

City of Ramsey
Agenda
Regular Planning Commission
Thursday, August 24, 2023
7:00 pm

Location: 7550 Sunwood Drive NW

Remote Attendance available at www.cityoframsey.com/meetings.
Those joining remotely and requesting to speak are asked to use a webcam when speaking.

1. **Call to Order**

2. **Pledge of Allegiance**

3. **Citizen Input**

4. **Approve Agenda**

5. **Consent Agenda**
 1. Approve the Planning Commission Meeting Minutes for July 27, 2023.

6. **Public Hearing**

7. **Commission Business**
 1. Jam Hops - Site Plan Review for a commercial indoor recreation facility at 14165 Ramsey Blvd. NW.

8. **Commission/Staff Input**

9. **Adjournment**

Regular Planning Commission

Meeting Date: 08/24/2023

Primary Strategic Plan Initiative: Not Applicable

Information

Title:

Approve the Planning Commission Meeting Minutes for July 27, 2023.

Purpose/Background:

The purpose of this case is to approve the Planning Commission Meeting Minutes for July 27, 2023.

Recommendation:

Outcome/Action:

Attachments

July PC Minutes

Form Review

Inbox

Brian Hagen

Form Started By: Dana Verbeek

Final Approval Date: 08/17/2023

Reviewed By

Brian Hagen

Date

08/17/2023 08:32 AM

Started On: 08/17/2023 07:41 AM

**PLANNING COMMISSION
CITY OF RAMSEY
ANOKA COUNTY
STATE OF MINNESOTA**

The Ramsey Planning Commission conducted a regular meeting on Thursday, July 27, 2023, at the Ramsey Municipal Center, 7550 Sunwood Drive NW, Ramsey, Minnesota.

Members Present: Acting Chairperson Randy Bauer
 Commissioner Bruce Anderson
 Commissioner Ryan Heineman
 Commissioner Tom Hunt
 Commissioner Eric Peters
 Commissioner Gary Van Scoy

Members Absent: Chairperson Cheri Gengler

Also Present: Planning Manager Todd Larson
 City Attorney Elliot Knaak
 Senior Planner Chris Anderson
 City Planner Adam Martin
 City Council Liaison Matt Woestehoff

1. CALL TO ORDER

Acting Chairperson Bauer called the regular meeting to order at 7:00 p.m.

2. PLEDGE OF ALLEGIANCE

Acting Chairperson Bauer led the group in the Pledge of Allegiance.

3. CITIZEN INPUT

None.

4. APPROVAL OF AGENDA

Motion by Commissioner Peters, seconded by Commissioner Anderson, to approve the agenda as presented.

Motion Carried. Voting Yes: Acting Chairperson Bauer, Commissioners Peters, Anderson, Heineman, Hunt, and Van Scoy. Voting No: None. Absent: Chairperson Gengler.

5. CONSENT AGENDA

5.01: Approve the May 25, 2023 Planning Commission Meeting Minutes
5.02: Harmony Farms Sketch Plan (Project No. 23-111): Case of Lennar

Motion by Commissioner Anderson, seconded by Commissioner Van Scoy, to approve the consent agenda as presented.

Motion Carried. Voting Yes: Acting Chairperson Bauer, Commissioners Anderson, Van Scoy, Heineman, Hunt, and Peters. Voting No: None. Absent: Chairperson Gengler.

6. PUBLIC HEARING

6.01: Public Hearing: Zoning Code Update

Public Hearing

Acting Chairperson Bauer called the public hearing to order at 7:02 p.m.

Presentation

Planning Manager Larson presented the staff report stating that staff recommends approval for the Zoning Code Update.

Acting Chairperson Bauer referenced the comment that individual mailings were not sent to property owners. He referenced comments made by residents during the consideration of development for the Hunt property that they were not notified of the rezoning during the Comprehensive Plan process. He noted the staff comment that individual mailings were not sent out for this item and asked if there were any properties or parcels that would be impacted in that type of manner that might lead to the same type of controversy and statements from the public.

Planning Manager Larson commented that very little is actually proposed to be changed that would be a substantial use difference. He identified two parcels, under one ownership that border an existing gas station at Ramsey Boulevard and 149th that are currently vacant and zoned residential but would be proposed to change to business/commercial. He noted two parcels on the north side of Bunker Lake Boulevard that are currently zoned single-family residential but surrounded by wetland which is also zoned single-family residential. He stated that in that case they condensed the density from the overall area with the wetland onto the developable parcel, changing the zoning from single-family residential to multi-family residential. He noted that the areas marked as urban reserve do not currently have access to utilities but when infrastructure reaches those areas, a developer could request rezoning. He noted that this change would provide the City with more discretion when reviewing those development requests.

Commissioner Heineman referenced the statement that most properties would not see negative impact and asked for clarification on whether there are properties that would see a negative impact.

Planning Manager Larson replied that there are some business properties that would become legal nonconforming, noting car dealers specifically. He stated that they have heard the comment time

and time again that they need to clean up the image of Ramsey along Highway 10. He stated that the highway project was redesigned and very few of those properties will go away so the City now needs to determine what to do. He stated that minimum standards have been put in place for auto sales and therefore that will be the most impacted industry. He stated that those businesses could fix up their existing building, repair the parking lot and operate as they do today, but could not add licenses or expand the use.

Commissioner Heineman asked if those businesses would be required to rehab the building, or whether they would simply be allowed to do so.

Planning Manager Larson replied that the businesses would be allowed to do that but would not be required to do so.

Commissioner Heineman noted that there are some properties previously marked as PUD that would now be labeled as parks and open space, one of which is Rum River Hills Golf Course. He stated that it is his understanding that if the golf course were to sell the property, under the current zoning it would be allowed to develop as residential, but under the new zoning that would not be allowed.

Planning Manager Larson replied that in the case of Rum River Hills, there is a piece of property that it has been eyeing for residential development and that is marked as urban reserve. He noted that only the course itself would be proposed to change to parks/open space. He stated that if they wanted to redevelop the golf course, a rezoning could be requested.

Commissioner Heineman commented that it would seem the proposed zoning would negatively impact the property owner if they wanted to sell and develop homes.

Planning Manager Larson replied that the current PUD for that property is for the golf course, therefore if they wanted to build homes on that property, they would still need to come forward to amend the PUD or request a PUD which would be the same process of rezoning.

Commissioner Heineman commented that he supports the golf course as he lives in that area but just wanted to ensure that the course was represented and aware of the changes.

Commissioner Peters referenced the auto dealerships and statement that they could improve the existing buildings and asked if additional square footage could be added or whether the building could be torn down and a new building constructed.

Planning Manager Larson replied that in his previous experience the determination of the City Attorney was that the building could be expanded because the area proposed for expansion was over the current sales lot and therefore the essential use was not changing, as the vehicle was still for sale in that location, just inside instead of outside. He stated that they would still work with anyone that wanted to improve their property and work with reasonable requests with the input of the City Attorney.

City Attorney Knaak stated that the usual reply would be no in terms of expanding a legal nonconforming use and provided additional explanation. He provided some scenarios that could be considered to not be an increase in the use and therefore allowed.

Acting Chairperson Bauer stated that the new regulation would allow one license, noting that many of these smaller dealers have multiple licenses. He used the scenario where a business currently has six licenses but one person were to leave and asked if that sixth license could then be held by a new person or whether the business would continue to dwindle as license holders left until they reached one license.

Planning Manager Larson commented that would depend. He noted that some of the multi-license dealerships have very tiny office suites with one dealer in each space and in that case a new dealer could occupy that space. He commented that there is another shop where license holders do not have defined spaces and, in that case, he would not think a new license holder could come in.

City Attorney Knaack stated that he would disagree. He stated that in the situation where there are multiple small suites and one person were to leave, a new license holder could not come in. He stated that the business needs to move towards conformity.

Commissioner Heineman asked if the license refers to the license each dealer holds, or the number of cars that can be kept onsite.

City Attorney Knaack stated that a person needs a license to sell vehicles. He stated that a large dealership has one license for the premises. He stated that the new model has one person that rents space within the larger area to others that each hold their own license, so the one site may have six licenses. He commented that the larger the volume, the bigger the problems are in the eyes of the City. He stated that the multiple license scenario is a new phenomenon.

Commissioner Heineman used the scenario that there is a business that currently has two agents/licenses operating as a business and one agent were to leave. He stated that it would seem that under the current zoning, that agent/license could be replaced but under the proposed zoning, that agent/license could not be replaced.

City Attorney Knaak stated that in that scenario, the license would end up being transferred and it should not be a problem if the two licenses were operating under a common business name. He stated that if the agents were operating as two separate dealerships, then the issue would arise where the transfer could not occur.

Commissioner Van Scoy stated that he requested clarification on the current Conditional Use Permit and the legality issues.

Planning Manager Larson replied that the examples from other communities are outdated. He explained that a conditional use is a permitted use which may have additional conditions placed upon it to make it a better neighbor. He stated that a conditional use cannot be an ambiguous use that can be approved or denied based on whether people like the proposal or not.

Commissioner Van Scoy stated that he has been on the Commission for decades and explained how they have used the CUP tool during that time, noting that he also found examples of flexibility from other cities.

Planning Manager Larson commented that if a use comes up that is not listed for any zoning districts, the use could be added to the zoning district. He stated that the property could also be zoned PUD to allow that use. He stated that the examples that were found were more akin to the Interim Use Permit (IUP), something that is not specifically allowed in the zoning district but could be allowed for the time being until the district is more ripe for eventual development.

City Attorney Knaak commented that the CUP process is a statutory process that has existed for a long time. He stated that there are some uses that are obviously allowed, whereas others are allowed but the City is allowed to impose reasonable conditions. He used the example of a gas station which may require additional conditions. He stated that there are times when a use comes forward that does not seem to fit into a zoning district and in those cases, the City could allow the use as an interim use. He explained that would allow both parties to think about whether the use would ultimately work in the proposed location for a set period of time, which can be done for up to five years. He stated that the use could be phased out after that time, or the City could renew the IUP or add the use to the district. He stated that it would seem that Commissioner Van Scoy is describing a variance, in the situation where something is not allowed under the Code. He noted that sometimes a variance can lead to a change in the Code as well.

Commissioner Van Scoy stated that the current Code would seem to offer flexibility.

City Attorney Knaak noted that the language referred to by Commissioner Van Scoy would provide that flexibility as to not get lost in the definition when the use is essentially the same. He provided the example of an electric vehicle charging station rather than a gas station and noted that the Council could make the determination that it could be allowed as it would essentially operate in the same manner as a gas station.

Commissioner Van Scoy stated that he likes the language that is currently in Code.

Planning Manager Larson explained that a conditional use is an allowed use and is not one that they can deny just because they do not like it or think there are enough of those businesses. He stated that the conditional use is a permitted use.

Commissioner Van Scoy listed multiple cities which state that a City Council can deny a CUP.

Planning Manager Larson confirmed that a CUP can be denied but there need to be justified reasons, it cannot be discretionary. He stated that if something comes forward that seems to be a good idea but does not seem to fit, staff would still bring that forward with considerations of how that could be done whether that is through an IUP, PUD, or Code amendment.

Commissioner Van Scoy asked if the language is being changed because it offers flexibility.

Planning Manager Larson commented that perhaps it would best be described as mislabeled, as those items that require flexibility in consideration would be better described as an interim use rather than a conditional use.

Commissioner Van Scoy commented that this seems to be a significant change from what he is used to and would be interested in what other communities would say.

Commissioner Heineman referenced religious institutions and specific language proposed related to location and asked if there are any existing churches that would not conform to that description.

Planning Manager Larson commented that the churches that exist do fall under those descriptions for location. He noted that this would prevent the situation where a church is proposed on local residential roads that are not meant to handle that type of traffic.

Acting Chairperson Bauer noted that under IUP there would be a change to remove the language that would allow the IUP to be tied to an event rather than a period of time. He recalled a situation where an IUP was tied to the redevelopment of the highway rather than a specific time period. He asked why that option would be removed.

Planning Manager Larson replied that five years is dictated by State law. He noted that what they think today may not occur in the future. He stated that if the time period is tied to an event that never happens, that would stick the people in the future with a situation that may not be desired. He stated that the five years would be a check-in and that IUP could be extended.

City Attorney Knaak commented that an IUP can be extended or renewed. He stated that the idea of defining a use as interim is that it is temporary.

Councilmember Woestehoff stated that a public hearing is required by State law for an IUP.

Acting Chairperson Bauer stated that in the scenario he is describing the IUP has already been issued and would just be requested for extension.

City Attorney Knaak replied that the law does require an end date for an IUP.

Acting Chairperson Bauer stated that he recalled reading that a Home Occupation Permit would be an IUP and did not believe that was the current practice.

Planning Manager Larson commented that a CUP runs with the land, where an IUP does not run with the land and only runs with the business or operator. He stated that a home occupation would be the same in that if one business is approved, that approval would not transfer with the land for a new occupant.

Acting Chairperson Bauer stated that an IUP would have a five year limit whereas the Home Occupation Permit has not had a time restriction.

City Attorney Knaak stated that a home occupation is a license that goes with an individual and therefore perhaps you would not want to categorize that as an interim use. He believed that they would be better off reviewing that as a regulatory function and occupational license which in this instance would be operating from a home.

Planning Manager Larson commented that they could strike the word “permit” and simply state interim use.

Councilmember Woestehoff stated that the term also calls that to be a permit. He asked if the City Council held a worksession on home occupations but did not recall that occurring.

Planning Manager Larson confirmed that worksession was held but Councilmember Woestehoff was not in attendance.

Acting Chairperson Bauer suggested just calling it a Home Occupation Permit and not linking it to an IUP.

Planning Manager Larson confirmed that staff would clean up that language.

Councilmember Woestehoff asked if a Home Occupation Permit would still require a public hearing.

Planning Manager Larson confirmed that staff was not proposing to change the process.

Commissioner Van Scoy commented that he really likes the tables that were added but noted a typo that he discovered.

Planning Manager Larson confirmed that staff would make that change.

Commissioner Heineman asked if 167th is an arterial road and whether the language for location of churches would need to be amended to allow Pathways to be conforming.

Planning Manager Larson provided additional clarification on the roadway definition. He noted that on the land use map proposed, that parcel would be designated as institutional and therefore the church would be allowed regardless of the roadway.

Commissioner Van Scoy referenced parking standards within the table shown on page 83 of the packet and asked where medical and dental would fall on the table.

Planning Manager Larson replied that many of the uses that were removed from the table tend to not conform to general standards for parking. He stated that for the uses not listed in the table there is a section above that requiring a parking justification report that would dictate parking needs based on the employees, guests, and visitors.

Commissioner Van Scoy commented that COR 5 was eliminated and asked why.

Planning Manager Larson stated that there is already a parks/open space zoning district, so they removed the redundancy.

Commissioner Van Scoy referenced the language that “Development standards set forth in this section shall supersede those set forth in the Development Framework”.

Planning Manager Larson noted that text was requested to be added by either the Commission or City Council. He commented that the regulations found under that section would supersede the framework.

Commissioner Van Scoy commented that he has requested a review of the framework and therefore this would seem confusing.

Planning Manager Larson confirmed that is on the list of things to do. He noted that without this language, the Code was confusing as to which would trump the other if there were conflicts, therefore the decision was made that the Code in that section would trump the framework.

Citizen Input

Steve Doggett commented that he is not a resident and is present to voice his opposition to the proposed restrictions on EIFS, pertaining to sections 480 and 580. He stated that he submitted two documents via public record as the primary objective was aesthetics. He commented that EIFS is a flexible design platform that can accommodate many different options and textures.

Acting Chairperson Bauer confirmed that those documents were submitted last month.

Planning Manager Larson commented that those documents were attached to the case. He thanked the individual for the input and noted that the design standards he proposed would be a drastic change for the community. He stated that currently within the employment districts, which would be industrial districts in the new Code, that material is not allowed at all whereas the new Code would allow up to 30 percent of a building to be that material therefore they are making allowances for the material to be used in more areas of the community.

Mr. Doggett commented that EIFS is a material that is accepted by the State Building Code. He believed that this material was arbitrarily being excluded. He stated that he brought forward two solutions which would resolve the issue. He stated that this would be part of the design review process where input could be provided on the design aesthetic.

Acting Chairperson Bauer asked the primary reason for exclusion.

Planning Manager Larson commented that it is not being excluded, but restricted to a percentage as the way Ramsey has seen that material is big, blank, flat walls. He stated that quiet a few comments have been made on the O'Reilly's building down the street which uses a lot of that material, that the building is more flat and boring than they believed and not quite what was envisioned for the COR.

Acting Chairperson Bauer used the example of the Aldi building where they provided input on the design. He asked if that could be handled through design review.

Planning Manager Larson commented that would get into the area of discretion, and if the material is allowed, there would not be much room for design input. He noted that material is prohibited in many of the zoning areas today, but these changes would allow the material in more areas in a limited scale.

Commissioner Van Scoy commented that the Commission did approve the O'Reilly's building and if there were issues with the design it should have been discussed at that time.

Commissioner Anderson asked for an example of an industrial building that uses the material. He stated that the sketch plans are reviewed, and comments are provided at that time.

Planning Manager Larson commented that the material is currently not allowed on industrial buildings, so he does not have such an example. He stated that the material is allowed in business and commercial districts and the new change would open up all the zoning districts with a limitation of 30 percent. He commented that while some districts would be reducing from 100 percent to 30 percent, others would be increasing from zero to 30 percent.

Chuck Thiel commented that his company is located in Blaine and sells EIFS as well. He commented that it would seem that restriction is being placed on products based on aesthetics. He asked if brick should be restricted if they do not like the color of certain bricks. He commented that this product is acceptable in international and state building codes but would be restricted because someone in Ramsey does not like it.

Planning Manager Larson noted that the material is currently prohibited, and they would be allowing that to be used up to 30 percent. He stated that in the retail and office districts, the use would be restricted but not prohibited.

Mr. Thiel provided additional details on the material. He stated that EIFS has been born out of insulation and it would be difficult to get that same energy savings through other materials such as brick or glass.

Councilmember Woestehoff stated that in his quick search it appears that the state of Oregon bans EIFS for health and safety reasons. He asked if there are substantial differences between EIFS and traditional siding.

Mr. Thiel stated that he is unsure if that is correct. He stated that he was unsure if there were differences. He commented that EIFS has improved to include a moisture barrier.

Tim Lutz commented that his business is located in Brooklyn Park and asked why the material would not be allowed in the industrial park, noting that his company has done a number of projects. He stated that the material is often chosen because of the insulation value.

Planning Manager Larson again clarified that the material is currently not allowed in the industrial district, but this change would allow the material to be used up to 30 percent. He commented that when he worked in Brooklyn Park, Mr. Lutz came forward with an innovative design and therefore they categorized that under other building materials as approved. He stated that staff is not saying the material is prohibited but does not want large, blank walls. He noted that if something were to come forward that was interesting in design, it could be considered in the other category.

Mr. Lutz commented that he does understand the intent but noted that their systems have evolved over the past 40 years with different finishes and designs. He commented that his systems could be great for renovations.

Acting Chairperson Bauer asked if there is something that would cause the restriction of 30 percent, or the aesthetic.

Planning Manager Larson replied that it is the application of the material. He stated that if there is a big, flat wall that could be seen as boring and lower quality. He acknowledged that Mr. Lutz's building in Brooklyn Park does have a great design, but there is also a higher cost to use the material in that way. He stated that in saying the material is allowed with restriction they could have the big, flat walls that are boring.

Acting Chairperson Bauer asked if there are other concerns with health and/or safety.

Planning Manager Larson commented that like any building material, it needs to be handled and maintained in the proper manner.

Acting Chairperson Bauer commented that if there is nothing objectional to the material other than aesthetics, that could be done through sketch plan review and therefore he would support removing the 30 percent restriction. He stated that perhaps they add additional language that would require architectural variations.

Planning Manager Larson commented that the language could be used that was provided by a previous speaker, but then staff does not believe the design criteria of that nature should only be applied to one specific material and should then be applied to all materials. He stated that a sketch plan is not reviewed for every individual building and then they would need to find a reason why it does not meet Code, explaining that they could not just say that they do not like it.

Commissioner Van Scoy stated that the issue is not the individual material but the architectural standards. He stated that perhaps they need to review the architectural standards for whatever size building they are reviewing.

Planning Manager Larson commented that they could do that but in previous discussions the Commission did not want to get too detailed or prescriptive in how they wanted buildings designed. He stated that if an interesting and innovative design were proposed that used more EIFS, that could be considered under the category of other.

Brett Hinsley commented that he is a resident of Portland, Oregon and was confused by the comment that EIFS is not allowed in Oregon. He commented that about 50 percent of their work uses EIFS. He commented that there have been issues in the past with moisture but that was because of the application. He commented that they have been able to reestablish that market. He encouraged the Commission from restricting the material and should instead focus on architectural standards.

Krista Johnson commented that she is a resident of Blaine but owns there properties in Ramsey. She commented that she opposes the change to the definition of family under the proposed zoning code. She commented that she would object to limiting the number of unrelated people living in a household to four. She commented that there are many properties in Ramsey where more than four unrelated people live in the home. She noted that change would impact all residential properties. She asked how this would be grandfathered in. She commented that she owns townhomes in the COR and within a three bedroom she has had two couples and one single individual living in those three bedrooms. She noted that they were young professionals living together to save money to purchase their own homes and occupied the home for two years before moving on to purchase their own homes. She stated that she also owns recovery homes in Ramsey that she has operated without incident in Ramsey for years, noting that more than four unrelated people live in those homes. She noted that a friend recently purchased a home for his daughter to live in while she attends college with five other students, noting that those individuals are unrelated. She stated that Minneapolis recently removed the unrelated clause from its zoning code because of the reality of the economy and changing dynamics. She commented that eight people that are related could live in a home, but the neighboring home that also has eight people that do not look related could then not be allowed. She stated that in today's environment of intentional living and diversity she would ask that this language be removed. She commented that State law dictates that she could continue to operate her homes in the manner they are currently run but acknowledged that the change could have negative impacts on many others in the community.

Acting Chairperson Bauer referenced the example where six unrelated students currently reside in the home and used the scenario that one were to move out, asking if that person could be replaced or whether they would need to keep dwindling down until they reach four.

Planning Manager Larson commented that currently they do not define what a single-family is even though they use the term single-family all over in the zoning code. He stated that a single-family home therefore is a home occupied by one family, which brings forward the question of what one family would be. He stated that they then tried to define that term. He noted that six students living together may not be considered a family and would begin to look more like a student housing which could have impacts on others in the neighborhood. He stated that in other communities where these student housing situations arose, with individual leases, people come and go and there is a lot of money to be made. He stated that those homes can have negative impacts on a neighborhood. He stated that if one of those students were to move out, he would think another could not move in until they reach four. He stated that in relation to a recovery home, licensing is needed through the State, and those allow up to six people. He stated that there are also sober homes that have popped up that do not require licensing but would fall under reasonable accommodation to have a limit of six individuals. He stated that the Commission could

recommend increasing that number of unrelated individuals to six but noted that this suggestion of four was taken from discussions with the Commission and Council.

Ms. Johnson commented that limiting the number of individuals in a recovery home to four would no longer be purposeful as it does not provide that sense of community and support. She also did not believe that should be limited to six and noted that if she is forced to reduce the number of people, she will come forward with an ADA reasonable accommodation request and will go through a whole battle until they come to an agreement. She stated that to put every homeowner into the four unrelated person category when the City cannot regulate that does not seem fair, as it would then only apply to those that are targeted.

Acting Chairperson Bauer commented that it would seem inconsistent in how the lawful nonconformity would be addressed comparing the previously discussed license for auto sales and this situation.

City Attorney Knaak commented that the currently constitutional direction even allows up to six and has been the standard for a long time. He acknowledged that the City is attempting to define what a family is, as the term single-family home is used throughout the Code. He stated that it is indicated that there may be some social changes going on, but the City could choose to define that term. He stated that if the limit were set at four unrelated individuals and six currently occupy the home, if one were to leave, then they could not be replaced as the goal would be to reach conformity. He stated that he provided the same response for car dealers, that if one of six were to leave, they could not be replaced. He recognized the effort to define a family for the purpose of single-family home but noted that the City does not have to do that.

Ms. Johnson asked if the City should be able to define who can live in a home you purchase.

City Attorney Knaak replied that the answer is right as this has been done for decades.

Ms. Johnson commented that there are many homes that would be out of compliance that would not be targeted, while others would be immediately targeted. She asked why this change would be needed. She commented that there is a hobby farm where four or five seniors live at the hobby farm with two unrelated individuals that run the farm. She stated that is just another example of a situation that would be out of compliance. She asked who would regulate the number of people living in the home.

Commissioner Heineman asked how this would be enforced.

City Attorney Knaak replied that if the City imposes the restriction that people are unaware of, that could create a problem that is not anticipated. She commented that there are things that were described by the resident that are illegal, but those situations are things that have not been considered.

Commissioner Heineman used the example of the elderly people living on the property and a complaint were registered. He asked if a call were made and someone said they were related,

would the City then send police to investigate birth certificates. He commented that the definition of family would seem to be a moot point if it could not be enforced.

City Attorney Knaak replied that in that case, the end of the conversation would be if there was an affidavit saying they are related. He stated that in cases of caring for the elderly there are other state regulations that would come into play. He stated that if there are six or seven unrelated people living together that are not aware of the regulation, that would raise additional questions.

Acting Chairperson Bauer commented that he would think enforcement would fall to the Code Enforcement Officer, who would then investigate complaints.

Planning Manager Larson commented that he has received quite a few complaints of this nature. He stated that when he speaks to the complainant, he explains that this is a serious allegation, and they would need proof that the people are not related. He stated that in one example the caller stated that he was told by the people living in the house are eight unrelated construction workers.

Councilmember Woestehoff stated that it is a fair question as to why family is defined but acknowledged that the term family is used throughout the Zoning Code (single-family, multi-family, etc.). He stated that Saint Paul had a fair debate about this topic in 2020 and reviewed the three options that city considered.

Ms. Johnson commented that people purchased their homes in a legal manner and use and this change would create many nonconformities.

Commissioner Hunt asked if they could use language stating that the home is designed for a single family versus stating that only one family can inhabit that unit. He commented that many things are not used as designed.

City Attorney Knaak used the example of Long Prairie where there has been an issue with large number of legal immigrants coming in and two or three adults are housed in each bedroom which then creates a boarding house. He commented that there are reasons for regulations in terms of density and sanitary services. He commented that in Ramsey it would most likely be traditional families or single people purchasing homes. He acknowledged that it is a difficult topic.

Ms. Johnson commented that Ramsey has not had a limit on the number of unrelated individuals to date and has not had a problem. She commented that the state mandates the number of people that can be in a home based on the available space and number of bathrooms. She found it offensive that a family could be defined as two adults and their three children but not five young professionals saving to purchase homes are not desired in Ramsey.

Commissioner Heineman stated that he understands the intention to limit the number of people in a home but asked if this is enforceable by the City.

City Attorney Knaak replied that it is enforceable but as a practical matter there are some issues that were mentioned in terms of enforcement.

Ms. Johnson commented that she would imagine that a lot of people that would become legal nonconforming were not aware of this proposed change that would impact the ownership of their home.

Acting Chairperson Bauer commented that it would not seem to limit the number of related individuals that can live in a home and asked the number of unrelated individuals that could live in the home with that family.

Planning Manager Larson replied that if there is a married couple with three kids, they could have three unrelated individuals in the home as well. He stated that if there was the described family of five and one of the adults had their sister and her family living in the home, that would still equal one family as they would be all be related and therefore in that scenario, they could still have three unrelated individuals.

Commissioner Van Scoy asked if there is a reason four unrelated people was chosen versus six people.

Planning Manager Larson replied that four is a common number and there have been court decisions that four is the smallest number that could be regulated. He noted that the Commission could choose a larger number.

Motion by Commissioner Peters, seconded by Commissioner Van Scoy, to close the public hearing.

Motion Carried. Voting Yes: Acting Chairperson Bauer, Commissioners Peters, Van Scoy, Anderson, Heineman, and Hunt. Voting No: None. Absent: Chairperson Gengler.

Acting Chairperson Bauer closed the public hearing at 9:18 p.m.

Commission Business

Acting Chairperson Bauer recognized the discussion that arose around the definition of family and number of unrelated individuals, along with the use of EIFS.

Councilmember Heineman stated that he would want to bring the issue of the auto dealerships to the attention of the Council, noting that he would not necessarily recommend a change at this time. He commented that the businesses may be considered an eyesore, but they have existed in Ramsey for many years and invested in those businesses. He stated that the City would essentially slowly be choking out those businesses and if that is the desire the City should have a stronger stance. He commented that it seems misleading to say the businesses are okay right now when over time they will be choked out.

Commissioner Hunt asked the number of businesses that would fall under the category where licenses could be transferred versus those with multiple licenses that would dwindle away.

Senior Planner Anderson commented that he believes that there are at least five that would fall under the category of multiple licenses, noting that one has 20 to 25 licenses under one roof while there are at least two businesses that operate with two licenses.

Commissioner Heineman stated that in the scenario where there are two license holders, he would hate to see a scenario where one person leaves and the other cannot afford the rent on their own and has to shutdown as well. He stated that in his opinion he would prefer to either allow the businesses that are here to stay or to take the strong stance that the City wants them out. He stated that he would be fine allowing those businesses to remain as they currently operate.

Commissioner Van Scoy commented that he does not believe EIFS itself is the issue, but the issue is in design. He believed the appropriate regulation would be design standards.

Commissioner Hunt asked if the limitations on all materials would then be dropped.

Commissioner Van Scoy agreed.

Commissioner Hunt asked if the 70 percent threshold for primary materials would then be dropped as well.

Commissioner Van Scoy noted that would need to come under design standards and they would need to take time to do that in the right way.

Commissioner Anderson commented that he does not have a problem with the material but is concerned with the final appearance. He noted that the Commission was still able to provide input on the design through the sketch plan review for Aldi recently.

Planning Manager Larson replied that Aldi was not a sketch plan and noted that a single building does not require a sketch plan. He stated that a sketch plan comes forward for platting and noted that Aldi came forward in a concept plan review. He stated that staff did not believe that the design standards were met, and Aldi wanted it to go forward to the Commission and Council to gain their input on the design standards. He stated that if a building comes forward and they do not like it, there needs to be a standard to fall back on. He stated that if those thresholds of materials were removed, there would be nothing to fall back on that would prohibit a large, flat wall. He noted that the language proposed by the earlier individual would cause a substantial jump in architectural standards and provided an example of a building that is being constructed currently that would not be allowed. He stated that the language provided by that speaker would be a very, very, very different approach for Ramsey. He stated that the previous direction from the Commission was to keep it simple, which is what they did.

Commissioner Van Scoy stated that if the desire is not to have a large, blank wall that should be done through standards rather than limiting the use of certain material.

Commissioner Heineman used the example that a building were proposed out of birch wood, or completely white siding, and asked how the City would regulate that. He commented that it seems that people do not have an issue with the material but want it to look good.

Planning Manager Larson replied that the current Code is purely based on materials, other than the COR framework that has additional design standards. He stated that they could develop very restrictive standards but that would be vastly different than the City has done in the past.

Commissioner Heineman asked if the other materials have been found to be aesthetically pleasing and EIFS is not.

Planning Manager Larson commented that there are other materials that are restricted to 30 percent.

Commissioner Heineman commented that he would suggest moving forward with EIFS as an allowed material and would not see a distinction.

Councilmember Woestehoff stated that this could be resolved by removing lines 46 and 47 on page 70. He stated that it would not matter if EIFS were included in the 30 percent restricted category as the Council can approve other materials. He noted that wood is listed in the 30 percent restricted category as well, but it could be approved in a larger ratio based on the design. He stated that he believes the City Council will have a robust discussion on the definition of family and how that pertains to the Code. He stated that he would always like a recommendation but noted that the Council will discuss that topic.

Commissioner Van Scoy stated that he does not have an issue with six unrelated people, recognizing that four may be common.

Commissioner Anderson stated that the Council will make a decision on that.

Motion by Commissioner Heineman, seconded by Commissioner Van Scoy, to recommend that City Council approve of an ordinance for the Zoning Code Update, with the addition of adding EIFS as an acceptable building material and asking the Council to review the definition of a family and to review the H-1 Zoning for legal nonconforming auto dealerships along Highway 10.

Motion Carried. Voting Yes: Acting Chairperson Bauer, Commissioners Heineman, Van Scoy, Anderson, Hunt, and Peters. Voting No: None. Absent: Chairperson Gengler.

7. COMMISSION BUSINESS

7.01: Review Remaining 2023 Calendar/Preliminary 2024 Calendar

Presentation

Acting Chairperson Bauer noted the remaining meeting dates for 2023 and the intention to ensure there would not be a quorum present, citing the previous month when there were multiple public hearings scheduled and a quorum was not available. He also asked for input on the meeting dates and times for 2024.

Commissioner Anderson commented that he is fine with the dates and 7 p.m. start time.

Planning Manager Larson asked if the Commission would be open to a 6 p.m. or 6:30 p.m. start time.

Acting Chairperson Bauer noted that an earlier start time may restrict who can serve on the Commission. He suggested staying with the 7 p.m. start time and confirmed the consensus of the Commission that there is not an issue with the remaining meeting dates.

Commissioner Anderson commented that he will most likely not be in person for the November meeting but could attend via Zoom.

Planning Manager Larson commented that if someone is planning to attend remotely, he would want to ensure that staff is properly notified as they would need to post a location.

Commissioner Anderson stated that he would not be opposed to a 6:30 p.m. start time but recognized that some people commute, and that time could be difficult.

Acting Chairperson Bauer commented that he would lean towards keeping the time and date the same as they have been.

8. COMMISSION / STAFF INPUT

Acting Chairperson Bauer recognized that the Commission was unable to meet in June, therefore those items went on to the Council without a recommendation from the Commission and asked for an update on the related Council action.

Planning Manager Larson commented that a deck variance was approved on appeal for lack of decision from the Planning Commission. He stated that BLIP 5, Aldi, an easement vacation, and iDigital requests were all approved.

Councilmember Woestehoff stated that the site plan and preliminary plat for CorTrust Bank were denied.

Planning Manager Larson introduced the new planner to join the team.

Adam Martin introduced himself.

9. ADJOURNMENT

Motion by Commissioner Peters, seconded by Commissioner Anderson, to adjourn the meeting.

Motion Carried. Voting Yes: Acting Chairperson Bauer, Commissioners Peters, Anderson, Heineman, Hunt, and Van Scoy. Voting No: None. Absent: Chairperson Gengler.

The regular meeting of the Planning Commission adjourned at 9:49 p.m.

Respectfully submitted,

Todd Larson
Planning Manager

ATTEST:

Dana Verbeek
Planning Administrative Assistant

Drafted by Amanda Staple
TimeSaver Off Site Secretarial, Inc.

Regular Planning Commission**Meeting Date:** 08/24/2023**Primary Strategic Plan Initiative:** Promote economic growth and development.**Information****Title:**

Jam Hops - Site Plan Review for a commercial indoor recreation facility at 14165 Ramsey Blvd. NW.

Purpose/Background:**Proposed Use**

Jam Hops is proposing to use the site as an indoor commercial recreation facility, which is a permitted use within the E-2 district. The building will have large spaces for gymnastics and dance training. A small theater area will be used for recitals for the dance program. A mezzanine area will have administrative offices for the business.

Jam Hops is an existing business located just across the border in Anoka. That location is soon to be no longer available to this business, so it must relocate. The business owner has been working with the City to identify sites that are near the existing location to remain convenient for existing clients while allowing the business to grow. The applicant is pursuing a 4.14-acre City-owned parcel that will meet the needs of the business. The applicant has been working with the City's Economic Development staff and the EDA for the land sale.

Building Design

The building will be constructed out of concrete precast panels in a design similar to the company's Ham Lake location (photos are attached to this report). The building will also have some large windows and a canopy over the main entrance. The building's orientation will be directed towards Ramsey Boulevard for better business exposure.

Access and Parking

The property currently has a driveway apron out to Ramsey Boulevard. With the upcoming Highway 10 reconstruction project, the bridge over the railroad tracks will result in a loss of access from Ramsey Boulevard to the site. The applicant is working with Anoka County to get the roadway plans to incorporate the grading into the proposed site plan. The roadway plans were not received in time to be incorporated into the Planning Commission's plan set, but should be updated in time for the City Council. No significant changes are expected.

Along the east side of the site is Limonite Street NW. The road is constructed to urban standards from 143rd Avenue to the north down to the north property line of the site. The rest of the roadway is a rural, unpaved roadway without utilities. This project proposes to reconstruct this portion of Limonite Street to urban standards and extend the sanitary sewer and water to where the road bends into 142nd Avenue. Access will then be provided to the site on Limonite Street (with the change in access, staff will re-assign the address).

The southern access will be for staff parking and delivery and trash access only. This parking lot has only 11 spaces. The main parking lot will be accessed through the northern driveway. This driveway will be clearly identified by a monument sign. The main parking lot will have 123 parking spaces. The applicant has provided an explanation of the parking needs attached to this report. Staff believes the amount of parking is appropriate given the applicant's experience at the Ham Lake and the existing Anoka location.

Landscaping

The applicant provided a landscape plan that will be presented to the EBP on August 21. The plan generally meets the landscaping requirements, though staff recommends swapping some of the sugar maples for species that are better suited for boulevard conditions. The final landscape plan may be adjusted slightly due to the Ramsey

Boulevard roadway plans.

Lighting

The applicant has submitted a lighting plan with photometrics. The plan provides at least 1.0 foot-candle of lighting across the parking lot. The proposed light fixtures are all downcast lights that meet City Code requirements.

Utilities

The site will be using municipal utilities that will be extended with the Limonite Street reconstruction.

Grading and Drainage

Storm water management will be handled on-site with a pair of storm water basins on the eastern side of the site. The overflow and roadway runoff will be directed into an existing basin south of 142nd Avenue on another City-owned parcel. The plan will need to be reviewed and approved by the Lower Rum River Watershed Management Organization (LRRWMO).

Along the western side of the property, the parking lot is shown perched up a couple feet above the existing curbline for Ramsey Boulevard. After road construction is complete, Ramsey Boulevard will be elevated over the railroad tracks to the south using retaining walls and will eventually meet existing roadway grade near 143rd Avenue. The proposed plans do not show how the edge of the parking lot will be tied into those proposed grades. It is recommended that those plans be updated by the time of building permit.

Notification:

Direct mailings were sent to property owners within 350 feet of the site. A "proposed development" sign was placed on the property.

Time Frame/Observations/Alternatives:

Alternatives to consider:

1. Recommend approval of the site plan as presented with modifications made to the grading and landscape plan prior to the City Council meeting.
2. Recommend approval of the site with modifications that the Planning Commission sees as appropriate.
3. Recommend denial of the site plan with specific findings.

Funding Source:

All costs associated with the application are the responsibility of the applicant. There will be some cost share on the reconstruction of Limonite Street that will be determined by the City Council.

Recommendation:

Staff recommends approval of the Site Plan, contingent upon compliance with Staff's review comments.

Outcome/Action:

Recommended Motion:

Motion to recommend approval of Resolution #23-175 for a commercial indoor recreation facility at 14700 Limonite St. NW.

Attachments

- Location Map
- Project Narrative
- Parking Justification

Resolution #23-175

Plans

Unresolved ProjectDox Changemarks

Form Review

Inbox

Chris Anderson

Brian Hagen

Form Started By: Todd Larson

Final Approval Date: 08/18/2023

Reviewed By

Chris Anderson

Brian Hagen

Date

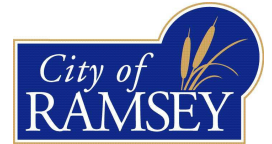
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08/18/2023 10:48 AM

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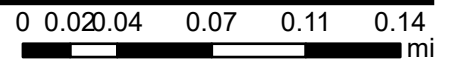
27-32-25-33-0006
14165 Ramsey Blvd NW

Jam Hops



LOGIS, Three Rivers Park District, Esri, HERE, Garmin, INCREMENT P, NGA, USGS

Print Date: August 4, 2023



Jam Hops Narrative

Starting at the beginning:

In 1997 Jam Hops (Spring Lake Park) merged with The Gymnastics Factory (Ham Lake) to combine forces in the Ham Lake area. Jam Hops Gymnastics Factory, Inc. offered gymnastics classes and had a young competitive gymnastics team. In 2002 a new, larger 15,000sf building was built and along with gymnastics, we began offering recreational and competitive dance. Over the next few years we added cheerleading, and an academic preschool called Leap-n-Learn. In addition to regular classes we also offer birthday parties, day camp, open gym, skill clinics, movies night, and other activities.

By 2017 we had added our Ninja and theater programs and we were operating out of 3 locations because we kept running out of space. So, in the fall of 2017 we opened a new 43,000sf complex to house all of our varied programming. We are now adding an additional 13,000sf expansion to that location, because once again we are out of space.

Shortly after moving into our new Ham Lake building, I was approached to buy out another gymnastics company on the Anoka Ramsey border and I took that over in June of 2019. We also moved our theater program from Ham Lake to this new location. At the time, the program had dwindled down to about 50 kids, but we now have well over 350 children coming every week as well as opening up more opportunities by offering the same types of activities as the Ham Lake location.

We recently found out that the Anoka/Ramsey space we are renting will be sold and we need to vacate by next summer (2024). So, we began the process of finding land in the Ramsey area to build a new larger building to house our expanding needs.

What are we requesting:

I am requesting approval to operate our gymnastics and theater programs, all of our activities, and add a Ninja program to our new Ramsey location. Since we continue to grow, we know we will need more space than the 16,000sf we currently have. We will also continue to be the home for at least one local high school gymnastics team during the months of November – February. We will have the option of hosting 2-3 high school gymnastics meets which will have approximately 80-100 in attendance.

The City of Ramsey has been gracious in allowing us to purchase a piece of property off of Ramsey Blvd, and I believe the size and location will serve us well! Our plan is to build an approximately 27,500sf building by the summer of 2024 with a future expansion plan to add up to 10,000sf. as needed. We are in the process of completing the survey, Phase 1, building plans, appraisal and loan process.

We're very excited about moving into Ramsey and thank you very much for your consideration!

Jam Hops Parking Justification

In our building plan we are including approximately 110-120 parking stalls.

Our busiest time is during the school year, M-F from approximately 4:30pm-9:00pm. However, we are open year-round, potentially from 9:00am-9:00pm every day of the week.

Generally speaking, the flow of our parking lot is that most of the recreational kids/parents come for a 1 hour class and then leave again. Then we have competitive and theater kids that are dropped off and later picked up for a 2-4 hour practice. In the evening, we have approximately 4-6 groups of 6-8 kids in the gym at any one time.

We have approximately 10 staff members on any given evening.

Special Events

We will on occasion host events. These are:

Theater performances – These are held Saturdays and Sundays and not during our regular class times. There are usually approximately 20 children in a performance (dropped off and picked up), 5 workers, and up to 70 spectators.

Gymnastics Meets - These are held on Saturday evenings, outside of regular class times. There are usually about 40 athletes/coaches/judges involved in the meets, and approximately 60 spectators.

Gymnastics Spring Shows – This is held over one weekend in May. There are many 1-hour sessions with approximately 30 kids, 50 spectators, and 8 staff members at each session. The sessions are spaced out so traffic and people don't overlap.

Past History

We have had quite a bit of experience with parking needs in our various buildings and stages of growth. For instance, our current Ham Lake building is 43,000sf and approximately 200 parking stalls. This has been quite adequate for our needs, and with the 13,000sf expansion we'll be adding about 20 more stalls. The current Anoka location is 16,000sf and has about 50 stalls. I always have to take into consideration which types of programs we are running and how much growth I anticipate when deciding on our parking needs. I feel that the plan we have come up with will meet our needs now and moving forward.

Councilmember _____ introduced the following resolution and moved for its adoption:

RESOLUTION #23-175

A RESOLUTION APPROVING SITE PLAN FOR COMMERCIAL INDOOR RECREATION FACILITY AT 14200 LIMONITE STREET NORTHWEST

RECITALS

1. Jam Hops, hereinafter referred to as the “**Permittee**” has properly applied for a Site Plan for an indoor gymnastics and dance training facility on the property legally described as follows:

All that part of the West 31 rods of the Southwest quarter of the Southwest quarter of Section 27, Township 32, Range 25, described as follows: commencing at a point on the West line thereof a distance of 335.51 feet South from the Northwest corner thereof as measured along said West line, then South along said West line a distance of 335.51 feet more or less to its intersection with the Northerly right-of-way line of Northern Pacific Railway, then Southeasterly along said Northerly right-of-way line to its intersection with the East line of said West 31 rods, then North along said East line thereof a distance of 448.92 feet more or less to a point on the said East line thereof a distance of 448.92 feet South from the Northeast corner of said West 31 rods as measured along said East line thereof, then Northwesterly in a straight line to the point of beginning, except road; subject to easements of record; Anoka county, Minnesota.

(“Subject Property”)

2. That the **Subject Property** is zoned E-2 Employment District, which is a business park zoning designation and guided as such in the 2040 Comprehensive Plan.
3. That the City Code allows this type of permitted use in the E-2 Employment District.
4. That the **Permittee** appeared before the Planning Commission for review on August 22, 2023, that said public hearing was properly advertised and that the minutes of said public hearing are hereby incorporated by reference.
5. That the Planning Commission reviewed and recommended [REDACTED] of the request.
6. That the City Council reviewed the request at a regular meeting on September 12, 2023.

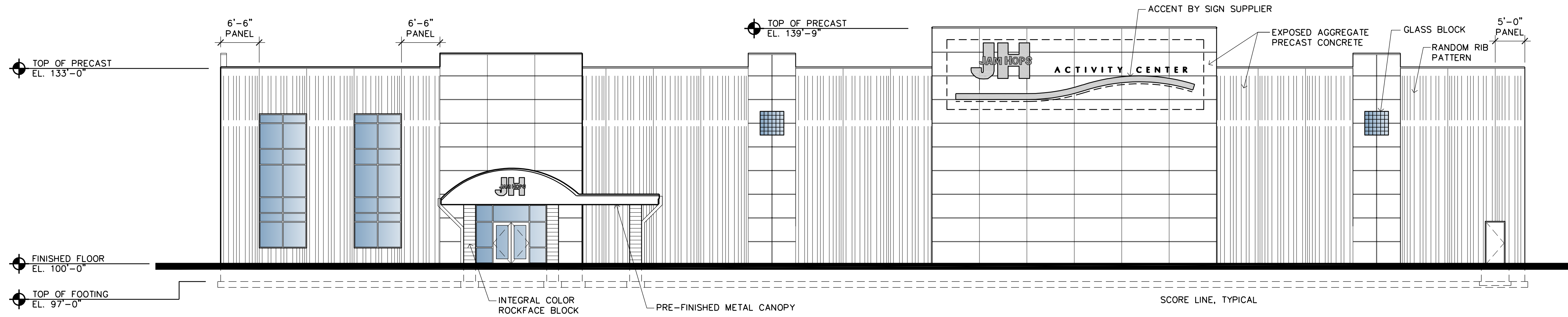
NOW THEREFORE, BE IT RESOLVED BY THIS CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:

That the Ramsey City Council hereby grants approval of the Site Plan for an commercial indoor recreation facility on the **Subject Property** contingent upon the following conditions:

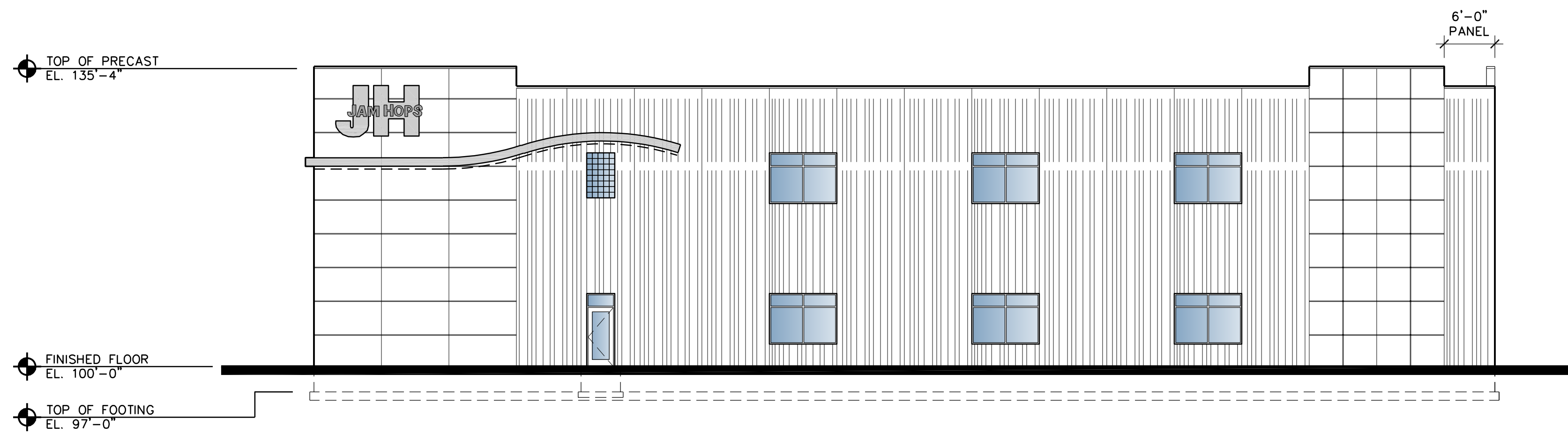
CONDITIONS

1. That the Applicant enter into a Development Agreement with the City as prescribed by City Code pertaining to development fees and financial guarantees.

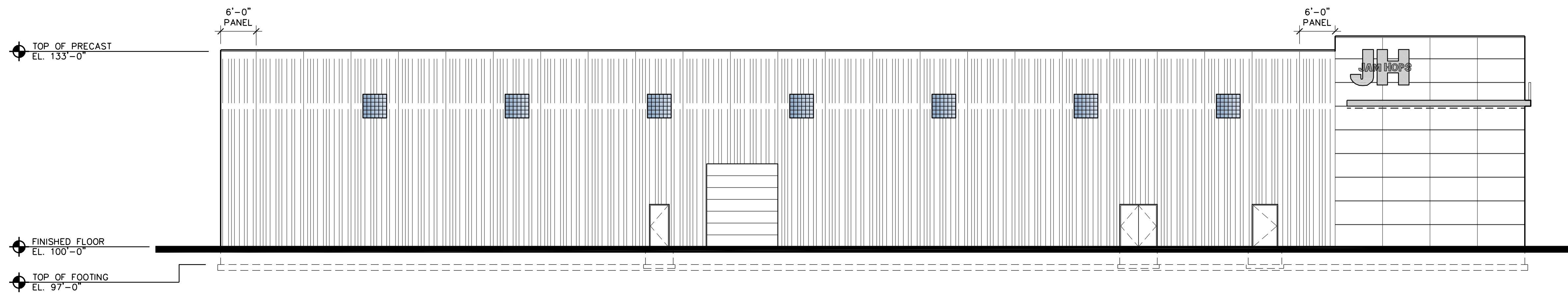
2. Final legal form approved by the City Attorney.
3. Modifications to the landscape and grading plans prior to building permit.
4. That separate building permit and sign permits are required.
5. That the Permittee shall be responsible for all City costs incurred in administering and enforcing this Permit.
6. That this Permit shall automatically expire if the use is not initiated by September 12, 2024, or a valid building permit has been issued.
7. That the Lower Rum River Watershed Management Organization shall review the proposed site plan and all conditions therein shall be met, including a storm water maintenance agreement.
8. That development of any future buildings on the site or expansion of the parking lot shall require a new Land Use Application.



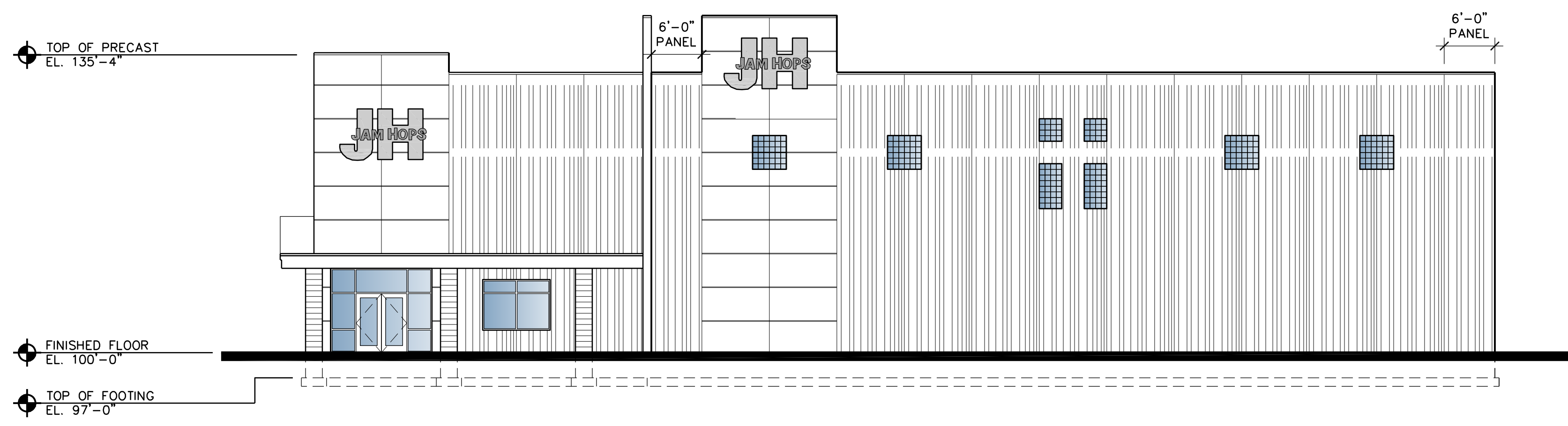
1 WEST ELEVATION
SCALE: 3/32" = 1'-0"



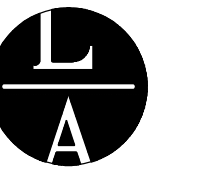
2 NORTH ELEVATION
SCALE: 3/32" = 1'-0"



3 EAST ELEVATION
SCALE: 3/32" = 1'-0"



4 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



LAMPERT
ARCHITECTS

420 Summit Avenue
St. Paul, MN 55102
Phone: 763.755.1211 Fax: 763.757.2849
lampert@lampert-arch.com

ARCHITECT CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN,
SPECIFICATION OR REPORT WAS
PREPARED BY ME OR UNDER MY DIRECT
SUPERVISION AND THAT I AM A DULY
LICENSED ARCHITECT UNDER THE
LAWS OF THE STATE OF MINNESOTA.

PRELIMINARY
NOT FOR
CONSTRUCTION

Kinghorn
COMPANY

GENERAL CONTRACTORS
21830 Industrial Court
Rogers, MN 55374
Tel: 763-428-8088
Fax: 763-428-8090

JAM HOPS
Ramsey, Minnesota

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Leonard Lampert Architects Inc.

Project Designer: L. SCHMIDT

Drawn By:

Checked By: LL

Revisions

7/18/23 PRELIMINARY

8/1/23 PRELIMINARY

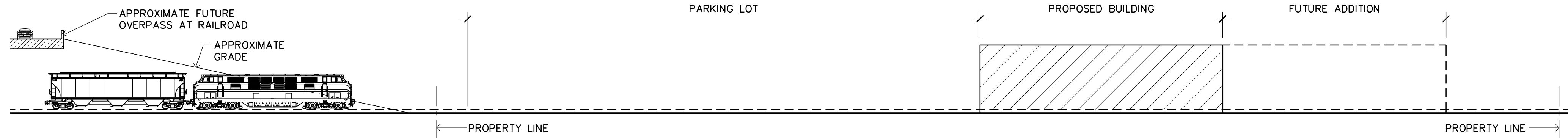
8/3/23 CITY COMMENTS

BUILDING
ELEVATIONS

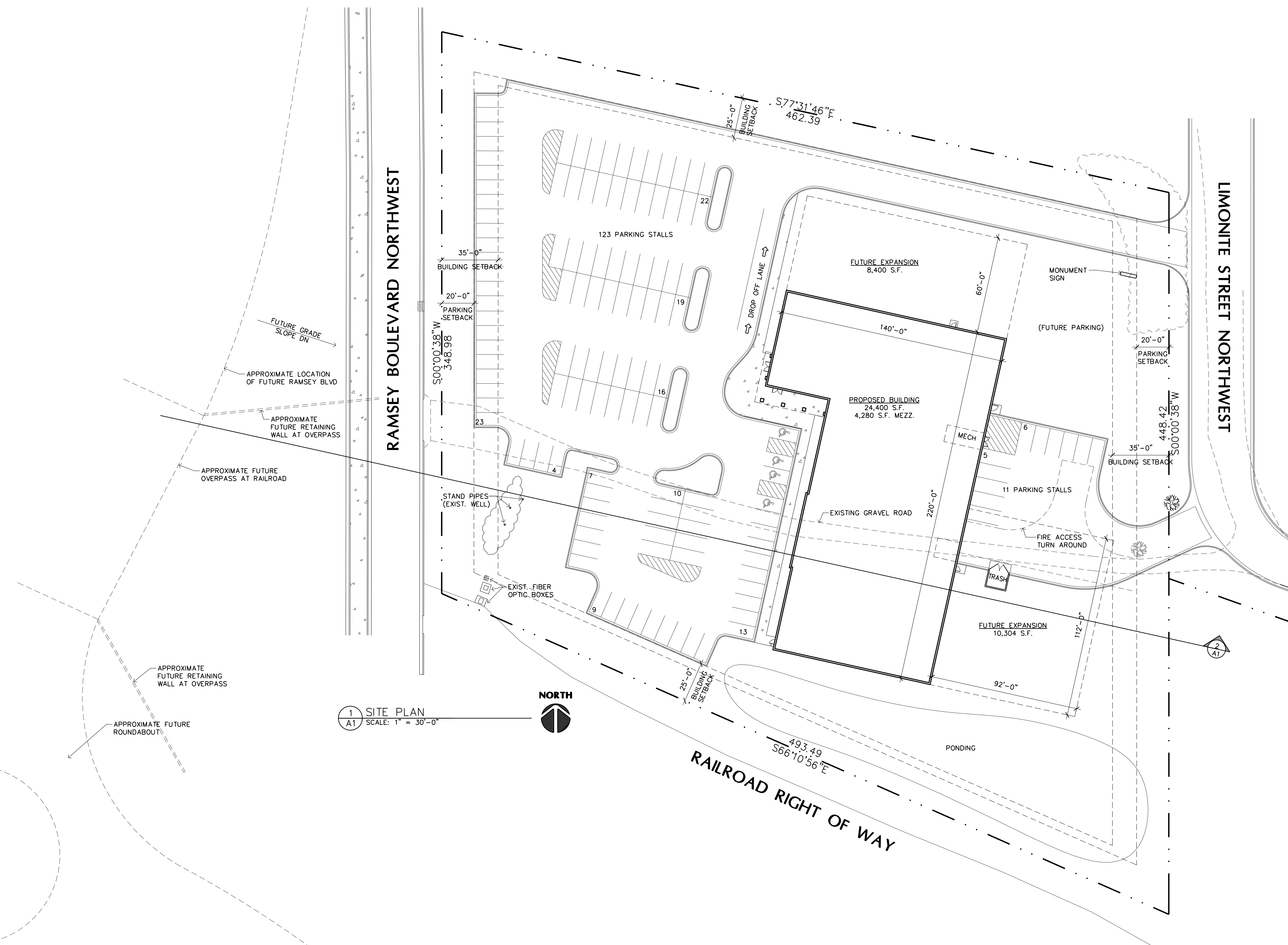
Sheet Number

A3

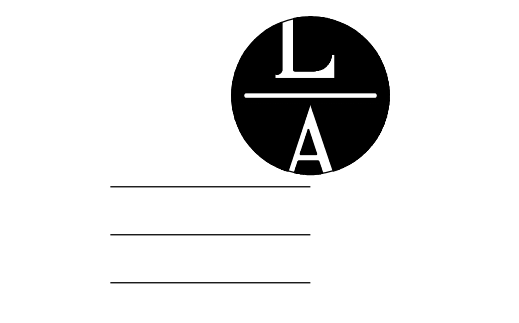
Project No. 23051-4



2 SECTION AT FUTURE RAMSEY BLVD
SCALE: 1" = 30'-0"



1 SITE PLAN
SCALE: 1" = 30'-0"



LAMPERT ARCHITECTS
420 Summit Avenue
St. Paul, MN 55102
Phone: 763.755.1211 Fax: 763.757.2849
lampert@lampert-arch.com

ARCHITECT CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRELIMINARY NOT FOR CONSTRUCTION
LEONARD LAMPERT
PRINT: 13669
LIC: 0000000000

Kinghorn COMPANY
GENERAL CONTRACTORS
21830 Industrial Court
Rogers, MN 55374
Tel: 763-428-8088
Fax: 763-428-8090

JAM HOPS
Ramsey, Minnesota

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Leonard Lampert Architects Inc.
Project Designer: L. SCHMIDT
Drawn By:
Checked By: LL
Revisions

| | |
|---------|---------------|
| 6/15/23 | PRELIMINARY |
| 6/26/23 | PRELIMINARY |
| 6/29/23 | PRELIMINARY |
| 7/5/23 | PRELIMINARY |
| 8/1/23 | PRELIMINARY |
| 8/3/23 | CITY COMMENTS |

SITE PLAN
Sheet Number

A1
Project No.

JAM HOPS

SITE DEVELOPMENT PLANS FOR KINGHORN CONSTRUCTION IN THE CITY OF RAMSEY

GOVERNING SPECIFICATIONS

THE 2020 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" AND THE "SUPPLEMENTAL SPECIFICATIONS" DATED SEPTEMBER 2022 SHALL GOVERN FOR STORM SEWER AND PARKING LOT WORK.

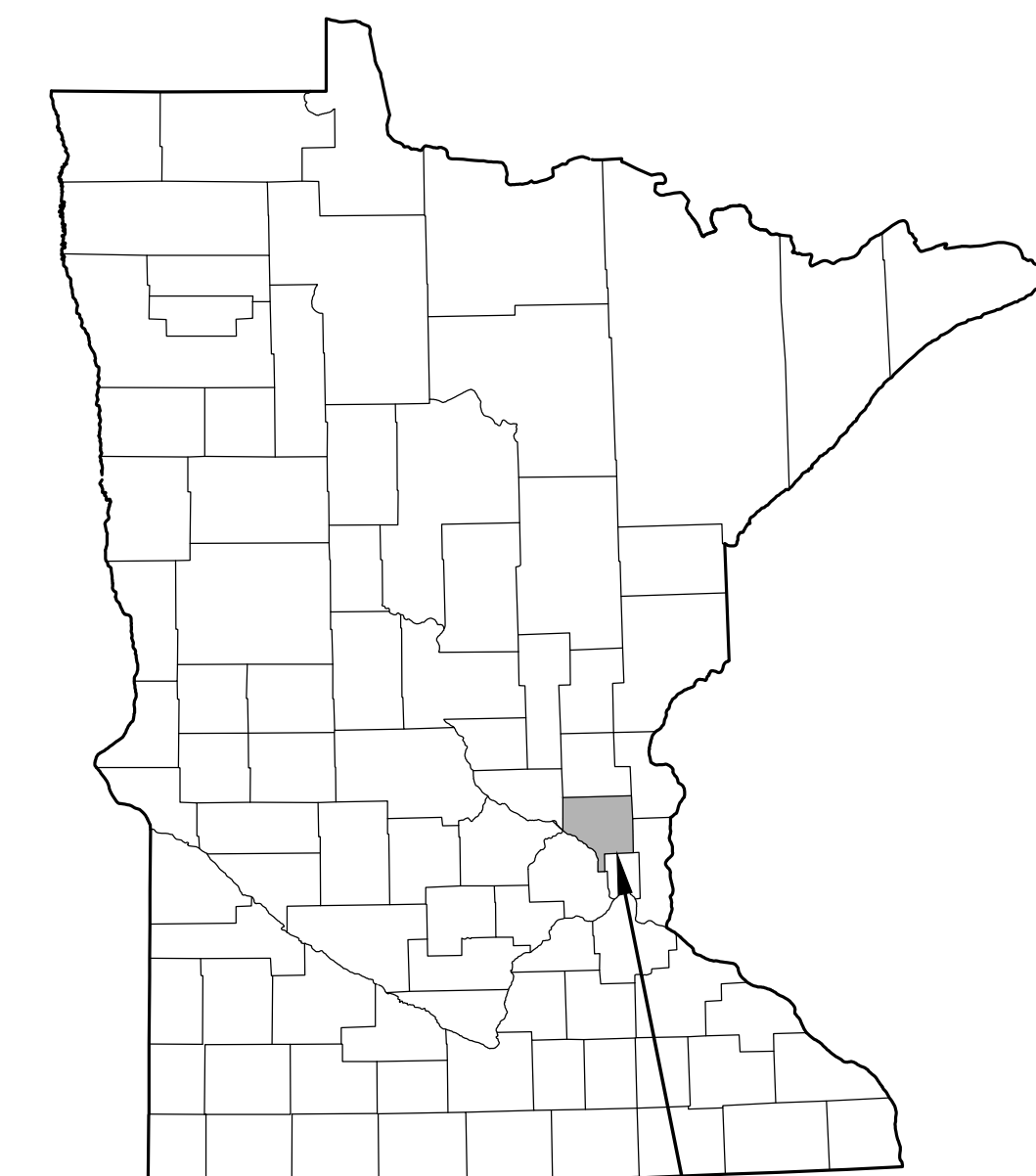
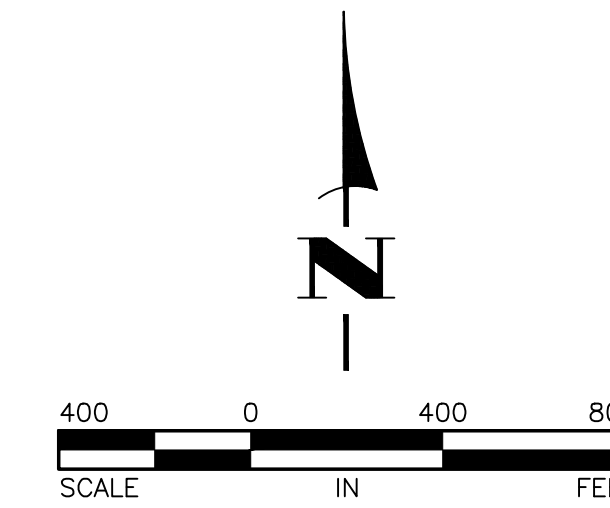
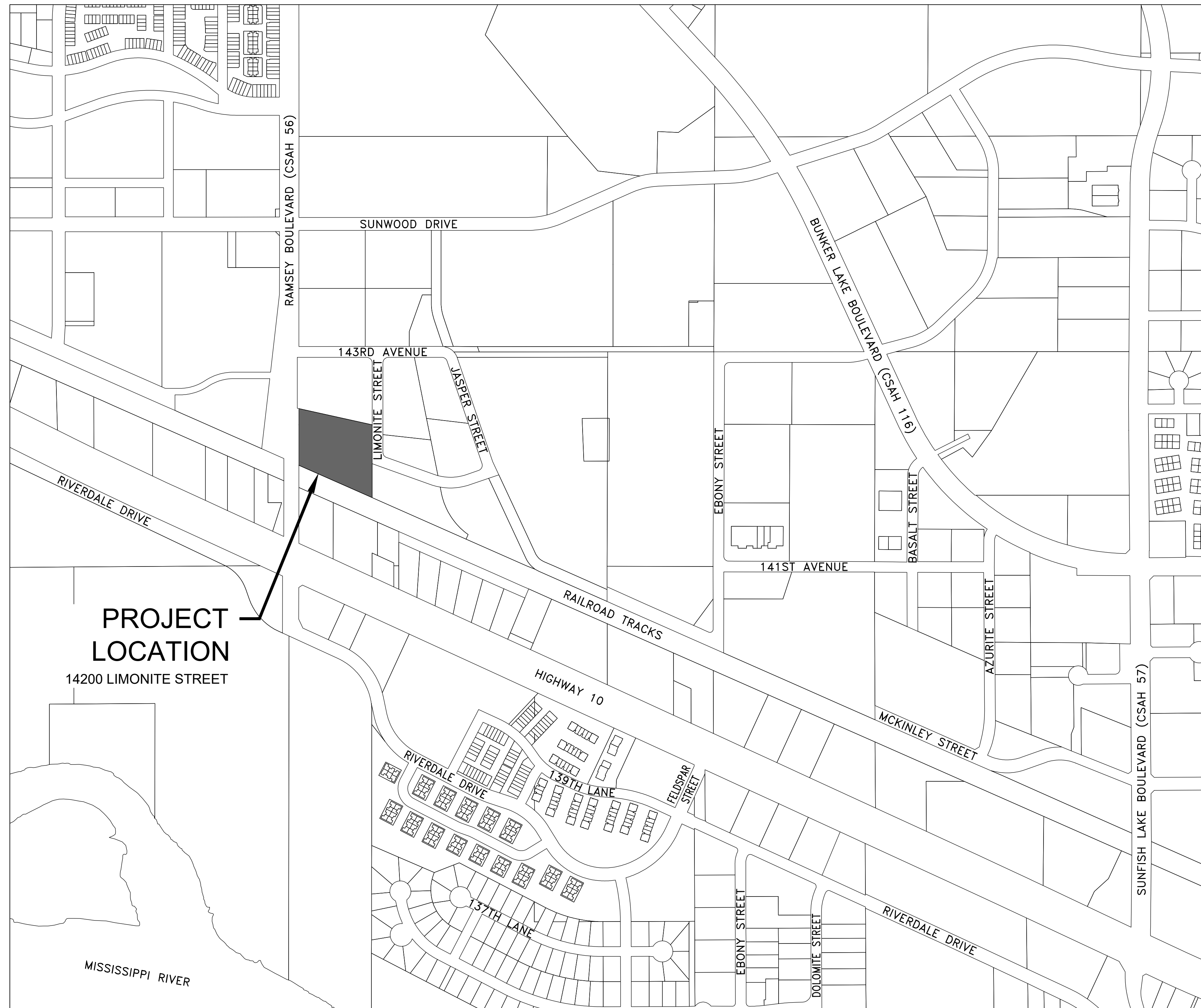
THE 2023 EDITION OF THE CITY ENGINEER'S ASSOCIATION OF MINNESOTA "STANDARD SPECIFICATIONS" SHALL GOVERN FOR SANITARY SEWER AND WATERMAIN WORK.

ALL FEDERAL, STATE AND LOCAL LAWS, REGULATIONS, AND ORDINANCES SHALL BE COMPLIED WITH IN THE CONSTRUCTION OF THIS PROJECT.

ALL TRAFFIC CONTROL DEVICES AND SIGNING SHALL CONFORM TO THE LATEST EDITION OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, INCLUDING THE LATEST FIELD MANUAL FOR TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS.

SHEET INDEX THIS PLAN CONTAINS 15 SHEETS

| SHEET NO. | DESCRIPTION |
|-----------|---|
| C1 | TITLE SHEET |
| C2 | CONSTRUCTION NOTES AND DETAILS |
| C3-C6 | DETAILS |
| C7 | EXISTING TOPOGRAPHY AND REMOVALS PLAN |
| C8 | GRADING, DRAINAGE AND SEDIMENT CONTROL PLAN |
| C9 | UTILITY PLAN |
| C10 | RESTORATION AND PAVING PLAN |
| C11 | SANITARY SEWER AND WATERMAIN CONSTRUCTION PLAN-LIMONITE STREET |
| C12 | STREET AND STORM SEWER CONSTRUCTION PLAN-LIMONITE STREET AND 142ND AVENUE |
| L1 | LANDSCAPE PLAN |
| X1 | CROSS SECTIONS-LIMONITE STREET |
| X2 | CROSS SECTIONS-LIMONITE STREET AND 142ND AVENUE |



CITY OF RAMSEY,
ANOKA COUNTY,
MINNESOTA

PROJECT LOCATION
14200 LIMONITE STREET



Civil Engineers and Land Surveyors
3601 Thurston Ave., Anoka, Minnesota 55303
763-427-5860 FAX 763-427-0520

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

BENCHMARK:
1. NORTH SIDE OF HIGHWAY 10, 80 FEET EAST OF RAMSEY BOULEVERD (CSAH 56), ONE FOOT SOUTH OF A WITNESS POST.
ELEVATION=865.02

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Tim Eggerichs
TIMOTHY A. EGGERICHS, P.E.
HAKANSON ANDERSON
DESIGN ENGINEER

43362 DATE 7/17/23
LIC. NO.

| DATE | REVISION |
|--------|--------------------------------|
| 8/8/23 | PLAN REVISIONS PER CITY REVIEW |
| | |
| | |

SHEET C1 OF C12 SHEETS

GENERAL CONSTRUCTION AND SOILS NOTES:

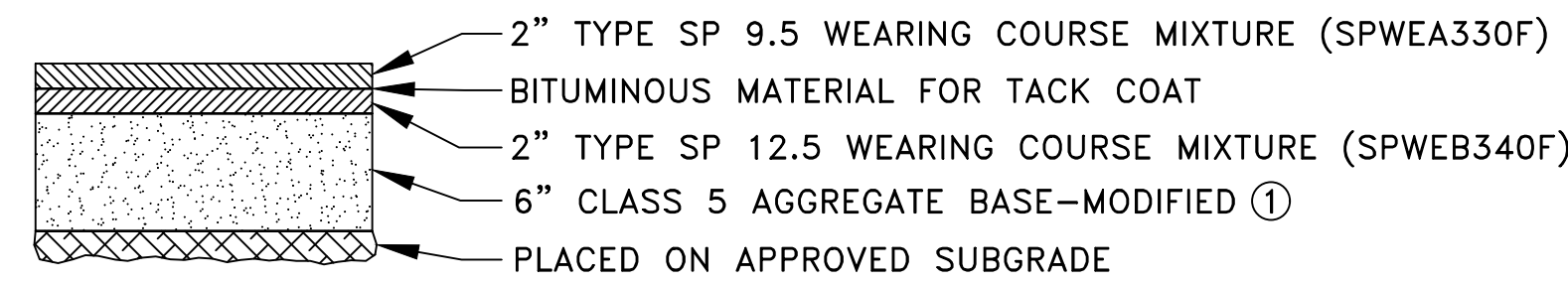
- STRIP ALL INPLACE TOPSOIL IN AREAS TO BE DISTURBED BY CONSTRUCTION AND REUSE AS SLOPE DRESSING. IN AREAS OF PARKING LOT AND BUILDING CONSTRUCTION, THE EXPOSED SAND SHALL BE SURFACE COMPACTED TO AT LEAST 100% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY, ASTM D698, IN AT LEAST THE UPPER 3 FEET.
- UNLESS OTHERWISE RECOMMENDED IN THESE PLANS, THE GRADING SUBGRADE SHALL BE CONSTRUCTED OF SUITABLE GRADING MATERIAL. THE FILL SHALL BE PLACED IN 8" TO 10" LOOSE LIFTS, AND COMPACTED TO 100% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY.
- SUITABLE GRADING MATERIAL FOR THIS PROJECT SHALL CONSIST OF ALL SOILS ENCOUNTERED WITH THE EXCEPTION OF TOPSOIL, SILT, DEBRIS, ORGANIC MATERIAL AND OTHER UNSTABLE MATERIAL.
- CONTRACTOR SHALL REVIEW THE GEOTECHNICAL MEMORANDUM, PREPARED BY HAUGO GEOTECHNICAL SERVICES AND DATED JANUARY 15, 2016, FOR SITE SOIL INFORMATION.
- PROVIDE A SAW CUT WHEN PLACING NEW PAVEMENT ADJACENT TO INPLACE PAVEMENT AND AT TERMINI OF CONSTRUCTION TO ENSURE A UNIFORM JOINT.
- BITUMINOUS AND CONCRETE ITEMS DISTURBED BY CONSTRUCTION SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF IN ACCORDANCE WITH MN/DOT SPEC. 2104.
- USE TACK COAT BETWEEN ALL BITUMINOUS MIXTURES. THE BITUMINOUS TACK COAT MATERIAL SHALL BE APPLIED AT A UNIFORM RATE OF 0.04 GAL/SY TO 0.06 GAL/SY BETWEEN BITUMINOUS LAYERS. THE APPLICATION RATES ARE FOR UNDILUTED EMULSIONS.
- THE BITUMINOUS MIXTURES SHALL MEET THE REQUIREMENTS OF SPECIFICATIONS 2360 AND 3139.

GENERAL EROSION CONTROL NOTES:

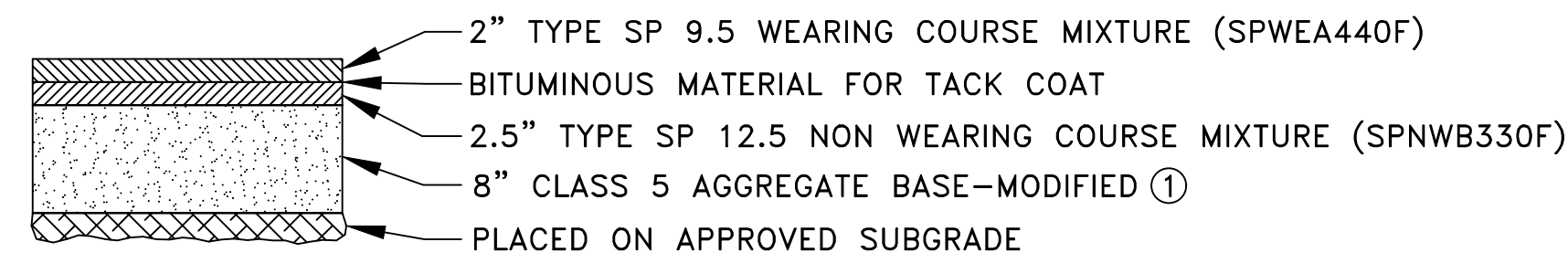
- EROSION CONTROL SHALL CONFORM TO THE MN/DOT EROSION CONTROL HANDBOOK.
- PRIOR TO ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL ACQUIRE THE MPCA NPDES CONSTRUCTION STORMWATER GENERAL PERMIT. A COPY OF THE PERMIT SHALL BE SUBMITTED TO THE CITY PRIOR TO THE PRECONSTRUCTION MEETING.
- THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENT CONTROL FACILITIES (BMP'S) PRIOR TO GRADING AND REMOVAL ACTIVITIES. BMP'S SHALL BE MAINTAINED FOR THE DURATION OF CONSTRUCTION ACTIVITIES AND POTENTIAL FOR EROSION HAS PASSED.
- THE CONTRACTOR SHALL SCHEDULE HIS OPERATION TO MINIMIZE THE AMOUNT OF DISTURBED AREA AT ANY GIVEN TIME.
- BMP'S SHALL BE INSPECTED DAILY BY THE CONTRACTOR. OBSERVATIONS SHALL BE RECORDED IN AN INSPECTION LOG. WEEKLY INSPECTION LOGS AND INSPECTION LOGS AFTER EVERY 1/2" RAIN EVENT SHALL BE SUBMITTED TO THE CITY INSPECTOR.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PROPERLY DISPOSED OF WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION.
- THE CONTRACTOR SHALL FILE A NOTICE OF TERMINATION WITH THE MPCA AFTER FINAL STABILIZATION HAS BEEN APPROVED. THE CITY SHALL REVIEW AND APPROVE THE NOTICE OF TERMINATION PRIOR TO SUBMITTAL TO THE MPCA.

REFERENCE NOTES:

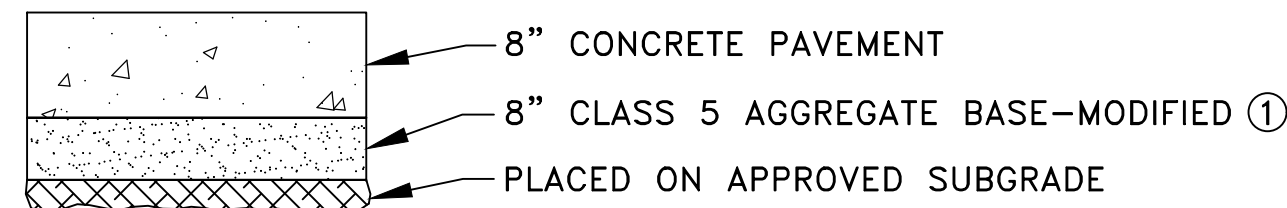
- SEE CITY PLATE NO. STR-26 FOR MODIFIED CLASS 5 AGGREGATE BASE SPECIFICATIONS.
- CONTRACTOR SHALL PROTECT THE INFILTRATION BASIN WITH 48" HIGH ORANGE SAFETY FENCE PRIOR TO THE START OF CONSTRUCTION.
- CONSTRUCTION EQUIPMENT SHALL BE MINIMIZED OVER THE FOOTPRINT OF THE BASIN. ONLY LOW PRESSURE, WIDE TRACKED EQUIPMENT SHALL BE USED FOR CONSTRUCTION.
- INFILTRATION BASINS SHALL NOT BE GRADED TO WITHIN THREE FEET OF THE FINAL GRADE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN CONSTRUCTED AND FULLY STABILIZED OR RIGOROUS EROSION PREVENTION AND SEDIMENT CONTROLS TO KEEP SEDIMENT AND RUNOFF COMPLETELY AWAY FROM THE INFILTRATION AREAS HAVE BEEN PROVIDED.
- THE INFILTRATION RATE FOR THE SOILS IN THE BOTTOM OF THE INFILTRATION BASIN SHALL BE BETWEEN 0.5 AND 8.3 INCHES PER HOUR. THE CONTRACTOR MAY HAVE TO AMEND THE SOILS TO MEET THIS REQUIREMENT.
- TAPER WIDTH FROM 20' TO 15.4' FROM STA 6+51.31 TO STA 7+36.61. FROM STA 7+36.61 TO STA 7+56.48, THE WIDTH WILL BE 15.4'.
- TAPER WIDTH FROM 21' TO 15.3' FROM STA 6+47.41 TO STA 7+33.55. FROM STA 7+33.55 TO STA 7+56.48, THE WIDTH WILL BE 15.3'.
- 3' WIDE FROM STA 4+36 TO STA 5+10, 8' WIDE FROM STA 5+10 TO STA 6+80 AND 5' WIDE FROM STA 6+80 TO STA 7+56.



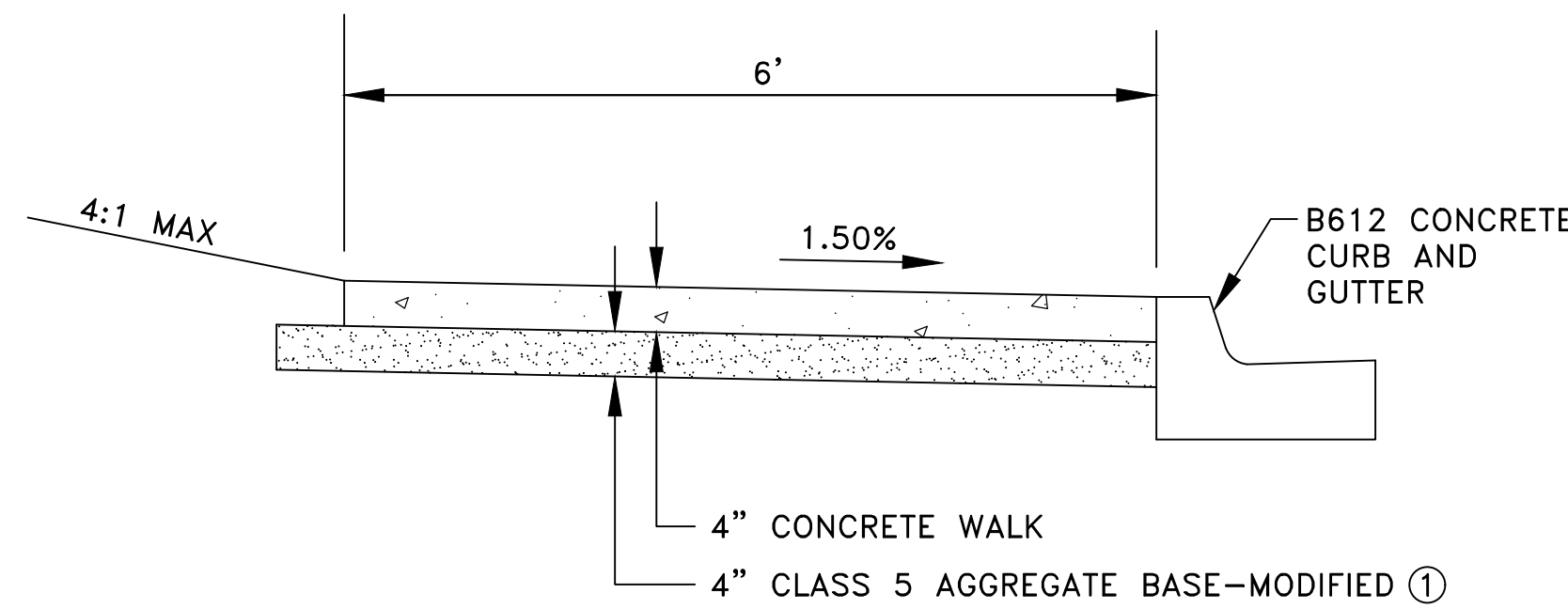
1 LIGHT DUTY BITUMINOUS PAVEMENT SECTION
NO SCALE



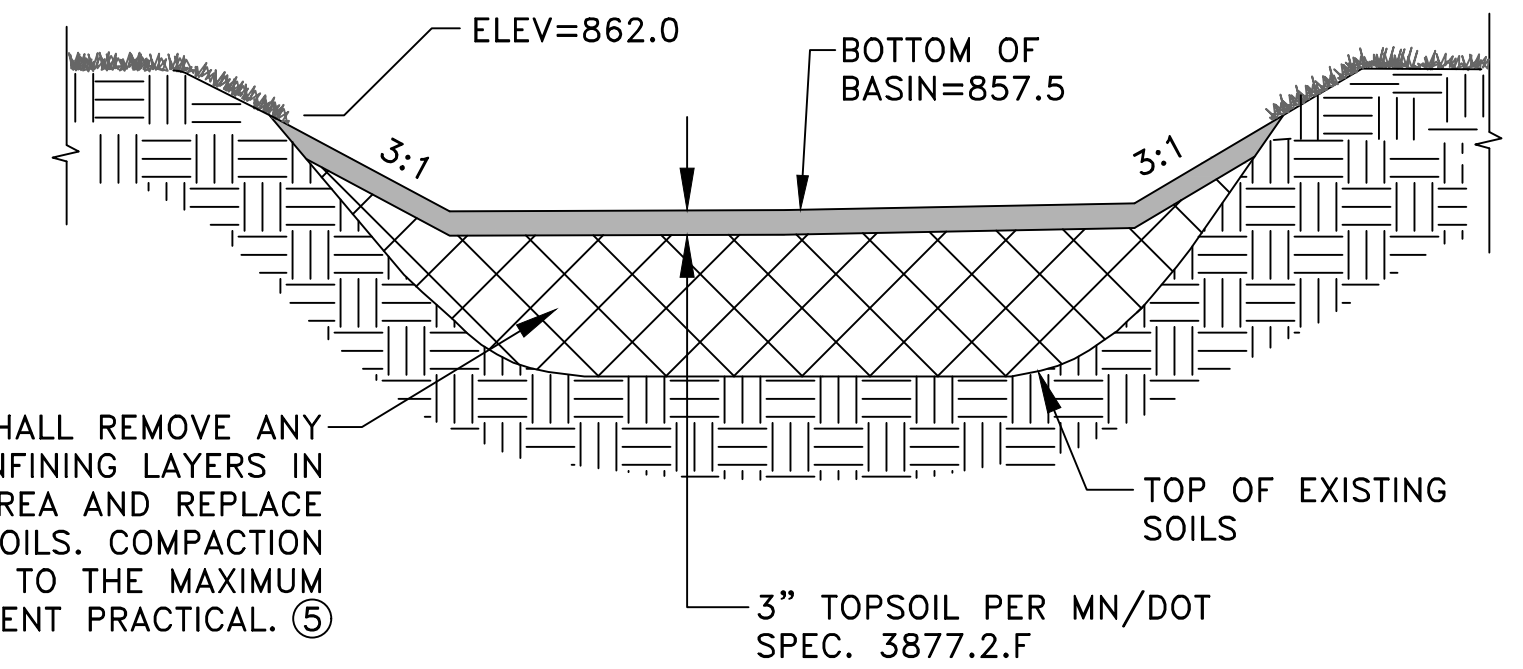
2 HEAVY DUTY BITUMINOUS PAVEMENT SECTION
NO SCALE



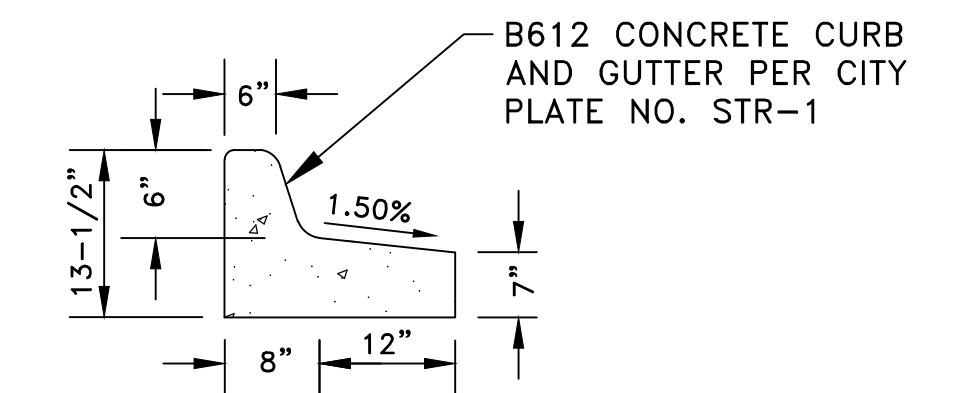
3 CONCRETE PAVEMENT SECTION
NO SCALE



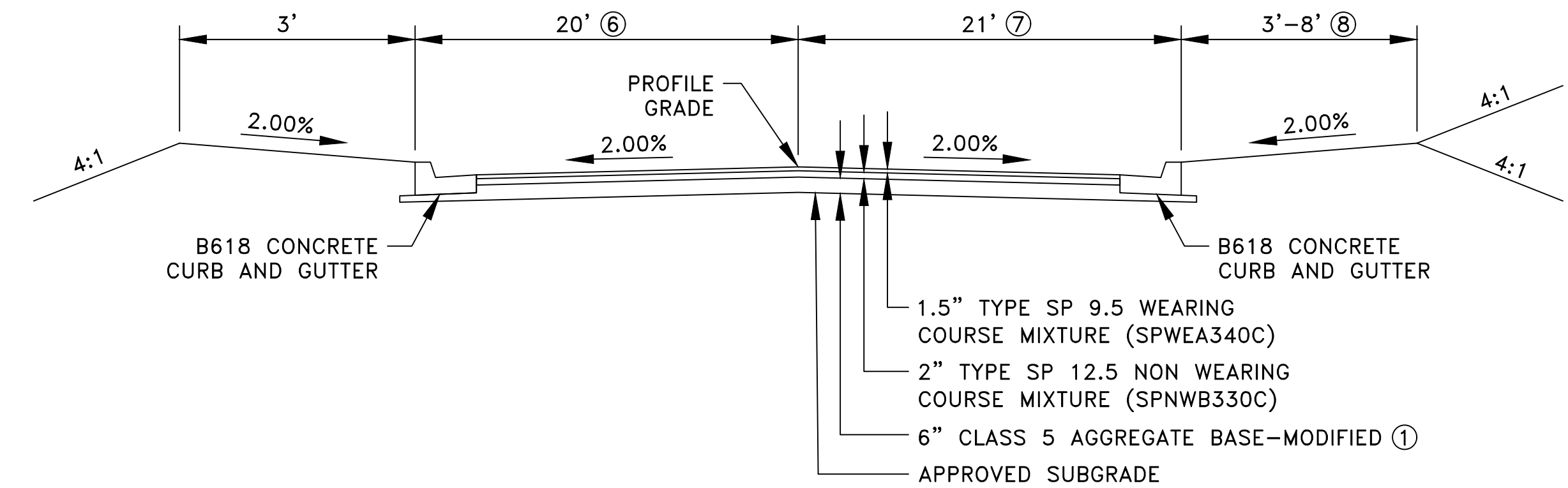
4 CONCRETE SIDEWALK
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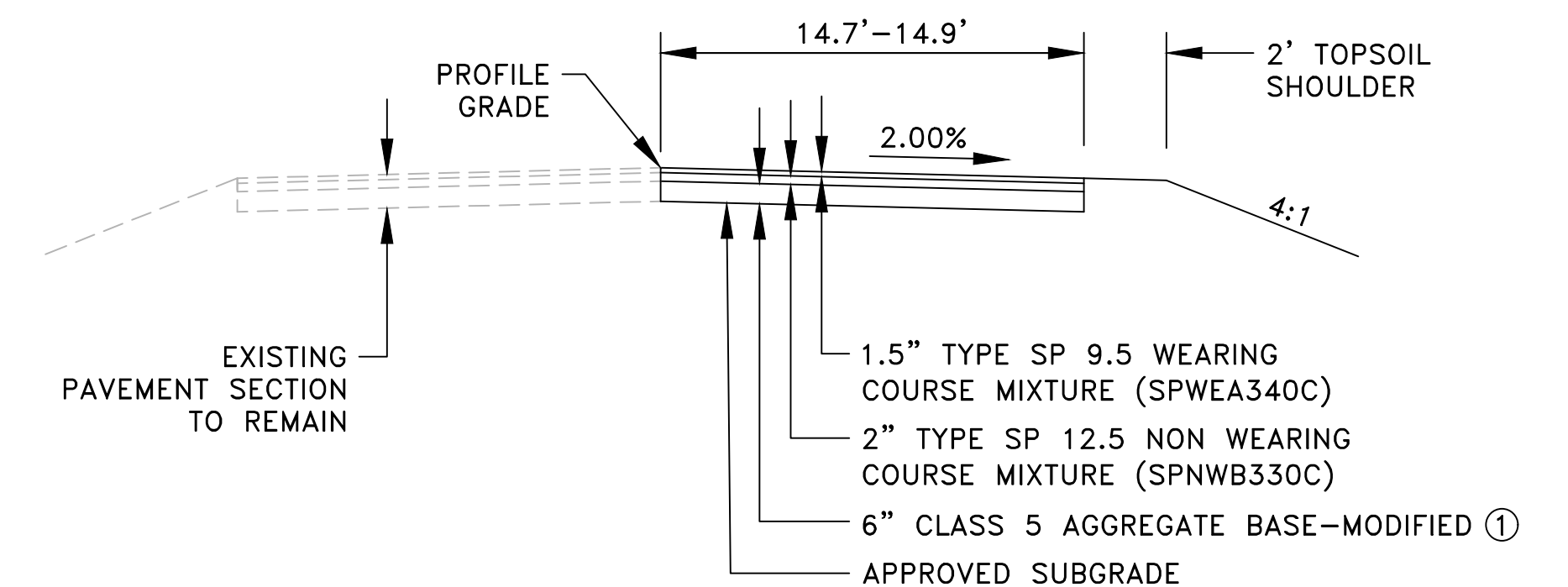
5 INFILTRATION BASIN (2)(3)(4)
NO SCALE



6 TIPOUT CURB DETAIL
NO SCALE



7 LIMONITE STREET SECTION
NO SCALE



8 142ND AVENUE SECTION
NO SCALE



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Timothy A. Eggen
TIMOTHY A. EGGEN, P.E.
Date 7/17/23 Lic. No. 43362

DESIGNED BY: TAE
DRAWN BY: TAE
CHECKED BY: CJJ



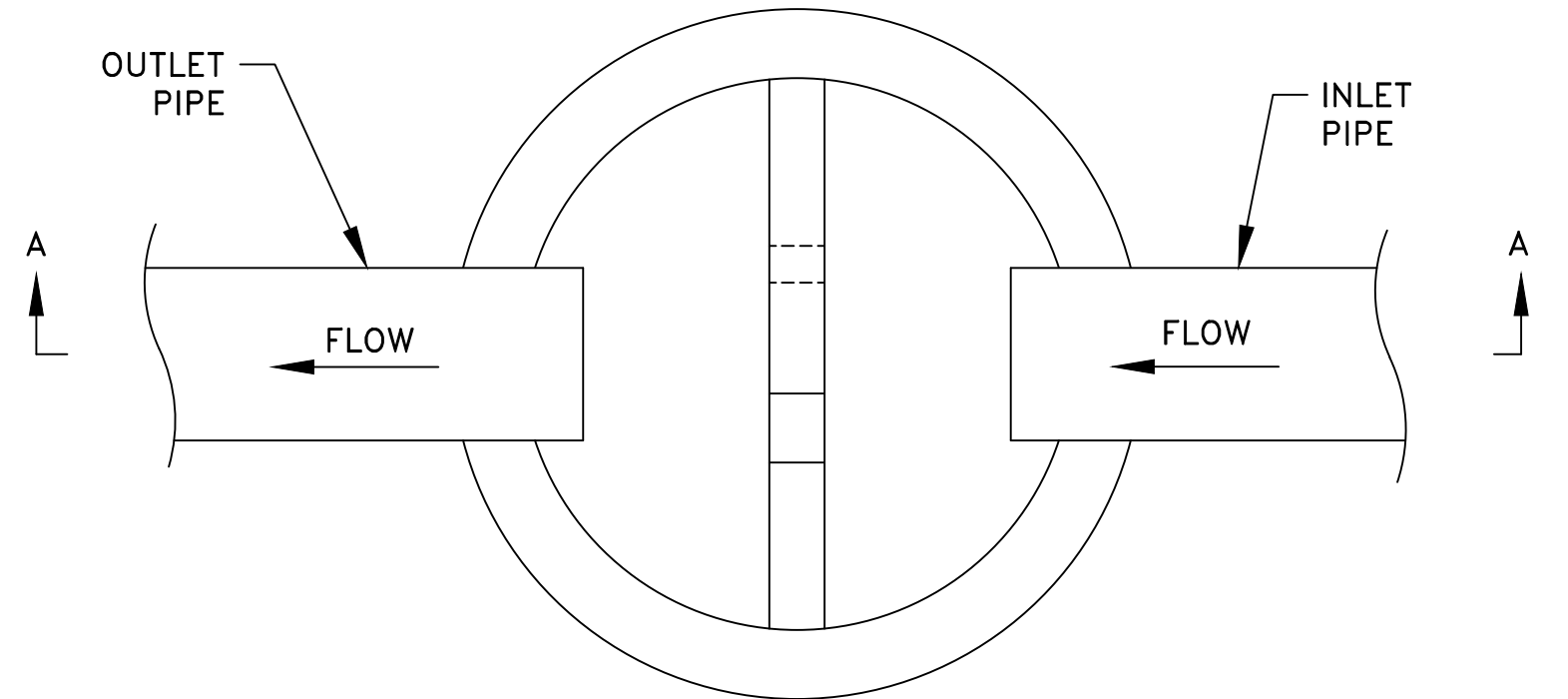
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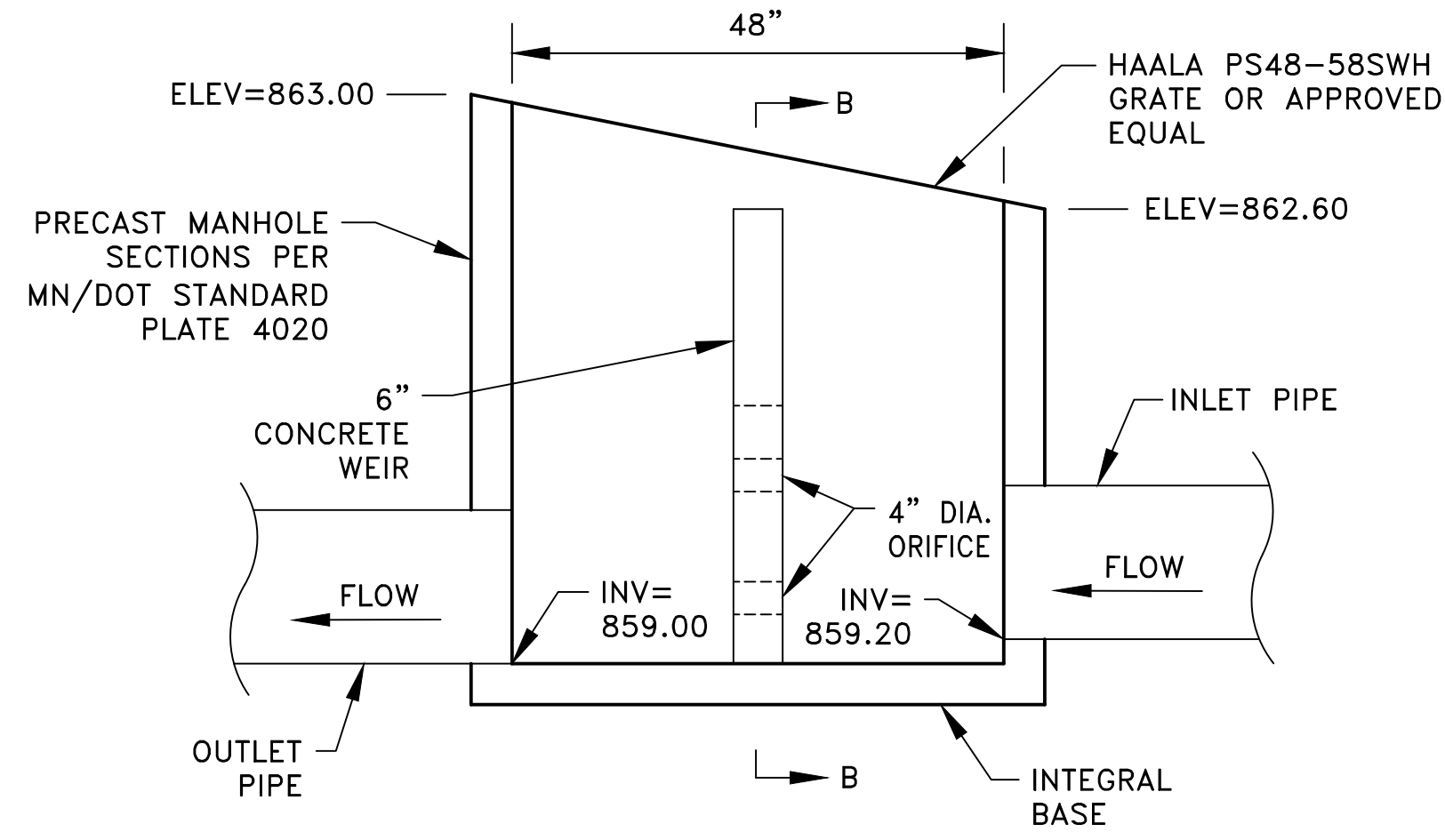
CONSTRUCTION NOTES AND DETAILS
CITY OF RAMSEY, MINNESOTA

SHEET C2 OF C12 SHEETS
3395.21

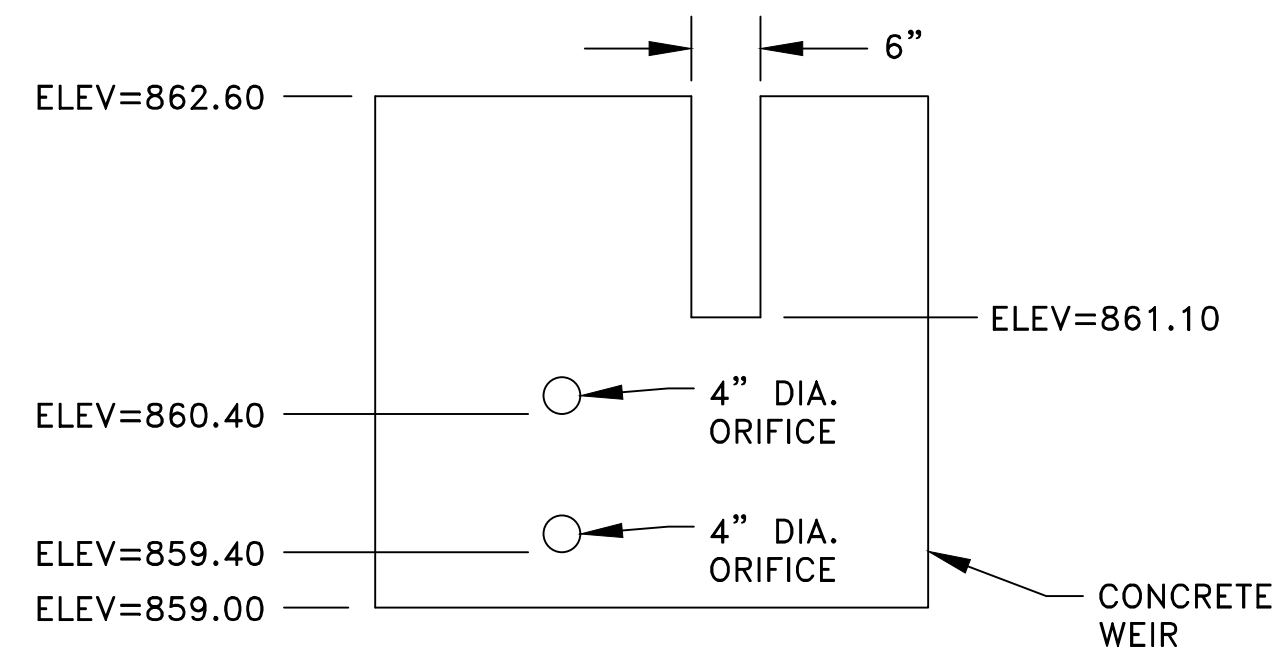
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PLAN VIEW

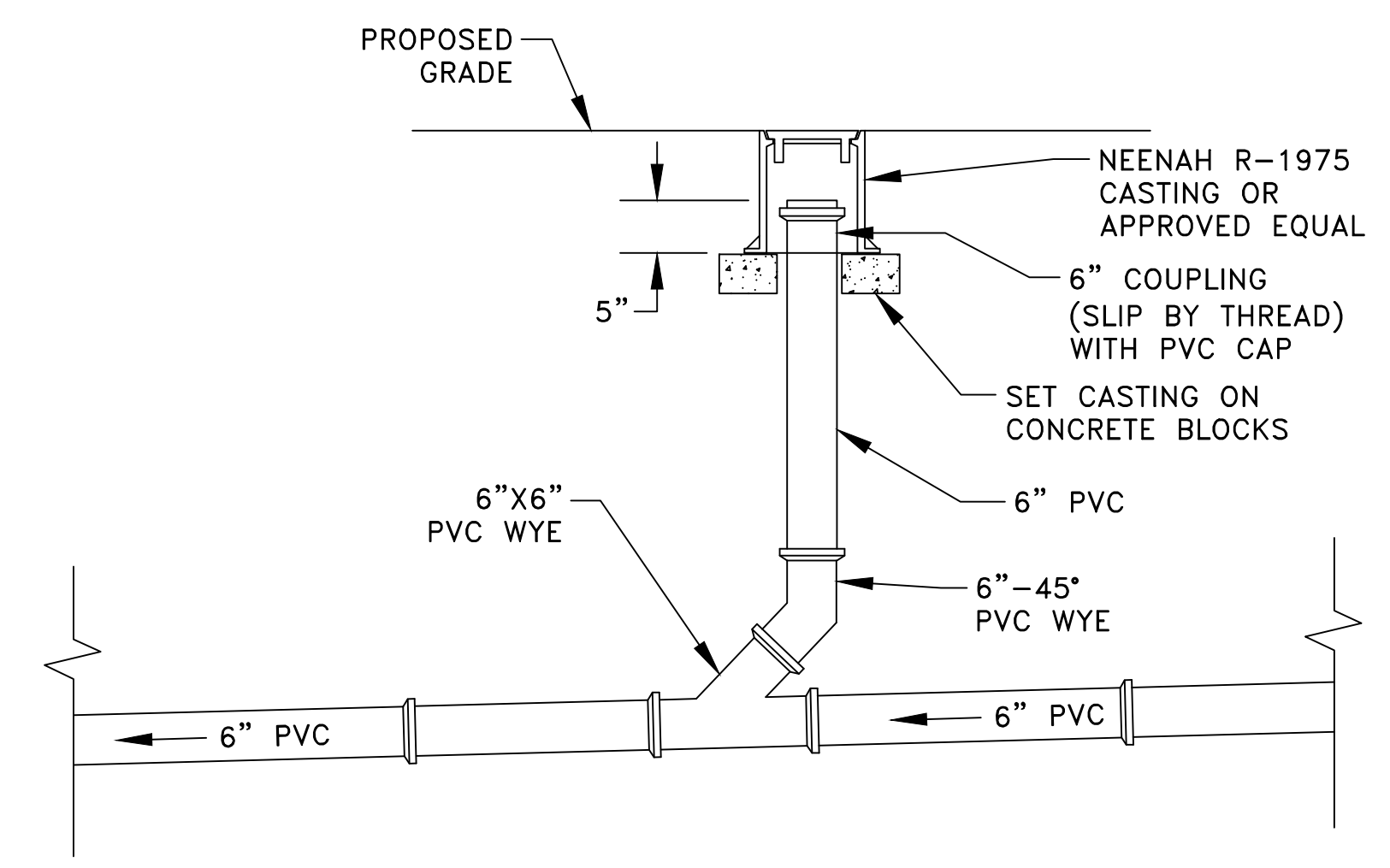


SECTION A-A



SECTION B-B

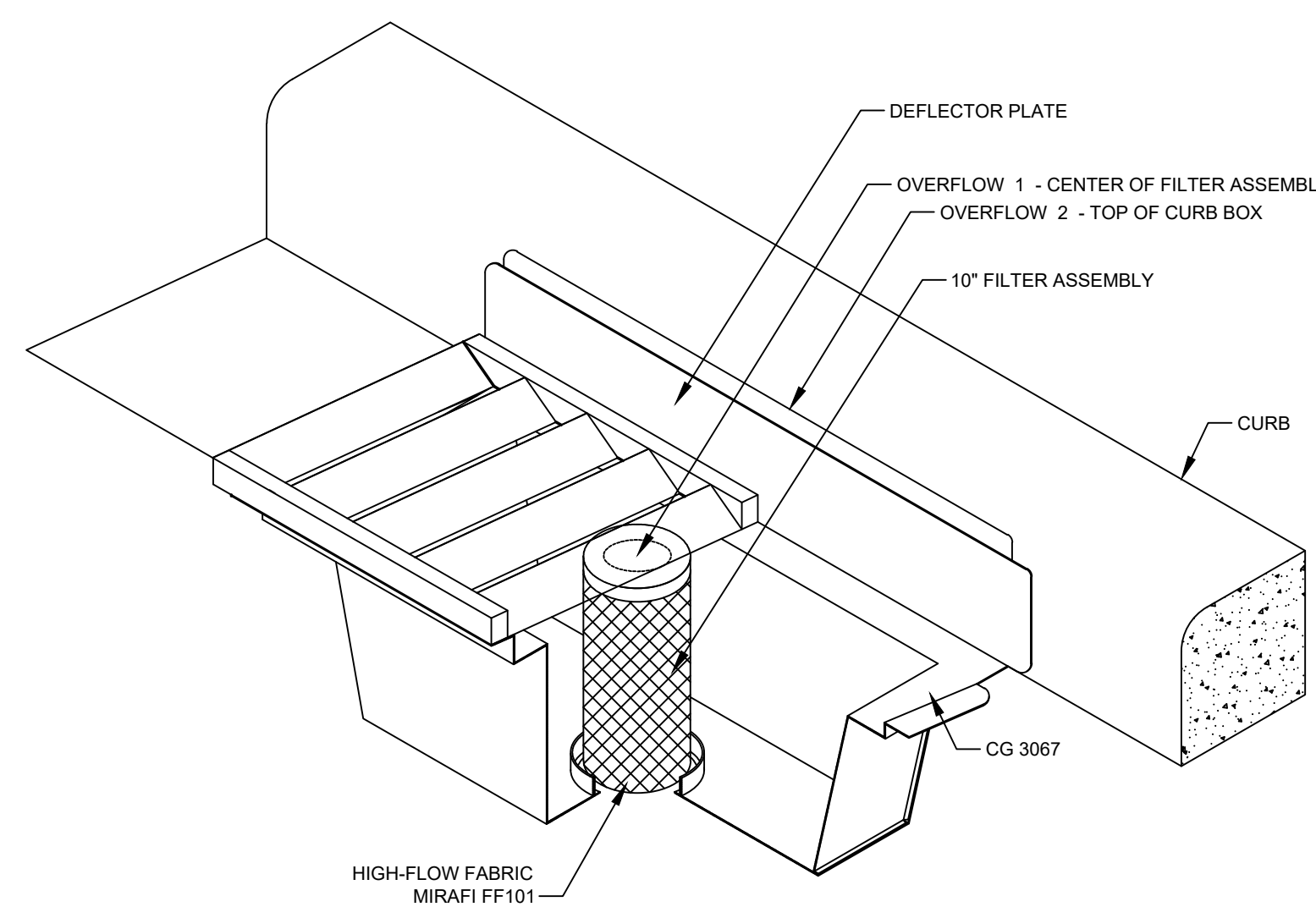
1 POND OUTLET STRUCTURE
C3 NO SCALE



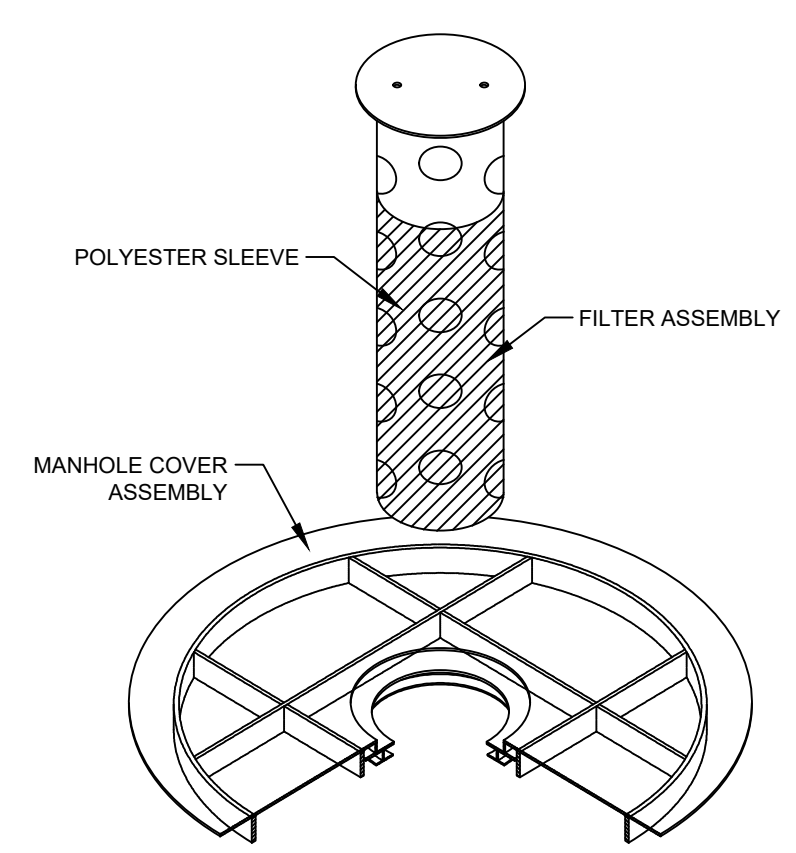
2 SANITARY SEWER CLEANOUT
C3 NO SCALE

| SIGNIFICANT TREE INVENTORY TABULATION | | | |
|---------------------------------------|--------------|-------------------|-------------------------------------|
| Tree Number | Common Name | Diameter (inches) | Action |
| 601 | Siberian Elm | 10 | Clear & Grub - Invasive |
| 604 | American Elm | 10 | Clear & Grub - Parking Lot |
| 606 | American Elm | 8 | Clear & Grub - Parking Lot |
| 607 | American Elm | 10 | Clear & Grub - Parking Lot |
| 608 | American Elm | 9 | Clear & Grub - Parking Lot |
| 609 | American Elm | 9 | Clear & Grub - Parking Lot |
| 610 | American Elm | 15 | Clear & Grub - Parking Lot |
| 611 | Boxelder | 8 | Clear & Grub - Parking Lot |
| 612 | Boxelder | 11 | Clear & Grub - Parking Lot |
| 613 | American Elm | 8 | Clear & Grub - Pond |
| 614 | Boxelder | 9 | Clear & Grub - Pond |
| 615 | Cottonwood | 18 | Clear & Grub - In City Right-of-Way |
| 616 | Cottonwood | 8 | Clear & Grub - In City Right-of-Way |
| 617 | American Elm | 12 | Clear & Grub - Parking Lot |
| 618 | American Elm | 10 | Clear & Grub - Pond |
| 619 | American Elm | 12 | Clear & Grub - Pond |
| 621 | American Elm | 9 | Clear & Grub - Pond |
| 623 | American Elm | 9 | Clear & Grub - Pond |
| 624 | American Elm | 9 | Clear & Grub - Pond |
| 625 | American Elm | 14 | Clear & Grub - Pond |
| 626 | American Elm | 8 | Clear & Grub - Pond |
| 627 | American Elm | 9 | Clear & Grub - Pond |
| 632 | Boxelder | 10 | Clear & Grub - Pond |
| 633 | Boxelder | 9 | Clear & Grub - Pond |
| 634 | American Elm | 8 | Clear & Grub - Pond |
| 635 | American Elm | 11 | Clear & Grub - Pond |
| 636 | Boxelder | 8 | Clear & Grub - Pond |
| 637 | Boxelder | 8 | Clear & Grub - Pond |
| 638 | Boxelder | 8 | Clear & Grub - Pond |

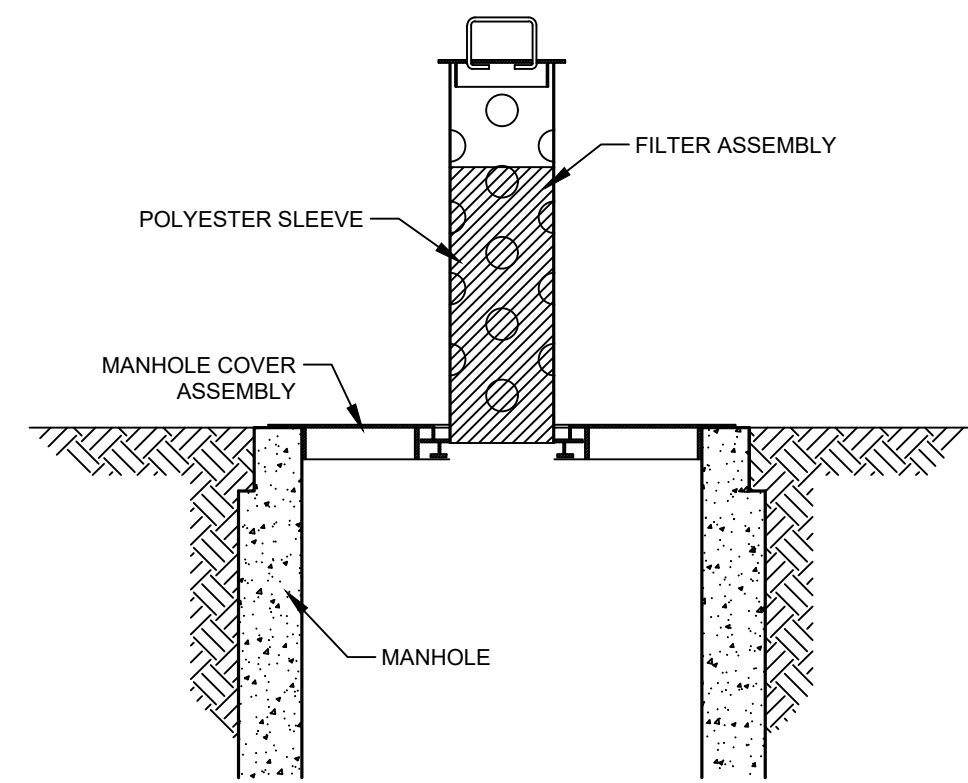
Significant Tree Inches 287
 Significant Tree Inches Removed 287
 Invasive Species Inches Removed 10
 Inches Removed for Ponding 159



3 STORM DRAIN INLET PROTECTION ①
C3



ISOMETRIC VIEW



IN-PLACE ELEVATION VIEW

4 STORM DRAIN INLET PROTECTION ①
C3

REFERENCE NOTES:
 ① INLET PROTECTION SHALL BE INSTALLED ON ALL CASTINGS RECEIVING RUNOFF FROM THE PROJECT AREA. INLET PROTECTION SHALL BE INSTALLED ON EXISTING, OFF SITE CASTINGS PRIOR TO THE START OF CONSTRUCTION. WIMCO MODELS CG 3067 AND RD 27 ARE SHOWN.



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 Date 7/17/23 Lic. No. 43362

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 DRAWN BY: TAE
 CHECKED BY: CJJ

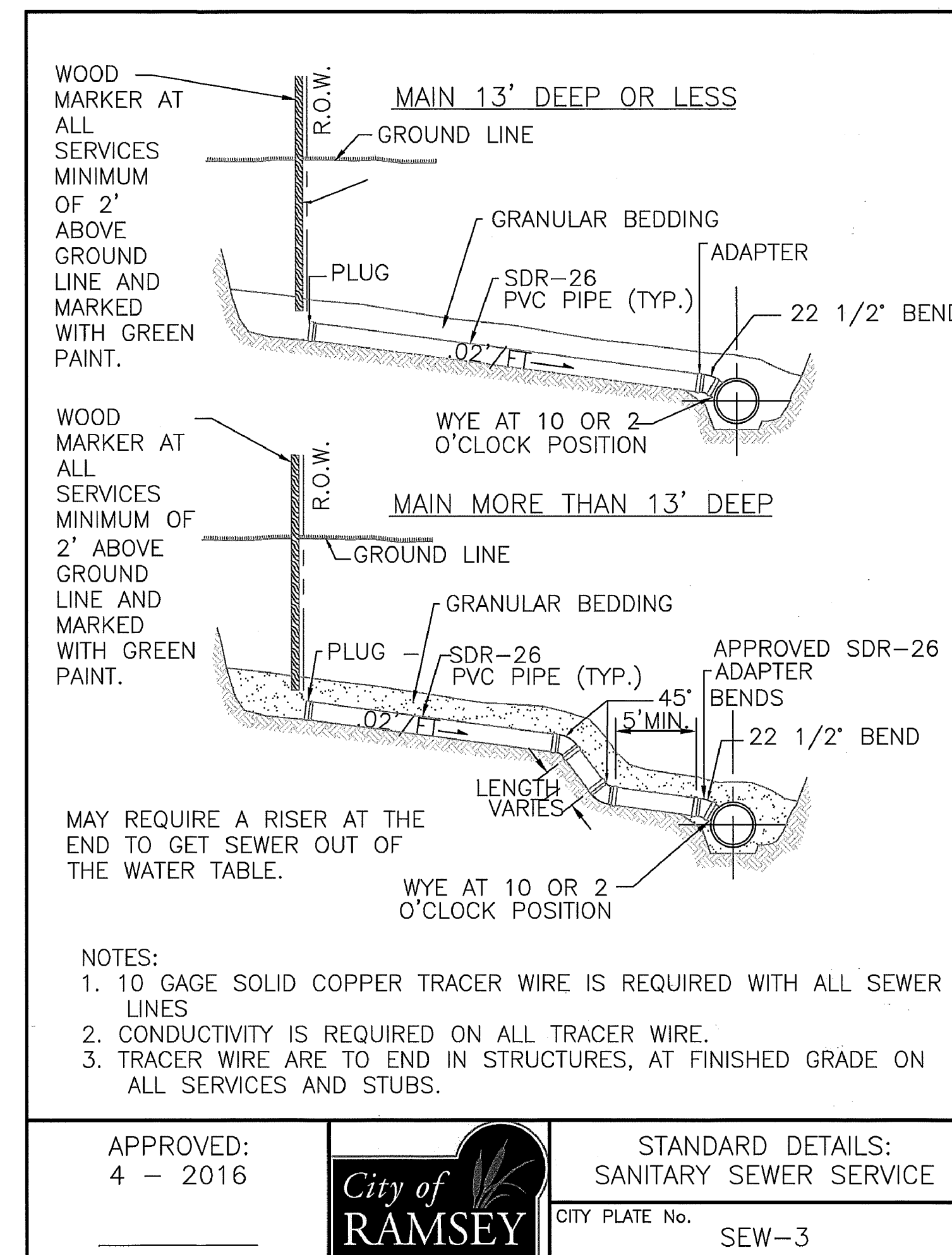
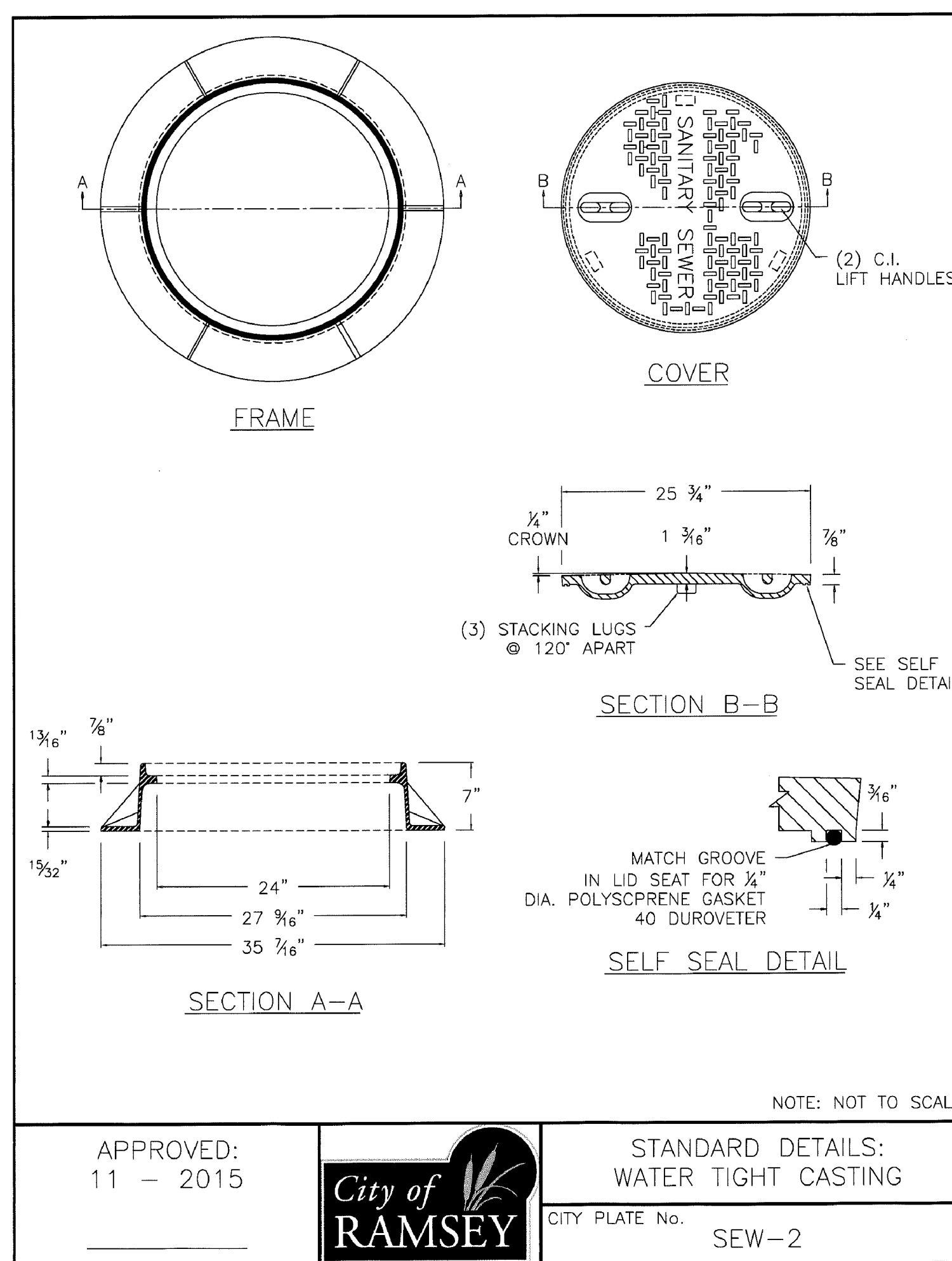
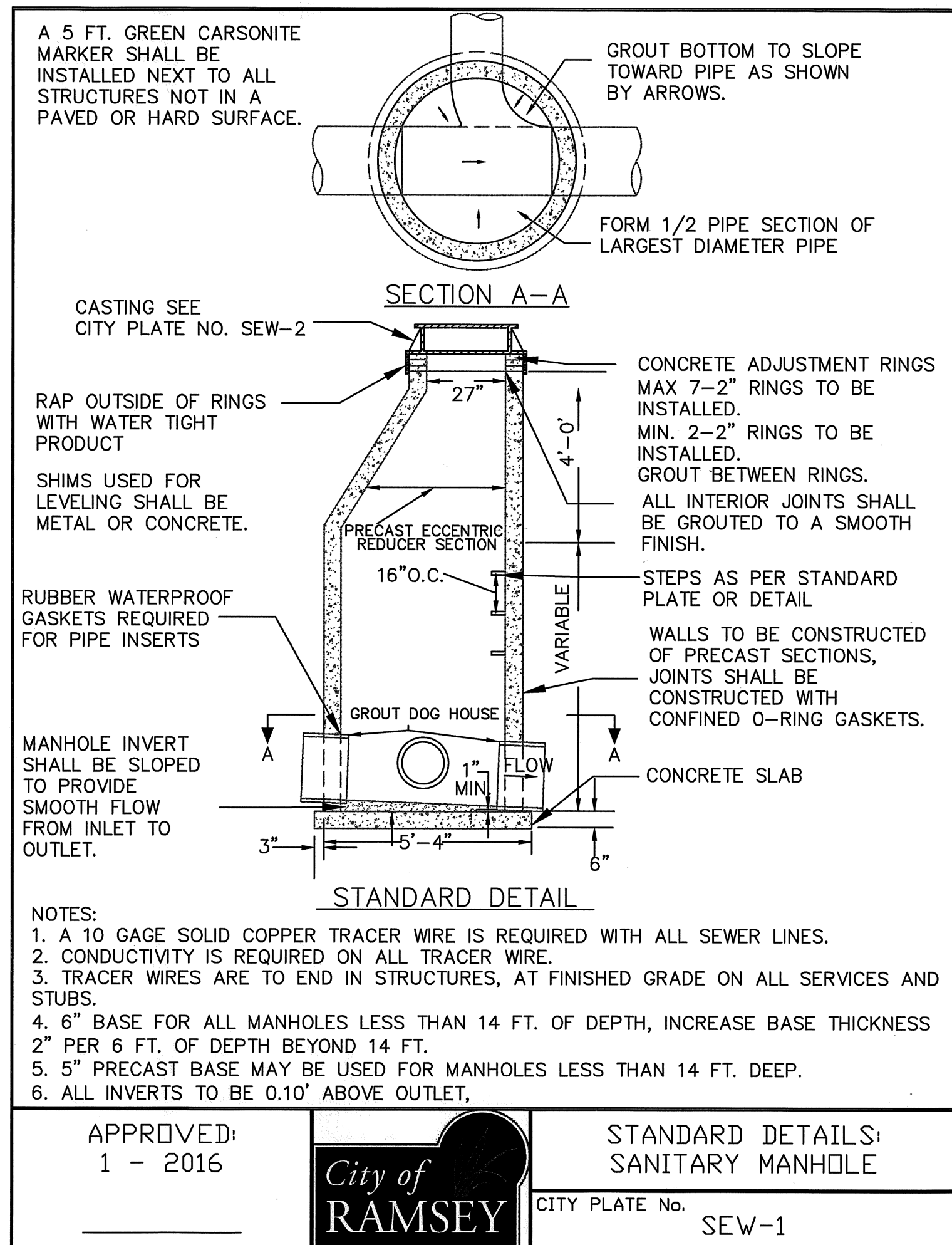
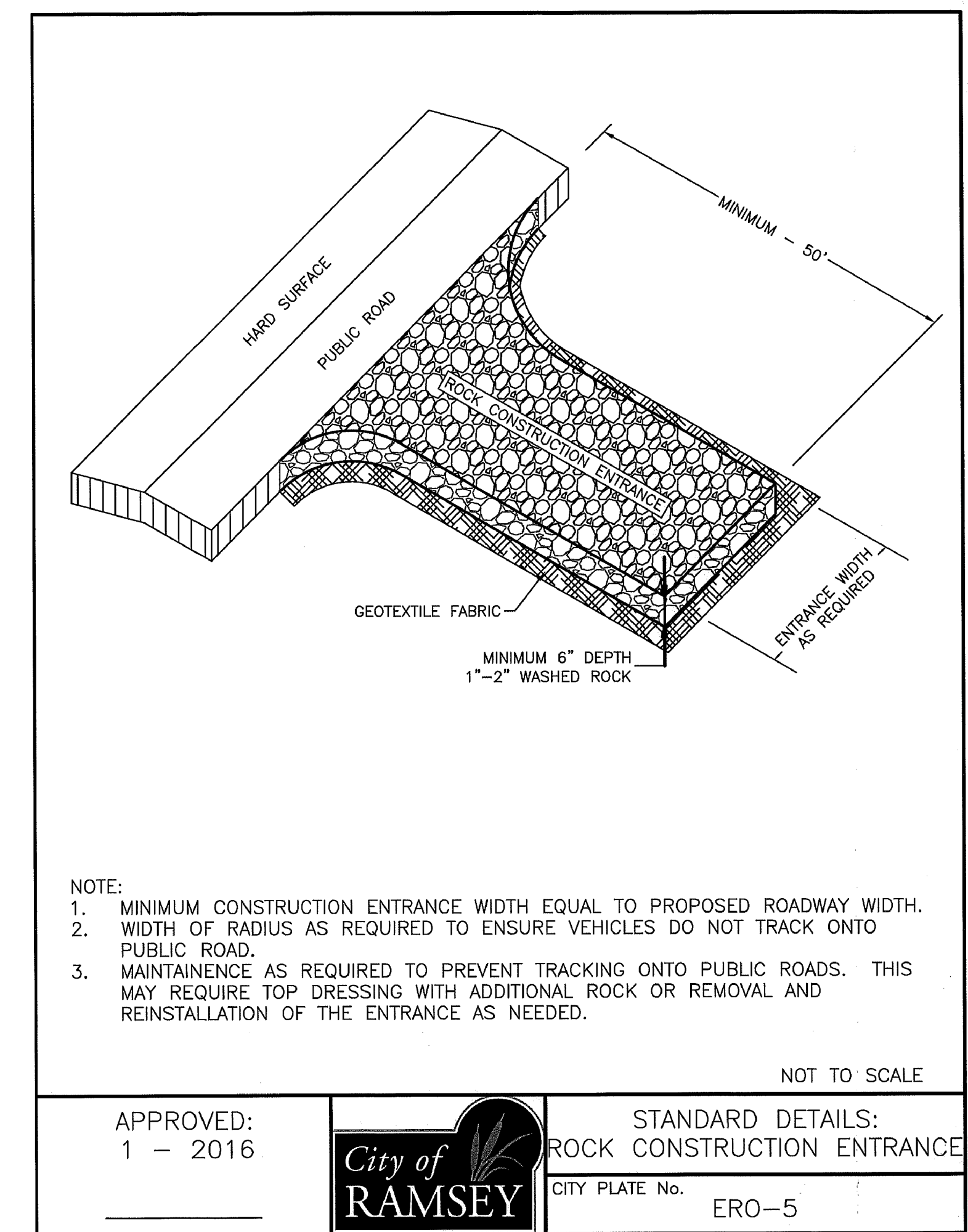
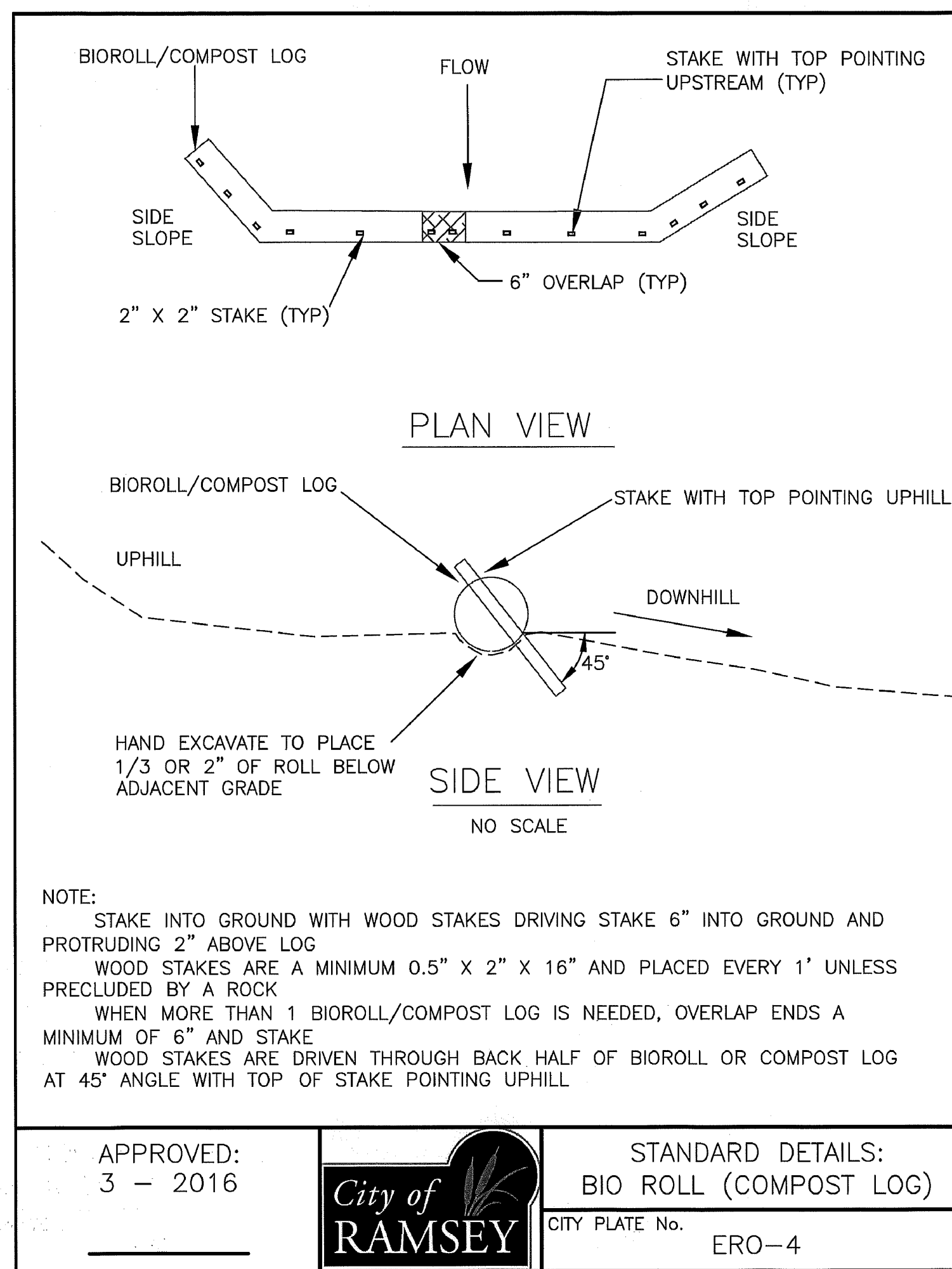
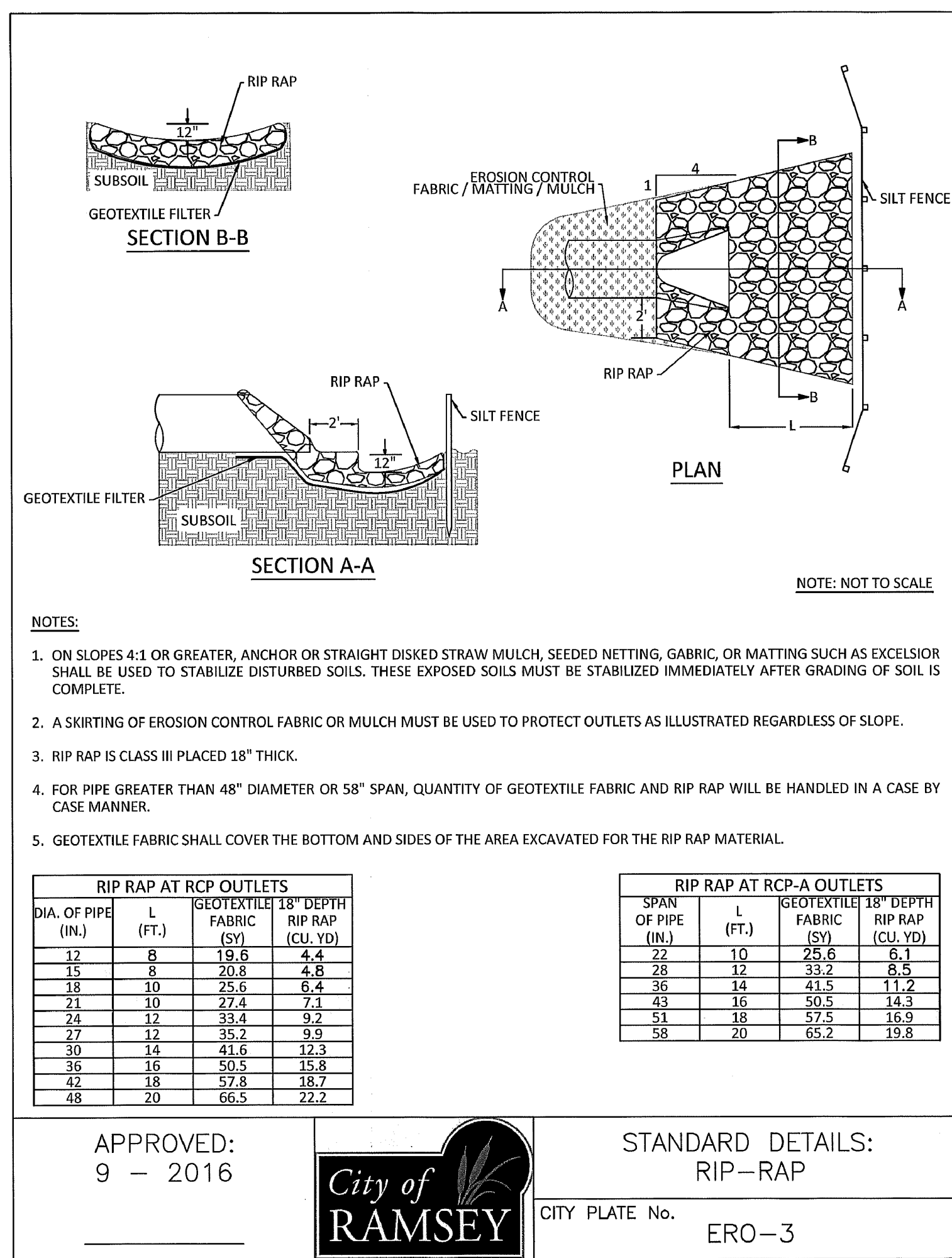
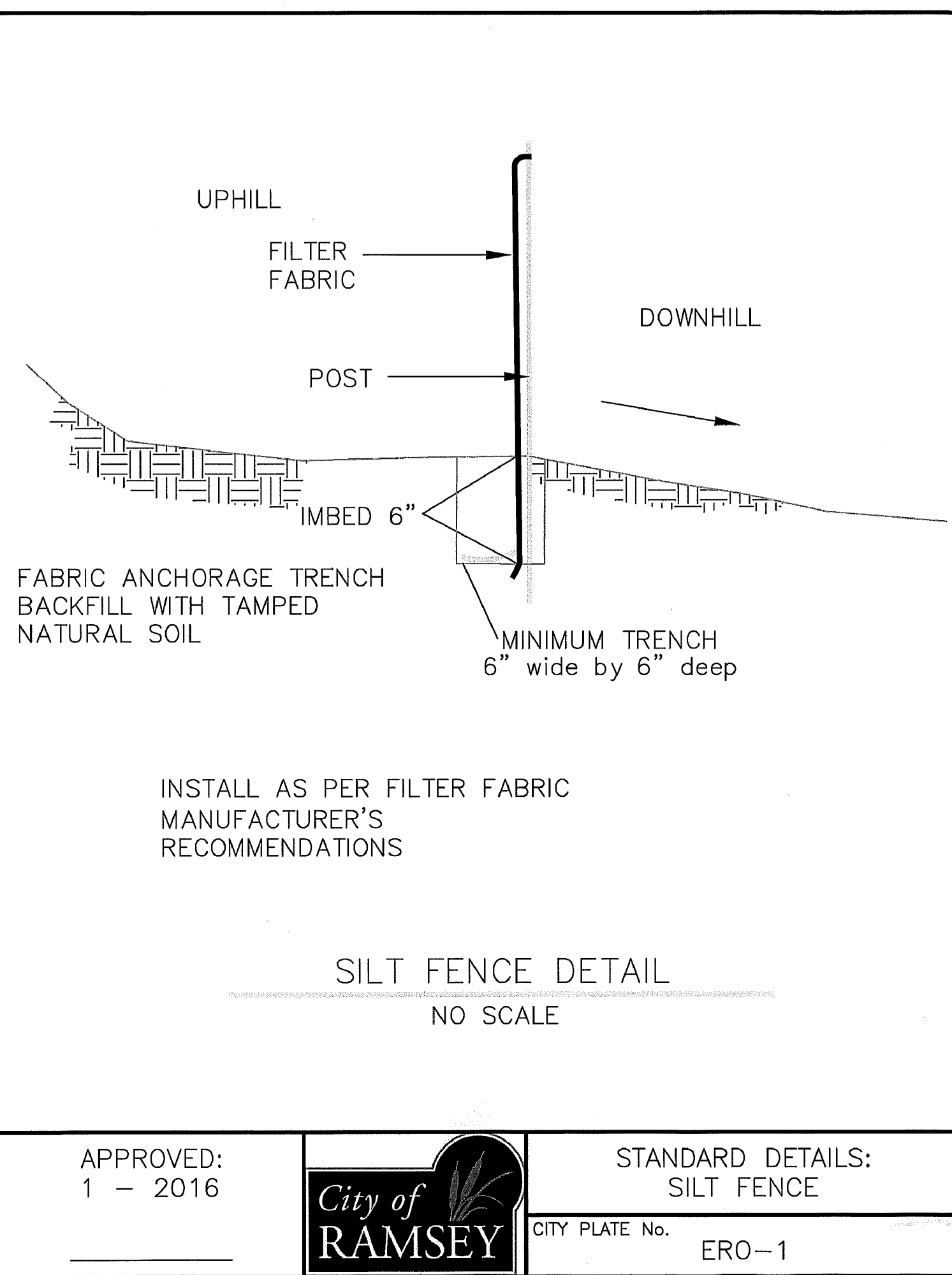


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DETAILS
 CITY OF RAMSEY, MINNESOTA

SHEET C3 OF C12 SHEETS
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Aug 08, 2023 - 10:03am
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DRAWN BY: TAE
CHECKED BY: CJJ



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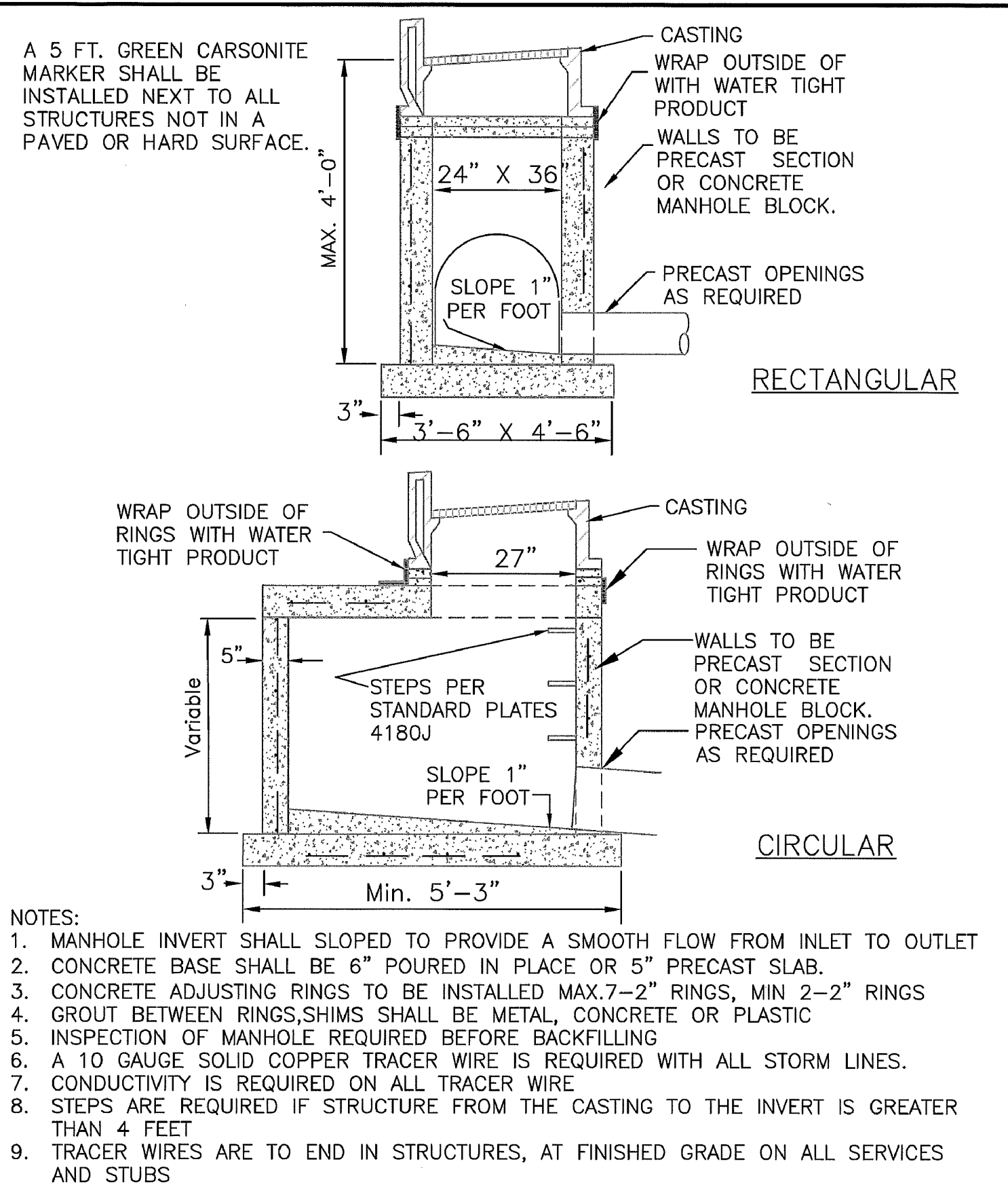
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DETAILS

CITY OF RAMSEY, MINNESOTA

SHEET C4 OF C12 SHEETS

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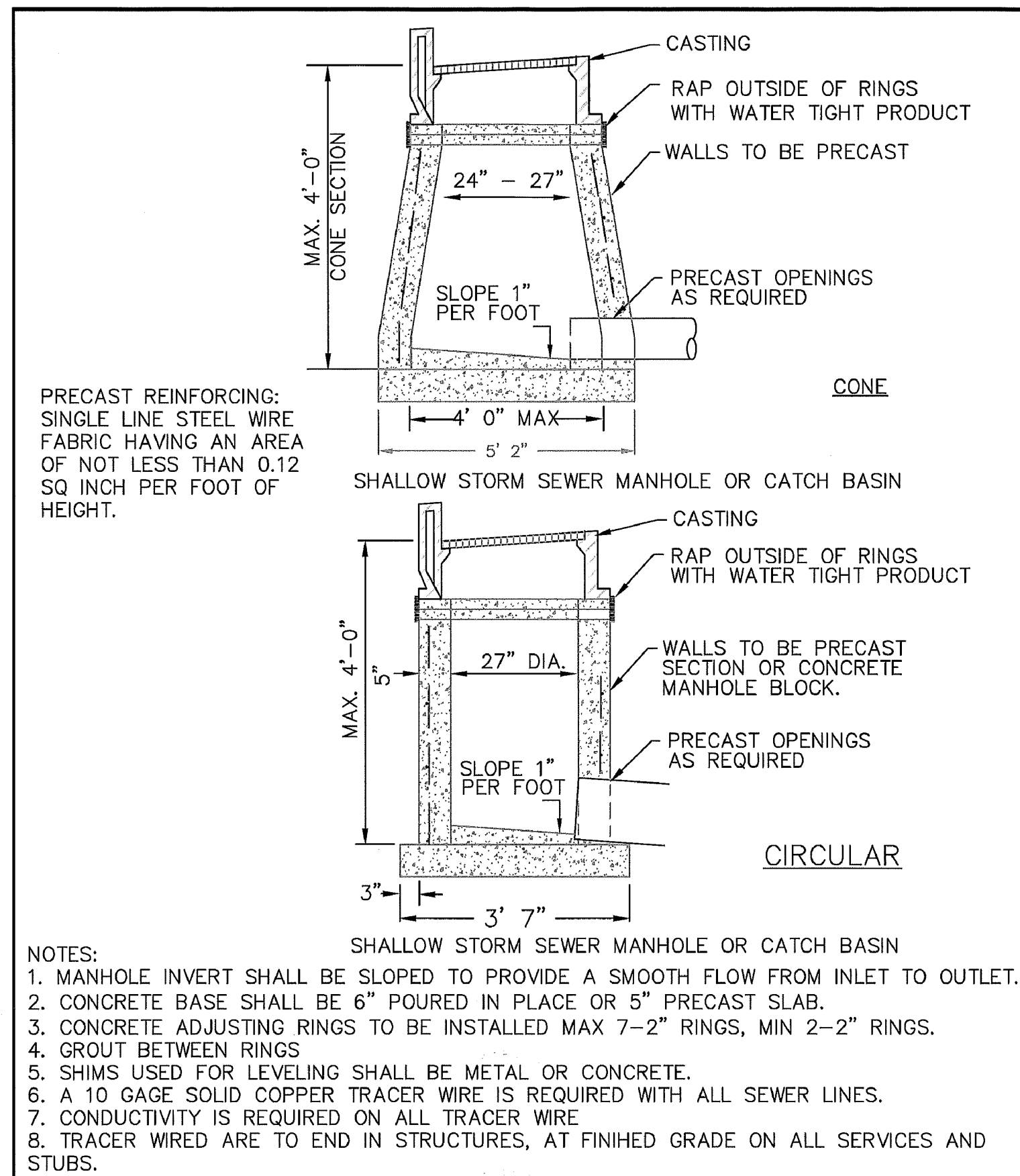


APPROVED: 4 - 2007

City of RAMSEY

STANDARD DETAILS: CATCH BASIN

CITY PLATE No. STO-1

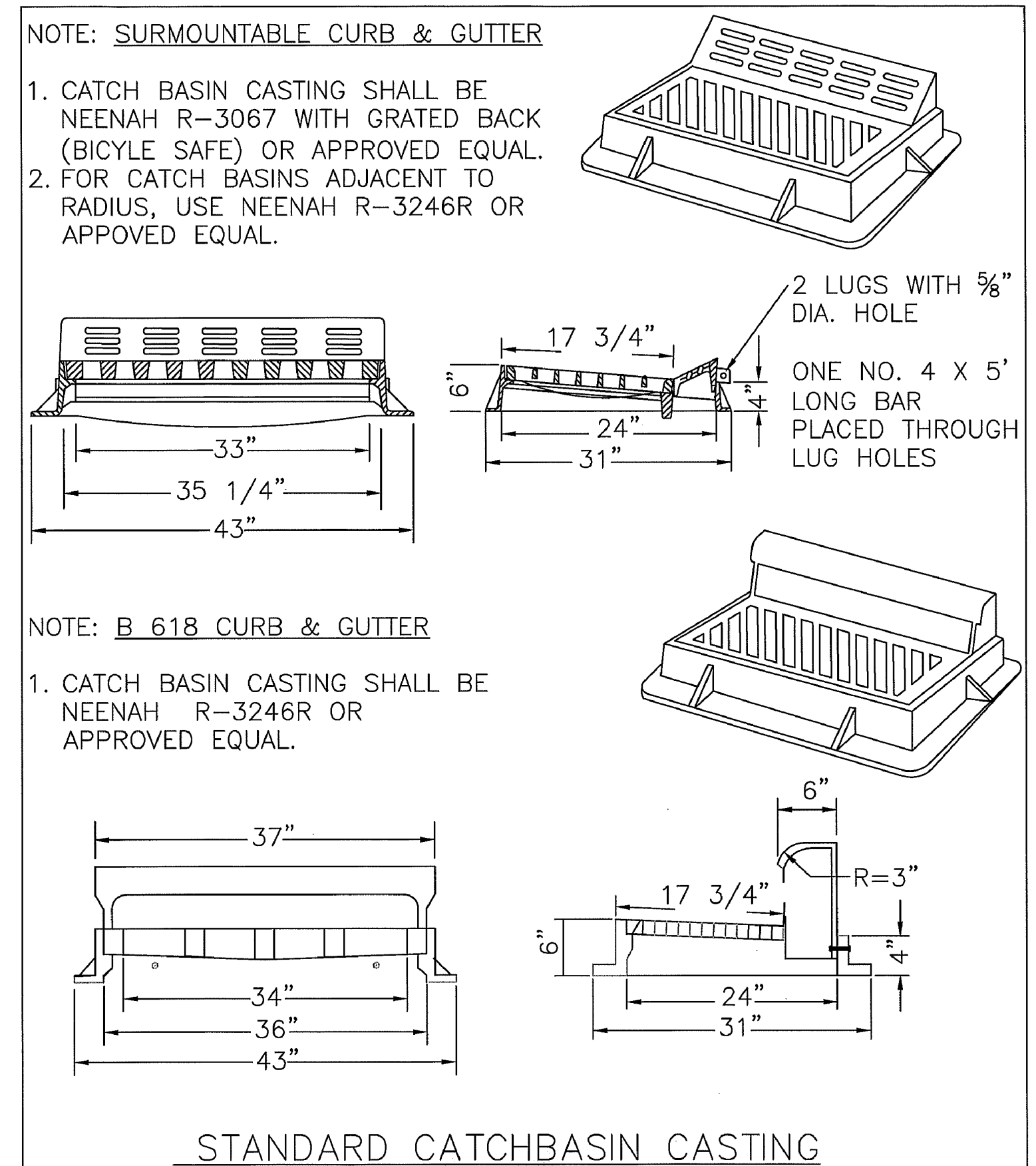


APPROVED: 6 - 2008

City of RAMSEY

STANDARD DETAILS: STORM AREA INLET

CITY PLATE No. STO-2

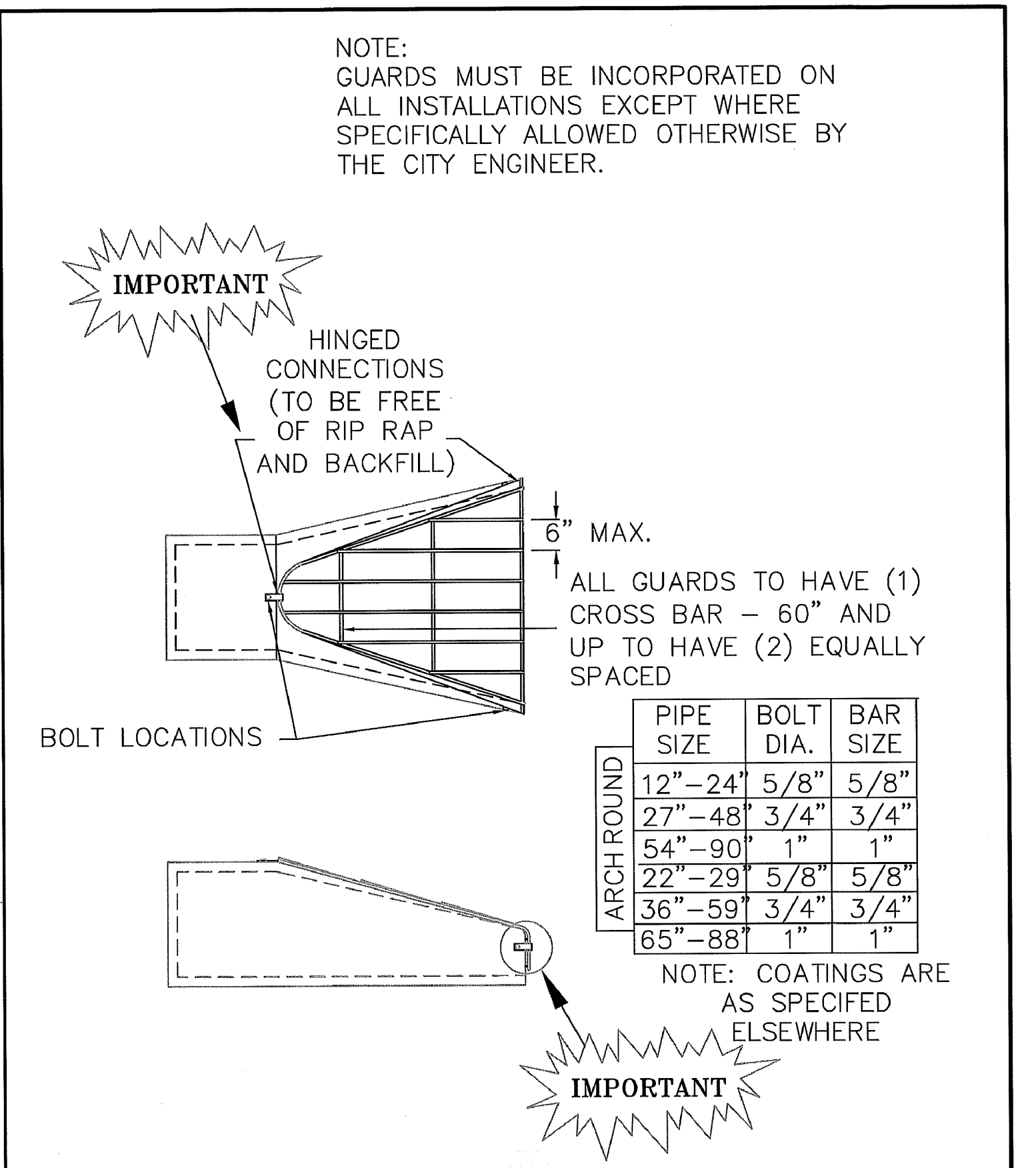


APPROVED: 7 - 2016

City of RAMSEY

STANDARD DETAILS: STORMWATER CASTING

CITY PLATE No. STO-4

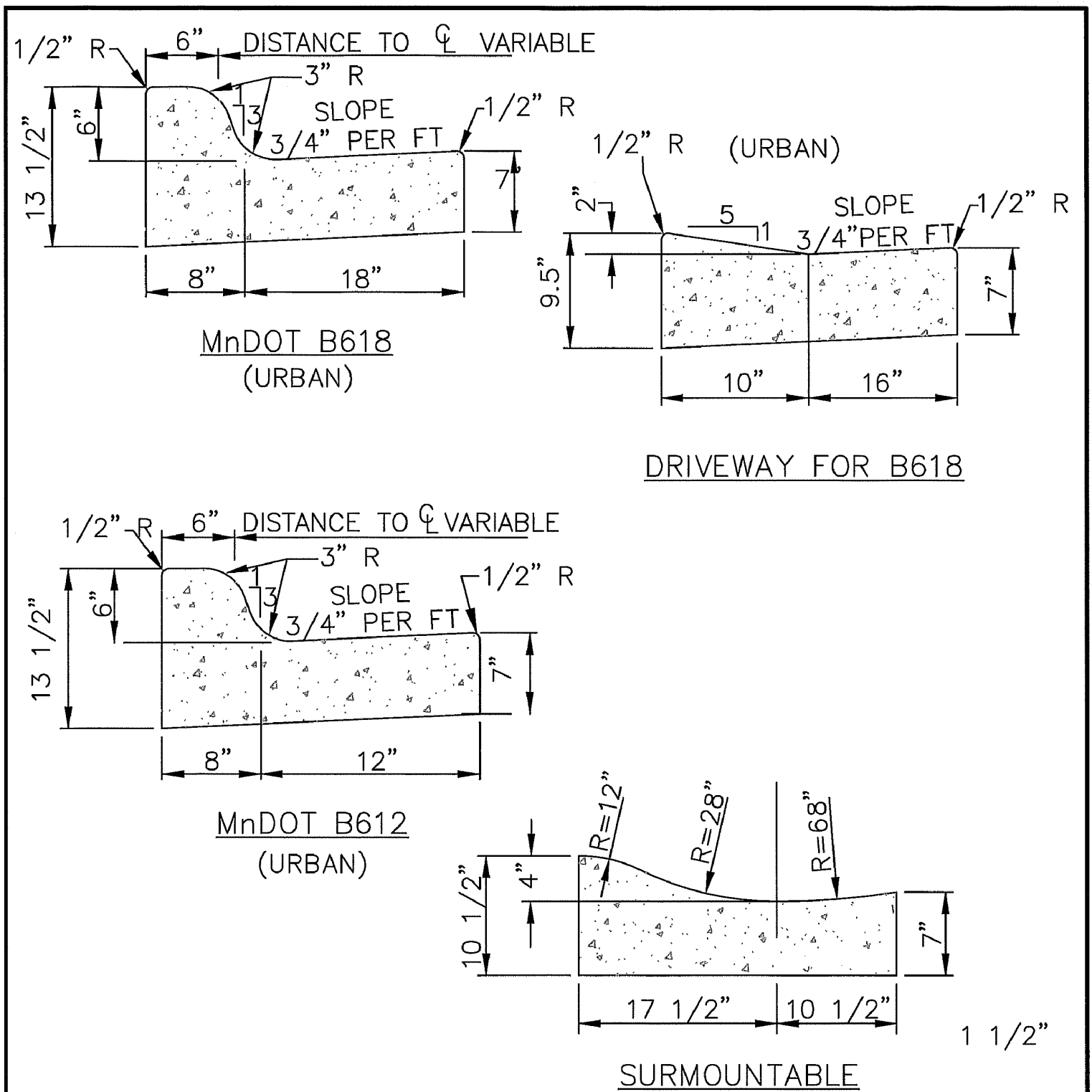


APPROVED: 2 - 2006

City of RAMSEY

STANDARD DETAILS: TRASH GUARD

CITY PLATE No. STO-8

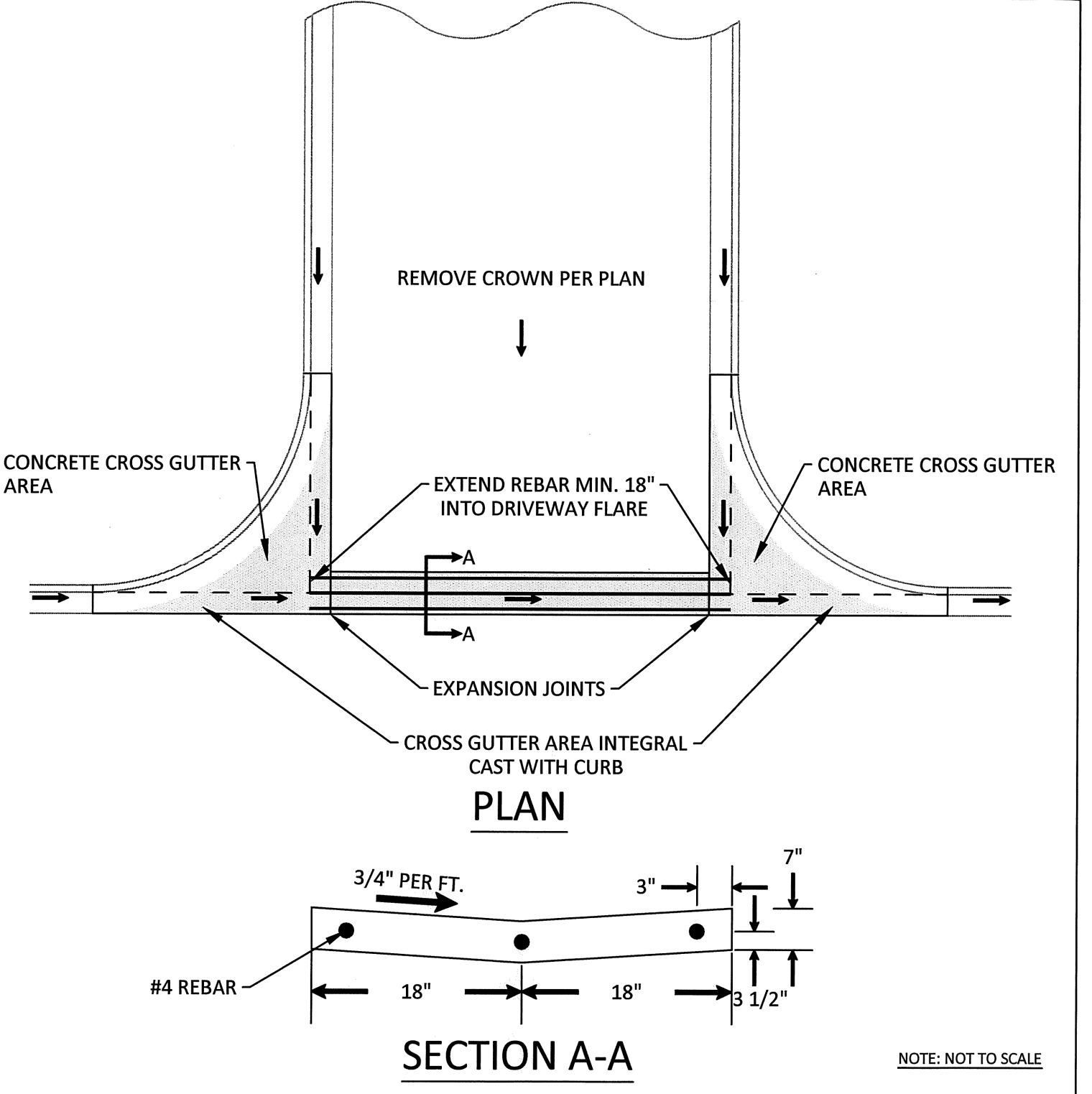


APPROVED: 1 - 2016

City of RAMSEY

STANDARD DETAILS: CURB AND GUTTER

CITY PLATE No. STR-1



APPROVED: 3 - 2017

City of RAMSEY

STANDARD DETAILS: CROSS GUTTER

CITY PLATE No. STR-2

TABLE A
MODIFIED CLASS 5
SPECIFICATIONS

% PASSING

| | |
|--------|----------|
| 1" | 100 |
| 3/4" | 90 - 100 |
| 3/8" | 50 - 80 |
| No.4 | 35 - 70 |
| No.10 | 20 - 60 |
| No.40 | 10 - 35 |
| No.200 | 5 - 10 |

NOTES:
1. THE AGGREGATE BASE CONSTRUCTION WILL BE ACCEPTED FOR PAYMENT IN ACCORDANCE WITH THE PROVISIONS IN TABLE A.
2. IF THE AGGREGATE BASE FAILS TO MEET THE REQUIREMENTS OF TABLE A THE MATERIAL CAN BE CORRECTED IN PLACE OR REMOVED AND REPLACED WITH MATERIAL THAT MEET THE REQUIREMENTS OF TABLE A.
3. IN THE EVENT THAT RECYCLED MATERIAL IS USE IT MUST MEET MNDOT REQUIREMENTS FOR RECYCLED BASE.

APPROVED: 2 - 2003

City of RAMSEY

STANDARD DETAILS: MODIFIED CLASS 5 SPECIFICATIONS

CITY PLATE No. STR-26

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TIMOTHY A. EGGEN, P.E.
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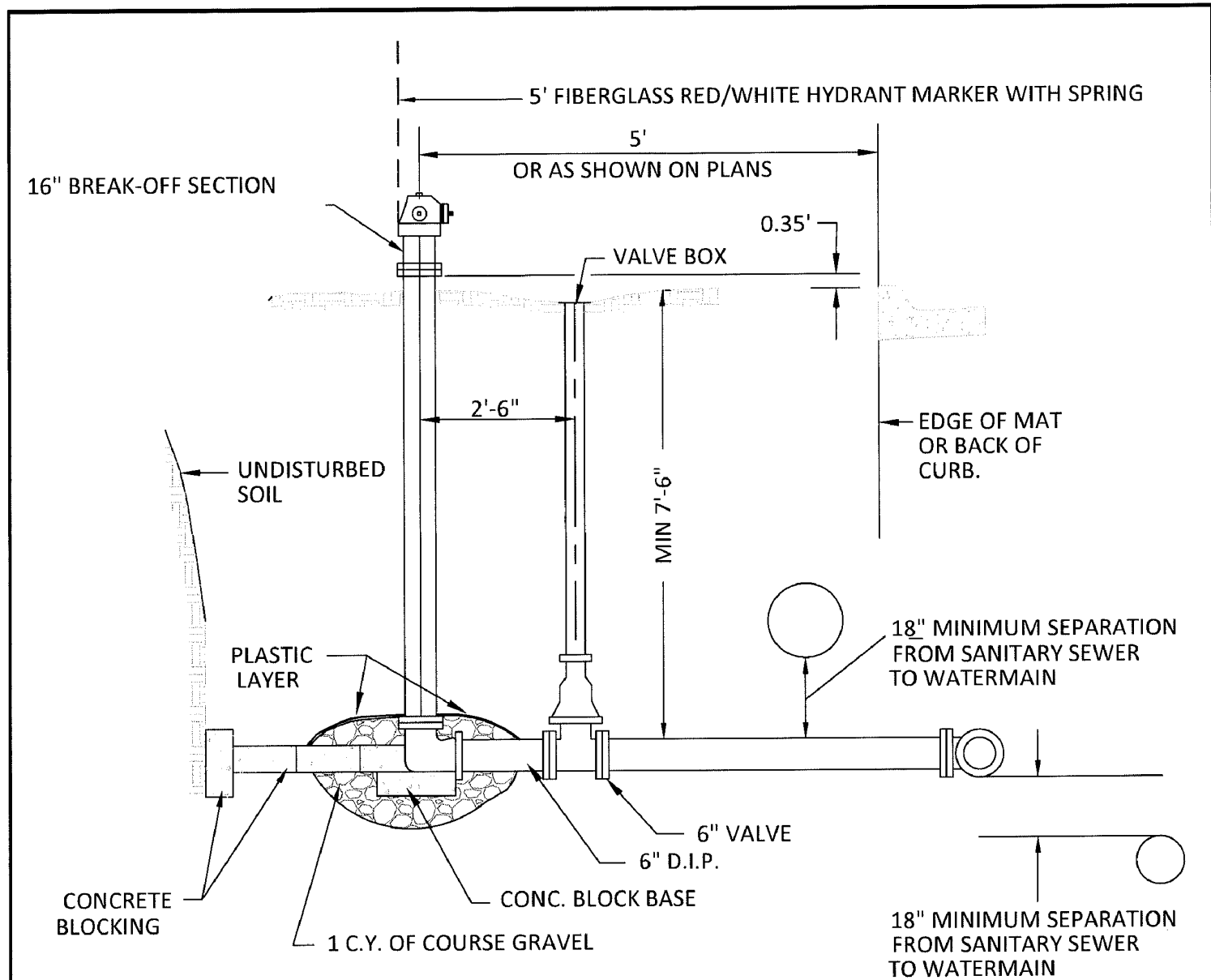


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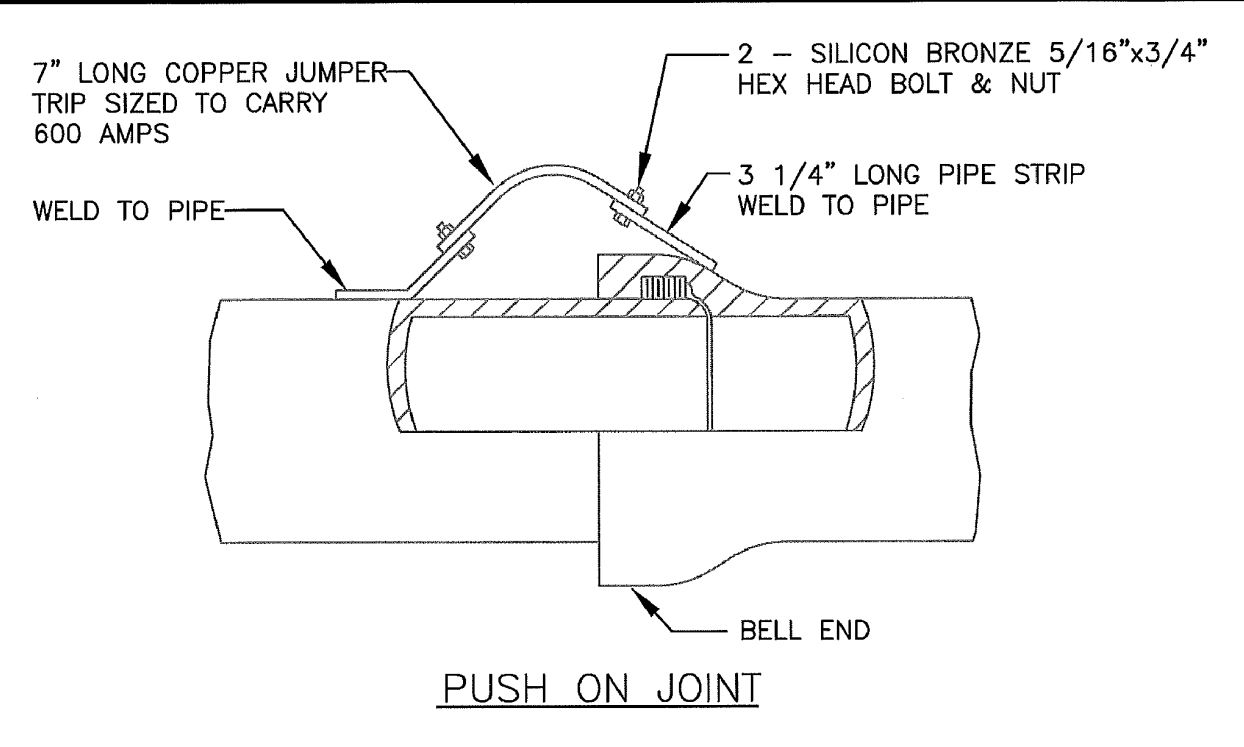
DETAILS
CITY OF RAMSEY, MINNESOTA

SHEET C5 OF C12 SHEETS
3395.21



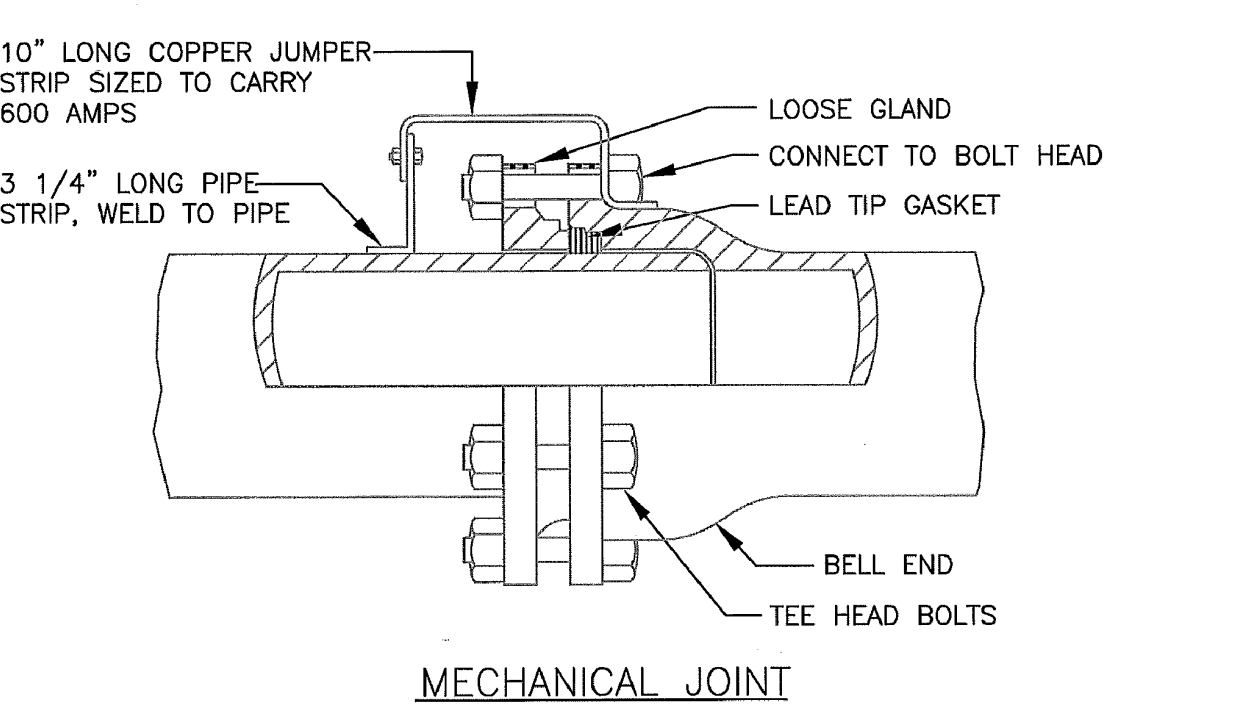
- NOTES:
1. HYDRANT SHALL BE 5-1/4" WB67 WATEROUS PACER OR APPROVED EQUAL.
 2. HYDRANTS TO BE ORDERED FOR 8'-0" BURY. IN AREAS OF EXTRA DEPTH ON THE WATERMAIN, HYDRANTS EXTENSIONS MAY BE REQUIRED.
 3. HYDRANTS SHALL BE BLOCKED OR TIED TO THE TEE AT MAIN WITH 2-3/4" DIAMETER TIE RODS. ALL TIE RODS TO BE COAL TAR COATED AFTER INSTALLATION. RESTRAINED JOINT PIPE AND RETAINING GLANDS MAY BE USED.
 4. TOP NUT OF HYDRANT 2.5' ABOVE TOP BACK OF CURB OR BITUMINOUS SURFACE.
 5. HYDRANTS BURIED BELOW WATER TABLE, DRAIN HOLES NEED TO BE PLUGGED AND HYDRANT MARKED BY PAINTING 5" CAP YELLOW.
 6. BRUSH PAINT ALL HYDRANTS AFTER INSTALLATION IS COMPLETE.
 7. PUMPER NOZZLE .5.75" O.D. X 4 T.P.I., HOSE NOZZLE 3.06" O.D. X 7 T.P.I.

| | | |
|-----------------------|----------------|------------------------------|
| APPROVED: 3 - 2022 | | STANDARD DETAILS: HYDRANT |
| | CITY PLATE No. | WAT-1 |

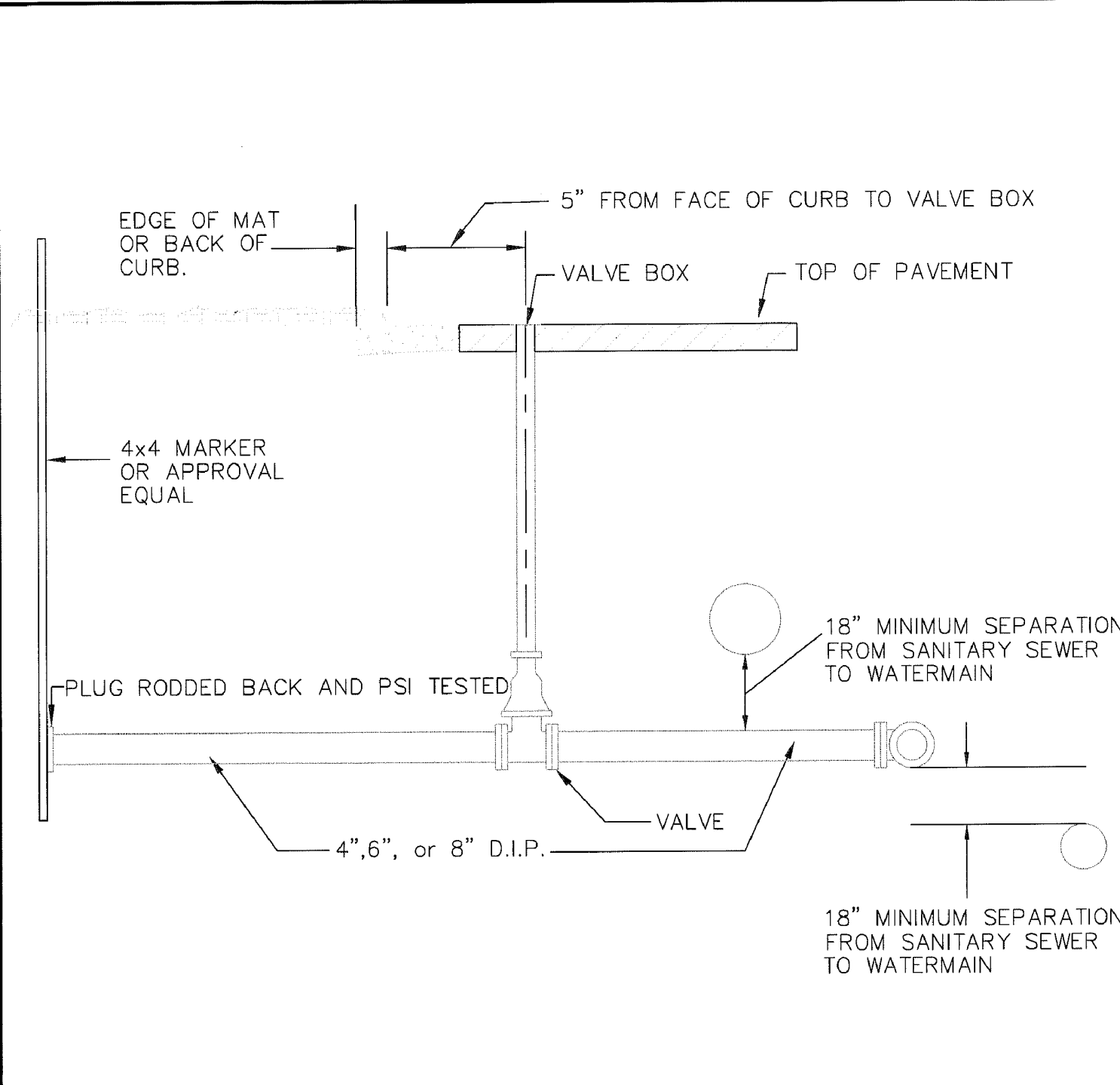


NOTE: DO NOT PASS CURRENT THROUGH PIPE UNLESS PIPE IS FULL OF WATER.

ALTERNATE METHOD BY AMERICAN CAST-IRON USING 4 COPPER CONTACT STRIPS IS AN APPROVED EQUAL TO ABOVE.



| | | |
|-----------------------|----------------|---------------------------------------|
| APPROVED: 1 - 2016 | | STANDARD DETAILS: JOINT CONNECTION |
| | CITY PLATE No. | WAT-4 |



- NOTES:
1. SHALL BE BLOCKED OR TIED TO THE MAIN WITH 2-3/4" DIAMETER TIE RODS. ALL TIE RODS TO BE COAL TAR COATED AFTER INSTALLATION. RESTRAINED JOINT PIPE AND RETAINING GLANDS MAY BE USED.

| | | |
|-----------------------|----------------|---|
| APPROVED: 1 - 2016 | | STANDARD DETAILS: COMMERCIAL SERVICE |
| | CITY PLATE No. | WAT-5 |

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TAE
DRAWN BY:
TAE
CHECKED BY:
CJJ



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DETAILS
CITY OF RAMSEY, MINNESOTA

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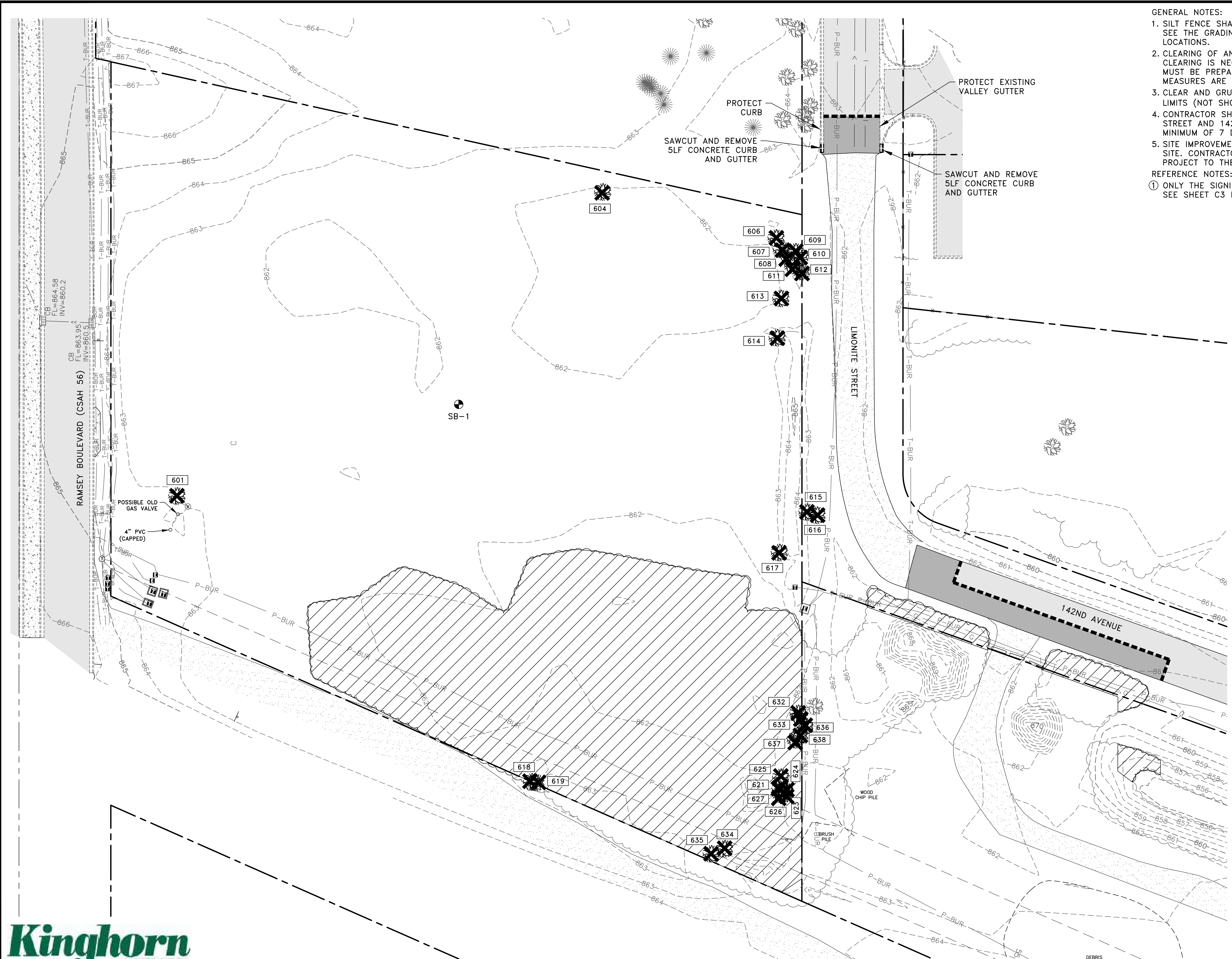
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JAM HOPS

EXISTING TOPOGRAPHY AND
 REMOVALS PLAN
 CITY OF RAMSEY, MINNESOTA

SHEET
 C7
 OF
 C12
 SHEETS

3395.21



GENERAL NOTES:
 1. SILT FENCE SHALL BE IN PLACE PRIOR TO THE START OF ANY REMOVAL ACTIVITIES. SEE THE GRADING, DRAINAGE AND SEDIMENT CONTROL PLAN FOR SILT FENCE LOCATIONS.
 2. CLEARING OF ANY OAK TREES SHALL NOT OCCUR PRIOR TO JULY 15TH. IF OAK TREE CLEARING IS NECESSARY PRIOR TO JULY 15TH, AN OAK WILT MANAGEMENT PLAN MUST BE PREPARED AND SUBMITTED TO THE CITY FOR REVIEW TO ENSURE ADEQUATE MEASURES ARE IMPLEMENTED TO PROTECT FROM THE INTRODUCTION OF OAK WILT.
 3. CLEAR AND GRUB BRUSH, SHRUBS AND SMALL TREES WITHIN THE CONSTRUCTION LIMITS (NOT SHOWN).
 4. CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN FOR THE WORK IN LIMONITE STREET AND 142ND AVENUE. PLAN SHALL BE SUBMITTED TO THE CITY OF RAMSEY A MINIMUM OF 7 DAYS PRIOR TO CONSTRUCTION.
 5. SITE IMPROVEMENTS ARE PLANNED FOR THE PROPERTY NORTH OF THE JAM HOPS SITE. CONTRACTOR SHALL COORDINATE THE LIMONITE STREET REMOVALS WITH THE PROJECT TO THE NORTH.

REFERENCE NOTES:
 ① ONLY THE SIGNIFICANT TREES, AS DEFINED BY THE CITY OF RAMSEY, ARE NUMBERED. SEE SHEET C3 FOR THE SIGNIFICANT TREE INVENTORY TABULATION.

LEGEND

- PROPERTY LINE
- - - EASEMENT LINE
- - - SECTION LINE
- XXX --- EXISTING CONTOUR
- EXISTING CONCRETE CURB
- G --- GAS MAIN
- P-BUR --- BURIED ELECTRIC LINE
- T-BUR --- BURIED TELEPHONE LINE
- TV-BUR --- BURIED TELEVISION LINE
- FO-BUR --- BURIED FIBER OPTIC LINE
- I --- EXISTING WATERMAIN
- > --- EXISTING SANITARY SEWER
- >> --- EXISTING STORM SEWER
- x --- FENCE
- UTILITY PEDESTALS OR TRANSFORMERS
- ⊙ UTILITY MANHOLE
- ⊙ EXISTING WELL
- EXISTING CATCH BASIN
- ↑ SIGN
- ☀ DECIDUOUS AND CONIFEROUS TREES
- ⊙ SB-X APPROXIMATE SOIL BORING LOCATION
- █ EXISTING BITUMINOUS PAVEMENT
- █ EXISTING GRAVEL SURFACE
- █ REMOVE BITUMINOUS PAVEMENT
- █ CLEAR AND GRUB TREES AND BRUSH
- ☀ CLEAR AND GRUB TREES
- SAWCUT BITUMINOUS PAVEMENT
- XXX TREE NUMBER ①

GENERAL NOTES:

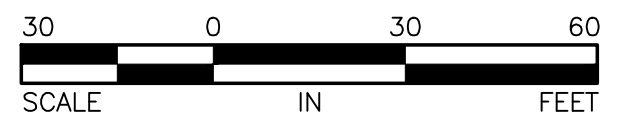
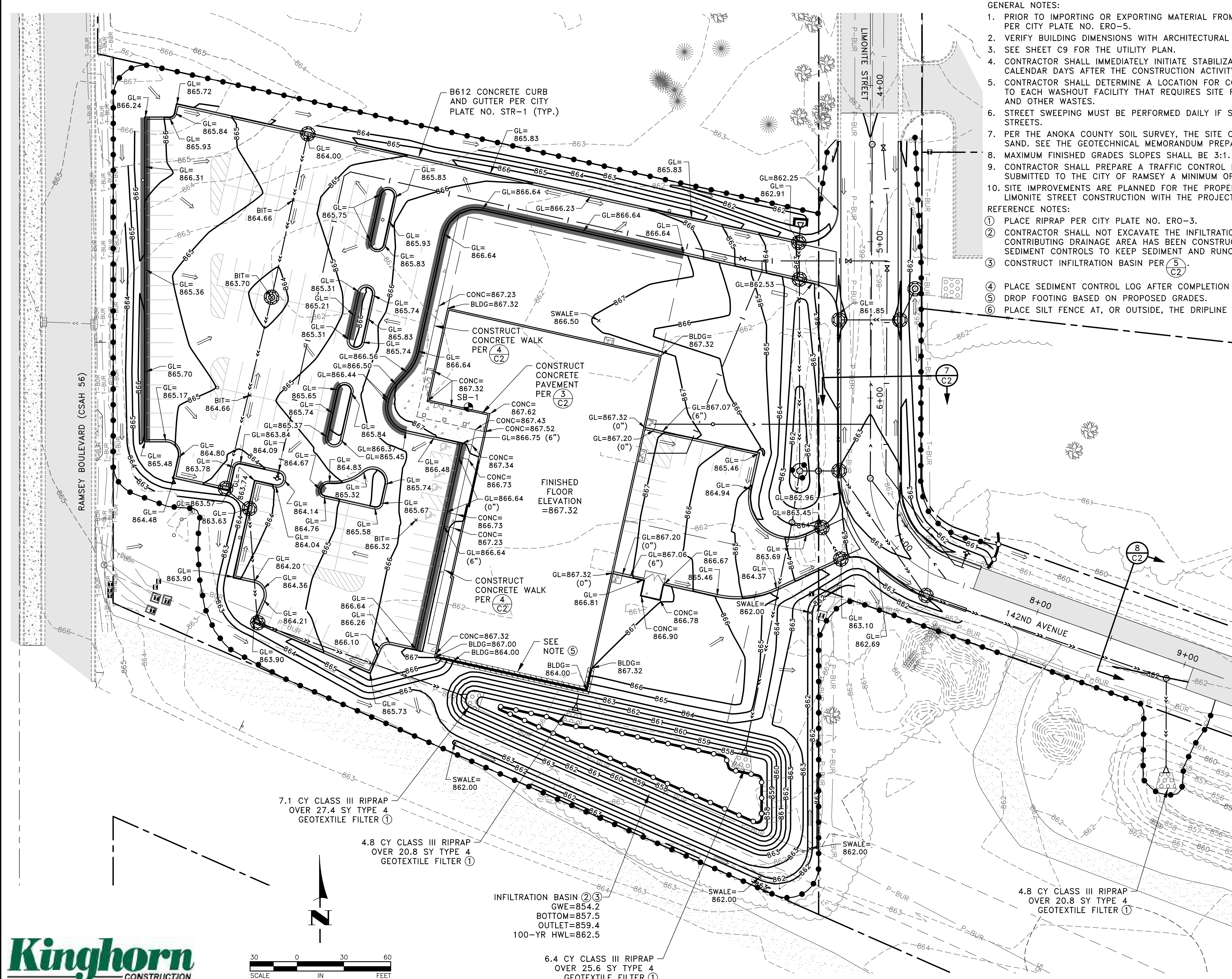
1. PRIOR TO IMPORTING OR EXPORTING MATERIAL FROM THE SITE, CONTRACTOR SHALL CONSTRUCT A ROCK CONSTRUCTION ENTRANCE PER CITY PLATE NO. ERO-5.
2. VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
3. SEE SHEET C9 FOR THE UTILITY PLAN.
4. CONTRACTOR SHALL IMMEDIATELY INITIATE STABILIZATION OF EXPOSED SOIL AREAS AND COMPLETE STABILIZATION WITHIN SEVEN CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE TEMPORARILY OR PERMANENTLY CEASES.
5. CONTRACTOR SHALL DETERMINE A LOCATION FOR CONCRETE AND OTHER WASHOUT WASTE. A SIGN SHALL BE INSTALLED ADJACENT TO EACH WASHOUT FACILITY THAT REQUIRES SITE PERSONNEL TO UTILIZE THE PROPER FACILITIES FOR DISPOSAL OF CONCRETE AND OTHER WASTES.
6. STREET SWEEPING MUST BE PERFORMED DAILY IF SEDIMENT IS TRACKED OUTSIDE THE CONSTRUCTION LIMITS OR ONTO ANY CITY STREETS.
7. PER THE ANOKA COUNTY SOIL SURVEY, THE SITE CONSISTS OF HUBBARD LOAMY SAND, DICKMAN SANDY LOAM AND DUELM LOAMY SAND. SEE THE GEOTECHNICAL MEMORANDUM PREPARED BY HAUGO GEOTECHNICAL SERVICES FOR ADDITIONAL INFORMATION.
8. MAXIMUM FINISHED GRADES SLOPES SHALL BE 3:1.
9. CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN FOR THE WORK IN LIMONITE STREET AND 142ND AVENUE. PLAN SHALL BE SUBMITTED TO THE CITY OF RAMSEY A MINIMUM OF 7 DAYS PRIOR TO CONSTRUCTION.
10. SITE IMPROVEMENTS ARE PLANNED FOR THE PROPERTY NORTH OF THE JAM HOPS SITE. CONTRACTOR SHALL COORDINATE THE LIMONITE STREET CONSTRUCTION WITH THE PROJECT TO THE NORTH.

REFERENCE NOTES:

- ① PLACE RIPRAP PER CITY PLATE NO. ERO-3.
- ② CONTRACTOR SHALL NOT EXCAVATE THE INFILTRATION BASIN TO FINAL GRADE, OR WITHIN THREE FEET OF FINAL GRADE, UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN CONSTRUCTED AND FULLY STABILIZED UNLESS RIGOROUS EROSION PREVENTION AND SEDIMENT CONTROLS TO KEEP SEDIMENT AND RUNOFF COMPLETELY AWAY FROM THE INFILTRATION BASIN ARE PROVIDED.
- ③ CONSTRUCT INFILTRATION BASIN PER (5) (C2).
- ④ PLACE SEDIMENT CONTROL LOG AFTER COMPLETION OF GRADING.
- ⑤ DROP FOOTING BASED ON PROPOSED GRADES.
- ⑥ PLACE SILT FENCE AT, OR OUTSIDE, THE DRIPLINE OF TREES.

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- SECTION LINE
- XXX EXISTING CONTOUR
- XXX PROPOSED CONTOUR
- EXISTING CONCRETE CURB
- G GAS MAIN
- P-BUR BURIED ELECTRIC LINE
- T-BUR BURIED TELEPHONE LINE
- TV-BUR BURIED TELEVISION LINE
- FO-BUR BURIED FIBER OPTIC LINE
- I EXISTING WATERMAIN
- > EXISTING SANITARY SEWER
- >> EXISTING STORM SEWER
- x FENCE
- ▣ EXISTING CATCH BASIN
- ⊠ UTILITY PEDESTALS OR TRANSFORMERS
- ⊙ UTILITY MANHOLE
- ⊙ EXISTING WELL
- ⊙ SIGN
- ☀ DECIDUOUS AND CONIFEROUS TREES
- ⊙ SB-X APPROXIMATE SOIL BORING LOCATION
- ▨ EXISTING BITUMINOUS PAVEMENT
- ▨ EXISTING GRAVEL SURFACE
- ▨ PROPOSED RIPRAP
- PROPOSED CONCRETE CURB AND GUTTER
- I PROPOSED WATERMAIN
- > PROPOSED SANITARY SEWER
- >> PROPOSED STORM SEWER
- ⊙ PROPOSED STORM SEWER MANHOLE
- ▣ PROPOSED CATCH BASIN/POND OUTLET STRUCTURE
- ⊙ PROPOSED SANITARY SEWER MANHOLE
- △ PROPOSED STORM SEWER APRON
- ⊙ PROPOSED HYDRANT
- ⊙ PROPOSED WATERMAIN VALVE
- ⊙ STORM DRAIN INLET PROTECTION DEVICE PER (3) (C3) AND (4) (C3)
- ▨ PROPOSED TIPOUT CURB PER (6) (C2)
- SILT FENCE PER CITY PLATE NO. ERO-1 (6)
- SEDIMENT CONTROL LOG PER CITY PLATE NO. ERO-4 (4)
- ⊙ DETAIL NUMBER
- ⊙ SHEET NUMBER
- GL= PROPOSED GUTTER LINE ELEVATION
- BLDG= PROPOSED GROUND ELEVATION AT BUILDING
- BIT= PROPOSED SPOT ELEVATION (BITUMINOUS)
- SWALE= PROPOSED SWALE ELEVATION
- CONC= PROPOSED SPOT ELEVATION (CONCRETE)
- PROPOSED LIGHT POLE
- ⇒ DRAINAGE ARROW



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I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Timothy A. Eggen
 TIMOTHY A. EGGEN, P.E.
 Date 7/17/23 Lic. No. 43362

DESIGNED BY: TAE
 DRAWN BY: TAE
 CHECKED BY: CJJ



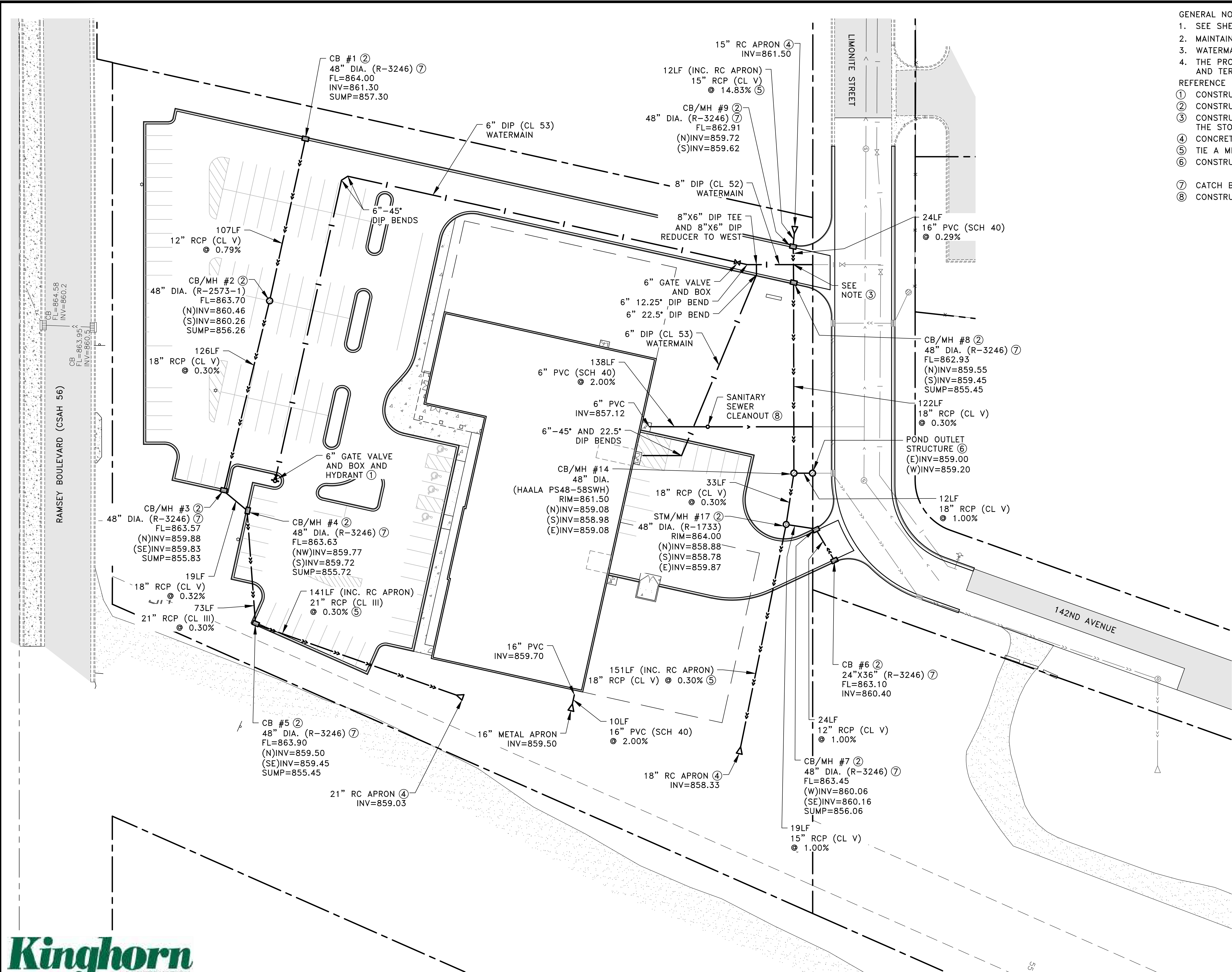
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JAM HOPS

GRADING, DRAINAGE AND SEDIMENT CONTROL PLAN
 CITY OF RAMSEY, MINNESOTA

SHEET C8 OF C12 SHEETS
 3395.21

- GENERAL NOTES:
- SEE SHEETS C10 AND C11 FOR LIMONITE STREET AND UTILITY CONSTRUCTION PLANS.
 - MAINTAIN A MINIMUM OF 7.5' OF COVER OVER WATERMAIN.
 - WATERMAIN JOINT CONSTRUCTION SHALL BE PER CITY PLATE NO. WAT-4.
 - THE PROPOSED SANITARY SEWER SERVICE SHALL INCLUDE TRACER WIRE. GROUNDING AND TERMINATION OF TRACER WIRE SHALL MEET CITY REQUIREMENTS.
- REFERENCE NOTES:
- CONSTRUCT HYDRANT AND VALVE PER CITY PLATE NO. WAT-1.
 - CONSTRUCT STRUCTURE PER CITY PLATE NO. STO-1.
 - CONSTRUCT WATERMAIN SUCH THAT THERE ARE NO PIPE JOINTS WITHIN 10 FEET OF THE STORM SEWER CROSSING.
 - CONCRETE APRON SHALL INCLUDE A TRASH GUARD PER CITY PLATE NO. STO-8.
 - TIE A MINIMUM OF THREE PIPE JOINTS UPSTREAM OF THE CONCRETE APRON.
 - CONSTRUCT STRUCTURE PER (C3).
 - CATCH BASIN CASTING DETAILS ARE SHOWN ON CITY PLATE NO. STO-4.
 - CONSTRUCT SANITARY SEWER CLEANOUT PER (C3).



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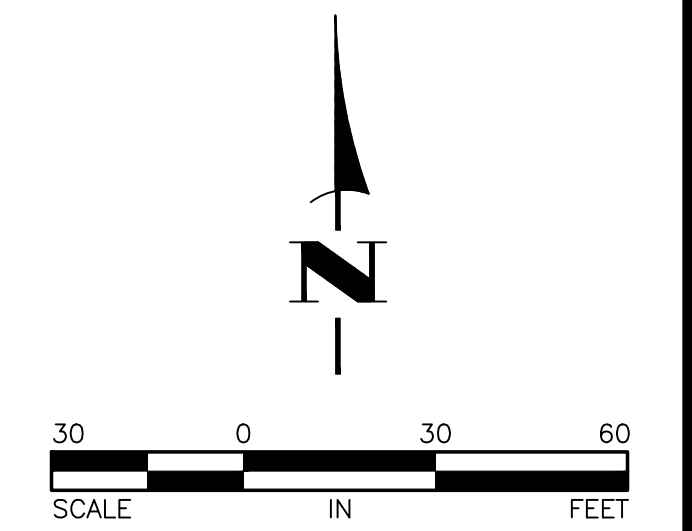
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| | |
|---------------------------|---------------|
| UTILITY PLAN | SHEET C9 |
| CITY OF RAMSEY, MINNESOTA | OF C12 SHEETS |



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TIMOTHY A. EGGERICHS, P.E.
 Date 7/17/23 Lic. No. 43362

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TAE

DRAWN BY:
TAE

CHECKED BY:
CJJ



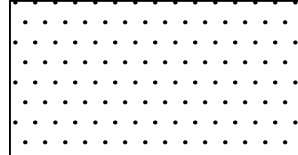

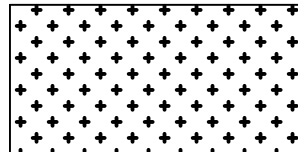
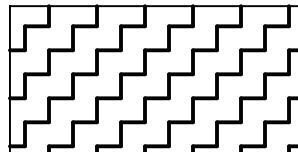
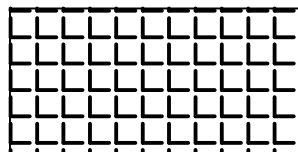
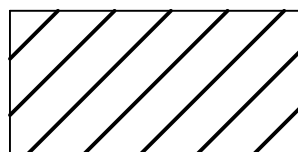
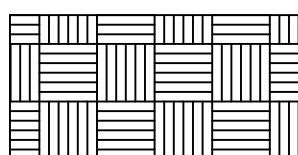
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RESTORATION AND PAVING PLAN
 CITY OF RAMSEY, MINNESOTA

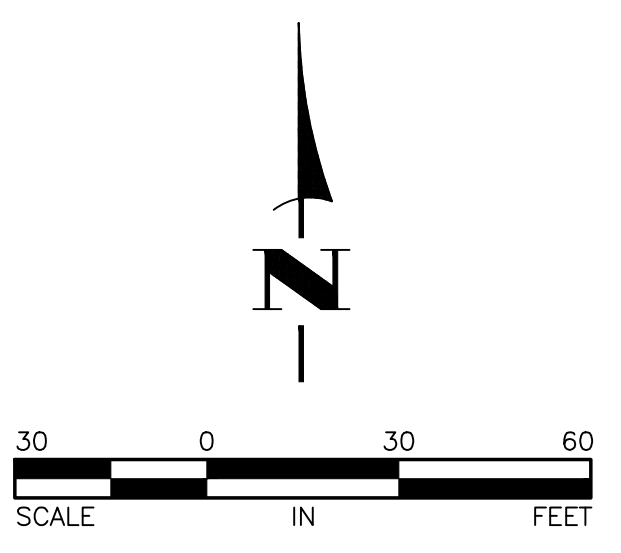
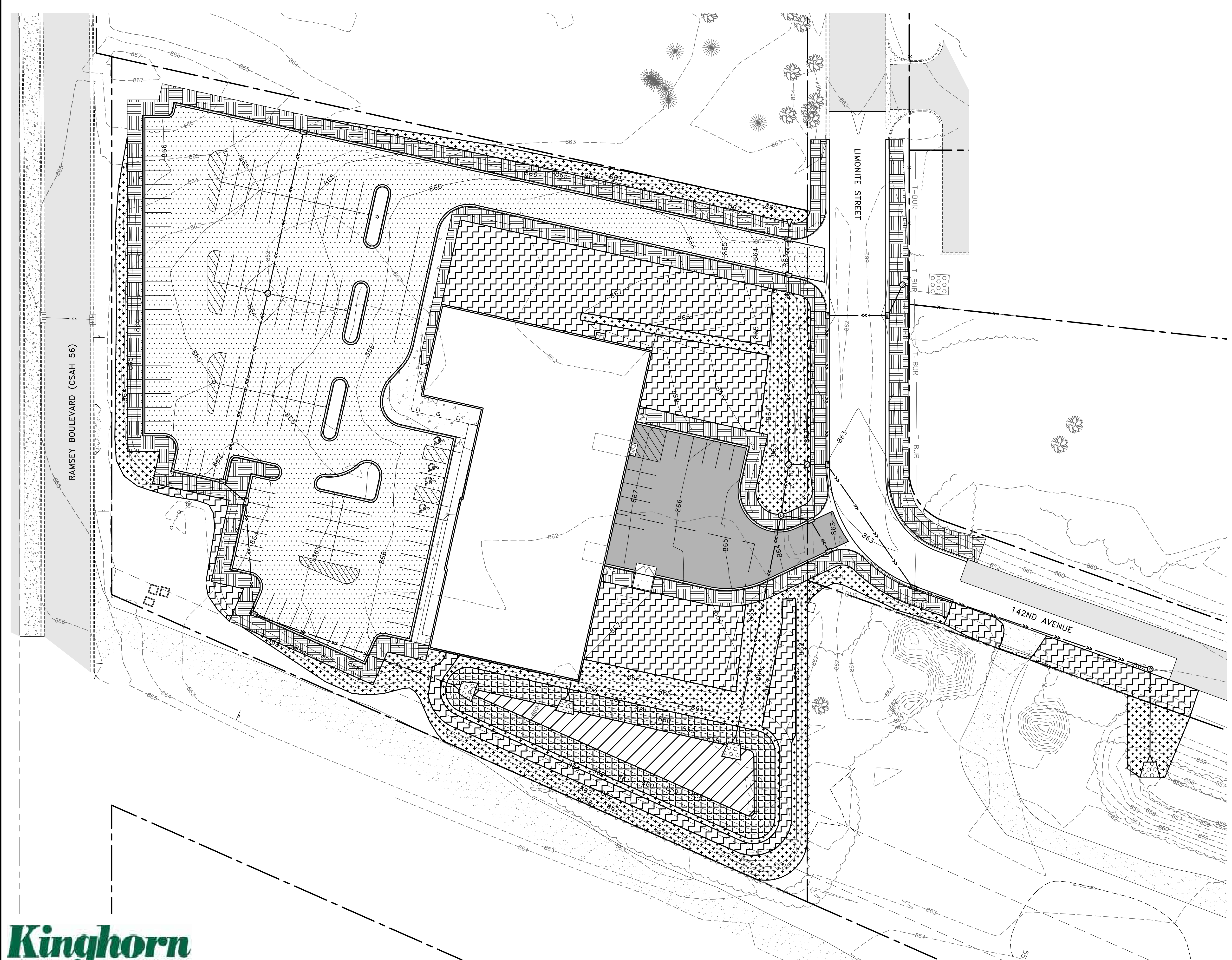
SHEET
C10
OF
C12
SHEETS

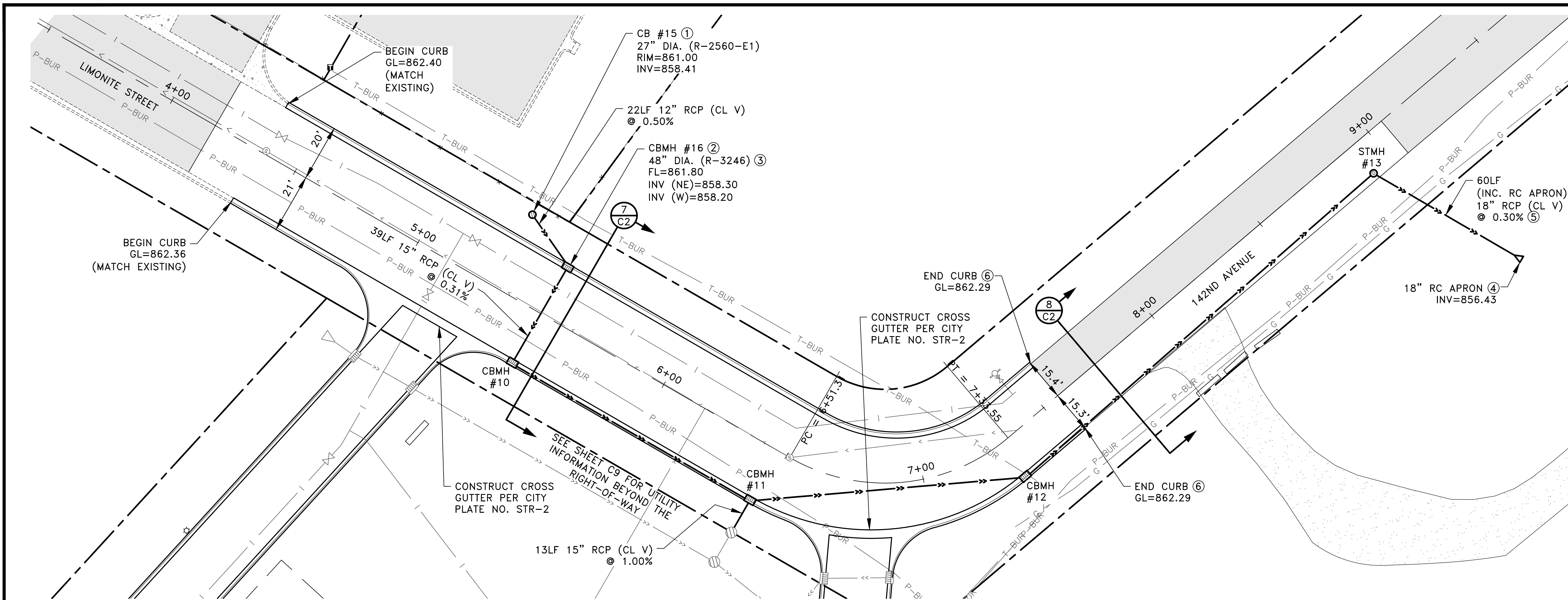
LEGEND

-  PROPOSED LIGHT DUTY BITUMINOUS PAVEMENT PER (1) (C2)
-  PROPOSED HEAVY DUTY BITUMINOUS PAVEMENT PER (2) (C2)
-  SEED MIX 25-131 (220 POUNDS/ACRE)
ROLLED EROSION PREVENTION CATEGORY 20
TYPE 1 FERTILIZER (300 POUNDS/ACRE)
-  SEED MIX 25-131 (220 POUNDS/ACRE)
HYDRAULIC MULCH MATRIX (2500 POUNDS/ACRE)
TYPE 1 FERTILIZER (300 POUNDS/ACRE)
-  SEED MIX 33-261 (35 POUNDS/ACRE)
ROLLED EROSION PREVENTION CATEGORY 20
TYPE 1 FERTILIZER (300 POUNDS/ACRE)
-  SEED MIX 33-261 (35 POUNDS/ACRE)
HYDRAULIC MULCH MATRIX (2500 POUNDS/ACRE)
TYPE 1 FERTILIZER (300 POUNDS/ACRE)
-  SOD
TYPE 1 FERTILIZER (300 POUNDS/ACRE)

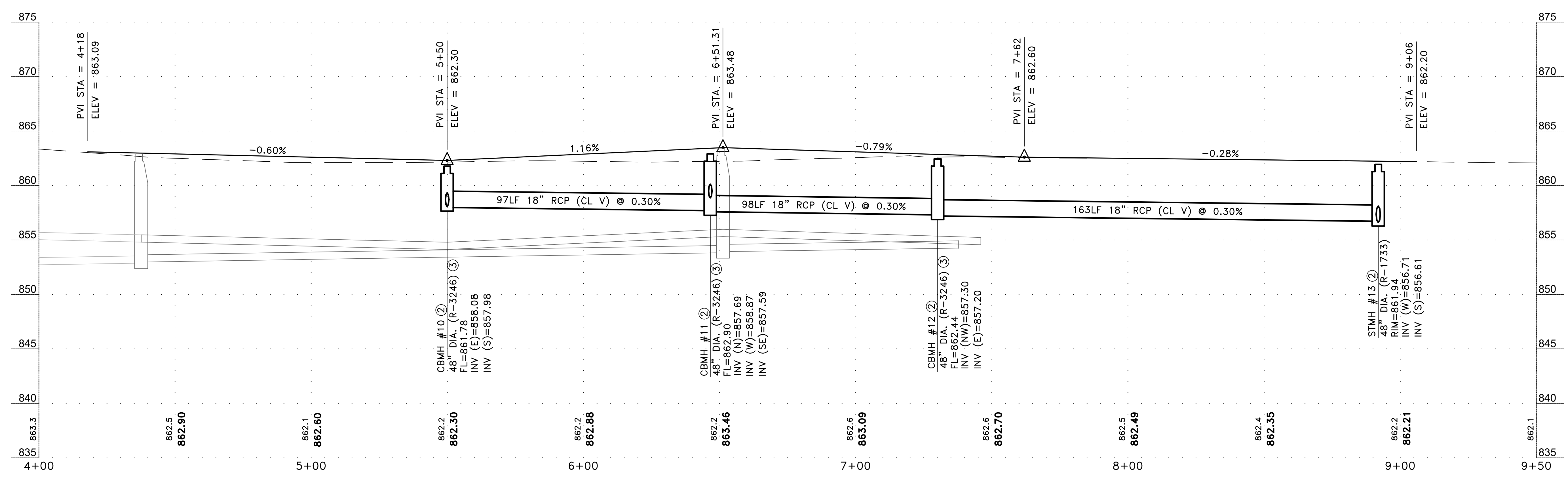
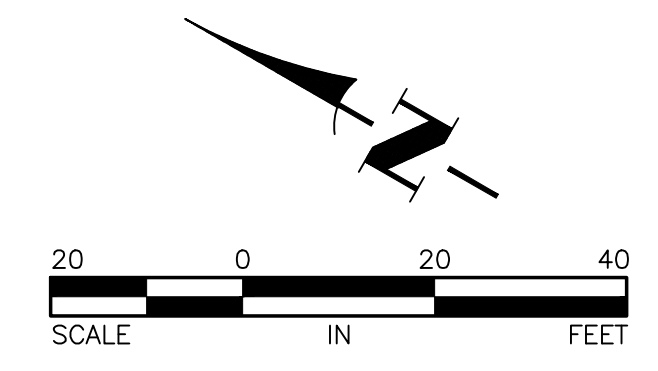
GENERAL NOTES:

1. PLACE A MINIMUM OF 4" OF TOPSOIL OVER ALL DISTURBED AREAS OUTSIDE THE PROPOSED PARKING LOT AND INFILTRATION AREA. TOPSOIL SHALL NOT CONTAIN MORE THAN 35% SAND CONTENT. SEE (5) (C2) FOR INFILTRATION BASIN TOPSOIL REQUIREMENTS.





- GENERAL NOTES:**
- CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN FOR THE WORK IN LIMONITE STREET AND 142ND AVENUE. PLAN SHALL BE SUBMITTED TO THE CITY OF RAMSEY A MINIMUM OF 7 DAYS PRIOR TO CONSTRUCTION.
 - SITE IMPROVEMENTS ARE PLANNED FOR THE PROPERTY NORTH OF THE JAM HOPS SITE. CONTRACTOR SHALL COORDINATE THE LIMONITE STREET UTILITY CONSTRUCTION WITH THE PROJECT TO THE NORTH.
- REFERENCE NOTES:**
- CONSTRUCT STRUCTURE PER CITY PLATE NO. STO-2.
 - CONSTRUCT STRUCTURE PER CITY PLATE NO. STO-1.
 - CATCH BASIN CASTING DETAILS ARE SHOWN ON CITY PLATE NO. STO-4.
 - CONCRETE APRON SHALL INCLUDE A TRASH GUARD PER CITY PLATE NO. STO-8.
 - TIE A MINIMUM OF THREE PIPE JOINTS UPSTREAM OF THE CONCRETE APRON.
 - TAPER BACK OF CURB FROM 6" HEIGHT TO 0" HEIGHT. BEGIN TAPER 3' FROM THE END OF THE CURB.



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Timothy A. Eggen
 TIMOTHY A. EGGEN, P.E.
 Date 7/17/23 Lic. No. 43362

DESIGNED BY: TAE
 DRAWN BY: TAE
 CHECKED BY: CJJ



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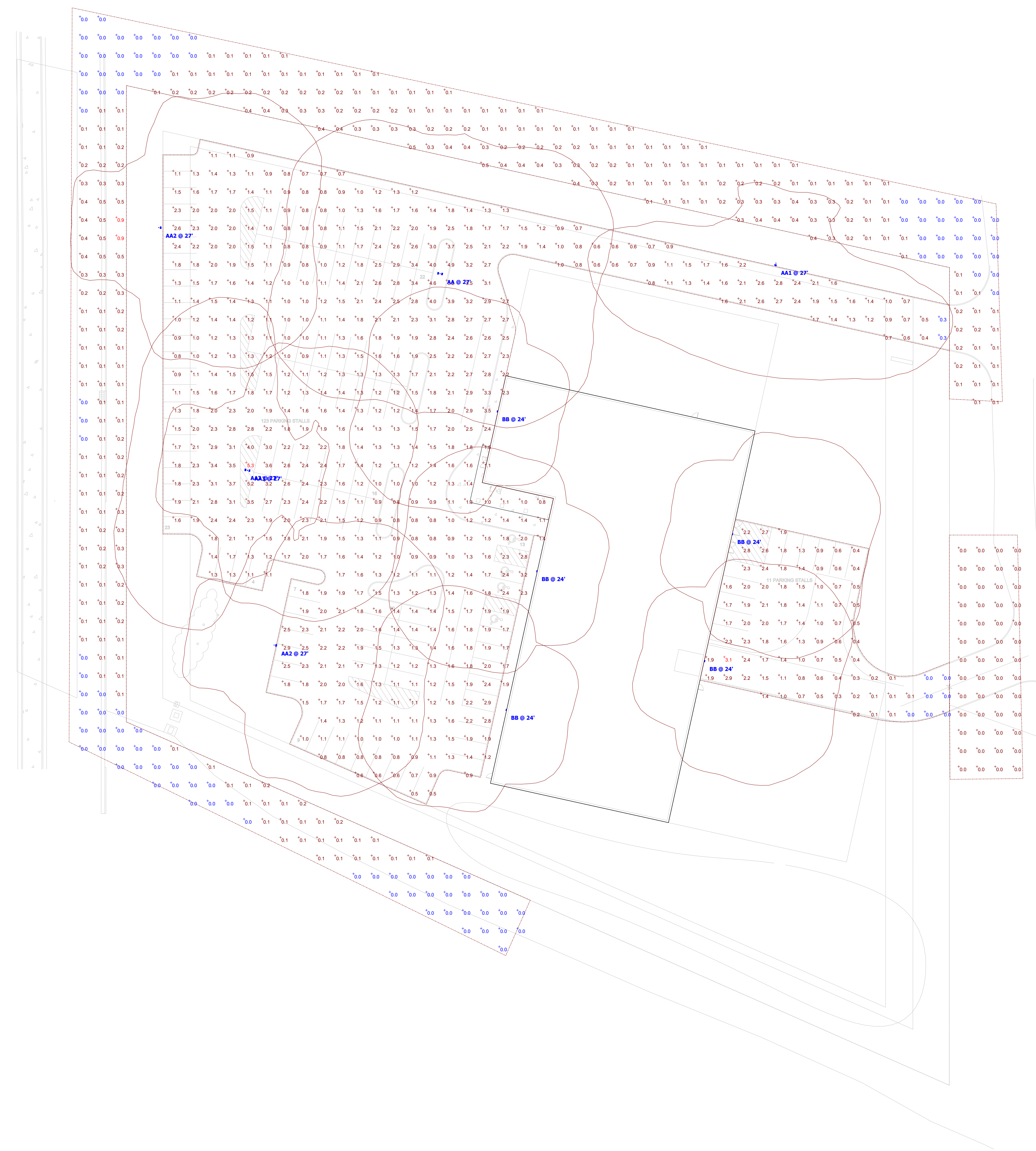
JAM HOPS

**STREET AND STORM SEWER
 CONSTRUCTION PLAN**
 LIMONITE STREET AND 142ND AVENUE
 CITY OF RAMSEY, MINNESOTA

SHEET C12 OF C12 SHEETS

| Symbol | Description | Quantity | Unit | Notes |
|--------|-------------|----------|------|-------|
| AA | AA1 | 1 | ft | |
| AA | AA2 | 1 | ft | |
| AA | AA3 | 1 | ft | |
| AA | AA4 | 1 | ft | |
| BB | BB1 | 1 | ft | |

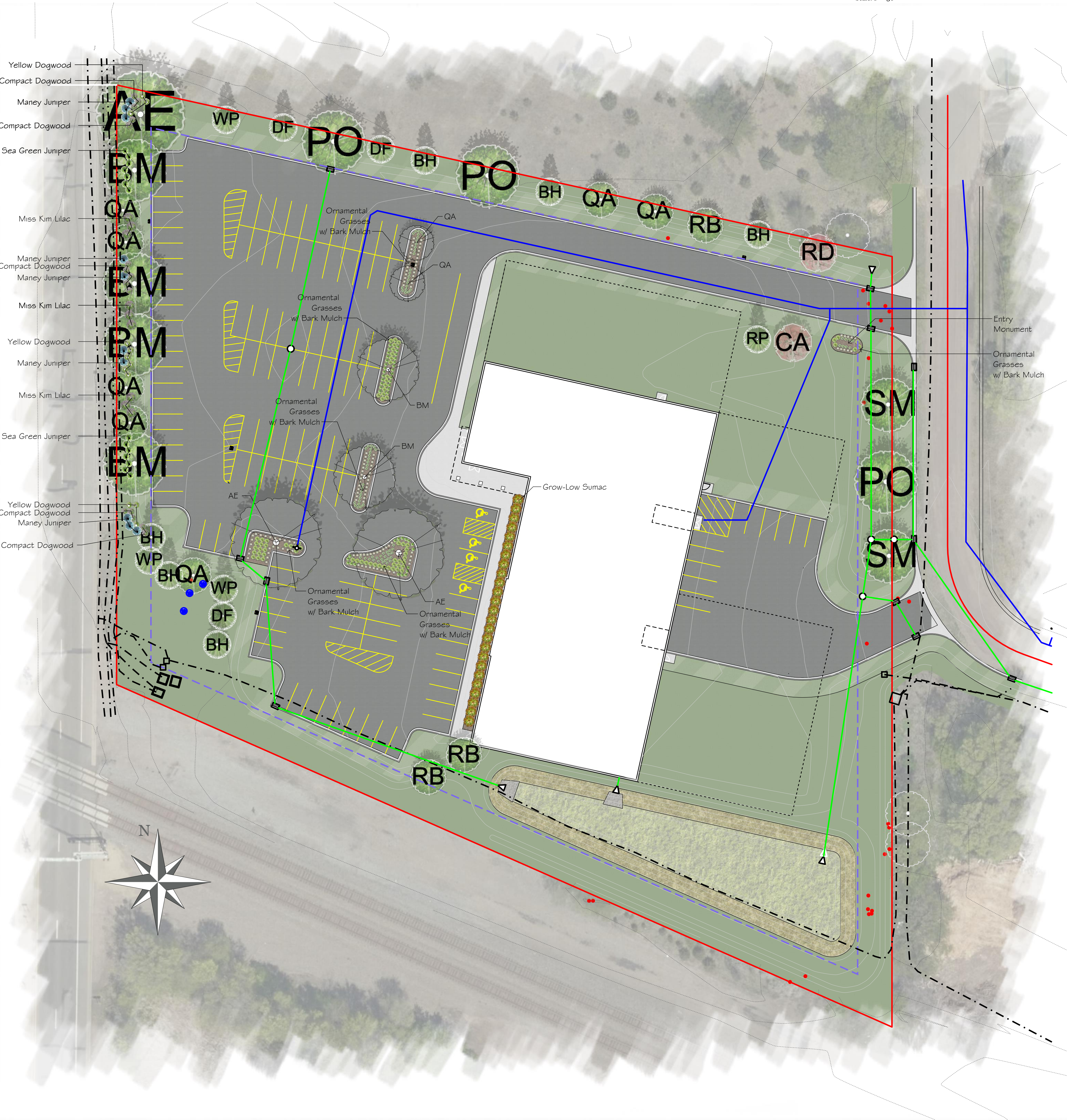
| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
|----------------|--------|--------|--------|--------|---------|---------|
| Parking Lot | + | 1.2 fc | 3.1 fc | 0.0 fc | N/A | N/A |
| Light Trespass | + | 0.0 fc | 0.0 fc | 0.0 fc | N/A | N/A |
| Light Trespass | + | 0.1 fc | 0.9 fc | 0.0 fc | N/A | N/A |
| Parking Lot | + | 1.7 fc | 5.3 fc | 0.3 fc | 17.7:1 | 5.7:1 |



Plan View
Scale - 1" = 30ft

Jam Hops
Ramsey, MN

Scale: 1" = 30'



| PLANTING SCHEDULE | | | | | |
|-------------------|---|---------|----------|----------|------------|
| OVERSTORY TREES | | Cont | Sqft | Quantity | Total Sqft |
| BM | Black Maple / <i>Acer niropum</i> | 2.5' BB | 1,535 | 6 | 9210 |
| SM | Sugar Maple / <i>Acer saccharum</i> | 2.5' BB | 982 | 2 | 1964 |
| RB | River Birch / <i>Betula nigra</i> | 2.5' BB | 415 | 3 | 1245 |
| QA | Quaking Aspen / <i>Populus tremuloides</i> | 2.5' BB | 246 | 9 | 2214 |
| PO | Northern Pin Oak / <i>Quercus ellipsoidalis</i> | 2.5' BB | 1,535 | 3 | 4605 |
| AE | American Elm / <i>Ulmus americana</i> | 2.5' BB | 3,910 | 2 | 7820 |
| HK | Bitternut Hickory / <i>Carya cordiformis</i> | 2.5' BB | 3,008 | | 0 |
| EVERGREEN TREES | | Cont | Sqft | Quantity | Total Sqft |
| NS | Norway Spruce / <i>Picea abies</i> | 6' BB | 629 | 1 | 629 |
| WS | White Spruce / <i>Picea glauca</i> | 6' BB | 450 | 2 | 900 |
| BH | Black Hills Spruce / <i>Picea glauca densata</i> | 6' BB | 386 | 6 | 2316 |
| WP | White Pine / <i>Pinus strobus</i> | 6' BB | 1,995 | 3 | 5985 |
| DF | Douglas Fir / <i>Pseudotsuga menziesii</i> | 6' BB | 354 | 3 | 1062 |
| RP | Red Pine / <i>Pinus resinosa</i> | 6' BB | 1,535 | 1 | 1535 |
| UNDERSTORY TREES | | Cont | Sqft | Quantity | Total Sqft |
| RD | Redbud / <i>Cercis canadensis</i> | 1.5' BB | 297 | 1 | 297 |
| CA | Crabapple / <i>Malus "Praine Rose"</i> | 1.5' BB | 157 | 1 | 157 |
| SHRUBS | | Cont | Sqft | Quantity | Total Sqft |
| | Red Dogwood / <i>Cornus sericea "Bailadeline"</i> | 5 Gal | 32 | 15 | 480 |
| | Yellow Dogwood / <i>Cornus alba "Bud's Yellow"</i> | 5 Gal | 32 | 12 | 384 |
| | Miss Kim Lilac / <i>Syringa meyeri "Palibr"</i> | 5 Gal | 61 | 9 | 549 |
| | Grow Low Sumac / <i>Rhus aromatica "Gro-Low"</i> | 5 Gal | 19 | 24 | 456 |
| | Maney Juniper / <i>Juniperus chinensis "Maney"</i> | 5 Gal | 12 | 11 | 132 |
| | Sea Green Juniper / <i>Juniperus chinensis "Sea Green"</i> | 5 Gal | 10 | 15 | 150 |
| | | | | Total 5F | 42090 |
| GRASSES | | Cont | Quantity | | |
| | Karl Foerster / <i>Calamagrostis x acutiflora "Karl Foerster"</i> | 1 Gal | 67 | | |
| | Big Bluestem / <i>Andropogon "Red October"</i> | 1 Gal | 80 | | |
| | Praine Dropseed / <i>S. heterolepis</i> | 1 Gal | 43 | | |
| | Lilly Turf / <i>Linope Spicata</i> | 1 Gal | 117 | | |

PLANTING NOTES:

- TREES AND SHRUBS SHALL BE FRESHLY DUG AT TIME OF DELIVERY UNLESS CONTAINER GROWN. IF CONTAINER GROWN, PLANTS SHALL BE WATERED EVERYDAY AND KEPT IN A PARTIALLY SHADED AREA UNTIL PLANTED.
- TREES TO BE PLANTED EXCEPT MULTI-STEM TREES SHALL HAVE A SINGLE STRAIGHT LEADER AND TAPERED TRUNK. ALL TREES SHALL BE FREE OF GIRDING ROOTS THAT HAVE ENCRICLED THE TREE. TREES MUST BE IN GOOD HEALTH AND FREE OF DISEASE.
- ALL TREES SHALL HAVE A MINIMUM DEPTH OF 6" HARDWOOD BARK MULCH 6" DIAMETER RING AROUND THE BASE OF THE TREE. KEEP MULCH OFF TREE TRUNK.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS WHICH ARE DEEMED TO BE UNSATISFACTORY BEFORE, DURING OR AFTER INSTALLATION.
- PLANTING HOLES SHALL BE FREE OF WEEDS, ROCKS, SOD, CLAY CLUMPS, CLASS V AND OTHER CONSTRUCTION MATERIALS.
- TOPSOIL FOR BACKFILLING PLANTING HOLES SHALL BE A MIXTURE OF NATIVE AND TOPSOIL AT A RATIO OF 1:1.
- NO PLANTS SHALL BE INSTALLED UNTIL FINAL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.

GENERAL LANDSCAPE NOTES:

- THE CONTRACTOR SHALL INSPECT THE SITE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS RELATING TO THE NATURE AND SCOPE OF THE WORK.
- THE CONTRACTOR SHALL VERIFY PLAN LAYOUT AND BRING TO THE ATTENTION OF THE LANDSCAPE ARCHITECT DISCREPANCIES WHICH MAY COMPROMISE THE DESIGN OR INTENT OF THE LAYOUT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE CODES, REGULATIONS, AND PERMITS GOVERNING THE WORK.
- THE CONTRACTOR SHALL PROTECT EXISTING ROADS, CURBS, GUTTERS, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION. DAMAGE TO SAME SHALL BE REPAIRED AND/OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- VERIFY ALL UTILITIES, INCLUDING IRRIGATION LINES, WITH THE OWNER FOR PROPRIETARY UTILITIES AND GOPHER STATE ONE CALL 48 HOURS BEFORE DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ANY DAMAGES TO SAME. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS TO FACILITATE PLANT RELOCATION.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATION WITH OTHER CONTRACTORS WORKING ON SITE.
- THE CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK.
- THE PLAN TAKES PRECEDENCE OVER THE LANDSCAPE LEGEND IF DISCREPANCIES EXIST. QUANTITIES SHOWN IN THE PLANTING SCHEDULE ARE FOR THE CONTRACTOR'S CONVENIENCE. CONTRACTOR TO VERIFY QUANTITIES SHOWN ON THE PLAN.
- THE SPECIFICATIONS TAKE PRECEDENCE OVER THE PLANTING NOTES AND GENERAL NOTES.
- EXISTING TREES AND SHRUBS TO REMAIN SHALL BE PROTECTED TO THE DRIP LINE FROM ALL CONSTRUCTION TRAFFIC, STORAGE OF MATERIALS ETC. WITH 4" HT. ORANGE PLASTIC SAFETY FENCING ADEQUATELY SUPPORTED BY STEEL FENCE POSTS 6" O.C. MAXIMUM SPACING.
- LONG-TERM STORAGE OF MATERIALS OR SUPPLIES ON-SITE WILL NOT BE ALLOWED.
- CONTRACTOR SHALL REQUEST IN WRITING, A FINAL ACCEPTANCE INSPECTION.
- ALL AREAS DISTURBED THROUGH THE CONSTRUCTION PROCESS NOT OTHERWISE IMPROVED WITH IMPERVIOUS SURFACING SHALL RECEIVE 4 INCHES OF TOPSOIL MEETING THE CITIES SPECIFICATIONS (NO MORE THAN 35% SAND CONTENT)
- IRRIGATION SYSTEM(S) MUST BE EQUIPPED WITH A RAIN SENSOR AND SOME FORM OF WATER EFFICIENT TECHNOLOGY, SUCH AS A WEATHER COMPENSATING SMART CONTROLLER.
- SPECIES SUBSTITUTIONS REQUIRE APPROVAL OF CITY PRIOR TO INSTALLATION. CHANGING OF SPECIES MAY REQUIRE THAT MORE TREES NEED BE PLANTED DUE CHOSEN SPECIES NOT MATCH PROPOSED SQUARE FOOTAGE OF PROPOSED TREE

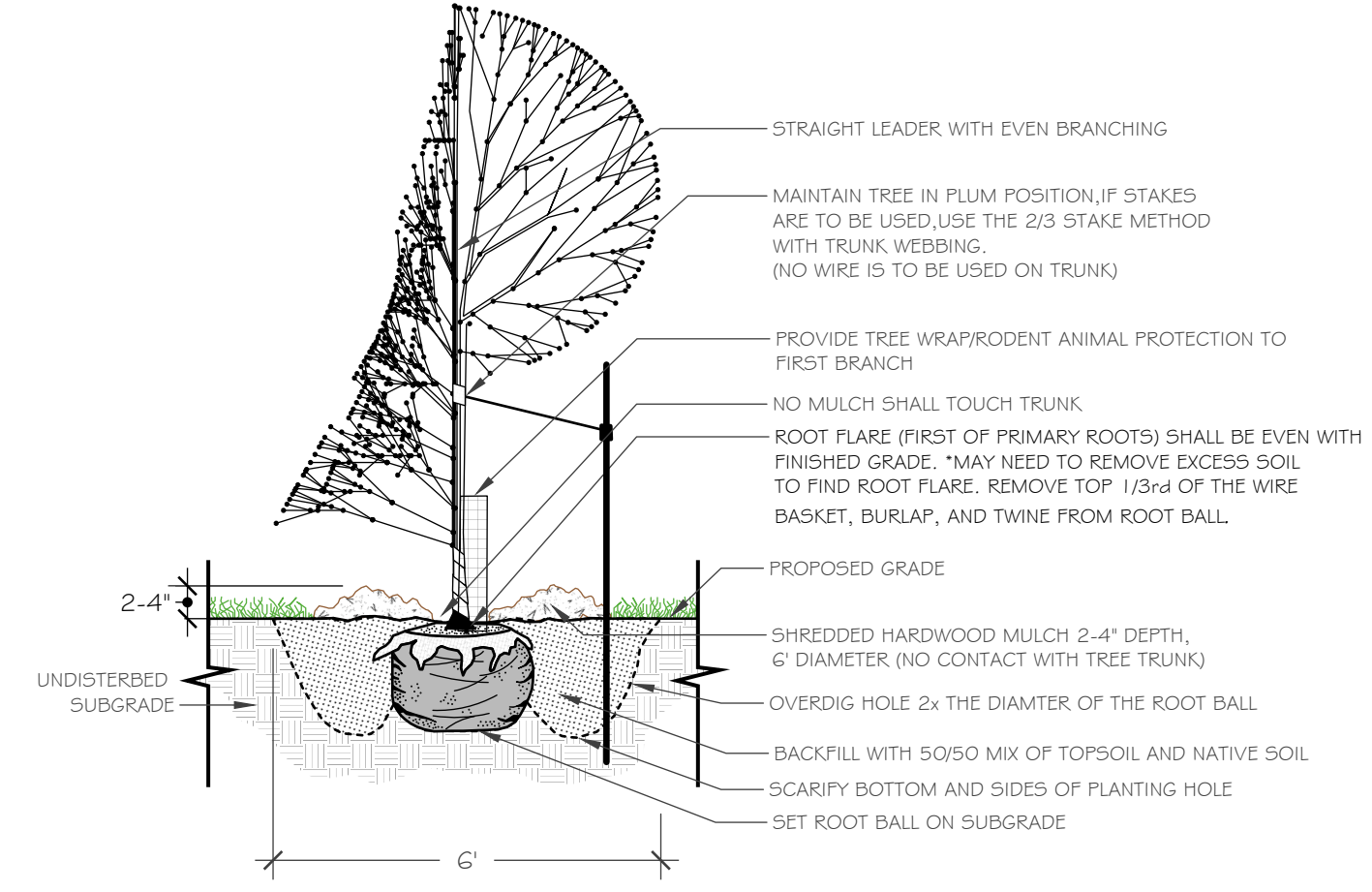
LANDSCAPE REQUIREMENTS

SITE TOTAL: 180,011 SF
 IMPERVIOUS SURFACE: 112,420 SF
 PLANTING CALCULATION:
 112,420 / 180,011 = .62
 180,011 x .62 = 111,607 SF TOTAL
 67,591 x .62 = 41,907 SF TOTAL

LEGEND

- Proposed Existing Removed Trees
- Proposed Existing Saved Trees
- Proposed Tree Plantings
- Seeded Lawn MNDot 25-131 (See Restoration Plan for Spec.)
- Sodded Lawn (See Restoration Plan for Spec.)
- Seeded MNDot 33-261 (See Restoration Plan for Spec.)
- Seeded MNDot 33-261 (See Restoration Plan for Spec.)
- Double Shredded Bark Mulch

TYPICAL TREE PLANTING DETAIL NOT TO SCALE



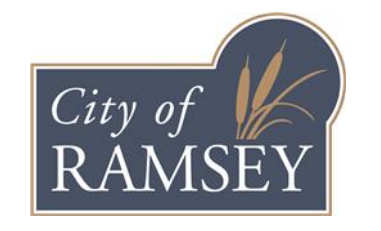
Landscape Architect:



Client:



Project Location:



Certification:

I hereby certify that this plan, plan set or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

Kevin Hops Registration #: 20144
 Date: 08.07.2023

Copyright:

THIS PLAN SET AND THE CONCEPTS REPRESENTED HEREIN ARE THE PROPERTY OF KLENZ LANDSCAPE & SITE DESIGN. CHANGES TO OR USE OF THIS PLAN SHALL REQUIRE PRIOR WRITTEN APPROVAL BY KLENZ LANDSCAPE & SITE DESIGN.

LANDSCAPE PLAN

JAM HOPS

Drawn By: MK Checked By: KN

Original Issue Date: 07.12.2023 Reissue Date: 08.07.2023

| # | By | Date | Plan | Remarks |
|----|----|--------|--------|-------------------------|
| 01 | MK | 230714 | Prelim | Revise per city comment |
| 02 | MK | 230807 | Prelim | Revise per city comment |

Project Number: City Number:

L1 / 1

BUILDING OWNER
JAM HOPS
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 Ham Lake, MN 55304
 Phone: 763-421-2867
 Contact: Brenda Nolby
 Email: bnoibly@jamhops.com

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CIVIL ENGINEER
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 Contact: Tim Eggerichs
 Email: time@HAA-inc.com

COMMERCIAL PLAN REVIEW FOR CODE COMPLIANCE

GENERAL INFORMATION

- A. PROJECT NAME: Jam Hops
- B. PROJECT LOCATION: 14165 Ramsey Blvd NW, Ramsey, Minnesota
- C. ZONING AND LAND USE: E-2 Employment District
- D. LOT SIZE: 4.13 Acres (180,011 s.f.)
- E. LOT COVERAGE: 24,440 s.f./180,011 s.f. = 13.6% < 15%

APPLICABLE CODES:

- A. RAMSEY ZONING ORDINANCE - Current Edition
- B. MINNESOTA STATE BUILDING CODE (MSBC) - 2020 Edition
- C. CHAPTER 1305 - INT'L BUILDING CODE - 2018 Edition
- D. CHAPTER 1311 - INT'L EXISTING BUILDING CODE - 2018 Edition
- E. CHAPTER 1315 - NATIONAL ELECTRIC CODE - 2018 Edition
- F. CHAPTER 1322/23 - INT'L ENERGY CONSERVATION CODE - 2018 Edition
- G. CHAPTER 1341 - MN ACCESSIBILITY CODE - 2020 Edition
- H. CHAPTER 1346 - INT'L MECHANICAL CODE - 2018 Edition
- I. CHAPTER 4714 - UNIFORM PLUMBING CODE - 2020 Edition

BUILDING CLASSIFICATION

- A. OCCUPANCY GROUPS/ TYPE OF CONST (IBC Chpt 3 & IBC Chpt 6)
 - 1. Office - Group B
 - Type of Construction - II-B
 - Area - 4,280 s.f. (Mezzanine)
 - Proposed Height - 35'-9", 1-Story
 - 2. Theater - Group A-1
 - Type of Construction - II-B
 - Area - 1,924 s.f.
 - Proposed Height - 35'-9", 1-Story
 - 3. Gymnasium - Group A-2
 - Type of Construction - II-B
 - Area - 22,516 s.f.
 - Proposed Height - 39'-9", 1-Story
 - 4. Mixed Occupancy (IBC 508)
 - Groups A-1, A-3 & B are Non-Separated Uses
 - 5. Incidental Uses (IBC 509) - None
- B. FIRE-RESISTANCE-RATED CONSTRUCTION
 - 1. Building Elements (IBC Tables 601 & 602)

| Element | Rating |
|----------------------------|---------|
| Structural Frame | 0 Hours |
| Exterior Bearing Walls | 0 Hours |
| Interior Bearing Walls | 0 Hours |
| Exterior Non-Bearing Walls | 0 Hours |
| Interior Non-Bearing Walls | 0 Hours |
| Floor Construction | 0 Hours |
| Roof Construction | 0 Hours |
 - 2. Exterior Wall Openings (IBC Table 705.8)
 - Separation Distance Greater Than 30 Feet

| Classification | Area of Opening |
|----------------|-----------------|
| Unprotected | No Limit |
| Protected | No Limit |
 - 3. Fire Walls (IBC 706) - Not Required
 - 4. Fire Barriers (IBC 707) - Not Required
 - 5. Fire Partitions (IBC 708) - Not Required
- C. ROOF AND INTERIOR FINISH REQUIREMENTS
 - 1. Minimum Wall and Ceiling Finish Requirement (IBC Table 803.13)

| Building Component | Finish Class |
|---------------------------------------|---|
| Vertical Exits/Exit Passageways | Class B |
| Exit Access Corridors/Other Exit ways | Class B - Group A-1, A-2 Class C - Group B |
| Rooms and Enclosed Spaces | Class C |
 - 2. Minimum Roof Covering Classification (IBC Table 1505.1) = Class C
 - (Contractor To Provide Class A Roof Assembly)

AUTOMATIC SPRINKLER REQUIREMENTS

- A. AN NFPA 13 AUTOMATIC SPRINKLER SYSTEM IS PROVIDED THROUGHOUT THE BUILDING (IBC 903.3.1.1)
 - 1. Required Location(s) (IBC 903.2)
 - Throughout The Building When The Fire Area Containing Group A-2 Exceeds 5,000 s.f., Has An Occupant Load Of 100 Or More, Or Is Located On A Floor Other Than The Level Of Exit Discharge

ALLOWABLE HEIGHT, ALLOWABLE AREA

- A. ALLOWABLE HEIGHT (IBC Table 504.3/504.4)
 - 1. Groups A-1 And A-3 Are Equally More Restrictive Than Group B
 - 2. Group A-2 & A-3, Type II-B
 - Sprinklered: 75'-0", 3 Stories
 - 3. Height Check
 - 1 Story < 3 Stories
 - 39'-9" < 75'-0"
- B. ALLOWABLE AREA (IBC Table 506.2)
 - 1. Groups A-1 Is More Restrictive Than Groups A-3 And B
 - 2. Group A-1, Type II-B
 - Tabular Area = 34,000 s.f.
 - Frontage Increase (IBC 506.3)

$$R_{FC} \left(\frac{720'-0"}{720'-0"} - .25 \right) \times \frac{30'}{30'} = 6,375 \text{ s.f.}$$
 - Multi-Story Increase (IBC 506.4)

$$40,375 \times 1 = 40,375 \text{ s.f.}$$
 - Whole Building = 40,375 s.f.
 - 3. Area Check
 - Whole Building Area Check
 - 24,440/40,375 = 60.5% < 100%

MEANS OF EGRESS

- A. DESIGN OCCUPANT LOAD (IBC Chpt 1004)
 - 1. Main Floor: 613 Occupants
 - 2. Mezzanine: 19 Occupants
 - 3. Total Occupants: 632
- B. EXIT/EXIT ACCESS
 - 1. Number Required (IBC Table 1006.2.1, 1006.3.2) = 3
 - 2. Number of Accessible Required (IBC 1009) = 2
 - 3. Arrangement (IBC 1007)
 - Not Less Than 1/3 Overall Diagonal (Sprinklered Building)
 - 4. Travel Distance Maximums
 - Exit Access (IBC 1017) = 250'
 - Common Path of Egress (IBC 1006.2.1) = 75'
 - Dead Ends (IBC 1020.4) = 20'
 - 5. Sizing (The Greater of Two Conflicting Widths Shall Be Used)
 - Design Egress Sizing (IBC 1005.3)
 - Stairways (Occ Load x .3) = 5.7" (Mezz.)
 - Other Components (Occ Load x .2) = 126.4"
 - Stairways (IBC 1011.2) = 36" (Mezz.)
 - Corridors (IBC 1020.2) = 44"
 - Exit Passageways (IBC 1024.2) = 44"
 - Exit Doors (IBC 1010.1.1) = 32" Min Clear
 - 48" Max Nom
 - 6. Doors
 - Swing (IBC 1010.1.2.1)
 - Side Hinged Swinging Out At Occupant Load Of 50 Or More
 - Landings (IBC 1010.1.6)
 - Width Not Less Than Width of Door Or Stairway
 - Length in Direction of Travel Not Less Than 44"
 - Thresholds (IBC 1010.1.7)
 - Max Height = 1/2" - 1.2 Beveled Edge If 1/4"-1/2"
 - Door Arrangement (IBC 1010.1.8) 48" + Door Width Apart
 - Lock or Latch (IBC 1010.1.9)
 - Operable From Egress Side Without Use of Knowledge or Keys
 - Manually Operated Flush Bolts Permitted on Inactive Leaf
 - Panic/Fire Exit Hardware (IBC 1010.1.10) Required At Exit/Exit Access Doors
- C. SAFETY GLAZING (IBC 2406)
 - 1. Safety Glazing Shall Be Installed In Hazardous Locations As Specified In IBC 2406.4
- D. RECYCLING SPACE (MSBC 1303.1500)
 - 1. .001 x 28,680 s.f. = 29 s.f. Required
- E. FIRE ALARM AND DETECTION SYSTEMS
 - 1. Fire Alarm And Detection System Not Required (IBC 907.2)
 - 2. If Required Provide Audible And Visible Alarm Notification Devices (IBC 907.5, NFPA 72)
- F. PARKING AND MANEUVERING (Ramsey Zoning Ordinance)
 - 1. Owner To Coordinate With City Of Ramsey To Determine Req'd Parking Capacity
 - 2. Stall Size
 - 3. Aisle Size
 - 4. Striping
 - 3. All Drive Aisles And Truck Maneuvering Areas
 - 2" Bituminous Wear Course
 - 2" Bituminous Binder Course
 - 8" Compacted Class 5 Base
 - All Parking Areas
 - 1 1/2" Bituminous Wear Course
 - 1 1/2" Bituminous Binder Course
 - 6" Compacted Class 5 Base
 - Verify With Existing Soil Conditions And Adjust Accordingly

PLUMBING FIXTURES

- A. NUMBER FIXTURES REQUIRED (IBC 2902.1)
 - 1. Group A-1 & A-2 (Theater & Gymnasium)
 - 632 Occupants
 - 316 Male Occupants, 316 Female Occupants
- Table:

| Fixture | Required | |
|--------------------|--------------------|--------------------|
| | Men | Women |
| Water Closets | 316 @ 1/125=2.53=3 | 316 @ 1/65=4.86=5 |
| Urinals | - | - |
| Lavatories | 316 @ 1/200=1.58=2 | 316 @ 1/200=1.58=2 |
| Bathrooms/Showers | - | - |
| Drinking Fountains | 632 @ 1/500=1.26=2 | - |
| Service Sink | 1 | 1 |
- 3. Total Number of Plumbing Fixtures Required

| Fixture | Required | | Provided | |
|--------------------|----------|-------|----------|--------|
| | Men | Women | Men | Unisex |
| Water Closets | 3 | 5 | 1 | 6 |
| Urinals | - | - | - | - |
| Lavatories | 2 | 2 | 1 | 6 |
| Drinking Fountains | 2 | - | 2 | - |
| Service Sink | 1 | - | 1 | - |

- Note: Footnote k. - Urinals May Be Substituted For Up to 2/3 Of Required Water Closets
- B. LOCATION OF FIXTURES (IBC 2902.3.3)
 - Not More Than 1 Story Above Or Below Regular Working Area
 - Travel Distance Less Than 500 Ft
- C. SIGNAGE (IBC 2902.4)
 - A Legible Sign For Each Sex Shall Be Provided Near The Entrance To The Toilet Facility

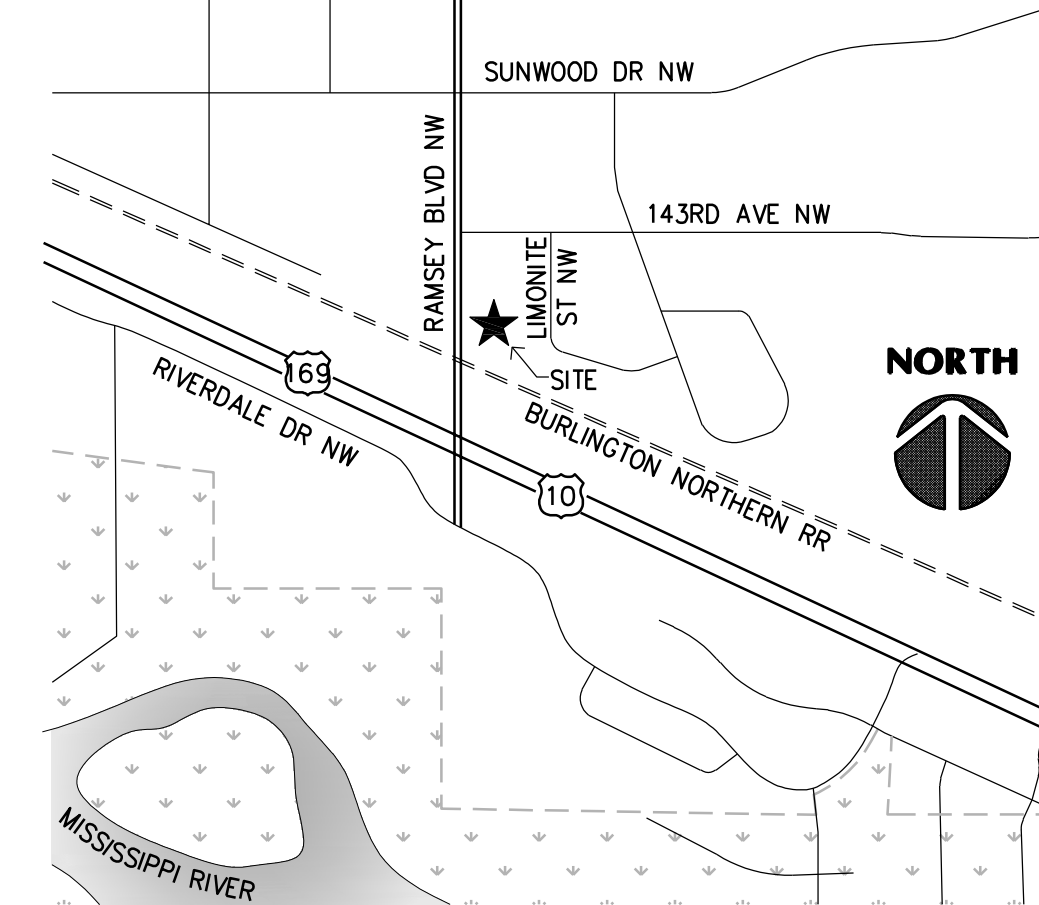
OTHER

- A. ACCESSIBILITY
 - 1. Building is Accessible
- B. GUARDS (IBC 1015)
 - 1. 42" High Minimum Guards Shall Be Installed Where A Change In Levels Drops 30" Or More.
 - 2. 34"-38" High Minimum Guards Shall Be Installed Along An Open Stair In R-3 Occupancies And In Dwelling Units In Group R-2.
- C. ROOF ACCESS (IBC 306.5)
 - 1. 60" Ships Ladder To 8 s.f. roof Hatch (Min Dim 1'-8") Provided - Provide 42" Guard If Opening Is Within 10' Of Roof Edge.
- D. CONCEALED SPACES
 - 1. Floors (IBC 718.3)
 - Draftstops Not Required in Sprinklered Building
 - 2. Attics (IBC 718.4)
 - Draftstops Not Required in Sprinklered Building
- E. VENTILATION
 - 1. Attics (IBC 1202.2)
 - 1 s.f./300 s.f. With Vapor Barrier
 - 2. Under-Floors (IBC 1202.4)
 - Not Required
- G. SAFETY GLAZING (IBC 2406)
 - 1. Safety Glazing Shall Be Installed In Hazardous Locations As Specified In IBC 2406.4
- H. RECYCLING SPACE (MSBC 1303.1500)
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 - 1 1/2" Bituminous Wear Course
 - 1 1/2" Bituminous Binder Course
 - 6" Compacted Class 5 Base
 - Verify With Existing Soil Conditions And Adjust Accordingly

SHEET SCHEDULE

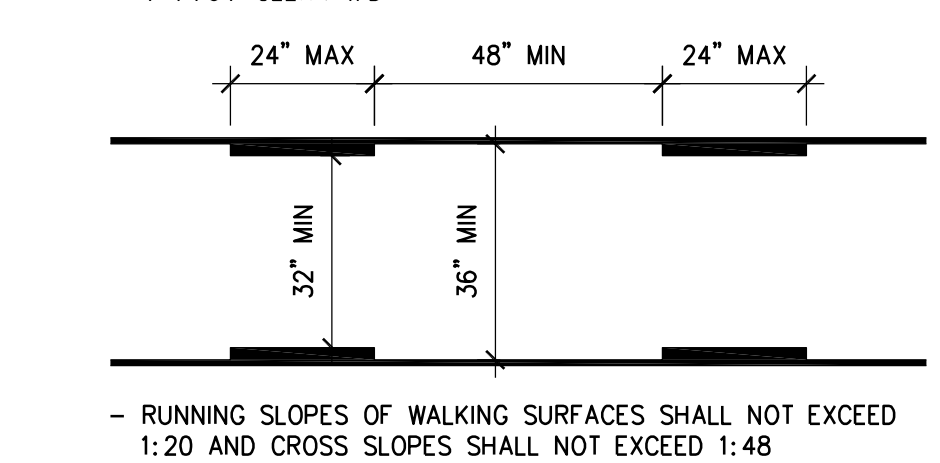
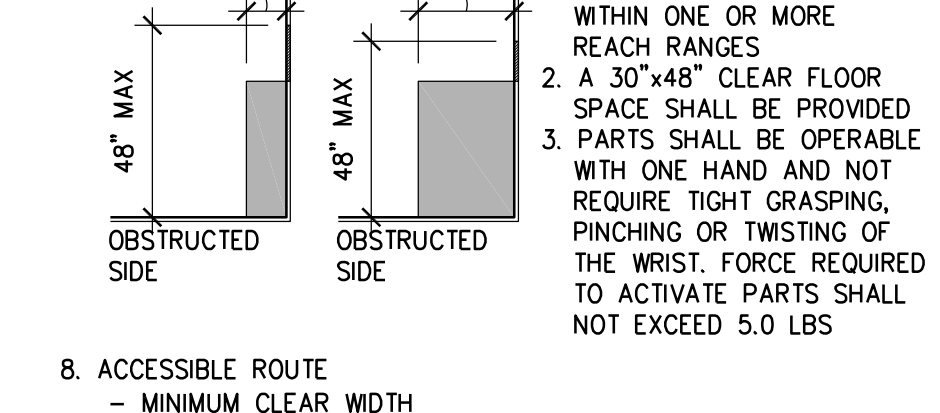
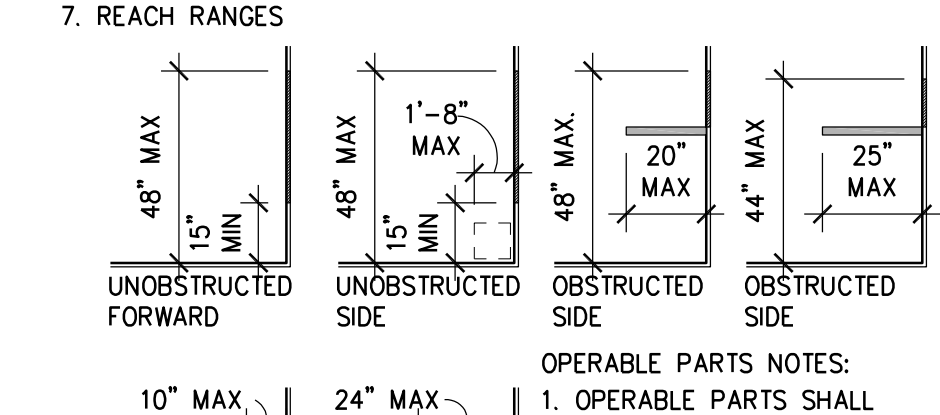
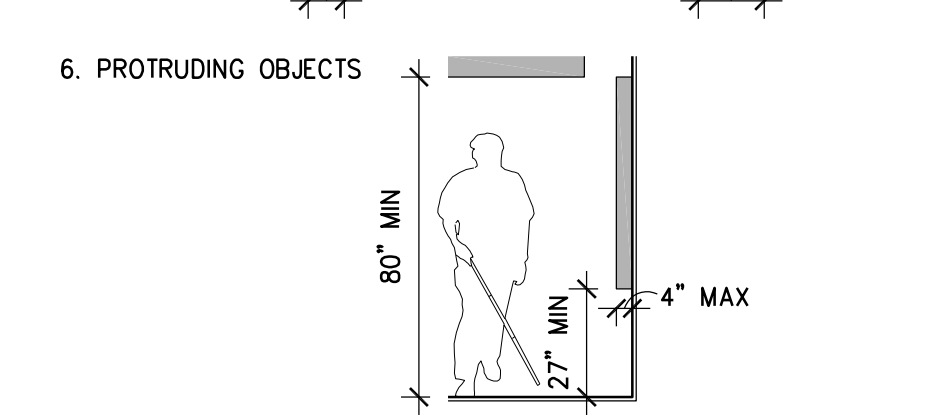
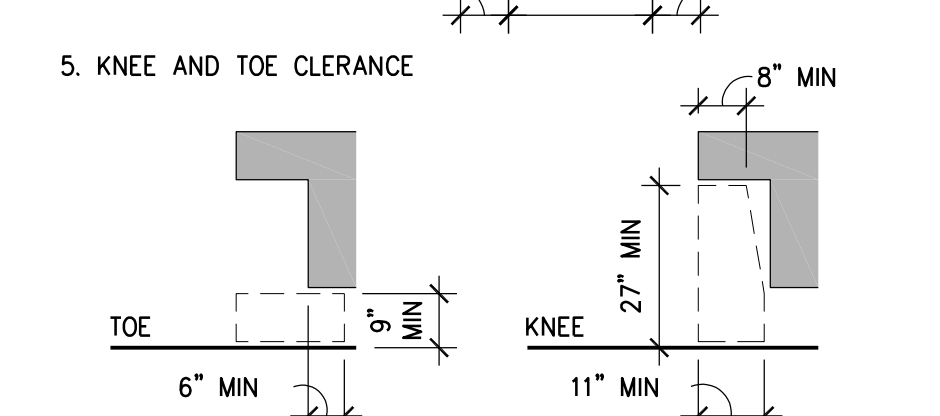
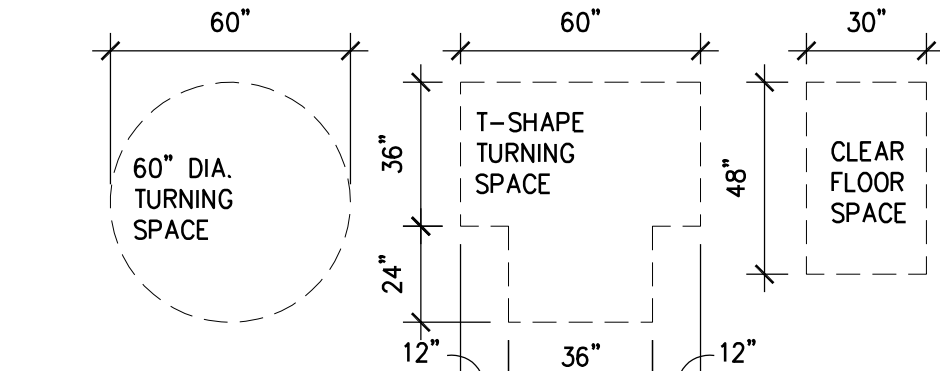
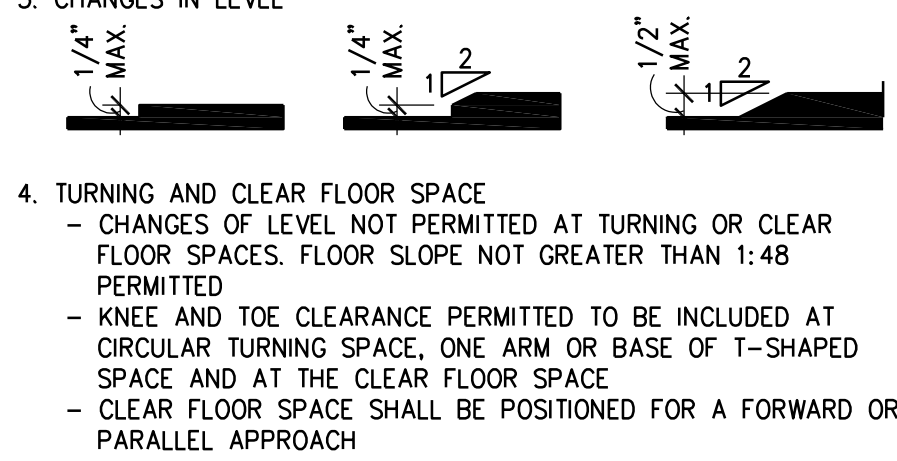
| Sheet | Description |
|-------|---------------------|
| T1 | Title Sheet |
| A1 | Site Plan |
| A2.1 | Floor Plan |
| A2.2 | Mezzanine Plan |
| A3 | Building Elevations |

VICINITY MAP



GENERAL ACCESSIBILITY REQUIREMENTS

- 1. INTERNATIONAL SYMBOL OF ACCESSIBILITY
 - SIGNAGE WITH SYMBOLS OF ACCESSIBILITY SHALL HAVE A NON-GLARE FINISH AND CONTRASTING COLOR BETWEEN SYMBOL AND BACKGROUND
- 2. FLOOR SURFACES (MSBC 303)
 - FLOORS SHALL BE STABLE, FIRM AND SLIP RESISTANT
 - CARPET SHALL BE SECURELY ATTACHED. PAD SHALL BE FIRM IF PROVIDED. PILE MAY BE LEVEL LOOP, TEXTURED LOOP, LEVEL CUT PILE OR LEVEL CUT/UNCUT PILE WITH A MAXIMUM HEIGHT OF 1/2" EXPOSED EDGES ARE TO BE FASTENED TO FLOOR AND PROVIDED WITH TRIM THE ENTIRE LENGTH OF THE EXPOSED EDGE.
- 3. CHANGES IN LEVEL
 - 1/4" MAX. (1/2" MAX. WITH 1/2" MIN. RAMP)
- 4. TURNING AND CLEAR FLOOR SPACE
 - CHANGES OF LEVEL NOT PERMITTED AT TURNING OR CLEAR FLOOR SPACES. FLOOR SLOPE NOT GREATER THAN 1:48 PERMITTED
 - KNEE AND TOE CLEARANCE PERMITTED TO BE INCLUDED AT CIRCULAR TURNING SPACE, ONE ARM OR BASE OF T-SHAPED SPACE AND AT THE CLEAR FLOOR SPACE
 - CLEAR FLOOR SPACE SHALL BE POSITIONED FOR A FORWARD OR PARALLEL APPROACH



ANSI/ASHRAE STANDARD 90.1-2016

GENERAL

- A. Space Conditioning Category (5.1.2)
 - 1. Nonresidential Conditioned Space
- B. Climate (5.1.4)
 - 1. Zone 6 - Southern Minnesota

COMPLIANCE PATH

- A. Prescriptive Building Envelope Option (5.2)

MANDATORY PROVISIONS

- A. Components Of The Building Envelope Shall Comply With Section 5.4
 - 1. Insulation (5.4.1) Shall Comply With Section 5.8.1.1 - 5.8.1.9
 - 2. Fenestration/Door Performance (5.4.2) Shall Comply With Section 5.8.2
 - 3. Air Leakage (5.4.3)
 - The Building Envelope Shall Contain An Air Barrier And Be Sealed At The Following Areas:
 - Joints Around Fenestration And Door Frames
 - Junctions Between Walls and Floors, Walls At Building Corners, Walls and Roofs or Ceilings
 - Penetrations Of Utility Services At Walls, Floors, and Roofs
 - Building Assemblies Used As Ducts Or Plenums
 - Joints, Seams, and Conn. Between Planes Or Changes In Air Barrier Materials
 - Fenestration and Doors - According To 5.4.3.2
 - Loading Dock Weathersels - Required According To 5.4.3.3
 - Vestibules - Required at Building Entrances According To 5.4.3.4

PRESCRIPTIVE REQUIREMENTS

| Building Component | Maximum Assembly | Minimum Insulation | Proposed |
|-----------------------------|---------------------|--------------------|-----------|
| ROOF: Entirely Above Deck | U-0.032 | R-30 (ci) | R-30 (ci) |
| WALLS: Mass | U-0.051 | R-13.3 (ci) | R-28 (ci) |
| S. O. G. FLOORS: Unheated | F-0.510 | R-20 For 24" | R-28 (ci) |
| OPAQUE DOORS: Swinging | U-0.500 | U-0.500 | U-0.20 |
| OPAQUE DOORS: Non-Swinging | U-0.500 | U-0.500 | U-0.147 |
| FENESTRATION: 0-40% Glazing | U-0.420 (0.40 SHGC) | U-0.340 | U-0.340 |

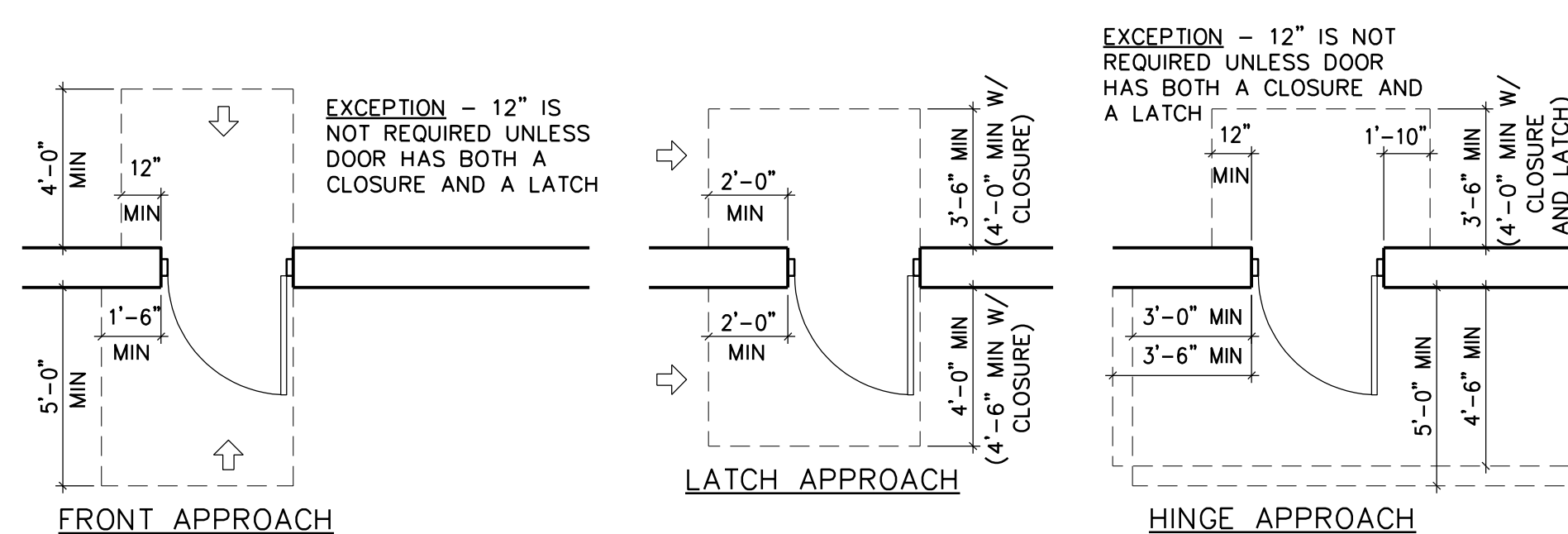
SUBMITTALS

- A. Contractor To Provide Product Submittals If Requested By The Building Official
- PRODUCT INFORMATION AND INSTALL. REQ.**
 - A. Building Components Must Identify R-Values Or U-Values Clearly Labeled On The Product In Accordance With Section 5.8

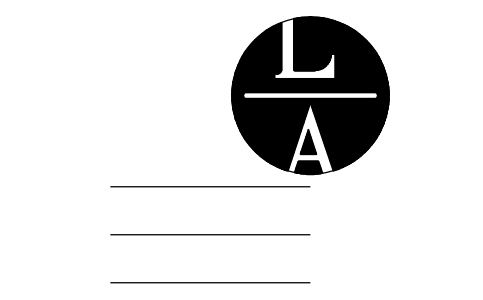
Note: Compliance Is For Building Envelope Only. The Design-Build HVAC and Electrical Designers Must Submit Documentation Proving Compliance With HVAC, Lighting, And Water Heating

NOTE TO ALL DESIGN/BUILD CONTRACTORS AND THEIR SUB-CONTRACTORS:

THE DESIGN/BUILD CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER, OR ANY OTHER DESIGN/BUILD SUB-CONTRACTOR'S DOCUMENTS AS PERTAINING TO THE WORK FOR THIS PROJECT. IT IS THE DESIGN/BUILD SUB-CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE DESIGN/BUILD CONTRACTOR OF ANY CONFLICTS WITH THE ARCHITECTURAL AND STRUCTURAL DOCUMENTS DUE TO SIZES, LOCATIONS, QUANTITIES, ROUGH-IN DIMENSIONS AND CODE INTERPRETATIONS. THE DESIGN/BUILD CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT IMMEDIATELY OF ANY ARCHITECTURAL REVISIONS REQUIRED DUE TO THE COORDINATION OF EACH DESIGN/BUILD SUB-CONTRACTOR'S DOCUMENTS.



1 DOOR CLEARANCES SCALE: 1/4" = 1'-0"



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 St. Paul, MN 55102
 Phone: 763.755.1211 Fax: 763.757.2849
 lampert@lampert-arch.com

ARCHITECT CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRELIMINARY NOT FOR CONSTRUCTION

Kinghorn COMPANY
 GENERAL CONTRACTORS
 21830 Industrial Court
 Rogers, MN 55374
 Tel: 763-428-8088
 Fax: 763-428-8090

JAM HOPS
 Ramsey, Minnesota

Copyright 2023
 Leonard Lampert Architects Inc.
 Project Designer: L. SCHMIDT
 Drawn By:
 Checked By: LL
 Revisions

TITLE SHEET

Sheet Number

T1

Project No. 23051-4

Aug 08, 2023 - 10:02am
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| DATE | REVISION |
|--------|--------------------------------|
| 8/8/23 | PLAN REVISIONS PER CITY REVIEW |
| | |
| | |
| | |
| | |

DESIGNED BY:
TAE
 DRAWN BY:
TAE
 CHECKED BY:
CJJ



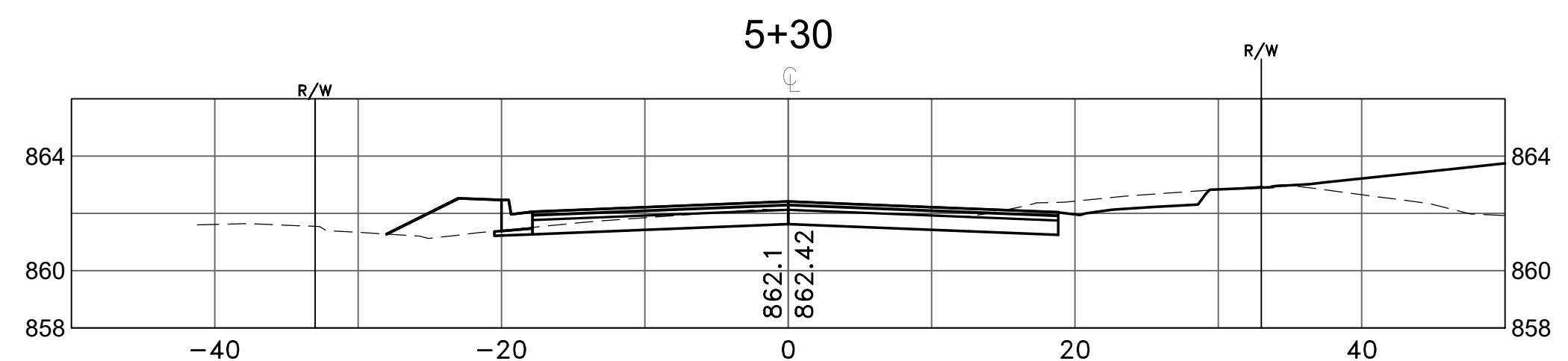
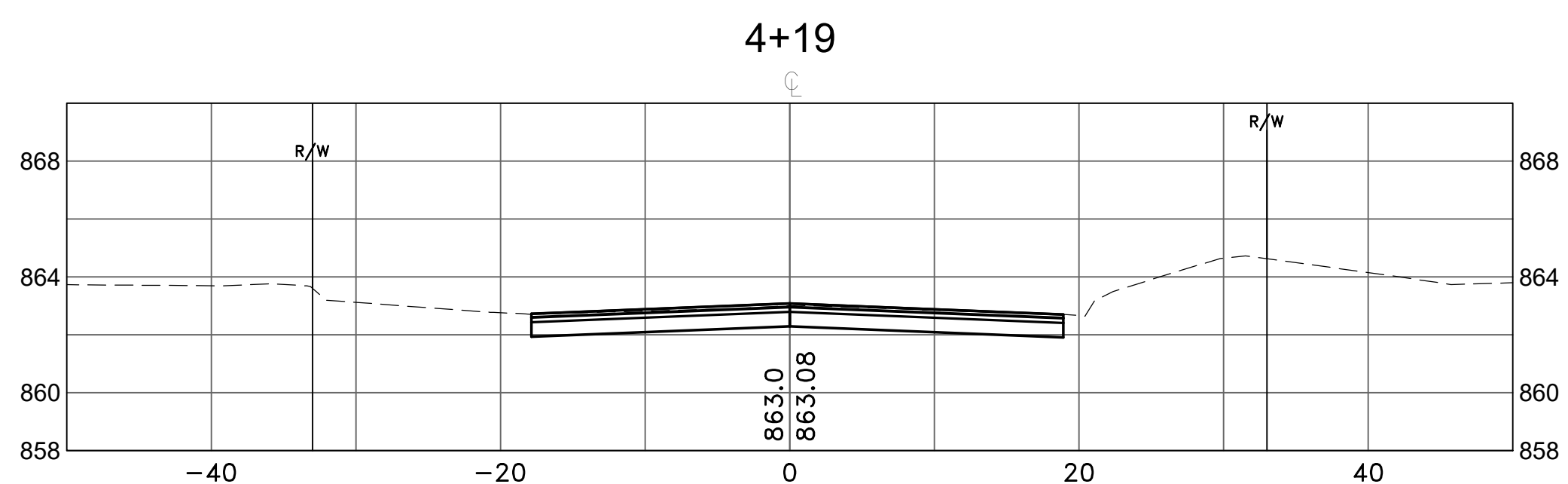
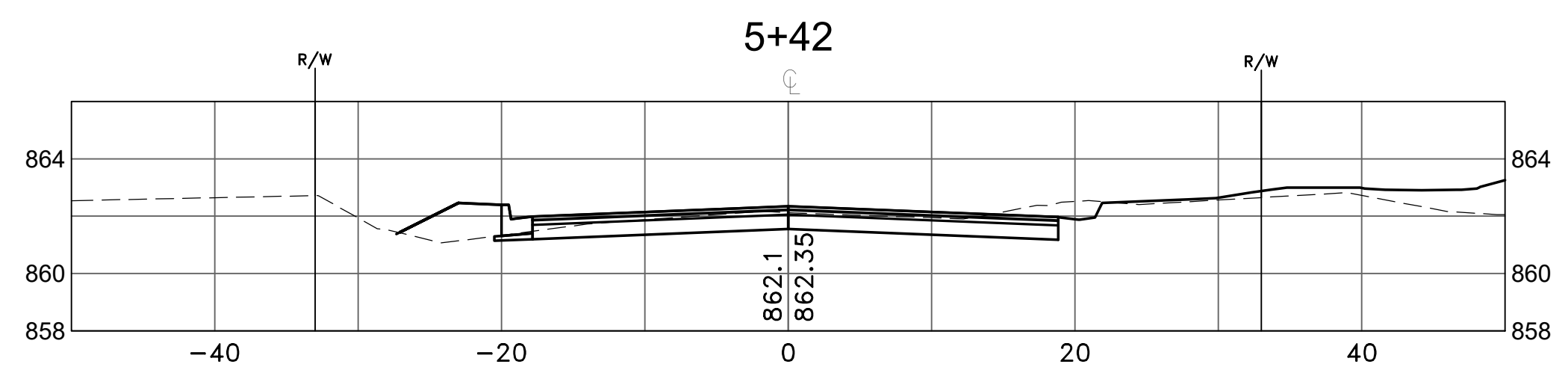
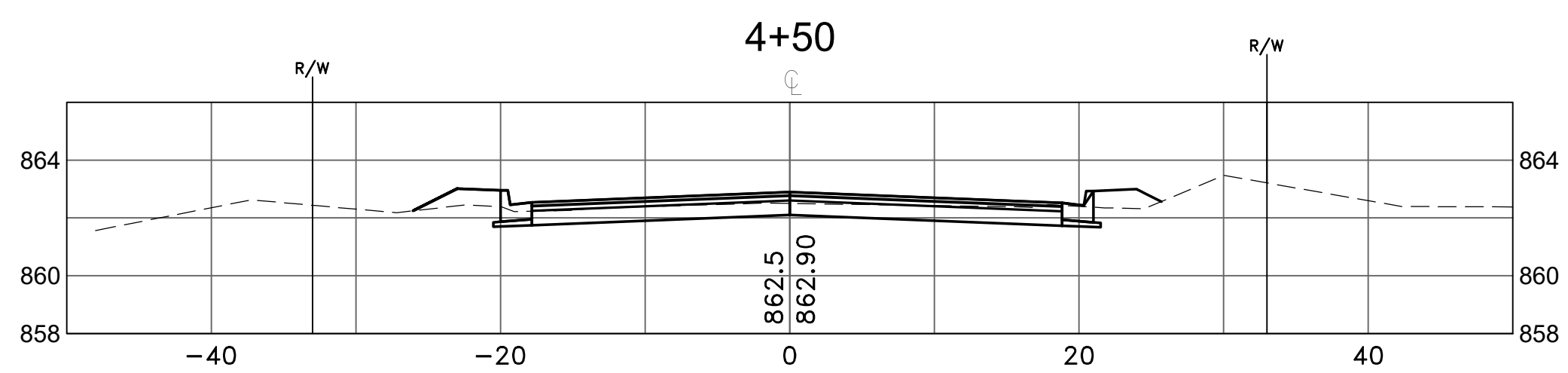
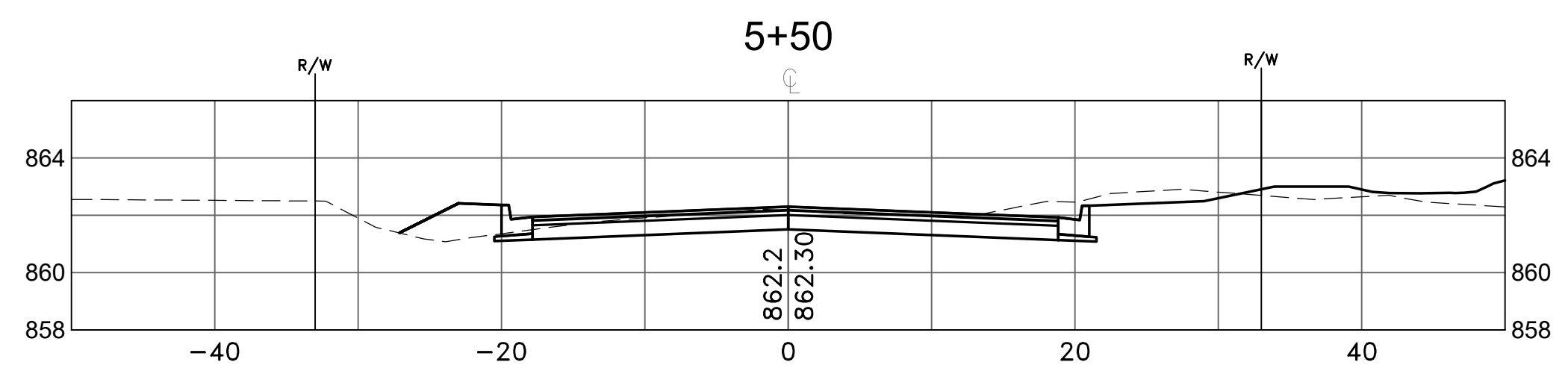
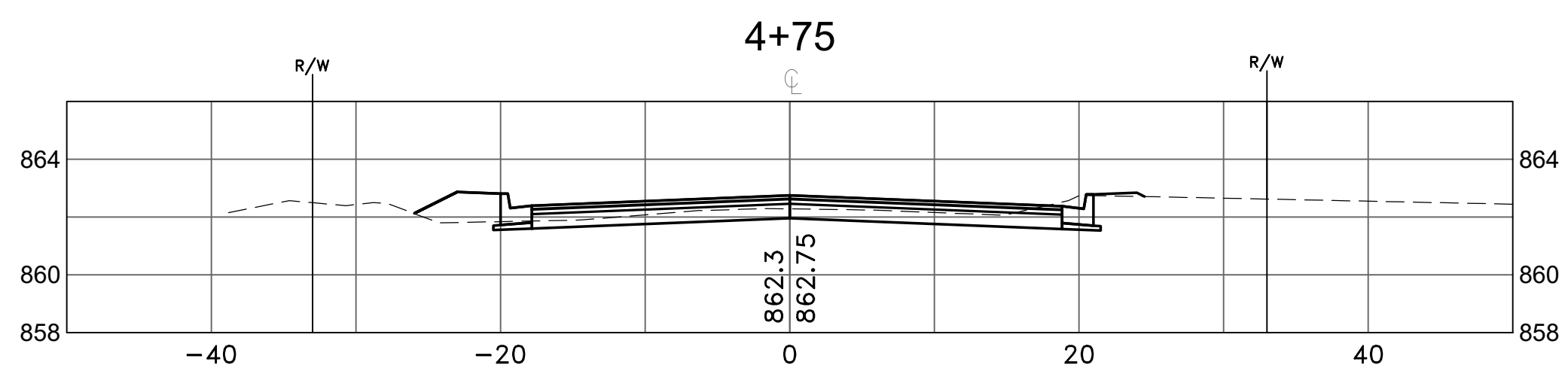
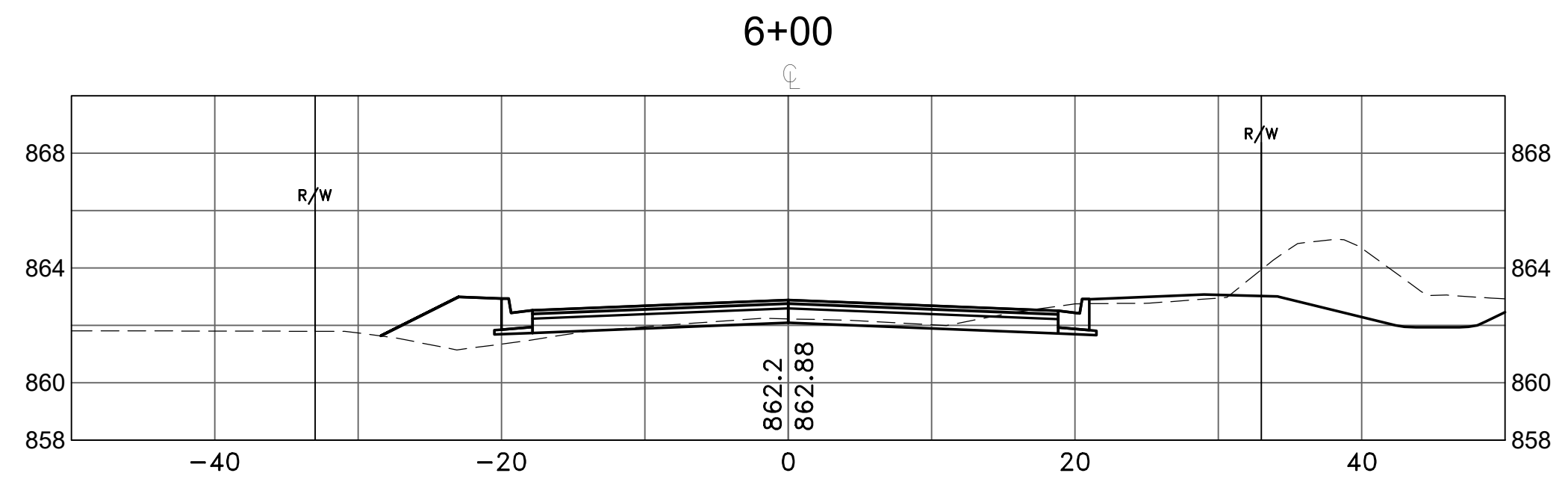
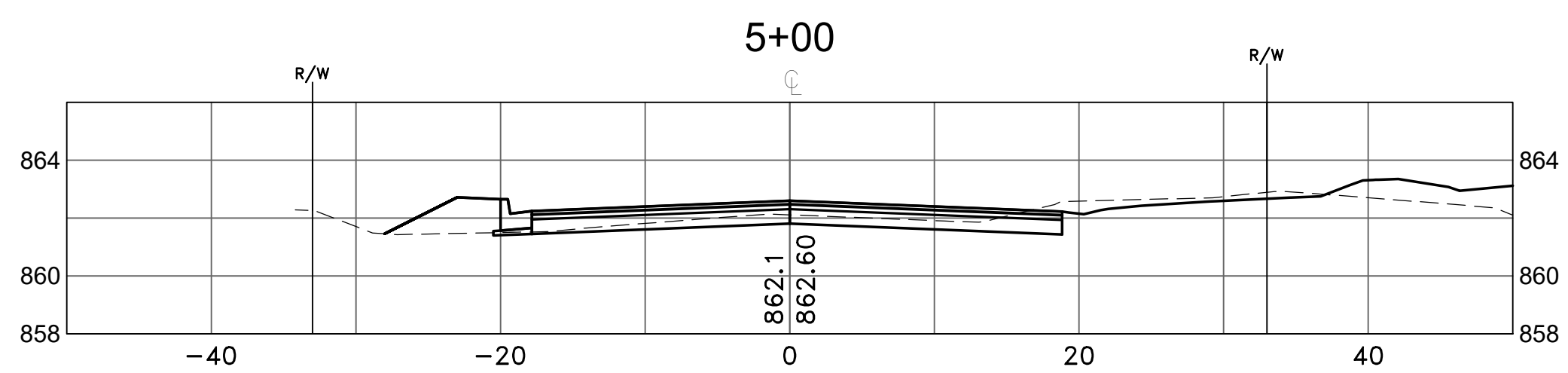
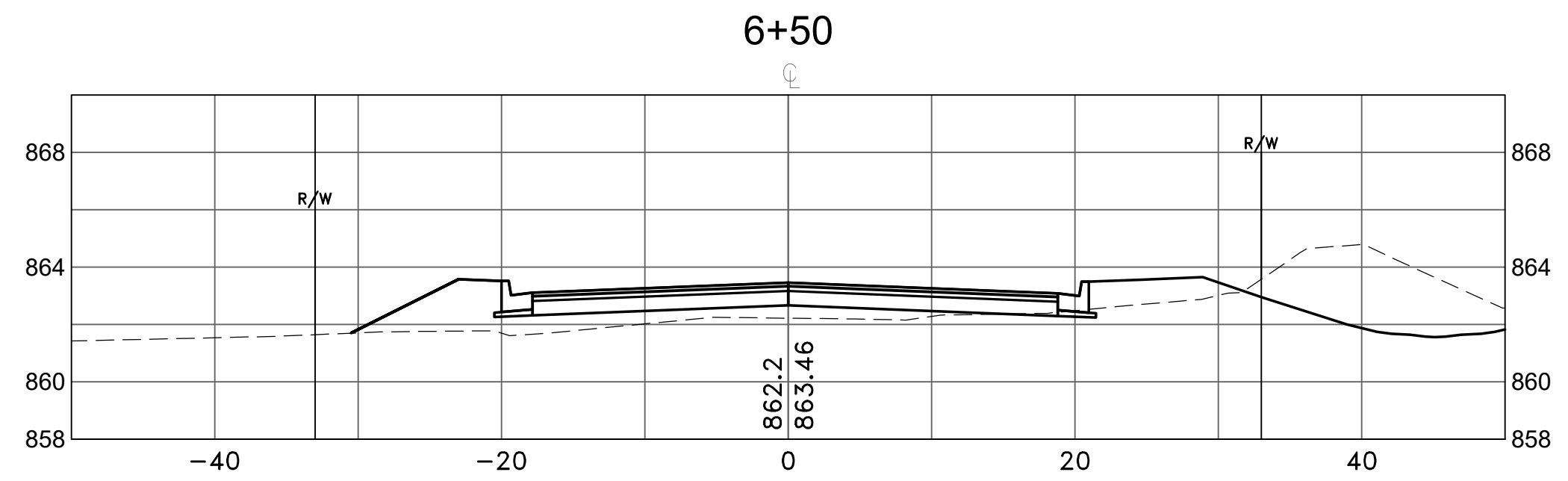
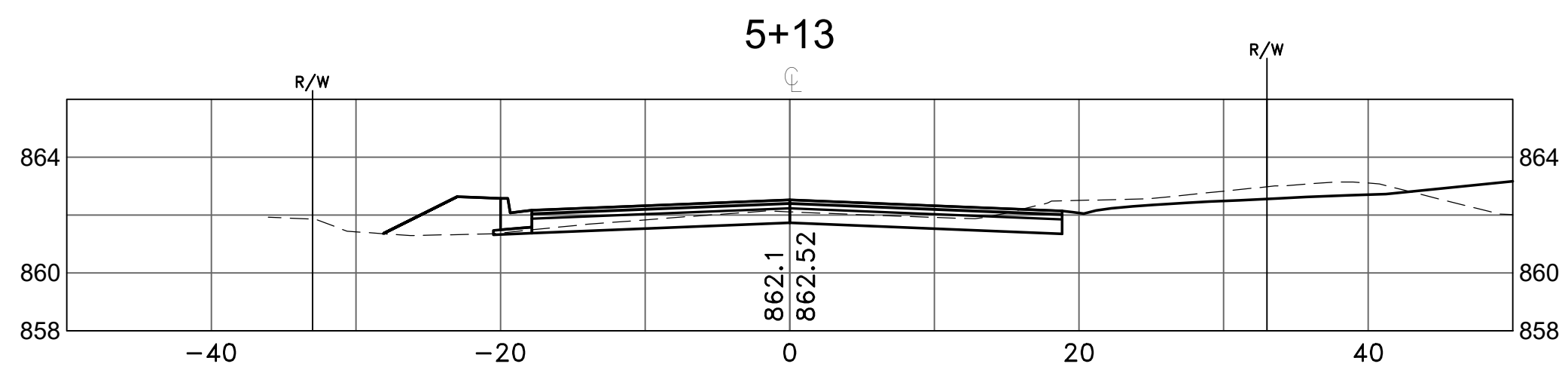
Hakanson Anderson
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 763-427-5860 FAX 763-427-0520
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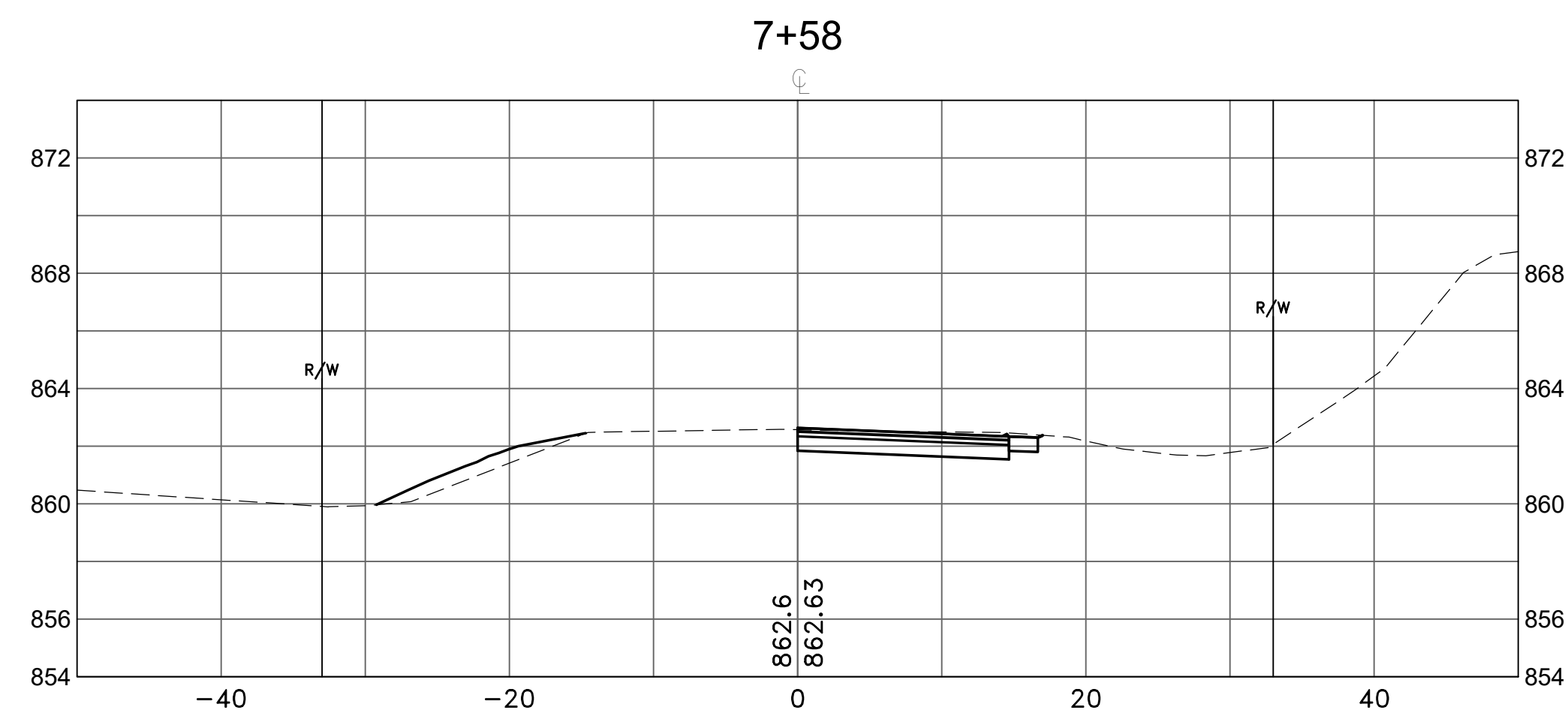
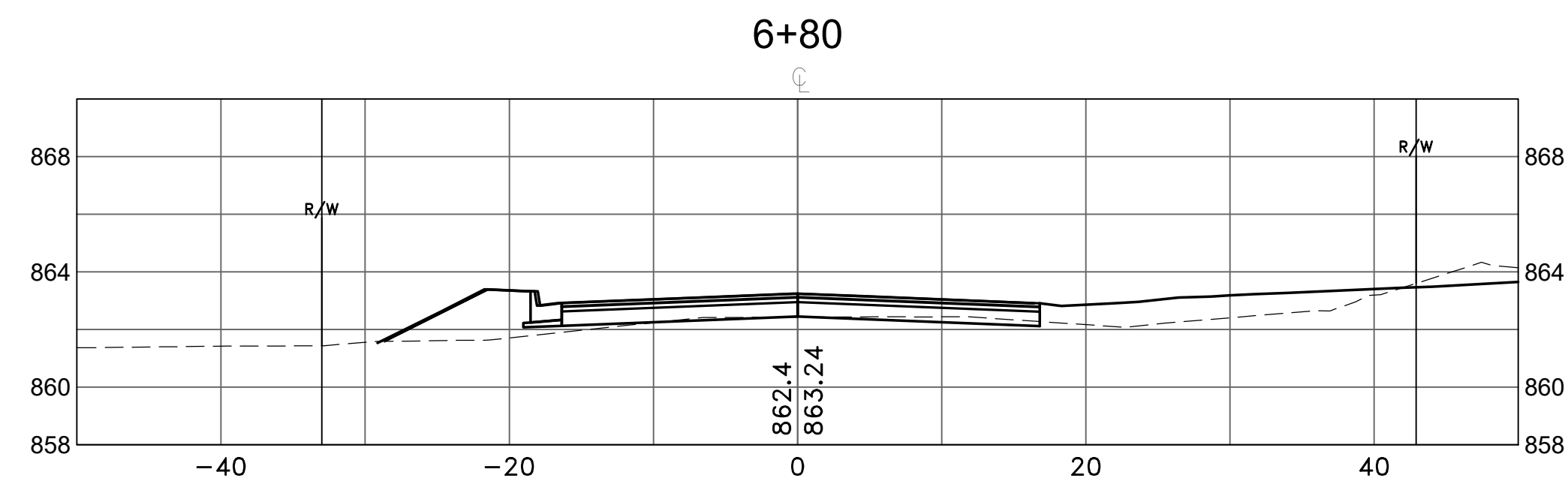
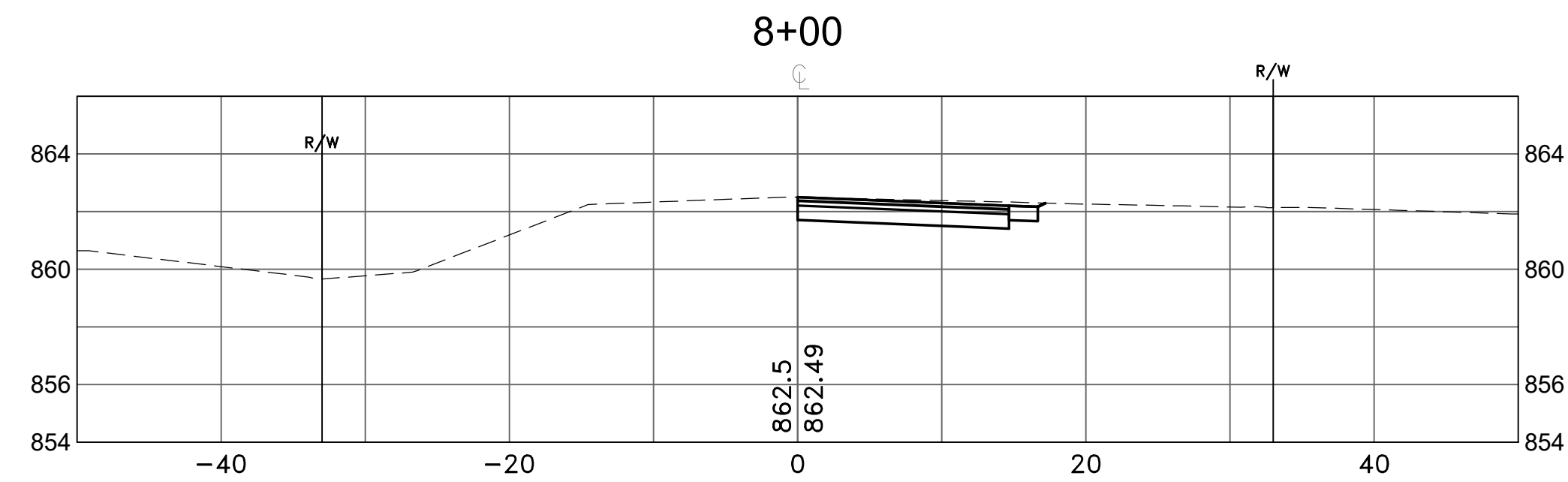
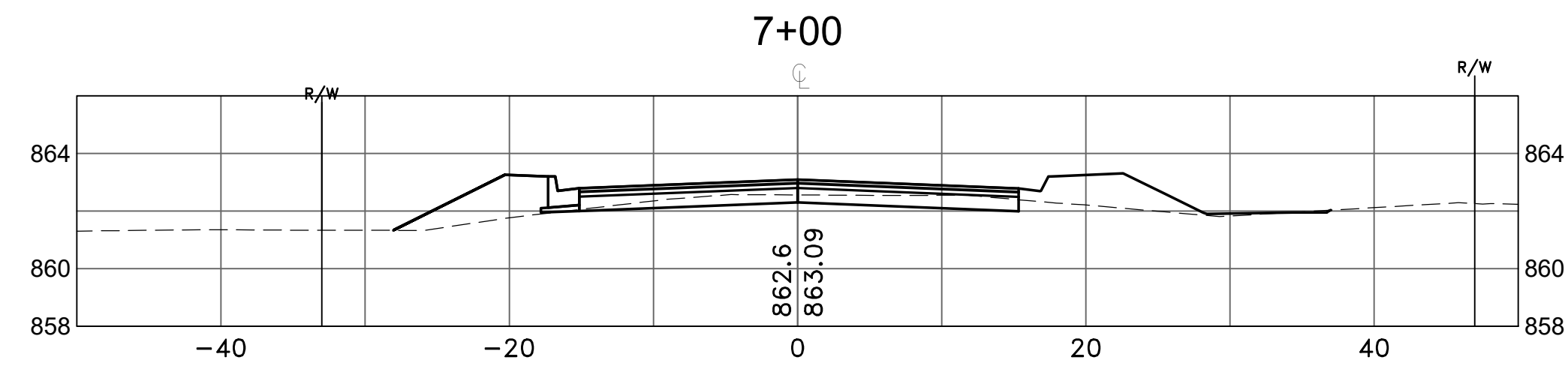
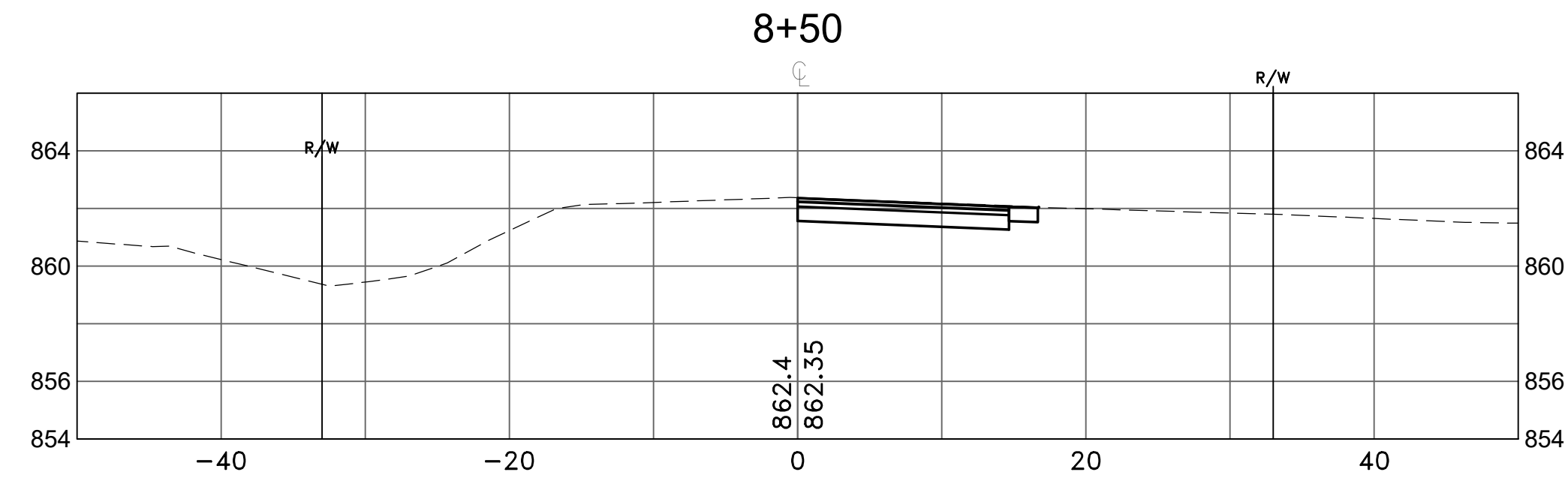
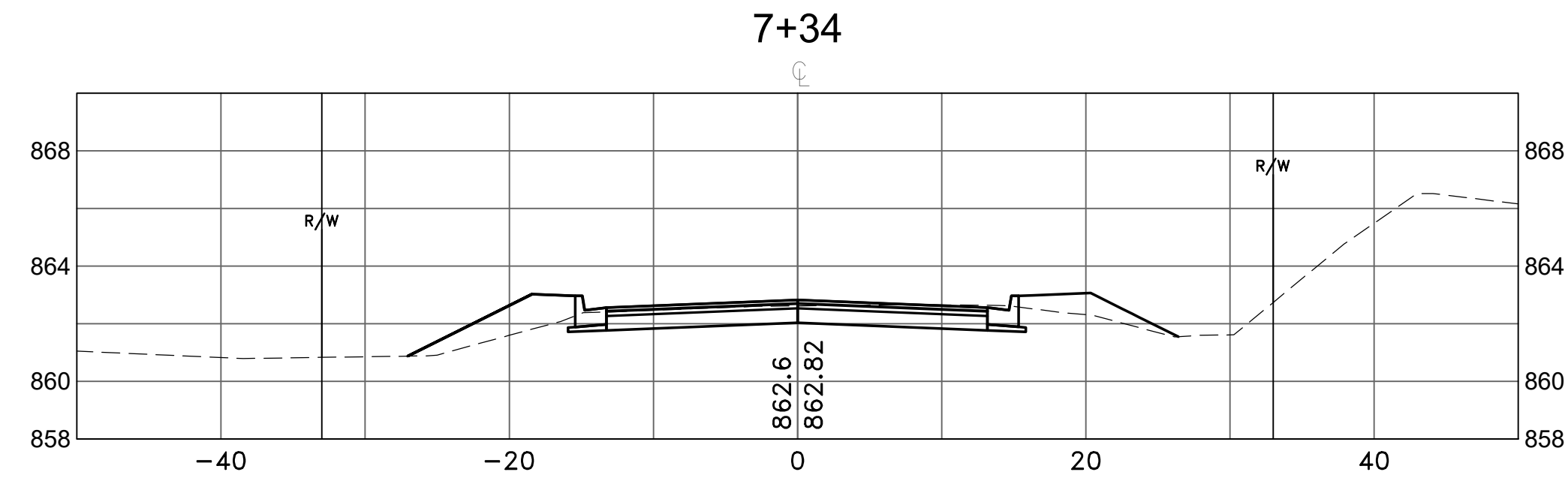
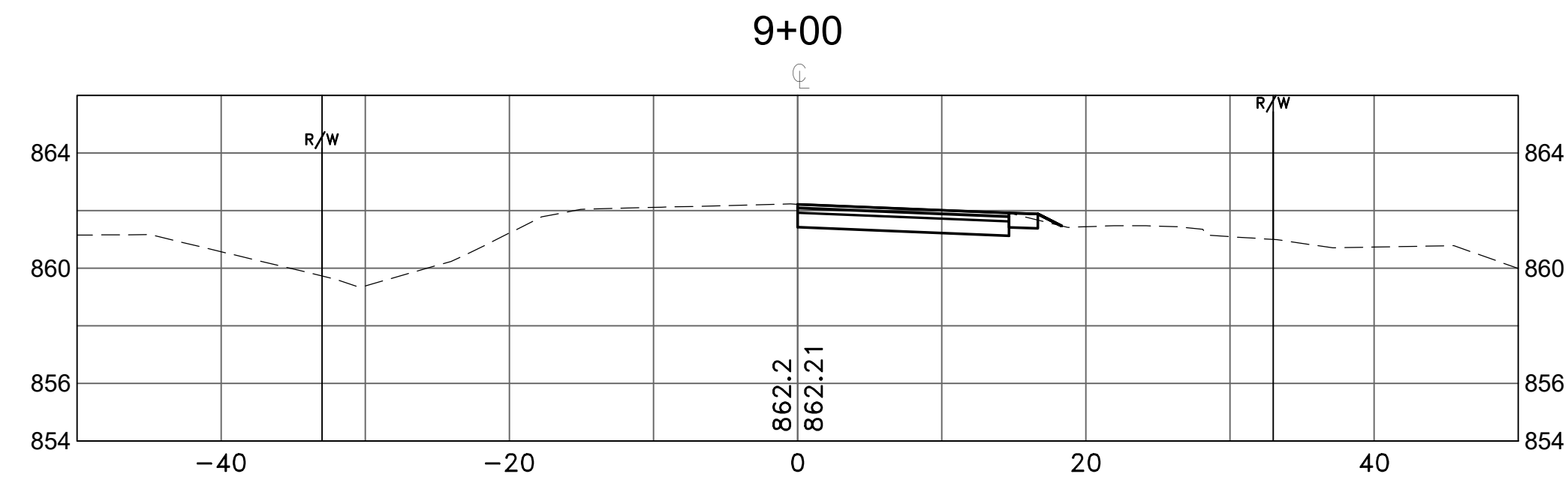
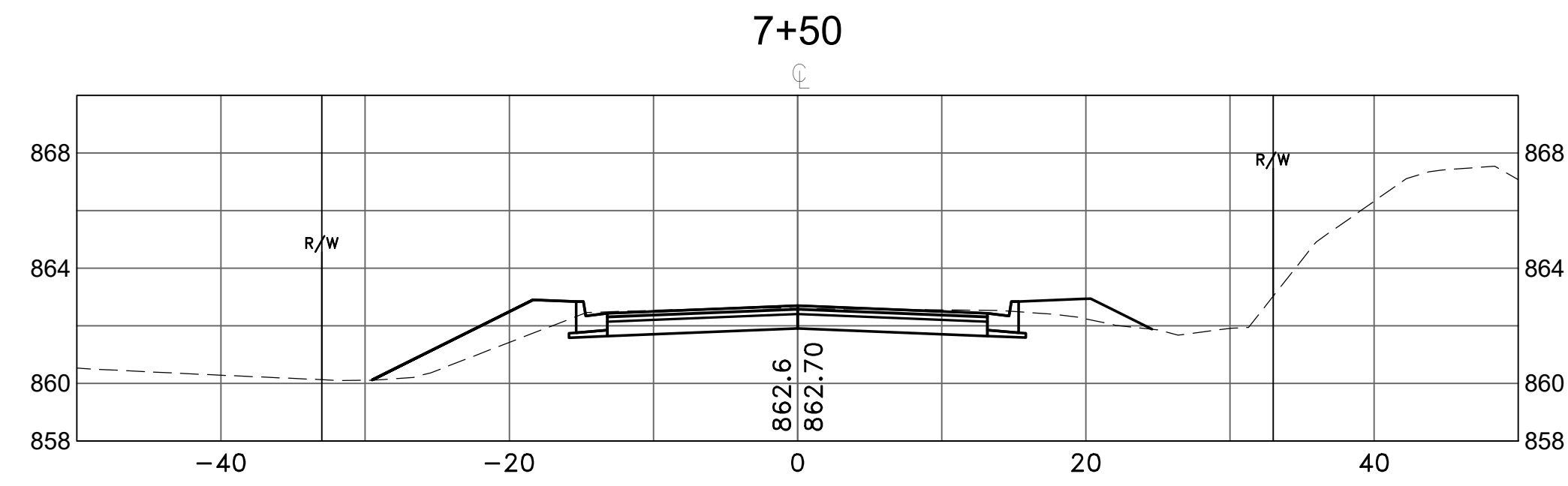
CROSS SECTIONS
 LIMONITE STREET
 CITY OF RAMSEY, MINNESOTA

SHEET
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| DATE | REVISION |
|--------|--------------------------------|
| 8/8/23 | PLAN REVISIONS PER CITY REVIEW |
| | |
| | |
| | |

DESIGNED BY:
TAE
DRAWN BY:
TAE
CHECKED BY:
CJJ



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CROSS SECTIONS
LIMONITE STREET AND 142ND AVENUE
CITY OF RAMSEY, MINNESOTA

SHEET
X2
OF
X2
SHEETS

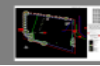

















ProjectDox[®]

Changemarks Report

Project Name: Kinghorn Construction - JAMHOPS

Workflow Started: 07/17/2023 9:54 AM









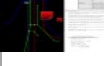
Report Generated: 08/17/2023 03:29 PM

| Grouping | Cycle | Ref # | Complete? | Status | Department | Snapshot | File | Markup Name | Changemark Subject | Changemark Details | Markup Date | Updated By | Applicant Response |
|---------------|-------|-------|-----------|------------|----------------------|---|---|-----------------------|---------------------------------|--|---------------------|----------------|--------------------|
| Main Workflow | 1 | 33 | False | Unresolved | Environmental Review |  | L1 Landscape Plan.pdf | CA | Growing Space | With the wall for the overpass in this area, there's not going to be sufficient space for growth | 07/27/2023 12:10 PM | Chris Anderson | |
| | | 34 | False | Unresolved | Environmental Review |  | L1 Landscape Plan.pdf | CA | Mulch Depth | Mulch depth should be 2-4 inches, this also matches the planting detail below. | 07/27/2023 12:10 PM | Chris Anderson | |
| | | 25 | False | Unresolved | Civil Engineer II |  | C9 Utility Plan.pdf | Joe Feriancek (Staff) | Sanitary Inverts | Provide 0.1' of fall across the manholes | 07/27/2023 11:04 AM | Joe Feriancek | |
| | | 26 | False | Unresolved | Civil Engineer II |  | C9 Utility Plan.pdf | Joe Feriancek (Staff) | Extension Permits | Note that extending the sanitary and watermain lines will require MPCA sanitary extension permit | 07/27/2023 11:04 AM | Joe Feriancek | |
| | | 23 | False | Unresolved | Civil Engineer II |  | C8 Grading Plan.pdf | Joe Feriancek (Staff) | Swale behind curb | Prefer not to use ribbon curb and a swale adjacent to the street. Switch to B618 C&G with inlets and pipe as | 07/27/2023 10:53 AM | Joe Feriancek | |
| | | 24 | False | Unresolved | Civil Engineer II |  | C8 Grading Plan.pdf | Joe Feriancek (Staff) | Soil Borings | Is there a geotechnical report for this site? Where soil borings taken in the proposed ponding areas? Is | 07/27/2023 10:53 AM | Joe Feriancek | |
| | | 22 | False | Unresolved | Civil Engineer II |  | C7 Existing Topography and Removals.pdf | Joe Feriancek (Staff) | Protect existing valley gutter. | | 07/27/2023 10:47 AM | Joe Feriancek | |
| | | 20 | False | Unresolved | Civil Engineer II |  | C2 Details.pdf | Joe Feriancek (Staff) | Limonite Street Section | This section needs to be a 10' to design. City uses C oil. | 07/27/2023 10:33 AM | Joe Feriancek | |
| | | 21 | False | Unresolved | Civil Engineer II |  | C2 Details.pdf | Joe Feriancek (Staff) | Ribbon Curb | City doesn't want ribbon curb along the street. full height B-style curb. | 07/27/2023 10:33 AM | Joe Feriancek | |
| | | 19 | False | Unresolved | Civil Engineer II |  | C10 Restoration and Paving Plan.pdf | Joe Feriancek (Staff) | Limonite Street improvements | Plans are proposing to but curb and gutter and pavement in along Limonite Street. Full street plans | 07/27/2023 10:27 AM | Joe Feriancek | |
| | | 38 | False | Unresolved | Civil Engineer IV |  | C7 Existing Topography and Removals.pdf | LL | Hatch Pattern | Add this hatch pattern to the legend. | 07/26/2023 11:36 AM | Len Linton | |
| | | 39 | False | Unresolved | Civil Engineer IV |  | C9 Utility Plan.pdf | LL | Connection? | Show pipe that this 6 ft section of pipe connects to. | 07/26/2023 12:01 PM | Len Linton | |
| | | 40 | False | Unresolved | Civil Engineer IV |  | C9 Utility Plan.pdf | LL | Stormwater Requirements | A stormwater management report is required for this project. | 07/26/2023 12:01 PM | Len Linton | |
| | | 41 | False | Unresolved | Civil Engineer IV |  | C9 Utility Plan.pdf | LL | Watermain | Add 8 x 6 reducer on hydrant lead. Add 8" DIP plug to open end of Tee. | 07/26/2023 12:01 PM | Len Linton | |
| | | 42 | False | Unresolved | Civil Engineer IV |  | C9 Utility Plan.pdf | LL | Plumbing Reviews | The City of Ramsey to do plumbing plan reviews. DOLI reviews are not required. | 07/26/2023 12:01 PM | Len Linton | |
| | | 43 | False | Unresolved | Civil Engineer IV |  | C9 Utility Plan.pdf | LL | Stormwater Report | Screen shots of the Infiltration BMP input screens from the MIDS calculator must be included | 07/26/2023 12:01 PM | Len Linton | |
| | | 44 | False | Unresolved | Civil Engineer IV |  | C9 Utility Plan.pdf | LL | Hydrant? | Will this building require a hydrant on site? | 07/26/2023 12:01 PM | Len Linton | |
| | | 16 | False | Unresolved | City Planner |  | 230718 Jam Hops Ramsey - A3.pdf | TL | Changemark note #02 TL | Please show the rooftop units and how they are anticipated to be screened. Please consider placing | 07/20/2023 2:48 PM | Todd Larson | |

ProjectDox
Changemarks Report

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|---|----|-------|------------|-------------------|---|---------------------------------------|-----------------|--|-------------------------|--|---------------------|---------------|--|
| | 17 | False | Unresolved | City Planner |  | 230718 Jam Hops Ramsey - A3.pdf | TL | | Changemark note #03 TL | This corner of the building will be what is seen coming over the proposed Ramsey Blvd bridge over the railroad | 07/20/2023 2:48 PM | Todd Larson | |
| | 18 | False | Unresolved | City Planner |  | 230718 Jam Hops Ramsey - A3.pdf | TL | | Changemark note #04 TL | Can you add pictures of the different textures of the precasts? | 07/20/2023 2:48 PM | Todd Larson | |
| | 14 | False | Unresolved | City Planner |  | L0 - Jam Hops.pdf | TL | | Changemark note #01 TL | Any lighting under the canopy? The high-mounted wall lights will be shadowed by the canopy. | 07/20/2023 2:41 PM | Todd Larson | |
| | 15 | False | Unresolved | City Planner |  | L0 - Jam Hops.pdf | TL | | Changemark note #02 TL | This light is in conflict with a tree on the landscape plan. | 07/20/2023 2:41 PM | Todd Larson | |
| | 10 | False | Unresolved | City Planner |  | L1 Landscape Plan.pdf | TL | | Changemark note #01 TL | Any shrubs? | 07/19/2023 10:27 AM | Todd Larson | |
| | 11 | False | Unresolved | City Planner |  | L1 Landscape Plan.pdf | TL | | Changemark note #02 TL | Depending on how grades are adjusted here, please add several large shrubs so that the parking lot does not | 07/19/2023 10:27 AM | Todd Larson | |
| | 12 | False | Unresolved | City Planner |  | L1 Landscape Plan.pdf | TL | | Changemark note #03 TL | This basin should have several shrubs, trees, and perennials planted so that it looks attractive. It will be | 07/19/2023 10:27 AM | Todd Larson | |
| | 13 | False | Unresolved | City Planner |  | L1 Landscape Plan.pdf | TL | | Changemark note #04 TL | Show the locations of the parking lot light poles. | 07/19/2023 10:27 AM | Todd Larson | |
| | 7 | False | Unresolved | City Planner |  | C8 Grading Plan.pdf | TL | | Changemark note #01 TL | Please don't perch the parking lot up over Ramsey Blvd. | 07/19/2023 10:20 AM | Todd Larson | |
| | 8 | False | Unresolved | City Planner |  | C8 Grading Plan.pdf | TL | | Changemark note #02 TL | Please show the grades from the road reconstruction project. | 07/19/2023 10:20 AM | Todd Larson | |
| | 1 | False | Unresolved | City Planner |  | A2.1 Floor Plan.pdf | TL | | Changemark note #01 TL | What is the theater? | 07/19/2023 10:09 AM | Todd Larson | |
| 2 | 59 | False | Unresolved | Civil Engineer IV |  | STORMWATER MANAGEMENT PLAN.pdf | LL | | Outlet Pipe | Plan shows 12 lf 18" RCP. | 08/14/2023 12:06 PM | Len Linton | |
| | 60 | False | Unresolved | Civil Engineer IV |  | STORMWATER MANAGEMENT PLAN.pdf | LL | | Infiltration rate | This infiltration rate is close to the 0.45 in/hr that is one of the standards for common soil types in the | 08/14/2023 12:06 PM | Len Linton | |
| | 55 | False | Unresolved | Civil Engineer II |  | C12 Street and Storm Construction.pdf | Joe Feriancek | | C&G Tapers | Keep Limonite Street full width through the curve. | 08/14/2023 11:30 AM | Joe Feriancek | |
| | 56 | False | Unresolved | Civil Engineer II |  | C12 Street and Storm Construction.pdf | Joe Feriancek | | Proposed Profile | Must provide vertical curves and minimum running slope of 0.40%. Vertical curves must have minimum 100' | 08/14/2023 11:30 AM | Joe Feriancek | |
| | 57 | False | Unresolved | Civil Engineer II |  | C12 Street and Storm Construction.pdf | Joe Feriancek | | Match into 142nd Avenue | Call out stationing for matching into 142nd Avenue. Since centerline profile is being maintained, | 08/14/2023 11:30 AM | Joe Feriancek | |
| | 58 | False | Unresolved | Civil Engineer II |  | C12 Street and Storm Construction.pdf | Joe Feriancek | | Limonite Street match | Callout match-in stationing. Ideally, the proposed profile will match the existing limonite profile and a | 08/14/2023 11:30 AM | Joe Feriancek | |
| | 51 | False | Unresolved | Civil Engineer II |  | C9 Utility Plan.pdf | Joe Feriancek 2 | | San Sewer Cleanout | Verify cleanout is minimum 10 feet separated from the water line | 08/14/2023 11:15 AM | Joe Feriancek | |
| | 52 | False | Unresolved | Civil Engineer II |  | C11 Sewer and Water Construction.pdf | Joe Feriancek | | Sanitary service | Call out stationing and invert. | 08/14/2023 11:22 AM | Joe Feriancek | |

ProjectDox
Changemarks Report

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|--|--|----|-------|------------|----------------------|---|--------------------------------------|---------------|---------------------------------------|---|---------------------|----------------|--|
| | | 53 | False | Unresolved | Civil Engineer II |  | C11 Sewer and Water Construction.pdf | Joe Feriancek | End of Sanitary Line | Add a manhole at the end of the sanitary sewer line. | 08/14/2023 11:22 AM | Joe Feriancek | |
| | | 54 | False | Unresolved | Civil Engineer II |  | C11 Sewer and Water Construction.pdf | Joe Feriancek | watermain crossing | verify watermain crossing elevation. If less than 18" to 24", add insulation. If less than 18"; watermain must | 08/14/2023 11:22 AM | Joe Feriancek | |
| | | 49 | False | Unresolved | Civil Engineer II |  | C9 Utility Plan.pdf | Joe Feriancek | valve for 6" service line to building | More important to have the valve on the service line side of the Tee. If the water to the building is shut off, | 08/14/2023 11:05 AM | Joe Feriancek | |
| | | 50 | False | Unresolved | Civil Engineer II |  | C9 Utility Plan.pdf | Joe Feriancek | Manhole in 142nd Ave | Add sanitary manhole to the end of the line | 08/14/2023 11:05 AM | Joe Feriancek | |
| | | 47 | False | Unresolved | Civil Engineer II |  | C2 Details.pdf | Joe Feriancek | Reference Note 7 | Preference would be to not start the taper until past the driveway. If the City decides to widen 142nd Avenue | 08/14/2023 9:34 AM | Joe Feriancek | |
| | | 48 | False | Unresolved | Civil Engineer II |  | C2 Details.pdf | Joe Feriancek | Street Typical Section | My apologies, I should have been more explicit in the first review. Please increase the wearing course lift to 2" | 08/14/2023 9:34 AM | Joe Feriancek | |
| | | 46 | False | Unresolved | Civil Engineer II |  | GEOTECH 2016.pdf | Joe Feriancek | Soil Borings | Soil boring should have been taken in the infiltration basin location (southeast portion of parcel). SB-2 is | 08/14/2023 8:30 AM | Joe Feriancek | |
| | | 61 | False | Unresolved | Environmental Review |  | L1 Landscape Plan.pdf | CA | Mulch Depth | Mulch depth shall be 2-4" deep. | 08/10/2023 12:06 PM | Chris Anderson | |
| | | 62 | False | Unresolved | Environmental Review |  | L1 Landscape Plan.pdf | CA | Sugar Maple | Sugar maples are not ideal as street trees. Intolerant of deicing salts, better for dry sites (not sure if this | 08/10/2023 12:06 PM | Chris Anderson | |