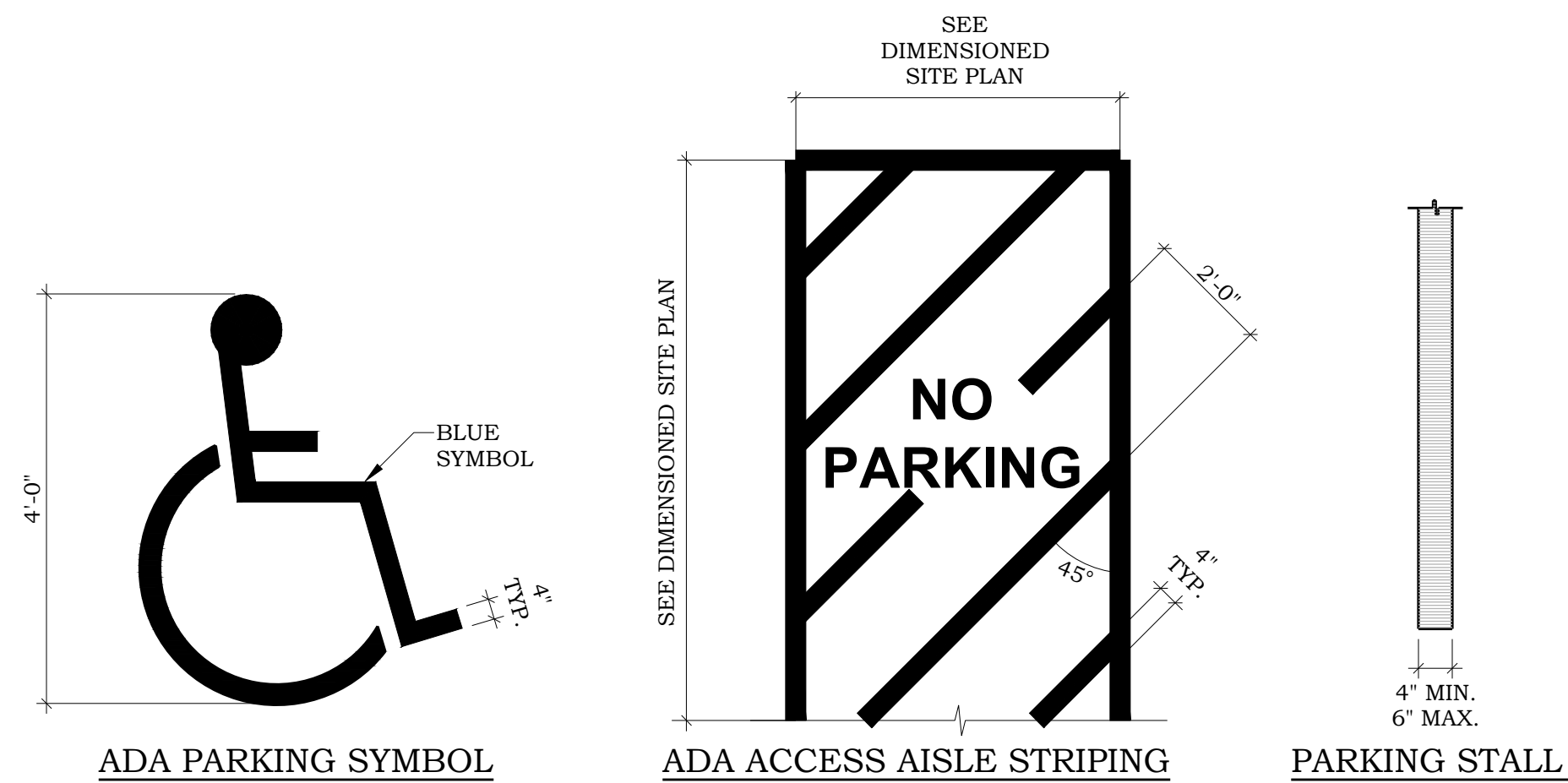


**CONTRACTION JOINT**  
AT 10' O.C. MAXIMUM

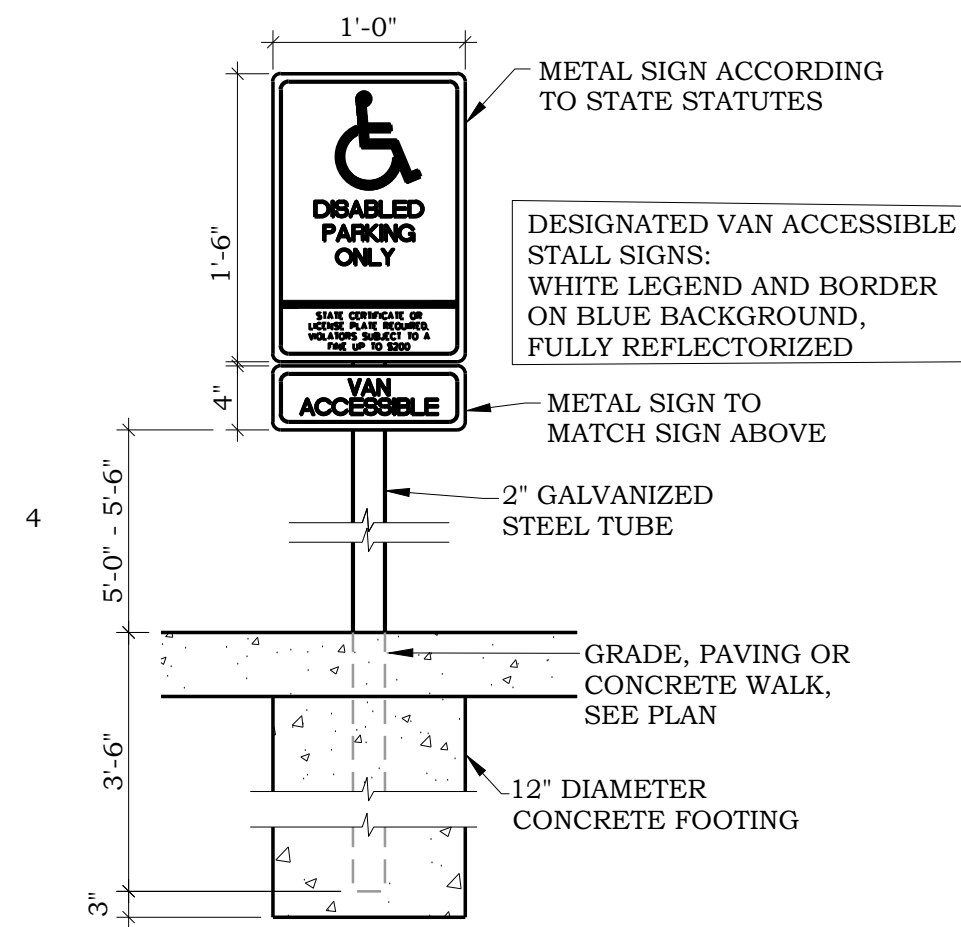
**EXPANSION JOINT**  
AT 20' O.C. MAXIMUM



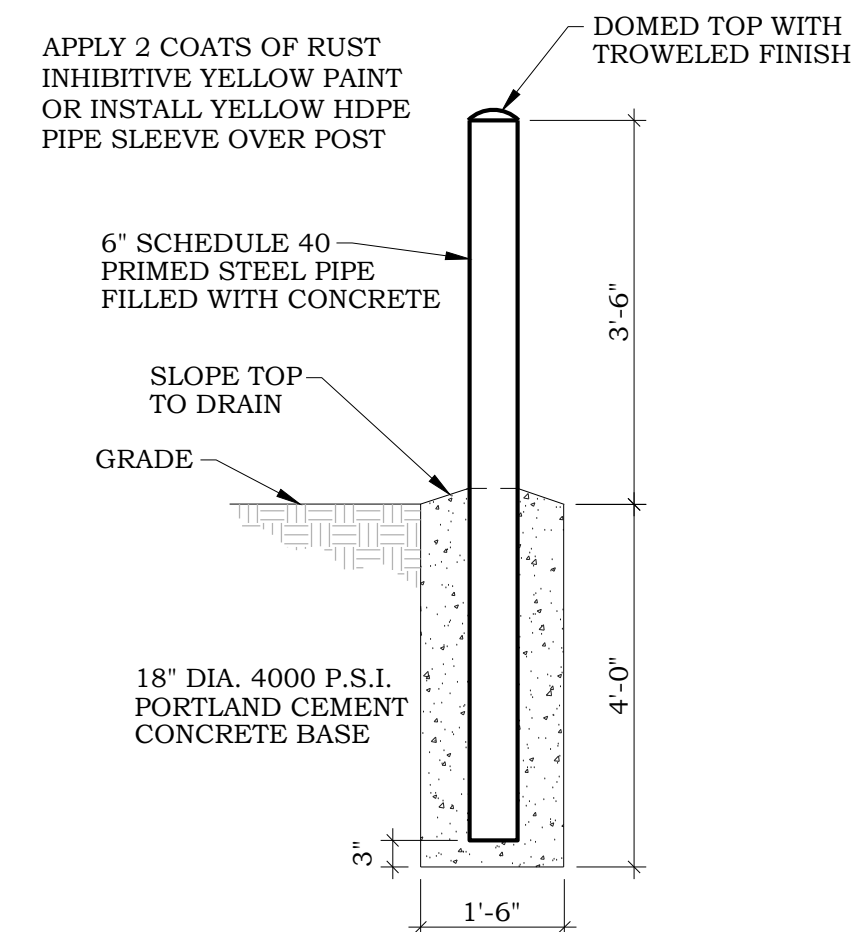
**3 B612 CONCRETE CURB & GUTTER**  
C700 NO SCALE



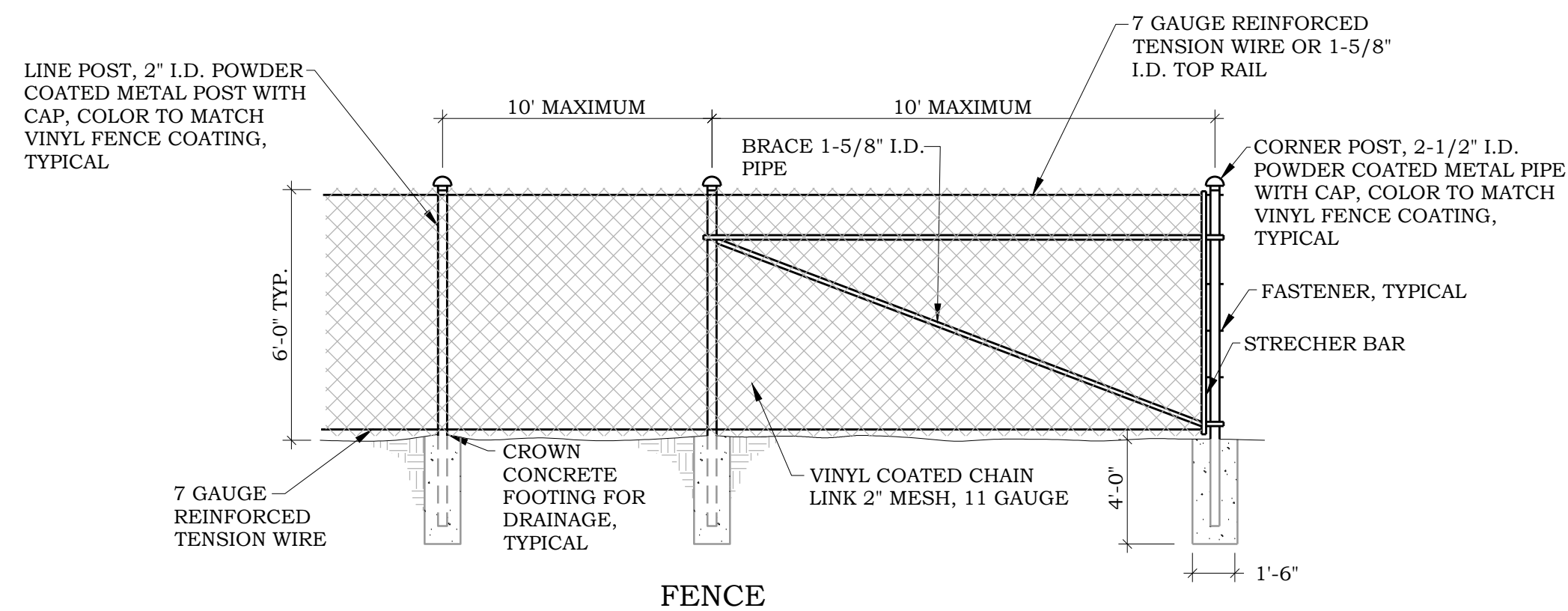
**4 PAVEMENT MARKINGS**  
C700 NO SCALE



**5 ADA PARKING STALL SIGN**  
C700 NO SCALE



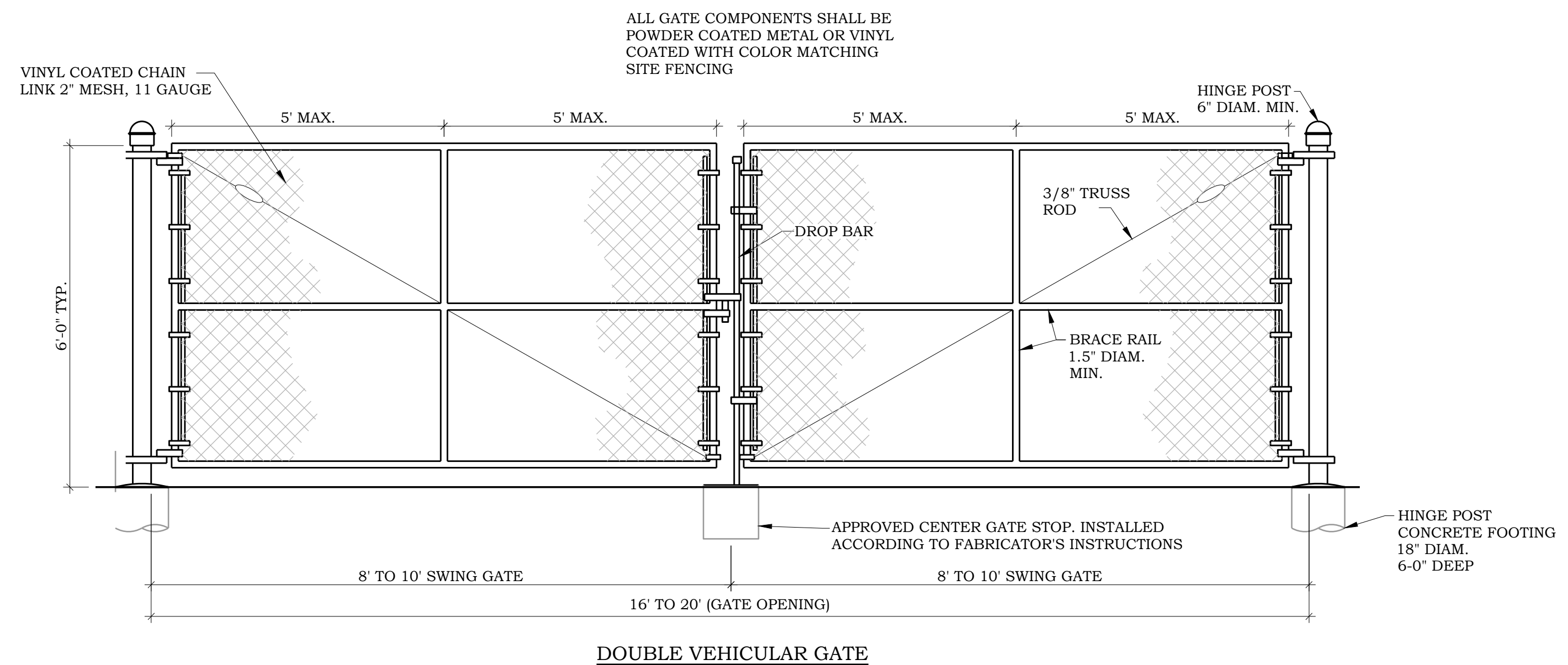
**6 BOLLARD**  
C700 NO SCALE



**NOTES**

1. DEPTH OF FOOTINGS ARE INTO NATURAL UNDISTURBED SOIL OR TESTED & APPROVED COMPACTED FILL.
2. CONCRETE FOOTINGS SHALL BE A MINIMUM OF 4,000 PSI MIX.
3. 12 GAUGE WIRE FASTENERS SHALL BE USED.
4. ADDITIONAL BRACING MAY BE REQUIRED WITH RUNS OVER 200'.

**7 CHAIN LINK FENCE**  
C700 NO SCALE



**8 CHAIN LINK SWING GATE**  
C700 NO SCALE

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Signed:

Name: Kevin Gardner

Date: 04/11/2023 Reg. No: 45815

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\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

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Comm. No. 22-049

Drawn TS

Checked KG

Date 04/11/2023

**City Approval**

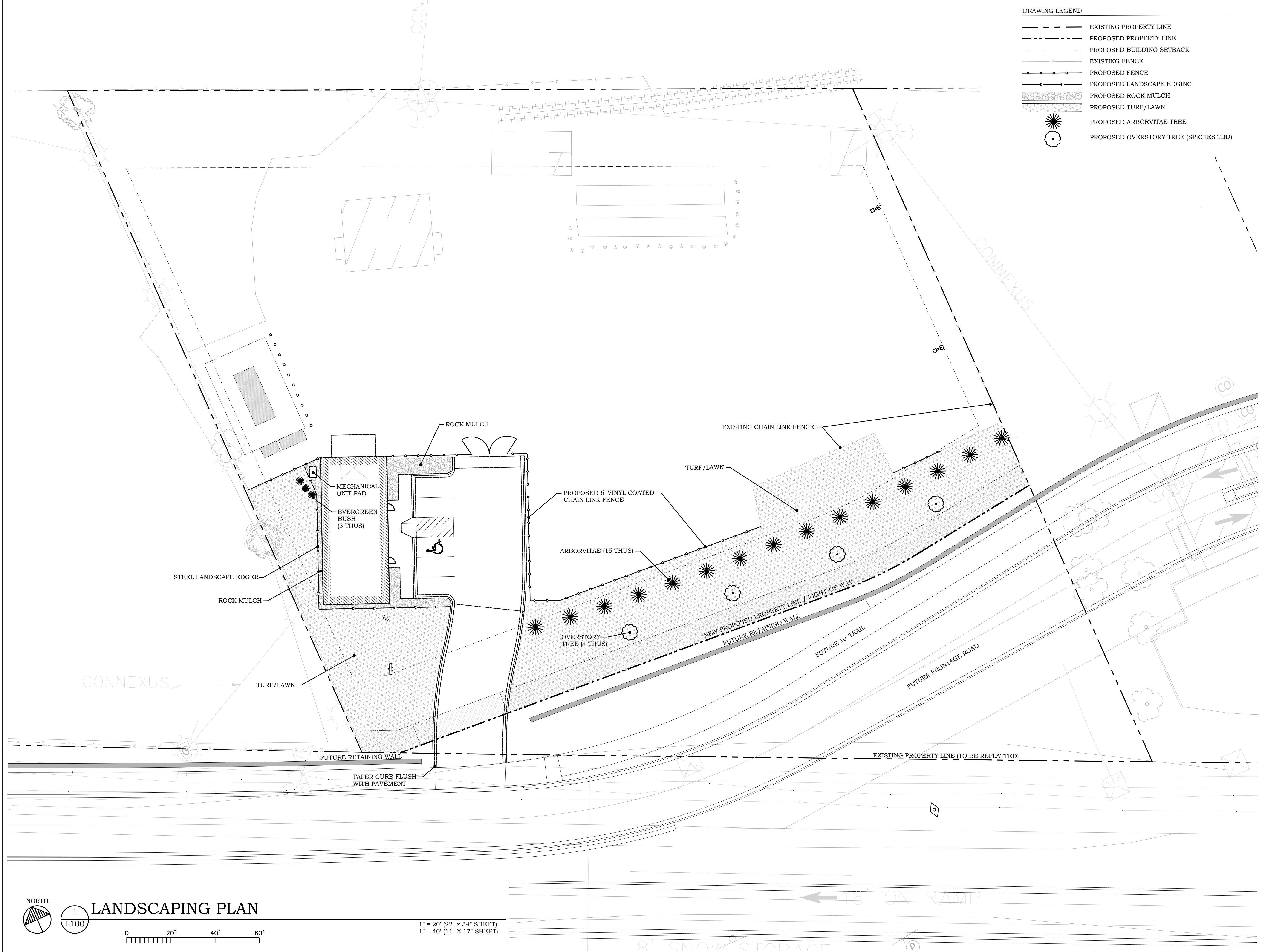
Drawing Title

CIVIL DETAILS

**FERRELLGAS  
 SITE REDEVELOPMENT**

7255 HIGHWAY 10 NW  
 RAMSEY, MN 55303

- DRAWING LEGEND**
- EXISTING PROPERTY LINE
  - - - PROPOSED PROPERTY LINE
  - - - PROPOSED BUILDING SETBACK
  - x - x - EXISTING FENCE
  - o - o - PROPOSED FENCE
  - o - o - PROPOSED LANDSCAPE EDGING
  - [Pattern] PROPOSED ROCK MULCH
  - [Pattern] PROPOSED TURF/LAWN
  - [Symbol] PROPOSED ARBORVITAE TREE
  - [Symbol] PROPOSED OVERSTORY TREE (SPECIES TBD)



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Company: PIERCE PINI & ASSOCIATES

Signed:  
 Name: Kevin Gardner  
 Date: 04/11/2023 Reg. No: 45815

Issued for	Date

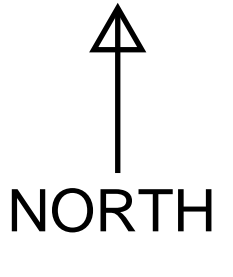
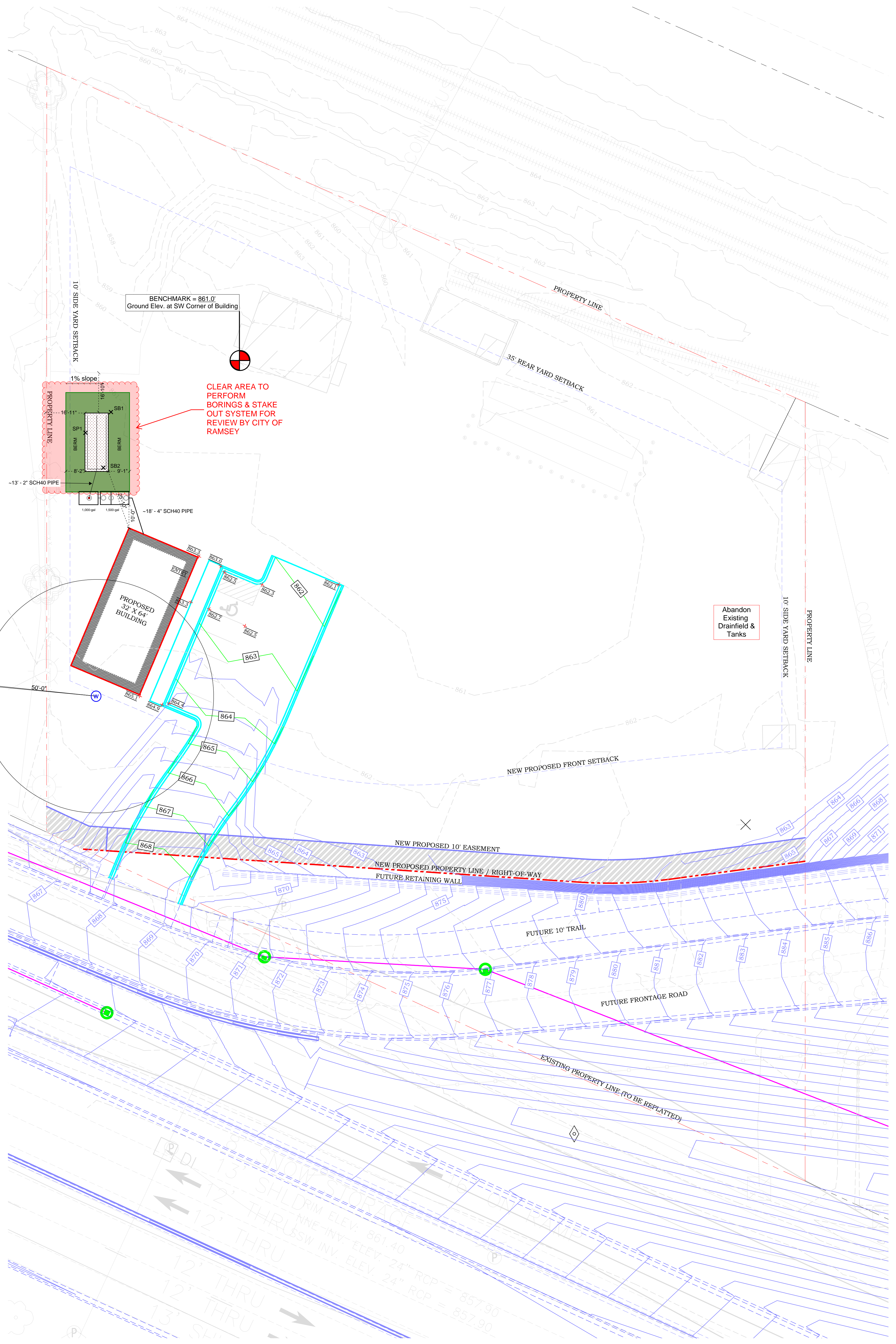
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Comm. No. 22-049  
 Drawn TS  
 Checked KG  
 Date 04/11/2023

**City Approval**

Drawing Title  
**LANDSCAPING PLAN**

**L100**



BENCHMARK = 861.0'  
Ground Elev. at SW Corner of Building

CLEAR AREA TO  
PERFORM  
BORINGS & STAKE  
OUT SYSTEM FOR  
REVIEW BY CITY OF  
RAMSEY

Abandon  
Existing  
Drainfield &  
Tanks

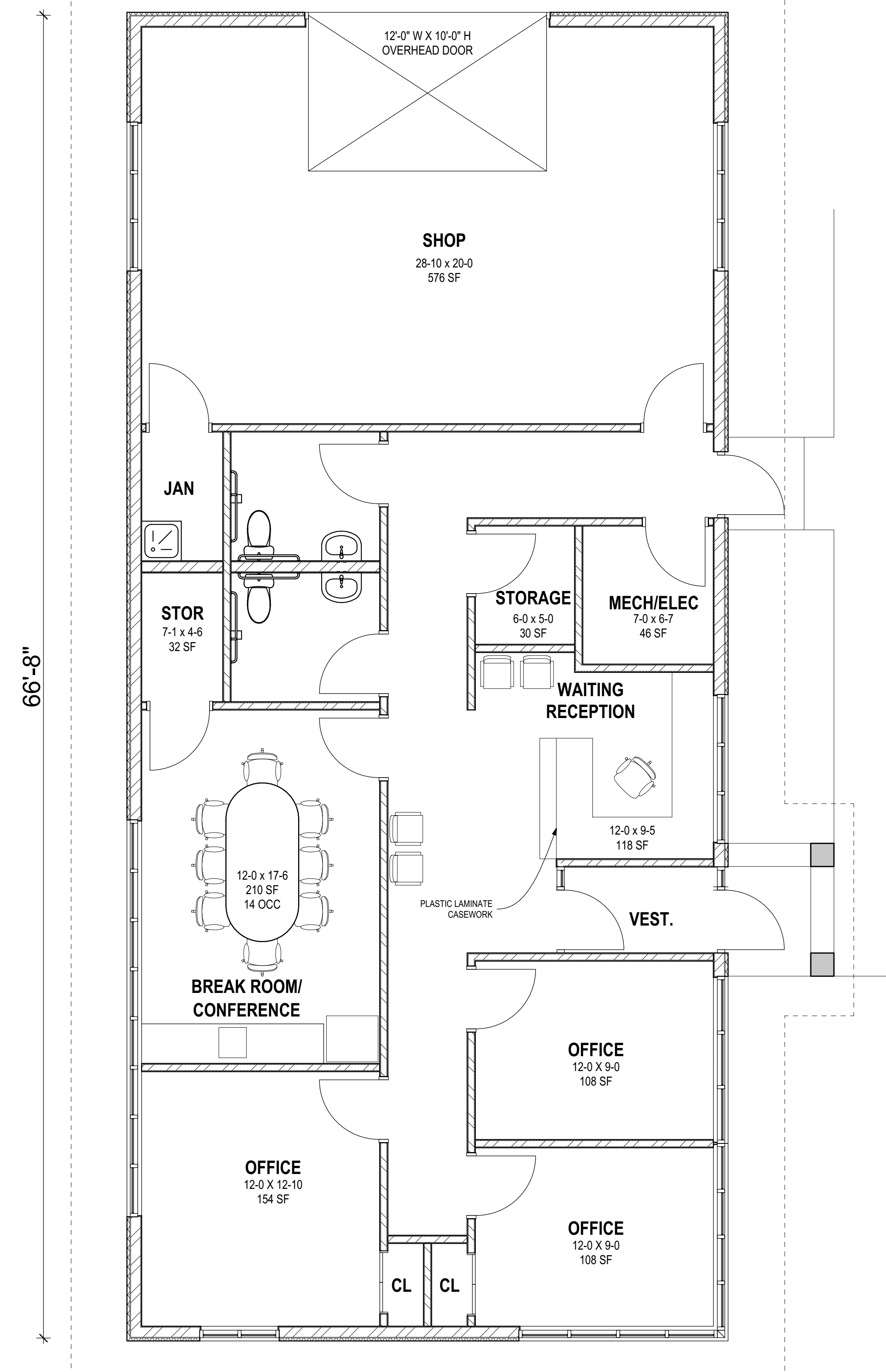
13' SNOW STORAGE  
12' SHLDRM  
12' THRU  
12' THRU  
12' THRU  
13' SHLDRM  
NNE INV. ELEV. 861.40  
SSW INV. ELEV. 24" RCP = 857.90  
SSW INV. ELEV. 24" RCP = 857.90

2,000 square feet

# FERRELLGAS OPTION E

2/24/2023

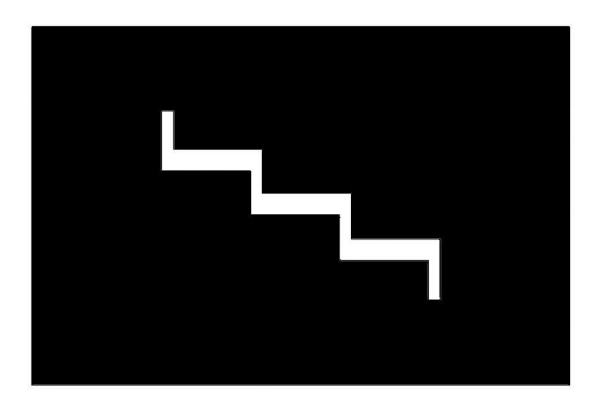
30'



66'-8"

NORTH

FLOOR PLAN  
1/4" = 1'-0"



# BUSCH

ARCHITECTS, INC.

310 FOURTH AVENUE SOUTH  
SUITE 1000  
MINNEAPOLIS, MINNESOTA 55415

TEL: 612.333.2279  
FAX: 612.339.2336

CONSULTANT

PRELIMINARY DRAWING  
NOT FOR CONSTRUCTION

CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE: MONTH XX, 2019 REG. NO. 16909  
PRINTED NAME: KEVIN C. BUSCH

COMMISSION NO.: 23-02

DRAWN BY: AM/KCB

CHECKED BY: KCB

DATE: FEBRUARY 24, 2023

BID ISSUE DATE:

REVISION DATES:

PROJECT TITLE

OWNER

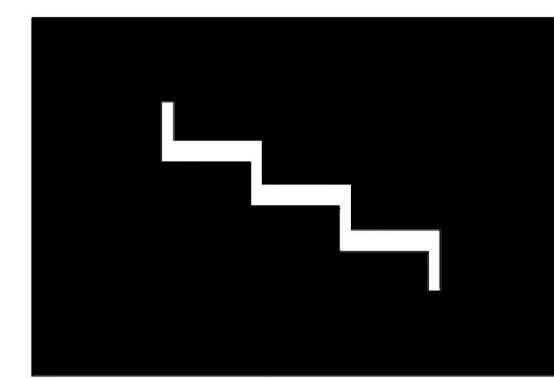
FERRELLGAS

SHEET TITLE

FLOOR PLAN  
SCHEMATIC DESIGN

SHEET NO.

SHEET OF X



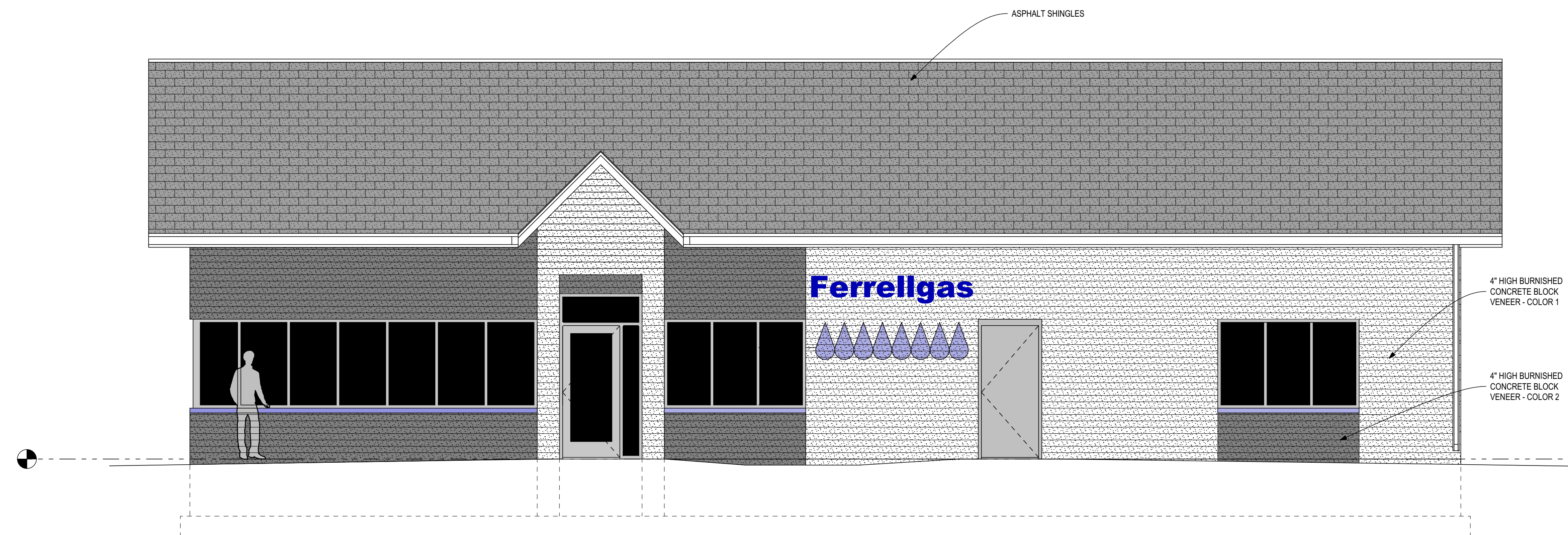
**BUSCH**  
ARCHITECTS, INC.

310 FOURTH AVENUE SOUTH  
SUITE 1000  
MINNEAPOLIS, MINNESOTA 55415

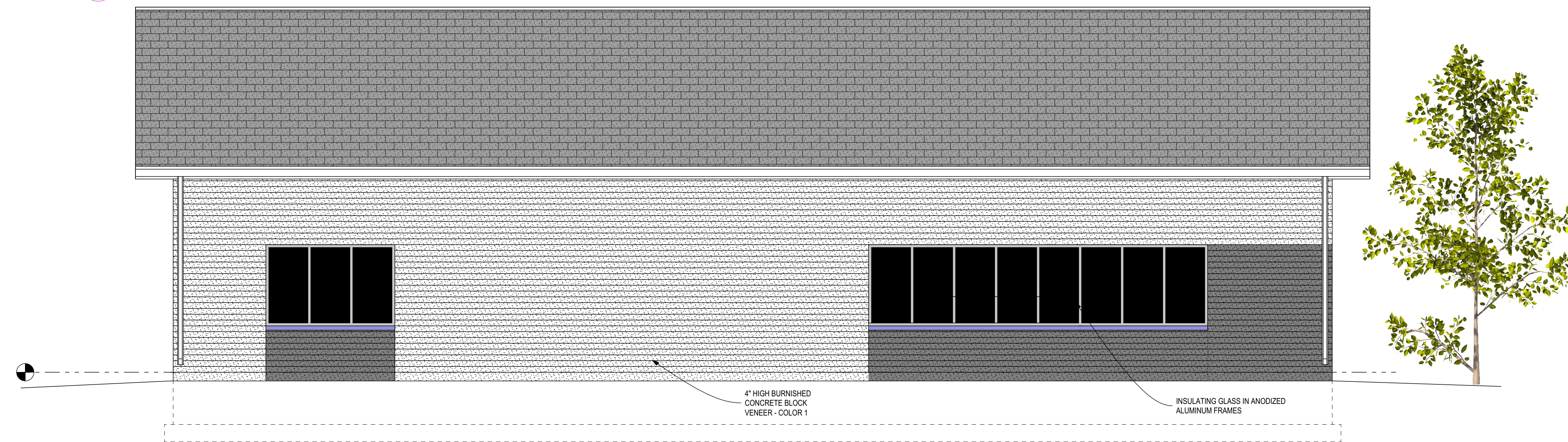
TEL: 612.333.2279  
FAX: 612.339.2336

CONSULTANT

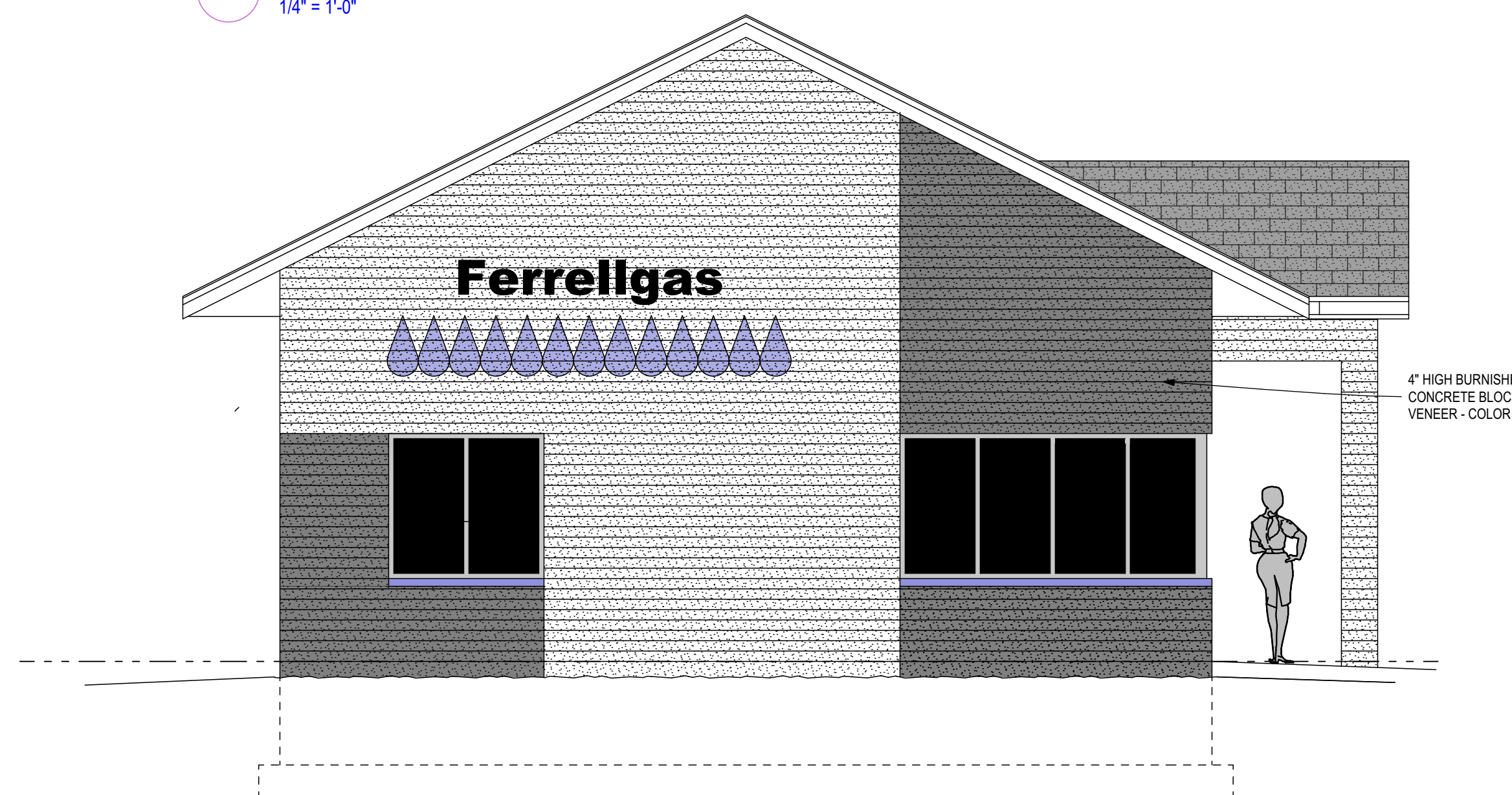
PRELIMINARY DRAWING  
NOT FOR CONSTRUCTION



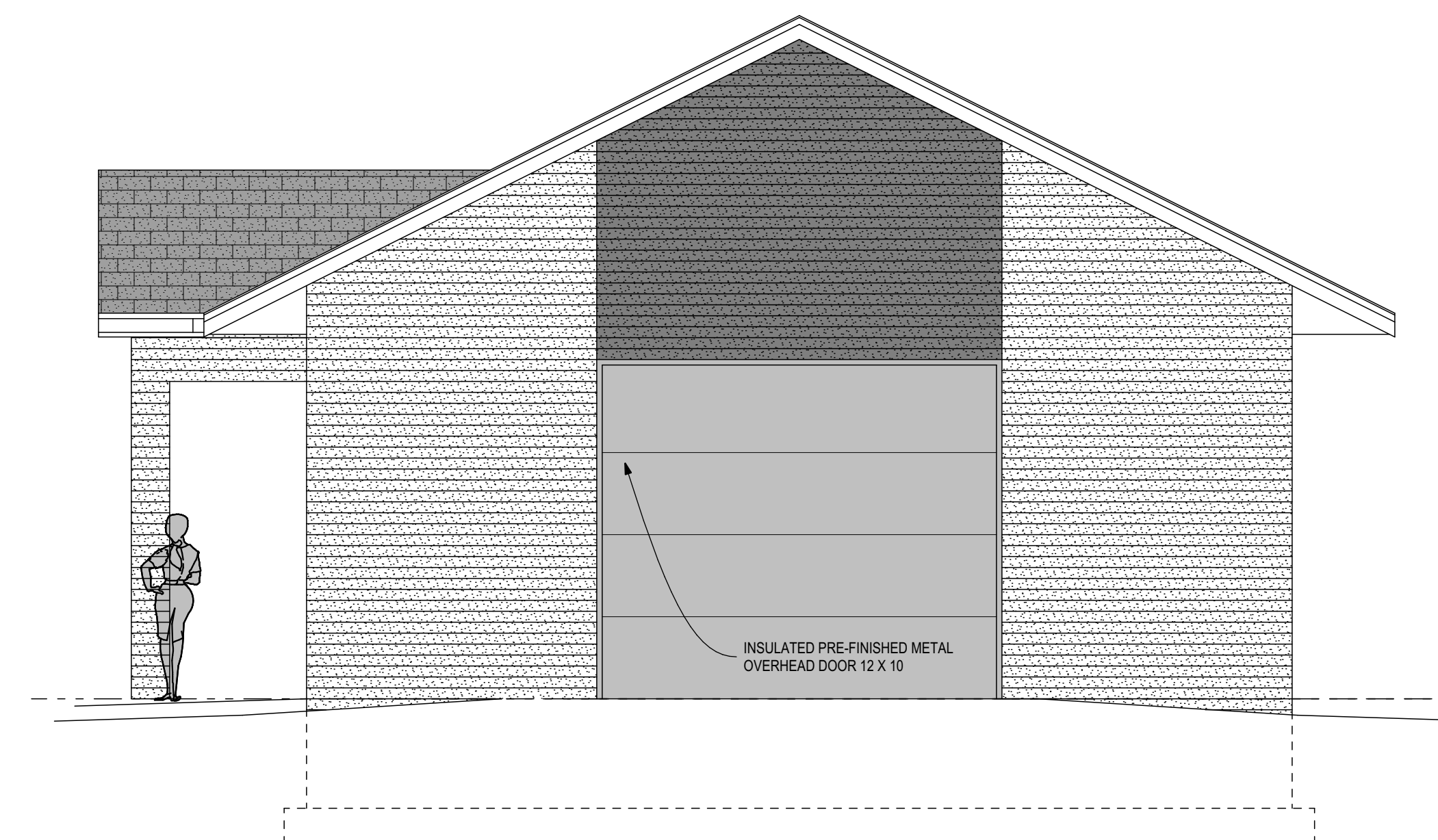
**EAST ELEVATION**  
1/4" = 1'-0"



**WEST ELEVATION**  
1/4" = 1'-0"



**SOUTH ELEVATION**  
1/4" = 1'-0"



**NORTH ELEVATION**  
1/4" = 1'-0"

**CERTIFICATION**

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DATE: FEBRUARY 24, 2023

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REVISION DATES:

**PROJECT TITLE**

OWNER

FERRELLGAS

**SHEET TITLE**

EXTERIOR ELEVATIONS

SHEET NO.  
SHEET OF X

