

City of Ramsey
Agenda
Regular Planning Commission
Thursday, September 28, 2023

7:00 pm

City Hall Council Chambers, 7550 Sunwood Drive NW

Remote Attendance available at www.cityoframsey.com/meetings.

Those joining remotely and requesting to speak are asked to use a webcam when speaking.

1. Call to Order

2. Pledge of Allegiance

3. Citizen Input

4. Approve Agenda

5. Consent Agenda

1. Approve the Planning Commission Meeting Minutes for August 24, 2023.

6. Public Hearing

1. PUBLIC HEARING: Consider Request for a Conditional Use Permit and Variance Related to a Proposed Addition of a Carport to a Detached Accessory Building (Project No. 23-112); Case of Jay and Carol McDonald
2. PUBLIC HEARING: Consider a Site Plan and Conditional Use Permit from Dehn Oil at 6651 141st Avenue NW

7. Commission Business

1. Consider Sketch Plan for a Proposed Single Family Residential Development East of Nowthen Boulevard and South of Brookside Elementary School (Project No. 23-111); Case of Lennar
2. Review and Adopt 2024 Planning Commission Meeting Calendar

8. Commission/Staff Input

9. Adjournment

Regular Planning Commission

Meeting Date: 09/28/2023

Primary Strategic Plan Initiative: Not Applicable

Information

Title:

Approve the Planning Commission Meeting Minutes for August 24, 2023.

Purpose/Background:

The purpose of this case is to approve the Planning Commission Meeting Minutes for August 24, 2023.

Recommendation:

Outcome/Action:

Attachments

August PC Minutes

Form Review

Inbox

Brian Hagen

Form Started By: Dana Verbeek

Final Approval Date: 09/14/2023

Reviewed By

Brian Hagen

Date

09/14/2023 03:20 PM

Started On: 09/14/2023 10:45 AM

**PLANNING COMMISSION
CITY OF RAMSEY
ANOKA COUNTY
STATE OF MINNESOTA**

The Ramsey Planning Commission conducted a regular meeting on Thursday, August 24, 2023, at the Ramsey Municipal Center, 7550 Sunwood Drive NW, Ramsey, Minnesota.

Members Present: Chairperson Cheri Gengler
 Commissioner Bruce Anderson
 Commissioner Randy Bauer (via Zoom)
 Commissioner Ryan Heineman (via Zoom)
 Commissioner Tom Hunt
 Commissioner Eric Peters
 Commissioner Gary Van Scoy

Members Absent: None

Also Present: Planning Manager Todd Larson
 City Council Liaison Matt Woestehoff

1. CALL TO ORDER

Chairperson Gengler called the regular meeting to order at 7:00 p.m.

2. PLEDGE OF ALLEGIANCE

Chairperson Gengler led the group in the Pledge of Allegiance.

3. CITIZEN INPUT

None.

4. APPROVAL OF AGENDA

Motion by Commissioner Peters, seconded by Commissioner Hunt, to approve the agenda as presented.

A roll call vote was performed:

Commissioner Hunt	aye
Commissioner Anderson	aye
Commissioner Van Scoy	aye
Commissioner Peters	aye
Commissioner Heineman	aye

Commissioner Bauer aye
Chairperson Gengler aye

Motion Carried.

5. CONSENT AGENDA

5.01: Approve the July 27, 2023 Planning Commission Meeting Minutes

Motion by Commissioner Van Scoy, seconded by Commissioner Anderson, to approve the consent agenda as presented.

A roll call vote was performed:

Commissioner Bauer aye
Commissioner Heineman aye
Commissioner Peters aye
Commissioner Van Scoy aye
Commissioner Anderson aye
Commissioner Hunt aye
Chairperson Gengler abstain

Motion Carried.

6. PUBLIC HEARINGS

7. COMMISSION BUSINESS

7.01: Jam Hops – Site Plan Review for a Commercial Indoor Recreation Facility at 14165 Ramsey Boulevard NW

Presentation

Planning Manager Larson presented the Staff Report stating staff recommends approval of the Site Plan, contingent upon compliance with staff’s review comments.

Commission Business

Commissioner Anderson asked if there would be any way to have a second entrance/exit to the site.

Planning Manager Larson replied that there would not be.

Chairperson Gengler noted that the map identifies a wall for the Highway 10 construction and asked if there would be construction impacts to this site.

Planning Manager Larson replied that generally speaking Ramsey Boulevard will not stay in its current alignment and will swing to the west. He noted that there will be a retaining wall and some grading, but that has not yet been finalized. He stated that none of this property is being taken or will even have easements resulting from the highway project.

Commissioner Van Scoy asked the difference between the standards for parking for the building and what is being proposed.

Planning Manager Larson replied that there is not a standard for a gymnastics training facility, noting that the Code. He confirmed that if this were a warehouse or office building, this would be much more parking than would be needed.

Commissioner Anderson asked and received confirmation that staff is comfortable with the parking proposed.

Commissioner Bauer asked what would happen to the property between the new location of Ramsey Boulevard and the property line for this parcel once the road project is completed.

John Kinghorn, Kinghorn Construction, commented that the County is not planning to come onto this property at all. He stated that they received plans today from the County and initially it appears that the County will grade and treat stormwater in that area. He commented that they do not object to changing the types of trees as recommended by staff.

Commissioner Peters asked if signage would only be on the wall of the building.

Mr. Kinghorn replied that they would have building signage facing Ramsey Boulevard and a pylon sign on the Limonite side.

Commissioner Hunt asked for details on parking, comparing what exists at the current location in Anoka to what will be at the new location in Ramsey.

Brenda Nolby, applicant, estimated about 50 parking stalls at the current location. She stated that this new building will be larger, and they will be adding a program to the new location as well, which is why they will have more parking at this new location.

Commissioner Hunt commented that his daughter attends the Anoka location and, in his experience, even when it is busy there seems to be parking so he believed that the parking proposed would be sufficient.

Ms. Nolby commented that they intentionally schedule their classes to allow for a good flow in the parking area.

Councilmember Woestehoff asked if the concern would be that there is too much or too little parking.

Commissioner Hunt stated that his question/comment was that based on his experience there should not be any issues with insufficient parking.

Ms. Nolby stated that they have planned for expansion of the building in the future, as well as additional parking.

Chairperson Gengler asked if there would be a separate entrance for the theater program.

Ms. Nolby replied that they would still come into the main lobby.

Chairperson Gengler invited the applicant to address the Commission.

Motion by Commissioner Peters, seconded by Commissioner Anderson, to recommend approval of Resolution #23-175 for a Commercial Indoor Recreation Facility at 14200 Limonite St NW.

Further discussion:

The Commission commented that this would be a nice project and great addition to the community.

A roll call vote was performed:

Commissioner Hunt	aye
Commissioner Anderson	aye
Commissioner Van Scoy	aye
Commissioner Peters	aye
Commissioner Heineman	aye
Commissioner Bauer	aye
Chairperson Gengler	aye

Motion Carried.

8. COMMISSION / STAFF INPUT

Planning Manager Larson noted a potential item(s) that will appear on the next meeting agenda. He noted that the EAW for Haviland Farms is still open for public comment.

9. ADJOURNMENT

Motion by Commissioner Van Scoy, seconded by Commissioner Anderson, to adjourn the meeting.

A roll call vote was performed:

Commissioner Bauer	aye
Commissioner Heineman	aye
Commissioner Peters	aye
Commissioner Van Scoy	aye

Commissioner Anderson aye
Commissioner Hunt aye
Chairperson Gengler aye

Motion Carried.

The regular meeting of the Planning Commission adjourned at 7:23 p.m.

Respectfully submitted,

Todd Larson
Planning Manager

ATTEST:

Dana Verbeek
Planning Administrative Assistant

Drafted by Amanda Staple
TimeSaver Off Site Secretarial, Inc.

Regular Planning Commission**Meeting Date:** 09/28/2023**Primary Strategic Plan Initiative:** Create a positive image for residential neighborhoods, business districts and key corridors.**Information****Title:**

PUBLIC HEARING: Consider Request for a Conditional Use Permit and Variance Related to a Proposed Addition of a Carport to a Detached Accessory Building (Project No. 23-112); Case of Jay and Carol McDonald

Purpose/Background:

The City has received applications from Jay and Carol McDonald (the "Applicant") for a Conditional Use Permit and Variance for a proposed addition to an existing building and the required driveway setback on the property located at 14275 Alpaca Street NW (the "Subject Property").

Notification:

The City attempted to notify property owners, as reflected in the Anoka County Property Records, within 350 feet of the Subject Property of the Public Hearing via standard U.S. mail. A Land Use Application sign was also placed on the Subject Property.

Time Frame/Observations/Alternatives:

The Subject Property is just over three (3) acres in size and is located in the R-1 Residential (MUSA) - 80 district. The properties to the south and west are also zoned R-1 Residential (MUSA) - 80, while the properties to the north and east are zoned B-2 Highway Business District. There is an existing, detached accessory building on the Subject Property that is 2,700 square feet in size, which is the maximum size allowed based on the Subject Property's size per City Code Section 117-349 (Accessory Uses and Buildings). The Applicant is proposing to construct a fourteen foot by fifty foot (14' x 50') carport on the north side of the existing accessory building. This would result in an overage of 700 square feet of detached accessory building space, which prompted the need for a Conditional Use Permit (CUP).

The Applicant has stated that the roof of the carport will begin at the peak of the accessory building's roof. It will consist of the same material and color as the existing roof. The proposed carport is intended to provide overhead shelter for a motorhome. The carport will exceed all required setbacks from property lines and from the septic system and well (while the Subject Property is zoned R-1 Residential (MUSA) - 80, this entire neighborhood is still on private utilities).

The original application was only for a CUP to address additional detached accessory building square footage. However, as Staff began reviewing the request, it became clear that an existing driveway serving the Subject Property not only encroached on the required five (5) foot setback from a side property line, but also encroached onto the neighboring property to the south. This prompted the Applicant to submit another land use application seeking a variance to the driveway setback standard. This encroachment is not readily visible to the general public and has no impact on any other properties other than the Subject Property and the adjacent property owner.

The driveway setback serves multiple purposes. First, in general, it keeps impervious surfacing out of drainage and utility easements. Secondly, it provides some space for snow storage without impacting neighboring properties. There are no drainage and utility easements along the southern lot line of the Subject Property (or the northern boundary of the adjacent parcel). Secondly, as these are acreage lots (minimum of 2.5 acres in size), there is no impact related to snow storage. The Applicant stated he has spoken with the adjacent 'impacted' property owner about the driveway encroachment and that the adjacent property owner has no objection to the

current location of the driveway. The Applicant has prepared a draft of a Driveway Encroachment Agreement (attached to this case) that he and his neighbor would execute (and record against both properties) should the variance request be approved.

The Applicant stated that there had previously been drainage issues on the Subject Property resulting in water in the basement. A previous owner of the Subject Property ended up creating a quasi-drainage basin in the rear yard to address the drainage problem. This ultimately limited options for placement of a detached accessory building and led to the building being installed at the minimum setback for an accessory building. The Applicant has stated that the driveway was installed around the detached accessory building to avoid the need to back up for long distances, creating a safer maneuvering process.

Three Factor Test

Per State Statute, a variance can be issued if zoning provisions result in practical difficulties for a property owner. This includes reasonableness, uniqueness, and essential character.

- Reasonableness: A driveway providing access to a detached accessory building is not only reasonable but very typical in residential neighborhoods.
- Uniqueness: The work done to address drainage issues on the Subject Property impacted the placement of the building, and by default, the location of the driveway. The fact that there is no drainage and utility easement along this property line does create a unique set of circumstances.
- Essential Character: This neighborhood had previously been zoned R-1 Residential (Rural Developing), so the lots are larger and are all on private utilities, giving this neighborhood a more rural feel even though it is now in the MUSA and zoned R-1 Residential (MUSA) - 80. The driveway around the detached accessory building is not out of character at all in this neighborhood and due to the lot sizes, the general public would realistically never know that it encroaches onto the setback (or onto the neighboring property).

Alternatives:

Alternative 1: Recommend approval of the CUP for additional accessory building square footage and approve the variance to the driveway setback. The additional square footage is for a carport, essentially an extension of a roofline without walls. The overage is reasonable and actually less than many similar past applications. Based on the larger lot sizes, the fact that there is no drainage and utility easement along the property line, and the adjacent property owner has no objections to the driveway encroachment, the variance seems reasonable as well. Staff supports this alternative.

Alternative 2: Recommend approval of the CUP for additional accessory building square footage and deny the variance to the driveway setback. The additional square footage is for a carport, essentially an extension of a roofline without walls. The overage is reasonable and actually less than many similar past applications. Again, there is no easement along this property line and, based on the size of the properties, this does not create any issue with snow storage. There is only one property impacted by this and that property owner has no objection to the driveway in its current location. Staff does not support this alternative.

Alternative 3: Recommend denial of the CUP and deny the variance. The additional square footage is for a carport that essentially is just an extension of the existing roofline, is reasonable and actually less than other similar requests the City has reviewed and approved. The zero setback for the driveway does not impact any easement and the adjacent property owner does not object to it in its current location. Staff does not support this alternative.

Funding Source:

All costs associated with this request are the Applicant's responsibility.

Recommendation:

Staff recommends approval of both the CUP and variance requests.

Outcome/Action:

Motion to recommend City Council adopt Resolution #23-239 approving a Conditional Use Permit for 700 square feet of accessory building space to allow the addition of a carport on the north side of the existing detached accessory building.

-and-

Motion to adopt Resolution #23-240 granting a variance to the driveway setback on the Subject Property.

Attachments

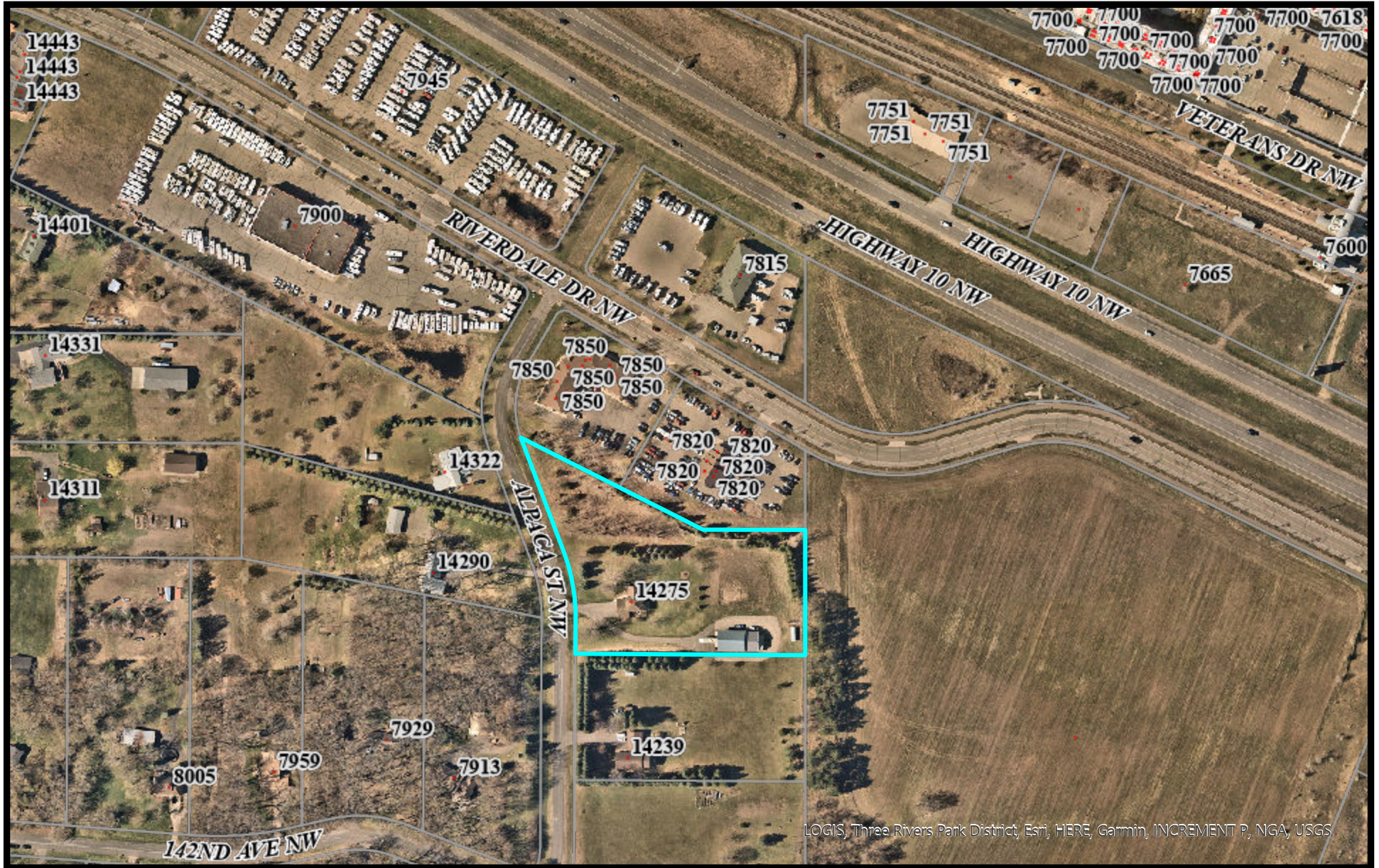
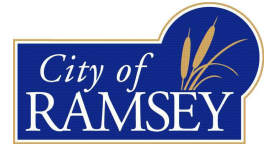
- Site Location Map
- Example of Proposed Carport
- Driveway Encroachment Agreement - DRAFT
- Survey of Property with Proposed Carport
- Resolution #23-239: Conditional Use Permit
- Resolution #23-240: Variance

Form Review

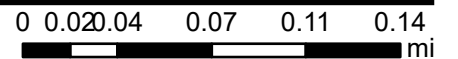
Inbox	Reviewed By	Date
Brian Hagen	Brian Hagen	09/21/2023 03:38 PM
Form Started By: Chris Anderson		Started On: 09/18/2023 11:52 AM
Final Approval Date: 09/21/2023		

28-32-25-33-0006
14275 Alpaca St NW

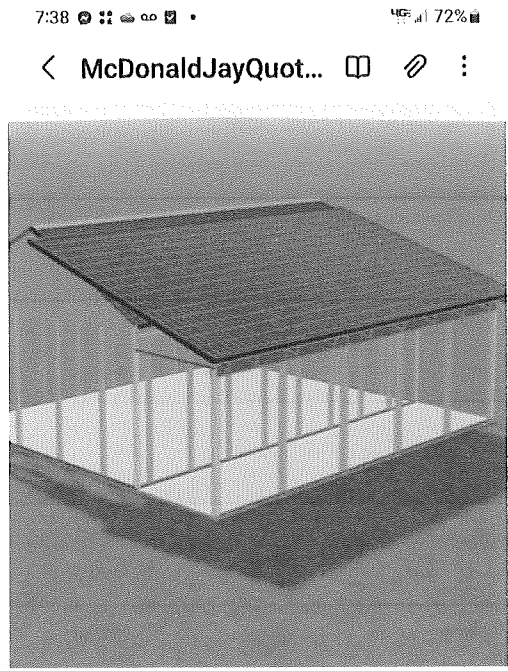
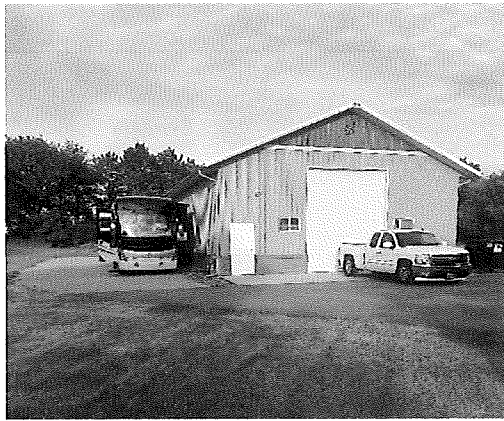
Site Location Map: McDonald CUP & Variance



Print Date: September 21, 2023



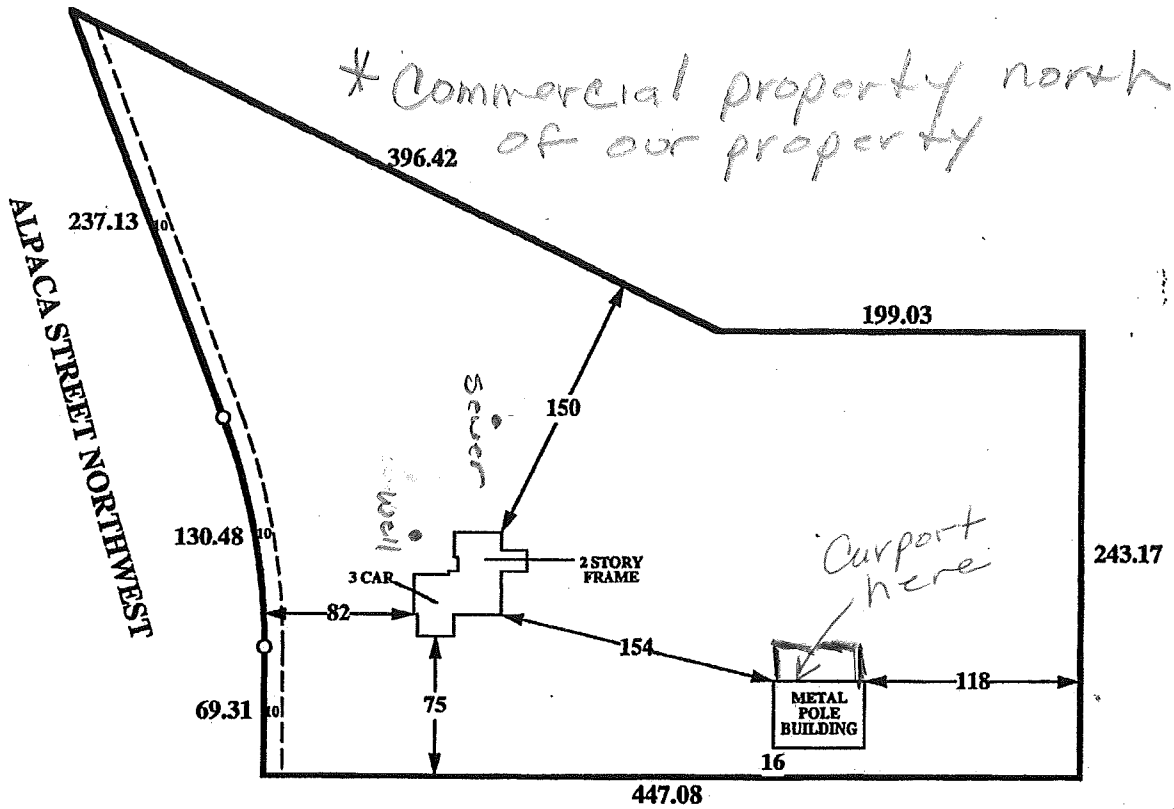
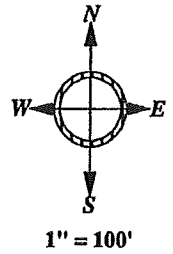
We are looking to build a carport onto the north side of our existing outbuilding to serve as overhead coverage for our motorcoach. This carport will measure 14' x 50' with the roof line starting at the peak of our current structure (see examples below) . This will be professionally built and be aesthetically complimentary to current outbuilding and house. Base floor for carport will be existing gravel shown in picture 1:



LIBERTY TITLE, INC.

14275 ALPACA STREET NORTHWEST, RAMSEY
LOT 1, BLOCK 2, ALPACA ESTATES 2ND ADDITION
ANOKA COUNTY

FILE # 1809-1249-RY



DRAINAGE AND
UTILITY
EASEMENTS

Accommodation sketch;
plat drawing not a survey.

"The location of the improvements shown on this drawing are approximate and are based on a visual inspection of the premises.
The lot dimensions are taken from the record plat drawings or county records.
This drawing is for informational purposes and should not be used as a survey.
It does not constitute a liability of the company and is intended for mortgage purposes only."

(Reserved for Recording Data)

DRIVEWAY ENCROACHMENT AGREEMENT

THIS DRIVEWAY ENCROACHMENT AGREEMENT (this “**Agreement**”), made this _____ day of _____, 2023, by and between Rodney N. Decker and Michelle L. Decker, husband and wife and hereinafter referred to as the “**Owner**”, and Jay M. McDonald and Carol A. McDonald, husband and wife and hereinafter referred to as the “**Permittee**”.

WHEREAS, the **Owner** is the fee title owner of certain real property situated in the City of Ramsey, Anoka County, State of Minnesota, legally described as Lot 2, Block 2 Alpaca Estates 2nd Addition (the “**Owner Property**”); and

WHEREAS, the **Permittee** is the fee title owner of certain real property situated in the City of Ramsey, Anoka County, State of Minnesota, legally described as Lot 1, Block 2 Alpaca Estates 2nd Addition (the “**Permittee Property**”); and

WHEREAS, the **Permittee** wishes to continue to utilize an existing driveway (the “**Existing Driveway**”), consisting partially of asphalt and partially of class V gravel, that branches off the driveway on the **Permittee Property** and leads to and around an existing detached accessory structure, also on the **Permittee Property**; and

WHEREAS, the **Existing Driveway** partially encroaches onto the **Owner Property** as depicted on Exhibit 1.

NOW THEREFORE, in consideration of the foregoing facts and circumstances, and for the good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, **Owner** and **Permittee** hereto agree as follows:

1. The **Permittee** shall be solely responsible for maintaining the **Existing Driveway** in a safe condition at all times.
2. The **Owner** may terminate this **Agreement** by written notice, if the continued use of the **Existing Driveway** by the **Permittee** interferes with **Owner’s** present or future objectives of the **Owner Property**.

3. This **Agreement** is non-transferrable.
4. The **Permittee** agrees to protect, indemnify and hold harmless the **Owner** from and against any and all claims, demands, suits, liability and expense, by reason of loss or damage to any property or bodily injury to any person whatsoever, that may arise from the **Existing Driveway**.
5. The terms and conditions of this **Agreement** shall be binding upon, and shall inure to the benefit of, the parties hereto and their respective successors and assigns.
6. This **Agreement** shall be recorded against both the **Permittee Property** and the **Owner Property**.

IN WITNESS WHEREOF, the parties hereto have caused this **Agreement** to be executed as of the day and year first above written.

DRAFT

The Owner

Rodney N. Decker

Michelle L. Decker

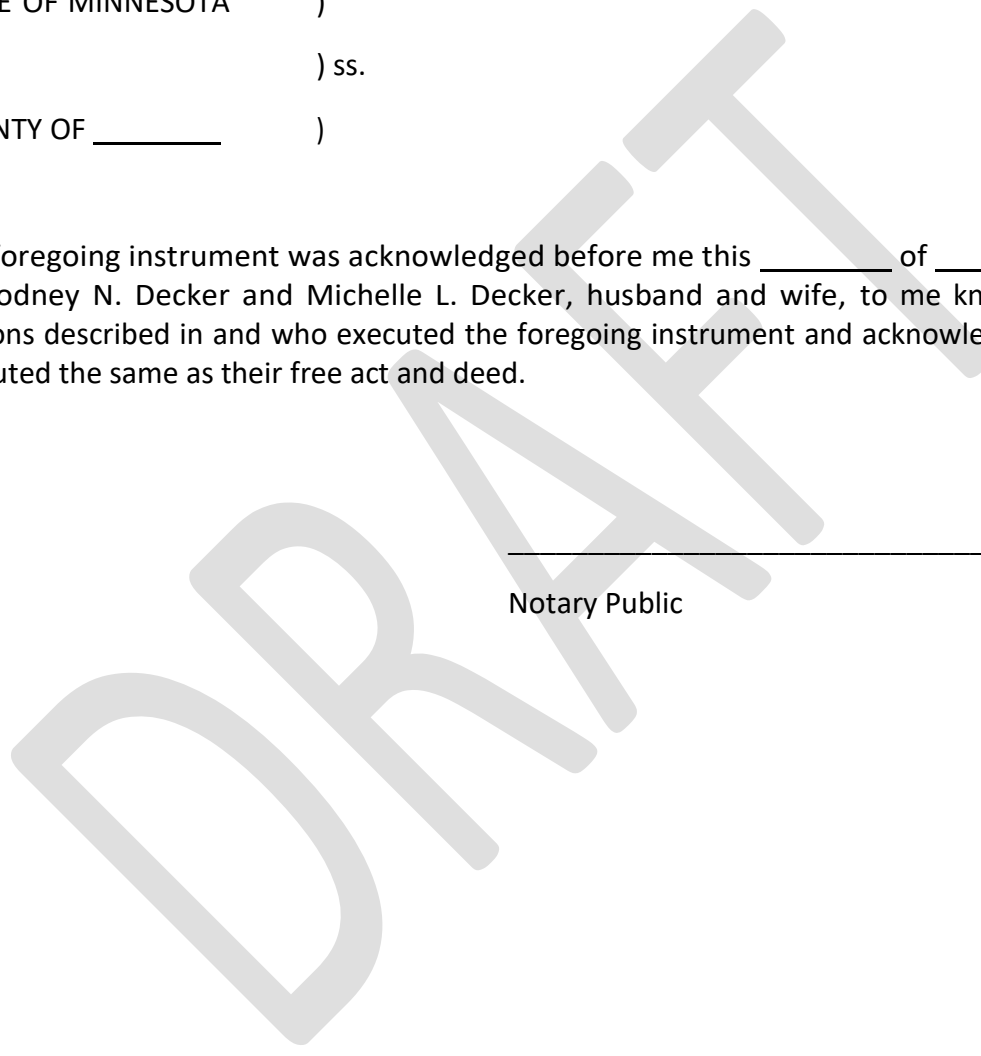
STATE OF MINNESOTA)

) ss.

COUNTY OF _____)

The foregoing instrument was acknowledged before me this _____ of _____, 2023, by Rodney N. Decker and Michelle L. Decker, husband and wife, to me known to be the persons described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

Notary Public



The Permittee

Jay M. McDonald

Carol A. McDonald

STATE OF MINNESOTA)

) ss.

COUNTY OF _____)

The foregoing instrument was acknowledged before me this _____ of _____, 2023, by Jay M. McDonald and Carol A. McDonald, husband and wife, to me known to be the persons described in and who executed the foregoing instrument and acknowledged that they executed the same as their free act and deed.

Notary Public

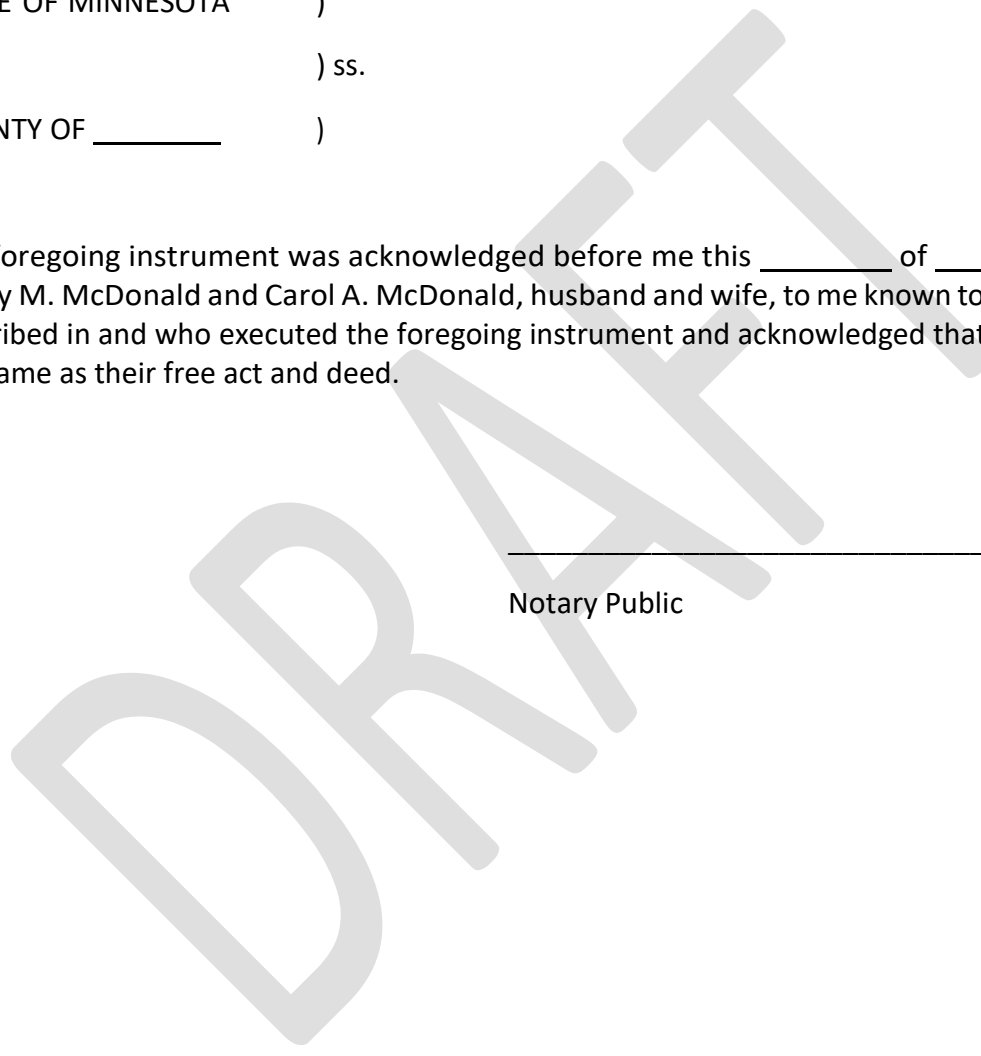


Exhibit 1

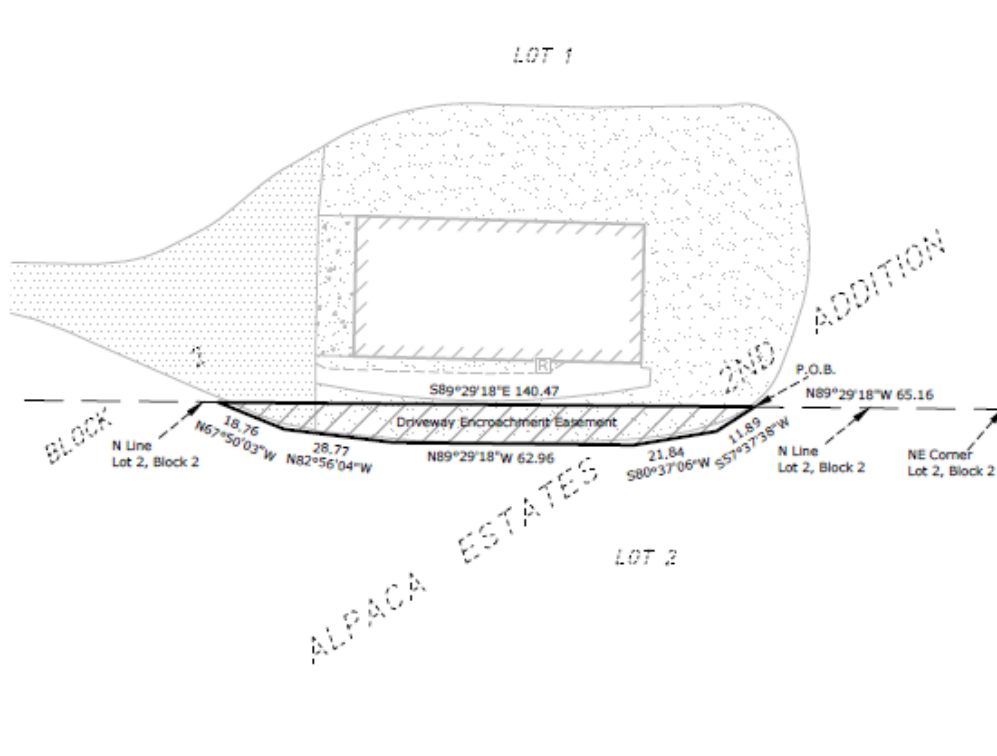
Driveway Encroachment Easement Exhibit Lot 2, Block 2, ALPACA ESTATES 2ND ADDITION Ramsey, Anoka County, Minnesota

DESCRIPTION

An easement for driveway encroachment purposes over, under and across that portion of Lot 2, Block 2, ALPACA ESTATES 2ND ADDITION, according to the recorded plat thereof, Anoka County, Minnesota described as follows:

Commencing at the northeast corner of said Lot 2; thence on an assumed bearing of North 89 degrees 29 minutes 18 seconds West along the north line of said Lot 2 for 65.16 feet to the point of beginning of the easement to be described; thence South 57 degrees 37 minutes 38 seconds West for 11.89 feet; thence South 80 degrees 37 minutes 06 seconds West for 21.84 feet; thence North 89 degrees 29 minutes 18 seconds West for 62.96 feet; thence North 82 degrees 56 minutes 04 seconds West for 28.77 feet; thence North 67 degrees 50 minutes 03 seconds West for 18.76 feet to said north line of Lot 2; thence South 89 degrees 29 minutes 18 seconds East along said north line for 140.47 feet to said point of beginning and there terminating.

Easement contains 1,159 sq. ft. +/-



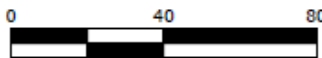
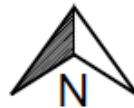
MINNESOTA CERTIFICATION

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 20th day of September, 2023.

Rory L. Synstellen

Minnesota License No. 44565



SCALE IN FEET

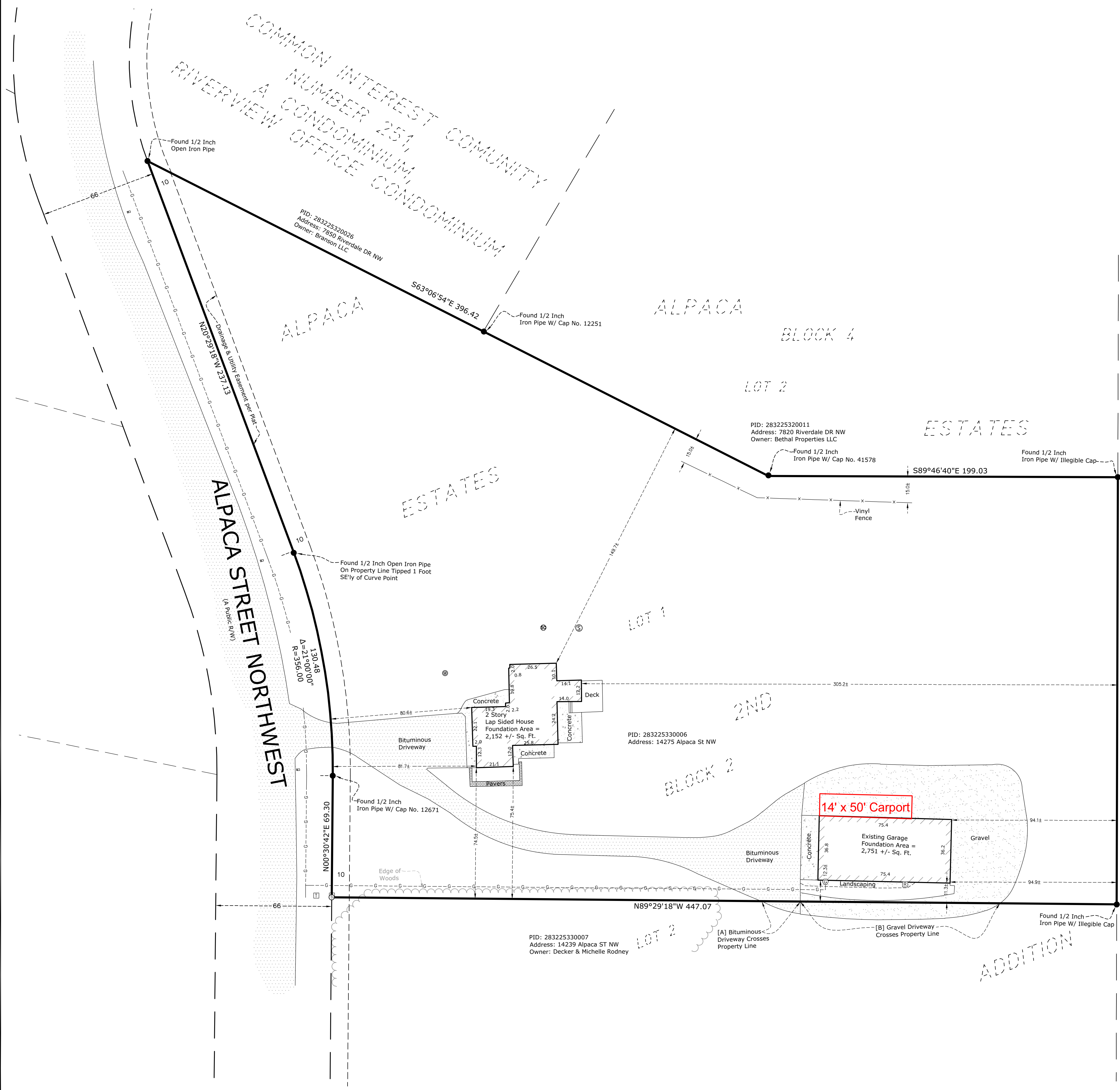
CivilSite

GROUP

5000 GLENWOOD AVENUE
GOLDEN VALLEY, MN 55422
CivilSiteGroup.com

Drawn By: Craig J.
Project No. 23331

SHEET 1 OF 1



DESCRIPTION OF PROPERTY SURVEYED

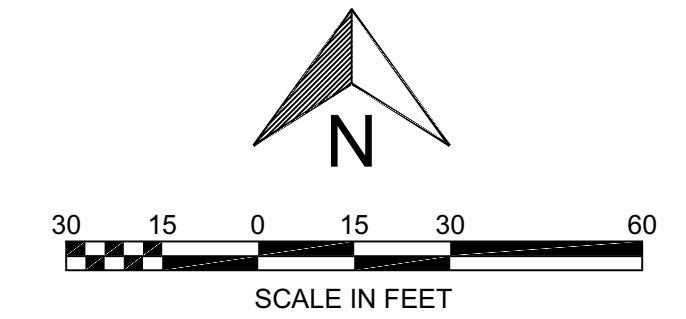
Lot 1, Block 2, ALPACA ESTATES 2ND ADDITION, Anoka County, Minnesota.

GENERAL SURVEY NOTES

- Bearings are based on the Anoka County Coordinate System (1996 Adjustment).
- We have shown the location of utilities to the best of our ability based on observed evidence together with evidence from the following sources: plans obtained from utility companies, plans provided by client, markings by utility companies and other appropriate sources. We have used this information to develop a view of the underground utilities for this site. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary. Also, please note that seasonal conditions may inhibit our ability to visibly observe all the utilities located on the subject property.
- Site Address: 14275 Alpaca Street Northwest, Ramsey, Minnesota 55303.
- This property is contained in Zone X (area determined to be outside the 0.2% annual chance floodplain) per Flood Insurance Rate Map, Community Panel No. 27003C0280E, effective date of December 16, 2015.
- The Gross land area is 135,957 +/- square feet or 3.121 +/- acres.
- The names of the adjoining owners of the platted lands, as shown hereon, are based on information obtained from the Anoka County Interactive Property Map.
- The field work was completed on 8-25-2023.

SURVEY REPORT

- This map and report was prepared without the benefit of a Commitment for Title Insurance. The property description was obtained from Anoka County tax records and may not be the latest description of record. We have shown hereon a drainage and utility easement per the plat of ALPACA ESTATES 2ND ADDITION only. There may be easements or other matters of record we are unaware of and thus not shown hereon.
- Conflicts such as (but not limited to): encroachments, protrusions, access, occupation, and easements and/or servitudes:
 - [A]. Bituminous driveway crosses the south line of subject property, as shown hereon.
 - [B]. Gravel driveway crosses the south line of subject property, as shown hereon.



Linetype & Symbol Legend

—E—	ELECTRIC LINE	⊠	AIR CONDITIONER	⊠	UTILITY VAULT
- - -E - - -	ELECTRIC LINE (RECORD)	⊠	CABLE TV BOX	⊠	UTILITY MANHOLE
- - -F - - -	FIBER/COMM. LINE	⊠	ELECTRIC MANHOLE	⊠	ELECTRICAL OUTLET
- - -F - - -	FIBER/COMM. LINE (RECORD)	⊠	ELECTRIC TRANSFORMER	⊠	HAND HOLE
G	GASMAIN	⊠	ELECTRICAL METER	⊠	BOLLARD
- - -G - - -	GASMAIN (RECORD)	⊠	FIBER/COMM. MANHOLE	⊠	FLAG POLE
OH	OVERHEAD UTILITIES	⊠	POWER POLE	⊠	FUEL TANK
—S—	SANITARY SEWER	⊠	GUY WIRE	⊠	HANDICAP SYMBOL
- - -S - - -	SANITARY SEWER (RECORD)	⊠	GAS METER	⊠	LIGHT POLE
—SS—	STORM SEWER	⊠	GAS MANHOLE	⊠	MAIL BOX
- - -SS - - -	STORM SEWER (RECORD)	⊠	GAS VALVE	⊠	SIGN
T	TELEPHONE LINE	⊠	ROOF DRAIN	⊠	CONIFEROUS TREE
- - -T - - -	TELEPHONE LINE (RECORD)	⊠	SEWER CLEAN OUT	⊠	DECIDUOUS TREE
W	WATERMAIN	⊠	SANITARY MANHOLE	⊠	SOIL BORING
- - -W - - -	WATERMAIN (RECORD)	⊠	STORM MANHOLE	⊠	FOUND IRON MONUMENT
—X—	CHAINLINK FENCELINE	⊠	CATCH BASIN	⊠	SET IRON MONUMENT
- - -X - - -	WOODEN FENCELINE	⊠	FLARED END SECTION	⊠	CAST IRON MONUMENT
—G—	GUARDRAIL	⊠	TELEPHONE BOX	⊠	
—A—	ACCESS RESTRICTION	⊠	TELEPHONE MANHOLE	⊠	
—C—	CONCRETE SURFACE	⊠	TRAFFIC SIGNAL	⊠	
—P—	PAVER SURFACE	⊠	HYDRANT	⊠	
—B—	BITUMINOUS SURFACE	⊠	FIRE CONNECTION	⊠	
—L—	GRAVEL/LANDSCAPE SURFACE	⊠	POST INDICATOR VALVE	⊠	
		⊠	WATER MANHOLE	⊠	
		⊠	WATER VALVE	⊠	
		⊠	WELL	⊠	

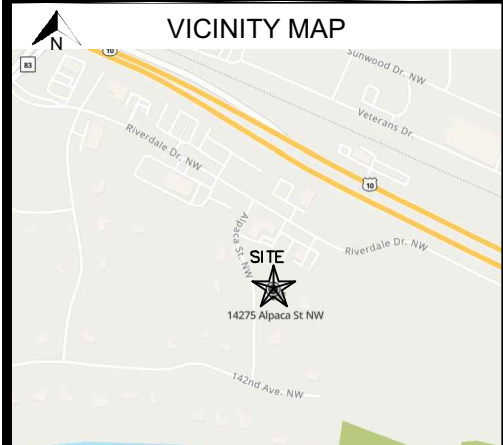
PROJECT
14276 Alpaca Street NW
Ramsey, Anoka County, Minnesota 55303

CLIENT
Jay McDonald
14275 Alpaca Street NW, Ramsey, Minnesota 55303

I HEREBY CERTIFY THAT THIS SURVEY, PLAN, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.

RORY L. SYNSTELIEN
DATE 9-6-2023 LICENSE NO. 44565

QA/QC	
FIELD CREW	DD
DRAWN BY	DP
REVIEWED BY	CJ
UPDATED BY	



REVISION SUMMARY	
DATE	DESCRIPTION

PROJECT NO.: 23331

BOUNDARY SURVEY

V1.0

Councilmember _____ introduced the following resolution and moved for its adoption:

RESOLUTION #23-239

**A RESOLUTION APPROVING A CONDITIONAL USE PERMIT FOR AN
OVERSIZED DETACHED ACCESSORY BUILDING ON THE PROPERTY
GENERALLY KNOWN AS 14275 APALCA STREET NW AND DECLARING TERMS
OF SAME**

RECITALS

1. Jay and Carol McDonald, hereinafter referred to as the “**Permittee**,” has properly applied for a Conditional Use Permit to allow an oversized detached accessory building on the property generally known as 14275 Alpaca Street NW and legally described as follows:

Lot 1, Block 2 Alpaca Estates 2nd Addition, Anoka County, Minnesota

(the “**Subject Property**”)
2. That the **Subject Property** is approximately 3.12 acres in size.
3. That the **Subject Property** is zoned R-1 Residential (MUSA) – 80.
4. That the parcels to the south and west of the **Subject Property** are also zoned R-1 Residential (MUSA) – 80 and the parcels to the north and east of the **Subject Property** are zoned B-2 Highway Business.
5. That based on the acreage of the **Subject Property**, the **Permittee** is eligible for a total of 2,700 square feet of detached accessory building space.
6. That the **Subject Property** currently has a single detached accessory structure that is 2,700 square feet in size, which is the maximum square footage allowed by Ramsey City Code Section 117-349.
7. That the **Permittee** is requesting a Conditional Use Permit to construct a fourteen foot by fifty foot (14’ x 50’) carport (the “**Addition**”) on the north side of the existing detached accessory structure to provide overhead cover for a motorhome.
8. That the **Subject Property** would have a total of 3,400 square feet of detached accessory building space.
9. That the proposed **Addition** to the existing detached accessory building meets all setback requirements for the R-1 Residential (MUSA) – 80 district.
10. That the proposed **Addition** will essentially be an extension of the existing roof of the detached accessory building.

11. That the roof of the **Addition** will match the existing roof of the detached accessory building.
12. That the **Permittee** has stated that no part of the detached accessory building or Addition will be used for a home occupation.
13. That there is an existing asphalt driveway that leads to the detached accessory building and an existing class V gravel driveway extension that encircles the building for maneuvering purposes.
14. That a concrete or asphalt parking pad will need to be installed underneath the carport to comply with City Code Section 117-355 (Residential Development Off-Street Parking).
15. That the **Permittee** has also applied for a variance to the driveway setback for the existing driveway along the south boundary of the **Subject Property**.
16. That the **Addition** will not disrupt the current individual well and septic systems on the **Subject Property**.
17. That the Ramsey Planning Commission duly held a public hearing and recommended approval/denial of the Conditional Use Permit during their regularly scheduled meeting on September 28, 2023.

FINDINGS OF FACT

1. That the size of the **Addition** will not impair an adequate supply of light and air to adjacent property.
2. That the size of the **Addition** will not unreasonably increase the congestion on the public street.
3. That the size of the **Addition** will not have the effect of allowing any use prohibited in the R-1 Residential (MUSA) – 80 District.
4. That the size and location of the **Addition** will not permit a lesser degree of public health, safety, and general welfare protection that established by Chapter 117 of the Ramsey City Code or permit standards that are lower than those required by state law.
5. That the size of the **Addition** will not increase the danger of fire or endanger the public safety.
6. That the size of the **Addition** will not unreasonably diminish or impair established property values within the neighborhood, or in any way be contrary to the intent of Chapter 117 of the Ramsey City Code.

7. That the size of the **Addition** will be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and such use will not change the essential character of the area.
8. That the size of the **Addition** will not violate the intent and purpose of the Comprehensive Plan.
9. That the size of the **Addition** will be in accordance with the objectives of the intent of Section 117-51 (Conditional Use Permits) of the Ramsey City Code.

NOW THEREFORE, BE IT RESOLVED BY THIS CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:

That the Ramsey City Council hereby grants approval of a Conditional Use Permit (the “**Permit**”) to construct a fourteen foot by fifty foot (14’ x 50’) carport addition (the “**Addition**”) onto the existing detached accessory building on the **Subject Property**, contingent upon the following conditions:

CONDITIONS

1. That this **Permit** allows for a 700 square foot carport to be constructed along the north side of the existing detached accessory building, resulting in a total of 3,400 square feet of detached structure square footage on the **Subject Property**.
2. That there shall be no other accessory buildings constructed on the **Subject Property**, unless in accordance with City Code.
3. That the **Permittee** shall construct the **Addition** in accordance with all other provisions of City Code Sections 117-111 (R-1 Residential District) and 117-349 (Accessory Uses and Buildings).
4. That the **Permittee** agrees to construct the **Addition** as shown on **Exhibit 1**.
5. That the **Addition** shall consist of roofing that matches the existing roof of the detached accessory building on the **Subject Property**.
6. That the **Permittee** agrees that no part of the **Addition** shall be used for a home occupation unless in compliance with City Code Section 117-351 (Home Occupations).
7. That the **Permittee** agrees to install an asphalt or concrete parking surface under the **Addition** to ensure compliance with off-street parking regulations outlined in City Code Section 117-355 (Residential Development Off-Street Parking), 117-349 (Accessory Uses and Buildings), and 117-111 (R-1 Residential District).
8. That this **Permit** shall be perpetual in duration as long as the terms are herein complied with.

9. That the **Permittee** shall be responsible for all City costs incurred in administering and enforcing this **Permit**.
10. That the **Permittee** shall obtain all necessary permits prior to commencing any construction of the **Addition**, including a building permit.
11. That the City Administrator, or his/her designee, shall have the right to inspect the **Subject Property** for compliance and safety purposes.
12. That this **Permit** shall automatically expire if the use is not initiated by October 10, 2024, and issuance of the building permit shall constitute initiation.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember _____, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

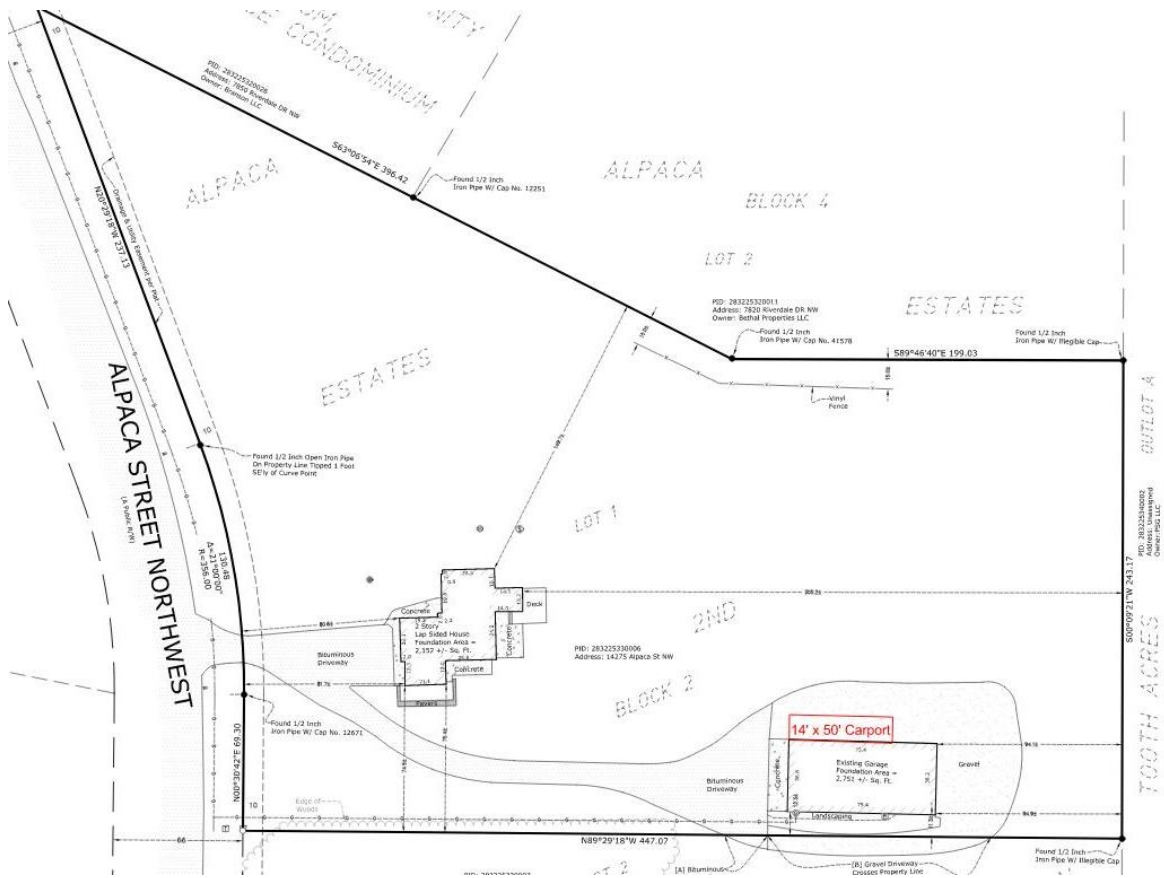
whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 10th day of October, 2023.

Mayor

ATTEST:

City Clerk

Exhibit A Site Plan



Commissioner _____ introduced the following resolution and moved for its adoption:

RESOLUTION #23-240

A RESOLUTION APPROVING THE ISSUANCE OF A VARIANCE TO DRIVEWAY SETBACKS AT 14275 ALPACA STEET NW AND DECLARING TERMS OF SAME

RECITALS

1. The City of Ramsey received an application from Jay and Carol McDonald (the “**Permittee**”) requesting a Variance to the minimum driveway setback on the property generally known as 14275 Alpaca Street NW and legally described as follows:

Lot 1, Block 2 Alpaca Estates 2ND ADDITION, Anoka County, Minnesota

(the "Subject Property")

2. That the **Permittee** appeared before the Planning Commission for a public hearing pursuant to Section 117-53 (Variances) of the Ramsey City Code on September 28, 2023, and that said public hearing was properly advertised and that the minutes of said public hearing are available.
3. That the **Subject Property** is approximately 3.12 acres in size.
4. That the **Subject Property** is zoned R-1 Residential (MUSA) – 80.
5. That the **Subject Property** is located in the Mississippi River Corridor Critical Area (MRCCA) Overlay District and more specifically, in the Separated from River (SR) district, which defaults to underlying zoning district standards.
6. That the parcels to the south and west of the **Subject Property** are also zoned R-1 Residential (MUSA) – 80 and the parcels to the north and east of the **Subject Property** are zoned B-2 Highway Business.
7. That the surrounding residential properties are all at least 2.5 acres in size.
8. That the **Subject Property** is guided as Low Density Residential in the 2040 Comprehensive Plan.
9. That the **Permittee** has an existing driveway (the “**Driveway**”), which consists partially of asphalt and partially of class V gravel, that leads to and around an existing detached accessory building.
10. That City Code Section 117-111 (R-1 Residential District) specifies a minimum setback of five (5) feet for a driveway to a side lot line.

11. That a portion of the **Driveway** not only encroaches on the minimum required setback but also encroaches onto the adjacent residential property as well.
12. That the driveway setback specified in City Code is intended to serve multiple purposes, including keeping impervious surfacing out of drainage and utility easements and providing space for snow storage.
13. That there is no drainage and utility easement along the southern lot of the **Subject Property**.
14. That the larger property sizes in this neighborhood provide ample space for snow storage.
15. That the **Permittee** has stated that they have communicated with the owner of the impacted property and that they have no objection to the encroachment.
16. That the **Permittee** stated a previous owner of the **Subject Property** had to dig a small basin in the rear yard to correct drainage problems that were resulting in water in the basement and as a result, the detached accessory building had to be constructed at the minimum side yard setback at the time.
17. That the **Driveway** encroachment is not readily visible from surrounding properties.

FINDINGS OF FACT

1. That the **Driveway** does not impair an adequate supply of light and air to adjacent property.
2. That the **Driveway** does not unreasonably increase the congestion on the public street.
3. That the **Driveway** does not have the effect of allowing any use prohibited in the R-1 Residential (MUSA) – 80 district.
4. That the **Driveway** does not permit a lesser degree of public health, safety, and general welfare protection than established by Chapter 117 of the Ramsey City Code, or permit standards which are lower than those required by state law.
5. That the **Driveway** does not increase the danger of fire or endanger the public safety.
6. That the **Driveway** does not unreasonably diminish or impair established property values within the neighborhood, nor in any way is the **Driveway** contrary to the intent of Chapter 117 of the Ramsey City Code.
7. That the **Driveway** is harmonious and appropriate in appearance with the existing or intended character of the general vicinity and such use will not change the essential character of the area.
8. That the **Driveway** does not violate the intent and purpose of the Comprehensive Plan.

9. That the **Driveway** will be in accordance with the objectives of the intent of Section 117-53 (Variances) of the Ramsey City Code.
10. That the **Driveway** will not be detrimental to Primary Conservation Areas (PCA) or Public River Corridor Views (PRCV) within the MRCCA.
11. That issuance of a variance for the **Driveway** would in no way be inconsistent with the character and management purpose of the SR District of the MRCCA.
12. That the **Driveway**, other than the side yard setback, is in substantial compliance with the MRCCA standards.

NOW THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:

That the Ramsey Planning Commission hereby grants approval of a variance (the “Variance”) to deviate from the required driveway setback from a side property line to allow a driveway to be located with a zero setback on the **Subject Property**, subject to review and approval as to legal form and contingent upon the following conditions:

CONDITIONS

1. That this **Variance** shall allow a deviation to the setback requirement on the **Subject Property** as shown in Exhibit 1.
2. That this **Variance** shall be perpetual in duration as long as the terms are herein complied with.
3. That the **Permittee** shall not expand the **Driveway** in any way unless in full compliance with City Code.
4. That the **Permittee** shall be required to execute an Encroachment Agreement with the adjacent property owner and the **Permittee** shall record said Encroachment Agreement against both the **Subject Property** as well as Lot 2, Block 2 Alpaca Estates 2nd Addition.
5. That the **Permittee** shall be responsible for all City costs incurred in administering and enforcing this **Variance**.

The motion for the adoption of the foregoing resolution was duly seconded by Commissioner _____, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

whereupon said resolution was declared duly passed and adopted by the Ramsey Planning Commission this the 28th day of September, 2023.

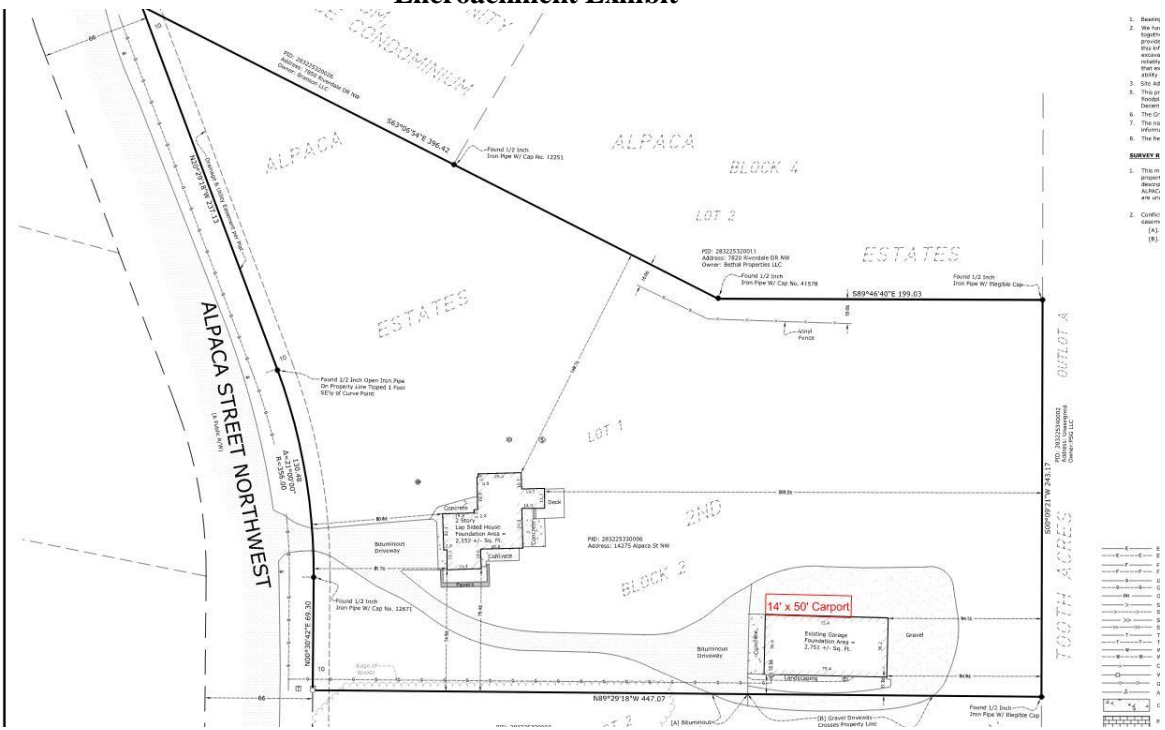
Planning Commission Chairperson

ATTEST:

City Clerk

The document drafted by:
The City of Ramsey
7550 Sunwood Dr NW
Ramsey, Minnesota 55303

Exhibit 1 Encroachment Exhibit



1. Survey
2. We have
3. Provided
4. This
5. City of
6. The
7. The
8. The

SURVEY

1. This
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Regular Planning Commission**Meeting Date:** 09/28/2023**Primary Strategic Plan Initiative:** Promote economic growth and development.**Information****Title:**

PUBLIC HEARING: Consider a Site Plan and Conditional Use Permit from Dehn Oil at 6651 141st Avenue NW

Purpose/Background:

The City has received an application for a Site Plan and Conditional Use Permit from Dehn Oil (the "Applicant") to construct above ground fuel tank storage, an access road, and a paved storage area at 6651 141st Avenue NW (the "Subject Property"). The Applicant is a wholesale marketer of refined products and renewable fuels, and supplies and delivers services for unbranded and branded gasoline, diesel fuel, bio-diesel, gasoline with ethanol, and a full line of lubricants. The Applicant recently purchased the Subject Property to expand their business operations.

Notification:

Staff attempted to notify property owners within 350 feet of the Subject Property, as reflected in the Anoka County Property Records, of the request for Conditional Use Permit consideration and the Public Hearing to be held by the Planning Commission on September 13, 2023. A notice of the Public Hearing was published in the Anoka County UnionHerald, the City's official newspaper. A proposed development sign was placed on the property.

Time Frame/Observations/Alternatives:**Subject Property**

The Subject Property is located along the north side of 141st Avenue NW, between Ebony Street NW and Basalt Street NW, and is approximately 10.18 acres in size. It is zoned E-2, Employment District, and is guided as Business Park. The construction, storage, and operation of above-ground fuel tanks, both empty and full, are classified as Open and Outdoor Storage as a Principal Use, which is a Conditional Use in this zoning district. The Subject Property abuts employment zoned property to the west and north, PUD zoned property to the east, which is designated for employment land use, and is across 141st Avenue NW from employment zoned property. The Subject Property itself is currently used for industrial businesses.

Existing Site Conditions

The existing building is occupied by several industrial-use tenants. The Applicant's office is located on the adjacent property to the west. The Applicant uses the rear yard of the Subject Property for outdoor storage and processing of demolition concrete and bituminous, as allowed by the existing CUP #12-05-070, adopted by City Council on May 22nd, 2012. Additionally, the rear yard is currently being used for the storage of vehicles, both operable and inoperable, and the storage of various items related to the Applicant's business. There is a storm water detention basin located at the far north end of the Subject Property; no work will take place within the basin.

The above-ground fuel tanks were installed prior to the Applicant becoming aware of the City's permitting requirements for such equipment. Upon discovering the tanks, Staff instructed the Applicant to apply for a CUP to allow for the site to be brought back into compliance followed by the appropriate Fire permits.

Proposed Use

The Applicant is proposing the construction of above-ground fuel tank storage, two above-ground supply tanks, an access road, and a paved storage area in the rear yard of the Subject Property to accommodate their business

operations. There will be no changes to the existing building on the Subject Property as part of this application. To comply with Fire Department regulations, the Applicant is also proposing to install bollards and a six-foot-tall fence around the two above-ground fuel tanks. The fence will have gates that open to the west, east, and south, to allow for vehicular access and snow removal. Additionally, the access road and paved storage area will be installed to accommodate the storage of above-ground fuel tanks, per Fire Code requirements. This installation of paved surfacing will decrease the area used for the storage and processing of demolition concrete and bituminous.

Since the Applicant is proposing to make substantial site improvements to the Subject Property, a Site Plan review is required with a recommendation from the Planning Commission and final approval from the City Council. Additionally, since this application involves the use of fuel storage, the Fire Marshal has been intensively involved in the review process and has worked with the Applicant to bring their plans into compliance with Fire Code.

The plan set and Staff review comments at the time of writing this case, along with Resolution #23-235 to approve both the Site Plan and CUP, are attached for review.

Access & Parking

Access to the site is provided via two driveways onto 141st Avenue NW. The proposed access road and paved storage area will be an extension of the existing paved area on the north side of the principal building on site. There will be no change in access to 141st Avenue NW, and there will be no change in parking requirements for the Subject Property with this project.

Staff Comments

This CUP would allow for the construction and operation of two above-ground fuel tanks, storage of empty above-ground fuel tanks, an access road, and paved storage area on the Subject Property, in accordance with the E-2 Employment District standards. All of these items require a Site Plan Review as well as the CUP. As noted above, the above-ground fuel tanks were already installed without first obtaining permits from the Fire Department or obtaining a CUP. Thus, this CUP is intended to retroactively bring the Applicant into compliance with City Code. Staff are open to additional conditions that the Planning Commission may desire to incorporate. A copy of Resolution #23-235 approving both the Site Plan and CUP is attached for review.

At the time of the case writing, the first and second rounds of review from City Staff have been fully conducted. As part of reviewing the application, Staff inspected the site and noticed an accumulation of junk and debris. Additionally, staff noticed that the existing stockpiles exceeded the height and area requirements outlined in the previously-approved CUP. The Applicant shall bring these items into compliance with City Code and the terms of their existing CUP before issuance of the new CUP can take place.

The only remaining items to be addressed in Applicant's submittal relate to Engineering staff's requirements for corrected verbiage in the stormwater report, and adding match lines and turning templates to the paving plan. Engineering staff are currently working on their review of resubmitted plans, received from the applicant on September 6th, which may address the outstanding items.

As mentioned above, Staff review comments are attached to this case.

Public Correspondence

At the time of the case writing, staff have not received any comments or questions regarding the application.

Alternatives

Alternative 1: Recommend the City Council approve the Site Plan and Conditional Use Permit as proposed. Open and Outdoor Storage as a Principal Use is a conditional use in the E-2 Employment District and the proposed Site Plan appears to meet the bulk standards of this district. The request is a reasonable industrial use of the Subject Property.

Alternative 2: Recommend the City Council approve the Site Plan and Conditional Use Permit with additional changes based on Planning Commission discussion.

Alternative 3: Recommend the City Council deny the Site Plan and Conditional Use Permit based on certain findings.

Alternative 4: Direct Staff to schedule a Revocation of Conditional Use Permit hearing based on non-compliance findings with the existing Conditional Use Permit.

Funding Source:

All costs associated with this request are the Applicant's responsibility.

Recommendation:

Staff recommends adoption Resolution #23-235 approving the Conditional Use Permit and Site Plan on the Subject Property.

Outcome/Action:

Motion to recommend the City Council adopt Resolution #23-235 approving the Conditional Use Permit and Site Plan for storage of fuel tanks at 6651 141st Avenue NW.

Attachments

- Site Location Map
- Public Hearing Notice
- Mailing Map - 350 Feet
- Plan Set
- Project Narrative
- Staff Review Comments
- Resolution #23-235 Conditional Use Permit & Site Plan

Form Review

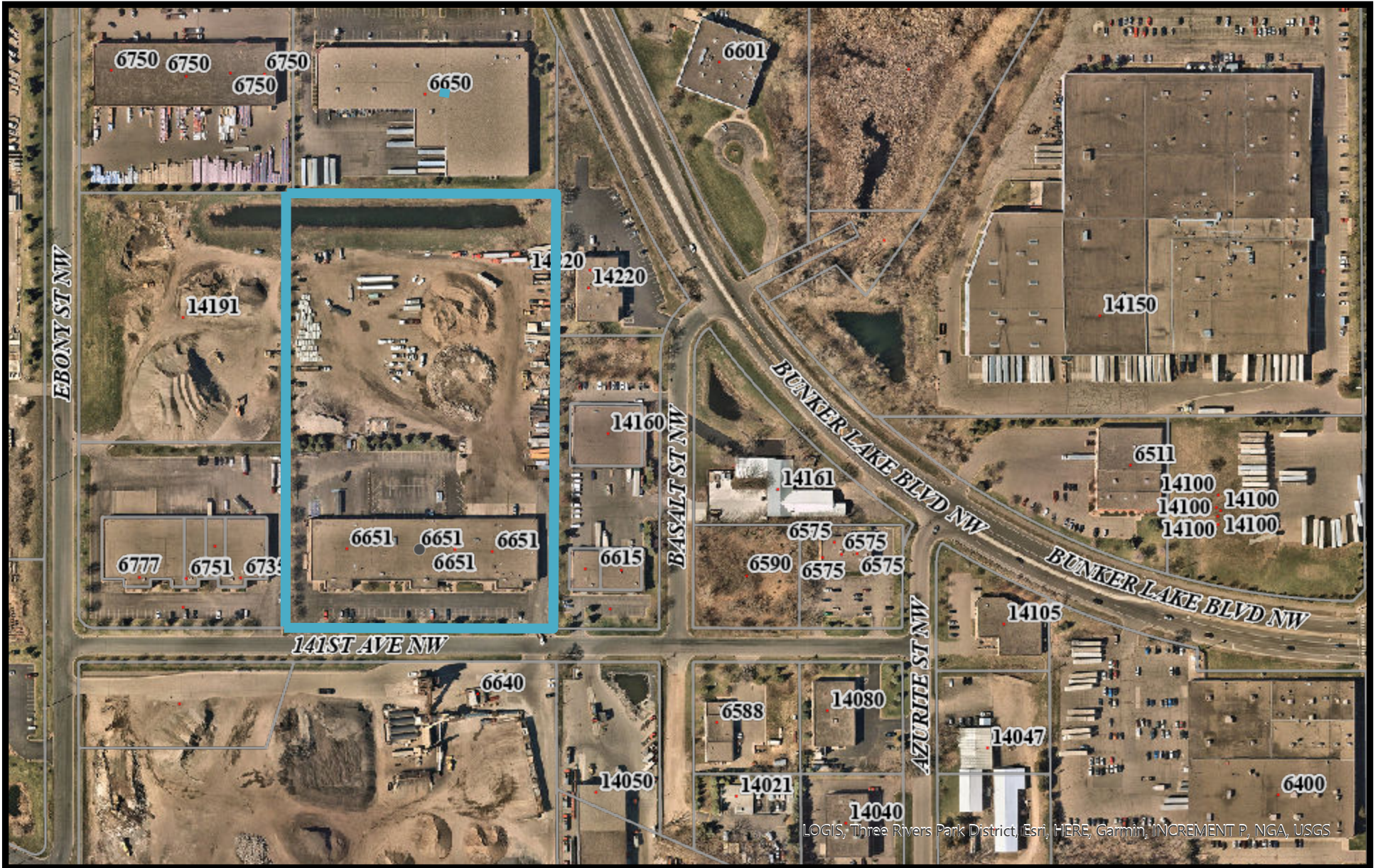
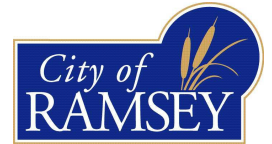
Inbox	Reviewed By	Date
Adam Martin	Adam Martin	09/19/2023 05:08 PM
Brian Hagen	Brian Hagen	09/21/2023 11:13 AM
Form Started By: Adam Martin		Started On: 09/19/2023 11:02 AM
Final Approval Date: 09/21/2023		

27-32-25-43-0015

6651 141st Ave NW

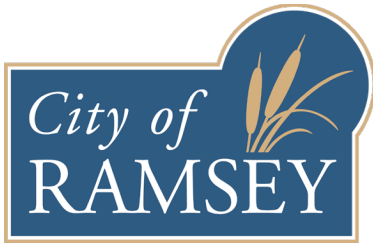
DEHN OIL

Conditional Use Permit



Print Date: August 24, 2023

0 0.02 0.04 0.07 0.11 0.14 mi



7550 Sunwood Drive NW • Ramsey, MN 55303

City Hall: 763.427.1410 • Fax: 763.427.5543

www.cityoframsey.com

**NOTICE OF PUBLIC HEARING
PROJECT 23-114: DEHN OIL
CONDITIONAL USE PERMIT**

**CITY OF RAMSEY
ANOKA COUNTY
STATE OF MINNESOTA**

TO WHOM IT MAY CONCERN:

Notice is hereby given that the Planning Commission of the City of Ramsey will hold a public hearing on Thursday, September 28, 2023, at 7:00 p.m. at Ramsey Municipal Center, 7550 Sunwood Drive NW, Ramsey, MN 55303.

The purpose of the hearing is to consider a request for a Conditional Use Permit for above-ground fuel tank storage, access road and paved storage area on the property generally known as 6651 141st Ave NW and legally described as follows:

LOT 1, BLOCK 1, GATEWAY NORTH INDUSTRIAL PARK NO. 5, Anoka County,
Minnesota

The City of Ramsey complies with the Americans with Disabilities Act and upon advance request, information will be provided in an alternative form and interpreters will be available. Any person with such a request should contact Dana Verbeek at 763-433-9824 by noon on Wednesday, September 20, 2023.

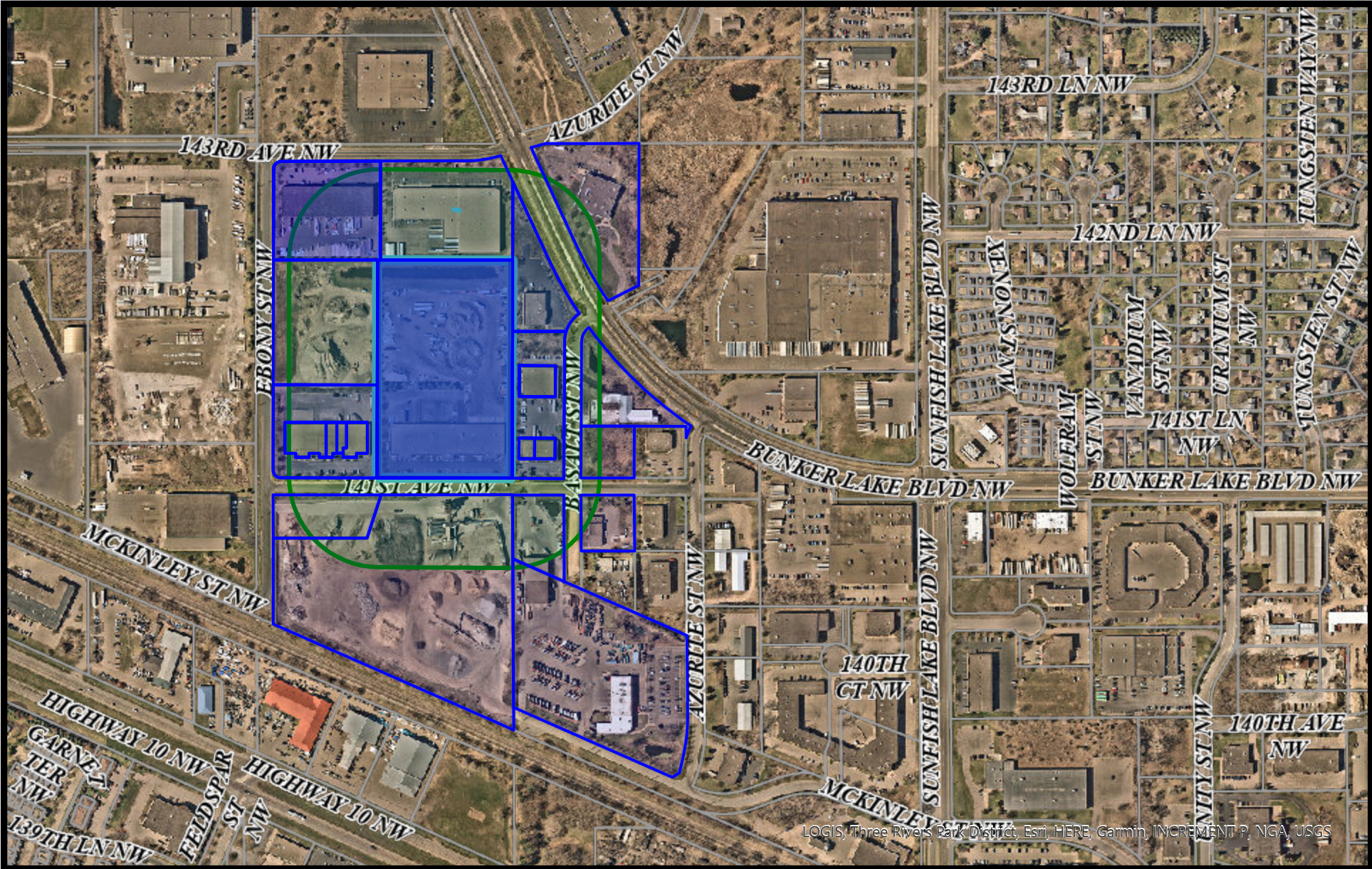
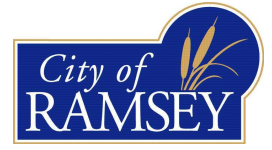
All interested persons are invited to watch the meeting from a PC, Mac, Linus, IOS, or Android at www.cityoframsey.com/meetings.

Comments are welcome and shall be sent to planning@cityoframsey.com or addressed to the Ramsey City Council, at 7550 Sunwood Drive NW, Ramsey, MN 55303. Any comments must be received at the above email or address prior to 4:00 p.m. on September 28, 2023. For any other inquiries relating to this project contact Adam Martin at 763-443-9860 or amartin@cityoframsey.com.

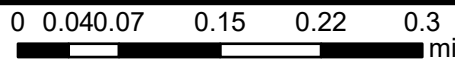
Adam Martin
City Planner

Date: September 13, 2023

350FT Mailing MAP



LOGIS, Three Rivers Park District, Esri, HERE, Garmin, INCREMENT P, NGA, USGS



DEHN OIL COMPANY - SITE IMPROVEMENTS

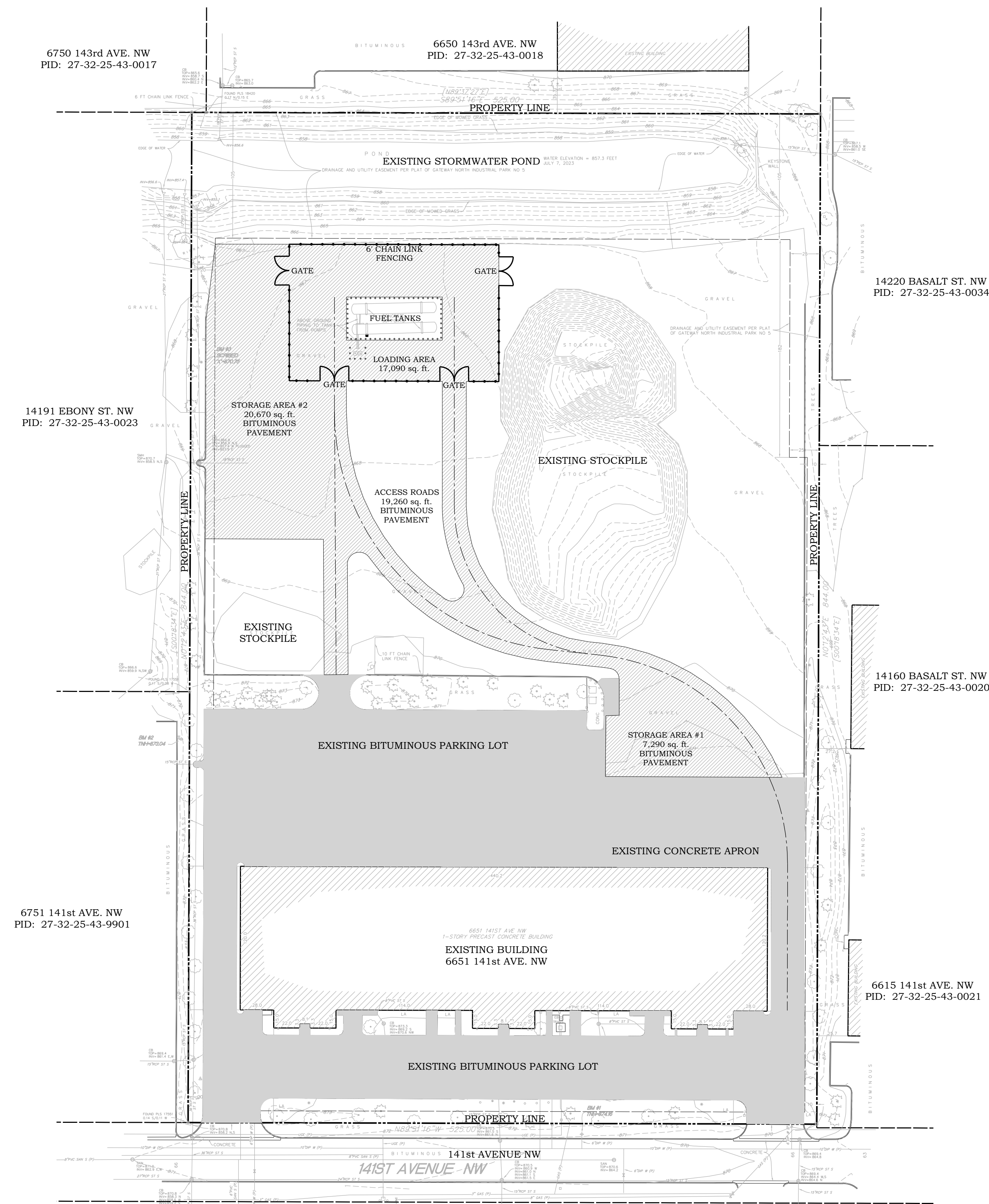
6651 141st AVENUE NW - RAMSEY, MINNESOTA

PIERCE PINI &
ASSOCIATES, INC.
Consulting Civil Engineers

9298 CENTRAL AVENUE NE
SUITE 312
BLAINE, MN 55434
TEL 763-537-1311

DEHN OIL COMPANY
SITE IMPROVEMENTS

6651 141st AVENUE NW
RAMSEY, MN 55303



PROPERTY INFORMATION

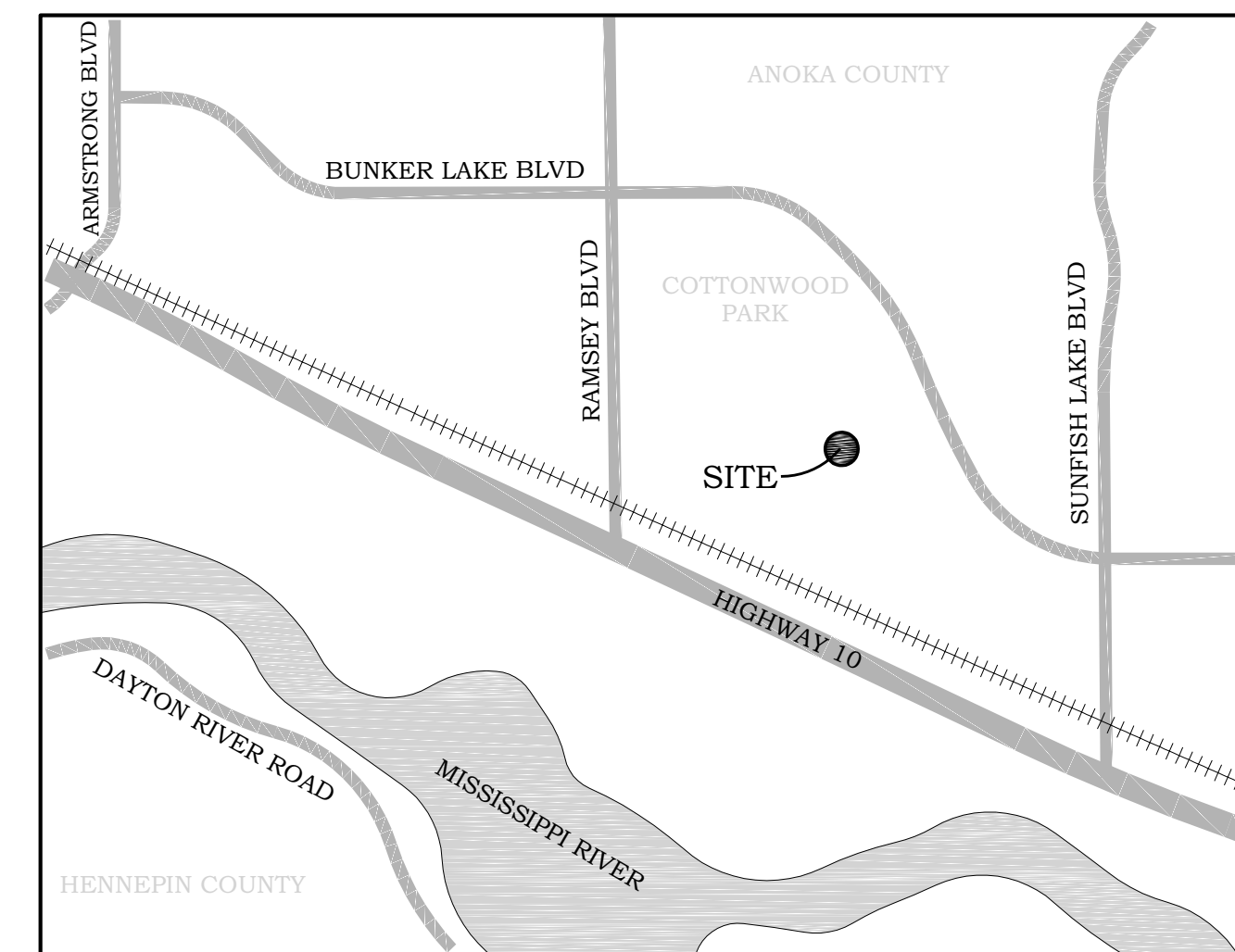
ADDRESS: 6651 141st AVENUE NW, RAMSEY, MN
PARCEL ID: 27-32-25-43-0015
LOT AREA: 10.17 ACRES
WATERSHED: LOWER RUM RIVER WMO
ZONING DISTRICT: E-2 EMPLOYMENT

DRAWING INDEX

- C000 - COVER SHEET
- C101 - SITE REMOVALS PLAN
- C102 - SITE REMOVALS PLAN
- C200 - STORMWATER POLLUTION PREVENTION NOTES
- C201 - STORMWATER POLLUTION PREVENTION AREA MAP
- C300 - STORMWATER POLLUTION PREVENTION DETAILS
- C401 - GRADING, DRAINAGE AND EROSION CONTROL PLAN
- C402 - GRADING, DRAINAGE AND EROSION CONTROL PLAN
- C501 - PAVING PLAN
- C502 - PAVING PLAN
- C600 - CIVIL DETAILS

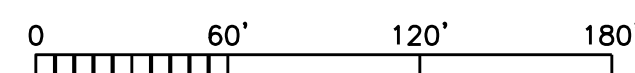
CONSTRUCTION NOTES

1. ALL EXISTING INFORMATION TAKEN FROM SUNDE LAND SURVEYING DATED 07/12/2023.
2. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING LOCATIONS OF EXISTING UTILITIES, AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
3. CONTRACTOR TO PREVENT DIRT AND/OR DEBRIS FROM BEING TRANSPORTED OFF-SITE IN AN UNCONTROLLED MANNER. SEDIMENT DISCOVERED SHALL BE REMOVED BY CONTRACTOR WITHIN 7 DAYS OF DISCOVERY.
4. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH CITY OF RAMSEY, ANOKA COUNTY AND STATE OF MINNESOTA REGULATIONS AND STANDARDS.
5. EXISTING UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS. CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES WHICH MAY INCLUDE BUT IS NOT LIMITED TO: ELECTRIC, TELEPHONE, GAS, CABLE TV, COMPUTER CABLE, FIBER OPTIC CABLE, SANITARY SEWER, STORM SEWER AND WATER MAIN. CONTRACTOR TO CONTACT THE GOPHER STATE ONE CALL BEFORE EXCAVATING.
6. CONTRACTOR TO PROTECT FROM DAMAGE ALL EXISTING IMPROVEMENTS, LANDSCAPING, STRUCTURES AND UTILITIES THAT ARE TO REMAIN. CONTRACTOR TO STORE AND PROTECT EXISTING SITE FEATURES WHICH NEED TO BE REMOVED AND REPLACED. CONTRACTOR TO PREVENT DAMAGE OR THEFT OF THESE ITEMS AND TO REPAIR AND REPLACE AT OWN EXPENSE.
7. ALL EXCAVATIONS MUST COMPLY WITH THE REQUIREMENTS OF OSHA 29 CFR, PART 1926, SUBPART P "EXCAVATIONS AND TRENCHES". THIS DOCUMENT STATES THAT EXCAVATION SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
8. CONTRACTOR SHALL COORDINATE WITH ARCHITECT'S DRAWINGS TO VERIFY LOCATION, SIZE AND QUANTITY OF ALL ROOF DRAINS AND UTILITY CONNECTIONS.
9. PROVIDE TRAFFIC CONTROL IN ACCORDANCE WITH MMUTCD, INCLUDING "FIELD MANUAL FOR TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS", CURRENT EDITION.
10. DRAWINGS DO NOT INDICATE AREAS OF TEMPORARY SUPPORT SYSTEMS. THE CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS AND WILL HAVE TOTAL CONTROL OVER THE TYPES AND DESIGN OF ALL SHORING, SHEETING, BRACING, ANCHORAGES, EXCAVATION SUPPORT WALLS, DIRECTIONAL BORING, AUGER JACKING, SOIL STABILIZATION AND OTHER METHODS OF PROTECTING EXISTING IMPROVEMENTS. SEE SPECIFICATIONS FOR SUBMITTAL REQUIREMENTS.
11. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO STARTING CONSTRUCTION.
12. ALL MATERIALS FOR PROPOSED CONSTRUCTION OR REPAIR OF EXISTING FACILITIES SHALL BE NEW PRODUCTS DIRECT FROM THE FACTORY AND FREE FROM DEFECTS.
13. WHEN WORKING AROUND EXISTING UTILITIES, LIGHT POLES, TRAFFIC SIGNALS, TELEPHONE OR POWER POLES, THE CONTRACTOR SHALL PROVIDE SUFFICIENT SUPPORT OR BRACING TO PREVENT EXCESSIVE STRESS ON THE PIPING. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO EXACTLY LOCATE AND PRESERVE THESE UNDERGROUND FACILITIES.
14. CARE MUST BE TAKEN DURING CONSTRUCTION AND EXCAVATION TO PROTECT ANY SURVEY MONUMENTS AND/OR PROPERTY IRONS. MONUMENTS DAMAGED OR DISPLACED DUE TO CONTRACTOR NEGLIGENCE SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
15. CONTRACTOR SHALL NOT BLOCK DRAINAGE FROM OR DIRECT EXCESS DRAINAGE ONTO ADJACENT PROPERTY.
16. ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND ANY DRAINAGE STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THE SATISFACTION OF THE OWNING AUTHORITY.
17. CONTRACTOR MUST ADHERE TO AXLE LOAD LIMITS WHEN DELIVERING MATERIALS AND EQUIPMENT TO THE SITE. ANY DAMAGE TO THE ROADWAY AND THE CITY RIGHT-OF-WAY SHALL BE REPAIRED TO THE CITY'S SATISFACTION AT THE COST OF THE CONTRACTOR.
18. CONTRACTOR SHALL TAKE PHOTOGRAPHS AND DOCUMENT THE CONDITION OF THE EXISTING ROADWAY PRIOR TO CONSTRUCTION.



LOCATION MAP

NORTH
1
C000
SITE PLAN



1" = 60' (22" x 24" SHEET)
1" = 120' (11" x 17" SHEET)

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Company: PIERCE PINI & ASSOCIATES

Signed: *Kevin Gardner*
Name: Kevin Gardner

Date: 09/06/2023 Reg. No: 45815

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Drawing Title

COVER SHEET

C000

DRAWING LEGEND

- PROPERTY LINE
- - - DRAINAGE AND UTILITY EASEMENT
- - - PROPOSED SAWCUT
- [Cross-hatched] BITUMINOUS PAVEMENT REMOVAL
- [Diagonal-hatched] AGGREGATE STOCKPILE RELOCATION

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 SUITE 312
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 TEL 763-537-1311

DEHN OIL COMPANY
SITE IMPROVEMENTS

6651 141st AVENUE NW
 RAMSEY, MN 55303

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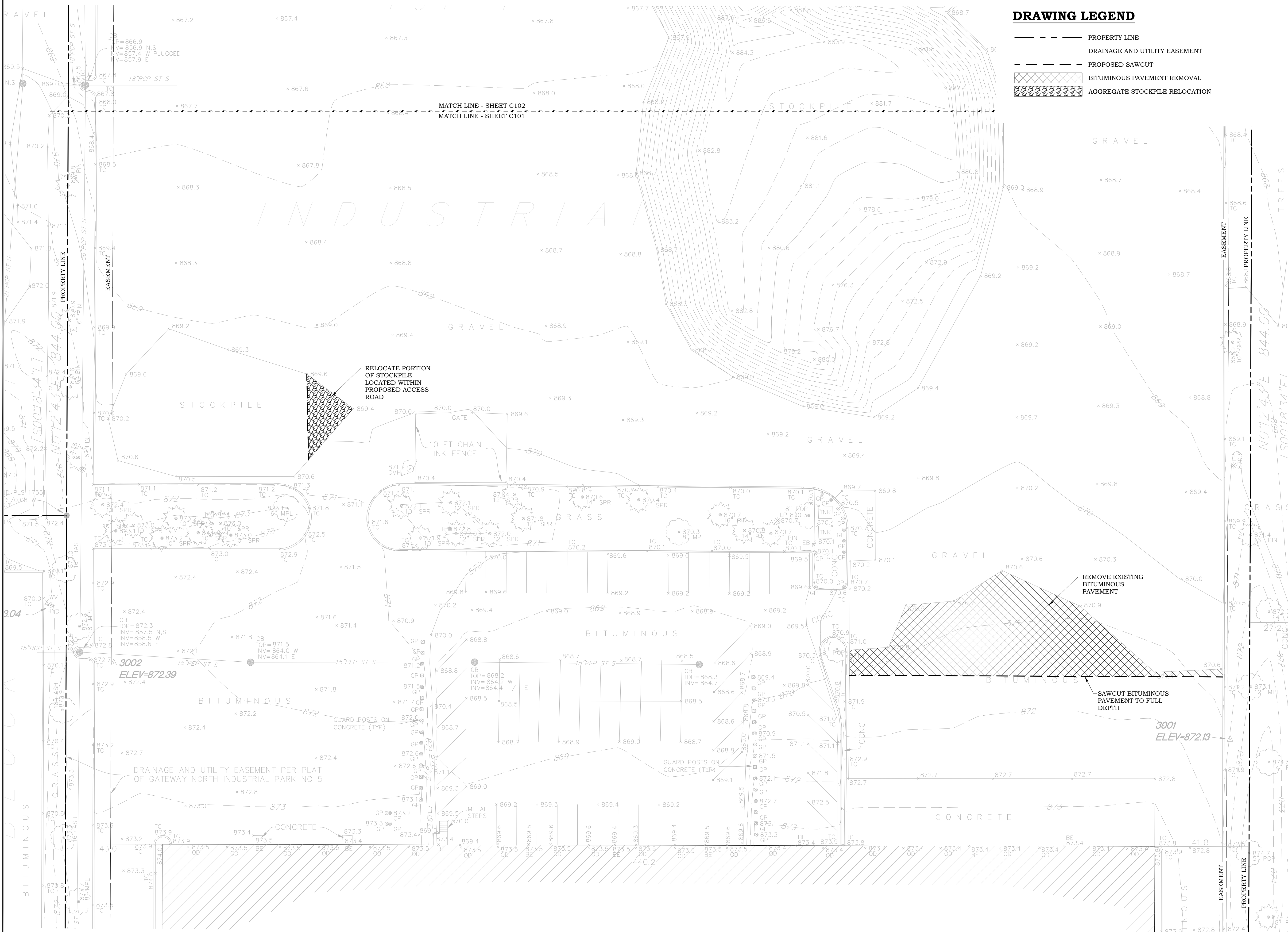
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Date 09/06/2023

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Drawing Title
SITE DEMOLITION PLAN

C101



SITE DEMOLITION PLAN

1
 C101

0 20' 40' 60'

1" = 20' (22" x 34" SHEET)
 1" = 40' (11" x 17" SHEET)

1" = 20' (22" x 34" SHEET)
 1" = 40' (11" x 17" SHEET)

DRAWING LEGEND

- PROPERTY LINE
- - - DRAINAGE AND UTILITY EASEMENT
- - - PROPOSED SAWCUT
- [Hatched Box] BITUMINOUS PAVEMENT REMOVAL
- [Cross-hatched Box] AGGREGATE STOCKPILE RELOCATION

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Drawing Title

SITE DEMOLITION PLAN

C102



1 SITE DEMOLITION PLAN

0 20' 40' 60'

NORTH

MATCH LINE - SHEET C102
 MATCH LINE - SHEET C101

1" = 20' (22" x 34" SHEET)
 1" = 40' (11" x 17" SHEET)

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NPDES IMPAIRED WATERS MAP

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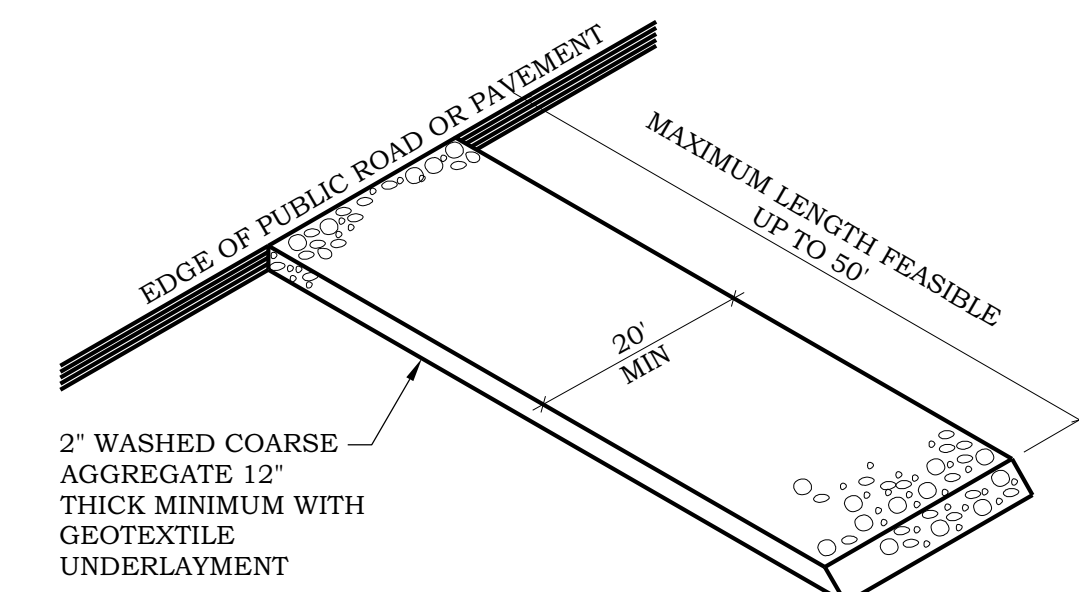
Date 09/06/2023

City Approval

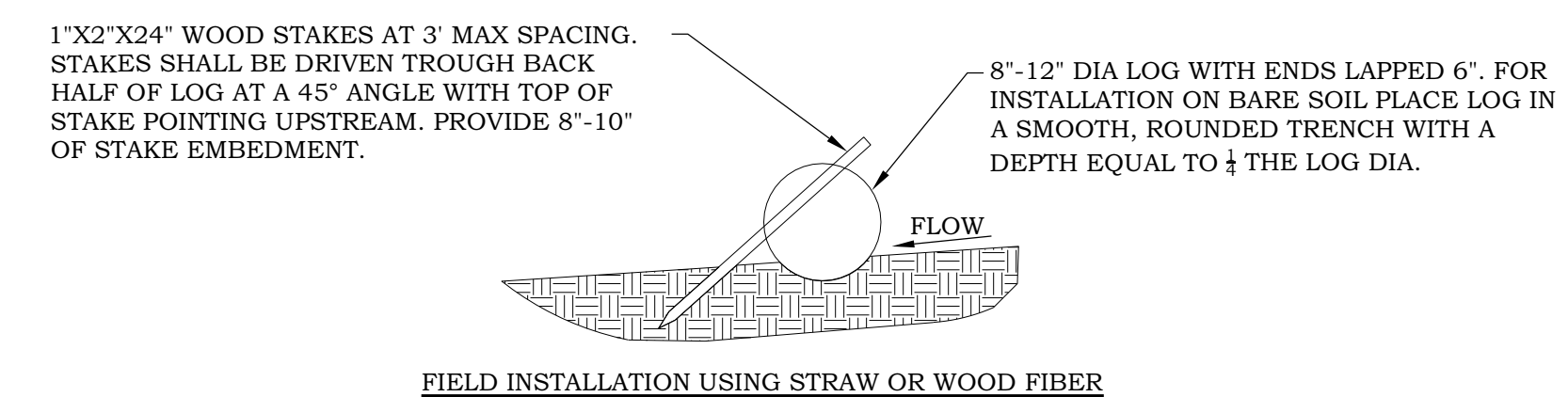
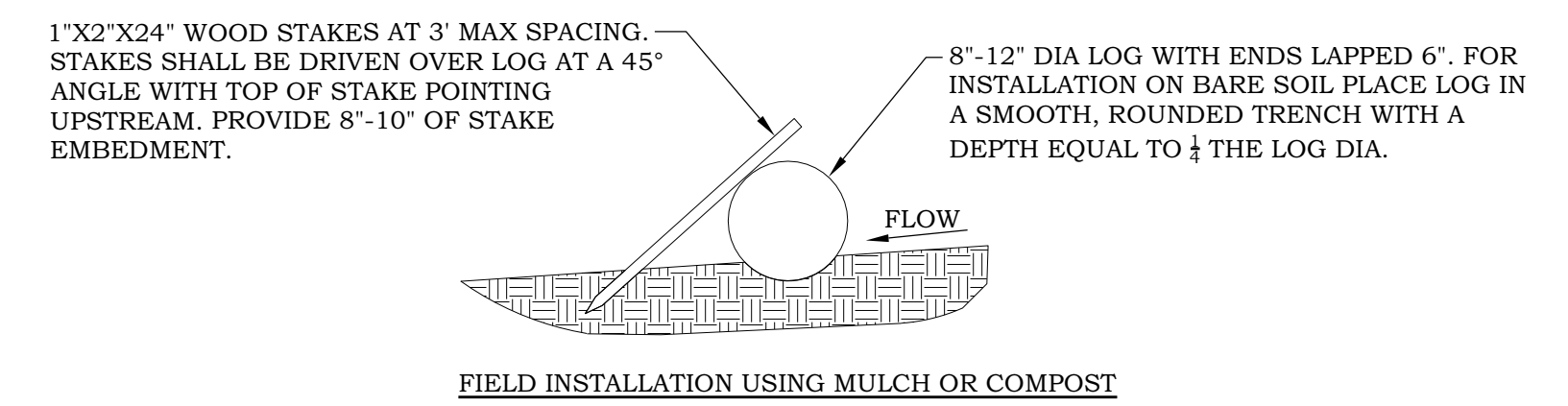
Drawing Title

STORMWATER
POLLUTION
PREVENTION NOTES

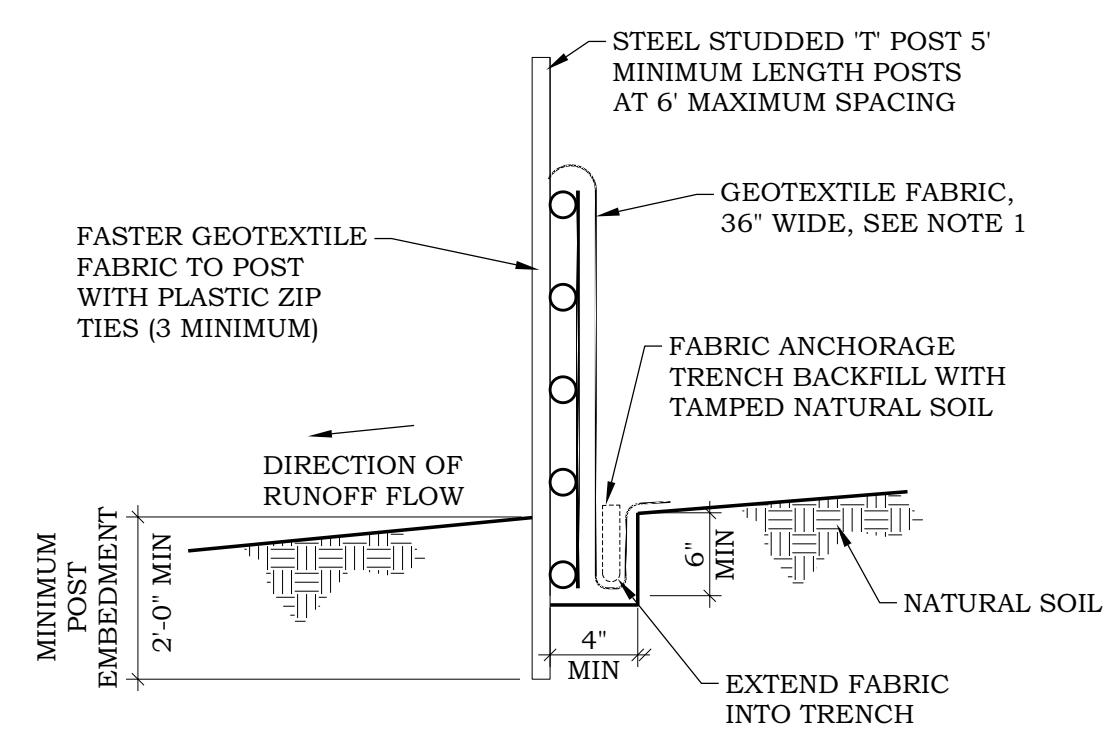
C201



3 GRAVEL CONSTRUCTION ENTRANCE
 NO SCALE



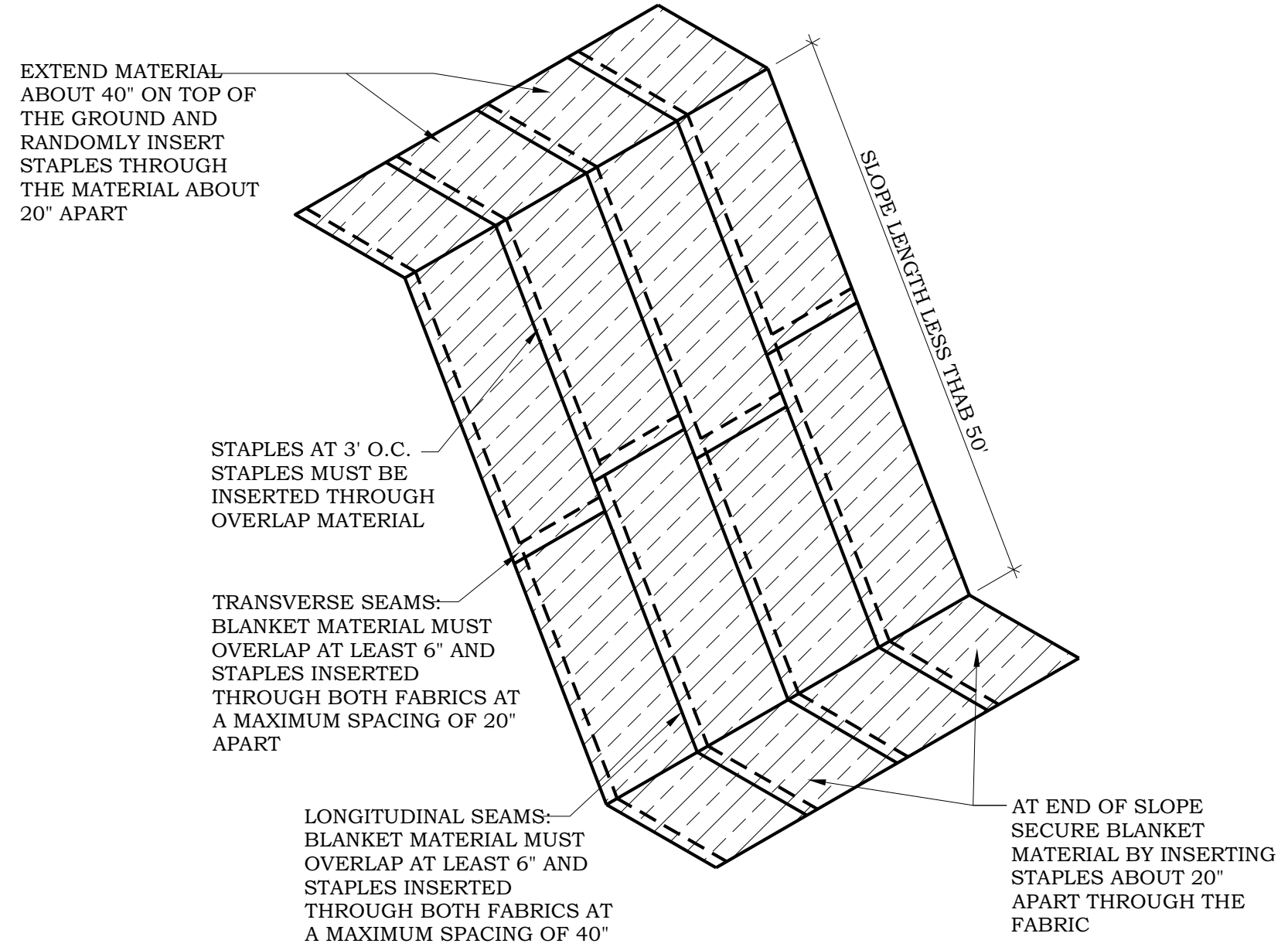
4 EROSION LOG
 NO SCALE



- NOTES:**
1. GEOTEXTILE FABRIC SHALL BE PER MNDOT SPEC 3886.
 2. SILT FENCES SHOULD BE INSTALLED ON THE CONTOUR (AS OPPOSED TO UP AND DOWN A HILL) AND CONSTRUCTED SO THAT FLOW CANNOT BYPASS THE ENDS.
 3. ENSURE DRAINAGE AREA IS NO GREATER THAN 1/4 ACRE PER 100 FT OF FENCE.
 4. FIELD VERIFY THE MAXIMUM SLOPE LENGTH IN THE TABLE. THIS LENGTH EQUATES TO A 2 FOOT STORAGE HEIGHT FOR THE 100-YEAR EVENT.
 5. SILT FENCE INSTALLATION TO CONFORM TO MNDOT SPEC 2573.3

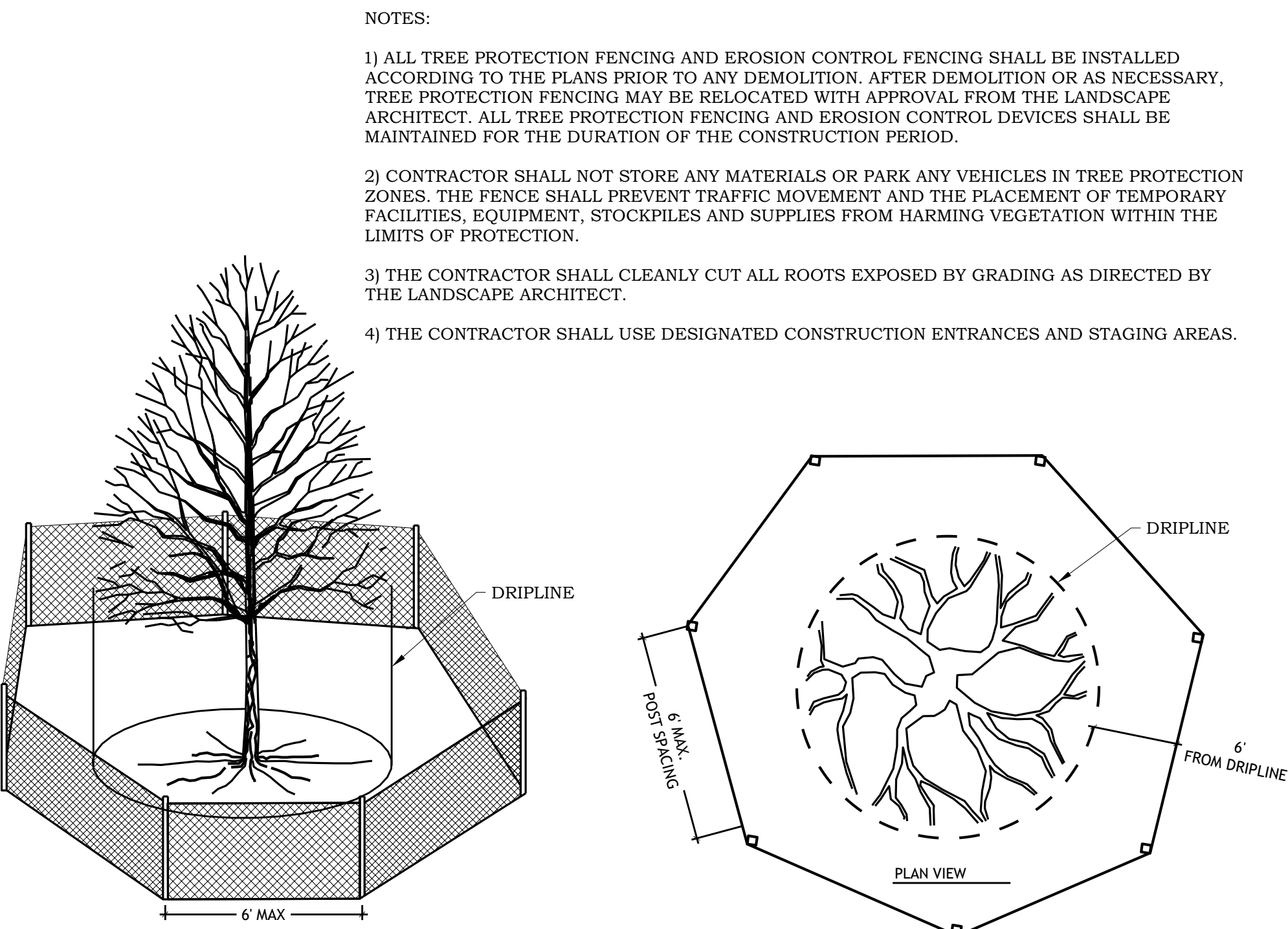
		BY ACCEPTED DESIGN PRACTICES
SLOPE H:V	PERCENT	MAXIMUM SLOPE LENGTH
100:1	1%	100 FT
50:1	2%	75 FT
25:1	4%	75 FT
20:1	5%	75-50 FT
17:1	6%	50 FT
12.5:1	8%	50 FT
10:1	10%	50-25 FT
5:1	20%	25-15 FT
4:1	25%	15 FT
3:1	33%	15 FT
2:1	50%	15 FT

1 HEAVY DUTY SILT FENCE
 NO SCALE



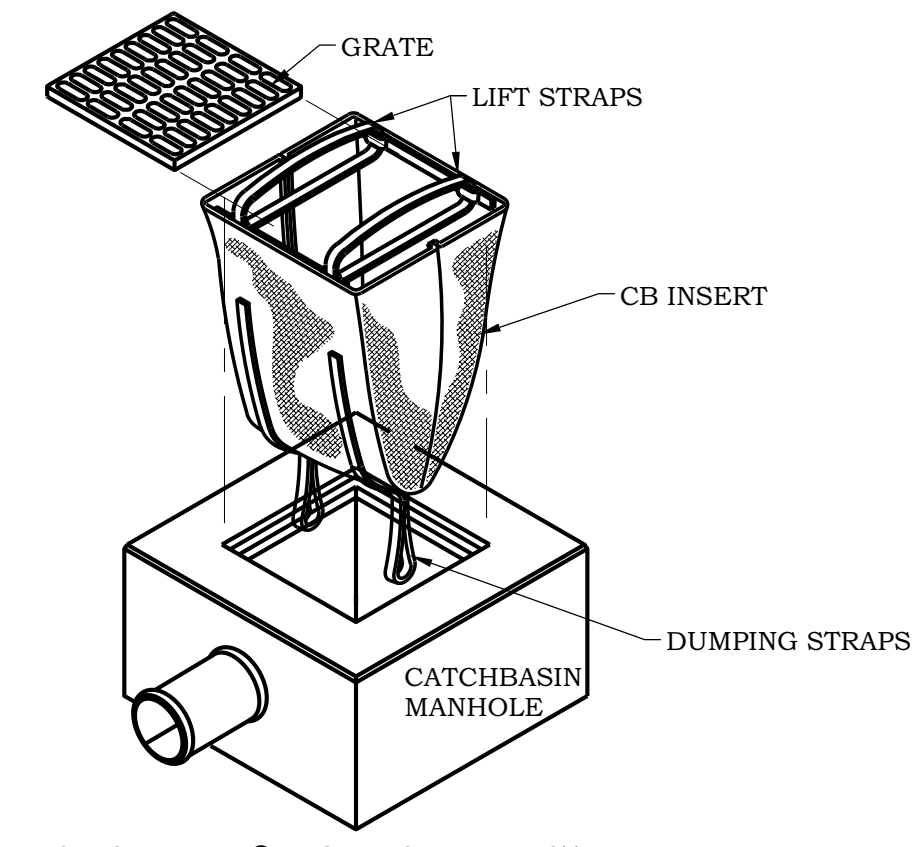
- NOTES:**
1. EROSION CONTROL BLANKET TO BE CATEGORY 4-COCONUT 2S FOR SLOPES GREATER THAN 5:1 AND SIDES AND BOTTOM OF ALL DRAINAGE SWALES AND PONDING AREAS AND CATEGORY 2-STRAW 2S FOR ALL SLOPES LESS THAN 5:1 PER MNDOT SPEC. SECTION 3885.
 2. INSTALL PER MNDOT SPEC. SECTION 2575

2 EROSION CONTROL BLANKET
 NO SCALE



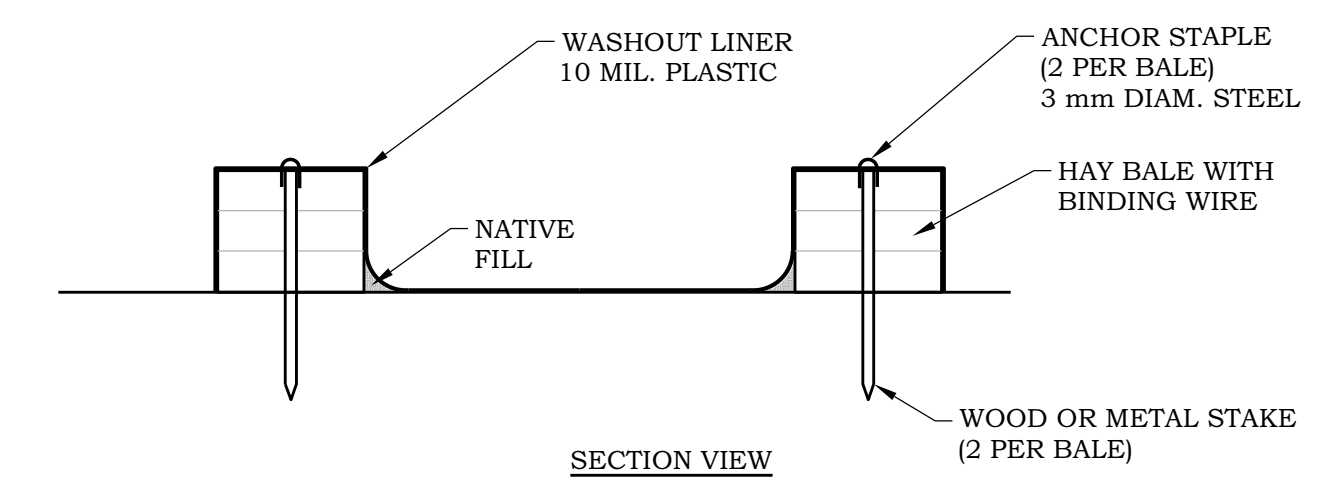
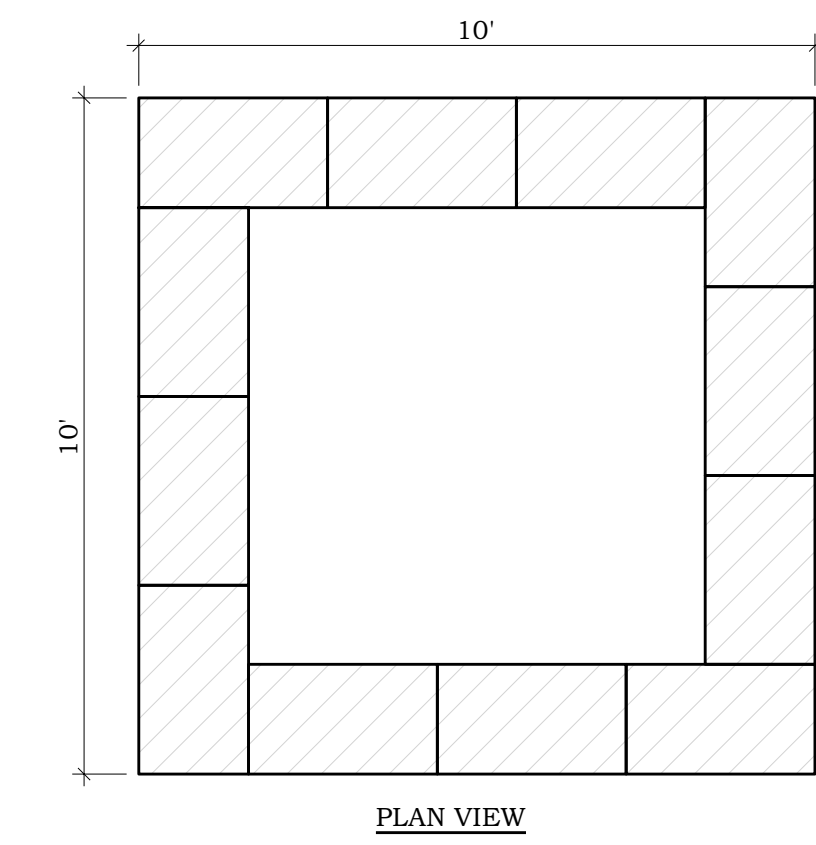
- NOTES:**
- 1) ALL TREE PROTECTION FENCING AND EROSION CONTROL FENCING SHALL BE INSTALLED ACCORDING TO THE PLANS PRIOR TO ANY DEMOLITION. AFTER DEMOLITION OR AS NECESSARY, TREE PROTECTION FENCING MAY BE RELOCATED WITH APPROVAL FROM THE LANDSCAPE ARCHITECT. ALL TREE PROTECTION FENCING AND EROSION CONTROL DEVICES SHALL BE MAINTAINED FOR THE DURATION OF THE CONSTRUCTION PERIOD.
 - 2) CONTRACTOR SHALL NOT STORE ANY MATERIALS OR PARK ANY VEHICLES IN TREE PROTECTION ZONES. THE FENCE SHALL PREVENT TRAFFIC MOVEMENT AND THE PLACEMENT OF TEMPORARY FACILITIES, EQUIPMENT, STOCKPILES AND SUPPLIES FROM HARMING VEGETATION WITHIN THE LIMITS OF PROTECTION.
 - 3) THE CONTRACTOR SHALL CLEANLY CUT ALL ROOTS EXPOSED BY GRADING AS DIRECTED BY THE LANDSCAPE ARCHITECT.
 - 4) THE CONTRACTOR SHALL USE DESIGNATED CONSTRUCTION ENTRANCES AND STAGING AREAS.

5 TREE PROTECTION FENCING
 NO SCALE



2. USE DANDY® BAG II AS MANUFACTURED BY DANDY® PRODUCTS, INC.
3. AN EQUIVALENT CATCHBASIN EROSION CONTROL INSERT METHOD OR PRODUCT MAY BE USED WITH PRIOR APPROVAL FROM ENGINEER.

6 CATCH BASIN INSERT
 NO SCALE



7 CONCRETE WASHOUT AREA
 NO SCALE

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Signed: *Kevin Gardner*
 Name: Kevin Gardner

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Drawing Title

STORMWATER POLLUTION PREVENTION DETAILS

DRAWING LEGEND

- PROPERTY LINE
- - - DRAINAGE AND UTILITY EASEMENT
- o-o- PROPOSED CHAIN LINK FENCE
- ▨ EXISTING PAVEMENT
- ▨ PROPOSED BITUMINOUS PAVEMENT
- ~ EXISTING CONTOUR
- ~ PROPOSED CONTOUR
- + 69.2 PROPOSED SPOT ELEVATION
- ▨ ROCK CONSTRUCTION ENTRANCE
- - - SILT FENCE

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DEHN OIL COMPANY
SITE IMPROVEMENTS

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 RAMSEY, MN 55303

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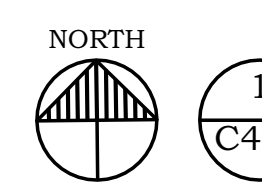
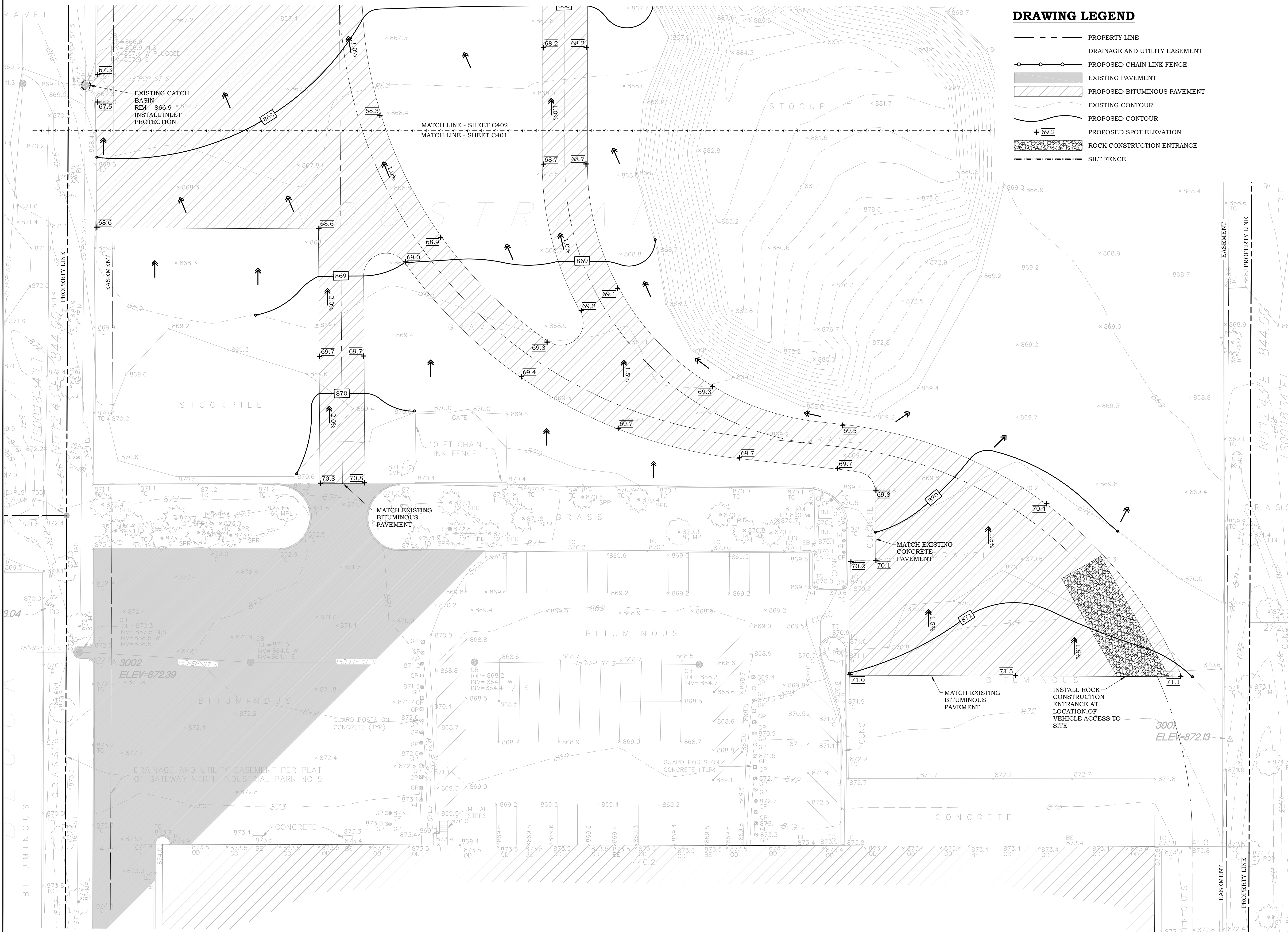
Date 09/06/2023

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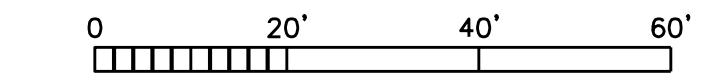
Drawing Title

GRADING, DRAINAGE AND EROSION CONTROL PLAN

C401



GRADING, DRAINAGE AND EROSION CONTROL PLAN



1" = 20' (22" X 34" SHEET)
 1" = 40' (11" X 17" SHEET)

DRAWING LEGEND

- PROPERTY LINE
- DRAINAGE AND UTILITY EASEMENT
- PROPOSED CHAIN LINK FENCE
- EXISTING PAVEMENT
- PROPOSED BITUMINOUS PAVEMENT
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- ROCK CONSTRUCTION ENTRANCE
- SILT FENCE

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 Date: 09/06/2023 Reg. No: 45815

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Drawing Title

GRADING, DRAINAGE AND EROSION CONTROL PLAN

C402

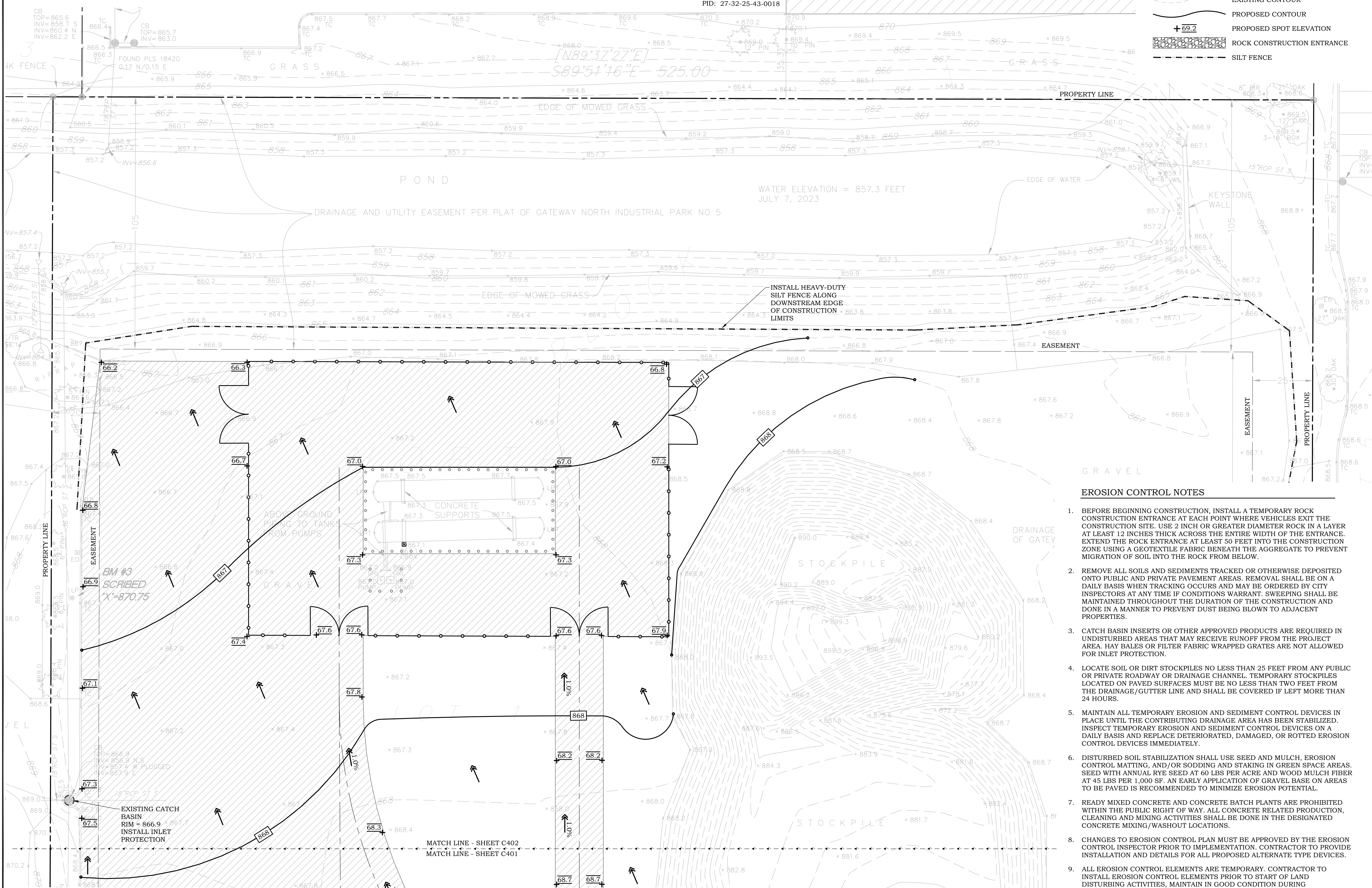
ESTIMATED BMP QUANTITIES	
HEAVY-DUTY SILT FENCE	650 LF
ROCK CONSTRUCTION ENTRANCE	1 EACH
CONCRETE WASHOUT AREA	1 EACH
INLET PROTECTION	1 EACH

NOTE: QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL DETERMINE FOR THEMSELVES THE EXACT QUANTITIES FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL NOT RELY ON THESE QUANTITIES FOR THEIR BID AND CIVIL ENGINEER IS NOT RESPONSIBLE FOR COST ESTIMATES OR ACTUAL CONSTRUCTION COSTS.

ACREAGE SUMMARY	
TOTAL LOT AREA	10.17 ACRES
EXISTING IMPERVIOUS AREA	6.98 ACRES
PROPOSED IMPERVIOUS AREA	6.98 ACRES
DISTURBED AREA	2.40 ACRES

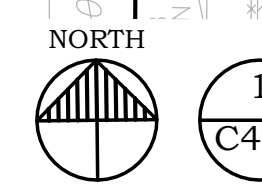
NOTE: IMPERVIOUS AREAS INCLUDE COMPACTED AGGREGATE SURFACES

6650 143rd AVE. NW
 PID: 27-32-25-43-0018



EROSION CONTROL NOTES

1. BEFORE BEGINNING CONSTRUCTION, INSTALL A TEMPORARY ROCK CONSTRUCTION ENTRANCE AT EACH POINT WHERE VEHICLES EXIT THE CONSTRUCTION SITE. USE 2 INCH OR GREATER DIAMETER ROCK IN A LAYER AT LEAST 12 INCHES THICK ACROSS THE ENTIRE WIDTH OF THE ENTRANCE. EXTEND THE ROCK ENTRANCE AT LEAST 50 FEET INTO THE CONSTRUCTION ZONE USING A GEOTEXTILE FABRIC BENEATH THE AGGREGATE TO PREVENT MIGRATION OF SOIL INTO THE ROCK FROM BELOW.
2. REMOVE ALL SOILS AND SEDIMENTS TRACKED OR OTHERWISE DEPOSITED ONTO PUBLIC AND PRIVATE PAVEMENT AREAS. REMOVAL SHALL BE ON A DAILY BASIS WHEN TRACKING OCCURS AND MAY BE ORDERED BY CITY INSPECTORS AT ANY TIME IF CONDITIONS WARRANT. SWEEPING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE CONSTRUCTION AND DONE IN A MANNER TO PREVENT DUST BEING BLOWN TO ADJACENT PROPERTIES.
3. CATCH BASIN INSERTS OR OTHER APPROVED PRODUCTS ARE REQUIRED IN UNDISTURBED AREAS THAT MAY RECEIVE RUNOFF FROM THE PROJECT AREA. HAY BALES OR FILTER FABRIC WRAPPED GRATES ARE NOT ALLOWED FOR INLET PROTECTION.
4. LOCATE SOIL OR DIRT STOCKPILES NO LESS THAN 25 FEET FROM ANY PUBLIC OR PRIVATE ROADWAY OR DRAINAGE CHANNEL. TEMPORARY STOCKPILES LOCATED ON PAVED SURFACES MUST BE NO LESS THAN TWO FEET FROM THE DRAINAGE/GUTTER LINE AND SHALL BE COVERED IF LEFT MORE THAN 24 HOURS.
5. MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED. INSPECT TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES ON A DAILY BASIS AND REPLACE DETERIORATED, DAMAGED, OR ROTTED EROSION CONTROL DEVICES IMMEDIATELY.
6. DISTURBED SOIL STABILIZATION SHALL USE SEED AND MULCH, EROSION CONTROL MATTING, AND/OR SODDING AND STAKING IN GREEN SPACE AREAS. SEED WITH ANNUAL RYE SEED AT 60 LBS PER ACRE AND WOOD MULCH FIBER AT 45 LBS PER 1,000 SF. AN EARLY APPLICATION OF GRAVEL BASE ON AREAS TO BE PAVED IS RECOMMENDED TO MINIMIZE EROSION POTENTIAL.
7. READY MIXED CONCRETE AND CONCRETE BATCH PLANTS ARE PROHIBITED WITHIN THE PUBLIC RIGHT OF WAY. ALL CONCRETE RELATED PRODUCTION, CLEANING AND MIXING ACTIVITIES SHALL BE DONE IN THE DESIGNATED CONCRETE MIXING/WASHOUT LOCATIONS.
8. CHANGES TO EROSION CONTROL PLAN MUST BE APPROVED BY THE EROSION CONTROL INSPECTOR PRIOR TO IMPLEMENTATION. CONTRACTOR TO PROVIDE INSTALLATION AND DETAILS FOR ALL PROPOSED ALTERNATE TYPE DEVICES.
9. ALL EROSION CONTROL ELEMENTS ARE TEMPORARY. CONTRACTOR TO INSTALL EROSION CONTROL ELEMENTS PRIOR TO START OF LAND DISTURBING ACTIVITIES. MAINTAIN IN GOOD CONDITION DURING CONSTRUCTION AND REMOVE FROM THE SITE UPON COMPLETION OF FINAL PAVING AND TURF ESTABLISHMENT.



GRADING, DRAINAGE AND EROSION CONTROL PLAN

1" = 20' (22" x 34" SHEET)
 1" = 40' (11" x 17" SHEET)

DRAWING LEGEND

- PROPERTY LINE
- DRAINAGE AND UTILITY EASEMENT
- PROPOSED CHAIN LINK FENCE
- EXISTING PAVEMENT
- PROPOSED BITUMINOUS PAVEMENT

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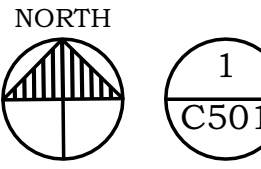
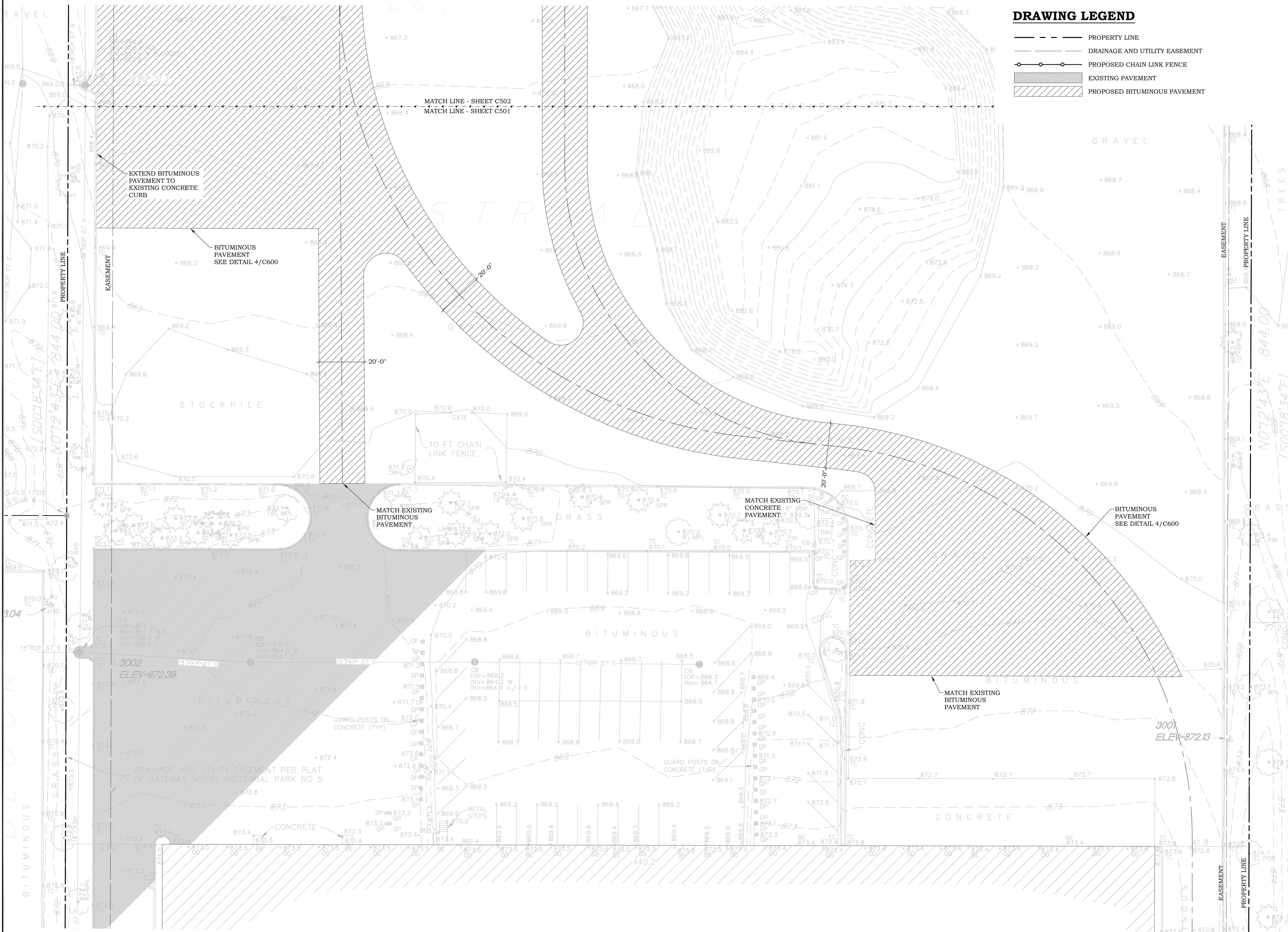
Date 09/06/2023

City Approval

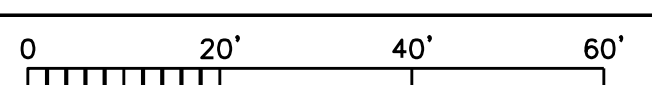
Drawing Title

PAVING PLAN

C501



PAVING PLAN



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 1" = 40' (11" x 17" SHEET)

DRAWING LEGEND

- PROPERTY LINE
- DRAINAGE AND UTILITY EASEMENT
- PROPOSED CHAIN LINK FENCE
- EXISTING PAVEMENT
- PROPOSED BITUMINOUS PAVEMENT

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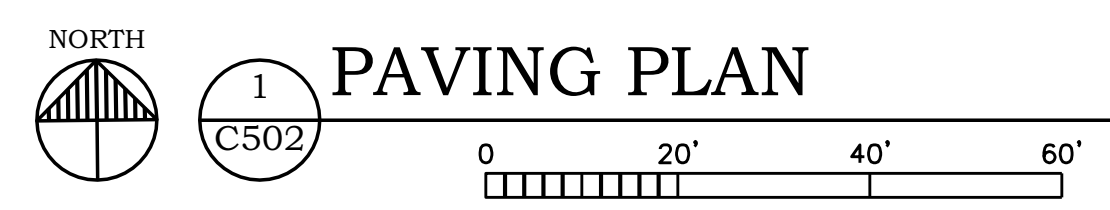
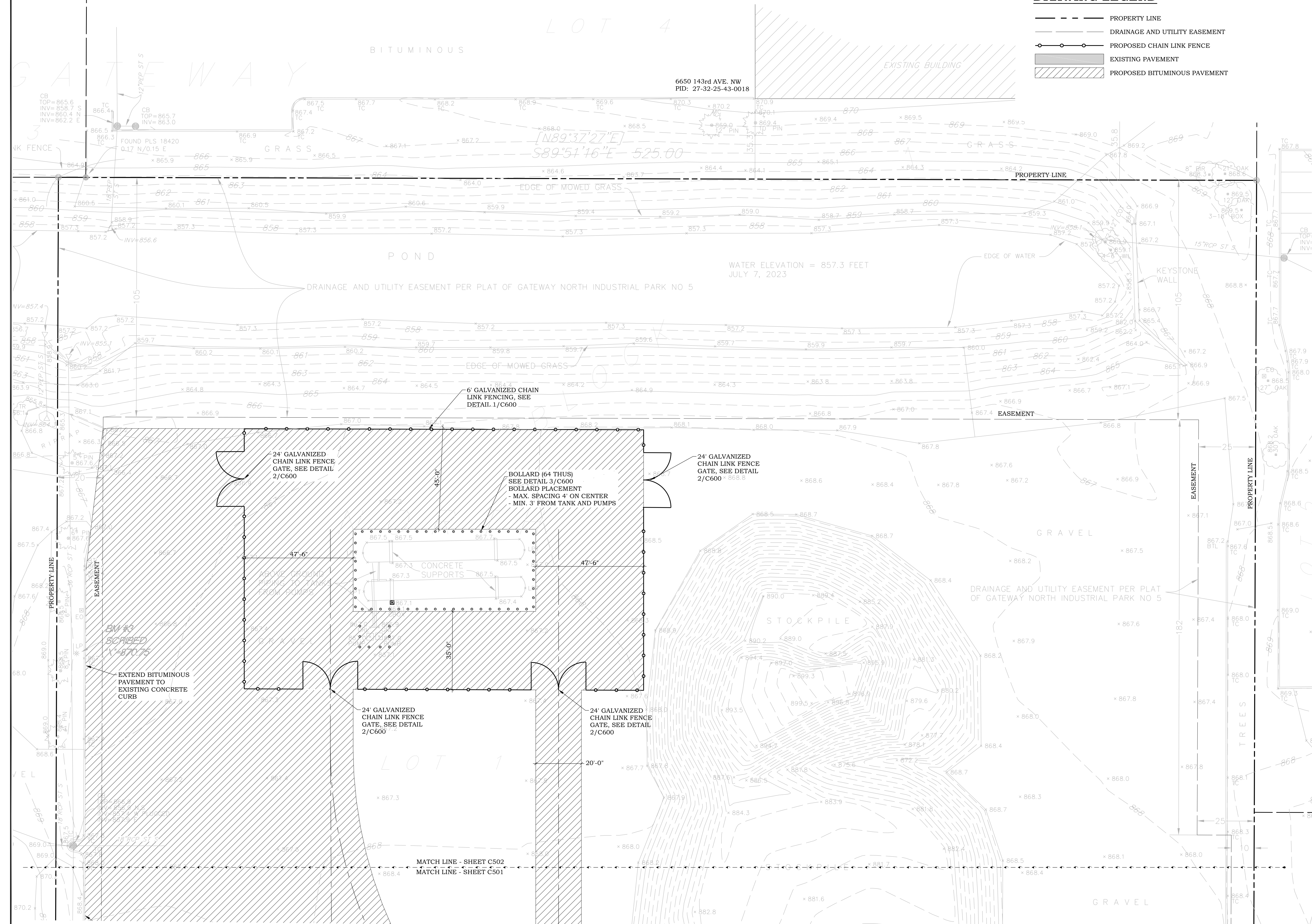
Date 09/06/2023

City Approval

Drawing Title

PAVING PLAN

C502



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DEHN OIL COMPANY
SITE IMPROVEMENTS

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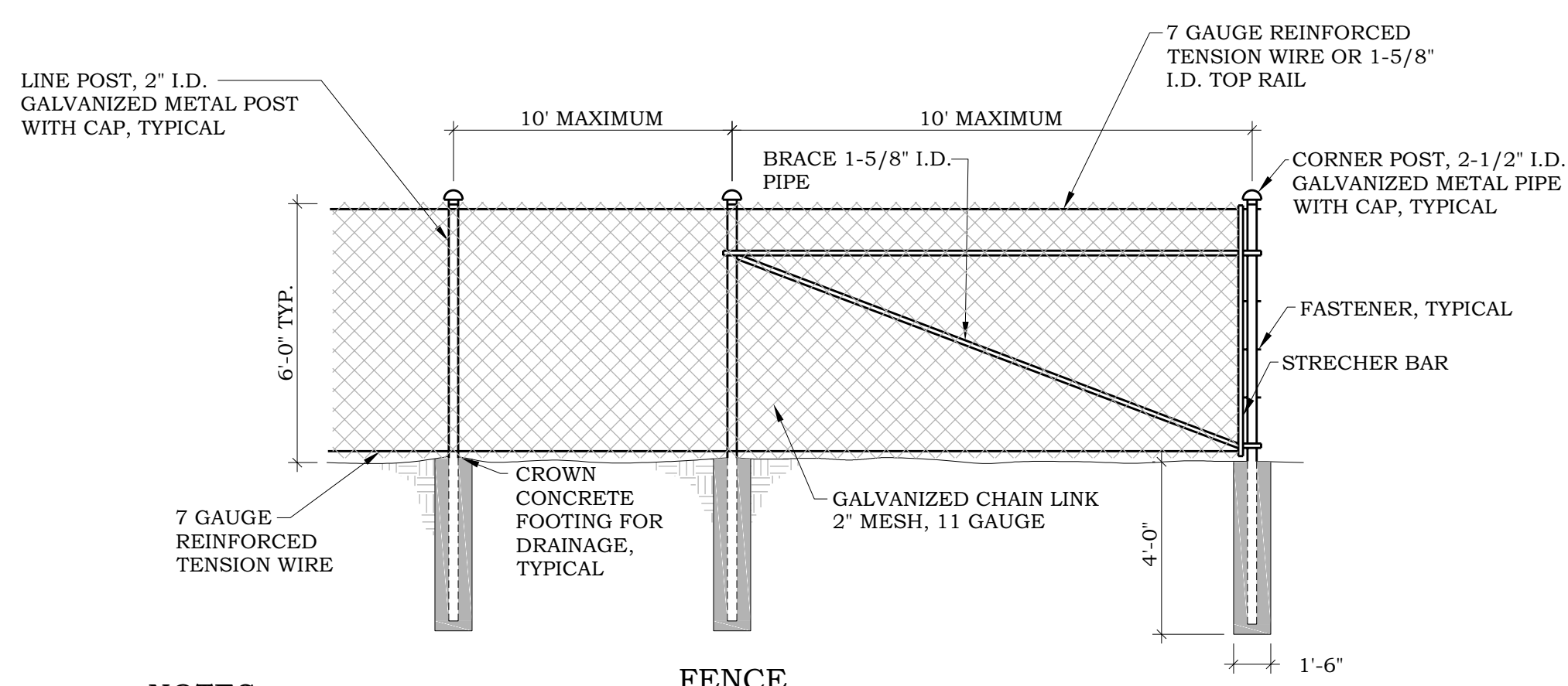
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Drawing Title

CIVIL DETAILS

C600

ALL GATE COMPONENTS SHALL BE GALVANIZED AND RATED FOR EXTERIOR USE



NOTES

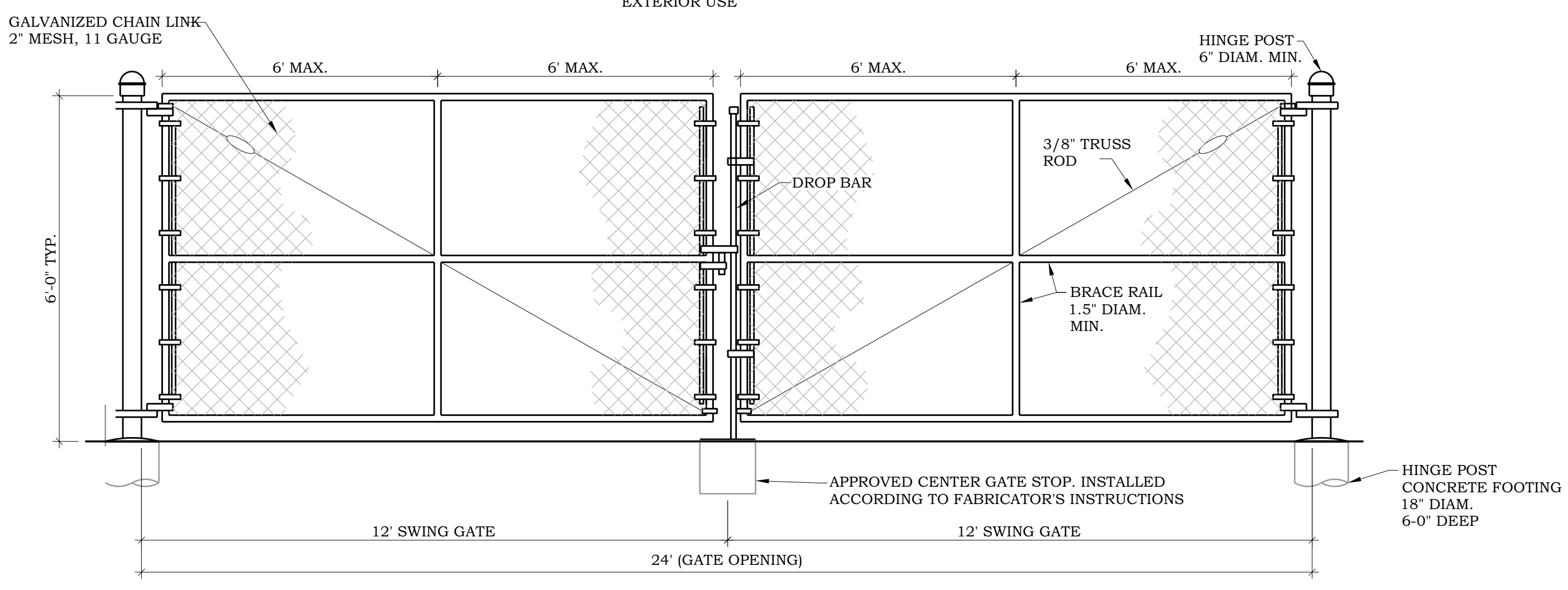
1. DEPTH OF FOOTINGS ARE INTO NATURAL UNDISTURBED SOIL OR TESTED & APPROVED COMPACTED FILL.
2. CONCRETE FOOTINGS SHALL BE A MINIMUM OF 4,000 PSI MIX.
3. 12 GAUGE WIRE FASTENERS SHALL BE USED.
4. ADDITIONAL BRACING MAY BE REQUIRED WITH RUNS OVER 200'.

FENCE

1 CHAIN LINK FENCE

C600

NO SCALE

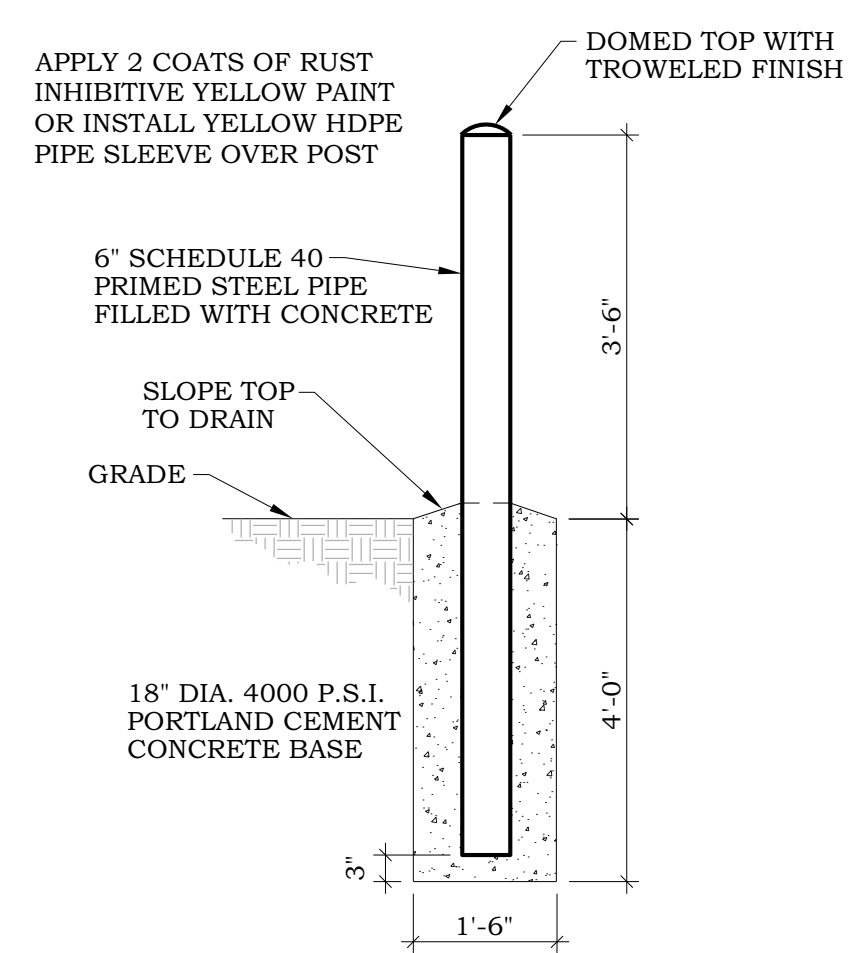


DOUBLE VEHICULAR GATE

2 CHAIN LINK SWING GATE

C600

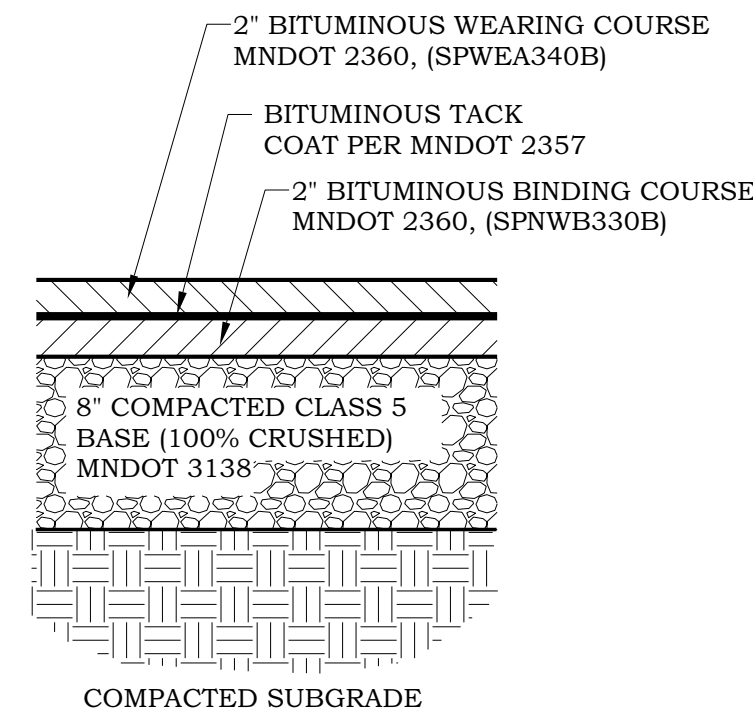
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3 BOLLARD

C600

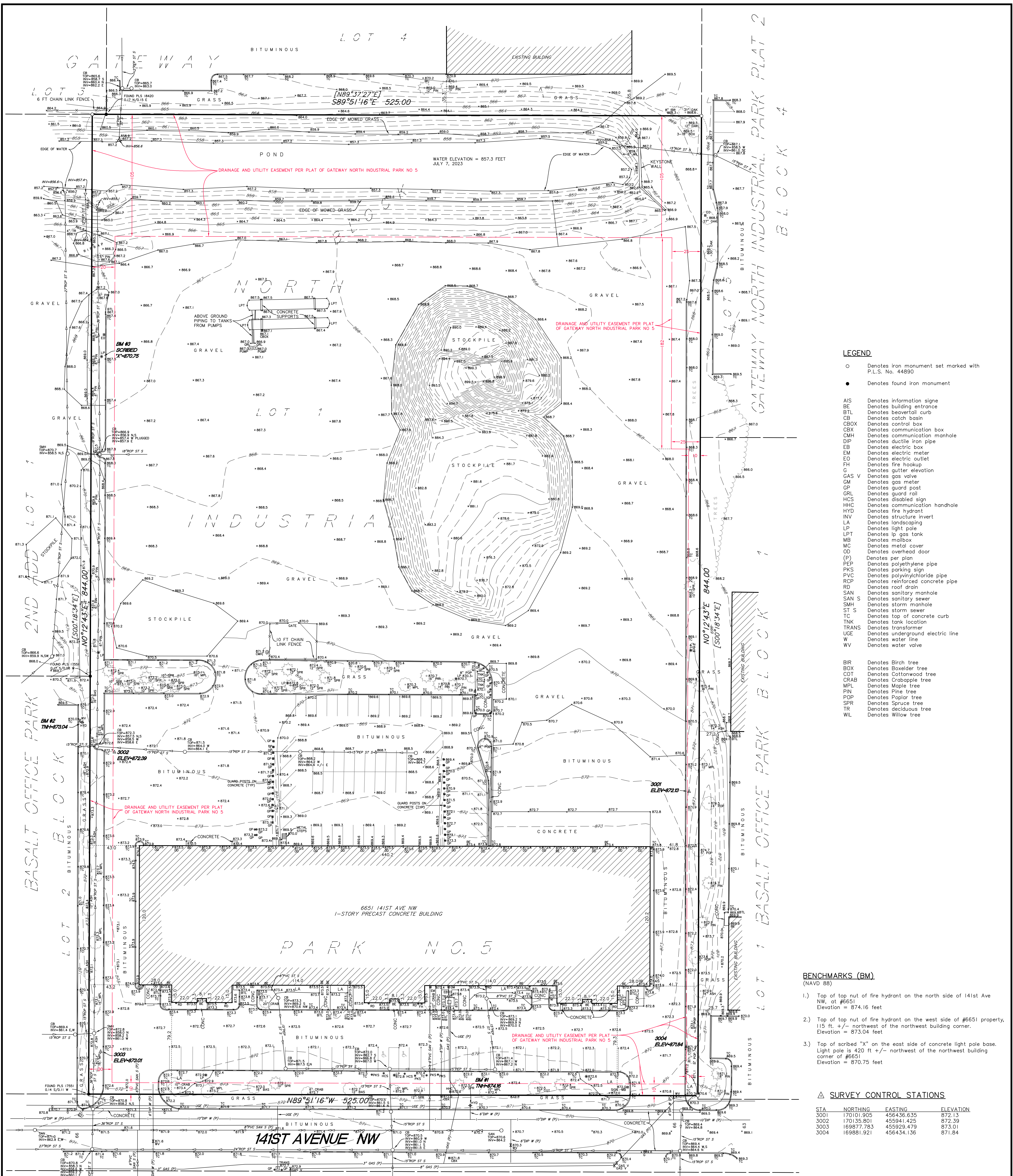
NO SCALE



4 BITUMINOUS PAVEMENT

C600

NO SCALE



LEGEND

- Denotes iron monument set marked with P.L.S. No. 44890
- Denotes found iron monument
- AIS Denotes information sign
- BE Denotes building entrance
- BTL Denotes beavertail curb
- CB Denotes catch basin
- CBX Denotes control box
- CBX Denotes communication box
- CMH Denotes communication manhole
- DIP Denotes ductile iron pipe
- EB Denotes electric box
- EM Denotes electric meter
- EO Denotes electric outlet
- FH Denotes fire hookup
- G Denotes gutter elevation
- GAS V Denotes gas valve
- GM Denotes gas meter
- GP Denotes guard post
- GRL Denotes guard rail
- HCS Denotes disabled sign
- HHC Denotes communication handhole
- HYD Denotes fire hydrant
- INV Denotes structure invert
- LA Denotes landscaping
- LP Denotes light pole
- LPT Denotes lp gas tank
- MB Denotes mailbox
- MC Denotes metal cover
- OD Denotes overhead door
- (P) Denotes per plan
- PEP Denotes polyethylene pipe
- PKS Denotes parking sign
- PVC Denotes polyvinylchloride pipe
- RCP Denotes reinforced concrete pipe
- RD Denotes roof drain
- SAN Denotes sanitary manhole
- SAN S Denotes sanitary sewer
- SMH Denotes storm manhole
- ST S Denotes storm sewer
- TC Denotes top of concrete curb
- THK Denotes tank location
- TRANS Denotes transformer
- UGE Denotes underground electric line
- W Denotes water line
- WV Denotes water valve
- BIR Denotes Birch tree
- BOX Denotes Boxelder tree
- COT Denotes Cottonwood tree
- CRAB Denotes Crabapple tree
- MPL Denotes Maple tree
- PIN Denotes Pine tree
- POP Denotes Poplar tree
- SPR Denotes Spruce tree
- TR Denotes deciduous tree
- WIL Denotes Willow tree

BENCHMARKS (BM)
(NAVD 88)

- Top of top nut of fire hydrant on the north side of 141st Ave NW, at #6651
Elevation = 874.16 feet
- Top of top nut of fire hydrant on the west side of #6651 property, 115 ft. +/- northwest of the northwest building corner.
Elevation = 873.04 feet
- Top of scribed "X" on the east side of concrete light pole base. Light pole is 420 ft +/- northwest of the northwest building corner of #6651
Elevation = 870.75 feet

△ SURVEY CONTROL STATIONS

STA	NORTHING	EASTING	ELEVATION
3001	170101.905	456436.635	872.13
3002	170135.801	455941.425	872.39
3003	169877.783	455929.479	873.01
3004	169891.921	456434.136	871.84

DESCRIPTION OF PROPERTY SURVEYED
(Per Warranty Deed Doc. No. 2366603.001)

Lot 1, Block 1, Gateway North Industrial Park No. 5, Anoka County, Minnesota.

PLAT RECORDING INFORMATION

The plat of GATEWAY NORTH INDUSTRIAL PARK was filed for record on March 6, 2001, as Document No. 1553817 in Abstract Book 60, Page 23.

[] Bearings and/or dimensions listed within brackets are per plat or record documents.

TITLE COMMITMENT

This survey was prepared without the benefit of current title work. Easements, appurtenances, and encumbrances may exist in addition to those shown hereon. This survey is subject to revision upon receipt of a current title insurance commitment or attorney's title opinion.

AREA

Area = 443,100 square feet or 10.172 acres

GENERAL NOTES

- Survey coordinate and bearing basis: Anoka County System NAD83 (1996 adjustment)
- There were no wetland delineation markers observed in the process of conducting the fieldwork.

UTILITY NOTES

- Utility information from plans and markings was combined with observed evidence of utilities to develop a view of the underground utilities shown hereon. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. In addition, Gopher State One Call locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, excavation and/or a private utility locate request may be necessary.
+There were no utility markings observed in the field in response to our Gopher State One Call ticket
- Other underground utilities of which we are unaware may exist. Verify all utilities critical to construction or design.
- Some underground utility locations are shown as marked onsite by those utility companies whose locators responded to our Gopher State One Call, ticket numbers 231794133 and 231794152.
- Contact GOPHER STATE ONE CALL at 651-454-0002 (800-252-1166) for precise onsite location of utilities prior to any excavation.

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 12th day of July, 2023.

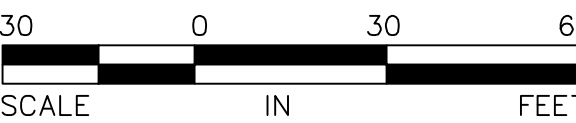
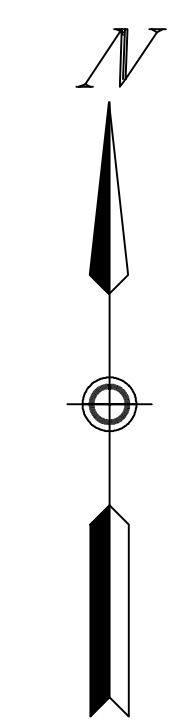
SUNDE LAND SURVEYING, LLC
By: *Reynold F. Colson*
Leonard F. Carlson, P.L.S. Minn. Lic. No. 44890

Added LP tank detail	NDN	7/27/23
Revision	By	Date
	NDN	

Drawing Title:
BOUNDARY, LOCATION, TOPOGRAPHIC and UTILITY SURVEY FOR: DEHN OIL COMPANY OF: 6651 141st Ave NW, Ramsey, MN

SUNDE LAND SURVEYING
Main Office: 900 East Bloomington Freeway (35W) • Suite 118
Bloomington, Minnesota 55425-3435
952-881-2455 (Fax: 952-888-9526)
www.sunde.com

Project: 2023-084 Bk/Pg: 1178/08 Date: 07/12/2023
Township: 32 Range: 25 Section: 27
File: 2023084001.dwg Sheet: 1 of 1



PIERCE PINI & ASSOCIATES, INC.
CONSULTING CIVIL ENGINEERS

Dehn Oil Site Redevelopment

Dehn Oil has recently purchased the property at 6651 141st Avenue NW in Ramsey. The property is zoned E-2 and has a multi-tenant commercial building on the south portion of the property parallel to 141st. There is a bituminous parking lot between the building and the public street as well as another bituminous parking area and vehicle staging area on the north side of the building. The north half of the property is undeveloped and has been used for aggregate stockpile and rock crushing operations in the past. There is conditional use permit in place that permits the aggregate stockpiling to be placed on the aggregate surfacing.

Recently there have been site improvements on the property that include the addition of two large above ground fuel storage tanks for propane. The fuel tanks are constructed on concrete footings with a fuel pump area southwest of the tanks.

City code requires that all exterior storage areas, loading areas and access roads be paved. The north portion of the property is currently all compacted aggregate. The proposed site improvements include a 20' wide bituminous access road to the fueling/loading area as well as paving of the fueling area and the storage area for empty fuel tanks and vehicles.

In addition to the bituminous pavement improvements, the above ground storage tanks will be fenced in with 6' chain link security fencing. The fenced area will have to access gates per fire department requirements as well as two additional gates for snow removal.



Protective bollards are also proposed to be added around the two large above ground fuel tanks and the pumping station. Bollards will be installed at 4' spacing and in conformance with the city of Ramsey's above ground fuel storage tank installation requirements.

The existing aggregate stockpiles will continue to be used and the project is requesting that the existing conditional use approval to remain for exterior storage of those features on unpaved areas.

The site drains north to the existing stormwater pond along the north property line. The proposed site improvements will not alter the general drainage pattern and runoff will continue to be directed to the existing pond. This project has been discussed with Lower Rum River Watershed Management Organization and will require a permit for erosion control and stormwater management. The scope of work will not require volume control per LRRWMO requirements and the existing pond meets the needs for rate control and water quality.



Changemarks Report

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	1	2	False	Unresolved	Civil Engineer IV		Dehn Oil - Stormwater Report.pdf	LL	Correction	This site is in the middle of an industrial area and is not adjacent to a lake.	08/21/2023 9:39 AM	Len Linton	
		3	False	Unresolved	Civil Engineer IV		Dehn Oil - Stormwater Report.pdf	LL	Correction required	Use the MIDS version 4 calculator and submit the results tab. This provides letter sized summary sheets vs. the large sheets in this report.	08/21/2023 9:39 AM	Len Linton	

Councilmember _____ introduced the following resolution and moved for its adoption:

RESOLUTION #23-235

A RESOLUTION APPROVING A CONDITIONAL USE PERMIT AND SITE PLAN TO CONSTRUCT AND STORE ABOVE-GROUND FUEL TANKS AT 6651 141ST AVE NW

RECITALS

1. Dehn Oil, hereinafter referred to as the “**Permittee**” has properly applied for a Site Plan and a Conditional Use Permit to construct and store above-ground fuel tanks (empty and filled) on the property legally described as follows:

Lot 1 Block 1 Gateway North Industrial Park No. 5, Anoka County, Minnesota

(the “**Subject Property**”)

2. That the **Subject Property** is zoned E-2 Employment District, which is an industrial zoning designation and guided as such in the 2040 Comprehensive Plan.
3. That above-ground fuel tank storage is classified as open and outdoor storage as a principal use, which is a conditional use in the E-2 Employment District.
4. That the **Permittee** appeared before the Planning Commission for a public hearing on September 28th, 2023, that said public hearing was properly advertised and that the minutes of said public hearing are hereby incorporated by reference.
5. That the Planning Commission reviewed and recommended approval of the request on September 28th, 2023.
6. That the City Council reviewed and **approved/denied** the request on October 10th, 2023.

FINDINGS OF FACT

1. That the proposed use **will not** adversely impact traffic in the area.
2. That the proposed use **will not** substantially or adversely impair the use, enjoyment or market value of surrounding properties.
3. That the proposed use **will not** create additional requirements at public cost for public facilities and services.
4. That the proposed use **will not** be detrimental to the economic welfare of the community.

5. That the proposed use **will not** be disturbing or hazardous to existing or future neighboring uses.
6. That the proposed use **will not** involve uses, activities, processes, materials and equipment and conditions of operation that may be detrimental to any persons, property or the general welfare, by reason of excessive production of traffic, noise, smoke or glare.

NOW THEREFORE, BE IT RESOLVED BY THIS CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:

1. That the Ramsey City Council (the “**City**”) hereby grants approval of the Conditional Use Permit (the “**Permit**”) to construct and store above-ground fuel tank on the **Subject Property** contingent upon the following:

CONDITIONS:

1. That this **Permit** shall be perpetual in duration as long as the terms are herein complied with.
2. That this **Permit** authorizes the **Permittee** to construct, store, and operate above-ground fuel tanks on the **Subject Property**.
3. That this **Permit** complies with Staff comments as noted in ProjectDox.
4. The **Permittee** shall provide the **City** with copies of all applicable government permits and permit renewals, along with all applicable licenses and license renewals, as they are granted.
5. The **Permittee** shall also copy the **City** on all notices of violations, fines or permit revocations received relating to these permits.
6. The **Permittee** is responsible for obtaining all applicable and necessary permits, including but not limited to, building, plumbing, mechanical, and fire, prior to commencement of any building improvements or modifications.
7. The **Permittee** shall commit to conformance with all conditions outlined in Resolution #12-05-070, which allows for the storage and processing of demolition concrete and bituminous on the **Subject Property**. This Permit does not negate or alter any conditions of that permit.
8. The **Permittee** shall remove any outdoor accumulation of junk on the property, and shall ensure the property is free of refuse and debris.

9. The **Permittee** agrees that all required improvements and/or modifications, as outlined by the Fire Marshall and Building Inspector, shall be completed and approved by City Staff prior to the construction and operation of above-ground fuel tank storage.
10. The **Permittee** shall adhere to all applicable local, county, state, watershed, and federal regulations, including Minnesota State Building Code and Fire Code.
11. That this **Permit** shall be contingent upon final review and approval by the Building Official, Fire Marshal, and the City Engineer.
12. That the **Permittee** shall be responsible for all **City** costs incurred in administering and enforcing this **Permit**.
13. That this **Permit** shall automatically expire if the use is not initiated by October 10th, 2024 and issuance of a permit for the above-ground fuel tank storage shall constitute initiation.
14. That if the **Permittee** or its successors or assigns violates any material term or condition imposed by this **Permit**, it may be revoked and terminated consistent with applicable law. Without limiting the foregoing, the violation of any statute, regulation, ordinance or **Permit** condition imposed by lawful governmental authority and governing operations on the **Subject Property** is grounds for revocation and termination of this **Permit**, consistent with applicable law. The change, alteration or amendment of any such statute, regulation, ordinance or **Permit** condition by any governmental authority other than the **City**, shall not excuse the **Permittee** from compliance with statutes, regulations, ordinances or Permit conditions in effect on the date of the original issuance of this **Permit** unless compliance is waived or excused by the **City**.
15. That this **Permit** shall be recorded in the office of the Anoka County Recorder.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember _____, and upon vote being taken thereon, the following voted in favor thereof: and the following voted against the same:

and the following abstained:

and the following were absent:

whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 10th of October, 2023.

Mayor

ATTEST:

City Clerk

Regular Planning Commission**Meeting Date:** 09/28/2023**Primary Strategic Plan Initiative:** Promote economic growth and development.**Information****Title:**

Consider Sketch Plan for a Proposed Single Family Residential Development East of Nowthen Boulevard and South of Brookside Elementary School (Project No. 23-111); Case of Lennar

Purpose/Background:

The City has received an application from Lennar (the "Applicant") for Sketch Plan review of a proposed single family residential development on the property generally located north of 167th Avenue, east of Nowthen Boulevard, and south of Brookside Elementary School (the "Subject Property"). The Sketch Plan proposes a total of seventy (70) single family residential lots. This proposal is being reviewed under the Zoning Code update standards. Although the Zoning Code update has yet to be adopted by City Council, it has been through the public hearing process, and the Planning Commission did recommend approval of the Zoning Code update. Thus, this review is based on the proposed R-1B Single Family Residential District standards, which are based on a sixty-five (65) foot wide minimum lot width. This proposed district is comparable to the current R-1 MUSA-65 district.

Notification:

The City attempted to notify property owners, as reflected in the Anoka County Property Records, within 700 feet of the Subject Property of the request via standard U.S. mail.

Time Frame/Observations/Alternatives:**General Summary**

The Subject Property is about 22.8 acres in size and abuts Brookside Elementary School property to the north. The Subject Property consists of two outlots that were created as part of the Harmony Farms subdivision in 1997. The Harmony Farms subdivision included a third outlot that was deeded to the City for a future road connection to 167th Avenue when the Subject Property was developed. The Subject Property presently consists of row crops with no existing improvements. The Sketch Plan proposes seventy (70) single family residential lots and includes a right in, right out access onto Nowthen Boulevard. The proposed net density of the project is 3.1 dwelling units per acre.

Zoning

The Subject Property is currently zoned R-1 Residential (MUSA) - 80. The properties to the south and west are also currently zoned R-1 Residential (MUSA) - 80. The property to the north is currently zoned Public/Quasi-Public. The properties to the east are currently zoned R-1 Residential (Rural Developing). However, as previously noted, the proposed (but yet to be adopted) Zoning Map designates the Subject Property as R-1B Single Family Residential, which allows a minimum lot width of sixty-five (65) feet. The properties to the south are also designated as R-1B Single Family Residential. The properties to the west are designated as R-1A Single Family Residential (minimum lot width of seventy-five [75] feet). The property to the north is designated as Public/Institutional. The properties to the east are designated as UR - Urban Reserve.

In the R-1B Single Family Residential district, the minimum lot size is 6,500 square feet, the minimum lot width (at the front setback) is sixty-five (65) feet, and the minimum lot depth is ninety (90) feet. All lots within the Sketch Plan appear to meet or exceed these standards. The Applicant has proposed deeper lots throughout the project site. The lots along the eastern boundary, adjacent to existing, larger lot single family residential

properties are 145 feet deep, and the lots on the western boundary (backing up to Nowthen Boulevard) are 150 feet deep.

Comprehensive Plan / Future Land Use Map

The 2040 Comprehensive Plan guides the Subject Property as Low Density Residential. The surrounding properties to the east, west, and south are all also guided as Low Density Residential. The property to the north (Brookside Elementary School) is guided as Public. Areas guided as Low Density Residential are to be developed with a density of 3-4 units per acre. The proposed Sketch Plan provides for 3.1 dwelling units per acre. Note that Applicant modified the Sketch Plan from eighty (80) foot wide lots to sixty-five (65) foot wide lots based on direction from Staff. This was partially due to the proposed zoning designation, but primarily to meet the minimum density standard (with eighty [80] foot wide lots, the density was closer to 2.3 units per acre, well below what the 2040 Comprehensive Plan requires).

Roads and Sidewalks

The Sketch Plan includes a right in, right out access onto Nowthen Boulevard. Anoka County Highway Department (ACHD) reviewed the Sketch Plan and stated that a full access onto Nowthen Boulevard would not be permitted due to their spacing guidelines (from 167th Avenue NW and 170th Avenue NW), but that they would allow the right in, right out access. All proposed internal roads will be public and have a right-of-way width of sixty (60) feet. Roadway width, from back of curb to back of curb, will need to be thirty-two (32) feet, which would still allow parking on both sides of streets. Public sidewalks are provided on one (1) side of each public road. Sidewalks shall be six (6) feet in width in accordance with the City's standard detail for an urban street.

A road connection south to 167th Avenue will be necessary. Outlot A, Harmony Farms, was deeded to the City in 1997 for the sole purpose of reserving a corridor for this road connection when the Subject Property developed. This would provide full access to the Subject Property in addition to the right in, right out access onto Nowthen Boulevard. This is something that all Staff support, as does ACHD as well.

Natural Resources

There is a small area within the Subject Property (about 0.25 acres) that consists of wetland. There are no designated floodplains on the Subject Property. There is very little tree cover on the Subject Property and those that do exist are scattered along the northern and eastern boundaries of the Subject Property. Any significant trees that are on the Subject Property will need to be inventoried and included as part of the preliminary plat plan set. Similarly, a landscape plan will also be required as part of the preliminary plat plan set.

Utilities

The Subject Property is located within the MUSA boundary and therefore, sanitary sewer and water will need to serve each unit. The project does conceptually include stormwater ponding. Stormwater ponds, as well as all wetlands, will need to be encumbered with drainage and utility easements extending at least 16.5 feet beyond their boundaries. A street lighting plan will also need to be prepared and included as part of the preliminary plat plan set.

Funding Source:

All costs associated with this request are the responsibility of the Applicant.

Recommendation:

Staff recommends the Applicant proceed with developing the preliminary plat plan set.

Outcome/Action:

Project feedback to the Applicant regarding the Sketch Plan and direct the Applicant to proceed with development of the preliminary plat plan set.

Attachments

Site Location Map
Zoomed In View of Proposed Zoning Map
Sketch Plan

Form Review

Inbox

Brian Hagen

Form Started By: Chris Anderson

Final Approval Date: 09/21/2023

Reviewed By

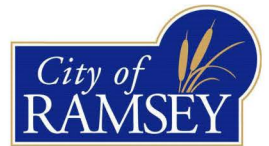
Brian Hagen

Date

09/21/2023 11:10 AM

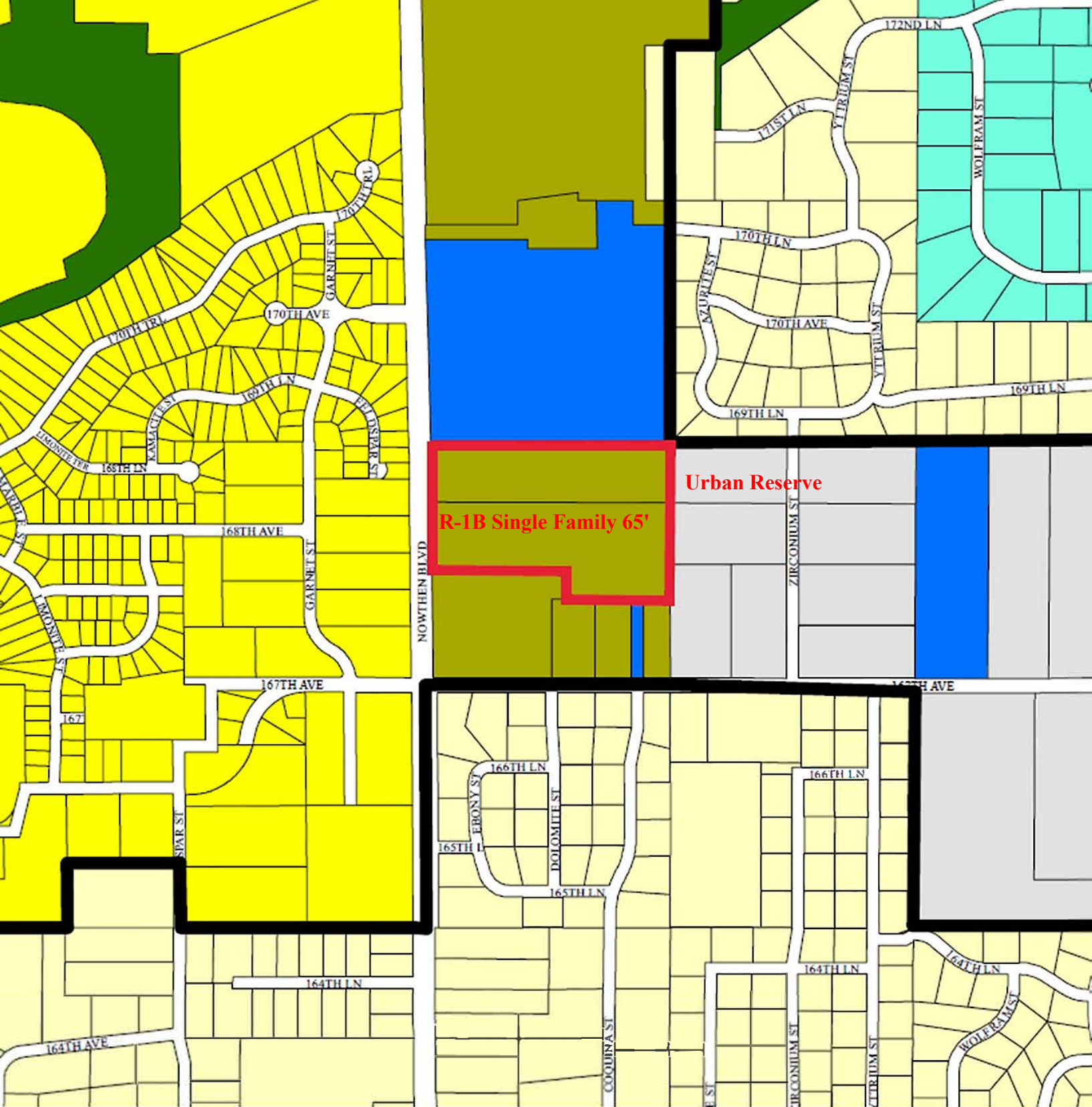
Started On: 09/18/2023 12:00 PM

Site Location Map for Harmony Farms



Print Date: June 13, 2023

0 0.04 0.07 0.15 0.22 0.3 mi





Page 1 of 1



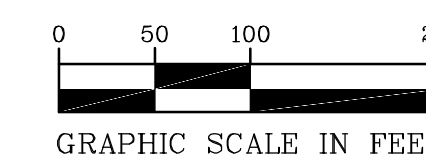
SITE DATA:

GROSS AREA: ±22.8 ACRES
 WETLAND: ±0.24 ACRES
 NET AREA: ±22.56 ACRES

ZONING: R-1
 PROPOSED ZONING: R-1B
 2040 COMP PLAN: LDR (3-4 UNITS/ACRE)

R-1-B MINIMUM STANDARDS;
 WIDTH AT SETBACK: 65'
 WIDTH AT ROW: 45'
 AREA: 6,500 SF
 MINIMUM DEPTH 110' (130' ON PERIMETER)
 FRONT SETBACK: 25'
 SIDE SETBACK: 5'
 CORNER SIDE SETBACK: 20'
 REAR SETBACK: 20'
 SETBACK FROM ARTERIAL ROADWAY: 60'
 SETBACK FROM WETLAND: 16.5'

PROPOSED LOTS: 70
 NET DENSITY: ±3.1 UNITS/ACRE



Regular Planning Commission**Meeting Date:** 09/28/2023**Primary Strategic Plan Initiative:** Not Applicable**Information****Title:**

Review and Adopt 2024 Planning Commission Meeting Calendar

Purpose/Background:

Every year, the Planning Commission adopts a calendar for its next year's meetings. At the July Planning Commission meeting, Commissioners gave direction that they would like to stick with the fourth Thursday schedule of meetings. This schedule works adequately for the first ten months in 2024. In November, due to Thanksgiving, the meeting will be moved up one week to the third Thursday on November 21 in order to meet the first City Council meeting in December. In December, the fourth Thursday is the day after the Christmas holiday. Instead, would the Commission like to meet on December 19 or January 2, 2025, as both dates provide for City Council review on January 14, 2025?

There are two potential dates that could change the calendar partway through the year. It is anticipated that there will be a primary election on August 13, which is a Council meeting date, not likely to affect the Planning Commission. The other is the September meeting may be adjusted as that is usually the time of the State Planning Conference.

Staff would like to confirm the Commission's direction of a 7:00 pm start time as moving the meeting up to 6:30 would be in line with other commission start times.

Notification:

None required.

Funding Source:

Not applicable.

Recommendation:

Staff recommends adopting the calendar for 2024. Staff also recommends a 6:30 start time.

Outcome/Action:

Motion to adopt the 2024 calendar with the [*December 19 or January 2*] meeting date and a [*6:30 pm or 7:00 pm*] start time.

Attachments

Draft 2024 Public Calendar

Draft 2024 Internal Calendar

Form Review**Inbox**

Brian Hagen

Form Started By: Todd Larson

Reviewed By

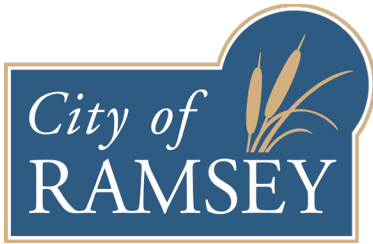
Brian Hagen

Date

09/21/2023 11:07 AM

Started On: 09/15/2023 10:42 AM

Final Approval Date: 09/21/2023



7550 Sunwood Drive NW • Ramsey, MN 55303

City Hall: 763.427.1410 • Fax: 763.427.5543

www.cityoframsey.com

2024 Land Use Application Calendar

The Planning Division accepts land use applications for proposed development projects, easement vacations, encroachment agreements, and home occupations. Applications must be submitted during the application window each month. Please do not submit your application early or late, however, we recommend calling a few days ahead of submitting to set up an account in our plan review software system. Please consult a separate how-to guide for the application type(s) you are requesting for the complete submittal requirements.

Plans are reviewed by City Staff and comments will be provided to the applicant within 10 days. The applicant will have time to review comments and provide responses or revised plans. Staff will then prepare a staff report for the Planning Commission who meets on the fourth Thursday of every month. The Planning Commission makes a recommendation to the City Council who will generally meet on the second Tuesday of the following month. In most cases, the City Council makes the final determination on approving or denying a proposal.

Application window opens (8:00 am Friday)	Application window closes (10:00 am)	Planning Commission Date (7:00 pm)	City Council Date (7:00 pm)
December 15, 2023	December 18, 2023	January 25, 2024	February 13, 2024
January 12, 2024	January 16, 2024	February 22, 2024	March 12, 2024
February 9, 2024	February 12, 2024	March 28, 2024	April 9, 2024
March 15, 2024	March 18, 2024	April 25, 2024	May 14, 2024
April 12, 2024	April 15, 2024	May 23, 2024	June 11, 2024
May 10, 2024	May 13, 2024	June 27, 2024	July 9, 2024
June 14, 2024	June 17, 2024	July 25, 2024	August 13, 2024*
July 12, 2024	July 15, 2024	August 22, 2024	September 10, 2024
August 9, 2024	August 12, 2024	September 26, 2024*	October 8, 2024
September 13, 2024	September 16, 2024	October 24, 2024	November 12, 2024
October 11, 2024	October 14, 2024	November 21, 2024 (3 rd Thursday)	December 10, 2024
November 15, 2024	November 18, 2024	December 19, 2024 January 2, 2025	January 14, 2024
December 13, 2024	December 16, 2024	January 23, 2025	February 11, 2025

** Denotes dates that could change due to holidays or other events. Please verify date with Planning staff.*

Proposed 2024 Land Use Application Calendar with Various Deadline Dates – For Discussion

Application window opens (Friday)	Deadline 5.5 weeks ahead of PC (10:00 am Monday)	Development Review Meeting (Thursday)	9-Day Staff Review Due (Friday)	8-Day Applicant Revision Period (Wed)/ Public Hearing Posting Date	PC Packet Posted (Thursday following week)	PC Date (4 th Thursday)	CC Date (2 nd /4 th Tuesday)	Days between Deadline CC
December 15, 2023	December 18, 2023	December 21, 2023	December 29, 2023	January 10, 2024	January 18, 2024	January 25, 2024	February 13, 2024	57
January 12, 2024	January 16, 2024 <i>(Tues due to MLK day)</i>	January 18, 2024	January 26, 2024	February 7, 2024	February 15, 2024	February 22, 2024	March 12, 2024	56
February 9, 2024	February 12, 2024	February 15, 2024	February 23, 2024	March 13, 2024	March 21, 2024	March 28, 2024	April 9, 2024	57
March 15, 2024	March 18, 2024	March 21, 2024	March 29, 2024	April 10, 2024	April 18, 2024	April 25, 2024	May 14, 2024	57
April 12, 2024	April 15, 2024	April 18, 2024	April 26, 2024	May 8, 2024	May 16, 2024	May 23, 2024	June 11, 2024	57
May 10, 2024	May 13, 2024	May 16, 2024	May 24, 2024	June 12, 2024	June 20, 2024	June 27, 2024	July 9, 2024	57
June 14, 2024	June 17, 2024	June 20, 2024	June 28, 2024	July 10, 2024	July 18, 2024	July 25, 2024	August 13, 2024	57
July 12, 2024	July 15, 2024	July 18, 2024	July 26, 2024	August 7, 2024	August 15, 2024	August 22, 2024	September 10, 2024	57
August 9, 2024	August 12, 2024	August 15, 2024	August 23, 2024	September 11, 2024	September 19, 2024	September 26, 2024	October 8, 2024	57
September 13, 2024	September 16, 2024	September 19, 2024	September 27, 2024	October 9, 2024	October 17, 2024	October 24, 2024	November 12, 2024	57
October 11, 2024	October 14, 2024	October 17, 2024	October 25, 2024	November 6, 2024	November 14, 2024	November 21, 2024 <i>(3rd Thursday)</i>	December 10, 2024	57
November 15, 2024 <i>Compressed Staff Review</i>	November 18, 2024	November 21, 2024	November 25, 2024 <i>(Monday)</i>	December 4, 2024	December 12, 2024	December 19, 2024 <i>(3rd Thursday)</i>	January 14, 2025	57
November 15, 2024 <i>Expanded resubmit</i>	November 18, 2024	November 21, 2024	November 27, 2024 <i>(Wed due to Thanksgiving)</i>	December 18, 2024	December 26, 2024	January 2, 2025 <i>(1st Thursday)</i>	January 14, 2025	57
December 13, 2024	December 16, 2024	December 19, 2024	December 27, 2024	January 8, 2025	January 16, 2025	January 23, 2025	February 11, 2025	57

Notes:

Grey = Holiday Conflicts:

January 15 = MLK Day;

August 13= Primary Election (Council meeting likely rescheduled); Feb. 13, April 9, May 14 are also potential special election dates.

November 28 = Thanksgiving

"Application window opens" is 60 days prior to Council meeting.

The Deadline date is mid-morning so that Dana can route plans in Project Dox and send out a courtesy email outlining all of the applications received before she leaves at 1:00.

The 9-Day Staff and 8-Day Applicant periods should be seen as "no later than..." as comments can always be finalized prior to that date and applicants are welcome to re-submit earlier.