

**City of Ramsey**  
**Agenda**  
**Revised**  
**Regular City Council**  
**Tuesday, September 24, 2024**  
**7:00 pm**  
**Council Chambers, 7550 Sunwood Drive NW**

Remote Attendance available at [www.cityoframsey.com/meetings](http://www.cityoframsey.com/meetings).  
Those joining remotely and requesting to speak are asked to use a webcam when speaking.

**1. Call to Order**

**2. Presentation**

1. Proclamation Declaring October 2024 as *Domestic Violence Awareness Month*
2. 2024 Happy Days Recap & Volunteer Acknowledgments

**3. Citizen Input**

*Citizen input is an opportunity for the public to address the City Council concerning items not listed on the agenda. Please raise your hand to be recognized by the Mayor or member officiating the meeting. Approach the podium and state your full name and address for the record. Time may be limited.*

**4. Approve Agenda**

**5. Approve Minutes**

1. Approve the Following Meeting Minutes:
  1. City Council Work Session dated September 10, 2024
  2. City Council Regular Session dated September 10, 2024

**6. Consent Agenda**

*All items listed under the Consent Agenda are considered to be routine or non-controversial by the City Council and will be enacted by one motion, without discussion.*

1. Receive Cash and Investments for Period Ending August 31, 2024
2. Approve Business License Applications.
3. Authorization to Promote the Assistant Building Official to Building Official
4. Authorization to Hire a Permit Technician II
5. Authorization to Hire a Temporary Building Inspector
6. Adopt Resolution #24-283 Approving Cash Disbursements Made and Authorizing Payment of Accounts Payable Invoicing Received During the Period of September 5, 2024 through September 18, 2024.
7. Adopt Resolution #24-253 Approving an Amended Final Plat for "Donna Farms"
8. Adopt Resolution #24-254 Approving a Development Agreement for U-Haul at 8725 Riverdale Drive NW
9. Adopt Resolution #24-257 Approving Partial Payment to GMH Asphalt Corporation for Improvement Project #24-03, 2024 NE Ramsey Street Reconstructions.
10. Adopt Resolution #24-258 Approving Partial Payment to Enebak Construction Company for Improvement Project #23-20, The COR Mass Grading.
11. Adopt Resolution #24-259 Approving Partial Payment to Northwest Asphalt Inc. for Improvement Project #24-03, MSA Xkimo Street Reconstructions.
12. Adopt Resolution #24-260 Approving Release of Assessment Agreement for Riverstone Plat
13. Adopt Resolution #24-265 Approving Partial Payment to North Valley, Inc. for Improvement Project #24-01, Barthel's Rum River Acres and White Pines Estates Street Reconstruction.
14. Adopt Resolution #24-267 Approving the Final Plat and Development Agreement for Pearson Place 2nd Addition, Located at the Southwest Corner of Riverdale Drive and Highway 10 (Project No. 24-100); Case of Development Consulting Services, LLC
15. Adopt Resolution #24-269 Approving Partial Payment to Douglas-Kerr Underground, LLC. for Improvement Project #23-19, The COR Infrastructure Improvements.
16. Adopt Resolution #24-270 Approving Partial Payment to North Valley, Inc. for Improvement Project #24-07, 2024 Neighborhood Pavement Overlay Improvements.

17. Adopt Resolution #24-271 Approving Partial Payment to Dave Perkins Contracting, Inc. for Improvement Project #24-02, Halls Dover Acres Street Reconstruction.
18. Adopt Resolution #24-272 Approving Partial Payment to Northwest Asphalt, Inc. for Improvement Project #24-11, MSA Alpine Drive Reconstruction.
19. Adopt Resolution #24-276 Approving Change Order No. 3 for Improvement Project #21-08, Water Treatment Plant Trunk Watermain Improvements
20. Adopt Resolution #24-277 Approving Change Order No. 4 for Improvement Project #21-08, Water Treatment Plant Trunk Watermain Improvements
21. Adopt Resolution #24-278 Approving Partial Payment to Northdale Construction Co. Inc, for Improvement Project #21-08, WTP Trunk Watermain Improvements.
22. Adopt Resolution #24-279 Authorizing Partial Payment No. 15 to Magney Construction, Inc. for Improvement Project #21-09; Centralized Water Treatment Plant.
23. Adopt Resolution #24-281 Approving Release of Assessment Agreement for Outlot D, Ramsey Town Center 11th Addition
24. Adopt Resolution ~~#25-282~~ #24-282 Ordering Request for Proposals for Sunwood Drive Concrete Pedestrian Crossing Replacement Topographic Surveys

**7. Public Hearing**

1. Public Hearing: Adopt Resolution #24-261 Adopting Assessments for Past-Due Charges on Municipal Utility Bills and Current Services Rendered
2. PUBLIC HEARING: Adopt Resolution #24-266 Vacating a Right-of-Way Easement Encumbering the Northern Cul-de-Sac on Bowers Drive Associated with Pearson Place 2nd Addition (Project No. 24-100); Case of Development Consulting Services, LLC

**8. Council Business**

1. Adopt Resolution 24-262 Adopting Proposed 2025 Payable Tax Levies (General, Pavement Management, EDA and Debt Service) & Schedule Public Hearing for November 26, 2024; Adopt Resolution #24-263 Adopting Proposed 2025 General Fund Budget and Resolution #24-264 Adopting Proposed 2025 EDA Budget.
2. Adopt Resolution #24-275 Accepting Bids and Awarding Contract for Improvement Project #25-01, Rivers Bend Regional Stormwater Improvements
3. Adopt Ordinance #24-11 Authorizing the City of Ramsey to Sell Fourteen (14) Parcels of Real Property

**9. Mayor/Council/Staff Input**

**10. Adjournment**

**CC Regular Session New**

**Meeting Date:** 09/24/2024

**Primary Strategic Plan Initiative:** Not Applicable

**Title:**

Proclamation Declaring October 2024 as *Domestic Violence Awareness Month*

**Purpose/Background:**

Purpose: To proclaim October 2024 as *Domestic Violence Awareness Month*.

Background: At the request of the Alexandra House, and the Purple Lights Initiative, the City Council will proclaim October 2024 Domestic Violence Awareness Month. The City will be lighting portions of the City Municipal Center with purple lights to help raise awareness of October as Domestic Violence Awareness Month.

The attached proclamation will be read at this time.

Amanda Fulk, the Community Engagement Coordinator for Alexandra House, will share a brief presentation about Domestic Violence Awareness Month and accept the proclamation.

**Attachments**

Proclamation

**Form Review**

**Inbox**

Brian Hagen

Form Started By: Katie Schmidt

Final Approval Date: 09/04/2024

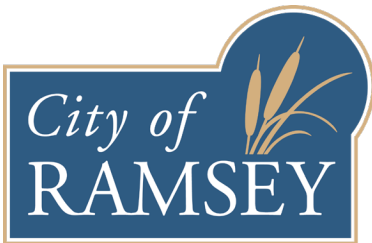
**Reviewed By**

Brian Hagen

**Date**

09/04/2024 11:18 AM

Started On: 08/27/2024 09:09 AM



**Proclamation**  
*October of 2024 is proclaimed as*  
**Domestic Violence Awareness Month**

**WHEREAS**, the community problem of domestic violence has become a critical public health and welfare concern in Anoka County; and

**WHEREAS**, domestic violence is a crime, the commission of which will not be tolerated in Anoka County and perpetrators of said crime are subject to prosecution and conviction in accordance with the law; and

**WHEREAS**, over thousands of women, men and children have and will continue to access assistance from Alexandra House, Inc., a domestic violence service provider; and

**WHEREAS**, domestic violence will be eliminated through community partnerships of concerned individuals and organizations working together to prevent abuse while at the same time effecting social and legal change; and

**WHEREAS**, October is *National Domestic Violence Awareness Month*; and

**WHEREAS**, during *National Domestic Violence Awareness Month*, Anoka County organizations will inform area residents about domestic violence, its prevalence, consequences and what we, as a concerned community can do to eliminate its existence.

**NOW THEREFORE, BE IT RESOLVED AND KNOWN TO ALL**, that the City of Ramsey proclaims October to be Domestic Violence Awareness Month on this the 24<sup>th</sup> day of September, 2024.

  
\_\_\_\_\_  
Mayor

**ATTEST:**

  
\_\_\_\_\_  
City Clerk

**CC Regular Session New**

**Meeting Date:** 09/24/2024

**Primary Strategic Plan Initiative:** Connect the community through Parks, Trails and Recreational Programming.

**Title:**

2024 Happy Days Recap & Volunteer Acknowledgments

**Purpose/Background:**

The 26th annual Happy Day's festival occurred on Saturday, September 7th and was deemed a success by all measures. Recreation Coordinator Abby Proulx will recap the highlights of the event and recognize the importance of both sponsors and volunteers tRamsey's cherished hometown celebration.

**Recommendation:**

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**Outcome/Action:**

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**Attachments**

HD flyer  
Sponsors

**Form Review**

Inbox	Reviewed By	Date
Bruce Westby	Bruce Westby	09/19/2024 10:05 AM
Brian Hagen	Brian Hagen	09/19/2024 10:39 AM
Form Started By: Mark Riverblood		Started On: 09/09/2024 02:07 PM
Final Approval Date: 09/19/2024		

# happy days



ramsey, mn

**SEPTEMBER 7-8, 2024**

*Most events are held across from  
Ramsey City Hall on Sunwood Drive NW*

## SCHEDULE OF EVENTS

### **SATURDAY, SEPTEMBER 7**

**5K and Fun Run** (Elmcrest Park, Sign-Up Online)

**Expo** (Sign-Up Online)

**Lions Beer Tent**

**Food Vendors**

**Parade** (Sign-Up Online)

**Rumriver Art Center Tent**

**Kids Games and Activities**

**Ninja Anywhere**

**Inflatables**

**Dog Show** (Sign-Up Online)

**Car Show** (Sign-Up Day Of)

**Bean Bag Tournament** (Sign-Up Online)

**BINGO with Anoka Women of Today**

**Live Music Jacuzzi Puma**

**Live Music Free Fallin Performance**

**Fireworks**

**8:00–9:30 a.m.**

**11:00 a.m.–7:00 p.m.**

**11:00 a.m.–10:00 p.m.**

**11:00 a.m.–10:00 p.m.**

**11:00 a.m.–Noon**

**Noon–4:00 p.m.**

**Noon–7:00 p.m.**

**Noon–7:00 p.m.**

**Noon–8:00 p.m.**

**1:30–2:30 p.m.**

**1:30–4:00 p.m.**

**2:00–5:00 p.m.**

**4:00–9:00 p.m.**

**6:30–8:00 p.m.**

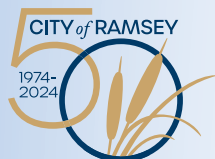
**8:30–10:00 p.m.**

**10:00 p.m.**

### **SUNDAY, SEPTEMBER 8**

**9/11 Memorial Golf Tournament** (Rum River Hills GC)

**9:00 a.m.–4:30 p.m.**

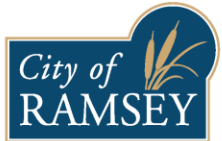


Schedule is subject to change, visit [www.cityoframsey.com/343](http://www.cityoframsey.com/343)  
for most up-to-date events or more information.



# THANK YOU, HAPPY DAYS SPONSORS!

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## GOLD SPONSORS

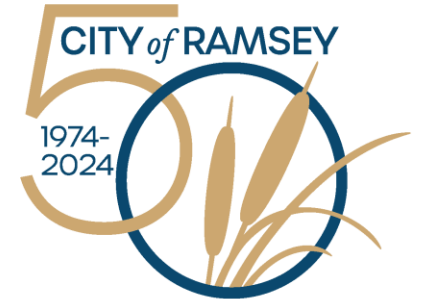


## SILVER SPONSORS



## BRONZE SPONSORS

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Brito's Tacos El Sombrero  
Miss IZ Ice Cream  
Ready Auto Glass  
Wendell's Inc



**CC Regular Session New**

**Meeting Date:** 09/24/2024

**Primary Strategic Plan Initiative:** Enhance City’s communication through transparency and accountability.

**Title**

Approve the Following Meeting Minutes:

- 1. City Council Work Session dated September 10, 2024
- 2. City Council Regular Session dated September 10, 2024

**Purpose/Background:**

Purpose: The purpose of this case is for Council review and approval of meeting minutes.

Background: Attached are the meeting minutes referenced above.

**Recommendation:**

Approve the meeting minutes.

**OutcomeAction:**

Motion to approve the following Council meeting minutes:

- 1. City Council Work Session dated September 10, 2024
- 2. City Council Regular Session dated September 10, 2024

**Attachments**

- 9-10-24 CCWS
- 9-10-24 Meeting

**Form Review**

<b>Inbox</b>	<b>Reviewed By</b>	<b>Date</b>
Brian Hagen	Brian Hagen	09/19/2024 01:42 PM
Form Started By: Katie Schmidt		Started On: 09/19/2024 01:02 PM
Final Approval Date: 09/19/2024		

**CITY COUNCIL WORK SESSION  
CITY OF RAMSEY  
ANOKA COUNTY  
STATE OF MINNESOTA**

The Ramsey City Council conducted a City Council Work Session on Tuesday, September 10, 2024, at the Ramsey Municipal Center, 7550 Sunwood Drive NW, Ramsey, Minnesota.

Members Present: Mayor Mark Kuzma  
Councilmember Chelsee Howell  
Councilmember Debra Musgrove  
Councilmember Michael Olson  
Councilmember Chris Riley  
Councilmember Dan Specht  
Councilmember Matt Woestehoff

Also Present: City Administrator Brian Hagen  
Finance Director Diana Lund  
Planning Manager Todd Larson  
City Attorney Fritz Knaak  
City Clerk Katie Schmidt  
Community Development Director Stephanie Hanson  
Assistant City Engineer Joe Feriancek  
Police Captain Tim Frankfurth (attended remotely)

**1. CALL TO ORDER**

Mayor Kuzma called the City Council Work Session to order at 5:30 p.m.

**2. TOPICS FOR DISCUSSION**

**2.01: Final 2025 Budget/Levy Review Before Preliminary Adoption on 9-24-24**

City Administrator Hagen reviewed the Staff report in regard to the 2025 budget and levy with changes since the Council's last discussion. He shared that the preliminary levy is at 8.24%.

Councilmember Riley said he would support adding back two items that they had discussed removing, the Council Work Session meals and the Employee Appreciation event, which adds up to \$7,500. He added that this would increase the budget by 0.034%.

Councilmember Musgrove disagreed as they will be potentially increasing the budget for the roads. She asked if there are any TIF dollars that will become available in 2025 that they could use to offset road funding.

Finance Director Lund shared that they used a lot of the TIF funds to fund road improvements in the COR area that are currently being constructed.

Councilmember Woestehoff asked if they are under budget for roads in the CIP for 2025.

Councilmember Musgrove said they are not under budget for next year, but she believes they are for 2027.

Finance Director Lund explained that if they were to bring the road fund contribution from 5% to 7.5%, it would be another \$46,000. She noted that she is not completely sure what the balance for the road fund is currently.

Assistant City Engineer Feriancek shared that they are about \$90,000 short in 2027 for roads. He said they have the funding for 2025 and 2026 but they will need to address this before 2027.

Mayor Kuzma shared that he is not in favor of raising the contribution to the road fund as he would like to keep the levy down. He said he would support adding the Council Work Session meals and the Employee Appreciation event back to the budget. He noted that with a new Council coming on he does not think it is fair that they make this decision for them.

Councilmember Musgrove stated the employee engagement event that they removed from the budget was the least attended event that is offered for employee appreciation and engagement. She noted that it seems as though this event is the one that Staff is okay with removing.

Councilmember Howell agreed. She stated that a future Council could add Work Session meals back to the budget if they would like.

Councilmember Woestehoff noted that the Employee Appreciation event is the only event that Board and Commission members are invited to and because of that he would support adding it back to the budget.

Councilmember Musgrove said she is in agreement with not supporting non-profits as a City and asked if the lawful gambling funds can be used towards playground maintenance.

Finance Director Lund explained that the lawful gambling funds cannot be used for playground maintenance, but it is currently used for equipment.

Councilmember Musgrove asked about the landfill funds that were used for playgrounds.

Finance Director Lund shared that the landfill funds were closed out.

Councilmember Howell stated that she also does not support the City contributing to non-profits. She said she would like to see the funds that were previously going to non-profits to be better invested into the City.

Councilmember Riley shared that in the past, the non-profits that they have supported had come forward and shared the benefit that they are able to add to the City. He asked if this information is still available.

Finance Director Lund noted that the Police Department does get this information from the Alexandra House.

Police Captain Frankfurth explained that the Alexandra House is a program that the Police Department uses for domestic assault cases throughout the County. He shared that this program helps victims navigate the court system and make sure they have protections in place.

Finance Director Lund asked if there is a list of how many participants of this program were Ramsey residents.

Police Captain Frankfurth said he can try to find this information.

City Administrator Hagen asked if other entities are contributing to the Alexandra House.

Police Captain Frankfurth shared that he believes other agencies are contributing to this and noted that there is also grant funding that contributes.

Mayor Kuzma asked Councilmember Woestehoff, the Council liaison to Youth First, about the importance of Youth First to the community.

Councilmember Woestehoff shared that it is an organization throughout Anoka County that provides safe spaces for children which are education adjacent. He noted that it is funded by Ramsey, Andover, Coon Rapids, Anoka County, the Anoka-Hennepin School Districts, and various grants.

Councilmember Musgrove asked if the JPA between the City is directly with Youth First or another organization.

Councilmember Woestehoff noted that it is with another organization. He added that he advised the Chair of the Youth First Board that the City would likely not be able to fund them in the future.

Councilmember Musgrove asked how they would go about making this decision if it is a joint powers agreement.

Councilmember Woestehoff stated the JPA has nothing to do with funding. He added that the Youth First Board is meeting later this week to discuss the new Executive Director and her vision of what the organization will be.

Councilmember Howell shared that she does not like the idea of the City funding non-profits, regardless of the organization's contribution to the City. She added that Andover currently has an employment opportunity for a Youth Mental Health and Wellness Services Coordinator for Youth First. She noted that DEI is implemented throughout the role, and she has issues with the City supporting an organization that will prioritize certain children over others.

Councilmember Woestehoff stated that he would still like to look into the Alexandra House more as he sees it as a valuable resource to the City. He said he would like more information before they decide to pull funding.

Councilmember Specht asked how much they are contributing to each organization.

Councilmember Riley said they are giving \$5,000 to Alexandra House and \$15,000 to Youth First.

Finance Director Lund shared that they have already given \$7,500 to Youth First for 2024 and they have not given anything to the Alexandra House at this point.

Councilmember Specht noted that he definitely sees the value in supporting non-profits which is why he struggles with whether or not the City should be supporting them; however, he is in support of not funding non-profits at this time.

Councilmember Howell added that she would support the Youth First paying for their own snow removal.

Mayor Kuzma suggested November 26 as the Truth and Taxation Meeting date.

The consensus of the Council was to move forward with the changes made to the preliminary budget, including keeping the Work Session meals and Employee Appreciation event out of the budget and direct Staff to bring it forward for preliminary approval at the September 24 meeting. There was also consensus to pull funding from Youth First for 2025 and requested more information on the Alexandra House.

## **2.02: Discuss Polling Locations**

City Clerk Schmidt reviewed the Staff report concerning polling locations for future elections.

Mayor Kuzma asked about the percentage of voters who voted early for the 2020 Presidential election.

City Clerk Schmidt said it was over 50%.

Councilmember Woestehoff asked if they looked at using PACT Charter School as a polling location in the future.

City Clerk Schmidt said she had not heard back from PACT. She added that St. Katherine Drexel Catholic Church stated that they are interested in being a polling location.

Councilmember Woestehoff asked how far in advance they have to send out notice of new polling locations.

City Clerk Schmidt said they send notices 60 days before an election.

City Administrator Hagen explained that they will need to pass a resolution if they are changing a polling location by December 31.

Councilmember Musgrove noted that she did want to look at Ward 3, P1 and P2. She asked if they could look at these two precincts and redo the lines so that they are more evenly distributed.

City Clerk Schmidt said they could make this change; however, they cannot change any of the Ward lines as these are done every ten years.

Councilmember Musgrove stated that between Ward 1, Ward 2, and Ward 4, she would like there to be consideration for an additional precinct to balance the numbers. She noted that adding additional precincts will require more work and time; however, she thinks it will help ensure the votes of the residents.

Councilmember Howell suggested talking to other large cities that have smaller polling locations on how they make this process work and mimic some of those processes.

City Clerk Schmidt shared that Ramsey is the third largest city in the County. She explained that she likes to focus on how many people actually vote on election day. She noted that if 20% of voters are voting early, then this takes out 20% of the voter base from election day. She stated that if the election judges have enough Staff and their location is not overwhelmed, then she would not want to add more locations if it was not necessary. She added that when they make changes to polling locations it is always confusing for voters for the first few election cycles. She noted that they would not have room in the current storage rooms for any more voting machines.

Mayor Kuzma asked when they would need to have this discussion if they did want to make changes to polling locations.

City Administrator Hagen reiterated that they cannot change anything for the 2024 election. He explained that this election year will be very telling for what the new normal is for the percentage of voters who vote early or absentee versus in person. He shared that any changes to the following year have to be made by December 31; however, there are no elections that will be happening in 2025. He stated they will have time to look at this and review for 2026. He suggested seeing how things go this year and reevaluating if necessary.

Councilmember Howell asked if they could make changes to equipment or poll pads that will be used in the 2024 election.

City Administrator Hagen noted that everything is already in place for the 2024 election, and he is not sure if changes can be made.

Councilmember Howell stated that the JPA with the County does not cover poll pads at all and noted that they could nullify this agreement with seven days' notice. She explained that this JPA is not good for the City and the County would not take any responsibility if anything goes wrong with the poll pads, yet the City would have to bear all of the costs. She noted that it would be worth

looking at the JPA and the election equipment agreement as she believes they could make changes to this for the 2024 election.

Councilmember Woestehoff shared that he was not prepared to discuss anything other than polling locations this evening as that was the topic of the case. He said he would fully support moving the polling location from Central Park to St. Katherine Drexel. He added that he would also like a lot of feedback from the County if they are looking at changing anything for this year's election.

Councilmember Howell said if the Council is not prepared to have this discussion this evening in regard to the JPA and the equipment agreement then she would like to see this discussed at the next Work Session meeting.

Councilmember Riley asked if State law requires them to use the electronic poll pads.

City Attorney Knaak shared that he believes they do have to use the electronic poll pads.

City Administrator Hagen added that using only paper poll pads is allowed for municipal elections only.

Councilmember Howell asked if the JPA with the County does not cover these and they nullify the agreement, if the City would then have to purchase their own equipment or go back to using paper poll books.

City Attorney Knaak explained that the County can impose the kind of materials that are being used and in turn, they are answerable to the Secretary of State in terms of the system they choose to use.

Derek Lind, Anoka County Election Integrity Team, shared that his understanding is that the State mandate is for the machine tabulators, which was passed in May of 2023 but did not include poll pads.

City Attorney Knaak said he would have to look into this.

City Clerk Schmidt added that it is her understanding that they cannot make a change to the equipment that is used to administer the 2024 election.

Councilmember Musgrove noted that there are some cities that do not use electronic poll pads. She agreed with Councilmember Howell that the JPA is not beneficial to the City. She said the accountability seems to be off with this agreement where the City takes on all of the liability and the County holds all of the data. She noted that they should be protecting the data of this City; however, the electronic poll pads give anyone real time access to the data.

City Attorney Knaak explained that it is the counties that run the elections and the cities are answerable to the counties. He stated that electronic poll pads were introduced as a way to reduce potential voter fraud as it would be able to tell in real time if someone had already voted somewhere else or submitted another ballot at an earlier date.

Councilmember Howell read a portion of the equipment agreement with the County and shared that no responsibility for the function of the equipment will fall on the County. She said she is looking for where they are legally required to use the electronic poll pads. She stated she would like clarification from the County on this.

Councilmember Riley asked if the City Clerk would be authorized to bind the City to an agreement like this.

City Attorney Knaak said yes, as long as the City Clerk has been authorized to do so.

City Clerk Schmidt shared that State Statute 201.225 Subdivision 1 gives Head Election Officials the authority to designate that some or all precincts use electronic rosters. She added that the decision was made in 2018 to start using electronic rosters for any County and above election until the Board decides otherwise. She said the City has no say in changing this for the 2024 election as they are required by the State to use whatever the County decides.

Councilmember Musgrove shared that she is open to having a future polling location at either St. Katherine Drexel or PACT Charter School. She added that she would like to have a better agreement with the County for the use of the equipment. She noted that the agreement does not seem to have been done in the best interest of Ramsey.

Councilmember Howell said she would like to see if there is any wiggle room in Subdivision 1 of State Statute 201.225.

City Attorney Knaak explained that they could try to make a case that Ramsey get an exception to this, but it would have to be decided by the Head Election Official at the County.

Councilmember Riley noted that since they cannot change anything for the upcoming election if they should just revisit this topic after the upcoming election.

Councilmember Howell said she would like to continue to discuss this before the election as the agreements are not beneficial to the City and would like to see the agreement nullified.

Councilmember Riley stated that if they nullify this agreement and they cannot negotiate with the County then the City does not have any election equipment and would have to figure out a new alternative so close to the election.

City Clerk Schmidt explained that she works with the County on a daily basis leading up to the election and they offer support to the City and the equipment.

City Administrator Hagen shared that Staff could continue to look into this and bring back more information to the Council.

The consensus of the Council was to direct Staff to gather data and insights from the November election and bring it back for discussion for future elections and to make St. Katherine Drexel Church a polling location.

### **2.03: Driveway Discussion**

Planning Manager Larson shared the Staff report in regard to two recent variances that were requested concerning extensions of existing driveways on the sides of the garages closer than the required five feet.

Councilmember Musgrove shared that she believes five feet is a lot and would like the requirement to be smaller.

Councilmember Howell thanked Planning Manager Larson for his presentation with lots of visuals to aid in understanding the discussion. She said she would not be opposed to reducing the requirement to zero feet from the property line like Coon Rapids does.

Councilmember Woestehoff shared that he had a neighbor whose driveway was right up to the property line, and he stated this was not the best experience. He added that this contradicts the idea that they want to keep the City feeling more rural. He noted that structures bother him more than a driveway. He asked how often things like easements would get in the way of these types of scenarios.

Planning Manager Larson explained that with the Zoning Code update they put in language about easements and what can and cannot encroach into them.

Assistant City Engineer Feriancek explained that in the past they have allowed fences up to the lot line; however, fences can be easily moved to work on utilities, and this would be more complicated with something like a driveway.

Councilmember Olson said he would be supportive of reducing the requirement down to anything lower than five feet, including zero feet. He noted that he thinks it will still be quite rare that they will see a driveway going all the way to a lot line.

Councilmember Specht stated that he would support lessening the requirement or allowing driveways up to the lot line.

Councilmember Riley suggested lowering the requirement but not going down to allow driveways to the lot line as neighbors can often fight about where lot lines are.

Councilmember Woestehoff agreed that this could cause further confusion on where property lines are.

Councilmember Howell stated that they should enforce the code when needed but put it on the property owners to determine their lot lines before installing a driveway extension.

The consensus of the Council was to reduce the driveway setback requirement.

### **Recess and Reconvene**

The meeting recessed at 6:54 p.m.

The meeting reconvened at 7:36 p.m.

### **2.04: Mayor & City Council Candidate Forum**

City Administrator Hagen reviewed the Staff report on a Mayor and Council Candidate Forum. He shared that this was requested by Councilmembers Howell and Musgrove.

Councilmember Howell shared that the League of Women Voters has a forum that is great; however, she is concerned with access to the public being cut off and not allowing live access to the experience. She added that questions had to be submitted online by a deadline. She explained that the editing of the forum is only authorized for official media reporting and excerpts cannot be used for political purposes, which violates the Fair Use Laws. She noted that as an organization that supports democracy, they are making this very inaccessible for people and not honoring Fair Use Laws. She shared Oak Grove has managed to pull off their own candidate forums and she believes Ramsey could do the same.

Councilmember Woestehoff stated he likes the spirit of this; however, he noted that if it is done in conjunction with QCTV and they have their copyright restrictions in place.

Councilmember Howell shared that she believes that Fair Use Laws would still apply.

City Attorney Knaak explained that if information from a public meeting is trying to be restricted in any way is very problematic. He stated that this suggestion is something that they can do as long as it does not appear that they are favoring any side in any way. He noted that he would need to have a conversation with QCTV in regard to their restrictions.

Councilmember Howell stated that she has problems with the restrictions that have not been addressed in the past. She noted that the new restriction that restricts the content feels like having too much control. She explained that she just wants all residents to have access to these forums and she is disappointed in the League of Women Voters for their restrictive efforts.

Mayor Kuzma asked if Councilmember Howell is suggesting this for the 2024 election or elections moving forward.

Councilmember Howell said she is suggesting it for this election and future elections unless something changes with the League of Women Voters.

Mayor Kuzma stated that he does not know if they would be able to accomplish this for the 2024 election as early voting starts as early as next Friday. He said he would support this if early voting was not starting so soon but he does not think they have time to get this done.

Councilmember Woestehoff added that they should speak to the Executive Director of QCTV as they recently put a policy in place that states that QCTV will not have programming that features candidates during the election season.

Councilmember Howell said this would not be featuring a candidate, it would be hosting a forum which is not the same thing.

Councilmember Woestehoff noted that he would still like to discuss this with QCTV to make sure their understanding is in line with this.

Councilmember Howell stated that if a small city like Oak Grove can pull this off then Ramsey definitely can.

Mayor Kuzma said he would not support this as there is just not enough time before early voting starts.

Councilmember Specht shared that he agrees that these forums should be open to the public and the footage should be able to be used. He suggested they have a conversation with the League of Women Voters about changing some of their restrictions before deciding to do their own forum.

Councilmember Riley added that he does not like the idea of the City doing a forum like this. He suggested the Chamber of Commerce or another entity organize this.

Councilmember Howell said she would like the forums to be open again and less restrictive.

Councilmember Musgrove shared that she was not even aware that the League of Women Voters forum even happened. She noted that she thinks residents have missed out on this, especially since they cannot attend in person. She said that as a candidate who had participated in open forums, it made her a stronger candidate as she had to be prepared to answer any questions that may come her way. She stated that she would like to let the League of Women Voters know their disappointment with how they are running the forums.

Mayor Kuzma asked what the cost of something like this would be.

City Administrator Hagen said he is not sure.

Councilmember Musgrove stated that between the Chamber of Commerce and the North Metro Chamber of Commerce they may have more availability for moderators to host this forum.

Mayor Kuzma said he is not against the idea of an open forum for candidates; however, he does not think they would be able to pull it off before early voting begins.

Councilmember Woestehoff agreed with Councilmember Riley that he does not think the City should be involved in a forum like this and would like to see another organization lead the charge on this. He added that he does have a concern with the timeline to get this done for the 2024 election.

City Administrator Hagen asked if the Council would be opposed to the League of Women Voters hosting another open forum on the City's terms.

Councilmember Howell stated that she would support this if the League of Women Voters changed their policies and dropped their statement. She said she does not care who hosts the forum, she just wanted it to be open and accessible to residents.

Councilmember Woestehoff suggested talking to the League of Women Voters and asking them to adjust their policies around candidate forums.

Councilmember Musgrove shared that she does not think they would need to have this done by the first day of early voting as a lot of people do not vote early on the first day available. She said she would be okay with them hosting this forum after early voting had opened.

Mayor Kuzma said it would not be fair to host a forum after people could have already voted.

Councilmember Woestehoff suggested that City Attorney Knaak speak to the League of Women Voters to see if they would be willing to adjust their policies on this.

Councilmember Howell reiterated her main issues with the way the first forum was done was that the public and their engagement was cut out entirely.

City Administrator Hagen asked how well attended these forums have been in the past.

Councilmember Specht said they have been rather full.

Councilmember Musgrove added that they have been so full in the past that they had to have people wait in the lobby for their race.

Councilmember Howell said she does not see an issue with hosting a forum after early voting has opened as candidates will continue to campaign up to election day.

Councilmember Musgrove shared that candidates will likely want the opportunity to speak to their constituents in these types of scenarios.

Councilmember Woestehoff noted that there is nothing stopping anyone from the public from holding a forum on their own. He reiterated that he does not feel comfortable with the City being involved in this.

Councilmember Howell said they can invite an outside organization to host the forum and use City facilities so the City is not the host of the event.

Councilmember Musgrove disagreed with Councilmember Woestehoff and noted that they are trying to find out more about the candidates that are running for Council, and they want more opportunities for people to see the candidates.

City Administrator Hagen asked if they would like to move forward with this if it can be done at no cost to the City.

Councilmember Howell suggested that they find an organization to moderate this forum utilizing the City facilities and QCTV and invite all candidates and the residents to the forum. She said she would feel comfortable paying the moderators if necessary.

Councilmember Woestehoff added that this could come at an additional cost from QCTV if this was not one of the meetings that they had already budgeted for. He said if QCTV and the League of Women Voters are not on board with these changes then he would like to talk through the other options past that.

Councilmember Howell stated that she thinks the League of Women Voters will say no as they have not wanted to work with the City on this in the past. She said she would like to reach out to other organizations to see if they would have interest in moderating this before they eliminate this idea for the 2024 election and can begin working on a plan for future years.

Councilmember Riley noted that he likes the idea of having a non-resident moderate the forum.

Councilmember Woestehoff said they should give the candidates at least a week's notice.

The consensus of the Council was to direct City Attorney Knaak to approach the League of Women Voters about their policies on their candidate forums and if they are not willing to host another forum on the City's terms, then look into other organizations that could moderate the forum for the City. There was also consensus to pay no more than \$500 to moderators.

## **2.05: Attorney-Client Privileged Discussion of Potential Litigation - Closed to the Public**

City Administrator Hagen reviewed the Staff report concerning potential litigation. He asked for the meeting to be moved to Closed Session.

Motion by Councilmember Riley, seconded by Councilmember Olson, to recess the meeting to Closed Session at 8:13 p.m.

Motion carried. Voting Yes: Mayor Kuzma, Councilmembers Riley, Olson, Howell, Musgrove, Specht, and Woestehoff. Voting No: None.

The meeting reconvened to Open Session at 8:23 p.m.

City Administrator Hagen shared that Staff has received direction from the Council on this matter.

## **3. TOPICS FOR FUTURE DISCUSSION**

### **3.01: Review Future Topics/ Calendar**

Noted.

**4. MAYOR / COUNCIL / STAFF INPUT**

None.

**5. ADJOURNMENT**

The Work Session of the City Council was adjourned at 8:25 p.m.

Respectfully submitted,

---

Brian S. Hagen  
City Administrator

ATTEST:

---

Katie M. Schmidt  
City Clerk

Drafted by Ava Major  
*TimeSaver Off Site Secretarial, Inc.*

**CITY COUNCIL CLOSED SESSION  
CITY OF RAMSEY  
ANOKA COUNTY  
STATE OF MINNESOTA**

The Ramsey City Council conducted a Closed Session on Tuesday, September 10, 2024, at the Ramsey Municipal Center, 7550 Sunwood Drive NW, Ramsey, Minnesota.

Members Present: Mayor Mark Kuzma  
Councilmember Chelsee Howell  
Councilmember Debra Musgrove  
Councilmember Michael Olson  
Councilmember Chris Riley  
Councilmember Dan Specht  
Councilmember Matt Woestehoff

Also Present: City Administrator Brian Hagen  
City Attorney Fritz Knaak

**1. CALL TO ORDER**

Mayor Kuzma called the Closed Session of the City Council to order at 8:13 p.m.

**2. COUNCIL BUSINESS**

**2.01: Attorney-Client Privileged Discussion of Potential Litigation - Closed to the Public**

City Administrator Hagen reviewed the Staff report concerning potential litigation.

Staff received direction from the Council

**3. ADJOURNMENT**

The Closed Session was adjourned at 8:23 p.m.

Respectfully submitted,

---

Brian S. Hagen  
City Administrator

ATTEST:

---

Katie M. Schmidt  
City Clerk

Drafted by Ava Major  
*TimeSaver Off Site Secretarial, Inc.*

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**CITY COUNCIL  
CITY OF RAMSEY  
ANOKA COUNTY  
STATE OF MINNESOTA**

The Ramsey City Council conducted a regular meeting on Tuesday, September 11, 2024, at the Ramsey Municipal Center, 7550 Sunwood Drive NW, Ramsey, Minnesota.

Members Present: Mayor Mark Kuzma  
Councilmember Chelsee Howell  
Councilmember Debra Musgrove  
Councilmember Michael Olson  
Councilmember Chris Riley  
Councilmember Dan Specht  
Councilmember Matt Woestehoff

Members Absent: None

Also Present: City Administrator Brian Hagen  
Planning Manager Todd Larson  
City Attorney Fritz Knaak

**1. CALL TO ORDER**

Mayor Kuzma called the regular meeting of the Ramsey City Council to order at 7:00 p.m., followed by the Pledge of Allegiance led by Mayor Kuzma.

**2. PRESENTATION**

**2.01: Presentation Proclaiming September 17 - 23, 2024 as Constitution Week**

Mayor Kuzma read the proclamation declaring September 17 through 23, 2024, Constitution Week.

Dawn Sieber with the Daughters of the American Revolution came forward and thanked Ramsey for their partnership and support of Constitution Week.

**3. CITIZEN INPUT**

Derek Lind with the Anoka County Election Integrity Team came forward and gave an update on other cities that are passing similar post-election reviews. He explained that they are also wanting to get rid of electronic poll pads for the precincts because the data could leave the precincts when it should not. He shared that there are 28 counties that do not use electronic poll pads, 16 counties use a combination of paper and electronic, and 45 counties use all electronic poll pads.

Councilmember Woestehoff asked if the electronic poll pads are only recording who showed up to vote.

Mr. Lind said yes.

Councilmember Woestehoff noted that the Secretary of State has records of who votes regardless of whether electronic poll pads or paper poll pads were used. He asked what the security risk is with electronic poll pads.

Mr. Lind stated that no one should know in real time who is voting at a precinct, and they should only know afterwards.

Councilmember Woestehoff noted that real time reporting can help with security because it would prevent someone from trying to vote at multiple precincts.

Mr. Lind said that each voter has a voter identification number and if it is used more than once, they would find out. He added that they have still not gotten a clear answer from Tom Hunt on whether or not the electronic poll pads are reporting in real time anyway.

Councilmember Howell shared that earlier this evening in the Work Session they discussed a JPA between the City and Anoka County to cover some of the election equipment. She noted that the Council chose to do absolutely nothing with this which she sees as a huge risk. She said they had the opportunity to negotiate a better agreement with the County, yet the consensus of the Council was not to negotiate this. She shared that she hopes the Council will reconsider this to address some concerns.

Mr. Lind noted that if he were designing a system to cheat an election, he would want to keep count, similar to how these poll pads do. He stated paper poll pads were used until 2016 and there were never any issues.

#### **4. APPROVE AGENDA**

Motion by Councilmember Howell, seconded by Councilmember Woestehoff, to approve the agenda as presented.

Motion carried. Voting Yes: Mayor Kuzma, Councilmembers Howell, Woestehoff, Musgrove, Olson, Riley, and Specht. Voting No: None.

#### **5. APPROVE MINUTES**

Motion by Councilmember Woestehoff, seconded by Councilmember Howell, to approve the following meeting minutes:

- 5.01: City Council Work Session dated August 27, 2024
- 5.02: City Council Regular Session dated August 27, 2024
- 5.03: City Council Special Session dated September 3, 2024

Motion carried. Voting Yes: Mayor Kuzma, Councilmembers Woestehoff, Howell, Musgrove, Olson, Riley, and Specht. Voting No: None.

## **6. CONSENT AGENDA**

Motion by Councilmember Howell, seconded by Councilmember Musgrove, to approve the following items on the Consent Agenda:

- 6.01: Note the following Boards, Commissions, and Committee Meeting Minutes:
- Planning Commission Meeting Minutes Dated July 25, 2024
  - Environmental Policy Board Meeting Minutes Dated July 15, 2024
  - Economic Development Authority Meeting Minutes Dated June 13, 2024
  - Public Works Committee Meeting Minutes Dated July 16, 2024.
  - Park and Recreation Commission Meeting Minutes Dated May 9, 2024 and June 13, 2024
- 6.02: Approve Business License Applications
- 6.03: Affirm Resolution #24-212 - Site Plan Review for Haviland Fields
- 6.04: Adopt Resolution #24-256 Approving Cash Disbursements Made and Authorizing Payment of Accounts Payable Invoicing Received During the Period of August 22, 2024 through September 4, 2024.
- 6.05: Adopt Resolution #24-244 Declaring Costs to be Assessed and Calling for a Public Hearing on Proposed Assessment for Past-Due Charges on Municipal Utility Bills (which may include water, sewer, street lighting, recycling, storm water charges and penalties incurred) and Current Services Rendered.
- 6.06: Adopt Resolution #24-243 Approving Amended Cooperative Construction Agreement #1052605-1 for Improvement Project #20-11, Ramsey Gateway Highway 10 Improvements
- 6.07: Adopt Resolution #24-247 Requesting Anoka County to Withhold Certain Tax Forfeit Land (15-32-25-43-0001) From Public Sale and Authorizing Acquisition of Tax Forfeit Property for Public Purpose
- 6.08: Adopt Resolution #24-248 Approving Final Plat and Development Agreement for Riverstone South Fifth Addition (Capstone Homes).
- 6.09: Adopt Resolution #24-249 Approving a Development Agreement for Diamond Graphic's Building Expansion at 14350 Azurite St NW (Project No. 24-111); Case of Diamond Graphics
- 6.10: Adopt Resolution #24-250 Approving a Development Agreement for Quad Logic's Building Addition at 14220 Basalt Street NW (Project No. 24-118); Case of Quad Logic
- 6.11: Adopt Resolution #24-251 Approving Change Order No. 23 for Improvement Project #20-11, Ramsey Gateway Highway 10 Improvements
- 6.12: Adopt Resolution #24-252 Approving First Amendment to Purchase Agreement, Right of Re-Entry Agreement and Development Agreement for Lot 2, Block 1, COR FOUR; T5 Ramsey LLC (Take 5)

Motion carried. Voting Yes: Mayor Kuzma, Councilmembers Howell, Musgrove, Olson, Riley, Specht, and Woestehoff. Voting No: None.

## **7. PUBLIC HEARING**

### **7.01: PUBLIC HEARING: Adopt Resolution #24-230 Vacating all Existing, Platted Drainage and Utility Easements on the Property Located Between Rhinestone Street, Traprock Street, East Ramsey Parkway, and 146th Avenue (Project No. 24-117)/ Case of COR at Ramsey, LLC**

#### **Presentation**

Planning Manager Larson reviewed the Staff report in regard to the request to vacate all drainage and utility easements on the property between Rhinestone Street, Traprock Street, East Ramsey Parkway, and 146th Avenue.

#### **Public Hearing**

Mayor Kuzma called the public hearing to order at 7:14 p.m.

#### **Citizen Input**

There was none.

Motion by Councilmember Musgrove, seconded by Councilmember Howell to close the public hearing.

Motion carried. Voting Yes: Mayor Kuzma, Councilmembers Musgrove, Howell, Olson, Riley, Specht, and Woestehoff. Voting No: None.

The public hearing was closed at 7:15 p.m.

#### **Council Business**

Motion by Councilmember Woestehoff, seconded by Councilmember Olson, to adopt Resolution #24-230 vacating all existing drainage and utility easements on the Subject Property.

Motion carried. Voting Yes: Mayor Kuzma, Councilmembers Woestehoff, Olson, Howell, Musgrove, Riley, and Specht. Voting No: None.

## **8. COUNCIL BUSINESS**

### **8.01: Adopt Resolution #24-229 Granting Approval of the Preliminary Plat, Final Plat, Development Agreement, and a Sidewalk Easement Agreement for Parkside Townhomes in The COR (Project No. 24-117); Case of COR at Ramsey, LLC**

Planning Manager Larson reviewed the Staff report concerning the preliminary plat, final plat, development agreement and a sidewalk easement agreement for Parkside Townhomes. He shared the Planning Commission's recommendation of approval.

Councilmember Musgrove noted that residents had brought forth an issue at the Planning Commission meeting with cars not stopping at the intersection of Rhinestone Street and East Ramsey Parkway.

Planning Manager Larson stated the issues with people not stopping at this intersection does not have anything to do with this development. He added that they have contacted the Police and Engineering departments to see if there is anything that could be addressed to make this a safer intersection.

Councilmember Musgrove asked if there are crosswalks on either side of the intersection by the stop signs.

Planning Manager Larson explained that all intersections in Minnesota are legal crosswalks whether they are marked or not.

Councilmember Musgrove suggested having these crosswalks marked to help with traffic. She asked if there is any opportunity to put in a dog run or amenity for the residents who own pets to access.

John Rask, M/I Homes, came forward and shared that there is an open space area in the center of the site that will be available to residents for pet usage. He explained that they try to stay away from formal, fenced in areas for pets. He added that the HOA will allow pets with restrictions.

Motion by Councilmember Howell, seconded by Councilmember Musgrove, to adopt Resolution #24-229 granting approval of the Preliminary Plat, Final Plat, Development Agreement, and Sidewalk Easement Agreement for Parkside Townhomes.

Further discussion:

Councilmember Woestehoff asked if there were any unresolved or unreviewed Staff comments that should be included as contingencies.

Planning Manager Larson said no and explained that the unresolved issues are all very minor and are being taken care of.

Motion carried. Voting Yes: Mayor Kuzma, Councilmembers Howell, Olson, Musgrove, Riley, Specht, and Woestehoff. Voting No: None.

### **8.02: Introduce Ordinance #24-11 Authorizing the City of Ramsey to Sell Fourteen (14) Parcels of Real Property**

City Administrator Hagen reviewed the Staff report in regard to the City selling 14 parcels of property along Highway 10.

Councilmember Musgrove asked if all of these properties are in the same zoning district.

Planning Manager Larson said he can look into this; however, he assumes they are all either zoned B-2 or B-3.

City Administrator Hagen added that they had a Highway 10 Overlay District which went away with the Zoning Code overhaul that they completed last year.

Motion by Councilmember Woestehoff, seconded by Councilmember Musgrove, to waive the City Charter requirement that the ordinance be read aloud and to introduce the attached Ordinance #24-11 authorizing the City of Ramsey to sell/convey fourteen (14) parcels of real property.

A roll call vote was performed:

Councilmember Musgrove	aye
Councilmember Riley	aye
Councilmember Howell	aye
Councilmember Olson	aye
Councilmember Specht	aye
Councilmember Woestehoff	aye
Mayor Kuzma	aye

Motion carried.

## **9. MAYOR, COUNCIL AND STAFF INPUT**

City Administrator Hagen announced upcoming meetings and events.

Mayor Kuzma shared that they had a wonderful Happy Days event this past weekend. He thanked Staff for putting on the great event.

Councilmember Musgrove thanked Staff for all of their work on Happy Days.

Councilmember Woestehoff shared that he drove by the new park, The Hollow, and he knows his family will love it.

## **10. ADJOURNMENT**

Motion by Councilmember Musgrove, seconded by Councilmember Olson, to adjourn the meeting.

Motion carried. Voting Yes: Mayor Kuzma, Councilmembers Musgrove, Olson, Howell, Riley, Specht, and Woestehoff. Voting No: None.

The regular meeting of the City Council adjourned at 7:29 p.m.

Respectfully submitted,

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Brian S. Hagen  
City Administrator

ATTEST:

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Katie M. Schmidt  
City Clerk

Drafted by Ava Major  
*TimeSaver Off Site Secretarial, Inc.*

A recording of this meeting is available for viewing online at [www.qctv.org](http://www.qctv.org)  
<<http://www.qctv.org>>. Recordings are available for 36 months after the date of the meeting.

**CC Regular Session New**

**Meeting Date:** 09/24/2024

**Primary Strategic Plan Initiative:** Not Applicable

**Title:**

Receive Cash and Investments for Period Ending August 31, 2024

**Purpose/Background:**

Purpose: Receive reports of the city's cash and investments for the period ending August 31, 2024.

Cash and investment report shows the monthly cash flow - receipts and expenditures through August 31, 2024 with the current listing of the city's investment portfolio.

**Recommendation:**

No action required. Informational only.

**Outcome/Action:**

No action required. Informational only.

**Attachments**

Cash & Investments for Period Ending August 31, 2024

**Form Review**

<b>Inbox</b>	<b>Reviewed By</b>	<b>Date</b>
Brian Hagen	Brian Hagen	09/19/2024 10:39 AM
Form Started By: Diana Lund		Started On: 08/20/2024 08:45 AM
Final Approval Date: 09/19/2024		

**CITY OF RAMSEY**  
**REPORT OF POOLED CASH FLOWS**  
**Period Ended August 31, 2024**

	August-24 CURRENT MONTH	2024 YEAR-TO-DATE
<b>CASH AND TEMPORARY INVESTMENTS</b>		
BEGINNING BALANCE (Includes 2022 & 2023 Bond Proceeds)	\$ 96,492,587.88	\$ 106,429,330.67
CASH INFLOWS:		
Daily Deposit	252,582.28	9,119,824.63
Tax Settlements	-	12,366,269.25
U/B Receipts	560,577.60	1,580,050.18
Credit Cards (Includes Utility Billing)	1,285,875.92	4,866,201.70
Interest Earnings [Net of Interest Paid on Investments]	193,587.22	2,087,612.30
Bond Proceeds-int	1,485.97	63,124.71
<b>TOTAL CASH INFLOW</b>	<b>\$ 2,294,108.99</b>	<b>\$ 30,083,082.77</b>
<b>TOTAL CASH AVAILABLE</b>	<b>\$ 98,786,696.87</b>	<b>\$ 136,512,413.44</b>
CASH OUTFLOWS:		
Prepaid Checks	1,600,162.40	7,771,012.22
Bills Lists	1,107,360.61	10,849,091.39
Pay Estimates	4,433,765.09	21,593,666.02
Credit Cards	11,639.39	89,131.07
Payroll - Net	813,815.69	4,671,423.52
Flex Reimbursement	-	695.13
Void Checks/Dormant Checks Paid	(10,010.13)	(19,122.83)
Debt Service	-	724,722.60
Miscellaneous [Bank Charges; etc.]	271.50	2,102.00
<b>TOTAL CASH OUTFLOW</b>	<b>\$ 7,957,004.55</b>	<b>\$ 45,682,721.12</b>
<b>POOLED CASH AND TEMPORARY INVESTMENTS</b>		
<b>ENDING BALANCE</b>	<b>\$ 90,829,692.32</b>	<b>\$ 90,829,692.32</b>
<b>MEMO - NET 2024 CASH INFLOW ( OUTFLOW)</b>	<b>(5,662,895.56)</b>	<b>(15,599,638.35)</b>
<b>INVESTMENT PORTFOLIO SUMMARY</b>		
BEGINNING BALANCE - BV	\$ 66,031,347.65	71,631,912.26
Purchases	58,423.28	13,379,186.71
Maturities/Sales	-	(18,921,328.04)
<b>ENDING BALANCE</b>	<b>\$ 66,089,770.93</b>	<b>\$ 66,089,770.93</b>

## 2024 CASH AND INVESTMENT ACTIVITY

CITY INVEST #	STATED MAT DATE	BROKER	SECURITY DESCRIP	FDIC #	CUSIP	PRIN BAL 1/1/2024	PURCH 2024	SOLD/ MATURE 2024	BY
									PRIN BAL 12/31/2024
240501	11/26/2024	4M	4M TERM SERIES				8,000,000.00	0.00	8,000,000.00
240731B	7/31/2025	4M	4M TERM SERIES				4,000,000.00	0.00	4,000,000.00
230804	4/30/2024	4M	4M TERM SERIES			10,000,000.00		10,000,000.00	0.00
									12,000,000.00
161114B	2/1/2024	Northland	ANDOVER MN TAX		034313-ZU-3	300,000.00		300,000.00	0.00
180730	10/1/2024	Northland	HUBBARD COUNTY TAX		443348-DG-9	100,000.00		0.00	100,000.00
201230	5/1/2025	Northland	FREEPORT NY TAX		356731-CA-5	300,000.00		0.00	300,000.00
190227	12/1/2025	Northland	COOK COUNTY SCHOOL DISTRICT		032879-TC-2	500,000.00		0.00	500,000.00
210625	7/15/2026	Northland	EAST LYME CONN TAX		273587-P3-3	200,000.00		0.00	200,000.00
191003A	12/1/2026	Northland	SCOTT BLUFF CTY SCHOOL DIST		810164-CQ-4	385,000.00		0.00	385,000.00
200113	3/1/2027	Northland	RICHLAND SCHOOL DISTRICT		764080-FT-9	165,000.00		0.00	165,000.00
200825A	8/1/2027	Northland	CENTINELA VALLEY CA HS		15239-RP-4	250,000.00		0.00	250,000.00
210401	12/1/2027	Northland	RUSH COUNTY KANSAS TAX		781834-D4-9	180,000.00		0.00	180,000.00
120308C	12/1/2027	Northland	SHOREWOOD WIS TAX		825230-LB-9	225,000.00		0.00	225,000.00
190402	2/1/2028	Northland	CLOQUET MN TAX		189036-PS-9	150,000.00		0.00	150,000.00
191016B	4/1/2028	Northland	COLUMBUS OH TAX		199492E339	285,000.00		0.00	285,000.00
211020A	7/15/2028	Northland	MOUNT HILLS TOWNSHIP SCHOOL		6215S3-E6-7	430,000.00		0.00	430,000.00
200914	8/1/2028	Northland	BURLESON TX IDS ZERO CPN		121403-4E6	500,000.00		0.00	500,000.00
120308D	12/1/2028	Northland	SHOREWOOD WIS TAX		825230-LC-7	465,000.00		0.00	465,000.00
200625	3/1/2029	Northland	LAWRENCE MASS TAX		520228-6Q-5	180,000.00		0.00	180,000.00
200923	7/15/2029	Northland	WILKINSBURGO BORO PA TAX		968529-JV-0	265,000.00		0.00	265,000.00
200825B	8/1/2029	Northland	CENTINELA VALLEY CA HS		15239-RR-0	270,000.00		0.00	270,000.00
210615	8/1/2030	Northland	MN STATE TAX		60412A-VP-5	500,000.00		0.00	500,000.00
									5,350,000.00
210604	7/1/2030	UBS	FLORIDA STATE BOARD TAX		341271AF1	1,000,000.00		0.00	1,000,000.00
221014	1/12/2024	UBS	CD-ISRAEL DISCOU	19977	465076TW7	244,000.00		244,000.00	0.00
190315	3/15/2024	UBS	CD-COMENITY CAPI	57570	20033AS31	245,000.00		245,000.00	0.00
190325	3/25/2024	UBS	CD-BANK HAPOALII	33686	06251AW48	245,000.00		245,000.00	0.00
200325	4/1/2024	UBS	NEW YORK HOUSING		6498833S2	500,000.00		500,000.00	0.00
190118C	5/22/2024	UBS	CD-CAPITAL ONE	4297	14042RLP4	245,000.00		245,000.00	0.00
190118C	5/22/2024	UBS	CD-CAPITAL ONE U	33954	14042TAP2	245,000.00		245,000.00	0.00
161018	7/1/2024	UBS	SELMA ALA TAX		816459QV6	500,000.00		500,000.00	0.00
161026	10/1/2024	UBS	HONOLULU TAX		4386705W7	300,000.00		0.00	300,000.00
151023	10/1/2024	UBS	MADISON TAXABLE		55844RKN3	640,000.00		0.00	640,000.00
161208B	11/1/2024	UBS	MICHIGAN FIN AUTH REV		59447TJX2	250,000.00		0.00	250,000.00
221118	11/18/2024	UBS	CD-SALLIE MAE	58177	795451CK7	243,000.00		0.00	243,000.00
191127	11/27/2024	UBS	CD-STATE BANK IN	33682	85628RS2	245,000.00		0.00	245,000.00
201119D	12/1/2024	UBS	WARREN HEIGHTS OH BUILDING		93612JW3	165,000.00		0.00	165,000.00
191107B	12/1/2024	UBS	CORPUS CHRISTI TEX TRANS		220228BK5	400,000.00		0.00	400,000.00
190418	12/5/2024	UBS	CD-DELTA NATION	26633	2477RBD6	200,000.00		0.00	200,000.00
201218	12/18/2024	UBS	CD-TEXAS EXCHANGE		88241TJQ4	248,000.00		0.00	248,000.00
220419	3/1/2025	UBS	MARYLAND STATE COMM DEV TAX		57419RC78	750,000.00		0.00	750,000.00
161114A	7/1/2025	UBS	LEXINGTON FAYETTE AIRPORT		52909MCA0	300,000.00		0.00	300,000.00
211223	8/1/2025	UBS	HAWAII STATE		41972YQ3	500,000.00		0.00	500,000.00
191101	8/1/2025	UBS	MASSACHUSETTS ST WATER		576051VFO	400,000.00		0.00	400,000.00
201119E	12/1/2025	UBS	WARREN HEIGHTS OH BUILDING		936121JX1	175,000.00		0.00	175,000.00
191122A	12/1/2025	UBS	WARRENSVILLE HEIGHTS OHIO		936121JM5	500,000.00		0.00	500,000.00
191105	3/1/2026	UBS	MARYLAND STATE COMM DEV		57419TDZ1	320,000.00		0.00	320,000.00
220519	3/15/2026	UBS	NEW YORK DEV		6500355P6	105,000.00		0.00	105,000.00
220316	3/16/2026	UBS	CD-GOLDMAN SACHS			245,000.00		0.00	245,000.00
201105	4/1/2026	UBS	PARAMUS NJ SCHOOL		699347LF5	500,000.00		0.00	500,000.00
200113	4/15/2026	UBS	PHILADELPHIA AUTHORITY-ZERO COUP		71781LBU2	300,000.00		0.00	300,000.00
201204	4/15/2026	UBS	LONG BEACH CITY SCHOOL DIS		542535LY3	750,000.00		0.00	750,000.00
210309	6/1/2026	UBS	BEVERLY HILLS CA PUB		088006KA8	300,000.00		0.00	300,000.00
191115A	7/1/2026	UBS	LEXINGTON FAYETEE URBAN COUNTY		52909MDR2	470,000.00		0.00	470,000.00
210630	7/15/2026	UBS	MICHIGAN CITY IND SCHOOL		594381HJ7	500,000.00		0.00	500,000.00
200326B	8/1/2026	UBS	SAN BERNARDINO COMM		79672ONA47	500,000.00		0.00	500,000.00
210514	10/1/2026	UBS	BOSSIER CITY LA UTIL		100216FZ8	500,000.00		0.00	500,000.00
210621	11/1/2026	UBS	REGIONAL TRANSPORTATION		759136VD3	500,000.00		0.00	500,000.00
191219B	11/1/2026	UBS	OPELIKA ALABAMA TAX		683489ZE1	400,000.00		0.00	400,000.00
191016A	12/1/2026	UBS	DENVER CITY & COUNTY HSG		24917NAG6	500,000.00		0.00	500,000.00
210311	1/1/2027	UBS	FORT LAUDERDALE FLA SPL		347622CW0	500,000.00		0.00	500,000.00
210408B	1/15/2027	UBS	APACHE COUNTY ARIZ		03743TAF9	590,000.00		0.00	590,000.00
200925	4/1/2027	UBS	WESTERN WASHINGTON UNIV		959878RJO	500,000.00		0.00	500,000.00
211206	5/1/2027	UBS	PIMA COUNTY AZ		72178JAF0	500,000.00		0.00	500,000.00
210308B	6/1/2027	UBS	RIO RANCHO NEW MEXICO TAX		767169PE6	580,000.00		0.00	580,000.00
191219A	6/1/2027	UBS	UNIVERSITY OF NORTHERN COLORADO		914733DY3	360,000.00		0.00	360,000.00
210302	8/1/2027	UBS	VISTA CA UNI SCHOOL		928346P45	1,050,000.00		0.00	1,050,000.00
210219	9/1/2027	UBS	VIRGINIA COLLEGE BLDG			500,000.00		0.00	500,000.00
210121	10/1/2027	UBS	MIAMI DADE COUNTY TAX		59333NV91	750,000.00		0.00	750,000.00
191022	10/1/2027	UBS	NEW YORK NY TAX		64966QEK2	500,000.00		0.00	500,000.00

2024 CASH AND INVESTMENT ACTIVITY

CITY	INVEST #	STATED MAT DATE	BROKER	SECURITY DESCRIP	FDIC #	CUSIP	PRIN	PURCH	SOLD/	BV	
							BAL	2024	MATURE	PRIN	
							1/1/2024	2024	2024	12/31/2024	
160802		12/1/2027	UBS	TOOLE CITY UT TAX		89033RBU7	400,000.00		0.00	400,000.00	
190725A		12/1/2027	UBS	WRIGHT COUNTY TAXABLE		982276BK2	630,000.00		0.00	630,000.00	
210713		2/1/2028	UBS	TEXAS PUB FIN AUTHORITY		882669BW3	325,000.00		0.00	325,000.00	
210430		6/1/2028	UBS	BEVERLY HILLS CA PUB		088006KC4	500,000.00		0.00	500,000.00	
220207A		7/1/2028	UBS	PHOENIX AZ CIVIC		71883RRS4	165,000.00		0.00	165,000.00	
210617A		7/1/2028	UBS	EL SEGUNDO CA PENSION		284035AG7	1,000,000.00		0.00	1,000,000.00	
210408A		7/1/2028	UBS	PHOENIX AZ CIVIC		71884AH44	500,000.00		0.00	500,000.00	
210930		8/1/2028	UBS	CHARTER OAKS CA		1612855D4	250,000.00		0.00	250,000.00	
210301		8/1/2028	UBS	SAN JOSE CA FING AUTHO		79818186P30	1,000,000.00		0.00	1,000,000.00	
201007		8/1/2028	UBS	SAN BERNARDINO CALIFORN UNIV TAX		796711H44	1,000,000.00		0.00	1,000,000.00	
191108		8/1/2028	UBS	CORONA-NORCO CAL		219764SC2	405,000.00		0.00	405,000.00	
210825B		8/15/2028	UBS	NEW HAMPSHIRE MUNI		64465QHA7	550,000.00		0.00	550,000.00	
210825A		8/25/2028	UBS	CD-CELTIC BANK	57056	15118RWG8	245,000.00		0.00	245,000.00	
210326		9/1/2028	UBS	CHINO CALIF PUB FING		169548FP4	615,000.00		0.00	615,000.00	
200320		9/1/2028	UBS	PENNSYLVANIA UNIV TAX		709235P25	425,000.00		0.00	425,000.00	
191212		10/1/2028	UBS	UNIVERSITY OF ALABAMA TAX		914745GG2	400,000.00		0.00	400,000.00	
210224B		11/1/2028	UBS	WILL COUNTY ILL COMMUNITY		969078QN7	2,500,000.00		0.00	2,500,000.00	
191024		2/1/2029	UBS	PULASKI COUNTY		745401EGO3	400,000.00		0.00	400,000.00	
211231		3/15/2029	UBS	NEW YORK STATE URBAN DEV		650036AX4	500,000.00		0.00	500,000.00	
220207B		4/1/2029	UBS	BAY AREA CA TOLL AUTHORITY		072024XF4	250,000.00		0.00	250,000.00	
210113		5/1/2029	UBS	NYC TRANSITIONAL		64971XSZ2	1,000,000.00		0.00	1,000,000.00	
210617B		6/1/2029	UBS	ORANGE COUNTY TAX		684184TC8	110,000.00		0.00	110,000.00	
210308A		6/1/2029	UBS	RIO RANCHO NEW MEXICO TAX		767169ER2	500,000.00		0.00	500,000.00	
200630A		7/1/2029	UBS	NEW YORK STATE DORM AUTH		64990GS86	430,000.00		0.00	430,000.00	
200611		11/1/2029	UBS	VENTURA COUNTY CA		923078CZ0	400,000.00		0.00	400,000.00	
210114		12/1/2029	UBS	FRANKLIN COUNTY OH		353174JE6	1,000,000.00		0.00	1,000,000.00	
200324		3/1/2030	UBS	NEW YORK CITY TAXABLE		64966QJL5	500,000.00		0.00	500,000.00	
211014		5/1/2030	UBS	ST. JOHN'S PUBLIC SCHOOL		790450HN3	550,000.00		0.00	550,000.00	
200921		7/1/2030	UBS	FLORIDA STATE REV BOND		341271AF1	500,000.00		0.00	500,000.00	
210910		9/1/2030	UBS	BROWNSVILLE TX UTIL		1164753D4	1,000,000.00		0.00	1,000,000.00	
101013		12/1/2030	UBS	HIDALGO COUNTY TEX TAX		429343BT3	500,000.00		0.00	500,000.00	
201102		12/1/2030	UBS	XENIA OH COMM SCHOOL		984071CC2	720,000.00		0.00	720,000.00	
210107		6/1/2031	UBS	SAN JOSE CA FING AUTHO		798153NL2	1,000,000.00		0.00	1,000,000.00	
210111		6/1/2031	UBS	SAN JOSE CA FING AUTHO		798153NL2	320,000.00		0.00	320,000.00	
211020B		8/15/2031	UBS	ALABAMBA FEDERAL AID HWY		010268CT5	500,000.00		0.00	500,000.00	
200417		9/1/2031	UBS	CITY OF NORFOLK VA TAX		655867G94	220,000.00		0.00	220,000.00	
211115		10/1/2031	UBS	INFRASTRUCTURE BANK		76223MAL6	580,000.00		0.00	580,000.00	
230131		9/30/2024	UBS	CD-PLANTERS BAN1	34254	72741PGZ4	244,000.00		0.00	244,000.00	
230303			UBS	UBS PRIME FUND			51,724.41		51,724.41	0.00	
230317		3/17/2025	UBS	CD-MANUFACTURE	588	5647595C3	243,000.00		0.00	243,000.00	
230322		3/24/2025	UBS	CD-PINNACLE BAN1	35583	72345SLG4	248,000.00		0.00	248,000.00	
211209		9/15/2032	UBS	CAPE MAY COUNTY NJ TAX		139501SB7	470,000.00		0.00	470,000.00	
201221		10/1/2026	UBS	LANCASTER OH SCHOOL DIST		514264FGO	1,675,000.00		0.00	1,675,000.00	
230731			UBS	UBS PRIME FUND			554,843.90		554,843.90	0.00	
231204			UBS	UBS PRIME FUND			249,389.65		0.00	249,389.65	
230831A			UBS	UBS PRIME FUND			2,769,474.27		2,769,474.27	0.00	
20831B			UBS	UBS PRIME FUND			6,001,637.81		1,761,399.47	4,240,238.34	
230630			UBS	UBS PRIME FUND			859,359.98		859,359.98	0.00	
23093023			UBS	UBS PRIME FUND			64,956.23		0.00	64,956.23	
230430			UBS	UBS PRIME FUND			170,879.16		170,879.16	0.00	
230531			UBS	UBS PRIME FUND			229,646.85		229,646.85	0.00	
240630			UBS	UBS TREASURY FUND (FORMERLY PRIME)				102,943.99	0.00	102,943.99	
240731A			UBS	UBS TREASURY FUND (FORMERLY PRIME)				554,746.42	0.00	554,746.42	
240228			UBS	UBS PRIME FUND				361,798.28	0.00	361,798.28	
240831A			UBS	UBS TREASURY FUND (FORMERLY PRIME)				58,423.28	0.00	58,423.28	
240131			UBS	UBS PRIME FUND				301,274.74	0.00	301,274.74	
										48,739,770.93	
TOTAL INVESTMENTS							71,631,912.26	13,379,186.71	18,921,328.04		66,089,770.93
Unamortized Premiums							1,759,475.03				1,759,475.03
Unamortized Discounts							(4,343,552.11)				(4,343,552.11)
BMO							8,036,228.16	42,010,442.61	46,559,203.60		3,487,467.17
Bond Proceeds							12,162,050.46	63,124.71	4,607,135.07		7,618,040.10
Money Market Accounts							17,183,216.87	11,035,274.33	12,000,000.00		16,218,491.20
Net Cash and Investments							106,429,330.67	66,488,028.36	82,087,666.71		90,829,692.32

**CC Regular Session New**

**Meeting Date:** 09/24/2024

**Primary Strategic Plan Initiative:** Create a positive image for residential neighborhoods, business districts and key corridors.

**Title**

Approve Business License Applications.

**Purpose/Background:**

The purpose of this case is to obtain City Council approval of business license applications (not including Rental or BRC).

Background: Certain businesses or groups in the City of Ramsey are required to apply for a business license in addition to the Business Registration Certificate (BRC). Other businesses that may require a license, but are not required to have a BRC, may also be included in this approval. Those new license requests and/or renewals are attached for City Council approval.

**Notification:**

All current business license holders are posted on [www.cityoframsey.com](http://www.cityoframsey.com) once approved.

**Funding Source:**

License fees are collected at time of application.

**Recommendation:**

Staff recommends approval of business license applications.

**OutcomeAction:**

Motion to approve the attached business license applications.

**Attachments**

Business License Applications

**Form Review**

<b>Inbox</b>	<b>Reviewed By</b>	<b>Date</b>
Sean Sullivan	Sean Sullivan	09/18/2024 12:41 PM
Brian Hagen	Brian Hagen	09/19/2024 12:50 PM
Form Started By: Wendy Schlueter		Started On: 09/18/2024 12:09 PM
Final Approval Date: 09/19/2024		

Report Name: License Report - License Types

Council Dates: 9/24/2024 to 9/24/2024

Status: Active, Inactive

License Type(s): 3.2 Beer Off-Sale, 3.2 Beer On-Sale

Temporary, Amusement Center, Amusement

Devices/Billiard Tables, Broker/Precious Metals Dealer,

Business License-1st Year, Business License-Renewal,

Garbage Haulers, Gasoline Sales, Hemp, Low-Potency

Edible Retailer Registration, Liquor 2 A.M. Closing,

Liquor Off-Sale, Liquor On-Sale, Liquor On-Sale Sunday,

Mobile Food Unit-90 Days, Mobile Food Unit-Annual,

Motor Vehicle Sales/Repair/Rentals, Multi-Family Rental,

Pawnbroker, Rental, Rental - Conversion, Rental -

Multi-Family, Rental - Short Term, Second Hand Goods

Dealer, Special Events, Temporary

Amusement/Carnival/Circus, Temporary Intoxicating,

Therapeutic Massage Establishment, Therapeutic Massage

Therapist, Tobacco, Transient Merchant/Peddler/Solicitor,

Wine Off-Sale, Wine On-Sale

# City of Ramsey License Report - License Types

Printed: 9/18/2024

Page: 1

<u>Company</u>	<u>DBA</u>	<u>Complex Name</u>	<u>Applicant</u>	<u>Location</u>	<u>Exp. Date</u>	<u>Council Date</u>	<u>Status</u>
<b>Special Events</b>							
Adrenaline Sports Center	Adrenaline Sports Center	ASC - MN State Cornhole Tournament	Adrenaline Sports Center - Jason Jacob	8310 147th La NW	10/13/2024	9/24/2024	A
Adrenaline Sports Center	Adrenaline Sports Center	ASC - North Metro Ice Show	Adrenaline Sports Center - Jason Jacob	8310 147th La NW	10/28/2024	9/24/2024	A
Adrenaline Sports Center	Adrenaline Sports Center	ASC - War of the North Tournament	Adrenaline Sports Center - Jason Jacob	8310 147th La NW	10/6/2024	9/24/2024	A

**Special Events License Count: 3**

## **Transient Merchant/Peddler/Solicitor**

Everlight Solar			Thomas C Knoke		12/31/2024	9/24/2024	A
Custom Remodelers Inc			Dylan A Syverson		12/31/2024	9/24/2024	A
Custom Remodelers Inc			Michael T Pierce		12/31/2024	9/24/2024	A
Custom Remodelers Inc			Nickolas Ronald Current		12/31/2024	9/24/2024	A
Custom Remodelers Inc			Mason S Rainer		12/31/2024	9/24/2024	A
Custom Remodelers Inc			Marwan M Sakr		12/31/2024	9/24/2024	A
Custom Remodelers Inc			Jolette Torres Bravo		12/31/2024	9/24/2024	A
Custom Remodelers Inc			Evan M Yang		12/31/2024	9/24/2024	A
Custom Remodelers Inc			Jesse F Cardenas		12/31/2024	9/24/2024	A
Custom Remodelers Inc			Eric D Le		12/31/2024	9/24/2024	A
Curbside Waste Inc			Max H Garrett		12/31/2024	9/24/2024	A

Report Name: License Report - License Types

Council Dates: 9/24/2024 to 9/24/2024

Status: Active, Inactive

License Type(s): 3.2 Beer Off-Sale, 3.2 Beer On-Sale

Temporary, Amusement Center, Amusement

Devices/Billiard Tables, Broker/Precious Metals Dealer,

Business License-1st Year, Business License-Renewal,

Garbage Haulers, Gasoline Sales, Hemp, Low-Potency

Edible Retailer Registration, Liquor 2 A.M. Closing,

Liquor Off-Sale, Liquor On-Sale, Liquor On-Sale Sunday,

Mobile Food Unit-90 Days, Mobile Food Unit-Annual,

Motor Vehicle Sales/Repair/Rentals, Multi-Family Rental,

Pawnbroker, Rental, Rental - Conversion, Rental -

Multi-Family, Rental - Short Term, Second Hand Goods

Dealer, Special Events, Temporary

Amusement/Carnival/Circus, Temporary Intoxicating,

Therapeutic Massage Establishment, Therapeutic Massage

Therapist, Tobacco, Transient Merchant/Peddler/Solicitor,

Wine Off-Sale, Wine On-Sale

# City of Ramsey License Report - License Types

Printed: 9/18/2024

Page: 2

<u>Company</u>	<u>DBA</u>	<u>Complex Name</u>	<u>Applicant</u>	<u>Location</u>	<u>Exp. Date</u>	<u>Council Date</u>	<u>Status</u>
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**Transient Merchant/Peddler/Solicitor License Count: 11**

**Total Licenses: 14**

**CC Regular Session New****Meeting Date:** 09/24/2024**Primary Strategic Plan Initiative:** Strive for high organizational morale and employee retention**Title**

Authorization to Promote the Assistant Building Official to Building Official

**Purpose/Background:**

The purpose of this case is to seek City Council authorization to promote the current Assistant Building Official to Building Official.

Earlier this evening during the work session, staff provided an overview of Building Division operations, including details regarding a revised approach to the timeline for the Assistant Building Official / Building Official role, utilizing Rum River Consultants (RRC) and other operational options.

The current staffing levels within the division include: a contracted Building Official, one full-time Assistant Building Official, one full-time Building Inspector (soon to be vacant), a vacant (soon-to-be filled) full-time Permit Technician II, a 20 hour per week Permit Technician I and a 28 hour per week Administrative Assistant. Upon approval of this promotion, the Assistant Building Official role will be eliminated.

Since May, the contracted Building Official has worked closely with Mr. Thomas Knight, currently the Assistant Building Official, for him to assume the full role of Delegated Building Official with the City. The original plan was to continue with this model until approximately July 2025. However, due to circumstances discussed earlier this evening, the plan to promote Mr. Thomas Knight has been expedited to October 5, 2024.

**Funding Source:**

Building Division Budget

**Recommendation:**

To promote Mr. Thomas Knight to Building Official, at step 2 of the 2024 pay scale, which is \$47.307 per hour, effective October 5, 2024.

**OutcomeAction:**

Motion to authorize promoting Mr. Thomas Knight to Building Official, at step 2 of the 2024 pay scale, which is \$47.307 per hour, effective October 5, 2024.

**Attachments***No file(s) attached.***Form Review**

<b>Inbox</b>	<b>Reviewed By</b>	<b>Date</b>
Brian Hagen	Brian Hagen	09/19/2024 12:24 PM
Form Started By: Colleen Lasher		Started On: 09/10/2024 02:17 PM
Final Approval Date: 09/19/2024		

**CC Regular Session New**

**Meeting Date:** 09/24/2024

**Primary Strategic Plan Initiative:** Strive for high organizational morale and employee retention

**Title**

Authorization to Hire a Permit Technician II

**Purpose/Background:**

The purpose of this case is to request authorization to hire a full-time Permit Technician II to work in the Building Division of the Community Development Department.

This position provides work direction to the Permit Technician I while also performing the daily duties of the Permit Technician II; reviews and processes permit applications for new and existing residential and commercial construction; issues permits for all phases of construction projects and researches and updates permit records and files. This position performs skilled clerical work, calculates and collects fees and prepares reports, as well as provides back-up customer service to the Planning and Economic Development divisions.

This vacancy was created due to a recent resignation. Staff discussed filling this position with the City Council at the August 12, 2024 work session. There was a consensus of the City Council to fill this position at 40 hours per week. In order to fill the current vacancy, an internal and external recruitment process was conducted. Staff conducted the necessary pre-employment background checks and recommends Ms. Sherri Wills for the position.

With the City Council's authorization, Ms. Sherri Wills will begin as the City's new full-time Permit Technician II on or near October 14, 2024. As with all City employees recognized by the American Federation of State, County and Municipal Employees (AFSCME) bargaining unit, Ms. Wills will serve a six-month probationary period and will be subject to the City's Personnel Policy and the AFSCME Labor Agreement.

**Funding Source:**

The funding for this position will come from the amount budgeted for the former Permit Technician II.

**Recommendation:**

Staff recommends hiring Ms. Sherri Wills as a Permit Technician II, effective on or near October 14, 2024 at \$33.184 per hour, which is step 5 of the 2024 wage scale with a credit of 5 vacation days.

**OutcomeAction:**

Motion to authorize hiring Ms. Sherri Wills as a Permit Technician II, effective on or near October 14, 2024 at \$33.184 per hour, which is step 5 of the 2024 wage scale with a credit of 5 vacation days.

**Attachments**

*No file(s) attached.*

**Form Review**

<b>Inbox</b>	<b>Reviewed By</b>	<b>Date</b>
Brian Hagen	Brian Hagen	09/19/2024 12:36 PM
Form Started By: Colleen Lasher		Started On: 09/16/2024 11:26 AM

Final Approval Date: 09/19/2024

**CC Regular Session New**

**Meeting Date:** 09/24/2024

**Primary Strategic Plan Initiative:** Not Applicable

**Title:**

Authorization to Hire a Temporary Building Inspector

**Purpose/Background:**

The purpose of this case is to seek City Council authorization to hire a temporary Building Inspector.

The reason for this request is due to the recent resignation of Building Inspector/Plans Examiner, Ms. Trisha Lindahl. Ms. Lindahl accepted an Assistant Building Official position with another city. With her resignation, the City of Ramsey will not have an in-house Building Inspector/Plans Examiner until at least December, after back-filling her position.

In an attempt to keep up with plan review during this transition period, Ms. Lindahl offered to stay on as a temporary employee, working 14 or fewer hours per week, as needed, through December 31, 2024. Employees who work 14 or fewer hours per week are not subject to the Public Employees Retirement Association (PERA), do not receive City benefits (other than Earned Sick and Safe Time) and are not members of the union.

If approved, Ms. Trisha Lindahl will continue to receive her normal hourly wage of \$40.38 per hour to perform plan review using a City laptop, at the direction of the Building Official.

**Funding Source:**

The funding required for this action would come from the amount budgeted for her soon-to-be vacant Building Inspector/Plans Examiner position.

**Recommendation:**

To hire Ms. Trisha Lindahl, effective on or near October 5, 2024, to work 14 or fewer hours per week, as needed, through December 31, 2024, at \$40.38 per hour.

**Outcome/Action:**

Motion to authorize hiring Ms. Trisha Lindahl, effective on or near October 5, 2024, to work 14 or fewer hours per week, as needed, through December 31, 2024, at \$40.38 per hour.

**Attachments**

*No file(s) attached.*

**Form Review**

**Inbox**

Brian Hagen

Form Started By: Colleen Lasher

Final Approval Date: 09/19/2024

**Reviewed By**

Brian Hagen

**Date**

09/19/2024 12:49 PM

Started On: 09/18/2024 09:47 AM

**CC Regular Session New**

**Meeting Date:** 09/24/2024

**Primary Strategic Plan Initiative:**

**Title:**

Adopt Resolution #24-283 Approving Cash Disbursements Made and Authorizing Payment of Accounts Payable Invoicing Received During the Period of September 5, 2024 through September 18, 2024.

**Purpose/Background:**

Adopt Resolution #24-283 Approving Cash Disbursements Made and Authorizing Payment of Accounts Payable Invoicing Received During the Period of September 5, 2024 through September 18, 2024.

**Recommendation:**

Staff Recommends to Adopt Resolution #24-283 Approving Cash Disbursements Made and Authorizing Payment of Accounts Payable Invoicing Received During the Period of September 5, 2024 through September 18, 2024.

**Outcome/Action:**

Motion to Adopt Resolution #24-283 Approving Cash Disbursements Made and Authorizing Payment of Accounts Payable Invoicing Received During the Period of September 5, 2024 through September 18, 2024.

**Attachments**

Bills List 9/24/2024  
Resolution 24-283

**Form Review**

<b>Inbox</b>	<b>Reviewed By</b>	<b>Date</b>
Diana Lund	Diana Lund	09/19/2024 06:58 AM
Brian Hagen	Brian Hagen	09/19/2024 12:51 PM
Form Started By: Jennifer Morrison		Started On: 09/18/2024 02:28 PM
Final Approval Date: 09/19/2024		

<b>RAMSEY CITY COUNCIL MEETING</b>
<b>9.24.24</b>
<b>BILLS LIST</b>

**DISBURSEMENTS TO BE APPROVED THIS MEETING:**

DISBURSEMENT TYPE:	<b>SUBMITTED FOR APPROVAL</b>
Prepays 9.5.24 - 9.18.24	\$ 492,366.98
Accounts Payable 9.5.24 - 9.18.24	527,117.46
Payroll 9.13.24	251,464.16
Debt Service	
Pay Estimates- Projects	4,882,395.86

<b>TOTAL SUBMITTED FOR APPROVAL THIS MEETING</b> (Invoices Available for Reviewal)	<b>\$ 6,153,344.46</b>
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**DISBURSEMENTS PREVIOUSLY APPROVED AND PAID:**

	<b>APPROVED PREVIOUS MTG</b>	<b>2024 Y.T.D.</b>
PREPAIDS	\$ 331,491.97	\$ 7,837,593.18
PREPAID ADJUSTMENTS		
ACCOUNTS PAYABLE INVOICING	187,556.75	11,040,635.64
ACCT PAYABLE INVOICING ADJUSTMENTS		
NET PAYROLL TOTAL	268,964.23	4,671,423.59
CORRECTION TO PAYROLL		
DEBT SERVICE		721,635.10
CORRECTION TO DEBT SERVICE		
PAY ESTIMATE(S) - PROJECTS		21,593,666.02

<b>TOTAL CASH DISBURSEMENTS PREVIOUSLY APPROVED</b>	<b>\$ 788,012.95</b>	<b>\$ 45,864,953.53</b>
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CITY OF RAMSEY  
 Council Check Register by GL  
 Council Check Register and Summary

9/5/2024 -- 9/18/2024

Check #	Date	Amount	Supplier / Explanation	PO #	Doc No	Inv No	Account No	Subledger	Account Description	Business Unit
119376	9/5/2024		<b>115444 ACUITY CAPITAL GROUP</b>							
		18.86	ACCT 734055 14180 XENON ST #2		126996	734055	9601.4651		WATER REVENUE	WATER FUND
		18.86								
119377	9/5/2024		<b>115203 ALL AMERICAN TITLE CO INC</b>							
		97.13	ACCT 385830602 15407 GERANIUM		126997	385830602	9601.4651		WATER REVENUE	WATER FUND
		97.13								
119378	9/5/2024		<b>119065 ANOKA COUNTY (PAPER CHECK)</b>							
		167.68	STATE DEED TAX AND CONSERV FEE		127138	090320244	9214.6315		MISCELLANEOUS PROFESSIONAL SERTAX INCREMENT DISTRICT#14	
		167.68								
119379	9/5/2024		<b>119065 ANOKA COUNTY (PAPER CHECK)</b>							
		1,597.74	2ND HALF TAXES - STORIES		127139	090320242	9214.6315		MISCELLANEOUS PROFESSIONAL SERTAX INCREMENT DISTRICT#14	
		1,597.74								
119380	9/5/2024		<b>119065 ANOKA COUNTY (PAPER CHECK)</b>							
		138.00	RECORDING FEE - OL D - STORIES		127140	090320243	9214.6315		MISCELLANEOUS PROFESSIONAL SERTAX INCREMENT DISTRICT#14	
		138.00								
119381	9/5/2024		<b>115243 ARDEN TITLE LLC</b>							
		86.05	ACCT 731701 15445 SODIUM ST		126998	731701	9601.4651		WATER REVENUE	WATER FUND
		86.05								
119382	9/5/2024		<b>115243 ARDEN TITLE LLC</b>							
		131.95	ACCT 735621 14110 DYSPROSIUM		126999	735621	9601.4651		WATER REVENUE	WATER FUND
		131.95								
119383	9/5/2024		<b>117863 COMMUNITY TITLE AND ESCROW LLC</b>							
		17.35	ACCT 722043 16370 ZIRCONIUM ST		127001	722043	9601.4651		WATER REVENUE	WATER FUND
		17.35								
119384	9/5/2024		<b>100116 CONNEXUS ENERGY</b>							
		89.25	SIREN UTILITIES		127122	759126-303095	0250.6371		ELECTRIC UTILITIES	CIVIL DEFENSE
						AUG 2024				
		19,474.83	ELECTRICITY WATER		127123	759126-303102	9601.6371		ELECTRIC UTILITIES	WATER FUND
						AUG 2024				
		1,341.91	ELECTRICITY SEWER		127123	759126-303102	9602.6371		ELECTRIC UTILITIES	SEWER FUND
						AUG 2024				
		357.94	ELECTRICITY STORM		127123	759126-303102	9605.6371		ELECTRIC UTILITIES	STORM WATER UTILITY
						AUG 2024				





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Check #	Date	Amount	Supplier / Explanation	PO #	Doc No	Inv No	Account No	Subledger	Account Description	Business Unit
119397	9/5/2024		<b>121185 KAMUGISHA, ANCILLA MACKEY</b>						<b>Continued...</b>	
		122.07	ACCT 731977 7366 146TH AVE NW		127007	731977	9601.4651		WATER REVENUE	WATER FUND
		122.07								
119398	9/5/2024		<b>113464 LAND TITLE</b>							
		339.77	ACCT 460793901 14047 AZURITE		127008	460793901	9601.4651		WATER REVENUE	WATER FUND
		339.77								
119399	9/5/2024		<b>117218 LEGACY TITLE</b>							
		63.05	ACCT 726848 15225 COBALT ST		127010	726848	9601.4651		WATER REVENUE	WATER FUND
		63.05								
119400	9/5/2024		<b>118184 LEGACY TITLE</b>							
		9.84	ACCT731224 5676 162ND CROSSING		127009	731224	9601.4651		WATER REVENUE	WATER FUND
		9.84								
119401	9/5/2024		<b>121186 MOELLER, JEFFREY</b>							
		222.60	ACCT 729127 6845 170TH TRAIL		127011	729127	9601.4651		WATER REVENUE	WATER FUND
		222.60								
119402	9/5/2024		<b>118975 MONUMENT TITLE LLC</b>							
		97.48	ACCT 732427 14075 ARGON ST NW		127012	732427	9601.4651		WATER REVENUE	WATER FUND
		97.48								
119403	9/5/2024		<b>100351 NCPERS GROUP LIFE INS</b>							
		352.00	SEPT 2024 LIFE INS PREMIUMS		127131	704800092024	9101.2170		DENTAL/DISABILITY/LIFE	GENERAL FUND
		352.00								
119404	9/5/2024		<b>117153 OS NATIONAL LLC</b>							
		160.07	ACCT 732754 14720 NEON ST NW		127013	732754	9601.4651		WATER REVENUE	WATER FUND
		160.07								
119405	9/5/2024		<b>114259 PAGE, TRACI</b>							
		205.25	ACCT 735851 14180 XENON ST #14		127014	735851	9601.4651		WATER REVENUE	WATER FUND
		205.25								
119406	9/5/2024		<b>116066 PARTNERS TITLE</b>							
		103.12	ACCT 728535 15996 URANIMITE ST		127015	728535	9601.4651		WATER REVENUE	WATER FUND
		103.12								
119407	9/5/2024		<b>100678 PETTY CASH</b>							

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Check #	Date	Amount	Supplier / Explanation	PO #	Doc No	Inv No	Account No	Subledger	Account Description	Business Unit
119407	9/5/2024		<b>100678 PETTY CASH</b>						<b>Continued...</b>	
		780.00	CASH FOR HAPPY DAYS		127119	HD 09052024	0296.6249		MISCELLANEOUS OPERATING SUPPLY	HAPPY DAYS
		780.00								
119408	9/5/2024		<b>121187 POLSTON, KRISTEN AND ROGER</b>							
		122.28	ACCT 666014990 15470 YAKIMA CT		127016	666014990	9601.4651		WATER REVENUE	WATER FUND
		122.28								
119409	9/5/2024		<b>100391 POSTMASTER</b>							
		2,573.97	POSTAGE FOR FALL REC. EVENT		127142	09032024	9604.6249		MISCELLANEOUS OPERATING SUPPLY	RECYCLING FUND
		2,573.97								
119410	9/5/2024		<b>121188 POWERS, JUDY</b>							
		213.44	ACCT 654945066 5473 BUNKER LAK		127017	654945066	9601.4651		WATER REVENUE	WATER FUND
		213.44								
119411	9/5/2024		<b>121189 PROSPER, KOTCHI AND MICHELLE</b>							
		309.45	ACCT 712516551 15540 IODINE ST		127018	712516551	9601.4651		WATER REVENUE	WATER FUND
		309.45								
119412	9/5/2024		<b>121190 QUIRAM, ASHLEY</b>							
		10.46	ACCT732932 14661 COBALT ST #35		127019	732932	9601.4651		WATER REVENUE	WATER FUND
		10.46								
119413	9/5/2024		<b>118008 REALTECH TITLE LLC</b>							
		235.63	ACCT 730793 7662 147TH LANE NW		127020	730793	9601.4651		WATER REVENUE	WATER FUND
		235.63								
119414	9/5/2024		<b>100422 REGISTERED ABSTRACTERS INC</b>							
		75.00	O & E REPORT - TITLE - STORIES		127137	090320241	9214.6315		MISCELLANEOUS PROFESSIONAL SERTAX	INCREMENT DISTRICT#14
		75.00								
119415	9/5/2024		<b>121182 ROERING, LONNIE AND JANE BLAIS-ROERING</b>							
		86.61	ACCT 390669377 7001 137TH AVE		127000	390669377	9601.4651		WATER REVENUE	WATER FUND
		86.61								
119416	9/5/2024		<b>121194 SEIBERT, JENNIFER</b>							
		33.00	STOP PAYMT REIMB/LOST UB CHK		127120	721914	9601.6249		MISCELLANEOUS OPERATING SUPPLY	WATER FUND
		33.00								
119417	9/5/2024		<b>114865 STEWART TITLE CO</b>							

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Check #	Date	Amount	Supplier / Explanation	PO #	Doc No	Inv No	Account No	Subledger	Account Description	Business Unit
119417	9/5/2024		<b>114865 STEWART TITLE CO</b>						<b>Continued...</b>	
		123.82	ACCT 733340 15433 RADIUM ST NW		127021	733340	9601.4651		WATER REVENUE	WATER FUND
		123.82								
119418	9/5/2024		<b>121177 STORIES FOUNDATION</b>							
		494.95-	PROP TAXES PR OL B - STORIES F		127141	09032024	9214.6315		MISCELLANEOUS PROFESSIONAL SERTAX INCREMENT DISTRICT#14	
		49,295.75	REIMBURSE OL B - STORIES F		127141	09032024	9295.1420		LAND HELD FOR RESALE	HOUSING REDEVELOPMENT AUTHC
		552.67-	ESCROW OL B - STORIES F		127141	09032024	9804.6315	00120395	MISCELLANEOUS PROFESSIONAL SERESCROW ACCOUNTS	
		48,248.13								
119419	9/5/2024		<b>121191 SWANSON, JACOB AND JESSICA</b>							
		42.56	ACCT 728004 7112 148TH LANE NW		127022	728004	9601.4651		WATER REVENUE	WATER FUND
		42.56								
119420	9/5/2024		<b>121192 SYVERSON, HOWARD AND KATHLEEN</b>							
		109.13	ACCT 734390 8864 151ST LANE NW		127023	734390	9601.4651		WATER REVENUE	WATER FUND
		109.13								
119421	9/5/2024		<b>113038 THE TITLE GROUP</b>							
		111.13	ACCT 728336 15424 SODIUM ST NW		127024	728336	9601.4651		WATER REVENUE	WATER FUND
		111.13								
119422	9/5/2024		<b>113038 THE TITLE GROUP</b>							
		122.80	ACCT 731647 14831 KAMACITE ST		127025	731647	9601.4651		WATER REVENUE	WATER FUND
		122.80								
119423	9/5/2024		<b>115456 TITLESMAST</b>							
		240.61	ACCT 623649272 15270 URANIUM		127026	623649272	9601.4651		WATER REVENUE	WATER FUND
		240.61								
119424	9/5/2024		<b>120711 TOP TIER HEATING &amp; AIR CONDITIONING</b>							
		35.00	PERMIT RA059119 CANCEL		127143	8292024	9101.4208		MECHANICAL PERMIT	GENERAL FUND
		1.00	PERMIT RA059119 CANCEL		127143	8292024	9101.2081		SURCHARGES-PERMITS	GENERAL FUND
		36.00								
119425	9/5/2024		<b>121193 WEBB, MONA</b>							
		24.93	ACCT 733405 14623 OLIVINE WAY		127027	733405	9601.4651		WATER REVENUE	WATER FUND
		24.93								
119460	9/12/2024		<b>100012 ACE SOLID WASTE INC</b>							
		39,159.22	SEPT RECYCLING		127280	10921364T067	9604.6489		OTHER CONTRACTED SERVICES	RECYCLING FUND



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Check #	Date	Amount	Supplier / Explanation	PO #	Doc No	Inv No	Account No	Subledger	Account Description	Business Unit
119465	9/12/2024		121196 JENSEN, DONALD						Continued...	
119466	9/12/2024		121127 MASTERS TELECOM LLC							
		65.54	RAMP ELEVATOR LINES		127281	43711	0192.6321		TELEPHONE	DATA PROCESSING
		65.54								
119467	9/12/2024		120695 MURRAY, KAREN							
		.75	OVERPAYMENT FOR PD REPORT		127275	09122024	9101.4328		ACCIDENT REPORTS	GENERAL FUND
		.75								
119468	9/12/2024		111525 OFFICE OF THE SECRETARY OF STATE							
		120.00	NOTARY FEE TORI BRUNEAU		127276	NOTARY FEE	0211.6451		MEMBERSHIP DUES	POLICE PROTECTION
		120.00								
119469	9/12/2024		121195 WOODFILL, KATHRYN							
		30.00	STOP PAY FEE UB ACCT 66365647		127277	66365647	9601.6249		MISCELLANEOUS OPERATING SUPPLYWATER FUND	
		30.00								
119470	9/12/2024		121221 YOUNG, DONALD AND NANCY							
		437.30	UB CR BAL REF ACCT 57364754		127278	57364754	9601.4651		WATER REVENUE	WATER FUND
		437.30								
1006923	9/6/2024		116114 AVESIS THIRD PARTY ADMINISTRATORS							
		299.69	SEPT 2024 VISION PREMIUMS		127132	3126082	9101.2170		DENTAL/DISABILITY/LIFE	GENERAL FUND
		299.69								
1006924	9/6/2024		114432 HESSE, BRADLEY							
		435.50	MADDENS ON GULL LAKE 10/9-10		127118	08272024	0211.6331		TRAVEL & LODGING	POLICE PROTECTION
		435.50								
1006925	9/6/2024		111137 WRIGHT HENNEPIN COOPERATIVE ELECTRIC							
		57.95	FIRE ALARM MONITORING		127128	150-1681-6340	0194.6489		OTHER CONTRACTED SERVICES	GENERAL GOVERNMENT BUILDING
						SEPT 2024				
		52.95	PW FIRE PANEL MONT/TEST		127129	150-1681-4280	0311.6489		OTHER CONTRACTED SERVICES	STREET MAINTENANCE
						SEPT 2024				
		52.95	FS#2 FIRE PANEL MONIT		127129	150-1681-4280	0220.6489		OTHER CONTRACTED SERVICES	FIRE PROTECTION
						SEPT 2024				
		37.45	7550 SUNWOOD MONITORING		127129	150-1681-4280	0194.6489		OTHER CONTRACTED SERVICES	GENERAL GOVERNMENT BUILDING
						SEPT 2024				
		36.90	PW MONITORING		127129	150-1681-4280	0311.6489		OTHER CONTRACTED SERVICES	STREET MAINTENANCE
						SEPT 2024				

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Check #	Date	Amount	Supplier / Explanation	PO #	Doc No	Inv No	Account No	Subledger	Account Description	Business Unit
1006925	9/6/2024		<b>111137 WRIGHT HENNEPIN COOPERATIVE ELECTRIC</b>						<b>Continued...</b>	
		48.95	RAMP FIRE PANEL TEST/MONIT		127129	150-1681-4280	9240.6315		MISCELLANEOUS PROFESSIONAL SERPARKING RAMP MAINTENANCE	
						SEPT 2024				
		27.95	YOUTH FIRST FIRE PANEL MONIT		127129	150-1681-4280	9410.6315	00041012	MISCELLANEOUS PROFESSIONAL SERRALF FUNDED PROJECTS	
						SEPT 2024				
		<u>315.10</u>								
1006959	9/13/2024		<b>100647 BOLTON AND MENK INC</b>							
		5,864.50	CONSTRUCTION INSPECTIONS		127279	0342963	9435.6530	00202402	IMPROVEMENTS OTHER THAN BLDG	PAVEMENT MANAGEMENT PROGRA
		<u>5,864.50</u>								
1006960	9/13/2024		<b>116845 CADY BUSINESS TECHNOLOGIES INC</b>							
		584.13	PHONE SERVICE		127282	101487	0192.6321		TELEPHONE	DATA PROCESSING
		39.00	PUBLIC REMOTE MEETINGS		127283	101488	0192.6405		OFFICE & DATA PROCESSING EQUIP	DATA PROCESSING
		<u>623.13</u>								
1006961	9/13/2024		<b>120970 EHLERS, BRYCE</b>							
		11.64	ARBYS 9.5.24 LUNCH EVOC TRAIN		127273	09052024	0211.6331		TRAVEL & LODGING	POLICE PROTECTION
		<u>11.64</u>								
1006962	9/13/2024		<b>119638 O'REILLY AUTO PARTS</b>							
		.49-	EARLY PAY DISCOUNT		127284	6193-175499	0311.6257		OTHER VEHICLE PARTS	STREET MAINTENANCE
		24.72	TRACKLESS #655		127284	6193-175499	0311.6257		OTHER VEHICLE PARTS	STREET MAINTENANCE
		.12-	EARLY PAY DISCOUNT		127286	6193-174821	0311.6257		OTHER VEHICLE PARTS	STREET MAINTENANCE
		5.99	TRACKLESS #655		127286	6193-174821	0311.6257		OTHER VEHICLE PARTS	STREET MAINTENANCE
		4.19-	EARLY PAY DISCOUNT		127287	6193-174812	0311.6257		OTHER VEHICLE PARTS	STREET MAINTENANCE
		209.25	POLICE #351		127287	6193-174812	0311.6257		OTHER VEHICLE PARTS	STREET MAINTENANCE
		.10	EP DISCOUNT TAKEN ON ORIG INV		127288	6193-174670	0311.6257		OTHER VEHICLE PARTS	STREET MAINTENANCE
		5.00-	CORE RETURN		127288	6193-174670	0311.6257		OTHER VEHICLE PARTS	STREET MAINTENANCE
		.45-	EARLY PAY DISCOUNT		127289	6193-175572	0311.6257		OTHER VEHICLE PARTS	STREET MAINTENANCE
		22.50	SWEEPER #691		127289	6193-175572	0311.6257		OTHER VEHICLE PARTS	STREET MAINTENANCE
		.73-	EARLY PAY DISCOUNT		127290	6193-175590	0311.6229		SHOP MATERIALS	STREET MAINTENANCE
		36.47	ELECTRICAL SUPPLIES		127290	6193-175590	0311.6229		SHOP MATERIALS	STREET MAINTENANCE
		<u>288.05</u>								
97091324	9/13/2024		<b>108768 COMDATA NETWORK INC</b>							
		13.90-	OFFICEDEPOT- SALES TAX REFUND		127359	AUG 2024 PROULX	0452.6489		OTHER CONTRACTED SERVICES	PARK & RECREATION
		33.86	FACEBOOK - PROGRAM ADS		127359	AUG 2024 PROULX	0452.6489		OTHER CONTRACTED SERVICES	PARK & RECREATION
		26.16	COBORNS - CONCERT REFRESHMENTS		127359	AUG 2024 PROULX	0452.6489		OTHER CONTRACTED SERVICES	PARK & RECREATION
		115.75	FACEBOOK - H.D. ADS		127359	AUG 2024 PROULX	0296.6249		MISCELLANEOUS OPERATING SUPPLY HAPPY DAYS	
		100.80	JUSTAWARDMEDALS - 5K MEDALS		127359	AUG 2024 PROULX	0296.6249		MISCELLANEOUS OPERATING SUPPLY HAPPY DAYS	

Council Check Register by GL  
Council Check Register and Summary

9/5/2024 -- 9/18/2024

Check #	Date	Amount	Supplier / Explanation	PO #	Doc No	Inv No	Account No	Subledger	Account Description	Business Unit
97091324	9/13/2024		<b>108768 COMDATA NETWORK INC</b>						<b>Continued...</b>	
		335.94	VISTAPRINT - H.D. PRIZES		127359	AUG 2024 PROULX	0296.6249		MISCELLANEOUS OPERATING SUPPLY	HAPPY DAYS
		223.49	CROWNAWARDS - FUN RUN MEDALS		127359	AUG 2024 PROULX	0296.6249		MISCELLANEOUS OPERATING SUPPLY	HAPPY DAYS
		177.09	TIMBERLAKE-SEPTIC TRAIN-KNIGHT		127360	AUG 2024 HANSON	0240.6331		TRAVEL & LODGING	PROTECTIVE INSPECTIONS
		340.06	GASOLINE FUEL		127361	AUG 2024 FIRE	0220.6223		GASOLINE	FIRE PROTECTION
		175.00	PAYPAL-FIRE MARSH CLASS WEISS		127362	AUG 2024	0220.6335		TRAINING	FIRE PROTECTION
		449.00	HOME DEPOT-CHAIN SAW RESCUE 2		127362	AUG 2024	0220.6281		SMALL TOOLS & MINOR EQUIPMENT	FIRE PROTECTION
		98.63	FIRE BY TRADEHOSE STRAPS RES 2		127362	AUG 2024	0220.6281		SMALL TOOLS & MINOR EQUIPMENT	FIRE PROTECTION
		38.97	AMZN- WHL CHOCKS/MALLET RES 2		127362	AUG 2024	0220.6281		SMALL TOOLS & MINOR EQUIPMENT	FIRE PROTECTION
		271.25	FIREHOSEDIRECT-HYDRCONN RES 2		127362	AUG 2024	0220.6281		SMALL TOOLS & MINOR EQUIPMENT	FIRE PROTECTION
		1,398.00	SEEK-THERMAL IMAGE CAMERA REPR		127362	AUG 2024	0220.6388		OTHER VEHICLE REPAIR	FIRE PROTECTION
		168.51	WEIS FIRE & SAFETY - AXES		127363	AUG 2024 KOHNER	0220.6281		SMALL TOOLS & MINOR EQUIPMENT	FIRE PROTECTION
		526.96	DELTA- AIRFARE FOR RESCUE TR U		127363	AUG 2024 KOHNER	0220.6249		MISCELLANEOUS OPERATING SUPPLY	FIRE PROTECTION
		352.75	HEARTLAND- TIRE REPLACEMENT		127363	AUG 2024 KOHNER	0220.6388		OTHER VEHICLE REPAIR	FIRE PROTECTION
		14.89	AMAZON- BLADES		127363	AUG 2024 KOHNER	0220.6281		SMALL TOOLS & MINOR EQUIPMENT	FIRE PROTECTION
		99.98	AMAZON- UNIFORM TSHIRTS		127363	AUG 2024 KOHNER	0220.6231		UNIFORMS & TURN-OUT GEAR	FIRE PROTECTION
		80.74	AMAZON- GYM WIPES		127363	AUG 2024 KOHNER	0220.6249		MISCELLANEOUS OPERATING SUPPLY	FIRE PROTECTION
		15.55	AMAZON- SINK BASKET ST 1		127363	AUG 2024 KOHNER	0220.6249		MISCELLANEOUS OPERATING SUPPLY	FIRE PROTECTION
		350.00	MIDWEST ASSOC OF CIA-CONFERENC		127364	AUG 2024	0211.6335		TRAINING	POLICE PROTECTION
		75.23	ACAPULCO - LUNCH AT TRAINING		127364	AUG 2024	0211.6331		TRAVEL & LODGING	POLICE PROTECTION
		75.00	BCA - TRAINING		127364	AUG 2024	0211.6335		TRAINING	POLICE PROTECTION
		419.25	MAMA DELUCA - PIZZA		127364	AUG 2024	0280.6241		COMMUNITY POLICING SUPPLIES	COMMUNITY ORIENTING POLICING
		75.00	TLO TRANSUNION - ONLINE INVEST		127364	AUG 2024	0211.6315		MISCELLANEOUS PROFESSIONAL SER	POLICE PROTECTION
		64.83	PIZZA RANCH - LUNCH AT TRAININ		127364	AUG 2024	0211.6331		TRAVEL & LODGING	POLICE PROTECTION
		75.00	BCA- DMT TRAINING DWI		127365	AUG 2024 WEBB	0211.6335		TRAINING	POLICE PROTECTION
		12.58	COBORN'S SUPERSTORE-N2U ICE		127366	AUG 20024	0280.6241		COMMUNITY POLICING SUPPLIES	COMMUNITY ORIENTING POLICING
						CURTIS				

Council Check Register by GL  
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9/5/2024 -- 9/18/2024

Check #	Date	Amount	Supplier / Explanation	PO #	Doc No	Inv No	Account No	Subledger	Account Description	Business Unit
97091324	9/13/2024		108768 COMDATA NETWORK INC						Continued...	
		15.86	P.D. PAPPY'S - CC TRAINING LUN		127366	AUG 2024 CURTIS	0211.6331		TRAVEL & LODGING	POLICE PROTECTION
		3,002.45	TRUCK GEAR USA-NEW SQUAD 347 B		127366	AUG 2024 CURTIS	0211.6281		SMALL TOOLS & MINOR EQUIPMENT	POLICE PROTECTION
		89.00	WALMART-SPEAKER FOR GPS BAIT C		127367	AUG 2024 DAHLBERG	0211.6237		CRIME SCENE KIT MATERIALS	POLICE PROTECTION
		9.95	OP FOR AIRSOFT-AIR FOR TSHIRT		127367	AUG 2024 DAHLBERG	0280.6281		SMALL TOOLS & MINOR EQUIPMENT	COMMUNITY ORIENTING POLICING
		300.00	BCA TRAINING EDUC-CJ INFO CONF		127368	AUG 2024 TORSETH	0211.6335		TRAINING	POLICE PROTECTION
		6.99	08/12/24 COBORN'S CC MEAL		127369	AUG 2024 SCHMITZ	0111.6249		MISCELLANEOUS OPERATING SUPPLY	MAYOR AND COUNCIL
		56.01	08/12/24 MAMA DELUCAS CC MEALS		127369	AUG 2024 SCHMITZ	0111.6249		MISCELLANEOUS OPERATING SUPPLY	MAYOR AND COUNCIL
		119.28	08/27/24 DD WILDBURGERCC MEALS		127369	AUG 2024 SCHMITZ	0111.6249		MISCELLANEOUS OPERATING SUPPLY	MAYOR AND COUNCIL
		320.00	IN MARIE RIDGEWAY-ROLL CALL CH		127370	AUG 2024 KATERS	0211.6335		TRAINING	POLICE PROTECTION
		3,960.00	FERGUSON ENT-PD KITCHEN APPLIA		127370	AUG 2024 KATERS	0211.6281		SMALL TOOLS & MINOR EQUIPMENT	POLICE PROTECTION
		580.00	HERMAN MILLER - OFFICE CHAIR		127371	AUG 2024 FREDRICKSON	0211.6208		MISCELLANEOUS OFFICE SUPPLIES	POLICE PROTECTION
		165.00	HERMAN MILLERCHAIR OPTIONS ADD		127371	AUG 2024 FREDRICKSON	0192.6281		SMALL TOOLS & MINOR EQUIPMENT	DATA PROCESSING
		5.19	ECM - APG UNION SUBSCRIPTION		127372	AUG 2024 SULLIVAN	9230.6451		MEMBERSHIP DUES	ECONOMIC DEVELOPMENT AUTHO
		120.00	SEC OF STATE - NOTARY RENEWAL		127372	AUG 2024 SULLIVAN	9230.6451		MEMBERSHIP DUES	ECONOMIC DEVELOPMENT AUTHO
		8.97	COBORNS - WATER BIZ APP DAY		127372	AUG 2024 SULLIVAN	9230.6249	00923002	MISCELLANEOUS OPERATING SUPPLY	ECONOMIC DEVELOPMENT AUTHO
		4.99	AMAZON PICNIC CLIP BIZ APP DA		127372	AUG 2024 SULLIVAN	9230.6249	00923002	MISCELLANEOUS OPERATING SUPPLY	ECONOMIC DEVELOPMENT AUTHO
		55.98	AMAZON AQUILA PRO BIZ APP DA		127372	AUG 2024 SULLIVAN	9230.6249	00923002	MISCELLANEOUS OPERATING SUPPLY	ECONOMIC DEVELOPMENT AUTHO
		290.07	AMAZON - PRIZES - BIZ APP DAY		127372	AUG 2024 SULLIVAN	9230.6249	00923002	MISCELLANEOUS OPERATING SUPPLY	ECONOMIC DEVELOPMENT AUTHO
		41.00	990ONLINE -FIRE RELIEF 941 FIL		127373	AUG 2024 LUND	0220.6302		AUDITING & ACCOUNTING SERVICES	FIRE PROTECTION
		3,480.00	CLASS A LEASING-J WICKLUND CDL		127374	AUG 2024 TURNER	0311.6335		TRAINING	STREET MAINTENANCE
		45.50	AMAZON-IRRIGATION ZONE PACK		127374	AUG 2024 TURNER	9601.6249		MISCELLANEOUS OPERATING SUPPLY	WATER FUND
		51.74	NON-OX GAS		127375	AUG 2024 STREETS FUEL	0311.6223		GASOLINE	STREET MAINTENANCE



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9/5/2024 - 9/18/2024

Check #	Date	Amount	Supplier / Explanation	PO #	Doc No	Inv No	Account No	Subledger	Account Description	Business Unit
99926508	9/13/2024		101306 IRS						Continued...	
		20,382.66			127258	09112412090610	9101.2182		FICA & MEDICARE-EMPLOYER	GENERAL FUND
		32,578.28			127269	0911241209068	9101.2171		FEDERAL WITHHOLDING	GENERAL FUND
		20,382.66			127270	0911241209069	9101.2173		FICA & MEDICARE-EMPLOYEE	GENERAL FUND
		73,343.60								
		<u>492,366.98</u>	Grand Total							

Payment Instrument Totals

Checks	266,910.81
EFT Payments	217,618.56
A/P ACH Payment	<u>7,837.61</u>
Total Payments	492,366.98

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CITY OF RAMSEY  
Create Payment Control Groups

Payment Group Control Number 3882  
 Bank Account 999.1010 CASH IN BANK 00002224  
 Version LOGIS004V  
 Originator JMORRISON  
 Payment Instrument Check Payment  
 Pay Through Date 9/25/2024

Payee		Stub	Document				Due	Invoice	Payment	Discount	Supplier	
Number	Name / Mailing Address	Message	Ty	Number	Itm	Co	Date	Number	Amount	Taken	Number	Name
120868	A1 RENT IT		PV	127342	001	00999	9/9/2024	199635-3	3,505.50		120868	A1 RENT IT
	A1 RENT IT			Summary Total					3,505.50			
	6800 W BROADWAY			Payment Amount					3,505.50			
	MINNEAPOLIS MN 55428											
100006	AA DRIVE LINE		PV	127311	001	00999	8/19/2024	14506	283.21		100006	AA DRIVE LINE
	SPECIALTIES INC			Summary Total					283.21			SPECIALTIES INC
	AA DRIVE LINE SPECIALTIES INC			Payment Amount					283.21			
	801 NORTH STREET											
	ANOKA MN 55303											
117922	ADAM PRICE INC	REF ERO ESC 5065	PV	127192	001	00999	9/9/2024	A 119007	6,500.00		117922	ADAM PRICE INC
	PRICE HOMES	XKIMO CT NW		Summary Total					6,500.00			
	11110 INDUSTRIAL CIRCLE	REF ERO ESC 5075	PV	127194	001	00999	9/9/2024	A 118951	6,500.00			
	NW	XKIMO CT NW		Summary Total					6,500.00			
	ELK RIVER MN 55330			Payment Amount					13,000.00			
107776	ALERT ALL CORP		PV	127416	001	00999	9/3/2024	W39390	171.50		107776	ALERT ALL CORP
	ALERT ALL CORP			Summary Total					171.50			
	164 ORLAN ROAD			Payment Amount					171.50			
	NEW HOLLAND PA 17557											

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Payee Number	Name / Mailing Address	Stub Message	Document Ty Number Itm Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number	Supplier Name
119732	ALL SEASON SERVICES, INC		PV 127256 001 00999	8/29/2024	31654	9,000.00		119732	ALL SEASON SERVIC INC
	ALL SEASON SERVICES, INC 14916 CENTRAL AVE NE HAM LAKE MN 55304				Summary Total	9,000.00			
					Payment Amount	9,000.00			
102953	AMERIGAS OF ANOKA		PV 127317 001 00999	8/31/2024	806048638	55.45		102953	AMERIGAS OF ANOK
	AMERIGAS OF ANOKA P O BOX 660288 DALLAS TX 75266-0288				Summary Total	55.45			
					Payment Amount	55.45			
100618	ANCOM COMMUNICATIONS INC		PV 127402 001 00999	8/29/2024	123413	653.00		100618	ANCOM COMMUNIC/ INC
	ANCOM COMMUNICATIONS INC 1800 EAST CLIFF ROAD SUITE 17 BURNSVILLE MN 55337				Summary Total	653.00			
					Payment Amount	653.00			
100052	ANOKA POLICE DEPARTMENT		PV 127390 001 00999	9/9/2024	08 2024	600.00		100052	ANOKA POLICE DEPARTMENT
	ANOKA POLICE DEPARTMENT 275 HARRISON STREET ANOKA MN 55303				Summary Total	600.00			
					Payment Amount	600.00			

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Payee Number	Payee Name / Mailing Address	Stub Message	Document Ty	Item Number	Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number	Supplier Name
100063	ASPEN MILLS		PV	127151 001 00999		8/30/2024	338406	566.55		100063	ASPEN MILLS
	ASPEN MILLS			Summary Total				566.55			
	8201 C CENTRAL AVE NE		PV	127169 001 00999		8/28/2024	338294	148.75			
	SPRING LAKE PARK MN 55432			Summary Total				148.75			
			PV	127170 001 00999		8/29/2024	338310	874.91			
				Summary Total				874.91			
			PV	127172 001 00999		9/4/2024	338682	128.90			
				Summary Total				128.90			
			PV	127173 001 00999		9/4/2024	338683	193.40			
				Summary Total				193.40			
			PV	127392 001 00999		9/6/2024	338858	259.80			
				Summary Total				259.80			
			PV	127414 001 00999		9/5/2024	338786	95.99			
				Summary Total				95.99			
				Payment Amount				2,268.30			
117516	BEST OUTDOOR SERVICES		PV	127338 001 00999		8/30/2024	7867	810.86		117516	BEST OUTDOOR SERVICES
	BEST OUTDOOR SERVICES			Summary Total				810.86			
	3098 162ND LANE NW		PV	127339 001 00999		8/30/2024	7868	3,234.21			
	ANDOVER MN 55304			Summary Total				3,234.21			
				Payment Amount				4,045.07			
121218	BIERBAUM, BENJAMIN	REF LNDS CP ESC 17696 RHINESTON	PV	127254 001 00999		9/9/2024	RA056534	5,000.00		121218	BIERBAUM, BENJAMIN

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Payee Number	Name / Mailing Address	Stub Message	Document Ty Number Itm Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number	Supplier Name
	BENJAMIN BIERBAUM 17696 RHINESTONE ST NW RAMSEY MN 55303		Summary Total			5,000.00			
			Payment Amount			5,000.00			
108513	BLAINE LOCK AND SAFE INC		PV 127337 001 00999	8/27/2024	31779	162.50		108513	BLAINE LOCK AND S INC
	BLAINE LOCK AND SAFE INC 10136 SUNSET AVENUE BLAINE MN 55014		Summary Total			162.50			
			Payment Amount			162.50			
116586	BLUE FIN POOL AND SPA INC	REF HI ESC 16018 IODINE ST NW	PV 127247 001 00999	9/9/2024	A 118789	100.00		116586	BLUE FIN POOL AND SPA INC
	BLUE FIN POOL AND SPA INC 13779 IBIS STREET NW ANDOVER MN 55304		Summary Total			100.00			
			Payment Amount			100.00			
115915	BROST, C. ANTHONY		PV 127341 001 00999	9/7/2024	090724	350.00		115915	BROST, C. ANTHONY
	C. ANTHONY BROST 7959 RED OAK DR MOUNDS VIEW MN 55112		Summary Total			350.00			
			Payment Amount			350.00			
121212	BUCHOLZ, STEVEN AND SCHANSBERG, DIANA	REF HI ESC 14310 BOWERS DR NW	PV 127239 001 00999	9/9/2024	A 119102	100.00		121212	BUCHOLZ, STEVEN / SCHANSBERG, DIAN

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Payee Number	Payee Name / Mailing Address	Stub Message	Document Ty	Number	Itm	Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number	Supplier Name
	STEVEN BUCHOLZ AND DIANA SCHANSBERG 14310 BOWERS DR NW RAMSEY MN 55303			Summary Total					100.00			
				Payment Amount					100.00			
120325	CERTIFIED RECYCLING  CERTIFIED RECYCLING 14305 EWING AVE BURNSVILLE MN 55306	Curbside Recycling Event	PV	127210	001	00999	8/27/2024	82665	1,750.00		120325	CERTIFIED RECYCLI
				Summary Total					1,750.00			
				Payment Amount					1,750.00			
119134	CINTAS (FIRST AID VENDOR)  CINTAS PO BOX 631025 CINCINNATI OH 45263-1025		PV	127315	001	00999	9/5/2024	5228517112	190.24		119134	CINTAS (FIRST AID VENDOR)
				Summary Total					190.24			
				Payment Amount					190.24			
118987	CLASSIC CONSTRUCTION, INC  CLASSIC CONSTRUCTION, INC 18542 ULYSSES STREET NE EAST BETHEL MN 55011	SAC Reimburse - Complete Auto	PV	127378	001	00999	9/11/2024	09112024	9,940.00		118987	CLASSIC CONSTRUCTION, INC
				Summary Total					9,940.00			
				Payment Amount					9,940.00			
121208	CORBIN, CASSANDRA AND	REF HI ESC 7850	PV	127205	001	00999	9/9/2024	A 117935	100.00		121208	CORBIN, CASSANDR

CITY OF RAMSEY  
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Payee Number	Name / Mailing Address	Stub Message	Document Ty Number Itm Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number	Name
SCOTT	163RD LANE NW								AND SCOTT
	CASSANDRA AND SCOTT CORBIN					Summary Total	100.00		
	7850 163RD LANE NW								
	RAMSEY MN 55303					Payment Amount	100.00		
100167	CORNERSTONE FORD	EP DISCOUNT TAKEN	PV 127418 001 00999	9/3/2024	15472681		35.39	100167	CORNERSTONE FOF
	CORNERSTONE FORD					Summary Total	35.39		
	17219 HIGHWAY 10 NW								
	PO BOX 304								
	ELK RIVER MN 55330					Payment Amount	35.39		
119240	CORY JOLICOEUR CHEWYS TOOL&SUPPLY LLC		PV 127308 001 00999	8/21/2024	71226		369.95	119240	CORY JOLICOEUR CHEWYS TOOL&SUF LLC
	CHEWYS TOOL&SUPPLY LLC (CORNWELL DEALER)					Summary Total	369.95		
	14885 191ST AVENUE NW		PV 127422 001 00999	9/4/2024	71554		369.95		
	ELK RIVER MN 55330					Summary Total	369.95		
						Payment Amount	739.90		
120919	CREATIVE HOMES	REF ERO ESC 7436 171ST LANE NW	PV 127198 001 00999	9/9/2024	A 120704		1,500.00	120919	CREATIVE HOMES
	CREATIVE HOMES					Summary Total	1,500.00		
	707 COMMERCE DRIVE STE 410	REF ERO ESC 7453 171ST LANE NW	PV 127199 001 00999	9/9/2024	A 120826		1,500.00		
	WOODBURY MN 55125					Summary Total	1,500.00		

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Payee Number	Payee Name / Mailing Address	Stub Message	Document Ty	Number	Item	Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number	Supplier Name
		REF ERO ESC 7461 170TH AVE NW	PV	127200	001	00999	9/9/2024	A 120883	1,500.00			
									Summary Total	1,500.00		
		REF ERO ESC 7504 170TH AVE NW	PV	127201	001	00999	9/9/2024	A 120870	1,500.00			
									Summary Total	1,500.00		
		REF ERO ESC 7510 170TH AVE NW	PV	127202	001	00999	9/9/2024	A 120858	1,500.00			
									Summary Total	1,500.00		
		REF ERO ESC 7516 170TH AVE NW	PV	127203	001	00999	9/9/2024	A 120825	1,500.00			
									Summary Total	1,500.00		
		REF ERO ESC 17041 URANIMITE ST	PV	127251	001	00999	9/9/2024	A 120346	1,500.00			
									Summary Total	1,500.00		
		REF ERO ESC 17064 URANIMITE ST	PV	127252	001	00999	9/9/2024	A 120857	1,500.00			
									Summary Total	1,500.00		
		REF ERO ESC 17047 URANIMTIE ST	PV	127394	001	00999	9/16/2024	A 120884	1,500.00			
									Summary Total	1,500.00		
		REF ERO ESC 17076 URANIMITE ST	PV	127404	001	00999	9/16/2024	A 120963	1,500.00			
									Summary Total	1,500.00		
		REF ERO ESC 7455 170TH AVE NW	PV	127406	001	00999	9/16/2024	A 120969	1,500.00			
									Summary Total	1,500.00		
									Payment Amount	16,500.00		

CITY OF RAMSEY  
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Payee Number	Name / Mailing Address	Stub Message	Document Ty Number Itm Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number	Name
121213	DAHLMEIER CONSTRUCTION SERVICES LLC	REF ERO ESC 15480 XKIMO ST NW	PV 127244 001 00999	9/9/2024	A 120197	1,500.00		121213	DAHLMEIER CONSTRUCTION SERVICES LLC
	DAHLMEIER CONSTRUCTION SERVICES LLC 15800 MAKAH ST NW ANDOVER MN 55304				Summary Total	1,500.00			
					Payment Amount	1,500.00			
111093	DOUGLAS KERR UNDERGROUND LLC	PAYAPP 5 23-19 COR INFRA IMPRO	PV 127350 001 09214	9/17/2024	23-19 #5	404,186.64		111093	DOUGLAS KERR UNDERGROUND LLC
	DOUGLAS KERR UNDERGROUND LLC P O BOX 85 MORA MN 55051				Summary Total	404,186.64			
					Payment Amount	404,186.64			
121215	ECHELON BUILDERS INC	REF HI ESC 16100 ANDRIE ST NW	PV 127248 001 00999	9/9/2024	A 119729	100.00		121215	ECHELON BUILDERS
	ECHELON BUILDERS INC 12541 194TH LANE NW ELK RIVER MN 55330				Summary Total	100.00			
					Payment Amount	100.00			
119688	GMH ASPHALT CORPORATION	PAYAPP 2 24-03 NE RAMSEY RECO	PV 127352 001 09435	9/17/2024	24-03 #2	273,843.95		119688	GMH ASPHALT CORPORATION
	GMH ASPHALT CORPORATION	PAYAPP 2 24-03 NE RAMSEY RECO	PV 127352 002 09435	9/17/2024	24-03 #2	41,095.20			
	9180 LAKETOWN ROAD	PAYAPP 2 24-03 NE	PV 127352 003 09435	9/17/2024	24-03 #2	47,893.47			

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Payee Number	Name / Mailing Address	Stub Message	Document Ty Number Itm Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number	Supplier Name
RAMSEY RECO									
CHASKA MN 55318						Summary Total	362,832.62		
						Payment Amount	362,832.62		
120442 GOLIATH TOOLS			PV 127309 001 00999	8/23/2024	10747		36.85	120442	GOLIATH TOOLS
GOLIATH TOOLS						Summary Total	36.85		
1434 - 138TH LANE NW						Payment Amount	36.85		
ANDOVER MN 55304									
121210 GRATHWOHL, LEANN		REF HI ESC 8453	PV 127232 001 00999	9/9/2024	A 118508		100.00	121210	GRATHWOHL, LEANN
168TH LANE NW						Summary Total	100.00		
LEANN GRATHWOHL						Payment Amount	100.00		
8453 168TH LANE NW									
RAMSEY MN 55303									
117332 HEARTLAND TIRE INC			PV 127421 001 00999	9/3/2024	9042083		98.72	117332	HEARTLAND TIRE IN
HEARTLAND TIRE INC						Summary Total	98.72		
7151 RIVERDALE DRIVE NW						Payment Amount	98.72		
RAMSEY MN 55303									
119783 HUNTER JAMES CONSTRUCTION		REF ERO ESC 15877	PV 127246 001 00999	9/9/2024	A 119326		6,500.00	119783	HUNTER JAMES CONSTRUCTION
KAMACITE ST						Summary Total	6,500.00		
HUNTER JAMES CONSTRUCTION						Payment Amount	6,500.00		

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Payee Number	Name / Mailing Address	Stub Message	Document Ty Number Itm Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number	Supplier Name
1805	163RD LANE NE ANDOVER MN 55304					6,500.00			
			Payment Amount						
100228	INTOXIMETERS INTOXIMETERS P O BOX 870836 KANSAS CITY MO 64187-0836		PV 127167 001 00999	8/30/2024	768322	834.50		100228	INTOXIMETERS
			Summary Total			834.50			
			Payment Amount			834.50			
119192	ISTATE TRUCK CENTER ISTATE TRUCK CENTER NW 7246 PO BOX 1450 MINNEAPOLIS MN 55485-7246		PV 127405 001 00999	8/29/2024	R244001490-01	636.70		119192	ISTATE TRUCK CENT
			Summary Total			636.70			
			Payment Amount			636.70			
121211	KALIFORNIA POOL AND SPA REF HI ERO 9015 169TH AVE NW KALIFORNIA POOL AND SPA 10701 93RD AVE N STE 1 MAPLE GROVE MN 55369		PV 127238 001 00999	9/9/2024	A 119046	100.00		121211	KALIFORNIA POOL A SPA
			Summary Total			100.00			
			Payment Amount			100.00			
112413	LEA DATA TECHNOLOGIES LEA DATA TECHNOLOGIES 14290 SE LYON STREET		PV 127165 001 00999	8/29/2024	10-1147-12	105.00		112413	LEA DATA TECHNOLOGIES
			Summary Total			105.00			

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Payee Number Name / Mailing Address	Stub Message	Document Ty Number Itm Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number Name
ATTN ZELLA BROOMFIELD HAPPY VALLEY OR 97086					105.00		
				Payment Amount			
121121 LABINE, ANDREW AND LORI ANDREW AND LORI LABINE 17714 RHINESTONE ST NW RAMSEY MN 55303	REF LDSCP ESC 17714 RHINESTONE	PV 127411 001 00999	9/16/2024	RA056742	1,000.00		121121 LABINE, ANDREW AN LORI
				Summary Total	1,000.00		
				Payment Amount	1,000.00		
120359 LANGUAGE LINE SERVICES INC LANGUAGE LINE SERVICES INC PO BOX 202564 DALLAS TX 75320-2564		PV 127171 001 00999	8/31/2024	11386462	25.75		120359 LANGUAGE LINE SERVICES INC
				Summary Total	25.75		
				Payment Amount	25.75		
100256 LANO EQUIPMENT INC LANO EQUIPMENT INC 6140 HIGHWAY 10 NW ANOKA MN 55303		PV 127305 001 00999	8/29/2024	02-1100227	19.33		100256 LANO EQUIPMENT IN
				Summary Total	19.33		
		PV 127314 001 00999	8/30/2024	02-1100359	60.43		
				Summary Total	60.43		
				Payment Amount	79.76		
120181 LARGE FORMAT GRAPHICS		PV 127400 001 00999	8/30/2024	4324	2,552.00		120181 LARGE FORMAT GRAPHICS

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 Originator JMORRISON  
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Payee Number	Name / Mailing Address	Stub Message	Document Ty Number Itm Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number	Supplier Name
	LARGE FORMAT GRAPHICS 1835 5TH AVE ANOKA MN 55303		Summary Total			2,552.00			
			Payment Amount			2,552.00			
121207	LEGUN, NICOLAI AND SVETLANA  NICOLAI AND SVETLANA LEGUN 7552 159TH AVE NW RAMSEY MN 55303	REF HI ESC 7552 159TH AVE NW	PV 127204 001 00999	9/9/2024	A 119485	100.00		121207	LEGUN, NICOLAI ANI SVETLANA
			Summary Total			100.00			
			Payment Amount			100.00			
100268	LRRWMO CITY OF ANOKA  LRRWMO CITY OF ANOKA 2015 FIRST AVENUE ANOKA MN 55303		PV 127429 001 00999	8/31/2024	623	16.50		100268	LRRWMO CITY OF ANOKA
			Summary Total			16.50			
			Payment Amount			16.50			
117918	MACQUEEN EMERGENCY  MACQUEEN EMERGENCY 1125 7TH STREET E ST PAUL MN 55106		PV 127412 001 00999	9/6/2024	P35297	575.00		117918	MACQUEEN EMERGI
			Summary Total			575.00			
			Payment Amount			575.00			
100270	MACQUEEN EQUIPMENT INC		PV 127428 001 00999	9/11/2024	P59732	550.00		100270	MACQUEEN EQUIPM INC

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 Originator JMORRISON  
 Payment Instrument Check Payment  
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Payee Number	Payee Name / Mailing Address	Stub Message	Document Ty	Number	Itm	Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number	Supplier Name
	MACQUEEN EQUIPMENT INC 1125 7TH STREET EAST ST PAUL MN 55106			Summary Total					550.00			
				Payment Amount					550.00			
102219	MAGNEY CONSTRUCTION, INC	PAYAPP 15 21-09 WTR TRMT PLNT	PV	127353	001	09601	9/17/2024	21-09 #15	1,344,677.50		102219	MAGNEY CONSTRU INC
	MAGNEY CONSTRUCTION, INC 1401 PARK ROAD CHANHASSEN MN 55317			Summary Total					1,344,677.50			
				Payment Amount					1,344,677.50			
103472	MAILING SOLUTIONS	Curbside Recycling Event	PV	127327	001	00999	9/7/2024	41884	295.14		103472	MAILING SOLUTIONS
	MAILING SOLUTIONS 2951 100TH CT NE #150 BLAINE MN 55449-5126			Summary Total					295.14			
				Payment Amount					295.14			
117588	MEDART INC		PV	127307	001	00999	8/29/2024	08774849	63.96		117588	MEDART INC
	MEDART INC 124 MANUFACTURERS DRIVE ARNOLD MO 63010-4727			Summary Total					63.96			
			PV	127423	001	00999	9/9/2024	08779813	195.80			
				Summary Total					195.80			
				Payment Amount					259.76			
108201	METRO TENT RENTAL		PV	127382	001	00999	5/16/2024	9871	4,731.00		108201	METRO TENT RENTA

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Number	Payee Name / Mailing Address	Stub Message	Document Ty	Item Number	Company	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number	Supplier Name
	METRO TENT RENTAL 9273 188TH AVE NW ELK RIVER MN 55330							4,731.00			
				Summary Total				4,731.00			
				Payment Amount				4,731.00			
100288	METRONORTH CHAMBER OF COMMERCE 9380 CENTRAL AVE NE SUITE 320 BLAINE MN 55434	Metro North Chamber Dues	PV	127207	001 00999	9/3/2024	30879	467.50		100288	METRONORTH CHAM OF COMMERCE
				Summary Total				467.50			
				Payment Amount				467.50			
121204	MINSHULL, COLLIN AND LISA 4781 179TH LANE NW RAMSEY MN 55303	REF ERO ESC 4781 179TH LANE NW	PV	127190	001 00999	9/9/2024	A 117911	1,500.00		121204	MINSHULL, COLLIN AND LISA
				Summary Total				1,500.00			
				Payment Amount				1,500.00			
101268	MN COUNTY ATTORNEYS ASSOCIATION 100 EMPIRE DRIVE SUITE 200 ST PAUL MN 55103		PV	127162	001 00999	8/30/2024	200012052	100.00		101268	MN COUNTY ATTORNEY ASSOCIATION
				Summary Total				100.00			
				Payment Amount				100.00			
107333	MN DEPT OF LABOR AND		PV	127325	001 00999	8/31/2024	ABR0334357X	10.00		107333	MN DEPT OF LABOR

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Number	Payee Name / Mailing Address	Stub Message	Document Ty	Number	Item	Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number	Supplier Name
	INDUSTRY											INDUSTRY
	MN DEPT OF LABOR AND INDUSTRY FSO PO BOX 64219 ST PAUL MN 55164-0219								Summary Total	10.00		
									Payment Amount	10.00		
119331	MN DEPT OF PUBLIC SAFETY MN DEPT OF PUBLIC SAFETY FISCAL AND ADMINISTRATIVE SERVICES 445 MINNESOTA STREET, SUITE 126 ST PAUL MN 55101	DANGEROUS DOG SIGNS AND TAGS	PV	127145	001	00999	9/5/2024	09052024		107.08		119331 MN DEPT OF PUBLIC SAFETY
									Summary Total	107.08		
									Payment Amount	107.08		
104920	MN HWY SAFETY RESEARCH CNTR/MHSRC RANGE MN HWY SAFETY RESEARCH CNTR/MHSRC RANGE 720 FOURTH AVENUE SOUTH ST CLOUD MN 56301-4498		PV	127391	001	00999	9/9/2024	337900-11199		525.00		104920 MN HWY SAFETY RESEARCH CNTR/MI RANGE
									Summary Total	525.00		
									Payment Amount	525.00		
100345	NAPA AUTO PARTS ELK RIVER NAPA AUTO PARTS ELK RIVER 17137 YALE STREET NW P O BOX 1041 ELK RIVER MN 55330		PV	127304	001	00999	8/30/2024	262340		17.78		100345 NAPA AUTO PARTS E RIVER
									Summary Total	17.78		

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Payee Number	Payee Name / Mailing Address	Stub Message	Document Ty	Number Number	Itm	Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number	Supplier Name	
Payment Amount									17.78				
100360	NORTH STAR TOWING INC		PV	127393	001	00999	8/1/2024	95510	80.00		100360	NORTH STAR TOWIN INC	
	NORTH STAR TOWING INC 833 NORTH STREET ANOKA MN 55303		Summary Total							80.00			
Payment Amount									80.00				
108613	NORTHWEST ASPHALT INC	PAYAPP 3 MSA ALPINE DR RECON	PV	127357	001	09402	9/17/2024	24-11 #3	133,372.61		108613	NORTHWEST ASPHA INC	
	NORTHWEST ASPHALT INC	PAYAPP 3 MSA ALPINE DR RECON	PV	127357	002	09402	9/17/2024	24-11 #3	6,156.59				
	1451 STAGECOACH ROAD SHAKOPEE MN 55379-2797		Summary Total							139,529.20			
		PAYAPP 2 24-05 XKIMO ST SURFAC	PV	127358	001	09402	9/17/2024	24-05 #2	155,275.03				
		PAYAPP 2 24-05 XKIMO ST SURFAC	PV	127358	002	09402	9/17/2024	24-05 #2	105,732.87				
		PAYAPP 2 24-05 XKIMO ST SURFAC	PV	127358	003	09402	9/17/2024	24-05 #2	5,958.40				
		PAYAPP 2 24-05 XKIMO ST SURFAC	PV	127358	004	09402	9/17/2024	24-05 #2	10,454.75				
		PAYAPP 2 24-05 XKIMO ST SURFAC	PV	127358	005	09402	9/17/2024	24-05 #2	62,837.35				
			Summary Total							340,258.40			
Payment Amount									479,787.60				
121216	PETERSON ELITE BUILDERS INC	REF HI ESC 16591 VARIOLITE ST	PV	127249	001	00999	9/9/2024	A 117783	100.00		121216	PETERSON ELITE BUILDERS INC	

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Number	Payee Name / Mailing Address	Stub Message	Document Ty	Number	Itm	Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Number	Supplier Name
	PETERSON ELITE BUILDERS INC 16591 VARIOLITE ST NW RAMSEY MN 55303			Summary Total					100.00			
				Payment Amount					100.00			
120765	PLAN IT SOFTWARE LLC PLAN IT SOFTWARE LLC 3825 FAIRHOMES ROAD DEEPHAVEN MN 55391	Feb 24-Feb 25	PV	127346	001	00999	9/11/2024	PLAN-171	3,600.00		120765	PLAN IT SOFTWARE
				Summary Total					3,600.00			
				Payment Amount					3,600.00			
100393	PRAIRIE RESTORATIONS INC PRAIRIE RESTORATIONS INC 31646 128TH STREET PRINCETON MN 55371		PV	127255	001	00999	8/29/2024	INV-012215	750.00		100393	PRAIRIE RESTORATI INC
				Summary Total					750.00			
			PV	127343	001	00999	9/6/2024	INV-012456	700.00			
				Summary Total					700.00			
				Payment Amount					1,450.00			
112959	PREMIUM WATERS INC PREMIUM WATERS INC P O BOX 9128 MINNEAPOLIS MN 55480-9128		PV	127395	001	00999	8/31/2024	621331-08-24	38.88		112959	PREMIUM WATERS II
				Summary Total					38.88			
			PV	127396	001	00999	8/31/2024	621332-08-24	23.76			
				Summary Total					23.76			
				Payment Amount					62.64			
117444	REAL DEAL CONSTRUCTION INC REF ERO ESC 17714 RHINESTONE		PV	127410	001	00999	9/16/2024	A 120175	1,500.00		117444	REAL DEAL CONSTRUCTION INC

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Payee		Stub	Document				Due	Invoice	Payment	Discount	Supplier	
Number	Name / Mailing Address	Message	Ty	Number	Itm	Co	Date	Number	Amount	Taken	Number	Name
	REAL DEAL CONSTRUCTION INC								1,500.00			
	30895 TIGER STREET NW											
	PRINCETON MN 55371											
									1,500.00			
	121170 RIDGEWAY AND ASSOCIATES		PV	127189	001	00999	8/28/2024	2891	390.00		121170	RIDGEWAY AND ASSOCIATES
	RIDGEWAY AND ASSOCIATES								390.00			
	1030 COUNTY ROAD E WEST #140											
	SHOREVIEW MN 55126								390.00			
	106398 S W WOLD CONSTRUCTION INC	REF ERO ESC 17696 RHINESTONE	PV	127253	001	00999	9/9/2024	A 120270	1,500.00		106398	S W WOLD CONSTRUCTION INC
	S W WOLD CONSTRUCTION INC								1,500.00			
	9457 HIGHWAY 10 NW SUITE 100											
	RAMSEY MN 55303								1,500.00			
	121217 SCHILLER, AUSTIN AND RAFFERTY, ALEXA	REF HI ESC 16747 SODIUM ST NW	PV	127250	001	00999	9/9/2024	A 117784	100.00		121217	SCHILLER, AUSTIN A RAFFERTY, ALEXA
	AUSTIN SCHILLER AND ALEXA RAFFERTY								100.00			
	16747 SODIUM ST NW											
	RAMSEY MN 55303								100.00			
	120063 SKYLINE GRAPHICS	08/22/24 Skyline	PV	127193	001	00999	8/22/2024	035967	6,710.00		120063	SKYLINE GRAPHICS

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Payee Number	Payee Name / Mailing Address	Stub Message	Document Ty	Number	Item	Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number	Supplier Name
		Sept/Oct RR										
	SKYLINE GRAPHICS 1101 ALDRICH AVE N	Rec. Day Postcard Printing	PV	127376	001	00999	9/5/2024	035985	6,710.00	975.00		
	MINNEAPOLIS MN 55411								Summary Total	975.00		
									Payment Amount	7,685.00		
108658	SPARKLE POOL SERVICE 169TH LANE NW	REF HI ESC 6893	PV	127197	001	00999	9/9/2024	A 119101	100.00		108658	SPARKLE POOL SER
	SPARKLE POOL SERVICE 6228 HWY 10 NW	REF HI ESC 7850	PV	127206	001	00999	9/9/2024	A 119983	100.00	100.00		
	RAMSEY MN 55303								Summary Total	100.00		
		REF HI ESC 9014	PV	127237	001	00999	9/9/2024	A 118807	100.00	100.00		
		169TH AVE NW							Summary Total	100.00		
									Payment Amount	300.00		
121169	STRYKER SALES LLC STRYKER SALES LLC PO BOX 93308 CHICAGO IL 60673-3308		PV	127168	001	00999	3/28/2023	4107551 M	180.96		121169	STRYKER SALES LLC
									Summary Total	180.96		
									Payment Amount	180.96		
121209	STUNEK, DARRYL 153RD LANE NW	REF HI ESC 8060	PV	127216	001	00999	9/9/2024	A 117933	100.00		121209	STUNEK, DARRYL

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Payee Number	Name / Mailing Address	Stub Message	Document Ty Number Itm Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number	Supplier Name
	DARRYL STUNEK 8060 153RD LANE NW RAMSEY MN 55303		Summary Total			100.00			
			Payment Amount			100.00			
121176	SUPERIOR SAND AND GRAVEL INC  SUPERIOR SAND AND GRAVEL INC 14045 NORTHDALE BLVD ROGERS MN 55374		PV 127427 001 00999	8/24/2024	23237	1,168.65		121176	SUPERIOR SAND AN GRAVEL INC
			Summary Total			1,168.65			
			Payment Amount			1,168.65			
121206	TESSUM, CURTIS  CURTIS TESSUM 5751 177TH AVE NW RAMSEY MN 55303	REF HI ESC 5751 177TH AVE NW	PV 127196 001 00999	9/9/2024	A 118676	100.00		121206	TESSUM, CURTIS
			Summary Total			100.00			
			Payment Amount			100.00			
100498	UNITED RENTALS  UNITED RENTALS P O BOX 840514  DALLAS TX 75284-0514		PV 127383 001 00999	9/10/2024	238488101-001	1,420.74		100498	UNITED RENTALS
			Summary Total			1,420.74			
			PV 127384 001 00999	9/10/2024	238501102-001	4,691.00			
			Summary Total			4,691.00			
			Payment Amount			6,111.74			
119268	US HOME LLC  REF ERO ESC 8011 149TH TERR NW		PV 127208 001 00999	9/9/2024	A 120060	1,500.00		119268	US HOME LLC

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Payee Number Name / Mailing Address	Stub Message	Document Ty Number Itm Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number Name
US HOME LLC 16355 36TH AVENUE N SUITE 100 PLYMOUTH MN 55446	REF ERO ESC 8014 150TH PLACE	PV 127211 001 00999	9/9/2024	A 120061	1,500.00		
		Summary Total			1,500.00		
	REF ERO ESC 8025 149TH TERR NW	PV 127213 001 00999	9/9/2024	A 120069	1,500.00		
		Summary Total			1,500.00		
	REEF ERO ESC 8030 150TH PLACE	PV 127214 001 00999	9/9/2024	A 120062	1,500.00		
		Summary Total			1,500.00		
	REF ERO ESC 8054 149TH LANE NW	PV 127215 001 00999	9/9/2024	A 120141	1,500.00		
		Summary Total			1,500.00		
	REF ERO ESC 8070 149TH LANE NW	PV 127217 001 00999	9/9/2024	A 120142	1,500.00		
		Summary Total			1,500.00		
	REF ERO ESC 8071 149TH LANE NW	PV 127218 001 00999	9/9/2024	A 120330	1,500.00		
		Summary Total			1,500.00		
	REF ERO ESC 8072 150TH PLACE	PV 127219 001 00999	9/9/2024	A 120331	1,500.00		
		Summary Total			1,500.00		
	REF ERO ESC 8073 150TH PLACE	PV 127220 001 00999	9/9/2024	A 120308	1,500.00		
		Summary Total			1,500.00		
	REF ERO ESC 8078 149TH LANE NW	PV 127221 001 00999	9/9/2024	A 120337	1,500.00		
		Summary Total			1,500.00		
	REF ERO ESC 8083	PV 127222 001 00999	9/9/2024	A 120334	1,500.00		
		Summary Total			1,500.00		

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Payee Number	Name / Mailing Address	Stub Message	Document Ty Number Itm Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number	Supplier Name
	149TH LANE NW								
			Summary Total			1,500.00			
	REF ERO ESC 8084 150TH PLACE		PV 127223 001 00999	9/9/2024	A 120332	1,500.00			
			Summary Total			1,500.00			
	REF ERO ESC 8085 150TH PLACE		PV 127226 001 00999	9/9/2024	A 120307	1,500.00			
			Summary Total			1,500.00			
	REF ERO ESC 8088 150TH PLACE		PV 127227 001 00999	9/9/2024	A 120492	1,500.00			
			Summary Total			1,500.00			
	REF ERO ESC 8089 149TH LANE NW		PV 127228 001 00999	9/9/2024	A 120491	1,500.00			
			Summary Total			1,500.00			
	REF ERO ESC 8098 149TH LANE NW		PV 127229 001 00999	9/9/2024	A 120338	1,500.00			
			Summary Total			1,500.00			
	REF ERO ESC 8104 150TH PLACE		PV 127230 001 00999	9/9/2024	A 120493	1,500.00			
			Summary Total			1,500.00			
	REF ERO ESC 8105 149TH LANE NW		PV 127231 001 00999	9/9/2024	A 120490	1,500.00			
			Summary Total			1,500.00			
	REF ERO ESC 8457 152ND CIR NW		PV 127233 001 00999	9/9/2024	A 120774	1,500.00			
			Summary Total			1,500.00			
	REF ERO ESC 8458 152ND CIR NW		PV 127234 001 00999	9/9/2024	A 120754	1,500.00			

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 Version LOGIS004V  
 Originator JMORRISON  
 Payment Instrument Check Payment  
 Pay Through Date 9/25/2024

Payee Number	Payee Name / Mailing Address	Stub Message	Document Ty	Number Number	Item Itm	Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number	Supplier Name
			Summary Total						1,500.00			
		REF ERO ESC 8465 152ND CIR NW	PV	127235	001	00999	9/9/2024	A 120699	6,500.00			
			Summary Total						6,500.00			
		REF ERO ESC 8468 152ND CIR NW	PV	127236	001	00999	9/9/2024	A 120697	6,500.00			
			Summary Total						6,500.00			
		REF ERO ESC 15239 MARMOSSET ST	PV	127243	001	00999	9/9/2024	A 120773	1,500.00			
			Summary Total						1,500.00			
			Payment Amount						44,500.00			
121214	VOICE OF HOPE CHURCH	REF ERO ESC 15620 ARMSTRONG BL	PV	127245	001	00999	9/9/2024	A 120180	1,500.00		121214	VOICE OF HOPE CHI
	VOICE OF HOPE CHURCH 13850 LINCOLN ST NE HAM LAKE MN 55304		Summary Total						1,500.00			
			Payment Amount						1,500.00			
118947	WARNERS' STELLIAN CO INC		PV	127403	001	00999	8/26/2024	INV-626006	3,166.91		118947	WARNERS' STELLIAN INC
	WARNERS' STELLIAN CO INC 550 ATWATER CIRCLE ST PAUL MN 55103		Summary Total						3,166.91			
			Payment Amount						3,166.91			
113539	WINSUPPLY TWIN CITIES	EP DISCOUNT TAKEN	PV	127419	001	00999	9/9/2024	164403	146.99		113539	WINSUPPLY TWIN

Payment Group Control Number 3882  
 Bank Account 999.1010 CASH IN BANK 00002224  
 Version LOGIS004V  
 Originator JMORRISON  
 Payment Instrument Check Payment  
 Pay Through Date 9/25/2024

Payee Number	Name / Mailing Address	Stub Message	Document Ty Number Itm Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number	Supplier Name
	MN CO.								CITIES MN CO.
	WINSUPPLY TWIN CITIES MN CO. 13930 RADIUM STREET NW RAMSEY MN 55303					Summary Total	146.99		
						Payment Amount	146.99		
121205	WOODRIDGE HOMES INC 611 136TH LANE NE HAM LAKE MN 55304	REF ERO ESC 5167 155TH LANE NW	PV 127195 001 00999	9/9/2024	A 119123				121205 WOODRIDGE HOME
						Summary Total	1,500.00		
						Payment Amount	1,500.00		
Total Amount to be Processed						2,758,201.35			
Total Number of Payments to be Processed						75			

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Payment Group Control Number 3883  
 Bank Account 999.1010 CASH IN BANK 00002224  
 Version LOGIS004V  
 Originator JMORRISON  
 Payment Instrument T A/P ACH Payment  
 Pay Through Date 9/25/2024

Payee Number	Payee Name / Mailing Address	Stub Message	Document				Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier	
			Ty	Number	Itm	Co					Number	Name
106639 3M			PV	127312	001	00999	8/22/2024	9430128876	328.50		106639 3M	
	3M			Summary Total					328.50			
	P O BOX 844127											
	DALLAS TX 75284-4127											
				Payment Amount					328.50			
111610 A DYNAMIC DOOR CO. INC.			PV	127182	001	00999	8/28/2024	22408273	915.25		111610 A DYNAMIC DOOR C INC.	
	A DYNAMIC DOOR CO. INC.			Summary Total					915.25			
	4588 194TH AVENUE NE		PV	127313	001	00999	8/28/2024	22408271	1,143.52			
	EAST BETHEL MN 55092			Summary Total					1,143.52			
				Payment Amount					2,058.77			
117651 ACCESS MECHANICAL INC			PV	127379	001	00999	7/29/2024	022321-3405	1,517.26		117651 ACCESS MECHANIC, INC	
	ACCESS MECHANICAL INC			Summary Total					1,517.26			
	15901 FOX STREET NW		PV	127380	001	00999	9/10/2024	022321-3860	697.50			
	ANDOVER MN 55304			Summary Total					697.50			
			PV	127381	001	00999	9/10/2024	022321-3861	1,497.50			
				Summary Total					1,497.50			
				Payment Amount					3,712.26			
115149 ADVANCED FIRST AID INC			PV	127224	001	00999	9/4/2024	0924-647	192.00		115149 ADVANCED FIRST AI INC	
	ADVANCED FIRST AID INC			Summary Total					192.00			
	9724 VALE STREET NW											

Payment Group Control Number 3883  
 Bank Account 999.1010 CASH IN BANK 00002224  
 Version LOGIS004V  
 Originator JMORRISON  
 Payment Instrument T A/P ACH Payment  
 Pay Through Date 9/25/2024

Payee		Stub	Document			Due	Invoice	Payment	Discount	Supplier		
Number	Name / Mailing Address	Message	Ty	Number	Itm	Co	Date	Number	Amount	Taken	Number	Name
	MINNEAPOLIS MN 55433											
Payment Amount									192.00			
117343	AMAZON CAPITAL SERVICES INC		PV	127175	001	00999	9/2/2024	1TQK-793X-VTL4	456.25		117343	AMAZON CAPITAL SERVICES INC
Summary Total									456.25			
	AMAZON CAPITAL SERVICES INC PO BOX 035184 SEATTLE WA 98124-5184		PV	127225	001	00999	9/2/2024	1VTT-V1CM-W4FH	52.39			
Summary Total									52.39			
			PV	127302	001	00999	9/2/2024	14NN-KFVV-WLLN	1,134.22			
Summary Total									1,134.22			
Payment Amount									1,642.86			
109256	AMERICAN ENGINEERING TESTING INC		PV	127330	001	00999	9/4/2024	INV-211979	2,520.00		109256	AMERICAN ENGINEE TESTING INC
Summary Total									2,520.00			
	AMERICAN ENGINEERING TESTING INC LOCKBOX 170023 PO BOX 1691 MINNEAPOLIS MN 55480-1691		PV	127331	001	00999	9/4/2024	INV-212163	770.00			
Summary Total									770.00			
			PV	127332	001	00999	9/4/2024	INV-211783	440.00			
Summary Total									440.00			
			PV	127333	001	00999	9/4/2024	INV-211337	408.00			
Summary Total									408.00			
Payment Amount									4,138.00			
106641	AMERICAN PRESSURE INC		PV	127295	001	00999	9/4/2024	144537	291.68		106641	AMERICAN PRESSUI INC

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 Bank Account 999.1010 CASH IN BANK 00002224  
 Version LOGIS004V  
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 Payment Instrument T A/P ACH Payment  
 Pay Through Date 9/25/2024

Number	Payee Name / Mailing Address	Stub Message	Document Ty	Number	Item	Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number	Supplier Name
	AMERICAN PRESSURE INC 3810 W BROADWAY ROBBINSDALE MN 55422								291.68			
									Summary Total			
									291.68			
									Payment Amount			
100043	ANOKA COUNTY PROPERTY RECORDS TAXATION	Notary	PV	127329	001	00999	8/31/2024	24-28983/29894/30103	132.00		100043	ANOKA COUNTY PROPERTY RECORDS TAXATION
	ANOKA COUNTY PROPERTY RECORDS TAXATION 2100 - 3RD AVENUE ANOKA MN 55303								Summary Total			
									132.00			
									Payment Amount			
									132.00			
107587	ANOKA COUNTY TREASURY DEPARTMENT		PV	127161	001	00999	8/29/2024	AR022423/AR022424	12,366.72		107587	ANOKA COUNTY TREASURY DEPARTI
	ANOKA COUNTY TREASURY DEPARTMENT 2100 3RD AVE STE 300 ANOKA MN 55303-5029								Summary Total			
									12,366.72			
			PV	127320	001	00999	8/30/2024	ELEC08302408	1,187.43			
									Summary Total			
									1,187.43			
									Payment Amount			
									13,554.15			
116015	AXON ENTERPRISE INC		PV	127158	001	00999	9/1/2024	INUS277125	3,817.98		116015	AXON ENTERPRISE
	AXON ENTERPRISE INC DEPT 2018-PO BOX 29661 PHOENIX AZ 85038								Summary Total			
									3,817.98			
			PV	127159	001	00999	8/31/2024	INUS276416	180.00			
									Summary Total			
									180.00			
									Payment Amount			
									3,997.98			



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 Originator JMORRISON  
 Payment Instrument T A/P ACH Payment  
 Pay Through Date 9/25/2024

Payee Number Name / Mailing Address	Stub Message	Document Ty Number Itm Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number Name
RAMSEY MN 55303					Summary Total	1,500.00	
	REF ERO ESC 14603	PV 127242 001 00999	9/9/2024	A 120610	6,500.00		
	RABBIT ST NW						
					Summary Total	6,500.00	
	REF ERO ESC 8942	PV 127407 001 00999	9/16/2024	A 120779	1,500.00		
	152ND LANE NW						
					Summary Total	1,500.00	
					Payment Amount	11,000.00	
118550 CBIZ INVESTMENT ADVISORY SERVICES LLC		PV 127191 001 00999	6/30/2024	19602	42.32		118550 CBIZ INVESTMENT ADVISORY SERVICE LLC
CBIZ INVESTMENT ADVISORY SERVICES LLC P O BOX 645547 CINCINNATI OH 45264-5547					Summary Total	42.32	
					Payment Amount	42.32	
116197 CINTAS CORPORATION		PV 127306 001 00999	8/29/2024	4203584069	115.43		116197 CINTAS CORPORATI
CINTAS CORPORATION CINTAS LOC #4K					Summary Total	115.43	
		PV 127316 001 00999	9/5/2024	4204276776	65.18		
P O BOX 650838 DALLAS TX 75265-0838					Summary Total	65.18	
		PV 127401 001 00999	8/30/2024	4203793944	45.50		
					Summary Total	45.50	
					Payment Amount	226.11	
115896 CIVICPLUS LLC		PV 127176 001 00999	8/30/2024	314914	8,423.10		115896 CIVICPLUS LLC

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Payee Number	Payee Name / Mailing Address	Stub Message	Document Ty	Item Number	Company Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number	Supplier Name
	CIVIC PLUS LLC P O BOX 1572 MANHATTAN KS 66505							8,423.10			
								9,045.76			
								9,045.76			
								17,468.86			
100141	DAVE PERKINS CONTRACTING INC DAVE PERKINS CONTRACTING INC 19745 NOWTHEN BLVD NW ANOKA MN 55303-9655	PAYAPP 3 24-02 HALLS DOVER ACR PAYAPP 3 24-02 HALLS DOVER ACR	PV	127349	001 09435	9/17/2024	24-02 #3	130,002.45		100141	DAVE PERKINS CONTRACTING INC
			PV	127349	002 09435	9/17/2024	24-02 #3	46,947.17			
								176,949.62			
								176,949.62			
111818	DEANO'S COLLISION SPECIALISTS INC DEANO'S COLLISION SPECIALISTS INC 11063 173RD AVENUE ELK RIVER MN 55330		PV	127174	001 00999	9/4/2024	66300	65.00		111818	DEANO'S COLLISION SPECIALISTS INC
								65.00			
								65.00			
100144	DEHN OIL COMPANY DEHN OIL COMPANY 6735 141ST AVENUE NW RAMSEY MN 55303		PV	127296	001 00999	9/3/2024	110168	3,348.50		100144	DEHN OIL COMPANY
								3,348.50			
			PV	127425	001 00999	9/9/2024	110226	2,469.10			
								2,469.10			
			PV	127426	001 00999	9/9/2024	110227	4,027.05			
								4,027.05			
								9,844.65			

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Number	Payee Name / Mailing Address	Stub Message	Document Ty	Number	Itm	Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number	Supplier Name
116175	ECKBERG LAMMERS ATTORNEYS AT LAW	08 2024	PV	127157	001	00999	8/31/2024	08 2024	6,458.68		116175	ECKBERG LAMMERS ATTORNEYS AT LAW
	ECKBERG LAMMERS ATTORNEYS AT LAW								6,458.68			
	1809 NORTHWESTERN AVENUE											
	STILLWATER MN 55082								6,458.68			
100158	ECM PUBLISHERS INC		PV	127321	001	00999	9/6/2024	1014716	75.25		100158	ECM PUBLISHERS IN
	ECM PUBLISHERS INC								75.25			
	4095 COON RAPIDS BLVD	ECM	PV	127328	001	00999	8/30/2024	1013762	102.12			
	COON RAPIDS MN 55433								102.12			
									177.37			
108737	EMERGENCY AUTOMOTIVE TECHNOLOGY INC		PV	127146	001	00999	8/30/2024	DL083024-24	116.58		108737	EMERGENCY AUTOM TECHNOLOGY INC
	EMERGENCY AUTOMOTIVE TECHNOLOGY INC								116.58			
	2755 GENEVA AVE N		PV	127147	001	00999	8/30/2024	DL083024-20	208.66			
	OAKDALE MN 55128								208.66			
			PV	127148	001	00999	8/30/2024	DL08152424E	1,139.70			
									1,139.70			
			PV	127149	001	00999	8/30/2024	DL083024-21	197.06			
									197.06			
			PV	127150	001	00999	8/30/2024	DL083024-23	236.06			
									236.06			
			PV	127163	001	00999	8/29/2024	D08152424D	1,563.10			

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 Bank Account 999.1010 CASH IN BANK 00002224  
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 Originator JMORRISON  
 Payment Instrument T A/P ACH Payment  
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Payee		Stub	Document			Due	Invoice	Payment	Discount	Supplier		
Number	Name / Mailing Address	Message	Ty	Number	Itm	Co	Date	Number	Amount	Taken	Number	Name
				Summary Total					1,563.10			
			PV	127164	001	00999	8/29/2024	DL08152425D	716.30			
				Summary Total					716.30			
			PD	127385	001	00999	9/25/2024	CM24342	250.00-			
				Summary Total					250.00-			
			PV	127386	001	00999	9/6/2024	DL083024-22	208.62			
				Summary Total					208.62			
			PD	127387	001	00999	9/25/2024	CM24348	15.98-			
				Summary Total					15.98-			
			PV	127388	001	00999	9/6/2024	DL08302420A	1,022.06			
				Summary Total					1,022.06			
			PD	127389	001	00999	9/25/2024	CM24347	327.12-			
				Summary Total					327.12-			
				Payment Amount					4,815.04			
120464	ENEBAK CONSTRUCTION COMPANY	PAYAPP 8 23-20 COR GRADING IMP	PV	127351	001	09214	9/17/2024	23-20 #8	3,031.33		120464	ENEBAK CONSTRUC COMPANY
	ENEBAK CONSTRUCTION COMPANY			Summary Total					3,031.33			
	16972 BRANDTJEN FARM DRIVE			Payment Amount					3,031.33			
	LAKEVILLE MN 55044											
100143	FERGUSON WATERWORKS # 2518		PV	127155	001	00999	8/27/2024	0536068	2,839.21		100143	FERGUSON WATERV # 2518
	FERGUSON WATERWORKS 2516			Summary Total					2,839.21			
	P O BOX 802817											
	CHICAGO IL 60680-2817											

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 Bank Account 999.1010 CASH IN BANK 00002224  
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 Payment Instrument T A/P ACH Payment  
 Pay Through Date 9/25/2024

Payee Number	Payee Name / Mailing Address	Stub Message	Document Ty	Number	Item Itm	Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number	Supplier Name	
Payment Amount									2,839.21				
100200	GOPHER STATE ONE CALL INC		PV	127152	001	00999	8/31/2024	4080697	440.10		100200	GOPHER STATE ONE CALL INC	
	GOPHER STATE ONE CALL 7223 PARKWAY DRIVE SUITE 210 HANOVER MD 21076-1317		Summary Total							440.10			
Payment Amount									440.10				
100209	HAKANSON ANDERSON ASSOC INC		PV	127334	001	00999	8/27/2024	53574	19,727.75		100209	HAKANSON ANDERS ASSOC INC	
	HAKANSON ANDERSON ASSOC INC 3601 THURSTON AVENUE ANOKA MN 55303-1063		Summary Total							19,727.75			
			PV	127335	001	00999	8/27/2024	53575	38,642.85				
			Summary Total							38,642.85			
Payment Amount									58,370.60				
100211	HAWKINS INC		PV	127154	001	00999	8/26/2024	6852530	8,207.00		100211	HAWKINS INC	
	HAWKINS INC P O BOX 860263 MINNEAPOLIS MN 55486-0263		Summary Total							8,207.00			
			PV	127326	001	00999	9/9/2024	6857909	6,257.85				
			Summary Total							6,257.85			
Payment Amount									14,464.85				
112160	HOLIDAY COMPANIES		PV	127160	001	00999	9/1/2024	046801092400	216.75		112160	HOLIDAY COMPANIE	
	HOLIDAY COMPANIES 6000 CLEARWATER DR STE 300 MINNETONKA MN 55343		Summary Total							216.75			

CITY OF RAMSEY  
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 Bank Account 999.1010 CASH IN BANK 00002224  
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 Payment Instrument T A/P ACH Payment  
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Payee Number	Name / Mailing Address	Stub Message	Document Ty Number Itm Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number	Supplier Name
Payment Amount						216.75			
104027	INK WIZARDS INC		PV 127397 001 00999	9/3/2024	10561	153.00		104027	INK WIZARDS INC
	INK WIZARDS INC 9958 HIGHWAY 10 NW ELK RIVER MN 55330		Summary Total			153.00			
Payment Amount						153.00			
112475	INNOVATIVE OFFICE SOLUTIONS	S27569	PV 127322 001 00999	9/9/2024	IN4634377	633.94		112475	INNOVATIVE OFFICE SOLUTIONS
	INNOVATIVE OFFICE SOLUTIONS LOCKBOX 131434 P O BOX 1414 MINNEAPOLIS MN 55480-1414		Summary Total			633.94			
Payment Amount						633.94			
107763	JEFFERSON FIRE AND SAFETY INC		PV 127408 001 00999	8/28/2024	IN317868	1,941.14		107763	JEFFERSON FIRE AND SAFETY INC
	JEFFERSON FIRE AND SAFETY INC 7620 DONNA DRIVE MIDDLETON WI 53562		Summary Total			1,941.14			
Payment Amount						1,941.14			
116789	KIESLER POLICE SUPPLY INC	IN236540 / IN237323	PV 127166 001 00999	8/30/2024	SI104951	5,736.06		116789	KIESLER POLICE SUPPLY INC
	KIESLER POLICE SUPPLY INC 2802 SABLE MILL ROAD		Summary Total			5,736.06			

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Payee Number Name / Mailing Address	Stub Message	Document Ty Number Itm Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number Name
JEFFERSONVILLE IN 47130							
Payment Amount					5,736.06		
100266 LOGIS		PV 127323 001 00999	9/10/2024	68004	797.50		100266 LOGIS
LOCAL GOVERNMENT INFORMATION SYSTEMS ASS 5750 DULUTH STREET		Summary Total			797.50		
		PV 127324 001 00999	9/10/2024	68005	297.00		
GOLDEN VALLEY MN 55422-4036		Summary Total			297.00		
Payment Amount					1,094.50		
100283 MENARDS COON RAPIDS		PV 127294 001 00999	9/4/2024	26587	42.86		100283 MENARDS COON RA
MENARDS COON RAPIDS 3045 MAIN STREET		Summary Total			42.86		
		PV 127344 001 00999	9/4/2024	26605	355.70		
COON RAPIDS MN 55448		Summary Total			355.70		
		PV 127415 001 00999	9/7/2024	26781	75.35		
Summary Total					75.35		
Payment Amount					473.91		
100284 MENARDS ELK RIVER		PV 127345 001 00999	9/4/2024	1931	33.87		100284 MENARDS ELK RIVE
MENARDS ELK RIVER 19521 EVANS STREET NW		Summary Total			33.87		
		PV 127398 001 00999	8/25/2024	1452	22.63		
ELK RIVER MN 55330-1077		Summary Total			22.63		
		PV 127399 001 00999	8/28/2024	1603	146.52		
Summary Total					146.52		
Payment Amount					203.02		

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 Pay Through Date 9/25/2024

Payee		Stub	Document				Due	Invoice	Payment	Discount	Supplier	
Number	Name / Mailing Address	Message	Ty	Number	Itm	Co	Date	Number	Amount	Taken	Number	Name
100285	MET COUNCIL ENVIRONMENTAL SRV	Inv #1177016	PV	127156	001	00999	9/3/2024	0001177016	105,019.79		100285	MET COUNCIL ENVIRONMENTAL SF
	MET COUNCIL ENVIRONMENTAL SRV								Summary Total	105,019.79		
	P O BOX 856513								Payment Amount	105,019.79		
	MINNEAPOLIS MN 55485-6513											
119825	METRO CREATIVE GRAPHICS INC		PV	127187	001	00999	8/31/2024	318665	99.00		119825	METRO CREATIVE GRAPHICS INC
	METRO CREATIVE GRAPHICS INC								Summary Total	99.00		
	PO BOX 2085								Payment Amount	99.00		
	LIVINGSTON NJ 07039											
108208	METRO PRODUCTS INC		PV	127299	001	00999	8/28/2024	182241	79.46		108208	METRO PRODUCTS
	METRO PRODUCTS INC								Summary Total	79.46		
	7401 CENTRAL AVENUE NE		PV	127300	001	00999	8/28/2024	182240	132.90			
	FRIDLEY MN 55432								Summary Total	132.90		
			PV	127318	001	00999	9/4/2024	182334	485.10			
									Summary Total	485.10		
			PV	127319	001	00999	9/4/2024	182335	189.00			
									Summary Total	189.00		
									Payment Amount	886.46		
113946	MUNICIPAL EMERGENCY SERVICES INC		PV	127409	001	00999	8/30/2024	IN2111127	184.05		113946	MUNICIPAL EMERGE SERVICES INC

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Payee Number Name / Mailing Address	Stub Message	Document Ty Number Itm Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number Name
MUNICIPAL EMERGENCY SERVICES INC PO BOX 856892 MINNEAPOLIS MN 55485-6892					Summary Total 184.05		
		PV 127413 001 00999	9/6/2024	IN2113758	346.38		
					Summary Total 346.38		
					Payment Amount 530.43		
101234 NORTH VALLEY, INC NORTH VALLEY, INC	PAYAPP 4 24-01 BARTHEL'S RR ACR	PV 127354 001 09435	9/17/2024	24-01 #4	231,214.00		101234 NORTH VALLEY, INC
	PAYAPP 4 24-01 BARTHEL'S RR ACR	PV 127354 002 09435	9/17/2024	24-01 #4	7,406.45		
20015 IGUANA STREET NW #100 NOWTHEN MN 55330					Summary Total 238,620.45		
	PAYAPP 1 24-07 NGHBRHD PVMT OV	PV 127355 001 09435	9/17/2024	24-07 #1	745,922.50		
	PAYAPP 1 24-07 NGHBRHD PVMT OV	PV 127355 002 09435	9/17/2024	24-07 #1	178,234.93		
	PAYAPP 1 24-07 NGHBRHD PVMT OV	PV 127355 003 09435	9/17/2024	24-07 #1	14,906.07		
	PAYAPP 1 24-07 NGHBRHD PVMT OV	PV 127355 004 09435	9/17/2024	24-07 #1	57,075.62		
					Summary Total 996,139.12		
					Payment Amount 1,234,759.57		
111090 NORTHDALE CONSTRUCTION NORTHDALE CONSTRUCTION 9760 71ST STREET NE ALBERTVILLE MN 55301	PAYAPP 5 21-08 TRUNK WTR MAIN	PV 127356 001 09601	9/17/2024	21-08 #5	876,170.98		111090 NORTHDALE CONSTRUCTION
					Summary Total 876,170.98		
					Payment Amount 876,170.98		

CITY OF RAMSEY  
Create Payment Control Groups

Payment Group Control Number 3883  
 Bank Account 999.1010 CASH IN BANK 00002224  
 Version LOGIS004V  
 Originator JMORRISON  
 Payment Instrument T A/P ACH Payment  
 Pay Through Date 9/25/2024

Payee		Stub	Document				Due	Invoice	Payment	Discount	Supplier	
Number	Name / Mailing Address	Message	Ty	Number	Itm	Co	Date	Number	Amount	Taken	Number	Name
100363	NORTHERN SANITARY SUPPLY CO		PV	127179	001	00999	9/5/2024	209648	457.79		100363	NORTHERN SANITARY SUPPLY CO
	NORTHERN SANITARY SUPPLY CO 341 COON RAPIDS BLVD MINNEAPOLIS MN 55433			Summary Total					457.79			
			PV	127180	001	00999	8/28/2024	209607	157.30			
				Summary Total					157.30			
			PV	127347	001	00999	9/11/2024	209695	454.05			
				Summary Total					454.05			
				Payment Amount					1,069.14			
115071	NORTHLAND OCCUPATIONAL HEALTH		PV	127183	001	00999	9/4/2024	23001	50.00		115071	NORTHLAND OCCUPATIONAL HEA
	NORTHLAND OCCUPATIONAL HEALTH 7533 SUNWOOD DRIVE NW SUITE 212 RAMSEY MN 55303			Summary Total					50.00			
			PV	127184	001	00999	9/4/2024	23003	50.00			
				Summary Total					50.00			
			PV	127185	001	00999	8/29/2024	22970	50.00			
				Summary Total					50.00			
			PV	127186	001	00999	9/5/2024	23012	100.00			
				Summary Total					100.00			
				Payment Amount					250.00			
112421	PERRILL		PV	127420	001	00999	9/1/2024	263052	200.00		112421	PERRILL
	PERRILL 110 CHESHIRE LANE SUITE 105 MINNETONKA MN 55305			Summary Total					200.00			
				Payment Amount					200.00			

CITY OF RAMSEY  
Create Payment Control Groups

Payment Group Control Number 3883  
 Bank Account 999.1010 CASH IN BANK 00002224  
 Version LOGIS004V  
 Originator JMORRISON  
 Payment Instrument T A/P ACH Payment  
 Pay Through Date 9/25/2024

Payee Number	Payee Name / Mailing Address	Stub Message	Document Ty	Item Number	Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number	Supplier Name
100384	PLAISTED COMPANIES INC		PV	127340	001 00999	8/31/2024	74669	1,656.50		100384	PLAISTED COMPANII INC
	PLAISTED COMPANIES INC						Summary Total	1,656.50			
	PO BOX 332										
	11555 - 205TH AVENUE NW										
	ELK RIVER MN 55330						Payment Amount	1,656.50			
111839	REGENTS OF THE UNIVERSITY OF MINNESOTA	U of MN Plant Disease Test	PV	127209	001 00999	8/27/2024	0230052982	50.00		111839	REGENTS OF THE UNIVERSITY OF MINNESOTA
	REGENTS OF THE UNIVERSITY OF MINNESOTA						Summary Total	50.00			
	NW 5960	Oak Wilt Testing	PV	127377	001 00999	9/9/2024	0230053130	85.00			
	P O BOX 1450						Summary Total	85.00			
	MINNEAPOLIS MN 55485-5960						Payment Amount	135.00			
113499	ROSENBAUER MINNESOTA LLC		PV	127430	001 00999	8/27/2024	0000071145	2,530.00		113499	ROSENBAUER MINN LLC
	ROSENBAUER MINNESOTA LLC						Summary Total	2,530.00			
	P O BOX 549										
	5181 260TH STREET										
	WYOMING MN 55092						Payment Amount	2,530.00			
100431	SAFETY KLEEN		PV	127298	001 00999	9/3/2024	R003237458	110.97		100431	SAFETY KLEEN

Payment Group Control Number 3883  
 Bank Account 999.1010 CASH IN BANK 00002224  
 Version LOGIS004V  
 Originator JMORRISON  
 Payment Instrument T A/P ACH Payment  
 Pay Through Date 9/25/2024

Payee Number	Name / Mailing Address	Stub Message	Document Ty Number Itm Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number	Supplier Name
CORPORATION									
	SAFETY KLEEN CORPORATION PO BOX 975201 DALLAS TX 75397-5201		Summary Total			110.97			CORPORATION
			Payment Amount			110.97			
107711	SCHINDLER ELEVATOR SCHINDLER ELEVATOR P O BOX 93050 CHICAGO IL 60673-3050		PV 127181 001 00999	9/1/2024	8106688580	1,744.89		107711	SCHINDLER ELEVATI
			Summary Total			1,744.89			
			Payment Amount			1,744.89			
119374	SIGN SOLUTIONS USA, LLC SIGN SOLUTIONS USA, LLC PO BOX 1408 FARGO ND 58107-1408		PV 127297 001 00999	9/3/2024	413555	1,963.16		119374	SIGN SOLUTIONS US LLC
			Summary Total			1,963.16			
			Payment Amount			1,963.16			
119121	SLOTH INSPECTIONS INC Aug electrical insp service		PV 127212 001 00999	8/31/2024	08312024	7,190.25		119121	SLOTH INSPECTION: INC
			Summary Total			7,190.25			
			Payment Amount			7,190.25			
100485	TIMESAVER OFF SITE		PV 127188 001 00999	8/30/2024	M29455	1,035.25		100485	TIMESAVER OFF SIT

Payment Group Control Number 3883  
 Bank Account 999.1010 CASH IN BANK 00002224  
 Version LOGIS004V  
 Originator JMORRISON  
 Payment Instrument T A/P ACH Payment  
 Pay Through Date 9/25/2024

Number	Payee Name / Mailing Address	Stub Message	Document Ty	Number	Itm	Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number	Supplier Name
	SECRETARIAL INC											SECRETARIAL INC
	TIMESAVER OFF SITE SECRETARIAL INC 21021 KAROLINE COURT N FOREST LAKE MN 55025								Summary Total	1,035.25		
									Payment Amount	1,035.25		
112688	TITAN MACHINERY TITAN MACHINERY 14375 JAMES ROAD ROGERS MN 55374		PV	127303	001	00999	8/29/2024	PS0414851-1		40.75	112688	TITAN MACHINERY
									Summary Total	40.75		
									Payment Amount	40.75		
106812	TWIN CITY FILTER SERVICE INC TWIN CITY FILTER SERVICE INC 2529 25TH AVE S MINNEAPOLIS MN 55406-1280		PV	127178	001	00999	9/4/2024	0764679-IN		311.56	106812	TWIN CITY FILTER SERVICE INC
									Summary Total	311.56		
									Payment Amount	311.56		
112721	W W GOETSCH ASSOCIATES INC W W GOETSCH ASSOCIATES INC 5250 WEST 74TH STREET SUITE 24 MINNEAPOLIS MN 55439-2226		PV	127348	001	00999	9/5/2024	113179		54,872.00	112721	W W GOETSCH ASSOCIATES INC
									Summary Total	54,872.00		
									Payment Amount	54,872.00		
106351	WATER LABORATORIES, INC		PV	127153	001	00999	9/3/2024	10167		760.00	106351	WATER LABORATOR

Payment Group Control Number 3883  
 Bank Account 999.1010 CASH IN BANK 00002224  
 Version LOGIS004V  
 Originator JMORRISON  
 Payment Instrument T A/P ACH Payment  
 Pay Through Date 9/25/2024

Payee Number	Name / Mailing Address	Stub Message	Document Ty Number Itm Co	Due Date	Invoice Number	Payment Amount	Discount Taken	Supplier Number	Supplier Name
									INC
	WATER LABORATORIES, INC 333 EAST MAIN STREET PO BOX 388 ELK RIVER MN 55330		Summary Total			760.00			
			Payment Amount			760.00			
			Total Amount to be Processed			2,651,311.97			
			Total Number of Payments to be Processed			57			

Checks - 2,758,201.35  
 ACH - 2,651,311.97  
 -----  
 Total A/P - 5,409,513.32

Councilmember introduced the following resolution and moved for its adoption:

**RESOLUTION #24-283**

**RESOLUTION APPROVING CASH DISBURSEMENTS MADE AND AUTHORIZING PAYMENT OF ACCOUNTS PAYABLE INVOICING RECEIVED DURING THE PERIOD OF SEPTEMBER 5, 2024 THROUGH SEPTEMBER 18, 2024**

**WHEREAS**, the City of Ramsey Finance Department has made cash disbursements and received accounts payable invoicing during the period of September 5, 2024 through September 18, 2024 in the amount of \$6,153,344.46 and

**WHEREAS**, the City Council of the City of Ramsey is required to authorize payment for all disbursement transactions.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:**

- 1) That the Ramsey City Council hereby approves the cash disbursements made and authorizes payment of the accounts payable invoices as detailed in the attached Bills List for the period September 5, 2024 through September 18, 2024, in the amount of \$6,153,344.46

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember , and upon vote being taken thereon, the following voted in favor thereof:

Mayor Kuzma  
Councilmember  
Councilmember  
Councilmember  
Councilmember  
Councilmember

and the following voted against the same:

None

and the following abstained:

None

and the following were absent:

Whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 24th day of September, 2024.

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Mayor

**ATTEST:**

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City Clerk

**CC Regular Session New**

**Meeting Date:** 09/24/2024

**Primary Strategic Plan Initiative:** Promote economic growth and development.

**Title:**

Adopt Resolution #24-253 Approving an Amended Final Plat for "Donna Farms"

**Purpose/Background:**

On May 14, 2024, the City Council reviewed and approved a Final Plat for Donna Farms, a two-lot subdivision of Outlot B, Riverstone South. Since this approval, the landowner has requested to revise the Final Plat from two buildable lots to one buildable lot and one outlot. This change is due to one of the proposed businesses pulling out of the proposed development. The other business, U-Haul, is still proceeding with its development of Lot 1. This revised Final Plat will not change any of the approvals granted to U-Haul. Once the landowner receives an offer from another business or tenant to develop Outlot A, a separate Final Plat would need to be brought forward at that time to convert the land from an outlot to a buildable lot.

The proposed lot dimensions are the same as what was approved by City Council on May 14. However, the 6-acre parcel that was previously called Lot 2 (the eastern portion of the site) will be renamed Outlot A. No right-of-way is being platted with this request and no public utilities are being constructed. Both Lot 1 and Outlot A meet the bulk standards of the B-3 zoning district and both lots will have access to Riverdale Drive along the south edge of the plat.

**Notification:**

None required for final plats.

**Funding Source:**

All costs associated with this request are the Applicant's responsibility.

**Recommendation:**

Staff recommends approval of the revised Final Plat.

**Outcome/Action:**

Motion to adopt Resolution #24-253 Approving an Amended Final Plat for "Donna Farms".

**Attachments**

Resolution #24-253 Amended Final Plat  
Final Plat

**Form Review**

<b>Inbox</b>	<b>Reviewed By</b>	<b>Date</b>
Brian Hagen	Brian Hagen	09/19/2024 10:43 AM
Form Started By: Adam Martin		Started On: 09/10/2024 11:08 AM
Final Approval Date: 09/19/2024		

Councilmember \_\_\_\_\_ introduced the following resolution and moved for its adoption:

**RESOLUTION #24-253**

**A RESOLUTION APPROVING AN AMENDED FINAL PLAT FOR “DONNA FARMS”**

**RECITALS**

1. **WHEREAS**, The City of Ramsey received an application from Markquart RV (the "**Applicant**") requesting a Sketch Plan and Final Plat on the property legally described as follows:

Outlot B, Riverstone South, Anoka County, Minnesota

(the “**Subject Property**”)

2. **WHEREAS**, the **Applicant** requested to replat one outlot, measuring approximately 14.73 acres in size, into two buildable lots, necessitating the subdivision; and
3. **WHEREAS**, the **Applicant** appeared before the Planning Commission for a public hearing on April 25, 2024, that said public hearing was properly advertised; and
4. **WHEREAS**, the Planning Commission reviewed and recommended approval of the request at a public hearing on April 25, 2024; and
5. **WHEREAS**, the City Council reviewed and approved the initial request via Resolution #24-116 at its meeting on May 14, 2024.
6. **WHEREAS**, the **Applicant** requested a revision to the approved Final Plat, changing the previously-approved two buildable lots into one buildable lot and one outlot.
7. **WHEREAS**, the City Council reviewed the revised request at its meeting on September 24, 2024.

**NOW THEREFORE, BE IT RESOLVED BY THIS CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:**

That the Ramsey City Council hereby grants Final Plat approval of Donna Farms for a plat with one business lot and one outlot in accordance with relevant City Codes, subject to the following conditions:

- 1.01. Final legal form approved by the City Attorney.
- 1.02. That the **Applicant** shall be responsible for all City costs incurred in administering and enforcing this Permit.

- 1.03. The following standard development and park/trail dedication fees are required for Lot 1, Block 1, in lieu of a development agreement. These fees are based on the acreage of Lot 1, which measures at 8.73 acres. Fees on Outlot A will be charged at the rates in effect at the time of its subdivision. These fees must be paid in order to release the plat for recording.
  - A. Park dedication payment of \$44,523.00.
  - B. Trail development fee of \$11,349.00.
  - C. Water Trunk Connection fee of \$64,104.00.
  - D. Water Lateral Benefit fee of \$67,928.00.
  - E. Sanitary Sewer Trunk Connection fee of \$35,470.00.
  - F. Sanitary Sewer Lateral Benefit fee of \$77,872.00.
  - G. Storm Water Management fee of \$46,452.00.
  
- 1.04. The above fees are required in conjunction with Resolution #24-254, which approves a Development Agreement for U-Haul at 8725 Riverdale Drive NW.

# DONNA FARMS

**CITY OF RAMSEY  
COUNTY OF ANOKA  
SEC. 29 & 30, TWP. 32, RGE. 25**

KNOW ALL PERSONS BY THESE PRESENTS: That Donna Farms, LLC, a Minnesota limited liability company, owner of the following described property:

Outlot B, RIVERSTONE SOUTH, according to the recorded plat thereof, Anoka County, Minnesota.

Has caused the same to be surveyed and platted as DONNA FARMS and does hereby dedicate to the public for public use the drainage and utility easements as shown on this plat.

In witness whereof said Donna Farms, LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officer this \_\_\_ day of \_\_\_\_\_, 20\_\_.

DONNA FARMS, LLC

Steven M. Jung, President

STATE OF \_\_\_\_\_

COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me on \_\_\_\_\_ by Steven M. Jung, President of Donna Farms, LLC, a Minnesota limited liability company, on behalf of the company.

\_\_\_\_\_(Signed)

\_\_\_\_\_(Printed)

Notary Public, \_\_\_\_\_ County, \_\_\_\_\_

My commission expires \_\_\_\_\_

I Jason E. Rud do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this \_\_\_ day of \_\_\_\_\_, 20\_\_.

Jason E. Rud, Licensed Land Surveyor  
Minnesota License No. 41578

STATE OF \_\_\_\_\_

COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me on \_\_\_\_\_ by Jason E. Rud.

\_\_\_\_\_(Signed)

\_\_\_\_\_(Printed)

Notary Public, \_\_\_\_\_ County, Minnesota

My commission expires \_\_\_\_\_

CITY COUNCIL, CITY OF RAMSEY, MINNESOTA

This plat of DONNA FARMS was approved and accepted by the City Council of the City of Ramsey, Minnesota at a regular meeting thereof held this \_\_\_ day of \_\_\_\_\_, 20\_\_, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

CITY COUNCIL, CITY OF RAMSEY, MINNESOTA

By: \_\_\_\_\_, Mayor

By: \_\_\_\_\_, Clerk

COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this \_\_\_ day of \_\_\_\_\_, 20\_\_.

By: \_\_\_\_\_

David M. Ziegler  
Anoka County Surveyor

COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20\_\_ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this \_\_\_ day of \_\_\_\_\_, 20\_\_.

Property Tax Administrator

By: \_\_\_\_\_, Deputy

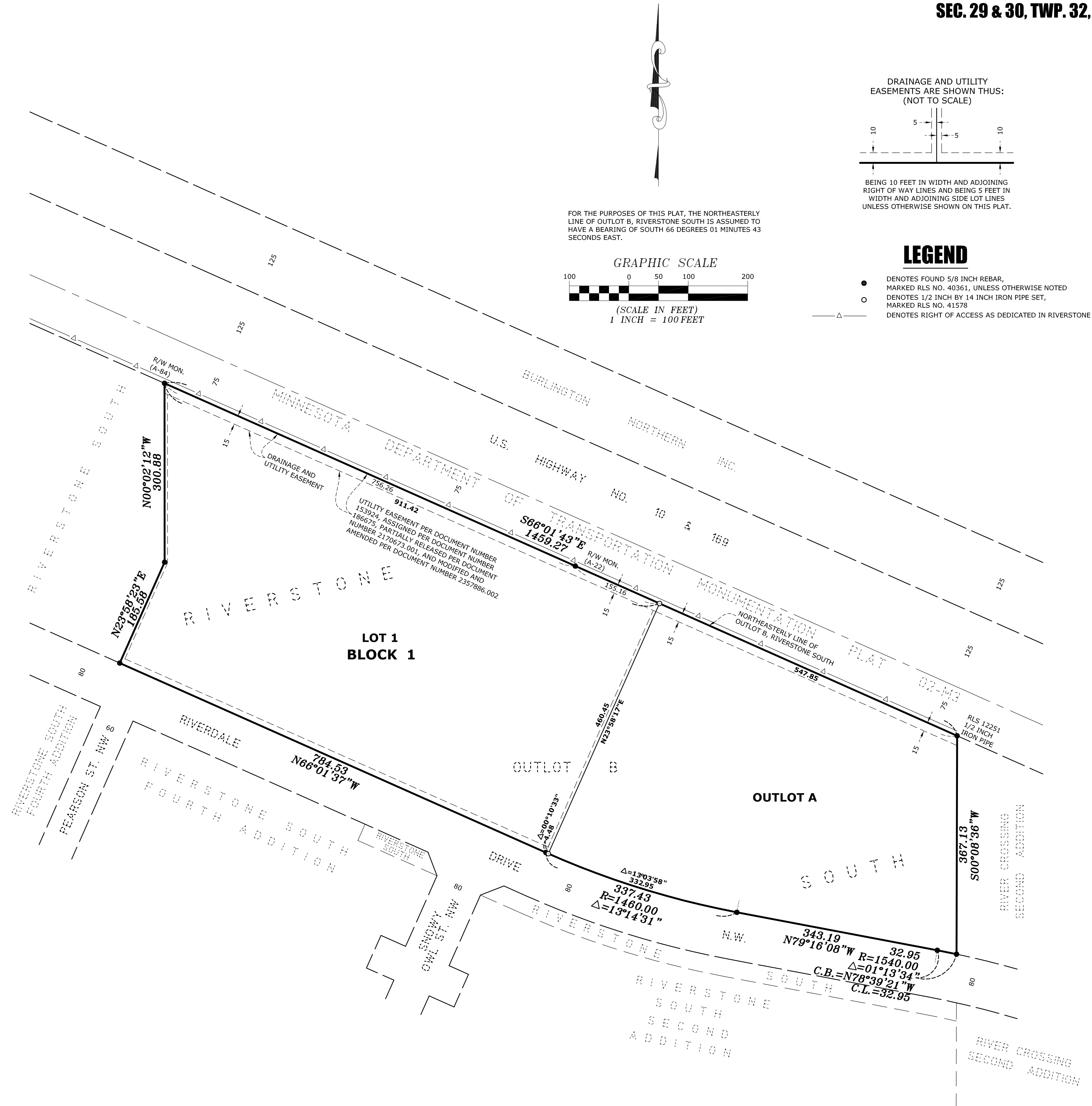
COUNTY RECORDER/REGISTRAR OF TITLES

County of Anoka, State of Minnesota

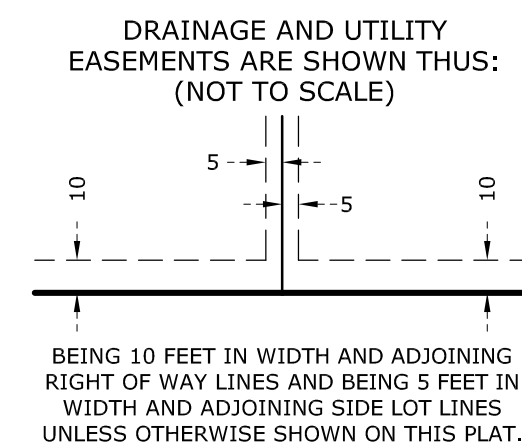
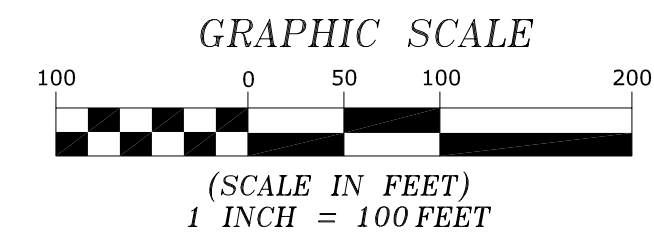
I hereby certify that this plat of DONNA FARMS was filed in the office of the County Recorder/Registrar of Titles for public record on this \_\_\_ day of \_\_\_\_\_, 20\_\_, at \_\_\_ o'clock \_\_.M. and was duly recorded as Document Number \_\_\_\_\_.

County Recorder/Registrar of Titles

By: \_\_\_\_\_, Deputy



FOR THE PURPOSES OF THIS PLAT, THE NORTHEASTERLY LINE OF OUTLOT B, RIVERSTONE SOUTH IS ASSUMED TO HAVE A BEARING OF SOUTH 66 DEGREES 01 MINUTES 43 SECONDS EAST.



- LEGEND**
- DENOTES FOUND 5/8 INCH REBAR, MARKED RLS NO. 40361, UNLESS OTHERWISE NOTED
  - DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET, MARKED RLS NO. 41578
  - △— DENOTES RIGHT OF ACCESS AS DEDICATED IN RIVERSTONE SOUTH

**CC Regular Session New**

**Meeting Date:** 09/24/2024

**Primary Strategic Plan Initiative:** Promote economic growth and development.

**Title:**

Adopt Resolution #24-254 Approving a Development Agreement for U-Haul at 8725 Riverdale Drive NW

**Purpose/Background:**

On August 12, 2024, the City Council approved the Conditional Use Permit and Site Plan for U-Haul, located at 8725 Riverdale Drive NW. Since that date, the Applicant has supplied engineering cost estimates to Staff as part of drafting the Development Agreement for U-Haul. The Development Agreement is standard in its form.

The requested action is to approve the Development Agreement for the approved development. This is the last step in Council actions before U-Haul can apply for building permits to construct the eight structures.

**Notification:**

Public notification is not required.

**Time Frame/Observations/Alternatives:**

Alternatives to Consider:

1. Approve the Development Agreement as presented.
2. Approve the Development Agreement with modifications that City Council requests.
3. Deny the Development Agreement based on specific findings.

**Funding Source:**

All costs associated with this request are the Applicant's responsibility.

**Recommendation:**

Staff recommends approval of the Development Agreement.

**Outcome/Action:**

Motion to adopt Resolution #24-254 Approving a Development Agreement for U-Haul at 8725 Riverdale Drive NW.

**Attachments**

Resolution #24-254 Development Agreement  
U-Haul Development Agreement

**Form Review**

<b>Inbox</b>	<b>Reviewed By</b>	<b>Date</b>
Brian Hagen	Brian Hagen	09/19/2024 10:41 AM
Form Started By: Adam Martin		Started On: 09/16/2024 09:38 AM
Final Approval Date: 09/19/2024		

Councilmember \_\_\_\_\_ introduced the following resolution and moved for its adoption:

**RESOLUTION #24-254**

**A RESOLUTION APPROVING A DEVELOPMENT AGREEMENT FOR “U-HAUL”**

**WHEREAS**, The City of Ramsey received an application from Amerco Real Estate Company (the “**Applicant**”), doing business as U-Haul, requesting approval of a Conditional Use Permit for Motor Vehicle Rental and Self-Storage Facilities on the property legally described as follows:

Lot 1, Block 1, Donna Farms, Anoka County, Minnesota

(the “**Subject Property**”).

**WHEREAS**, the **Subject Property** is zoned B-3, Regional Business District, and is guided for commercial land uses in the 2040 Comprehensive Plan; and

**WHEREAS**, the **Applicant** is proposing to construct a Motor Vehicle Rental business and Self-Storage Facility on an 8.73-acre lot; and

**WHEREAS**, all Motor Vehicle Rental and Self-Storage Facility uses within the B-3 zoning district require Conditional Use Permits and formal Site Plan Reviews from Planning Commission and City Council; and

**WHEREAS**, the **Applicant** submitted a Site Plan alongside the Conditional Use Permit application to Staff on June 14, 2024; and

**WHEREAS**, the **Applicant** appeared before the Planning Commission for a public hearing on July 25, 2024, that said public hearing was property advertised; and

**WHEREAS**, the Planning Commission reviewed the Conditional Use Permit and Site Plan at their regular meeting on July 25, 2024 and recommended approval of both; and

**WHEREAS**, the City Council reviewed and approved that request at their meeting on August 12, 2024; and

**WHEREAS**, a Development Agreement is required to provide financial guaranty of site improvements for proposed developments; and

**WHEREAS**, the proposed Development Agreement conforms to City Code requirements; and

**WHEREAS**, the City Council reviewed the request at their meeting on September 24, 2024.

**NOW THEREFORE, BE IT RESOLVED BY THIS CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:**

That the Ramsey City Council hereby grants approval of the Development Agreement for U-Haul on the **Subject Property** in accordance with relevant City Codes, subject to the following conditions:

- 1) Final legal form approved by the City Attorney.
- 2) That the **Developer** enters into a Development Agreement with the City.
- 3) That the Mayor and City Administrator are authorized to sign the Development Agreement.

**AMERCO REAL ESTATE COMPANY (U-HAUL)  
DEVELOPMENT AGREEMENT  
CITY OF RAMSEY, ANOKA COUNTY, MINNESOTA**

This Agreement (hereinafter the “Agreement”) is dated as of this 24<sup>th</sup> day of September, 2024, and is by and between the City of Ramsey, a Minnesota municipal corporation (the “**CITY**”) and **AMERCO REAL ESTATE COMPANY**, a Nevada corporation (the “**PERMITTEE**”).

**Recitals**

- A. The **PERMITTEE** is the fee title owner of land generally known as 8725 Riverdale Drive Northwest, Ramsey, MN 55303 and legally described as:
- Lot 1, Block 1, Donna Farms, Anoka County, Minnesota
- (the “**Subject Property**”)
- B. That on June 14, 2024, the **CITY** received a Land Use Application from Amerco Real Estate Company (the “**PERMITTEE**”), doing business as U-Haul, requesting a Conditional Use Permit and Site Plan as part of a proposal to construct seven commercial buildings to operate on the **Subject Property**, and associated site improvements (cumulatively, the “**New Building**”).
- C. That on July 25, 2024, the Planning Commission reviewed and recommended approval of the Conditional Use Permit and Site Plan.
- D. That on August 12, 2024, the City Council adopted Resolution #24-202, which approved the Conditional Use Permit and Site Plan for the proposed **New Building**.
- E. The **PERMITTEE** intends to cause the Required Improvements to the **Subject Property** to be constructed without financial participation by the **CITY**.

**Agreement**

**SECTION I  
REQUIRED IMPROVEMENTS AND FINANCIAL RESPONSIBILITIES**

1. **City Code Compliance.** The CITY approves the site plan (the “Site Plan”) conditioned on the PERMITTEE developing the **Subject Property** in accordance with the applicable provisions of City Code.
2. **Conformance with the Plans.** The **Subject Property** shall be developed in accordance with the final plans (the “Plans”) prepared by Demarc Land Surveying & Engineering, Premium Quality Lighting, and A&M Associates, Inc. and dated August 9, 2024. The **Plans** remain subject to: (a) City Staff’s review and approval of the **Plans** to, among other things, confirm that the revisions requested in the CITY’s review have been made; and (b) such further revisions as the PERMITTEE may propose and the CITY approves. The **Plans** shall not be attached to this **Agreement**, but are in the CITY’s files.
3. **Incorporation of All City Code Requirements.** That the recitals above and the applicable provisions of the City Charter, Subdivision Code, and Zoning Code of the CITY, as amended to date hereof, are incorporated herein by reference.
4. **State Building Code Compliance.** The structure(s) shall be constructed in accordance with the requirements of the Building Code.
5. **Fire Lanes.** Fire lanes shall be maintained on the **Subject Property**. The exact locations of these items on the **Subject Property** shall be as directed by the Fire Chief. The PERMITTEE herein agrees to post “No Parking” signs along driveways in accordance with City Code requirements and in conjunction with the instructions of the Fire Chief.
6. **Required On-Site Improvements.** The PERMITTEE shall construct and install the following site improvements on the **Subject Property** in accordance with the specifications and location as shown on the **Plans**. The Required Improvements and the allocated costs therefor are as follows:

Required Improvement – U-Haul	Cost	125% of Cost Release Amount
a. Site work (including lot grading, parking lot and driveway bituminous pavement, and concrete walkways, curb, and gutter)	\$449,308.00	\$561,635.00
b. Landscaping (including temporary and permanent erosion control)	\$83,020.00	\$103,775.00
c. Storm drainage facilities	\$100,276.00	\$125,345.00
d. Sanitary sewer service	\$21,200.00	\$26,500.00
e. Water services	\$39,247.00	\$49,058.75
TOTAL	\$693,051.00	\$866,313.75

("Required Improvements")

The **PERMITTEE** agrees to construct the **Required Improvements** according to the terms and conditions of this **Agreement**, in accordance with the **Plans**, and in compliance with Staff review comments.

7. **Required Off-Site Improvements.** The **PERMITTEE** shall construct and install the following site improvements in the right-of-way of Riverdale Drive NW immediately south of the **Subject Property** in accordance with the specifications and location as shown on the **Plans**. The Required Improvements and the allocated costs therefor are as follows:

Required Improvement – U-Haul	Cost	125% of Cost Release Amount
f. Site work (including lot grading, parking lot and driveway bituminous pavement, and concrete walkways, curb, and gutter)	\$9,616.00	\$12,020.00
g. Landscaping (including temporary and permanent erosion control)	\$5,000.00	\$6,250.00
<b>TOTAL</b>	<b>\$14,616.00</b>	<b>\$18,270.00</b>

("Required Improvements")

The **PERMITTEE** agrees to construct the **Required Improvements** according to the terms and conditions of this **Agreement**, in accordance with the **Plans**, and in compliance with Staff review comments.

8. **Required Improvements Completion Date.** The **Required Improvements** shall be completed within twenty-four (24) months from the date of Site Plan approval for the **New Building**, subject to Unavoidable Delays. For the purposes of this Agreement, Unavoidable Delays means delays, outside the control of the party claiming its occurrence, which are the result of strikes, other labor troubles, unusually severe or prolonged bad weather, acts of God, global pandemic, epidemic, fire or other casualty to the Project, litigation commenced by third parties which, by injunction or other similar judicial action or by the exercise of reasonable discretion, results in delays, or acts of any federal, state or local governmental unit other than the **CITY**.
9. **Required Improvements Financial Guaranty.** In order to ensure the installation of the **Required Improvements** in accordance with **CITY** specifications and in a timely manner, the **PERMITTEE** shall be required to deposit with the **CITY** a cash escrow or an irrevocable letter of credit, approved as to form by the **CITY**, in the amount of **Eight Hundred Eighty-Four Thousand Five Hundred Eighty-Three Dollars and Seventy-Five Cents (\$884,583.75)**, which is 125% of the **CITY's** estimated cost of the **Required Improvements** for the on-site and off-site improvements. Prior to the issuance of the building permit, the financial guaranty must be provided as required herein.

At the request of **PERMITTEE**, the **CITY** shall, not more frequently than once monthly, release that part of the Financial Guaranty for any completed portion of the Required Improvements in the amount set forth in Section 6 that have been accepted in writing by the **CITY**. Upon completion of the construction of all or any remaining of the **Required Improvements** and written acceptance by the **CITY**, the financial guaranty shall be returned to the **PERMITTEE** and the **PERMITTEE** shall be required to provide the landscaping maintenance guaranty described in Section III Paragraph 11 of this **Agreement**. The determination of completion of the construction of the **Required Improvements** shall be made by the **CITY**. In the event the **PERMITTEE** fails to

construct and install the **Required Improvements** as required herein, the City Council may order the completion of the **Required Improvements** with **CITY** day labor and/or by letting contracts for said completion and draw upon the escrow for payment. Only the City Council shall have the authority to direct completion of the **Required Improvements** and withdraw from the escrow account. The **PERMITTEE** hereby grants permission and a license to the **CITY** and/or its contractors and assigns to enter upon the **Subject Property** for the purpose of completing the construction and installation of the **Required Improvements** in the event of the **PERMITTEE's** default.

10. **Site Inspection Fees.** The **PERMITTEE** shall be responsible for all site inspection costs incurred by the **CITY** related to the installation of **Required Improvements**. The **PERMITTEE** shall make a cash deposit into the appropriate escrow account at the **CITY** and the **CITY** shall have the authority to draw upon these funds for the purpose of compensating for inspection services. The amount of the deposit shall be equal to five percent (5%) of the estimated cost of the **Required Improvements**, which equates to **Thirty-Five Thousand Three Hundred Eighty-Three Dollars and Thirty-Five Cents (\$35,383.35)** (5% x \$707,667.00). Upon completion of the **Required Improvements** to the satisfaction of the **CITY**, any surplus balance remaining in the **CITY's** escrow account shall be refunded to the **PERMITTEE**.
11. **Street Sign Fee.** While the **CITY** provides and installs the street name and traffic control signage, the **PERMITTEE** is responsible for paying for them at a rate of \$245 per sign. **PERMITTEE** must pay a Street Sign Fee of **\$2,450.00** (\$245 x 8 no parking signs; \$245 x 2 stop signs).

## SECTION II PLATTING FEE INFORMATION

The **Subject Property** is legally described on Lot 1, Block 1, Donna Farms. The Donna Farms plat application was submitted by another entity, and that entity bears the responsibility of paying all applicable platting fees. All fees must be paid prior to the **PERMITTEE** constructing the **Required Improvements**. Items 12 through 17 in this section are included as reference to the Donna Farms platting fees.

12. **Storm Water Management Fee.** The **PERMITTEE** is responsible for satisfying applicable Storm Water Management Fee requirements for the plat of Donna Farms. The **PERMITTEE** must pay a Storm Water Management Fee of **\$46,452.00** (8.73 acres x \$5,321.00 per acre).
13. **Park Dedication and Trail Development.** The **PERMITTEE** is responsible for satisfying applicable Park Dedication requirements with the plat of Donna Farms. The **PERMITTEE** must pay **\$44,523** (park dedication) and **\$11,349** (trail development). These amounts are based off 8.73 acres at \$5,100 per acre (park dedication) and \$1,300 per acre (trail development).
14. **Sanitary Sewer Connection (Trunk) Fees.** The **PERMITTEE** is responsible for satisfying applicable Sanitary Sewer Trunk Fee requirements for the plat of Donna Farms. The **PERMITTEE** must pay a Sanitary Sewer Trunk Fee of **\$35,470.00** (8.73 acres x \$4,063.00 per acre).
15. **Sanitary Sewer Lateral Benefit Fees.** The **PERMITTEE** is responsible for satisfying applicable Sanitary Sewer Lateral Benefit Fee requirements for the plat of Donna Farms. The **PERMITTEE** must pay a Sanitary Sewer Lateral Benefit Fee of **\$77,872.00** (8.73 acres x \$8,920.00 per acre).
16. **Water Connection (Trunk) Fees.** The **PERMITTEE** is responsible for satisfying applicable Water Trunk Fee requirements with the plat of Donna Farms. The **PERMITTEE** must pay a Water Trunk Fee of **\$64,104.00** (8.73 acres x \$7,343.00 per acre).

17. **Water Lateral Benefit Fees.** The **PERMITTEE** is responsible for satisfying applicable Water Lateral Benefit Fee requirements for the plat of Donna Farms. The **PERMITTEE** must pay a Water Lateral Benefit Fee of **\$67,928.00** (8.73 acres x \$7,781.00 per acre).

### SECTION III PERMITS AND OCCUPANCY

18. **Requirements for Building Permit.**

- a. No building permit shall be issued until the **PERMITTEE** has: (a) installed a Class 5 driving surface to within 300 feet of the structure; (b) provided the **CITY** Building Official with a Certificate of Survey; (c) the financial guaranty described in Section I Paragraph 8 to the **CITY**; and (d) obtained all necessary permits from the Lower Rum River Watershed Management Organization and has provided a copy of such permit to the **CITY**, if applicable; and
- b. No occupancy permit shall be issued until the **PERMITTEE** has: (a) constructed vehicular access to the lot, including the installation of at least one layer of bituminous surfacing; and (b) constructed all utilities and storm water facilities this **Agreement** requires to serve the lot and such utilities and storm water facilities are in place, operational and accepted by the **CITY**.

### SECTION IV ON-SITE LANDSCAPING

19. **Maintenance Guaranty for Landscaping.** It is herein agreed that the **PERMITTEE** shall provide a maintenance guaranty to ensure the survival of the plantings. Said maintenance guaranty shall consist of cash or an irrevocable letter of credit, approved as to form by the **CITY**, in the amount of **Eleven Thousand Seven Hundred Twenty-Three Dollars and No Cents (\$11,723.00)** [# plantings (71 trees and 237 shrubs) x cost/planting (\$300/tree and \$75/shrub) x 30% average non-survival rate], which shall be in effect for a two (2) year period commencing on the date of the **CITY's** written acceptance of said plantings as part of the **Required Improvements**.

At the end of the two (2) year period, the **PERMITTEE** shall contact the **CITY** to schedule a final inspection of the landscaping. The determination that all plantings that have been planted in accordance with the **Plans** have either survived or have been replaced shall be made by the **CITY**. Upon approval of the final landscape inspection by the **CITY**, the maintenance guaranty shall be returned to the **PERMITTEE**. In the event the **PERMITTEE** fails to maintain the required plantings for a two (2) year period, the City Council may order the replacement of plantings with **CITY** day labor and/or by letting contracts and draw upon the escrow for payment. Only the City Council shall have the authority to direct replacement of the plantings and withdraw from the escrow account. The **PERMITTEE** hereby grants permission and a license to the **CITY** and/or its contractors and assigns to enter upon the **Subject Property** for the purpose of replacing plantings in the event of the **PERMITTEE** default.

### SECTION V GENERAL

20. **As-Built Record Plan.** The **PERMITTEE** shall provide the **CITY** with a set of re-producible as-built plans in Computer Aided Drafting (CAD) format upon completion of storm sewer, sanitary sewer, and water connections at the stubs in Riverdale Drive NW.

21. **Survey Monumentation.** The **PERMITTEE** must protect all lot corner stakes and survey monumentation at all lot corners.
22. **Warranty for Off-Site Improvements in the Public Right-of-Way.** The **PERMITTEE** shall provide a one-year warranty in the amount of \$3,654.00, which is 25% of the cost of the improvements in the Riverdale Drive NW right-of-way. Said warranty shall be in force for one year following the final acceptance of any required improvements and shall guarantee satisfactory performance of said improvement. The warranty must be in the form of a cash escrow.
23. **Boulevard and Area Restoration.** The **PERMITTEE** shall be responsible for restoring all areas disturbed by the development grading operation in accordance with the approved erosion and sediment control plan. The **PERMITTEE** shall also be responsible for the cost of cleaning any soil, earth or debris from the wetlands within and adjacent to the **Subject Property** resulting from grading performed in the development of the land.
24. **Construction Site Maintenance.** The **PERMITTEE** shall adhere to all **CITY** ordinances relating to, but not limited to, dumping of garbage, site development, construction debris, open burning, etc.
25. **Construction, Hours and Entrance Signs.** The **CITY** restricts construction and delivery hours to Monday through Saturday 7:00 a.m. to 10:00 p.m. The **PERMITTEE** is required to provide a sign at each entrance point stating delivery and construction operation hours. Said signs are not to exceed eighty (80) square feet in size and must be clearly visible at all times during the construction period.
26. **Estimated Cost.** It is understood and agreed that cost amounts set forth in this **Agreement** as **Required Improvements**, unless specified as fixed amounts, are estimated. The **PERMITTEE** agrees to pay the entire cost of said improvements including interest, engineering and legal charges.
27. **Site Plan Approval Expenses.** The **PERMITTEE** agrees that it will pay to the **CITY** all **CITY** expenses incurred in the approval of the **Site Plan**, including, but not limited to administration expenses, engineering and legal fees. Said expenses shall be paid within fifteen (15) days of billing by the **CITY** and outstanding billings shall be paid prior to issuance of the building permit. Any expenses incurred after the release of the building permit shall also be paid within said fifteen (15) day billing period. Failure to pay the **CITY's** expenses within the fifteen (15) day billing period will permit the **CITY** to draw upon any of the escrows required by this contract for payment.
28. **Reimbursement to the City.** The **PERMITTEE** agrees to reimburse the **CITY** for all costs incurred by the **CITY** in defense or enforcement of this **Agreement**, or any portion thereof, including court costs and reasonable engineering and attorney's fees.
29. **Invalidity of Any Section.** If any portion, section, subsection, sentence, clause, paragraph or phrase of this **Agreement** is for any reason held to be invalid by a court of competent jurisdiction, such decision shall not affect or void any of the other provisions of this **Agreement**.
30. **Proof of Authority.** When the **PERMITTEE** is a corporation, the **CITY** requires proof of authority by the corporation to execute this **Agreement**. This proof of authority may be satisfied by providing the **CITY** with a certified copy of minutes of the corporate Board of Directors granting such authority.

31. **Violation of This Permit.** If the **PERMITTEE** fails to perform any of the terms of this **Agreement** in the manner required by the **CITY**, the **CITY** shall be entitled to recover, from the **PERMITTEE** or the issuer of **PERMITTEE** financial guarantee, the full amount of any and all financial guarantees. Breach of any of the terms of this **Agreement** by the **PERMITTEE** shall also be grounds for denial of Building Permit or issuance of Certificate of Occupancy.
32. **Certificate of Occupancy.** The term “Certificate of Occupancy” as used in this **Agreement** shall be defined as a document issued by the **CITY’s** Building Official, which authorizes the structure to be used for its intended purposes.
33. **Agreement Binding on Successors and Assigns.** The **PERMITTEE** agrees that this **Agreement** shall be binding upon its successors and assigns.
34. **Notices.** Required notices shall be in writing, and shall be either hand delivered to the Parties, its employees or agents, or mailed to them by certified or registered mail at the following address:

**TO PERMITTEE:**

Amerco Real Estate Company  
Attn: Matthew F. Braccia  
2727 N. Central Ave.  
Phoenix, AZ 85004

**TO THE CITY:**

City of Ramsey  
Attn: Community Development Director  
7550 Sunwood Dr. NW  
Ramsey, MN 55303

*[The rest of this page left intentionally blank]*

**THE PERMITTEE:**

Amerco Real Estate Company

By: \_\_\_\_\_  
Matthew F. Braccia  
Its: President

STATE OF ARIZONA            )  
  ) ss.  
COUNTY OF MARICOPA    )

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2024, by Matthew F. Braccia, the President of Amerco Real Estate Company, a Nevada corporation, on behalf of the company.

\_\_\_\_\_  
Notary Public

**THE CITY:**

CITY OF RAMSEY

By: \_\_\_\_\_  
Mark E. Kuzma  
Its: Mayor

By: \_\_\_\_\_  
Brian Hagen  
Its: City Administrator

STATE OF MINNESOTA            )  
  ) ss.  
COUNTY OF ANOKA            )

The forgoing instrument was acknowledged before me on this \_\_\_\_\_ day of \_\_\_\_\_ 2024, by Mark E. Kuzma and Brian Hagen, the Mayor and the City Administrator of the City of Ramsey, a charter city and municipal corporation organized under the laws of the state of Minnesota on behalf of the City.

\_\_\_\_\_  
Notary Public

**This document drafted by:**  
City of Ramsey  
7550 Sunwood Drive NW  
Ramsey, MN 55303

**This document reviewed by:**  
HKB Law, P.A.  
413 Wacouta Street, Suite 550  
St. Paul, MN 55101

**CC Regular Session New**

**Meeting Date:** 09/24/2024

**Primary Strategic Plan Initiative:** Not Applicable

**Title:**

Adopt Resolution #24-257 Approving Partial Payment to GMH Asphalt Corporation for Improvement Project #24-03, 2024 NE Ramsey Street Reconstructions.

**Purpose/Background:**

Resolution and Pay Request Attached

**Recommendation:**

The Senior Engineering Technician has inspected the completed work and recommends partial payment to GMH Asphalt Corporation for improvement project #24-03, 2024 NE Ramsey Street Reconstructions in the amount of \$362,832.62.

**Outcome/Action:**

Motion to adopt Resolution #24-257 approving partial payment to GMH Asphalt Corporation for improvement project #24-03, 2024 NE Ramsey Street Reconstructions in the amount of \$362,832.62.

**Attachments**

Pay Resolution #24-257  
Pay Request

**Form Review**

<b>Inbox</b>	<b>Reviewed By</b>	<b>Date</b>
Bruce Westby	Bruce Westby	09/19/2024 10:13 AM
Brian Hagen	Brian Hagen	09/19/2024 10:59 AM
Form Started By: Stacie Damjanovich		Started On: 09/10/2024 11:12 AM
Final Approval Date: 09/19/2024		

Councilmember \_\_\_\_ introduced the following resolution and moved for its adoption:

**RESOLUTION #24-257**

**RESOLUTION APPROVING PARTIAL PAYMENT No. 2 TO GMH ASPHALT CORPORATION FOR 2024 NE RAMSEY STREET RECONSTRUCTIONS, IMPROVEMENT PROJECT #24-03**

**WHEREAS**, the City of Ramsey proposes to reconstruct the streets within the Ford Brook Estates 3<sup>rd</sup>, Rodeo Hills Estates, Valley View Acres, and Section 01 Unplatted north of CR 27 subdivisions as identified within the 2024 – 2033 10-Year Capital Improvement Program; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #23-199, adopted August 22, 2023, The City Council awarded the proposal from Hakanson Anderson to prepare final plans and specifications for 2024 NE Ramsey Street Reconstruction, Improvement Project #24-03; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #23-279, adopted November 14, 2023, the City Council awarded the proposal from Haugo Geotechnical Services, LLC to preform geotechnical proposals for Improvement Project #24-03; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #24-032, adopted January 23, 2024, the City Council negotiated a Joint Powers Agreement with the City of Nowthen for 2024 NE Ramsey Street Reconstruction, Improvement Project #24-03; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #24-109, adopted April 23, 2024, the City Council approved final plans and specifications as prepared by Hakanson Anderson and authorized advertisement for bids for the same improvements; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #24-139, adopted May 28, 2024, a contract was awarded to GMH Asphalt Corporation of Chaska, Minnesota, in the amount of \$2,441,039.52 for said improvements; and

**WHEREAS**, as of September 24, 2024 \$437,181.59 has been paid to date; and

**WHEREAS**, as of September 24, 2024 \$45,104.53 has been paid to the City of Ramsey from the City of Nowthen to date; and

**WHEREAS**, the Senior Engineering Technician has inspected the completed work and recommends partial payment No. 2 to GMH Asphalt Corporation of Chaska, Minnesota, for improvement project #24-03 2024 NE Ramsey Street Reconstructions, in the amount of \$362,832.62. The City of Nowthen is therefore to be invoiced by the City of Ramsey \$47,893.47 according to the Joint Powers Agreement adopted on January 23, 2024.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA:**

- 1) The City Council hereby authorizes partial payment No. 2 to GMH Asphalt Corporation of Chaska, Minnesota for Improvement Project #24-03, 2024 NE Ramsey Street Reconstructions in the amount of \$362,832.62.

- 2) The City Council hereby authorizes the Mayor and City Administrator to sign the release form for this payment.
- 3) The total amount of this payment is not included in resolutions approving payment of bills for the date of September 24, 2024.
- 4) The City of Ramsey Finance Department will be provided a signed copy of this resolution.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember \_\_\_\_\_ and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

Whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 24<sup>th</sup> day of September, 2024.

\_\_\_\_\_  
Mayor

**ATTEST:**

\_\_\_\_\_  
City Clerk



**PAY ESTIMATE #2**  
**City of Ramsey**  
**Northeast Ramsey Street Reconstruction Project**

Base Bid - City of Ramsey

ITEM NO.	ITEM DESCRIPTION	ESTIMATED QUANTITY	UNIT	CONTRACT UNIT PRICE	CONTRACT AMOUNT	USED TO DATE	EXTENSION
1	MOBILIZATION	1	LUMP SUM	\$ 70,000.00	\$ 70,000.00	1.0	\$ 70,000.00
2	CLEARING	1.25	ACRE	\$ 6,350.00	\$ 7,937.50	1.25	\$ 7,937.50
3	GRUBBING	1.25	ACRE	\$ 4,250.00	\$ 5,312.50	1.25	\$ 5,312.50
4	REMOVE MANHOLE OR CATCH BASIN	1	EACH	\$ 413.00	\$ 413.00	1	\$ 413.00
5	SALVAGE MAILBOX SUPPORT	69	EACH	\$ 79.35	\$ 5,475.15	69	\$ 5,475.15
6	SAWING CONCRETE PAVEMENT - FULL DEPTH	372	LIN FT	\$ 5.60	\$ 2,083.20	380	\$ 2,128.00
7	SAWING BITUMINOUS PAVEMENT - FULL DEPTH	1267	LIN FT	\$ 2.20	\$ 2,787.40	1,290	\$ 2,838.00
8	REMOVE BITUMINOUS CURB	8300	LIN FT	\$ 1.00	\$ 8,300.00	3,740	\$ 3,740.00
9	REMOVE METAL CULVERT	550	LIN FT	\$ 7.00	\$ 3,850.00	500	\$ 3,500.00
10	REMOVE CONCRETE PAVEMENT	394	SQ YD	\$ 14.25	\$ 5,614.50	293	\$ 4,175.25
11	REMOVE BITUMINOUS PAVEMENT	1128	SQ YD	\$ 6.25	\$ 7,050.00	813	\$ 5,081.25
12	EXCAVATION - COMMON	150	CU YD	\$ 34.20	\$ 5,130.00		\$ -
13	EXCAVATION - SUBGRADE	10968	CU YD	\$ 21.60	\$ 236,908.80	9,340	\$ 201,744.00
14	SELECT GRANULAR EMBANKMENT (CV)	6065	CU YD	\$ 17.60	\$ 106,744.00	4,981	\$ 87,665.60
15	GEOTEXTILE FABRIC TYPE 10	21240	SQ YD	\$ 2.85	\$ 60,534.00	21,490	\$ 61,246.50
16	SUBGRADE PREPARATION	105	ROAD STA	\$ 295.00	\$ 30,975.00	63	\$ 18,585.00
17	AGGREGATE SURFACING SPECIAL	180	TON	\$ 57.30	\$ 10,314.00		\$ -
18	STREET SWEEPER (WITH PICKUP BROOM)	60	HOURL	\$ 175.00	\$ 10,500.00		\$ -
19	WATER	85	MGAL	\$ 60.00	\$ 5,100.00		\$ -
20	AGGREGATE BASE CLASS 5 MODIFIED	4712	TON	\$ 25.30	\$ 119,213.60		\$ -
21	AGGREGATE BASE (CV) FROM STOCKPILE	2000	CU YD	\$ 17.20	\$ 34,400.00		\$ -
22	FULL DEPTH RECLAMATION	32554	SQ YD	\$ 1.50	\$ 48,831.00	24,200	\$ 36,300.00
23	HAUL FULL DEPTH RECLAMATION (LV)	13663	CU YD	\$ 3.85	\$ 52,602.55	7,590	\$ 29,221.50
24	MILL BITUMINOUS SURFACE (1.5")	1930	SQ YD	\$ 3.50	\$ 6,755.00	0	\$ -
25	BITUMINOUS MATERIAL FOR TACK COAT	2085	GALLONS	\$ 4.50	\$ 9,382.50		\$ -
26	TYPE SP 9.5 WEARING COURSE MIXTURE (3;C) 3" THICK	1133	SQ YD	\$ 23.45	\$ 26,568.85		\$ -
27	TYPE SP 9.5 WEARING COURSE MIXTURE (3;C)	2903	TON	\$ 91.35	\$ 265,189.05		\$ -
28	TYPE SP 12.5 NON WEARING COURSE MIXTURE (3;C)	3769	TON	\$ 87.75	\$ 330,729.75		\$ -
29	15" RC PIPE APRON	20	EACH	\$ 1,111.00	\$ 22,220.00	20	\$ 22,220.00
30	15" RC PIPE CULVERT DESIGN 3006 CLASS V	288	LIN FT	\$ 71.00	\$ 20,448.00	288	\$ 20,448.00
31	TRASH GUARD FOR 15" PIPE APRON	8	EACH	\$ 995.00	\$ 7,960.00	6	\$ 5,970.00
32	6" PRECAST CONCRETE HEADWALL	9	EACH	\$ 524.00	\$ 4,716.00		\$ -
33	6" PERF PVC PIPE DRAIN	7260	LIN FT	\$ 8.70	\$ 63,162.00	7,280	\$ 63,336.00

**PAY ESTIMATE #2**  
**City of Ramsey**  
**Northeast Ramsey Street Reconstruction Project**

Base Bid - City of Ramsey (Continued)

ITEM NO.	ITEM DESCRIPTION	ESTIMATED QUANTITY	UNIT	CONTRACT UNIT PRICE	CONTRACT AMOUNT	USED TO DATE	EXTENSION
34	6" PVC PIPE DRAIN CLEANOUT	30	EACH	\$ 339.00	\$ 10,170.00	32	\$ 10,848.00
35	15" RC PIPE SEWER DESIGN 3006 CLASS V	237	LIN FT	\$ 71.00	\$ 16,827.00	149	\$ 10,579.00
36	CONSTRUCT DRAINAGE STRUCTURE DESIGN SPECIAL (2'X3')	1	EACH	\$ 2,095.00	\$ 2,095.00	1	\$ 2,095.00
37	CASTING ASSEMBLY	7	EACH	\$ 1,300.00	\$ 9,100.00	7	\$ 9,100.00
38	CONSTRUCT DRAINAGE STRUCTURE DESIGN 48-4020	28.8	LIN FT	\$ 640.00	\$ 18,432.00	28.8	\$ 18,432.00
39	GEOTEXTILE FILTER TYPE 4	127.6	SQ YD	\$ 4.65	\$ 593.34	127.6	\$ 593.34
40	RANDOM RIPRAP CLASS III	32.8	CU YD	\$ 112.00	\$ 3,673.60	28	\$ 3,136.00
41	CONCRETE CURB AND GUTTER DESIGN SPECIAL (SURMOUNTABLE)	7878	LIN FT	\$ 17.95	\$ 141,410.10		\$ -
42	CONCRETE CURB AND GUTTER DESIGN B618	273	LIN FT	\$ 26.45	\$ 7,220.85		\$ -
43	6" CONCRETE DRIVEWAY PAVEMENT	420	SQ YD	\$ 66.65	\$ 27,993.00		\$ -
44	7" CONCRETE VALLEY GUTTER	60	SQ YD	\$ 85.70	\$ 5,142.00		\$ -
45	CONCRETE DRAINAGE FLUME	55	SQ YD	\$ 85.70	\$ 4,713.50		\$ -
46	MAILBOX	3	EACH	\$ 47.60	\$ 142.80		\$ -
47	MAILBOX SUPPORT	3	EACH	\$ 159.00	\$ 477.00		\$ -
48	INSTALL MAILBOX SUPPORT	69	EACH	\$ 122.00	\$ 8,418.00		\$ -
49	TEMPORARY MAILBOX CLUSTER	5	EACH	\$ 1,217.00	\$ 6,085.00	5	\$ 6,085.00
50	TRAFFIC CONTROL	1	LUMP SUM	\$ 3,750.00	\$ 3,750.00	0.75	\$ 2,812.50
51	TRAFFIC CONTROL SUPERVISOR	1	LUMP SUM	\$ 854.00	\$ 854.00	0.75	\$ 640.50
52	PRUNE TREES	30	HOURL	\$ 475.00	\$ 14,250.00	32	\$ 15,200.00
53	STABILIZED CONSTRUCTION EXIT	1	LUMP SUM	\$ 4,500.00	\$ 4,500.00		\$ -
54	STORM DRAIN INLET PROTECTION	5	EACH	\$ 160.00	\$ 800.00	5	\$ 800.00
55	CULVERT END CONTROLS	10	EACH	\$ 265.00	\$ 2,650.00	10	\$ 2,650.00
56	SILT FENCE, TYPE MACHINE SLICED	2484	LIN FT	\$ 1.90	\$ 4,719.60	2,000	\$ 3,800.00
57	SEDIMENT CONTROL LOG TYPE STRAW	170	LIN FT	\$ 2.38	\$ 404.60	50	\$ 119.00
58	COMMON TOPSOIL BORROW	1944	CU YD	\$ 42.85	\$ 83,300.40		\$ -
59	FERTILIZER TYPE 3	1920	POUND	\$ 0.90	\$ 1,728.00		\$ -
60	ROLLED EROSION PREVENTION CATEGORY 20	800	SQ YD	\$ 2.33	\$ 1,864.00		\$ -
61	ROLLED EROSION PREVENTION CATEGORY 72	264	SQ YD	\$ 11.65	\$ 3,075.60		\$ -
62	SEEDING	4.8	ACRE	\$ 265.00	\$ 1,272.00		\$ -
63	SEED MIXTURE 25-131	1056	POUND	\$ 3.95	\$ 4,171.20		\$ -
64	HYDRAULIC BONDED FIBER MATRIX	16800	POUND	\$ 2.10	\$ 35,280.00		\$ -
65	LANDSCAPING RESTORATION	0.6	LUMP SUM	\$ 20,000.00	\$ 12,000.00		\$ -
<b>Total Base Bid</b>					<b>\$ 2,034,319.94</b>		<b>\$ 744,227.59</b>

**PAY ESTIMATE #2**  
**City of Ramsey**  
**Northeast Ramsey Street Reconstruction Project**

Alternate Bid - City of Nowthen

ITEM NO.	ITEM DESCRIPTION	ESTIMATED QUANTITY	UNIT	CONTRACT UNIT PRICE	CONTRACT AMOUNT	USED TO DATE	EXTENSION
66	MOBILIZATION	1	LUMP SUM	\$ 15,000.00	\$ 15,000.00	0.75	\$ 11,250.00
67	CLEARING	0.35	ACRE	\$ 6,350.00	\$ 2,222.50	0.35	\$ 2,222.50
68	GRUBBING	0.35	ACRE	\$ 4,250.00	\$ 1,487.50	0.35	\$ 1,487.50
69	REMOVE SIGN	5	EACH	\$ 52.90	\$ 264.50	5	\$ 264.50
70	SALVAGE MAILBOX SUPPORT	17	EACH	\$ 79.35	\$ 1,348.95	17	\$ 1,348.95
71	SAWING CONCRETE PAVEMENT - FULL DEPTH	75	LIN FT	\$ 5.60	\$ 420.00	75	\$ 420.00
72	SAWING BITUMINOUS PAVEMENT - FULL DEPTH	235	LIN FT	\$ 2.20	\$ 517.00	240	\$ 528.00
73	REMOVE BITUMINOUS CURB	4640	LIN FT	\$ 1.00	\$ 4,640.00	4,640	\$ 4,640.00
74	REMOVE METAL CULVERT	148	LIN FT	\$ 7.00	\$ 1,036.00	148	\$ 1,036.00
75	REMOVE CONCRETE PAVEMENT	98	SQ YD	\$ 14.25	\$ 1,396.50		\$ -
76	REMOVE BITUMINOUS PAVEMENT	263	SQ YD	\$ 6.25	\$ 1,643.75		\$ -
77	EXCAVATION - SUBGRADE	603	CU YD	\$ 21.60	\$ 13,024.80		\$ -
78	SUBGRADE PREPARATION	23.2	ROAD STA	\$ 295.00	\$ 6,844.00		\$ -
79	AGGREGATE SURFACING SPECIAL	30	TON	\$ 57.30	\$ 1,719.00		\$ -
80	STREET SWEEPER (WITH PICKUP BROOM)	15	HOUR	\$ 175.00	\$ 2,625.00		\$ -
81	WATER	15	MGAL	\$ 60.00	\$ 900.00		\$ -
82	AGGREGATE BASE CLASS 5 MODIFIED	499	TON	\$ 25.30	\$ 12,624.70		\$ -
83	FULL DEPTH RECLAMATION	7071	SQ YD	\$ 1.50	\$ 10,606.50	7,071	\$ 10,606.50
84	HAUL FULL DEPTH RECLAMATION (LV)	2500	CU YD	\$ 3.85	\$ 9,625.00		\$ -
85	MILL BITUMINOUS SURFACE (1.5")	6	SQ YD	\$ 25.00	\$ 150.00		\$ -
86	BITUMINOUS MATERIAL FOR TACK COAT	386	GALLONS	\$ 4.50	\$ 1,737.00		\$ -
87	TYPE SP 9.5 WEARING COURSE MIXTURE (3,C) 3" THICK	247	SQ YD	\$ 23.45	\$ 5,792.15		\$ -
88	TYPE SP 9.5 WEARING COURSE MIXTURE (3,C)	538	TON	\$ 91.40	\$ 49,173.20		\$ -
89	TYPE SP 12.5 NON WEARING COURSE MIXTURE (3,C)	712	TON	\$ 84.75	\$ 60,342.00		\$ -
90	15" RC PIPE APRON	4	EACH	\$ 1,111.00	\$ 4,444.00	4	\$ 4,444.00
91	TRASH GUARD FOR 15" PIPE APRON	4	EACH	\$ 960.00	\$ 3,840.00	4	\$ 3,840.00
92	15" RC PIPE SEWER DESIGN 3006 CLASS V	123	LIN FT	\$ 71.00	\$ 8,733.00	124	\$ 8,804.00
93	CONSTRUCT DRAINAGE STRUCTURE DESIGN SPECIAL (2'X3')	2	EACH	\$ 2,095.00	\$ 4,190.00	2	\$ 4,190.00
94	CASTING ASSEMBLY	6	EACH	\$ 1,300.00	\$ 7,800.00	6	\$ 7,800.00
95	CONSTRUCT DRAINAGE STRUCTURE DESIGN 48-4020	23.3	LIN FT	\$ 640.00	\$ 14,912.00	23.3	\$ 14,912.00
96	GEOTEXTILE FILTER TYPE 4	62.4	SQ YD	\$ 4.65	\$ 290.16	62.4	\$ 290.16
97	RANDOM RIPRAP CLASS III	14.4	CU YD	\$ 112.00	\$ 1,612.80	14.4	\$ 1,612.80

**PAY ESTIMATE #2**  
**City of Ramsey**  
**Northeast Ramsey Street Reconstruction Project**

Alternate Bid - City of Nowthen

ITEM NO.	ITEM DESCRIPTION	ESTIMATED QUANTITY	UNIT	CONTRACT UNIT PRICE	CONTRACT AMOUNT	USED TO DATE	EXTENSION
98	CONCRETE CURB AND GUTTER DESIGN SPECIAL (SURMOUNTABLE)	4475	LIN FT	\$ 17.95	\$ 80,326.25		\$ -
99	CONCRETE CURB AND GUTTER DESIGN B618	105	LIN FT	\$ 26.45	\$ 2,777.25		\$ -
100	6" CONCRETE DRIVEWAY PAVEMENT	123	SQ YD	\$ 66.65	\$ 8,197.95		\$ -
101	7" CONCRETE VALLEY GUTTER	84	SQ YD	\$ 85.70	\$ 7,198.80		\$ -
102	CONCRETE DRAINAGE FLUME	10	SQ YD	\$ 85.70	\$ 857.00		\$ -
103	MAILBOX	17	EACH	\$ 47.60	\$ 809.20		\$ -
104	MAILBOX SUPPORT	17	EACH	\$ 159.00	\$ 2,703.00		\$ -
105	INSTALL MAILBOX SUPPORT	17	EACH	\$ 122.00	\$ 2,074.00		\$ -
106	TEMPORARY MAILBOX CLUSTER	1	EACH	\$ 1,217.00	\$ 1,217.00		\$ -
107	TRAFFIC CONTROL	1	LUMP SUM	\$ 500.00	\$ 500.00		\$ -
108	TRAFFIC CONTROL SUPERVISOR	1	LUMP SUM	\$ 250.00	\$ 250.00		\$ -
109	SIGN PANELS TYPE C	5	SQ FT	\$ 87.95	\$ 439.75		\$ -
110	SIGN PANELS TYPE D	25.5	SQ FT	\$ 84.95	\$ 2,166.23		\$ -
111	PRUNE TREES	5	HOUR	\$ 475.00	\$ 2,375.00	6	\$ 2,850.00
112	STABILIZED CONSTRUCTION EXIT	1	LUMP SUM	\$ 1,200.00	\$ 1,200.00		\$ -
113	STORM DRAIN INLET PROTECTION	6	EACH	\$ 159.00	\$ 954.00	6	\$ 954.00
114	CULVERT END CONTROLS	1	EACH	\$ 265.00	\$ 265.00	1	\$ 265.00
115	SILT FENCE, TYPE MACHINE SLICED	2678	LIN FT	\$ 1.90	\$ 5,088.20	2,400	\$ 4,560.00
116	COMMON TOPSOIL BORROW	430	CU YD	\$ 42.85	\$ 18,425.50		\$ -
117	FERTILIZER TYPE 3	440	POUND	\$ 0.90	\$ 396.00		\$ -
118	ROLLED EROSION PREVENTION CATEGORY 72	88	SQ YD	\$ 2.33	\$ 205.04		\$ -
119	SEEDING	1.1	ACRE	\$ 265.00	\$ 291.50		\$ -
120	SEED MIXTURE 25-131	242	POUND	\$ 3.95	\$ 955.90		\$ -
121	HYDRAULIC BONDED FIBER MATRIX	3850	POUND	\$ 2.10	\$ 8,085.00		\$ -
122	LANDSCAPING RESTORATION	0.4	LUMP SUM	\$ 20,000.00	\$ 8,000.00		\$ -
				<b>Total Alternate Bid - City of Nowthen</b>	<b>\$ 406,719.58</b>		<b>\$ 88,325.91</b>

Work Change Directive - City of Nowthen

ITEM NO.	ITEM DESCRIPTION	ESTIMATED QUANTITY	UNIT	CONTRACT UNIT PRICE	CONTRACT AMOUNT	USED TO DATE	EXTENSION
123	REMOVE METAL CULVERT	44	LIN FT	\$ 7.00	\$ 308.00	44	\$ 308.00
124	15" RC APRON	1	EACH	\$ 1,111.00	\$ 1,111.00	1	\$ 1,111.00
125	15" RC PIPE SEWER DESIGN 3006 CLASS V	37	LIN FT	\$ 71.00	\$ 2,627.00	37	\$ 2,627.00
126	CONNECT TO EXISTING STORM SEWER	1	EACH	\$ 1,100.00	\$ 1,100.00	1	\$ 1,100.00

**PAY ESTIMATE #2**  
**City of Ramsey**  
**Northeast Ramsey Street Reconstruction Project**

127	CASTING ASSEMBLY	1	EACH	\$	1,300.00	\$	1,300.00	1	\$	1,300.00
128	CONSTRUCT DRAINAGE STRUCTURE DESIGN 48-4020	3.6	LIN FT	\$	640.00	\$	2,304.00	3.6	\$	2,304.00
129	GEOTEXTILE FILTER FABRIC TYPE 4	20.8	SQ YD	\$	4.65	\$	96.72	20.8	\$	96.72
130	RANDOM RIPRAP CLASS III	4.8	CU YD	\$	112.00	\$	537.60	5	\$	560.00
131	STORM DRAIN INLET PROTECTION	1	EACH	\$	160.00	\$	160.00	1	\$	160.00
132	SILT FENCE	30	LIN FT	\$	1.90	\$	57.00	0	\$	-
<b>Total Work Change Directive - City of Nowthen</b>										<b>\$ 9,601.32</b>

**Base Bid - City of Ramsey**  
**\$744,227.59**

**Alternate Bid - City of Nowthen**  
**\$88,325.91**

**Work Change Directive - City of Nowthen**  
**\$9,566.72**

**TOTAL**  
**\$842,120.22**

**Base Bid - City of Ramsey**  
**\$2,034,319.94**

**Alternate Bid - City of Nowthen**  
**\$406,719.58**

**Work Change Directive - City of Nowthen**  
**\$9,601.32**

**TOTAL**  
**\$2,450,640.84**

	WORK TO DATE	RETAINAGE (5%)	PREV. PAYMENT	TOTAL
STORM SEWER FUNDS	\$173,528.00	\$8,676.40	\$123,756.40	\$41,095.20
PAVEMENT MANAGEMENT FUNDS	\$570,699.59	\$28,534.98	\$268,320.66	\$302,378.93
PM (TO BE INVOICED TO CITY OF NOWTHEN)	\$97,892.63	\$4,894.63	\$45,104.53	\$47,893.47
<b>TOTALS</b>	<b>\$842,120.22</b>	<b>\$42,106.01</b>	<b>\$437,181.59</b>	<b>\$362,832.62</b>

CITY OF RAMSEY  
**INVOICE REQUEST**

Complete and Submit to the Finance Department

Invoices are sent the 2nd and 4th Thursday of the month. Contact Finance if you need this request expedited.

**INDIVIDUAL/COMPANY TO BE BILLED**

NAME: City of Nowthen  
ADDRESS: 8188 199th Avenue NW  
Nowthen, MN 55330


**BILLING INFORMATION**

DATE OF SERVICE: AUGUST 2024      SUBMITTED BY: JOE FERIANCEK

DESCRIPTION: NORTHEAST RAMSEY STREET RECONSTRUCTION  
PAY APPLICATION No.2

ACCOUNT:	9435	.	6530	AMOUNT:	\$47,893.47
ACCOUNT:		.		AMOUNT:	
ACCOUNT:		.		AMOUNT:	

**TOTAL AMOUNT TO BILL: \$47,893.47 -**

  
Requestors Signature

9/9/2024  
Date

**FINANCE DEPT. USE ONLY**

CUSTOMER NO: \_\_\_\_\_ BATCH NO: \_\_\_\_\_  
REVENUE ACCOUNT NO: \_\_\_\_\_ DATE: \_\_\_\_\_

**CC Regular Session New**

**Meeting Date:** 09/24/2024

**Primary Strategic Plan Initiative:** Not Applicable

**Title:**

Adopt Resolution #24-258 Approving Partial Payment to Enebak Construction Company for Improvement Project #23-20, The COR Mass Grading.

**Purpose/Background:**

Resolution and Pay Request Attached.

**Recommendation:**

The Senior Engineering Technician has inspected the completed work and recommends partial payment to Enebak Construction Company for improvement project #23-20, The COR Mass Grading in the amount of \$3,031.33.

**Outcome/Action:**

Motion to adopt Resolution #24-258 approving partial payment to Enebak Construction Company for improvement project #23-20, the COR Mass Grading in the amount of \$3,031.33

**Attachments**

Pay Resolution #24-258  
Pay Request

**Form Review**

**Inbox**

Bruce Westby  
Brian Hagen

**Reviewed By**

Bruce Westby  
Brian Hagen

**Date**

09/19/2024 10:11 AM  
09/19/2024 10:40 AM  
Started On: 09/10/2024 09:25 AM

Form Started By: Stacie Damjanovich  
Final Approval Date: 09/19/2024

Councilmember \_\_\_\_\_ introduced the following resolution and moved for its adoption:

**RESOLUTION #24-258**

**RESOLUTION APPROVING PARTIAL PAYMENT NO. 8 TO ENEBAK CONSTRUCTION COMPANY OF LAKEVILLE, MINNESOTA FOR IMPROVEMENT PROJECT #23-20; COR MASS GRADING**

**WHEREAS**, the City of Ramsey proposes to construct infrastructure improvements within The COR; and

**WHEREAS**, pursuant to Ramsey City Council resolution #22-241, adopted October 25, 2022, the City Council authorized Bolton & Menk, Inc. to complete The COR Public Infrastructure and Wetland Analysis proposals; and

**WHEREAS**, pursuant to Ramsey City Council resolution #23-107, adopted May 9, 2023, the City Council approved The COR Public Infrastructure Design Services proposal of Bolton & Menk, Inc. specifying their scope of services and not-to-exceed fees for design services associated with public infrastructure improvements in The COR; and

**WHEREAS**, pursuant to Ramsey City Council resolution #23-157, adopted July 11, 2023, the City Council approves the plans prepared by Bolton and Menk, Inc. and authorized advertising bids for City Improvement Project #23-20, COR Mass Grading; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #23-176, adopted August 8, 2023, a contract was awarded to Enebak Construction Company of Lakeville, Minnesota in the amount of \$4,197,240.34 for said improvements; and

**WHEREAS**, as of September 24, 2024 \$4,209,652.47 has been paid to date; and

**WHEREAS**, the Senior Engineering Technician has inspected the completed work and recommends partial payment No. 8 to Enebak Construction Company of Lakeville, Minnesota for improvement project #23-20, The COR Mass Grading, in the amount of \$3,031.33.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:**

- 1) The City Council hereby authorizes partial payment No. 8 to Enebak Construction Company of Lakeville, Minnesota for Improvement Project #23-20, The COR Mass Grading in the amount of \$3,031.13.
- 2) The City Council hereby authorizes the Mayor and City Administrator to sign the release form for this payment.
- 3) The total amount of this payment is not included in resolutions approving payment of bills

for the date of September 24, 2024.

- 4) That the City of Ramsey Finance Department will be provided a signed copy of this resolution.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember \_\_\_\_\_, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

Whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 24<sup>th</sup> day of September, 2024.

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Mayor

**ATTEST:**

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City Clerk

**Contractor's Application for Payment**

Owner: <u>City of Ramsey</u>	Owner's Project No.: <u>23-20</u>
Engineer: <u>Bolton &amp; Menk, Inc.</u>	Engineer's Project No.: <u>OR1.130893</u>
Contractor: <u>Enebak Construction Company</u>	Agency's Project No.: _____
Project: <u>The COR Grading Improvements</u>	
Contract: _____	
Application No.: <u>8</u>	Application Date: <u>9/9/2024</u>
Application Period: From <u>8/1/2024</u>	to <u>8/31/2024</u>

1. Original Contract Price	\$	4,197,240.34
2. Net change by Change Orders	\$	56,955.69
3. Current Contract Price (Line 1 + Line 2)	\$	4,254,196.03
4. Total Work completed and materials stored to date (Sum of Column G Lump Sum Total and Column J Unit Price Total)	\$	4,255,236.16
5. Retainage		
a. <u>1%</u> X <u>\$ 4,255,236.16</u> Work Completed	\$	42,552.36
b. _____ X <u>\$ -</u> Stored Materials	\$	-
c. Total Retainage (Line 5.a + Line 5.b)	\$	42,552.36
6. Amount eligible to date (Line 4 - Line 5.c)	\$	4,212,683.80
7. Less previous payments	\$	4,209,652.47
<b>8. Amount due this application</b>	<b>\$</b>	<b>3,031.33</b>
9. Balance to finish, including retainage (Line 3 - Line 4)	\$	(1,040.13)

**Contractor's Certification**

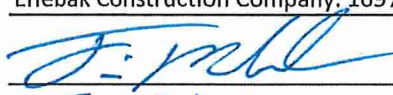
The undersigned Contractor certifies, to the best of its knowledge, the following:

(1) All previous progress payments received from Owner on account of Work done under the Contract have been applied on account to discharge Contractor's legitimate obligations incurred in connection with the Work covered by prior Applications for Payment;

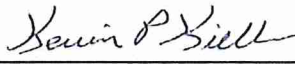

(2) Title to all Work, materials and equipment incorporated in said Work, or otherwise listed in or covered by this Application for Payment, will pass to Owner at time of payment free and clear of all liens, security interests, and encumbrances (except such as are covered by a bond acceptable to Owner indemnifying Owner against any such liens, security interest, or encumbrances); and

(3) All the Work covered by this Application for Payment is in accordance with the Contract Documents and is not defective.

Contractor: Enebak Construction Company; 16972 Brandtjen Farm Drive, Lakeville, MN 55044

Signature:  Date: 9-10-24

Name: Tim Malecha Title: Project Manager

<p><b>Recommended by Engineer</b></p> <p>By: <u></u></p> <p>Name: <u>Kevin Kielb</u></p> <p>Title: <u>Principal Engineer</u></p> <p>Date: <u>9/9/2024</u></p>	<p><b>Approved by Owner</b></p> <p>By: <u></u></p> <p>Name: <u>Bruce Westby</u></p> <p>Title: <u>City Engineer / Public Works Dir</u></p> <p>Date: <u>9/12/2024</u></p>
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Progress Estimate - Unit Price Work

Contractor's Application for Payment

Owner: City of Ramsey  
 Engineer: Britton & Menck, Inc.  
 Contractor: Etebak Construction Company  
 Project: The COR Grading Improvements  
 Contract: \_\_\_\_\_

Owner's Project No.: 23-20  
 Engineer's Project No.: DR1150893  
 Contractor's Project No.: \_\_\_\_\_  
 Agency's Project No.: \_\_\_\_\_

A	B	C	D	E		F	F1		F2	G	H	I	J	K	L
				Contract Information	Unit Price (\$)		Value of Bid Item (C x E) (\$)	Quantity Previous Estimate							
Bid Item No.	Description	Item Quantity	Units	Contract Information	Unit Price (\$)	Value of Bid Item (C x E) (\$)	Quantity Previous Estimate	Value Previous Estimate	Work Completed	Value of Work Completed to Date (E x G) (\$)	Materials Currently Stored (not in G) (\$)	Work Completed and Materials Stored to Date (H + I) (\$)	% of Value of Item (J / F) (%)	Balance to Finish (F - J) (\$)	
1	MOBILIZATION	1.00	LUMP SUM		84,337.50	84,337.50	1.00	84,337.50	1.00	84,337.50	-	84,337.50	100%	-	
2	REMOVE MANHOLE OR CATCH BASIN (STORM)	10.00	EACH		1,428.01	14,280.10	10.00	14,280.10	10.00	14,280.10	-	14,280.10	100%	-	
3	REMOVE SHEET PILING AND CONCRETE END CAP	1.00	EACH		1,022.95	1,022.95	1.00	1,022.95	1.00	1,022.95	-	1,022.95	100%	-	
4	REMOVE MANHOLE (SANITARY)	4.00	EACH		2,194.87	8,779.48	4.00	8,779.48	4.00	8,779.48	-	8,779.48	100%	-	
5	REMOVE GATE VALVE & BOX	1.00	EACH		426.12	426.12	1.00	426.12	1.00	426.12	-	426.12	100%	-	
6	REMOVE HYDRANT	2.00	EACH		426.12	852.24	2.00	852.24	2.00	852.24	-	852.24	100%	-	
7	REMOVE STORM PIPE	1,235.00	LIN FT		38.48	48,757.80	1,235.00	48,757.80	1,235.00	48,757.80	-	48,757.80	100%	-	
8	REMOVE SANITARY PIPE	532.00	LIN FT		18.81	10,006.92	532.00	10,006.92	532.00	10,006.92	-	10,006.92	100%	-	
9	REMOVE WATERMAIN	659.00	LIN FT		13.71	9,034.89	659.00	9,034.89	659.00	9,034.89	-	9,034.89	99%	123.39	
10	REMOVE AND REPLACE CURB & GUTTER	25.00	LIN FT		120.95	3,023.75	-	-	-	-	-	-	-	3,023.75	
11	SAW CUT BITUMINOUS PAVEMENT (FULL DEPTH)	48.00	LIN FT		3.00	144.00	48.00	144.00	48.00	144.00	-	144.00	100%	-	
12	REMOVE BITUMINOUS PAVEMENT	2,440.00	SQ YD		2.50	6,100.00	2,440.00	6,100.00	2,440.00	6,100.00	-	6,100.00	100%	-	
13	BITUMINOUS PATCH SPECIAL	30.00	SQ YD		138.82	4,164.60	64.00	8,894.48	64.00	8,894.48	-	8,894.48	213%	(4,719.88)	
14	SALVAGE & REINSTALL RIPRAP	100.00	CU YD		87.12	8,712.00	30.00	2,613.60	30.00	2,613.60	-	2,613.60	30%	6,098.40	
15	EXCAVATION - COMMON (EV)	366,900.00	CU YD		1.47	539,343.00	357,845.00	526,032.15	357,845.00	526,032.15	-	526,032.15	98%	13,310.85	
16	EXCAVATION - SUBGRADE (EV)	5,550.00	CU YD		1.47	8,158.50	-	-	-	-	-	-	-	8,158.50	
17	COMMON EMBANKMENT (CV)	284,250.00	CU YD		0.01	2,842.50	262,316.00	2,623.16	262,316.00	2,623.16	-	2,623.16	92%	219.34	
18	DEWATERING	1.00	LUMP SUM		500,000.00	500,000.00	1.00	500,000.00	1.00	500,000.00	-	500,000.00	100%	-	
19	EXCAVATION SPECIAL (EV)	160,970.00	CU YD		1.47	236,552.40	189,142.00	278,038.74	189,142.00	278,038.74	-	278,038.74	118%	(41,486.34)	
20	EMBANKMENT SPECIAL (CV)	146,310.00	CU YD		0.01	1,463.10	174,532.00	1,745.32	174,532.00	1,745.32	-	1,745.32	119%	(282.22)	
21	CLAY LINER (CV) (P)	26,100.00	CU YD		35.47	925,767.00	27,643.00	980,497.21	27,643.00	980,497.21	-	980,497.21	105%	(54,730.21)	
22	STOCKPILE EXCESS TOPSOIL (SV)	10,470.00	CU YD		0.01	104.70	10,470.00	104.70	10,470.00	104.70	-	104.70	100%	-	
23	STREET SWEEPER (WITH PICKUP BROOM)	25.00	HOUR		165.00	4,125.00	136.50	22,522.50	136.50	22,522.50	-	22,522.50	546%	(18,397.50)	
24	SKID LOADER	50.00	HOUR		203.00	10,150.00	42.00	8,526.00	44.00	8,932.00	-	8,932.00	88%	1,218.00	
25	15' CMP APRON	2.00	EACH		453.21	906.42	-	-	-	-	-	-	-	906.42	
26	15' RC PIPE APRON	2.00	EACH		2,016.77	4,033.54	2.00	4,033.54	2.00	4,033.54	-	4,033.54	100%	-	
27	21' RC PIPE APRON	1.00	EACH		2,707.74	2,707.74	-	-	-	-	-	-	-	2,707.74	
28	24' RC PIPE APRON	1.00	EACH		5,723.94	5,723.94	-	-	-	-	-	-	-	5,723.94	
29	30' RC PIPE APRON	1.00	EACH		3,921.84	3,921.84	1.00	3,921.84	1.00	3,921.84	-	3,921.84	100%	-	
30	36' RC PIPE APRON	1.00	EACH		5,312.46	5,312.46	-	-	-	-	-	-	-	5,312.46	
31	TRENCHLESS STORM SEWER	136.00	LIN FT		1,731.76	235,519.36	136.00	235,519.36	136.00	235,519.36	-	235,519.36	100%	-	
32	8" CONCRETE HEADWALL	3.00	EACH		19,173.00	57,519.00	3.00	57,519.00	3.00	57,519.00	-	57,519.00	100%	-	
33	15' CMP	100.00	LIN FT		35.75	3,575.00	-	-	-	-	-	-	-	3,575.00	
34	15' RC PIPE SEWER CLASS V	217.00	LIN FT		52.80	11,457.60	217.00	11,457.60	217.00	11,457.60	-	11,457.60	100%	-	
35	21' RC PIPE SEWER CLASS IV	47.00	LIN FT		65.36	3,072.92	47.00	3,072.92	47.00	3,072.92	-	3,072.92	100%	-	
36	24' RC PIPE SEWER CLASS III	72.39	LIN FT		72.39	32,430.72	448.00	32,430.72	448.00	32,430.72	-	32,430.72	100%	-	
37	30' RC PIPE SEWER CLASS IV	417.00	LIN FT		122.33	51,011.61	417.00	51,011.61	417.00	51,011.61	-	51,011.61	100%	-	
38	36' RC PIPE SEWER CLASS III	122.00	LIN FT		141.50	17,263.00	13.00	1,839.50	13.00	1,839.50	-	1,839.50	11%	15,423.50	
39	48' RC PIPE SEWER CLASS III	1,715.00	LIN FT		245.81	421,564.15	1,715.00	421,564.15	1,715.00	421,564.15	-	421,564.15	100%	-	
40	CONNECT TO EXISTING STORM SEWER	7.00	EACH		3,057.93	21,405.51	6.00	18,347.58	6.00	18,347.58	-	18,347.58	86%	3,057.93	
41	6" DIP WATERMAIN CL 53	32.00	LIN FT		64.17	2,053.44	32.00	2,053.44	32.00	2,053.44	-	2,053.44	100%	-	
42	8" DIP WATERMAIN CL 52	120.00	LIN FT		61.05	7,326.00	120.00	7,326.00	120.00	7,326.00	-	7,326.00	100%	-	

Progress Estimate - Unit Price Work

Owner: City of Ramsey  
 Engineer: Bolton & Menck, Inc.  
 Contractor: Eirebix Construction Company  
 Project: The CDR Grading Improvements  
 Contract:

Contractor's Application for Payment

Owner's Project No.: 23-20  
 Engineer's Project No.: DR1150693  
 Contractor's Project No.:  
 Agency's Project No.:

Application No.:		8		From 08/01/24 to 08/31/24		Application Date: 09/09/24															
Bid Item No.	Description	C		D		E		F		G		H		I		J		K		L	
		Item Quantity	Units	Contract Information	Unit Price (\$)	Value of Bid Item (C X E) (\$)	Quantity Previous Estimate	Value Previous Estimate	Estimated Quantity Incorporated in the Work	Value of Work Completed to Date (E X G) (\$)	Materials Currently Stored (not in G) (\$)	Work Completed and Materials Stored to Date (H + I) (\$)	% of Value of Item (J / F) (%)	Balance to Finish (F - J) (\$)							
43	12" DIP WATERMAIN CL 52	620.00	LIN FT		87.16	54,039.20	620.00	54,039.20	620.00	54,039.20	100%	-									
44	6" GATE VALVE AND BOX	2.00	EACH		2,224.94	4,449.88	2.00	4,449.88	2.00	4,449.88	100%	-									
45	8" GATE VALVE AND BOX	3.00	EACH		3,041.71	9,125.13	3.00	9,125.13	3.00	9,125.13	100%	-									
46	12" GATE VALVE AND BOX	3.00	EACH		5,315.48	15,946.44	3.00	15,946.44	3.00	15,946.44	100%	-									
47	HYDRANT	2.00	EACH		5,844.34	11,688.68	2.00	11,688.68	2.00	11,688.68	100%	-									
48	WATERMAIN FITTINGS	1,700.00	LBS		14.36	24,412.00	1,700.00	24,412.00	1,700.00	24,412.00	100%	-									
49	CONNECT TO EXISTING WATER MAIN	3.00	EACH		3,747.39	11,242.17	3.00	11,242.17	3.00	11,242.17	100%	-									
50	CONNECT TO EXISTING SANITARY SEWER	2.00	EACH		4,366.47	8,732.94	2.00	8,732.94	2.00	8,732.94	100%	-									
51	CLEAN & VIDEO TAPE PIPE SEWER	740.00	LIN FT		4.03	2,982.20	740.00	2,982.20	740.00	2,982.20	100%	-									
52	8" PVC PIPE SEWER	170.00	LIN FT		32.12	5,460.40	170.00	5,460.40	170.00	5,460.40	100%	-									
53	18" PVC PIPE SEWER	570.00	LIN FT		66.64	37,984.80	570.00	37,984.80	570.00	37,984.80	100%	-									
54	4" INSULATION	20.00	SQ YD		75.45	1,509.00	20.00	1,509.00	20.00	1,509.00	100%	-									
55	CONSTRUCT SANITARY SEWER MANHOLE	46.50	LIN FT		409.90	19,060.35	46.50	19,060.35	46.50	19,060.35	100%	-									
56	CONSTRUCT DRAINAGE STRUCTURE DES 48-4020	19.50	LIN FT		481.25	9,384.38	19.50	9,384.38	19.50	9,384.38	100%	-									
57	CONSTRUCT DRAINAGE STRUCTURE DES 60-4020	11.20	LIN FT		864.89	9,686.77	11.20	9,686.77	11.20	9,686.77	100%	-									
58	CONSTRUCT DRAINAGE STRUCTURE DES 72-4020	31.00	LIN FT		848.50	26,303.50	31.00	26,303.50	31.00	26,303.50	100%	-									
59	CONSTRUCT DRAINAGE STRUCTURE DES 108-4020	17.90	LIN FT		1,252.62	22,421.90	17.90	22,421.90	17.90	22,421.90	101%	[125.26]									
60	CONSTRUCT DRAINAGE STRUCTURE DES 60-4020	21.60	LIN FT		2,138.96	46,201.54	21.60	46,201.54	21.60	46,201.54	100%	-									
61	CONSTRUCT DRAINAGE STRUCTURE DESIGN 84-4022	15.30	LIN FT		1,369.21	20,957.10	15.30	20,957.10	15.30	20,957.10	100%	-									
62	CONSTRUCT DRAINAGE STRUCTURE - OUTLET CONTROL STRUCTURE (5' DIA)	1.00	EACH		9,009.19	9,009.19	1.00	9,009.19	1.00	9,009.19	100%	-									
63	CONSTRUCT DRAINAGE STRUCTURE DESIGN SPECIAL (SPLITTER STRUCTURE 7' DIA)	1.00	EACH		86,978.28	86,978.28	1.00	86,978.28	1.00	86,978.28	100%	-									
64	CONSTRUCT DRAINAGE STRUCTURE DESIGN SPECIAL (SPLITTER STRUCTURE 7' DIA)	1.00	EACH		98,761.35	98,761.35	1.00	98,761.35	1.00	98,761.35	100%	-									
65	CASTING ASSEMBLY, STORM	15.00	EACH		467.09	7,006.35	15.00	7,006.35	15.00	7,006.35	80%	1,401.27									
66	CASTING ASSEMBLY, SANITARY	4.00	EACH		428.52	1,714.08	4.00	1,714.08	4.00	1,714.08	100%	-									
67	ADJUST FRAME & RING CASTING	10.00	EACH		603.18	6,031.80	10.00	6,031.80	10.00	6,031.80	100%	-									
68	RANDOM RIPRAP CLASS III	85.00	CU YD		143.00	12,155.00	271.09	38,765.87	271.09	38,765.87	319%	6,031.80									
69	TRAFFIC CONTROL	1.00	LUMP SUM		5,000.00	5,000.00	1.00	5,000.00	1.00	5,000.00	100%	-									
70	EROSION CONTROL SUPERVISOR	2.00	EACH		450.00	900.00	2.00	900.00	2.00	900.00	100%	-									
71	F&I PERMANENT TYPE III BARRICADES	1.00	LUMP SUM		0.01	0.01	1.00	0.01	1.00	0.01	100%	-									
72	STABILIZED CONSTRUCTION EXIT	1.00	LUMP SUM		1,274.30	1,274.30	1.00	1,274.30	1.00	1,274.30	100%	-									
73	STORM DRAIN INLET PROTECTION	48.00	EACH		412.65	19,867.20	48.00	19,867.20	48.00	19,867.20	100%	-									
74	SILT FENCE, TYPE MS	9,190.00	LIN FT		1.80	16,542.00	9,190.00	16,542.00	9,190.00	16,542.00	100%	-									
75	TEMPORARY STABILIZATION	50.00	ACRE		650.00	32,500.00	50.00	32,500.00	50.00	32,500.00	16%	27,300.00									
76	TOPSOIL PLACEMENT (CV)	39,400.00	CU YD		1.83	72,102.00	39,400.00	72,102.00	39,400.00	72,102.00	100%	-									
77	ROLLED EROSION PREVENTION CATEGORY 20	15,500.00	SQ YD		1.54	23,870.00	15,500.00	23,870.00	15,500.00	23,870.00	97%	770.00									
78	SEED MIXTURE 25-141	3,700.00	POUND		4.28	15,836.00	2,697.00	11,543.16	2,697.00	11,543.16	73%	4,292.84									
79	SEED MIXTURE 34-263	70.00	POUND		62.90	4,403.00	47.00	2,956.30	47.00	2,956.30	75%	1,400.75									
80	SEED MIXTURE 38-651	70.00	POUND		43.42	3,039.40	43.42	3,039.40	43.42	3,039.40	100%	-									
81	HYDRAULIC MULCH MATRIX	117,300.00	POUND		0.90	105,570.00	117,300.00	105,570.00	117,300.00	105,570.00	20%	655.60									
82	SEED MIXTURE NATIVE GRASS - CUSTOM	60.00	POUND		13.20	792.00	12.00	158.40	12.00	158.40	84%	2,995.10									
83	WATER FOR DUST CONTROL	2,000.00	MGAL		9.38	18,760.00	1,680.69	15,764.90	1,680.69	15,764.90	100%	-									
Original Contract Totals \$										4,197,240.34											
Contractor's Application for Payment										4,202,125.20											
Contractor's Application for Payment										\$	4,205,187.15										

Progress Estimate - Unit Price Work

Owner: City of Ramsey  
 Engineer: Bolton & Menk, Inc.  
 Contractor: Enebak Construction Company  
 Project: The COB Grading Improvements  
 Contract: \_\_\_\_\_

Contractor's Application for Payment

Owner's Project No.: 23-20  
 Engineer's Project No.: OR1130693  
 Contractor's Project No.: \_\_\_\_\_  
 Agency's Project No.: \_\_\_\_\_

Application No.:		8		Application Period: From		08/01/24		to		08/31/24		Application Date:		09/09/24	
Bid Item No.	Description	Contract Information		F	Previous Estimate		Work Completed		I	J	K	L			
		C	D		E	F1	F2	G					H		
		Item Quantity	Units	Unit Price (\$)	Value of Bid Item (C x E) (\$)	Quantity Previous Estimate	Value Previous Estimate	Estimated Quantity Incorporated in the Work	Value of Work Completed to Date (E x G) (\$)	Materials Currently Stored (not in G) (\$)	Work Completed and Materials Stored to Date (H + I) (\$)	% of Value of Item (J / F) (%)	Balance to Finish (F - J) (\$)		
CHANGE ORDER NO. 1															
CO-1.1	15" BULKHEAD	3.00	EACH	1,000.00	3,000.00	3.00	3,000.00	3.00	3,000.00	-	3,000.00	100%	-		
CO-1.2	24" BULKHEAD	1.00	EACH	1,500.00	1,500.00	-	-	-	-	-	-	-	1,500.00		
CO-1.3	36" BULKHEAD	2.00	EACH	2,000.00	4,000.00	1.00	2,000.00	1.00	2,000.00	-	2,000.00	50%	2,000.00		
CO-1.4	6' DIA STRUCTURE (9A)	1.00	LS	7,757.38	7,757.38	1.00	7,757.38	1.00	7,757.38	-	7,757.38	100%	-		
CO-1.5	6' DIA STRUCTURE (10A)	1.00	LS	9,820.02	9,820.02	1.00	9,820.02	1.00	9,820.02	-	9,820.02	100%	-		
CO-1.6	UPSIZE MANHOLE 19 FROM 60" TO 72"	1.00	LS	2,057.94	2,057.94	1.00	2,057.94	1.00	2,057.94	-	2,057.94	100%	-		
CO-1.7	UPSIZE MANHOLE 11 FROM 72" TO 84"	1.00	LS	3,640.73	3,640.73	1.00	3,640.73	1.00	3,640.73	-	3,640.73	100%	-		
CO-1.8	UPSIZE MANHOLE 10 FROM 72" TO 96"	1.00	LS	4,723.08	4,723.08	1.00	4,723.08	1.00	4,723.08	-	4,723.08	100%	-		
CO-1.9	UPSIZE MANHOLE 9 FROM 84" TO 96"	1.00	LS	3,217.83	3,217.83	1.00	3,217.83	1.00	3,217.83	-	3,217.83	100%	-		
CHANGE ORDER NO. 2															
CO-2.1	SAWCUT BITUMINOUS PAVEMENT	50.00	LIN FT	3.00	150.00	45.00	135.00	45.00	135.00	-	135.00	90%	15.00		
CO-2.2	REMOVE BITUMINOUS PAVEMENT	70.00	SQ YD	2.50	175.00	46.00	115.00	46.00	115.00	-	115.00	66%	60.00		
CO-2.3	BITUMINOUS PATCH SPECIAL	70.00	SQ YD	138.82	9,717.40	46.00	6,385.72	46.00	6,385.72	-	6,385.72	66%	3,331.68		
CO-2.4	30" RCP STORM SEWER CLASS IV	47.00	LIN FT	122.33	5,749.51	47.00	5,749.51	47.00	5,749.51	-	5,749.51	100%	-		
CO-2.5	MODIFY STORM STRUCTURE NO. 6 (REALIGNMENT)	1.00	LS	5,000.00	5,000.00	1.00	5,000.00	1.00	5,000.00	-	5,000.00	100%	-		
CO-2.6	REMOVE STORM PIPE	(90.00)	LF	39.48	(3,553.20)	(90.00)	(3,553.20)	(90.00)	(3,553.20)	-	(3,553.20)	100%	-		
		Change Order Totals		\$	56,955.69		50,049.01		\$	50,049.01	\$	88%	\$	6,906.68	
Original Contract and Change Orders															
		Project Totals		\$	4,254,196.03		4,252,174.21		\$	4,255,236.16	\$	100%	\$	(1,040.13)	

**CC Regular Session New**

**Meeting Date:** 09/24/2024

**Primary Strategic Plan Initiative:** Not Applicable

**Title:**

Adopt Resolution #24-259 Approving Partial Payment to Northwest Asphalt Inc. for Improvement Project #24-03, MSA Xkimo Street Reconstructions.

**Purpose/Background:**

Resolution and Pay Request Attached.

**Recommendation:**

The Senior Engineering Technician has inspected the completed work and recommends partial payment to Northwest Asphalt, Inc. for improvement project #24-03, MSA Xkimo Street Reconstruction in the amount of \$340,258.40.

**Outcome/Action:**

Motion to adopt Resolution #24-259 approving partial payment to Northwest Asphalt, Inc. for improvement project #24-05, MSA Xkimo Street Reconstruction in the amount of \$340,258.40.

**Attachments**

Pay Resolution #24-259  
Pay Request

**Form Review**

**Inbox**

Bruce Westby  
Brian Hagen  
Form Started By: Stacie Damjanovich  
Final Approval Date: 09/19/2024

**Reviewed By**

Bruce Westby  
Brian Hagen

**Date**

09/19/2024 10:14 AM  
09/19/2024 12:22 PM  
Started On: 09/10/2024 01:35 PM

Councilmember \_\_\_\_ introduced the following resolution and moved for its adoption:

**RESOLUTION #24-259**

**RESOLUTION APPROVING PARTIAL PAYMENT No. 2 TO NORTHWEST ASPHALT INC. FOR MSA XKIMO STREET RECONSTRUCTION, IMPROVEMENT PROJECT #24-05**

**WHEREAS**, the City of Ramsey proposes to reconstruct MSA Xkimo Street between Trunk Highway 47 and 142<sup>nd</sup> Avenue as identified within the 2024 – 2033 10-Year Capital Improvement Program; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #23-200, adopted August 22, 2023 Hakanson Anderson’s proposal for engineering design services, including preparing final plans and specifications, for MSA Xkimo Street Reconstruction, Improvement Project #24-05 in the amount of \$38,000.00 was accepted; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #23-279, adopted November 14, 2023 the City Council awarded the proposal for geotechnical reports to Haugo Geotechnical Services, LLC. for Improvement Project #24-05; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #24-034, adopted January 23, 2024, the Riversbend 3<sup>rd</sup>, Riversbend 4<sup>th</sup>, and Riverbend Plaza subdivisions were approved to be included as part of the MSA Xkimo Street Reconstruction, Improvement Project #24-05; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #24-085, adopted on March 26, 2024, the City Council approved final plans and specifications as prepared by Hakanson Anderson and authorized advertisement for bids for the same improvements; and

**WHEREAS**, Hakanson Anderson submitted a proposal to provide construction services included construction administration, construction staking, and construction observation of \$32,000 for said improvements; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #24-125, adopted May 12, 2024, a contract was awarded to Northwest Asphalt, Inc. of Shakopee, Minnesota, in the amount of \$842,253.75 for said improvements; and

**WHEREAS**, as of September 24, 2024 \$191,093.35 has been paid to date; and

**WHEREAS**, the Senior Engineering Technician has inspected the completed work and recommends partial payment No. 2 to Northwest Asphalt, Inc of Shakopee, Minnesota, for improvement project #24-05 MSA Xkimo Street Reconstruction, in the amount of \$340,258.40.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA:**

- 1) The City Council hereby authorizes partial payment No. 2 to Northwest Asphalt, Inc. of Shakopee, Minnesota for Improvement Project #24-05 MSA Xkimo Street Reconstruction in the amount of \$340,258.40.
- 2) The City Council hereby authorizes the Mayor and City Administrator to sign the release form for this payment.

- 3) The totally amount of this payment is not included in resolutions approving payment of bills for the date of September 24, 2024.
- 4) The City of Ramsey Finance Department will be provided a signed copy of this resolution.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember \_\_\_\_\_ and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

Whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 24<sup>th</sup> day of September, 2024.

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Mayor

**ATTEST:**

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City Clerk

#24-259

**Contractor's Application for Payment No. 2**

To (Owner):	City of Ramsey	Application Period:	8/1/24 - 8/31/24	Application Date:	September 5, 2024
Project:	Xkimo Street Surface Improvement Project	From (Contractor):	Northwest Asphalt, Inc.	Via (Engineer):	Hakanson Anderson

**Application For Payment Change Order Summary**

Approved Change Orders Number	Additions	Deductions	
1. ORIGINAL CONTRACT PRICE.....			\$ 842,253.75
2. Net change by Change Orders.....			\$ 0.00
3. Current Contract Price (Line 1 ± 2).....			\$ 842,253.75
4. TOTAL COMPLETED AND STORED TO DATE			\$ 559,317.63
5. RETAINAGE:			
a. 5% Work Completed.....			\$ 27,965.88
b. 0% Stored Material.....			\$ 0.00
c. Total Retainage (Line 5.a + Line 5.b).....			\$ 27,965.88
6. AMOUNT ELIGIBLE TO DATE (Line 4 - Line 5.c).....			\$ 531,351.75
7. LESS PREVIOUS PAYMENTS.....			\$ 191,093.35
8. AMOUNT DUE THIS APPLICATION.....			\$ 340,258.40
TOTALS	\$0.00	\$0.00	
NET CHANGE BY CHANGE ORDERS	\$0.00		

**Contractor's Certification**

The undersigned Contractor certifies, to the best of its knowledge, the following:  
 (1) All previous progress payments received from Owner on account of Work done under the Contract have been applied on account to discharge Contractor's legitimate obligations incurred in connection with the Work covered by prior Applications for Payment.  
 (2) Title to all Work, materials and equipment incorporated in said Work, or otherwise listed in or covered by this Application for Payment, will pass to Owner at time of payment free and clear of all Liens, security interests, and encumbrances (except such as are covered by a bond acceptable to Owner indemnifying Owner against any such Liens, security interests, or encumbrances); and  
 (3) All the Work covered by this Application for Payment is in accordance with the Contract Documents and is not defective.

Contractor Signature \_\_\_\_\_  
 By: \_\_\_\_\_ Date: 9-5-2024

ENGINEER: HAKANSON ANDERSON  
 Certification: We recommend payment for work and quantities shown.

\_\_\_\_\_  
 (Engineer) Date: 9-7-24

OWNER: CITY OF RAMSEY

\_\_\_\_\_  
 (Owner) Date: 9/12/2024

**PAY ESTIMATE #2**  
**City of Ramsey**  
**Xkimo Street Surface Improvement Project**

Bid Schedule 'A' - SAP 199-117-002

ITEM NO.	ITEM DESCRIPTION	ESTIMATED QUANTITY	UNIT	CONTRACT UNIT PRICE	CONTRACT AMOUNT	USED TO DATE	EXTENSION
1	MOBILIZATION	0.57	LUMP SUM	\$ 40,800.00	\$ 23,256.00	0.57	\$ 23,256.00
2	REMOVE CONCRETE STRUCTURE	5	EACH	\$ 850.00	\$ 4,250.00	1	\$ 850.00
3	REMOVE MANHOLE OR CATCH BASIN	3	EACH	\$ 485.00	\$ 1,455.00	3	\$ 1,455.00
4	REMOVE CASTING	10	EACH	\$ 120.00	\$ 1,200.00	9	\$ 1,080.00
5	REMOVE SIGN	3	EACH	\$ 45.00	\$ 135.00	3	\$ 135.00
6	SALVAGE CASTING	11	EACH	\$ 125.00	\$ 1,375.00	11	\$ 1,375.00
7	SAWING CONCRETE PAVEMENT - FULL DEPTH	298	LIN FT	\$ 5.50	\$ 1,639.00	268	\$ 1,474.00
8	SAWING BITUMINOUS PAVEMENT - FULL DEPTH	311	LIN FT	\$ 4.00	\$ 1,244.00	323	\$ 1,292.00
9	REMOVE SEWER PIPE (STORM)	100	LIN FT	\$ 26.00	\$ 2,600.00	108	\$ 2,808.00
10	REMOVE CURB AND GUTTER	1262	LIN FT	\$ 9.85	\$ 12,430.70	1,359	\$ 13,386.15
12	REMOVE BITUMINOUS PAVEMENT	105	SQ YD	\$ 10.30	\$ 1,081.50	101	\$ 1,040.30
13	REMOVE CONCRETE WALK	3703	SQ FT	\$ 1.35	\$ 4,999.05	3,635	\$ 4,907.25
14	EXCAVATION - COMMON	155	CU YD	\$ 35.16	\$ 5,449.80	186	\$ 6,539.76
15	SUBGRADE PREPARATION	14.7	ROAD STA	\$ 362.00	\$ 5,321.40	14.7	\$ 5,321.40
16	STREET SWEEPER (WITH PICKUP BROOM)	20	HOURL	\$ 175.00	\$ 3,500.00		\$ -
17	WATER	10	M GAL	\$ 50.00	\$ 500.00		\$ -
18	AGGREGATE BASE CLASS 5 MODIFIED	195	TON	\$ 29.60	\$ 5,772.00		\$ -
19	FULL DEPTH RECLAMATION	6496	SQ YD	\$ 1.23	\$ 8,005.67	6,496	\$ 8,005.67
20	HAUL FULL DEPTH RECLAMATION (LV)	1056	CU YD	\$ 18.32	\$ 19,345.92	1,141	\$ 20,903.12
21	MILL BITUMINOUS SURFACE (2.0")	21	SQ YD	\$ 21.00	\$ 441.00		\$ -
22	BITUMINOUS MATERIAL FOR TACK COAT	461	GALLONS	\$ 4.00	\$ 1,844.00		\$ -
23	TYPE SP 9.5 WEARING COURSE MIXTURE (3:C) 1.5" THICK	77	SQ YD	\$ 30.05	\$ 2,313.85	80	\$ 2,404.00
24	TYPE SP 9.5 WEARING COURSE MIXTURE (3:C) 2.5" THICK	53	SQ YD	\$ 37.65	\$ 1,995.45	44	\$ 1,656.60
25	TYPE SP 9.5 WEARING COURSE MIXTURE (3:C)	844	TON	\$ 92.48	\$ 78,053.12		\$ -
26	TYPE SP 12.5 NON WEARING COURSE MIXTURE (3:C)	1055	TON	\$ 86.25	\$ 93,103.75	838	\$ 73,953.50
27	SAW AND SEAL JOINT	80	LIN FT	\$ 9.25	\$ 740.00		\$ -
28	12" RC PIPE SEWER DESIGN 3006 CLASS V	16	LIN FT	\$ 74.55	\$ 1,192.80	16	\$ 1,192.80
29	15" RC PIPE SEWER DESIGN 3006 CLASS V	46	LIN FT	\$ 70.86	\$ 3,259.56	48	\$ 3,401.28
30	21" RC PIPE SEWER DESIGN 3006 CLASS III	8	LIN FT	\$ 90.35	\$ 722.80	8	\$ 722.80
31	24" RC PIPE SEWER DESIGN 3006 CLASS III	76	LIN FT	\$ 106.46	\$ 8,090.96	84	\$ 8,942.64
34	CONNECT TO EXISTING STORM SEWER	5	EACH	\$ 550.00	\$ 2,750.00	5	\$ 2,750.00

**PAY ESTIMATE #2**  
**City of Ramsey**  
**Xkimo Street Surface Improvement Project**

Bid Schedule 'A' - SAP 199-117-002 (CONTINUED)

ITEM NO.	ITEM DESCRIPTION	ESTIMATED QUANTITY	UNIT	CONTRACT UNIT PRICE	CONTRACT AMOUNT	USED TO DATE	EXTENSION
35	CONNECT TO EXISTING WATERMAIN	1	EACH	\$ 1,000.00	\$ 1,000.00	1	\$ 1,000.00
37	ADJUST VALVE BOX	9	EACH	\$ 512.00	\$ 4,608.00	1	\$ 512.00
40	CONSTRUCT DRAINAGE STRUCTURE DESIGN SPECIAL (2'X3')	2	EACH	\$ 2,282.68	\$ 4,565.36	2	\$ 4,565.36
41	CASTING ASSEMBLY	10	EACH	\$ 616.35	\$ 6,163.50		\$ -
42	INSTALL CASTING	11	EACH	\$ 896.00	\$ 9,856.00	10	\$ 8,960.00
43	CONSTRUCT DRAINAGE STRUCTURE DESIGN 60-4020	3.7	LIN FT	\$ 1,486.24	\$ 5,499.09	3.7	\$ 5,499.09
45	GROUT CATCH BASIN OR MANHOLE	13	EACH	\$ 455.00	\$ 5,915.00		\$ -
46	CLEAN OUT CATCH BASIN	9	EACH	\$ 325.00	\$ 2,925.00		\$ -
47	PRECAST CONCRETE MANHOLE COVER (48")	4	EACH	\$ 2,337.93	\$ 9,351.72	1	\$ 2,337.93
48	PRECAST CONCRETE MANHOLE COVER (72")	1	EACH	\$ 3,757.54	\$ 3,757.54	1	\$ 3,757.54
49	CONNECT INTO EXISTING MH OR CB	1	EACH	\$ 850.00	\$ 850.00	1	\$ 850.00
50	4" CONCRETE WALK	1264	SQ FT	\$ 9.22	\$ 11,654.08	1,374	\$ 12,668.28
51	6" CONCRETE WALK	474	SQ FT	\$ 16.58	\$ 7,858.92	468	\$ 7,759.44
52	CONCRETE CURB AND GUTTER DESIGN SPECIAL (SURMOUNTABLE)	245	LIN FT	\$ 31.50	\$ 7,717.50	254	\$ 8,001.00
53	CONCRETE CURB AND GUTTER DESIGN B418	270	LIN FT	\$ 31.50	\$ 8,505.00	248	\$ 7,812.00
54	CONCRETE CURB AND GUTTER DESIGN B612	25	LIN FT	\$ 31.50	\$ 787.50	50	\$ 1,575.00
55	CONCRETE CURB AND GUTTER DESIGN B618	839	LIN FT	\$ 31.50	\$ 26,428.50	846	\$ 26,649.00
57	8" CONCRETE DRIVEWAY PAVEMENT	177	SQ YD	\$ 95.19	\$ 16,848.63	164	\$ 15,611.16
58	7" CONCRETE VALLEY GUTTER	34	SQ YD	\$ 101.85	\$ 3,462.90	47	\$ 4,786.95
59	TRUNCATED DOMES	38	SQ FT	\$ 74.00	\$ 2,812.00	32	\$ 2,368.00
60	3" NON-METALLIC CONDUIT	100	LIN FT	\$ 11.80	\$ 1,180.00		\$ -
61	TRAFFIC CONTROL SUPERVISOR	0.57	LUMP SUM	\$ 2,850.00	\$ 1,624.50	0.57	\$ 1,624.50
62	TRAFFIC CONTROL	0.57	LUMP SUM	\$ 9,800.00	\$ 5,586.00	0.57	\$ 5,586.00
63	ALTERNATE PEDESTRIAN ROUTE	0.57	LUMP SUM	\$ 4,200.00	\$ 2,394.00		\$ -
64	SIGN PANELS TYPE C	20.8	SQ FT	\$ 110.00	\$ 2,288.00		\$ -
65	RIGID PVC LOOP DETECTOR 6X6'	2	EACH	\$ 1,850.00	\$ 3,700.00	3	\$ 5,550.00
66	TEMPORARY FENCE	200	LIN FT	\$ 6.50	\$ 1,300.00		\$ -
67	STABILIZED CONSTRUCTION EXIT	0.57	LUMP SUM	\$ 5,000.00	\$ 2,850.00		\$ -
68	STORM DRAIN INLET PROTECTION	9	EACH	\$ 160.00	\$ 1,440.00	9	\$ 1,440.00
69	COMMON TOPSOIL BORROW	202	CU YD	\$ 52.25	\$ 10,554.50		\$ -
70	TURF ESTABLISHMENT	0.60	AGRE	\$ 18,450.00	\$ 11,070.00		\$ -
71	4" SOLID LINE MULT-COMPONENT	2660	LIN FT	\$ 0.84	\$ 2,234.40		\$ -

**PAY ESTIMATE #2**  
**City of Ramsey**  
**Xkimo Street Surface Improvement Project**

Bid Schedule 'A' - SAP 199-117-002 (CONTINUED)

ITEM NO.	ITEM DESCRIPTION	ESTIMATED QUANTITY	UNIT	CONTRACT UNIT PRICE	CONTRACT AMOUNT	USED TO DATE	EXTENSION
72	12" SOLID LINE MULTI-COMPONENT	40	LIN FT	\$ 8.93	\$ 357.20		\$ -
73	24" SOLID LINE MULTI-COMPONENT	25	LIN FT	\$ 9.45	\$ 236.25		\$ -
74	4" DOUBLE SOLID LINE MULTI-COMPONENT	1230	LIN FT	\$ 1.68	\$ 2,066.40		\$ -
75	PAVEMENT MESSAGE MULTI-COMPONENT	91.1	SQ FT	\$ 10.50	\$ 956.55		\$ -
Total Bid Schedule 'A'					<u>\$ 488,471.37</u>		<u>\$ 317,765.52</u>

Bid Schedule 'B' - Local Funding

ITEM NO.	ITEM DESCRIPTION	ESTIMATED QUANTITY	UNIT	CONTRACT UNIT PRICE	CONTRACT AMOUNT	USED TO DATE	EXTENSION
1	MOBILIZATION	0.43	LUMP SUM	\$ 40,800.00	\$ 17,544.00	0.43	\$ 17,544.00
2	REMOVE CONCRETE STRUCTURE	1	EACH	\$ 850.00	\$ 850.00	1	\$ 850.00
3	REMOVE MANHOLE OR CATCH BASIN	1	EACH	\$ 485.00	\$ 485.00	1	\$ 485.00
4	REMOVE CASTING	7	EACH	\$ 120.00	\$ 840.00	7	\$ 840.00
5	SALVAGE CASTING	4	EACH	\$ 125.00	\$ 500.00	3	\$ 375.00
6	SAWING CONCRETE PAVEMENT - FULL DEPTH	146	LIN FT	\$ 5.50	\$ 803.00	106	\$ 583.00
7	SAWING BITUMINOUS PAVEMENT - FULL DEPTH	219	LIN FT	\$ 4.00	\$ 876.00	216	\$ 864.00
8	REMOVE SEWER PIPE (STORM)	24	LIN FT	\$ 26.00	\$ 624.00	32	\$ 832.00
9	REMOVE CURB AND GUTTER	815	LIN FT	\$ 9.85	\$ 8,027.75	790	\$ 7,781.50
10	REMOVE WATER SERVICE PIPE	47	LIN FT	\$ 22.00	\$ 1,034.00	95	\$ 2,090.00
11	REMOVE BITUMINOUS PAVEMENT	188	SQ YD	\$ 10.30	\$ 1,936.40	210	\$ 2,163.00
12	REMOVE CONCRETE WALK	938	SQ FT	\$ 1.35	\$ 1,266.30	899	\$ 1,213.65
13	EXCAVATION - COMMON	103	CU YD	\$ 35.16	\$ 3,621.48	126	\$ 4,430.16
14	SUBGRADE PREPARATION	16.1	ROAD STA	\$ 362.00	\$ 5,828.20	16.1	\$ 5,828.20
15	STREET SWEEPER (WITH PICKUP BROOM)	20	HOUR	\$ 175.00	\$ 3,500.00		\$ -
16	WATER	12	M GAL	\$ 50.00	\$ 600.00		\$ -
17	AGGREGATE BASE CLASS 5 MODIFIED	192	TON	\$ 29.60	\$ 5,683.20	12	\$ 355.20
18	FULL DEPTH RECLAMATION	6434	SQ YD	\$ 1.23	\$ 7,929.26	6,384	\$ 7,867.64
19	HAUL FULL DEPTH RECLAMATION (LV)	813	CU YD	\$ 18.32	\$ 14,894.16	861	\$ 15,735.52
20	MILL BITUMINOUS SURFACE (2.0")	11	SQ YD	\$ 21.00	\$ 231.00		\$ -
21	BITUMINOUS MATERIAL FOR TACK COAT	451	GALLONS	\$ 4.00	\$ 1,804.00		\$ -
22	TYPE SP 9.5 WEARING COURSE MIXTURE (3:C) 1.5" THICK	500	SQ YD	\$ 30.05	\$ 15,025.00	32	\$ 961.60

**PAY ESTIMATE #2**  
**City of Ramsey**  
**Xkimo Street Surface Improvement Project**

Bid Schedule 'B' - Local Funding (CONTINUED)

ITEM NO.	ITEM DESCRIPTION	ESTIMATED QUANTITY	UNIT	CONTRACT UNIT PRICE	CONTRACT AMOUNT	USED TO DATE	EXTENSION
23	TYPE SP 9.5 WEARING COURSE MIXTURE (3'C) 2.5" THICK	27	SQ YD	\$ 37.65	\$ 1,016.55	22	\$ 828.30
24	TYPE SP 9.5 WEARING COURSE MIXTURE (3'C)	835	TON	\$ 92.48	\$ 77,220.80		\$ -
25	TYPE SP 12.5 NON WEARING COURSE MIXTURE (3'C)	752	TON	\$ 88.25	\$ 66,364.00	770	\$ 67,952.50
26	SAW AND SEAL JOINT	80	LIN FT	\$ 9.25	\$ 740.00		\$ -
27	15" RC PIPE SEWER DESIGN 3006 CLASS V	8	LIN FT	\$ 70.86	\$ 566.88	16	\$ 1,133.76
28	30" RC PIPE SEWER DESIGN 3006 CLASS III	8	LIN FT	\$ 194.80	\$ 1,558.40	16	\$ 3,116.80
29	36" RC PIPE SEWER DESIGN 3006 CLASS III	8	LIN FT	\$ 292.08	\$ 2,336.64		\$ -
30	CONNECT TO EXISTING STORM SEWER	3	EACH	\$ 550.00	\$ 1,650.00	5	\$ 2,750.00
31	VALVE BOX	5	EACH	\$ 695.00	\$ 3,475.00	2	\$ 1,390.00
32	ADJUST VALVE BOX	5	EACH	\$ 512.00	\$ 2,560.00	1	\$ 512.00
33	6" GATE VALVE AND BOX	1	EACH	\$ 4,985.00	\$ 4,985.00	1	\$ 4,985.00
34	6" WATERMAIN DUCTILE IRON CL 53	50	LIN FT	\$ 86.50	\$ 4,325.00	50	\$ 4,325.00
35	CASTING ASSEMBLY	7	EACH	\$ 616.35	\$ 4,314.45	1	\$ 616.35
36	INSTALL CASTING	4	EACH	\$ 896.00	\$ 3,584.00	3	\$ 2,688.00
37	CONSTRUCT DRAINAGE STRUCTURE DESIGN 84-4020	8.4	LIN FT	\$ 1,924.56	\$ 16,166.30	8.4	\$ 16,166.30
38	GROUT CATCH BASIN OR MANHOLE	5	EACH	\$ 455.00	\$ 2,275.00		\$ -
39	CLEAN OUT CATCH BASIN	5	EACH	\$ 325.00	\$ 1,625.00		\$ -
40	PRECAST CONCRETE MANHOLE COVER (48")	1	EACH	\$ 2,337.93	\$ 2,337.93	1	\$ 2,337.93
41	6" CONCRETE WALK	212	SQ FT	\$ 16.58	\$ 3,514.96	301	\$ 4,990.58
42	CONCRETE CURB AND GUTTER DESIGN SPECIAL (SURMOUNTABLE)	134	LIN FT	\$ 31.50	\$ 4,221.00	114	\$ 3,591.00
43	CONCRETE CURB AND GUTTER DESIGN B612	11	LIN FT	\$ 31.50	\$ 346.50	74	\$ 2,331.00
44	CONCRETE CURB AND GUTTER DESIGN B618	576	LIN FT	\$ 31.50	\$ 18,144.00	561	\$ 17,671.50
45	6" CONCRETE DRIVEWAY PAVEMENT	19	SQ YD	\$ 85.74	\$ 1,629.06	234	\$ 20,063.16
46	8" CONCRETE DRIVEWAY PAVEMENT	39	SQ YD	\$ 95.19	\$ 3,712.41	19	\$ 1,808.61
47	7" CONCRETE VALLEY GUTTER	45	SQ YD	\$ 101.85	\$ 4,583.25	31	\$ 3,157.35
48	TRUNCATED DOMES	27	SQ FT	\$ 74.00	\$ 1,998.00	30	\$ 2,220.00
49	3" NON-METALLIC CONDUIT	50	LIN FT	\$ 11.80	\$ 590.00		\$ -
50	TRAFFIC CONTROL SUPERVISOR	0.43	LUMP SUM	\$ 2,850.00	\$ 1,225.50	0.43	\$ 1,225.50
51	TRAFFIC CONTROL	0.43	LUMP SUM	\$ 9,800.00	\$ 4,214.00	0.43	\$ 4,214.00
52	ALTERNATE PEDESTRIAN ROUTE	0.43	LUMP SUM	\$ 4,200.00	\$ 1,806.00		\$ -
53	STABILIZED CONSTRUCTION EXIT	0.43	LUMP SUM	\$ 5,000.00	\$ 2,150.00		\$ -
54	STORM DRAIN INLET PROTECTION	5	EACH	\$ 160.00	\$ 800.00	4	\$ 640.00

**PAY ESTIMATE #2**  
**City of Ramsey**  
**Xkimo Street Surface Improvement Project**

**Bid Schedule 'B' - Local Funding (CONTINUED)**

ITEM NO.	ITEM DESCRIPTION	ESTIMATED QUANTITY	UNIT	CONTRACT UNIT PRICE	CONTRACT AMOUNT	USED TO DATE	EXTENSION
55	COMMON TOPSOIL BORROW	121	CU YD	\$ 52.25	\$ 6,322.25		\$ -
56	TURF ESTABLISHMENT	0.40	ACRE	\$ 18,450.00	\$ 7,380.00		\$ -
57	24" SOLID LINE MULT-COMPONENT	15	LIN FT	\$ 9.45	\$ 141.75		\$ -
Total Bid Schedule 'B'					\$ 353,782.39		\$ 241,552.12

Bid Schedule 'A' - SAP 199-117-002

\$488,471.37

\$317,765.52

Bid Schedule 'B' - Local Funding

\$353,782.39

\$241,552.12

TOTAL \$842,253.75

\$559,317.63

<u>FUND</u>	<u>--&gt;</u>	<u>WORK TO DATE</u>	<u>-</u>	<u>RETAINAGE (5%)</u>	<u>-</u>	<u>PREV. PAYMENTS</u>	<u>=</u>	<u>PAYMENT DUE</u>
MSA	-->	\$270,978.08	-	\$13,548.90	-	\$102,154.15	=	\$155,275.03
PM	-->	\$180,973.13	-	\$9,048.66	-	\$66,191.60	=	\$105,732.87
SANITARY	-->	\$8,960.00	-	\$448.00	-	\$2,553.60	=	\$5,958.40
WATER	-->	\$30,219.84	-	\$1,510.99	-	\$18,254.10	=	\$10,454.75
STORM	-->	\$68,186.58	-	\$3,409.33	-	\$1,939.90	=	\$62,837.35
<b>TOTAL</b>	<b>--&gt;</b>	<b>\$559,317.63</b>	<b>-</b>	<b>\$27,965.88</b>	<b>-</b>	<b>\$191,093.35</b>	<b>=</b>	<b>\$340,258.40</b>

**CC Regular Session New****Meeting Date:** 09/24/2024**Primary Strategic Plan Initiative:** Promote economic growth and development.**Title:**

Adopt Resolution #24-260 Approving Release of Assessment Agreement for Riverstone Plat

**Purpose/Background:**

The purpose of this case is to consider executing a release of special assessments levied against the Riverstone Plat for the Puma Street project. Staff has been approached by a title company looking to close a property sale in the Riverstone plat Development. The title work shows an outstanding special assessment for all lots in the Riverstone Plat west of Puma Street. Staff consulted with the Finance Department and verified that the special assessments have been paid in full on this parcel and the plat and a Release of the Assessment Agreement filed as document number 2176959.004 should be executed by the Council and provided to the title company for recording.

**Notification:**

None required

**Time Frame/Observations/Alternatives:**

The Special Assessment Agreement filed as document number 2176959.004 (see attached) for the Riverstone Plat has been paid in full. Staff has drafted a blanket release for the special assessments filed on the Riverstone Plat that has been reviewed and approved by Attorney Knaak. The filing of a blanket release will remove the need for the City to provide releases for each individual lot whenever each sale occurs. Staff is presenting Resolution #24-260 for consideration by the Council.

**Alternatives Include:**

- 1) Adopt Resolution #24-260 Approving Release of Assessment Agreement for Riverstone Plat (as presented); subject to City Attorney review
- 2) Adopt Resolution #24-260 Approving Release of Assessment Agreement for Riverstone Plat (with changes); subject to City Attorney review
- 3) Something Else

**Funding Source:**

This item is covered under Staff duties

**Recommendation:**

- 1) Staff recommends adoption of Resolution #24-260 Approving Release of Assessment Agreement for Riverstone Plat (as presented); subject to City Attorney review

**Outcome/Action:**

Motion to adopt Resolution #24-260 Approving Release of Assessment Agreement for Riverstone Plat (as presented); subject to City Attorney review

**Attachments**

ACTION - Resolution #24-260

ACTION - Release of Assessment Agreement

Site Location - Riverstone Plat

Reference - Original Assessment Agreement

### Form Review

**Inbox**

Brian Hagen

Form Started By: Sean Sullivan

Final Approval Date: 09/19/2024

**Reviewed By**

Brian Hagen

**Date**

09/19/2024 12:25 PM

Started On: 09/11/2024 04:11 PM

Councilmember \_\_\_\_\_ introduced the following resolution and moved for its adoption:

**RESOLUTION #24-260**

**RESOLUTION APPROVING RELEASE OF ASSESSMENT AGREEMENT FOR RIVERSTONE PLAT**

**WHEREAS**, the City of Ramsey, (the “City,”) and Riverstone, (the “Developer”) entered into an Assessment Agreement on July 25, 2017 and recorded on July 28, 2017 in the Office of the Anoka County Recorder as document number 2176959.004 on the property legally described on Exhibit A (the “Property”); and

**WHEREAS**, the Special Assessment on the Property has been paid in full and current landowners are asking for the Assessment Agreement to be released from their title; and

**WHEREAS**, the City Attorney has reviewed the Release of Assessment Agreement for the Property and recommends approval.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:**

That the City approves the Release of Assessment Agreement for the Property legally described on Exhibit A and authorizes the Mayor and City Administrator to execute documents necessary to record the document in the Office of the Anoka County Recorder

That the motion for the adoption of the foregoing resolution was duly seconded by Councilmember \_\_\_\_\_ and upon vote being taken thereon, the following voted in favor:

and the following voted against the same:

and the following abstained:

and the following were absent:

whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this 24th of September, 2024.

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Mayor

**ATTEST:**

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City Clerk

**Exhibit A**  
**Legal Description of Property**

Lots 1-12, Block 1,  
Lots 1-6, Block 2,  
Lots 1-19, Block 3  
Lots 1-14, Block 4  
Outlots F and G;  
Riverstone, Anoka County Minnesota



# RIVERSTONE

CITY OF RAMSEY  
COUNTY OF ANOKA  
SEC. 20 & 29, TWP. 32, RGE. 25

KNOW ALL PERSONS BY THESE PRESENTS: That Riverstone Development, LLC, a Minnesota limited liability company, owner of the following described property:

The Northwest Quarter of the Southwest Quarter of Section 20, Township 32, Range 25, Anoka County, Minnesota, EXCEPT the East 40.00 feet of said Northwest Quarter of the Southwest Quarter lying southerly of the southerly right of way line of Alpine Drive as described in Document No. 756629.

and also EXCEPT the North 40.00 feet of the South 100.00 feet of the West 40.00 feet of the East 80.00 feet of said Northwest Quarter of the Southwest Quarter.

and

The Southwest Quarter of the Southwest Quarter of Section 20, Township 32, Range 25, Anoka County, Minnesota, EXCEPT the East 40.00 feet thereof.

and

The Northwest Quarter of the Northwest Quarter of Section 29, Township 32, Range 25, Anoka County, Minnesota, lying northeasterly of the northeasterly right of way line of Burlington Northern Railroad, EXCEPT the North 60.00 feet of the East 40.00 feet of said Northwest Quarter of the Northwest Quarter.

Has caused the same to be surveyed and platted as RIVERSTONE and does hereby dedicate to the public for public use the public ways and the drainage and utility easements as shown on this plat.

In witness whereof said Riverstone Development, LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officer this 27 day of July, 2017.

RIVERSTONE DEVELOPMENT, LLC

*Stephen A. Bona*  
Stephen A. Bona, Vice President

STATE OF Minnesota  
COUNTY OF Anoka

This instrument was acknowledged before me on July 27<sup>th</sup>, 2017 by Stephen A. Bona, Vice President of Riverstone Development, LLC, a Minnesota limited liability company, on behalf of the company.

*Cynthia J. Morica*  
Cynthia J. Morica  
Notary Public, Hennepin County, MN  
My commission expires January 31, 2020

I Thomas R. Balluff do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey, that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this 27<sup>th</sup> day of July, 2017.

*Thomas R. Balluff*  
Thomas R. Balluff, Licensed Land Surveyor  
Minnesota License No. 40361

STATE OF Minnesota  
COUNTY OF Anoka

This instrument was acknowledged before me on July 27<sup>th</sup>, 2017 by Thomas R. Balluff.

*Cynthia J. Morica*  
Cynthia J. Morica  
Notary Public, Hennepin County, MN  
My commission expires January 31, 2020

CITY COUNCIL, CITY OF RAMSEY, MINNESOTA

This plat of RIVERSTONE was approved and accepted by the City Council of the City of Ramsey, Minnesota at a regular meeting thereof held this 27<sup>th</sup> day of July, 2017, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

CITY COUNCIL, CITY OF RAMSEY, MINNESOTA

By *David J. ...* Mayor By *John M. ...*

COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this 28<sup>th</sup> day of July, 2017.

*Larry D. ...*  
Larry D. ...  
Anoka County Surveyor

COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 2017, on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this 28<sup>th</sup> day of July, 2017.

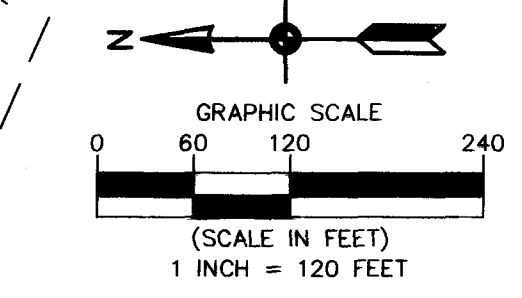
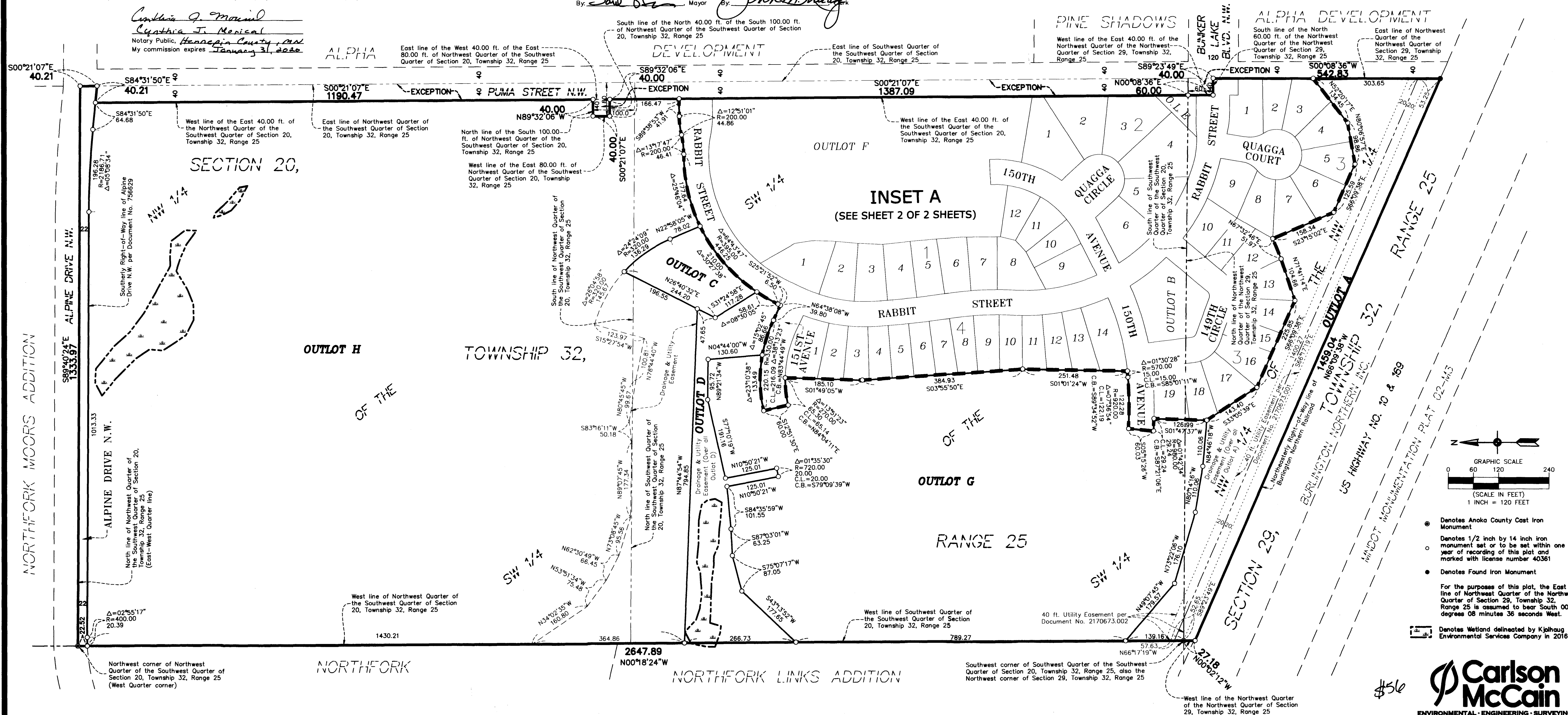
*Jonell M. Sawyer*  
Jonell M. Sawyer  
Property Tax Administrator  
By *Michelle ...* Deputy

COUNTY RECORDER/REGISTRAR OF TITLES

County of Anoka, State of Minnesota

I hereby certify that this plat of RIVERSTONE was filed in the office of the County Recorder/Registrar of Titles for public record on this 28<sup>th</sup> day of July, 2017, at 3:42 o'clock P.M. and was duly recorded as Document Number 2176959.002.

*Jonell M. Sawyer*  
Jonell M. Sawyer  
County Recorder/Registrar of Titles  
By *Michelle ...* Deputy



- Denotes Anoka County Cast Iron Monument
- Denotes 1/2 inch by 14 inch iron monument set or to be set within one year of recording of this plat and marked with license number 40361
- Denotes Found Iron Monument

For the purposes of this plat, the East line of Northwest Quarter of the Northwest Quarter of Section 29, Township 32, Range 25 is assumed to bear South 00 degrees 08 minutes 36 seconds West.

Denotes Wetland delineated by Kipling Environmental Services Company in 2016

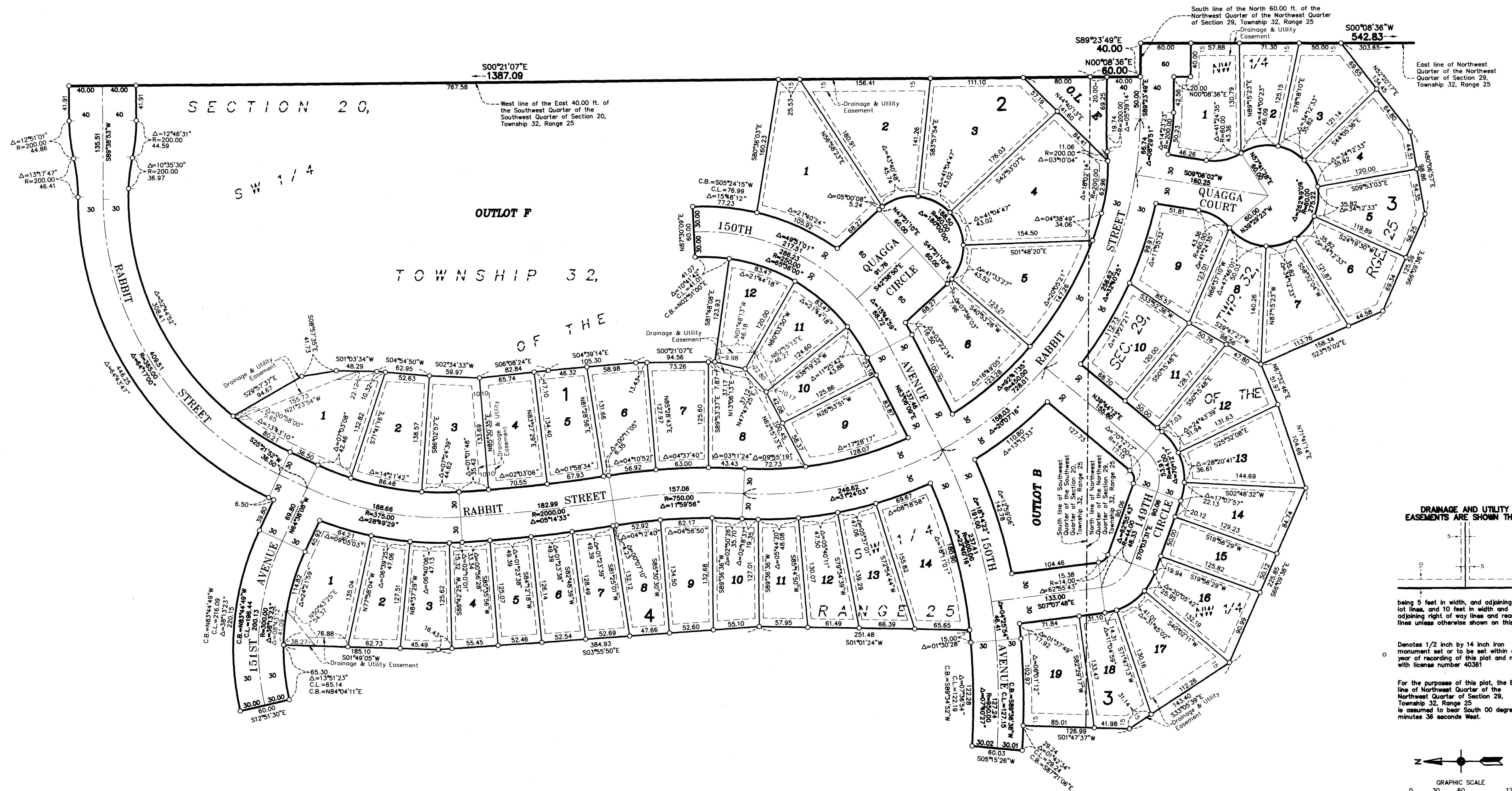


\$56

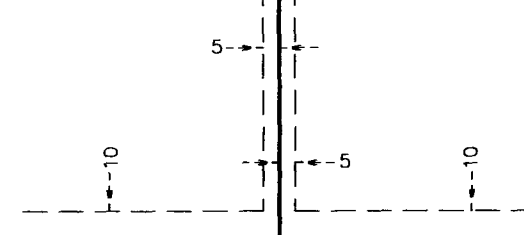
# RIVERSTONE

CITY OF RAMSEY  
COUNTY OF ANOKA  
SEC. 20 & 29, TWP. 32, RGE. 25

## INSET A



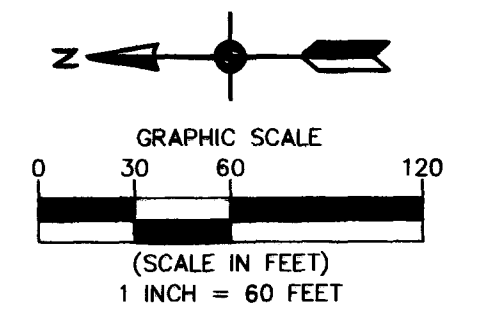
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



being 5 feet in width, and adjoining side lot lines, and 10 feet in width and adjoining right of way lines and rear lot lines unless otherwise shown on this plat.

Denotes 1/2 inch by 14 inch iron monument set or to be set within one year of recording of this plat and marked with license number 40361

For the purposes of this plat, the East line of Northwest Quarter of the Northwest Quarter of Section 29, Township 32, Range 25 is assumed to bear South 00 degrees 08 minutes 36 seconds West.



**Carlson McCain**  
ENVIRONMENTAL • ENGINEERING • SURVEYING



2176959.004

---

(reserved for recording)

**ASSESSMENT AGREEMENT**

THIS ASSESSMENT AGREEMENT (this "Agreement") is made this 25 day of JULY, 2017, by and between between the **City of Ramsey**, Minnesota, a Minnesota municipal corporation ("City"), **Riverstone Development, LLC.**, a Minnesota limited liability company ("Riverstone Development"), and **Hageman Holdings, LLC**, a Minnesota limited liability company ("Hageman Holdings") (Riverstone Development and Hageman Holdings are collectively referred to as "Owners").

Recitals

- A. Owners are the owners of fee title to the Property, as defined in Exhibit A, attached hereto.
- B. The Owners desire to have certain public improvements constructed to serve the Property as described in Exhibit B (the "Improvement Project"). Concept level plans and specifications for the Improvement Project are completed.
- C. The Owners desire to have the City construct the Improvement Project without notice of hearing or hearing on the special assessments levied to finance the Improvement Project, and to levy up to 40% of the cost of the Improvement Project against the Property.
- D. The City is willing to construct the Improvement Project without certain notices or hearings, provided that assurances and covenants stated below are made by the Owners to ensure that the City will have valid and collectable special assessments as they relate to the Property.
- E. Were it not for the assurances and covenants provided in this Agreement, the City would not construct the Improvement Project and is doing so solely at the behest, and for the benefit, of the Owners.

## Agreement

In consideration of the recitals stated above, the mutual promises and agreements set forth below, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged by the parties, the parties hereby agree as follows:

1. Recitals Incorporated. The recitals stated above are hereby incorporated into this Agreement and made a part of this Agreement by reference.
2. Petition. The Owners hereby petition the City for construction of the Improvement Project.
3. Authority.
  - a. Riverstone Development represents and warrants that it is the owner of 100 percent of the Riverstone Property as described in Exhibit A, that it has full legal authority to encumber the Riverstone Property as provided in this Agreement, and that as of the date of this Agreement, it has fee simple absolute title in the Riverstone Property, which is not subject to any liens, interests or encumbrances, except as listed in Exhibit E.
  - b. Hageman Holdings represents and warrants that it is the owner of 100 percent of the Hageman Property as described in Exhibit A, that it has full legal authority to encumber the Hageman Property as provided in this Agreement, and that as of the date of this Agreement, it has fee simple absolute title in the Hageman Property, which is not subject to any liens, interests or encumbrances, except as listed in Exhibit E.
4. Waiver of Hearings. The Owners waive notice of hearing and hearing pursuant to Minn. Stat. section 429.031, on the Improvement Project, notice of hearing and hearing on the special assessments levied to finance the Improvement Project pursuant to Minn. Stat. section 429.061, and any notice of hearing or procedure specified under the City Charter, and specifically requests that the Improvement Project be constructed and special assessments be levied against the Property without hearings.
5. Waiver of Appeal or Reapportionment. Each Owner, as to the portion of the Property owned by it, waives the right to appeal the levy of the special assessments pursuant to Minn. Stat. section 429.081, , and further specifically agrees with respect to such special assessments that:
  - a. Any requirements of Minn. Stat. chapter 429 or the City Charter with which the City does not comply are hereby waived;
  - b. The increase in fair market value of its portion of the Property resulting from construction of the Improvement Project will be at least equal to the cost of the Improvement Project as set forth herein, and that such increase in fair market value is a special benefit to the Property;
  - c. Assessment of the above-specified cost of the Improvement Project against its portion of the Property is reasonable, fair and equitable and there are no other properties against which such cost should be assessed.
6. No Deferral. Each Owner represents and warrants that its portion of the Property is not so classified for tax purposes as to result in deferral of the obligation to pay special assessments, and Owner

agrees that it will take no action to secure such tax status of its portion of the Property during the term of this Agreement.

7. Assessment. The Owners request that up to 40% of the actual cost of the Improvement Project be assessed against the Property as detailed in Exhibit B and Exhibit C. Information contained in Exhibit B and Exhibit C, including assessment amounts, will be updated upon receiving bids for the Improvement Project, and upon completion of construction
8. Payment of Assessment.
  - a. Riverstone Development. Certified assessments for the Plat shall be payable in equal semi-annual installments over a period of four (4) years with the first installment due May 15, 2019, and subsequent installments due May 15 and October 15 each year. The fixed interest rate applied to the Assessment shall be set at the five (5) year U.S. Treasury rate on the date of this agreement plus 2 percent. The owner of any property so assessed may, at any time prior to certification of the assessment or the first installment thereof to the county auditor, pay the whole of the assessment on such property, with interest accrued to the date of payment, to the municipal treasurer, except that no interest shall be charged if the entire assessment is paid within 30 days from the adoption thereof. The owner may at any time prior to November 15 of any year, prepay to the treasurer of the municipality having levied said assessments, the whole assessment remaining due. Assessments levied against any parcel shall be paid in full upon transfer of ownership. Appendix D is an example payment schedule.
  - b. Hageman Holdings. No annual or semi-annual assessment payments are required until any portion of the Hageman Property is developed or sold. Interest shall accrue on the assessment. The fixed interest rate applied to the Assessment shall be set at the five (5) year U.S. Treasury rate on the date of this agreement plus 2 percent. Certified assessments shall be paid in full upon transfer of ownership, or development of, all or any portion of the Hageman Property. Property is deemed "developed" as of the date of final plat approval by the Ramsey City Council.
9. Collateral.
  - d. Riverstone Development. Riverstone Development shall furnish the City with an irrevocable letter of credit equal to 40% of the assessments made against the Riverstone Property. This letter of credit will remain in place until all assessment payments are made by Riverstone Development. The City shall immediately draw on this letter of credit in the event Riverstone Development defaults on making any assessment payments. This letter of credit shall be furnished and executed within the City's final plat and development agreement process for the proposed Riverstone residential development project. This letter of credit shall adhere to the City's Finance Department minimum standards and must be approved by the City's Finance Director. This letter of credit is separate from the letter of credit that will be required by the City through the City's standard platting and development agreement processes.
  - e. Hageman Holdings. No additional collateral required.
10. Successors and Assigns. The covenants, waivers and agreements contained in this Agreement shall bind the successors and assigns of each Owner and shall run with such Owner's portion of the Property and bind all its successors in interest. It is the intent of the parties hereto that this Agreement be in a

form that is recordable in the land records of Anoka County, Minnesota, and they agree to make any changes in this Agreement that may be necessary to effect the recording of this Agreement against the title to the Property.

11. Termination. This Agreement shall terminate as to the Riverstone Property or the Hageman Property, as the case may be, upon the final payment of all special assessments levied against that portion of the Property from the Improvement Project. The City shall then execute and deliver such documents, in recordable form, as are necessary to extinguish its rights hereunder.
  
12. Counterparts. This Agreement may be executed in multiple counterparts, each of which shall be an original, but all of which together shall constitute a single agreement.

(left blank intentionally; signature pages and appendix to follow)

DRAFTED BY:  
Patrick J. Brama  
Assistant City Administrator  
City of Ramsey  
7550 Sunwood Dr. NW.  
Ramsey, MN 55303

CITY OF RAMSEY

By: [Signature]  
Its: Mayor

ATTEST

By: [Signature]  
Its: City Administrator

STATE OF MINNESOTA     )  
  ) ss.  
COUNTY OF ANOKA    )

The foregoing instrument was acknowledged before me this 26<sup>th</sup> day of July, 2017, by Sarah Strommen and Kurtis G. Ulrich, the Mayor and City Administrator, respectively, of City of Ramsey, a Minnesota municipal corporation pursuant to the authority granted by its City Council.

[Signature]  
Notary Public



RIVERSTONE DEVELOPMENT, LLC

By: [Signature]  
Its: Vice President

STATE OF MINNESOTA            )  
  ) SS.  
COUNTY OF Anoka            )

On this 26<sup>th</sup> day of July, 2017, before me a Notary Public within and for said County, personally Steve Bona to me personally known, who each by me duly sworn, did say that he is the Vice President of Riverstone Development, LLC,, a limited liability corporation under the laws of the State of Minnesota, acknowledged said instrument to be the free act and deed of said corporation.

[Signature]  
Notary Public



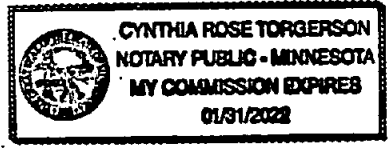
HAGEMAN HOLDINGS, LLC

By: *Michael Hageman*  
Its: PRESIDENT

STATE OF MINNESOTA            )  
  ) SS.  
COUNTY OF Wright            )

On this 26 day of July, 2017, before me a Notary Public within and for said County, personally Michael Hageman to me personally known, who each by me duly sworn, did say that he is the President of Hageman Holdings, LLC, a limited liability corporation under the laws of the State of Minnesota, acknowledged said instrument to be the free act and deed of said corporation.

*Cynthia Rose Torgerson*  
Notary Public



**EXHIBIT A: Property Description**

**Riverstone Development, LLC (A. Riverstone Property)**

Riverstone Plat, Anoka County, City of Ramsey

Block 1 Lots 1-12

Block 2 Lots 1-6

Block 3 Lots 1-19

Block 4 Lots 1-14

Outlot F 1 lot

Outlot G 1 lot

**Hageman Holdings, LLC (B. Hageman Property)**

PID: 20-32-25-34-0004

Address: 8200 Bunker Lake Boulevard

Legal: Lot 1, Block 1, Alpha Development

## EXHIBIT B

### Improvement Project

Updated March of 2017. Concept level costs displayed. Information contained in Exhibit B, including estimated project costs, will be updated upon receiving bids for the Improvement Project.

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<u>Improvement Type</u>	<u>Phase 1A</u>	<u>Phase 1B</u>
Roadway	\$ 795,000	\$ 940,000
Roadway Transitions	\$ 66,000	\$ 78,000
Right Turn Lanes	\$ 132,000	\$ 156,000
Trails/Sidewalks	\$ 106,000	\$ 125,000
Storm Water Management	\$ 0	\$ 48,000
Street Lighting	\$ 76,000	\$ 90,000
Trunk Water	\$ 154,000	\$ 182,000
Trunk Sanitary Sewer	\$ 179,000	\$ 545,000
<b>Total Costs/Phase</b>	<b>\$ 1,508,000</b>	<b>\$ 2,164,000</b>
<b>Total Costs less Public Utilities</b>	<b>\$ 1,175,000</b>	<b>\$ 1,437,000</b>

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The above costs include 30% contingencies and project development costs. Project development costs include administrative, engineering, legal, and financing related costs.

#### NOTES:

1. The scope of the above Phase 1B will be expanded to include a pedestrian crossing at the intersection of Puma Street/ Alpine Drive (\$5,000 estimated cost). This is not reflected in Exhibit B; this is reflected in Exhibit C.
2. Riverstone has requested certain Phase 1B infrastructure improvements be constructed early. As a result, Phase 1B costs will increase by an estimated \$50,000, to account for a temporary gravel road. Riverstone will be assessed 100% of this additional cost. This is not reflected in Exhibit B; this is reflected in Exhibit C.

**EXHIBIT C: Improvement Project Costs & Estimated Assessment Roll**

**TABLE A: Engineers Feasibility Estimates**

<u>Total Costs</u>	
Phase 1A	\$ 1,508,000
<u>Phase 1B</u>	<u>\$ 2,169,000</u>
Sub Total	\$ 3,677,000

Total Costs (less Trunk Water & Sewer)

Phase 1A	\$ 1,175,000
<u>Phase 1B</u>	<u>\$ 1,442,000</u>
Sub Total	\$ 2,617,000

**TABLE B: Cost Share Agreement**

	<u>City</u>	<u>Riverstone</u>	<u>Hageman</u>
Phase 1A	60%	16%	24%
Phase 1B	60%	40%	0%

**TABLE C: Preliminary Assessment Roll\***

	<u>City</u>	<u>Riverstone</u>	<u>Hageman</u>
Phase 1A	\$ 705,000	\$ 188,000	\$ 282,000
Phase 1B	\$ 865,200	\$ 576,800	\$ -

**TABLE D: Riverstone Preliminary Assessment Detail**

Estimated Total Assessment	\$ 764,800
(add \$50,000 per Exhibit B, Note 2)	\$ 814,800
Number of Lots	150
% Share Per Lot	0.6667%
Estimated Assessment Per Lot	\$ 5,432

Breakdown	Lots	% Share	Estimate
Buildable	51	34.000%	\$ 277,032
Outlot F	23	15.333%	\$ 124,936
Outlot G	76	50.667%	\$ 412,832

**TABLE E: Hageman Preliminary Assessment Detail**

Estimated Total Assessment	\$ 282,000
Number of Lots	1
% Share Per Lot	100%
Estimated Assessment Per Lot	\$ 282,000

\*Costs are Bolton & Menk preliminary feasibility estimates from March of 2017, and include 30% contingencies. Adjustments to assessment amounts will be made by the City of Ramsey upon receiving actual bids for these improvements. A risk factor exists, that actual costs for this project are different than originally estimated.

# Exhibit D

## Riverstone Development: Example Payment Schedule

Information contained in Exhibit D, including estimated payments, will be updated upon receiving bids for the Improvement Project.

Capstone Riverstone: Assessment Agreement Signed: Est 7/26/17 730 Days interest: Jan 1, 2018-Dec 31, 2019

Int rate = 5 Year Treasury + 2 basis points	Principal	3.83%** Interest	Payment Amount	Pay-off Balance
<b>Bld. Lots -51 Assessed</b>				5,432.00
2019	1,358.00	416.09	1,774.09	4,074.00
2020	1,358.00	156.03	1,514.03	2,716.00
2021	1,358.00	104.02	1,462.02	1,358.00
2022	1,358.00	52.01	1,410.01	-
<b>Total</b>	<b>\$ 5,432.00</b>	<b>\$ 728.16</b>	<b>\$ 6,160.16</b>	

\*\* Based on 5 year treasury rate 7-24-17 + 2 points

Capstone Riverstone: Assessment Agreement Signed: Est 7/12/17 730 Days interest: Jan 1, 2018-Dec 31, 2019

Int rate = 5 Year Treasury + 2 basis points	Principal	3.83%** Interest	Payment Amount	Pay-off Balance
<b>Outlot F</b>				124,936.00
2019	31,234.00	9,570.10	40,804.10	93,702.00
2020	31,234.00	3,588.79	34,822.79	62,468.00
2021	31,234.00	2,392.52	33,626.52	31,234.00
2022	31,234.00	1,196.26	32,430.26	-
<b>Total</b>	<b>\$ 124,936.00</b>	<b>\$ 16,747.67</b>	<b>\$ 141,683.67</b>	

\*\* Based on 5 year treasury rate 7-24-17 + 2 points

Capstone Riverstone: Assessment Agreement Signed: Est 7/12/17 730 Days interest: Jan 1, 2018-Dec 31, 2019

Int rate = 5 Year Treasury + 2 basis points	Principal	3.83%** Interest	Payment Amount	Pay-off Balance
<b>Outlot G</b>				412,832.00
2019	103,208.00	31,622.93	134,830.93	309,624.00
2020	103,208.00	11,858.60	115,066.60	206,416.00
2021	103,208.00	7,905.73	111,113.73	103,208.00
2022	103,208.00	3,952.87	107,160.87	-
<b>Total</b>	<b>\$ 412,832.00</b>	<b>\$ 55,340.13</b>	<b>\$ 468,172.13</b>	

\*\* Based on 5 year treasury rate 7-24-17 + 2 points

**Exhibit E**

**Liens and Encumbrances**

[both property owners shall provide the City of Ramsey with updated owners and encumbrances reports  
10 days prior to final plat approval.]

ANOKA COUNTY MINNESOTA

Document No.: 2176959.004 ABSTRACT

I hereby certify that the within instrument was filed in  
this office for record on: 07/28/2017 3:42:00 PM

Fees/Taxes In the Amount of \$46.00

JONELL M. SAWYER

Anoka County Property Tax

Administrator/Recorder/Registrar of Titles

MLM, Deputy

Record ID: 4037522

**CC Regular Session New**

**Meeting Date:** 09/24/2024

**Primary Strategic Plan Initiative:** Not Applicable

**Title:**

Adopt Resolution #24-265 Approving Partial Payment to North Valley, Inc. for Improvement Project #24-01, Barthel's Rum River Acres and White Pines Estates Street Reconstruction.

**Purpose/Background:**

Resolution and Pay Request Attached.

**Recommendation:**

The Senior Engineering Technician has inspected the completed work and recommends partial payment to North Valley, Inc. for improvement project #24-01, Barthel's Rum River Acres and White Pines Estates Street Reconstruction in the amount of \$238,620.44.

**Outcome/Action:**

Motion to adopt Resolution #24-265 approving partial payment to North Valley, Inc. for improvement project #24-01, Barthel's Rum River Acres and White Pines Estates Street Reconstruction in the amount of \$238,620.44.

**Attachments**

Pay Resolution #24-265  
Pay Request

**Form Review**

<b>Inbox</b>	<b>Reviewed By</b>	<b>Date</b>
Bruce Westby	Bruce Westby	09/19/2024 10:15 AM
Brian Hagen	Brian Hagen	09/19/2024 12:27 PM
Form Started By: Stacie Damjanovich		Started On: 09/12/2024 01:08 PM
Final Approval Date: 09/19/2024		

Councilmember \_\_\_\_ introduced the following resolution and moved for its adoption:

**RESOLUTION #24-265**

**RESOLUTION APPROVING PARTIAL PAYMENT NO. 4 TO NORTH VALLEY, INC. FOR BARTHEL'S RUM RIVER ACRES AND WHITE PINES ESTATES STREET RECONSTRUCTIONS, IMPROVEMENT PROJECT #24-01**

**WHEREAS**, the City of Ramsey proposes to reconstruct the streets within the Barthel's Rum River Acres and White Pines Estates subdivisions; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #23-130, adopted June 13, 2023, the City Council accepted and awarded the proposal to Bolton & Menk, Inc., for topographic survey of the project area; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #23-129, adopted June 27, 2023, the City Council accepted and awarded the proposal to Independent Testing Technologies, Inc., for a geotechnical report of the project area; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #23-197, adopted August 22, 2023, the City Council ordered the City Engineer to prepare plans and specifications for Barthel's Rum River Acres and White Pines Estates Street Reconstructions, Improvement Project #24-01; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #23-250, adopted October 10, 2023, the City Council accepted and awarded the proposal to Hydro-Klean, LLC, for cleaning and televising of storm sewer pipes within the project area; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #23-297, adopted November 28, 2023 the City Council approved final plans and specifications as prepared by the City Engineer and authorized advertisement for bids for the same improvements; and

**WHEREAS**, proposals were received for Construction Staking and As-built Survey of \$37,670.00 from Bolton and Menk, Inc. for said improvements; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #24-063, adopted February 26, 2024, a contract was awarded to North Valley, Inc. of Nowthen, Minnesota, in the amount of \$848,577.00 for said improvements; and

**WHEREAS**, as of September 24, 2024 \$620,265.43 has been paid to date; and

**WHEREAS**, the Senior Engineering Technician has inspected the completed work and recommends partial payment No. 4 to North Valley, Inc. of Nowthen, Minnesota, for improvement project #24-01, Barthel's Rum River Acres and White Pines Estates Street Reconstruction, in the amount of \$238,620.44.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA:**

- 1) The City Council hereby authorizes partial payment No. 4 to North Valley, Inc. of Nowthen, Minnesota for Improvement Project #24-01, Barthel's Rum River Acres and White Pines Estates Street Reconstruction in the amount of \$238,620.44.

- 2) The City Council hereby authorizes the Mayor and City Administrator to sign the release form for this payment
- 3) The total amount of this payment is not included in resolutions approving payment of bills for the date of September 24, 2024.
- 4) The City of Ramsey Finance Department will be provided a signed copy of this resolution.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember \_\_\_\_\_ and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

Whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 24<sup>th</sup> day of September, 2024.

\_\_\_\_\_  
Mayor

**ATTEST:**

\_\_\_\_\_  
City Clerk

### Pay Estimate Summary Sheet

Estimate Number: 4 Partial

Project Number: 24-01

Project Name: Barthel's Rum River Acres & White Pines Estates

Period Ending: August 31, 2024

Contractor: North Valley, Inc.

Address: 20015 Iguana Street NW, Nowthen, MN 55330

1	Original Contract Amount		\$	848,577.00
2	Change Order(s)	No. <u>1</u> Thru No. <u>1</u>	\$	19,364.93
3	Total Funds Encumbered		\$	867,941.93
4	Value of Work Completed		\$	867,561.48
5	Retainage <u>1</u> %		\$	(8,675.61)
	Percent Complete	<u>100%</u>		
6	Deductions or Charges			
7	Total Earned Less Retainage (Lines 4+5+6)		\$	858,885.87
8	Previous Payment(s)		\$	620,265.43
9	<b>Payment Due (Lines 7-8)</b>		\$	<b>238,620.44</b>
10	Total Balance to Finish, Including Retainage (Lines 3-7)		\$	9,056.06

**Certification of Partial Payment**

I hereby certify that, to the best of my knowledge and belief, all items, quantities and prices of work and material shown on this Estimate are correct and that all work has been performed in full accordance with the terms and conditions of the Contract for this project between owner and the undersigned Contractor, and as amended by any authorized changes and the foregoing is a true and correct statement of the contract amount for the period covered by this estimate.

NORTH VALLEY INC  
Contractor Name

Les Bloom  
Print Name

President  
Title

[Signature]  
Signature

9/12/24  
Date

**City of Ramsey Approval**

[Signature]  
Signature (Project Engineer)

9/12/2024  
Date

[Signature]  
Signature (City Engineer)

9/16/2024  
Date

Barthel's Rum River Acres & White Pines Estates  
 I.P. 24-01  
 Estimate No. 4 Partial  
 Period Ending August 31, 2024

Item No.	MnDOT No.	Item Description	CONTRACT AMOUNT				COMPLETED THIS PERIOD		COMPLETED TO DATE	
			Unit	Estimated Quantity	Unit Price	Extended Total	Quantity	Extended Total	Quantity	Extended Total
1	2021.501	MOBILIZATION	LS	1.0	\$ 17,632.40	\$ 17,632.40	0.0	\$ -	1.0	\$ 17,632.40
2	2101.503	REMOVE CULVERT	LF	364	\$ 9.04	\$ 3,290.56	0	\$ -	364	\$ 3,290.56
3	2104.502	SALVAGE MAIL BOX SUPPORT	EA	45	\$ 80.88	\$ 3,639.60	0	\$ -	45	\$ 3,639.60
4	2104.503	SAWING BITUMINOUS PAVEMENT - FULL DEPTH	LF	930	\$ 3.50	\$ 3,255.00	0	\$ -	45	\$ 3,639.60
5	2104.503	SAWING CONCRETE PAVEMENT - FULL DEPTH	LF	330	\$ 9.71	\$ 3,204.30	0	\$ -	1045	\$ 3,657.50
6	2104.504	REMOVE BITUMINOUS PAVEMENT - DRIVEWAYS	SY	300	\$ 9.27	\$ 2,781.00	44	\$ 407.88	474	\$ 4,602.54
7	2104.504	REMOVE BITUMINOUS PAVEMENT - DRIVEWAYS	SY	810	\$ 4.64	\$ 3,756.40	0	\$ -	471	\$ 4,366.17
8	2104.504	REMOVE GRAVEL SURFACE - DRIVEWAYS	SY	81	\$ 5.39	\$ 436.59	0	\$ -	918	\$ 4,259.52
9	2104.507	REMOVE RIPRAP	CY	23	\$ 22.60	\$ 519.80	0	\$ -	80	\$ 431.20
10	2105.507	GEOTEXTILE FABRIC TYPE 4	SY	28	\$ 4.52	\$ 126.56	0	\$ -	23	\$ 519.80
11	2105.607	COMMON EXCAVATION (EV)	CY	930	\$ 21.24	\$ 19,753.20	0	\$ -	28	\$ 126.56
12	2105.607	SUBGRADE EXCAVATION, REMOVE UNSUITABLE MATERIALS (EV)	CY	335	\$ 16.10	\$ 5,393.50	0	\$ -	895	\$ 19,009.80
13	2106.507	SELECT GRANULAR BORROW (CV)	CY	420	\$ 1.08	\$ 453.60	0	\$ -	623	\$ 10,030.30
14	2106.607	HAUL & STOCKPILE RECLAIM MATERIAL (LV)	CY	520	\$ 12.11	\$ 6,297.20	0	\$ -	0	\$ -
15	2130.523	WATER	MGAL	50	\$ 45.29	\$ 2,264.50	0	\$ -	1096	\$ 13,272.56
16	2211.507	AGGREGATE BASE CLASS 5 - MODIFIED (CV)	CY	280	\$ 12.83	\$ 3,592.40	0	\$ -	60	\$ 2,717.40
17	2215.504	FULL DEPTH RECLAMATION	SY	21500	\$ 1.99	\$ 42,785.00	0	\$ -	548	\$ 7,030.84
18	2232.504	MILL BITUMINOUS PAVEMENT (2.0")	SY	38	\$ 23.73	\$ 901.74	117	\$ 2,776.41	22230	\$ 44,237.70
19	2357.506	BITUMINOUS MATERIAL FOR TACK COAT	GAL	1500	\$ 2.86	\$ 4,290.00	1200	\$ 3,432.00	117	\$ 2,776.41
20	2360.509	TYPE SP 12.5 NON WEARING COURSE MIXTURE (3,C) 2.0"	TON	2530	\$ 85.78	\$ 217,023.40	0	\$ -	1250	\$ 3,575.00
21	2360.509	TYPE SP 9.5 WEARING COURSE MIXTURE (3,C) 1.5"	TON	1820	\$ 90.18	\$ 164,127.60	1882	\$ 169,718.76	2353	\$ 201,840.34
22	2360.509	TYPE SP 9.5 WEARING COURSE MIXTURE (3,C) 2.0" DRIVEWAYS	TON	90	\$ 210.29	\$ 18,926.10	0	\$ -	1882	\$ 169,718.76
23	2501.502	15" RC PIPE APRON	EA	14	\$ 960.61	\$ 13,448.54	0	\$ -	137	\$ 28,809.73
24	2501.502	18" RC PIPE APRON	EA	1	\$ 1,073.62	\$ 1,073.62	0	\$ -	14	\$ 13,448.54
25	2501.502	21" RC PIPE APRON	EA	1	\$ 2,825.34	\$ 2,825.34	0	\$ -	1	\$ 1,073.62
26	2501.503	15" RC PIPE SEWER DESIGN 3006 CLASS III	LF	853	\$ 58.77	\$ 50,130.81	0	\$ -	1	\$ 2,825.34
27	2501.503	18" RC PIPE SEWER DESIGN 3006 CLASS III	LF	225	\$ 65.55	\$ 14,748.75	0	\$ -	855	\$ 50,248.35
28	2501.503	21" RC PIPE SEWER DESIGN 3006 CLASS III	LF	14	\$ 99.45	\$ 1,392.30	0	\$ -	229	\$ 15,010.95
29	2503.503	CLEAN AND VIDEO SEWER	LF	746	\$ 5.14	\$ 3,834.44	0	\$ -	16	\$ 1,591.20
30	2506.502	CONSTRUCT DRAINAGE STRUCTURE DESIGN 48-4020	EA	5	\$ 5,085.61	\$ 25,428.05	0	\$ -	746	\$ 3,834.44
31	2506.502	CONSTRUCT DRAINAGE STRUCTURE DESIGN 60-4020	EA	1	\$ 6,554.78	\$ 6,554.78	0	\$ -	5	\$ 25,428.05
32	2506.502	CONSTRUCT DRAINAGE STRUCTURE DESIGN 2'X3'	EA	1	\$ 3,164.38	\$ 3,164.38	0	\$ -	1	\$ 6,554.78
33	2506.502	CASTING ASSEMBLY (STORM)	EA	7	\$ 803.43	\$ 5,624.01	0	\$ -	1	\$ 3,164.38
34	2506.502	RESET CASTING	EA	1	\$ 382.84	\$ 382.84	0	\$ -	7	\$ 5,624.01
35	2511.509	RANDOM RIPRAP CLASS III	CY	23	\$ 135.62	\$ 3,119.26	0	\$ -	1	\$ 382.84
									23	\$ 3,119.26

Item No.	MnDOT No.	Item Description	Unit	CONTRACT AMOUNT			COMPLETED THIS PERIOD		COMPLETED TO DATE	
				Estimated Quantity	Unit Price	Extended Total	Quantity	Extended Total	Quantity	Extended Total
36	2532.503	CONCRETE CURB & GUTTER DESIGN B618	LF	138	\$ 26.42	\$ 3,645.96	0	\$ -	153	\$ 4,042.26
37	2531.503	CONCRETE CURB & GUTTER DESIGN SURMOUNTABLE	LF	4610	\$ 17.52	\$ 80,767.20	0	\$ -	4595	\$ 80,504.40
38	2531.504	6" CONCRETE PAVEMENT DRIVEWAY	SY	290	\$ 67.94	\$ 19,702.60	0	\$ -	200	\$ 13,588.00
39	2531.504	6" CONCRETE PAVEMENT DRIVEWAY SPECIAL	SY	38	\$ 161.77	\$ 6,147.26	0	\$ -	17	\$ 2,750.09
40	2531.504	GRAVEL SURFACE	SY	85	\$ 9.33	\$ 793.05	79	\$ 737.07	79	\$ 737.07
41	2531.604	7" CONCRETE VALLEY GUTTER	SY	30	\$ 87.35	\$ 2,620.50	0	\$ -	27	\$ 2,358.45
42	2540.602	TEMPORARY MAIL BOX CLUSTER	EA	3	\$ 1,348.04	\$ 4,044.12	0	\$ -	3	\$ 4,044.12
43	2540.602	INSTALL MAIL BOX SUPPORT	EA	45	\$ 124.02	\$ 5,580.90	45	\$ 5,580.90	45	\$ 5,580.90
44	2563.601	TRAFFIC CONTROL	LS	1	\$ 2,696.08	\$ 2,696.08	0.00	\$ -	0.75	\$ 2,022.06
45	2573.503	SEDIMENT CONTROL LOG TYPE STRAW	LF	1525	\$ 3.38	\$ 5,154.50	192	\$ 648.96	770	\$ 2,602.60
46	2573.503	SILT FENCE, TYPE MS	LF	4260	\$ 2.07	\$ 8,818.20	1106	\$ 2,289.42	4425	\$ 9,159.75
47	2573.503	FLOTATION SILT CURTAIN TYPE MOVING WATER	EA	5	\$ 98.46	\$ 1,969.20	0	\$ -	0	\$ -
48	2573.501	STABILIZED CONSTRUCTION ENTRANCE	CY	1225	\$ 323.53	\$ 1,617.65	0	\$ -	0	\$ -
49	2574.507	TOPSOIL (LV)	EA	5	\$ 22.12	\$ 27,097.00	833	\$ 18,425.96	1037	\$ 22,938.44
50	2575.501	TURF ESTABLISHMENT	ACRE	1.75	\$ 9,298.69	\$ 16,272.71	0.80	\$ 7,438.95	1.75	\$ 16,272.71
51	2575.602	LANDSCAPE RESTORATION	EA	10	\$ 547.05	\$ 5,470.50	3	\$ 1,641.15	8	\$ 4,376.40
<b>BASE BID TOTAL</b>						<b>\$ 848,577.00</b>	<b>\$ 213,330.50</b>	<b>\$ 848,827.70</b>		

Item No.	MnDOT No.	Item Description	Unit	CONTRACT AMOUNT			COMPLETED THIS PERIOD		COMPLETED TO DATE	
				Estimated Quantity	Unit Price	Extended Total	Quantity	Extended Total	Quantity	Extended Total
52	2021.501	MOBILIZATION	LS	1	\$ 1,500.00	\$ 1,500.00	0	\$ -	1	\$ 1,500.00
53	2104.503	SAWING BITUMINOUS PAVEMENT - FULL DEPTH	LF	50	\$ 4.50	\$ 225.00	0	\$ -	24	\$ 108.00
54	2104.503	SAWING CONCRETE PAVEMENT - FULL DEPTH	LF	3	\$ 15.00	\$ 45.00	0	\$ -	3	\$ 45.00
55	2104.503	REMOVE CURB AND GUTTER	LF	10	\$ 40.00	\$ 400.00	0	\$ -	10	\$ 400.00
56	2104.504	REMOVE BITUMINOUS PAVEMENT	HR	4	\$ 4.65	\$ 139.50	0	\$ -	15	\$ 69.75
57	2123.510	DITCH GRADING	TON	4	\$ 750.00	\$ 3,000.00	0	\$ -	4.5	\$ 3,375.00
58	2360.509	TYPE SP 12.5 NON WEARING COURSE MIXTURE (3,C) 2.0"	LF	4	\$ 210.50	\$ 842.00	0	\$ -	3.2	\$ 673.60
59	2501.503	12" RC PIPE SEWER DESIGN 3006 CLASS III	EA	14	\$ 93.50	\$ 1,309.00	0	\$ -	14	\$ 1,309.00
60	2503.602	CONNECT TO EXISTING STORM SEWER	EA	1	\$ 4,070.00	\$ 4,070.00	0	\$ -	1	\$ 4,070.00
61	2506.502	CASTING ASSEMBLY (STORM)	EA	1	\$ 803.43	\$ 803.43	0	\$ -	1	\$ 803.43
62	2506.502	CONSTRUCT DRAINAGE STRUCTURE DESIGN 2'X3'	EA	1	\$ 3,520.00	\$ 3,520.00	0	\$ -	1	\$ 3,520.00
63	2532.503	CONCRETE CURB & GUTTER DESIGN SURMOUNTABLE	LF	28	\$ 55.00	\$ 1,540.00	0	\$ -	28	\$ 1,540.00
64	2575.504	ROLLED EROSION PREVENTION CATEGORY 20	SY	54	\$ 6.50	\$ 351.00	0	\$ -	0	\$ -
65	2574.507	TOPSOIL (LV)	CY	16	\$ 45.00	\$ 720.00	16	\$ 720.00	16	\$ 720.00
66	2575.501	TURF ESTABLISHMENT	ACRE	0.03	\$ 30,000.00	\$ 900.00	0.02	\$ 600.00	0.02	\$ 600.00
<b>CHANGE ORDER No.1 TOTAL</b>						<b>\$ 19,364.93</b>	<b>\$ 1,320.00</b>	<b>\$ 18,733.78</b>		
<b>GRAND TOTAL</b>						<b>\$ 867,941.93</b>	<b>\$ 214,650.50</b>	<b>\$ 867,561.48</b>		

Internal City Use Only			
Pavement Management Funds (0.85 Mob)		\$ 213,330.50	\$ 713,750.52
Storm Sewer Utility Funds (0.15 Mob)		\$ 1,320.00	\$ 153,810.96
<b>Total Funds</b>		<b>\$ 214,650.50</b>	<b>\$ 867,561.48</b>

**CC Regular Session New****Meeting Date:** 09/24/2024**Primary Strategic Plan Initiative:** Promote economic growth and development.**Title:**

Adopt Resolution #24-267 Approving the Final Plat and Development Agreement for Pearson Place 2nd Addition, Located at the Southwest Corner of Riverdale Drive and Highway 10 (Project No. 24-100); Case of Development Consulting Services, LLC

**Purpose/Background:**

The City has received an application from Development Consulting Services, LLC (the "Applicant") seeking approval of a Final Plat for a three (3) lot subdivision, located at the southwest corner of Riverdale Drive and Highway 10 (the "Subject Property"). On this same agenda (under Public Hearings), there is a request for an Easement Vacation to vacate a Right-of-Way easement that was granted for the new cul-de-sac bulb at the north end of Bowers Drive.

**Notification:**

Notice is not required when considering a Final Plat.

**Time Frame/Observations/Alternatives:**

The Subject Property is approximately one (1) acre in size and is zoned R1-B Single Family Residential. This zoning district allows for single family homes on lots that are at least 6,500 square feet in area and have a width of at least sixty-five (65) feet. The properties to the south are also zoned R-1B, while the properties to the east are zoned B-2 Community Business and the properties to the west are zoned R1-A Single Family Residential (minimum lot size of 10,000 square feet and a minimum lot width of 80 feet). The Subject Property is guided as Low Density Residential in the 2024 Comprehensive Plan, as are the properties to the south and west, while the properties to the east are guided as Commercial.

In April of this year, the Planning Commission reviewed the Sketch Plan and approved multiple variances for this project (addressing double frontage lots, the setback from Highway 10, and the lot width for the corner lot). The Planning Commission directed the Applicant to proceed with preparation of the Final Plat and plans. The Final Plat mirrors the Sketch Plan.

The three (3) lots range in size from 10,320 square feet to 15,392 square feet and are all at least sixty-five (65) feet wide. When the City eliminated the connection of Bowers Drive to Highway 10 as part of the Ramsey Gateway Highway 10 project, Bowers Drive was capped with a cul-de-sac, and three (3) sets of utility services were installed in preparation for this subdivision. All three (3) lots will have access off of Bowers Drive and the plat does dedicate the right of access to the State of Minnesota along Highway 10. There is an existing bituminous trail along both Riverdale Drive and Highway 10 and no additional sidewalk is proposed (which is consistent with all of Bowers Drive).

The Applicant did submit a noise study due to the proximity of Highway 10 to the Subject Property. The noise study recommended using construction materials/methods to address traffic noise from Highway 10, rather than a sound wall, which was found to be less effective for lots 1-2 (further away from the highway). The project will comply with the state's noise standards, as long as there is an exterior to interior sound attenuation of at least 30 dB(A). This can be accomplished (and be more effective than a sound wall in this scenario) with building materials and techniques. The Development Agreement contains language that will require the developer/builder to provide a report with each building permit for a new dwelling that demonstrates the proposed construction materials and methods will accomplish the sound attenuation requirements.

**Alternatives:**

Alternative 1: Approve the Final Plat and Development Agreement. The Final Plat, with the variances that were approved in April 2024, meets the minimum standards for the R1-B Single Family Residential District. The homes will need to be constructed with appropriate materials to achieve an exterior to interior sound attenuation of at least 30 dB(A), which is addressed within the Development Agreement. Staff supports this alternative.

Alternative 2: Approve the Final Plat and Development Agreement with modifications. This alternative would be based on discussion and direction by the City Council.

Alternative 3: Do not approve the Final Plat and Development Agreement. The Final Plat meets the standards of the R1-B District. As long as the homes are constructed with the appropriate materials and techniques to achieve the necessary sound attenuation, they should each meet the State of Minnesota's noise standards. Staff does not support this alternative.

**Funding Source:**

The Applicant is responsible for all costs associated with this request.

**Recommendation:**

Staff recommends approval of the Final Plat and Development Agreement.

**Outcome/Action:**

Motion to adopt Resolution #24-267 approving the Pearson Place 2nd Addition Final Plat and Development Agreement.

---

**Attachments**

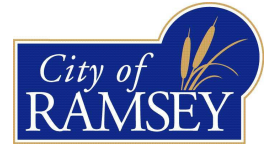
- Site Location Map
- Final Plat
- Noise Study
- Changemark Report (Corrections Required by Staff)
- Development Agreement
- Resolution #24-267: Final Plat and Development Agreement

**Form Review**

Inbox	Reviewed By	Date
Brian Hagen	Brian Hagen	09/19/2024 12:37 PM
Form Started By: Chris Anderson		Started On: 09/16/2024 02:15 PM
Final Approval Date: 09/19/2024		

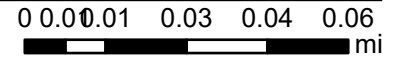
303225110034  
Bower Drive

# Pearson Place 2nd Addition Easement Vacation



LOGIS, Three Rivers Park District, Esri, HERE, Garmin, INCREMENT P, NGA, USGS

Print Date: January 17, 2024



PRELIMINARY COPY  
UNRECORDED AS OF 09-05-2024

# PEARSON PLACE SECOND ADDITION

City of Ramsey  
County of Anoka  
Sec. 30, T32, R25

KNOW ALL PERSONS BY THESE PRESENTS: That Alan R. Pearson and Elizabeth J. Pearson, Trustees of the Elizabeth J. Pearson Trust u/a dated April 7, 2005, owners of the following described property situated in the City of Ramsey, County of Anoka, State of Minnesota:

OUTLOT A, RIVERSTONE SOUTH, Anoka County, Minnesota.

Have caused the same to be surveyed and platted as PEARSON PLACE SECOND ADDITION and does hereby dedicate to the public for public use the public way and drainage and utility easements as shown on this plat.

In witness whereof said Alan R. Pearson and Elizabeth J. Pearson, as Trustees of the Elizabeth J. Pearson Trust u/a dated April 7, 2005, have hereunto set their hands this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Alan R. Pearson, as Trustees of the Elizabeth J. Pearson Trust u/a dated April 7, 2005

Elizabeth J. Pearson, as Trustees of the Elizabeth J. Pearson Trust u/a dated April 7, 2005

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_ by Alan R. Pearson and Elizabeth J. Pearson, Trustees of the Elizabeth J. Pearson Trust u/a dated April 7, 2005.

\_\_\_\_\_  
(Signature)

\_\_\_\_\_  
(Print Name)

Notary Public, \_\_\_\_\_ County, Minnesota  
My Commission Expires \_\_\_\_\_

I Jason E. Rud do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Jason E. Rud, Licensed Land Surveyor  
Minnesota License No. 41578

STATE OF MINNESOTA  
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_ by Jason E. Rud.

\_\_\_\_\_  
(Signature)

\_\_\_\_\_  
(Print Name)

Notary Public, \_\_\_\_\_ County, Minnesota  
My Commission Expires \_\_\_\_\_

CITY COUNCIL, CITY OF RAMSEY, MINNESOTA

This plat of PEARSON PLACE SECOND ADDITION was approved and accepted by the City Council of the City of Ramsey, Minnesota at a regular meeting thereof held this \_\_\_\_ day of \_\_\_\_\_, 20\_\_, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

City Council, City of Ramsey, Minnesota

By \_\_\_\_\_ Mayor By \_\_\_\_\_ Clerk

COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Charles F. Gitzen  
Anoka County Surveyor

COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20\_\_ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Property Tax Administrator

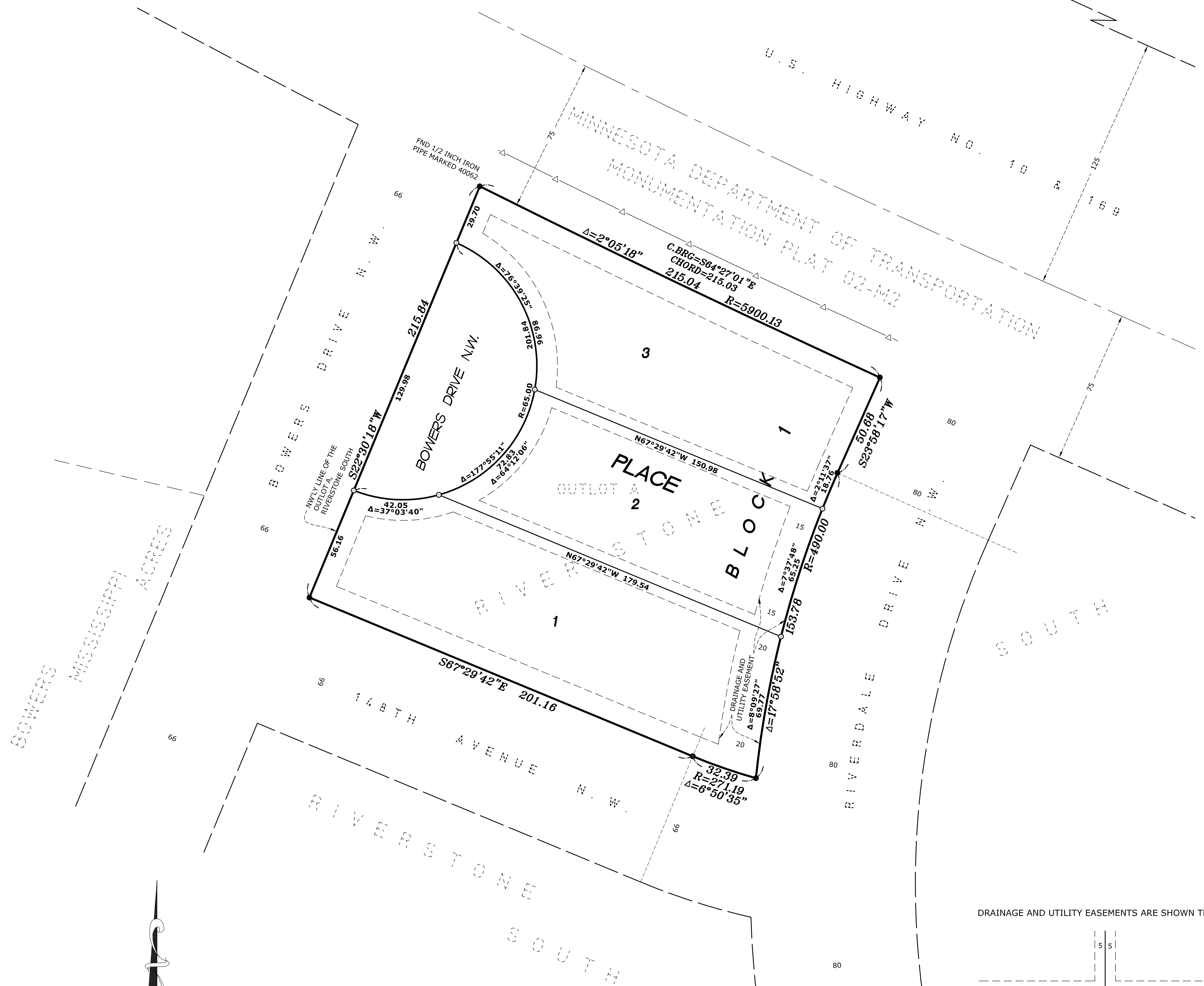
By \_\_\_\_\_, Deputy

COUNTY RECORDER/REGISTRAR OF TITLES  
COUNTY OF ANOKA, STATE OF MINNESOTA

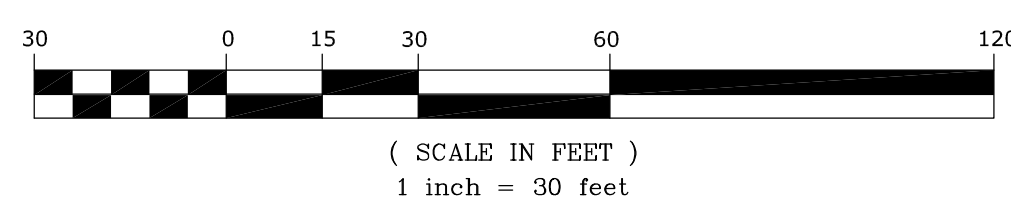
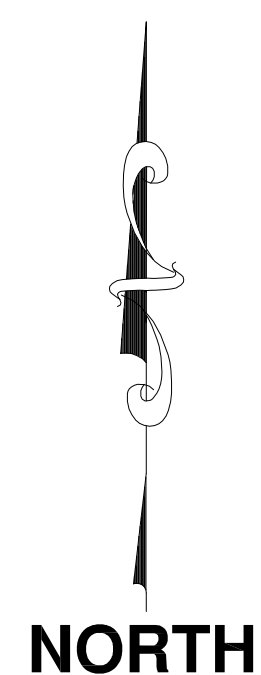
I hereby certify that this plat of PEARSON PLACE SECOND ADDITION was filed in the office of the County Recorder/Registrar of Titles for public record on this \_\_\_\_ day of \_\_\_\_\_, 20\_\_, at \_\_\_\_ o'clock \_\_\_\_ M. and was duly recorded as Document Number \_\_\_\_\_.

County Recorder/Registrar of Titles

By \_\_\_\_\_, Deputy



MISSISSIPPI ACRES



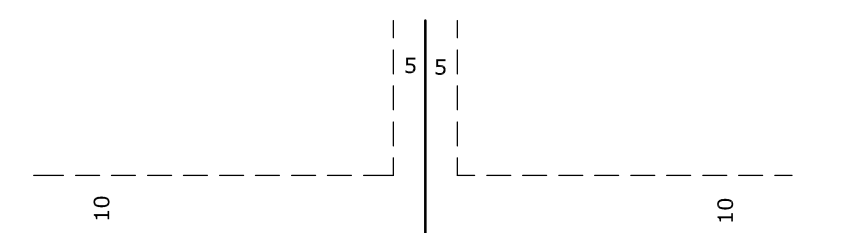
(SCALE IN FEET)  
1 inch = 30 feet

### LEGEND

- DENOTES 5/8 INCH REBAR MONUMENT FOUND, MARKED RLS 40361.
- DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET, MARKED RLS NO. 41578
- △— DENOTES RIGHT OF ACCESS DEDICATED TO THE STATE OF MINNESOTA PER THE RECORDED PLAT OF RIVERSTONE SOUTH.

FOR THE PURPOSES OF THIS PLAT, THE NORTHWESTERLY LINE OF OUTLOT A, RIVERSTONE SOUTH ADDITION IS ASSUMED TO HAVE A BEARING OF SOUTH 22 DEGREES 30 MINUTES 18 SECONDS WEST.

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



BEING 5 FEET IN WIDTH, AND ADJOINING SIDE LOT LINES, AND 10 FEET IN WIDTH AND ADJOINING RIGHT OF WAY LINES, AND REAR LOT LINES, UNLESS OTHERWISE SHOWN ON THIS PLAT.

**E. G. RUD & SONS, INC.**  
Professional Land Surveyors  
EST. 1977

**Pearson Place 2<sup>nd</sup> Addition  
SINGLE FAMILY DEVELOPMENT**

**Ramsey, Minnesota**

**TRAFFIC NOISE ASSESSMENT**

Prepared for

Development Consulting Services  
Attn: John Dobbs

by

David Braslau Associates, Inc.  
6603 Queen Avenue S, Suite M  
Richfield, MN 55423  
Tel: 612-331-4571  
FAX: 612-331-45672  
Eml: [david@braslau.com](mailto:david@braslau.com)



Dr. David Braslau, President

15 March 2024

## **EXECUTIVE SUMMARY**

The Pearson Place 2<sup>nd</sup> Addition is a proposed residential development in Ramsey, Minnesota consisting of plots for three single family residences.

The project is located immediately adjacent to US Highway 10 in Anoka County. The purpose of this study is to determine if the project is in compliance with Minnesota state noise standards, or if needed, to meet provisions in Minnesota State Rules to comply with Minnesota Noise Standards.

Predicted traffic noise levels from Highway 10 have been based on traffic volumes from Automatic Traffic Recorder data on the MnDOT traffic data website map and assigned vehicle type percentage.

Under Minnesota noise rule definitions, the hour from 6 to 7 AM falls under the nighttime category while the 4-5 PM hour falls under the daytime category. The MinnNoise computer model has been used to estimate nighttime (6-7 AM) and daytime (4-5 PM) sound levels at selected receptor sites on residential plots in the project. Due proximity to Highway 10, the predicted nighttime L10 and L50 levels at all receptor sites are above daytime and nighttime standards for residential land use but can be brought into compliance with state rules if appropriate STC rated windows are installed. Under exceptions to the rules, the STC rating needed for windows and doors with direct exposure to highway noise will depend upon the area percentages of exterior wall components.

Individual home design and/or self-standing barriers could provide some shielding from traffic noise.

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## 1.0 INTRODUCTION

### 1.1 Objectives of this Noise Assessment

This *Traffic Noise Assessment* evaluates the potential impacts of noise from Highway 10 on the proposed Pearson Place 2<sup>nd</sup> Addition single-family residential development in Ramsey, Minnesota.

Hourly traffic volumes on Highway 10 have been based on traffic count data from the MnDOT Traffic Application website as discussed in Section 2.1 of this report.

Projected traffic noise levels from Highway 10 are compared with the Minnesota daytime and nighttime noise standards to determine the potential for noise impacts and need for any mitigation.

### 1.2 Site Location and Plan

Location of the development on an area map is shown on **Figure 1.1**. The site plan is shown in **Figure 1.2**. The Landscape plan is shown in **Figure 1.3**.

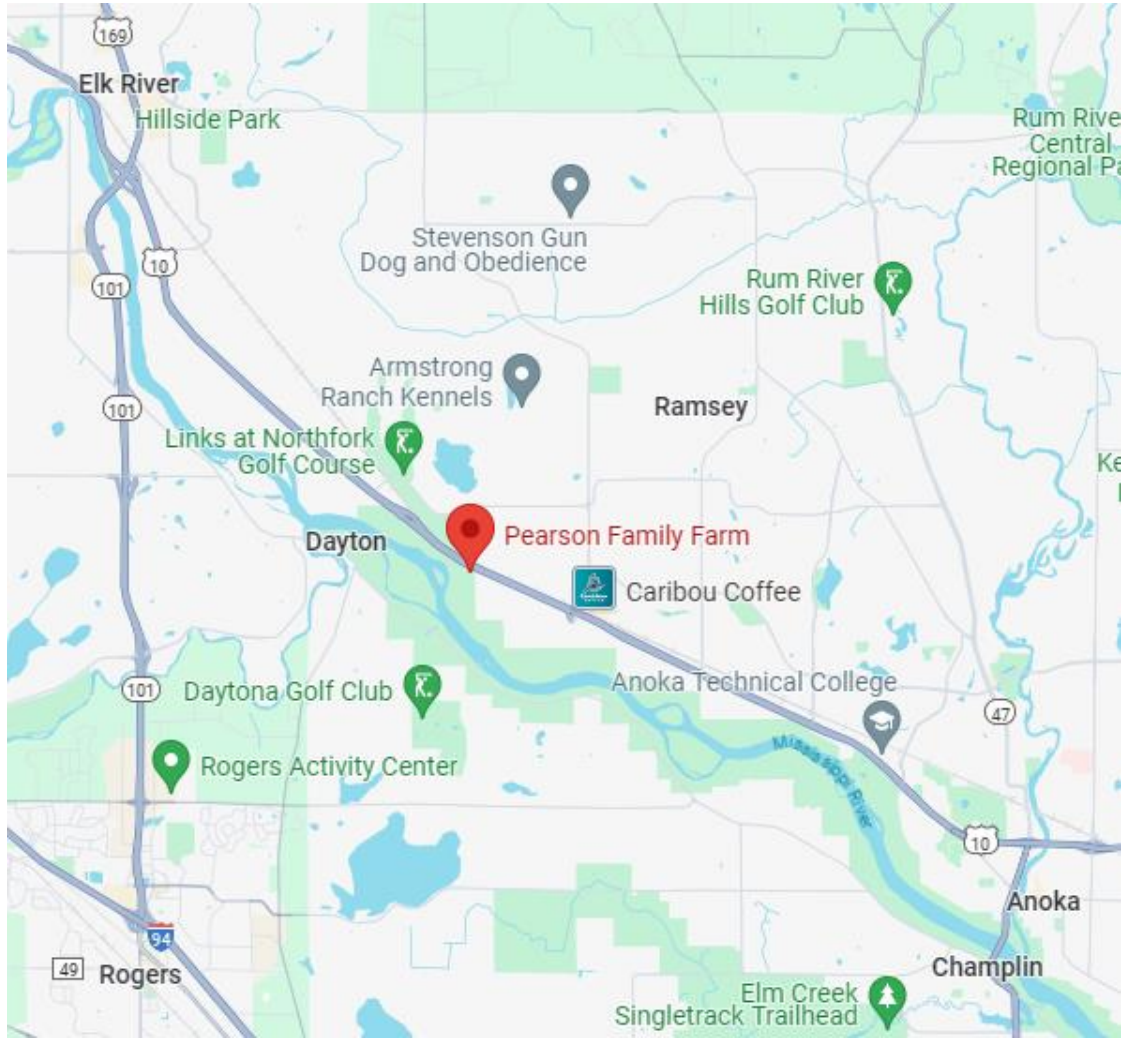
### 1.3 Minnesota Noise Standards

The Minnesota State Noise Standards for residential land use are presented in **Table 1.1**. Residential land uses are included in the NAC-1 (Noise Area Classification -1) under Minnesota Rule 7030.0040.

**Table 1.1 Minnesota State Noise Standards (NAC-1)**

	Daytime (7:00 am to 10:00 pm)	Nighttime (10:00 pm to 7:00 am)
L10	65 dBA	55 dBA
L50	60 dBA	50 dBA

L10 is the level exceeded 10% or 6 minutes of an hour. L50 is the level exceeded 50% or 30 minutes of an hour. The L10 level, which has been shown to accurately reflect traffic noise along major highways, is used in this report to determine compliance.



**Figure 1.1** Site Location

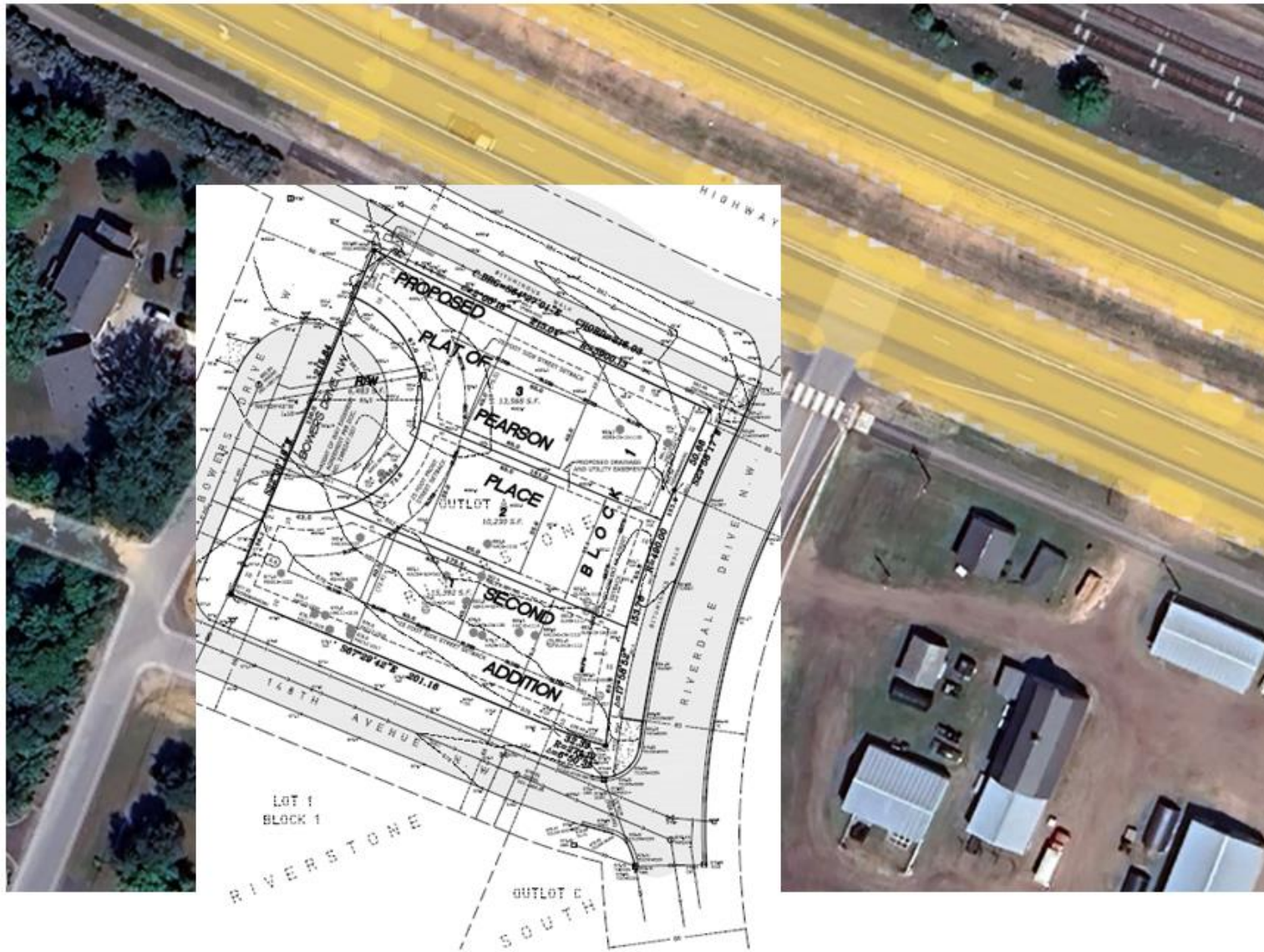


Figure 1.2 Project Layout Relative to Highway 10

## 2.0 TRAFFIC NOISE MODEL AND PREDICTIONS

### 2.1. Traffic Noise Model

The MinnNoise traffic noise model has been used to predict noise levels associated with vehicle traffic. The traffic noise model geometry with assumed noise receptor sites and a possible berm/wall combination is shown in **Figure 2.1**. The footprint of a six-foot wall on a six-foot berm would occupy the side-street setback.

Hourly traffic volumes on Highway 10 were based on data from ATR (Automatic Traffic Recorder) 352 which is located only 3300 feet to the west of the project on Highway 10. Since the most recent data at this station are from the year 2019 because of issues with the recorder, the 2019 volumes have been adjusted to 2023 data using growth rates at ATR 365 located to the east on Highway 65, approximately the same distance from Minneapolis as ATR 352.

The assumed vehicle mix by direction was based on similar traffic noise studies in the Twin Cities Metropolitan Area - 95% automobiles, 3 % medium trucks and 2% heavy trucks. A traffic speed of 65 mph was used in this assessment. Assumed vehicle mix and hourly volumes are shown in **Table 2.1**. “MT” are medium (two-axle trucks) while “HT” are heavy (multi-axle trucks).

**Table 2.1 Assumed Hourly Volume and Vehicle Mix**

EB	AM	PM
Auto	1545	1362
MT	49	43
HT	33	29
TOTAL	1626	1434
WB	AM	PM
Auto	407	2169
MT	13	69
HT	9	46
TOTAL	428	2284

The traffic noise model geometry showing the noise receptor sites relative to the east and west roadways is shown in **Figure 2.2**. Also shown on the figure is the assumed highway noise barrier and an assumed effective barrier presented by the homes themselves shielding the east and west facades by traffic noise associated with the long lengths of road to either side of the property.

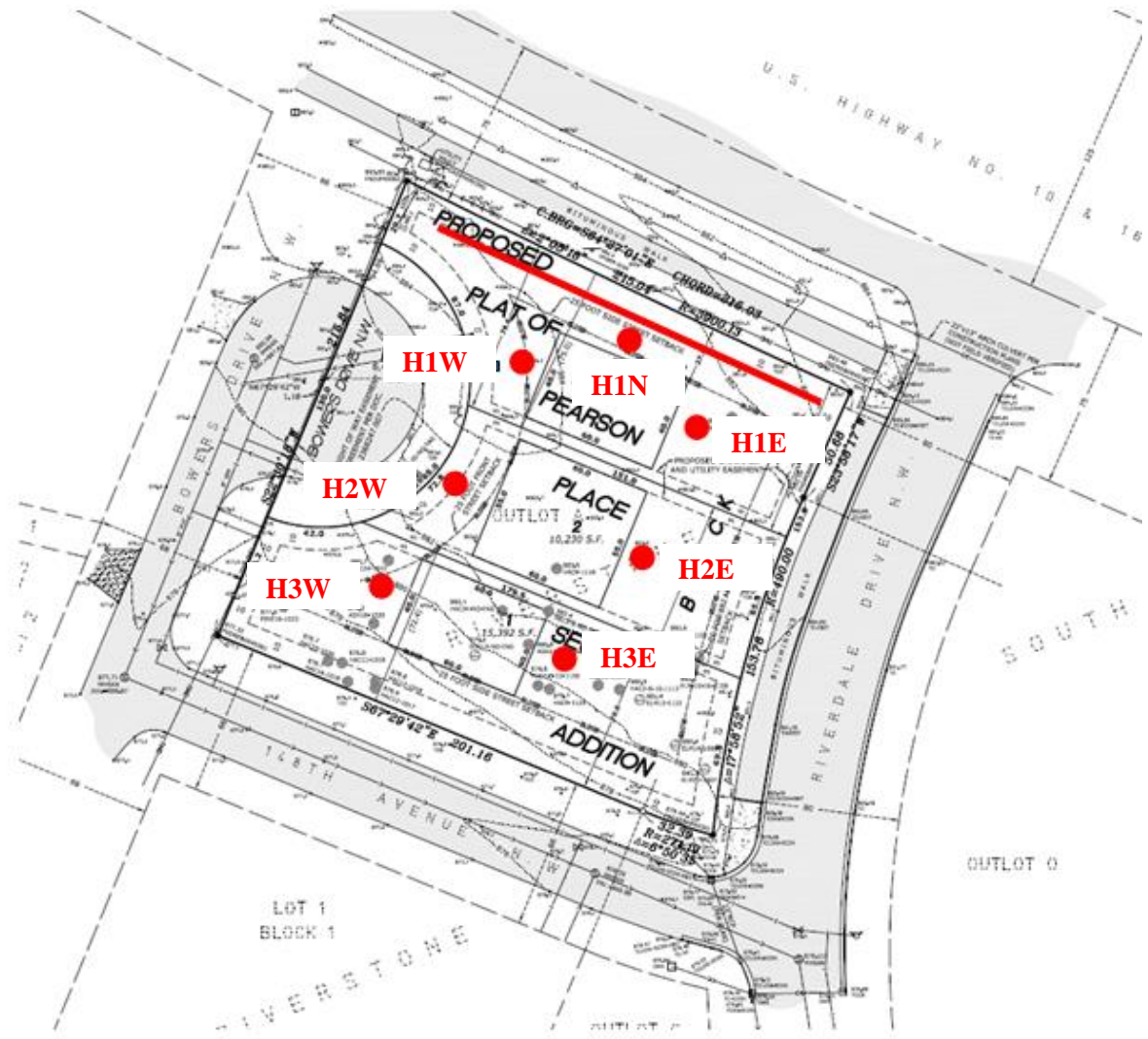
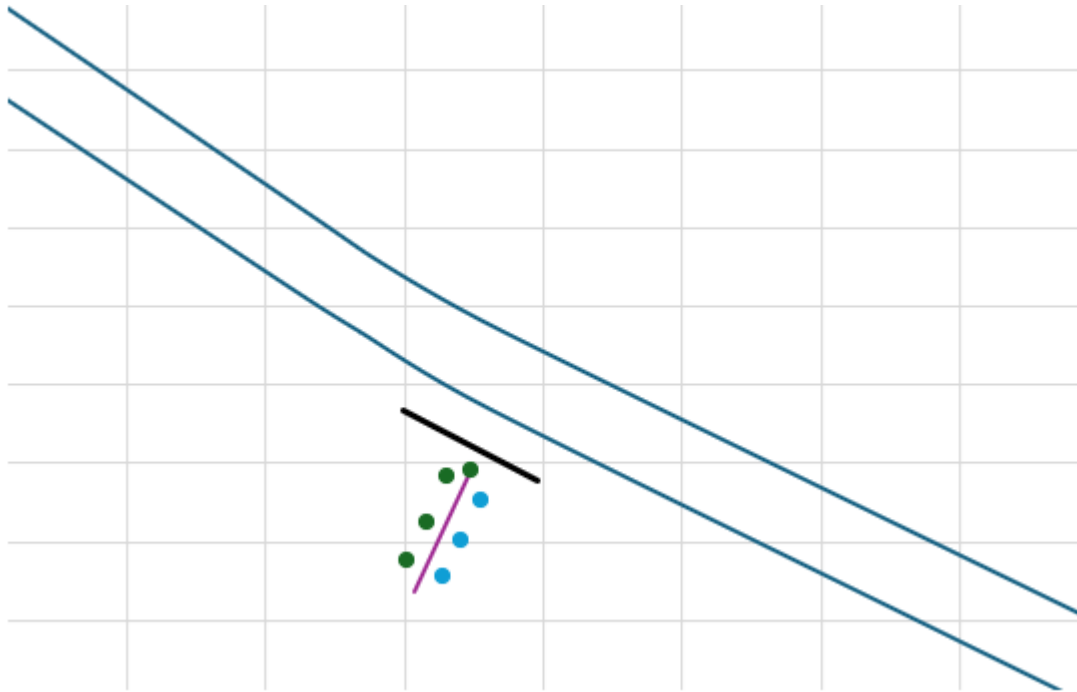


Figure 2.1 Noise Receptor Sites and Possible Berm/Barrier



**Figure 2.2** Traffic Noise Model Geometry

## 2.2. Noise Model Predictions

Traffic noise predictions for L10 and L50 are presented in **Table 2.2** for both the 6-7 AM period (covered by nighttime standards) and the 4-5 PM period (covered by daytime standards).

**Table 2.2 Predicted Noise Levels (dBA)**

L10 LEVELS			L50 LEVELS		
Receiver	AM	PM	Receiver	AM	PM
H1W	62	64	H1W	57	59
H2W	65	66	H2W	59	61
H3W	70	71	H3W	63	65
H3N	75	75	H3N	70	70
H1E	62	64	H1E	57	59
H2E	65	66	H2E	59	61
H3E	70	70	H3E	63	64

Predicted levels relative to the NAC-1 Daytime (PM) and Nighttime (AM) standards are shown in **Table 2.3**.

**Table 2.3 Exceedance of Nighttime (AM) and Daytime (PM) Standards**

L10 LEVELS			L50 LEVELS		
Receiver	AM - 55	PM - 65	Receiver	AM - 50	PM - 60
H1W	7	-1	H1W	7	4
H2W	10	1	H2W	9	6
H3W	15	6	H3W	13	10
H3N	20	10	H3N	20	15
H1E	7	-1	H1E	7	4
H2E	10	1	H2E	9	6
H3E	15	5	H3E	13	9

From the tables above, it can be seen that the noise wall does not provide sufficient noise reduction to comply with the state daytime or nighttime noise standards.

### 2.3. Compliance with State Noise Standards

The first method for reducing traffic noise to comply with state noise standards would be construction of a noise wall along the length of the property along the highway. The effectiveness of a 12-foot-high noise wall is shown below in **Table 2.4**. Exceedances of the state am and pm noise standards with the barrier are shown in **Table 2.5**.

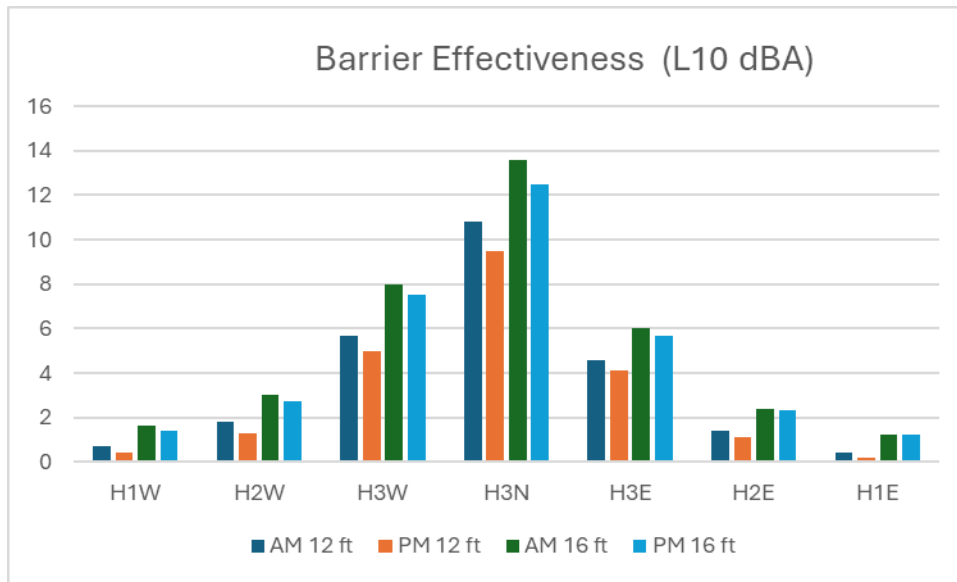
**Table 2.4 Predicted Noise Levels (dBA) with a 12-foot Wall**

L10 LEVELS			L50 LEVELS		
Receiver	AM	PM	Receiver	AM	PM
H1W	62	63	H1W	56	59
H2W	63	65	H2W	57	60
H3W	64	66	H3W	58	61
H3N	65	66	H3N	59	61
H1E	62	63	H1E	57	59
H2E	63	65	H2E	58	60
H3E	65	66	H3E	59	61

**Table 2.5 Exceedance of Nighttime and Daytime Standards with at 12-ft Wall**

L10 LEVELS			L50 LEVELS		
Receiver	AM - 55	PM - 65	Receiver	AM - 50	PM - 60
H1W	7	-2	H1W	6	4
H2W	8	0	H2W	7	5
H3W	9	1	H3W	8	6
H3N	10	1	H3N	9	6
H1E	7	-2	H1E	7	4
H2E	8	0	H2E	8	5
H3E	10	1	H3E	9	6

The limited effectiveness of the noise barrier can be seen in **Figure 2.3**. The receptor site closest to the highway has the maximum benefit. There is a diminishing benefit of the wall as the east and west receptors become more exposed to traffic.



**Figure 2.3 Noise Wall Effectiveness**

To comply with Minnesota state noise standards, exceptions to the rules under Subpart 3 of Minnesota Rule 7030.0050 must be met. However, under exceptions contained in Minnesota Rules, commercial noise standards (NAC-2) can be applied to residential land use if the provisions in the rules can be met. The applicable provisions of Minnesota Rule 7030.0050 are presented below.

Subp. 3. Exceptions. The noise area classification for land use may be changed in the following ways if the applicable conditions are met.

- B. The standards for a building in a noise area classification 2 shall be applied to a building in a noise area classification 1 if the following conditions are met:
  - (1) the building is constructed in such a way that the exterior to interior sound level attenuation is at least 30 dB(A)
  - (2) the building has year-round climate control; and
  - (3) the building has no areas or accommodations that are intended for outdoor activities.

**Table 2.6 Predicted Level RE NAC-2 Standards with no Barrier**

L10 LEVELS			L50 LEVELS		
Receiver	AM - 70	PM - 70	Receiver	AM - 65	PM - 65
H1W	-8	-6	H1W	-8	-6
H2W	-5	-4	H2W	-6	-4
H3W	0	1	H3W	-2	-1
H3N	5	5	H3N	5	5
H1E	-8	-6	H1E	-8	-6
H2E	-5	-4	H2E	-7	-4
H3E	-1	0	H3E	-2	-1

**Table 2.7 Predicted Level RE NAC-2 Standards with a 12-Foot Barrier**

L10 LEVELS			L50 LEVELS		
Receiver	AM - 70	PM - 70	Receiver	AM - 65	PM - 65
H1W	-8	-7	H1W	-9	-6
H2W	-7	-5	H2W	-8	-5
H3W	-6	-4	H3W	-7	-4
H3N	-5	-4	H3N	-7	-4
H1E	-8	-7	H1E	-9	-6
H2E	-7	-5	H2E	-7	-5
H3E	-5	-4	H3E	-6	-4

From **Table 2.7** it can be seen that the L10 and L50 levels at all receptor sites can be brought into compliance with state noise standards if the 30 dBA outdoor-to-indoor attenuation can be met. Without detailed drawings of the building facades exposed to traffic noise, it is not possible to determine the specific type of wall and glazing needed to comply with the state noise standards. An example of the type of analysis required to ensure that the required 30 dBA attenuation can be made is presented in **Table 2.8** below. The composite STC is based upon the acoustical energy transmitted through each wall component.

**Table 2.8 Example Determination of Net Wall STC**

Wall with Patio Door	STC	AREA (S.F.)	AREA (%)
Wall	42	75	62.50
Windows	30	45	37.50
<b>TOTAL</b>		<b>120</b>	<b>100.00</b>
COMPOSITE STC	34		
Traffic adjustment	-3		
Net STC	31		
Wall with Windows and Door	STC	AREA (S.F.)	AREA (%)
Wall	42	60	50.00
Windows	35	40	33.33
Door	26	20	16.67
<b>TOTAL</b>		<b>120</b>	<b>100.00</b>
COMPOSITE STC	33		
Traffic adjustment	-3		
Net STC	30		

### 3.0 SUMMARY OF FINDINGS

Predicted traffic noise levels from Highway 10 on the proposed Pearson Place 2<sup>nd</sup> Addition residential development in Ramsey, Minnesota have been based on traffic volumes from MnDOT traffic flow website data. The MinnNoise traffic computer model has been used to estimate nighttime (AM) and daytime (PM) sound levels at assumed receptor sites at the perimeter of proposed building footprints on the property.

A total of seven noise receptor sites have been evaluated and compared with the Minnesota noise standards for residential land uses. While the predicted levels were in excess levels contained in the standards, exceptions to the rules permit the commercial noise standards if a 30 dBA reduction exterior-to-interior sound level reduction can be achieved with appropriate exterior façade design.

An exterior façade with a minimum of a 2x6 wall with siding, acoustical insulation and a 5/8-inch gypsum interior layer and glazing with an appropriate STC rating can meet the exemptions to the rule. The addition of a noise wall or barrier would not be needed for noise control purposes. However, if outdoor uses are to be provided on the site such as patios or entertainment areas, these could be incorporated into the building design to provide shielding of traffic noise or provided with individually designed noise barrier shielded areas.

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## Changemarks Report

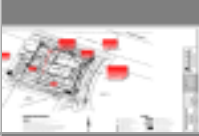
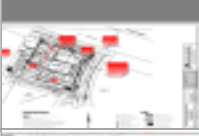

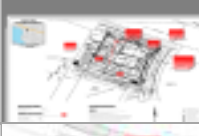






**Project Name:** Pearson Place 2nd

**Workflow Started:** 01/12/2024 9:47 AM










**Report Generated:** 09/17/2024 11:48 AM

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File
Main Workflow	1	2	True	Resolved	City Planner		PEARSON PLACE SECOND ADDITION - SKETCH PLAN (01-12-2024).pdf
		3	True	Resolved	City Planner		PEARSON PLACE SECOND ADDITION - SKETCH PLAN (01-12-2024).pdf
		6	True	Resolved	Environmental Review		PEARSON PLACE SECOND ADDITION - EX COND (01-12-2024).pdf
		7	True	Resolved	Environmental Review		PEARSON PLACE SECOND ADDITION - EX COND (01-12-2024).pdf
		8	True	Resolved	Environmental Review		PEARSON PLACE SECOND ADDITION - EX COND (01-12-2024).pdf
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		11	True	Resolved	Environmental Review		PEARSON PLACE SECOND ADDITION - SKETCH PLAN (01-12-2024).pdf










## Changemarks Report

		12	True	Resolved	Environmental Review		PEARSON PLACE SECOND ADDITION - SKETCH PLAN (01-12-2024).pdf
		13	True	Resolved	Environmental Review		PEARSON PLACE SECOND ADDITION - SKETCH PLAN (01-12-2024).pdf
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		1	True	Resolved	Engineering Tech		2022-09-15_Sht 45 REV.pdf



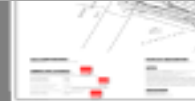
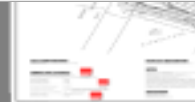
## Changemarks Report

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## Changemarks Report

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## Changemarks Report

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		31	False	Unresolved	Environmental Review		PEARSON PLACE SECOND ADDITION - EX COND (REV 09- 05-2024).pdf

Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By
TL	Changemark note #01 TL	MNDOT Will likely comment on noise. Please anticipate needing to build a fence, noise wall, berm, and/or	01/26/2024 9:05 AM	Todd Larson
TL	Changemark note #02TL	Please address the status of the sign.	01/26/2024 9:05 AM	Todd Larson
CA	Overhead Lines	You may want to consider burying the overhead utility lines from Highway 10 to 148th Ave so they are not in	01/23/2024 9:04 AM	Chris Anderson
CA	Tree Information	At final plat, more information about the existing trees must be provided. The inventory	01/23/2024 9:04 AM	Chris Anderson
CA	Billboard	What is the status of this sign? Will it stay? Will it be removed?	01/23/2024 9:04 AM	Chris Anderson
CA	Zoning & Setbacks	This parcel is now zoned R-1A MUSA.  Setbacks are:	01/23/2024 9:37 AM	Chris Anderson
CA	Lot Size and Width	Minimum lot size is 6,500 sq. ft.  City Code Section 117-614	01/23/2024 9:37 AM	Chris Anderson
CA	Noise Study	Since this property abuts Highway 10, a noise study shall be provided with the final plat submittal and any	01/23/2024 9:37 AM	Chris Anderson

CA	Double Frontage	City Code Section 117-614 (Design Standards) h. (6) states that lots with frontage on two parallel streets shall	01/23/2024 9:37 AM	Chris Anderson
CA	Arterial Roadway Setback	City Code Chapter 106, Section 430 A requires a setback of 60 feet from arterial roadways. A	01/23/2024 9:37 AM	Chris Anderson
CA	Drainage and Utility Easement Encroachments	No part of the structures, including eave overhangs, shall encroach into drainage and utility easements.	01/23/2024 9:37 AM	Chris Anderson
CA	Screening/Buffering	Strongly recommend adding landscaping and fencing along the northern boundary to provide some screening	01/23/2024 9:37 AM	Chris Anderson
CA	Easement Vacation	The final plat application should also include a request to vacate this right-of-way easement. The right-	01/23/2024 9:37 AM	Chris Anderson
CA	Line?	What do these lines represent? Add to legend please.	01/23/2024 9:37 AM	Chris Anderson
CA	Setback	Side setback from right of way is only 20 feet.	01/23/2024 9:37 AM	Chris Anderson
CA	Zoning District	Ramsey has an updated Zoning Code. This parcel is actually zoned R-1B - Single Family Residential. The	01/22/2024 1:05 PM	Chris Anderson
CA	Bulk Standards	Per the Zoning Code Update, the maximum principal structure footprint is 35% of the lot. Minimum	01/22/2024 1:05 PM	Chris Anderson
Logan Czech	Service Depth	These sanitary services are too deep. Use risers off of the main to bring closer in elevation to the water	01/22/2024 9:32 AM	Logan Czech

CA	Fence	Please provide details of the proposed fence along Highway 10. Also, it is strongly recommended to	04/16/2024 2:58 PM	Chris Anderson
CA	Easement Vacation	Since this plat will dedicate right of way for the cul-de-sac, the existing r-o-w easement should be	04/16/2024 2:58 PM	Chris Anderson
CA	Eave Overhang	No part of any of these homes can encroach into the drainage and utility easements. This includes	04/16/2024 3:01 PM	Chris Anderson
CA	Side (street) Setback	The standard side (street) setback is twenty (20) feet, not 25 feet. Please modify accordingly.	04/16/2024 3:01 PM	Chris Anderson
CA	Site Disturbance Area	Please add an estimated acreage/square footage of site disturbance. If it is one (1) acre or more, a Lower	04/16/2024 3:01 PM	Chris Anderson
CA	Variances	As proposed, multiple variances will be required to address: 1. Double frontage lots	04/16/2024 3:01 PM	Chris Anderson
CA	Zoning	Property is zoned R-1B, please modify the zoning designation accordingly.	04/16/2024 2:55 PM	Chris Anderson
CA	Side Setback from Right-of-Way	In the R-1B district, side yard setback from right-of-way is twenty (20) feet. Please modify the	04/16/2024 2:55 PM	Chris Anderson
CA	Minimum Lot Size	Minimum lot size in the R-1B district is 6,500 square feet. Please update this information accordingly.	04/16/2024 2:55 PM	Chris Anderson

CA	Impervious Coverage	Please add:  Maximum Impervious Coverage per Lot: 40%	04/16/2024 2:55 PM	Chris Anderson
Joe Feriancek	Retaining Wall	Showing retaining wall. Need to add the proposed top and bottom elevations of the wall at both ends.	09/13/2024 8:16 AM	Joe Feriancek
Joe Feriancek	Proposed Fence	Need to provide detail for the fence. Need to know height and material, should also call out any footings for	09/13/2024 8:14 AM	Joe Feriancek
CA	Tree Locations	The required 2 trees per lot shall be in the front yard, between the home and the road. Since the lots are	09/17/2024 11:47 AM	Chris Anderson
CA	Species Sizes	Minimum size of trees shall be at least 1" caliper for deciduous trees and at least 5 feet in height for	09/17/2024 11:47 AM	Chris Anderson
CA	Fence Information	Please provide more information about the proposed fence. What material(s) will be used?	09/09/2024 3:29 PM	Chris Anderson
CA	Eave Overhangs	No part of the proposed homes, including the eave overhangs, can encroach into any d/u easement.	09/09/2024 3:29 PM	Chris Anderson
CA	Zoning District	This property is zoned R1-B. Please update plan sheets accordingly.	09/09/2024 3:23 PM	Chris Anderson
CA	Minimum Lot Size	Minimum lot size in the R1-B district is 6,500 sq. ft.	09/09/2024 3:23 PM	Chris Anderson

CA	Variances Approved	The Planning Commission approved all 3 variances on April 25, 2024. These will be valid as long as the Final	09/09/2024 3:23 PM	Chris Anderson
CA	Zoning District	Property is zoned R1-B. Update zoning district accordingly.	09/06/2024 3:32 PM	Chris Anderson
CA	Side Setback Adjacent to Right-of-Way	Side setback adjacent to right-of-way is 20 feet. Update table accordingly.	09/06/2024 3:32 PM	Chris Anderson
CA	Minimum Lot Size	Minimum lot size in the R1-B district is 6,500 sq. ft. Please update table accordingly.	09/06/2024 3:32 PM	Chris Anderson

**CITY OF RAMSEY  
DEVELOPMENT AGREEMENT FOR PEARSON PLACE 2<sup>ND</sup> ADDITION**

This Agreement (hereinafter the “Agreement”) is dated as of this 24<sup>th</sup> day of September, 2024, and is by and between the **CITY OF RAMSEY**, a Minnesota municipal corporation (the “**CITY**”) and Development Consulting Services, LLC, a Minnesota Limited Liability Company under the laws of Minnesota (the “**PERMITTEE**”).

**Recitals**

- A. That the **PERMITTEE** is not the owner of land legally described on the attached Exhibit A (the “Subject Property”) but rather is representing the interests of the landowners, Elizabeth J. Pearson Trust and Alan R Pearson Trust (the “Landowners”).
- B. The **PERMITTEE** has received approval from the **CITY** to subdivide the Subject Property and plat the same as PEARSON PLACE 2<sup>ND</sup> ADDITION (the “Plat”).

**Agreement**

1. Recitals Incorporated. The recitals stated above are hereby incorporated into this Agreement and are made part of this Agreement by reference.
2. Conditions of Approval. The **CITY** has approved the Plat subject to satisfaction of the following conditions subsequent:
  - a. The **PERMITTEE’S** Execution of this Agreement. That the **PERMITTEE** enters into this Agreement.
  - b. Marketable Title. That prior to recording the Plat, the **PERMITTEE** shall provide the **CITY** with proof of marketable title to the Subject Property either through a currently certified abstract, registered property abstract or title insurance

commitment or policy, which shall not be dated more than thirty (30) days prior to recording of the Plat.

- c. Proof of Authority. That the **PERMITTEE** provide proof that the respective governing board(s) of the **PERMITTEE** has authorized the **PERMITTEE'S** execution of this Agreement. This proof of authority may be satisfied by providing the **CITY** with a certified copy of the minutes of the governing board of each entity which grants such authority.
3. The Plans. The term "Plans" as used in this Agreement means the Final Plat Plans prepared by E.G. Rud & Sons, Inc., dated September 5, 2024, and revised on **XXXXXXXXXX**, 2024. The Plans remain subject to: (a) **CITY** Staff's review and approval of the Plans to, among other things, confirm that the revisions requested in the **CITY** Staff's review have been made; and (b) such further revisions as the **PERMITTEE** may propose and the **CITY** approves. The Plans shall not be attached to this Agreement, but are in the **CITY'S** files.
4. Stage I Improvements. The public improvements the **PERMITTEE** will construct or install are as follows:
  - a. Stormwater maintenance through 90 percent buildout.
  - b. Lot grading.
  - c. Electricity (within one-fourth mile).
  - d. Phone (within one-fourth mile).
  - e. Natural gas (within one-fourth mile).
  - f. Boulevard sodding.
  - g. Water shut off boxes.

(the "Stage I Improvements").

The **PERMITTEE** agrees to construct the Stage I Improvements according to the terms and conditions of this Agreement and in accordance with the Plans and the City Code. Per City Code Section 117-615, the **PERMITTEE** shall provide the **CITY** with a set of reproducible as-built plans in Computer Aided Drafting (CAD) and Portable Document File (PDF) format upon completion of the Stage I Improvements and acceptance by the **CITY**. As as-built plans are a required Stage I Improvement item per City Code Section 117-615, the **CITY** will not release in its entirety the required Stage I Improvement Financial Guaranty noted in Section 12 below until such as-built plans are received by the **CITY**. Additionally, the **PERMITTEE** agrees to provide to the **CITY** the Plans in CAD and PDF format prior to the commencement of construction of the Stage I Improvements.

5. Lot Corner Staking. The **PERMITTEE** must install lot corner stakes at all lot corners.
6. Installation of the Stage I Improvements. The **PERMITTEE** shall obtain all necessary permits from all governmental agencies before commencing construction of the Stage I Improvements. The **PERMITTEE** must provide the **CITY** with copies of all necessary permits from other governmental agencies prior to or when the **PERMITTEE** applies for a building permit to construct improvements on a lot within the Plat. Within thirty (30) days after the completion of the Stage I Improvements, the **PERMITTEE** shall provide the **CITY** with a complete set of reproducible "As Built" plans for the Stage I Improvements.

7. Time of Performance for the Stage I Improvements. The **PERMITTEE** must complete the Stage I Improvements within one (1) year after the recording of the Plat.
8. Ownership of the Stage I Improvements. The **PERMITTEE** owns the Stage I Improvements until the **CITY'S** acceptance of the Stage I Improvements. Title to the Stage I Improvements automatically passes to the **CITY** upon the **CITY'S** written acceptance of the Stage I Improvements. Except to the extent the **CITY** has accepted all or portions of the Stage I Improvements, in writing, prior to the lapse, expiration, or other termination of the **CITY'S** financial guaranty described in Section 12 and except to the extent the **CITY** and the **PERMITTEE** may agree, in writing, to defer the **CITY'S** acceptance of certain specified Stage I Improvements, the **CITY** is deemed to have accepted the Stage I Improvements when the **CITY** releases the financial guaranty described in Section 12 or allows such financial guaranty to lapse, expire or otherwise terminate.
9. Stage I Improvements License. The **PERMITTEE** hereby grants the **CITY** and the **CITY'S** agents, employees, officers, and contractors an irrevocable license to enter the Subject Property to perform all necessary work and/or inspections the **CITY** deems appropriate during the **PERMITTEE'S** installation of the Stage I Improvements. The license shall expire after the **CITY** accepts ownership of Stage I Improvements.
10. Stage II Improvements. The public improvements the **PERMITTEE** must construct or install are as follows:
  - a. Installation of survey monumentation.

(the "Stage II Improvements"). The **PERMITTEE** must complete the construction of the Stage II Improvements, in accordance with the Plans, within one (1) year after the date upon which the Plat is recorded.
11. Required Private Improvements. The private improvements the **PERMITTEE** will construct or install are as follows:
  - a. Lot grading
  - b. Landscaping
  - c. Privacy fencing
  - d. Berm along north side of Subject Property
12. Financial Guaranty for Stage I Improvements, Stage II Improvements, and Required Private Improvements. The **PERMITTEE** shall provide a financial guaranty to the **CITY** guaranteeing the construction of the Stage I Improvements, Stage II Improvements, and Required Private Improvements, as well as their timely completion. The **PERMITTEE** shall be responsible for a financial guaranty in the amount of Thirteen Thousand One Hundred Twenty Five Dollars and No Cents (**\$13,125.00**), which amount is 125% of the **CITY** Engineer's estimated cost of the Stage I Improvements, Stage II Improvements, and Required Private Improvements (the "Financial Guaranty"). Upon completion of Stage I Improvements (including the removal of "temporary" erosion control measures as identified in the approved Grading Plan), acceptance by the **CITY**, supported by appropriate lien waivers, the **PERMITTEE** may request a reduction in the amount of the Financial Guaranty.

13. Inspection Escrow for the Stage I Improvements, Stage II Improvements, and Required Private Improvements. The **PERMITTEE** shall provide an inspection escrow to the **CITY** to inspect the Stage I Improvements, Stage II Improvements, and Required Private Improvements. The **PERMITTEE** shall be responsible for an inspection escrow in the amount of Five Hundred Twenty Five Dollars and No Cents (**\$525.00**), which amount is 5% of the City Engineer's estimated cost of the Stage I Improvements, Stage II Improvements, and Required Private Improvements. The inspection escrow must be in the form of cash. The **PERMITTEE** may request a refund of the remaining balance in the escrow upon completion of the Stage I Improvements, Stage II Improvements, and Required Private Improvements, after acceptance by the **CITY**.
14. Street Cleaning and Clean Up. After the street surfacing that is a part of the Stage I Improvements is installed, the **PERMITTEE** shall clear any soil, earth, or debris from the streets. From time to time, the **CITY** may remove accumulations of soil, earth, and debris from the streets resulting from the construction of the Stage I Improvements. It shall be the **PERMITTEE'S** responsibility to pay the costs associated with this necessary street cleaning. Invoices from the **CITY** to the **PERMITTEE** for such costs shall be paid within fifteen (15) days of the date of the invoice.
15. Payment of Development Fees. The **PERMITTEE** must pay to the **CITY** the fees described on Exhibit B, which include Park Land Dedication Fees, Trail Development Fees, Sanitary Sewer Connection (Trunk) Fees, Water Connection (Trunk) Fees, Sanitary Sewer Lateral Fees, Water Lateral Fees, Stormwater Management Fees, and Reimbursement Fees for Utility Services.
16. Requirements for Building and Occupancy Permits.
  - a. No building permit for any lot in the Plat shall be issued until the **PERMITTEE** has: (a) installed a Class 5 driving surface to within 300 feet of the structure; (b) provided the **CITY** Building Official with a Certificate of Survey; (c) provided the Financial Guaranty described in Section 12 to the **CITY**; (d) obtained all necessary permits from the Lower Rum River Watershed Management Organization and has provided a copy of such permit(s) to the **CITY**; (e) provided a report with each building permit application for a new dwelling that confirms the proposed construction materials and methods will achieve an exterior to interior sound attenuation of at least 30 dB(A), due to the Subject Property's proximity to Highway 10.
  - b. No occupancy permit for any lot in the Plat shall be issued until the **PERMITTEE** has: (a) constructed vehicular access to the lot, including the installation of at least one layer of bituminous surfacing; (b) constructed all utilities and storm water facilities this Agreement requires to serve the lot and such utilities and storm water facilities are in place, operational and accepted by the **CITY**; (c) for lots that have a slope of less than 2%, provided the **CITY** with a certificate of grading, prepared by a licensed (State of Minnesota) professional land surveyor, certifying that the flattest grade on the lot is 1% or greater; and (d) installed and planted the sod and landscaping that are required as a part of the Stage I Improvements.

17. **PERMITTEE Defaults.** If the **PERMITTEE** defaults in the performance of one or more of the **PERMITTEE'S** obligations under this Agreement, i) the **CITY** gives the **PERMITTEE** thirty (30) days written notice of the default and ii) the **PERMITTEE** fails to cure the default within said thirty (30), then the **CITY** may pursue any and all remedies available at law or in equity including, but not limited to, the following:
- a. The **CITY** may, at its option, perform or engage one or more third parties to perform the **PERMITTEE'S** obligations. If, in the reasonable judgment of the **CITY'S** staff, the **PERMITTEE'S** default creates an immediate risk to public health or safety, the **CITY** may perform or engage one or more third parties to perform the work before the **CITY** provides the notice described in the initial paragraph of this Section, but the **CITY** must use commercially reasonable efforts to notify the **PERMITTEE** as promptly as possible that the **CITY** is undertaking to perform the **PERMITTEE'S** obligation or obligations. If the **CITY** performs one or more obligations of the **PERMITTEE**, the **PERMITTEE** must reimburse the **CITY** for any costs or expenses the **CITY** incurs, including costs and expenses for **CITY** staff time, to perform the work within 30 days after the **CITY** notifies the **PERMITTEE**, in writing, of the costs and expenses the **CITY** incurred to perform the work. If the **PERMITTEE** does not reimburse the **CITY** within said 30-day period, the **CITY** may pursue any remedies available to the **CITY** either at law or in equity or, in the alternative, the **CITY** may draw on the Financial Guaranty the **PERMITTEE** has provided to the **CITY** pursuant to this Agreement to reimburse itself for the expenses the **CITY** incurs to perform the work. This Agreement is a license for the **CITY** to act, and it shall not be necessary for the **CITY** to seek a Court Order for permission to enter the Subject Property. As an alternative to seeking recovery from the **PERMITTEE** or the Financial Guaranty, the **CITY** may levy special assessments against the Subject Property in accordance with Minnesota Statutes Section 429, and the **PERMITTEE**, for itself and its successors in title, hereby expressly waives any and all substantive and procedural objections or defenses the **PERMITTEE** may have to such special assessments.
  - b. The **CITY** may commence an action in Anoka County District Court to pursue any remedy available to the **CITY** at law or in equity including, but not limited to, injunctive relief.
  - c. The **CITY** may refuse to grant building permits for improvements to be constructed on any lots within the Plat until the **PERMITTEE** has cured all of its defaults.
  - d. The **CITY** may draw upon all or any portion of the Financial Guaranty the **PERMITTEE** has provided to the **CITY** pursuant to Section 12 and (i) use all or any portion of the proceeds from the Financial Guaranty to reimburse the **CITY** pursuant to subsection (a) above; (ii) use all or any portion of the proceeds from the Financial Guaranty to satisfy any judgment the **CITY** obtains against the **PERMITTEE** pursuant to subsection (b) above; (iii) use all or any portion of the proceeds to reimburse the **CITY** pursuant to Section 18 (j) below; and (iv) hold all or any portion of the proceeds for a reasonable time for the future application as described in subsections (a), (b) and (c) of this Section 17 (d).

18. Miscellaneous.

- a. Invalidity of Any Section. If any portion, section, subsection, sentence, clause, paragraph or phrase of this Agreement is for any reason invalid, such decision shall not affect the validity of the remaining portion of this Agreement.
  
- b. Written Amendments Only. The action or inaction of the **CITY** or the **PERMITTEE** shall not constitute a waiver or amendment to the provisions of this Agreement. To be binding, amendments or waivers shall be in writing, signed by the parties, and approved by a resolution of the City Council. The **CITY'S** or the **PERMITTEE'S** failure to promptly take legal action to enforce this Agreement shall not be a waiver or release.
  
- c. Compliance with Laws and Regulations. The **PERMITTEE** represents to the **CITY** that the Plat complies with all **CITY**, County, State, and Federal laws and regulations, including but not limited to: subdivision ordinances, zoning ordinances and environmental regulations. If the **CITY** determines that the Plat does not comply, the **CITY** may, at its option, refuse to allow any construction or development work in the Plat until the **PERMITTEE** does comply. Upon the **CITY'S** demand, **PERMITTEE** shall cease work until there is compliance.
  
- d. Mailbox Locations. If the **PERMITTEE** desires to construct mailboxes within the public right of way, the **PERMITTEE** agrees that the placement of mailboxes along public streets is subject to the approval by the **CITY**. Utility locates will be necessary.
  
- e. Boulevard and Wetland Restoration. The **PERMITTEE** shall be responsible for the cost of establishing seed in all boulevards within thirty (30) days of the completion of the street improvements, and restoring all other areas disturbed by the development grading operation in accordance with the approved Grading and Erosion Control plan. The **PERMITTEE** shall be responsible for the cost of cleaning any soil, earth, or debris from the wetlands within and adjacent to this Plat resulting from grading performed in the development of the Plat.
  
- f. Construction, Hours and Entrance Signs. The **CITY** restricts construction and delivery hours to Monday through Saturday 7:00 a.m. to 10:00 p.m. The **PERMITTEE** is required to provide a sign at each entrance point stating delivery and construction operation hours. Said signs are not to exceed eighty (80) square feet in size and must be clearly visible at all times during the construction period.
  
- g. Construction Site Maintenance. The **PERMITTEE** shall adhere to all of the **CITY** ordinances relating to, but not limited to, dumping of garbage, site development, construction debris, open burning, etc. The **CITY** reserves the right to withhold permits, inspections, or certificates of occupancy to correct violations relating to construction site maintenance.

- h. Estimated Cost. It is understood and agreed that cost amounts set forth in this Agreement as to Stage I, Stage II, and Required Private Improvements, unless qualified as fixed amounts, are estimated. The **PERMITTEE** agrees to pay the entire cost of said improvements including interest, engineering and legal fees related thereto.
  
- i. Plat Approval Expenses. The **PERMITTEE** agrees that it will pay to **CITY** all **CITY** expenses incurred in the approval of the Plat, including, but not limited to, administration expenses, engineering and legal fees. Said expenses incurred after recording of the Final Plat shall also be paid within said fifteen (15) day billing period. Failure to pay the **CITY'S** expenses within the fifteen (15) day billing period will permit the **CITY** to draw upon any of the escrows required by this Agreement for payment.
  
- j. Reimbursement to the CITY. The **PERMITTEE** agrees to reimburse the **CITY** for all costs incurred by the **CITY** in defense or enforcement of this Agreement, or any portion thereof, including court costs and reasonable engineering and attorney's fees.
  
- k. Certificate of Occupancy. The term "Certificate of Occupancy", as used in this Agreement, shall be defined as a document issued by the **CITY'S** Building Official, which authorizes the structure to be used for its intended purposes.
  
- l. Record Private Easement for Billboard. The **PERMITTEE** shall be responsible for either providing documentation of an existing private easement for the billboard on Lot 3, Block 1 Pearson Place 2<sup>nd</sup> Addition or drafting and recording a private easement to address the existing billboard.
  
- m. Notices. Required notices shall be in writing and shall be either hand delivered to the Parties, its employees or agents, or mailed to them by certified or registered mail at the following address:

**TO PERMITTEE:**

Development Consulting Services, LLC  
Attn: Edward J. Dobbs  
604 Bielenberg Drive, Suite 100  
Woodbury, MN 55125

**TO THE CITY:**

City of Ramsey  
Attn: Community Development Director  
7550 Sunwood Drive NW  
Ramsey, MN 55303



**THE CITY:**

CITY OF RAMSEY

By: \_\_\_\_\_

Its: Mayor

By: \_\_\_\_\_

Its: City Administrator

STATE OF MINNESOTA            )  
  )ss.  
COUNTY OF ANOKA             )

The forgoing instrument was acknowledged before me on this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_, by Mark E. Kuzma and Brian Hagen, the Mayor and the City Administrator of the City of Ramsey, a charter city and municipal corporation organized under the laws of the state of Minnesota on behalf of the City.

\_\_\_\_\_  
Notary Public

**This document drafted by:**

City of Ramsey  
7550 Sunwood Drive NW  
Ramsey, MN 55303

**This document reviewed by:**

HKB Law, P.A.  
4501 Allendale Dr.  
St. Paul, MN 55127

**EXHIBIT A**

**Legal Description of the Subject Property**

OUTLOT A, RIVERSTONE SOUTH, Anoka County, Minnesota

-or upon recording-

Lots 1-3, Block 1, Pearson Place 2<sup>nd</sup> Addition

## EXHIBIT B

### Fees Payable to the City

1. Park Dedication. The **PERMITTEE** is responsible for satisfying applicable Park Dedication Fee requirements. **PERMITTEE** must pay a Park Dedication Fee of **\$13,500.00** (3 units x \$4,500.00 per unit). The **PERMITTEE** acknowledges that these fees are estimates. The rate in effect when the Plat is recorded will be collected.
2. Trail Development Fees. The **PERMITTEE** is responsible for satisfying applicable Trail Development Fee requirements. **PERMITTEE** must pay a Trail Development Fee of **\$4,500.00** (3 units x \$1,500.00 per unit). The **PERMITTEE** acknowledges that these fees are estimates. The rate in effect when the Plat is recorded will be collected.
3. Sanitary Sewer Connection (Trunk) Fees. The **PERMITTEE** is responsible for satisfying applicable Sanitary Sewer Trunk Fee requirements. **PERMITTEE** must pay a Sanitary Sewer Trunk Fee of **\$4,047.00** (3 units x \$1,349.00). The **PERMITTEE** acknowledges that these fees are estimates. The rate in effect when the Plat is recorded will be collected.
4. Sanitary Sewer Lateral Fees. The **PERMITTEE** is responsible for satisfying applicable Sanitary Sewer Lateral Fee requirements. **PERMITTEE** must pay a Sanitary Sewer Lateral Fee of **\$16,254.00** (3 units x \$5,418.00). The **PERMITTEE** acknowledges that these fees are estimates. The rate in effect when the Plat is recorded will be collected.
5. Water Connection (Trunk) Fees. The **PERMITTEE** is responsible for satisfying applicable Water Trunk Fee requirements. **PERMITTEE** must pay a Water Trunk Fee of **\$6,027.00** (3 units x \$2,009.00 per unit). The **PERMITTEE** acknowledges that these fees are estimates. The rate in effect when the Plat is recorded will be collected.
6. Water Lateral Fees. The **PERMITTEE** is responsible for satisfying applicable Water Lateral Fee requirements. **PERMITTEE** must pay a Water Lateral Fee of **\$20,862.00** (3 units x \$6,954.00). The **PERMITTEE** acknowledges that these fees are estimates. The rate in effect when the Plat is recorded will be collected.
7. Stormwater Management Fee. The **PERMITTEE** is responsible for satisfying applicable Stormwater Trunk Fee requirements. **PERMITTEE** must pay a Stormwater Management Fee of **\$1,602.00** (3 units x \$534.00 per unit). The **PERMITTEE** acknowledges that these fees are estimates. The rate in effect when the Plat is recorded will be collected.
8. Utility Service Lines Reimbursement Fee. The **PERMITTEE** is responsible for reimbursing the **CITY** for the utility service lines that were installed as part of **CITY** Improvement Project #20-05. The **PERMITTEE** must pay to the **CITY** **\$51,000.00** for the utility service lines that have been installed to the three (3) lots.

Councilmember \_\_\_\_\_ introduced the following resolution and moved for its adoption:

**RESOLUTION #24-267**

**RESOLUTION APPROVING THE FINAL PLAT AND DEVELOPMENT AGREEMENT FOR PEARSON PLACE 2<sup>ND</sup> ADDITION**

**WHEREAS**, Development Consulting Services, LLC, hereafter referred to as “Applicant,” properly applied for Final Plat approval of the following described property located in the City of Ramsey:

Outlot A, Riverstone South

-or upon recording of the Pearson Place 2<sup>nd</sup> Addition final plat-

Lots 1-3, Block 1 Pearson Place 2<sup>nd</sup> Addition

(the ‘Subject Property’); and

**WHEREAS**, the Planning Commission held a Public Hearing, reviewed the Sketch Plan, and granted multiple variances for the project on April 25, 2024; and

**WHEREAS**, the City Council held a Public Hearing on September 24, 2024 to consider vacating a Right-of-Way Easement, which would be replaced with dedicated right-of-way with the recording of the Pearson Place 2<sup>nd</sup> Addition plat; and

**WHEREAS**, the City Council reviewed the Final Plat and Development Agreement at their September 24, 2024 regular meeting.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:**

- 1) That the Ramsey City Council hereby grants approval of the Final Plat and Development Agreement for Pearson Place 2<sup>nd</sup> Addition in accordance with relevant City Codes, subject to the following conditions:
  - a) Compliance with staff review comments.
  - b) Entering into a Development Agreement with the City of Ramsey.
  - c) Vacation of the Right-of-Way Easement (Document No. 2368247.007).
  - d) Review and approval as to legal form by the City Attorney of the Development Agreement and Final Plat.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember \_\_\_\_\_, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this 24<sup>th</sup> day of September, 2024.

---

Mayor

**ATTEST:**

---

City Clerk

**CC Regular Session New**

**Meeting Date:** 09/24/2024

**Primary Strategic Plan Initiative:** Address infrastructure needs.

**Title:**

Adopt Resolution #24-269 Approving Partial Payment to Douglas-Kerr Underground, LLC. for Improvement Project #23-19, The COR Infrastructure Improvements.

**Purpose/Background:**

Resolution and Pay Request Attached.

**Recommendation:**

The Senior Engineering Technician has inspected the completed work and recommends partial payment to Douglas-Kerr Underground, LLC. for improvement project #23-19, The COR Infrastructure Improvements in the amount of \$404,186.64.

**Outcome/Action:**

Motion to adopt Resolution #24-269 approving partial payment to Douglas-Kerr Underground, LLC. for improvement project #23-19, The COR Infrastructure Improvements in the amount of \$404,186.64.

**Attachments**

Pay Resolution #24-269  
Pay Request

**Form Review**

**Inbox**

Bruce Westby  
Brian Hagen  
Form Started By: Stacie Damjanovich  
Final Approval Date: 09/19/2024

**Reviewed By**

Bruce Westby  
Brian Hagen

**Date**

09/19/2024 10:17 AM  
09/19/2024 12:36 PM  
Started On: 09/16/2024 12:23 PM

Councilmember \_\_\_\_\_ introduced the following resolution and moved for its adoption:

**RESOLUTION #24-269**

**RESOLUTION APPROVING PARTIAL PAYMENT NO. 5 TO DOUGLAS-KERR UNDERGROUND, LLC. FOR IMPROVEMENT PROJECT #23-19, THE COR INFRASTRUCTURE IMPROVEMENTS**

**WHEREAS**, the City of Ramsey proposes to construct infrastructure improvements within The COR for the purpose of advancing economic development; and

**WHEREAS**, pursuant to Ramsey City Council resolution #22-241, adopted October 25, 2022, the City Council authorized Bolton & Menk, Inc. to complete The COR Public Infrastructure and Wetland Analysis proposals; and

**WHEREAS**, pursuant to Ramsey City Council resolution #23-107, adopted May 9, 2023, the City Council approved The COR Public Infrastructure Design Services proposal of Bolton & Menk, Inc. specifying their scope of services and not-to-exceed fees for design services associated with public infrastructure improvements in The COR; and

**WHEREAS**, pursuant to Ramsey City Council resolution #23-176, adopted August 8, 2023, the City Council accepted bids, awarded a contract for construction to Enebak Construction Company, and accepted the Construction Services Proposal of Bolton and Menk, Inc. for Improvement Project #23-20, COR Mass Grading; and

**WHEREAS**, pursuant to Ramsey City Council resolution #23-268, adopted October 24, 2023, the City Council approved the issuance and sale of \$8,315,000 General Obligation Bonds, Series 2023A, approximately \$7,000,000 of which will fund TIF 14 area improvements including TIF eligible expenses for Improvement Project #23-19, COR Infrastructure Improvements; and

**WHEREAS**, pursuant to City Council direction provided to City staff during the December 12, 2023 work session, Bolton & Menk, Inc. prepared final plans and specifications for Improvement Project #23-19, COR Infrastructure Improvements, for the purpose of advertising bids for construction in 2024; and

**WHEREAS**, pursuant to Ramsey City Council resolution #24-046, adopted February 13, 2024, the City Council approved the plans and specification prepared by Bolton and Menk, Inc. and authorized advertisements for bids for Improvement Project #23-19, COR Infrastructure Improvements; and

**WHEREAS**, pursuant to Ramsey City Council resolution #24-086, adopted March 26, 2024, a contract was awarded to Douglas-Kerr Underground, LLC of Mora, Minnesota, in the amount of \$2,973,047.22 for said improvements; and

**WHEREAS**, as of September 24, 2024 \$2,317,627.18 has been paid to date; and

WHEREAS, the Senior Engineering Technician has inspected the completed work and recommends partial payment No. 5 to Douglas-Kerr Underground, LLC. of Mora, Minnesota, for improvement project #23-19, The COR Infrastructure Improvements, in the amount of \$404,186.64.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA:**

- 1) The City Council hereby authorizes partial payment No. 5 to Douglas-Kerr Underground, LLC. of Mora, Minnesota for Improvement Project #23-19, The COR Infrastructure Improvements in the amount of \$404,186.64.
- 2) The City Council hereby authorizes the Mayor and City Administrator to sign the release form for this payment.
- 3) The total amount of this payment is not included in resolutions approving payment of bills for the date of September 24, 2024.
- 4) That the City of Ramsey Finance Department will be provided a signed copy of this resolution.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember \_\_\_\_\_, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

Whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 24<sup>th</sup> day of September, 2024.

---

Mayor

**ATTEST:**

---

City Clerk

**Contractor's Application for Payment**

Owner:	<u>City of Ramsey</u>	Owner's Project No.:	<u>23-19</u>
Engineer:	<u>Bolton &amp; Menk, Inc.</u>	Engineer's Project No.:	<u>OR1.130893 &amp; OR1.134180</u>
Contractor:	<u>Douglas-Kerr Underground</u>	Agency's Project No.:	
Project:	<u>The COR Intrastructure Improvements</u>		
Contract:			
Application No.:	<u>5</u>	Application Date:	<u>9/16/2024</u>
Application Period:	From <u>8/1/2024</u>	to	<u>8/31/2024</u>

1. Original Contract Price	\$	<u>2,973,047.22</u>
2. Net change by Change Orders	\$	<u>(6,447.46)</u>
3. Current Contract Price (Line 1 + Line 2)	\$	<u>2,966,599.76</u>
4. Total Work completed and materials stored to date (Sum of Column G Lump Sum Total and Column J Unit Price Total)	\$	<u>2,865,067.18</u>
5. Retainage		
a. <u>5%</u> X \$ <u>2,865,067.18</u> Work Completed	\$	<u>143,253.36</u>
b. <u>-</u> X \$ <u>-</u> Stored Materials	\$	<u>-</u>
c. Total Retainage (Line 5.a + Line 5.b)	\$	<u>143,253.36</u>
6. Amount eligible to date (Line 4 - Line 5.c)	\$	<u>2,721,813.82</u>
7. Less previous payments	\$	<u>2,317,627.18</u>
<b>8. Amount due this application</b>	<b>\$</b>	<b><u>404,186.64</u></b>
9. Balance to finish, including retainage (Line 3 - Line 4)	\$	<u>101,532.58</u>

**Contractor's Certification**

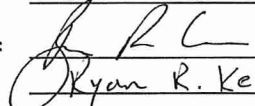
The undersigned Contractor certifies, to the best of its knowledge, the following:

(1) All previous progress payments received from Owner on account of Work done under the Contract have been applied on account to discharge Contractor's legitimate obligations incurred in connection with the Work covered by prior Applications for Payment;

(2) Title to all Work, materials and equipment incorporated in said Work, or otherwise listed in or covered by this Application for Payment, will pass to Owner at time of payment free and clear of all liens, security interests, and encumbrances (except such as are covered by a bond acceptable to Owner indemnifying Owner against any such liens, security interest, or encumbrances); and

(3) All the Work covered by this Application for Payment is in accordance with the Contract Documents and is not defective.

Contractor: Douglas-Kerr Underground, LLC

Signature:  Date: 9/16/24

Name: Ryan R. Kerr Title: Manager

<b>Recommended by Engineer</b>	<b>Approved by Owner</b>
By: <u></u>	By: <u></u>
Name: <u>Zach Ling, PE</u>	Name: <u>Bruce Westby</u>
Title: <u>Project Manager</u>	Title: <u>City Engineer (P.O.D)</u>
Date: <u>9/16/2024</u>	Date: <u>9/16/2024</u>

**Progress Estimate - Unit Price Work**

Owner: City of Ramsey  
 Engineer: Bolton & Menk, Inc.  
 Contractor: Douglas-Kerr Underground  
 Project: The COR Infrastructure Improvements  
 Contract: \_\_\_\_\_

**Contractor's Application for Payment**

Owner's Project No.: 23-19  
 Engineer's Project No.: ORL130893 & ORL134180  
 Contractor's Project No.: \_\_\_\_\_  
 Agency's Project No.: \_\_\_\_\_

Application No.: 5		Application Period: From 08/01/24 to 08/31/24		Application Date: 09/16/24									
Bid Item No.	Description	Contract Information		Original Contract		F1	F2	G	H	I	J	K	L
		Item Quantity	Units	Unit Price (\$)	Value of Bid Item (C X E)								
1	MOBILIZATION	1.00	LUMP SUM	130,250.00	130,250.00	0.87	113,317.50	1.00	130,250.00		130,250.00	100%	-
2	REMOVE HYDRANT	2.00	EACH	1,415.00	2,830.00	4.00	5,660.00	4.00	5,660.00		5,660.00	200%	(2,830.00)
3	REMOVE GATE VALVE & BOX	1.00	EACH	353.85	353.85	6.00	2,123.10	6.00	2,123.10		2,123.10	600%	(1,769.25)
4	REMOVE DRAINAGE STRUCTURE	7.00	EACH	621.20	4,348.40	7.00	4,348.40	7.00	4,348.40		4,348.40	100%	-
5	REMOVE PIPE APRON	2.00	EACH	358.40	716.80	-	-	-	-		-	-	716.80
6	REMOVE PIPE SEWERS (STORM)	742.00	LIN FT	20.50	15,211.00	687.00	14,083.50	687.00	14,083.50		14,083.50	93%	1,127.50
7	REMOVE CURB & GUTTER	2,116.00	LIN FT	3.20	6,771.20	1,960.00	6,272.00	1,960.00	6,272.00		6,272.00	93%	499.20
8	REMOVE BITUMINOUS CURB	215.00	LIN FT	0.50	107.50	319.00	159.50	319.00	159.50		159.50	148%	(52.00)
9	SAWING CONCRETE PAVEMENT (FULL DEPTH)	40.00	LIN FT	3.40	136.00	45.00	153.00	45.00	153.00		153.00	113%	(17.00)
10	SAWING BIT PAVEMENT (FULL DEPTH)	904.00	LIN FT	2.50	2,260.00	905.00	2,257.50	903.00	2,257.50		2,257.50	100%	2.50
11	REMOVE WATER MAIN	26.00	LIN FT	13.60	353.60	112.00	1,523.20	112.00	1,523.20		1,523.20	431%	(1,169.60)
12	REMOVE CONCRETE PAVEMENT	25.00	SQ YD	7.15	178.75	33.40	238.81	33.40	238.81		238.81	134%	(60.06)
13	REMOVE BITUMINOUS PAVEMENT	5,090.00	SO YD	2.05	10,434.50	6,778.50	12,870.93	6,278.50	12,870.93		12,870.93	123%	(2,436.43)
14	EXCAVATION - COMMON (EV) (P)	6,080.00	CU YD	15.20	92,416.00	6,080.00	92,416.00	7,541.13	114,625.18		114,625.18	124%	(22,209.18)
15	COMMON EMBANKMENT (CV)	5,080.00	CU YD	8.65	43,942.00	4,998.68	43,238.58	6,597.06	57,064.59		57,064.59	130%	(13,122.59)
16	DEWATERING	1.00	LUMP SUM	71,480.00	71,480.00	1.00	71,480.00	1.00	71,480.00		71,480.00	100%	-
17	GEOTEXTILE FABRIC TYPE 5	1,170.00	SO YD	1.15	1,345.50	-	-	1,170.00	1,345.50		1,345.50	100%	-
18	SUBGRADE PREPARATION	27,820.00	SO YD	0.40	11,128.00	27,320.00	10,928.00	27,320.00	10,928.00		10,928.00	98%	200.00
19	STREET SWEEPER (WITH PICKUP BROOM)	130.00	HR	183.45	23,848.50	2.00	366.90	29.00	5,320.05		5,320.05	23%	18,528.45
20	WATER FOR DUST CONTROL	2,000.00	MEGAL	9.40	18,800.00	424.76	3,992.74	781.14	7,342.72		7,342.72	39%	11,457.28
21	AGGREGATE BASE, CLASS 5 MODIFIED	11,060.00	TON	19.35	214,031.00	11,133.51	215,433.42	11,133.51	215,433.42		215,433.42	101%	(1,422.42)
22	MILL BITUMINOUS SURFACE (2")	1,500.00	SO YD	1.65	2,475.00	-	-	1,661.57	2,741.59		2,741.59	111%	(266.59)
23	BITUMINOUS MATERIAL FOR TACK COAT	1,350.00	GAJ	2.85	3,847.50	9.00	25.65	3,847.50	3,888.15		3,888.15	93%	259.35
24	TYPE SP 9.5 WEARING COURSE MIX (3 C)	2,970.00	TON	86.90	258,093.00	-	-	2,902.98	252,268.96		252,268.96	98%	5,824.04
25	TYPE SP 12.5 NON WEARING COURSE MIX (3 C)	4,170.00	TON	82.75	345,067.50	3,928.71	325,100.75	3,928.71	325,100.75		325,100.75	94%	19,966.75
26	8" CONCRETE HEADWALL	2.00	EACH	15,885.00	31,770.00	2.00	31,670.00	2.00	31,670.00		31,670.00	100%	-
27	COARSE FILTER AGGREGATE (CV)	200.00	CU YD	81.35	16,270.00	238.03	19,363.74	238.03	19,363.74		19,363.74	119%	(3,093.74)
28	6" PERF PVC PIPE DRAIN	750.00	LIN FT	21.80	16,350.00	468.00	10,202.40	779.00	16,982.20		16,982.20	104%	(632.20)
29	8" PVC PIPE SEWER	410.00	LIN FT	39.80	16,318.00	335.00	13,253.40	333.00	13,253.40		13,253.40	81%	3,064.60
30	10" PVC PIPE SEWER	343.00	LIN FT	40.85	14,011.55	343.00	14,011.55	343.00	14,011.55		14,011.55	100%	-
31	12" RC PIPE SEWER 3006 CLASS V	216.00	LIN FT	47.10	10,173.60	215.00	10,126.50	215.00	10,126.50		10,126.50	100%	47.10
32	15" RC PIPE SEWER 3006 CLASS V	580.00	LIN FT	53.70	31,146.00	587.50	31,548.75	587.50	31,548.75		31,548.75	103%	(402.75)
33	18" RC PIPE SEWER 3006 CLASS III	413.00	LIN FT	56.70	23,417.10	413.00	23,417.10	413.00	23,417.10		23,417.10	100%	-
34	24" RC PIPE SEWER 3006 CLASS III	439.00	LIN FT	71.20	31,256.80	456.00	32,467.20	456.00	32,467.20		32,467.20	104%	(1,210.40)
35	36" RC PIPE SEWER 3006 CLASS III	616.00	LIN FT	140.60	86,609.60	616.00	86,609.60	616.00	86,609.60		86,609.60	100%	-
36	42" RC PIPE SEWER 3006 CLASS III	166.00	LIN FT	185.35	30,768.10	166.00	30,768.10	166.00	30,768.10		30,768.10	100%	-
37	CONNECT TO EXISTING SANITARY SEWER	2.00	EACH	1,062.00	2,124.00	2.00	2,124.00	2.00	2,124.00		2,124.00	100%	-
38	CONNECT TO EXISTING STORM SEWER	9.00	EACH	1,544.00	13,896.00	11.00	16,984.00	11.00	16,984.00		16,984.00	122%	(3,088.00)
39	PLUG FILL & ABANDON PIPE SEWER	80.00	LIN FT	27.60	2,208.00	40.00	1,104.00	40.00	1,104.00		1,104.00	50%	1,104.00
40	DUCTILE IRON FITTINGS	3,933.00	LIN FT	3.20	12,585.60	-	-	-	-		-	-	12,585.60
41	CONNECT TO EXISTING WATER MAIN (WET TAP)	3,543.00	POUND	12.50	44,287.50	4,102.00	51,275.00	4,102.00	51,275.00		51,275.00	116%	(6,987.50)
42	CONNECT TO EXISTING WATER MAIN	2.00	EACH	1,415.00	2,830.00	2.00	2,830.00	2.00	2,830.00		2,830.00	100%	-
43	CONNECT TO EXISTING WATER MAIN	6.00	EACH	983.75	5,902.50	8.00	7,870.00	8.00	7,870.00		7,870.00	133%	(1,967.50)
44	6" GATE VALVE & BOX	5.00	EACH	2,800.00	14,000.00	7.00	19,600.00	7.00	19,600.00		19,600.00	140%	(5,600.00)
45	8" GATE VALVE & BOX	5.00	EACH	4,781.00	23,905.00	3.00	14,343.00	3.00	14,343.00		14,343.00	60%	9,562.00
46	12" GATE VALVE & BOX	6.00	EACH	5,644.00	33,864.00	4.00	22,576.00	4.00	22,576.00		22,576.00	67%	11,288.00
47	HYDRANT	7.00	EACH	5,587.00	39,109.00	7.00	39,109.00	7.00	39,109.00		39,109.00	100%	-

**Progress Estimate - Unit Price Work**

Owner: City of Ramsey  
 Engineer: Bolton & Menk, Inc.  
 Contractor: Douglas-Kerr Underground  
 Project: The COR Infrastructure Improvements  
 Contract:

**Contractor's Application for Payment**

Owner's Project No.: 23-19  
 Engineer's Project No.: OR1.130893 & OR1.134180  
 Contractor's Project No.:  
 Agency's Project No.:

Application No.: 5		Application Period: From 08/01/24 to 08/31/24		Application Date: 09/16/24							
Bid Item No.	Description	Contract Information		F1	F2	G	H	I	J	K	L
		C	D								
		Item Quantity	Units	Unit Price (\$)	Value of Bid Item (C X E) (\$)	Estimated Quantity Incorporated in the Work	Value of Work Completed to Date (E X G) (\$)	Materials Currently Stored (not in G) (\$)	Work Completed and Materials Stored to Date (H + I) (\$)	% of Value of Item (J / F) (%)	Balance to Finish (F - J) (\$)
48	WATERMAIN OFFSET	3.00	EACH	3,540.00	10,620.00	6.50	23,010.00	-	23,010.00	217%	(12,390.00)
49	6" WATER MAIN DUCTILE IRON CL 53	208.00	LN FT	47.80	9,942.40	154.00	7,361.20	-	7,361.20	74%	2,581.20
50	8" WATER MAIN DUCTILE IRON CL 52	315.00	LN FT	68.30	21,514.50	335.50	22,914.65	-	22,914.65	107%	(1,400.15)
51	12" WATER MAIN DUCTILE IRON CL 52	1,800.00	LN FT	88.30	158,940.00	1,773.00	156,555.90	-	156,555.90	99%	2,384.10
52	4" WATERMAIN INSULATION	50.00	SQ YD	22.60	1,130.00	63.90	1,444.14	-	1,444.14	128%	(314.14)
53	ADJUST FRAME & RING CASTING	9.00	EACH	1,205.00	10,845.00	1.00	1,205.00	-	20,486.80	188%	(9,951.80)
54	CASTING ASSEMBLY (SANITARY SEWER)	2.00	EACH	1,759.00	3,518.00	-	-	-	5,277.00	150%	(1,759.00)
55	CASTING ASSEMBLY (STORM SEWER)	35.00	EACH	1,052.00	36,820.00	-	-	-	6,312.00	17%	30,508.00
56	CONSTRUCT SANITARY SEWER MANHOLE	53.60	LN FT	388.25	20,810.20	57.51	22,328.26	-	22,328.26	107%	(1,518.06)
57	CONSTRUCT DRAINAGE STRUCTURE DESIGN SPEC 1 (2'X3')	37.90	LN FT	478.05	18,118.10	37.71	18,027.27	-	18,027.27	99%	90.83
58	CONSTRUCT DRAINAGE STRUCTURE DES 48-4020	56.20	LN FT	525.55	29,535.91	60.07	31,569.79	-	31,569.79	107%	(2,033.88)
59	CONSTRUCT DRAINAGE STRUCTURE DES 60-4020	47.10	LN FT	774.90	36,497.79	47.10	36,497.79	-	36,497.79	100%	-
60	CONSTRUCT DRAINAGE STRUCTURE DES 72-4020	5.70	LN FT	1,063.00	6,059.10	5.70	6,059.10	-	6,059.10	100%	-
61	CONSTRUCT DRAINAGE STRUCTURE DES 84-4020	5.40	LN FT	2,501.00	13,505.40	10.80	27,010.80	-	27,010.80	200%	(13,505.40)
62	CONSTRUCT DRAINAGE STRUCTURE DES 60-4020 WITH 4' SUMP	10.80	LN FT	642.55	6,939.54	10.80	6,939.54	-	6,939.54	100%	-
63	CONSTRUCT DRAINAGE STRUCTURE DES 84-4020 WITH 4' SUMP	31.40	LN FT	867.85	27,250.49	18.76	16,277.92	-	16,277.92	60%	10,972.57
64	6" CONCRETE WALK	54,700.00	SQ FT	5.65	309,055.00	52,000.00	293,800.00	-	293,800.00	96%	12,255.00
65	CONCRETE CURB & GUTTER DESIGN B618	10,350.00	LN FT	17.65	182,677.50	10,363.00	182,906.95	-	182,906.95	100%	229.45
66	CONCRETE CURB & GUTTER DESIGN SPECIAL (RIBBON)	1,700.00	LN FT	25.75	43,775.00	1,692.00	43,569.00	-	43,569.00	100%	206.00
67	4" CONCRETE MEDIAN	815.00	SQ FT	9.00	7,335.00	700.00	6,300.00	-	6,300.00	42%	(2,377.00)
68	7" CONCRETE PAVEMENT	1,317.00	SQ FT	9.25	12,182.25	987.00	9,129.75	-	9,129.75	75%	3,052.50
69	8" CONCRETE DRIVEWAY PAVEMENT	2,950.00	SQ FT	9.10	26,845.00	1,631.00	14,842.10	-	14,842.10	55%	12,002.90
70	CONCRETE MEDIAN NOSE SPECIAL	2.00	EACH	1,000.00	2,000.00	-	-	-	-	-	2,000.00
71	7" CONCRETE VALLEY GUTTER	305.00	SQ FT	51.10	15,585.50	272.00	13,899.20	-	13,899.20	89%	1,686.30
72	TRUNCATED DOWNS	564.00	SQ FT	50.00	28,200.00	500.00	25,000.00	-	28,600.00	107%	(400.00)
73	TRAFFIC CONTROL	1.00	LUMP SUM	3,225.00	3,225.00	-	-	-	3,225.00	-	-
74	STABILIZED CONSTRUCTION EXIT	6.00	EACH	1,037.00	6,102.00	-	-	-	-	-	6,102.00
75	STORM DRAIN INLET PROTECTION	45.00	EACH	90.25	4,061.25	45.00	4,061.25	-	4,061.25	100%	-
76	SILT FENCE, TYPE MS	2,850.00	LN FT	1.90	5,415.00	1,455.00	2,764.50	-	2,764.50	51%	2,650.50
77	FILTER TOPSOIL BORROW (LV)	500.00	CU YD	22.65	11,325.00	600.00	13,590.00	-	13,929.75	123%	(2,604.75)
78	COMMON TOPSOIL BORROW	2,320.00	CU YD	14.20	32,944.00	1,358.57	19,291.69	-	28,550.09	87%	4,393.91
79	SEEDING	13,840.00	SQ YD	0.10	1,384.00	-	-	-	1,384.00	100%	-
80	SEED MIXTURE 25-121	190.00	POUND	4.70	893.00	-	-	-	244.00	100%	(255.80)
81	SODDING TYPE NATIVE	1,250.00	SQ YD	34.00	42,500.00	-	-	-	1,146.80	128%	(255.80)
82	HYDRAULIC BONDED FIBER MATRIX	13,840.00	POUND	1.25	17,300.00	-	-	-	44,200.00	104%	(1,700.00)
83	FERTILIZER TYPE 3	857.05	POUND	0.90	771.34	-	-	-	17,250.00	100%	50.00
84	4" SOLID LINE MULTI COMP	9,378.00	LN FT	2.50	23,445.00	-	-	-	810.00	105%	(38.66)
85	4" BROKEN LINE MULTI COMP	327.00	LN FT	2.00	654.00	-	-	-	-	-	23,445.00
86	4" DOTTED LINE MULTI COMP	75.00	LN FT	6.00	450.00	-	-	-	-	-	654.00
87	4" DBLE SOLID LINE MULTI COMP	1,650.00	LN FT	2.00	3,300.00	-	-	-	-	-	450.00
88	6" SOLID LINE MULTI COMP	35.00	LN FT	6.00	210.00	-	-	-	-	-	3,300.00
89	12" SOLID LINE MULTI COMP	270.00	LN FT	6.00	1,620.00	-	-	-	-	-	210.00
90	12" DOTTED LINE MULTI COMP	10.00	LN FT	20.00	200.00	-	-	-	-	-	1,620.00
91	CROSSWALK MULTI COMP	2,040.00	SQ FT	6.00	12,240.00	-	-	-	-	-	2,040.00
92	PAVEMENT MESSAGE MULTI COMP	314.00	SQ FT	7.00	2,198.00	-	-	-	-	-	2,198.00
<b>Original Contract Totals</b>					<b>\$ 2,973,047.22</b>	<b>\$ 2,413,361.12</b>	<b>\$ 2,877,820.74</b>	<b>\$ 2,877,820.74</b>	<b>\$ 2,877,820.74</b>	<b>97%</b>	<b>\$ 95,226.48</b>

Progress Estimate - Unit Price Work

Owner: City of Ramsey  
 Engineer: Bolton & Menk, Inc.  
 Contractor: Douglas-Kerr Underground  
 Project: The COR Infrastructure Improvements  
 Contract:

Contractor's Application for Payment

Owner's Project No.: 23-19  
 Engineer's Project No.: OR1.130893 & OR1.134180  
 Contractor's Project No.:  
 Agency's Project No.:

Application No.: 5		Application Period: From 08/01/24 to 08/31/24		Application Date: 09/16/24									
Bid Item No.	Description	Contract Information		F1	F2	G	H	I	J	K	L		
		C	D									E	F
		Item Quantity	Units	Unit Price (\$)	Value of Bid Item (C X E)	Quantity Previous Estimate	Value Previous Estimate	Estimated Quantity Incorporated in the Work	Value of Work Completed to Date (E X G)	Materials Currently Stored (not in G)	Work Completed and Materials Stored to Date (H + I)	% of Value of Item (J / F)	Balance to Finish (F - J)
<b>Change Orders</b>													
CO-1.1	DEDUCT 8" SANITARY SEWER STUB	90.00	LIN FT	39.80	(3,582.00)	(90.00)	(3,582.00)	(90.00)	(3,582.00)	(3,582.00)	(3,582.00)	100%	-
CO-1.2	DEDUCT 15" RC PIPE SEWER CLV	100.00	LIN FT	53.70	(5,370.00)	(100.00)	(5,370.00)	(100.00)	(5,370.00)	(5,370.00)	(5,370.00)	100%	-
CO-1.3	DEDUCT 36" RC PIPE SEWER CLV	(25.00)	LIN FT	140.60	(3,515.00)	(23.00)	(3,233.80)	(23.00)	(3,233.80)	(3,233.80)	(3,233.80)	92%	(281.20)
CO-1.4	REVISED 10" SANITARY SEWER STUB	90.00	LIN FT	54.50	4,905.00	94.00	5,123.00	94.00	5,123.00	5,123.00	5,123.00	104%	(218.00)
CO-1.5	REMOVE WATER MAIN SERVICE STUB	90.00	LF	31.45	2,830.50	-	-	-	-	-	-	-	2,830.50
CO-1.6	REMOVE GATE VALVE & BOX	1.00	EACH	353.85	353.85	-	-	-	-	-	-	-	353.85
CO-1.7	CAP AND PLUG EXISTING TEE	2.00	EACH	353.85	707.70	-	-	-	-	-	-	-	707.70
CO-1.8	SALVAGE GATE VALVE TO CITY	1.00	EACH	353.85	353.85	-	-	-	-	-	-	-	353.85
CO-1.9	EXTRA DUCTILE IRON FITTINGS	100.00	LB	12.55	1,255.00	16.00	200.80	16.00	200.80	200.80	200.80	16%	1,054.20
CO-1.10	REVISED 36" PIPE SEWER CL.III	100.00	LIN FT	140.60	14,060.00	100.00	14,060.00	100.00	14,060.00	14,060.00	14,060.00	100%	-
CO-1.11	30" RC PIPE SEWER CL.III	28.00	LIN FT	130.85	3,663.80	36.00	4,710.60	36.00	4,710.60	4,710.60	4,710.60	129%	(1,046.80)
CO-1.12	CONSTRUCT DRAINAGE STRUCTURE DES 84-4020	6.60	LIN FT	2,172.40	14,337.84	6.60	14,337.84	6.60	14,337.84	14,337.84	14,337.84	100%	-
CO-1.13	CASTING ASSEMBLY (STORM SEWER)	1.00	EACH	1,052.00	1,052.00	-	-	-	-	-	-	-	1,052.00
CO-2.1	SODDING TYPE NATIVE	(1,250.00)	SQ YD	34.00	(42,500.00)	-	-	(1,300.00)	(44,200.00)	(44,200.00)	(44,200.00)	104%	1,700.00
CO-2.2	NATIVE SEED MIX, ROLLED EROSION CAT. 25, FERTILIZER TYPE 3	1,250.00	SQ YD	4.00	5,000.00	-	-	1,300.00	5,200.00	5,200.00	5,200.00	104%	(200.00)
				<b>Change Order Totals</b>	<b>\$ (6,447.46)</b>		<b>\$ 26,246.44</b>		<b>\$ (12,753.56)</b>		<b>\$ (12,753.56)</b>		
				<b>Original Contract and Change Orders</b>			<b>\$ 2,439,607.56</b>		<b>\$ 2,865,067.18</b>		<b>\$ 2,865,067.18</b>	<b>97%</b>	<b>\$ 95,226.48</b>

**CC Regular Session New**

**Meeting Date:** 09/24/2024

**Primary Strategic Plan Initiative:** Not Applicable

**Title:**

Adopt Resolution #24-270 Approving Partial Payment to North Valley, Inc. for Improvement Project #24-07, 2024 Neighborhood Pavement Overlay Improvements.

**Purpose/Background:**

Resolution and Pay Request Attached.

**Recommendation:**

The Senior Engineering Technician has inspected the completed work and recommends partial payment to North Valley, Inc. for improvement project #24-07, 2024 Neighborhood Pavement Overlay Improvements, in the amount of \$996,139.12.

**Outcome/Action:**

Motion to adopt Resolution #24-270 approving partial payment to North Valley, Inc. for improvement project #24-07, 2024 Neighborhood Pavement Overlay Improvements in the amount of \$996,139.12.

**Attachments**

Pay Resolution #24-270  
Pay Request

**Form Review**

**Inbox**

Bruce Westby  
Brian Hagen

**Reviewed By**

Bruce Westby  
Brian Hagen

**Date**

09/19/2024 10:19 AM  
09/19/2024 12:46 PM  
Started On: 09/17/2024 11:15 AM

Form Started By: Stacie Damjanovich  
Final Approval Date: 09/19/2024

Councilmember \_\_\_\_\_ introduced the following resolution and moved for its adoption:

**RESOLUTION #24-270**

**RESOLUTION APPROVING PARTIAL PAYMENT No. 1 TO NORTH VALLEY, INC. FOR 2024 NEIGHBORHOOD PAVEMENT OVERLAY IMPROVEMENTS, IMPROVEMENT PROJECT #24-07**

**WHEREAS**, the City of Ramsey proposes to overlay the pavement on numerous public street segments in 2024 as identified within the 2024 – 2033 Capital Improvement Program; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #23-281, adopted November 14, 2023, the City Council accepted and awarded the proposal to Bolton & Menk, Inc., for topographic survey of the pedestrian ramps within the project area; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #23-299, adopted on November 14, 2023, the City Council ordered the City Engineer to prepare plans and specifications for 2024 Neighborhood Pavement Overlay Improvements, Improvement Project #24-07; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #24-110, adopted on April 23, 2024, the City Council approved final plans and specifications as prepared by the City Engineer and authorized advertisement for bids for the same improvements; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #24-156, adopted June 11, 2024, a contract was awarded to North Valley, Inc. of Nowthen, Minnesota, in the amount of \$1,562,549.03 for said improvements; and

**WHEREAS**, as of September 24, 2024 \$0.00 has been paid to date; and

**WHEREAS**, the Senior Engineering Technician has inspected the completed work and recommends partial payment No. 1 to North Valley, Inc. of Nowthen, Minnesota, for improvement project #24-07, 2024 Neighborhood Pavement Overlay Improvements, in the amount of \$996,139.12.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA:**

- 1) The City Council hereby authorizes partial payment No. 1 to North Valley, Inc. of Nowthen, Minnesota for Improvement Project #24-07, 2024 Neighborhood Pavement Overlay Improvements in the amount of \$996,139.12.
- 2) The City Council hereby authorizes the Mayor and City Administrator to sign the

release form for this payment.

- 3) The total amount of this payment is not included in resolutions approving payments of bills for the date of September 24, 2024.
- 4) The City of Ramsey Finance Department will be provided a signed copy of this resolution.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember \_\_\_\_\_, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

Whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 24<sup>th</sup> day of September, 2024.

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
City Clerk

### Pay Estimate Summary Sheet

Estimate Number: 1 Partial  
 Project Number: 24-07  
 Project Name: 2024 Neighborhood Pavement Overlay Improvements  
 Period Ending: August 31, 2024  
 Contractor: North Valley, Inc.  
 Address: 20015 Iguana Street NW, Nowthen, MN 55330

1	Original Contract Amount	\$ 1,562,549.03
2	Change Order(s) No. _____ Thru No. _____	
3	Total Funds Encumbered	\$ 1,562,549.03
4	Value of Work Completed	\$ 1,048,567.50
5	Retainage <u>5</u> %	\$ (52,428.38)
	Percent Complete <u>67%</u>	
6	Deductions or Charges	
7	Total Earned Less Retainage (Lines 4+5+6)	\$ 996,139.12
8	Previous Payment(s)	\$ -
<b>9</b>	<b>Payment Due (Lines 7-8)</b>	<b>\$ 996,139.12</b>
10	Total Balance to Finish, Including Retainage (Lines 3-7)	\$ 566,409.91

Certification of Partial Payment	
I hereby certify that, to the best of my knowledge and belief, all items, quantities and prices of work and material shown on this Estimate are correct and that all work has been performed in full accordance with the terms and conditions of the Contract for this project between owner and the undersigned Contractor, and as amended by any authorized changes and the foregoing is a true and correct statement of the contract amount for the period covered by this estimate.	
North Valley, Inc.	Leslie A. Bloom
Contractor Name	Print Name
President	
Title	Signature
	September 16, 2024
	Date

City of Ramsey Approval	
	9/17/2024
Signature (Project Engineer)	Date
	9/17/2024
Signature (City Engineer)	Date

2024 Neighborhood Pavement Overlay Improvements

I.P. 24-07

Estimate No. 1

Partial

Period Ending

August 31, 2024

Item No.	MnDOT No.	Item Description	Unit	CONTRACT AMOUNT			COMPLETED THIS PERIOD		COMPLETED TO DATE	
				Estimated Quantity	Unit Price	Extended Total	Quantity	Extended Total	Quantity	Extended Total
1	2021.501	MOBILIZATION	LS	1.0	\$ 53,240.00	\$ 53,240.00	1.0	\$ 53,240.00	1.0	\$ 53,240.00
2	2104.502	CLEARING	EA	3	\$ 378.74	\$ 1,136.22	3	\$ 1,136.22	3	\$ 1,136.22
3	2104.502	GRUBBING	EA	3	\$ 162.32	\$ 486.96	3	\$ 486.96	3	\$ 486.96
4	2104.502	REMOVE DRAINAGE STRUCTURE	EA	5	\$ 492.36	\$ 2,461.80	5	\$ 2,461.80	5	\$ 2,461.80
5	2104.503	REMOVE PIPE SEWER	LF	566	\$ 10.82	\$ 6,124.12	566	\$ 6,124.12	566	\$ 6,124.12
6	2104.503	REMOVE CONCRETE CURB AND GUTTER	LF	1700	\$ 7.03	\$ 11,951.00	1700	\$ 11,951.00	1700	\$ 11,951.00
7	2104.503	REMOVE BITUMINOUS CURB	LF	470	\$ 6.90	\$ 3,243.00	470	\$ 3,243.00	470	\$ 3,243.00
8	2104.503	SAWING BITUMINOUS PAVEMENT (FULL DEPTH)	LF	1850	\$ 2.87	\$ 5,309.50	1850	\$ 5,309.50	1850	\$ 5,309.50
9	2104.503	SAWING CONCRETE (FULL DEPTH)	LF	950	\$ 8.41	\$ 7,989.50	950	\$ 7,989.50	950	\$ 7,989.50
10	2104.504	REMOVE BITUMINOUS PAVEMENT	SY	120	\$ 8.66	\$ 1,039.20	120	\$ 1,039.20	120	\$ 1,039.20
11	2104.504	REMOVE CONCRETE WALK	SY	700	\$ 19.48	\$ 13,636.00	700	\$ 13,636.00	700	\$ 13,636.00
12	2104.504	REMOVE CONCRETE VALLEY GUTTER	SY	81	\$ 19.48	\$ 1,577.88	81	\$ 1,577.88	81	\$ 1,577.88
13	2105.607	COMMON EXCAVATION (EV)	CY	130	\$ 26.67	\$ 3,467.10	130	\$ 3,467.10	130	\$ 3,467.10
14	2211.507	AGGREGATE BASE CLASS 5 MODIFIED (CV)	CY	95	\$ 23.81	\$ 2,261.95	95	\$ 2,261.95	95	\$ 2,261.95
15	2231.603	SAWED & SEALED JOINT	EA	280	\$ 23.81	\$ 6,666.80	0	\$ -	0	\$ -
16	2231.604	BITUMINOUS PATCH	SY	350	\$ 28.56	\$ 9,996.00	350	\$ 9,996.00	350	\$ 9,996.00
17	2232.504	MILL BITUMINOUS SURFACE (1.0")	SY	3850	\$ 1.70	\$ 6,545.00	3936	\$ 6,691.20	3936	\$ 6,691.20
18	2232.504	MILL BITUMINOUS SURFACE (2.0")	SY	50450	\$ 1.21	\$ 61,044.50	33168	\$ 40,133.28	33168	\$ 40,133.28
19	2232.504	MILL BITUMINOUS SURFACE (3.5")	SY	15400	\$ 1.93	\$ 29,722.00	12551	\$ 24,223.43	12551	\$ 24,223.43
20	2357.506	BITUMINOUS MATERIAL FOR TACK COAT	GAL	4880	\$ 3.08	\$ 15,030.40	2450	\$ 7,546.00	2450	\$ 7,546.00
21	2360.509	TYPE SP 12.5 NON WEARING COURSE MIXTURE (3,C) 2.0"	TON	1740	\$ 89.30	\$ 155,382.00	115	\$ 10,269.50	115	\$ 10,269.50
22	2360.509	TYPE SP 9.5 WEARING COURSE MIXTURE (3,C) 1.5"	TON	1630	\$ 90.96	\$ 148,264.80	419	\$ 38,112.24	419	\$ 38,112.24
23	2360.509	TYPE SP 9.5 WEARING COURSE MIXTURE (3,C) 2.0"	TON	5700	\$ 89.84	\$ 512,088.00	3803	\$ 341,661.52	3803	\$ 341,661.52
24	2360.509	TYPE SP 9.5 WEARING COURSE MIXTURE (3,C) 2.0" TRAIL	TON	85	\$ 175.84	\$ 14,946.40	0	\$ -	0	\$ -
25	2503.602	GROUT CATCH BASIN	EA	96	\$ 189.37	\$ 18,179.52	96	\$ 18,179.52	96	\$ 18,179.52
26	2503.602	RESET CATCH BASIN	EA	4	\$ 1,623.17	\$ 6,492.68	4	\$ 6,492.68	4	\$ 6,492.68
27	2503.602	CONNECT TO EXISTING STORM SEWER	EA	2	\$ 75.75	\$ 151.50	2	\$ 151.50	2	\$ 151.50
28	2504.602	ADJUST VALVE BOX	EA	8	\$ 373.33	\$ 2,986.64	8	\$ 2,986.64	8	\$ 2,986.64
29	2501.503	15" RC PIPE APRON	EA	1	\$ 1,947.80	\$ 1,947.80	1	\$ 1,947.80	1	\$ 1,947.80
30	2501.503	12" RC PIPE SEWER DESIGN 3006 CLASS III	LF	24	\$ 75.75	\$ 1,818.00	24	\$ 1,818.00	24	\$ 1,818.00
31	2501.503	15" RC PIPE SEWER DESIGN 3006 CLASS III	LF	44	\$ 75.75	\$ 3,333.00	44	\$ 3,333.00	44	\$ 3,333.00
32	2501.503	21" RC PIPE SEWER DESIGN 3006 CLASS III	LF	478	\$ 86.57	\$ 41,380.46	478	\$ 41,380.46	478	\$ 41,380.46
33	2501.503	24" RC PIPE SEWER DESIGN 3006 CLASS III	LF	8	\$ 108.21	\$ 865.68	8	\$ 865.68	8	\$ 865.68
34	2506.502	ADJUST FRAME AND RING CASTING	EA	20	\$ 784.53	\$ 15,690.60	20	\$ 15,690.60	20	\$ 15,690.60
35	2506.503	CONSTRUCT DRAINAGE STRUCTURE DESIGN 48-4020	EA	5	\$ 6,276.26	\$ 31,381.30	5	\$ 31,381.30	5	\$ 31,381.30
36	2506.503	CONSTRUCT DRAINAGE STRUCTURE DESIGN SPEC 1	EA	1	\$ 44,366.67	\$ 44,366.67	1	\$ 44,366.67	1	\$ 44,366.67
37	2506.503	CONSTRUCT DRAINAGE STRUCTURE DESIGN SPEC 2	EA	1	\$ 22,724.39	\$ 22,724.39	1	\$ 22,724.39	1	\$ 22,724.39

Item No.	MnDOT No.	Item Description	Unit	CONTRACT AMOUNT			COMPLETED THIS PERIOD		COMPLETED TO DATE	
				Estimated Quantity	Unit Price	Extended Total	Quantity	Extended Total	Quantity	Extended Total
38	2521.504	6" CONCRETE WALK	SY	665	\$ 75.75	\$ 50,373.75	665	\$ 50,373.75	665	\$ 50,373.75
39	2521.602	DRILL & GROUT REINF BAR (EPOXY COATED)	EA	366	\$ 13.53	\$ 4,951.98	366	\$ 4,951.98	366	\$ 4,951.98
40	2531.503	CONCRETE CURB & GUTTER DESIGN B618	LF	1460	\$ 46.53	\$ 67,933.80	1460	\$ 67,933.80	1460	\$ 67,933.80
41	2531.503	CONCRETE CURB & GUTTER DESIGN SURMOUNTABLE	LF	240	\$ 46.53	\$ 11,167.20	240	\$ 11,167.20	240	\$ 11,167.20
42	2531.604	7" CONCRETE VALLEY GUTTER	SY	115	\$ 75.75	\$ 8,711.25	100	\$ 7,575.00	100	\$ 7,575.00
43	2531.618	TRUNCATED DOMES	SF	870	\$ 48.70	\$ 42,369.00	848	\$ 41,297.60	848	\$ 41,297.60
44	2535.503	BITUMINOUS CURB	LF	470	\$ 4.60	\$ 2,162.00	0	\$ -	0	\$ -
45	2563.601	TRAFFIC CONTROL	LS	1	\$ 13,526.43	\$ 13,526.43	1	\$ 13,526.43	1	\$ 13,526.43
46	2573.502	STORM DRAIN INLET PROTECTION	EA	24	\$ 146.09	\$ 3,506.16	24	\$ 3,506.16	24	\$ 3,506.16
47	2574.507	TOPSOIL (LV)	CY	165	\$ 44.33	\$ 7,314.45	132	\$ 5,851.56	132	\$ 5,851.56
48	2575.501	TURF ESTABLISHMENT	ACRE	0.25	\$ 8,115.88	\$ 2,028.97	0	\$ 1,623.18	0	\$ 1,623.18
<b>BASE CONSTRUCTION TOTAL</b>						\$ 1,478,973.36	\$ 991,682.30	\$ 991,682.30		

ALTERNATIVE A (BASALT ST.)			CONTRACT AMOUNT			COMPLETED THIS PERIOD		COMPLETED TO DATE		
Item No.	MnDOT No.	Item Description	Unit	Estimated Quantity	Unit Price	Extended Total	Quantity	Extended Total	Quantity	Extended Total
49	2104.502	SALVAGE MAILBOX SUPPORT	EA	1	\$ 275.94	\$ 275.94	1	\$ 275.94	1	\$ 275.94
50	2104.502	CLEARING	EA	1	\$ 162.32	\$ 162.32	1	\$ 162.32	1	\$ 162.32
51	2104.502	GRUBBING	EA	1	\$ 86.57	\$ 86.57	1	\$ 86.57	1	\$ 86.57
52	2104.503	SAWING BITUMINOUS PAVEMENT (FULL DEPTH)	LF	35	\$ 4.17	\$ 145.95	35	\$ 145.95	35	\$ 145.95
53	2105.607	COMMON EXCAVATION	CY	205	\$ 26.67	\$ 5,467.35	205	\$ 5,467.35	205	\$ 5,467.35
54	2112.519	SUBGRADE PREPARATION	RDST	3	\$ 755.48	\$ 2,304.21	3	\$ 2,341.99	3	\$ 2,341.99
55	2211.507	AGGREGATE BASE CLASS 5 MODIFIED (CV)	CY	225	\$ 44.46	\$ 10,003.50	225	\$ 10,003.50	225	\$ 10,003.50
56	2357.506	BITUMINOUS MATERIAL FOR TACK COAT	GAL	85	\$ 5.41	\$ 459.85	0	\$ -	0	\$ -
57	2360.509	TYPE SP 12.5 NON WEARING COURSE MIXTURE (3,C) 2.0"	TON	140	\$ 96.24	\$ 13,473.60	0	\$ -	0	\$ -
58	2360.509	TYPE SP 9.5 WEARING COURSE MIXTURE (3,C) 2.0"	TON	145	\$ 88.24	\$ 12,794.80	0	\$ -	0	\$ -
59	2504.602	ADJUST VALVE BOX	EA	2	\$ 470.72	\$ 941.44	2	\$ 941.44	2	\$ 941.44
60	2506.502	ADJUST FRAME AND RING CASTING	EA	1	\$ 1,228.20	\$ 1,228.20	1	\$ 1,228.20	1	\$ 1,228.20
61	2531.503	CONCRETE CURB & GUTTER DESIGN B618	LF	670	\$ 46.53	\$ 31,175.10	670	\$ 31,175.10	670	\$ 31,175.10
62	2531.604	7" CONCRETE VALLEY GUTTER	SY	23	\$ 75.75	\$ 1,742.25	23	\$ 1,742.25	23	\$ 1,742.25
63	2573.502	STORM DRAIN INLET PROTECTION	EA	2	\$ 254.30	\$ 508.60	2	\$ 508.60	2	\$ 508.60
64	2574.507	TOPSOIL (LV)	CY	45	\$ 44.32	\$ 1,994.40	45	\$ 1,994.40	45	\$ 1,994.40
65	2575.501	TURF ESTABLISHMENT	ACRE	0.10	\$ 8,115.90	\$ 811.59	0.10	\$ 811.59	0.10	\$ 811.59
<b>ALTERNATIVE A (BASALT ST.) TOTAL</b>						\$ 83,575.67	\$ 56,885.20	\$ 56,885.20		

<b>GRAND TOTALS</b>		\$ 1,562,549.03	\$ 1,048,567.50	\$ 1,048,567.50
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Internal City Use Only			
	Pavement Management Funds (0.82 Mob)	\$ 785,181.58	\$ 785,181.58
	Storm Sewer Utility Funds (0.12 Mob)	\$ 187,615.72	\$ 187,615.72
	Sanitary Sewer Utility Fund (0.00 Mob)	\$ 15,690.60	\$ 15,690.60
	Public Investment Revolving Funds (.06 Mob)	\$ 60,079.60	\$ 60,079.60
	<b>Total Funds</b>	\$ 1,048,567.50	\$ 1,048,567.49

**CC Regular Session New**

**Meeting Date:** 09/24/2024

**Primary Strategic Plan Initiative:** Not Applicable

**Title:**

Adopt Resolution #24-271 Approving Partial Payment to Dave Perkins Contracting, Inc. for Improvement Project #24-02, Halls Dover Acres Street Reconstruction.

**Purpose/Background:**

Resolution and Pay Request Attached.

**Recommendation:**

The Senior Engineering Technician has inspected the completed work and recommends partial payment to Dave Perkins Contracting, Inc. for improvement project #24-02, Halls Dover Acres Street Reconstruction in the amount of \$176,949.62.

**Outcome/Action:**

Motion to adopt Resolution #24-271 approving partial payment to Dave Perkins Contracting, Inc. for improvement project #24-02, Halls Dover Acres Street Reconstruction in the amount of \$176,949.62.

**Attachments**

Pay Resolution #24-271  
Pay Request

**Form Review**

**Inbox**

Bruce Westby

Brian Hagen

Form Started By: Stacie Damjanovich

Final Approval Date: 09/19/2024

**Reviewed By**

Bruce Westby

Brian Hagen

**Date**

09/19/2024 10:21 AM

09/19/2024 12:46 PM

Started On: 09/17/2024 11:29 AM

Councilmember \_\_\_\_ introduced the following resolution and moved for its adoption:

**RESOLUTION #24-271**

**RESOLUTION APPROVING PARTIAL PAYMENT NO. 3 TO DAVE PERKINS CONTRACTING, INC. FOR HALLS DOVER ACRES STREET RECONSTRUCTION, IMPROVEMENT PROJECT #24-02**

**WHEREAS**, the City of Ramsey proposes to reconstruct the streets within the Halls Dover Acres subdivision; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #23-130, adopted June 13, 2023, the City Council accepted and awarded the proposal to Bolton & Menk, Inc., for topographic survey of the project area; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #23-129, adopted June 27, 2023, the City Council accepted and awarded the proposal to Chosen Valley Testing, Inc., for a geotechnical report of the project area; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #23-198, adopted August 22, 2023, the City Council ordered the City Engineer to prepare plans and specifications for said improvements; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #24-014, adopted on January 9, 2024, the City Council approved final plans and specification as prepared by the City Engineer and authorized advertisement for bids for the same improvements; and

**WHEREAS**, proposals were received for Construction Staking and As-built Survey of \$27,144.00 from Bolton and Menk, Inc. for said improvements; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #24-064, adopted February 27, 2024, a contract was awarded to Dave Perkins Contracting, Inc of Nowthen, Minnesota, in the amount of \$844,919.01 for said improvements; and

**WHEREAS**, as of September 24, 2024 \$745,023.53 has been paid to date; and

**WHEREAS**, the Senior Engineering Technician has inspected the completed work and recommends partial payment No. 3 to Dave Perkins Contracting, Inc. of Nowthen Minnesota, for improvement project #24-02 Halls Dover Acres Street Reconstruction, in the amount of \$176,949.62.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA:**

- 1) The City Council hereby authorizes partial payment No. 3 to Dave Perkins Contracting, Inc of Nowthen, Minnesota for Improvement Project #24-02, Halls Dover Acres Street Reconstruction in the amount of \$176,949.62.
- 2) The City Council hereby authorizes the Mayor and City Administrator to sign the release form for this payment.

- 3) The total amount of this payment is not included in resolutions approving payment of bills for the date of September 24, 2024.
- 4) The City of Ramsey Finance Department will be provided a signed copy of this resolution.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember \_\_\_\_\_ and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

Whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 24<sup>th</sup> day of September, 2024.

\_\_\_\_\_  
Mayor

**ATTEST:**

\_\_\_\_\_  
City Clerk

### Pay Estimate Summary Sheet

Estimate Number: 3 Partial

Project Number: 24-02

Project Name: Halls Dover Acres Street Reconstructions

Period Ending: August 31, 2024

Contractor: Dave Perkins Contracting, Inc.

Address: 19745 Nowthen Boulevard NW, Nowthen, MN 55303

1	Original Contract Amount		\$	<u>844,919.01</u>
2	Change Order(s)	No. <u>3</u> Thru No. <u>3</u>	\$	<u>94,588.05</u>
3	Total Funds Encumbered		\$	<u>939,507.06</u>
4	Value of Work Completed		\$	<u>970,498.05</u>
5	Retainage	<u>5</u> %	\$	<u>(48,524.90)</u>
	Percent Complete	<u>103%</u>		
6	Deductions or Charges			
7	Total Earned Less Retainage (Lines 4+5+6)		\$	<u>921,973.15</u>
8	Previous Payment(s)		\$	<u>745,023.53</u>
9	<b>Payment Due (Lines 7-8)</b>		\$	<b><u>176,949.62</u></b>
10	Total Balance to Finish, Including Retainage (Lines 3-7)		\$	<u>48,524.90</u>

**Certification of Partial Payment**

I hereby certify that, to the best of my knowledge and belief, all items, quantities and prices of work and material shown on this Estimate are correct and that all work has been performed in full accordance with the terms and conditions of the Contract for this project between owner and the undersigned Contractor, and as amended by any authorized changes and the foregoing is a true and correct statement of the contract amount for the period covered by this estimate.

<u>Dave Perkins Contracting</u>	<u>Kenie Perkins</u>
Contractor Name	Print Name
<u>President</u>	<u>[Signature]</u>
Title	Signature
	<u>9/16/2024</u>
	Date

**City of Ramsey Approval**

<u>[Signature]</u>	<u>9/16/2024</u>
Signature (Project Engineer)	Date
<u>[Signature]</u>	<u>9/17/2024</u>
Signature (City Engineer)	Date

Halls Dover Acres Street Reconstructions

I.P. 24-02

Estimate No. 3 Partial

Period Ending August 31, 2024

Item No.	MnDOT No.	Item Description	CONTRACT AMOUNT				COMPLETED THIS PERIOD		COMPLETED TO DATE	
			Unit	Estimated Quantity	Unit Price	Extended Total	Quantity	Extended Total	Quantity	Extended Total
1	2021.501	MOBILIZATION	LS	1.0	\$ 45,000.00	\$ 45,000.00	0.0	\$ -	1.0	\$ 45,000.00
2	2101.502	CLEARING	EA	6	\$ 300.00	\$ 1,800.00	0	\$ -	19	\$ 5,700.00
3	2101.502	GRUBBING	EA	6	\$ 250.00	\$ 1,500.00	0	\$ -	19	\$ 4,750.00
4	2104.502	SALVAGE MAIL BOX SUPPORT	EA	28	\$ 80.00	\$ 2,240.00	14	\$ 1,120.00	28	\$ 2,240.00
5	2104.503	SAWING PAVEMENT (FULL DEPTH)	LF	823	\$ 3.00	\$ 2,469.00	0	\$ -	844	\$ 2,532.00
6	2104.503	REMOVE WATERMAIN	LF	15	\$ 20.00	\$ 300.00	0	\$ -	26	\$ 520.00
7	2104.504	REMOVE BITUMINOUS PAVEMENT	SY	1022	\$ 3.00	\$ 3,066.00	0	\$ -	1052	\$ 3,156.00
8	2104.504	REMOVE CONCRETE PAVEMENT	SY	205	\$ 10.00	\$ 2,050.00	0	\$ -	233	\$ 2,330.00
9	2104.504	REMOVE AGGREGATE SURFACING	SY	79	\$ 5.00	\$ 395.00	0	\$ -	79	\$ 395.00
10	2104.602	LANDSCAPE RESTORATION	EA	15	\$ 1,000.00	\$ 15,000.00	0	\$ -	0	\$ -
11	2106.507	EXCAVATION - COMMON (EV)	CY	834	\$ 25.00	\$ 20,850.00	0	\$ -	834	\$ 20,850.00
12	2106.607	HAUL & STOCKPILE RECLAIM MATERIAL (LV)	CY	1495	\$ 12.00	\$ 17,940.00	551	\$ 6,612.00	2046	\$ 24,552.00
13	2112.519	SUBGRADE PREPARATION - ROADWAY	RDST	41	\$ 754.00	\$ 30,914.00	0	\$ -	50	\$ 37,700.00
14	2112.604	SUBGRADE PREPARATION	SY	609	\$ 8.00	\$ 4,872.00	26	\$ 208.00	635	\$ 5,080.00
15	2123.61	STREET SWEEPER (WITH PICKUP BROOM)	HOUR	24	\$ 155.00	\$ 3,720.00	12	\$ 1,860.00	22	\$ 3,410.00
16	2130.523	WATER	MGAL	82	\$ 50.00	\$ 4,100.00	5	\$ 250.00	85	\$ 4,250.00
17	2211.507	AGGREGATE BASE CLASS 5 MODIFIED (CV)	CY	1789	\$ 3.00	\$ 5,367.00	0	\$ -	1789	\$ 5,367.00
18	2211.604	AGGREGATE BASE CLASS 5 SURFACING - DRIVEWAYS	SY	97	\$ 17.00	\$ 1,649.00	0	\$ -	122	\$ 2,074.00
19	2215.504	FULL DEPTH RECLAMATION	SY	14351	\$ 1.50	\$ 21,526.50	0	\$ -	14351	\$ 21,526.50
20	2232.504	MILL BITUMINOUS PAVEMENT 2.0"	SY	55	\$ 10.00	\$ 550.00	36	\$ 360.00	68	\$ 680.00
21	2301.604	CONCRETE PAVEMENT DRIVEWAYS 6.0"	SY	225	\$ 106.00	\$ 23,850.00	0	\$ -	235	\$ 24,910.00
22	2357.506	BITUMINOUS MATERIAL FOR TACK COAT	GAL	1032	\$ 4.00	\$ 4,128.00	750	\$ 3,000.00	790	\$ 3,160.00
23	2360.509	TYPE SP 12.5 NON WEARING COURSE MIXTURE (3,C)	TON	1653	\$ 87.00	\$ 143,811.00	0	\$ -	1679	\$ 146,073.00
24	2360.509	TYPE SP 9.5 WEARING COURSE MIXTURE (3,C)	TON	1218	\$ 90.00	\$ 109,620.00	1212	\$ 109,080.00	1230	\$ 110,700.00
25	2360.509	TYPE SP 9.5 WEARING COURSE MIXTURE (3,C) DRIVEWAYS	TON	41	\$ 220.00	\$ 9,020.00	70	\$ 15,400.00	70	\$ 15,400.00
26	2360.509	TYPE SP 9.5 WEARING COURSE MIXTURE (3,C) TRAIL	TON	71	\$ 154.00	\$ 10,934.00	93	\$ 14,322.00	93	\$ 14,322.00
27	2501.502	15" RC PIPE APRON	EA	18	\$ 750.00	\$ 13,500.00	0	\$ -	18	\$ 13,500.00
28	2501.502	18" CS PIPE APRON	EA	1	\$ 600.00	\$ 600.00	0	\$ -	1	\$ 600.00
29	2503.503	15" RC PIPE SEWER DESIGN 3006 CLASS III	LF	459	\$ 58.00	\$ 26,622.00	0	\$ -	465	\$ 26,970.00
30	2503.503	18" CMP PIPE SEWER	LF	37	\$ 65.00	\$ 2,405.00	0	\$ -	42	\$ 2,730.00
31	2504.602	6" GATE VALVE & BOX	EA	5	\$ 2,800.00	\$ 14,000.00	2	\$ 5,600.00	5	\$ 14,000.00
32	2504.602	8" GATE VALVE & BOX	EA	2	\$ 3,500.00	\$ 7,000.00	0	\$ -	2	\$ 7,000.00
33	2504.602	12" GATE VALVE & BOX	EA	3	\$ 5,500.00	\$ 16,500.00	0	\$ -	3	\$ 16,500.00
34	2504.602	ADJUST VALVE BOX	EA	10	\$ 250.00	\$ 2,500.00	0	\$ -	10	\$ 2,500.00
35	2504.602	CONNECT TO EXISTING WATERMAIN	EA	2	\$ 1,500.00	\$ 3,000.00	-1	\$ (1,500.00)	1	\$ 1,500.00
36	2504.602	HYDRANT (8.5' BURY)	EA	5	\$ 7,000.00	\$ 35,000.00	0	\$ -	5	\$ 35,000.00
37	2504.602	8" WATERMAIN PLUG	EA	1	\$ 100.00	\$ 100.00	0	\$ -	1	\$ 100.00
38	2504.603	6" WATERMAIN DUCTILE IRON CL 53	LF	64	\$ 75.00	\$ 4,800.00	0	\$ -	72	\$ 5,400.00
39	2504.603	8" WATERMAIN PVC (C900)	LF	412	\$ 42.00	\$ 17,304.00	0	\$ -	428	\$ 17,976.00

Item No.	MnDOT No.	Item Description	CONTRACT AMOUNT			COMPLETED THIS PERIOD			COMPLETED TO DATE		
			Unit	Estimated Quantity	Unit Price	Extended Total	Quantity	Extended Total	Quantity	Extended Total	
40	2504.603	12" WATERMAIN PVC (C900)	LF	2165	\$ 69.00	\$ 149,385.00	0	\$ -	2165	\$ 149,385.00	
41	2504.608	WATERMAIN FITTINGS	LBS	1676	\$ 10.00	\$ 16,760.00	0	\$ -	1786	\$ 17,860.00	
42	2521.504	6" CONCRETE WALK	SY	10	\$ 120.00	\$ 1,200.00	12	\$ 1,440.00	12	\$ 1,440.00	
43	2521.602	DRILL & GROUT REINF BAR (EPOXY COATED)	EA	4	\$ 30.00	\$ 120.00	6	\$ 180.00	6	\$ 180.00	
44	2531.618	TRUNCATED DOMES	SF	21	\$ 75.00	\$ 1,575.00	28	\$ 2,100.00	28	\$ 2,100.00	
45	2540.602	TEMPORARY MAIL BOX CLUSTER	EA	2	\$ 450.00	\$ 900.00	0	\$ -	2	\$ 900.00	
46	2540.602	INSTAL MAIL BOX SUPPORT	EA	28	\$ 100.00	\$ 2,800.00	28	\$ 2,800.00	28	\$ 2,800.00	
47	2563.601	TRAFFIC CONTROL	LS	1	\$ 10,000.00	\$ 10,000.00	0.0	\$ -	1.0	\$ 10,000.00	
48	2572.503	TEMPORARY TREE PROTECTION FENCE	LF	20	\$ 5.00	\$ 100.00	0	\$ -	20	\$ 100.00	
49	2573.602	STABILIZED CONSTRUCTION EXIT	EA	4	\$ 550.00	\$ 2,200.00	2	\$ 1,100.00	4	\$ 2,200.00	
50	2573.502	STORM DRAIN INLET PROTECTION	EA	2	\$ 240.00	\$ 480.00	0	\$ -	2	\$ 480.00	
51	2573.503	SEDIMENT CONTROL LOG TYPE STRAW	LF	575	\$ 3.00	\$ 1,725.00	0	\$ -	480	\$ 1,440.00	
52	2573.503	SILT FENCE; TYPE MS	LF	2921	\$ 1.50	\$ 4,381.50	0	\$ -	2273	\$ 3,409.50	
53	2574.507	TOPSOIL (LV)	CY	1394	\$ 5.00	\$ 6,970.00	0	\$ -	720	\$ 3,600.00	
54	2574.508	FERTILIZER TYPE 3	LBS	398	\$ 1.00	\$ 398.00	300	\$ 300.00	350	\$ 350.00	
55	2575.504	ROLLED EROSION PREVENTION CATEGORY 20	SY	2234	\$ 1.99	\$ 4,445.66	1960	\$ 3,900.40	1980	\$ 3,940.20	
56	2575.505	SEEDING	ACRE	1.99	\$ 265.00	\$ 527.35	1.30	\$ 344.50	1.80	\$ 477.00	
57	2575.508	HYDRAULIC MULCH MATRIX	LBS	6100	\$ 1.45	\$ 8,845.00	6100	\$ 8,845.00	7100	\$ 10,295.00	
58	2575.508	SEED MIXTURE 25-141	LBS	24	\$ 15.00	\$ 360.00	15	\$ 225.00	25	\$ 375.00	
59	2575.508	SEED MIXTURE 25-151	LBS	322	\$ 5.00	\$ 1,610.00	380	\$ 1,900.00	380	\$ 1,900.00	
60	2582.503	4" DOUBLE SOLID LINE PAINT (EPOXY)	LF	16	\$ 3.00	\$ 48.00	0	\$ -	17	\$ 51.00	
61	2582.503	4" SOLID LINE PAINT (EPOXY)	LF	43	\$ 2.00	\$ 86.00	0	\$ -	130	\$ 260.00	
<b>BASE CONSTRUCTION TOTAL</b>						<b>\$ 844,919.01</b>		<b>\$ 179,446.90</b>		<b>\$ 863,996.20</b>	

Item No.	MnDOT No.	Item Description	CONTRACT AMOUNT			COMPLETED THIS PERIOD			COMPLETED TO DATE		
			Unit	Estimated Quantity	Unit Price	Extended Total	Quantity	Extended Total	Quantity	Extended Total	
<b>CHANGE ORDER No.1</b>											
62	2504.602	1" CORPORATION STOP	EA	1	\$ 859.00	\$ 859.00	0	\$ -	1	\$ 859.00	
63	2504.602	1" CURB STOP AND BOX	EA	1	\$ 750.00	\$ 750.00	0	\$ -	1	\$ 750.00	
64	2504.603	1" COPPER PIPE TYPE K	LF	23	\$ 28.00	\$ 644.00	0	\$ -	32	\$ 896.00	
<b>CHANGE ORDER No.1 TOTAL</b>						<b>\$ 2,253.00</b>		<b>\$ -</b>		<b>\$ 2,505.00</b>	

CHANGE ORDER No.2				CONTRACT AMOUNT				COMPLETED THIS PERIOD				COMPLETED TO DATE			
Item No.	MnDOT No.	Item Description	Unit	Estimated Quantity	Unit Price	Extended Total	Quantity	Extended Total	Quantity	Extended Total	Quantity	Extended Total			
7	2104.504	REMOVE BITUMINOUS PAVEMENT	SY	326	\$ 3.00	\$ 978.00	0	\$ -	326	\$ 978.00	0	\$ -			
14	2112.604	SUBGRADE PREPARATION	SY	326	\$ 8.00	\$ 2,608.00	175	\$ 1,400.00	501	\$ 4,008.00	175	\$ 1,400.00			
17	2211.507	AGGREGATE BASE CLASS 5 MODIFIED (CV)	CY	37	\$ 38.00	\$ 1,406.00	55	\$ 2,090.00	55	\$ 2,090.00	55	\$ 2,090.00			
23	2360.507	TYPE SP 12.5 NON WEARING COURSE MIXTURE (3,C)	TON	7	\$ 90.00	\$ 630.00	8	\$ 720.00	8	\$ 720.00	8	\$ 720.00			
24	2360.507	TYPE SP 9.5 WEARING COURSE MIXTURE (3,C)	TON	5	\$ 92.00	\$ 460.00	6	\$ 552.00	6	\$ 552.00	6	\$ 552.00			
26	2360.509	TYPE SP 9.5 WEARING COURSE MIXTURE (3,C) TRAIL	TON	46	\$ 150.00	\$ 6,900.00	60	\$ 9,000.00	60	\$ 9,000.00	60	\$ 9,000.00			
32	2504.602	8" GATE VALVE & BOX	EA	1	\$ 3,800.00	\$ 3,800.00	0	\$ -	0	\$ -	0	\$ -			
35	2504.602	CONNECT TO EXISTING WATERMAIN (WET TAP)	EA	1	\$ 2,800.00	\$ 2,800.00	1	\$ 2,800.00	1	\$ 2,800.00	1	\$ 2,800.00			
40	2504.603	12" WATERMAIN PVC (C900)	LF	395	\$ 79.00	\$ 31,205.00	0	\$ -	415	\$ 32,785.00	0	\$ -			
41	2504.608	WATERMAIN FITTINGS	LBS	351	\$ 12.00	\$ 4,212.00	0	\$ -	380	\$ 4,560.00	0	\$ -			
47	2563.601	TRAFFIC CONTROL (ADDITIONAL)	LS	1	\$ 3,250.00	\$ 3,250.00	0	\$ -	1	\$ 3,250.00	0	\$ -			
53	2574.507	TOPSOIL (LV)	CY	50	\$ 100.00	\$ 5,000.00	50	\$ 5,000.00	50	\$ 5,000.00	50	\$ 5,000.00			
54	2574.508	FERTILIZER TYPE 3	LBS	14	\$ 1.25	\$ 17.50	20	\$ 25.00	20	\$ 25.00	20	\$ 25.00			
56	2575.505	SEEDING	ACRE	0.07	\$ 265.00	\$ 18.55	0	\$ -	0	\$ -	0	\$ -			
57	2575.508	HYDRAULIC MULCH MATRIX	LBS	280	\$ 1.50	\$ 420.00	320	\$ 480.00	320	\$ 480.00	320	\$ 480.00			
59	2575.508	SEED MIXTURE 25-151	LBS	14	\$ 5.00	\$ 70.00	25	\$ 125.00	25	\$ 125.00	25	\$ 125.00			
65	2104.503	REMOVE CONCRETE CURB AND GUTTER	LF	50	\$ 10.00	\$ 500.00	0	\$ -	64	\$ 640.00	0	\$ -			
66	2531.503	CONCRETE CURB AND GUTTER	LF	50	\$ 100.00	\$ 5,000.00	0	\$ -	64	\$ 6,400.00	0	\$ -			
67	2123.51	CREW & EQUIPMENT TIME	HR	10	\$ 1,250.00	\$ 12,500.00	0	\$ -	16	\$ 20,000.00	0	\$ -			
<b>CHANGE ORDER No.2 TOTAL</b>							<b>\$ 81,775.05</b>	<b>\$ 22,215.85</b>	<b>\$</b>	<b>\$ 93,436.85</b>	<b>\$</b>	<b>\$ 20,000.00</b>			

CHANGE ORDER No.3				CONTRACT AMOUNT				COMPLETED THIS PERIOD				COMPLETED TO DATE			
Item No.	MnDOT No.	Item Description	Unit	Estimated Quantity	Unit Price	Extended Total	Quantity	Extended Total	Quantity	Extended Total	Quantity	Extended Total			
68	2504.602	12" WET TAP & 8" WET TAP RE-STOCKING	EA	1	\$ 10,560.00	\$ 10,560.00	0	\$ -	1	\$ 10,560.00	0	\$ -			
<b>CHANGE ORDER No.3 TOTAL</b>							<b>\$ 10,560.00</b>	<b>\$ -</b>	<b>\$</b>	<b>\$ 10,560.00</b>	<b>\$</b>	<b>\$ 10,560.00</b>			

GRAND TOTALS				CONTRACT AMOUNT				COMPLETED THIS PERIOD				COMPLETED TO DATE			
Item No.	MnDOT No.	Item Description	Unit	Estimated Quantity	Unit Price	Extended Total	Quantity	Extended Total	Quantity	Extended Total	Quantity	Extended Total			
<b>GRAND TOTALS</b>							<b>\$ 939,507.06</b>	<b>\$ 201,662.75</b>	<b>\$</b>	<b>\$ 970,498.05</b>	<b>\$</b>	<b>\$ 20,000.00</b>			
Internal City Use Only															
Pavement Management Funds (0.55 Mob)							\$ 152,244.68			\$ 480,491.54					
Storm Sewer Utility Funds (0.05 Mob)							\$ -			\$ 47,490.00					
Water Utility Funds (0.40 Mob)							\$ 49,418.07			\$ 442,516.51					
<b>Total Funds</b>							<b>\$ 201,662.75</b>			<b>\$ 970,498.05</b>					

**CC Regular Session New**

**Meeting Date:** 09/24/2024

**Primary Strategic Plan Initiative:** Not Applicable

**Title:**

Adopt Resolution #24-272 Approving Partial Payment to Northwest Asphalt, Inc. for Improvement Project #24-11, MSA Alpine Drive Reconstruction.

**Purpose/Background:**

Resolution and Pay Request Attached.

**Recommendation:**

The Senior Engineering Technician has inspected the completed work and recommends partial payment to Northwest Asphalt, Inc. for improvement project #24-11, MSA Alpine Drive Reconstruction, in the amount of \$139,529.20.

**Outcome/Action:**

Motion to adopt Resolution #24-272 approving partial payment to Northwest Asphalt, Inc. for improvement project #24-11 MSA Alpine Drive Reconstruction in the amount of \$139,529.20.

**Attachments**

Pay Resolution #24-272  
Pay Request

**Form Review**

**Inbox**

Bruce Westby  
Brian Hagen

Form Started By: Stacie Damjanovich  
Final Approval Date: 09/19/2024

**Reviewed By**

Bruce Westby  
Brian Hagen

**Date**

09/19/2024 10:22 AM  
09/19/2024 12:47 PM  
Started On: 09/17/2024 01:07 PM

Councilmember \_\_\_\_ introduced the following resolution and moved for its adoption:

**RESOLUTION #24-272**

**RESOLUTION APPROVING PARTIAL PAYMENT NO. 3 TO NORTHWEST ASPHALT, INC. FOR MSA ALPINE DRIVE RECONSTRUCTION, IMPROVEMENT PROJECT #24-11**

**WHEREAS**, the City of Ramsey proposes to reconstruct MSA Alpine Drive between Puma Street and Armstrong Boulevard as identified within the 2023 – 2032 10-Year Capital Improvement Program; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #23-130, adopted June 13, 2023, the City Council accepted and awarded the proposal to Bolton & Menk, Inc., for topographic survey of the project area; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #23-129, adopted June 27, 2023, the City Council accepted and awarded the proposal to Independent Testing Technologies, Inc., for a geotechnical report of the project area; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #23-201, adopted August 22, 2023, the City Council ordered the City Engineer to prepare plans and specification for said improvements; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #24-043, adopted January 23, 2024 the City Council approved final plans and specification as prepared by the City Engineer and authorized advertisement for bids for the same improvements; and

**WHEREAS**, proposals were received for Construction Staking and As-built Survey of \$15,426.00 from Bolton and Menk, Inc. for said improvements; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #24-076, adopted March 26, 2024, a contract was awarded to Northwest Asphalt, Inc. of Shakopee, Minnesota in the amount of \$1,009,971.93 for said improvements; and

**WHEREAS**, as of September 24, 2024 \$837,149.95 has been paid to date; and

**WHEREAS**, the Senior Engineering Technician has inspected the completed work and recommends partial payment No. 3 to Northwest Asphalt, Inc. of Shakopee Minnesota, for improvement project #24-11 MSA Alpine Drive Reconstruction, in the amount of \$139,529.20.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA:**

- 1) The City Council hereby authorizes partial payment No. 3 to Northwest Asphalt, Inc. of Shakopee, Minnesota for Improvement Project #24-11, MSA Alpine Drive Reconstruction in the amount of \$139,529.20.
- 2) The City Council hereby authorizes the Mayor and City Administrator to sign the release form for this payment.
- 3) The total amount of this payment is not included in resolutions approving payment of bills for the date of September 24, 2024.

4) The City of Ramsey Finance Department will be provided a signed copy of this resolution.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember \_\_\_\_\_ and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

Whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 24<sup>th</sup> day of September, 2024.

\_\_\_\_\_  
Mayor

**ATTEST:**

\_\_\_\_\_  
City Clerk

### Pay Estimate Summary Sheet

Estimate Number: 3 Partial

Project Number: 24-11

Project Name: MSA Alpine Drive Reconstruction

Period Ending: August 31, 2024

Contractor: Northwest Asphalt, Inc.

Address: 1451 Stagecoach Road, Shakopee, MN 55379-2797

1	Original Contract Amount		\$	<u>1,009,971.93</u>
2	Change Order(s)	No. <u>    </u> Thru No. <u>    </u>		
3	Total Funds Encumbered		\$	<u>1,009,971.93</u>
4	Value of Work Completed		\$	<u>1,028,083.32</u>
5	Retainage	<u>5</u> %	\$	<u>(51,404.17)</u>
	Percent Complete	<u>102%</u>		
6	Deductions or Charges			
7	Total Earned Less Retainage (Lines 4+5+6)		\$	<u>976,679.15</u>
8	Previous Payment(s)		\$	<u>837,149.95</u>
<b>9</b>	<b>Payment Due (Lines 7-8)</b>		<b>\$</b>	<b><u>139,529.20</u></b>
10	Total Balance to Finish, Including Retainage (Lines 3-7)		\$	<u>51,404.17</u>

**Certification of Partial Payment**

I hereby certify that, to the best of my knowledge and belief, all items, quantities and prices of work and material shown on this Estimate are correct and that all work has been performed in full accordance with the terms and conditions of the Contract for this project between owner and the undersigned Contractor, and as amended by any authorized changes and the foregoing is a true and correct statement of the contract amount for the period covered by this estimate.

<u>Northwest Asphalt Inc.</u>	<u>Ryan Vosejka</u>
Contractor Name	Print Name
<u>PM/Estimator</u>	<u>Ryan Vosejka</u>
Title	Signature
	<u>9/16/24</u>
	Date

**City of Ramsey Approval**

<u>[Signature]</u>	<u>9/16/2024</u>
Signature (Project Engineer)	Date
<u>[Signature]</u>	<u>9/17/2024</u>
Signature (City Engineer)	Date

Item No.	MinDOT No.	Item Description	CONTRACT AMOUNT			COMPLETED THIS PERIOD		COMPLETED TO DATE		
			Unit	Estimated Quantity	Unit Price	Extended Total	Quantity	Extended Total	Quantity	Extended Total
1	2021.501	MOBILIZATION	LS	1.0	\$ 48,845.00	\$ 48,845.00	0.25	\$ 12,211.25	1.00	\$ 48,845.00
2	2104.502	SALVAGE MAIL BOX SUPPORT	EA	3	\$ 100.00	\$ 300.00	0	\$ -	3	\$ 300.00
3	2104.503	SAWING BITUMINOUS PAVEMENT (FULL DEPTH)	LF	423	\$ 3.00	\$ 1,269.00	0	\$ -	423	\$ 1,269.00
4	2104.503	SAWING CONCRETE PAVEMENT (FULL DEPTH)	LF	170	\$ 5.00	\$ 850.00	0	\$ -	170	\$ 850.00
5	2104.503	REMOVE CONCRETE CURB AND GUTTER	LF	1865	\$ 5.25	\$ 9,791.25	0	\$ -	2000	\$ 10,500.00
6	2104.504	REMOVE CONCRETE PAVEMENT	SY	162	\$ 12.50	\$ 2,025.00	0	\$ -	260	\$ 3,250.00
7	2104.518	REMOVE BITUMINOUS PAVEMENT	SY	301	\$ 8.25	\$ 2,483.25	0	\$ -	301	\$ 2,483.25
8	2106.507	EXCAVATION - COMMON (EV)	CY	47	\$ 58.00	\$ 2,726.00	0	\$ -	59	\$ 3,422.00
9	2106.607	HAUL & STOCKPILE RECLAIM MATERIAL (LV)	CY	1230	\$ 7.00	\$ 8,610.00	873	\$ 6,111.00	2103	\$ 14,721.00
10	2112.604	SUBGRADE PREPARATION	SY	76	\$ 20.00	\$ 1,520.00	0	\$ -	76	\$ 1,520.00
11	2123.61	STREET SWEEPER (WITH PICKUP BROOM)	HOURL	20	\$ 183.75	\$ 3,675.00	0	\$ -	20	\$ 3,675.00
12	2130.523	WATER	MGAL	50	\$ 52.50	\$ 2,625.00	0	\$ -	50	\$ 2,625.00
13	2211.507	AGGREGATE BASE CLASS 5 MODIFIED (CV)	CY	0	\$ 50.00	\$ -	0	\$ -	0	\$ -
14	2215.504	STABILIZED FULL DEPTH RECLAMATION	SY	11050	\$ 4.59	\$ 50,719.50	0	\$ -	11050	\$ 50,719.50
15	2215.504	BITUMINOUS MATERIAL FOR MIXTURE	TON	145	\$ 633.22	\$ 91,816.90	0.0	\$ -	109.2	\$ 69,147.62
16	2232.504	MILL BITUMINOUS PAVEMENT 2.0"	SY	80	\$ 13.50	\$ 1,080.00	0	\$ -	0	\$ -
17	2357.506	BITUMINOUS MATERIAL FOR TACK COAT	GAL	800	\$ 4.00	\$ 3,200.00	550	\$ 2,200.00	550	\$ 2,200.00
18	2360.509	TYPE SP 12.5 NON WEARING COURSE MIXTURE (3,C)	TON	1250	\$ 85.42	\$ 106,775.00	0	\$ -	1329	\$ 113,523.18
19	2360.509	TYPE SP 9.5 WEARING COURSE MIXTURE (3,C)	TON	1250	\$ 88.79	\$ 110,987.50	1334.0	\$ 118,445.86	1406.5	\$ 124,883.14
20	2504.602	6" GATE VALVE & BOX	EA	5	\$ 2,430.30	\$ 12,151.50	0	\$ -	5	\$ 12,151.50
21	2504.602	8" GATE VALVE & BOX	EA	1	\$ 4,177.04	\$ 4,177.04	0	\$ -	1	\$ 4,177.04
22	2504.602	12" GATE VALVE & BOX	EA	8	\$ 8,907.04	\$ 71,256.32	0	\$ -	8	\$ 71,256.32
23	2504.602	CONNECT TO EXISTING WATERMAIN	EA	3	\$ 2,300.00	\$ 6,900.00	0	\$ -	3	\$ 6,900.00
24	2504.602	HYDRANT (8.5' BURY)	EA	5	\$ 7,120.00	\$ 35,600.00	0	\$ -	5	\$ 35,600.00
25	2504.603	6" WATERMAIN DUCTILE IRON CL 53	LF	65	\$ 76.48	\$ 4,971.20	0	\$ -	65	\$ 4,971.20
26	2504.603	8" WATERMAIN DUCTILE IRON CL 52	LF	17	\$ 82.97	\$ 1,410.49	0	\$ -	17	\$ 1,410.49
27	2504.603	12" WATERMAIN DUCTILE IRON CL 52	LF	73	\$ 114.62	\$ 8,367.26	0	\$ -	73	\$ 8,367.26
28	2504.603	12" WATERMAIN HDPE (DIRECTIONAL DRILLED)	LF	3233	\$ 86.61	\$ 280,010.13	0	\$ -	3233	\$ 280,010.13
29	2504.608	WATERMAIN FITTINGS	LBS	1179	\$ 12.67	\$ 14,937.93	0	\$ -	1179	\$ 14,937.93
30	2521.518	6" CONCRETE WALK	SY	78	\$ 124.21	\$ 9,688.38	0	\$ -	120	\$ 14,905.20
31	2521.602	DRILL & GROUT REINF BAR (EPOXY COATED)	EA	60	\$ 16.80	\$ 1,008.00	0	\$ -	60	\$ 1,008.00
32	2531.503	CONCRETE CURB & GUTTER DESIGN B618	LF	1865	\$ 24.04	\$ 44,834.60	0	\$ -	2000	\$ 48,080.00
33	2531.604	7" CONCRETE VALLEY GUTTER	SY	135	\$ 92.82	\$ 12,530.70	0	\$ -	140	\$ 12,994.80
34	2531.618	TRUNCATED DOMES	SF	112	\$ 73.50	\$ 8,232.00	0	\$ -	160	\$ 11,760.00
35	2540.602	TEMPORARY MAIL BOX CLUSTER	EA	1	\$ 420.00	\$ 420.00	0	\$ -	1	\$ 420.00
36	2540.602	INSTALL MAIL BOX SUPPORT	EA	3	\$ 160.00	\$ 480.00	0	\$ -	3	\$ 480.00
37	2563.601	TRAFFIC CONTROL	LS	1.0	\$ 23,250.00	\$ 23,250.00	0.0	\$ -	1.0	\$ 23,250.00
38	2573.602	STABILIZED CONSTRUCTION ENTRANCE	EA	2	\$ 2,000.00	\$ 4,000.00	0	\$ -	2	\$ 4,000.00
39	2573.503	SILT FENCE; TYPE MS	LF	925	\$ 4.00	\$ 3,700.00	0	\$ -	925	\$ 3,700.00
40	2574.507	TOPSOIL (LV)	CY	65	\$ 46.21	\$ 3,003.65	0	\$ -	62	\$ 2,865.02
41	2575.501	TURF ESTABLISHMENT	ACRE	0.20	\$ 15,000.00	\$ 3,000.00	0.05	\$ 750.00	0.25	\$ 3,750.00
42	2582.503	4" SOLID LINE PAINT (EPOXY)	LF	6031	\$ 0.48	\$ 2,894.88	6303	\$ 3,025.44	6303	\$ 3,025.44
43	2582.503	4" DOUBLE SOLID LINE PAINT (EPOXY)	LF	2991	\$ 0.95	\$ 2,841.45	3374	\$ 3,205.30	3374	\$ 3,205.30
44	2582.518	CROSSWALK PAINT (EPOXY)	SF	120	\$ 8.40	\$ 1,008.00	110	\$ 924.00	110	\$ 924.00
<b>GRAND TOTALS</b>						<b>\$ 1,009,971.93</b>	<b>\$ 146,872.85</b>	<b>\$ 1,028,083.32</b>		

Internal City Use Only		Municipal State Aid Funds (0.50 Mob)		Water Utility Funds (0.50 Mob)	
		\$	140,392.23	\$	537,862.11
		\$	6,480.63	\$	490,221.21
<b>Total Funds</b>		\$	146,872.85	\$	1,028,083.32

**CC Regular Session New****Meeting Date:** 09/24/2024**Primary Strategic Plan Initiative:** Address infrastructure needs.**Title:**

Adopt Resolution #24-276 Approving Change Order No. 3 for Improvement Project #21-08, Water Treatment Plant Trunk Watermain Improvements

**Purpose/Background:****Purpose:**

The purpose of this case is to adopt Resolution #24-276 approving Change Order No. 3 for Improvement Project #21-08, Water Treatment Plant Trunk Watermain Improvements.

**Background:**

During construction, field changes were required to address two separate items that were not accounted for in the plans and specifications.

Open Cutting of Bunker Lake Boulevard

At the intersection of Bunker Lake Boulevard and 143rd Ave/Azurite St., the plans called for the 20-inch trunk watermain proposed under 143rd Avenue to connect to the existing 16-inch watermain located along the east side of Bunker Lake Boulevard using horizontal directional drilling (HDD) methods. A proposed drilling pit was planned at the tee of the two watermain pipes, but because the existing 16-inch pipe was fairly deep and was located under the edge of the driving lane for northbound Bunker Lake Boulevard, this work would have required both lanes of Bunker Lake Boulevard to be closed to traffic for multiple days. Anoka County would not allow Bunker Lake Boulevard to be closed for multiple days during the work week (Monday-Friday). Instead, they agreed to a 1-day Saturday closure. Additionally, it was not possible to connect the 20-inch pipe to the existing 16-inch pipe without using a wet tap to keep the 16-inch trunk main in service. It was therefore determined this work would need to occur on a Saturday and that the 20-inch pipe being extended across Bunker Lake Boulevard must be open cut rather than directionally drilled.

Anoka County issued a road closure/detour permit and the work was done on Saturday, August 24, 2024. The City agreed to use Time and Materials (T&M) for the necessary change order work. Attached is a detailed summary from Northdale outlining the effort needed to complete the work and account for the time and materials used. The total cost for pipe related work is approximately \$31,000. The remainder is for other subcontractors work such as paving and traffic control during the 1-day closure. The total cost of this change order is \$69,595.11.

Buried Concrete Removal

A large mass of buried concrete with embedded large diameter rebar was encountered under the east end of 143rd Avenue during watermain construction. The buried concrete extended approximately 5-feet deep by approximately 185-feet in length and about 8-feet wide, essentially blocking the trench required to install the water main for 185 feet. This required the concrete to be removed as a "change in conditions." This work required an additional larger backhoe with a concrete ripper/jack hammer attachment. Attached is a letter from Northdale outlining the effort it took to remove this concrete. The total change order for their time and materials is \$55,170.34.

**Time Frame/Observations/Alternatives:**

This is an after-the-fact change order. As always, staff strives to process change orders before work is completed. However, after-the-fact change order approvals are sometimes required to prevent project delays and even larger project cost increases resulting from contractor downtime while waiting for the next Council meeting to obtain approval before the work can be completed. This can increase project costs by thousands to tens of thousands of dollars for each day work is halted.

**Funding Source:**

Change Order No. 3 results in increased project costs amounting to \$124,765.45.

These costs will be funded from water enterprise funds.

**Recommendation:**

Staff recommends adopting Resolution #24-276. As previously noted, this work has already been completed.

**Outcome/Action:**

Adopt Resolution #24-276 approving Change Order No. 3 for Improvement Project #21-08, Water Treatment Plant Trunk Watermain Improvements, in the amount of \$124,765.45.

---

**Attachments**

Resolution 24-276  
Change Order 3

**Form Review**

**Inbox**

Brian Hagen

Form Started By: Bruce Westby

Final Approval Date: 09/19/2024

**Reviewed By**

Brian Hagen

**Date**

09/19/2024 12:47 PM

Started On: 09/17/2024 11:52 AM

Councilmember \_\_\_\_\_ introduced the following resolution and moved for its adoption:

**RESOLUTION #24-276**

**RESOLUTION APPROVING CHANGE ORDER NO. 3 TO NORTHDALÉ CONSTRUCTION FOR IMPROVEMENT PROJECT #21-08, WATER TREATMENT PLANT TRUNK WATERMAIN IMPROVEMENTS**

**WHEREAS**, pursuant to Ramsey City Council Resolution #23-305 adopted November 28, 2023, a construction contract was awarded to Northdale Construction Co. Inc., of Albertville, Minnesota, in the amount of \$6,671,414.00 for said improvements; and

**WHEREAS**, during construction, field changes were required to extend watermain across Bunker Lake Boulevard using the open cutting method instead of directional drilling as planned; and

**WHEREAS**, during construction, a large mass of buried concrete with embedded large diameter rebar was encountered under 143rd Avenue requiring removal using a larger backhoe with a concrete ripper/jack hammer attachment; and

**WHEREAS**, Change Order No. 3 documents the required field changes completed by Northdale Construction for improvement project #21-08, WTP Trunk Watermain Improvements, in the amount of \$124,765.45.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:**

- 1) The City Council hereby approves Change Order No. 3 to Northdale Construction of Albertville, Minnesota for Improvement Project #21-08, WTP Trunk Watermain Improvement in the amount of \$124,765.45.
- 2) The City Council hereby authorizes and directs the City Administrator to sign Change Order No. 3 on behalf of the City of Ramsey.

The motion of the adoption of the foregoing resolution was duly seconded by Councilmember \_\_\_\_\_ and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

Whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 24<sup>th</sup> day of September, 2024.

---

Mayor

**ATTEST:**

---

City Clerk



Building a Better World  
for All of Us<sup>®</sup>

# CHANGE ORDER

City of Ramsey

OWNER

21-08

OWNER'S PROJECT NO.

Water Treatment Plant Trunk Water Main Improvements

PROJECT DESCRIPTION

September 4, 2024

DATE

3

CHANGE ORDER NO.

RAMSY 174498 71.50

SEH FILE NO.

*The following changes shall be made to the contract documents:  
Description:*

This change order consists of two separate items.

1. At the intersection of Bunker Lake Boulevard and 143rd Ave/Azurite St., the plans called for the 20-inch trunk watermain to connect to the existing north-south 16-inch water main via horizontal directional drilling (HDD) methods. A proposed drilling pit was planned at the tee of the two water main pipes.

Because the existing 16-inch pipe was fairly deep and the pit was located in the edge of the driving lane for northbound Bunker Lake Boulevard, the work would have resulted in both lanes of Bunker Lake Boulevard to be closed to traffic. Anoka County would not allow these lane closures during normal Monday-Friday traffic but rather they required a 1 day Saturday closure. Additionally, there was no way to install a 20-inch pipe to the existing 16-inch without a wet tap to keep the 16-inch trunk main in service.

Based on those factors, it was determined to do this work on a Saturday shut down and install all the 20-inch pipe across Bunker Lake Boulevard via open cut rather than HDD. Anoka County issued a road closure/detour permit and the work was done on Saturday, August 24.

Attached is a letter from Northdale outlining the effort it took to complete this work during the 1 day closure. The total cost of this change was \$69,595.11.

2. The second change consists of concrete removal under the existing 143rd Ave. pavement, as a "change in conditions."

During water main installation on 143rd Ave, they discovered subsurface concrete to a depth of 5-feet below grade. The extent of this concrete was approximately 185 feet long and one 8-foot wide trench was required to install the water main. This work required an additional larger backhoe with a concrete ripper/jack hammer attachment.

Attached is a letter from Northdale outlining the effort it took to remove this concrete. The total change order for their time and materials is \$55,170.34.

Engineers | Architects | Planners | Scientists

Short Elliott Hendrickson Inc., 10650 Red Circle Drive, Suite 500, Minnetonka, MN 55343-9229

952.912.2600 | 800.734.6757 | 888.908.8166 fax | sehinc.com

SEH is 100% employee-owned | Affirmative Action–Equal Opportunity Employer

*Purpose of Change Order:*

1. Due to the difficulty in completing the HDD pipe across Bunker Lake Blvd, the Contractor requested and received permission to install the 20" watermain crossing via open cut methods. Anoka County required this work to be done on a Saturday since it involved a complete closure of their highway. The City agreed to use Time and Materials (T&M) for the change order. Attached is a detailed summary from Northdale outlining the steps they took to complete the work and account for the hours and materials used. The total pipe related work is approximately \$31,000 and the remainder is for other subcontractors such as paving and traffic control. As a side note, the City contract was reduced approximately \$23,000 in pipe installation costs due to not doing the direction drilling method.
2. Due to changing site conditions (i.e. unknown concrete under road) the Contractor has to rent additional equipment to remove 5-foot thick concrete to install the 20-inch watermain on 143rd Ave.

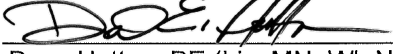
*Basis of Cost:*                     *Actual*                     *Estimated*

*Attachments (list supporting documents)*

- Northdale Const. Co. Inc. Invoice dated 08/28/24

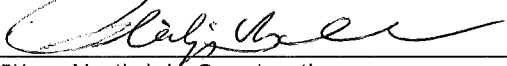
**Contract Status**

	<i>Time</i>	<i>Cost</i>
<i>Original Contract</i>		\$6,671,414.00
<i>Net Change Prior C.O.'s <u>1</u> to <u>2</u></i>		\$271,725.31
<i>Change this C.O.</i>		\$124,765.45
<i>Revised Contract</i>		\$7,067,904.76

*Recommended for Approval: Short Elliott Hendrickson Inc. by*   
 Dave Hutton, PE (Lic. MN, WI, ND)

*Agreed to by Contractor:*

*Approved for Owner:*

  
 BY Northdale Construction  
 President 9/16/2024

BY City of Ramsey  
 TITLE

*Distribution Contractor 2 Owner 1 Project Representative 1*  
 x:\p\tr\ramsy\174498\7-const-svcs\71-mgmt\150-chg-order\co3\cprn 21-08 ramsey change order #3.docx

SEH Office 1



# INVOICE

## NORTHDALE CONST. CO. INC.

9760 71st St NE -Albertville, MN 55301

Office: 763-428-4868

Fax: 763-428-4997

### BILLED TO:

Short Elliott Hendrickson, Inc.  
Attn: David Hutton, PE  
10650 Red Circle Drive, Suite 500  
Minnetonka, MN 55343

INVOICE DATE: 8/28/2024

INVOICE# 202403-CO h

OUR JOB # 2024-03

PLAN SHEET # 35 REVISED

PLAN STATION # 137+18 to 136+21

JOB NAME: Trunk WM Improvement

LOCATION: Ramsey

HOUSE # / STREET: Bunker Lk / Azurite St

DATE OF WORK: 8/23/24 & 8/24/24

### DESCRIPTION OF WORK:

Anoka County only allowed the work in the intersection of Bunker Lake Blvd and 143rd Ave to be completed on Saturday, August 24th. In order to meet the time constraints, Northdale began setting the stage Friday afternoon. The guys worked on getting the 16" x 20" reducer and 20" 11 1/4 degree bend on 20" SJ WM. We bolted the reducer to 4' of 16" DIP and added 15' of 20" SJ WM. The 11 1/4 degree was bolted on a stick of 20" SJ WM. We originally thought about using the directional drilled pipe for this work but after looking it over and the time constraints we opted for SJ and will use the directional drilled pipe in another location.

On August 24th, Warning Lites set up all road closures starting at 5:30 am. Northdale's crew came in at 6:00 am to start moving boxes / sheeting closer to the intersection. We removed the bituminous pavement and hauled it to Sauters instead of stockpiling. We removed the Class 5 and stockpiled it closer so we weren't wasting time travelling to the bone yard to get material. We used our Ford Dump Truck to haul the rubble and Class 5. Reiner Contracting also came in at 6:00 am to cut the pavement on Bunker Lk Blvd. He needed to make (3) passes. Northdale started the removal as soon as he was done cutting. Once everything was removed, we dug down to find the water main and set the box / sheeting for the wet tap. Fobbe Contracting arrived around 9:45 am with two workers to perform the 16" wet tap which took approximately 3 hours that ended around 1:00 pm. They pressure tested the valve / seal also.

The material was very sandy, almost like sugar sand, which required us to use all the metal sheeting that we had. It also required some fiber boards to protect the roadway from collapsing and keep the sand from running back into the trench box so we could safely lay the pipe. When Fobbe completed the wet tap, we installed the first section of pipe that included 4 ft of 16" DIP along with a 16x20 reducer and 15 ft of 20" SJ WM. We then dug out for the next pass and shifted all of the sheets. The next pipe had an 11 1/4 degree bend bolted on. We then would drag the 2nd box with us the remainder of the time and piggy backed the metal sheets. This was a slow process but was necessary to save the road from undermining and to keep the sand from coming back in. Next, we dug and installed the 20" WM underneath the utilities in the radius of the intersection which was also time consuming. It didn't make sense to stop short or underneath the (4) utilities. We would have needed to go back into the radius if we didn't. Once completed, we started to backfill and remove the sheeting / boxes. We had to work our way back to pull the first box that was installed for the wet tap. We had to be careful not to damage the existing blacktop or saw cuts. We were at the maximum width that the paver could blacktop back without making a second pass. North Oaks Paving arrived around 4:00 pm and didn't start paving until around 8:30 pm. The reason they were there at 4pm was because the plant wouldn't supply mix after 4pm so they had (4) trucks full sitting there until we were done installing the watermain. Because the depth of the bit replacement and heat, they had to pave the area in (3) 2" lifts. They ended their work around 1:00 am. While the paving was taking place, Northdale swept the intersection with our sweeper to clean all the debris from the road surface. Warning Lites pulled the detour signage around 1:00 am when the paving was completed.

QUANTITY	UNIT	DESCRIPTION	UNIT PRICE	AMOUNT
<b>LABOR COSTS</b>				
16.00	Hour	Superintendent - OT	\$171.67	\$2,746.72
2.50	Hour	Foreman	\$121.22	\$303.05
16.50	Hour	Foreman - OT	\$168.38	\$2,778.27
14.50	Hour	Backhoe Operator - OT	\$145.65	\$2,111.93
16.00	Hour	Loader Operator - OT	\$142.02	\$2,272.32
2.50	Hour	Pipelayer	\$107.42	\$268.55
14.50	Hour	Pipelayer - OT	\$150.19	\$2,177.76
2.50	Hour	Bottomman	\$104.06	\$260.15
14.50	Hour	Bottomman - OT	\$145.15	\$2,104.68
2.50	Hour	Bottomman	\$103.06	\$257.65
14.50	Hour	Bottomman - OT	\$144.15	\$2,090.18
8.00	Hour	Mechanic - OT	\$142.88	\$1,143.04
<b>EQUIPMENT COSTS</b>				
14.50	Hour	Cat 349 Backhoe	\$512.61	\$7,432.85
5.00	Hour	Cat 950K Loader	\$264.80	\$1,324.00
2.00	Hour	Ingersol Rand Compactor	\$92.51	\$185.02
1.00	Hour	66" Smooth Drum	\$190.50	\$190.50
6.00	Hour	CAT 255D3 Skidsteer	\$143.54	\$861.24
16.50	Hour	Pickup Truck	\$51.38	\$847.77
4.50	Hour	Ford Single Axle Dump Truck	\$138.30	\$622.35
1.00	Day	Trench Box	\$650.00	\$650.00
1.50	Hour	Sweeper Attachment	\$66.85	\$100.28
<b>OTHER COSTS</b>				
1.00	LS	North Oaks Paving	\$28,500.00	\$28,500.00
1.00	LS	Waring Lites	\$2,800.00	\$2,800.00
1.00	LS	Fobbe Contracting (Mob)	\$665.00	\$665.00
1.00	LS	Reiner Contracting (Mob)	\$575.00	\$575.00
SUBTOTAL:				\$63,268.28
10% Markup				\$6,326.83
<b>BALANCE DUE:</b>				<b>\$69,595.11</b>

Questions concerning this Invoice?  
Call: Philip B. Lesnar  
(763) 428-4868

**MAKE ALL CHECKS PAYABLE TO:**

Northdale Construction Co., Inc.  
9760 71st St NE  
Albertville, MN 55301



# INVOICE

## NORTHDALE CONST. CO. INC.

9760 71st St NE -Albertville, MN 55301

Office: 763-428-4868

Fax: 763-428-4997

**BILLED TO:**

Short Elliott Hendrickson, Inc.  
Attn: David Hutton, PE  
10650 Red Circle Drive, Suite 500  
Minnetonka, MN 55343

**INVOICE DATE:** 9/13/2024

**INVOICE#** 202403-X10

**OUR JOB #** 2024-03

**PLAN SHEET #** 34

**PLAN STATION #** 131+00 to 132+65

**JOB NAME:** Trunk WM Improvement

**LOCATION:** Ramsey

**HOUSE # / STREET:** 143rd Ave NW

**DATE OF WORK:** 8/26/24 to 9/3/24

**DESCRIPTION OF WORK:**

From Station 131+00 to Station 132+65, we hit concrete that was above and below pipe grade. In order to fix this, we ended up taking out a 165' L x 8' W x 5' D area that was enough to pull the box and get our pipe in. We had to rent a Komatsu PC360 backhoe with a hydraulic hammer for the beginning of the concrete removal process which was time consuming. We then used a CAT 349F Backhoe and a CAT 950K Loader to remove and load the concrete rubble into the trucks to haul out. The concrete had a 1 1/2" diameter rebar along with a thick cable that was embedded within the concrete. On top of the concrete there were core samples as well. Once we removed the concrete, we placed bedding sand under the pipe, then installed the pipe. Jacobs Trucking was used to stockpile sand on-site, haul out concrete rubble to Martin Marietta and bring back bedding sand from Sauters. The concrete was hard enough to wear over 1 7/8" of bit off of the hydraulic hammer. We also burned 283.6 gallons of diesel fuel in the rental machine.

QUANTITY	UNIT	DESCRIPTION	UNIT PRICE	AMOUNT
<b>LABOR COSTS</b>				
29.50	Hour	Backhoe Operator	\$106.07	\$3,129.07
31.50	Hour	Loader Operator	\$103.66	\$3,265.29
<b>EQUIPMENT COSTS</b>				
11.00	Hour	Cat 349 Backhoe	\$512.61	\$5,638.71
1.00	LS	Komatsu PC360 Backhoe w/Hydraulic Hammer (Rental)	\$25,213.22	\$25,213.22
283.60	Gal	Diesel fuel for Rental Backhoe	\$3.38	\$958.57
31.50	Hour	Cat 950K Loader	\$264.80	\$8,341.20
5.50	Hour	Ingersol Rand Compactor	\$92.51	\$508.81
20.00	Hour	Jacobs Trucking	\$155.00	\$3,100.00
			<b>SUBTOTAL:</b>	<b>\$50,154.86</b>
			10% Markup	\$5,015.49
			<b>BALANCE DUE:</b>	<b>\$55,170.34</b>

Questions concerning this Invoice?

Call: Philip B. Lesnar  
(763) 428-4868

**MAKE ALL CHECKS PAYABLE TO:**

Northdale Construction Co., Inc.

9760 71st St NE

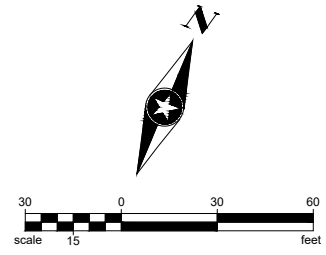
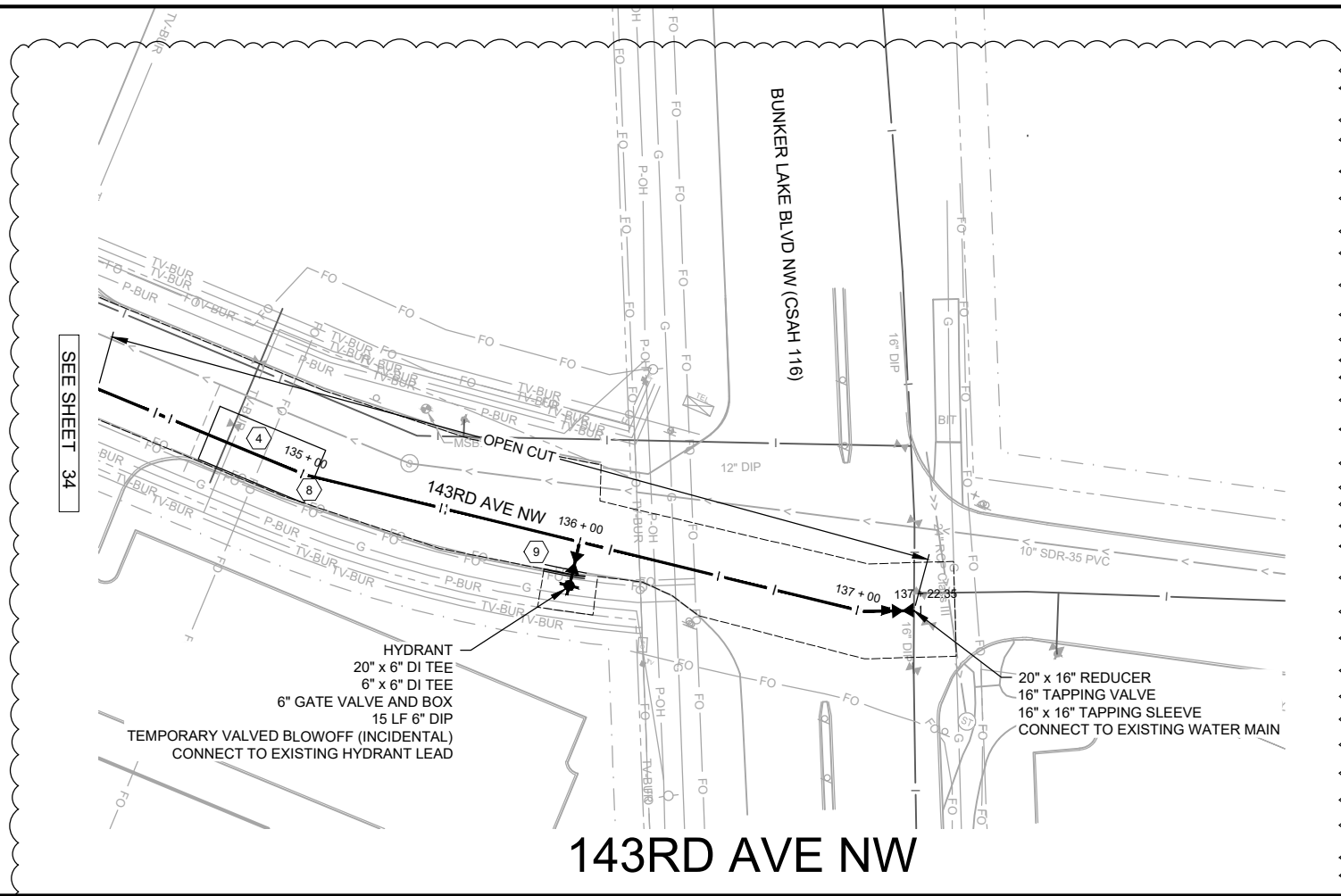
Albertville, MN 55301

**KEYED NOTES**

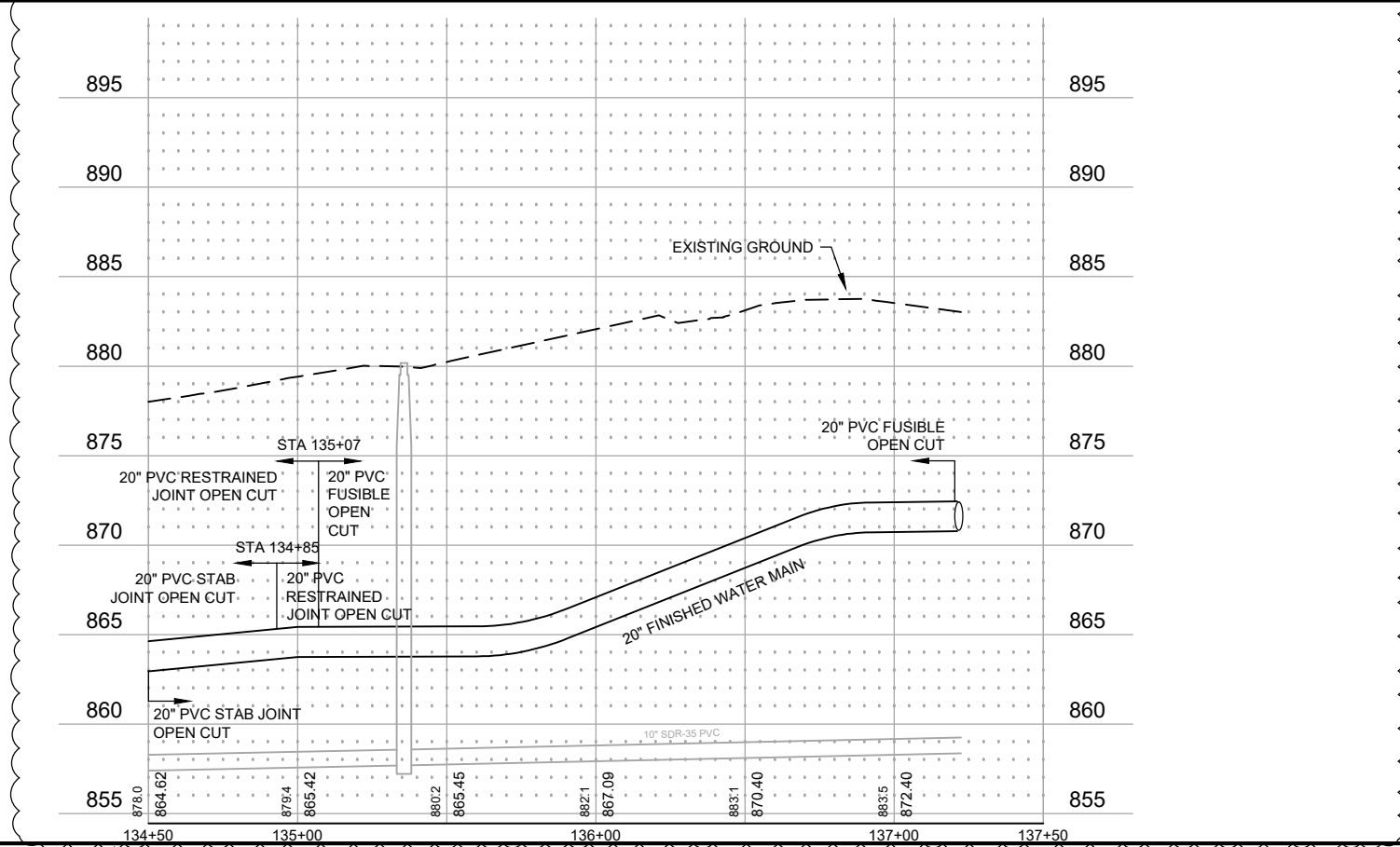
- |   |   |
|---|---|
| 1 HYDRANT, 6" GV & BOX, 6" WATER MAIN, DI TEE | 9 B618 CURB AND GUTTER (PER STR-1 ON SHEET 8)   |
| 2 24" GV & BOX                                | 10 BITUMINOUS PAVEMENT (PER STR-25 ON SHEET 8)  |
| 3 20" GV & BOX                                | 11 10' WIDE BITUMINOUS TRAIL (PER PARK-1 ON SHEET 7)  |
| 4 DRILLING PIT                                | 12 CONCRETE SIDEWALK (PER STR-3 ON SHEET 8)   |
| 5 CONNECT TO EXISTING                         | 13 CROSS GUTTER (PER STR-2 ON SHEET 8)  |
| 6 45° DI BEND                                 | 14 ADJUST CASTING   |
| 7 22.5° DI BEND                               | 15 INSULATE WATER MAIN AT STORM SEWER CROSSING AS DIRECTED BY ENGINEER. MIN 4" x 4" x 8' RIGID FOAM INSULATION ABOVE WATER. |
| 8 11.25° DI BEND                              |   |

**NOTES:**

- CONTRACTOR TO PROVIDE TRENCH BOXES AND OTHER MEANS TO PROTECT OBJECTS NOT MARKED FOR REMOVAL. DAMAGE TO OBJECTS NOT MARKED FOR REMOVAL SHALL BE REPAIRED OR REPLACED AT NO COST TO PROJECT OWNER.
- HYDRANT LEADS TO BE 7.5 FT DEEP TO TOP OF HYDRANT BRANCH. SEE WAT-1 ON SHEET 7.
- UTILITY LOCATIONS SHOWN ARE LEVEL D ACCURACY. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS THROUGH GOPHER STATE ONE CALL.
- CONSTRUCTION LIMITS LINES SHOWN AT HDD DRILLING LOCATIONS MAY VARY, AS APPROVED BY ENGINEER.
- MAINTAIN A MINIMUM 7.5 FT VERTICAL COVER ON ALL RAW AND FINISHED WATER MAINS MAINTAIN A MINIMUM 24" VERTICAL SEPARATION BETWEEN NEW RAW AND FINISHED WATER MAIN AND SEWER AND STORM SEWER CROSSING. MAINTAIN A MINIMUM 10 FT HORIZONTAL SEPARATION BETWEEN RAW AND FINISHED WATER MAIN AND SEWER AND STORM SEWER.
- SEE PROJECT SPECIFICATIONS FOR SOIL BORING LOGS AND LOCATION MAP.
- MAINTAIN 15" MAXIMUM COVER ON ALL RAW AND FINISHED WATER MAIN. CONTRACTOR TO NOTIFY ENGINEER OF AVERAGE RUNNING DEPTH OF DRILLING MACHINE DURING CONSTRUCTION.
- CONTRACTOR TO SUBMIT DETAILED SCHEDULE MINIMUM 1 WEEK PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES FOR COORDINATION WITH THE CITY OF RAMSEY UTILITIES DEPARTMENT. CONTACT AARON MADSEN AT 763.286.2579. CITY OF RAMSEY TO OPERATE VALVES AND HYDRANTS FOR CONTRACTOR.
- DURING INSTALLATION OF THE FITTINGS AND PIPING BETWEEN THE CONNECTION TO THE EXISTING RAW WATER MAINS AND THE GATE VALVE AT STA. 1+27.42, CLEAN THE INTERIOR OF THE COMPONENTS BY MECHANICAL MEANS AND SWAB WITH 5% SODIUM HYPOCHLORITE DISINFECTING SOLUTION.
- CONTRACTOR TO PERFORM WATER MAIN WORK IN INTERSECTION OF BUNKER AND 143RD ON APPROVED SATURDAY BY ANOKA COUNTY. BITUMINOUS PATCH TO BE COMPLETED ON SAME SATURDAY.



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SEH Project	RAMSY174498	Rev.#	Revision Issue Description	Date	Rev.#	Revision Issue Description	Date
Drawn By	JRB, SRP	.			.		
Designed By	KLK	.			.		
Checked By	CES	1	CHANGE ORDER #2	05-15-2024	.		

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MN.

*David E. Hutton*  
 David E. Hutton  
 LICENSE NO. 19133  
 DATE 10-06-2023

**WATER TREATMENT PLANT  
TRUNK WATER MAIN IMPROVEMENTS**  
 Ramsey, Minnesota

**UTILITY PLAN AND PROFILE  
143RD AVE NW**

**CC Regular Session New****Meeting Date:** 09/24/2024**Primary Strategic Plan Initiative:** Address infrastructure needs.**Title:**

Adopt Resolution #24-277 Approving Change Order No. 4 for Improvement Project #21-08, Water Treatment Plant Trunk Watermain Improvements

**Purpose/Background:****Purpose:**

The purpose of this case is to adopt Resolution #24-277 approving Change Order No. 4 for Improvement Project #21-08, Water Treatment Plant Trunk Watermain Improvements.

**Background:**

Change Order No. 4 consists of seven (7) miscellaneous items related to the project, labeled 202403-CO a - g on the Northdale summary invoices attached to the Change Order, which are summarized below as items a. through g.

- a. At the intersection at Center Street and Bunker Lake Boulevard, a fire hydrant was required to be relocated out of the bike trail. Total cost = \$11,472.53
- b. On the east side of Ramsey Boulevard at 143d Avenue, a 6-inch water service was discovered. City staff determined this water service was dead so the contractor was directed to remove the service and gate valve and to plug the stub. Total cost = \$13,893.21
- c. At 7060 143rd Avenue, a 6-inch sewer service conflict was discovered so City staff directed the contractor to cut the riser down to avoid a conflict with the new 20" watermain. Total cost = \$7,942.55
- d. At Jasper Street and 143rd Avenue, a major storm sewer conflict was discovered requiring additional watermain fittings to lower the watermain to avoid the conflict. Private fiber lines increased the time it took to re-lay the 20" watermain pipe. Total cost = \$42,019.15
- e. Additional watermain work was required at station 115+18 on 143rd Avenue to avoid an existing 6" sewer service. Additional curb and gutter had to be removed and replaced, and watermain had to be realigned to avoid storm sewer and a catch basin. A revised plan sheet is attached illustrating this field change. Total cost = \$12,165.49
- f. At North Commons Park, additional wire was needed to connect the flow meter to the cabinet due to field changes for the final cabinet location as directed by City staff. Total cost = \$875.44
- g. Installation of 2 temporary mailboxes. Total cost = \$630.00

**Time Frame/Observations/Alternatives:**

This is an after-the-fact change order. As always, staff strives to process change orders before work is completed. However, after-the-fact change order approvals are sometimes required to prevent project delays and even larger project cost increases resulting from contractor downtime while waiting for the next Council meeting to obtain approval before the work can be completed. This can increase project costs by thousands to tens of thousands of dollars for each day work is halted.

**Funding Source:**

Change Order No. 4 results in increased project costs amounting to \$88,998.37.

These costs will be funded from water enterprise funds.

**Recommendation:**

Staff recommends adopting Resolution #24-277. As previously noted, this work has already been completed.

**Outcome/Action:**

Adopt Resolution #24-209 approving Change Order No. 4 for Improvement Project #21-08, Water Treatment Plant Trunk Watermain Improvements in the amount of \$88,998.37.

---

**Attachments**

Resolution 24-277

Change Order 4

**Form Review**

**Inbox**

Brian Hagen

Form Started By: Bruce Westby

Final Approval Date: 09/19/2024

**Reviewed By**

Brian Hagen

**Date**

09/19/2024 01:42 PM

Started On: 09/17/2024 12:19 PM

Councilmember \_\_\_\_\_ introduced the following resolution and moved for its adoption:

**RESOLUTION #24-277**

**RESOLUTION APPROVING CHANGE ORDER NO. 4 TO NORTHDALÉ CONSTRUCTION FOR IMPROVEMENT PROJECT #21-08, WATER TREATMENT PLANT TRUNK WATERMAIN IMPROVEMENTS**

**WHEREAS**, pursuant to Ramsey City Council Resolution #23-305 adopted November 28, 2023, a construction contract was awarded to Northdale Construction Co. Inc., of Albertville, Minnesota, in the amount of \$6,671,414.00 for said improvements; and

**WHEREAS**, during construction, field changes were required at the intersection at Center Street and Bunker Lake Boulevard to relocate a fire hydrant out of the bike trail at a total cost of \$11,472.53; and

**WHEREAS**, during construction, field changes were required on the east side of Ramsey Boulevard at 143rd Avenue when an unused 6-inch water service was discovered requiring the contractor to remove the service and gate valve and to plug the stub at a total cost of \$13,893.21; and

**WHEREAS**, during construction, field changes were required at 7060 143rd Avenue when a 6-inch sewer service conflict was discovered requiring the contractor to cut the riser down to avoid a conflict with the new 20" watermain at a total cost of \$7,942.55; and

**WHEREAS**, during construction, field changes were required at Jasper Street and 143rd Avenue when a major storm sewer conflict was discovered requiring additional watermain fittings to lower the watermain to avoid the conflict at a total cost of \$42,019.15; and

**WHEREAS**, during construction, field changes were required at station 115+18 on 143rd Avenue to avoid an existing 6" sewer service requiring additional curb and gutter to be removed and replaced, and watermain had to be realigned to avoid storm sewer and a catch basin, at a total cost of \$12,165.49; and

**WHEREAS**, during construction, field changes were required at North Commons Park when additional wire was needed to connect the flow meter to the cabinet due to field changes for the final cabinet location as directed by City staff at a total cost of \$875.44; and

**WHEREAS**, during construction, field changes were required to install 2 temporary mailboxes at a total cost of \$630.00; and

**WHEREAS**, Change Order No. 4 documents the required field changes completed and required by Northdale Construction for improvement project #21-08, WTP Trunk Watermain Improvements, in the amount of \$88,998.37.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:**

- 1) The City Council hereby approves Change Order No. 4 to Northdale Construction of Albertville, Minnesota for Improvement Project #21-08, WTP Trunk Watermain Improvement in the amount of \$88,998.37.
- 2) The City Council hereby authorizes and directs the City Administrator to sign Change Order No. 4 on behalf of the City of Ramsey.

The motion of the adoption of the foregoing resolution was duly seconded by Councilmember \_\_\_\_\_ and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

Whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 24<sup>th</sup> day of September, 2024.

---

Mayor

**ATTEST:**

---

City Clerk



Building a Better World  
for All of Us®

# CHANGE ORDER

City of Ramsey

OWNER

21-08

OWNER'S PROJECT NO.

Water Treatment Plant Trunk Water Main Improvements

PROJECT DESCRIPTION

September 16, 2024

DATE

4

CHANGE ORDER NO.

RAMSY 174498 71.50

SEH FILE NO.

The following changes shall be made to the contract documents:  
Description:

This change order consists of seven miscellaneous items related to the project, labeled 202403-CO a – g on the attached Northdale summary invoices as summarize below:

- a. At the intersection at Center St and Bunker Lake Blvd, a fire hydrant was required to be relocated out of the bike trail. **Total cost = \$11,472.53**
- b. On the east side of Ramsey Blvd at 143<sup>rd</sup> Ave, a 6-inch water service was discovered. The City field staff determined this water service was dead so asked the contractor to remove the service and gate valve and plug the stub. Total cost = **\$13,893.21**
- c. A 6-inch sewer service conflict was discovered at 7060 143<sup>rd</sup>, so the City field staff directed the riser to be cut down to avoid the conflict with the new 20" watermain. Total cost = **\$7,942.55**
- d. A major storm sewer conflict was discovered at Jasper St and 143<sup>rd</sup>, requiring additional fittings and work to offset the conflict. Addition private fiber lines increase the time to relay the 20" watermain pipe. Total cost = **\$42,019.15**
- e. Additional work at 115+18 on 143<sup>rd</sup> to avoid a 6" sewer service. Additional curb and gutter had to be removed with the new alignment and avoid the storm sewer and catch basin. A revised plan sheet is attached illustrating this field change. Total cost = **\$12,165.49**
- f. Additional wire was needed to connect the Flow Meter to the cabinet due to field changes in the final cabinet location made by City field staff. Total cost = **\$875.44**
- g. Installation of 2 temporary mailboxes. Total cost = **\$630.00**

The total cost of a-g is **\$88,998.37**.

### Purpose of Change Order:

The purpose of this change order is to fully address all miscellaneous field changes that came up during the 143<sup>rd</sup> constructoin.

Basis of Cost:  Actual  Estimated

### Attachments (list supporting documents)

- Attached are the appropriate justification invoices for all seven field changes. All changes were authorized by City of Ramsey field staff prior to the work being completed.
- Revised Plan Sheet 33

Engineers | Architects | Planners | Scientists

Short Elliott Hendrickson Inc., 10650 Red Circle Drive, Suite 500, Minnetonka, MN 55343-9229

952.912.2600 | 800.734.6757 | 888.908.8166 fax | [sehinc.com](http://sehinc.com)

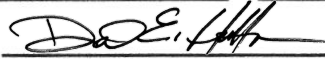
SEH is 100% employee-owned | Affirmative Action–Equal Opportunity Employer

**Contract Status**

Original Contract  
Net Change Prior C.O.'s 1 to 3  
Change this C.O.  
Revised Contract

Time	Cost
	\$6,671,414.00
	\$396,490.76
	\$88,998.37
	\$7,156,903.13

Recommended for Approval: **Short Elliott Hendrickson Inc.** by



Dave Hutton, PE (Lic. MN, WI, ND)

Agreed to by Contractor:

Approved for Owner:

Nicole Ohnstad  
BY Northdale Construction

BY City of Ramsey

Administrative Project Manager  
TITLE

TITLE

Distribution Contractor 2 Owner 1 Project Representative 1  
x:\ptv\ramsy\174498\7-const-svcs\71-mgmt\50-chg-order\co4\cpn 21-08 ramsey change order #4.docx

SEH Office 1

Engineers | Architects | Planners | Scientists

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# INVOICE

## NORTHDALE CONST. CO. INC.

9760 71st St NE -Albertville, MN 55301

Office: 763-428-4868

Fax: 763-428-4997

**BILLED TO:**

Short Elliott Hendrickson, Inc.  
 Attn: David Hutton, PE  
 10650 Red Circle Drive, Suite 500  
 Minnetonka, MN 55343

**INVOICE DATE:** 8/9/2024

**INVOICE#** 202403-CO 3 a

**OUR JOB #** 2024-03

**PLAN SHEET #**

**PLAN STATION #**

**JOB NAME:** Trunk WM Improvement

**LOCATION:** Ramsey

**HOUSE # / STREET:** Center St / Bunker Lk

**DATE OF WORK:** 7/8/2024

**DESCRIPTION OF WORK:**

At the intersection of Center St and Bunker Lake Blvd, we were asked to move a hydrant as it in the ped ramp of the bike trail.

QUANTITY	UNIT	DESCRIPTION	UNIT PRICE	AMOUNT
<b>LABOR COSTS</b>				
8.00	Hour	Foreman	\$121.22	\$969.76
8.00	Hour	Backhoe Operator	\$106.07	\$848.56
8.00	Hour	Loader Operator	\$103.66	\$829.28
8.00	Hour	Pipelayer	\$107.42	\$859.36
8.00	Hour	Bottomman	\$104.06	\$832.48
8.00	Hour	Bottomman	\$103.06	\$824.48
<b>EQUIPMENT COSTS</b>				
8.00	Hour	Cat 349 Backhoe	\$512.61	\$4,100.88
2.00	Hour	Cat 950K Loader	\$264.80	\$529.60
1.00	Hour	Ingersol Rand Compactor	\$92.51	\$92.51
1.00	Hour	CAT 259D3 Skidsteer	\$125.30	\$125.30
8.00	Hour	Pickup Truck	\$52.17	\$417.36
			<b>SUBTOTAL:</b>	\$10,429.57
			10% Markup	\$1,042.96
			<b>BALANCE DUE:</b>	<b>\$11,472.53</b>

Questions concerning this Invoice?

Call: Philip B. Lesnar

(763) 428-4868

**MAKE ALL CHECKS PAYABLE TO:**

Northdale Construction Co., Inc.

9760 71st St NE

Albertville, MN 55301



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 Minnetonka, MN 55343

**INVOICE DATE:** 8/9/2024

**INVOICE#** 202403-CO 3 b

**OUR JOB #** 2024-03

**PLAN SHEET #**

**PLAN STATION #** 102+20

**JOB NAME:** Trunk WM Improvement

**LOCATION:** Ramsey

**HOUSE # / STREET:** 143rd Ave

**DATE OF WORK:** 7/17/24 - 7/18/24

**DESCRIPTION OF WORK:**

When laying the 20" watermain on the east of Ramsey Blvd on 143rd Ave, we ran into a 6" water service. It was determined that it was a stub not hooked up to anything. The City decided to remove the service and 6" GV and plug the 6" side of the 8x6 tee by Station 102+05.

QUANTITY	UNIT	DESCRIPTION	UNIT PRICE	AMOUNT
<b>LABOR COSTS</b>				
8.00	Hour	Foreman	\$121.22	\$969.76
1.00	Hour	Foreman - OT	\$168.38	\$168.38
8.00	Hour	Backhoe Operator	\$106.07	\$848.56
1.00	Hour	Backhoe Operator - OT	\$145.65	\$145.65
8.00	Hour	Loader Operator	\$103.66	\$829.28
1.00	Hour	Loader Operator - OT	\$142.02	\$142.02
8.00	Hour	Pipelayer	\$107.42	\$859.36
1.00	Hour	Pipelayer - OT	\$150.19	\$150.19
8.00	Hour	Bottomman	\$104.06	\$832.48
1.00	Hour	Bottomman - OT	\$145.15	\$145.15
8.00	Hour	Bottomman	\$103.06	\$824.48
1.00	Hour	Bottomman - OT	\$144.15	\$144.15
<b>EQUIPMENT COSTS</b>				
9.00	Hour	Cat 349 Backhoe	\$512.61	\$4,613.49
4.00	Hour	Cat 950K Loader	\$264.80	\$1,059.20
2.00	Hour	Ingersol Rand Compactor	\$92.51	\$185.02
2.00	Hour	CAT 259D3 Skidsteer	\$125.30	\$250.60
9.00	Hour	Pickup Truck	\$51.38	\$462.42
			<b>SUBTOTAL:</b>	<b>\$12,630.19</b>
			10% Markup	\$1,263.02
			<b>BALANCE DUE:</b>	<b>\$13,893.21</b>

Questions concerning this Invoice?

Call: Philip B. Lesnar  
 (763) 428-4868

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9760 71st St NE

Albertville, MN 55301



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**INVOICE DATE:** 8/9/2024

**INVOICE#** 202403-CO 3 c

**OUR JOB #** 2024-03

**PLAN SHEET #**

**PLAN STATION #**

**JOB NAME:** Trunk WM Improvement

**LOCATION:** Ramsey

**HOUSE # / STREET:** 7060 143rd Ave

**DATE OF WORK:** 7/23/2024

**DESCRIPTION OF WORK:**

When laying the 20" watermain, we ran into a 6" sewer service at 7060 143rd Ave. The Engineer decided we should cut the riser down and offset the sewer service so the 20" watermain could be laid with no conflict.

QUANTITY	UNIT	DESCRIPTION	UNIT PRICE	AMOUNT
<b>LABOR COSTS</b>				
4.50	Hour	Foreman	\$121.22	\$545.49
4.50	Hour	Backhoe Operator	\$106.07	\$477.32
4.50	Hour	Loader Operator	\$103.66	\$466.47
4.50	Hour	Pipelayer	\$107.42	\$483.39
4.50	Hour	Bottomman	\$104.06	\$468.27
4.50	Hour	Bottomman	\$103.06	\$463.77
<b>EQUIPMENT COSTS</b>				
4.50	Hour	Cat 349 Backhoe	\$512.61	\$2,306.75
4.50	Hour	Cat 950K Loader	\$264.80	\$1,191.60
2.00	Hour	Ingersol Rand Compactor	\$92.51	\$185.02
4.50	Hour	Pickup Truck	\$51.38	\$231.21
<b>MATERIAL COST</b>				
18.00	LF	6" SDR 35 Pipe	\$22.29	\$401.22
			<b>SUBTOTAL:</b>	<b>\$7,220.50</b>
			10% Markup	\$722.05
			<b>BALANCE DUE:</b>	<b>\$7,942.55</b>

Questions concerning this Invoice?

Call: Philip B. Lesnar

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9760 71st St NE

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 Minnetonka, MN 55343

**INVOICE DATE:** 8/9/2024

**INVOICE#** 202403-CO 3 d

**OUR JOB #** 2024-03

**PLAN SHEET #** 32

**PLAN STATION #** 110+18

**JOB NAME:** Trunk WM Improvement

**LOCATION:** Ramsey

**HOUSE # / STREET:** 143rd Ave / Jasper St

**DATE OF WORK:** 7/25/24 & 7/29/24

**DESCRIPTION OF WORK:**

At Jasper St and 143rd Ave, we ran into storm sewer pipe that was not on our plans but were on the cities plans. This caused a major conflict with our 20" Watermain. To remedy this, we had to order 4- 20" 45° bends to do an offset. This resulted in downtime trying to find fittings that were readily available. We were able, after numerous hours to locate (4) 20" 45 degree bends. They were brought to the site later in the afternoon but too late in the day to continue working into the intersection. The guys worked on building the offsets. While working on the offset, there were Fiber Optic lines running along side us and a power line crossing the road at an angle close to the storm sewer which made it more difficult to dig and get a regular trench box in. With all the different utilities in such a tight area we had to use multiple smaller boxes and metal sheeting to protect the trench and also utilities from caving in. Slow going through this intersection. This work was performed over a 2 day period.

QUANTITY	UNIT	DESCRIPTION	UNIT PRICE	AMOUNT
<b>LABOR COSTS</b>				
16.00	Hour	Foreman	\$121.22	\$1,939.52
3.00	Hour	Foreman - OT	\$168.38	\$505.14
16.00	Hour	Backhoe Operator	\$106.07	\$1,697.12
3.00	Hour	Backhoe Operator - OT	\$145.65	\$436.95
16.00	Hour	Loader Operator	\$103.66	\$1,658.56
3.00	Hour	Loader Operator - OT	\$142.02	\$426.06
16.00	Hour	Pipelayer	\$107.42	\$1,718.72
3.00	Hour	Pipelayer - OT	\$150.19	\$450.57
16.00	Hour	Bottomman	\$104.06	\$1,664.96
3.00	Hour	Bottomman - OT	\$145.15	\$435.45
16.00	Hour	Bottomman	\$103.06	\$1,648.96
3.00	Hour	Bottomman - OT	\$144.15	\$432.45
<b>EQUIPMENT COSTS</b>				
12.00	Hour	Cat 349 Backhoe	\$512.61	\$6,151.32
12.00	Hour	Cat 950K Loader	\$264.80	\$3,177.60
2.00	Hour	Ingersol Rand Compactor	\$92.51	\$185.02
19.00	Hour	Pickup Truck	\$51.38	\$976.22
<b>MATERIAL COSTS</b>				
1,220.00	LBS	20" 45° Bend (4 Bends @ 305 lb/ea)	\$10.68	\$13,029.60
35.56	SY	Insulation	\$36.98	\$1,315.01
1.00	LS	Delivery Fee	\$350.00	\$350.00
SUBTOTAL:				\$38,199.23
10% Markup				\$3,819.92
<b>BALANCE DUE:</b>				<b>\$42,019.15</b>

Questions concerning this Invoice?

Call: Philip B. Lesnar  
 (763) 428-4868

**MAKE ALL CHECKS PAYABLE TO:**

Northdale Construction Co., Inc.  
 9760 71st St NE  
 Albertville, MN 55301



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9760 71st St NE -Albertville, MN 55301

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Fax: 763-428-4997

**BILLED TO:**

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 Attn: David Hutton, PE  
 10650 Red Circle Drive, Suite 500  
 Minnetonka, MN 55343

**INVOICE DATE:** 8/9/2024  
**INVOICE#** 202403-CO 3 e  
**OUR JOB #** 2024-03  
**PLAN SHEET #** 32  
**PLAN STATION #** 115+18  
**JOB NAME:** Trunk WM Improvement  
**LOCATION:** Ramsey  
**HOUSE # / STREET:** 143rd Ave  
**DATE OF WORK:** 8/1/2024

**DESCRIPTION OF WORK:**

At Station 115+18 we ran into a 6" sewer service. We had to dig down to the sewer main to lower the riser in order to get deep enough for the 20" watermain. In addition, we had to remove some curb to make it safe enough, work with the 6" water service that was a lot shallower and had to support the storm sewer crossing as well. Traffic was another issue we had to work with.

QUANTITY	UNIT	DESCRIPTION	UNIT PRICE	AMOUNT
<b>LABOR COSTS</b>				
7.00	Hour	Foreman	\$121.22	\$848.54
7.00	Hour	Backhoe Operator	\$106.07	\$742.49
7.00	Hour	Loader Operator	\$103.66	\$725.62
7.00	Hour	Pipelayer	\$107.42	\$751.94
7.00	Hour	Bottomman	\$104.06	\$728.42
7.00	Hour	Bottomman	\$103.06	\$721.42
<b>EQUIPMENT COSTS</b>				
7.00	Hour	Cat 349 Backhoe	\$512.61	\$3,588.27
7.00	Hour	Cat 950K Loader	\$264.80	\$1,853.60
2.00	Hour	Ingersol Rand Compactor	\$92.51	\$185.02
2.00	Hour	CAT 255D3 Skidsteer	\$143.54	\$287.08
7.00	Hour	Pickup Truck	\$51.38	\$359.66
<b>MATERIAL COST</b>				
12.00	LF	6" SDR 35 Pipe	\$22.29	\$267.48
			<b>SUBTOTAL:</b>	<b>\$11,059.54</b>
			10% Markup	\$1,105.95
			<b>BALANCE DUE:</b>	<b>\$12,165.49</b>

Questions concerning this Invoice?

Call: Philip B. Lesnar  
 (763) 428-4868

**MAKE ALL CHECKS PAYABLE TO:**

Northdale Construction Co., Inc.  
 9760 71st St NE  
 Albertville, MN 55301



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## NORTHDALE CONST. CO. INC.

9760 71st St NE -Albertville, MN 55301

Office: 763-428-4868

Fax: 763-428-4997

**BILLED TO:**

Short Elliott Hendrickson, Inc.  
Attn: David Hutton, PE  
10650 Red Circle Drive, Suite 500  
Minnetonka, MN 55343

**INVOICE DATE:** 8/9/2024

**INVOICE#** 202403-CO 3 f

**OUR JOB #** 2024-03

**PLAN SHEET #** 55

**PLAN STATION #** 115+18

**JOB NAME:** Trunk WM Improvement

**LOCATION:** Ramsey

**HOUSE # / STREET:** Zeolite / 147th Ave NW

**DATE OF WORK:** 7/2/2024

**DESCRIPTION OF WORK:**

Submittals were approved for 50' of wire for the Flow Meter. Once the Flow Meter was installed and our Subcontractor was on site to install wire into the cabinet, it was discovered they were roughly 32' short. Since the wire can not be spliced, 100' of new wire had to be ordered. Northdale had a technician from the supplier come out and install the wire along iwth a new Potting Kit to make it water proof.

QUANTITY	UNIT	DESCRIPTION	UNIT PRICE	AMOUNT
1.00	EA	100' Flow Meter Wire	\$679.38	\$679.38
1.00	EA	Potting Kit	\$59.47	\$59.47
1.50	HR	Installation	\$38.00	\$57.00
			<b>SUBTOTAL:</b>	<b>\$795.85</b>
			10% Markup	\$79.59
			<b>BALANCE DUE:</b>	<b>\$875.44</b>

*Questions concerning this Invoice?*

*Call: Philip B. Lesnar*

*(763) 428-4868*

**MAKE ALL CHECKS PAYABLE TO:**

Northdale Construction Co., Inc.

9760 71st St NE

Albertville, MN 55301



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Minnetonka, MN 55343

**INVOICE DATE:** 8/9/2024

**INVOICE#** 202403-CO 3 g

**OUR JOB #** 2024-03

**PLAN SHEET #**

**PLAN STATION #**

**JOB NAME:** Trunk WM Improvement

**LOCATION:** Ramsey

**HOUSE # / STREET:** 6820 & 7150 143rd

**DATE OF WORK:** 7/11/2024

**DESCRIPTION OF WORK:**

Had to provide a temporary mailbox at 6820 143rd Ave and 7150 143rd Ave. Mailboxes will be reinstalled when the road is built and restoration is complete.

QUANTITY	UNIT	DESCRIPTION	UNIT PRICE	AMOUNT
2.00	EA	Temporary Mail Box	\$315.00	\$630.00
			<b>SUBTOTAL:</b>	\$630.00
			<b>BALANCE DUE:</b>	<b>\$630.00</b>

*Questions concerning this Invoice?*

*Call: Philip B. Lesnar*

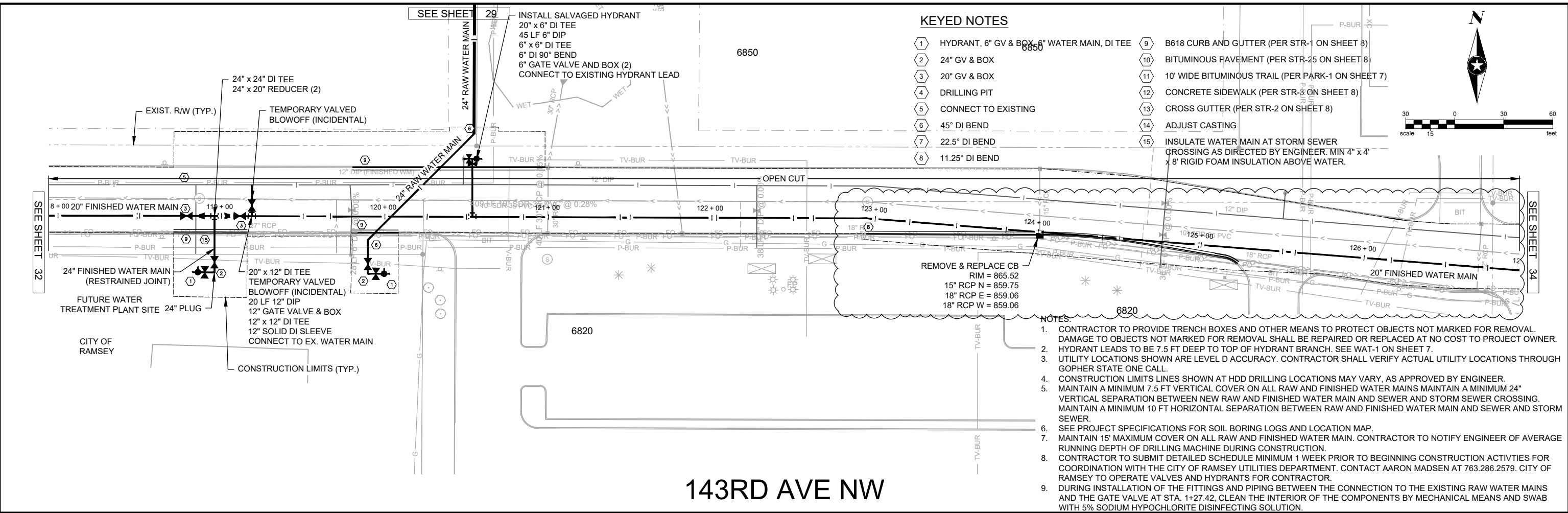
*(763) 428-4868*

**MAKE ALL CHECKS PAYABLE TO:**

Northdale Construction Co., Inc.

9760 71st St NE

Albertville, MN 55301

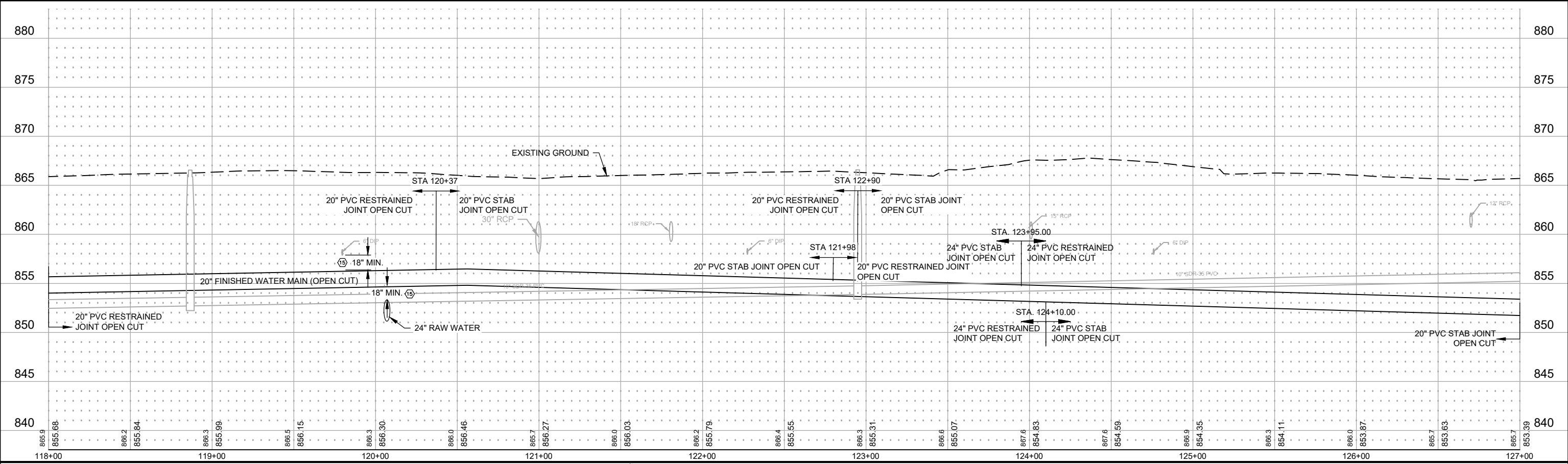


**KEYED NOTES**

- ① HYDRANT, 6" GV & BOX, 6" WATER MAIN, DI TEE
- ② 24" GV & BOX
- ③ 20" GV & BOX
- ④ DRILLING PIT
- ⑤ CONNECT TO EXISTING
- ⑥ 45° DI BEND
- ⑦ 22.5° DI BEND
- ⑧ 11.25° DI BEND
- ⑨ B618 CURB AND GUTTER (PER STR-1 ON SHEET 8)
- ⑩ BITUMINOUS PAVEMENT (PER STR-25 ON SHEET 8)
- ⑪ 10' WIDE BITUMINOUS TRAIL (PER PARK-1 ON SHEET 7)
- ⑫ CONCRETE SIDEWALK (PER STR-3 ON SHEET 8)
- ⑬ CROSS GUTTER (PER STR-2 ON SHEET 8)
- ⑭ ADJUST CASTING
- ⑮ INSULATE WATER MAIN AT STORM SEWER CROSSING AS DIRECTED BY ENGINEER. MIN 4" x 4" x 8' RIGID FOAM INSULATION ABOVE WATER.

- NOTES:**
- CONTRACTOR TO PROVIDE TRENCH BOXES AND OTHER MEANS TO PROTECT OBJECTS NOT MARKED FOR REMOVAL. DAMAGE TO OBJECTS NOT MARKED FOR REMOVAL SHALL BE REPAIRED OR REPLACED AT NO COST TO PROJECT OWNER.
  - HYDRANT LEADS TO BE 7.5 FT DEEP TO TOP OF HYDRANT BRANCH. SEE WAT-1 ON SHEET 7.
  - UTILITY LOCATIONS SHOWN ARE LEVEL D ACCURACY. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS THROUGH GOPHER STATE ONE CALL.
  - CONSTRUCTION LIMITS LINES SHOWN AT HDD DRILLING LOCATIONS MAY VARY, AS APPROVED BY ENGINEER.
  - MAINTAIN A MINIMUM 7.5 FT VERTICAL COVER ON ALL RAW AND FINISHED WATER MAINS. MAINTAIN A MINIMUM 24" VERTICAL SEPARATION BETWEEN NEW RAW AND FINISHED WATER MAIN AND SEWER AND STORM SEWER CROSSING. MAINTAIN A MINIMUM 10 FT HORIZONTAL SEPARATION BETWEEN RAW AND FINISHED WATER MAIN AND SEWER AND STORM SEWER.
  - SEE PROJECT SPECIFICATIONS FOR SOIL BORING LOGS AND LOCATION MAP.
  - MAINTAIN 15" MAXIMUM COVER ON ALL RAW AND FINISHED WATER MAIN. CONTRACTOR TO NOTIFY ENGINEER OF AVERAGE RUNNING DEPTH OF DRILLING MACHINE DURING CONSTRUCTION.
  - CONTRACTOR TO SUBMIT DETAILED SCHEDULE MINIMUM 1 WEEK PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES FOR COORDINATION WITH THE CITY OF RAMSEY UTILITIES DEPARTMENT. CONTACT AARON MADSEN AT 763.286.2579. CITY OF RAMSEY TO OPERATE VALVES AND HYDRANTS FOR CONTRACTOR.
  - DURING INSTALLATION OF THE FITTINGS AND PIPING BETWEEN THE CONNECTION TO THE EXISTING RAW WATER MAINS AND THE GATE VALVE AT STA. 1+27.42, CLEAN THE INTERIOR OF THE COMPONENTS BY MECHANICAL MEANS AND SWAB WITH 5% SODIUM HYPOCHLORITE DISINFECTING SOLUTION.

**143RD AVE NW**



Save: 7/10/2024 2:45 PM aosen Plot: 7/10/2024 2:46 PM X:\PT\RAMSEY\15978315-final-dsgn\51-drawings\10-Civil\lead\dwg\sheetRA15978317.dwg

SEH Project	RAMSY174498	Rev.#	1	Revision Issue Description	ADDENDUM #1	Date	10/23/2023
Drawn By	JRB, SRP						
Designed By	KLK						
Checked By	CES						

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MN.

*David E. Hutton*  
 David E. Hutton  
 LICENSE NO. 19133  
 DATE 10-06-2023

**WATER TREATMENT PLANT TRUNK WATER MAIN IMPROVEMENTS**  
 Ramsey, Minnesota

**UTILITY PLAN AND PROFILE 143RD AVE NW**

33 of 58

**CC Regular Session New**

**Meeting Date:** 09/24/2024

**Primary Strategic Plan Initiative:** Not Applicable

**Title:**

Adopt Resolution #24-278 Approving Partial Payment to Northdale Construction Co. Inc, for Improvement Project #21-08, WTP Trunk Watermain Improvements.

**Purpose/Background:**

Resolution and Pay Request Attached.

**Recommendation:**

The Senior Engineering Technician has inspected the completed work and recommends partial payment to Northdale Construction Co. Inc. for improvement project #21-08, WTP Trunk Watermain Improvements, in the amount of \$876,170.98.

**Outcome/Action:**

Motion to adopt Resolution #24-278 approving partial payment to Northdale Construction Co. Inc. for improvement project #21-08, WTP Trunk Watermain Improvements in the amount of \$876,170.98.

**Attachments**

Pay Resolution #24-278  
Pay Request

**Form Review**

**Inbox**

Bruce Westby  
Brian Hagen

Form Started By: Stacie Damjanovich  
Final Approval Date: 09/19/2024

**Reviewed By**

Bruce Westby  
Brian Hagen

**Date**

09/19/2024 10:23 AM  
09/19/2024 12:48 PM  
Started On: 09/17/2024 01:32 PM

Councilmember \_\_\_\_\_ introduced the following resolution and moved for its adoption:

**RESOLUTION #24-278**

**RESOLUTION APPROVING PARTIAL PAYMENT NO. 5 TO NORTHDAL  
CONSTRUCTION CO. INC. FOR IMPROVEMENT PROJECT #21-08, WTP TRUNK  
WATERMAIN IMPROVEMENTS**

**WHEREAS**, pursuant to Ramsey City Council Resolution #19-248 adopted October 8, 2019, five (5) proposals were accepted and a professional services contract was awarded to SEH, Inc. for the purpose of analyzing the City's municipal water supply system source water, developing a water system model, and preparing a preliminary design report for a centralized water treatment plant to ensure that the City's municipal water supply system will continue to provide adequate quantities of safe drinking water into the foreseeable future; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #21-061 adopted March 9, 2021, a professional services contract was awarded to SEH, Inc. for all design and construction services needed to allow the trunk watermain improvements needed to support the centralized water treatment plant to be designed, bid, and constructed before the water treatment plant is constructed; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #21-303 adopted October 26, 2021, final plans and specifications were approved and advertisements for bids were authorized for said improvements; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #22-003 adopted January 25, 2022, all bids were rejected and Staff was authorized to work with SEH, Inc. to revise the approved plans to reduce project costs and to monitor the bidding environment to identify the most favorable time to bid the project again; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #23-168 adopted July 25, 2023, a new Professional Services Agreement with SEH, Inc. was executed to revise the previously approved plans and to re-bid said improvements for 2024 construction in advance of the Water Treatment Plant commissioning in the Spring of 2025; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #23-237 adopted September 26, 2023, revised final plans and specifications as prepared by SEH, Inc. were approved and advertisements for bids were authorized for improvement project #21-08; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #23-305 adopted November 28, 2023, a contract was awarded to Northdale Construction Co. Inc., of Albertville, Minnesota, in the amount of \$6,671,414.00 for said improvements; and

**WHEREAS**, as of September 24, 2024 \$4,802,744.84 has been paid to date; and

**WHEREAS**, the Senior Engineering Technician has inspected the completed work and recommends partial payment No. 5 to Northdale Construction Co. Inc., of Albertville, Minnesota, for improvement project #21-08, WTP Trunk Watermain Improvements, in the amount of \$876,170.98.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:**

- 1) The City Council hereby authorizes partial payment No. 5 to Northdale Construction Co. Inc., of Albertville, Minnesota for Improvement Project #21-08, WTP Trunk Watermain Improvement in the amount of \$876,170.98.
- 2) The City Council hereby authorizes the Mayor and City Administrator to sign the release forms for this payment.
- 3) The total amount of this payment is not included in resolutions approving payment of bills for the date of September 24, 2024.
- 4) That the City of Ramsey Finance Department will be provided a signed copy of this resolution.

The motion of the adoption of the foregoing resolution was duly seconded by Councilmember \_\_\_\_\_ and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

Whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 24<sup>th</sup> day of September, 2024.

\_\_\_\_\_  
Mayor

**ATTEST:**

\_\_\_\_\_  
City Clerk



**Application for Payment**  
(Unit Price Contract)  
No. 5

Eng. Project No.: RAMSY 174498

Location: City of Ramsey, Minnesota

Contractor <u>Northdale Construction Co. Inc.</u>	Contract Date <u>November 28, 2023</u>
<u>9760 71st Street NE</u>	
<u>Albertville, MN 55301</u>	Contract Amount <u>\$ 6,671,414.00</u>

Contract for Water Treatment Plant Trunk Water Main Improvement

Application Date <u>9/16/24</u>	For Period Ending <u>8/31/24</u>
---------------------------------	----------------------------------

Item No.	Item	Unit	Est. Quantity	Quantity to Date	Unit Price	Total Price
<b>SECTION A: STREET</b>						
1	MOBILIZATION	LS	1	0.75	\$98,375.00	\$73,781.25
2	CLEARING	ACRE	0.5	1.18	9,975.00	\$11,770.50
3	GRUBBING	ACRE	0.5	1.18	7,350.00	\$8,673.00
4	CLEARING	EA	12	66	446.25	\$29,452.50
5	GRUBBING	EA	12	66	157.50	\$10,395.00
6	SALVAGE SIGN TYPE C	EA	13		52.50	
7	REMOVE CURB AND GUTTER	LF	915	124	10.40	\$1,289.60
8	SAWING BITUMINOUS PAVEMENT (FULL DEPTH)	LF	2325	329	2.10	\$690.90
9	SAWING CONCRETE PAVEMENT (FULL DEPTH)	LF	47		5.78	
10	REMOVE BITUMINOUS PAVEMENT	SY	1185	590.6	5.20	\$3,071.12
11	REMOVE BITUMINOUS PAVEMENT (DRIVEWAY AND TRAIL)	SY	1662	1445.30	8.37	\$12,097.16
12	REMOVE CONCRETE WALK	SF	825	474	2.08	\$985.92
13	EXPLORATORY EXCAVATION	HR	31	33.4541	1,625.00	\$54,362.96
14	STREET SWEEPER (WITH PICKUP BROOM)	HR	34	56.75	315.00	\$17,876.25
15	AGGREGATE BASE CLASS 5 (MODIFIED)	TON	6330	109	24.01	\$2,617.09
16	FULL DEPTH RECLAMATION	SY	15667	8638	4.02	\$34,724.76
17	TYPE SP 12.5 WEARING COURSE MIXTURE (3,B) - TRAIL	TON	329		129.68	
18	TYPE SP 9.5 WEARING COURSE MIXTURE (3,C) - FULL WIDTH	TON	1366		111.89	
19	TYPE SP 12.5 NON-WEARING COURSE MIXTURE (3,C) - FULL WIDTH	TON	1821		100.97	
20	TYPE SP 9.5 WEARING COURSE MIXTURE (3,C) - PATCH	TON	134	34.82	204.81	\$7,131.48
21	TYPE SP 12.5 NON-WEARING COURSE MIXTURE (3,C) - PATCH	TON	176	47.28	163.53	\$7,731.70
22	ADJUST VALVE BOX	EA	14		260.00	
23	ADJUST FRAME AND RING	EA	2		866.67	

Item No.	Item	Unit	Est. Quantity	Quantity to Date	Unit Price	Total Price
24	CONCRETE CURB AND GUTTER DESIGN B612	LF	100		47.25	
25	CONCRETE CURB AND GUTTER DESIGN B618	LF	815	163	47.25	\$7,701.75
26	TRAFFIC CONTROL	LS	1	0.85	66,150.00	\$56,227.50
27	INSTALL SIGN TYPE C	EA	11		315.00	
28	STORM DRAIN INLET PROECTION	EA	49	29	250.00	\$7,250.00
29	SILT FENCE, TYPE MS	LF	8500	6394	3.14	\$20,077.16
30	SODDING TYPE MINERAL	SY	1950		22.58	
31	TURF RESTORATION (SEEDING)	ACRE	4	3	7,455.00	\$22,365.00
32	TEMP SEEDING	ACRE	4		850.50	
SECTION B: STORM SEWER						
33	SALVAGE STORM PIPE APRON	EACH	1	1	520.00	\$520.00
34	REMOVE PIPE CULVERTS	LF	52	92	15.60	\$1,435.20
35	SALVAGE STORM SEWER PIPE	LF	65	40	26.00	\$1,040.00
36	PROTECT AND SUPPORT 73-INCH SPAN RC PIPE-ARCH	EACH	1	1	20,000.00	\$20,000.00
37	INSTALL SALVAGED STORM PIPE APRON	EACH	1	1	520.00	\$520.00
38	15-INCH CS PIPE APRON	EACH	2	2	677.66	\$1,355.32
39	INSTALL SALVAGED STORM PIPE	LF	65	40	86.67	\$3,466.80
40	15-INCH CS PIPE	LF	52	54	74.58	\$4,027.32
SECTION C: WATER MAIN						
41	REMOVE/SALVAGE HYDRANT AND VALVE	EACH	2	3	1,625.00	\$4,875.00
42	REMOVE WATER MAIN	LF	320	1270	20.80	\$26,416.00
43	DEWATERING	LS	1	1	388,500.00	\$388,500.00
44	CRUSHED ROCK	TON	2000	107	48.03	\$5,139.21
45	4-INCH INSULATION	SY	8	128	56.70	\$7,257.60
46	CONNECT TO EXISTING WATER MAIN (RAW WATER)	EACH	6	12	4,862.50	\$58,350.00
47	CONNECT TO EXISTING WATER MAIN TAPPING SLEEVE AND 8-INCH VALVE (FINISHED WATER)	EACH	3	2	10,202.53	\$20,405.06
48	CONNECT TO EXISTING WATER MAIN TAPPING SLEEVE AND 12-INCH VALVE (FINISHED WATER)	EACH	1		13,636.70	
49	CONNECT TO EXISTING WATER MAIN TAPPING SLEEVE AND 16-INCH VALVE (FINISHED WATER)	EACH	1	1	30,422.35	\$30,422.35
50	CONNECT TO EXISTING WATER MAIN (HYDRANT LEAD)	EACH	2		3,612.28	
51	HYDRANT	EACH	12	15	7,000.00	\$105,000.00
52	INSTALL SALVAGED HYDRANT	EACH	1	0	1,893.75	
53	6-INCH GATE VALVE AND BOX	EACH	13	15	2,420.60	\$36,309.00
54	16-INCH GATE VALVE AND BOX	EACH	8	6	12,757.50	\$76,545.00
55	20-INCH GATE VALVE AND BOX	EACH	3	3	28,500.00	\$85,500.00
56	24-INCH GATE VALVE AND BOX	EACH	5	6	37,100.00	\$222,600.00
57	1-INCH COPPER SERVICE	LF	85	104	111.24	\$11,568.96
58	6-INCH DIP WATER MAIN CL 53	LF	225	246	96.78	\$23,807.88

Item No.	Item	Unit	Est. Quantity	Quantity to Date	Unit Price	Total Price
59	8-INCH DIP WATER MAIN	LF	288	268	102.15	\$27,376.20
60	10-INCH DIP WATER MAIN	LF	20	3	116.13	\$348.39
61	12-INCH DIP WATER MAIN	LF	25	250	136.18	\$34,045.00
62	16-INCH DIP WATER MAIN	LF	355	456	175.28	\$79,927.68
63	JOINT TRENCHED (FINISHED WATER)	LF	3035	3090	160.91	\$497,211.90
64	20-INCH PVC WATER MAIN RJ TRENCHED (FINISHED WATER)	LF	330	301	252.28	\$75,936.28
65	WATER MAIN (HDD) (FINISHED WATER)	LF	360		498.82	
66	24-INCH DR 18 FUSIBLE PVC WATER MAIN (HDD) (RAW WATER)	LF	2635	2640	631.62	\$1,667,476.80
67	24-INCH PVC WATER MAIN RJ TRENCHED (FINISHED WATER)	LF	45	42	251.20	\$10,550.40
68	24-INCH PVC WATER MAIN RJ TRENCHED (RAW WATER)	LF	1320	1425	276.96	\$394,668.00
69	24-INCH PVC WATER MAIN STAB JOINT TRENCHED (RAW WATER)	LF	4310	4193	204.45	\$857,258.85
70	WATER METER VAULT	LS	1	1	321,865.00	\$321,865.00
71	DUCTILE IRON FITTINGS	LB	24966	21275	12.78	\$271,894.50
ADDITIONAL BID COST						
72	PREVAILING WAGES ARE ADDED AS A REQUIREMENT	LS	1		0.01	
73	ANOKA COUNTY ROW PERMIT	EACH	1	1	150.00	\$150.00
	CHANGE ORDER 3	LS		1	124,765.45	\$124,765.45
	CHANGE ORDER 4	LS		1	88,998.37	\$88,998.37
<b>Total Contract Amount</b>						<b>\$5,977,806.12</b>

**Application for Payment (continued)**

Total Contract Amount	\$ <u>6,671,414.00</u>	Total Amount Earned	\$ <u>5,977,806.12</u>
		Material Suitably Stored on Site, Not Incorporated into Work	_____
Contract Change Order No.	_____	Percent Complete	_____
Contract Change Order No.	_____	Percent Complete	_____
Contract Change Order No.	_____	Percent Complete	_____
Less Previous Applications:		GROSS AMOUNT DUE	\$ <u>5,977,806.12</u>
AFP No. 1: \$735,690.78	AFP No. 6: _____	LESS <u>5</u> % RETAINAGE	\$ <u>298,890.31</u>
AFP No. 2: \$2,136,706.33	AFP No. 7: _____	AMOUNT DUE TO DATE	\$ <u>5,678,915.81</u>
AFP No. 3: \$1,234,000.14	AFP No. 8: _____	LESS PREVIOUS APPLICATIONS	\$ <u>4,802,744.84</u>
AFP No. 4: \$696,347.59	AFP No. 9: _____	AMOUNT DUE THIS APPLICATION	\$ <u>876,170.98</u>
AFP No. 5: _____			

**CONTRACTOR'S AFFIDAVIT**

The undersigned Contractor hereby swears under penalty of perjury that (1) all previous progress payments received from the Owner on account of work performed under the Contract referred to above have been applied by the undersigned to discharge in full all obligations of the undersigned incurred in connection with work covered by prior Applications for Payment under said contract, Water Treatment Plant Trunk Water Main Improvements, City of Ramsey, MN and (2) all material and equipment incorporated in said Project or otherwise listed in or covered by this Application for Payment and free and clear of all liens, claims, security interests and encumbrances.

Date 09/17, 2024 Northdale Construction Co., Inc.  
(Contractor)

COUNTY OF Wright )  
STATE OF Minnesota ) SS By Nicole Ohnstad, Adm. Proj. Manager  
(Name and Title)

Before me on this 17<sup>th</sup> day of September, 2024, personally appeared Nicole Ohnstad known to be, who being duly sworn did depose and say that he is the Adm. Proj. Manager (office) of the Contractor above mentioned that he executed the above Application for Payment and Affidavit on behalf of said Contractor; and that all of the statements contained therein are true, correct and complete.

My Commission expires \_\_\_\_\_  
 Sheila J Goeb  
(Notary Public)

The undersigned has checked the Contractor's Application for Payment shown above. A part of this Application is the Contractor's Affidavit stating that all previous payments to him under this contract have been applied by him to discharge in full all of his obligations in connecting with the work by all prior Applications for Payment.

In accordance with the Contract, the undersigned recommends approval of payment to the Contractor for the Amount due.

<b>City of Ramsey, MN</b>	<b>Short Elliott Hendrickson Inc.</b>
By <u>[Signature]</u>	By <u>[Signature]</u>
Date <u>9/17/2024</u>	Date <u>9/16/2024</u>
	Dave Hutton, PE (Lic. MN, ND, WI)

**CC Regular Session New**

**Meeting Date:** 09/24/2024

**Primary Strategic Plan Initiative:** Not Applicable

**Title:**

Adopt Resolution #24-279 Authorizing Partial Payment No. 15 to Magney Construction, Inc. for Improvement Project #21-09; Centralized Water Treatment Plant.

**Purpose/Background:**

Pay Estimate and Resolution attached.

**Recommendation:**

The Resident Project Representative from Advanced Engineering and Environmental Services (AE2S) has inspected the completed work and recommends partial payment #15 to Magney Construction, Inc. for said project in the amount of \$1,344,677.50.

**Outcome/Action:**

Adopt Resolution #24-279 authorizing partial payment #15 to Magney Construction, Inc. of Chanhassen, Minnesota, for Improvement Project #21-09, Centralized Water Treatment Plant, in the amount of \$1,344,677.50

**Attachments**

Resolution  
Pay Application

**Form Review**

<b>Inbox</b>	<b>Reviewed By</b>	<b>Date</b>
Bruce Westby	Bruce Westby	09/19/2024 10:23 AM
Brian Hagen	Brian Hagen	09/19/2024 12:48 PM
Form Started By: Marsha Weidner		Started On: 09/17/2024 02:33 PM
Final Approval Date: 09/19/2024		

Councilmember \_\_\_\_ introduced the following resolution and moved for its adoption:

**RESOLUTION #24-279**

**RESOLUTION AUTHORIZING PARTIAL PAYMENT #15 TO MAGNEY CONSTRUCTION, INC. FOR IMPROVEMENT PROJECT #21-09; CENTRALIZED WATER TREATMENT PLANT**

**WHEREAS**, pursuant to Ramsey City Council Resolution #19-248 adopted October 8, 2019, five (5) proposals were accepted and a professional services contract was awarded to SEH, Inc. for analyzing the City's municipal water supply system source water, developing a water system model, and preparing a preliminary design report for a centralized water treatment plant to ensure that the City's municipal water supply system will continue to provide adequate quantities of safe drinking water into the foreseeable future; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #21-143 adopted May 25, 2021, the final Feasibility Study dated March 4, 2021, for the centralized water treatment plant was approved; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #21-150 adopted May 25, 2021, Requests for Proposals for professional engineering services to prepare final plans and specifications, to administer the bid process, and to provide construction administration services for construction of a municipal water treatment plant was approved and the advertising and direct soliciting of said proposal was authorized; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #21-220 adopted July 27, 2021, Staff was authorized to negotiate a contract with Advanced Engineering and Environmental Services (AE2S) in an amount not to exceed \$1,198,600 in response to their professional engineering services proposal, subject to review and approval of the contract by the City Attorney; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #23-032 adopted January 24, 2023, final plans and specifications as prepared by AE2S were approved and advertisements for bids were authorized for Improvement Project #21-09; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #23-061 adopted March 28, 2023, the lowest responsible bid of Magney Construction, Inc. was accepted in the amount of \$31,528,500, for the Base Bid and Section 01 21 00 Allowances, the Mayor and City Administrator were directed to enter into a construction contract with Magney Construction, Inc., and the Mayor was directed to accept the amendment from AE2S in the amount of \$225,100 for additional construction phase services for said improvements for and on behalf of the City of Ramsey; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #24-059 adopted February 13, 2024, Change Order No. 1 was approved in the amount of \$794,153.71 for Improvement Project #21-09, Centralized Water Treatment Plant; and" per the attached pdf.

**WHEREAS**, as of September 24th, 2024, \$14,729,963.84 has been paid to date; and

**WHEREAS**, the Resident Project Representative from Advanced Engineering and Environmental Services (AE2S) has inspected the completed work and recommends partial payment #15 to Magney Construction, Inc. for said project in the amount of \$1,344,677.50.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA:**

- 1) That the City Council hereby authorizes partial payment #15 to Magney Construction, Inc. of Chanhassen, Minnesota, for Improvement Project #21-09, Centralized Water Treatment Plant, in the amount of \$1,344,677.50
- 2) That the City Council hereby accepts the project and authorizes the Mayor or City Administrator to sign the release for this payment.
- 3) That the total amount of this payment is not included in resolutions approving payment of bills for the date of September 24, 2024.
- 4) That the City of Ramsey Finance Department will be provided a signed copy of this resolution.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember \_\_\_\_\_ and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

Whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 24th day of September, 2024.

\_\_\_\_\_  
Mayor

**ATTEST:**

\_\_\_\_\_  
City Clerk

# Contractor's Application For Payment No. 15

Application Period: 8/8/2024 - 9/6/2024	Application Date: 9/8/2024
From (Contractor): Magney Construction, Inc.	Via (Engineer): Advanced Engineering and Environmental Services, Inc.
Contract: All Construction	Engineer's Project No.: 05434-2020-002
Contractor's Project No.: 00599	

## Application for Payment

### Change Order Summary

Approved Change Orders Number	Additions	Deductions
1	\$ 794,153.71	
<b>TOTALS</b>		
	\$794,153.71	\$0.00
<b>NET CHANGE BY CHANGE ORDERS</b>		
		<b>\$794,153.71</b>

1. ORIGINAL CONTRACT PRICE \$31,528,500.00
2. Net change by Change Orders \$794,153.71
3. CURRENT CONTRACT PRICE (Line 1 ± 2) \$32,322,653.71
4. TOTAL COMPLETED AND STORED TO DATE (Column F on Progress Estimate) \$16,920,675.09
5. RETAINAGE:
  - a. 5.0% \$16,257,638.09 Work Completed \$812,881.90
  - b. 5% x \$663,037.00 Stored Materials \$33,151.85
  - c. Total Retainage (Line 5a + Line 5b) \$846,033.75
6. AMOUNT ELIGIBLE TO DATE (Line 4 - Line 5c) \$16,074,641.34
7. LESS PREVIOUS PAYMENTS (Line 6 from prior Application) \$14,729,963.84
8. AMOUNT DUE THIS APPLICATION \$1,344,677.50
9. BALANCE TO FINISH, PLUS RETAINAGE (Column G on Progress Estimate + Line 5 above) \$16,248,012.37

## Contractor's Certification

The undersigned Contractor certifies that: (1) all previous progress payments received from Owner on account of Work done under the Contract have been applied on account to discharge Contractor's legitimate obligations incurred in connection with Work covered by prior Applications for Payment; (2) title of all Work, materials and equipment incorporated in said Work or otherwise listed in or covered by this Application for Payment will pass to Owner at time of payment free and clear of all Liens, security interests and encumbrances (except such as are covered by a Bond acceptable to Owner indemnifying Owner against any such Liens, security interest or encumbrances); and (3) all Work covered by this Application for Payment is in accordance with the Contract Documents and is not defective.

Payment of:

\$1,344,677.50

(Line 8 or other - attach explanation of other amount)

is recommended by:

**RYAN HANSON**

(Engineer)

9/10/2024

(Date)

Payment of:

\$1,344,677.50

(Line 8 or other - attach explanation of other amount)

is approved by:

*Bruce Juntz*  
(City of Ramsey, MN)

9/16/2024  
(Date)

By: *Kevin*

Date: 9/8/2024

Approved by:

Funding Agency (if applicable)

(Date)

Schedule of Values

Ramsey Water Treatment Plant

Date of Application: 9/8/2024

Payment Application No. 15

Work completed through: 9/8/2024

Specification Section No.	Description	Item	C		D	E	Total Completed and Stored to Date (C + D + E)	% (G)	Balance to Finish
			Scheduled Value	From Previous Application (C+D)					
01 10 00	Mobilization		\$1,250,424.00	\$786,622.00	\$52,101.00	\$0.00	\$838,723.00	67	\$411,701.00
01 10 01	General Conditions		\$268,800.00	\$155,650.00	\$11,200.00	\$0.00	\$166,850.00	62	\$101,950.00
01 10 02	Supervision		\$384,000.00	\$224,000.00	\$16,000.00	\$0.00	\$240,000.00	63	\$144,000.00
01 10 03	Bond & Insurance		\$425,600.00	\$425,600.00	\$0.00	\$0.00	\$425,600.00	100	\$0.00
01 21 00	ALLOWANCES								
1	Office Furniture (\$50,000)		\$50,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$50,000.00
2	Computer Hardware (\$80,000)		\$80,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$80,000.00
3	IT Equipment (\$100,000)		\$100,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$100,000.00
4	Security and Access Control Hardware and Equipment (\$60,000)		\$60,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$60,000.00
5	Irrigation System (\$60,000)		\$60,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$60,000.00
6	General Construction Allowance (\$950,000)		\$950,000.00	\$237,545.68	\$0.00	\$0.00	\$237,545.68	25	\$712,454.32
03 20 00	Concrete Reinforcement - Building		\$1,602,777.00	\$1,482,404.00	\$27,205.00	\$0.00	\$1,509,609.00	94	\$93,168.00
03 20 00	Concrete Reinforcement - Reservoir		\$864,856.00	\$863,503.01	\$0.00	\$0.00	\$863,503.01	100	\$1,352.99
03 30 00	Cast-in-Place Concrete Work - Site		\$108,600.00	\$6.00	\$0.00	\$0.00	\$6.00	0	\$108,594.00
03 30 00	Cast-in-Place Concrete Work - Building		\$3,885,960.00	\$3,321,485.00	\$207,424.00	\$0.00	\$3,528,909.00	91	\$357,051.00
03 30 00	Cast-in-Place Concrete Work - Reservoir		\$1,410,075.00	\$1,407,324.00	\$0.00	\$0.00	\$1,407,324.00	100	\$2,751.00
03 35 30	Polished Concrete Finish		\$6,800.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$6,800.00
03 41 00	Structural Precast Concrete		\$1,042,796.00	\$464,794.00	\$24,221.00	\$11,243.00	\$500,258.00	48	\$542,538.00
04 22 00	Unit Masonry		\$269,000.00	\$78,000.00	\$126,440.00	\$0.00	\$204,440.00	76	\$64,560.00
05 12 00	Structural Steel Framing, Misc. Metals, Metal Stairs and Aluminum Railing		\$1,990,378.00	\$599,675.00	\$0.00	\$0.00	\$599,675.00	30	\$1,390,703.00
06 00 00	Carpentry		\$375,128.00	\$102,900.00	\$0.00	\$0.00	\$102,900.00	27	\$272,228.00
06 73 00	Fiberglass Reinforced Plastic Grating		\$353,707.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$353,707.00
07 12 00	Fluid Applied Waterproofing		\$78,130.00	\$75,155.00	\$0.00	\$0.00	\$75,155.00	96	\$2,975.00
07 12 50	Hot Mopped Waterproofing		\$7,420.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$7,420.00
07 17 13	Bentonite Waterproofing		\$124,650.00	\$122,645.00	\$0.00	\$0.00	\$122,645.00	98	\$2,005.00
07 21 00	Thermal Insulation and Air Barriers		\$15,600.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$15,600.00
07 23 00	Weather Barrier		\$39,800.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$39,800.00
07 24 00	Exterior Insulation and Finish System		\$67,955.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$67,955.00
07 42 15	Architectural Metal Panels		\$229,910.00	\$13,160.00	\$0.00	\$0.00	\$13,160.00	6	\$216,750.00
07 50 10	Concrete Faced Insulated Panels		\$15,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$15,000.00
07 53 23	EPDM Roof System, Flashing & Sheet Metal		\$589,225.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$589,225.00
07 92 00	Caulking & Sealants		\$37,465.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$37,465.00
08 11 13	Doors, Frames & Hardware		\$328,136.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$328,136.00
08 31 15	Access Doors		\$6,513.00	\$5,120.00	\$0.00	\$0.00	\$5,120.00	79	\$1,393.00
08 35 13	Accordion Folding Fire Door		\$65,683.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$65,683.00

Schedule of Values

Ramsey Water Treatment Plant

Date of Application: 9/8/2024

Payment Application No. 15

Work completed through: 9/8/2024

Specification Section No.	Description	Item	C		D	E	Total Completed and Stored to Date (C + D + E)	% (G)	Balance to Finish
			Scheduled Value	From Previous Application (C+D)					
08 35 16	Heavy Duty Folding Door		\$49,985.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$49,985.00
08 36 00	Sectional Overhead Doors		\$14,900.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$14,900.00
08 41 13	Aluminum Framed Entrances and Storefronts/Curtainwall/Glazing		\$254,163.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$254,163.00
08 95 00	Translucent Wall Panels		\$275,400.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$275,400.00
09 20 00	Metal Framing and Gypsum Board		\$190,345.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$190,345.00
09 30 00	Tiling		\$8,195.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$8,195.00
09 51 00	Acoustical Ceilings		\$47,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$47,000.00
09 65 13	Resilient Base and Accessories		\$3,000.00	\$1,435.00	\$0.00	\$0.00	\$1,435.00	48	\$1,565.00
09 68 13	Carpet Tile		\$12,299.00	\$5,845.00	\$0.00	\$0.00	\$5,845.00	48	\$6,454.00
09 90 00	Painting		\$846,400.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$846,400.00
10 14 16	Plaques/Dimensional Letter Signage and Panel Signage		\$16,310.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$16,310.00
10 28 00	Toilet Accessories		\$708.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$708.00
10 44 16	Fire Extinguishers		\$1,656.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$1,656.00
12 24 13	Roller Window Shades		\$1,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$1,500.00
12 35 30	Architectural Casework		\$51,850.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$51,850.00
12 35 35	Solid Polymer Fabrications		\$15,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$15,000.00
21 13 13	Wet Pipe Sprinkler System		\$65,835.00	\$5,250.00	\$0.00	\$0.00	\$5,250.00	8	\$60,585.00
22 00 00	Plumbing Install, Rough-in & Finish - Labor		\$76,500.00	\$43,302.00	\$2,400.00	\$0.00	\$45,702.00	60	\$30,798.00
22 00 01	Plumbing Pipe, Fittings & Fixtures - Material		\$270,000.00	\$44,740.00	\$7,600.00	\$0.00	\$52,340.00	19	\$217,660.00
22 07 00	Plumbing Insulation		\$49,670.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$49,670.00
23 00 00	HVAC General Conditions, Permits & Mobilization		\$15,200.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$15,200.00
23 00 00.01	Testing, Adjusting & Balancing		\$5,900.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$5,900.00
23 00 00.02	Ductwork Insulation		\$29,400.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$29,400.00
23 00 00.03	HVAC Controls		\$76,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$76,000.00
23 00 00.04	Refrigerant Piping - Labor		\$10,400.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$10,400.00
23 00 00.05	Refrigerant Piping - Material		\$2,800.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$2,800.00
23 00 00.06	Ductwork - Labor		\$70,900.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$70,900.00
23 00 00.07	Ductwork - Material		\$65,100.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$65,100.00
23 00 00.08	Louvers and Dampers - Labor		\$8,100.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$8,100.00
23 00 00.09	Louvers and Dampers - Material		\$12,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$12,500.00
23 00 00.10	VAV and GRD - Labor		\$6,800.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$6,800.00
23 00 00.11	VAV and GRD - Material		\$7,600.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$7,600.00
23 00 00.12	HVAC Fans - Labor		\$13,800.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$13,800.00
23 00 00.13	HVAC Fans - Material		\$39,600.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$39,600.00
23 00 00.14	Gas Unit Heaters - Labor		\$14,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$14,000.00
23 00 00.15	Gas Unit Heaters - Material		\$16,200.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$16,200.00

Schedule of Values

Ramsey Water Treatment Plant

Payment Application No. 15

Date of Application: 9/8/2024

Work completed through: 9/8/2024

Specification Section No.	Description	Item	Scheduled Value	C		D	E	Total Completed and Stored to Date (C + D + E)	% (G)	Balance to Finish
				From Previous Application (C+D)	This Period					
23 00 00.16	Make-Up Air Units - Labor		\$5,600.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$5,600.00
23 00 00.17	Make-Up Air Units - Material		\$76,000.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$76,000.00
23 00 00.18	Roof Top Units - Labor		\$1,400.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$1,400.00
23 00 00.19	Roof Top Units - Material		\$50,200.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$50,200.00
23 00 00.20	Split System A/C Unit - Labor		\$3,000.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$3,000.00
23 00 00.21	Split System A/C Unit - Material		\$56,400.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$56,400.00
23 00 00.22	Dehumidification Units - Labor		\$3,500.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$3,500.00
23 00 00.23	Dehumidification Units - Material		\$37,500.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$37,500.00
26 00 00	Electrical Mobilization & Permit		\$10,000.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$10,000.00
26 00 01	Temporary Power		\$30,000.00	\$11,000.00	\$0.00	\$0.00	\$0.00	\$11,000.00	37	\$19,000.00
26 05 19	Conductors		\$222,000.00	\$2,600.00	\$0.00	\$0.00	\$0.00	\$2,600.00	1	\$219,400.00
26 05 26	Grounding and Bonding		\$10,000.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$10,000.00
26 05 29	Hangers and Supports		\$20,000.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$20,000.00
26 05 33	Raceways and Boxes		\$336,600.00	\$181,700.00	\$3,800.00	\$0.00	\$0.00	\$185,500.00	55	\$151,100.00
26 22 13	Transformers		\$20,000.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$20,000.00
26 23 00	Electric Heat		\$40,000.00	\$15,500.00	\$0.00	\$0.00	\$0.00	\$15,500.00	39	\$24,500.00
26 24 11	Electrical Service		\$30,000.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$30,000.00
26 24 13	Switchboards		\$30,000.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$30,000.00
26 24 15	Transfer Switches		\$30,000.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$30,000.00
26 24 16	Panelboards		\$30,000.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$30,000.00
26 24 19	Motor Controls		\$30,000.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$30,000.00
26 27 26	Wiring Devices		\$30,000.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$30,000.00
26 28 16	Enclosed Switches		\$20,000.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$20,000.00
26 32 13	Engine Generators		\$420,400.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$420,400.00
26 51 00	Lighting		\$150,000.00	\$93,270.00	\$0.00	\$0.00	\$0.00	\$93,270.00	62	\$56,730.00
26 90 01	Measuring and Control Instruments/Water Treatment Controls/ & C		\$1,506,000.00	\$450,000.00	\$230,000.00	\$0.00	\$0.00	\$680,000.00	45	\$826,000.00
28 31 00	Fire Alarm		\$50,000.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$50,000.00
27 00 00	Cabling		\$25,000.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$25,000.00
31 10 00	Site Clearing/ Site Prep/ Erosion Control		\$94,700.00	\$81,746.00	\$0.00	\$0.00	\$0.00	\$81,746.00	86	\$12,954.00
31 20 00	Earth Moving - Excavation		\$242,600.00	\$222,614.00	\$0.00	\$0.00	\$0.00	\$222,614.00	92	\$19,986.00
31 20 01	Earth Moving - Backfill		\$257,800.00	\$123,479.00	\$11,774.00	\$0.00	\$0.00	\$135,253.00	51	\$132,547.00
31 20 02	Finish Grading		\$69,900.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$69,900.00
31 23 19	Dewatering		\$35,900.00	\$35,020.00	\$0.00	\$0.00	\$0.00	\$35,020.00	98	\$880.00
32 12 16	Asphalt Paving		\$183,097.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$183,097.00
32 13 13	Concrete Paving		\$59,400.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$59,400.00
32 17 13	Plastic Bollard Covers		\$1,700.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$1,700.00

Schedule of Values

Ramsey Water Treatment Plant

Date of Application: 9/8/2024

Payment Application No. 15

Work completed through: 9/8/2024

Specification Section No.	Description	Scheduled Value	C From Previous Application (C+D)	D This Period	E Materials Presently Stored (not in Col D)	Total Completed and Stored to Date (C + D + E)	% (G)	Balance to Finish
32 31 13	Chain Link Fencing, Gates and Equipment	\$207,654.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$207,654.00
32 92 00	Turfs and Grasses	\$63,500.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$63,500.00
32 93 00	Plants	\$50,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$50,000.00
33 11 13	Facility Water Distribution Systems	\$727,300.00	\$480,023.00	\$0.00	\$0.00	\$480,023.00	66	\$247,277.01
33 13 13	Facility Sanitary Sewer Systems	\$87,800.00	\$9,658.00	\$0.00	\$0.00	\$9,658.00	11	\$78,142.00
33 41 00	Storm Utility Drainage	\$124,600.00	\$39,709.00	\$0.00	\$0.00	\$39,709.00	32	\$84,891.00
33 46 00	Subdrainage	\$61,400.00	\$49,896.00	\$0.00	\$0.00	\$49,896.00	81	\$11,504.00
40 23 19	Process Pipe & Fittings	\$2,202,644.00	\$1,116,228.55	\$24,098.00	\$19,595.00	\$1,159,921.55	53	\$1,042,722.46
40 27 87	Process Pipe Supports, Anchors and Sleeves	\$139,344.00	\$127,888.00	\$1,270.00	\$0.00	\$129,158.00	93	\$10,186.00
40 27 89	Process Pipe Specialties	\$51,300.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$51,300.00
40 27 97	Process Gauges	\$5,327.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$5,327.00
40 92 00	Process Valves - Plug, Butterfly, Air and Check	\$655,400.00	\$271,077.00	\$0.00	\$209,913.00	\$480,990.00	73	\$174,410.00
40 92 01	Process Valves - Pressure Reducing Valves	\$149,439.00	\$149,439.00	\$0.00	\$0.00	\$149,439.00	100	\$0.00
41 23 14	Overhead Crane Systems	\$131,775.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$131,775.00
43 05 10	Disinfection of Water Systems	\$24,000.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$24,000.00
43 11 16	Gas Handling Blowers	\$107,240.00	\$0.00	\$0.00	\$106,936.00	\$106,936.00	100	\$304.00
43 23 22	Split Case Pumps	\$281,247.00	\$280,044.00	\$0.00	\$0.00	\$280,044.00	100	\$1,203.00
43 32 76	Chlorine Gas Feed Equipment	\$129,661.00	\$0.00	\$0.00	\$125,000.00	\$125,000.00	96	\$4,661.00
43 32 77	Chemical Feed System Pumps	\$94,650.00	\$0.00	\$0.00	\$90,000.00	\$90,000.00	95	\$4,650.00
43 32 78	Chemical Feed System Accessories	\$82,275.00	\$0.00	\$0.00	\$78,000.00	\$78,000.00	95	\$4,275.00
44 42 24	Plate Settlers	\$868,280.00	\$592,846.00	\$0.00	\$0.00	\$592,846.00	68	\$275,434.00
46 33 20	Liquid Chemical Storage Tanks	\$94,360.00	\$0.00	\$0.00	\$0.00	\$0.00	0	\$94,360.00
46 33 33	Polymer Blending and Feed Equipment	\$26,940.00	\$0.00	\$0.00	\$22,350.00	\$22,350.00	83	\$4,590.00
46 43 47	Jet Mixing System	\$159,793.00	\$139,204.00	\$0.00	\$0.00	\$139,204.00	87	\$20,589.00
46 61 00	Filtration Equipment	\$984,470.00	\$446,952.00	\$0.00	\$0.00	\$446,952.00	45	\$537,518.00
CO # 01	Change Order No. 01 - MN Prevailing Wage Rates (draft)	\$794,153.71	\$119,170.8600	\$6,880.00	\$0.00	\$126,050.86	16	\$668,102.85
	<b>Totals</b>	\$32,322,653.71	\$15,505,225.09	\$752,413.00	\$663,037.00	\$16,920,675.09	52.3%	\$15,401,978.62

EJCDC No. C-620 (2002 Edition)  
 Prepared by the Engineers' Joint Contract Documents Committee and endorsed by the Associated General Contractors of America and the Construction Specifications Institute.

**CC Regular Session New**

**Meeting Date:** 09/24/2024

**Primary Strategic Plan Initiative:** Promote economic growth and development.

**Title:**

Adopt Resolution #24-281 Approving Release of Assessment Agreement for Outlot D, Ramsey Town Center 11th Addition

**Purpose/Background:**

The purpose of this case is to consider executing a release of special assessments levied against Outlot D, Ramsey Town Center 11th Addition for the 133 unit, amenity rich Skyline apartment project in the COR. Staff has been approached by a title company (Registered Abstracters) looking to close on financing for the Skyline apartment project. The title work shows an outstanding special assessment for Outlot d RTC 11th Addition. Staff consulted with the Finance Department and verified that the special assessments have been paid in full on this parcel and the plat and a Release of the Deferred Assessment Agreement filed as document number 1992150.001 should be executed by the Council and provided to the title company (Registered Abstracters) for recording.

**Time Frame/Observations/Alternatives:**

The Special Assessment Agreement filed as document number 1992150.001 (see attached) for Outlot D, Ramsy Town Center 11th Addition has been paid in full. Staff and the City Attorney has reviewed release for the deferred special assessments and it is "Approved as to Form" Staff is presenting Resolution #24-281 for consideration by the Council.

Alternatives Include:

- 1) Adopt Resolution #24-281 Approving Release of Assessment Agreement for Outlot D, Ramsey Town Center 11th Addition(as presented); subject to City Attorney review
- 2) Adopt Resolution #24-281 Approving Release of Assessment Agreement for Outlot D, Ramsey Town Center 11th Additior(with changes); subject to City Attorney review
- 3) Something Else

**Funding Source:**

There is no cost to the City as the document was drafted by the title company. The title company will be recording the release so there is no recording cost to the city.

**Recommendation:**

Staff recommends adoption of Resolution #24-281 Approving Release of Assessment Agreement for Outlot D, Ramsey Town Center 11th Additioi (as presented); subject to City Attorney review

**Outcome/Action:**

Motion to adopt Resolution #24-281 Approving Release of Assessment Agreement for Outlot D, Ramsey Town Center 11th Additio (as presented); subject to City Attorney review

**Attachments**

Site Location Map

ACTION - Resolution #24-281

ACTION - Release of Deferred Special Assessments

Reference - Recorded Deferred Assessment Agreement

**Form Review**

Inbox	Reviewed By	Date
Brian Hagen	Brian Hagen	09/19/2024 12:49 PM
Form Started By: Sean Sullivan		Started On: 09/18/2024 08:44 AM
Final Approval Date: 09/19/2024		



# Site Location Map - Skyline Apartments



**Parcel Information:** Approx. Acres: 4.02759811  
28-32-25-42-0018 Commissioner: VACANT

RAMSEY  
MN 55303  
Plat: RAMSEY TOWN CENTER 11TH ADDITION

**Owner Information:**

PSD LLC  
7533 SUNWOOD DR STE 315  
RAMSEY  
MN  
55303



Sean Sullivan

1:4,800

Date: 9/18/2024

Disclaimer: Map and parcel data are believed to be accurate, but accuracy is not guaranteed. This is not a legal document and should not be substituted for a title search, appraisal, survey, or for zoning verification.

Councilmember \_\_\_\_\_ introduced the following resolution and moved for its adoption:

**RESOLUTION #24-281**

**RESOLUTION APPROVING RELEASE OF DEFERRED ASSESSMENT AGREEMENT  
FOR OUTLOT D, RAMSEY TOWN CENTER 11<sup>th</sup> ADDITION**

**WHEREAS**, the City of Ramsey, (the “City), filed deferred assessments in the amount of \$266,215.00 against Outlot D, Ramsey Town Center 11<sup>th</sup> Addition and recorded this document in the Office of the Anoka county Recorder as document number 1992150.001; and

**WHEREAS**, the Special Assessments on the Property have been paid in full and current landowner/title company is asking for the Deferred Assessment Agreement filed as document number 1992150.001 to be released; and

**WHEREAS**, the City Attorney has reviewed the Release of Deferred Assessments Agreement for the Property and recommends approval.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:**

That the City approves the Release of Deferred Assessments Agreement for the Property legally described on Exhibit A and authorizes the Mayor and City Administrator to execute documents necessary to record the document in the Office of the Anoka County Recorder

That the motion for the adoption of the foregoing resolution was duly seconded by Councilmember \_\_\_\_\_ and upon vote being taken thereon, the following voted in favor:

and the following voted against the same:

and the following abstained:

and the following were absent:

whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this 24th of September, 2024.

---

Mayor

**ATTEST:**

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City Clerk

**Exhibit A**  
**Legal Description of Property**

Outlot D, Ramsey Town Center 11<sup>th</sup> Addition, Anoka County Minnesota

(the “Property”)

**RELEASE OF DEFERRED ASSESSMENTS**

We, Mark E. Kuzma and Brian Hagen, being the duly qualified Mayor and City Administrator of the City of Ramsey, Minnesota, as authorized by the Ramsey City Council on September 24, 2024, do hereby state that the deferred assessments against certain properties situated in the City of Ramsey more fully described on Exhibit "A" attached hereto and filed of record in the office of the Anoka County recorder as Document No. 1992150.001 are hereby released and satisfied and no longer effect said property.

City of Ramsey

\_\_\_\_\_

Mark E. Kuzma-Mayor

\_\_\_\_\_

Brian Hagen-City Administrator

State of Minnesota )

County of Anoka )

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of September, 2024 by Mark E. Kuzma and Brian Hagen, the Mayor and City Administrator of the City of Ramsey, a Municipal Corporation under the laws of Minnesota on behalf of the Municipal Corporation.

\_\_\_\_\_

Notary Public

Drafted by:

Registered Abstracters, Inc.

2115 North Third Avenue

Anoka, MN 55303

EXHIBIT A

28-32-25-42-0018

Outlot B Ramsey Town Center 11th Addition

Deferred Assessments:

\$266,215.00, Project #05-RTC City Phase II Roadway Improvements; AUAR  
Roadway Improvements; and Ramsey Town Center Parking Facilities, assessed  
February 22, 2005

Assessments will be deferred for three years, at which time the assessment will be  
payable in a single installment according to Resolutions #05-02-064; 05-02-065;  
05-02-066; 05-02-067; & 05-02-068.



**CERTIFICATE OF DEFERRED ASSESSMENTS**

**CITY OF RAMSEY            )**

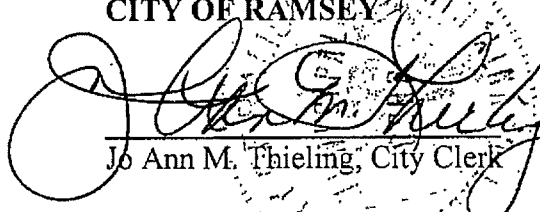
**COUNTY OF ANOKA        )**

**STATE OF MINNESOTA    )**

**1992150.001**

I, Jo Ann M. Thieling, being the duly qualified City Clerk of the City of Ramsey, Minnesota do hereby state that pursuant to Statute 429.061 there are deferred assessments against certain properties situated in the City of Ramsey more fully described on Exhibit A attached hereto and further that the amounts of such assessment and commencement of payment are further set forth on Exhibit A.

**IN TESTIMONY WHEREOF**, I have hereunto subscribed my hand this 27<sup>th</sup> day of March, 2007.

**CITY OF RAMSEY**  
  
Jo Ann M. Thieling, City Clerk

Drafted by Joan Smith  
City of Ramsey  
7550 Sunwood Drive NW  
Ramsey, MN 55303-5137

EXHIBIT A

28-32-25-42-0018

OUTLOT B RAMSEY TOWN CENTER 11<sup>TH</sup> ADD

Deferred Assessments:

\$266,215.00, Project #05-RTC City Phase II Roadway Improvements; AUAR Roadway Improvements; and Ramsey Town Center Parking Facilities, assessed February 22, 2005

Assessments will be deferred for three years, at which time the assessment will be payable in a single installment according to Resolutions #05-02-064; 05-02-065; 05-02-066; 05-02-067; & 05-02-068.

ANOKA COUNTY MINNESOTA

Document No.: 1992150.001 ABSTRACT

I hereby certify that the within instrument was filed in this  
office for record on: 04/04/2007 2:24:00 PM

Fees/Taxes In the Amount of: \$46.00

MAUREEN J. DEVINE

Anoka County Property Tax

Administrator/Recorder/Registrar of Titles

BMC, Deputy

Record ID: 1804546

**CC Regular Session New****Meeting Date:** 09/24/2024**Primary Strategic Plan Initiative:** Improve the safety and mobility of transportation corridors.**Title:**

Adopt Resolution ~~#25-282~~ #24-282 Ordering Request for Proposals for Sunwood Drive Concrete Pedestrian Crossing Replacement Topographic Surveys

**Purpose/Background:****Purpose:**

The purpose of this case is to adopt Resolution ~~#25-282~~ #24-282 ordering request for proposals for Sunwood Drive concrete pedestrian crossing replacement topographic surveys.

**Background:**

The current 2024 thru 2033 10-Year Capital Improvement Program (CIP) proposes concrete repairs for Sunwood Drive between Rhinestone Street and Zeolite Street, and for Rhinestone Street between Sunwood Drive and Ramsey Parkway in 2029.

The concrete pavement along Sunwood Drive and Rhinestone Street was constructed in 2004 under Improvement Project 03-29. The project included colored concrete pedestrian crossings at 8 intersections (6 along Sunwood Drive and 2 along Rhinestone Street). Over the last several years, Public Works Staff has addressed patching these concrete streets, typically using bituminous to fill voids in the concrete pavement. Additional curb replacement and small panel replacement work has also occurred. Though many repairs are required to the concrete pavement along this corridor, the most damage has occurred to the colored concrete in the pedestrian crosswalks. This is a significant safety concern because of the trip hazards created due to the deterioration of the colored concrete, along with increased pedestrian volumes anticipated due to continued development within the COR.

The original 2029 concrete repairs improvement was proposed to address the pedestrian crossing and general crack repairs. Staff has proposed splitting the Sunwood Drive and Rhinestone Street concrete repairs project in two. The proposed 2025 – 2034 CIP proposes to replace the colored concrete pedestrian ramps along Sunwood Drive in 2025. The remaining repairs are still proposed for 2029.

Staff will use the survey data as design aids for the improvement project. Topographic surveys are essential to locate all existing site features and to create an existing ground surface, used as the base layer for designing the project.

Staff has preliminarily inspected the existing pedestrian ramps adjacent to the crossings, and has noted several ramps do not meet current ADA standards. A summary of the findings is attached to this case.

**Notification:**

No notifications are required with this case.

**Time Frame/Observations/Alternatives:****Alternatives:**

Motion to adopt Resolution #25-282 ordering request for proposals for Sunwood Drive concrete pedestrian crossing replacement topographic surveys.

**Funding Source:**

Funding for this work is proposed to come from Municipal State Aid Funds.

**Recommendation:**

September 17, 2024 the Ramsey Public Works Committee considered recommending City Council ordering request for proposals for Sunwood Drive colored concrete pedestrian crossing replacement topographic survey. The Committee unanimously recommended City Council approval.

Staff recommends adopting Resolution #25-282 ordering request for proposals for Sunwood Drive concrete pedestrian crossing replacement topographic surveys.

**Outcome/Action:**

Adopt Resolution #25-282 ordering request for proposals for Sunwood Drive concrete pedestrian crossing replacement topographic surveys.

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**Attachments**

- Res 24-282
- Project Scope
- Pedestrian Ramp Summary
- Existing Condition Pictures

**Form Review**

<b>Inbox</b>	<b>Reviewed By</b>	<b>Date</b>
Brian Hagen	Brian Hagen	09/19/2024 12:51 PM
Form Started By: Joe Feriancek		Started On: 09/18/2024 01:32 PM
Final Approval Date: 09/19/2024		

Councilmember \_\_\_\_ introduced the following resolution and moved for its adoption:

**RESOLUTION #24-282**

**RESOLUTION ORDERING REQUEST FOR PROPOSALS FOR SUNWOOD DRIVE  
CONCRETE PEDESTRIAN CROSSING REPLACEMENT TOPOGRAPHIC SURVEYS**

**WHEREAS**, the Sunwood Drive concrete pedestrian crossings at intersections between Zeolite Street and Rhinestone Street are proposed to be replaced in 2025; and

**WHEREAS**, topographic surveys are required to accurately evaluate and design said improvements; and

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF  
RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA:**

1) The Ramsey City Council hereby orders the City Engineer to request proposals for said services.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember \_\_\_\_\_ and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

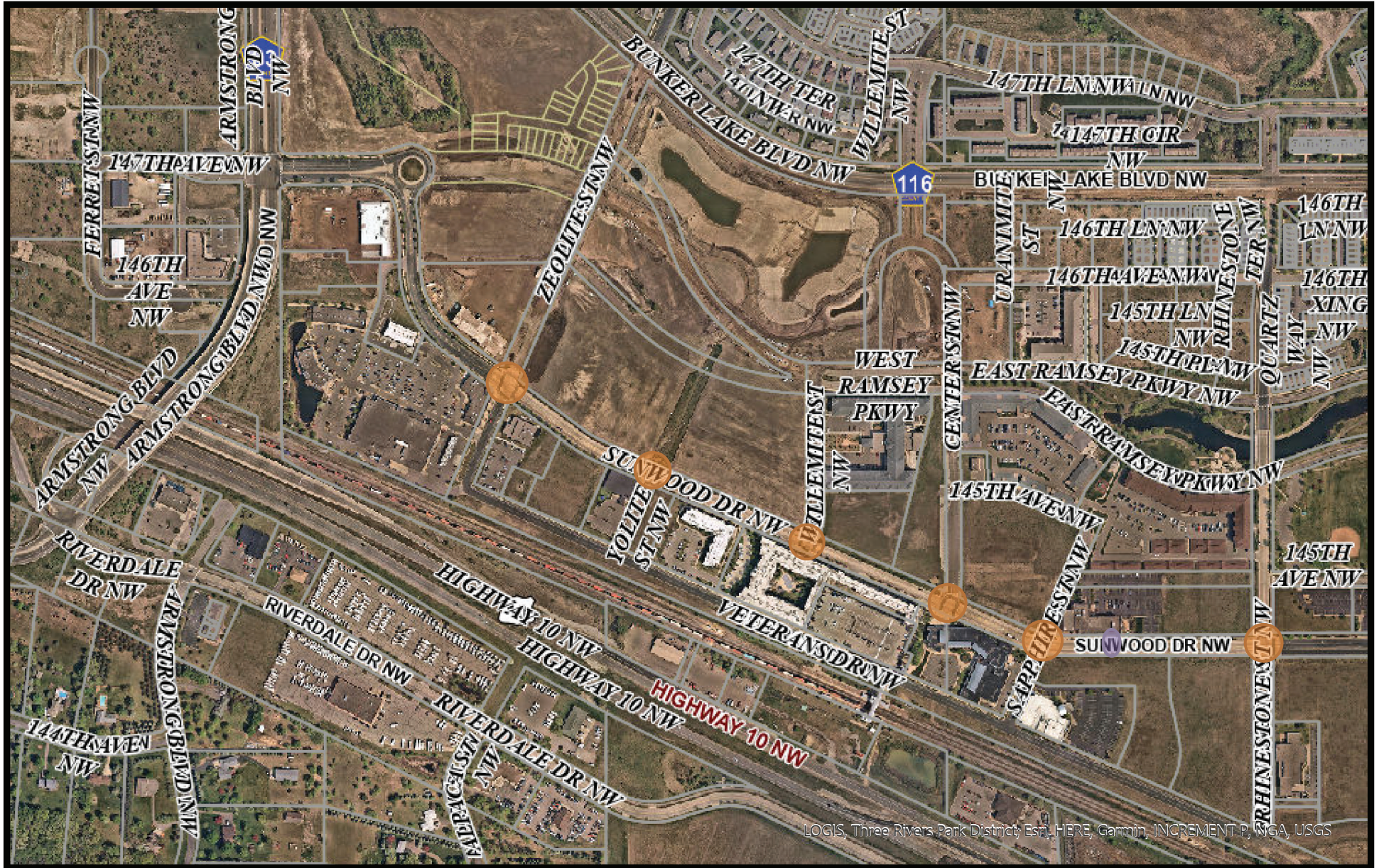
Whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 24<sup>th</sup> day of September, 2024.

\_\_\_\_\_  
Mayor

**ATTEST:**

\_\_\_\_\_  
City Clerk

# SUNWOOD DRIVE PEDESTRIAN CROSSINGS



LOGIS, Three Rivers Park District Esri, HERE, Garmin, INCREMENT P, NGA, USGS

**Sunwood Drive Pedestrian Ramp Review**

9/11/2024

Street	Recent Construction (Or in Progress)	No Issues	Minor Repairs	Not ADA Compliant (Rec. Replace)	Non-Existing	Notes
Rhinestone Street	-	-	-	NW / NE	SW / SE	Recommend replacing both NW & NE Consider replacing curb cuts SW & SE for future connection
Sapphire Street	NW	-	-	NE / SW / SE		NW is being built by Skyline Apartment project. Recommend replacing NE & SW & SE.
Center Street	NW / NE			SW / SE		NW was recently built (2015) with Center Street project. NE is being built by Skyline Apartment project. Consider removing parking bay thru the ped crossing area. MN Statute 169.34 Sub.1(a) No person shall stop, stand, or park a vehicle..in any of the following places: (3) within an intersection; (5) on a crosswalk; (6) within 20 feet of a crosswalk at an intersection;
Wilemite Street	NE		SW / SE		NW	NE landing was only built to direct peds across Sunwood, not also across Wilemite. Consider not marking Wilemite crossing. SW & SE ramps are okay, some curb replacement on SE, Slight trip hazard in joint between ramp and landing on SW.
Yolite Street	SW			SE	NW / NE	SW recently built with Stonebrook Academy. Recommend replacing SE. Consider replacing curb cuts NW & NE for future connection.
Zeolite Street				NW / SW / SE	NE	NW new sidewalk connects into, existing curb cut is not technically wide enough. SW cross slope is okay, but no landing area doesn't meet minimum slope. Difficult to achieve to match into existing building Recommend replacing SE, however full sidewalk width not built. NE consider replacing curb cut for future connection.



NW Quad Sunwood Drive & Center Street; Facing South



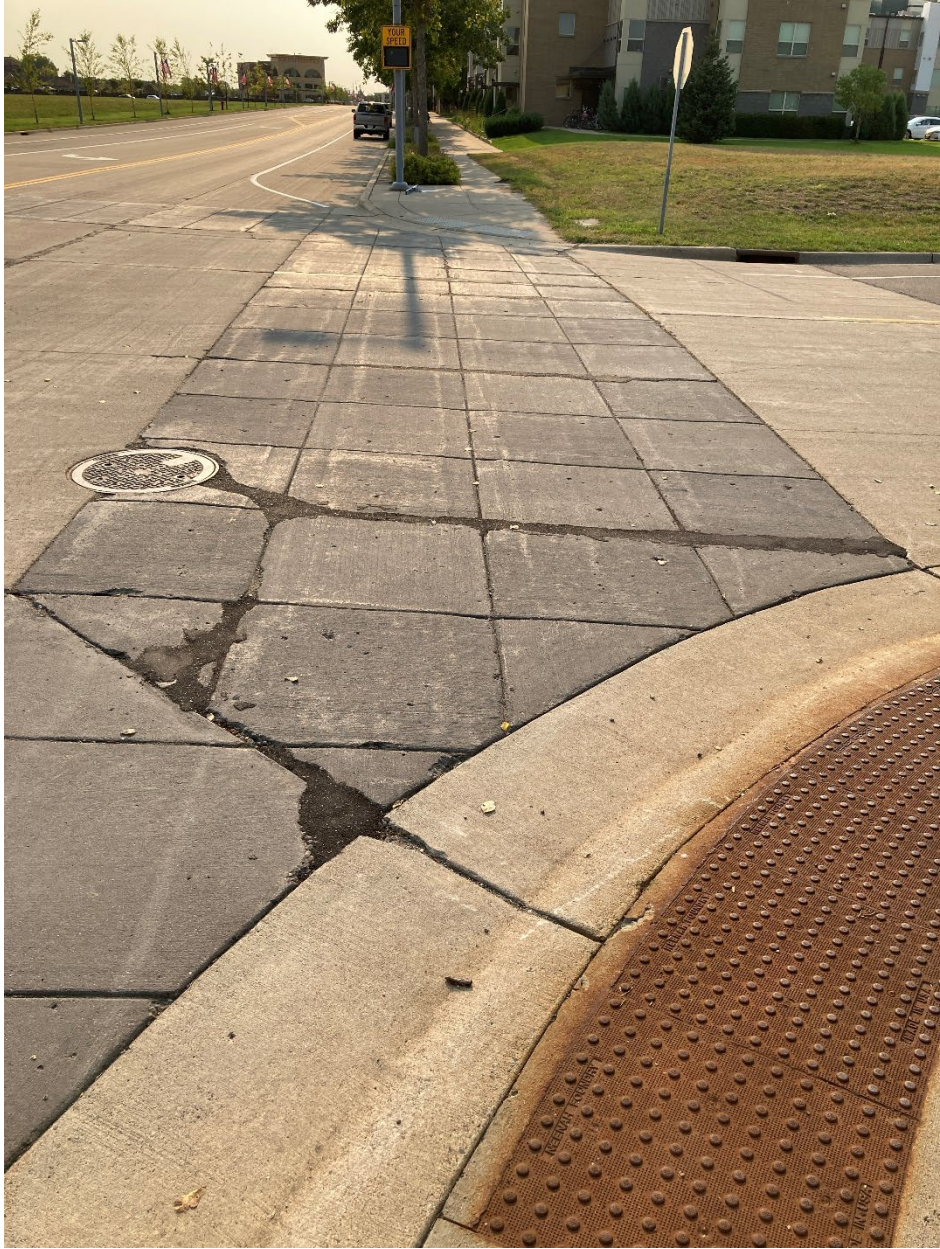
NW Quad Sunwood Drive & Rhinestone Street; Facing East



SE Quad Sunwood Drive & Sapphire Street; Facing West



SE Quad Sunwood Drive & Willemite Street; Facing North



SW Quad Sunwood Drive & Yolite Street; Facing East



NW Quad Sunwood Drive & Zeolite Street; Facing South

**CC Regular Session New****Meeting Date:** 09/24/2024**Primary Strategic Plan Initiative:** Identify and implement operational efficiencies, cost savings and additional funding sources.**Title:**

Public Hearing: Adopt Resolution #24-261 Adopting Assessments for Past-Due Charges on Municipal Utility Bills and Current Services Rendered

**Purpose/Background:**

The City of Ramsey provides varying services that are billed directly to residents through the municipal utility bill and through city invoices. The proposed assessment is made pursuant to the authority granted to the Council by City Ordinance #94-13 and/or Minnesota Statute 429.101 and Chapter 30, Sec 30-3 and Chapter 58 Sec 58-24 of the City Code.

This is the 26th year that the City of Ramsey will be certifying delinquent payments as assessments to be collected with property taxes payable in 2025. The total of delinquent payments as of the writing of this case was \$553,681.82 which includes penalties and interest. This amount is anticipated to change after collections through September 24, 2024 are posted. The new amount will be the amount to be included in the attached resolution for certification. Any payments received after September 24, 2024, and through November 15, 2024, will be indicated as “prepaid” when the list is transmitted to Anoka County for certification.

**Notification:**

The Public Hearing was posted in the Anoka Union for two consecutive weeks prior to the meeting.

**Time Frame/Observations/Alternatives:**

Attached is the resolution certifying the delinquencies and the most current list of delinquent accounts. The residents that are listed on the delinquency list have all been notified via letter from the City. For those accounts where the former homeowner has moved out and left a balance owing on their account, the City follows the policy that all delinquent bills follow the property and not the person.

**Funding Source:**

Utility collections fund the respective utility accounts of water, sewer, street lighting, recycling and storm drainage.

**Recommendation:**

Recommendation to adopt Resolution #24-261 Adopting Assessments for Past-Due Charges on Municipal Utility Bills (Which May Include Water, Sewer, Street Lighting, Recycling, Storm Water Charges and Penalties Incurred) and Current Services Rendered.

**Outcome/Action:**

Hold public hearing and then motion to adopt Resolution #24-261 Adopting Assessments for Past-Due Charges on Municipal Utility Bills (Which May Include Water, Sewer, Street Lighting, Recycling, Storm Water Charges and Penalties Incurred) and Current Services Rendered.

Reso #24-261 Adopting Levy of Assessments for Past Due Charges  
3-Year Certification Comparison  
List of Delinquent Accounts

**Form Review**

**Inbox**

Brian Hagen

Form Started By: Diana Lund

Final Approval Date: 09/19/2024

**Reviewed By**

Brian Hagen

**Date**

09/19/2024 12:25 PM

Started On: 09/12/2024 09:10 AM

Councilmember introduced the following resolution and moved for its adoption:

**RESOLUTION #24-261**

**RESOLUTION ADOPTING ASSESSMENTS FOR PAST-DUE CHARGES ON MUNICIPAL UTILITY BILLS (WHICH MAY INCLUDE WATER, SEWER, STREET LIGHTING, RECYCLING, STORM WATER CHARGES AND PENALTIES INCURRED) AND CURRENT SERVICES RENDERED**

**WHEREAS**, pursuant to proper notice duly given as required by law, the Ramsey City Council has met and heard and passed upon all objections to the proposed assessment for past-due charges on municipal utility bills and through invoices.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:**

- 1) That such proposed assessment, a copy of which is attached hereto and made a part hereof, is hereby accepted and shall constitute the special assessment against the lands named therein, and each tract of land therein included is hereby found to be benefited by the services in the amount of the assessment levied against it.
- 2) That such assessment shall be payable in annual installments extending over a period of one year, to be payable with the first tax rolls of 2025, and shall bear interest at the rate of 6.00 percent from the date of adoption of this assessment resolution to December 31, 2025.
- 3) That the owner of any property so assessed may, at any time prior to certification of the assessment to the Anoka County Auditor, pay the whole of the assessment on such property, with interest accrued to the date of payment, to the City Finance Department, except that no interest will be charged if the entire assessment is paid within 30 days from the adoption of this resolution.
- 4) That a certified duplicate of this assessment be transmitted to the Anoka County Auditor's Office to be extended on the property tax lists of the County and such assessments shall be collected and paid in the same manner as other municipal taxes.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

Whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 24th day of September 2024.

---

Mayor

**ATTEST:**

---

City Clerk

**2024 CERTIFICATION**

Original Letters Sent 9/5/24

Number of UB Accts: 1163  
 Number of Accounts Increased from 2023: 60  
 Percentage of Accounts Increased from 2023: 5.44%

	Amount Delinquent	Admin Fee (\$35/acct)	Interest (6.0%)	Total Subject to Certification
Utility Accounts	479,625.57	40,705.00	36,505.39	556,835.96
Accounts Receivable	48,545.33	490.00	3,694.77	52,730.10
<b>Total</b>	<b>528,170.90</b>	<b>41,195.00</b>	<b>40,200.16</b>	<b>609,566.06</b>

**2023 CERTIFICATION**

Original Letters Sent 9/5/23

Number of UB Accts: 1103  
 Number of Accounts Increased from 2022: 23  
 Percentage of Accounts Increased from 2022: 2.09%

	Amount Delinquent	Admin Fee (\$35/acct)	Interest (6.0%)	Total Subject to Certification
Utility Accounts	376,074.74	38,570.00	28,499.97	443,144.71
Accounts Receivable	24,039.48	105.00	1,821.73	25,966.21
<b>Total</b>	<b>400,114.22</b>	<b>38,675.00</b>	<b>30,321.70</b>	<b>469,110.92</b>

**2022 CERTIFICATION**

Original Letters Sent 9/2/22

Number of UB Accts: 1080  
 Number of Accounts Increased from 2021: 108  
 Percentage of Accounts Increased from 2021: 10.00%

	Amount Delinquent	Admin Fee (\$30/acct)	Interest (5.50%)	Total Subject to Certification
Utility Accounts	340,166.02	32,370.00	23,579.05	396,115.07
Accounts Receivable	12,612.50	390.00	874.27	13,876.77
<b>Total</b>	<b>352,778.52</b>	<b>32,760.00</b>	<b>24,453.32</b>	<b>409,991.84</b>

**Public Hearing Update 9/24/24**

Number of UB Accts: 985  
 Number of UB Accounts Brought Current Since Letters: 178  
 Percentage of UB Accounts Brought Current Since Letters: 15.31%

	Amount Delinquent	Admin Fee (\$35/acct)	Interest (6.0%)	Total Subject to Certification
Utility Accounts	435,248.44	34,475.00	33,127.67	502,851.11
Accounts Receivable	46,845.33	420.00	3,565.38	50,830.71
<b>Total</b>	<b>482,093.77</b>	<b>34,895.00</b>	<b>36,693.05</b>	<b>553,681.82</b>

**Public Hearing Update 9/26/23**

Number of UB Accts: 947  
 Number of UB Accounts Brought Current Since Letters: 156  
 Percentage of UB Accounts Brought Current Since Letters: 85.86%

	Amount Delinquent	Admin Fee (\$35/acct)	Interest (6.0%)	Total Subject to Certification
Utility Accounts	339,479.24	33,110.00	25,726.64	398,315.88
Accounts Receivable	24,039.48	105.00	1,821.73	25,966.21
<b>Total</b>	<b>363,518.72</b>	<b>33,215.00</b>	<b>27,548.37</b>	<b>424,282.09</b>

**Public Hearing Update 9/27/22**

Number of UB Accts: 846  
 Number of UB Accounts Brought Current Since Letters: 234  
 Percentage of UB Accounts Brought Current Since Letters: 21.67%

	Amount Delinquent	Admin Fee (\$30/acct)	Interest (5.50%)	Total Subject to Certification
Utility Accounts	291,318.97	25,380.00	20,193.33	336,892.30
Accounts Receivable	12,612.50	390.00	874.27	13,876.77
<b>Total</b>	<b>303,931.47</b>	<b>25,770.00</b>	<b>21,067.60</b>	<b>350,769.07</b>

**Final Certification - Post 11/15/24**

Number of UB Accts: n/a  
 Number of UB Accounts Brought Current Since Letters: #VALUE!  
 Percentage of UB Accounts Brought Current Since Letters: #VALUE!

	Amount Delinquent	Admin Fee (\$35/acct)	Interest (6.0%)	Total Subject to Certification
Utility Accounts	-	-	-	-
Accounts Receivable	-	-	-	-
<b>Total</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>

Increase/(decrease) from prior year (22,785.00) (20,431.14) (312,816.95) -

**Final Certification - Post 11/15/23**

Number of UB Accts: 647  
 Number of UB Accounts Brought Current Since Letters: 456  
 Percentage of UB Accounts Brought Current Since Letters: 41.34%

	Amount Delinquent	Admin Fee (\$35/acct)	Interest (6.0%)	Total Subject to Certification
Utility Accounts	241,965.11	22,645.00	18,336.89	282,947.00
Accounts Receivable	27,635.70	140.00	2,094.25	29,869.95
<b>Total</b>	<b>269,600.81</b>	<b>22,785.00</b>	<b>20,431.14</b>	<b>312,816.95</b>

Increase/(decrease) from prior year 37,602.41 4,845.00 4,349.58 46,796.99

**Final Certification - Post 11/15/22**

Number of UB Accts: 591  
 Number of UB Accounts Brought Current Since Letters: 489  
 Percentage of UB Accounts Brought Current Since Letters: 45.28%

	Amount Delinquent	Admin Fee (\$30/acct)	Interest (5.50%)	Total Subject to Certification
Utility Accounts	219,710.90	17,580.00	15,229.82	252,520.72
Accounts Receivable	12,287.50	360.00	851.74	13,499.24
<b>Total</b>	<b>231,998.40</b>	<b>17,940.00</b>	<b>16,081.56</b>	<b>266,019.96</b>

Increase/(decrease) from prior year 67,329.51 2,940.00 4,667.53 74,937.04

Account No.	Account Name	Description	Property Address	Delinquent Amount	Admin Fee	Interest (6.00%)	Total Subject to Certification
727457	Property Owner	City Services	13640 Hematite Cir Nw	1,681.62	35.00	127.99	1,844.61
730580	Property Owner	City Services	13671 Garnet St Nw	758.34	35.00	57.72	851.06
732579	Property Owner	City Services	13671 Hematite Cir Nw	201.55	35.00	15.34	251.89
718944	Property Owner	City Services	13881 Ironstone Trl Nw	755.08	35.00	57.47	847.55
731795	Property Owner	City Services	13885 Ironstone Trl Nw	694.08	35.00	52.83	781.91
728461	Property Owner	City Services	13892 Ironstone Trl Nw	708.72	35.00	53.94	797.66
726447	Property Owner	City Services	13895 Ironstone Trl Nw	398.45	35.00	30.33	463.78
730647	Property Owner	City Services	13899 Ironstone Trl Nw	755.08	35.00	57.47	847.55
731820	Property Owner	City Services	13915 Ironstone Ter Nw	809.74	35.00	61.63	906.37
731592	Property Owner	City Services	13919 Garnet Ter Nw	46.81	35.00	3.56	85.37
732056	Property Owner	City Services	13919 Ironstone Ter Nw	755.08	35.00	57.47	847.55
726171	Property Owner	City Services	13923 Ironstone Ter Nw	762.61	35.00	58.04	855.65
727170	Property Owner	City Services	13927 Garnet Ter Nw	169.28	35.00	12.88	217.16
734632	Property Owner	City Services	13930 Ironstone Ter Nw	755.08	35.00	57.47	847.55
721320	Property Owner	City Services	13934 Ironstone Ter Nw	217.43	35.00	16.55	268.98
728770	Property Owner	City Services	13942 Ironstone Ter Nw	241.87	35.00	18.41	295.28
728253	Property Owner	City Services	13946 Ironstone Ter Nw	755.08	35.00	57.47	847.55
719366	Property Owner	City Services	14021 Magnesium St Nw	129.64	35.00	9.87	174.51
726780	Property Owner	City Services	14024 Dysprosium St Nw	718.70	35.00	54.70	808.40
729518	Property Owner	City Services	14043 Dysprosium St Nw	191.64	35.00	14.59	241.23
722667	Property Owner	City Services	14051 Fluorine St Nw	129.64	35.00	9.87	174.51
735207	Property Owner	City Services	14055 Krypton St Nw	56.01	35.00	4.26	95.27
732089	Property Owner	City Services	14060 Germanium St Nw	264.35	35.00	20.12	319.47
461530292	Property Owner	City Services	14100 Germanium St	129.64	35.00	9.87	174.51
725135	Property Owner	City Services	14101 Dysprosium St Nw	455.19	35.00	34.64	524.83
727201	Property Owner	City Services	14101 Fluorine St Nw	97.45	35.00	7.42	139.87
734567	Property Owner	City Services	14101 St Francis Blvd Nw	6,045.17	35.00	460.10	6,540.27
682035500	Property Owner	City Services	14119 Barium St Nw	731.72	35.00	55.69	822.41
724680	Property Owner	City Services	14120 Junkite St Nw	129.64	35.00	9.87	174.51
721123	Property Owner	City Services	14121 Germanium St Nw	129.64	35.00	9.87	174.51
732569	Property Owner	City Services	14128 Argon St Nw	676.89	35.00	51.52	763.41
616598	Property Owner	City Services	14143 Argon St Nw	424.56	35.00	32.31	491.87
644258397	Property Owner	City Services	14150 Dysprosium St Nw	1,265.44	35.00	96.31	1,396.75
727071	Property Owner	City Services	14150 Magnesium St Nw	336.51	35.00	25.61	397.12
731245	Property Owner	City Services	14157 Cobalt Cir Nw	715.44	35.00	54.45	804.89
32682305	Property Owner	City Services	14160 Junkite St Nw	129.64	35.00	9.87	174.51
495635343	Property Owner	City Services	14168 Argon St Nw	324.63	35.00	24.71	384.34
728041	Property Owner	City Services	14177 Neon St Nw	605.08	35.00	46.05	686.13
729831	Property Owner	City Services	14180 Vanadium St Nw	935.27	35.00	71.18	1,041.45
732364	Property Owner	City Services	14183 Argon St Nw	453.44	35.00	34.51	522.95

Account No.	Account Name	Description	Property Address	Delinquent Amount	Admin Fee	Interest (6.00%)	Total Subject to Certification
676319625	Property Owner	City Services	14183 Barium St Nw	219.01	35.00	16.67	270.68
728947	Property Owner	City Services	14183 Neon St Nw	616.77	35.00	46.94	698.71
720912	Property Owner	City Services	14184 Barium St Nw	370.61	35.00	28.21	433.82
731256	Property Owner	City Services	14190 Vanadium St Nw	1,076.31	35.00	81.92	1,193.23
734222	Property Owner	City Services	14190 Xenon St Nw Unit 2	394.01	35.00	29.99	459.00
733201	Property Owner	City Services	14191 Xenon St Nw Unit 31	755.08	35.00	57.47	847.55
730485	Property Owner	City Services	14200 Waco St Nw	951.30	35.00	72.40	1,058.70
714596885	Property Owner	City Services	14200 Xenon St Unit 2	869.43	35.00	66.17	970.60
733043	Property Owner	City Services	14210 Xenon St Nw Unit 4	821.47	35.00	62.52	918.99
705353699	Property Owner	City Services	14211 Vanadium St Nw	1,024.28	35.00	77.96	1,137.24
726673	Property Owner	City Services	14211 Xenon St Nw Unit 15	715.44	35.00	54.45	804.89
640142287	Property Owner	City Services	14217 Xkimo St Nw	1,792.01	35.00	136.39	1,963.40
720731	Property Owner	City Services	14220 Dysprosium St Nw	715.44	35.00	54.45	804.89
714419068	Property Owner	City Services	14221 Xenon St Nw Unit 11	755.08	35.00	57.47	847.55
728480	Property Owner	City Services	14230 Xenon St Nw Unit 2	200.00	35.00	15.22	250.22
733205	Property Owner	City Services	14231 Uranium St Nw	794.35	35.00	60.46	889.81
729894	Property Owner	City Services	14233 Xkimo St Nw	1,298.24	35.00	98.81	1,432.05
726011	Property Owner	City Services	14240 Uranium St Nw	658.55	35.00	50.12	743.67
723769	Property Owner	City Services	14255 Bowers Dr Nw	100.38	35.00	7.64	143.02
734046	Property Owner	City Services	14261 Wolfram St Nw	824.20	35.00	62.73	921.93
731050	Property Owner	City Services	14263 Argon St Nw	437.64	35.00	33.31	505.95
725293	Property Owner	City Services	14264 Waco St Nw	814.73	35.00	62.01	911.74
729284	Property Owner	City Services	14270 Uranium St Nw	710.21	35.00	54.05	799.26
612064330	Property Owner	City Services	14271 Argon St Nw	715.44	35.00	54.45	804.89
730722	Property Owner	City Services	14280 Xenon St Nw	555.85	35.00	42.31	633.16
664650189	Property Owner	City Services	14281 Xkimo St Nw	768.11	35.00	58.46	861.57
735203	Property Owner	City Services	14290 Sunfish Lake Blvd Nw Suite B	285.26	35.00	21.71	341.97
655531873	Property Owner	City Services	14292 Tungsten Way Nw	814.06	35.00	61.96	911.02
728593	Property Owner	City Services	14304 Waco St Nw	597.51	35.00	45.48	677.99
735052	Property Owner	City Services	14325 Waco St Nw	174.22	35.00	13.26	222.48
15601245	Property Owner	City Services	14330 Tungsten St Nw	816.99	35.00	62.18	914.17
725300	Property Owner	City Services	14335 Tungsten St Nw	845.88	35.00	64.38	945.26
733517	Property Owner	City Services	14339 Bowers Dr Nw	65.26	35.00	4.97	105.23
12661013	Property Owner	City Services	14340 Tungsten St Nw	800.04	35.00	60.89	895.93
730252	Property Owner	City Services	14350 Bowers Dr Nw	33.07	35.00	2.52	70.59
724349	Property Owner	City Services	14361 Potassium St Nw	1,092.71	35.00	83.17	1,210.88
728605	Property Owner	City Services	14361 Tungsten Way Nw	929.87	35.00	70.77	1,035.64
734928	Property Owner	City Services	14362 Tungsten Way Nw	390.43	35.00	29.72	455.15
731905	Property Owner	City Services	14400 Quicksilver St Nw	755.08	35.00	57.47	847.55
730835	Property Owner	City Services	14401 Armstrong Blvd Nw	65.26	35.00	4.97	105.23

Account No.	Account Name	Description	Property Address	Delinquent Amount	Admin Fee	Interest (6.00%)	Total Subject to Certification
483466061	Property Owner	City Services	14411 Radium St Nw	839.61	35.00	63.90	938.51
668134792	Property Owner	City Services	14412 Iodine St Nw	911.58	35.00	69.38	1,015.96
721266	Property Owner	City Services	14412 Tungsten Way Nw	287.00	35.00	21.84	343.84
12591005	Property Owner	City Services	14425 Potassium St Nw	23.50	35.00	1.79	60.29
724926	Property Owner	City Services	14431 Iodine St	1,346.25	35.00	102.46	1,483.71
731682	Property Owner	City Services	14434 Iodine St Nw	201.55	35.00	15.34	251.89
676758360	Property Owner	City Services	14440 Quicksilver St Nw	1,303.11	35.00	99.18	1,437.29
710272182	Property Owner	City Services	14445 Azurite St Nw	254.83	35.00	19.40	309.23
734611	Property Owner	City Services	14452 Snowy Owl Street Nw	799.43	35.00	60.84	895.27
735476	Property Owner	City Services	14499 Quintana Street Nw	136.58	35.00	10.40	181.98
735613	Property Owner	City Services	14503 Quintana Street Nw	26.44	35.00	2.01	63.45
731914	Property Owner	City Services	14521 Junkite St Nw	201.55	35.00	15.34	251.89
458263652	Property Owner	City Services	14532 Krypton St Nw	224.13	35.00	17.06	276.19
721315	Property Owner	City Services	14540 Bowers Dr Nw	129.64	35.00	9.87	174.51
731877	Property Owner	City Services	14546 Krypton St Nw	205.32	35.00	15.63	255.95
726033	Property Owner	City Services	14550 Iodine St Nw	920.62	35.00	70.07	1,025.69
634053276	Property Owner	City Services	14553 Bowers Dr Nw	129.64	35.00	9.87	174.51
729235	Property Owner	City Services	14561 Helium Ct Nw	103.30	35.00	7.86	146.16
732771	Property Owner	City Services	14565 Olivine Way Nw	42.98	35.00	3.27	81.25
735509	Property Owner	City Services	14566 Rabbit St Nw	85.90	35.00	6.54	127.44
722933	Property Owner	City Services	14568 Waco St Nw	834.58	35.00	63.52	933.10
732030	Property Owner	City Services	14569 Olivine Way Nw	42.98	35.00	3.27	81.25
733002	Property Owner	City Services	14582 Waco St Nw	913.53	35.00	69.53	1,018.06
732007	Property Owner	City Services	14585 Olivine Ter Nw	755.08	35.00	57.47	847.55
734410	Property Owner	City Services	14587 Olivine Way Nw	42.98	35.00	3.27	81.25
730729	Property Owner	City Services	14596 Olivine Ter Nw	169.28	35.00	12.88	217.16
731803	Property Owner	City Services	14597 Olivine St Nw	390.43	35.00	29.72	455.15
730250	Property Owner	City Services	14604 Olivine St Nw	711.74	35.00	54.17	800.91
734764	Property Owner	City Services	14605 Snowy Owl Street Nw	201.55	35.00	15.34	251.89
735195	Property Owner	City Services	14606 Snowy Owl Street Nw	371.26	35.00	28.26	434.52
730256	Property Owner	City Services	14610 Waco St Nw	448.94	35.00	34.17	518.11
704292051	Property Owner	City Services	14617 Olivine St Nw	755.08	35.00	57.47	847.55
731786	Property Owner	City Services	14617 Rhinestone St Nw	390.43	35.00	29.72	455.15
734915	Property Owner	City Services	14618 Olivine Ter Nw	139.64	35.00	10.63	185.27
723889	Property Owner	City Services	14620 Neon St Nw	878.96	35.00	66.90	980.86
733137	Property Owner	City Services	14621 Potassium St Nw	201.55	35.00	15.34	251.89
728027	Property Owner	City Services	14624 Iodine Ct Nw	1,059.21	35.00	80.62	1,174.83
733532	Property Owner	City Services	14629 Peridot St Nw	755.08	35.00	57.47	847.55
728174	Property Owner	City Services	14635 Olivine St Nw	201.55	35.00	15.34	251.89
718613	Property Owner	City Services	14635 Sodium St Nw	1,645.26	35.00	125.22	1,805.48

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730887	Property Owner	City Services	14638-A Olivine Ter Nw	2,041.27	35.00	155.36	2,231.63
731180	Property Owner	City Services	14640 Hematite St Nw	830.40	35.00	63.20	928.60
727910	Property Owner	City Services	14640 Potassium St Nw	143.16	35.00	10.90	189.06
733545	Property Owner	City Services	14641 Rhinestone St Nw	169.28	35.00	12.88	217.16
728714	Property Owner	City Services	14643 Helium St Nw	833.57	35.00	63.44	932.01
733126	Property Owner	City Services	14643 Rhinestone Way	169.28	35.00	12.88	217.16
730334	Property Owner	City Services	14644 Rhinestone St Nw	169.28	35.00	12.88	217.16
729126	Property Owner	City Services	14646 Rhinestone Way	169.28	35.00	12.88	217.16
732987	Property Owner	City Services	14651 Fluorine St Nw	751.60	35.00	57.20	843.80
731205	Property Owner	City Services	14656 Argon St Nw	761.60	35.00	57.97	854.57
735711	Property Owner	City Services	14658 Quartz Ter	81.17	35.00	6.18	122.35
705620589	Property Owner	City Services	14658 Quartz Ter	43.47	35.00	3.31	81.78
727218	Property Owner	City Services	14660 Cobalt St Nw Unit 28	85.46	35.00	6.50	126.96
730029	Property Owner	City Services	14666 Sodium St Nw	956.84	35.00	72.82	1,064.66
726750	Property Owner	City Services	14667 Waco St Nw	370.61	35.00	28.21	433.82
671156957	Property Owner	City Services	14671 Argon St Nw	809.49	35.00	61.61	906.10
725134	Property Owner	City Services	14671 Helium St Nw	831.26	35.00	63.27	929.53
734396	Property Owner	City Services	14678 Snowy Owl Street Nw	201.35	35.00	15.32	251.67
616222995	Property Owner	City Services	14681 Potassium St Nw	161.39	35.00	12.28	208.67
730289	Property Owner	City Services	14684 Helium St Nw	201.55	35.00	15.34	251.89
730464	Property Owner	City Services	14688 Sodium St Nw	104.55	35.00	7.96	147.51
728633	Property Owner	City Services	14690 Hematite St Nw	977.12	35.00	74.37	1,086.49
734907	Property Owner	City Services	14700 Armstrong Blvd Nw	262.47	35.00	19.98	317.45
724786	Property Owner	City Services	14700 Fluorine St Nw	755.08	35.00	57.47	847.55
731699	Property Owner	City Services	14700 Helium St Nw	768.11	35.00	58.46	861.57
734809	Property Owner	City Services	14701 Germanium St Nw	183.23	35.00	13.95	232.18
722353	Property Owner	City Services	14705 Quicksilver St	1,305.08	35.00	99.33	1,439.41
383361	Property Owner	City Services	14715 Helium St Nw	533.35	35.00	40.59	608.94
721979	Property Owner	City Services	14721 Argon St Nw	453.43	35.00	34.51	522.94
719752	Property Owner	City Services	14721 Potassium St Nw	1,213.62	35.00	92.37	1,340.99
727415	Property Owner	City Services	14729 Krypton St Nw	1,515.86	35.00	115.37	1,666.23
732416	Property Owner	City Services	14731 Cobalt St Nw Unit 19	42.98	35.00	3.27	81.25
733797	Property Owner	City Services	14735 Olivine St	169.28	35.00	12.88	217.16
611256431	Property Owner	City Services	14742 Krypton Ct Nw	436.06	35.00	33.19	504.25
725736	Property Owner	City Services	14750 Potassium St Nw	1,088.70	35.00	82.86	1,206.56
613511633	Property Owner	City Services	14751 Xkimo St Nw	835.61	35.00	63.60	934.21
727920	Property Owner	City Services	14760 Argon St Nw	970.64	35.00	73.88	1,079.52
62505261	Property Owner	City Services	14760 Bowers Dr Nw	129.64	35.00	9.87	174.51
722421	Property Owner	City Services	14761 Cobalt St Nw Unit 19	169.28	35.00	12.88	217.16
734185	Property Owner	City Services	14763 Peridot St	42.98	35.00	3.27	81.25

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729258	Property Owner	City Services	14765 Peridot St	169.28	35.00	12.88	217.16
615416800	Property Owner	City Services	14767 Kamacite St Nw	83.24	35.00	6.34	124.58
681258856	Property Owner	City Services	14771 Erkium St Nw	382.82	35.00	29.14	446.96
925859	Property Owner	City Services	14771 Fluorine St Nw	1,305.08	35.00	99.33	1,439.41
729282	Property Owner	City Services	14774 Zeolite St Nw	2,066.66	35.00	157.29	2,258.95
718377	Property Owner	City Services	14777 Xkimo St Nw	1,186.68	35.00	90.32	1,312.00
733721	Property Owner	City Services	14778 Xkimo St Nw	756.17	35.00	57.55	848.72
725845	Property Owner	City Services	14781 Fluorine St Nw	151.54	35.00	11.53	198.07
734123	Property Owner	City Services	14782 Zeolite St Nw	1,030.93	35.00	78.46	1,144.39
720866	Property Owner	City Services	14791 Cobalt St Nw Ste 19	169.28	35.00	12.88	217.16
727194	Property Owner	City Services	14800 Krypton Ct Nw	859.92	35.00	65.45	960.37
732532	Property Owner	City Services	14800 Willemite St Nw	755.08	35.00	57.47	847.55
733300	Property Owner	City Services	14804 Willemite St Nw	390.43	35.00	29.72	455.15
70866097	Property Owner	City Services	14810 Bowers Dr Nw	30.06	35.00	2.29	67.35
726850	Property Owner	City Services	14834 Yakima St Nw	719.02	35.00	54.72	808.74
732717	Property Owner	City Services	14835 Peridot St Nw	1,011.78	35.00	77.01	1,123.79
718271	Property Owner	City Services	14836 Olivine St Nw	335.89	35.00	25.56	396.45
733856	Property Owner	City Services	14838 Willemite Way Nw	769.42	35.00	58.56	862.98
718888	Property Owner	City Services	14842 Olivine St Nw	483.14	35.00	36.77	554.91
726224	Property Owner	City Services	14845-59 Olivine St Nw	709.07	35.00	53.97	798.04
734893	Property Owner	City Services	14859 Olivine St Nw	390.43	35.00	29.72	455.15
721662	Property Owner	City Services	14860 Olivine St Nw	549.44	35.00	41.82	626.26
719881	Property Owner	City Services	14866 Olivine St Nw	610.98	35.00	46.50	692.48
731874	Property Owner	City Services	14873 Yakima St Nw	191.64	35.00	14.59	241.23
1321918	Property Owner	City Services	14880 Zuni St Nw	2,103.00	35.00	160.06	2,298.06
730952	Property Owner	City Services	14881 Olivine St Nw	755.08	35.00	57.47	847.55
719178	Property Owner	City Services	14888 Peridot St Nw	535.07	35.00	40.72	610.79
734804	Property Owner	City Services	14896 Bison St Nw	762.51	35.00	58.03	855.54
495535769	Property Owner	City Services	14900 Kamacite St Nw	129.64	35.00	9.87	174.51
734967	Property Owner	City Services	14905 Willemite St Nw	264.20	35.00	20.11	319.31
734400	Property Owner	City Services	14920 Chameleon St Nw	129.64	35.00	9.87	174.51
732513	Property Owner	City Services	14940 Xkimo St Nw	994.96	35.00	75.73	1,105.69
730424	Property Owner	City Services	14941 Snowy Owl Street Nw	554.04	35.00	42.17	631.21
729538	Property Owner	City Services	14946 Quintana Street	2,115.72	35.00	161.03	2,311.75
479839440	Property Owner	City Services	14950 Peridot St Nw	129.64	35.00	9.87	174.51
731681	Property Owner	City Services	14960 Xkimo St Nw	720.72	35.00	54.85	810.57
731980	Property Owner	City Services	14963 Quintana Street Nw	390.43	35.00	29.72	455.15
731295	Property Owner	City Services	14967 Tiger St Nw	214.70	35.00	16.34	266.04
723064	Property Owner	City Services	14971 Waco St Nw	365.31	35.00	27.80	428.11
734858	Property Owner	City Services	14979 Snowy Owl Street Nw	860.83	35.00	65.52	961.35

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735001	Property Owner	City Services	14980 Fluorine St Nw	458.76	35.00	34.92	528.68
730905	Property Owner	City Services	14983 Snowy Owl Street Nw	661.55	35.00	50.35	746.90
383470283	Property Owner	City Services	14991 Waco St Nw	1,282.53	35.00	97.61	1,415.14
730781	Property Owner	City Services	14994 Snowy Owl Street Nw	708.21	35.00	53.90	797.11
733625	Property Owner	City Services	15000 Chameleon St Nw	129.64	35.00	9.87	174.51
724692	Property Owner	City Services	15000 Hematite St Nw	129.64	35.00	9.87	174.51
734779	Property Owner	City Services	15020 Waco St Nw	120.73	35.00	9.19	164.92
731251	Property Owner	City Services	15023 Snowy Owl Street Nw	795.71	35.00	60.56	891.27
730292	Property Owner	City Services	15025 Rabbit St Nw	224.13	35.00	17.06	276.19
731694	Property Owner	City Services	15030 Willemite St Nw	129.64	35.00	9.87	174.51
735682	Property Owner	City Services	15031 Ramsey Blvd Nw	62.25	35.00	4.74	101.99
731426	Property Owner	City Services	15031 Snowy Owl Street Nw	1,241.32	35.00	94.48	1,370.80
732334	Property Owner	City Services	15032 Quintana Street Nw	269.35	35.00	20.50	324.85
732360	Property Owner	City Services	15035 Quintana Street Nw	1,364.24	35.00	103.83	1,503.07
722247	Property Owner	City Services	15040 Uranimite St Nw	129.64	35.00	9.87	174.51
731019	Property Owner	City Services	15040 Willemite St Nw	129.64	35.00	9.87	174.51
731768	Property Owner	City Services	15040 Yakima St Nw	65.26	35.00	4.97	105.23
729711	Property Owner	City Services	15041 Bison St Nw	35.04	35.00	2.67	72.71
730865	Property Owner	City Services	15059 Limonite St Nw	129.64	35.00	9.87	174.51
56044621	Property Owner	City Services	15061 Willemite St Nw	129.64	35.00	9.87	174.51
731026	Property Owner	City Services	15079 Helium St Nw	586.05	35.00	44.60	665.65
734495	Property Owner	City Services	15106 Helium St Nw	890.52	35.00	67.78	993.30
676015703	Property Owner	City Services	15107 Ramsey Blvd Nw	65.26	35.00	4.97	105.23
485017173	Property Owner	City Services	15110 Ute St Nw	179.34	35.00	13.65	227.99
422874913	Property Owner	City Services	15111 Tonto St Nw	870.20	35.00	66.23	971.43
735743	Property Owner	City Services	15111 Waco St Nw	59.32	35.00	4.51	98.83
648784012	Property Owner	City Services	15119 Zuni St Nw	129.64	35.00	9.87	174.51
69275939	Property Owner	City Services	15120 Kangaroo St Nw	129.64	35.00	9.87	174.51
719011	Property Owner	City Services	15121 Helium St Nw	821.40	35.00	62.52	918.92
721739	Property Owner	City Services	15121 Ute St Nw	720.83	35.00	54.86	810.69
482232058	Property Owner	City Services	15122 Zuni St Nw	129.64	35.00	9.87	174.51
726393	Property Owner	City Services	15131 Alpaca St Nw	65.26	35.00	4.97	105.23
58734891	Property Owner	City Services	15133 Nowthen Blvd Nw	97.45	35.00	7.42	139.87
733599	Property Owner	City Services	15136 Wolverine St Nw	201.55	35.00	15.34	251.89
733389	Property Owner	City Services	15137 Tiger Street Nw	212.84	35.00	16.20	264.04
725168	Property Owner	City Services	15137 Yakima St Nw	129.64	35.00	9.87	174.51
691730597	Property Owner	City Services	15141 Alpaca St Nw	129.64	35.00	9.87	174.51
727353	Property Owner	City Services	15143 Helium St Nw	1,664.41	35.00	126.68	1,826.09
731432	Property Owner	City Services	15150 Jackel St Nw	33.07	35.00	2.52	70.59
725007	Property Owner	City Services	15150 Kangaroo St Nw	33.07	35.00	2.52	70.59

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732348	Property Owner	City Services	15150 Snowy Owl Street Nw	201.55	35.00	15.34	251.89
733580	Property Owner	City Services	15153 Wolverine St Nw	228.32	35.00	17.38	280.70
732703	Property Owner	City Services	15158 Snowy Owl Street Nw	770.98	35.00	58.68	864.66
724457	Property Owner	City Services	15160 Yakima St Nw	129.64	35.00	9.87	174.51
733377	Property Owner	City Services	15163 Tiger Street Nw	101.55	35.00	7.73	144.28
733304	Property Owner	City Services	15164 Quintana Court Nw	1,000.45	35.00	76.14	1,111.59
733753	Property Owner	City Services	15166 Tiger Street Nw	418.86	35.00	31.88	485.74
732544	Property Owner	City Services	15171 Snowy Owl Street Nw	147.60	35.00	11.23	193.83
733358	Property Owner	City Services	15172 Wolverine St Nw	3,392.98	35.00	258.24	3,686.22
732221	Property Owner	City Services	15175 Quintana Court Nw	823.80	35.00	62.70	921.50
731284	Property Owner	City Services	15181 Barium St Nw	826.59	35.00	62.91	924.50
732400	Property Owner	City Services	15183 Quintana Court Nw	101.55	35.00	7.73	144.28
681415286	Property Owner	City Services	15200 Ute St Nw	1,265.44	35.00	96.31	1,396.75
725566	Property Owner	City Services	15200 Willemite St Nw	129.64	35.00	9.87	174.51
733052	Property Owner	City Services	15208 Snowy Owl Street Nw	1,047.18	35.00	79.70	1,161.88
732622	Property Owner	City Services	15209 Quintana Court Nw	390.43	35.00	29.72	455.15
721099	Property Owner	City Services	15210 Germanium St Nw	329.98	35.00	25.11	390.09
724899	Property Owner	City Services	15211 Jackel St Nw	129.64	35.00	9.87	174.51
492588120	Property Owner	City Services	15211 Uranium St Nw	791.00	35.00	60.20	886.20
720660	Property Owner	City Services	15211 Waco St Nw	129.64	35.00	9.87	174.51
733506	Property Owner	City Services	15213 Tiger Street Nw	838.37	35.00	63.81	937.18
732589	Property Owner	City Services	15215 Quintana Court Nw	769.95	35.00	58.60	863.55
732094	Property Owner	City Services	15220 Barium St Nw	788.19	35.00	59.99	883.18
729296	Property Owner	City Services	15220 Tonto St Nw	131.73	35.00	10.03	176.76
720057	Property Owner	City Services	15220 Waco St Nw	97.45	35.00	7.42	139.87
732878	Property Owner	City Services	15227 Fluorine St Nw	579.31	35.00	44.09	658.40
645477066	Property Owner	City Services	15230 Uranimite St Nw	129.64	35.00	9.87	174.51
722492	Property Owner	City Services	15231 Helium St Nw	201.55	35.00	15.34	251.89
53174334	Property Owner	City Services	15231 Kangaroo St Nw	129.64	35.00	9.87	174.51
486589948	Property Owner	City Services	15231 Waco St Nw	129.64	35.00	9.87	174.51
722883	Property Owner	City Services	15232 Helium St Nw	318.80	35.00	24.26	378.06
733586	Property Owner	City Services	15233 Tiger Street Nw	396.45	35.00	30.17	461.62
733831	Property Owner	City Services	15236 Tiger Street Nw	613.16	35.00	46.67	694.83
729294	Property Owner	City Services	15240 Germanium St Nw	1,164.88	35.00	88.66	1,288.54
53164333	Property Owner	City Services	15240 Kangaroo St Nw	129.64	35.00	9.87	174.51
733454	Property Owner	City Services	15240 Snowy Owl Street Nw	385.86	35.00	29.37	450.23
730766	Property Owner	City Services	15241 Iguana St Nw	97.45	35.00	7.42	139.87
733863	Property Owner	City Services	15242 Tiger Street Nw	1,103.73	35.00	84.00	1,222.73
723637	Property Owner	City Services	15245 Germanium Cir Nw	251.55	35.00	19.15	305.70
733800	Property Owner	City Services	15250 Tiger Street Nw	1,219.76	35.00	92.84	1,347.60

Account No.	Account Name	Description	Property Address	Delinquent Amount	Admin Fee	Interest (6.00%)	Total Subject to Certification
731773	Property Owner	City Services	15251 Uranium St Nw	198.15	35.00	15.08	248.23
734167	Property Owner	City Services	15252 Fluorine St Nw	201.55	35.00	15.34	251.89
726095	Property Owner	City Services	15255 Garnet St Nw	65.26	35.00	4.97	105.23
734609	Property Owner	City Services	15255 Marmoset St Nw	1,785.45	35.00	135.89	1,956.34
734155	Property Owner	City Services	15255 Tiger Street Nw	534.48	35.00	40.68	610.16
734350	Property Owner	City Services	15265 Fluorine St Nw	390.43	35.00	29.72	455.15
733478	Property Owner	City Services	15267 Fluorine St Nw	755.08	35.00	57.47	847.55
733830	Property Owner	City Services	15271 Germanium St Nw	550.40	35.00	41.89	627.29
729128	Property Owner	City Services	15290 Sodium St Nw	412.30	35.00	31.38	478.68
701128448	Property Owner	City Services	15290 Uranium St Nw	947.80	35.00	72.14	1,054.94
703426665	Property Owner	City Services	15291 Uranium St Nw	937.46	35.00	71.35	1,043.81
713981296	Property Owner	City Services	15294 Tungsten St	255.08	35.00	19.41	309.49
732924	Property Owner	City Services	15305 Iodine St Nw	765.83	35.00	58.29	859.12
720924	Property Owner	City Services	15310 Xkimo St Nw	390.43	35.00	29.72	455.15
719220	Property Owner	City Services	15310 Zirconium St Nw	129.64	35.00	9.87	174.51
681050968	Property Owner	City Services	15311 Yakima St Nw	1,343.53	35.00	102.26	1,480.79
732205	Property Owner	City Services	15313 Rhinestone St	129.64	35.00	9.87	174.51
56774694	Property Owner	City Services	15321 Hematite St Nw	129.64	35.00	9.87	174.51
713598964	Property Owner	City Services	15326 Zuni Ct	80.48	35.00	6.13	121.61
727499	Property Owner	City Services	15330 Marmoset St Nw	129.64	35.00	9.87	174.51
636283628	Property Owner	City Services	15331 Waco Ct Nw	1,336.24	35.00	101.70	1,472.94
631331981	Property Owner	City Services	15333 Barium St Nw	129.64	35.00	9.87	174.51
733311	Property Owner	City Services	15341 Okapi St Nw	129.64	35.00	9.87	174.51
732881	Property Owner	City Services	15355 Eland St Nw	129.64	35.00	9.87	174.51
734218	Property Owner	City Services	15359 Radium St Nw	784.30	35.00	59.69	878.99
483574031	Property Owner	City Services	15360 Krypton St Nw	496.82	35.00	37.81	569.63
721155	Property Owner	City Services	15370 Yakima St Nw	201.55	35.00	15.34	251.89
728280	Property Owner	City Services	15376 Vanadium St Nw	394.01	35.00	29.99	459.00
734375	Property Owner	City Services	15381 Germanium St Nw	390.43	35.00	29.72	455.15
732319	Property Owner	City Services	15385 Armstrong Blvd Nw	129.64	35.00	9.87	174.51
673670027	Property Owner	City Services	15386 Krypton St Nw	2,226.13	35.00	169.43	2,430.56
725372	Property Owner	City Services	15390 Germanium St Nw	655.08	35.00	49.86	739.94
729944	Property Owner	City Services	15390 Radium St	161.18	35.00	12.27	208.45
735110	Property Owner	City Services	15392 Radium St Nw	200.00	35.00	15.22	250.22
718302	Property Owner	City Services	15396 Vanadium St Nw	945.49	35.00	71.96	1,052.45
733496	Property Owner	City Services	15398 Radium St Nw	801.87	35.00	61.03	897.90
732106	Property Owner	City Services	15403 Germanium St Nw	200.32	35.00	15.25	250.57
723870	Property Owner	City Services	15404 Germanium St Nw	981.49	35.00	74.70	1,091.19
729694	Property Owner	City Services	15404 Radium St Nw	201.55	35.00	15.34	251.89
732836	Property Owner	City Services	15405 Radium St	56.03	35.00	4.26	95.29

Account No.	Account Name	Description	Property Address	Delinquent Amount	Admin Fee	Interest (6.00%)	Total Subject to Certification
721849	Property Owner	City Services	15410 Kangaroo St Nw	129.64	35.00	9.87	174.51
732518	Property Owner	City Services	15419 Radium St Nw	813.16	35.00	61.89	910.05
727360	Property Owner	City Services	15421 Kangaroo St Nw	129.64	35.00	9.87	174.51
660608352	Property Owner	City Services	15421 Nutria St Nw	129.64	35.00	9.87	174.51
724180	Property Owner	City Services	15423 Iodine St Nw	1,049.82	35.00	79.90	1,164.72
629901986	Property Owner	City Services	15427 Argon St Nw	65.26	35.00	4.97	105.23
724385	Property Owner	City Services	15429 Iodine St Nw	826.16	35.00	62.88	924.04
688986875	Property Owner	City Services	15430 Radium St Nw	773.89	35.00	58.90	867.79
719113	Property Owner	City Services	15431 Iguana St Nw	55.83	35.00	4.25	95.08
730683	Property Owner	City Services	15435 Iodine St Nw	755.08	35.00	57.47	847.55
686995691	Property Owner	City Services	15437 Sodium St	215.72	35.00	16.42	267.14
726114	Property Owner	City Services	15463 Iodine St Nw Unit South	390.43	35.00	29.72	455.15
730212	Property Owner	City Services	15466 Iodine Terrace Nw	75.87	35.00	5.77	116.64
723757	Property Owner	City Services	15469 Radium St Nw	423.41	35.00	32.23	490.64
722205	Property Owner	City Services	15471 Yakima St Nw	184.69	35.00	14.06	233.75
735715	Property Owner	City Services	15473 Radium St Nw	839.04	35.00	63.86	937.90
487939989	Property Owner	City Services	15480 Yakima Ct Nw	390.43	35.00	29.72	455.15
733508	Property Owner	City Services	15481 Yakima Ct	986.50	35.00	75.08	1,096.58
732871	Property Owner	City Services	15484 Tungsten St Nw	755.08	35.00	57.47	847.55
730400	Property Owner	City Services	15486 Tungsten St Nw	755.08	35.00	57.47	847.55
724305	Property Owner	City Services	15490 Xkimo St	1,610.78	35.00	122.60	1,768.38
732425	Property Owner	City Services	15492 Iodine Street Nw	764.85	35.00	58.21	858.06
728272	Property Owner	City Services	15492 Tungsten St Nw	140.43	35.00	10.69	186.12
732852	Property Owner	City Services	15500 Marmoset St Nw	65.26	35.00	4.97	105.23
735470	Property Owner	City Services	15505 Ramsey Blvd Nw	27.46	35.00	2.09	64.55
718800	Property Owner	City Services	15511 Coquina St Nw	129.64	35.00	9.87	174.51
722409	Property Owner	City Services	15517 Sodium St	724.14	35.00	55.11	814.25
684702692	Property Owner	City Services	15521 Coquina St Nw	108.40	35.00	8.25	151.65
734511	Property Owner	City Services	15525 Sodium Way Nw	755.08	35.00	57.47	847.55
732857	Property Owner	City Services	15526 Iodine St Nw	489.19	35.00	37.23	561.42
735364	Property Owner	City Services	15526 Iodine St Nw	325.75	35.00	24.79	385.54
674018518	Property Owner	City Services	15539 Iodine Ct Nw	570.67	35.00	43.43	649.10
58104828	Property Owner	City Services	15540 Zirconium St Nw	129.64	35.00	9.87	174.51
725265	Property Owner	City Services	15564 Iodine St Nw	623.85	35.00	47.48	706.33
729208	Property Owner	City Services	15582 Xkimo Ct Nw	579.83	35.00	44.13	658.96
730035	Property Owner	City Services	15585 Krypton St Nw	355.61	35.00	27.07	417.68
669678276	Property Owner	City Services	15599 Hedgehog St Nw	129.64	35.00	9.87	174.51
674477357	Property Owner	City Services	15600 Xkimo Ct Nw	750.55	35.00	57.12	842.67
719145	Property Owner	City Services	15603 Iodone St Nw	841.95	35.00	64.08	941.03
58134831	Property Owner	City Services	15611 Dolomite St Nw	129.64	35.00	9.87	174.51

Account No.	Account Name	Description	Property Address	Delinquent Amount	Admin Fee	Interest (6.00%)	Total Subject to Certification
485158339	Property Owner	City Services	15611 Marmoset St Nw	65.26	35.00	4.97	105.23
733005	Property Owner	City Services	15620 Armstrong Blvd Nw	100.38	35.00	7.64	143.02
702358051	Property Owner	City Services	15620 Cobalt St Nw	35.40	35.00	2.69	73.09
722318	Property Owner	City Services	15621 Barium St Nw	129.64	35.00	9.87	174.51
730078	Property Owner	City Services	15621 Nutria St Nw	65.26	35.00	4.97	105.23
731633	Property Owner	City Services	15650 Juniper Ridge Dr Nw	129.64	35.00	9.87	174.51
640519724	Property Owner	City Services	15651 Ramsey Blvd Nw	65.26	35.00	4.97	105.23
732957	Property Owner	City Services	15710 Armstrong Blvd Nw	129.64	35.00	9.87	174.51
734409	Property Owner	City Services	15720 Andrie St Nw	33.07	35.00	2.52	70.59
718641	Property Owner	City Services	15721 Hedgehog St Nw	129.64	35.00	9.87	174.51
724938	Property Owner	City Services	15730 Kangaroo St Nw	65.26	35.00	4.97	105.23
728773	Property Owner	City Services	15741 Ferret St Nw	129.64	35.00	9.87	174.51
731537	Property Owner	City Services	15759 Neon St Nw	1,210.72	35.00	92.15	1,337.87
44303447	Property Owner	City Services	15760 Juniper Ridge Dr Nw	33.07	35.00	2.52	70.59
461849422	Property Owner	City Services	15765 Juniper Ridge Dr Nw	129.64	35.00	9.87	174.51
725890	Property Owner	City Services	15769 Potassium St Nw	54.79	35.00	4.17	93.96
633699046	Property Owner	City Services	15774 Neon St Nw	1,414.29	35.00	107.64	1,556.93
733341	Property Owner	City Services	15780 Andrie St Nw	33.07	35.00	2.52	70.59
701988698	Property Owner	City Services	15781 Azurite Ct Nw	129.64	35.00	9.87	174.51
731562	Property Owner	City Services	15789 Osmium St Nw	278.00	35.00	21.16	334.16
728207	Property Owner	City Services	15795 Osmium St Nw	999.68	35.00	76.09	1,110.77
733534	Property Owner	City Services	15804 Radium St Nw	65.26	35.00	4.97	105.23
734470	Property Owner	City Services	15811 Okapi St Nw	97.45	35.00	7.42	139.87
650057931	Property Owner	City Services	15816 Neon St Nw	977.01	35.00	74.36	1,086.37
727822	Property Owner	City Services	15821 Osmium St Nw	1,410.54	35.00	107.36	1,552.90
732759	Property Owner	City Services	15830 Hedgehog St Nw	129.64	35.00	9.87	174.51
722700	Property Owner	City Services	15840 Osmium St Nw	1,326.13	35.00	100.93	1,462.06
727345	Property Owner	City Services	15840 Traprock St Nw	97.45	35.00	7.42	139.87
389850754	Property Owner	City Services	15861 Dolomite St Nw	129.64	35.00	9.87	174.51
397258191	Property Owner	City Services	15861 Jarvis St Nw	81.53	35.00	6.21	122.74
732691	Property Owner	City Services	15881 Peridot Street Nw	667.18	35.00	50.78	752.96
731511	Property Owner	City Services	15910 Jasper St Nw	65.26	35.00	4.97	105.23
722322	Property Owner	City Services	15959 Ebony St Nw	129.64	35.00	9.87	174.51
724623	Property Owner	City Services	15959 Ironstone St Nw	129.64	35.00	9.87	174.51
730836	Property Owner	City Services	15972 Uranimite St Nw	209.08	35.00	15.91	259.99
720146	Property Owner	City Services	15980 St Andrews Ln Nw	103.76	35.00	7.90	146.66
731544	Property Owner	City Services	15982 Uranimite St Nw	793.21	35.00	60.37	888.58
732244	Property Owner	City Services	15985 Sapphire St Nw	961.05	35.00	73.15	1,069.20
719976	Property Owner	City Services	16000 Nowthen Blvd Nw	65.26	35.00	4.97	105.23
697183298	Property Owner	City Services	16020 St. Andrews Ln	126.21	35.00	9.61	170.82

Account No.	Account Name	Description	Property Address	Delinquent Amount	Admin Fee	Interest (6.00%)	Total Subject to Certification
732570	Property Owner	City Services	16021 Ramsey Blvd Nw	33.07	35.00	2.52	70.59
49713988	Property Owner	City Services	16021 Xenolith St Nw	65.26	35.00	4.97	105.23
723220	Property Owner	City Services	16041 Iodine St	770.20	35.00	58.62	863.82
723367	Property Owner	City Services	16041 Kangaroo St Nw	129.64	35.00	9.87	174.51
729975	Property Owner	City Services	16054 Sapphire St Nw	274.09	35.00	20.86	329.95
728648	Property Owner	City Services	16071 Sapphire St Nw	1,194.75	35.00	90.93	1,320.68
720352	Property Owner	City Services	16101 Ramsey Blvd Nw	129.64	35.00	9.87	174.51
734887	Property Owner	City Services	16139 Uranimite St	227.89	35.00	17.34	280.23
48843901	Property Owner	City Services	16156 Olivine St Nw	129.64	35.00	9.87	174.51
672828662	Property Owner	City Services	16161 Kamacite St Nw	132.57	35.00	10.09	177.66
383670962	Property Owner	City Services	16170 Olivine St Nw	65.26	35.00	4.97	105.23
728927	Property Owner	City Services	16174 Iodine St Nw	60.82	35.00	4.63	100.45
723066	Property Owner	City Services	16206 Sapphire St Nw	439.24	35.00	33.43	507.67
615049714	Property Owner	City Services	16207 Azurite St Nw	129.64	35.00	9.87	174.51
733687	Property Owner	City Services	16220 Yttrium St Nw	33.07	35.00	2.52	70.59
723927	Property Owner	City Services	16231 Jarvis St Nw	129.64	35.00	9.87	174.51
446266610	Property Owner	City Services	16261 St Francis Blvd Nw	33.07	35.00	2.52	70.59
622567660	Property Owner	City Services	16300 Coquina St Nw	97.45	35.00	7.42	139.87
729610	Property Owner	City Services	16300 Ramsey Blvd Nw	129.64	35.00	9.87	174.51
722068	Property Owner	City Services	16301 Zirconium St Nw	97.45	35.00	7.42	139.87
730322	Property Owner	City Services	16321 Yttrium St Nw	129.64	35.00	9.87	174.51
729147	Property Owner	City Services	16324 Coquina St Nw	129.64	35.00	9.87	174.51
730957	Property Owner	City Services	16325 Okapi St Nw	129.64	35.00	9.87	174.51
720751	Property Owner	City Services	16326 Dysprosium St Nw	129.64	35.00	9.87	174.51
49473964	Property Owner	City Services	16330 Yolite St Nw	97.45	35.00	7.42	139.87
718759	Property Owner	City Services	16331 Yttrium St Nw	129.64	35.00	9.87	174.51
693663749	Property Owner	City Services	16340 Yttrium St Nw	33.07	35.00	2.52	70.59
726383	Property Owner	City Services	16345 Zirconium St Nw	129.64	35.00	9.87	174.51
49113928	Property Owner	City Services	16350 Yolite St Nw	36.00	35.00	2.74	73.74
704575831	Property Owner	City Services	16355 Nowthen Blvd Nw	33.07	35.00	2.52	70.59
221774498	Property Owner	City Services	16361 Nowthen Blvd Nw	129.64	35.00	9.87	174.51
71046115	Property Owner	City Services	16400 St Francis Blvd Nw	33.07	35.00	2.52	70.59
733926	Property Owner	City Services	16400 Wolfram St Nw	136.83	35.00	10.41	182.24
619763801	Property Owner	City Services	16400 Zirconium St Nw	129.64	35.00	9.87	174.51
730076	Property Owner	City Services	16405 Quartz St Nw	33.07	35.00	2.52	70.59
659704939	Property Owner	City Services	16411 Olivine St Nw	129.64	35.00	9.87	174.51
681251915	Property Owner	City Services	16427 Chameleon St Nw	33.07	35.00	2.52	70.59
731249	Property Owner	City Services	16431 Dysprosium St Nw	97.45	35.00	7.42	139.87
642923030	Property Owner	City Services	16444 St Francis Blvd Nw Dup Upper	129.64	35.00	9.87	174.51
733887	Property Owner	City Services	16521 Xenolith St Nw	129.64	35.00	9.87	174.51

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42363253	Property Owner	City Services	16530 Dolomite St Nw	129.64	35.00	9.87	174.51
42033220	Property Owner	City Services	16551 Ebony St Nw	34.87	35.00	2.65	72.52
486698255	Property Owner	City Services	16551 Variolite St Nw	33.07	35.00	2.52	70.59
729039	Property Owner	City Services	16600 Coquina St Nw	129.64	35.00	9.87	174.51
727608	Property Owner	City Services	16640 Yttrium St Nw	129.64	35.00	9.87	174.51
719681	Property Owner	City Services	16650 Dolomite St Nw	129.64	35.00	9.87	174.51
718685	Property Owner	City Services	16710 Limonite St Nw	1,056.51	35.00	80.41	1,171.92
732026	Property Owner	City Services	16714 Limonite St Nw	1,156.45	35.00	88.02	1,279.47
718795	Property Owner	City Services	16718 Limonite St Nw	1,305.08	35.00	99.33	1,439.41
68975909	Property Owner	City Services	16727 Radium St Nw	129.64	35.00	9.87	174.51
727889	Property Owner	City Services	16765 Nutria St Nw	20.81	35.00	1.58	57.39
724831	Property Owner	City Services	16771 Andrie St Nw	129.64	35.00	9.87	174.51
724181	Property Owner	City Services	16771 Marble St Nw	691.80	35.00	52.65	779.45
734944	Property Owner	City Services	16795 Garnet St Nw	95.59	35.00	7.28	137.87
34003380	Property Owner	City Services	16800 Iodine St Nw	129.64	35.00	9.87	174.51
734256	Property Owner	City Services	16801 Sodium St Nw	129.64	35.00	9.87	174.51
39012918	Property Owner	City Services	16801 Tiger St Nw	33.07	35.00	2.52	70.59
705656989	Property Owner	City Services	16822 Rabbit St Nw	129.64	35.00	9.87	174.51
670793347	Property Owner	City Services	16830 Radium St Nw	33.07	35.00	2.52	70.59
43793396	Property Owner	City Services	16839 St Francis Blvd Nw	129.64	35.00	9.87	174.51
734253	Property Owner	City Services	16862 Jackel St Nw	129.64	35.00	9.87	174.51
732075	Property Owner	City Services	16879 Marble St Nw	228.21	35.00	17.37	280.58
725699	Property Owner	City Services	16904 Feldspar St Nw	447.27	35.00	34.04	516.31
725006	Property Owner	City Services	16920 Zeolite St Nw	129.64	35.00	9.87	174.51
42713288	Property Owner	City Services	16921 Sodium St Nw	129.64	35.00	9.87	174.51
730620	Property Owner	City Services	16931 Helium St Nw	129.64	35.00	9.87	174.51
734002	Property Owner	City Services	16950 Yttrium St Nw	129.64	35.00	9.87	174.51
42443261	Property Owner	City Services	17020 Azurite St Nw	129.64	35.00	9.87	174.51
610574308	Property Owner	City Services	17021 Helium St Nw	65.26	35.00	4.97	105.23
723918	Property Owner	City Services	17056 Garnet St Nw	201.55	35.00	15.34	251.89
726714	Property Owner	City Services	17059 Nowthen Blvd Nw	129.64	35.00	9.87	174.51
39142931	Property Owner	City Services	17115 Driscoll St Nw	32.19	35.00	2.45	69.64
668141282	Property Owner	City Services	17150 Potassium St Nw	129.64	35.00	9.87	174.51
715435598	Property Owner	City Services	17151 Baugh St Nw	36.00	35.00	2.74	73.74
730918	Property Owner	City Services	17200 Zeolite St Nw	97.45	35.00	7.42	139.87
726048	Property Owner	City Services	17201 Tungsten St Nw	129.64	35.00	9.87	174.51
728707	Property Owner	City Services	17225 Bison St Nw	129.64	35.00	9.87	174.51
66665677	Property Owner	City Services	17229 Tungsten St Nw	129.64	35.00	9.87	174.51
731546	Property Owner	City Services	17230 Zeolite St Nw	65.26	35.00	4.97	105.23
727328	Property Owner	City Services	17295 Variolite St Nw	65.26	35.00	4.97	105.23

Account No.	Account Name	Description	Property Address	Delinquent Amount	Admin Fee	Interest (6.00%)	Total Subject to Certification
721799	Property Owner	City Services	17319 Quicksilver St	33.07	35.00	2.52	70.59
667012776	Property Owner	City Services	17320 Driscoll St Nw	33.07	35.00	2.52	70.59
645367584	Property Owner	City Services	17321 Driscoll St Nw	129.64	35.00	9.87	174.51
659732792	Property Owner	City Services	17352 Unicorn St Nw	129.64	35.00	9.87	174.51
725027	Property Owner	City Services	17359 Puma St	65.26	35.00	4.97	105.23
726743	Property Owner	City Services	17362 Rabbit St Nw	47.74	35.00	3.63	86.37
36132630	Property Owner	City Services	17410 Chameleon St Nw	129.64	35.00	9.87	174.51
721790	Property Owner	City Services	17410 Wolverine St Nw	129.64	35.00	9.87	174.51
670521700	Property Owner	City Services	17416 Rabbit St Nw	65.26	35.00	4.97	105.23
37932810	Property Owner	City Services	17421 Driscoll St Nw	30.06	35.00	2.29	67.35
726890	Property Owner	City Services	17431 St Francis Blvd Nw	97.45	35.00	7.42	139.87
732414	Property Owner	City Services	17450 Baugh St Nw	33.07	35.00	2.52	70.59
479364743	Property Owner	City Services	17511 Unicorn St Nw	129.64	35.00	9.87	174.51
728561	Property Owner	City Services	17512 Rabbit St Nw	65.26	35.00	4.97	105.23
735334	Property Owner	City Services	17514 Rhinestone St Nw	56.01	35.00	4.26	95.27
731136	Property Owner	City Services	17540 Nowthen Blvd Nw	132.57	35.00	10.09	177.66
735478	Property Owner	City Services	17605 Eaton St Nw	23.85	35.00	1.82	60.67
731500	Property Owner	City Services	17630 Cobalt St Nw	65.26	35.00	4.97	105.23
689697996	Property Owner	City Services	17646 St Francis Blvd Nw	129.64	35.00	9.87	174.51
726752	Property Owner	City Services	17705 Nowthen Blvd Nw	129.64	35.00	9.87	174.51
68035815	Property Owner	City Services	17711 Vicuna St Nw	129.64	35.00	9.87	174.51
735086	Property Owner	City Services	17720 Fluorine St Nw	65.26	35.00	4.97	105.23
720394	Property Owner	City Services	17740 Vanadium St Nw	33.07	35.00	2.52	70.59
726086	Property Owner	City Services	17800 Yakima St Nw	129.64	35.00	9.87	174.51
727293	Property Owner	City Services	17820 Fluorine St Nw	65.26	35.00	4.97	105.23
728750	Property Owner	City Services	17850 Erkiium St Nw	129.64	35.00	9.87	174.51
74922413	Property Owner	City Services	17855 Erkiium St Nw	33.07	35.00	2.52	70.59
34932510	Property Owner	City Services	17916 Junkite St Nw	33.07	35.00	2.52	70.59
616359552	Property Owner	City Services	17917 Junkite St Nw	129.64	35.00	9.87	174.51
733685	Property Owner	City Services	17920 Uranium St Nw	65.26	35.00	4.97	105.23
733519	Property Owner	City Services	17930 Vanadium St Nw	33.07	35.00	2.52	70.59
733734	Property Owner	City Services	17940 St Francis Blvd Nw	129.64	35.00	9.87	174.51
63625372	Property Owner	City Services	17958 Fluorine St Nw	129.64	35.00	9.87	174.51
728384	Property Owner	City Services	18045 Waco St Nw	129.64	35.00	9.87	174.51
734715	Property Owner	City Services	18054 Waco St Nw	97.45	35.00	7.42	139.87
731201	Property Owner	City Services	18055 Ute St Nw	129.64	35.00	9.87	174.51
709834362	Property Owner	City Services	18055 Waco St Nw	97.45	35.00	7.42	139.87
734974	Property Owner	City Services	4680 152nd Ct Nw	84.66	35.00	6.44	126.10
731677	Property Owner	City Services	4851 Salish Cir Nw	33.07	35.00	2.52	70.59
731112	Property Owner	City Services	4895 155th Ln Nw	149.34	35.00	11.37	195.71

Account No.	Account Name	Description	Property Address	Delinquent Amount	Admin Fee	Interest (6.00%)	Total Subject to Certification
718276	Property Owner	City Services	4965 155th Ln Nw	1,537.07	35.00	116.99	1,689.06
719412	Property Owner	City Services	4990 150th Ln Nw	715.44	35.00	54.45	804.89
725448	Property Owner	City Services	4991 150th Ln Nw	537.15	35.00	40.88	613.03
735102	Property Owner	City Services	5011 179th Ln Nw	236.96	35.00	18.03	289.99
730561	Property Owner	City Services	5011 179th Ln Nw	20.17	35.00	1.54	56.71
619942281	Property Owner	City Services	5021 143rd Ln Nw	267.24	35.00	20.34	322.58
731362	Property Owner	City Services	5030 179th Ln Nw	129.64	35.00	9.87	174.51
718505	Property Owner	City Services	5041 143rd Ln Nw	754.16	35.00	57.40	846.56
733956	Property Owner	City Services	5075 Xkimo Ct Nw	1,560.21	35.00	118.75	1,713.96
718468	Property Owner	City Services	5108 151st Ave Nw	129.64	35.00	9.87	174.51
34572474	Property Owner	City Services	5143 179th Ln Nw	65.26	35.00	4.97	105.23
731583	Property Owner	City Services	5160 157th Ln Nw	129.64	35.00	9.87	174.51
668157771	Property Owner	City Services	5178 148th Ave Nw	425.78	35.00	32.41	493.19
727418	Property Owner	City Services	5206 150th Ln Nw	129.64	35.00	9.87	174.51
60075024	Property Owner	City Services	5207 150th Ln Nw	129.64	35.00	9.87	174.51
727680	Property Owner	City Services	5221 147th Cir Nw	2,089.83	35.00	159.06	2,283.89
735264	Property Owner	City Services	5231 147th Cir Nw	274.01	35.00	20.85	329.86
620856544	Property Owner	City Services	5231 148th Ave Nw	909.27	35.00	69.20	1,013.47
618202839	Property Owner	City Services	5232 148th Ave Nw	201.55	35.00	15.34	251.89
723120	Property Owner	City Services	5251 149th Ln Nw	804.54	35.00	61.23	900.77
660192154	Property Owner	City Services	5260 149th Ln Nw	1,415.08	35.00	107.70	1,557.78
732277	Property Owner	City Services	5295 142nd Ln Nw	549.58	35.00	41.83	626.41
722238	Property Owner	City Services	5301 156th Ln Nw	129.64	35.00	9.87	174.51
729689	Property Owner	City Services	5304 143rd Ave Nw	767.75	35.00	58.43	861.18
719427	Property Owner	City Services	5324 142nd Ln Nw	828.29	35.00	63.04	926.33
731157	Property Owner	City Services	5334 140th Ave Nw	715.44	35.00	54.45	804.89
624365442	Property Owner	City Services	5342 142nd Ln Nw	715.44	35.00	54.45	804.89
727604	Property Owner	City Services	5344 142nd Cir Nw	715.44	35.00	54.45	804.89
734588	Property Owner	City Services	5356 142nd Cir Nw	217.98	35.00	16.59	269.57
730138	Property Owner	City Services	5360 180th Ave Nw	129.64	35.00	9.87	174.51
733942	Property Owner	City Services	5361 156th Ln Nw	129.64	35.00	9.87	174.51
722718	Property Owner	City Services	5368 140th Ct Nw	621.96	35.00	47.34	704.30
726805	Property Owner	City Services	5385 140th Ave Nw	531.16	35.00	40.43	606.59
724911	Property Owner	City Services	5388 141st Ave Nw	370.61	35.00	28.21	433.82
730022	Property Owner	City Services	5401 145th Ave Nw	420.72	35.00	32.02	487.74
727084	Property Owner	City Services	5407 149th Ln Nw	1,018.32	35.00	77.50	1,130.82
718590	Property Owner	City Services	5410 144th Way Nw Unit 20	755.08	35.00	57.47	847.55
726509	Property Owner	City Services	5414 142nd Ave Nw	715.44	35.00	54.45	804.89
727461	Property Owner	City Services	5418 142nd Ave Nw	715.44	35.00	54.45	804.89
728359	Property Owner	City Services	5419 145th Ave Nw	425.78	35.00	32.41	493.19

Account No.	Account Name	Description	Property Address	Delinquent Amount	Admin Fee	Interest (6.00%)	Total Subject to Certification
718332	Property Owner	City Services	5420 144th Way Nw Unit 16	390.43	35.00	29.72	455.15
714055984	Property Owner	City Services	5420 144th Way Nw Unit 18	867.52	35.00	66.03	968.55
733411	Property Owner	City Services	5420 144th Way Nw Unit 22	176.48	35.00	13.43	224.91
733252	Property Owner	City Services	5425 144th Way Nw Unit 12	555.08	35.00	42.25	632.33
730494	Property Owner	City Services	5425 144th Way Nw Unit 18	719.81	35.00	54.78	809.59
674644633	Property Owner	City Services	5425 152nd Ave Nw	569.78	35.00	43.37	648.15
728558	Property Owner	City Services	5430 144th Way Nw Unit 14	579.53	35.00	44.11	658.64
728654	Property Owner	City Services	5430 144th Way Nw Unit 18	615.69	35.00	46.86	697.55
722372	Property Owner	City Services	5431 164th Ln Nw	129.64	35.00	9.87	174.51
33622379	Property Owner	City Services	5434 180th Ln Nw	33.07	35.00	2.52	70.59
687949106	Property Owner	City Services	5435 144th Way Nw Unit 26	158.90	35.00	12.09	205.99
734996	Property Owner	City Services	5438 145th Ave Nw	240.43	35.00	18.30	293.73
734936	Property Owner	City Services	5440 144th Ave Nw Unit 12	88.45	35.00	6.73	130.18
730558	Property Owner	City Services	5440 144th Way Nw Unit 14	829.28	35.00	63.12	927.40
730529	Property Owner	City Services	5440 144th Way Nw Unit 24	177.08	35.00	13.48	225.56
735012	Property Owner	City Services	5440 145th Ave Nw	341.73	35.00	26.01	402.74
734175	Property Owner	City Services	5441 142nd Ave Nw	97.45	35.00	7.42	139.87
727427	Property Owner	City Services	5441 145th Ave Nw	755.08	35.00	57.47	847.55
668488991	Property Owner	City Services	5443 145th Ave Nw	1,233.95	35.00	93.92	1,362.87
727539	Property Owner	City Services	5450 144th Way Nw Unit 18	556.62	35.00	42.36	633.98
628555082	Property Owner	City Services	5455 152nd Ave Nw	129.64	35.00	9.87	174.51
634621140	Property Owner	City Services	5460 151st Ave Nw	97.45	35.00	7.42	139.87
732548	Property Owner	City Services	5477 Bunker Lake Blvd Nw	426.66	35.00	32.47	494.13
730677	Property Owner	City Services	5489 Bunker Lake Blvd Nw	549.58	35.00	41.83	626.41
732806	Property Owner	City Services	5501 146th Ave Nw	921.46	35.00	70.13	1,026.59
648528080	Property Owner	City Services	5511 150th Ln Nw	201.55	35.00	15.34	251.89
721694	Property Owner	City Services	5515 Bunker Lake Blvd Nw	129.64	35.00	9.87	174.51
492505827	Property Owner	City Services	5521 144th Avenue Nw	1,561.98	35.00	118.88	1,715.86
727314	Property Owner	City Services	5535 149th Ln Nw	755.08	35.00	57.47	847.55
731440	Property Owner	City Services	5545 144th Avenue Nw	1,153.33	35.00	87.78	1,276.11
1236977	Property Owner	City Services	5550 149th Ln Nw	201.55	35.00	15.34	251.89
730954	Property Owner	City Services	5561 148th Ln Nw	468.53	35.00	35.66	539.19
733661	Property Owner	City Services	5575 153rd Ct Nw	596.83	35.00	45.42	677.25
728719	Property Owner	City Services	5590 150th Ln Nw	189.29	35.00	14.41	238.70
730576	Property Owner	City Services	5600 142nd Ave Nw	33.07	35.00	2.52	70.59
414754675	Property Owner	City Services	5601 146th Ave Nw	1,310.01	35.00	99.70	1,444.71
720808	Property Owner	City Services	5617 154th Ln Nw	586.84	35.00	44.66	666.50
722211	Property Owner	City Services	5630 164th Ln Nw	97.45	35.00	7.42	139.87
734885	Property Owner	City Services	5633 154th Ln Nw	201.55	35.00	15.34	251.89
735082	Property Owner	City Services	5636 154th Lane Nw	22.77	35.00	1.73	59.50

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725673	Property Owner	City Services	5639 157th Ave Nw	90.58	35.00	6.89	132.47
722177	Property Owner	City Services	5641 146th Ave Nw	486.64	35.00	37.04	558.68
732700	Property Owner	City Services	5642 154th Lane Nw	111.68	35.00	8.50	155.18
731342	Property Owner	City Services	5646 154th Cv Nw	201.55	35.00	15.34	251.89
732097	Property Owner	City Services	5650 170th Ln Nw	129.40	35.00	9.85	174.25
734143	Property Owner	City Services	5655 149th Ln Nw	201.55	35.00	15.34	251.89
733548	Property Owner	City Services	5660 146th Cir Nw	209.08	35.00	15.91	259.99
726428	Property Owner	City Services	5660 148th Ln Nw	405.95	35.00	30.90	471.85
721456	Property Owner	City Services	5681 146th Ave Nw	859.92	35.00	65.45	960.37
732563	Property Owner	City Services	5695 160th Ln Nw	2,660.85	35.00	202.52	2,898.37
721957	Property Owner	City Services	5698 152nd Way Nw	407.70	35.00	31.03	473.73
726677	Property Owner	City Services	5698 154th Crossing Nw	866.48	35.00	65.95	967.43
616419298	Property Owner	City Services	5706 140th Ln Nw	129.64	35.00	9.87	174.51
734141	Property Owner	City Services	5710 145th Ct Nw	1,227.30	35.00	93.41	1,355.71
719939	Property Owner	City Services	5710 158th Ct	1,252.76	35.00	95.35	1,383.11
655992344	Property Owner	City Services	5710 170th Ln Nw	129.64	35.00	9.87	174.51
727902	Property Owner	City Services	5713 160th Ln Nw	1,301.72	35.00	99.07	1,435.79
731923	Property Owner	City Services	5716 162nd Crossing Nw	860.35	35.00	65.48	960.83
44873504	Property Owner	City Services	5720 164th Ave Nw	129.64	35.00	9.87	174.51
679938193	Property Owner	City Services	5751 145th Ct Nw	670.96	35.00	51.07	757.03
719818	Property Owner	City Services	5770 162nd Ln Nw	1,579.51	35.00	120.22	1,734.73
723112	Property Owner	City Services	5775 152nd Way Nw	361.60	35.00	27.52	424.12
682849014	Property Owner	City Services	5780 155th Ln Nw	166.22	35.00	12.65	213.87
732670	Property Owner	City Services	5787 152nd Way Nw	881.26	35.00	67.07	983.33
670417910	Property Owner	City Services	5803 Alpine Dr Nw	129.64	35.00	9.87	174.51
722900	Property Owner	City Services	5810 164th Ln Nw	129.64	35.00	9.87	174.51
453404808	Property Owner	City Services	5811 157th Ln Nw	1,301.18	35.00	99.03	1,435.21
728580	Property Owner	City Services	5815 158th Ave Nw	1,044.61	35.00	79.50	1,159.11
723928	Property Owner	City Services	5821 160th Ln Nw	129.64	35.00	9.87	174.51
720416	Property Owner	City Services	5821 Sunwood Dr Nw	991.31	35.00	75.45	1,101.76
733607	Property Owner	City Services	5839 141st Ln Nw	1,036.80	35.00	78.91	1,150.71
732654	Property Owner	City Services	5842 158th Ave Nw	1,279.36	35.00	97.37	1,411.73
727568	Property Owner	City Services	5860 141st Ln Nw	390.43	35.00	29.72	455.15
722311	Property Owner	City Services	5870 142nd Ave Nw	869.61	35.00	66.19	970.80
731288	Property Owner	City Services	5871 Sunwood Dr Nw	201.55	35.00	15.34	251.89
673289656	Property Owner	City Services	5911 157th Ln Nw	1,408.16	35.00	107.17	1,550.33
633488521	Property Owner	City Services	5920 159th Ln Nw	100.38	35.00	7.64	143.02
729946	Property Owner	City Services	5930 143rd Ln Nw	876.92	35.00	66.74	978.66
726216	Property Owner	City Services	5930 146th Ave Nw	952.09	35.00	72.46	1,059.55
731306	Property Owner	City Services	5940 143rd Ln Nw	218.32	35.00	16.62	269.94

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720602	Property Owner	City Services	5941 143rd Ln Nw	755.08	35.00	57.47	847.55
221860690	Property Owner	City Services	5941 160th Ln Nw	129.64	35.00	9.87	174.51
495497520	Property Owner	City Services	5951 160th Ln Nw	65.26	35.00	4.97	105.23
74525177	Property Owner	City Services	5959 Bunker Lake Blvd Nw	33.07	35.00	2.52	70.59
720353	Property Owner	City Services	5960 144th Cir Nw	1,064.81	35.00	81.04	1,180.85
724274	Property Owner	City Services	5962 151st Ln Nw	1,764.72	35.00	134.31	1,934.03
730550	Property Owner	City Services	5970 142nd Ave Nw	771.36	35.00	58.71	865.07
718559	Property Owner	City Services	5971 144th Ln Nw	201.55	35.00	15.34	251.89
731454	Property Owner	City Services	5980 145th Ln Nw	419.19	35.00	31.90	486.09
719231	Property Owner	City Services	5981 144th Ln Nw	755.08	35.00	57.47	847.55
704226711	Property Owner	City Services	5991 146th Ave Nw	841.59	35.00	64.05	940.64
400257680	Property Owner	City Services	6001 144th Ln Nw	481.43	35.00	36.64	553.07
733284	Property Owner	City Services	6010 143rd Ln Nw	204.00	35.00	15.53	254.53
730387	Property Owner	City Services	6010 168th Ln Nw	97.45	35.00	7.42	139.87
45753592	Property Owner	City Services	6015 Radium Cir Nw	52.37	35.00	3.99	91.36
733960	Property Owner	City Services	6031 144th Ln Nw	1,128.63	35.00	85.90	1,249.53
729770	Property Owner	City Services	6044 174th Ave Nw	129.64	35.00	9.87	174.51
735315	Property Owner	City Services	6055 157th Ln Nw	33.07	35.00	2.52	70.59
383597330	Property Owner	City Services	6090 145th Ln Nw	264.66	35.00	20.14	319.80
708036839	Property Owner	City Services	6093 146th Ln Nw	277.39	35.00	21.11	333.50
728958	Property Owner	City Services	6097 146th Ave Nw	1,083.20	35.00	82.44	1,200.64
727661	Property Owner	City Services	6112 178th Ln Nw	129.64	35.00	9.87	174.51
734457	Property Owner	City Services	6134 158th Ln Nw	33.07	35.00	2.52	70.59
734541	Property Owner	City Services	6139 157th Ln Nw	1,082.92	35.00	82.42	1,200.34
727357	Property Owner	City Services	6150 145th Ln Nw	390.43	35.00	29.72	455.15
383621341	Property Owner	City Services	6160 144th Ln Nw	881.22	35.00	67.07	983.29
721305	Property Owner	City Services	6161 144th Ln Nw	70.43	35.00	5.36	110.79
733097	Property Owner	City Services	6168 146th Ave Nw	534.52	35.00	40.68	610.20
718562	Property Owner	City Services	6174 146th Ave Nw	968.73	35.00	73.73	1,077.46
730610	Property Owner	City Services	6190 144th Ln Nw	812.34	35.00	61.83	909.17
729525	Property Owner	City Services	6200 142nd Ln Nw	281.60	35.00	21.43	338.03
721499	Property Owner	City Services	6200 145th Ln Nw	1,213.95	35.00	92.39	1,341.34
699422168	Property Owner	City Services	6219 144th Ln Nw	129.64	35.00	9.87	174.51
674033735	Property Owner	City Services	6220 152nd Ave Nw	1,113.71	35.00	84.76	1,233.47
614208206	Property Owner	City Services	6220 Mckinley st Nw	55.55	35.00	4.23	94.78
43623379	Property Owner	City Services	6221 169th Ln Nw	129.64	35.00	9.87	174.51
733070	Property Owner	City Services	6230 141st Ln Nw	1,020.19	35.00	77.65	1,132.84
732955	Property Owner	City Services	6230 Mckinley st Nw ste C	314.05	35.00	23.90	372.95
732198	Property Owner	City Services	6240 141st Ln Nw	1,127.44	35.00	85.81	1,248.25
731354	Property Owner	City Services	6241 180th Ln Nw	129.64	35.00	9.87	174.51

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700054169	Property Owner	City Services	6259 144th Ln Nw	97.45	35.00	7.42	139.87
624617034	Property Owner	City Services	6261 142nd Ln Nw	1,057.36	35.00	80.48	1,172.84
117620878	Property Owner	City Services	6310 153rd Ln Nw	129.64	35.00	9.87	174.51
14871175	Property Owner	City Services	6319 143rd Ln Nw	129.64	35.00	9.87	174.51
721372	Property Owner	City Services	6322 Riverdale Dr Nw	41.64	35.00	3.17	79.81
729903	Property Owner	City Services	6337 143rd Ln Nw	129.64	35.00	9.87	174.51
729649	Property Owner	City Services	6338 154th Ct Nw	720.43	35.00	54.83	810.26
408799324	Property Owner	City Services	6341 167th Ave Nw Unit B	68.19	35.00	5.19	108.38
43243341	Property Owner	City Services	6360 167th Ave Nw	129.64	35.00	9.87	174.51
732581	Property Owner	City Services	6360 Sunfish Lake Ct Nw Unit A	2,051.27	35.00	156.12	2,242.39
45623579	Property Owner	City Services	6370 164th Ln Nw	129.64	35.00	9.87	174.51
71356146	Property Owner	City Services	6384 143rd Ln Nw	129.64	35.00	9.87	174.51
735365	Property Owner	City Services	6410 172nd Ln Nw	33.07	35.00	2.52	70.59
735101	Property Owner	City Services	6430 164th Ln Nw	65.26	35.00	4.97	105.23
719510	Property Owner	City Services	6438 Riverdale Dr	209.61	35.00	15.95	260.56
720120	Property Owner	City Services	6459 144th Ave Nw ste B	487.91	35.00	37.13	560.04
731712	Property Owner	City Services	6460 153rd Ln Nw	129.64	35.00	9.87	174.51
654451299	Property Owner	City Services	6460 153rd Way Nw	201.55	35.00	15.34	251.89
722221	Property Owner	City Services	6480 153rd Way Nw	97.70	35.00	7.44	140.14
624030290	Property Owner	City Services	6481 153rd Way Nw	924.88	35.00	70.39	1,030.27
732373	Property Owner	City Services	6501 Green Valley rd Nw	129.64	35.00	9.87	174.51
494614209	Property Owner	City Services	6501 Mckinley Ave Nw	1,804.80	35.00	137.36	1,977.16
722797	Property Owner	City Services	6611 155th Ave Nw	65.26	35.00	4.97	105.23
732765	Property Owner	City Services	6621 153rd Ct Nw	80.43	35.00	6.12	121.55
732945	Property Owner	City Services	6640 153rd Ct Nw	438.11	35.00	33.34	506.45
731087	Property Owner	City Services	6640 153rd Ln Nw	129.64	35.00	9.87	174.51
42223239	Property Owner	City Services	6700 165th Ln Nw	129.64	35.00	9.87	174.51
729353	Property Owner	City Services	6701 153rd Ct Nw	490.64	35.00	37.34	562.98
730837	Property Owner	City Services	6706 159th Ave Nw	65.26	35.00	4.97	105.23
722482	Property Owner	City Services	6720 158th Ln Nw	129.64	35.00	9.87	174.51
730676	Property Owner	City Services	6728 153rd Ln Nw	129.64	35.00	9.87	174.51
727489	Property Owner	City Services	6743 159th Ave Nw	97.45	35.00	7.42	139.87
729216	Property Owner	City Services	6750 Hwy 10 Nw	911.11	35.00	69.34	1,015.45
47543771	Property Owner	City Services	6767 158th Ln Nw	129.64	35.00	9.87	174.51
731676	Property Owner	City Services	6780 Green Valley rd	129.64	35.00	9.87	174.51
734701	Property Owner	City Services	6787 Green Valley rd Nw	144.11	35.00	10.97	190.08
648832858	Property Owner	City Services	6812 154th Ln Nw	65.26	35.00	4.97	105.23
722543	Property Owner	City Services	6819 164th Ln Nw	129.64	35.00	9.87	174.51
720726	Property Owner	City Services	6820 158th Ln Nw	129.64	35.00	9.87	174.51
735066	Property Owner	City Services	6820 159th Ave Nw	238.90	35.00	18.18	292.08

Account No.	Account Name	Description	Property Address	Delinquent Amount	Admin Fee	Interest (6.00%)	Total Subject to Certification
722418	Property Owner	City Services	6821 147th Ave Nw	1,528.86	35.00	116.36	1,680.22
731153	Property Owner	City Services	6825 151st Ave Nw	129.64	35.00	9.87	174.51
619422855	Property Owner	City Services	6835 164th Ln Nw	129.64	35.00	9.87	174.51
732908	Property Owner	City Services	6841 137th Ln Nw	2,884.09	35.00	219.51	3,138.60
47713788	Property Owner	City Services	6841 158th Ln Nw	129.64	35.00	9.87	174.51
732744	Property Owner	City Services	6841 173rd Ave Nw	129.64	35.00	9.87	174.51
733010	Property Owner	City Services	6854 139th Ln Unit 4	169.28	35.00	12.88	217.16
675624428	Property Owner	City Services	6855 148th Ln Nw	761.00	35.00	57.92	853.92
488325558	Property Owner	City Services	6861 146th Cir Nw	767.02	35.00	58.38	860.40
732155	Property Owner	City Services	6870 139th Ln Nw Unit 3	169.28	35.00	12.88	217.16
722896	Property Owner	City Services	6871 147th Ave Nw	201.55	35.00	15.34	251.89
734523	Property Owner	City Services	6881 137th Ave Nw	3,202.84	35.00	243.77	3,481.61
735445	Property Owner	City Services	6881 147th Ave Nw	182.81	35.00	13.91	231.72
734589	Property Owner	City Services	6886 139th Ln Nw Unit 2	169.28	35.00	12.88	217.16
732282	Property Owner	City Services	6886 139th Ln Nw Unit 7	169.28	35.00	12.88	217.16
668342642	Property Owner	City Services	6890 147th Ave Nw	402.70	35.00	30.65	468.35
723526	Property Owner	City Services	6891 170th Ave Nw	1,036.38	35.00	78.88	1,150.26
734548	Property Owner	City Services	6897 139th Ln Nw 102	631.25	35.00	48.04	714.29
627275804	Property Owner	City Services	6900 148th Ln Nw	1,900.11	35.00	144.62	2,079.73
725615	Property Owner	City Services	6910 147th Ave Nw	763.40	35.00	58.10	856.50
727447	Property Owner	City Services	6920 150th Ave Nw	129.64	35.00	9.87	174.51
731022	Property Owner	City Services	6925 139th Ln Nw	169.28	35.00	12.88	217.16
724419	Property Owner	City Services	6933 139th Ln	169.28	35.00	12.88	217.16
645928746	Property Owner	City Services	6940 152nd Ave Nw	129.64	35.00	9.87	174.51
732053	Property Owner	City Services	6940 169th Ln Nw	1,203.15	35.00	91.57	1,329.72
730537	Property Owner	City Services	6941 147th Ave Nw	500.00	35.00	38.05	573.05
727095	Property Owner	City Services	6952 139th Ave Nw	169.28	35.00	12.88	217.16
710989567	Property Owner	City Services	6960 147th Ave Nw	802.40	35.00	61.07	898.47
722054	Property Owner	City Services	6962 139th Ave	169.28	35.00	12.88	217.16
719797	Property Owner	City Services	6981 137th Ln Nw	974.64	35.00	74.18	1,083.82
725247	Property Owner	City Services	6981 169th Ln Nw	619.35	35.00	47.14	701.49
725598	Property Owner	City Services	6985 139th Ave Nw	169.28	35.00	12.88	217.16
731805	Property Owner	City Services	6985 168th Lane Nw	1,221.46	35.00	92.96	1,349.42
725523	Property Owner	City Services	6991 137th Ln Nw	1,745.93	35.00	132.88	1,913.81
721419	Property Owner	City Services	6992 139th Ln Nw	361.60	35.00	27.52	424.12
735211	Property Owner	City Services	7000 139th Ln Nw	356.79	35.00	27.16	418.95
731642	Property Owner	City Services	7000 149th Ln Nw	129.64	35.00	9.87	174.51
735087	Property Owner	City Services	7000 164th Ave Nw	75.84	35.00	5.77	116.61
734994	Property Owner	City Services	7006 139th Ave Nw	85.08	35.00	6.48	126.56
35912608	Property Owner	City Services	7009 175th Ave Nw	129.64	35.00	9.87	174.51

Account No.	Account Name	Description	Property Address	Delinquent Amount	Admin Fee	Interest (6.00%)	Total Subject to Certification
730277	Property Owner	City Services	7012 139th Ave Nw	169.28	35.00	12.88	217.16
726878	Property Owner	City Services	7017 168th Ave Nw	1,070.71	35.00	81.49	1,187.20
732626	Property Owner	City Services	7020 160th Ln Nw	129.64	35.00	9.87	174.51
56914708	Property Owner	City Services	7025 156th Ave Nw	65.26	35.00	4.97	105.23
732406	Property Owner	City Services	7026 161st Ln Nw	65.26	35.00	4.97	105.23
734867	Property Owner	City Services	7029 167th Ln Nw	214.09	35.00	16.29	265.38
406276984	Property Owner	City Services	7029 Hwy 10 Nw	810.04	35.00	61.65	906.69
422439531	Property Owner	City Services	7031 147th Ln Nw	1,736.99	35.00	132.20	1,904.19
729096	Property Owner	City Services	7035 139th Ave Nw	167.08	35.00	12.72	214.80
732076	Property Owner	City Services	7041 156th Ave Nw	129.64	35.00	9.87	174.51
721259	Property Owner	City Services	7050 137th Ave Nw	986.59	35.00	75.09	1,096.68
425486525	Property Owner	City Services	7051 137th Ave Nw	1,496.20	35.00	113.88	1,645.08
727028	Property Owner	City Services	7051 147th Ln Nw	644.00	35.00	49.01	728.01
733985	Property Owner	City Services	7058 137th Ave Nw	1,660.76	35.00	126.40	1,822.16
729100	Property Owner	City Services	7067 139th Ave	42.98	35.00	3.27	81.25
680087075	Property Owner	City Services	7069 139th Ave	85.08	35.00	6.48	126.56
718401	Property Owner	City Services	7070 148th Ave Nw	1,024.69	35.00	77.99	1,137.68
722400	Property Owner	City Services	7076 139th Ave	169.28	35.00	12.88	217.16
730026	Property Owner	City Services	7080 137th Ave Nw	231.63	35.00	17.63	284.26
727847	Property Owner	City Services	7085 139th Ave	169.28	35.00	12.88	217.16
721604	Property Owner	City Services	7087 159th Ln Nw	129.64	35.00	9.87	174.51
700951707	Property Owner	City Services	7090 159th Ln Nw	129.64	35.00	9.87	174.51
725623	Property Owner	City Services	7091 147th Ave Nw	107.93	35.00	8.21	151.14
719798	Property Owner	City Services	7096 139th Ave Nw	28.91	35.00	2.20	66.11
728826	Property Owner	City Services	7097 167th Ln Nw	20.38	35.00	1.55	56.93
635542758	Property Owner	City Services	7100 148th Ave Nw	755.08	35.00	57.47	847.55
727551	Property Owner	City Services	7100 160th Ln Nw	129.64	35.00	9.87	174.51
719598	Property Owner	City Services	7100 166th Ave Nw	33.07	35.00	2.52	70.59
721672	Property Owner	City Services	7111 175th Ave Nw	129.64	35.00	9.87	174.51
730443	Property Owner	City Services	7122 139th Ave	42.98	35.00	3.27	81.25
733206	Property Owner	City Services	7131 166th Ave Nw	352.72	35.00	26.85	414.57
724958	Property Owner	City Services	7135 170th Trl Nw	1,376.93	35.00	104.80	1,516.73
57144732	Property Owner	City Services	7140 152nd Ave Nw	129.64	35.00	9.87	174.51
56924709	Property Owner	City Services	7145 151st Ave Nw	129.64	35.00	9.87	174.51
633318061	Property Owner	City Services	7180 Sunwood Dr Nw ste 1	175.33	35.00	13.34	223.67
711708649	Property Owner	City Services	7201 152nd Ave Nw	33.07	35.00	2.52	70.59
678110935	Property Owner	City Services	7210 163rd Ave Nw	100.38	35.00	7.64	143.02
56364653	Property Owner	City Services	7220 151st Ave Nw	100.38	35.00	7.64	143.02
723875	Property Owner	City Services	7221 167th Ter Nw	1,122.76	35.00	85.45	1,243.21
728657	Property Owner	City Services	7224 170th Trl Nw	3,209.19	35.00	244.25	3,488.44

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650256659	Property Owner	City Services	7231 150th Ln Nw	129.64	35.00	9.87	174.51
721010	Property Owner	City Services	7231 Sunwood Dr Nw	2,770.07	35.00	210.83	3,015.90
731350	Property Owner	City Services	7235 E Ramsey Pkwy	755.08	35.00	57.47	847.55
56274644	Property Owner	City Services	7240 150th Ln Nw	65.26	35.00	4.97	105.23
660951883	Property Owner	City Services	7240 162nd Ln Nw	65.26	35.00	4.97	105.23
603234106	Property Owner	City Services	7250 181st Ave Nw	65.26	35.00	4.97	105.23
702404821	Property Owner	City Services	7251 166th Ave Nw	129.64	35.00	9.87	174.51
727400	Property Owner	City Services	7261 147th Ter Nw	42.98	35.00	3.27	81.25
447450668	Property Owner	City Services	7261 149th Ave Nw	67.39	35.00	5.13	107.52
718887	Property Owner	City Services	7263 148th Ln Nw	780.36	35.00	59.39	874.75
732961	Property Owner	City Services	7264 147th Ter Nw	42.98	35.00	3.27	81.25
719238	Property Owner	City Services	7266 149th Ave Nw	978.35	35.00	74.46	1,087.81
732972	Property Owner	City Services	7266 Bunker Lake Blvd Nw	755.08	35.00	57.47	847.55
735033	Property Owner	City Services	7267 146th Ave Nw	543.39	35.00	41.36	619.75
733173	Property Owner	City Services	7270 Bunker Lake Blvd Nw	338.16	35.00	25.74	398.90
734651	Property Owner	City Services	7271 146th Ave Nw	595.08	35.00	45.29	675.37
731441	Property Owner	City Services	7277 147th Ter Nw	127.18	35.00	9.68	171.86
734232	Property Owner	City Services	7279 146th Ave Nw	858.99	35.00	65.38	959.37
733932	Property Owner	City Services	7279 147th Ln Nw	31.47	35.00	2.40	68.87
733037	Property Owner	City Services	7280 181st Ave Nw	129.64	35.00	9.87	174.51
733313	Property Owner	City Services	7282 Bunker Lake Blvd Nw	755.08	35.00	57.47	847.55
735213	Property Owner	City Services	7289 146th Ave Nw	374.71	35.00	28.52	438.23
730508	Property Owner	City Services	7290 149th Ln Nw	129.64	35.00	9.87	174.51
720860	Property Owner	City Services	7290 154th Ln Nw	33.07	35.00	2.52	70.59
733970	Property Owner	City Services	7291 146th Ave Nw	755.08	35.00	57.47	847.55
640373530	Property Owner	City Services	7291 152nd Ave Nw	129.64	35.00	9.87	174.51
735396	Property Owner	City Services	7291 152nd Ln Nw	43.30	35.00	3.30	81.60
688670261	Property Owner	City Services	7292 147th Ter Nw	169.28	35.00	12.88	217.16
728469	Property Owner	City Services	7296 147th Ter Nw	127.18	35.00	9.68	171.86
734780	Property Owner	City Services	7300 147th Ter Nw	42.98	35.00	3.27	81.25
729283	Property Owner	City Services	7303 E Ramsey Pkwy	365.65	35.00	27.83	428.48
732013	Property Owner	City Services	7305 147th Ter Nw	169.28	35.00	12.88	217.16
728603	Property Owner	City Services	7320 146th Ave Nw	755.08	35.00	57.47	847.55
638872650	Property Owner	City Services	7320 151st Ln Nw	129.64	35.00	9.87	174.51
732181	Property Owner	City Services	7321 147th Ter Nw	169.28	35.00	12.88	217.16
731667	Property Owner	City Services	7321 151st Ln Nw	129.64	35.00	9.87	174.51
731130	Property Owner	City Services	7321 152nd Ln Nw	129.64	35.00	9.87	174.51
735296	Property Owner	City Services	7334 Bunker Lake Blvd	66.96	35.00	5.10	107.06
731542	Property Owner	City Services	7335 146th Crossing Nw	468.45	35.00	35.65	539.10
730498	Property Owner	City Services	7337 147th Ter Nw	169.28	35.00	12.88	217.16

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728784	Property Owner	City Services	7340 146th Ave Nw	755.08	35.00	57.47	847.55
727592	Property Owner	City Services	7341 154th Ln Nw	129.64	35.00	9.87	174.51
720058	Property Owner	City Services	7342 Bunker Lake Blvd	169.28	35.00	12.88	217.16
728095	Property Owner	City Services	7346 149th Ave Nw	129.64	35.00	9.87	174.51
733968	Property Owner	City Services	7350 151st Ave Nw	33.07	35.00	2.52	70.59
730083	Property Owner	City Services	7354 146th Ave Nw	275.69	35.00	20.98	331.67
731225	Property Owner	City Services	7360 159th Avenue Nw	68.93	35.00	5.25	109.18
734399	Property Owner	City Services	7362 147th Ln Nw	169.28	35.00	12.88	217.16
730711	Property Owner	City Services	7362 159th Ave Nw	648.43	35.00	49.35	732.78
732385	Property Owner	City Services	7366 Bunker Lake Blvd	169.28	35.00	12.88	217.16
735199	Property Owner	City Services	7370 Bunker Lake Blvd Nw	83.12	35.00	6.33	124.45
722892	Property Owner	City Services	7380 152nd Ln Nw	129.64	35.00	9.87	174.51
730991	Property Owner	City Services	7381 168th Circle Nw	1,273.11	35.00	96.90	1,405.01
735501	Property Owner	City Services	7396 159th Ave Nw	201.55	35.00	15.34	251.89
724340	Property Owner	City Services	7404 149th Ave Nw	129.64	35.00	9.87	174.51
720857	Property Owner	City Services	7418 Bunker Lake Blvd	169.28	35.00	12.88	217.16
386213765	Property Owner	City Services	7435 Hwy 10 Nw	1,213.67	35.00	92.37	1,341.04
55204537	Property Owner	City Services	7440 152nd Ave Nw	129.64	35.00	9.87	174.51
703333526	Property Owner	City Services	7440 152nd Ln Nw	129.64	35.00	9.87	174.51
718481	Property Owner	City Services	7450 Bunker Lake Blvd	169.28	35.00	12.88	217.16
718482	Property Owner	City Services	7454 Bunker Lake Blvd	42.98	35.00	3.27	81.25
718568	Property Owner	City Services	7455 163rd Ave Nw	916.56	35.00	69.76	1,021.32
731815	Property Owner	City Services	7503 159th Avenue Nw	539.32	35.00	41.05	615.37
733703	Property Owner	City Services	7513 161st Ave Nw	1,340.58	35.00	102.03	1,477.61
730624	Property Owner	City Services	7518 160th Avenue Nw	1,394.25	35.00	106.12	1,535.37
724072	Property Owner	City Services	7526 147th Cir Nw	121.13	35.00	9.22	165.35
730382	Property Owner	City Services	7540 162nd Ave Nw	200.00	35.00	15.22	250.22
734581	Property Owner	City Services	7547 147th Ln Nw	250.02	35.00	19.03	304.05
730970	Property Owner	City Services	7551 149th Ave Nw	129.64	35.00	9.87	174.51
724251	Property Owner	City Services	7561 152nd Ln Nw	33.07	35.00	2.52	70.59
614755957	Property Owner	City Services	7600 163rd Lane Nw	397.60	35.00	30.26	462.86
721473	Property Owner	City Services	7601 165th Ln Nw	97.45	35.00	7.42	139.87
48603877	Property Owner	City Services	7619 157th Ave Nw	129.64	35.00	9.87	174.51
722686	Property Owner	City Services	7620 165th Ln Nw	97.45	35.00	7.42	139.87
723762	Property Owner	City Services	7631 172nd Ln Nw	129.64	35.00	9.87	174.51
650529890	Property Owner	City Services	7646 158th Ave Nw	129.64	35.00	9.87	174.51
726179	Property Owner	City Services	7650 163rd Ln Nw	129.64	35.00	9.87	174.51
719785	Property Owner	City Services	7651 147th Ter Nw	258.09	35.00	19.64	312.73
727465	Property Owner	City Services	7651 178th Ln Nw	129.64	35.00	9.87	174.51
450826892	Property Owner	City Services	7652 158th Ave Nw	36.00	35.00	2.74	73.74

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734364	Property Owner	City Services	7654 147th Ln Nw	201.55	35.00	15.34	251.89
729338	Property Owner	City Services	7674 147th Ln Nw	1,095.89	35.00	83.41	1,214.30
728809	Property Owner	City Services	7675 147th Ter Nw	852.05	35.00	64.85	951.90
694738093	Property Owner	City Services	7700 169th Ln Nw	129.64	35.00	9.87	174.51
702200619	Property Owner	City Services	7711 178th Ln Nw	129.64	35.00	9.87	174.51
734604	Property Owner	City Services	7720 147th Lane Nw	1,009.52	35.00	76.83	1,121.35
633391698	Property Owner	City Services	7720 150th Ln Nw	129.64	35.00	9.87	174.51
728319	Property Owner	City Services	7720 168th Ave Nw	79.64	35.00	6.06	120.70
735434	Property Owner	City Services	7721 166th Ave Nw	47.70	35.00	3.63	86.33
721327	Property Owner	City Services	7721 168th Ave Nw	79.64	35.00	6.06	120.70
734949	Property Owner	City Services	7729 161st Ave Nw	4,069.00	35.00	309.69	4,413.69
730615	Property Owner	City Services	7730 149th Ln Nw	129.64	35.00	9.87	174.51
440400586	Property Owner	City Services	7731 149th Ln Nw	129.64	35.00	9.87	174.51
732426	Property Owner	City Services	7772 149th Ave Nw	201.55	35.00	15.34	251.89
720477	Property Owner	City Services	7804 149th Ave Nw	1,012.97	35.00	77.10	1,125.07
733641	Property Owner	City Services	7830 156th Ave Nw	65.26	35.00	4.97	105.23
730556	Property Owner	City Services	7831 151st Ln Nw	129.64	35.00	9.87	174.51
719502	Property Owner	City Services	7840 152nd Ln Nw	132.57	35.00	10.09	177.66
722974	Property Owner	City Services	7850 149th Ave Nw	865.47	35.00	65.87	966.34
722253	Property Owner	City Services	7881 148th Ln Nw	917.64	35.00	69.84	1,022.48
480887974	Property Owner	City Services	7920 159th Ln Nw	33.07	35.00	2.52	70.59
730964	Property Owner	City Services	7921 163rd Ln Nw	129.64	35.00	9.87	174.51
479313920	Property Owner	City Services	7950 163rd Ln Nw	129.64	35.00	9.87	174.51
732107	Property Owner	City Services	7959 177th Ave Nw	69.64	35.00	5.30	109.94
731339	Property Owner	City Services	7961 150th Ln Nw	33.07	35.00	2.52	70.59
734566	Property Owner	City Services	7962 Sunwood Dr Nw ste 700	602.14	35.00	45.83	682.97
734899	Property Owner	City Services	8020 149th Crossing Nw	192.37	35.00	14.64	242.01
719956	Property Owner	City Services	8021 176th Ln Nw	129.64	35.00	9.87	174.51
718616	Property Owner	City Services	8021 177th Ave Nw	129.64	35.00	9.87	174.51
735310	Property Owner	City Services	8027 149th Crossing Nw	163.48	35.00	12.44	210.92
65115522	Property Owner	City Services	8030 152nd Ln Nw	129.64	35.00	9.87	174.51
37102727	Property Owner	City Services	8031 176th Ln Nw	129.64	35.00	9.87	174.51
724974	Property Owner	City Services	8055 142nd Ave Nw	129.64	35.00	9.87	174.51
724490	Property Owner	City Services	8059 154th Ave Nw	129.64	35.00	9.87	174.51
734033	Property Owner	City Services	8062 154th Ave Nw	129.64	35.00	9.87	174.51
53434360	Property Owner	City Services	8111 151st Ln Nw	33.07	35.00	2.52	70.59
50584075	Property Owner	City Services	8111 158th Ln Nw	129.64	35.00	9.87	174.51
725657	Property Owner	City Services	8120 154th Ln Nw	129.64	35.00	9.87	174.51
715474311	Property Owner	City Services	8121 153rd Ln Nw	129.64	35.00	9.87	174.51
53934410	Property Owner	City Services	8121 154th Ave Nw	129.64	35.00	9.87	174.51

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729456	Property Owner	City Services	8130 153rd Ln Nw	129.64	35.00	9.87	174.51
67255737	Property Owner	City Services	8141 153rd Ln Nw	33.07	35.00	2.52	70.59
726111	Property Owner	City Services	8150 151st Ln Nw	129.64	35.00	9.87	174.51
722495	Property Owner	City Services	8151 154th Ln Nw	129.64	35.00	9.87	174.51
49994016	Property Owner	City Services	8200 163rd Ave Nw	129.64	35.00	9.87	174.51
728592	Property Owner	City Services	8204 159th Ln Nw	97.45	35.00	7.42	139.87
726434	Property Owner	City Services	8221 159th Ln Nw	129.64	35.00	9.87	174.51
732493	Property Owner	City Services	8230 154th Ln Nw	33.07	35.00	2.52	70.59
50164033	Property Owner	City Services	8250 157th Ln Nw	129.64	35.00	9.87	174.51
724396	Property Owner	City Services	8261 159th Ln Nw	129.64	35.00	9.87	174.51
654348277	Property Owner	City Services	8330 151st Ln Nw	129.64	35.00	9.87	174.51
53634380	Property Owner	City Services	8331 151st Ln Nw	129.64	35.00	9.87	174.51
721279	Property Owner	City Services	8350 158th Ln Nw	129.64	35.00	9.87	174.51
719749	Property Owner	City Services	8361 154th Ave Nw	129.64	35.00	9.87	174.51
735328	Property Owner	City Services	8367 Bunker Lake Blvd Nw	3,446.10	35.00	262.28	3,743.38
483273736	Property Owner	City Services	8376 156th Ln Nw	129.64	35.00	9.87	174.51
728379	Property Owner	City Services	8416 158th Ln Nw	129.64	35.00	9.87	174.51
720125	Property Owner	City Services	8421 154th Ln Nw	129.64	35.00	9.87	174.51
734620	Property Owner	City Services	8442 152nd Ln Nw	1,002.32	35.00	76.29	1,113.61
734849	Property Owner	City Services	8455 152nd Lane Nw	662.49	35.00	50.42	747.91
734879	Property Owner	City Services	8498 152nd Lane Nw	205.32	35.00	15.63	255.95
733776	Property Owner	City Services	8502 164th Cir Nw	129.64	35.00	9.87	174.51
735313	Property Owner	City Services	8518 152nd Lane Nw	346.79	35.00	26.39	408.18
728350	Property Owner	City Services	8541 154th Ln Nw	129.64	35.00	9.87	174.51
664105424	Property Owner	City Services	8610 171st Ave Nw	129.64	35.00	9.87	174.51
734613	Property Owner	City Services	8642 145th Ln Nw	1,134.41	35.00	86.34	1,255.75
729991	Property Owner	City Services	8642 149th Court Nw	604.87	35.00	46.04	685.91
728866	Property Owner	City Services	8643 174th Ln Nw	129.64	35.00	9.87	174.51
729929	Property Owner	City Services	8645 176th Ave Nw	79.64	35.00	6.06	120.70
728898	Property Owner	City Services	8661 174th Ln Nw	129.64	35.00	9.87	174.51
733832	Property Owner	City Services	8663 152nd Avenue Nw	390.43	35.00	29.72	455.15
734796	Property Owner	City Services	8670 145th Ln Nw	1,019.25	35.00	77.57	1,131.82
732223	Property Owner	City Services	8694 151st Ave Nw	118.57	35.00	9.02	162.59
733453	Property Owner	City Services	8698 149th Curve Nw	201.80	35.00	15.36	252.16
733424	Property Owner	City Services	8719 152nd Ave Nw	201.55	35.00	15.34	251.89
731534	Property Owner	City Services	8742 149th Avenue Nw	415.71	35.00	31.64	482.35
731733	Property Owner	City Services	8758 149th Avenue Nw	427.85	35.00	32.56	495.41
733479	Property Owner	City Services	8781 Royal Ct	33.07	35.00	2.52	70.59
735397	Property Owner	City Services	8784 149th Avenue Nw	1,076.90	35.00	81.96	1,193.86
734217	Property Owner	City Services	8788 151st Avenue Nw	630.85	35.00	48.01	713.86

Account No.	Account Name	Description	Property Address	Delinquent Amount	Admin Fee	Interest (6.00%)	Total Subject to Certification
734503	Property Owner	City Services	8843 152nd Lane Nw	218.73	35.00	16.65	270.38
734255	Property Owner	City Services	8879 152nd Lane Nw	769.42	35.00	58.56	862.98
730406	Property Owner	City Services	8901 175th Ln Nw	33.07	35.00	2.52	70.59
720249	Property Owner	City Services	8901 178th Ave Nw	129.64	35.00	9.87	174.51
733853	Property Owner	City Services	8907 152nd Lane Nw	755.08	35.00	57.47	847.55
729493	Property Owner	City Services	8910 178th Ave Nw	129.64	35.00	9.87	174.51
38352852	Property Owner	City Services	8960 178th Cir Nw	126.71	35.00	9.64	171.35
731536	Property Owner	City Services	8964 Hwy 10 Nw	129.64	35.00	9.87	174.51
734517	Property Owner	City Services	8980 152nd Lane Nw	816.79	35.00	62.17	913.96
734749	Property Owner	City Services	8994 152nd Lane Nw	429.98	35.00	32.73	497.71
727956	Property Owner	City Services	9000 168th Ave Nw	129.64	35.00	9.87	174.51
727451	Property Owner	City Services	9000 181st Ave Nw	65.26	35.00	4.97	105.23
386814938	Property Owner	City Services	9016 Collins Dr Nw	33.07	35.00	2.52	70.59
726319	Property Owner	City Services	9020 168th Ave Nw	33.07	35.00	2.52	70.59
731762	Property Owner	City Services	9041 169th Avenue Nw	65.26	35.00	4.97	105.23
52324249	Property Owner	City Services	9053 Collins Dr Nw	129.64	35.00	9.87	174.51
724784	Property Owner	City Services	9055 173rd Ave Nw	33.07	35.00	2.52	70.59
735067	Property Owner	City Services	9100 181st Ave Nw	129.64	35.00	9.87	174.51
730645	Property Owner	City Services	9101 167th Ave Nw	97.45	35.00	7.42	139.87
431112246	Property Owner	City Services	9124 Collins Dr Nw	129.64	35.00	9.87	174.51
727352	Property Owner	City Services	9131 178th Ave Nw	129.64	35.00	9.87	174.51
661503825	Property Owner	City Services	9410 180th Ave Nw	129.64	35.00	9.87	174.51
726938	Property Owner	City Services	9501 Ermine Blvd Nw	129.64	35.00	9.87	174.51
726787	Property Owner	City Services	9560 181st Ave Nw	97.45	35.00	7.42	139.87
726326	Property Owner	City Services	9619 Hwy 10 Nw	1,759.37	35.00	133.90	1,928.27

**Utility Billing Total: \$ 435,248.44 \$ 34,475.00 \$ 33,127.67 \$ 502,851.11**

31487	Property Owner	Admin Citation 0139	15230 Uranimite St Nw	75.00	35.00	5.71	115.71
31750	Property Owner	Citation 0166	15255 Tiger St Nw	75.00	35.00	5.71	115.71
31331	Property Owner	Citation 0136	15421 Nutria St Nw	500.00	35.00	38.05	573.05
32070	Property Owner	Demo Property	15740 Ramsey Blvd	42,950.00	35.00	3,268.91	46,253.91
31926	Property Owner	Asbestos Assessment	15740 Ramsey Blvd	575.00	-	43.76	618.76
32036	Property Owner	Board up Broken Window	15740 Ramsey Blvd	100.05	-	7.61	107.66
31752	Property Owner	Citation 0463	17455 Nowthen Blvd	75.00	35.00	5.71	115.71
31483	Property Owner	Admin Citation 0159	17511 Unicorn St Nw	75.00	35.00	5.71	115.71
31480	Property Owner	Admin Citation 0455	4990 150th Lane Nw	500.00	35.00	38.05	573.05
32034	Property Owner	Voluntary Abatement	5431 164th Lane Nw	1,620.28	35.00	123.32	1,778.60
31492	Property Owner	Admin Citation 0153	5840 141st Lane Nw	75.00	35.00	5.71	115.71

Account No.	Account Name	Description	Property Address	Delinquent Amount	Admin Fee	Interest (6.00%)	Total Subject to Certification
31733	Property Owner	False Alarms	6459 144th Ave Nw	75.00	35.00	5.71	115.71
31475	Property Owner	Citation 0141	7040 157th Lane Nw	75.00	35.00	5.71	115.71
31760	Property Owner	Admin Citation 0168	7830 148th Lane Nw	75.00	35.00	5.71	115.71

<b>Accounts Receivable Total:</b>				<b>\$ 46,845.33</b>	<b>\$ 420.00</b>	<b>\$ 3,565.38</b>	<b>\$ 50,830.71</b>
<b>Total Accounts Subject to Property Tax Certification:</b>				<b>\$ 482,093.77</b>	<b>\$ 34,895.00</b>	<b>\$ 36,693.05</b>	<b>\$ 553,681.82</b>

**CC Regular Session New****Meeting Date:** 09/24/2024**Primary Strategic Plan Initiative:** Promote economic growth and development.**Title:**

PUBLIC HEARING: Adopt Resolution #24-266 Vacating a Right-of-Way Easement Encumbering the Northern Cul-de-Sac on Bowers Drive Associated with Pearson Place 2nd Addition (Project No. 24-100); Case of Development Consulting Services, LLC

**Purpose/Background:**

The City has received an application from Development Consulting Services, LLC (the "Applicant") for an Easement Vacation and Final Plat for Pearson Place 2nd Addition. The property is legally described as Outlot A, Riverstone South, and is situated between Highway 10, Bowers Drive, Riverdale Drive, and 148th Avenue (the "Subject Property"). A separate case, on this evening's Consent Agenda, addresses the Final Plat and Development Agreement. This case focuses solely on the Easement Vacation.

**Notification:**

A notification was posted in the August 23, 2024, Anoka Union Herald and emailed notices were sent to the private utility companies operating in Ramsey. Furthermore, property owners within 350 feet of the Subject Property were mailed a notice of the Public Hearing for the easement vacation as well.

**Time Frame/Observations/Alternatives:**

As part of the Ramsey Gateway Highway 10 project, the Bowers Drive connection to Highway 10 was eliminated in late 2022 and/or early 2023. At that time, the City installed a cul-de-sac bulb at the north end of Bowers Drive, which required a Right-of-Way Easement (Document No. 2368247.007). Now that the Subject Property is being platted into three (3) residential lots, this easement is no longer necessary, as right-of-way will be dedicated with the recording of the Pearson Place 2nd Addition plat. By vacating this right-of-way easement and capturing the necessary right-of-way via the plat, it keeps the title clean. Ultimately, the location and area of right-of-way will be the same, but now it will be reflected on the plat and on the parcel layer used with GIS.

The City did hear from one private utility company (Lumen), who noted that they have both overhead and underground cables along the east side of Bowers Drive and preferred to keep their easement rights. Since the easement vacation would be contingent upon the recording of the Pearson Place 2nd Addition plat, it will have no bearing on their infrastructure or their right to access their infrastructure.

Both the Applicant and the Property Owner (Pearsons) have requested that they not be responsible for the costs associated with this request (costs would include the public hearing notice in the newspaper, mailing of the public hearing notice to property owners within 350 feet of the Subject Property, Staff time for case preparation, and recording costs). They have stated that the easement benefited the City of Ramsey and that they granted the easement at no cost and therefore, their belief is that the City should be responsible for the cost associated with vacating this right-of-way easement. Staff is seeking direction from City Council on the Applicant's request to waive any costs associated with this aspect of the project.

**Funding Source:**

Typically, the Applicant would be responsible for all costs associated with this request. However, as previously noted, the Applicant and the Property Owner have asked that City Council consider waiving their financial responsibility related to the easement vacation.

**Recommendation:**

Staff recommends vacating the right-of-way easement, contingent upon recording of the Pearson Place 2nd Addition Final Plat.

**Outcome/Action:**

Motion to adopt Resolution #24-266 vacating the right-of-way easement (Document No. 2368247.007) encumbering the Subject Property.

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**Attachments**

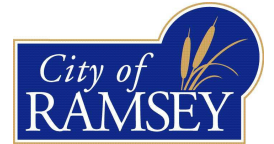
- Site Location Map
- Document No. 2368247.007 (Right of Way Easement Agreement)
- Pearson Place 2nd Addition Final Plat
- Resolution #24-266: Easement Vacation
- Fee Request Email

**Form Review**

<b>Inbox</b>	<b>Reviewed By</b>	<b>Date</b>
Brian Hagen	Brian Hagen	09/19/2024 10:49 AM
Form Started By: Chris Anderson		Started On: 09/13/2024 11:42 AM
Final Approval Date: 09/19/2024		

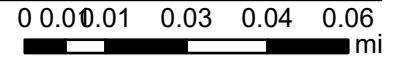
303225110034  
Bower Drive

# Pearson Place 2nd Addition Easement Vacation



LOGIS, Three Rivers Park District, Esri, HERE, Garmin, INCREMENT P, NGA, USGS

Print Date: January 17, 2024



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**RIGHT-OF-WAY EASEMENT AGREEMENT**

ALAN R. PEARSON and ELIZABETH J. PEARSON, TRUSTEES husband and wife, owners of real property located at 8846 Bowers Drive, Ramsey, Minnesota, "LANDOWNER", hereby grants, sells, and conveys in consideration of One Dollar to the CITY OF RAMSEY, a Minnesota municipal corporation, "CITY", a perpetual easement for the public purposes described in paragraph 1 below, over, under and upon the real property described as follows:

See attached **Exhibit A** for legal description and diagram (the "Easement Area")

**EXEMPT FROM STATE DEED TAX**

1. **The Easement Purposes.** The Easement shall be used for the following public purposes:

A perpetual easement for right of way purposes over, under and across that part of OUTLOT A, RIVERSTONE SOUTH, according to the recorded plat thereof, Anoka County, Minnesota, lying within the circumference of a circle having a radius of 65.00 feet, the center of said circle is described as follows:

Commencing at the most northerly corner of said OUTLOT A, thence on an assumed bearing of South 22 degrees 30 minutes 18 seconds West, along the northwest line of said OUTLOT A, a distance of 94.69 feet; thence North 67 degrees 29 minutes 42 seconds West, a distance of 1.18 feet, to the center of said circle and there terminating.

2. **Hazardous Substances.**

The CITY shall not be responsible for any costs, expenses, damages, demands, obligations, including penalties and attorney's fees, or losses resulting from any claims, actions, suits, or proceedings based upon a release or threat of release of any hazardous substances, pollutants, or contaminants which may have existed on, or which relate to the Easement Area or adjacent property prior to the date hereof.

3. **Liability and Indemnification.**

To the extent allowed by law, the **CITY** hereby agrees to indemnify and save the **LANDOWNER** harmless from and against any and all suits, demands, liabilities, costs and other expenses, including reasonable attorney's fees, incurred in connection with or arising out of the use of the Easement Area by the **CITY**, its contractors and agents, or the general public, for the purposes granted herein, excluding, however, from such indemnity any loss resulting from acts of **LANDOWNER**.

4. **No Waiver of Governmental Immunity.**

Nothing contained herein shall be deemed a waiver by the **CITY** of any governmental immunity defenses, statutory or otherwise. Further, any and all claims brought by **LANDOWNER**, its successors or assigns, shall be subject to any government immunity defenses of the **CITY** and maximum liability limits provided in Minnesota Statute Chapter 466.

5. **Disposal of Excavated Material.**

The right is hereby granted to the **CITY** to remove or otherwise dispose of all earth or other material excavated from the Easement Area as the **CITY** may deem fit, and to remove trees, brush, undergrowth and other obstructions interfering with the location, construction and maintenance of the Easement Area.

6. **Granting Clause.**

**LANDOWNER** covenants that they are the fee owners of the Easement Area and have the right, title, and capacity to grant the Easement for the purposes described herein.

IN WITNESS WHEREOF, the LANDOWNER has caused this Easement Agreement to be executed on this the 14 day of June, 2022.

LANDOWNER

By: Alan R. Pearson  
Alan R. Pearson

By: Elizabeth J. Pearson  
Elizabeth J. Pearson

THIS INSTRUMENT WAS DRAFTED BY:


The City of Ramsey  
7550 Sunwood Drive NW  
Ramsey, MN 55303  
Ph. (763) 427-1410

THIS INSTRUMENT WAS REVIEWED BY:

HKB LAW, P.A.  
Frederic W. Knaak, Attorney  
4501 Allendale Drive  
St. Paul, MN 55127  
Ph. (612) 490-9078

STATE OF MINNESOTA )  
 ) SS.  
COUNTY OF ANOKA )

The forgoing instrument was acknowledged before me on this the 14<sup>th</sup> day of June, 2022, by Alan R. Pearson, owner of real property having the address of 8846 Bowers Drive N.W., Ramsey, Minnesota.

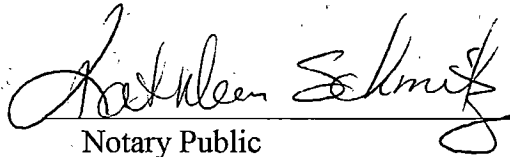
  
\_\_\_\_\_  
Notary Public

NOTARIAL STAMP OR SEAL (OR OTHER TITLE OR RANK)



STATE OF MINNESOTA )  
 ) SS.  
COUNTY OF ANOKA )

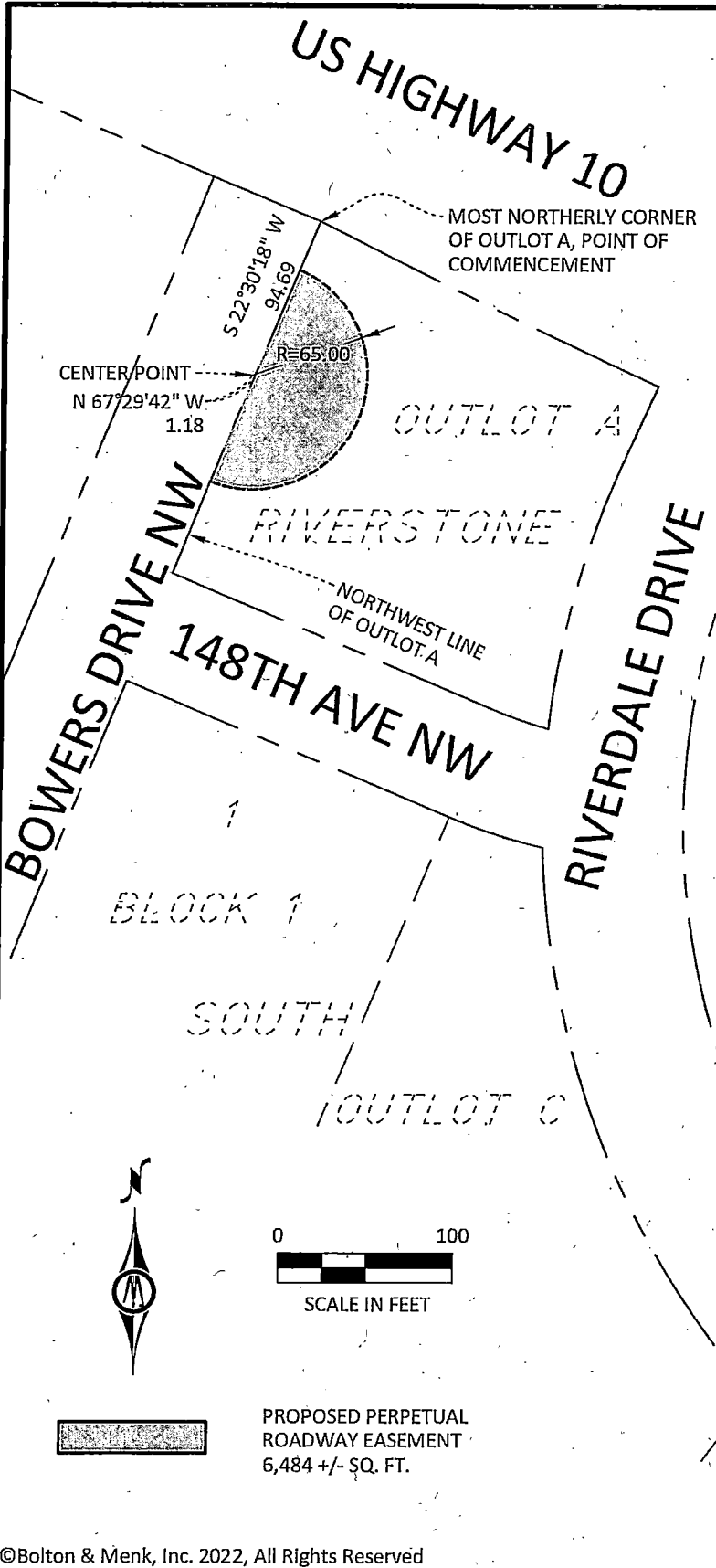
The forgoing instrument was acknowledged before me on this the 14<sup>th</sup> day of June, 2022, by Elizabeth J. Pearson, owner of real property having the address of 8846 Bowers Drive N.W., Ramsey, Minnesota.

  
\_\_\_\_\_  
Notary Public

NOTARIAL STAMP OR SEAL (OR OTHER TITLE OR RANK)



EXHIBIT A



PROPOSED DESCRIPTION:

A perpetual easement for right of way purposes over, under and across that part of OUTLOT A, RIVERSTONE SOUTH, according to the recorded plat thereof, Anoka County, Minnesota, lying within the circumference of a circle having a radius of 65.00 feet, the center of said circle is described as follows:

Commencing at the most northerly corner of said OUTLOT A, thence on an assumed bearing of South 22 degrees 30 minutes 18 seconds West, along the northwest line of said OUTLOT A, a distance of 94.69 feet; thence North 67 degrees 29 minutes 42 seconds West, a distance of 1.18 feet, to the center of said circle and there terminating.

SURVEYOR'S NOTES:

1. This survey was performed, and the survey map prepared, without benefit of either a title insurance commitment or an attorney's title opinion. The record boundary and easement information (if any) shown hereon is based on information provided by the client. Research of documents affecting title to the property surveyed or adjoining properties has been limited to a cursory review of record information and it is recommended that all title matters affecting this property and survey be reviewed by an attorney or other title professional.
2. Distances are in feet.
3. Bearings shown on this survey assume the northwest line of OUTLOT A bears South 22 degrees 30 minutes 18 seconds West

SURVEYOR'S CERTIFICATION

I hereby certify that this survey was prepared by me or under my direct supervision and that I am a duly licensed land surveyor under the laws of the State of Minnesota.

*Andrew Hill*  
 Andrew Hill  
 License Number 57632

05/13/2022  
 Date

PROPOSED PERPETUAL  
 ROADWAY EASEMENT  
 6,484 +/- SQ. FT.

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EASEMENT EXHIBIT  
 BOWERS DRIVE NORTHWEST, CITY OF RAMSEY, MINNESOTA

OUTLOT A  
 RIVERSTONE SOUTH  
 ANOKA COUNTY, MINNESOTA

FOR: CITY OF RAMSEY



7533 SUNWOOD DR NW, SUITE 206  
 RAMSEY, MINNESOTA 55303  
 (763) 433-2851

H:\RAMS\0R1125907\CAD\C3D\125907 V PROP 4.dwg 5/13/2022 8:17 AM

R25-T32-S30-11

PRELIMINARY COPY  
UNRECORDED AS OF 09-05-2024

# PEARSON PLACE SECOND ADDITION

City of Ramsey  
County of Anoka  
Sec. 30, T32, R25

KNOW ALL PERSONS BY THESE PRESENTS: That Alan R. Pearson and Elizabeth J. Pearson, Trustees of the Elizabeth J. Pearson Trust u/a dated April 7, 2005, owners of the following described property situated in the City of Ramsey, County of Anoka, State of Minnesota:

OUTLOT A, RIVERSTONE SOUTH, Anoka County, Minnesota.

Have caused the same to be surveyed and platted as PEARSON PLACE SECOND ADDITION and does hereby dedicate to the public for public use the public way and drainage and utility easements as shown on this plat.

In witness whereof said Alan R. Pearson and Elizabeth J. Pearson, as Trustees of the Elizabeth J. Pearson Trust u/a dated April 7, 2005, have hereunto set their hands this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Alan R. Pearson, as Trustees of the Elizabeth J. Pearson Trust u/a dated April 7, 2005  
Elizabeth J. Pearson, as Trustees of the Elizabeth J. Pearson Trust u/a dated April 7, 2005

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_ by Alan R. Pearson and Elizabeth J. Pearson, Trustees of the Elizabeth J. Pearson Trust u/a dated April 7, 2005.

\_\_\_\_\_  
(Signature)  
\_\_\_\_\_  
(Print Name)

Notary Public, \_\_\_\_\_ County, Minnesota  
My Commission Expires \_\_\_\_\_

I Jason E. Rud do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Jason E. Rud, Licensed Land Surveyor  
Minnesota License No. 41578

STATE OF MINNESOTA  
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me this \_\_\_\_ day of \_\_\_\_\_, 20\_\_ by Jason E. Rud.

\_\_\_\_\_  
(Signature)  
\_\_\_\_\_  
(Print Name)

Notary Public, \_\_\_\_\_ County, Minnesota  
My Commission Expires \_\_\_\_\_

CITY COUNCIL, CITY OF RAMSEY, MINNESOTA  
This plat of PEARSON PLACE SECOND ADDITION was approved and accepted by the City Council of the City of Ramsey, Minnesota at a regular meeting thereof held this \_\_\_\_ day of \_\_\_\_\_, 20\_\_, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

City Council, City of Ramsey, Minnesota

By \_\_\_\_\_ Mayor By \_\_\_\_\_ Clerk

COUNTY SURVEYOR  
I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

Charles F. Gitzen  
Anoka County Surveyor

COUNTY AUDITOR/TREASURER  
Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20\_\_ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.

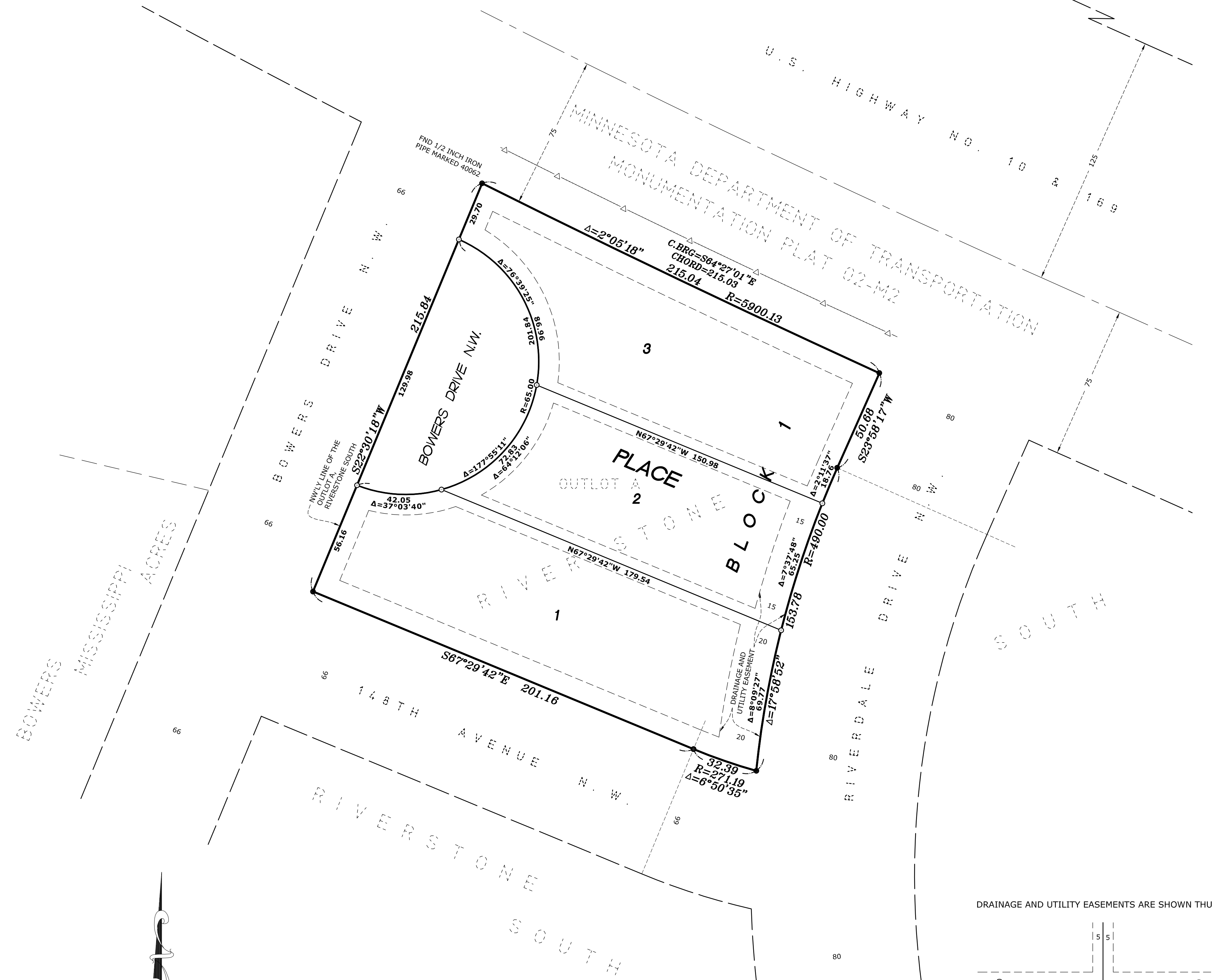
Property Tax Administrator  
By \_\_\_\_\_, Deputy

COUNTY RECORDER/REGISTRAR OF TITLES  
COUNTY OF ANOKA, STATE OF MINNESOTA

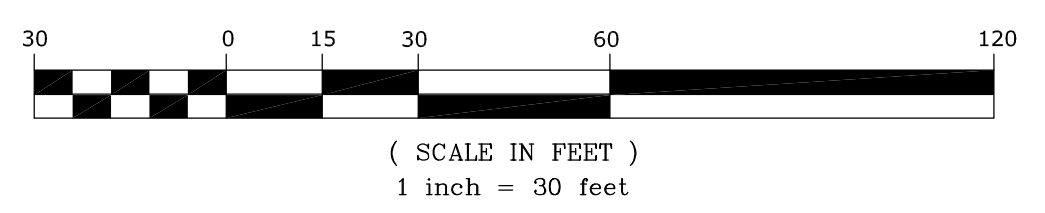
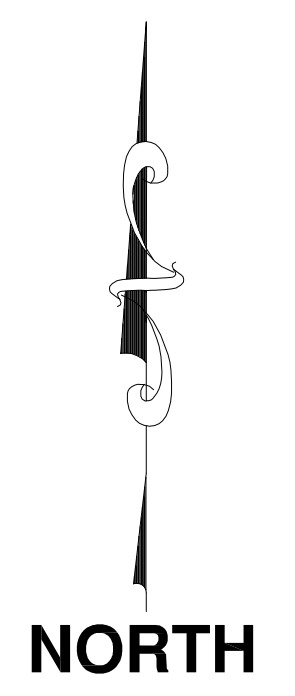
I hereby certify that this plat of PEARSON PLACE SECOND ADDITION was filed in the office of the County Recorder/Registrar of Titles for public record on this \_\_\_\_ day of \_\_\_\_\_, 20\_\_, at \_\_\_\_ o'clock \_\_\_\_ M. and was duly recorded as Document Number \_\_\_\_\_.

County Recorder/Registrar of Titles

By \_\_\_\_\_, Deputy



MISSISSIPPI ACRES



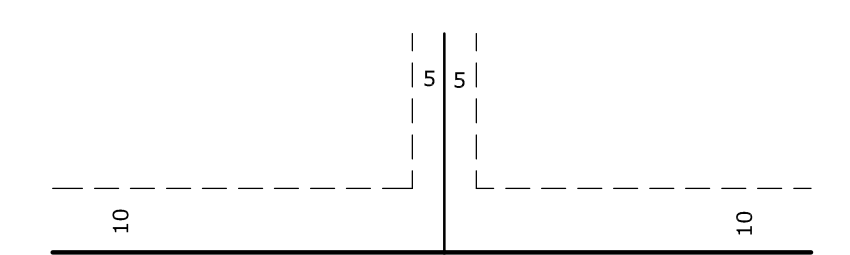
(SCALE IN FEET)  
1 inch = 30 feet

### LEGEND

- DENOTES 5/8 INCH REBAR MONUMENT FOUND, MARKED RLS 40361.
- DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET, MARKED RLS NO. 41578
- △— DENOTES RIGHT OF ACCESS DEDICATED TO THE STATE OF MINNESOTA PER THE RECORDED PLAT OF RIVERSTONE SOUTH.

FOR THE PURPOSES OF THIS PLAT, THE NORTHWESTERLY LINE OF OUTLOT A, RIVERSTONE SOUTH ADDITION IS ASSUMED TO HAVE A BEARING OF SOUTH 22 DEGREES 30 MINUTES 18 SECONDS WEST.

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



BEING 5 FEET IN WIDTH, AND ADJOINING SIDE LOT LINES, AND 10 FEET IN WIDTH AND ADJOINING RIGHT OF WAY LINES, AND REAR LOT LINES, UNLESS OTHERWISE SHOWN ON THIS PLAT.

**E. G. RUD & SONS, INC.**  
Professional Land Surveyors  
EST. 1977

Councilmember \_\_\_\_\_ introduced the following resolution and moved for its adoption:

**RESOLUTION #24-266**

**RESOLUTION APPROVING THE VACATION OF A RIGHT-OF-WAY EASEMENT  
ENCUMBERING OUTLOT A, RIVERSTONE SOUTH**

**RECITALS**

**WHEREAS**, Development Consulting Services, LLC (the “Applicant”) has requested the vacation of the Right-of-Way Easement, recorded as Document No. 2368247.007, on the property generally located between Highway 10, Bowers Drive, Riverdale Drive, and 148<sup>th</sup> Avenue and legally described as:

Outlot A, Riverstone South

(the “Subject Property”); and

**WHEREAS**, a public hearing, pursuant to Section 106-260 (Easement Vacation) of the Ramsey City Code and Section 12.6 of the City Charter, was held on September 24, 2024, and that said public hearing was properly advertised and that the minutes of said public hearing are available; and

**WHEREAS**, the Right-of-Way Easement will be replaced with dedicated right-of-way with the recording of the plat known as Pearson Place 2<sup>nd</sup> Addition; and

**WHEREAS**, the Ramsey Engineering Department has reviewed the request and has no objection to the easement vacation.

**FINDINGS OF FACT**

1. That the easement vacation will not violate the intent and purpose of the Comprehensive Plan.
2. That the easement vacation is necessary to accommodate a building expansion on the Subject Property.

**NOW THEREFORE, BE IT RESOLVED BY THIS CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:**

- 1) That the Ramsey City Council hereby grants the vacation of the right-of-way easement as described in Document No. 2368247.007 and depicted on Exhibit 1, contingent upon the recording of the plat known as Pearson Place 2<sup>nd</sup> Addition, which will replace the easement with right-of-way dedicated to the public.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember \_\_\_\_\_, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

Whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 24<sup>th</sup> day of September, 2024.

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Mayor

**ATTEST:**

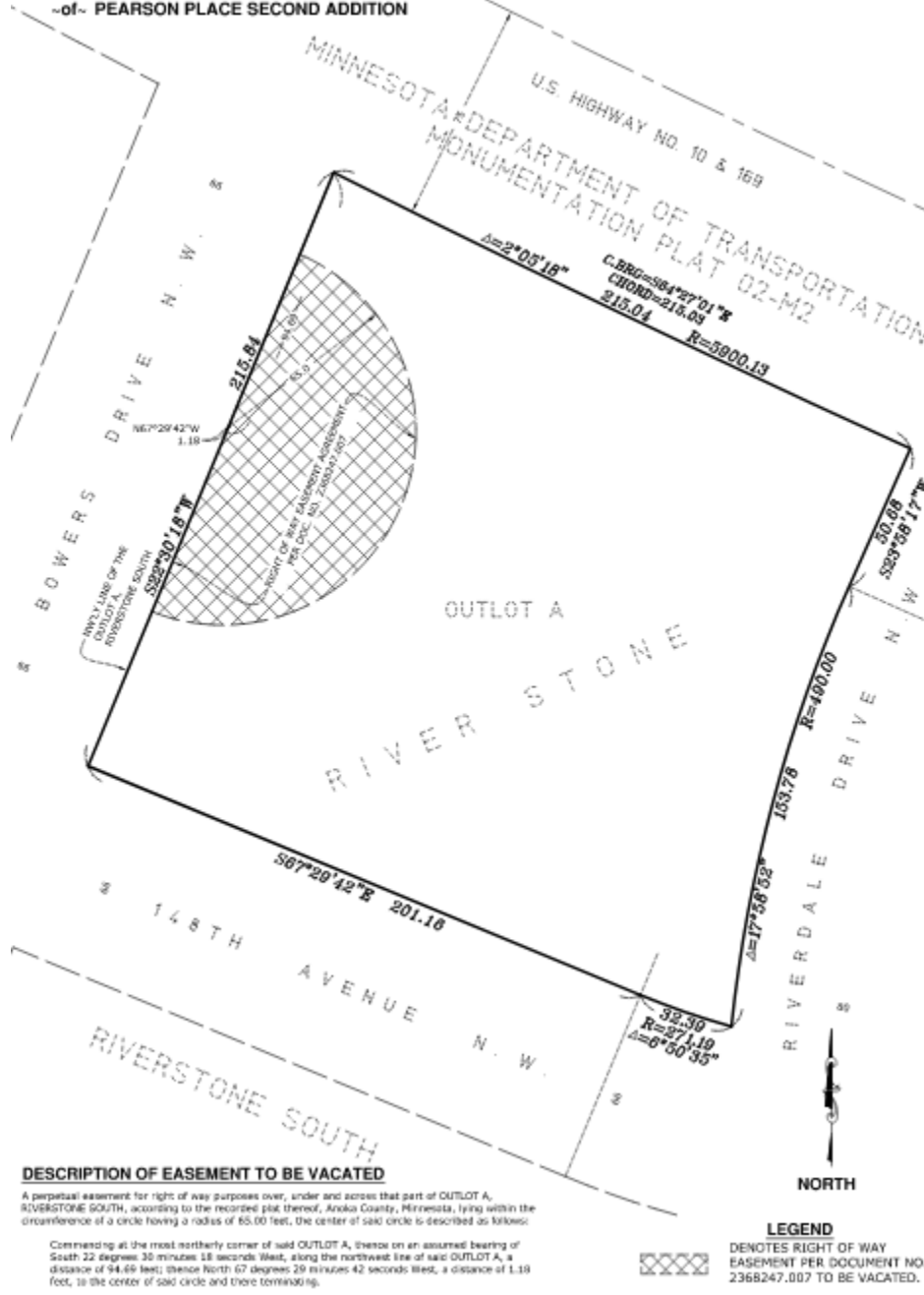
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City Clerk

Exhibit 1

**RIGHT OF WAY EASEMENT VACATION EXHIBIT**

-for- DEVELOPMENT CONSULTING SERVICES, INC.  
 -of- PEARSON PLACE SECOND ADDITION



**From:** [EJohn D](#)  
**To:** [Chris Anderson](#)  
**Cc:** [Jason Rud](#); [James E. Napier](#); [Todd Larson](#); [Bruce Westby](#)  
**Subject:** Re: Pearson Place 2nd  
**Date:** Thursday, August 15, 2024 2:10:56 PM  
**Attachments:** [image002.png](#)  
[image003.png](#)  
[image004.png](#)  
[PP 2 .pdf](#)

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Hi Chris ,

Here you go. Thanks for the follow up.

The Pearson 's and I believe there should not be a fee for the ROW vacation as the ROW was at the city's request and the cities benefit , Pearson's donated the land for free when encumbered. Can you please make that request part of our submittal and a request of the City Council?

What else do I need to get you?

Thanks

On Mon, Aug 12, 2024 at 1:12 PM Chris Anderson <[CAnderson@ci.ramsey.mn.us](mailto:CAnderson@ci.ramsey.mn.us)> wrote:

John,

Regarding the application that you dropped off this afternoon, there are a couple of corrections needed. This application should be for a Final Plat (not Administrative Plat nor Administrative Site Plan) and Easement Vacation (to vacate the right-of-way easement encumbering the cul-de-sac). Can you please redo the 1<sup>st</sup> page of the application with these boxes checked and send that to me? Thank you.

**Chris Anderson**

*Senior Planner*

763-433-9817 | Office

[CAnderson@cityoframsey.com](mailto:CAnderson@cityoframsey.com)

[www.cityoframsey.com](http://www.cityoframsey.com)

7550 Sunwood Dr. NW | Ramsey, MN 55303



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**From:** Chris Anderson  
**Sent:** Tuesday, June 25, 2024 2:07 PM

**CC Regular Session New**

**Meeting Date:** 09/24/2024

**Primary Strategic Plan Initiative:** Identify and implement operational efficiencies, cost savings and additional funding sources.

**Title:**

Adopt Resolution 24-262 Adopting Proposed 2025 Payable Tax Levies (General, Pavement Management, EDA and Debt Service) & Schedule Public Hearing for November 26, 2024; Adopt Resolution #24-263 Adopting Proposed 2025 General Fund Budget and Resolution #24-264 Adopting Proposed 2025 EDA Budget.

**Purpose/Background:**

Purpose: Each taxing authority must certify its proposed preliminary property tax levies for payable 2025 to the County Auditor by September 30, 2024.

A budget/levy slide presentation will be provided that will outline the city's proposed 2025 levies and General Fund Budget.

The city held several worksessions on the proposed 2025 preliminary budget and related levies, with the last worksession, prior to preliminary adoption, being held on September 10, 2024.

**Proposed 2025 Payable Tax Levy:**

**Proposed Tax Levies:**

General Fund Levy:	\$ 16,931,046
Pavement Management Fund Levy (Included in General Levy)	\$ 1,936,970
EDA Levy (Included in General Levy)	\$ 86,367
Debt Service Levy: CIP Bond (Municipal Center) (Being Requested)	\$ 840,650
Debt Service Levy - CIP Bond ( Fire Station #2)	\$ 283,749
Debt Service Levy - 2023 Equipment Certificates	\$ 188,738
2022 Reconstruction Debt - \$12M of additional Road Projects	\$ 1,089,694
Debt Service Levy - CIP Bond (Public Works Campus)	\$ 127,276
2015 Reconstruction Debt - Garnet Street & Overlays	\$ 114,222
2016 Reconstruction Debt - Andrie & Overlays	\$ 146,371
2017 Reconstruction Debt - Sunwood Drive & Alpine	\$ 91,875
2018 Reconstruction Debt - River's Bend & Stanhope Terrace	\$ 113,792
<b>Total Proposed Levy - 2025</b>	<b>\$ 21,950,694</b>

Based upon the proposed levy, the City's estimated tax rate is projected to increase in 2025 from 41.431% (2024) to 46.497% subject to final property and tax calculations by the County. The attached resolution, as it is presented, reflects a levy of \$21,950,694. The proposed levy for 2025 reflects a \$1,670,993 (8.24% increase) over the adopted levy in 2024 of \$20,279,701.

The levy increase of \$1,670,993 has the following contributing factors:

1. Additional Personnel Requests - New positions, reclassifications, additional hours and wage increase  
**-\$177,219**

*Personnel additions of a full-time Fire Inspector (7/1/25 start) PT Police Records Technician (2/1/25 start), Reclass CSO to CSO Lead, Reclass Record Tech/Data to Crime Analyst, Reclass Mechanic to Lead Mechanic, Additional Hours to FT for Planning Admin Assistant and Building Admin Assistant (6/1/25) and hour wage increase for on-call firefighters.*

2. \$1,305,093: Personnel: Market Rate Adjustments (0%-17.65%), COLA, Steps, PERA, FICA/Medicare, Workers Comp,

3. \$136,649: Health Insurance Increase

4. \$181,365: Line item increases: Professional Services, Street Maint, Training, Software Licensing, Etc.

5. **\$92,237**: Pavement Management Levy: 5% annual increase

6. \$168,500: Capital Equipment Purchases: Wood Chipper, Utility Terrain Vehicle (UTV), Mowers, Audio Video Recording Equipment-PD.

7. (\$389,047): Debt reduction

8. (\$1,023): EDA Levy decrease.

2025 Proposed General Fund Budget: \$20,461,240 (\$20,799,768 - Year 2024)

2025 Proposed EDA Budget: \$92,390 (\$91,367 - 2024).

All EDA and General Fund documents are included together, as the EDA levy calculates into the total general levy calculation of the city and thus accounts for the several motions listed below.

While the proposed levy can always be reduced, it cannot be increased without "higher" level approval through an appeals process. Until the budget and levy is formally adopted on November 26, 2024, there will be budget worksessions to continue discussions on the Proposed 2025 General Fund Budget and 2025 Proposed Levies.

The proposed levy must be certified to Anoka County by Monday, September 30, 2024. Therefore, the Council must make a decision prior to that date in regards to the amount of this levy. If the proposed levy is not passed for any reason, the adopted 2024 levy (\$20,279,701) will be certified as the city's payable 2025 levy.

Schedule Budget Public Hearing Date:

The Truth-in-Taxation (TNT) law was changed in 2009. The City is no longer required to hold a special TNT hearing or to publish a notice of the TNT hearing. In lieu of the eliminated formal TNT hearing, the City is required to hold a regularly scheduled meeting at which the budget and levy will be discussed. The City may adopt the budget and levy immediately following. The public meeting must be held between November 25 and December 30 and held after 6:00 P.M.

Staff is recommending that the public meeting be held at its regularly scheduled meeting of November 26, 2024, with adoption of the 2025 General Fund Budget and levy to immediately follow.

The public meeting date must be certified to Anoka County by Monday, September 30, 2024. Therefore, the City Council must make a decision as to the date selected for the 2025 payable public meeting at tonight's meeting, unless a special meeting is called.

**Time Frame/Observations/Alternatives:**

1. Adopt Total Preliminary Levy of \$21,950,694.
2. Adopt Total Preliminary Levy of \$\_\_\_\_\_ based on discussion.
3. Retain Levy at 2024 Final Levy Adoption of \$20,279,701.

**Recommendation:**

Staff recommends Option #1 above based on discussions at City Council budget worksessions with the possibility of reductions to the preliminary levy prior to City Council adoption of the final levy on November 26, 2024 and to schedule the City of Ramsey's budget/levy public meeting on Tuesday, November 26, 2024, at 7:00 P.M.

**Outcome/Action:**

Motion to recommend Council **Adopt Resolution #24-262 Approving the Proposed 2024, Payable 2025 Tax Levy in the amount of \$21,950,694 and to schedule the City of Ramsey's budget/levy public meeting on Tuesday, November 26, 2024, at 7:00 p.m and Adopt Resolution #24-263 Adopting Proposed 2025 General Fund Budget and Resolution Adopt Resolution #24-264 Adopting Proposed 2025 EDA Budget.**

**Attachments**

- Reso #24-262 Adopting Proposed 2025 Property Tax Levy
- Reso #24-263 Adopting Proposed 2025 General Fund Budget
- Reso #24-264 Adopting Proposed 2025 EDA Budget
- 2025 Proposed General Fund Budget
- 2025 Proposed EDA Budget

**Form Review**

<b>Inbox</b>	<b>Reviewed By</b>	<b>Date</b>
Brian Hagen	Brian Hagen	09/19/2024 12:46 PM
Form Started By: Diana Lund		Started On: 09/17/2024 10:06 AM
Final Approval Date: 09/19/2024		

Councilmember introduced the following resolution and moved for its adoption:

**RESOLUTION #24-262**

**RESOLUTION APPROVING THE PROPOSED 2024, PAYABLE 2025 TAX LEVY AND SCHEDULE BUDGET PUBLIC MEETING DATE**

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, COUNTY OF ANOKA, STATE OF MINNESOTA, as follows:**

- 1) That the following proposed levies for certified 2024, payable 2025, be levied upon the taxable property in said City of Ramsey, Anoka County, State of Minnesota for the following purposes:

**GENERAL LEVY**

Fund 101: General Fund - General Operations	
Fiscal Disparity Transfer - as estimated	\$ 2,323,926
Collected as Pavement Management Levy	1,936,970
Collected as Property Tax EDA Levy	86,367
Collected as Property Tax General Levy	14,607,120
	\$18,954,383

**DEBT SERVICE LEVY**

CIP Bond – Municipal Center	840,650
CIP Bond – Fire Station #2	283,749
2023 Equipment Certificates	188,738
2015 GO Road Improvement Bonds	114,222
2016 GO Road Improvement Bonds	146,371
2017 GO Road Improvement Bonds	91,875
2018 GO Road Improvement Bonds	113,792
2020 CIP Bond – Public Works Campus	127,276
2022 GO Road Improvement Bonds	1,089,638
	2,996,311

**TOTAL PROPOSED LEVIES** \$ 21,950,694

- 1) That the City of Ramsey will not be levying the \$1,197,683 (105% of debt service) related to the 2021 GO Capital Improvement Plan Refunding Bonds for the Municipal Center. Levy amount will be as stated above.
- 3) That the City of Ramsey's 2024 Public Budget Meeting for 2025 Payable is scheduled for Tuesday, November 26, 2024 at 7:00 p.m.
- 4) That the Finance Director be directed to transmit a certified copy of this resolution to the Anoka County Auditor's Office on or before Monday, September 30, 2024.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

the following were absent:

Whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this 24th day of September, 2024.

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Mayor

**ATTEST:**

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City Clerk

Councilmember introduced the following resolution and moved for its adoption:

**RESOLUTION #24-263**

**RESOLUTION ADOPTING THE “PROPOSED” 2025 CITY OF RAMSEY GENERAL FUND OPERATING BUDGET**

**NOW THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, COUNTY OF ANOKA, STATE OF MINNESOTA, as follows:**

- 1) That the “Proposed” annual budget of the City of Ramsey for the fiscal year beginning January 1, 2025 is hereby adopted for the General Fund as follows:

**GENERAL FUND**

Revenues:

Property Taxes	\$16,874,046
Licenses and Permits	1,023,850
Intergovernmental Revenues	756,000
Charges for Services	780,700
Fines and Forfeitures	48,000
Other Revenues-	
Interest Earnings	50,000
Miscellaneous	20,600
Other Financing Sources	<u>908,044</u>

**Total Revenues** \$20,461,240

Operating and Capital Expenditures:

General Government	\$ 5,294,766
Public Safety	9,508,348
Public Works	3,302,369
Parks and Recreation	2,229,384
Contingency	20,000
Other Financing Uses	<u>106,373</u>

**Total Operating and Capital Expenditures** \$ 20,461,240

- 2) That the Finance Director be directed to transmit a certified copy of this resolution to the Anoka County Auditor’s office on or before Monday, September 30, 2024.

That the motion for the adoption of the foregoing resolution was duly seconded by Councilmember and upon vote being taken thereon, the following voted in favor:

and the following voted against the same:

and the following abstained:

and the following were absent:

Whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this 24th day of September 2024.

---

Mayor

**ATTEST:**

---

City Clerk

Councilmember introduced the following resolution and moved for its adoption:

**RESOLUTION #24-264**

**RESOLUTION ADOPTING THE “PROPOSED” 2025 CITY OF RAMSEY ECONOMIC DEVELOPMENT AUTHORITY FUND BUDGET**

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:**

- 1) That the “Proposed” annual budget of the City of Ramsey for the fiscal year beginning January 1, 2025 is hereby adopted for the Economic Development Authority Fund as follows:

**ECONOMIC DEVELOPMENT FUND**

Revenues:	
Taxes (EDA Levy)	\$86,367
Interest Earnings	<u>5,000</u>
<b>Total Revenues</b>	<b><u>\$91,367</u></b>
Operating and Capital Expenditures:	
Personal Services	\$ 1,080
Supplies	44,000
Services and Charges	<u>46,287</u>
<b>Total Operating and Capital Expenditures</b>	<b><u>\$91,367</u></b>

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

Whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 24th day of September, 2024.

---

Mayor

**ATTEST:**

---

City Clerk

9/10/24  
8/12/2024

**REVENUES**

	-2020 Actual-	-2021 Actual-	-2022 Actual-	-2023 Actual-	-2024 Adopted-	-2025 Requested-
TAXES	10,577,806	11,184,493	11,961,591	12,822,312	14,905,220	16,874,046
LICENSES AND PERMITS	850,504	917,645	843,010	1,058,097	921,900	1,023,850
INTERGOVERNMENTAL REVENUES	2,497,148	513,730	885,575	785,182	734,000	756,000
CHARGES FOR SERVICES	731,187	760,740	814,985	1,067,192	686,800	780,700
FINES AND FORFEITS	34,735	51,153	45,717	39,681	48,000	48,000
MISCELLANEOUS	12,861	29,201	235,737	26,875	16,830	20,600
INVESTMENT EARNINGS	185,750	(29,897)	(57,081)	312,520	50,000	50,000
OTHER FINANCING SOURCES	766,049	1,321,201	659,892	1,700,265	3,437,018	908,044
<b>TOTAL REVENUES</b>	<b>15,656,038</b>	<b>14,748,266</b>	<b>15,389,426</b>	<b>17,812,123</b>	<b>20,799,768</b>	<b>20,461,240</b>

**EXPENDITURES**

	-2020 Actual-	-2021 Actual-	-2022 Actual-	-2023 Actual-	-2024 Adopted-	-2025 Requested-
GENERAL GOVERNMENT	3,390,435	3,540,820	3,814,959	4,053,311	5,034,892	5,255,226
PUBLIC SAFETY	6,112,194	6,526,621	6,822,296	7,875,060	9,241,315	9,375,719
PUBLIC WORKS	2,009,196	2,393,459	2,153,946	3,451,490	4,120,033	3,297,319
PARKS AND RECREATION	1,418,871	1,481,802	1,445,077	1,628,641	2,277,155	2,229,384
MISCELLANEOUS/CONTINGENCY	1,875,063	474,396	334,541	154,609	126,373	303,592
<b>TOTAL EXPENDITURES</b>	<b>14,805,758</b>	<b>14,417,097</b>	<b>14,570,820</b>	<b>17,163,111</b>	<b>20,799,768</b>	<b>20,461,240</b>

**2025 GENERAL FUND REVENUES**

GENERAL FUND 101 - REVENUE SUMMARY	-2020 Actual-	-2021 Actual-	-2022 Actual-	-2023 Actual-	-2024 Adopted-	-2025 Requested-
TAXES	10,577,806	11,184,493	11,961,591	12,822,312	14,905,220	16,874,046
LICENSES AND PERMITS	850,504	917,645	843,010	1,058,097	921,900	1,023,850
INTERGOVERNMENTAL REVENUES	2,497,148	513,730	885,575	785,182	734,000	756,000
CHARGES FOR SERVICES	731,187	760,740	814,985	1,067,192	686,800	780,700
FINES AND FORFEITS	34,735	51,153	45,717	39,681	48,000	48,000
MISCELLANEOUS	12,861	29,201	235,737	26,875	16,830	20,600
INVESTMENT EARNINGS	185,750	(29,897)	(57,081)	312,520	50,000	50,000
OTHER FINANCING SOURCES	766,049	1,321,201	659,892	1,700,265	3,437,018	908,044
<b>TOTAL REVENUES</b>	<b>15,656,038</b>	<b>14,748,266</b>	<b>15,389,426</b>	<b>17,812,123</b>	<b>20,799,768</b>	<b>20,461,240</b>

**HISTORICAL LEVY AMOUNTS**

2020 LEVY	\$	10,670,932	13.58%
2021 LEVY	\$	11,060,589	3.65%
2022 LEVY	\$	11,712,590	5.89%
2023 LEVY	\$	13,145,820	12.24%
2024 LEVY	\$	14,962,220	13.82%
2025 LEVY	\$	16,931,046	13.16%

GENERAL FUND 101 - REVENUE BY SOURCE	-2020 Actual-	-2021 Actual-	-2022 Actual-	-2023 Actual-	-2024 Requested-	-2025 Requested-
<b>TAXES</b>						
4011 CURRENT-AD VALOREM TAXES	8,929,345	9,415,148	10,068,520	11,454,193	13,219,391	15,188,217
401A CURRENT-UNCOLLECTED ALLOWANCE	-	-	-	-	(100,000)	(100,000)
4012 DELINQUENT-AD VALOREM TAXES	39,951	112,159	50,370	(127,723)	40,000	40,000
4014 FISCAL DISPARITIES	1,607,454	1,645,441	1,535,653	1,505,453	1,742,829	1,742,829
4015 EXCESS TAX INCREMENTS	-	-	304,151	-	-	-
4018 PENALTY/INT-AD VALOREM TAXES	1,056	11,745	2,742	(9,611)	3,000	3,000
4019 FORFEITED TAX SALE APPROPRIATION	-	-	153	-	-	-
<b>TAXES Total</b>	<b>10,577,806</b>	<b>11,184,493</b>	<b>11,961,591</b>	<b>12,822,312</b>	<b>14,905,220</b>	<b>16,874,046</b>

**LICENSES AND PERMITS**

<b>- BUSINESS LICENSES/PERMITS</b>						
4140 CREDIT CARD PROCESSING FEES	(2,032)	(2,994)	(3,967)	(2,465)	(4,500)	(1,000)
4155 LIQUOR-ON SALE	49,348	47,360	48,185	44,620	50,000	50,000
4156 LIQUOR-OFF SALE	-	-	-	-	-	-
4159 MECHANICAL LICENSE	13,550	13,850	18,265	15,525	15,000	15,000
4163 PAWNSHOP LICENSE	4,250	4,250	4,000	4,000	-	4,000
4164 CIGARETTE SALES LICENSE	3,050	3,700	3,988	3,525	4,000	4,000
4165 REFUSE HAULERS LICENSE	350	350	400	350	400	350
4168 PEDDLERS LICENSE	1,910	6,500	4,100	4,500	4,000	6,000
4170 OTHER BUSINESS LICENSES & PERM	2,080	1,360	2,210	4,105	2,000	5,000
4171 INVESTIGATIVE FEES	1,906	2,684	2,441	2,415	3,000	3,000
<b>- NON-BUSINESS LICENSES/PERMITS</b>						
4205 BUILDING PERMIT	522,922	566,419	520,770	637,240	400,000	450,000
4206 PLUMBING PERMIT	39,175	52,806	46,037	74,144	45,000	55,000
4207 ANIMAL LICENSE	1,110	1,930	2,000	500	-	-
4208 HEATING PERMIT	62,471	69,045	53,494	75,098	55,000	65,000
4209 CONDITIONAL USE PERMIT	6,864	8,450	9,600	22,150	20,000	15,000
4211 SIGN PERMITS	2,155	1,550	1,500	2,900	2,000	2,500
4212 RENTAL LICENSE	10,700	5,135	4,010	10,250	204,000	204,000
4213 FIRE PERMIT	10,963	7,550	10,750	21,044	12,000	12,000
4214 ELECTRICAL INSPECTION PERMIT	85,140	90,306	80,988	95,787	80,000	95,000
4220 SEPTIC SYSTEM PERMIT	22,920	21,310	21,685	22,433	15,000	20,000
4221 URBAN SEWER PERMIT	4,408	4,350	6,025	8,550	5,000	8,000
4222 URBAN WATER PERMIT	5,138	5,050	6,925	9,150	5,000	8,000
4230 OTHER NON-BUSINESS LIC & PERM	2,125	6,685	(395)	2,275	5,000	3,000
<b>LICENSES AND PERMITS Total</b>	<b>850,504</b>	<b>917,645</b>	<b>843,010</b>	<b>1,058,097</b>	<b>921,900</b>	<b>1,023,850</b>

**INTERGOVERNMENTAL REVENUES**

<b>- FEDERAL INTERGOVERNMENTAL</b>						
4253 FEDERAL EXCISE TAX REFUND	9,432	9,310	1,333	324	1,500	500
4252 FEDERAL GRANTS	-	-	-	-	-	-
<b>- STATE INTERGOVERNMENTAL</b>						
4255 FEDERAL CARES ACT	2,050,863	-	55,624	-	-	-
4263 MARKET VALUE HOMESTEAD CREDIT	2,834	2,963	3,644	-	-	-
4268 MSA FOR STREETS	150,000	180,000	302,316	210,000	240,000	240,000
4269 POLICE - INSURANCE PREMIUM TAX	241,001	248,199	277,956	296,737	250,000	260,000
4271 POST BOARD REIMBURSEMENT	24,464	27,820	29,430	26,265	25,000	25,000
4272 STATE EXCISE TAX REFUND	522	571	525	566	500	500
4273 OTHER STATE GRANTS & AIDS	17,282	28,867	214,747	251,290	217,000	230,000
<b>- LOCAL INTERGOVERNMENTAL</b>						
4287 OTHER LOCAL GOVERNMENT GRANTS	750	16,000	-	-	-	-
<b>INTERGOVERNMENTAL REVENUES Total</b>	<b>2,497,148</b>	<b>513,730</b>	<b>885,575</b>	<b>785,182</b>	<b>734,000</b>	<b>756,000</b>

**CHARGES FOR SERVICES**

4304	RENTAL FEES - REAL PROPERTY	155,808	156,109	160,542	173,489	135,000	160,000
4305	RENTAL FEES	4,804	12,224	13,672	19,325	20,000	25,000
4306	ZONING & SUBDIVISION FEES	1,130	2,585	2,490	1,530	2,000	-
4307	PLAN CHECKING FEES	184,169	199,008	249,663	309,777	200,000	225,000
4308	SALES OF MAPS & PUBLICATIONS	73	123	137	235	100	100
4309	ASSESSMENT SEARCHES	90	540	270	360	200	100
4312	GENERAL GOVERNMENT STAFF TIME	41,045	31,870	36,184	19,513	15,000	17,000
4326	SPECIAL POLICE SERVICES	3,325	7,808	15,939	5,000	5,000	5,000
4327	SPECIAL FIRE PROTECTION SERVIC	72,414	23,144	130	30	-	-
4328	ACCIDENT REPORTS	1,114	1,033	763	857	1,000	1,000
4329	OPEN BURN PERMIT FEES	750	500	1,000	675	500	500
4330	OTHER PUBLIC SAFETY	2,400	5,370	4,325	4,195	3,000	2,000
4337	ENGINEERING	243,514	302,408	299,006	446,839	275,000	300,000
4338	PLAN & SPECIFICATION FEES	570	-	-	-	-	-
4339	OTHER PUBLIC WORKS	15,647	7,860	16,994	47,893	20,000	25,000
4347	OTHER CULTURE-RECREATION	4,334	10,159	13,869	37,474	10,000	20,000

<b>CHARGES FOR SERVICES Total</b>	<b>731,187</b>	<b>760,740</b>	<b>814,985</b>	<b>1,067,192</b>	<b>686,800</b>	<b>780,700</b>
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**FINES AND FORFEITS**

4452	COURT FINES	32,505	46,250	40,563	37,225	45,000	45,000
4453	OTHER FINES & FORFEITS	291	-	-	-	-	-
4454	ADMINISTRATIVE FINES	1,940	4,903	5,155	2,456	3,000	3,000

<b>FINES AND FORFEITS Total</b>	<b>34,735</b>	<b>51,153</b>	<b>45,717</b>	<b>39,681</b>	<b>48,000</b>	<b>48,000</b>
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**MISCELLANEOUS**

4604	SURCHARGES	608	675	708	959	800	600
4605	ELECTION FILING FEES	50	-	30	-	30	-
4609	OTHER MISCELLANEOUS REVENUES	12,202	28,526	234,999	25,915	16,000	20,000
4608	CONTRIBUTIONS & DONATIONS	-	-	-	-	-	-

<b>MISCELLANEOUS Total</b>	<b>12,861</b>	<b>29,201</b>	<b>235,737</b>	<b>26,875</b>	<b>16,830</b>	<b>20,600</b>
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**INVESTMENT EARNINGS**

4701	INTEREST ON INVESTMENTS	185,750	(29,897)	(57,081)	312,520	50,000	50,000
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<b>INVESTMENT EARNINGS Total</b>	<b>185,750</b>	<b>(29,897)</b>	<b>(57,081)</b>	<b>312,520</b>	<b>50,000</b>	<b>50,000</b>
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**OTHER FINANCING SOURCES**

**TRANSFERS IN**

4901	TRANSFER IN FROM OTHER FUNDS	766,049	1,321,201	659,892	1,700,265	3,437,018	908,044
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<b>OTHER FINANCING SOURCES Total</b>	<b>766,049</b>	<b>1,321,201</b>	<b>659,892</b>	<b>1,700,265</b>	<b>3,437,018</b>	<b>908,044</b>
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<b>TOTAL REVENUE</b>	<b>15,656,038</b>	<b>14,748,266</b>	<b>15,389,426</b>	<b>17,812,123</b>	<b>20,799,768</b>	<b>20,461,240</b>
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**GENERAL FUND 101 - LINE ITEM DETAIL**

-2020 Actual-      -2021 Actual-      -2022 Adopted-      -2023 Actual-      -2024 Adopted-      -2025 Requested-

**4901 Other Finance Sources**

Water Fund Administrative Transfer	45,000	47,000	49,000	51,000	55,000	59,000
Sewer Fund Administrative Transfer	39,000	41,000	43,000	45,000	49,000	53,000
St. Lighting Fund Administrative Transfer	22,000	23,000	25,000	27,000	29,000	31,000
Recycling Fund Administrative Transfer	-	-	-	-	-	-
Storm Water Utility Fund Administrative Transfer	34,000	36,000	38,000	40,000	44,000	49,000
PW Campus Fund	-	-	-	750,000	-	-
ARPA Funds	-	-	-	375,000	-	-
2023 Legislative Funds	-	-	-	-	1,200,000	48,044
Landfill Fund	-	989,201	63,000	-	-	-
Capital Maintenance Fund - For Trail Maintenance	60,000	60,000	60,000	70,000	70,000	70,000
Capital Maintenance Fund - For Capital Improvements	-	-	29,710	-	120,000	-
Facility Fund	-	-	-	-	36,000	-
Pavement Management Fund	-	-	-	-	56,000	-
Insurance Fund	-	-	-	-	-	-
Fleet Vehicle Fund	-	-	17,800	104,310	48,000	30,000
PIR Fund-Street Maintenance	125,000	125,000	150,000	175,000	200,000	200,000
PIR Fund - Loan for Fire Truck	-	-	-	-	-	300,000
Capital Bonding	-	-	-	-	1,453,018	-
Equipment Revolving Fund	441,049	-	184,382	219,873	77,000	68,000
	<b>766,049</b>	<b>1,321,201</b>	<b>659,892</b>	<b>1,857,183</b>	<b>3,437,018</b>	<b>908,044</b>

**2025 GENERAL FUND EXPENDITURES**

EXPENDITURE BY OBJECT SUMMARY	-2020 Actual-	-2021 Actual-	-2022 Actual-	-2023 Actual-	-2024 Adopted-	-2025 Requested-
PERSONNEL SERVICES	8,859,253	9,471,467	10,172,991	11,319,181	12,902,070	14,521,031
SUPPLIES	1,413,878	915,468	1,237,507	1,232,853	1,571,677	1,603,266
OTHER SERVICES & CHARGES	2,626,465	2,577,885	2,521,359	3,555,551	3,322,185	3,628,920
CAPITAL OUTLAY	467,070	977,809	295,957	900,917	2,897,463	601,650
TRANSFERS OUT	1,376,215	409,801	272,688	92,756	106,373	106,373
DEBT SERVICE	61,853	61,853	61,853	61,853	-	-
<b>TOTAL EXPENDITURE BY OBJECT</b>	<b>14,804,733</b>	<b>14,414,283</b>	<b>14,562,355</b>	<b>17,163,111</b>	<b>20,799,768</b>	<b>20,461,240</b>

EXPENDITURE BY OBJECT RECAP ALL SUB-FUNCTIONS	-2020 Actual-	-2021 Actual-	-2022 Actual-	-2023 Actual-	-2024 Adopted-	-2025 Requested-
<b>GENERAL GOVERNMENT</b>						
0111 MAYOR AND COUNCIL	104,534	100,563	106,114	107,719	127,315	104,844
0114 CHARTER/PLAN/HORSE COMMISSIONS	3,213	3,666	2,709	2,467	3,968	3,929
0130 ADMINISTRATION	795,368	852,730	913,981	977,369	1,076,533	1,198,621
0141 ELECTIONS	53,763	7,784	44,689	6,357	54,861	3,639
0153 FINANCE	379,167	408,717	362,854	370,861	440,666	533,474
0155 ASSESSING	147,722	120,463	125,272	126,096	133,000	133,000
0161 LEGAL	124,533	125,477	121,422	116,142	128,915	126,797
0191 PLANNING & ZONING	653,382	733,882	665,874	818,640	974,899	1,102,425
0192 DATA PROCESSING	582,467	606,281	773,912	840,343	1,063,589	1,177,162
0194 GENERAL GOVERNMENT BUILDINGS	501,162	529,125	643,514	629,571	968,079	804,647
0195 NEWSLETTER	45,123	52,132	54,618	57,746	63,067	66,688
<b>GENERAL GOVERNMENT Total</b>	<b>3,390,435</b>	<b>3,540,820</b>	<b>3,814,959</b>	<b>4,053,311</b>	<b>5,034,892</b>	<b>5,255,226</b>

<b>PUBLIC SAFETY</b>						
0211 POLICE PROTECTION	4,122,916	4,547,484	4,726,260	5,196,605	6,064,087	6,403,304
0220 FIRE PROTECTION	1,384,635	1,352,166	1,427,516	1,784,989	2,219,602	1,983,794
0240 PROTECTIVE INSPECTIONS	519,585	538,198	564,838	718,231	708,859	762,893
0250 CIVIL DEFENSE	2,288	3,287	9,637	67,325	47,800	46,484
0260 TRAFFIC ENGINEERING	68,686	71,628	79,873	85,061	174,767	150,724
0270 ANIMAL CONTROL	993	743	1,399	8,175	6,750	9,250
0280 COMMUNITY ORIENTING POLICING	13,092	13,115	12,774	14,673	19,450	19,270
<b>PUBLIC SAFETY Total</b>	<b>6,112,194</b>	<b>6,526,621</b>	<b>6,822,296</b>	<b>7,875,060</b>	<b>9,241,315</b>	<b>9,375,719</b>

<b>PUBLIC WORKS</b>						
0301 ENGINEERING	383,947	381,476	446,849	566,948	680,214	645,058
0311 STREET MAINTENANCE	1,336,038	1,747,168	1,332,827	2,510,567	2,908,542	2,179,413
0312 SNOW & ICE REMOVAL	289,211	264,815	374,270	373,975	531,277	472,848
<b>PUBLIC WORKS Total</b>	<b>2,009,196</b>	<b>2,393,459</b>	<b>2,153,946</b>	<b>3,451,490</b>	<b>4,120,033</b>	<b>3,297,319</b>

<b>PARKS AND RECREATION</b>						
0452 PARK & RECREATION	1,418,871	1,481,802	1,445,077	1,628,641	2,277,155	2,229,384
0455 COMMUNITY PROGRAMS	-	-	-	-	-	-
0461 ENVIRONMENTAL SERVICES	-	-	-	-	-	-
<b>PARKS AND RECREATION Total</b>	<b>1,418,871</b>	<b>1,481,802</b>	<b>1,445,077</b>	<b>1,628,641</b>	<b>2,277,155</b>	<b>2,229,384</b>

<b>MISCELLANEOUS/CONTINGENCY</b>						
0892 EXPENDITURE RESERVE	1,875,063	474,396	334,541	154,609	126,373	303,592
<b>MISCELLANEOUS/CONTINGENCY Total</b>	<b>1,875,063</b>	<b>474,396</b>	<b>334,541</b>	<b>154,609</b>	<b>126,373</b>	<b>303,592</b>

<b>TOTAL EXPENDITURES &amp; OTHER FINANCING</b>	<b>14,805,758</b>	<b>14,417,097</b>	<b>14,570,820</b>	<b>17,163,111</b>	<b>20,799,768</b>	<b>20,461,240</b>
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EXPENDITURE BY OBJECT RECAP ALL SUB-FUNCTIONS	-2020 Actual-	-2021 Actual-	-2022 Actual-	-2023 Actual-	-2024 Adopted-	-2025 Requested-
<b>PERSONNEL SERVICES</b>						
<b>WAGES AND SALARIES</b>						
6102 F.T. REGULAR-WAGES & SALARIES	5,908,446	6,275,314	6,528,037	7,445,527	8,576,140	9,554,951
6103 FULL TIME-REGULAR-OVERTIME	148,960	166,477	183,834	180,095	153,000	183,000
6104 PART TIME-WAGES & SALARIES	539,851	577,699	746,543	773,014	785,119	887,155
6105 TEMPORARY-WAGES & SALARIES	167,447	133,432	179,828	88,117	183,308	314,927
6106 OVERTIME-TEMPORARY	259	878	636	-	-	-
6107 OVERTIME-PART TIME	1,408	-	4,686	18,025	-	-
<b>WAGES AND SALARIES</b>	<b>6,766,371</b>	<b>7,153,799</b>	<b>7,643,564</b>	<b>8,504,778</b>	<b>9,697,567</b>	<b>10,940,033</b>
<b>OTHER GROSS EARNINGS</b>						
6108 SEVERANCE PAY	-	67,885	95,310	34,309	-	-
<b>OTHER GROSS EARNINGS</b>	<b>-</b>	<b>67,885</b>	<b>95,310</b>	<b>34,309</b>	<b>-</b>	<b>-</b>
<b>EMPLOYER CONTRIBUTIONS</b>						
6121 PERA CONTRIBUTIONS	754,905	807,600	839,838	929,059	1,037,959	1,154,813
6122 FICA/MEDICARE CONTRIBUTIONS	327,544	350,762	367,731	416,569	513,518	570,829
6123 ICMA RETIREMENT TRUST	2,000	2,000	800	-	-	-
6131 GROUP INSURANCE	764,786	848,602	878,018	1,049,605	1,199,786	1,336,435
6132 DISABILITY INSURANCE	1,313	1,313	1,313	1,313	1,313	1,313
6133 WORKERS COMP INSURANCE PREMIUM	242,334	239,505	346,417	383,549	451,927	517,608
<b>EMPLOYER CONTRIBUTIONS</b>	<b>2,092,882</b>	<b>2,249,782</b>	<b>2,434,117</b>	<b>2,780,095</b>	<b>3,204,503</b>	<b>3,580,998</b>
<b>PERSONNEL SERVICES Total</b>	<b>8,859,253</b>	<b>9,471,467</b>	<b>10,172,991</b>	<b>11,319,181</b>	<b>12,902,070</b>	<b>14,521,031</b>

**SUPPLIES**

<b>SUPPLIES</b>							
<b>OFFICE SUPPLIES</b>							
6203	DUPLICATING SUPPLY & COPY PAPER	4,725	2,174	2,198	4,594	5,000	5,000
6204	STATIONERY, ENVELOPES & FORMS	4,784	3,872	9,542	8,707	8,450	7,850
6205	DRAFTING SUPPLIES	-	-	-	-	-	-
6206	FILM, MICROFILM, TAPES, DISKS	837	568	370	208	1,400	1,400
6207	TRAINING SUPPLIES	3,609	3,154	3,562	10,165	9,100	10,500
6208	MISCELLANEOUS OFFICE SUPPLIES	9,440	8,460	9,670	12,230	12,525	14,800
<b>OFFICE SUPPLIES</b>		<b>23,395</b>	<b>18,228</b>	<b>25,343</b>	<b>35,904</b>	<b>36,475</b>	<b>39,550</b>
<b>OPERATING SUPPLIES</b>							
6221	CLEANING SUPPLIES	1,391	2,496	1,910	4,025	3,500	4,000
6223	GASOLINE	98,273	129,654	156,406	134,883	191,800	181,500
6225	DIESEL FUEL	39,882	42,031	73,397	65,682	84,000	89,500
6227	LUBRICANTS & ADDITIVES	4,486	7,580	7,730	9,014	9,000	10,500
6229	SHOP MATERIALS	4,149	5,781	8,830	5,539	8,000	8,000
6231	UNIFORMS & TURN-OUT GEAR	104,570	92,594	124,187	132,811	166,400	167,300
6233	BATTERIES	652	1,262	2,013	1,940	2,000	2,000
6235	AMMUNITION	15,970	1,700	13,725	13,274	15,000	15,000
6237	CRIME SCENE KIT MATERIALS	368	1,843	-	509	1,000	1,500
6239	FIRST AID SUPPLIES	12,345	5,922	5,444	6,005	11,000	11,000
6241	COMMUNITY POLICING SUPPLIES	10,310	9,190	9,967	10,351	12,500	12,500
6247	HAPPY DAYS SUPPLIES	-	7,000	7,000	12,000	12,000	12,000
6249	MISCELLANEOUS OPERATING SUPPLY	118,336	100,912	143,977	123,827	166,792	156,875
6246	MARKETING	-	1,051	198	2,951	2,500	3,000
<b>OPERATING SUPPLIES</b>		<b>410,732</b>	<b>409,016</b>	<b>554,783</b>	<b>522,811</b>	<b>685,492</b>	<b>674,675</b>
<b>REPAIR AND MAINTENANCE SUPPLIES</b>							
6251	BATTERIES	678	516	-	829	2,500	2,500
6253	BRAKES	3,421	3,466	3,238	4,045	3,700	4,000
6255	TIRES	7,458	10,708	6,616	7,315	9,500	9,500
6257	OTHER VEHICLE PARTS	122,447	77,127	122,472	146,373	126,800	131,600
6259	BUILDING MAINT/REPAIR SUPPLIES	4,028	20,639	51,453	23,188	55,200	63,600
6261	SAND & GRAVEL	2,907	-	2,300	2,779	5,300	5,300
6263	SALT	92,362	68,800	129,704	68,426	192,240	147,053
6265	ASPHALT	120,283	134,086	104,227	142,180	153,000	161,000
6266	SCBA-PARTS	4,679	4,055	5,899	23,874	20,000	20,000
6267	OTHER STREET MAINTENANCE SUPPL	4,798	5,303	10,675	14,920	16,500	16,500
6269	LANDSCAPE MATERIALS	18,304	12,623	17,795	24,599	27,500	57,500
6271	SIGN REPAIR MATERIALS	382	-	1,148	1,464	3,000	5,000
6275	OTHER EQUIPMENT PARTS	662	3,074	2,933	945	5,500	4,500
6268	IRRIGATION SUPPLIES	13,000	6,025	16,118	20,540	12,750	13,000
<b>REPAIR AND MAINTENANCE SUPPLIES</b>		<b>395,411</b>	<b>346,421</b>	<b>474,577</b>	<b>481,476</b>	<b>633,490</b>	<b>641,053</b>
<b>SMALL TOOLS AND MINOR EQUIPMENT</b>							
6282	EMERGENCY SUPPLIES - COVID	436,995	-	-	-	-	-
6281	SMALL TOOLS & MINOR EQUIPMENT	147,294	141,803	182,804	192,347	215,820	247,588
<b>SMALL TOOLS AND MINOR EQUIPMENT</b>		<b>584,290</b>	<b>141,803</b>	<b>182,804</b>	<b>192,347</b>	<b>215,820</b>	<b>247,588</b>
<b>MERCHANDISE FOR RESALE</b>							
6291	CULVERTS, SIGNS, STREET SUPPLY	50	-	-	316	400	400
<b>MERCHANDISE FOR RESALE</b>		<b>50</b>	<b>-</b>	<b>-</b>	<b>316</b>	<b>400</b>	<b>400</b>
<b>SUPPLIES Total</b>		<b>1,413,878</b>	<b>915,468</b>	<b>1,237,507</b>	<b>1,232,853</b>	<b>1,571,677</b>	<b>1,603,266</b>

**OTHER SERVICES & CHARGES**

<b>OTHER SERVICES &amp; CHARGES</b>							
<b>PROFESSIONAL SERVICES</b>							
6302	AUDITING & ACCOUNTING SERVICES	36,455	42,501	39,128	45,174	42,200	57,500
6304	LEGAL FEES	123,305	124,320	120,510	115,288	128,000	126,000
6305	MEDICAL/PSYCHOLOGICAL FEES	-	-	-	-	-	-
6306	PERSONNEL TESTING & RECRUITMT	14,042	16,825	24,634	14,849	25,000	30,000
6315	MISCELLANEOUS PROFESSIONAL SER	392,060	289,515	273,357	224,706	282,800	368,700
<b>PROFESSIONAL SERVICES</b>		<b>565,862</b>	<b>473,160</b>	<b>457,629</b>	<b>400,017</b>	<b>478,000</b>	<b>582,200</b>
<b>COMMUNICATION</b>							
6321	TELEPHONE	15,787	15,624	13,675	13,945	15,600	15,600
6322	POSTAGE	16,852	19,170	17,806	19,369	24,400	25,660
6323	CELLULAR PHONES	35,590	39,113	43,623	50,176	53,083	60,000
6325	LONG DISTANCE CHARGES	-	-	-	-	-	-
<b>COMMUNICATION</b>		<b>68,229</b>	<b>73,907</b>	<b>75,103</b>	<b>83,490</b>	<b>93,083</b>	<b>101,260</b>

<b>EMPLOYEE REIMBURSEMENTS</b>							
6331	TRAVEL & LODGING	3,012	6,500	9,975	9,898	18,500	20,450
6334	MILEAGE REIMBURSEMENT	170	93	559	429	1,000	1,000
6335	TRAINING	71,345	95,871	107,609	114,653	152,240	198,800
<b>EMPLOYEE REIMBURSEMENTS</b>		<b>74,528</b>	<b>102,463</b>	<b>118,143</b>	<b>124,980</b>	<b>171,740</b>	<b>220,250</b>
<b>ADVERTISING AND PUBLISHING</b>							
6352	GENERAL NOTICE & PUBLIC INFOR	30,311	35,265	38,966	42,257	46,100	47,550
6353	ORDINANCE PUBLICATION	2,575	1,301	2,322	1,430	2,000	2,000
6354	HELP WANTED ADVERTISEMENTS	1,905	3,276	7,302	549	3,500	2,000
<b>ADVERTISING AND PUBLISHING</b>		<b>34,790</b>	<b>39,841</b>	<b>48,591</b>	<b>44,235</b>	<b>51,600</b>	<b>51,550</b>
<b>INSURANCE</b>							
6361	GENERAL LIABILITY/PROPERTY INS	154,021	154,910	175,764	232,341	259,647	263,638
<b>INSURANCE</b>		<b>154,021</b>	<b>154,910</b>	<b>175,764</b>	<b>232,341</b>	<b>259,647</b>	<b>263,638</b>
<b>UTILITIES</b>							
6371	ELECTRIC UTILITIES	158,084	170,313	172,305	172,445	196,520	197,600
6372	WATER/IRRIGATION	22,127	24,446	18,053	24,680	24,800	27,700
6373	GAS	33,540	51,899	72,127	66,293	89,750	80,000
6374	REFUSE/RECYCLING	12,803	15,322	16,853	15,458	20,550	19,250
<b>UTILITIES</b>		<b>226,554</b>	<b>261,980</b>	<b>279,338</b>	<b>278,876</b>	<b>331,620</b>	<b>324,550</b>
<b>REPAIRS AND MAINTENANCE - LABOR</b>							
6381	BUILDING & STRUCTURE REPAIR	27,600	23,340	33,095	11,746	84,840	97,170
6382	MACHINERY & EQUIPMENT REPAIR	28,075	34,588	48,494	56,936	56,100	60,000
6383	OFFICE EQUIPMENT REPAIR	-	-	-	-	-	-
6386	BRAKE REPAIR	-	-	-	-	-	-
6387	TIRE MOUNTING & BALANCING	300	255	60	-	400	400
6388	OTHER VEHICLE REPAIR	72,106	73,784	78,514	71,913	97,000	99,500
6389	TOWING SERVICES	2,037	240	3,096	345	3,500	3,000
<b>REPAIRS AND MAINTENANCE - LABOR</b>		<b>130,118</b>	<b>132,207</b>	<b>163,259</b>	<b>140,940</b>	<b>241,840</b>	<b>260,070</b>
<b>REPAIRS AND MAINTENANCE - CONTRACTS</b>							
6404	MACHINERY & EQUIPMENT	1,332	1,221	3,458	-	3,500	3,500
6405	OFFICE & DATA PROCESSING EQUIP	366,660	415,748	434,785	437,303	590,100	644,894
<b>REPAIRS AND MAINTENANCE - CONTRACTS</b>		<b>367,991</b>	<b>416,968</b>	<b>438,243</b>	<b>437,303</b>	<b>593,600</b>	<b>648,394</b>
<b>RENTALS</b>							
6413	OFFICE EQUIPMENT RENTAL	5,995	5,265	3,483	5,265	9,000	7,500
6415	OTHER EQUIPMENT RENTAL	36,671	46,406	41,405	41,583	56,150	50,000
6416	MACHINERY RENTAL	-	-	-	-	-	-
6417	UNIFORM RENTAL	1,710	1,841	913	1,233	1,100	1,550
<b>RENTALS</b>		<b>44,376</b>	<b>53,512</b>	<b>45,800</b>	<b>48,080</b>	<b>66,250</b>	<b>59,050</b>
<b>DUES, SUBSCRIPTIONS, AND REGISTRATION FEES</b>							
6451	MEMBERSHIP DUES	48,325	44,801	47,023	47,587	55,055	58,658
6452	SUBSCRIPTIONS	1,321	1,216	1,458	1,511	1,450	1,700
<b>DUES, SUBSCRIPTIONS, AND REGISTRATION FEES</b>		<b>49,647</b>	<b>46,017</b>	<b>48,481</b>	<b>49,098</b>	<b>56,505</b>	<b>60,358</b>
<b>BOOKS AND PAMPHLETS</b>							
6471	BOOKS & PAMPHLETS	2,331	1,132	2,384	1,963	3,800	3,800
<b>BOOKS AND PAMPHLETS</b>		<b>2,331</b>	<b>1,132</b>	<b>2,384</b>	<b>1,963</b>	<b>3,800</b>	<b>3,800</b>
<b>CONTRACTED SERVICES</b>							
6488	STREET MAINTENANCE CONTRACT	500,000	462,784	294,998	1,272,595	555,000	600,000
6489	OTHER CONTRACTED SERVICES	408,019	359,004	373,625	441,631	419,500	453,800
<b>CONTRACTED SERVICES</b>		<b>908,019</b>	<b>821,788</b>	<b>668,623</b>	<b>1,714,226</b>	<b>974,500</b>	<b>1,053,800</b>
<b>OTHER SERVICES &amp; CHARGES Total</b>		<b>2,626,465</b>	<b>2,577,885</b>	<b>2,521,359</b>	<b>3,555,551</b>	<b>3,322,185</b>	<b>3,628,920</b>
<b>CAPITAL OUTLAY</b>							
<b>CAPITAL OUTLAY</b>							
6520	BUILDINGS	-	-	-	-	-	-
6540	HEAVY MACHINERY	42,861	116,891	103,199	266,007	979,518	-
6550	MOTOR VEHICLES	351,094	477,246	47,226	512,225	1,134,629	348,000
6580	OTHER EQUIPMENT	48,692	383,672	118,639	122,685	746,316	228,650
6585	COMPUTER HARDWARE/SOFTWARE	24,423	-	26,894	-	37,000	25,000
<b>CAPITAL OUTLAY</b>		<b>467,070</b>	<b>977,809</b>	<b>295,957</b>	<b>900,917</b>	<b>2,897,463</b>	<b>601,650</b>
<b>CAPITAL OUTLAY Total</b>		<b>467,070</b>	<b>977,809</b>	<b>295,957</b>	<b>900,917</b>	<b>2,897,463</b>	<b>601,650</b>
<b>TRANSFERS OUT</b>							
<b>OPERATING TRANSFERS</b>							
6820	OPERATING TRANSFERS TO OTHER F	1,376,215	409,801	272,688	92,756	106,373	106,373
<b>OPERATING TRANSFERS</b>		<b>1,376,215</b>	<b>409,801</b>	<b>272,688</b>	<b>92,756</b>	<b>106,373</b>	<b>106,373</b>
<b>TRANSFERS OUT Total</b>		<b>1,376,215</b>	<b>409,801</b>	<b>272,688</b>	<b>92,756</b>	<b>106,373</b>	<b>106,373</b>
<b>DEBT SERVICE</b>							
<b>DEBT SERVICE</b>							
6603	OTHER L.T. OBLIGATION PRINCIPA	61,853	61,853	61,853	61,853	-	-
<b>DEBT SERVICE</b>		<b>61,853</b>	<b>61,853</b>	<b>61,853</b>	<b>61,853</b>	<b>-</b>	<b>-</b>
<b>DEBT SERVICE Total</b>		<b>61,853</b>	<b>61,853</b>	<b>61,853</b>	<b>61,853</b>	<b>-</b>	<b>-</b>
<b>TOTAL EXPENDITURES &amp; OTHER FINANCING</b>		<b>14,804,733</b>	<b>14,414,283</b>	<b>14,562,355</b>	<b>17,163,111</b>	<b>20,799,768</b>	<b>20,461,240</b>

**SUMMARY:**

<b>OPERATING EXPENSE(Includes Transfers Out &amp; Debt Service):</b>	<b>14,337,664</b>	<b>13,436,474</b>	<b>14,266,398</b>	<b>16,262,194</b>	<b>17,902,305</b>	<b>19,859,590</b>
<b>CAPITAL OUTLAY:</b>	<b>467,070</b>	<b>977,809</b>	<b>295,957</b>	<b>900,917</b>	<b>2,897,463</b>	<b>601,650</b>
<b>TOTAL EXPENDITURES</b>	<b>\$ 14,804,733</b>	<b>\$ 14,414,283</b>	<b>\$ 14,562,355</b>	<b>\$ 17,163,111</b>	<b>\$ 20,799,768</b>	<b>\$ 20,461,240</b>

FUND: GENERAL

Business Unit	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Adopted Budget	2025 Requested Budget
<b>REVENUE</b>						
9101 - GENERAL FUND REVENUE	15,656,715	14,748,266	15,389,426	18,540,497	20,799,768	20,461,240
<b>TOTAL REVENUE</b>	<b>15,656,715</b>	<b>14,748,266</b>	<b>15,389,426</b>	<b>18,540,497</b>	<b>20,799,768</b>	<b>20,461,240</b>
<b>EXPENDITURES</b>						
111 - MAYOR AND COUNCIL	104,534	100,563	106,114	107,719	127,315	104,844
114 - COMMISSIONS	3,213	3,666	2,709	2,467	3,968	3,929
130 - ADMINISTRATION	795,368	852,730	913,981	977,369	1,076,533	1,198,621
141 - ELECTIONS	53,763	7,784	44,689	6,357	54,861	3,639
153 - FINANCE	379,167	408,717	362,854	370,861	440,666	533,474
155 - ASSESSING	147,722	120,463	125,272	126,096	133,000	133,000
161 - LEGAL SERVICES	124,533	125,477	121,422	116,142	128,915	126,797
191 - PLANNING AND ZONING	653,382	733,882	665,874	818,640	974,899	1,102,425
192 - DATA PROCESSING	582,467	606,281	773,912	840,343	1,063,589	1,177,162
194 - GENERAL GOVERNMENT BUILDINGS	501,162	529,125	643,514	629,571	968,079	804,647
195 - NEWSLETTER	45,123	52,132	54,618	57,746	63,067	66,688
211 - POLICE PROTECTION	4,122,916	4,547,484	4,726,260	5,196,605	6,064,087	6,403,304
220 - FIRE PROTECTION	1,384,635	1,352,166	1,427,516	1,784,989	2,219,602	1,983,794
240 - BUILDING INSPECTION	519,585	538,198	564,838	718,231	708,859	762,893
250 - CIVIL DEFENSE	2,288	3,287	9,637	67,325	47,800	46,484
260 - TRAFFIC ENGINEERING	68,686	71,628	79,873	85,061	174,767	150,724
270 - ANIMAL CONTROL	993	743	1,399	8,175	6,750	9,250
280 - COMMUNITY ORIENTING POLICING	13,092	13,115	12,774	14,673	19,450	19,270
301 - ENGINEERING	383,947	381,476	446,849	566,948	680,214	645,058
311 - STREET MAINTENANCE	1,336,038	1,747,168	1,332,827	2,510,567	2,908,542	2,179,413
312 - SNOW AND ICE REMOVAL	289,211	264,815	374,270	373,975	531,277	472,848
452 - PARK AND RECREATION	1,418,871	1,481,802	1,445,077	1,628,641	2,277,155	2,229,384
892 - MISCELLANEOUS/CONTINGENCY	1,875,063	474,396	334,541	154,609	126,373	303,592
<b>TOTAL EXPENDITURES</b>	<b>14,805,758</b>	<b>14,417,097</b>	<b>14,570,820</b>	<b>17,163,111</b>	<b>20,799,768</b>	<b>20,461,240</b>

GENERAL FUND 101 - GENERAL GOVERNMENT

GENERAL GOVERNMENT	111-195
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EXPENDITURE BY OBJECT SUMMARY	-2020 Actual-	-2021 Actual-	-2022 Actual-	-2023 Actual-	-2024 Adopted-	-2025 Requested-
PERSONNEL SERVICES	2,140,494	2,289,527	2,342,157	2,663,698	3,071,452	3,459,575
SUPPLIES	98,236	112,476	150,454	140,016	179,487	162,763
OTHER SERVICES & CHARGES	1,127,282	1,138,745	1,240,724	1,249,598	1,527,953	1,607,888
CAPITAL OUTLAY	24,423	-	74,120	-	256,000	25,000
<b>TOTAL EXPENDITURE BY OBJECT</b>	<b>3,390,435</b>	<b>3,540,747</b>	<b>3,807,456</b>	<b>4,053,311</b>	<b>5,034,892</b>	<b>5,255,226</b>

LINE ITEM DETAIL BY COST CENTER OR SUB-FUNCTION

GENERAL GOVERNMENT	111-195
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EXPENDITURE BY OBJECT RECAP ALL SUB-FUNCTIONS	-2020 Actual-	-2021 Actual-	-2022 Actual-	-2023 Actual-	-2024 Adopted-	-2025 Requested-
<b>PERSONNEL SERVICES</b>						
<b>WAGES AND SALARIES</b>						
6102 F.T. REGULAR-WAGES & SALARIES	1,520,613	1,599,305	1,618,640	1,887,389	2,164,409	2,468,573
6103 FULL TIME-REGULAR-OVERTIME	4,762	2,051	4,477	2,842	-	-
6104 PART TIME-WAGES & SALARIES	120,512	124,988	144,822	171,229	185,300	198,799
6105 TEMPORARY-WAGES & SALARIES	37,425	20,245	62,028	2,285	38,060	3,500
6107 OVERTIME-PART TIME	1,408	-	4,686	18,025	-	-
<b>TOTAL WAGES AND SALARIES</b>	<b>1,684,720</b>	<b>1,746,589</b>	<b>1,834,652</b>	<b>2,081,770</b>	<b>2,387,769</b>	<b>2,670,872</b>
<b>OTHER GROSS EARNINGS</b>						
6108 SEVERANCE PAY	-	63,330	8,699	4,934	-	-
<b>TOTAL OTHER GROSS EARNINGS</b>	<b>-</b>	<b>63,330</b>	<b>8,699</b>	<b>4,934</b>	<b>-</b>	<b>-</b>
<b>EMPLOYER CONTRIBUTIONS</b>						
6121 PERA CONTRIBUTIONS	117,717	124,209	129,895	151,796	174,228	194,614
6122 FICA/MEDICARE CONTRIBUTIONS	119,590	128,509	133,584	155,758	190,605	217,279
6123 ICMA RETIREMENT TRUST	2,000	2,000	800	-	-	-
6131 GROUP INSURANCE	197,561	209,243	215,835	247,981	291,887	342,005
6133 WORKERS COMP INSURANCE PREMIUM	18,906	15,646	18,693	21,459	26,963	34,805
<b>TOTAL EMPLOYER CONTRIBUTIONS</b>	<b>455,775</b>	<b>479,607</b>	<b>498,806</b>	<b>576,994</b>	<b>683,683</b>	<b>788,703</b>
<b>Total PERSONNEL SERVICES</b>	<b>2,140,494</b>	<b>2,289,527</b>	<b>2,342,157</b>	<b>2,663,698</b>	<b>3,071,452</b>	<b>3,459,575</b>
<b>SUPPLIES</b>						
<b>OFFICE SUPPLIES</b>						
6203 DUPLICATING SUPPLY & COPY PAPER	4,725	2,174	2,198	4,594	5,000	5,000
6204 STATIONERY, ENVELOPES & FORMS	1,242	1,579	5,830	2,899	4,100	3,500
6206 FILM, MICROFILM, TAPES, DISKS	-	-	-	-	-	-
6208 MISCELLANEOUS OFFICE SUPPLIES	5,918	4,711	4,680	5,396	6,775	6,300
<b>TOTAL OFFICE SUPPLIES</b>	<b>11,886</b>	<b>8,464</b>	<b>12,708</b>	<b>12,889</b>	<b>15,875</b>	<b>14,800</b>
<b>OPERATING SUPPLIES</b>						
6221 CLEANING SUPPLIES	1,391	2,496	1,910	4,025	3,500	4,000
6223 GASOLINE	1,543	2,455	3,390	3,347	4,000	4,000
6225 DIESEL FUEL	758	451	2,172	563	2,000	2,000
6231 UNIFORMS & TURN-OUT GEAR	2,269	1,575	2,199	1,695	2,500	3,000
6247 HAPPY DAYS SUPPLIES	-	7,000	7,000	12,000	12,000	12,000
6249 MISCELLANEOUS OPERATING SUPPLY	35,036	35,526	53,046	32,725	50,792	33,475
6246 MARKETING	-	1,051	198	2,951	2,500	3,000
<b>TOTAL OPERATING SUPPLIES</b>	<b>40,997</b>	<b>50,554</b>	<b>69,915</b>	<b>57,306</b>	<b>77,292</b>	<b>61,475</b>
<b>REPAIR AND MAINTENANCE SUPPLIES</b>						
6257 OTHER VEHICLE PARTS	623	280	3,200	2,136	2,000	2,500
6259 BUILDING MAINT/REPAIR SUPPLIES	1,994	4,036	5,313	5,329	7,500	8,000
<b>TOTAL REPAIR AND MAINTENANCE SUPPLIES</b>	<b>2,617</b>	<b>4,316</b>	<b>8,513</b>	<b>7,464</b>	<b>9,500</b>	<b>10,500</b>
<b>SMALL TOOLS AND MINOR EQUIPMENT</b>						
6281 SMALL TOOLS & MINOR EQUIPMENT	42,736	49,142	59,318	62,356	76,820	75,988
<b>TOTAL SMALL TOOLS AND MINOR EQUIPMENT</b>	<b>42,736</b>	<b>49,142</b>	<b>59,318</b>	<b>62,356</b>	<b>76,820</b>	<b>75,988</b>
<b>Total SUPPLIES</b>	<b>98,236</b>	<b>112,476</b>	<b>150,454</b>	<b>140,016</b>	<b>179,487</b>	<b>162,763</b>

<b>OTHER SERVICES &amp; CHARGES</b>							
<b>PROFESSIONAL SERVICES</b>							
6302	AUDITING & ACCOUNTING SERVICES	32,405	38,260	34,712	40,216	37,000	50,000
6304	LEGAL FEES	123,305	124,320	120,510	115,288	128,000	126,000
6305	MEDICAL/PSYCHOLOGICAL FEES	-	-	-	-	-	-
6306	PERSONNEL TESTING & RECRUITMT	14,042	16,825	24,634	14,849	25,000	30,000
6315	MISCELLANEOUS PROFESSIONAL SER	110,803	60,556	64,693	57,420	82,600	79,600
<b>TOTAL PROFESSIONAL SERVICES</b>		<b>280,554</b>	<b>239,961</b>	<b>244,549</b>	<b>227,773</b>	<b>272,600</b>	<b>285,600</b>
<b>COMMUNICATION</b>							
6321	TELEPHONE	8,838	9,368	13,675	13,945	15,600	15,600
6322	POSTAGE	14,202	14,529	14,867	15,582	17,700	18,650
6323	CELLULAR PHONES	4,554	5,743	43,623	50,176	53,083	60,000
6325	LONG DISTANCE CHARGES	-	-	-	-	-	-
<b>TOTAL COMMUNICATION</b>		<b>27,594</b>	<b>29,640</b>	<b>72,165</b>	<b>79,703</b>	<b>86,383</b>	<b>94,250</b>
<b>EMPLOYEE REIMBURSEMENTS</b>							
6331	TRAVEL & LODGING	155	804	1,460	2,086	7,500	6,950
6334	MILEAGE REIMBURSEMENT	-	-	84	230	500	500
6335	TRAINING	7,611	16,580	17,959	23,534	39,300	40,000
<b>TOTAL EMPLOYEE REIMBURSEMENTS</b>		<b>7,765</b>	<b>17,385</b>	<b>19,504</b>	<b>25,850</b>	<b>47,300</b>	<b>47,450</b>
<b>ADVERTISING AND PUBLISHING</b>							
6352	GENERAL NOTICE & PUBLIC INFOR	30,311	35,265	38,966	42,257	46,100	47,550
6353	ORDINANCE PUBLICATION	2,575	1,301	2,322	1,430	2,000	2,000
6354	HELP WANTED ADVERTISEMENTS	1,905	3,276	7,302	549	3,500	2,000
<b>TOTAL ADVERTISING AND PUBLISHING</b>		<b>34,790</b>	<b>39,841</b>	<b>48,591</b>	<b>44,235</b>	<b>51,600</b>	<b>51,550</b>
<b>INSURANCE</b>							
6361	GENERAL LIABILITY/PROPERTY INS	34,162	35,616	30,378	30,050	32,669	31,036
<b>TOTAL INSURANCE</b>		<b>34,162</b>	<b>35,616</b>	<b>30,378</b>	<b>30,050</b>	<b>32,669</b>	<b>31,036</b>
<b>UTILITIES</b>							
6371	ELECTRIC UTILITIES	94,612	99,184	99,439	102,932	112,000	112,000
6372	WATER/IRRIGATION	2,853	2,412	2,928	3,358	3,300	3,700
6373	GAS	20,395	30,273	40,961	38,397	49,000	44,000
6374	REFUSE/RECYCLING	5,230	4,852	5,569	5,681	7,050	6,450
<b>TOTAL UTILITIES</b>		<b>123,090</b>	<b>136,723</b>	<b>148,896</b>	<b>150,369</b>	<b>171,350</b>	<b>166,150</b>
<b>REPAIRS AND MAINTENANCE - LABOR</b>							
6381	BUILDING & STRUCTURE REPAIR	9,855	7,747	9,127	3,272	23,000	25,000
6382	MACHINERY & EQUIPMENT REPAIR	12,554	13,193	19,344	20,262	23,000	25,000
6388	OTHER VEHICLE REPAIR	343	2,043	241	71	2,000	2,500
<b>TOTAL REPAIRS AND MAINTENANCE - LABOR</b>		<b>22,752</b>	<b>22,982</b>	<b>28,712</b>	<b>23,606</b>	<b>48,000</b>	<b>52,500</b>
<b>REPAIRS AND MAINTENANCE - CONTRACTS</b>							
6405	OFFICE & DATA PROCESSING EQUIP	314,997	366,110	387,787	395,677	538,671	592,894
<b>TOTAL REPAIRS AND MAINTENANCE - CONTRACTS</b>		<b>314,997</b>	<b>366,110</b>	<b>387,787</b>	<b>395,677</b>	<b>538,671</b>	<b>592,894</b>
<b>RENTALS</b>							
6415	OTHER EQUIPMENT RENTAL	-	-	-	-	-	-
<b>TOTAL RENTALS</b>		<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>DUES, SUBSCRIPTIONS, AND REGISTRATION FEES</b>							
6451	MEMBERSHIP DUES	39,559	38,598	38,014	38,494	42,930	44,758
6452	SUBSCRIPTIONS	1,280	589	1,458	1,511	1,450	1,700
<b>TOTAL DUES, SUBSCRIPTIONS, AND REGISTRATION FEES</b>		<b>40,840</b>	<b>39,187</b>	<b>39,472</b>	<b>40,005</b>	<b>44,380</b>	<b>46,458</b>
<b>BOOKS AND PAMPHLETS</b>							
6471	BOOKS & PAMPHLETS	-	-	-	-	-	-
<b>TOTAL BOOKS AND PAMPHLETS</b>		<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>CONTRACTED SERVICES</b>							
6489	OTHER CONTRACTED SERVICES	240,738	211,300	220,670	232,330	235,000	240,000
<b>TOTAL CONTRACTED SERVICES</b>		<b>240,738</b>	<b>211,300</b>	<b>220,670</b>	<b>232,330</b>	<b>235,000</b>	<b>240,000</b>
<b>Total OTHER SERVICES &amp; CHARGES</b>		<b>1,127,282</b>	<b>1,138,745</b>	<b>1,240,724</b>	<b>1,249,598</b>	<b>1,527,953</b>	<b>1,607,888</b>
<b>CAPITAL OUTLAY</b>							
<b>CAPITAL OUTLAY</b>							
6520	BUILDINGS	-	-	-	-	-	-
6550	MOTOR VEHICLES	-	-	47,226	-	58,000	-
6580	OTHER EQUIPMENT	-	-	-	-	161,000	-
6585	COMPUTER HARDWARE/SOFTWARE	24,423	-	26,894	-	37,000	25,000
<b>TOTAL CAPITAL OUTLAY</b>		<b>24,423</b>	<b>-</b>	<b>74,120</b>	<b>-</b>	<b>256,000</b>	<b>25,000</b>
<b>Total CAPITAL OUTLAY</b>		<b>24,423</b>	<b>-</b>	<b>74,120</b>	<b>-</b>	<b>256,000</b>	<b>25,000</b>
<b>TOTAL EXPENDITURES &amp; OTHER FINANCING</b>		<b>3,390,435</b>	<b>3,540,747</b>	<b>3,807,456</b>	<b>4,053,311</b>	<b>5,034,892</b>	<b>5,255,226</b>
<b>SUMMARY:</b>							
<b>OPERATING EXPENSE:</b>		<b>3,366,012</b>	<b>3,540,747</b>	<b>3,733,335</b>	<b>4,053,311</b>	<b>4,778,892</b>	<b>5,230,226</b>
<b>CAPITAL OUTLAY:</b>		<b>24,423</b>	<b>-</b>	<b>74,120</b>	<b>-</b>	<b>256,000</b>	<b>25,000</b>
<b>TOTAL EXPENDITURES</b>		<b>\$ 3,390,435</b>	<b>\$ 3,540,747</b>	<b>\$ 3,807,456</b>	<b>\$ 4,053,311</b>	<b>\$ 5,034,892</b>	<b>\$ 5,255,226</b>

**BUDGET SUMMARY:**

Business Unit	Object Account	Description	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Adopted Budget	2025 Requested Budget
0111	6104	PART TIME-WAGES & SALARIES	33,605	40,350	38,000	46,050	44,000	44,000
0111	6121	PERA CONTRIBUTIONS	1,002	1,300	1,300	1,600	1,300	1,600
0111	6122	FICA/MEDICARE CONTRIBUTIONS	2,571	3,093	2,907	3,523	3,366	3,366
0111	6131	GROUP INSURANCE	7,895					
0111	6133	WORKERS COMP INSURANCE PREMIUM	148	242	116	144	233	233
0111	6247	HAPPY DAYS	-	7,000	7,000	12,000	12,000	12,000
0111	6249	MISCELLANEOUS OPERATING SUPPLY	6,530	13,684	21,308	6,736	17,200	2,150
0111	6315	MISCELLANEOUS PROFESSIONAL SER	15,170		-	-	7,000	
0111	6331	TRAVEL & LODGING	136	-	-	166	2,000	1,000
0111	6335	TRAINING	903	175	-	1,135	2,500	1,400
0111	6361	GENERAL LIABILITY/PROPERTY INS	1,070	1,011	823	875	936	787
0111	6451	MEMBERSHIP DUES	35,504	33,708	34,661	35,491	36,780	38,308
<b>Total Expenditure</b>			<b>104,534</b>	<b>100,563</b>	<b>106,114</b>	<b>107,719</b>	<b>127,315</b>	<b>104,844</b>

**SUMMARY:**

<b>OPERATING EXPENSE:</b>	<b>104,534</b>	<b>100,563</b>	<b>106,114</b>	<b>107,719</b>	<b>127,315</b>	<b>104,844</b>
<b>CAPITAL OUTLAY:</b>	-	-	-	-	-	-
<b>TOTAL EXPENDITURES</b>	<b>\$ 104,534</b>	<b>\$ 100,563</b>	<b>\$ 106,114</b>	<b>\$ 107,719</b>	<b>\$ 127,315</b>	<b>\$ 104,844</b>

**PERSONNEL COMPLEMENT**

Mayor	1.00	1.00	1.00	1.00	1.00	1.00
Council	6.00	6.00	6.00	6.00	6.00	6.00
<b>Mayor and Council Total</b>	<b>7.00</b>	<b>7.00</b>	<b>7.00</b>	<b>7.00</b>	<b>7.00</b>	<b>7.00</b>

**6249 Miscellaneous Operating Supplies**

Mayor's Prayer Breakfast	-	270	340	78	400	400
Meals for Council Work sessions	3,435	3,364	2,353	3,586	4,000	-
Employee Recognition Event (January Event)	2,193	-	4,047	3,010	3,500	-
Tree Lighting/Outside Lights & Light Contest	-	8,932	10,438	-	750	750
Gala/Fundraising Events	-	225	805	-	2,000	1,000
Miscellaneous	902	893	3,325	62	6,550	-
	<b>6,530</b>	<b>13,684</b>	<b>21,308</b>	<b>6,736</b>	<b>17,200</b>	<b>2,150</b>

**6315 Miscellaneous Professional Services**

Citizen Survey	15,170	-	-	-	7,000	-
	<b>15,170</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>7,000</b>	<b>-</b>

**6451 Dues**

North Metro Mayors Association	11,768	11,533	11,417	11,303	11,575	11,575
North Metro Chamber (EDA)	-	-	-	-	-	-
Mississippi/Champlin Streamgage Agreement	620	620	620	620	620	675
Anoka Area Chamber of Commerce (EDA)	410	-	-	-	-	-
League of Minnesota Cities	20,723	21,525	22,594	23,538	24,555	26,028
MN Mayors Assoc	30	30	30	30	30	30
National League of Cities	1,953	-	-	-	-	-
	<b>35,504</b>	<b>33,708</b>	<b>34,661</b>	<b>35,491</b>	<b>36,780</b>	<b>38,308</b>

**DESCRIPTION OF SERVICES:**

The Mayor and Council budget provides for legislative and policy making activities of the city on behalf of the citizens of Ramsey. They provide for the planning and control of all financial activities including approving the tax levy, rates and charges, and approval of expenditures.

**BUDGET HIGHLIGHTS**

- No Annual Survey budgeted

**GOALS OF CURRENT YEAR BUDGET:**

- Establish and implement a Strategic Action Plan
- Establish legislative priorities for the City
- Maintain a stable tax levy rate

**Performance Measurements:**

	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Estimate	2025 Projected
Tax Levy Rate	39.59%	39.25%	42.24%	40.43%	41.17%	TBD

Business Unit	Object Account	Description	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Adopted Budget	2025 Requested Budget
0114	6105	TEMPORARY-WAGES & SALARIES	2,940	3,360	2,490	2,285	3,500	3,500
0114	6122	FICA/MEDICARE CONTRIBUTIONS	225	257	191	175	383	383
0114	6133	WORKERS COMP INSURANCE PREMIUM	15	12	7	7	25	34
0114	6361	GENERAL LIABILITY/PROPERTY INS	33	36	21	-	60	12
<b>Total Expenditure</b>			<b>3,213</b>	<b>3,666</b>	<b>2,709</b>	<b>2,467</b>	<b>3,968</b>	<b>3,929</b>

**SUMMARY:**

<b>OPERATING EXPENSE:</b>	<b>3,213</b>	<b>3,666</b>	<b>2,709</b>	<b>2,467</b>	<b>3,968</b>	<b>3,929</b>
<b>CAPITAL OUTLAY:</b>	-	-	-	-	-	-
<b>TOTAL EXPENDITURES</b>	<b>\$ 3,213</b>	<b>\$ 3,666</b>	<b>\$ 2,709</b>	<b>\$ 2,467</b>	<b>\$ 3,968</b>	<b>\$ 3,929</b>

**PERSONNEL COMPLEMENT**

Charter Commission Members	9.00	9.00	9.00	9.00	9.00	9.00
Planning Commission Members	7.00	7.00	7.00	7.00	7.00	7.00
<b>Commission Total</b>	<b>16.00</b>	<b>16.00</b>	<b>16.00</b>	<b>16.00</b>	<b>16.00</b>	<b>16.00</b>

**DESCRIPTION OF SERVICES:**

The Commissions budget provides council-appointed committee members tasked to

**BUDGET HIGHLIGHTS**

- No Changes

**GOALS OF CURRENT YEAR BUDGET:**

- Assist the City Council in the implementation of the City's 3-Year Strategic
- Implement individual commissions' work plans and missions
- Implement and manage individual commissions' budgets

**Performance Measurements:**

	2020 Actual	2021 Projected	2022 Projected	2023 Projected	2024 Projected	2025 Projected
# of Meetings: Charter Commission	1	2	2	2	2	2
# of Meetings: Economic Development Authority Commission	12	12	12	12	12	12
# of Meetings: Environmental Policy Board Commission	10	11	11	11	11	11
# of Meetings: Parks and Recreation Commission	11	10	10	10	10	10
# of Meetings: Planning Commission	15	17	17	17	17	17
# of Meetings: City Council Regular Session	23	23	23	23	23	23
# of Meetings: City Council Work Session	26	25	25	25	25	25
# of Meetings: Public Works Committee	10	8	8	8	8	8

Business Unit	Object Account	Description	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Adopted Budget	2025 Requested Budget
0130	6102	F.T. REGULAR-WAGES & SALARIES	524,501	554,618	562,006	651,397	686,538	773,182
0130	6103	FULL TIME-REGULAR-OVERTIME	1,315					
0130	6104	PART TIME-WAGES & SALARIES	580		16,383	24,686	25,389	28,591
0130	6105	TEMPORARY-WAGES & SALARIES	-	9,394	37,276			
0130	6108	SEVERANCE PAY						
0130	6121	PERA CONTRIBUTIONS	38,391	40,765	42,721	50,252	53,395	60,133
0130	6122	FICA/MEDICARE CONTRIBUTIONS	37,053	40,080	43,360	51,500	59,336	67,206
0130	6123	ICMA RETIREMENT TRUST	2,000	2,000	800	-		
0130	6131	GROUP INSURANCE	73,945	80,105	71,806	75,814	81,529	95,866
0130	6133	WORKERS COMP INSURANCE PREMIUM	3,210	2,447	3,077	3,504	3,931	4,988
0130	6203	DUPLICATING SUPPLY & COPY PAPE	4,725	2,174	2,198	4,594	5,000	5,000
0130	6204	STATIONERY, ENVELOPES & FORMS	870	738	5,458	1,890	3,500	2,500
0130	6208	MISCELLANEOUS OFFICE SUPPLIES	3,455	2,570	3,413	3,515	5,000	4,500
0130	6246	MARKETING	-	1,051	198	2,951	2,500	3,000
0130	6249	MISCELLANEOUS OPERATING SUPPLY	6,527	2,707	4,204	3,536	6,500	5,500
0130	6306	PERSONNEL TESTING	14,042	16,825	24,634	14,849	25,000	30,000
0130	6315	MISCELLANEOUS PROFESSIONAL SER	52,159	57,453	63,894	57,243	65,600	69,600
0130	6321	TELEPHONE	1,044	1,082	-	-	-	-
0130	6322	POSTAGE	424	385	121	67	1,000	600
0130	6323	CELLULAR PHONES	883	933	-	-	-	-
0130	6331	TRAVEL & LODGING	-	804	491	1,765	4,000	4,000
0130	6334	MILEAGE REIMBURSEMENT	-	-	84	-	-	-
0130	6335	TRAINING	4,787	11,598	10,128	16,760	26,600	25,000
0130	6352	GENERAL NOTICE & PUBLIC INFOR	570	188	172	102	1,000	1,000
0130	6353	ORDINANCE PUBLICATION	2,575	1,301	2,322	1,430	2,000	2,000
0130	6354	HELP WANTED ADVERTISEMENTS	1,905	3,276	7,302	549	3,500	2,000
0130	6361	GENERAL LIABILITY/PROPERTY INS	8,108	8,410	7,067	6,883	7,365	6,655
0130	6405	OFFICE & DATA PROCESSING EQUIP	9,462	9,130	2,231	1,897	4,400	4,400
0130	6451	MEMBERSHIP DUES	2,418	2,109	1,919	1,525	3,000	2,200
0130	6452	SUBSCRIPTIONS	421	589	714	659	450	700
<b>Total Expenditure</b>			<b>795,368</b>	<b>852,730</b>	<b>913,981</b>	<b>977,369</b>	<b>1,076,533</b>	<b>1,198,621</b>

**SUMMARY:**

<b>OPERATING EXPENSE:</b>	<b>795,368</b>	<b>852,730</b>	<b>913,981</b>	<b>977,369</b>	<b>1,076,533</b>	<b>1,198,621</b>
<b>CAPITAL OUTLAY:</b>	-	-	-	-	-	-
<b>TOTAL EXPENDITURES</b>	<b>\$ 795,368</b>	<b>\$ 852,730</b>	<b>\$ 913,981</b>	<b>\$ 977,369</b>	<b>\$ 1,076,533</b>	<b>\$ 1,198,621</b>

**PERSONNEL COMPLEMENT**

City Administrator	1.00	1.00	1.00	1.00	1.00	1.00
Director of Administrative Services	1.00	1.00	1.00	1.00	1.00	1.00
City Clerk	-	-	1.00	0.80	0.80	0.80
Secretary						
Deputy City Clerk	-	1.00	-	-	-	-
HR Generalist	1.00	1.00	1.00	1.00	1.00	1.00
HR Specialist	-	-	1.00	1.00	1.00	1.00
Administrative Clerks	1.00	1.00	1.00	1.00	1.00	1.00
Mgmt Intern	0.50	0.50	-	-	-	-
Administrative Assistant	1.00	-	-	-	-	-
Public Information & Events Specialist	1.00	1.00	-	-	-	-
Communications Coordinator	-	-	1.00	1.00	1.00	1.00
Receptionist	1.00	1.00	1.50	1.50	1.50	1.50
<b>Administration Total</b>	<b>7.50</b>	<b>7.50</b>	<b>8.50</b>	<b>8.30</b>	<b>8.30</b>	<b>8.30</b>

**6249 Miscellaneous Operating Supplies**

Employee Recognition (Spring & Fall)	1,703	1,713	2,253	2,605	2,900	2,900
Expenses for staff workshops and other misc. operating supplies.	4,824	994	1,951	931	3,600	2,600
	<u>6,527</u>	<u>2,707</u>	<u>4,204</u>	<u>3,536</u>	<u>6,500</u>	<u>5,500</u>

**6315 Miscellaneous Professional Services**

Insurance Agent of Record Annual Fee	7,000	7,000	7,000	7,000	7,000	8,000
Flex Spending/HRA(admin & deposit)	4,301	5,436	3,621	4,514	5,500	3,500
Employee Assistance Program-Cobra/HSA/Group Health	4,211	3,468	3,687	4,198	3,500	4,500
City Code Codification	2,016	8,266	6,363	5,905	8,000	8,000
Miscellaneous department charges-WC Deduction/Unemployment	6,070	5,193	12,039	11,879	15,000	15,000
Recruiting Software	3,440	3,681	3,920	4,670	4,000	5,000
Health admin/enrollment	4,320					
Minute Taking	20,801	24,410	27,263	19,077	22,600	25,600
	<u>52,159</u>	<u>57,453</u>	<u>63,894</u>	<u>57,243</u>	<u>65,600</u>	<u>69,600</u>

**6451 Dues**

IPMA - National	156	-		150	-	
ICMA	1,300	1,259	1,356		1,400	1,200
MCCMA	338	188	174	257	275	210
MAMA		-			50	
Miscellaneous	474	524	389	504	1,275	301
HR organizations-misc		138		614		489
Rotary	150	-	-			
	<u>2,418</u>	<u>2,109</u>	<u>1,919</u>	<u>1,525</u>	<u>3,000</u>	<u>2,200</u>

**DESCRIPTION OF SERVICES:**

The Administration Department is generally responsible for the execution of city policy/strategic plan as adopted by the City Council, prepares and maintains official records, provides for the licensing of local businesses and activities as required by state law or city ordinance, provides Human Resource services, and generally oversees the coordination of events and communications for the City.

**BUDGET HIGHLIGHTS**

- Market Rate Adjustments - From 0% - 15.32%
- COLA & Steps

**GOALS OF CURRENT YEAR BUDGET:**

- Oversee implementation of the Council Strategic Action Plan and Legislative Priorities
- Optimize use of non-city funding through joint projects, grants, and partnerships

Business Unit	Object Account	Description	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Adopted Budget	2025 Requested Budget
0141	6102	F.T. REGULAR-WAGES & SALARIES	5,842	388	8,041	-	9,000	
0141	6103	FULL TIME-REGULAR-OVERTIME	1,583		1,095	-		
0141	6104	PART TIME-WAGES & SALARIES	1,562	128		-		
0141	6105	TEMPORARY-WAGES & SALARIES	34,485	1,583	22,261	-	34,560	
0141	6121	PERA CONTRIBUTIONS	671	39	706	-	675	
0141	6122	FICA/MEDICARE CONTRIBUTIONS	677	36	642	-	689	
0141	6133	WORKERS COMP INSURANCE PREMIUM	212	7	130	-	270	
0141	6249	MISCELLANEOUS OPERATING SUPPLY	2,602	-	5,631	203	3,267	
0141	6281	SMALL TOOLS & MINOR EQUIPMENT	5,476	5,524	5,717	6,083	5,800	3,500
0141	6322	POSTAGE	105	3	120	26	100	50
0141	6361	GENERAL LIABILITY/PROPERTY INS	550	77	346	45	500	89
<b>Total Expenditure</b>			<b>53,763</b>	<b>7,784</b>	<b>44,689</b>	<b>6,357</b>	<b>54,861</b>	<b>3,639</b>

**SUMMARY:**

<b>OPERATING EXPENSE:</b>	<b>53,763</b>	<b>7,784</b>	<b>44,689</b>	<b>6,357</b>	<b>54,861</b>	<b>3,639</b>
<b>CAPITAL OUTLAY:</b>	-	-	-	-	-	-
<b>TOTAL EXPENDITURES</b>	<b>\$ 53,763</b>	<b>\$ 7,784</b>	<b>\$ 44,689</b>	<b>\$ 6,357</b>	<b>\$ 54,861</b>	<b>\$ 3,639</b>

**DESCRIPTION OF SERVICES:**  
 The Elections budget provides funds needed to conduct the national, state, and local elections in accordance with statutory requirements.

- BUDGET HIGHLIGHTS**
- Non-election year

Performance Measurements:				
	2018	2020	2022	2024
Number of Votes	11764	16483	12318	
Number of Voters registered Election Day	15890	17428	18059	
Percent (votes/registered)	74.03%	94.58%	68.21%	#DIV/0!
Number of Wards	4	4	4	4
Number of Precincts	8	8	9	9

Business Unit	Object Account	Description	2020	2021			2023	2024	2025
			Actual	Actual	2022	Actual	Actual	Adopted Budget	Requested Budget
0153	6102	F.T. REGULAR-WAGES & SALARIES	265,330	276,264		247,373	255,114	304,115	361,124
0153	6108	SEVERANCE PAY		11,013		8,699			
0153	6121	PERA CONTRIBUTIONS	19,489	20,428		18,501	18,890	22,809	23,346
0153	6122	FICA/MEDICARE CONTRIBUTIONS	19,025	20,511		19,299	19,179	24,895	30,400
0153	6131	GROUP INSURANCE	27,432	26,242		19,708	26,186	34,706	50,528
0153	6133	WORKERS COMP INSURANCE PREMIUM	1,568	1,190		1,246	1,308	1,996	2,202
0153	6204	STATIONERY, ENVELOPES & FORMS	372	841		372	1,009	600	1,000
0153	6208	MISCELLANEOUS OFFICE SUPPLIES	1,861	264		312	225	400	400
0153	6302	AUDITING & ACCOUNTING SERVICES	32,405	38,260		34,712	40,216	37,000	50,000
0153	6321	TELEPHONE	464	443		-	-		
0153	6322	POSTAGE	1,574	1,571		1,716	1,543	2,000	2,000
0153	6335	TRAINING	1,739	3,002		2,218	-	3,000	3,000
0153	6352	GENERAL NOTICE & PUBLIC INFOR	296	409		306	505	500	550
0153	6361	GENERAL LIABILITY/PROPERTY INS	3,874	4,052		2,800	2,612	2,795	2,724
0153	6451	MEMBERSHIP DUES	623	777		640	365	850	1,200
0153	6489	OTHER CONTRACTED SERVICES	3,114	3,450		4,952	3,709	5,000	5,000
<b>Total Expenditure</b>			<b>379,167</b>	<b>408,717</b>		<b>362,854</b>	<b>370,861</b>	<b>440,666</b>	<b>533,474</b>

**SUMMARY:**

<b>OPERATING EXPENSE:</b>	<b>379,167</b>	<b>408,717</b>	<b>362,854</b>	<b>370,861</b>	<b>440,666</b>	<b>533,474</b>
<b>CAPITAL OUTLAY:</b>	-	-	-	-	-	-
<b>TOTAL EXPENDITURES</b>	<b>\$ 379,167</b>	<b>\$ 408,717</b>	<b>\$ 362,854</b>	<b>\$ 370,861</b>	<b>\$ 440,666</b>	<b>\$ 533,474</b>

**PERSONNEL COMPLEMENT**

Finance Director	1.00	1.00	1.00	1.00	1.00	1.00
Asst. Finance Director	1.00	1.00	1.00	1.00	1.00	1.00
Accountant I	-	-	-	1.00	1.00	1.00
Accountant II	1.00	-	-	-	1.00	1.00
Accountant III	-	1.00	1.00	-	-	-
Accounting Clerk	-	-	1.00	1.00	1.00	1.00
Sr. Accounting Clerk	1.00	1.00	-	-	-	-
<b>Finance Total</b>	<b>4.00</b>	<b>4.00</b>	<b>4.00</b>	<b>4.00</b>	<b>5.00</b>	<b>5.00</b>

**DESCRIPTION OF SERVICES:**

The Finance Department is responsible for financial reporting and budgeting, assessments, cash receipts, accounts receivable, accounts payable, payroll processing, debt service management and investment of all city funds.

**BUDGET HIGHLIGHTS**

- Annual Audit -\$13,000 increase (mini increase last 5 years)
- Market Rate Adjustments - From 2.09% - 19.12%
- COLA & Steps

**GOALS OF CURRENT YEAR BUDGET:**

- Continued long-term financial planning (5-Year Budget & 10-Year CIP)
- Continued CAFR award recognition
- Ensure compliance with state and federal laws

**Performance Measurements:**

	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Estimate	2025 Projected
Average Rate of Return	2.00%	1.53%	1.64%	2.92%	2.00%	2.00%
Bond Rating	AA+	AA+	AA+	AA+	AA+	AA+

Business Unit	Object Account	Description	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Adopted Budget	2025 Requested Budget
0155	6489	OTHER CONTRACTED SERVICES	147,722	120,463	125,272	126,096	133,000	133,000
Total Expenditure			147,722	120,463	125,272	126,096	133,000	133,000

**SUMMARY:**

<b>OPERATING EXPENSE:</b>	147,722	120,463	125,272	126,096	133,000	133,000
<b>CAPITAL OUTLAY:</b>	-	-	-	-	-	-
<b>TOTAL EXPENDITURES</b>	<u>\$ 147,722</u>	<u>\$ 120,463</u>	<u>\$ 125,272</u>	<u>\$ 126,096</u>	<u>\$ 133,000</u>	<u>\$ 133,000</u>

DESCRIPTION OF SERVICES:
The Assessing budget provides contractual assessing services provided by Anoka County.

BUDGET HIGHLIGHTS
<ul style="list-style-type: none"> <li>No changes</li> </ul>

GOALS OF CURRENT YEAR BUDGET:
<ul style="list-style-type: none"> <li>Increase number of in-person assessment appraisals to better</li> </ul>

Performance Measurements:	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Estimate	2025 Projected
Number of Assessed Parcels - Residential Properties	8,993	8,987	9,347	9,475	9,487	9,617
Number of Assessed Parcels - Commercial Properties	383	387	402	396	408	402

Business Unit	Object Account	Description	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Adopted Budget	2025 Requested Budget
0161	6304	LEGAL FEES	123,305	124,320	120,510	115,288	128,000	126,000
0161	6361	GENERAL LIABILITY/PROPERTY INS	1,229	1,157	913	855	915	797
<b>Total Expenditure</b>			<b>124,533</b>	<b>125,477</b>	<b>121,422</b>	<b>116,142</b>	<b>128,915</b>	<b>126,797</b>

**SUMMARY:**

<b>OPERATING EXPENSE:</b>	<b>124,533</b>	<b>125,477</b>	<b>121,422</b>	<b>116,142</b>	<b>128,915</b>	<b>126,797</b>
<b>CAPITAL OUTLAY:</b>	-	-	-	-	-	-
<b>TOTAL EXPENDITURES</b>	<b>\$ 124,533</b>	<b>\$ 125,477</b>	<b>\$ 121,422</b>	<b>\$ 116,142</b>	<b>\$ 128,915</b>	<b>\$ 126,797</b>

DESCRIPTION OF SERVICES:
The Legal budget provides for legal counsel to the City Council and city staff, reviews ordinances, resolutions, contracts and other legal documents. The budget also provides for prosecution services. The City's prosecution services are provided by Eckberg, Lammers Attorneys at Law and other legal services are provided by Holstad & Knaak, PLC.

BUDGET HIGHLIGHTS
<ul style="list-style-type: none"> <li>No Changes</li> </ul>

GOALS OF CURRENT YEAR BUDGET:
<ul style="list-style-type: none"> <li>Ensure city compliance with all laws</li> </ul>

Business Unit	Object Account	Description	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Adopted Budget	2025 Requested Budget
0191	6102	F.T. REGULAR-WAGES & SALARIES	446,437	486,561	442,889	556,589	654,462	736,480
0191	6104	PART-TIME WAGES & SALARIES	34,004	40,016	62,985	71,849	83,376	86,925
0191	6105	TEMPORARY-WAGES & SALARIES	-	5,908	-	-	-	-
0191	6108	SEVERANCE PAY	-	47,657	7,504	4,934	-	-
0191	6121	PERA CONTRIBUTIONS	33,872	37,293	37,800	47,023	55,338	61,755
0191	6122	FICA/MEDICARE CONTRIBUTIONS	35,801	40,393	38,380	46,887	60,410	67,188
0191	6131	GROUP INSURANCE	39,841	49,990	56,284	71,843	83,890	105,747
0191	6133	WORKERS COMP INSURANCE PREMIUM	2,792	2,350	2,566	3,279	3,686	6,132
0191	6208	MISCELLANEOUS OFFICE SUPPLIES	565	1,805	542	1,276	1,000	1,000
0191	6249	MISCELLANEOUS OPERATING SUPPLY	3,551	2,374	1,347	2,304	3,000	3,000
0191	6315	MISCELLANEOUS PROFESSIONAL SER	43,474	3,103	799	177	10,000	10,000
0191	6321	TELEPHONE	585	637	-	-	-	-
0191	6322	POSTAGE	754	851	565	876	1,000	1,000
0191	6323	CELLULAR PHONES	2,267	3,139	-	-	-	-
0191	6331	TRAVEL & LODGING	19	-	969	155	1,500	1,950
0191	6334	MILEAGE REIMBURSEMENT	-	-	-	230	500	500
0191	6335	TRAINING	90	1,805	4,260	1,831	4,000	7,400
0191	6352	GENERAL NOTICE & PUBLIC INFOR	574	581	2,079	1,408	3,000	3,000
0191	6361	GENERAL LIABILITY/PROPERTY INS	6,884	7,415	5,366	6,016	6,437	6,298
0191	6451	MEMBERSHIP DUES	1,015	2,004	794	1,113	2,300	3,050
0191	6452	SUBSCRIPTIONS	859	-	744	852	1,000	1,000
<b>Total Expenditure</b>			<b>653,382</b>	<b>733,882</b>	<b>665,874</b>	<b>818,640</b>	<b>974,899</b>	<b>1,102,425</b>

**SUMMARY:**

<b>OPERATING EXPENSE:</b>	<b>653,382</b>	<b>733,882</b>	<b>665,874</b>	<b>818,640</b>	<b>974,899</b>	<b>1,102,425</b>
<b>CAPITAL OUTLAY:</b>	-	-	-	-	-	-
<b>TOTAL EXPENDITURES</b>	<b>\$ 653,382</b>	<b>\$ 733,882</b>	<b>\$ 665,874</b>	<b>\$ 818,640</b>	<b>\$ 974,899</b>	<b>\$ 1,102,425</b>

**PERSONNEL COMPLEMENT**

City Planner	2.00	1.00	-	1.00	1.00	1.00
Planning Manager			1.00	1.00	1.00	1.00
Senior City Planner	1.00	1.00	1.00	1.00	1.00	1.00
Rental Housing Inspector	-	-	-	-	1.00	1.00
Zoning Code Enforcement Officer	-	1.00	1.00	1.00	1.00	1.00
Deputy City Administrator/Community Development Director	1.00	1.00	1.00	-	-	-
Community Development Director				1.00	1.00	1.00
Planning Technician	-	1.00	1.00	-	-	-
Economic Development Manager	1.00	1.00	1.00	1.00	1.00	1.00
Community Development Assistant	0.40	0.40	0.50	0.50	0.63	0.63
Planning Intern	0.50	0.50	-	-	-	-
Administrative Assistant	0.73	0.73	0.73	0.73	0.73	0.73
<b>Planning &amp; Zoning Total</b>	<b>6.63</b>	<b>7.63</b>	<b>7.23</b>	<b>7.23</b>	<b>8.36</b>	<b>8.36</b>

**DESCRIPTION OF SERVICES:**

The mission of the Community Development Department is to guide residential and commercial growth through comprehensive planning processes and administer the city's building and zoning codes in a equitable and professional manner to promote and sustain public safety, quality of life, and the health and well being of the whole community.

The Planning Division's function is to prepare and implement the City's Comprehensive Plan (the City's land use guide) and comprises of two (2) major functions: long-range land use planning and zoning administration.

**BUDGET HIGHLIGHTS**

- Market Rate Adjustments - From 0% - 18.36%
- COLA & Steps

**GOALS OF CURRENT YEAR BUDGET:**

- All Land Use Applications processed with 60 days.
- Standard plan review completed within 5 business day (previously 10 business days).
- Improve Responsiveness to Code Violation Complaints
- Improve image of key nodes/corridors and be proactive on site plans due to Ramsey Gateway Project.
- Improve the application process for land use applications.

<b>Performance Measurements:</b>						
	<b>2020 Actual</b>	<b>2021 Projected</b>	<b>2022 Actual</b>	<b>2023 Actual</b>	<b>2024 Projected</b>	<b>2025 Projected</b>
Number of Land Use Applications	43	40	44	25	40	40
Number of Permits /	3,600	2,500	2,500	2,500	2,500	2,500
Number of Code Enforcement Cases	183	300	470	817	400	400

Business Unit	Object Account	Description	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Adopted Budget	2025 Requested Budget
0192	6102	F.T. REGULAR-WAGES & SALARIES	158,179	146,476	189,159	246,057	266,191	317,795
0192	6108	SEVERANCE PAY		4,660				
0192	6121	PERA CONTRIBUTIONS	11,761	10,880	13,959	18,402	19,964	23,835
0192	6122	FICA/MEDICARE CONTRIBUTIONS	11,752	11,118	14,080	18,460	20,364	24,311
0192	6131	GROUP INSURANCE	22,369	22,400	28,513	37,695	40,557	43,257
0192	6133	WORKERS COMP INSURANCE PREMIUM	967	691	976	1,316	1,276	2,161
0192	6208	MISCELLANEOUS OFFICE SUPPLIES	37	71	414	380	375	400
0192	6249	MISCELLANEOUS OPERATING SUPPLY	455	299	542	162	825	825
0192	6281	SMALL TOOLS & MINOR EQUIPMENT	34,196	39,098	49,366	50,158	64,520	65,488
0192	6321	TELEPHONE	6,746	7,206	13,675	13,945	15,600	15,600
0192	6323	CELLULAR PHONES	-	72	43,623	50,176	53,083	60,000
0192	6335	TRAINING	91	-	1,354	3,809	3,200	3,200
0192	6361	GENERAL LIABILITY/PROPERTY INS	5,957	6,329	5,802	5,526	5,913	6,346
0192	6374	REFUSE/RECYCLING	-	-	-	479	450	450
0192	6405	OFFICE & DATA PROCESSING EQUIP	305,535	356,981	385,556	393,779	534,271	588,494
0192	6585	COMPUTER HARDWARE/SOFTWARE	24,423	-	26,894	-	37,000	25,000
<b>Total Expenditure</b>			<b>582,467</b>	<b>606,281</b>	<b>773,912</b>	<b>840,343</b>	<b>1,063,589</b>	<b>1,177,162</b>

**SUMMARY:**

<b>OPERATING EXPENSE:</b>	<b>558,045</b>	<b>606,281</b>	<b>747,018</b>	<b>840,343</b>	<b>1,026,589</b>	<b>1,152,162</b>
<b>CAPITAL OUTLAY:</b>	<b>24,423</b>	<b>-</b>	<b>26,894</b>	<b>-</b>	<b>37,000</b>	<b>25,000</b>
<b>TOTAL EXPENDITURES</b>	<b>\$ 582,467</b>	<b>\$ 606,281</b>	<b>\$ 773,912</b>	<b>\$ 840,343</b>	<b>\$ 1,063,589</b>	<b>\$ 1,177,162</b>

**PERSONNEL COMPLEMENT**

IT Manager	1.00	1.00	1	1	1	1
Systems & Security			1	1	1	1
IT Tech	1.00	1.00	1	1	1	1
<b>Data Processing Total</b>	<b>2.00</b>	<b>2.00</b>	<b>3.00</b>	<b>3.00</b>	<b>3.00</b>	<b>3.00</b>

**6405 Office Equipment Contracts**

Support& Licensing (LOGIS)	4,120	7,519	6,470		9,800	10,800
Financial Support(General Ledger,P/R, S/A, F/A & System Dev)(LOGIS)	100,741	108,545	96,110		184,530	188,260
PIMS becomes Accella System Support (LOGIS)	44,271	46,115	47,875		67,126	53,425
Tungsten(LOGIS)	-	5,000	3,860		4,260	4,475
GIS (LOGIS)	42,753	48,415	50,115		55,251	58,000
Laserfiche Licensing (LOGIS)	8,000	8,000	6,423		23,940	28,137
Licensing/maintenance through Logis	58,783	57,290	37,247		22,171	25,296
Malware Bytes (3-Year Renewal)			10,411			10,932
Digital Signage			5,870		3,300	3,380
Other Licensing/Maintenance (Civic Rec/Engineering-Autocad)		10,877	17,055		38,244	65,256
Internet (Included in LOGIS Support)	15,219	16,660	17,560		19,360	20,330
Server Backup/Hosting LOGIS	26,648	35,975	39,790		53,030	55,950
Copier/Printer Support	5,000	4,772	13,595		16,691	18,026
Agenda Quick			3,500		3,500	6,700
Phone Support			6,041		6,041	6,343
Miscellaneous			15,430		15,893	15,893
Website Annual Fee		7,814	8,205		11,135	17,292
	<b>305,535</b>	<b>356,981</b>	<b>385,556</b>	<b>393,779</b>	<b>534,271</b>	<b>588,494</b>

**6585 Computer Hardware / Software**

Server Virtualization	24,423	-				
Universal Power Supply			26,894			
City Hall Copier Replacements						25,000
Networking Switches - All Municipal Buildings					37,000	
	<b>24,423</b>	<b>-</b>	<b>26,894</b>	<b>-</b>	<b>37,000</b>	<b>25,000</b>

**DESCRIPTION OF SERVICES:**

The Information Technology Department manages and maintains all voice, network, and data systems for the city. They also handle long-term project planning, technology implementations and helpdesk support for city staff.

**BUDGET HIGHLIGHTS**

- Market Rate Adjustments - From 7.09% - 16.98%
- COLA & Steps
- \$25,000 - Replace 3 Copiers: Building, CD Workroom &
- \$80,000 2/2 implementation costs new HR/Financial Software (6405)

**GOALS OF CURRENT YEAR BUDGET:**

- Ensure staff access to tools and resources in order to provide effective services to citizens.
- Identify efficiency, security, and cost-saving opportunities that improve/maintain city services using technology & staff

**Performance Measurements:**

	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Projected	2025 Projected
Number of Physical Servers	4	2	3	3	3	3
Number of Virtualized Servers	7	12	14	13	13	14
Number of Desktop PCs / Laptops	162	173	177	180	180	185
Number of Phones	105	105	109	112	112	114
Number of Mobile Phones	62	62	65	65	65	81
Number of Other Cell Devices (hot spots, cameras, etc.)						48
Number of Tablets	18	20	23	30	30	7
Number of Wireless Access Points	8	11	18	28	28	29

Business Unit	Object Account	Description	2020	2021	2022		2023		2024	2025
			Actual	Actual	Actual	Actual	Adopted Budget	Requested Budget		
0194	6102	F.T. REGULAR-WAGES & SALARIES	116,505	130,000	164,491	174,759	237,686	272,829		
0194	6103	FULL TIME-REGULAR-OVERTIME	1,864	2,051	3,382	2,842				
0194	6104	PART TIME-WAGES & SALARIES	50,761	44,495	27,454	28,644	32,535	39,283		
0194	6108	SEVERANCE PAY	1,408		4,686	18,025				
0194	6121	PERA CONTRIBUTIONS	12,245	13,130	14,556	15,369	20,266	23,408		
0194	6122	FICA/MEDICARE CONTRIBUTIONS	12,171	12,608	14,339	15,749	20,671	23,877		
0194	6131	GROUP INSURANCE	26,079	30,506	39,524	36,444	51,205	46,607		
0194	6133	WORKERS COMP INSURANCE PREMIUM	9,975	8,687	10,552	11,885	15,496	19,005		
0194	6221	CLEANING SUPPLIES	1,391	2,496	1,910	4,025	3,500	4,000		
0194	6223	GASOLINE	1,543	2,455	3,390	3,347	4,000	4,000		
0194	6225	DIESEL FUEL	758	451	2,172	563	2,000	2,000		
0194	6231	UNIFORMS & TURN-OUT GEAR	2,269	1,575	2,199	1,695	2,500	3,000		
0194	6249	MISCELLANEOUS OPERATING SUPPLY	15,371	16,462	20,014	19,784	20,000	22,000		
0194	6257	OTHER VEHICLE PARTS	623	280	3,200	2,136	2,000	2,500		
0194	6259	BUILDING MAINT/REPAIR SUPPLIES	1,994	4,036	5,313	5,329	7,500	8,000		
0194	6281	SMALL TOOLS & MINOR EQUIPMENT	3,064	4,520	4,235	6,115	6,500	7,000		
0194	6323	CELLULAR PHONES	1,403	1,671	-					
0194	6361	GENERAL LIABILITY/PROPERTY INS	5,995	6,609	6,816	6,841	7,320	6,938		
0194	6371	ELECTRIC UTILITIES	94,612	99,184	99,439	102,932	112,000	112,000		
0194	6372	WATER/IRRIGATION	2,853	2,412	2,928	3,358	3,300	3,700		
0194	6373	GAS	20,395	30,273	40,961	38,397	49,000	44,000		
0194	6374	REFUSE/RECYCLING	5,230	4,852	5,569	5,203	6,600	6,000		
0194	6381	BUILDING & STRUCTURE REPAIR	9,855	7,747	9,127	3,272	23,000	25,000		
0194	6382	MACHINERY & EQUIPMENT REPAIR	12,554	13,193	19,344	20,262	23,000	25,000		
0194	6388	OTHER VEHICLE REPAIR	343	2,043	241	71	2,000	2,500		
0194	6489	OTHER CONTRACTED SERVICES	89,902	87,387	90,445	102,525	97,000	102,000		
0194	6550	MOTOR VEHICLES	-	-	47,226	-	58,000			
0194	6580	OTHER EQUIPMENT	-	-	-	-	161,000			
Total Expenditure			501,162	529,125	643,514	629,571	968,079	804,647		

**SUMMARY:**

<b>OPERATING EXPENSE:</b>	248,823	264,209	287,618	296,441	339,220	344,638
<b>CAPITAL OUTLAY:</b>	-	-	-	-	161,000	-
<b>TOTAL EXPENDITURES</b>	<b>\$ 248,823</b>	<b>\$ 264,209</b>	<b>\$ 287,618</b>	<b>\$ 296,441</b>	<b>\$ 500,220</b>	<b>\$ 344,638</b>

**PERSONNEL COMPLEMENT**

Gen. Gov't. Bldgs.						
Building Maintenance	3.13	3.13	3.50	3.50	4.50	4.50
Gen Govt Bldgs Total	3.13	3.13	3.50	3.50	4.50	4.50

**DESCRIPTION OF SERVICES:**

The General Government Buildings Department is responsible for cleaning city buildings and the repair and maintenance of all building systems, as well as two cemeteries.

**BUDGET HIGHLIGHTS**

- Market Rate Adjustments - From 10.09%-15.05%
- COLA & Steps

**GOALS OF CURRENT YEAR BUDGET:**

- Clean and maintain our municipal buildings to the highest level possible
- Continue to prepare and support voting precincts during elections
- Respond to all maintenance requests in a timely manner

**Performance Measurements:**

	2020 Projected	2021 Actual	2022 Actual	2023 Actual	2024 Projected	2025 Projected
Buildings Maintained	12	13	13	13	13	13
Rooms Prepared for Meetings Annually	1210	1210	1210	1210	1250	1250
Maintenance Request Cleared	40	45	45	45	50	50

Business Unit	Object Account	Description	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Adopted Budget	2025 Requested Budget
0195	6102	F.T. REGULAR-WAGES & SALARIES	3,819	4,997	4,682	3,474	6,417	7,163
0195	6121	PERA CONTRIBUTIONS	286	375	351	261	481	537
0195	6122	FICA/MEDICARE CONTRIBUTIONS	316	413	386	286	491	548
0195	6133	WORKERS COMP INSURANCE PREMIUM	21	19	22	15	50	50
0195	6322	POSTAGE	11,346	11,721	12,345	13,069	13,600	15,000
0195	6352	GENERAL NOTICE & PUBLIC INFOR	28,872	34,088	36,409	40,241	41,600	43,000
0195	6361	GENERAL LIABILITY/PROPERTY INS	463	519	424	399	428	390
<b>Total Expenditure</b>			<b>45,123</b>	<b>52,132</b>	<b>54,618</b>	<b>57,746</b>	<b>63,067</b>	<b>66,688</b>

**SUMMARY:**

<b>OPERATING EXPENSE:</b>	<b>45,123</b>	<b>52,132</b>	<b>54,618</b>	<b>57,746</b>	<b>63,067</b>	<b>66,688</b>
<b>CAPITAL OUTLAY:</b>	-	-	-	-	-	-
<b>TOTAL EXPENDITURES</b>	<b>\$ 45,123</b>	<b>\$ 52,132</b>	<b>\$ 54,618</b>	<b>\$ 57,746</b>	<b>\$ 63,067</b>	<b>\$ 66,688</b>

**DESCRIPTION OF SERVICES:**  
 The community newsletter, The Ramsey Resident, is distributed to residential homes every two months. It is intended to provide public information about community events and local government.

- BUDGET HIGHLIGHTS**
- Paper Cost increase for newsletter

- GOALS OF CURRENT YEAR BUDGET:**
- Implement refreshed Ramsey branding items into the newsletter

<b>Performance Measurements:</b>						
	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Estimate	2025 Projected
Number of newsletters completed annually	6	6	6	6	6	6
Number of full color newsletters completed annually	6	6	6	6	6	6
Number of pages published annually	100	100	100	100	100	100
Annual quantity of paid ads	60	60	60	60	60	60

**PUBLIC SAFETY** 211-280

EXPENDITURE BY OBJECT SUMMARY	-2020 Actual-	-2021 Actual-	-2022 Actual-	-2023 Actual-	-2024 Adopted-	-2025 Requested-
PERSONNEL SERVICES	4,749,611	5,155,607	5,635,599	6,231,938	6,854,507	7,455,533
SUPPLIES	382,703	369,266	503,417	524,930	634,550	681,700
OTHER SERVICES & CHARGES	611,818	587,273	604,391	601,831	661,813	816,336
CAPITAL OUTLAY	367,037	414,474	77,929	516,361	1,090,445	422,150
DEBT SERVICE	-	-	-	-	-	-
<b>TOTAL EXPENDITURE BY OBJECT</b>	<b>6,111,169</b>	<b>6,526,621</b>	<b>6,821,335</b>	<b>7,875,060</b>	<b>9,241,315</b>	<b>9,375,719</b>

LINE ITEM DETAIL BY COST CENTER OR SUB-FUNCTION

**PUBLIC SAFETY** 211-280

EXPENDITURE BY OBJECT RECAP ALL SUB-FUNCTIONS	-2020 Actual-	-2021 Actual-	-2022 Actual-	-2023 Actual-	-2024 Adopted-	-2025 Requested-
<b>PERSONNEL SERVICES</b>						
<b>WAGES AND SALARIES</b>						
6102 F.T. REGULAR-WAGES & SALARIES	3,073,112	3,322,106	3,495,004	3,916,991	4,422,087	4,756,217
6103 FULL TIME-REGULAR-OVERTIME	107,397	124,171	135,588	128,145	120,000	130,000
6104 PART TIME-WAGES & SALARIES	419,339	452,711	601,722	601,786	599,819	688,356
6105 TEMPORARY-WAGES & SALARIES	7,697	2,964	270	45	-	-
6107 OVERTIME-PART TIME	-	-	-	-	-	-
<b>TOTAL WAGES AND SALARIES</b>	<b>3,607,545</b>	<b>3,901,953</b>	<b>4,232,583</b>	<b>4,646,966</b>	<b>5,141,906</b>	<b>5,574,573</b>
<b>OTHER GROSS EARNINGS</b>						
6108 SEVERANCE PAY	-	-	20,982	20,251	-	-
<b>TOTAL OTHER GROSS EARNINGS</b>	<b>-</b>	<b>-</b>	<b>20,982</b>	<b>20,251</b>	<b>-</b>	<b>-</b>
<b>EMPLOYER CONTRIBUTIONS</b>						
6121 PERA CONTRIBUTIONS	538,587	577,818	598,194	651,108	713,615	783,270
6122 FICA/MEDICARE CONTRIBUTIONS	100,100	109,484	115,980	127,619	153,369	159,643
6131 GROUP INSURANCE	353,522	404,748	421,109	512,677	531,937	579,579
6132 DISABILITY INSURANCE	1,313	1,313	1,313	1,313	1,313	1,313
6133 WORKERS COMP INSURANCE PREMIUM	148,543	160,291	245,437	272,004	312,367	357,155
<b>TOTAL EMPLOYER CONTRIBUTIONS</b>	<b>1,142,066</b>	<b>1,253,655</b>	<b>1,382,034</b>	<b>1,564,721</b>	<b>1,712,601</b>	<b>1,880,960</b>
<b>Total PERSONNEL SERVICES</b>	<b>4,749,611</b>	<b>5,155,607</b>	<b>5,635,599</b>	<b>6,231,938</b>	<b>6,854,507</b>	<b>7,455,533</b>
<b>SUPPLIES</b>						
<b>OFFICE SUPPLIES</b>						
6204 STATIONERY, ENVELOPES & FORMS	3,541	2,293	3,712	5,808	4,350	4,350
6206 FILM, MICROFILM, TAPES, DISKS	837	568	370	208	1,400	1,400
6207 TRAINING SUPPLIES	3,609	3,154	3,562	10,165	9,100	10,500
6208 MISCELLANEOUS OFFICE SUPPLIES	2,164	2,152	1,800	2,991	3,500	5,500
<b>TOTAL OFFICE SUPPLIES</b>	<b>10,151</b>	<b>8,167</b>	<b>9,444</b>	<b>19,172</b>	<b>18,350</b>	<b>21,750</b>
<b>OPERATING SUPPLIES</b>						
6223 GASOLINE	63,697	90,220	109,192	94,580	120,000	115,000
6225 DIESEL FUEL	4,315	5,959	7,163	9,858	9,000	12,000
6227 LUBRICANTS & ADDITIVES	934	1,312	1,624	2,709	1,500	1,500
6229 SHOP MATERIALS	906	3,149	1,538	1,425	1,500	1,500
6231 UNIFORMS & TURN-OUT GEAR	95,064	79,822	108,626	115,974	150,750	145,800
6233 BATTERIES	652	1,262	2,013	1,940	2,000	2,000
6235 AMMUNITION	15,970	1,700	13,725	13,274	15,000	15,000
6237 CRIME SCENE KIT MATERIALS	368	1,843	-	509	1,000	1,500
6239 FIRST AID SUPPLIES	12,345	5,922	5,444	6,005	11,000	11,000
6241 COMMUNITY POLICING SUPPLIES	10,310	9,190	9,967	10,351	12,500	12,500
6249 MISCELLANEOUS OPERATING SUPPLY	40,731	27,675	48,417	51,315	70,750	78,250
<b>TOTAL OPERATING SUPPLIES</b>	<b>245,292</b>	<b>228,054</b>	<b>307,710</b>	<b>307,939</b>	<b>395,000</b>	<b>396,050</b>
<b>REPAIR AND MAINTENANCE SUPPLIES</b>						
6251 BATTERIES	678	516	-	829	2,500	2,500
6253 BRAKES	3,421	3,466	3,238	4,045	3,700	4,000
6255 TIRES	7,458	10,708	6,616	7,315	9,500	9,500
6257 OTHER VEHICLE PARTS	19,967	17,590	18,440	41,515	23,000	26,000
6259 BUILDING MAINT/REPAIR SUPPLIES	357	16,040	43,518	14,241	45,000	52,900
6266 SCBA-PARTS	4,679	4,055	5,899	23,874	20,000	20,000
6271 SIGN REPAIR MATERIALS	382	-	1,148	1,464	3,000	5,000
6275 OTHER EQUIPMENT PARTS	662	3,074	2,933	945	5,500	4,500
<b>TOTAL REPAIR AND MAINTENANCE SUPPLIES</b>	<b>37,604</b>	<b>55,448</b>	<b>81,792</b>	<b>94,227</b>	<b>112,200</b>	<b>124,400</b>
<b>SMALL TOOLS AND MINOR EQUIPMENT</b>						
6281 SMALL TOOLS & MINOR EQUIPMENT	89,606	77,596	104,472	103,276	108,600	139,100
<b>TOTAL SMALL TOOLS AND MINOR EQUIPMENT</b>	<b>89,606</b>	<b>77,596</b>	<b>104,472</b>	<b>103,276</b>	<b>108,600</b>	<b>139,100</b>
<b>MERCHANDISE FOR RESALE</b>						
6291 CULVERTS, SIGNS, STREET SUPPLY	50	-	-	316	400	400
<b>TOTAL MERCHANDISE FOR RESALE</b>	<b>50</b>	<b>-</b>	<b>-</b>	<b>316</b>	<b>400</b>	<b>400</b>
<b>Total SUPPLIES</b>	<b>382,703</b>	<b>369,266</b>	<b>503,417</b>	<b>524,930</b>	<b>634,550</b>	<b>681,700</b>

OTHER SERVICES & CHARGES							
<b>PROFESSIONAL SERVICES</b>							
6302	AUDITING & ACCOUNTING SERVICES	4,050	4,241	4,416	4,958	5,200	7,500
6315	MISCELLANEOUS PROFESSIONAL SER	225,996	170,096	150,362	134,615	112,700	209,100
<b>TOTAL PROFESSIONAL SERVICES</b>		<b>230,046</b>	<b>174,337</b>	<b>154,778</b>	<b>139,573</b>	<b>117,900</b>	<b>216,600</b>
<b>COMMUNICATION</b>							
6321	TELEPHONE	4,400	4,045	-	-	-	-
6322	POSTAGE	2,029	4,547	2,584	2,603	4,350	4,250
6323	CELLULAR PHONES	22,235	24,384	-	-	-	-
<b>TOTAL COMMUNICATION</b>		<b>28,664</b>	<b>32,975</b>	<b>2,584</b>	<b>2,603</b>	<b>4,350</b>	<b>4,250</b>
<b>EMPLOYEE REIMBURSEMENTS</b>							
6331	TRAVEL & LODGING	2,765	5,695	8,515	7,685	11,000	13,500
6334	MILEAGE REIMBURSEMENT	170	93	474	199	500	500
6335	TRAINING	56,199	72,214	81,528	75,342	94,500	132,100
<b>TOTAL EMPLOYEE REIMBURSEMENTS</b>		<b>59,135</b>	<b>78,002</b>	<b>90,517</b>	<b>83,225</b>	<b>106,000</b>	<b>146,100</b>
<b>INSURANCE</b>							
6361	GENERAL LIABILITY/PROPERTY INS	80,624	75,223	106,710	133,713	149,414	148,386
<b>TOTAL INSURANCE</b>		<b>80,624</b>	<b>75,223</b>	<b>106,710</b>	<b>133,713</b>	<b>149,414</b>	<b>148,386</b>
<b>UTILITIES</b>							
6371	ELECTRIC UTILITIES	32,059	31,983	31,828	29,147	35,520	35,600
6372	WATER/IRRIGATION	4,797	3,847	2,117	2,791	3,500	3,500
6373	GAS	5,034	8,552	11,838	9,987	12,000	12,000
6374	REFUSE/RECYCLING	1,363	1,431	1,571	1,718	1,700	1,800
<b>TOTAL UTILITIES</b>		<b>43,253</b>	<b>45,813</b>	<b>47,354</b>	<b>43,642</b>	<b>52,720</b>	<b>52,900</b>
<b>REPAIRS AND MAINTENANCE - LABOR</b>							
6382	MACHINERY & EQUIPMENT REPAIR	5,491	15,907	15,015	14,124	21,500	23,000
6383	OFFICE EQUIPMENT REPAIR	-	-	-	-	-	-
6386	BRAKE REPAIR	-	-	-	-	-	-
6388	OTHER VEHICLE REPAIR	55,013	53,322	68,786	52,534	65,000	67,000
6389	TOWING SERVICES	2,037	240	3,096	345	3,500	3,000
<b>TOTAL REPAIRS AND MAINTENANCE - LABOR</b>		<b>62,541</b>	<b>69,470</b>	<b>86,897</b>	<b>67,004</b>	<b>90,000</b>	<b>93,000</b>
<b>REPAIRS AND MAINTENANCE - CONTRACTS</b>							
6405	OFFICE & DATA PROCESSING EQUIP	50,694	49,637	43,253	41,626	51,429	52,000
<b>TOTAL REPAIRS AND MAINTENANCE - CONTRACTS</b>		<b>50,694</b>	<b>49,637</b>	<b>43,253</b>	<b>41,626</b>	<b>51,429</b>	<b>52,000</b>
<b>RENTALS</b>							
6413	OFFICE EQUIPMENT RENTAL	5,995	5,265	3,483	5,265	9,000	7,500
6415	OTHER EQUIPMENT RENTAL	33,601	37,295	38,215	37,867	39,150	43,000
<b>TOTAL RENTALS</b>		<b>39,596</b>	<b>42,560</b>	<b>41,698</b>	<b>43,132</b>	<b>48,150</b>	<b>50,500</b>
<b>DUES, SUBSCRIPTIONS, AND REGISTRATION FEES</b>							
6451	MEMBERSHIP DUES	6,067	4,887	7,039	7,596	8,550	10,000
6452	SUBSCRIPTIONS	41	627	-	-	-	-
<b>TOTAL DUES, SUBSCRIPTIONS, AND REGISTRATION FEES</b>		<b>6,108</b>	<b>5,514</b>	<b>7,039</b>	<b>7,596</b>	<b>8,550</b>	<b>10,000</b>
<b>BOOKS AND PAMPHLETS</b>							
6471	BOOKS & PAMPHLETS	2,331	1,132	2,384	1,963	3,800	3,800
<b>TOTAL BOOKS AND PAMPHLETS</b>		<b>2,331</b>	<b>1,132</b>	<b>2,384</b>	<b>1,963</b>	<b>3,800</b>	<b>3,800</b>
<b>CONTRACTED SERVICES</b>							
6489	OTHER CONTRACTED SERVICES	8,826	12,611	21,177	37,754	29,500	38,800
<b>TOTAL CONTRACTED SERVICES</b>		<b>8,826</b>	<b>12,611</b>	<b>21,177</b>	<b>37,754</b>	<b>29,500</b>	<b>38,800</b>
<b>Total OTHER SERVICES &amp; CHARGES</b>		<b>611,818</b>	<b>587,273</b>	<b>604,391</b>	<b>601,831</b>	<b>661,813</b>	<b>816,336</b>
<b>CAPITAL OUTLAY</b>							
<b>CAPITAL OUTLAY</b>							
6540	HEAVY MACHINERY	-	-	-	-	-	-
6550	MOTOR VEHICLES	351,094	414,474	-	417,176	839,629	348,000
6580	OTHER EQUIPMENT	15,943	-	77,929	99,185	250,816	74,150
<b>TOTAL CAPITAL OUTLAY</b>		<b>367,037</b>	<b>414,474</b>	<b>77,929</b>	<b>516,361</b>	<b>1,090,445</b>	<b>422,150</b>
<b>Total CAPITAL OUTLAY</b>		<b>367,037</b>	<b>414,474</b>	<b>77,929</b>	<b>516,361</b>	<b>1,090,445</b>	<b>422,150</b>
<b>DEBT SERVICE</b>							
<b>DEBT SERVICE</b>							
6603	OTHER L.T. OBLIGATION PRINCIPA	-	-	-	-	-	-
<b>TOTAL DEBT SERVICE</b>		<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>TOTAL DEBT SERVICE</b>		<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>TOTAL EXPENDITURES &amp; OTHER FINANCING</b>		<b>6,111,169</b>	<b>6,526,621</b>	<b>6,821,335</b>	<b>7,875,060</b>	<b>9,241,315</b>	<b>9,375,719</b>
<b>SUMMARY:</b>							
<b>OPERATING EXPENSE:</b>		<b>5,744,132</b>	<b>6,112,146</b>	<b>6,743,407</b>	<b>7,358,699</b>	<b>8,150,870</b>	<b>8,953,569</b>
<b>CAPITAL OUTLAY:</b>		<b>367,037</b>	<b>414,474</b>	<b>77,929</b>	<b>516,361</b>	<b>1,090,445</b>	<b>422,150</b>
<b>TOTAL EXPENDITURES</b>		<b>\$ 6,111,169</b>	<b>\$ 6,526,621</b>	<b>\$ 6,821,335</b>	<b>\$ 7,875,060</b>	<b>\$ 9,241,315</b>	<b>\$ 9,375,719</b>

Business Unit	Object Account	Description	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Adopted Budget	2025 Requested Budget
0211	6102	F.T. REGULAR-WAGES & SALARIES	2,566,863	2,778,260	2,865,943	3,108,329	3,511,532	3,821,679
0211	6103	FULL TIME-REGULAR-OVERTIME	95,476	117,561	131,945	126,091	120,000	130,000
0211	6104	PART TIME-WAGES & SALARIES	84,498	115,637	90,750	72,089	70,930	155,987
0211	6108	SEVERANCE PAY			14,582	20,251		
0211	6121	PERA CONTRIBUTIONS	466,528	499,077	511,012	542,373	592,828	656,127
0211	6122	FICA/MEDICARE CONTRIBUTIONS	55,299	62,071	66,062	71,967	85,733	95,859
0211	6131	GROUP INSURANCE	294,930	336,074	339,894	377,986	390,703	437,490
0211	6133	WORKERS COMP INSURANCE PREMIUM	111,190	129,942	191,818	209,520	242,416	299,564
0211	6204	STATIONERY, ENVELOPES & FORMS	2,654	1,602	3,134	4,692	3,100	3,100
0211	6206	FILM, MICROFILM, TAPES, DISKS	837	568	370	208	1,100	1,100
0211	6207	TRAINING SUPPLIES	3,609	3,154	3,562	10,165	9,100	10,500
0211	6208	MISCELLANEOUS OFFICE SUPPLIES	1,838	1,718	1,271	2,605	2,500	4,500
0211	6223	GASOLINE	50,539	72,247	85,351	74,806	91,000	91,000
0211	6227	LUBRICANTS & ADDITIVES	934	1,312	1,624	2,709	1,500	1,500
0211	6229	SHOP MATERIALS	906	3,149	1,538	1,425	1,500	1,500
0211	6231	UNIFORMS & TURN-OUT GEAR	65,867	40,663	48,896	63,393	85,000	80,000
0211	6233	BATTERIES	652	1,262	2,013	1,940	2,000	2,000
0211	6235	AMMUNITION	15,970	1,700	13,725	13,274	15,000	15,000
0211	6237	CRIME SCENE KIT MATERIALS	368	1,843	-	509	1,000	1,500
0211	6239	FIRST AID SUPPLIES	4,304	2,488	4,287	4,252	8,000	8,000
0211	6249	MISCELLANEOUS OPERATING SUPPLY	8,940	7,865	10,886	14,510	25,000	25,500
0211	6251	BATTERIES	678	516	-	829	1,500	1,500
0211	6253	BRAKES	3,421	3,466	3,238	4,045	3,700	4,000
0211	6255	TIRES	7,458	10,708	6,616	7,315	9,500	9,500
0211	6257	OTHER VEHICLE PARTS	8,724	13,015	13,425	20,154	15,000	15,000
0211	6259	BUILDING MAINT/REPAIR SUPPLIES	357	16,040	13,502	512	15,000	12,900
0211	6275	OTHER EQUIPMENT PARTS	443	1,770	220	550	2,500	2,500
0211	6281	SMALL TOOLS & MINOR EQUIPMENT	42,701	56,920	76,843	69,237	72,500	101,000
0211	6315	MISCELLANEOUS PROFESSIONAL SER	8,190	6,198	11,892	7,840	10,300	14,500
0211	6321	TELEPHONE	2,203	2,072	-			
0211	6322	POSTAGE	1,331	3,141	1,182	1,204	2,600	2,600
0211	6323	CELLULAR PHONES	13,184	15,313	-			
0211	6331	TRAVEL & LODGING	2,492	5,421	5,159	5,706	8,000	10,000
0211	6335	TRAINING	21,693	32,990	28,335	31,667	40,000	72,000
0211	6361	GENERAL LIABILITY/PROPERTY INS	56,773	52,507	86,707	105,032	115,000	119,348
0211	6382	MACHINERY & EQUIPMENT REPAIR	410	1,244	509	187	500	2,000
0211	6388	OTHER VEHICLE REPAIR	10,152	16,616	10,675	13,287	15,000	17,000
0211	6389	TOWING SERVICES	2,037	240	3,096	345	3,500	3,000
0211	6405	OFFICE & DATA PROCESSING EQUIP	10,419	7,856	9,179	2,706	12,000	12,000
0211	6413	OFFICE EQUIPMENT RENTAL	5,995	5,265	3,483	5,265	9,000	7,500
0211	6415	OTHER EQUIPMENT RENTAL	33,601	37,295	38,215	37,867	39,000	43,000
0211	6451	MEMBERSHIP DUES	3,473	2,757	3,246	3,822	4,100	4,400
0211	6489	OTHER CONTRACTED SERVICES	3,195	8,942	12,625	25,079	15,000	20,000
0211	6550	MOTOR VEHICLES	35,841	69,000	-	115,083	194,629	48,000
0211	6580	OTHER EQUIPMENT	15,943		9,453	15,780	215,816	39,650
<b>Total Expenditure</b>			<b>4,122,916</b>	<b>4,547,484</b>	<b>4,726,260</b>	<b>5,196,605</b>	<b>6,064,087</b>	<b>6,403,304</b>

**SUMMARY:**

<b>OPERATING EXPENSE:</b>	<b>4,071,132</b>	<b>4,478,484</b>	<b>4,716,807</b>	<b>5,065,742</b>	<b>5,653,642</b>	<b>6,315,654</b>
<b>CAPITAL OUTLAY:</b>	<b>51,784</b>	<b>69,000</b>	<b>9,453</b>	<b>130,863</b>	<b>410,445</b>	<b>87,650</b>
<b>TOTAL EXPENDITURES</b>	<b>\$ 4,122,916</b>	<b>\$ 4,547,484</b>	<b>\$ 4,726,260</b>	<b>\$ 5,196,605</b>	<b>\$ 6,064,087</b>	<b>\$ 6,403,304</b>

**PERSONNEL COMPLEMENT**

Police Chief	1.00	1.00	1.00	1.00	1.00	1.00
Captain	2.00	2.00	2.00	2.00	2.00	2.00
Sergeant	4.00	4.00	4.00	4.00	5.00	5.00
Drug Task Force Officer	1.00	1.00	1.00	1.00	1.00	1.00
Patrol Officer	19.00	21.00	21.00	22.00	21.00	21.00
Community Service Officer	1.26	1.26	1.26	2.00	3.07	3.07
Police Office Supervisor	1.00	1.00	1.00	1.00	1.00	1.00
Clerical/Support Personnel	2.63	3.26	3.64	3.64	3.64	3.64
<b>Public Safety Total</b>	<b>31.89</b>	<b>34.52</b>	<b>34.90</b>	<b>36.64</b>	<b>37.71</b>	<b>37.71</b>

**6550 Motor Vehicles**

Ford Interceptor	35,841	-	-	-	-	-
Ford Utility Hybrid	-	-	-	-	47,829	-
Dodge Ram 1500 4X4	-	-	-	-	50,000	-
Dodge Durango	-	-	-	-	48,000	48,000
Malibu	-	28,479	-	-	-	-
2 Ford Explorers	-	40,521	-	-	-	-
2 Chargers	-	-	-	73,400	-	-
Ford Interceptor	35,841	-	-	-	-	-
Tahoe	-	-	-	41,683	48,800	-
<b>Total</b>	<b>35,841</b>	<b>69,000</b>	<b>-</b>	<b>115,083</b>	<b>194,629</b>	<b>48,000</b>

**6580 Other Equipment**

Axon Squad Car Cameras	-	-	-	-	215,816	-
Fitness Equipment - Wall Module unit, Stair Climber & Leg Curl	-	-	-	-	-	24,650
Audio/Video Recorder in Interview Rooms	15,943	-	9,453	-	-	15,000
Garage Floor replacement	-	-	-	-	-	-
<b>Total</b>	<b>15,943</b>	<b>-</b>	<b>9,453</b>	<b>-</b>	<b>215,816</b>	<b>39,650</b>

**DESCRIPTION OF SERVICES:**

The Police Department is responsible for the protection of life and property and a sense of community security and responds to all emergencies in the city. The Police Department will deter criminal activity by visible patrols; the enforcement of traffic laws; and the apprehension of criminal offenders. The department investigates criminal incidents and apprehends offenders through the gathering, analysis, preservation and presentation of evidence. The Police department provides other community services such as code

**BUDGET HIGHLIGHTS**

- Market Rate Adjustments - From 5.0% - 18.70%
- COLA & Steps
- Wellness: Mental Health/Heart Testing - \$27,000 (\$23,000 from 2023 Public Safety Legis Funds)
- 1 Squad Replacements with Dodge Durango- \$48,000
- Fitness Equipment: \$24,650 (2023 Public Safety Legislative Funds)
- Audio Video Equipment for Interview Rooms: \$15,000

**GOALS OF CURRENT YEAR BUDGET:**

- Reduce criminal activity in the community
- Adequately staff public safety based on changing demographics and needs
- Leverage technology to create operational efficiencies
- Enhance traffic safety in the community

**Performance Measurements:**

	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Projected	2025 Projected
<b>Police Department Activity</b>						
Dispatched Calls for Service	14918	16258	15609	15172	16,963	16500
Motor Vehicle Accidents	335	443	465	384	381	376
Citations and Warnings	1207	1340	1042	968	887	807
Criminal	1020	988	869	798	659	642
Non-Criminal	8834	8500	9000	6914	8500	8800
<b>State CPM Performance Measurement Results</b>	<b>2020</b>	<b>2021</b>	<b>2022</b>	<b>2023</b>	<b>2024</b>	<b>2024</b>
Total Reported Crimes Rate (per 100,000 population)	N/A	20.39	17.78	16.81	19	19
Crime Clearance Rates (per 100,000 population)	N/A	24%	19%	27%	25%	25%
Average police response time - highest priority calls	5:44	5:54	6:08	5:46	under 7 min	under 7 min

Business Unit	Object Account	Description	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Adopted Budget	2025 Requested Budget
0220	6102	F.T. REGULAR-WAGES & SALARIES	292,458	305,378	352,050	440,276	467,505	525,504
0220	6103	FULL TIME-REGULAR-OVERTIME	9,814	6,610	3,373			
0220	6104	PART TIME-WAGES & SALARIES	321,487	283,535	459,516	469,149	454,659	474,659
0220	6108	SEVERANCE PAY			6,400			
0220	6121	PERA CONTRIBUTIONS	55,059	56,867	62,760	76,554	81,991	92,137
0220	6122	FICA/MEDICARE CONTRIBUTIONS	26,860	25,281	25,178	24,861	27,088	28,077
0220	6131	GROUP INSURANCE	36,495	39,920	45,603	64,206	66,632	76,741
0220	6132	DISABILITY INSURANCE	1,313	1,313	1,313	1,313	1,313	1,313
0220	6133	WORKERS COMP INSURANCE PREMIUM	34,093	27,527	49,688	56,968	61,185	49,368
0220	6208	MISCELLANEOUS OFFICE SUPPLIES	242	393	316	289	500	500
0220	6223	GASOLINE	11,675	15,187	21,492	17,844	25,000	20,000
0220	6225	DIESEL FUEL	4,315	5,959	7,163	9,858	9,000	12,000
0220	6231	UNIFORMS & TURN-OUT GEAR	29,057	38,926	57,894	51,594	65,000	65,000
0220	6239	FIRST AID SUPPLIES	8,041	3,434	1,157	1,752	3,000	3,000
0220	6249	MISCELLANEOUS OPERATING SUPPLY	17,523	12,117	16,920	19,922	21,000	24,000
0220	6257	OTHER VEHICLE PARTS	11,243	4,575	5,016	21,361	8,000	11,000
0220	6259	BUILDING MAINT/REPAIR SUPPLIES			30,016	13,729	30,000	40,000
0220	6266	SCBA-PARTS	4,679	4,055	5,899	23,874	20,000	20,000
0220	6281	SMALL TOOLS & MINOR EQUIPMENT	46,706	20,676	26,684	32,303	35,000	37,000
0220	6302	AUDITING & ACCOUNTING SERVICES	4,050	4,241	4,416	4,958	5,200	7,500
0220	6321	TELEPHONE	1,849	1,624	-			
0220	6322	POSTAGE	111	70	4	81	200	100
0220	6323	CELLULAR PHONES	6,960	6,448	-			
0220	6335	TRAINING	32,432	36,629	47,504	37,255	45,000	50,000
0220	6361	GENERAL LIABILITY/PROPERTY INS	17,229	16,241	14,421	21,296	26,000	21,295
0220	6371	ELECTRIC UTILITIES	17,774	17,688	17,091	14,515	18,000	18,000
0220	6372	WATER/IRRIGATION	4,797	3,847	2,117	2,791	3,500	3,500
0220	6373	GAS	5,034	8,552	11,838	9,987	12,000	12,000
0220	6374	REFUSE/RECYCLING	1,363	1,431	1,571	1,718	1,700	1,800
0220	6388	OTHER VEHICLE REPAIR	44,861	36,706	58,111	39,247	50,000	50,000
0220	6405	OFFICE & DATA PROCESSING EQUIP	15,792	17,298	18,183	18,920	29,429	30,000
0220	6451	MEMBERSHIP DUES	2,003	1,214	2,029	2,929	2,200	3,000
0220	6452	SUBSCRIPTIONS	41	627				
0220	6471	BOOKS & PAMPHLETS	518	280	1,052	1,282	1,500	1,500
0220	6489	OTHER CONTRACTED SERVICES	3,508	2,045	2,266	4,724	3,000	4,800
0220	6550	MOTOR VEHICLES	315,253	345,474		275,027	645,000	300,000
0220	6580	OTHER EQUIPMENT			68,475	24,405	-	-
<b>Total Expenditure</b>			<b>1,384,635</b>	<b>1,352,166</b>	<b>1,427,516</b>	<b>1,784,989</b>	<b>2,219,602</b>	<b>1,983,794</b>

**SUMMARY:**

<b>OPERATING EXPENSE:</b>	<b>1,069,382</b>	<b>1,006,692</b>	<b>1,359,041</b>	<b>1,485,557</b>	<b>1,574,602</b>	<b>1,683,794</b>
<b>CAPITAL OUTLAY:</b>	<b>315,253</b>	<b>345,474</b>	<b>68,475</b>	<b>299,432</b>	<b>645,000</b>	<b>300,000</b>
<b>TOTAL EXPENDITURES</b>	<b>\$ 1,384,635</b>	<b>\$ 1,352,166</b>	<b>\$ 1,427,516</b>	<b>\$ 1,784,989</b>	<b>\$ 2,219,602</b>	<b>\$ 1,983,794</b>

**PERSONNEL COMPLEMENT**

Fire Chief	1.00	1.00	1.00	1.00	1.00	1.00
Fire Secretary	0.70	0.70	0.70	-	-	-
Fire Captain of Administration	-	-	1.00	1.00	1.00	1.00
Fire Inspector	1.00	1.00	1.00	1.00	1.00	1.00
Fire Marshall	1.00	1.00	1.00	1.00	1.00	1.00
Firefighters	7.58	7.58	7.58	7.58	7.58	7.58
<b>Fire Total</b>	<b>11.28</b>	<b>11.28</b>	<b>12.28</b>	<b>11.58</b>	<b>11.58</b>	<b>11.58</b>

**6550 Motor Vehicles**

1st half funding Replace 1999 Fire Engine #556	270,626	-				
2nd half funding Replace 1999 Fire Engine #556	-	345,474				
<b>1/4 of funding Replace 2008 Fire Engine #565 (1.2M)-\$300K 2026 &amp; \$600K 2027</b>						<b>300,000</b>
Replace 2017 Ford Explorer #569 (net \$5,000 sale proceeds)						
Replace 2013 Chev Tahoe #333 (net \$5,000 sale proceeds)						
Replace Tanker #II Veh #501					600,000	
Replace Fire Admin Cap Veh #333					45,000	
Replace Rescue #21				275,027		
Replace Fire Prevention Veh #386	44,627	-				
	<b>315,253</b>	<b>345,474</b>	<b>-</b>	<b>275,027</b>	<b>645,000</b>	<b>300,000</b>

6580 Other Equipment

SCBA Compressor	-	-	21,039	24,405
Fire Training Room Table & Chairs			47,436	
Extrication Tools				
Refurbish Tanker II	-	-	-	
	-	-	68,475	24,405

**BUDGET HIGHLIGHTS**

- Market Rate Adjustments - From 5.02% - 12.77%
- COLA & Steps
- 1/4 of Fire Engine (\$1.2M total cost less \$40K sale) - \$300,000
- 
- 

**GOALS OF CURRENT YEAR BUDGET:**

- Revise and update department policies/procedures and Standard Operating Guidelines
- Establish and maintain outreach programs that enhance fire safety within community
- Ensure adequate staff numbers to meet increased demand of calls for service
- Replacement of expired structural fire turn out gear
- Building maintenance repairs/replacement to include cubicles, carpeting and service counter

**Performance Measurements:**

	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Projected	2025 Projected
Number of Calls for Service	1133	1301	1381	1735	2100	2500
Mutual Aid	47	35	66	75	80	80
Given	29	20	44	54	55	55
Received	18	15	22	21	25	25
Number of firefighters	53	42	47	49	55	55
Prevention:						
# of Public Education contacts	28	38	45	34	50	50
# of commercial property inspections	177	304	320	319	400	400
# of permits issued	83	70	106	286	300	300
<b>State CPM Performance Measurement Results</b>	<b>2020</b>	<b>2021</b>	<b>2022</b>	<b>2023</b>	<b>2024 Estimated</b>	<b>2025 Estimated</b>
Insurance industry rating of fire services	4/7	4/7	4/7	4/7	4/7	4/7
Fire calls per 1,000 population	15.6	14	13	21	25	27
Average response times	6:19	6:20	6:15	6:58	6:30	6:30
EMS calls per 1,000 population	26.3	33	36	39	42	45

Business Unit	Object Account	Description	2020	2021	2022		2023		2024	2025
			Actual	Actual	Actual	Actual	Adopted Budget	Requested Budget		
0240	6102	F.T. REGULAR-WAGES & SALARIES	184,625	209,127	253,395	332,414	352,326	342,912		
0240	6103	FULL TIME-REGULAR-OVERTIME	2,045			2,053				
0240	6104	PART TIME-WAGES & SALARIES	13,354	53,539	51,455	60,547	74,230	57,710		
0240	6105	TEMPORARY-WAGES & SALARIES	7,697	2,964						
0240	6108	SEVERANCE PAY			961					
0240	6121	PERA CONTRIBUTIONS	14,847	19,644	22,626	29,547	31,992	30,047		
0240	6122	FICA/MEDICARE CONTRIBUTIONS	15,747	19,869	22,794	27,975	32,632	30,648		
0240	6131	GROUP INSURANCE	22,097	28,754	35,612	70,485	74,602	65,348		
0240	6133	WORKERS COMP INSURANCE PREMIUM	1,232	1,124	1,911	2,684	2,927	3,181		
0240	6204	STATIONERY, ENVELOPES & FORMS	654	330	552	609	750	750		
0240	6208	MISCELLANEOUS OFFICE SUPPLIES	84	41	213	98	500	500		
0240	6223	GASOLINE	1,482	2,787	2,349	1,930	4,000	4,000		
0240	6231	UNIFORMS & TURN-OUT GEAR	140	234	1,836	987	750	800		
0240	6249	MISCELLANEOUS OPERATING SUPPLY	1,723	176	630	1,020	2,000	2,000		
0240	6315	MISCELLANEOUS PROFESSIONAL SER	217,807	163,898	138,470	126,775	102,400	194,600		
0240	6321	TELEPHONE	348	349	-					
0240	6322	POSTAGE	586	1,334	1,399	1,102	1,500	1,500		
0240	6323	CELLULAR PHONES	1,073	1,505	-					
0240	6331	TRAVEL AND LODGING	135	274	2,710	1,797	1,500	2,000		
0240	6334	MILEAGE REIMBURSEMENT	170	93	474	199	500	500		
0240	6335	TRAINING	2,075	940	5,509	5,250	7,500	8,100		
0240	6361	GENERAL LIABILITY/PROPERTY INS	5,787	5,668	4,809	5,161	6,000	5,197		
0240	6405	OFFICE & DATA PROCESSING EQUIP	24,484	24,484	15,891	20,000	10,000	10,000		
0240	6451	MEMBERSHIP DUES	165	470	245	100	750	1,100		
0240	6471	BOOKS & PAMPHLETS	1,228	595	997	435	2,000	2,000		
0240	6550	MOTOR VEHICLES				27,066				
<b>Total Expenditure</b>			<b>519,585</b>	<b>538,198</b>	<b>564,838</b>	<b>718,231</b>	<b>708,859</b>	<b>762,893</b>		

**SUMMARY:**

<b>OPERATING EXPENSE:</b>	<b>519,585</b>	<b>538,198</b>	<b>564,838</b>	<b>691,166</b>	<b>708,859</b>	<b>762,893</b>
<b>CAPITAL OUTLAY:</b>	-	-	-	<b>27,066</b>	-	-
<b>TOTAL EXPENDITURES</b>	<b>\$ 519,585</b>	<b>\$ 538,198</b>	<b>\$ 564,838</b>	<b>\$ 718,231</b>	<b>\$ 708,859</b>	<b>\$ 762,893</b>

**PERSONNEL COMPLEMENT**

Building Official	1.00	1.00	1.00	1.00	1.00	1.00
Building Inspector	-	1.00	2.00	2.00	2.00	2.00
Permit Technicians	1.81	1.81	1.81	1.85	2.05	2.05
Inspectors	0.25	0.25	0.25	-	-	-
<b>Building Inspection Total</b>	<b>3.06</b>	<b>4.06</b>	<b>5.06</b>	<b>4.85</b>	<b>5.05</b>	<b>5.05</b>

**6550 Motor Vehicles**

New Vehicle for building inspector				27,066		
				27,066		

**DESCRIPTION OF SERVICES:**

The mission of the Community Development Department is to guide residential and commercial growth through comprehensive planning processes and administer the city's building and zoning codes in a equitable and professional manner to promote and sustain public safety, quality of life, and the health and well being of the whole community.

The purpose of the Building Division is to help ensure all your construction projects meet the requirements of both the Minnesota State Building Code and the City Zoning regulations.

**BUDGET HIGHLIGHTS**

- Market Rate Adjustments - From 3.12%-8.09%
- COLA & Steps
- Refill of Building Inspector April 1, 2025
- Inspection Services Cover for Building Official - See June 25, 2024 Worksession - \$194,600

**GOALS OF CURRENT YEAR BUDGET:**

- Complete standard residential plan review within 10 business days.
- Complete standard commercial plan review within 30 business days.
- Allow for inspection availability within 48 hours.

**Performance Measurements:**

	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Projected	2025 Projected
New Residential Units	176	183	125	190	190	190
Total Permits	3,630	3,458	2,932	3,700	3,700	3,700
Number of Inspections	12,765	12449-Est.	7,356	13,500	13,500	13,500

Business Unit	Object Account	Description	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Adopted Budget	2025 Requested Budget
0250	6251	BATTERIES	-	-	-	-	1,000	1,000
0250	6275	OTHER EQUIPMENT PARTS	219	1,303	2,713	395	3,000	2,000
0250	6361	GENERAL LIABILITY/PROPERTY INS	23	23	75	1,664	1,780	1,884
0250	6371	ELECTRIC UTILITIES	1,020	1,020	1,020	1,071	1,020	1,100
0250	6382	MACHINERY & EQUIPMENT REPAIR	1,025	940	5,829	5,195	6,000	6,000
0250	6580	OTHER CAPITAL EQUIPMENT	-	-	-	59,000	35,000	34,500
<b>Total Expenditure</b>			<b>2,288</b>	<b>3,287</b>	<b>9,637</b>	<b>67,325</b>	<b>47,800</b>	<b>46,484</b>

**SUMMARY:**

<b>OPERATING EXPENSE:</b>	<b>2,288</b>	<b>3,287</b>	<b>9,637</b>	<b>67,325</b>	<b>47,800</b>	<b>46,484</b>
<b>CAPITAL OUTLAY:</b>	-	-	-	-	-	-
<b>TOTAL EXPENDITURES</b>	<b>\$ 2,288</b>	<b>\$ 3,287</b>	<b>\$ 9,637</b>	<b>\$ 67,325</b>	<b>\$ 47,800</b>	<b>\$ 46,484</b>

**DESCRIPTION OF SERVICES:**  
 The Civil Defence budget funds expenditures related to the city-wide emergency siren notification system.

- BUDGET HIGHLIGHTS**
- Emergency siren circuit boards - \$17,000
  - Replace 1 emergency siren - \$17,500 (6 have been replaced to date)

- GOALS OF CURRENT YEAR BUDGET:**
- Maintain infrastructure of siren warning system

**Performance Measurements:**

	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Projected	2025 Projected
Number of Sirens	17	17	17	17	17	17

Business Unit	Object Account	Description	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Adopted Budget	2025 Requested Budget
0260	6102	F.T. REGULAR-WAGES & SALARIES	29,166	29,341	23,616	35,972	90,724	66,122
0260	6103	FULL TIME-REGULAR-OVERTIME	62		270			
0260	6105	TEMPORARY-WAGES & SALARIES			270	45		
0260	6121	PERA CONTRIBUTIONS	2,154	2,231	1,797	2,634	6,804	4,959
0260	6122	FICA/MEDICARE CONTRIBUTIONS	2,195	2,264	1,946	2,816	7,916	5,059
0260	6133	WORKERS COMP INSURANCE PREMIUM	2,027	1,699	2,020	2,832	5,839	5,042
0260	6249	MISCELLANEOUS OPERATING SUPPLY	11,868	7,108	19,641	15,756	22,000	26,000
0260	6271	SIGN REPAIR MATERIALS	382	-	1,148	1,464	3,000	5,000
0260	6361	GENERAL LIABILITY/PROPERTY INS	680	697	599	452	484	542
0260	6371	ELECTRIC UTILITIES	13,265	13,275	13,717	13,560	16,500	16,500
0260	6382	MACHINERY & EQUIPMENT REPAIR	5,081	13,723	8,677	8,743	15,000	15,000
0260	6489	CONTRACTED SERVICES	1,807	1,291	6,172	787	6,500	6,500
<b>Total Expenditure</b>			<b>68,686</b>	<b>71,628</b>	<b>79,873</b>	<b>85,061</b>	<b>174,767</b>	<b>150,724</b>

**SUMMARY:**

<b>OPERATING EXPENSE:</b>	<b>68,686</b>	<b>71,628</b>	<b>79,873</b>	<b>85,061</b>	<b>174,767</b>	<b>150,724</b>
<b>CAPITAL OUTLAY:</b>	-	-	-	-	-	-
<b>TOTAL EXPENDITURES</b>	<b>\$ 68,686</b>	<b>\$ 71,628</b>	<b>\$ 79,873</b>	<b>\$ 85,061</b>	<b>\$ 174,767</b>	<b>\$ 150,724</b>

**DESCRIPTION OF SERVICES:**

The Traffic Engineering budget funds the installation and maintenance of traffic signage on, above, and/or near city streets.

**BUDGET HIGHLIGHTS**

- No major changes. Staff time redistributed between streets, traffic engr & snow plowing

**GOALS OF CURRENT YEAR BUDGET:**

- Continue to meet FHWA guidelines for traffic signage
- Replace damaged or defective signs within 48 hours
- Bring signage up to current standards on all reconstruct and overlay projects
- Continue to support Engineering and Community Development departments with traffic issues

**Performance Measurements:**

	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Projected	2025 Projected
Total Hours	610				2080	2080
Number of Traffic Signs in System	2390					
Number of Traffic Counts Performed	15					

Business Unit	Object Account	Description	2020	2021	2022		2023		2024	2025
			Actual	Actual	Actual	Actual	Adopted Budget	Requested Budget		
0270	6249	MISCELLANEOUS OPERATING SUPPLY	678	411	340	108	750	750		
0270	6281	SMALL TOOLS & MINOR EQUIPMENT			945	903	1,000	1,000		
0270	6489	OTHER CONTRACTED SERVICES	315	332	114	7,164	5,000	7,500		
<b>Total Expenditure</b>			<b>993</b>	<b>743</b>	<b>1,399</b>	<b>8,175</b>	<b>6,750</b>	<b>9,250</b>		

**SUMMARY:**

<b>OPERATING EXPENSE:</b>	<b>993</b>	<b>743</b>	<b>1,399</b>	<b>8,175</b>	<b>6,750</b>	<b>9,250</b>
<b>CAPITAL OUTLAY:</b>	-	-	-	-	-	-
<b>TOTAL EXPENDITURES</b>	<b>\$ 993</b>	<b>\$ 743</b>	<b>\$ 1,399</b>	<b>\$ 8,175</b>	<b>\$ 6,750</b>	<b>\$ 9,250</b>

**DESCRIPTION OF SERVICES:**

This fund covers expenditures related to animal control. Ramsey PD provides animal containment services and incurs expenses for boarding animals at Anoka PD.

**BUDGET HIGHLIGHTS**

- No major changes

**GOALS OF CURRENT YEAR BUDGET:**

- Provide animal containment services to residents

**Performance Measurements:**

	2020 Actual	2021 Projected	2022 Actual	2023 Actual	2024 Projected	2025 Projected
Animal Complaints	539	390	270	377	390	450
Number of Animals Impounded	53	45	20	30	45	45
Number of Animals Released to Owners	47	45	15	24	45	40
Number of Euthanizations	0	0	0	1	0	2

Business Unit	Object Account	Description	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Adopted Budget	2025 Requested Budget
0280	6204	STATIONERY, ENVELOPES & FORMS	233	361	27	508	500	500
0280	6206	FILM, MICROFILM, TAPES, DISKS	-	-	-	-	300	300
0280	6241	COMMUNITY POLICING SUPPLIES	10,310	9,190	9,967	10,351	12,500	12,500
0280	6281	SMALL TOOLS & MINOR EQUIPMENT	199	-	-	832	100	100
0280	6291	CULVERTS, SIGNS, STREET SUPPLY	50	-	-	316	400	400
0280	6322	POSTAGE	-	1	-	216	50	50
0280	6323	CELLULAR PHONES	1,018	1,118	-	-	-	-
0280	6331	TRAVEL & LODGING	138	-	646	182	1,500	1,500
0280	6335	TRAINING	-	1,655	180	1,170	2,000	2,000
0280	6361	GENERAL LIABILITY/PROPERTY INS	131	88	99	109	150	120
0280	6415	OTHER EQUIPMENT RENTAL	-	-	-	-	150	-
0280	6451	MEMBERSHIP DUES	427	446	1,520	745	1,500	1,500
0280	6471	BOOKS & PAMPHLETS	585	257	335	246	300	300
<b>Total Expenditure</b>			<b>13,092</b>	<b>13,115</b>	<b>12,774</b>	<b>14,673</b>	<b>19,450</b>	<b>19,270</b>

**SUMMARY:**

<b>OPERATING EXPENSE:</b>	<b>13,092</b>	<b>13,115</b>	<b>12,774</b>	<b>14,673</b>	<b>19,450</b>	<b>19,270</b>
<b>CAPITAL OUTLAY:</b>	-	-	-	-	-	-
<b>TOTAL EXPENDITURES</b>	<b>\$ 13,092</b>	<b>\$ 13,115</b>	<b>\$ 12,774</b>	<b>\$ 14,673</b>	<b>\$ 19,450</b>	<b>\$ 19,270</b>

DESCRIPTION OF SERVICES:
The Community Orientating Policing funds expenditures related to community programs such as: Kids Safety Camp, Car Seat Inspections, Night to Unite, Pet Clinics, Bike Helmet Fitting and Sale, Police Explorers, and Drug Take Back Program

BUDGET HIGHLIGHTS
• No Major Changes

GOALS OF CURRENT YEAR BUDGET:
• Increase participation in community based programs

Performance Measurements:	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Projected	2025 Projected
# of participants attending Kids Safety Camp	0	0	121	107	140	144
# of car seat inspections	9	15	12	12	15	15
Night to Unite - # of Parties	26	50	48	45	45	45
# participants in Citizens Academy	0	10	8	12	16	16

**PUBLIC WORKS** 301-312

EXPENDITURE BY OBJECT SUMMARY	-2020 Actual-	-2021 Actual-	-2022 Actual-	-2023 Actual-	-2024 Adopted-	-2025 Requested-
PERSONNEL SERVICES	1,091,120	1,096,459	1,232,690	1,334,945	1,665,276	1,936,868
SUPPLIES	297,565	247,499	383,218	325,477	502,490	472,403
OTHER SERVICES & CHARGES	620,510	598,537	410,981	1,406,511	780,449	843,548
CAPITAL OUTLAY	-	450,964	127,057	384,556	1,171,818	44,500
<b>TOTAL EXPENDITURE BY OBJECT</b>	<b>2,009,196</b>	<b>2,393,459</b>	<b>2,153,946</b>	<b>3,451,490</b>	<b>4,120,033</b>	<b>3,297,319</b>

LINE ITEM DETAIL BY COST CENTER OR SUB-FUNCTION

**PUBLIC WORKS** 301-312

EXPENDITURE BY OBJECT RECAP ALL SUB-FUNCTIONS	-2020 Actual-	-2021 Actual-	-2022 Actual-	-2023 Actual-	-2024 Adopted-	-2025 Requested-
<b>PERSONNEL SERVICES</b>						
<b>WAGES AND SALARIES</b>						
6102 F.T. REGULAR-WAGES & SALARIES	742,654	735,374	797,269	910,184	1,131,557	1,348,840
6103 FULL TIME-REGULAR-OVERTIME	36,306	38,417	42,299	48,290	32,000	52,000
6105 TEMPORARY-WAGES & SALARIES	23,232	24,632	30,256	20,426	34,208	34,208
6106 OVERTIME-TEMPORARY	259	878	636	-	-	-
<b>TOTAL WAGES AND SALARIES</b>	<b>802,452</b>	<b>799,301</b>	<b>870,461</b>	<b>978,901</b>	<b>1,197,765</b>	<b>1,435,048</b>
<b>OTHER GROSS EARNINGS</b>						
6108 SEVERANCE PAY	-	4,555	65,629	9,124	-	-
<b>TOTAL OTHER GROSS EARNINGS</b>	<b>-</b>	<b>4,555</b>	<b>65,629</b>	<b>9,124</b>	<b>-</b>	<b>-</b>
<b>EMPLOYER CONTRIBUTIONS</b>						
6121 PERA CONTRIBUTIONS	52,794	57,508	62,881	72,058	87,267	105,063
6122 FICA/MEDICARE CONTRIBUTIONS	57,007	58,852	64,665	73,407	95,330	111,109
6131 GROUP INSURANCE	135,034	140,084	124,889	155,962	217,658	218,645
6133 WORKERS COMP INSURANCE PREMIUM	43,834	36,159	44,165	45,494	67,256	67,003
<b>TOTAL EMPLOYER CONTRIBUTIONS</b>	<b>288,669</b>	<b>292,604</b>	<b>296,601</b>	<b>346,921</b>	<b>467,511</b>	<b>501,820</b>
<b>Total PERSONNEL SERVICES</b>	<b>1,091,120</b>	<b>1,096,459</b>	<b>1,232,690</b>	<b>1,334,945</b>	<b>1,665,276</b>	<b>1,936,868</b>

<b>SUPPLIES</b>						
<b>OFFICE SUPPLIES</b>						
6205 DRAFTING SUPPLIES	-	-	-	-	-	-
6208 MISCELLANEOUS OFFICE SUPPLIES	1,010	1,096	2,006	2,922	1,550	2,100
<b>TOTAL OFFICE SUPPLIES</b>	<b>1,010</b>	<b>1,096</b>	<b>2,006</b>	<b>2,922</b>	<b>1,550</b>	<b>2,100</b>
<b>OPERATING SUPPLIES</b>						
6221 CLEANING SUPPLIES	-	-	-	-	-	-
6223 GASOLINE	17,893	17,420	21,314	24,531	39,800	39,500
6225 DIESEL FUEL	34,544	32,384	54,169	48,950	61,000	65,000
6227 LUBRICANTS & ADDITIVES	3,553	6,269	6,106	6,305	7,500	9,000
6229 SHOP MATERIALS	2,720	1,692	3,825	2,915	4,000	4,000
6231 UNIFORMS & TURN-OUT GEAR	3,825	6,315	7,231	9,036	8,150	12,500
6249 MISCELLANEOUS OPERATING SUPPLY	9,794	7,331	10,983	9,825	12,250	12,150
<b>TOTAL OPERATING SUPPLIES</b>	<b>72,328</b>	<b>71,411</b>	<b>103,627</b>	<b>101,563</b>	<b>132,700</b>	<b>142,150</b>
<b>REPAIR AND MAINTENANCE SUPPLIES</b>						
6257 OTHER VEHICLE PARTS	85,883	52,237	83,858	77,135	84,800	85,600
6259 BUILDING MAINT/REPAIR SUPPLIES	1,677	563	2,622	3,619	2,700	2,700
6261 SAND & GRAVEL	2,907	-	2,300	2,779	5,300	5,300
6263 SALT	92,362	68,800	129,704	68,426	192,240	147,053
6265 ASPHALT	22,316	32,491	32,311	31,135	33,000	35,000
6267 OTHER STREET MAINTENANCE SUPPL	4,798	5,303	10,675	14,920	16,500	16,500
6269 LANDSCAPE MATERIALS	1,520	1,174	952	1,076	7,500	7,500
6275 OTHER EQUIPMENT PARTS	-	-	-	-	-	-
<b>TOTAL REPAIR AND MAINTENANCE SUPPLIES</b>	<b>211,463</b>	<b>160,568</b>	<b>262,422</b>	<b>199,090</b>	<b>342,040</b>	<b>299,653</b>
<b>SMALL TOOLS AND MINOR EQUIPMENT</b>						
6281 SMALL TOOLS & MINOR EQUIPMENT	12,764	14,424	15,163	21,903	26,200	28,500
<b>TOTAL SMALL TOOLS AND MINOR EQUIPMENT</b>	<b>12,764</b>	<b>14,424</b>	<b>15,163</b>	<b>21,903</b>	<b>26,200</b>	<b>28,500</b>
<b>Total SUPPLIES</b>	<b>297,565</b>	<b>247,499</b>	<b>383,218</b>	<b>325,477</b>	<b>502,490</b>	<b>472,403</b>

<b>OTHER SERVICES &amp; CHARGES</b>							
<b>PROFESSIONAL SERVICES</b>							
6315	MISCELLANEOUS PROFESSIONAL SER	21,794	28,146	29,897	31,744	32,500	40,000
<b>TOTAL PROFESSIONAL SERVICES</b>		<b>21,794</b>	<b>28,146</b>	<b>29,897</b>	<b>31,744</b>	<b>32,500</b>	<b>40,000</b>
<b>COMMUNICATION</b>							
6321	TELEPHONE	2,394	2,211	-	-	-	-
6322	POSTAGE	531	40	143	1,161	2,200	2,600
6323	CELLULAR PHONES	5,653	5,816	-	-	-	-
<b>TOTAL COMMUNICATION</b>		<b>8,578</b>	<b>8,067</b>	<b>143</b>	<b>1,161</b>	<b>2,200</b>	<b>2,600</b>
<b>EMPLOYEE REIMBURSEMENTS</b>							
6331	TRAVEL & LODGING	92	-	-	127	-	-
6335	TRAINING	4,821	6,623	6,952	12,983	15,940	20,400
<b>TOTAL EMPLOYEE REIMBURSEMENTS</b>		<b>4,913</b>	<b>6,623</b>	<b>6,952</b>	<b>13,110</b>	<b>15,940</b>	<b>20,400</b>
<b>INSURANCE</b>							
6361	GENERAL LIABILITY/PROPERTY INS	21,831	26,966	25,801	26,788	32,564	36,078
<b>TOTAL INSURANCE</b>		<b>21,831</b>	<b>26,966</b>	<b>25,801</b>	<b>26,788</b>	<b>32,564</b>	<b>36,078</b>
<b>UTILITIES</b>							
6371	ELECTRIC UTILITIES	7,382	8,153	8,319	8,411	15,000	15,000
6372	WATER/IRRIGATION	7,034	7,020	2,238	2,207	7,000	2,500
6373	GAS	4,690	6,001	6,924	6,150	15,000	10,000
6374	REFUSE/RECYCLING	2,353	3,611	2,180	975	3,800	2,500
<b>TOTAL UTILITIES</b>		<b>21,458</b>	<b>24,785</b>	<b>19,662</b>	<b>17,743</b>	<b>40,800</b>	<b>30,000</b>
<b>REPAIRS AND MAINTENANCE - LABOR</b>							
6381	BUILDING & STRUCTURE REPAIR	3,645	1,248	1,582	3,747	25,170	37,170
6382	MACHINERY & EQUIPMENT REPAIR	-	4,944	5,172	6,447	5,600	6,000
6387	TIRE MOUNTING & BALANCING	300	255	60	-	400	400
6388	OTHER VEHICLE REPAIR	15,523	15,242	9,487	16,320	27,000	27,000
<b>TOTAL REPAIRS AND MAINTENANCE - LABOR</b>		<b>19,468</b>	<b>21,689</b>	<b>16,300</b>	<b>26,514</b>	<b>58,170</b>	<b>70,570</b>
<b>REPAIRS AND MAINTENANCE - CONTRACTS</b>							
6404	MACHINERY & EQUIPMENT	1,332	1,221	3,458	-	3,500	3,500
6405	OFFICE & DATA PROCESSING EQUIP	968	-	3,745	-	-	-
<b>TOTAL REPAIRS AND MAINTENANCE - CONTRACTS</b>		<b>2,300</b>	<b>1,221</b>	<b>7,203</b>	<b>-</b>	<b>3,500</b>	<b>3,500</b>
<b>RENTALS</b>							
6415	OTHER EQUIPMENT RENTAL	1,581	8,333	2,205	2,838	16,000	6,000
6417	UNIFORM RENTAL	1,479	1,583	689	1,233	800	1,200
<b>TOTAL RENTALS</b>		<b>3,061</b>	<b>9,916</b>	<b>2,894</b>	<b>4,071</b>	<b>16,800</b>	<b>7,200</b>
<b>DUES, SUBSCRIPTIONS, AND REGISTRATION FEES</b>							
6451	MEMBERSHIP DUES	2,279	1,017	1,670	964	2,975	3,200
<b>TOTAL DUES, SUBSCRIPTIONS, AND REGISTRATION FEES</b>		<b>2,279</b>	<b>1,017</b>	<b>1,670</b>	<b>964</b>	<b>2,975</b>	<b>3,200</b>
<b>BOOKS AND PAMPHLETS</b>							
6471	BOOKS & PAMPHLETS	-	-	-	-	-	-
<b>TOTAL BOOKS AND PAMPHLETS</b>		<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>
<b>CONTRACTED SERVICES</b>							
6488	STREET MAINTENANCE CONTRACT	500,000	462,784	294,998	1,272,595	555,000	600,000
6489	OTHER CONTRACTED SERVICES	14,830	7,324	5,461	11,822	20,000	30,000
<b>TOTAL CONTRACTED SERVICES</b>		<b>514,830</b>	<b>470,108</b>	<b>300,459</b>	<b>1,284,417</b>	<b>575,000</b>	<b>630,000</b>
<b>Total OTHER SERVICES &amp; CHARGES</b>		<b>620,510</b>	<b>598,537</b>	<b>410,981</b>	<b>1,406,511</b>	<b>780,449</b>	<b>843,548</b>
<b>CAPITAL OUTLAY</b>							
<b>CAPITAL OUTLAY</b>							
6540	HEAVY MACHINERY	-	116,891	103,199	266,007	770,318	-
6550	MOTOR VEHICLES	-	62,772	-	95,049	165,000	-
6580	OTHER EQUIPMENT	-	271,302	23,858	23,500	236,500	44,500
<b>TOTAL CAPITAL OUTLAY</b>		<b>-</b>	<b>450,964</b>	<b>127,057</b>	<b>384,556</b>	<b>1,171,818</b>	<b>44,500</b>
<b>Total CAPITAL OUTLAY</b>		<b>-</b>	<b>450,964</b>	<b>127,057</b>	<b>384,556</b>	<b>1,171,818</b>	<b>44,500</b>
<b>TOTAL EXPENDITURES &amp; OTHER FINANCING</b>		<b>2,009,196</b>	<b>2,393,459</b>	<b>2,153,946</b>	<b>3,451,490</b>	<b>4,120,033</b>	<b>3,297,319</b>

**SUMMARY:**

<b>OPERATING EXPENSE:</b>	<b>2,009,196</b>	<b>1,942,495</b>	<b>2,026,889</b>	<b>3,066,934</b>	<b>2,948,215</b>	<b>3,252,819</b>
<b>CAPITAL OUTLAY:</b>	<b>-</b>	<b>450,964</b>	<b>127,057</b>	<b>384,556</b>	<b>1,171,818</b>	<b>44,500</b>
<b>TOTAL EXPENDITURES</b>	<b>\$ 2,009,196</b>	<b>\$ 2,393,459</b>	<b>\$ 2,153,946</b>	<b>\$ 3,451,490</b>	<b>\$ 4,120,033</b>	<b>\$ 3,297,319</b>

Business Unit	Object Account	Description	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Adopted Budget	2025 Requested Budget
0301	6102	F.T. REGULAR-WAGES & SALARIES	245,602	240,248	293,930	368,610	386,389	414,254
0301	6103	FULL TIME-REGULAR-OVERTIME	17,702	20,287	23,675	28,461	20,000	40,000
0301	6105	TEMPORARY-WAGES & SALARIES	11,110	14,550	14,752	-	-	-
0301	6106	OVERTIME-TEMPORARY	259	878	636	-	-	-
0301	6121	PERA CONTRIBUTIONS	19,434	19,411	23,597	29,340	30,479	34,069
0301	6122	FICA/MEDICARE CONTRIBUTIONS	18,924	19,849	23,812	28,270	31,089	34,751
0301	6131	GROUP INSURANCE	41,855	42,747	40,296	51,158	69,543	71,704
0301	6133	WORKERS COMP INSURANCE PREMIUM	1,445	1,198	2,078	2,581	3,385	3,778
0301	6208	MISCELLANEOUS OFFICE SUPPLIES	734	795	1,279	2,316	850	1,400
0301	6223	GASOLINE	3,677	4,789	5,650	6,823	8,800	9,500
0301	6231	UNIFORMS & TURN-OUT GEAR	1,327	1,170	1,331	2,774	1,650	2,500
0301	6249	MISCELLANEOUS OPERATING SUPPLY	2,255	-	854	408	750	650
0301	6257	OTHER VEHICLE PARTS	1,122	2,108	1,397	1,905	1,800	600
0301	6281	SMALL TOOLS & MINOR EQUIPMENT	86	-	-	1,143	2,700	3,500
0301	6315	MISCELLANEOUS PROFESSIONAL SER	4,139	197	1,288	1,000	7,500	12,000
0301	6321	TELEPHONE	1,334	1,239	-	-	-	-
0301	6322	POSTAGE	460	7	87	1,107	2,000	2,400
0301	6323	CELLULAR PHONES	2,589	3,427	-	-	-	-
0301	6331	TRAVEL & LODGING	92	-	-	127	-	-
0301	6335	TRAINING	2,112	3,699	3,059	4,906	8,440	6,400
0301	6361	GENERAL LIABILITY/PROPERTY INS	4,799	4,131	3,990	4,172	4,464	4,552
0301	6405	OFFICE & DATA PROCESSING EQUIP	968	-	3,745	-	-	-
0301	6451	MEMBERSHIP DUES	1,919	748	1,393	864	2,375	3,000
0301	6580	OTHER EQUIPMENT	-	-	-	-	42,000	-
0301	6550	MOTOR VEHICLES	-	-	-	30,983	56,000	-
<b>Total Expenditure</b>			<b>383,947</b>	<b>381,476</b>	<b>446,849</b>	<b>566,948</b>	<b>680,214</b>	<b>645,058</b>

**SUMMARY:**

<b>OPERATING EXPENSE:</b>	<b>383,947</b>	<b>381,476</b>	<b>446,849</b>	<b>535,965</b>	<b>582,214</b>	<b>645,058</b>
<b>CAPITAL OUTLAY:</b>	-	-	-	<b>30,983</b>	<b>98,000</b>	-
<b>TOTAL EXPENDITURES</b>	<b>\$ 383,947</b>	<b>\$ 381,476</b>	<b>\$ 446,849</b>	<b>\$ 566,948</b>	<b>\$ 680,214</b>	<b>\$ 645,058</b>

**PERSONNEL COMPLEMENT**

PW Director/City Engineer	-	-	-	1.00	1.00	1.00
City Engineer	1.00	1.00	1.00	-	-	-
Assistant City Engineer	-	-	0.50	1.00	1.00	1.00
Engineering Tech IV	1.00	1.00	1.00	-	-	-
Engineering Tech II	1.00	1.00	1.00	1.00	2.00	2.00
Engineering Tech III	-	-	-	1.00	1.00	1.00
Senior Engineering Technician	-	-	-	1.00	1.00	1.00
Civil Engineer IV	1.00	1.00	1.00	1.00	1.00	1.00
Civil Engineer II	1.00	1.00	0.50	0.00	-	-
Administrative Assistant	1.00	1.00	1.00	1.00	1.00	1.00
Interns (2)	1.00	1.00	1.00	1.00	-	-
<b>Engineering Total</b>	<b>7.00</b>	<b>7.00</b>	<b>7.00</b>	<b>8.00</b>	<b>8.00</b>	<b>8.00</b>

**DESCRIPTION OF SERVICES:**

The Engineering budget covers engineering functions not charged to specific projects. The City Engineer oversees all engineering including working with the Minnesota Department of Transportation, Anoka County, other cities and regulating agencies, maintaining mapping and GIS data, managing stormwater runoff, responding to citizen and staff requests, and general engineering functions.

**BUDGET HIGHLIGHTS**

- Market Rate Adjustments - From 3.33% - 7.59%
- COLA & Steps

- GOALS OF CURRENT YEAR BUDGET:**
- Ensure stable and sustainable funding exists for Pavement Management Program.
  - Support construction of Water Treatment Plant.
  - Support improvements identified in Anoka County CSAH 5/Nowthen Blvd. transportation study.
  - Conduct well siting study for new municipal well #9.
  - Develop and plan for key infrastructure improvements (AUAR, utilities, transportation).
  - Support construction of Ramsey Gateway Highway 10 improvements.
  - Investigate improved pavement condition rating systems.
  - Continue pavement rejuvenation program to replace suspended sealcoat program.

**Performance Measurements:**

	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Projected	2025 Projected
Active Engineering Projects	12	13	14	18	24	22
Completed Engineering Projects	10	11	11	14	17	16
Infrastructure Asset Management System Upgrades	0	0	0	0	0	0

Business Unit	Object Account	Description	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Adopted Budget	2025 Requested Budget
0311	6102	F.T. REGULAR-WAGES & SALARIES	422,342	403,503	393,338	423,207	592,603	791,022
0311	6103	FULL TIME-REGULAR-OVERTIME	679	1,008	1,220	3,624	2,000	2,000
0311	6105	TEMPORARY-WAGES & SALARIES	9,971	5,160	6,422	14,738	22,208	22,208
0311	6108	SEVERANCE PAY		4,555	65,629	9,124		
0311	6121	PERA CONTRIBUTIONS	31,401	30,100	30,106	31,119	44,595	59,477
0311	6122	FICA/MEDICARE CONTRIBUTIONS	31,632	30,462	30,807	32,704	50,887	63,692
0311	6131	GROUP INSURANCE	93,179	97,338	84,593	104,804	148,115	146,941
0311	6133	WORKERS COMP INSURANCE PREMIUM	35,662	28,331	30,800	32,158	47,846	50,104
0311	6208	MISCELLANEOUS OFFICE SUPPLIES	276	301	727	606	700	700
0311	6221	CLEANING SUPPLIES						
0311	6223	GASOLINE	7,580	10,759	15,664	5,227	20,000	18,000
0311	6225	DIESEL FUEL	20,148	13,194	31,077	11,394	26,000	30,000
0311	6227	LUBRICANTS & ADDITIVES	3,553	6,269	6,106	6,305	7,500	9,000
0311	6229	SHOP MATERIALS	2,697	1,548	3,825	2,671	3,500	3,500
0311	6231	UNIFORMS & TURN-OUT GEAR	2,497	5,145	5,900	6,262	6,500	10,000
0311	6249	MISCELLANEOUS OPERATING SUPPLY	7,538	7,331	10,129	9,417	11,500	11,500
0311	6257	OTHER VEHICLE PARTS	30,188	21,869	39,496	28,244	41,000	43,000
0311	6259	BUILDING MAINT/REPAIR SUPPLIES	1,677	563	2,622	3,619	2,700	2,700
0311	6261	SAND & GRAVEL	-	-	-	-	1,500	1,500
0311	6265	ASPHALT	22,316	32,491	32,311	31,135	33,000	35,000
0311	6267	OTHER STREET MAINTENANCE SUPPL	19	1,019	9,599	992	4,000	4,000
0311	6269	LANDSCAPE MATERIALS	1,520	1,174	952	1,076	7,500	7,500
0311	6281	SMALL TOOLS & MINOR EQUIPMENT	12,678	14,424	15,163	20,760	23,500	25,000
0311	6315	MISCELLANEOUS PROFESSIONAL SER	17,655	27,948	28,610	30,744	25,000	28,000
0311	6321	TELEPHONE	1,060	973	-	-		
0311	6322	POSTAGE	71	33	56	54	200	200
0311	6323	CELLULAR PHONES	3,063	2,389	-	-		
0311	6335	TRAINING	2,709	2,924	3,893	8,077	7,500	14,000
0311	6361	GENERAL LIABILITY/PROPERTY INS	14,126	20,250	18,960	20,712	25,000	29,399
0311	6371	ELECTRIC UTILITIES	7,382	8,153	8,319	8,411	15,000	15,000
0311	6372	WATER/IRRIGATION	7,034	7,020	2,238	2,207	7,000	2,500
0311	6373	GAS	4,690	6,001	6,924	6,150	15,000	10,000
0311	6374	REFUSE/RECYCLING	2,353	3,611	2,180	975	3,800	2,500
0311	6381	BUILDING & STRUCTURE REPAIR	3,645	1,248	1,582	3,747	25,170	37,170
0311	6382	MACHINERY & EQUIPMENT REPAIR	-	4,944	5,172	6,447	5,600	6,000
0311	6387	TIRE MOUNTING & BALANCING	300	255	60	-	400	400
0311	6388	OTHER VEHICLE REPAIR	14,814	12,400	4,205	1,699	12,000	12,000
0311	6404	MACHINERY & EQUIPMENT	1,332	1,221	3,458		3,500	3,500
0311	6415	OTHER EQUIPMENT RENTAL	1,581	8,333	2,205	2,838	16,000	6,000
0311	6417	UNIFORM RENTAL	1,479	1,583	689	1,233	800	1,200
0311	6451	MEMBERSHIP DUES	360	269	278	100	600	200
0311	6488	STREET MAINTENANCE CONTRACT	500,000	462,784	294,998	1,272,595	555,000	600,000
0311	6489	OTHER CONTRACTED SERVICES	14,830	7,324	5,461	11,822	20,000	30,000
0311	6540	HEAVY MACHINERY		116,891	103,199	266,007	770,318	
0311	6550	MOTOR VEHICLES		62,772		64,066	109,000	-
0311	6580	OTHER EQUIPMENT		271,302	23,858	23,500	194,500	44,500
<b>Total Expenditure</b>			<b>1,336,038</b>	<b>1,747,168</b>	<b>1,332,827</b>	<b>2,510,567</b>	<b>2,908,542</b>	<b>2,179,413</b>

**SUMMARY:**

<b>OPERATING EXPENSE:</b>	<b>1,336,038</b>	<b>1,296,204</b>	<b>1,205,770</b>	<b>2,156,994</b>	<b>1,834,724</b>	<b>2,134,913</b>
<b>CAPITAL OUTLAY:</b>	<b>-</b>	<b>450,964</b>	<b>127,057</b>	<b>353,573</b>	<b>1,073,818</b>	<b>44,500</b>
<b>TOTAL EXPENDITURES</b>	<b>\$ 1,336,038</b>	<b>\$ 1,747,168</b>	<b>\$ 1,332,827</b>	<b>\$ 2,510,567</b>	<b>\$ 2,908,542</b>	<b>\$ 2,179,413</b>

**PERSONNEL COMPLEMENT**

Public Works Superintendent	1.00	1.00	1.00	1.00	1.00	1.00
Secretary (Formerly under Engineering)	1.00	1.00	1.00	1.00	1.00	1.00
Mechanic	2.00	2.00	2.00	2.00	3.00	3.00
Street Supervisor	-	-	1.00	1.00	1.00	1.00
Streets Lead Worker	1.00	1.00	1.00	1.00	1.00	1.00
PW Maintenance Worker	5.00	5.00	5.00	5.00	8.00	8.00
Temporary - Streets	0.50	0.50	0.50	0.50	0.50	0.50
<b>Street Maintenance Total</b>	<b>10.50</b>	<b>10.50</b>	<b>11.50</b>	<b>11.50</b>	<b>15.50</b>	<b>15.50</b>

**6488/6489 Other Contracted Services**

Pavement Management Program Funding (Transfer to Pavement Manager)	260,742	300,000	-	-	-	-
Cracksealing/Rejuvenation/Pothole Patching	239,258	162,784	200,000	1,272,595	555,000	-
Curb Repair/Tree Removal	-	-	15,000	-	20,000	-
	<b>500,000</b>	<b>462,784</b>	<b>215,000</b>	<b>1,272,595</b>	<b>575,000</b>	<b>-</b>

**6540 - Heavy Machinery**

F350 truck with plow (2021 & 2022 total cost)	-	116,891	103,199	-	-	-
2-Single Axle Plow Trucks	-	-	-	-	544,318	-
Tandem Axle Truck with Plow less trade in \$15,000	-	-	-	266,007	-	-
721 G Front End Loader	-	-	-	-	226,000	-
	<b>-</b>	<b>116,891</b>	<b>103,199</b>	<b>266,007</b>	<b>770,318</b>	<b>-</b>

**6550-Motor Vehicle**

1-ton truck	-	62,772	-	-	-	-
2-3/4 ton trucks with plows (1 new & 1 replacement)	-	-	-	64,066	-	-
F550 4x4 Truck with 9' 2" V-plow (New) with lift gate	-	-	-	-	109,000	-
	<b>-</b>	<b>62,772</b>	<b>-</b>	<b>64,066</b>	<b>109,000</b>	<b>-</b>

**6580 - Other Equipment**

Sidewalk Machine	-	162,723	-	-	-	-
Snow Pusher Box for Front End Loader	-	-	-	23,500	-	-
Trailer for skidsteer	-	15,102	-	-	-	-
Toolcat	-	36,105	-	-	-	-
Skidsteer	-	57,372	-	-	-	-
Tire balancer (1/2 cost other 1/2 police)	-	-	9,453	-	-	-
Asphalt floater	-	-	14,405	-	-	-
ExMark Mower (less \$2,500 trade in)	-	-	-	-	-	17,500
Pull behind PTO Mower (Less \$1,000 trade in)	-	-	-	-	-	27,000
Trailer Mounted Boom Lift	-	-	-	-	58,000	-
Bobcat T66 Skidsteer	-	-	-	-	81,000	-
Scissor Lift JLG 2646	-	-	-	-	26,500	-
10-Foot Slide in Removable Salt/Sander Spreader (Truck Mounted)	-	-	-	-	14,000	-
Hydraulic hose Crimping Machine	-	-	-	-	15,000	-
	<b>-</b>	<b>271,302</b>	<b>23,858</b>	<b>23,500</b>	<b>194,500</b>	<b>44,500</b>

**DESCRIPTION OF SERVICES:**

The Street Maintenance Department is responsible for maintaining city streets, sidewalks, traffic signs, boulevards, ROW mowing and the storm water collection system.

**BUDGET HIGHLIGHTS**

- Market Rate Adjustments - From 3.03% - 13.85%
- COLA & Steps
- Restrict public access at Public Works main entry and brace front desk - \$12,000
- \$45,000 additional funding for streetmaintenance improvements - \$600,000 total
- Replace 2015 Kubota mower (less \$2,500 trade in) - \$17,500
- Replace 2004 Landpride pull behind mower (less \$1,000 trade in) - \$27,000

**GOALS OF CURRENT YEAR BUDGET:**

- Maintain and improve city's rating of 7.0 average of road condition
- Increase use of contracted services on pothole repair (velocity patching)
- Increase prevenative maintenace to prolong the life of our public streets
- Maintain our city vehicles and equipment to the highest level possible

**Performance Measurements:**

	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Projected	2025 Projected
Crack filling (miles)	7	20.88	10.37	15	19	19
Sealcoating (miles)	0	0	0	0	0	0
Asphalt patching (tons)	500		380	385	390	390

Business Unit	Object Account	Description	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Adopted Budget	2025 Requested Budget
0312	6102	F.T. REGULAR-WAGES & SALARIES	74,710	91,623	110,001	118,368	152,565	143,564
0312	6103	FULL TIME-REGULAR-OVERTIME	17,925	17,122	17,405	16,205	10,000	10,000
0312	6105	TEMPORARY-WAGES & SALARIES	2,151	4,922	9,082	5,689	12,000	12,000
0312	6121	PERA CONTRIBUTIONS	1,959	7,997	9,179	11,599	12,193	11,517
0312	6122	FICA/MEDICARE CONTRIBUTIONS	6,451	8,541	10,046	12,434	13,354	12,666
0312	6133	WORKERS COMP INSURANCE PREMIUM	6,726	6,629	11,287	10,755	16,025	13,121
0312	6223	GASOLINE	6,636	1,873		12,481	11,000	12,000
0312	6225	DIESEL FUEL	14,396	19,191	23,092	37,557	35,000	35,000
0312	6229	SHOP MATERIALS	24	144	-	244	500	500
0312	6257	OTHER VEHICLE PARTS	54,572	28,260	42,965	46,987	42,000	42,000
0312	6261	SAND & GRAVEL	2,907	-	2,300	2,779	3,800	3,800
0312	6263	SALT	92,362	68,800	129,704	68,426	192,240	147,053
0312	6267	OTHER STREET MAINTENANCE SUPPL	4,779	4,284	1,076	13,928	12,500	12,500
0312	6361	GENERAL LIABILITY/PROPERTY INS	2,906	2,586	2,851	1,903	3,100	2,127
0312	6388	OTHER VEHICLE REPAIR	709	2,842	5,282	14,621	15,000	15,000
<b>Total Expenditure</b>			<b>289,211</b>	<b>264,815</b>	<b>374,270</b>	<b>373,975</b>	<b>531,277</b>	<b>472,848</b>

**SUMMARY:**

<b>OPERATING EXPENSE:</b>	<b>289,211</b>	<b>264,815</b>	<b>374,270</b>	<b>373,975</b>	<b>531,277</b>	<b>472,848</b>
<b>CAPITAL OUTLAY:</b>	-	-	-	-	-	-
<b>TOTAL EXPENDITURES</b>	<b>\$ 289,211</b>	<b>\$ 264,815</b>	<b>\$ 374,270</b>	<b>\$ 373,975</b>	<b>\$ 531,277</b>	<b>\$ 472,848</b>

**DESCRIPTION OF SERVICES:**  
 The Snow and Ice Removal budget provides for snow removal and for ice control on city streets, parking lots, and pathways.

- BUDGET HIGHLIGHTS**
- Staff time redistributed between streets, traffic engr & snow plowing

- GOALS OF CURRENT YEAR BUDGET:**
- Clearing of parking ramp utilizing PW Staff (full time, temp on call, & seasonal staff) See PUMA Budget
  - Continue to monitor and reduce salt usage
  - Continue to complete citywide plowing in 8 hours or less
  - Upgrade weather service to MDSS (maintenance decision support software)
  - Equip cul-de-sac trucks and sidewalk plowing equipment with AVL to track snow removal operations

Performance Measurements:	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Projected	2025 Projected
Miles of Streets Plowed	181.8	183	185	187	189	190
Cul-de-sacs	283	287	291	295	299	303
Salt/Sand Purchased (tons)	1200	1400	1600	2300	1,400	1,200
Snow Removal Hours	3090	1700	1750	2600	950	840
Full Scale Plowing Events	9	12	13	23	5	5

**PARKS AND RECREATION** 452-455

EXPENDITURE BY OBJECT SUMMARY	-2020 Actual-	-2021 Actual-	-2022 Actual-	-2023 Actual-	-2024 Adopted-	-2025 Requested-
PERSONNEL SERVICES	878,027	929,874	962,545	1,088,600	1,310,835	1,491,836
SUPPLIES	198,379	186,228	200,417	242,430	255,150	286,400
OTHER SERVICES & CHARGES	266,854	253,330	265,263	297,610	331,970	341,148
CAPITAL OUTLAY	75,610	112,370	16,852	-	379,200	110,000
<b>TOTAL EXPENDITURE BY OBJECT</b>	<b>1,418,871</b>	<b>1,481,802</b>	<b>1,445,077</b>	<b>1,628,641</b>	<b>2,277,155</b>	<b>2,229,384</b>

LINE ITEM DETAIL BY COST CENTER OR SUB-FUNCTION

**PARKS AND RECREATION** 452-455

EXPENDITURE BY OBJECT RECAP ALL SUB-FUNCTIONS	-2020 Actual-	-2021 Actual-	-2022 Actual-	-2023 Actual-	-2024 Adopted-	-2025 Requested-
<b>PERSONNEL SERVICES</b>						
<b>WAGES AND SALARIES</b>						
6102 F.T. REGULAR-WAGES & SALARIES	572,067	618,528	617,124	730,962	858,087	981,321
6103 FULL TIME-REGULAR-OVERTIME	494	1,837	1,469	818	1,000	1,000
6105 TEMPORARY-WAGES & SALARIES	99,094	85,592	87,275	65,361	111,040	100,000
<b>TOTAL WAGES AND SALARIES</b>	<b>671,654</b>	<b>705,957</b>	<b>705,868</b>	<b>797,141</b>	<b>970,127</b>	<b>1,082,321</b>
<b>EMPLOYER CONTRIBUTIONS</b>						
6121 PERA CONTRIBUTIONS	45,806	48,065	48,867	54,097	62,849	71,866
6122 FICA/MEDICARE CONTRIBUTIONS	50,846	53,916	53,502	59,784	74,214	82,798
6131 GROUP INSURANCE	78,670	94,527	116,186	132,986	158,304	196,206
6133 WORKERS COMP INSURANCE PREMIUM	31,051	27,409	38,121	44,593	45,341	58,645
<b>TOTAL EMPLOYER CONTRIBUTIONS</b>	<b>206,373</b>	<b>223,916</b>	<b>256,677</b>	<b>291,459</b>	<b>340,708</b>	<b>409,515</b>
<b>Total PERSONNEL SERVICES</b>	<b>878,027</b>	<b>929,874</b>	<b>962,545</b>	<b>1,088,600</b>	<b>1,310,835</b>	<b>1,491,836</b>
<b>SUPPLIES</b>						
<b>OFFICE SUPPLIES</b>						
6208 MISCELLANEOUS OFFICE SUPPLIES	348	501	1,185	921	700	900
<b>TOTAL OFFICE SUPPLIES</b>	<b>348</b>	<b>501</b>	<b>1,185</b>	<b>921</b>	<b>700</b>	<b>900</b>
<b>OPERATING SUPPLIES</b>						
6223 GASOLINE	15,140	19,559	22,510	12,425	28,000	23,000
6225 DIESEL FUEL	265	3,238	9,893	6,311	12,000	10,500
6229 SHOP MATERIALS	523	939	3,467	1,198	2,500	2,500
6231 UNIFORMS & TURN-OUT GEAR	3,412	4,882	6,130	6,106	5,000	6,000
6249 MISCELLANEOUS OPERATING SUPPLY	32,775	30,380	31,531	29,962	33,000	33,000
<b>TOTAL OPERATING SUPPLIES</b>	<b>52,116</b>	<b>58,998</b>	<b>73,531</b>	<b>56,002</b>	<b>80,500</b>	<b>75,000</b>
<b>REPAIR AND MAINTENANCE SUPPLIES</b>						
6257 OTHER VEHICLE PARTS	15,975	7,020	16,974	25,587	17,000	17,500
6265 ASPHALT	97,967	101,594	71,915	111,045	120,000	126,000
6269 LANDSCAPE MATERIALS	16,785	11,449	16,843	23,522	20,000	50,000
6268 IRRIGATION SUPPLIES	13,000	6,025	16,118	20,540	12,750	13,000
<b>TOTAL REPAIR AND MAINTENANCE SUPPLIES</b>	<b>143,727</b>	<b>126,088</b>	<b>121,851</b>	<b>180,694</b>	<b>169,750</b>	<b>206,500</b>
<b>SMALL TOOLS AND MINOR EQUIPMENT</b>						
6281 SMALL TOOLS & MINOR EQUIPMENT	2,189	641	3,851	4,813	4,200	4,000
<b>TOTAL SMALL TOOLS AND MINOR EQUIPMENT</b>	<b>2,189</b>	<b>641</b>	<b>3,851</b>	<b>4,813</b>	<b>4,200</b>	<b>4,000</b>
<b>Total SUPPLIES</b>	<b>198,379</b>	<b>186,228</b>	<b>200,417</b>	<b>242,430</b>	<b>255,150</b>	<b>286,400</b>

OTHER SERVICES & CHARGES							
PROFESSIONAL SERVICES							
6315	MISCELLANEOUS PROFESSIONAL SER	33,468	30,717	28,405	927	35,000	20,000
TOTAL PROFESSIONAL SERVICES		33,468	30,717	28,405	927	35,000	20,000
COMMUNICATION							
6321	TELEPHONE	155	-	-	-	-	-
6322	POSTAGE	90	54	211	23	150	160
6323	CELLULAR PHONES	3,149	3,171	-	-	-	-
TOTAL COMMUNICATION		3,394	3,225	211	23	150	160
EMPLOYEE REIMBURSEMENTS							
6331	TRAVEL & LODGING	-	-	-	-	-	-
6334	MILEAGE REIMBURSEMENT	-	-	-	-	-	-
6335	TRAINING	2,714	453	1,169	2,794	2,500	6,300
TOTAL EMPLOYEE REIMBURSEMENTS		2,714	453	1,169	2,794	2,500	6,300
ADVERTISING AND PUBLISHING							
6352	GENERAL NOTICE & PUBLIC INFOR	-	-	-	-	-	-
TOTAL ADVERTISING AND PUBLISHING		-	-	-	-	-	-
INSURANCE							
6361	GENERAL LIABILITY/PROPERTY INS	17,404	17,104	12,875	41,790	45,000	48,138
TOTAL INSURANCE		17,404	17,104	12,875	41,790	45,000	48,138
UTILITIES							
6371	ELECTRIC UTILITIES	24,032	30,992	32,719	31,956	34,000	35,000
6372	WATER/IRRIGATION	7,444	11,167	10,771	16,324	11,000	18,000
6373	GAS	3,421	7,073	12,404	11,759	13,750	14,000
6374	REFUSE/RECYCLING	3,857	5,428	7,533	7,083	8,000	8,500
TOTAL UTILITIES		38,753	54,660	63,427	67,122	66,750	75,500
REPAIRS AND MAINTENANCE - LABOR							
6381	BUILDING & STRUCTURE REPAIR	14,100	14,346	22,387	4,726	36,670	35,000
6382	MACHINERY & EQUIPMENT REPAIR	10,031	543	8,964	16,104	6,000	6,000
6388	OTHER VEHICLE REPAIR	1,226	3,177	-	2,988	3,000	3,000
TOTAL REPAIRS AND MAINTENANCE - LABOR		25,357	18,066	31,350	23,818	45,670	44,000
RENTALS							
6415	OTHER EQUIPMENT RENTAL	1,489	777	985	878	1,000	1,000
6416	MACHINERY RENTAL	-	-	-	-	-	-
6417	UNIFORM RENTAL	231	258	224	-	300	350
TOTAL RENTALS		1,719	1,036	1,209	878	1,300	1,350
DUES, SUBSCRIPTIONS, AND REGISTRATION FEES							
6451	MEMBERSHIP DUES	420	300	300	534	600	700
TOTAL DUES, SUBSCRIPTIONS, AND REGISTRATION FEES		420	300	300	534	600	700
CONTRACTED SERVICES							
6489	OTHER CONTRACTED SERVICES	143,625	127,769	126,317	159,725	135,000	145,000
TOTAL CONTRACTED SERVICES		143,625	127,769	126,317	159,725	135,000	145,000
Total OTHER SERVICES & CHARGES		266,854	253,330	265,263	297,610	331,970	341,148

CAPITAL OUTLAY							
CAPITAL OUTLAY							
6540	HEAVY MACHINERY	42,861	-	-	-	209,200	-
6550	VEHICLES	-	-	-	-	72,000	-
6580	OTHER EQUIPMENT	32,749	112,370	16,852	-	98,000	110,000
TOTAL CAPITAL OUTLAY		75,610	112,370	16,852	-	379,200	110,000
Total CAPITAL OUTLAY		75,610	112,370	16,852	-	379,200	110,000
TOTAL EXPENDITURES & OTHER FINANCING		1,418,871	1,481,802	1,445,077	1,628,641	2,277,155	2,229,384

**SUMMARY:**

OPERATING EXPENSE:	1,343,261	1,369,432	1,428,225	1,628,641	1,897,955	2,119,384
CAPITAL OUTLAY:	75,610	112,370	16,852	-	379,200	110,000
<b>TOTAL EXPENDITURES</b>	<b>\$ 1,418,871</b>	<b>\$ 1,481,802</b>	<b>\$ 1,445,077</b>	<b>\$ 1,628,641</b>	<b>\$ 2,277,155</b>	<b>\$ 2,229,384</b>

Business Unit	Object Account	Description	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Adopted Budget	2025 Requested Budget
0452	6102	F.T. REGULAR-WAGES & SALARIES	572,067	618,528	617,124	730,962	858,087	981,321
0452	6103	FULL TIME-REGULAR-OVERTIME	494	1,837	1,469	818	1,000	1,000
0452	6104	PART TIME-WAGES & SALARIES	30,275	17,113	36,452			
0452	6105	TEMPORARY-WAGES & SALARIES	68,819	68,479	50,823	65,361	111,040	100,000
0452	6121	PERA CONTRIBUTIONS	45,806	48,065	48,867	54,097	62,849	71,866
0452	6122	FICA/MEDICARE CONTRIBUTIONS	50,846	53,916	53,502	59,784	74,214	82,798
0452	6131	GROUP INSURANCE	78,670	94,527	116,186	132,986	158,304	196,206
0452	6133	WORKERS COMP INSURANCE PREMIUM	31,051	27,409	38,121	44,593	45,341	58,645
0452	6208	MISCELLANEOUS OFFICE SUPPLIES	348	501	1,185	921	700	900
0452	6223	GASOLINE	15,140	19,559	22,510	12,425	28,000	23,000
0452	6225	DIESEL FUEL	265	3,238	9,893	6,311	12,000	10,500
0452	6229	SHOP MATERIALS	523	939	3,467	1,198	2,500	2,500
0452	6231	UNIFORMS & TURN-OUT GEAR	3,412	4,882	6,130	6,106	5,000	6,000
0452	6249	MISCELLANEOUS OPERATING SUPPLY	32,775	30,380	31,531	29,962	33,000	33,000
0452	6257	OTHER VEHICLE PARTS	15,975	7,020	16,974	25,587	17,000	17,500
0452	6265	ASPHALT	97,967	101,594	71,915	111,045	120,000	126,000
0452	6268	IRRIGATION SUPPLIES	13,000	6,025	16,118	20,540	12,750	13,000
0452	6269	LANDSCAPE MATERIALS	16,785	11,449	16,843	23,522	20,000	50,000
0452	6281	SMALL TOOLS & MINOR EQUIPMENT	2,189	641	3,851	4,813	4,200	4,000
0452	6315	MISCELLANEOUS PROFESSIONAL SER	33,468	30,717	28,405	927	35,000	20,000
0452	6321	TELEPHONE	155	-	-	-	-	-
0452	6322	POSTAGE	90	54	211	23	150	160
0452	6323	CELLULAR PHONES	3,149	3,171	-	-	-	-
0452	6335	TRAINING	2,714	453	1,169	2,794	2,500	6,300
0452	6361	GENERAL LIABILITY/PROPERTY INS	17,404	17,104	12,875	41,790	45,000	48,138
0452	6371	ELECTRIC UTILITIES	24,032	30,992	32,719	31,956	34,000	35,000
0452	6372	WATER/IRRIGATION	7,444	11,167	10,771	16,324	11,000	18,000
0452	6373	GAS	3,421	7,073	12,404	11,759	13,750	14,000
0452	6374	REFUSE/RECYCLING	3,857	5,428	7,533	7,083	8,000	8,500
0452	6381	BUILDING & STRUCTURE REPAIR	14,100	14,346	22,387	4,726	36,670	35,000
0452	6382	MACHINERY & EQUIPMENT REPAIR	10,031	543	8,964	16,104	6,000	6,000
0452	6388	OTHER VEHICLE REPAIR	1,226	3,177	-	2,988	3,000	3,000
0452	6415	OTHER EQUIPMENT RENTAL	1,489	777	985	878	1,000	1,000
0452	6417	UNIFORM RENTAL	231	258	224	-	300	350
0452	6451	MEMBERSHIP DUES	420	300	300	534	600	700
0452	6489	OTHER CONTRACTED SERVICES	143,625	127,769	126,317	159,725	135,000	145,000
0452	6540	HEAVY MACHINERY	42,861				209,200	
0452	6550	MOTOR VEHICLES	-	-	-	-	72,000	
0452	6580	OTHER EQUIPMENT	32,749	112,370	16,852		98,000	110,000
<b>Total Expenditure</b>			<b>1,418,871</b>	<b>1,481,802</b>	<b>1,445,077</b>	<b>1,628,641</b>	<b>2,277,155</b>	<b>2,229,384</b>

**SUMMARY:**

<b>OPERATING EXPENSE:</b>	<b>1,343,261</b>	<b>1,369,432</b>	<b>1,428,225</b>	<b>1,628,641</b>	<b>1,897,955</b>	<b>2,119,384</b>
<b>CAPITAL OUTLAY:</b>	<b>75,610</b>	<b>112,370</b>	<b>16,852</b>	<b>-</b>	<b>379,200</b>	<b>110,000</b>
<b>TOTAL EXPENDITURES</b>	<b>\$ 1,418,871</b>	<b>\$ 1,481,802</b>	<b>\$ 1,445,077</b>	<b>\$ 1,628,641</b>	<b>\$ 2,277,155</b>	<b>\$ 2,229,384</b>

**PERSONNEL COMPLEMENT**

Park Maintenance Worker	4.00	5.00	6.00	6.00	7.00	7.00
Utilities Maintenance Worker (Enterprise Funded)	3.00	3.00	3.00	3.00	4.00	4.00
Utilities Supervisor (Enterprise Funded)	1.00	1.00	1.00	1.00	1.00	1.00
Parks/Assistant PW Director	1.00	1.00	1.00	1.00	1.00	1.00
Park Supervisor	1.00	1.00	1.00	1.00	1.00	1.00
Parks Lead Worker	1.00	1.00	1.00	1.00	1.00	1.00
Recreation and Special Event Coord.					1.00	1.00
Recreation Specialist	0.50	0.50	0.50	1.00	-	-
Temporary - Parks	3.62	3.62	3.62	3.62	3.62	3.62
Admin Assistant	-	-	-	-	1.00	1.00
	<b>15.12</b>	<b>16.12</b>	<b>17.12</b>	<b>17.62</b>	<b>20.62</b>	<b>20.62</b>

**6540/6550 Heavy Machinery**

3/4 ton 4/4 Truck	42,861	-	-	-	72,000	-
2 WD Pickup	-	-	-	-	101,200	-
F550 4/4 truck with plow	-	-	-	-	108,000	-
Mini wheel loader	-	-	-	-	281,200	-
	42,861	-	-	-	281,200	-

**6580 Other Equipment**

Kubota UTV 4X4 Field Maintenance/Snow Removal	-	-	-	-	-	25,000
Kubota Tractor Attachment	32,749	-	-	-	-	-
Large Area Mower	-	101,509	-	-	-	-
Line Striper	-	-	19,000	-	-	-
John Deere Mower	-	10,861	-	-	-	-
3-Zero-Turn Mowers	-	-	-	-	54,000	-
Chipper (new)	-	-	-	-	-	85,000
Turbine debris blower	-	-	-	-	9,000	-
Snowquip snowblower	-	-	-	-	35,000	-
	32,749	112,370	19,000	-	98,000	110,000

**DESCRIPTION OF SERVICES:**

The Park and Recreation Department is responsible for the outdoor maintenance of all municipal grounds, including the Municipal Center, fire stations, parks, trails and streetscapes. Parks facilities include buildings, playgrounds, shelters, ballfields.

**BUDGET HIGHLIGHTS**

- Market Rate Adjustments - From 1.98% - 13.85%
- COLA & Steps
- Increase landscape materials - \$30,000
- New Wood Chipper - \$85,000
- Replace 2015 Kubota UTV - \$25,000 (Net of \$7,000 trade in)
- 

**GOALS OF CURRENT YEAR BUDGET:**

- Continue addressing trail maintenance policy developed in 2015, to include ADA compliance
- Improve snow removal timeline for trails, sidewalk, parking lot and rink snow removal with city-wide snow plowing for better resident service
- Continue to work year-round with the athletic associations in the provision of youth recreation
- Strive to adequately address landscape and building maintenance
- Attempt to adequately address boulevard tree replacements (Emerald Ash Borer and car kills)

**Performance Measurements:**

	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Projected	2025 Projected
Number of City Parks	23	26	26	26	27	28
Number of Athletic Fields Maintained	42	42	42	42	42	42
Number of Playgrounds Maintained	17	17	17	17	17	18
Miles of Trails Maintained	70	70	70	70	70	75
Total Acreage Mowed	150.11	150.11	150.11	150.11	150.11	150.11

Business Unit	Object Account	Description	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Adopted Budget	2025 Requested Budget
0892	6102-6133	2025 NEW PERSONNEL REQUESTS	-	-				177,219
0892	6282	EMERGENCY SUPPLIES - COVID	436,995	2,741				
0892	6315	MISCELLANEOUS PROFESSIONAL SER	-	-	-		20,000	20,000
0892	6603	OTHER L.T. OBLIGATION PRINCIPA	61,853	61,853	61,853	61,853		
0892	6820	OPERATING TRANSFERS TO OTHER F	1,376,215	409,801	272,688	92,756	106,373	106,373
<b>Total Expenditure</b>			<b>1,875,063</b>	<b>474,396</b>	<b>334,541</b>	<b>154,609</b>	<b>126,373</b>	<b>303,592</b>

**SUMMARY:**

<b>OPERATING EXPENSE:</b>	<b>1,875,063</b>	<b>474,396</b>	<b>334,541</b>	<b>154,609</b>	<b>126,373</b>	<b>303,592</b>
<b>CAPITAL OUTLAY:</b>	-	-	-	-	-	-
<b>TOTAL EXPENDITURES</b>	<b>\$ 1,875,063</b>	<b>\$ 474,396</b>	<b>\$ 334,541</b>	<b>\$ 154,609</b>	<b>\$ 126,373</b>	<b>\$ 303,592</b>

6603/6820 Principal & Transfers						
Bury Carlson Internal Loan (PIR Fund)*	44,520	44,520	44,520	44,520	44,520	44,520
Municipal Center debt transfer interfund	61,853	61,853	61,853	61,853	61,853	61,853
	106,373	106,373	106,373	106,373	106,373	106,373

\*Coded directly against property tax when collected

**6820 Transfers to Other Funds**

Excess Revenue Transfer	1,376,215	409,801	272,688	92,756		
	1,376,215	409,801	272,688	92,756		

**DESCRIPTION OF SERVICES:**

The Contingency budget is to be used for unforeseen expenditures or for anticipated expenditures of uncertain amounts.

**BUDGET HIGHLIGHTS**

**2025 NEW PERSONNEL REQUESTS:**

- (191) Planning Admin Assistant from 25 hours week to 40 hours week - FT - \$39,540
- (211) PFT Police Records Technician - \$39,829
- (211) Reclass Police CSO to Lead CSO - \$3,575
- (211) Reclass Police Tech/Crime Analyst to Crime Analyst - \$2,294
- (220) FT Fire Inspector - Start July 1 - \$51,496
- (220) Increase Firefighter On-Call Wages - \$16,955
- (240) Building Admin Assistant - FT Begin June 1 - \$18,479
- (311) Reclass PW Mechanic to Lead Mechanic - \$5,050

**GOALS OF CURRENT YEAR BUDGET:**

Minimize unbudgeted/unallocated expenses

Left

Bank

BUDGET SUMMARY:								
Business Unit	Object Account	Description	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Adopted Budget	2025 Requested Budget
9230	4011	CURRENT-AD VALOREM TAXES	76,787	63,927	66,843	72,192	87,390	86,367
9230	4012	DELINQUENT-AD VALOREM TAXES	410	1,060	348	(989)		
9230	4014	FISCAL DISPARITIES	13,753	11,146	9,838	9,407		
9230	4273	OTHER STATE GRANTS & AIDS						
9230	4609	OTHER MISCELLANEOUS REVENUES		10	198,638	275		
9230	4701	INTEREST ON INVESTMENTS	40,633	(3,673)	(11,202)	64,554	5,000	5,000
9230	4901	TRANSFER IN FROM OTHER FUNDS						
<b>Total Revenue</b>			<b>131,583</b>	<b>72,470</b>	<b>264,465</b>	<b>145,440</b>	<b>92,390</b>	<b>91,367</b>

Business Unit	Object Account	Description	2020 Actual	2021 Actual	2022 Actual	2023 Actual	2024 Adopted Budget	2025 Requested Budget
9230	6102	F.T. REGULAR-WAGES & SALARIES						
9230	6105	TEMPORARY-WAGES & SALARIES	755	560	660	435	1,000	1,000
9230	6121	PERA CONTRIBUTIONS		-				
9230	6122	FICA/MEDICARE CONTRIBUTIONS	58	43	50	33	80	80
9230	6131	GROUP INSURANCE						
9230	6133	WORKERS COMP INSURANCE PREMIUM	4	2	4	2	10	
9230	6246	MARKETING	2,430	7,190	24,154	6,626	25,000	25,000
9230	6249	MISCELLANEOUS OPERATING SUPPLY	9,562	2,364	8,769	12,007	18,000	19,000
9230	6304	LEGAL FEES						
9230	6315	MISCELLANEOUS PROFESSIONAL SER	70,426	46,082	43,193	1,010	36,200	36,200
9230	6322	POSTAGE						
9230	6323	CELLULAR PHONES						
9230	6331	TRAVEL & LODGING	-	312	449	483	2,300	2,500
9230	6335	TRAINING	483	575	660	1,125	6,600	5,100
9230	6361	GENERAL LIABILITY/PROPERTY INS	877	3,242	624	313	1,000	287
9230	6371	ELECTRIC UTILITIES						
9230	6433	REFUNDS/REIMBURSEMENTS	-	250,000				
9230	6530	IMPROVEMENTS OTHER THAN BUILDINGS		15,151				
9230	6451	MEMBERSHIP DUES	940	1,121	1,798	1,593	2,200	2,200
9230	6452	SUBSCRIPTIONS	-	5	17	-		
9230	6530	IMPROVEMENTS OTHER THAN BUILDINGS	-	-	20,143	-		
<b>Total Expenditure</b>			<b>85,534</b>	<b>326,645</b>	<b>100,521</b>	<b>23,627</b>	<b>92,390</b>	<b>91,367</b>

**DESCRIPTION OF SERVICES:**  
 The primary objective of the Economic Development Authority is to aid, assist and promote the growth and expansion of commercial, retail and industrial development in the City of Ramsey.

**GOALS OF CURRENT YEAR BUDGET:**  
 Enhance Business Retention and Expansion Program  
 Increase number of jobs  
 Increase retail base  
 Reduce the amount of land owned by City for development

**CC Regular Session New****Meeting Date:** 09/24/2024**Primary Strategic Plan Initiative:** Address infrastructure needs.**Title:**

Adopt Resolution #24-275 Accepting Bids and Awarding Contract for Improvement Project #25-01, Rivers Bend Regional Stormwater Improvements

**Purpose/Background:****Purpose:**

The purpose of this case is to adopt Resolution #24-275 accepting bids and awarding a contract for construction of Improvement Project #25-01, Rivers Bend Regional Stormwater Improvements.

**Background:**

In June of 2016, the Anoka Conservation District completed a Stormwater Retrofit Analysis for the City of Ramsey and the Lower Rum River Watershed Management Organization (LRRWMO) to identify and rank potential improvement projects that drain to the Mississippi and Rum Rivers. The Stormwater Retrofit Analysis recommended modifying a wetland within Rivers Bend Park to increase the volume of stormwater runoff storage provided by this wetland that currently treats runoff from a 38-acre catchment area for the purpose of reducing sediment and phosphorus loads that can end up in the receiving water, which is an oxbow of the Rum River. See Project ID: RR8-A on page 89 of the attached modified version of the Stormwater Retrofit Analysis for reference.

In the Fall of 2023, the Lightbridge Academy submitted a commercial development application so staff began working with the developer to address their stormwater management requirements. This development is located within the City of Ramsey's East Drinking Water Supply Management Area (DWSMA) where infiltration of stormwater is prohibited so staff reached out to the Lower Rum River Watershed Management Organization (LRRWMO) to confirm that the developer could purchase credits to utilize a portion of The COR regional infiltration basin to comply with the LRRWMO's volume retention requirements. When The COR regional infiltration basin was constructed, it was believed that the basin could be used to accommodate development within the East and West DWSMA's. However, the LRRWMO's engineer, BARR Engineering, recently informed staff that since the two DWSMA's drain to different water bodies (the East DWSMA drains to the Rum River and the West (The COR) DWSMA drains to the Mississippi River) Lightbridge Academy cannot simply pay a fee to use The COR infiltration basin.

Discussions then turned to how Lightbridge can comply with LRRWMO requirements for stormwater runoff rate control and water quality improvements. The developer's engineer stated they cannot provide these improvements on their site so they asked if the City could accommodate these requirements. After discussions with the LRRWMO's engineer it was determined that the City needed to construct stormwater management facility improvements on the west edge of Rivers Bend Park, West of the existing wetland that currently treats all stormwater runoff from the 38-acre catchment as addressed in the ACD's Stormwater Retrofit Analysis, and that the existing wetland should not be impacted. This existing wetland is undersized and does not meet the rate control and water quality treatment requirements per current LRRWMO stormwater standards for the 38-acre catchment that includes several undeveloped parcels including the Lightbridge Academy parcel.

Since this 38-acre catchment is located within the City of Ramsey's East Drinking Water Supply Management Area (DWSMA), where infiltration of stormwater is prohibited, the pond must be lined. The LRRWMO Management Plan describes/defines sites, such as those located within a DWSMA, as infeasible or inappropriate for infiltration and identifies other scenarios for the permittee to investigate. Volume retention requirements can either be provided on-site as part of the Rivers Bend Regional Stormwater Improvements by utilizing filtration

practices as allowed by LRRWMO stormwater standards, or off-site in a regional infiltration basin located outside the East DWSMA.

City staff discussed various aspects of this project with LRRWMO and MPCA staff, including potential wetland impacts, options for meeting volume retention requirements, and how the timing of this project could be coordinated with the Lightbridge Academy development construction to ensure adequate stormwater runoff treatment can be provided during construction of both projects.

Staff coordinated the construction schedule of the City’s stormwater pond improvements project with the Lightbridge Academy development construction schedule to address concerns raised by the LRRWMO. Lightbridge Academy’s engineer prepared and submitted a phased construction plan with their LRRWMO permit application, which was approved. Lightbridge Academy will construct their building first, along with two temporary stormwater retention ponds to manage stormwater runoff, thereby minimizing disturbance to the site while the Rivers Bend Regional Stormwater Improvements project is under construction. Lightbridge Academy will then complete their site improvements, including impervious surface improvements, during the final construction phases of the Rivers Bend Regional Stormwater Improvements late this Fall or next Spring. As of the time this report was prepared, Lightbridge Academy had not yet started construction.

Bolton & Menk performed a wetland delineation to identify the existing wetland boundary and type for the wetland in River’s Bend Park that currently receives stormwater runoff from the 38-acre catchment. The LRRWMO reviewed the wetland delineation report and issued permit #24-21 on August 15, 2024, approving the revised wetland boundary and type. A copy of the approval letter and approved permit is attached

On August 12, 2024, the plans and specifications prepared by Bolton & Menk, Inc. were approved and advertisements for bids were authorized for City Improvement Project #25-01, Rivers Bend Regional Stormwater Improvements.

Bids were advertised in QuestCDN, the electronic bidding platform utilized by the City of Ramsey for all improvement projects, and in the Anoka Union Herald on Friday, August 16th, and again on Friday, August 23rd, 2024.

Five (5) bids were received, opened and tabulated on September 6, 2024, and the following bids were found to comply with the approved plans and specifications and advertisement for bids.

<b>Contractor</b>	<b>Base Bid</b>	<b>Alternate Bid</b>	<b>Total Bid</b>
Douglas-Kerr Underground, LLC	\$899,653.30	\$0.01	\$899,653.31
Rachel Contracting, LLC	\$999,548.00	\$16,900.00	\$1,016,448.00
Peterson Companies	\$1,009,679.76	\$0.00	\$1,009,679.76
U.S. SiteWork, Inc.	\$1,254,337.00	\$22,160.00	\$1,276,497.00
New Look Contracting, Inc.	\$1,546,189.50	\$15,000.00	\$1,561,189.50
<i>Engineer’s Estimate</i>	<i>\$1,169,370.00</i>	<i>\$95,000.00</i>	<i>\$1,264,370.00</i>

Douglas-Kerr Underground, LLC of Mora, Minnesota, who submitted a total bid in the amount of \$899,653.31 for construction of said improvements in accordance with the approved plans and specifications and advertisement for bids, is the lowest responsible bidder.

**Notification:**

Notifications are not required for this case.

**Time Frame/Observations/Alternatives:**

**Observations:**

Attached is a copy of the final construction plans.

Attached is a proposal from Bolton & Menk, Inc. for construction services in the not-to-exceed amount of \$15,240. The work scope includes contract preparation and administration, shop drawing reviews, all required construction staking, assistance with processing pay applications, preparing as-built record drawings, and revising plans, if needed.

Tentative Project Schedule

September 24, 2024	Award Construction Contract
September 25, 2024	Conduct Preconstruction Meeting
September 30, 2024	Begin Construction
November 22, 2024	Substantial Completion (includes dormant seeding)
Summer 2025	Final Completion / Project Closeout

On September 19, 2024, the LRRWMO reviewed and approved the erosion control/stormwater permit for this project, LRRWMO Permit #24-26. Construction may therefore commence immediately upon contract execution.

**Alternatives:**

Alternative #1 - Motion to adopt Resolution #24-275 accepting bids and awarding a contract for construction of Improvement Project #25-01, to Douglas-Kerr Underground, LLC in the total bid amount of \$899,653.31, and approving Bolton & Menk’s construction services proposal in the amount of \$15,240.

Alternative #2 - Motion of other.

**Funding Source:**

Douglas-Kerr Underground, LLC, submitted the lowest total bid for construction of the improvements in the amount of \$899,653.31.

Bolton & Menk, Inc., the design engineers, submitted the attached construction services proposal in the not-to-exceed amount of \$15,240.

Indirect project costs, which includes administrative, engineering, finance and legal fees, are estimated at 15-percent of the lowest total bid, or \$134,948. These costs are inclusive of Bolton & Menk’s fees for design and plan preparation, approved at a not-to-exceed cost of \$83,900, and their construction services fees proposed at \$15,240, along with AET’s required materials testing fees, all required LRRWMO permit fees, other permitting costs, and City staff time billed to this project.

Funding for this project is proposed to come from a combination of watershed grant funds administered by the Anoka Conservation District, and City Storm Water Management Funds, in the following amounts.

<b>Funding Source</b>	<b>Project Costs</b>
Watershed Grant Funds	\$248,250.00
Storm Water Management Funds	\$786,351.31
<b>Total Estimated Project Costs</b>	<b>\$1,034,601.31</b>

Staff is working to obtain additional watershed grant funds, which if successful will reduce the City’s total cost.

**Recommendation:**

Staff recommends approving alternative #1.

Attached is a Bid Results and Recommendation memo from Bolton & Menk, Inc. stating if the City of Ramsey decides to award the project to the low bidder, Bolton & Menk recommends awarding the contract to Douglas-Kerr Underground, LLC.

On September 19, 2024, the Public Works Committee unanimously passed a motion recommending that the City Council accept bids and award a construction contract to the low bidder, Douglas-Kerr Underground, LLC.

**Outcome/Action:**

Motion to adopt Resolution #24-275 accepting bids and awarding a contract for construction of Improvement Project #25-01, to Douglas-Kerr Underground, LLC in the total bid amount of \$899,653.31, and approving Bolton & Menk’s construction services proposal in the amount of \$15,240.

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**Attachments**

- Resolution 24-275
- LRRWMO Permit 24-21
- ACD Stormwater Retrofit Analysis Mod
- Final Plans IP25-01
- BMI Construction Services Proposal
- BMI Bid Award Memo

**Form Review**

<b>Inbox</b>	<b>Reviewed By</b>	<b>Date</b>
Brian Hagen	Brian Hagen	09/19/2024 12:47 PM
Form Started By: Bruce Westby		Started On: 09/17/2024 11:50 AM
Final Approval Date: 09/19/2024		

Councilmember \_\_\_\_\_ introduced the following resolution and moved for its adoption:

**RESOLUTION #24-275**

**RESOLUTION ACCEPTING BIDS AND AWARDING CONTRACT FOR IMPROVEMENT PROJECT #25-01, RIVERS BEND REGIONAL STORMWATER IMPROVEMENTS**

**WHEREAS**, in June of 2016 the Anoka Conservation District completed a Stormwater Retrofit Analysis for the City of Ramsey and the Lower Rum River Watershed Management Organization (LRRWMO) to identify and rank potential improvement projects that drain to the Mississippi and Rum Rivers; and

**WHEREAS**, the Stormwater Retrofit Analysis recommended stormwater pond modifications within Rivers Bend Park to increase the volume of stormwater runoff storage provided within the wetland that currently treats runoff from a 38-acre catchment area to reduce sediment and phosphorus loads within the receiving water, an oxbow of the Rum River; and

**WHEREAS**, City staff recommends constructing the necessary stormwater management improvements to treat stormwater runoff from all properties within the 38-acre catchment, including the Lightbridge Academy and Complete Auto parcels, to current LRRWMO stormwater design standards as recommended in the Anoka Conservation District's Stormwater Retrofit Analysis; and

**WHEREAS**, the Anoka Conservation District awarded \$248,250 in watershed-based grant funds to pay for a portion of the proposed Rivers Bend Regional Stormwater Improvements project; and

**WHEREAS**, the City has the capability to fund the remaining project costs for the proposed Rivers Bend Regional Stormwater Improvements project using storm water management funds; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #24-153 the Mayor and City Administrator were authorized and directed to execute the professional services proposal from Bolton & Menk, Inc. to prepare final plans and specifications for Improvement Project #25-01, Rivers Bend Regional Stormwater Improvements; and

**WHEREAS**, pursuant to Ramsey City Council Resolution #24-215, adopted August 12, 2024, the plans and specifications prepared by Bolton & Menk, Inc. were approved and advertisements for bids were authorized for City Improvement Project #25-01, Rivers Bend Regional Stormwater Improvements; and

**WHEREAS**, bids were advertised in the Anoka Union Herald on Friday, August 16th, and again on Friday, August 23rd, 2024; and

**WHEREAS**, five (5) bids were received, opened and tabulated on September 6, 2024, and the following bids were found to comply with the approved plans and specifications and advertisement for bids; and

<b>Contractor</b>	<b>Base Bid</b>	<b>Alternate Bid</b>	<b>Total Bid</b>
Douglas-Kerr Underground, LLC	\$899,653.30	\$0.01	\$899,653.31
Rachel Contracting, LLC	\$999,548.00	\$16,900.00	\$1,016,448.00
Peterson Companies	\$1,009,679.76	\$0.00	\$1,009,679.76
U.S. SiteWork, Inc.	\$1,254,337.00	\$22,160.00	\$1,276,497.00
New Look Contracting, Inc.	\$1,546,189.50	\$15,000.00	\$1,561,189.50
<i>Engineer's Estimate</i>	<i>\$1,169,370.00</i>	<i>\$95,000.00</i>	<i>\$1,264,370.00</i>

**WHEREAS**, Douglas-Kerr Underground, LLC of Mora, Minnesota, who submitted a total bid in the amount of \$899,653.31 for construction of said improvements in accordance with the approved plans and specifications and advertisement for bids, is the lowest responsible bidder and their bid shall be and hereby is accepted; and

**WHEREAS**, Bolton & Menk, Inc. submitted a professional services proposal for construction services for Improvement Project #25-01, Rivers Bend Regional Stormwater Improvements, in the not-to-exceed amount of \$15,240.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:**

- 1) The Mayor and City Administrator are hereby authorized and directed to enter into a contract with said bidder for the construction of said improvements for and on behalf of the City of Ramsey.
- 2) The professional services proposal from Bolton & Menk, Inc. proposing construction services for Improvement Project #25-01, Rivers Bend Regional Stormwater Improvements, in the not-to-exceed amount of \$15,240, is hereby approved.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember \_\_\_\_\_, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

Whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 24th day of September, 2024.

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Mayor

**ATTEST:**

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City Clerk

August 21, 2024

Bruce Westby; [bwestby@ci.ramsey.mn.us](mailto:bwestby@ci.ramsey.mn.us)  
City of Ramsey  
7550 Sunwood Drive NW  
Ramsey, MN 55303



**Re: LRRWMO Permit #2024-21: Rivers' Bend Park Wetland Delineation: City of Ramsey**

Dear Mr. Westby:

At the August 15, 2024 LRRWMO meeting the Board addressed the permit indicated above.

The Board has taken action to approve the revised wetland boundary and type as documented in the WCA Notice of Decision for Permit #2024-21, Rivers Bend Wetland Delineation, City of Ramsey, as detailed in the Barr Engineering Co. memorandum dated August 2, 2024.

If you have any questions regarding this process, please contact Ms. Stephanie Johnson of Barr Engineering Co.

Sincerely,



Debra Musgrove [DMusgrove@ci.ramsey.mn.us](mailto:DMusgrove@ci.ramsey.mn.us)  
Chair

Attachments: Barr Engineering Co. Memo dated August 2, 2024  
Approved Permit 2024-21: Application for MN Wetland Conservation Act (WCA)  
MN Wetland Conservation Act (WCA) Notice of Decision (NOD)

cc: John Nelson, Bolton & Menk, Inc. Applicant's contact: [john.nelson@bolton-menk.com](mailto:john.nelson@bolton-menk.com)  
LRRWMO; [DMusgrove@ci.ramsey.mn.us](mailto:DMusgrove@ci.ramsey.mn.us)  
Becky Wozney, Anoka Conservation District; [becky.wozney@anokaswcd.org](mailto:becky.wozney@anokaswcd.org)  
Ben Meyer, MN Board of Water & Soil Resources; [ben.meyer@state.mn.us](mailto:ben.meyer@state.mn.us)  
Melissa Collins, MDNR Specialist; [melissa.collins@state.mn.us](mailto:melissa.collins@state.mn.us)  
Karen Wold, Barr Engineering Co.; [kwold@barr.com](mailto:kwold@barr.com)  
Stephanie Johnson, Barr Engineering Co.; [stephanie.johnson@barr.com](mailto:stephanie.johnson@barr.com)

## Memorandum

**To:** Lower Rum River Watershed Management Organization (LRRWMO)  
**From:** Karen Wold, Barr Engineering Co. (Barr)  
**Subject:** River's Bend Park Wetland Delineation ~ Ramsey  
**Date:** August 2, 2024  
**Barr Project:** 23020047.00 RJB 2421  
**LRRWMO Permit:** #2024-21

**c:** Stephanie Johnson, Barr Engineering Co.  
Carla Wirth, TimeSaver, LRRWMO Recording Secretary

On June 13, 2024, Barr received a wetland delineation report and a request for Minnesota Wetland Conservation Act (WCA) wetland boundary and type approval associated with the River's Bend Park site located in the City of Ramsey. Barr received confirmation, that the LRRWMO application and fees were provided on June 20, 2024, and a permit number was assigned, making it a complete application.

Barr issued a WCA Notice of Application on June 28, 2024, with a comment period ending on July 22, 2024. Technical Evaluation Panel (TEP) members were invited to a site review that was conducted on July 16, 2024, however only the LGU representative was able to attend with the applicant's agent. The applicant's agent provided a revised wetland delineation report on July 18, 2024, based on wetland boundary changes made during the site review and no additional comments were received.

We recommend the LRRWMO approve the revised wetland boundary and type as documented in the draft WCA Notice of Decision.

## APPLICATION FOR MINNESOTA WETLAND CONSERVATION ACT (WCA) DECISIONS AND PROCEDURE REQUIREMENTS

A \$75.00 LRRWMO initial application fee and the appropriate escrow deposits (determined in accordance with Attachment W3) must accompany this permit application for any Wetland Conservation Act (WCA) decisions. These are separate and in addition to permit and escrow fees for Grading, Stormwater Management, and Erosion/Sediment Control permit application, if applicable.

Permits are to be processed at the same time as the site plan, preliminary plat or other city land use or building application submitted to the city in which the work or project is located.

Wetland permit processing takes longer than other permit processing. The permit application and supporting documentation should be submitted to the LRRWMO AT LEAST 60 DAYS PRIOR TO THE REGULARLY SCHEDULED MONTHLY LRRWMO MEETING AT WHICH A DECISION IS REQUESTED. A PERMIT NUMBER WILL NOT BE ASSIGNED UNTIL CITY AUTHORIZATION IS RECEIVED.

**Project Name:** Rivers' Bend Park Wetland Delineation

**Address/Location:** 5000 142 Lane NW, Ramsey, MN 55303

**Project Description/Purpose:** Stormwater Planning

City of Ramsey Bruce Westby  
**Name of Applicant (Site Owner or Property Owner)**  
7550 Sunwood Drive NW  
**Address**  
Ramsey, MN 55303  
**City, State, Zip**  
763-433-9825  
**Phone**                      **Fax**  
bwestby@ci.ramsey.mn.us  
**Email**

John Nelson                      Bolton & Menk, Inc.  
**Applicant's Contact**                      **Organization Name**  
2638 Shadow Lane Suite 200  
**Address**  
Chaska, MN 55318  
**City, State, Zip**  
612-759-2947  
**Phone**                      **Fax**  
john.nelson@bolton-menk.com  
**Email**

**Submittal Requirements**

Complete applications are to be submitted as per LRRWMO attachments W1 (Permit Requirements), W2 (Office Procedure), and W3 (Fees, Deposit, and Sureties for Wetland Conservation Act) included with this application. Projects may also require a LRRWMO Grading, Stormwater Management, and Erosion/Sediment Control Permit (separate application and fee/escrow amounts)

**PROJECT SUBMITTALS (check all that apply):**

- WETLAND BOUNDARY DELINEATION AND TYPE CONCURRENCE**
- REQUEST FOR NO LOSS OR EXEMPTION UNDER THE WETLAND CONSERVATION ACT (WCA)**
- WETLAND REPLACEMENT PLAN AND/OR SEQUENCING**
- WETLAND BANKING PLAN**
- OTHER**



START OF PROJECT: \_\_\_\_\_

EST. COMPLETION DATE: \_\_\_\_\_

APPROVAL DATE: August 15, 2024

**By signing this Permit Application, the undersigned consents and agrees on behalf of the Applicant that:**

1. The permit application fee is non-refundable. Escrow deposits will be held by the LRRWMO until the project has been completed and all conditions of issuance of the permit are satisfied. The Applicant is responsible for all expenses incurred by the LRRWMO in the processing, administration and enforcement of the permit application and permit. The escrow deposit will be used to reimburse the LRRWMO for all expenses incurred by the LRRWMO in processing, administering and enforcing the permit application and permit, including engineering, legal and other consultant costs. If such expenses exceed the escrow deposit, the LRRWMO will bill the Applicant or Permittee for such excess amount and payment will be due within twenty (20) days of mailing the invoice. Timely payment of such invoices is a condition of all permits and work may be stopped on the project for failure to make payments when due.
2. The undersigned, its agents, principal, assigns and/or representatives (hereinafter "Permittee") shall abide by all the standard conditions and special terms and conditions of the LRRWMO.
3. Any work that violates the terms of the permit may result in the LRRWMO or the City in which the work is being done immediately causing the work on the project relating to the permit to cease and desist. All work on the project shall cease until the permit conditions are met and approved by the LRRWMO and/or the City in which the work is being done.
4. The Permittee agrees to be bound by the terms of the LRRWMO permit requirements, final permit, standard conditions, and special conditions required by the LRRWMO for approval of the permit. The undersigned has the authority to bind the permit holder, the owner of the property and/or any entity performing work on the property pursuant to the terms of LRRWMO permit, and shall be responsible for complying with terms of the LRRWMO permit.

"I certify that I have thoroughly read and understand the above information."

<u>Bruce Westby</u>	<u>6/7/2024</u>	_____	_____
Signature of property owner or designated Agent (no agent without a letter of authority)	Date	Signature of applicant If different from property owner	Date

<u>Bruce Westby</u>	_____
Print Signer's name	Print Signer's name

<b>Application Acknowledged by City:</b>	<u>Bruce Westby</u>	<u>Ramsey</u>	<u>6/7/2024</u>
	Name of City Official	City	Date

SIGNATURE OF LRRWMO CHAIRMAN: \*\* D. Payne August 15, 2024

**\*\*NOTE: Subject to conditions as designated in the WCA Notice of Decision as recommended by the Technical Evaluation Panel and Barr Engineering (see attached)**

PERMIT IS NOT VALID IF PROJECT HAS NOT STARTED WITHIN ONE YEAR FROM DATE OF APPROVAL

## Minnesota Wetland Conservation Act Notice of Decision

<b>Local Government Unit (LGU):</b> Lower Rum River Watershed Management Organization (LRRWMO)
<b>County:</b> Anoka
<b>Applicant Name:</b> City of Ramsey, Bruce Westby
<b>Applicant Representative:</b> Bolton & Menk, Inc., John Daniel Nelson
<b>Project Name:</b> Rivers' Bend Park Wetland Delineation
<b>LGU Project No. (if any):</b> 2024-21
<b>Date Application Received by LGU:</b> 6/20/2024
<b>Date of LGU Decision:</b> 8/15/2024
<b>Date this Notice was Sent:</b> August 21, 2024

**Minnesota Wetland Conservation Act (WCA) Decision Type - check all that apply**

<input checked="" type="checkbox"/> Wetland Boundary/Type	<input type="checkbox"/> Sequencing	<input type="checkbox"/> Replacement Plan	<input type="checkbox"/> Bank Plan (not credit purchase)
<input type="checkbox"/> No-Loss (8420.0415)	<input type="checkbox"/> Exemption (8420.0420)		
Part: <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/> E <input type="checkbox"/> F <input type="checkbox"/> G <input type="checkbox"/> H	Subpart: <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5 <input type="checkbox"/> 6 <input type="checkbox"/> 7 <input type="checkbox"/> 8 <input type="checkbox"/> 9		

**Replacement Plan Impacts (replacement plan decisions only)**

Total WCA Wetland Impact Area: not applicable
Wetland Replacement Type: <input type="checkbox"/> Project Specific Credits: <input type="checkbox"/> Bank Credits:
Bank Account Number(s):

**Technical Evaluation Panel (TEP) Findings and Recommendations (attach if any)**

<input checked="" type="checkbox"/> Approve <input type="checkbox"/> Approve w/Conditions <input type="checkbox"/> Deny
See TEP communication described in LGU Findings below.

**LGU Decision**

<input type="checkbox"/> Approved with Conditions (specify below) <sup>1</sup>	<input checked="" type="checkbox"/> Approved <sup>1</sup>	<input type="checkbox"/> Denied
List Conditions:		
<b>Decision-Maker for this Application:</b> <input type="checkbox"/> Staff <input checked="" type="checkbox"/> Governing Board/Council <input type="checkbox"/> Other:		
<b>Decision is valid for:</b> <input checked="" type="checkbox"/> 5 years (default) <input type="checkbox"/> Other (specify):		

<sup>1</sup> *Wetland Replacement Plan approval is not valid until Minnesota Board of Water and Soil Resources (BWSR) confirms the withdrawal of any required wetland bank credits. For project-specific replacement a financial assurance per MN Rule 8420.0522, Subp. 9 and evidence that all required forms have been recorded on the title of the property on which the replacement wetland is located must be provided to the LGU for the approval to be valid.*

**LGU Findings – Attach document(s) and/or insert narrative providing the basis for the LGU decision<sup>1</sup>.**

<input checked="" type="checkbox"/> Attachment(s) (specify): <b>Site Location Map, Revised Wetland Delineation Map</b>
<input checked="" type="checkbox"/> Summary:
<b>On behalf of the City of Ramsey, Bolton &amp; Menk submitted a wetland delineation report and joint application form requesting wetland boundary and type approval for a specific evaluation area of the Rivers' Bend Park within the City of Ramsey in Anoka County (T32N, R25W, S25).</b>
<b>A WCA Notice of Application was submitted to TEP members on 6/28/2024 with a comment period ending on 7/22/2024.</b>

One wetland was delineated within the evaluation area and designated as:

Wetland 1= Type 1/3 seasonally flooded basin/shallow marsh

A site review was conducted on 7/16/2024 with Karen Wold (Barr Engineering for the LRRWMO) and John Daniel Nelson (Bolton & Menk). Other TEP members were invited and were unable to attend. During the site review, wetland boundary modifications were identified in Wetland 1.

On 7/18/2024, John Daniel Nelson provided a revised wetland delineation report documenting the boundary changes. The revised wetland boundary area is documented as 0.69 acres.

The revised wetland delineation report was provided to TEP members, and no additional comments were received.

The revised wetland boundaries and types were determined to be accurate based on the requirements of the 1987 U.S. Army Corps of Engineers (USACE) Wetland Delineation Manual, the 2010 Midwest Regional Supplement, and the 2015 Guidance for Submittal of Delineation Reports to the USACE and WCA LGU in Minnesota, Version 2.0.

<sup>1</sup> Findings must consider any TEP recommendations.

**Attached Project Documents**

site location map  Project Plan(s)/Descriptions/Reports (specify): revised wetland delineation map

**Appeals of LGU Decisions**

If you wish to appeal this decision, you must provide a written request within 30 calendar days of the date you received the notice. All appeals must be submitted to the Board of Water and Soil Resources Executive Director along with a check payable to BWSR for \$500 *unless* the LGU has adopted a local appeal process as identified below. The check must be sent by mail and the written request to appeal can be submitted by mail or e-mail. The appeal should include a copy of this notice, name and contact information of appellant(s) and their representatives (if applicable), a statement clarifying the intent to appeal and supporting information as to why the decision is in error. Send to:

Appeals & Regulatory Compliance Coordinator  
Minnesota Board of Water & Soils Resources  
520 Lafayette Road North  
St. Paul, MN 55155  
[travis.germundson@state.mn.us](mailto:travis.germundson@state.mn.us)

Does the LGU have a local appeal process applicable to this decision?

Yes<sup>1</sup>       No

<sup>1</sup>If yes, all appeals must first be considered via the local appeals process.

**Local Appeals Submittal Requirements** (LGU must describe how to appeal, submittal requirements, fees, etc. as applicable)

**Notice Distribution (include name)**

*Required on all notices:*

- SWCD TEP Member: Becky Wozney (Anoka Conservation District)
- Minnesota Board of Water and Soil Resources (BWSR) TEP Member: Ben Meyer
- LGU TEP Member: Karen Wold (Barr Engineering for the LRRWMO)
- Minnesota Department of Natural Resources Representative: Melissa Collins

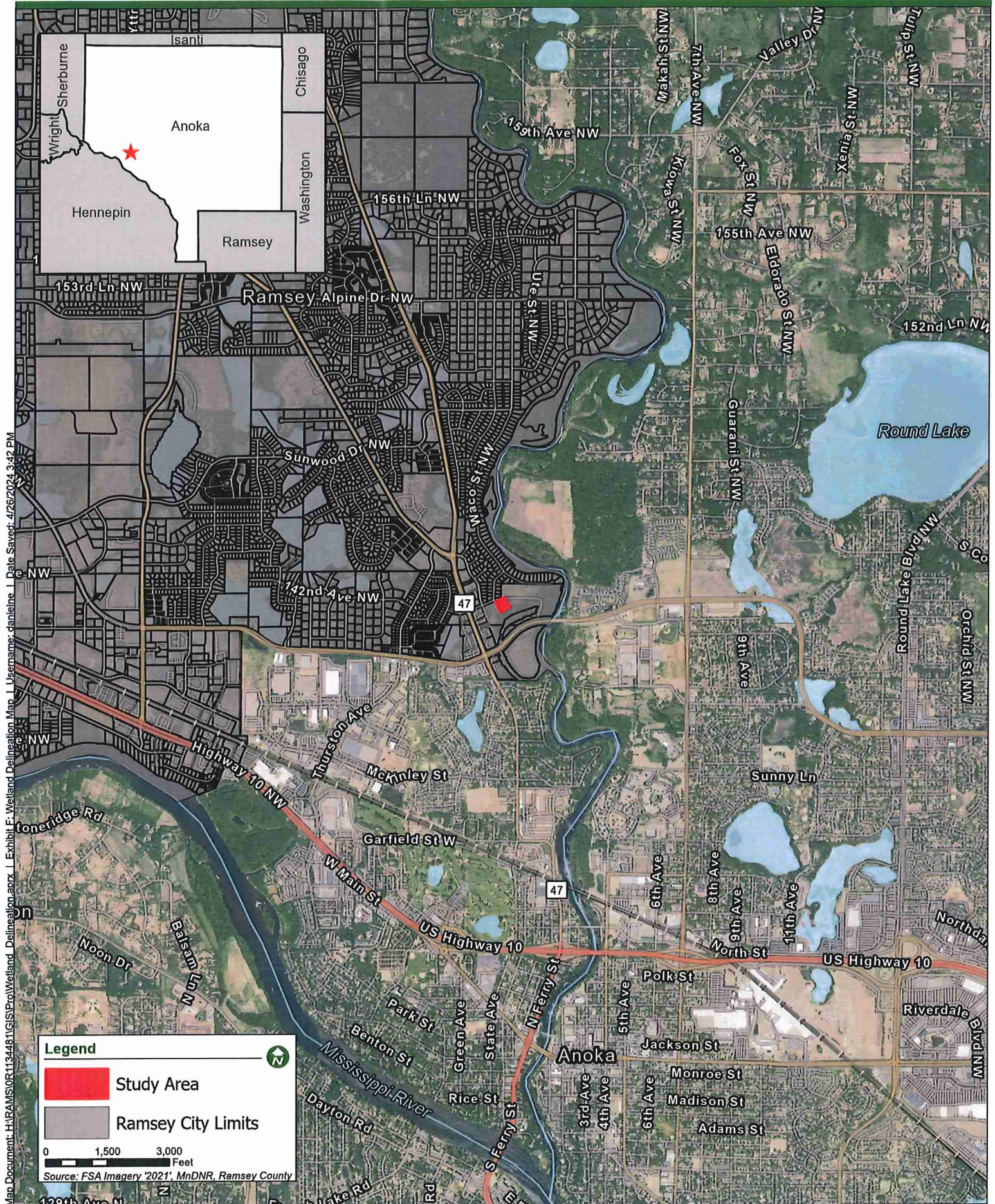
<input checked="" type="checkbox"/> Watershed District or Watershed Mgmt. Org.: Debra Musgrove (LRRWMO), Stephanie Johnson (Barr Engineering Co.)
<input checked="" type="checkbox"/> City Contact for LRRWMO permitting: Leonard Linton (City of Ramsey)
<input checked="" type="checkbox"/> Applicant (notice only) Bruce Westby, City of Ramsey
<input checked="" type="checkbox"/> Agent/Consultant (notice only): John Daniel Nelson, Bolton & Menk, Inc.

*Optional or As Applicable:*

<input type="checkbox"/> Corps of Engineers:
<input type="checkbox"/> BWSR Wetland Mitigation Coordinator (required for bank plan applications only):
<input type="checkbox"/> Members of the Public (notice only):
<input type="checkbox"/> Other:

<b>Signature:</b> 	<b>Date:</b> 8/15/2024
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**This notice and accompanying application materials may be sent electronically or by mail. The LGU may opt to send a summary of the application to members of the public upon request per 8420.0255, Subp. 3.**



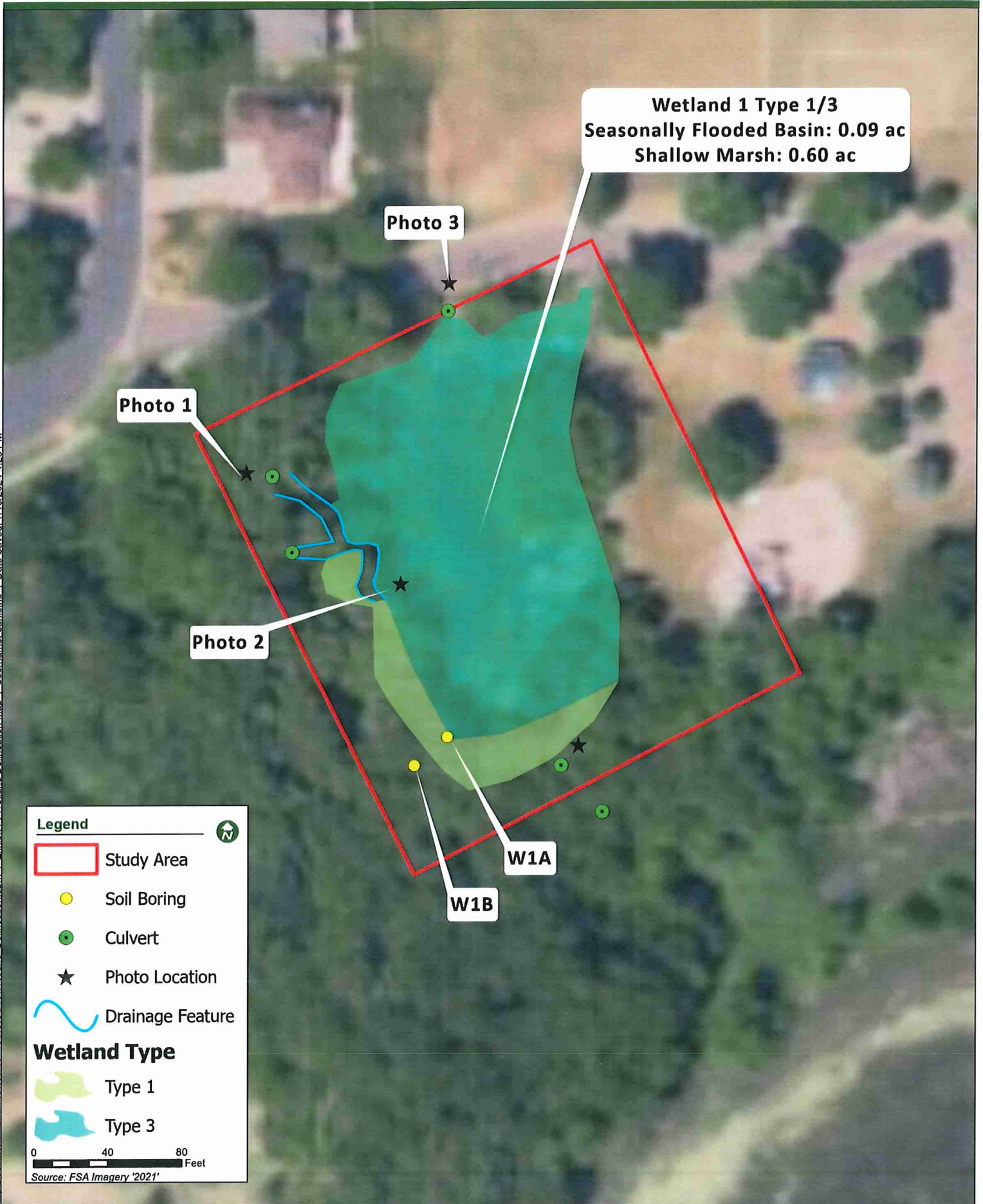
Map Document: H:\RAMS\0R1134481\GIS\Pro\Wetland Delineation.aprx | Exhibit F: Wetland Delineation Map | User: dameline | Date Saved: 4/26/2024 3:42 PM

**Legend**

- Study Area
- Ramsey City Limits

0 1,500 3,000  
Feet

Source: FSA Imagery '2021', MnDNR, Ramsey County



**Wetland 1 Type 1/3**  
Seasonally Flooded Basin: 0.09 ac  
Shallow Marsh: 0.60 ac

Photo 3

Photo 1

Photo 2

W1A

W1B

**Legend**

- Study Area
- Soil Boring
- Culvert
- ★ Photo Location
- ~ Drainage Feature

**Wetland Type**

- Type 1
- Type 3

0 40 80 Feet

Source: FSA Imagery '2021'

Map Document: H:\RAMS\091134481\GIS\Pro\Wetland\_Delineation.aprx | Exhibit F: Wetland Delineation Map | Username: denielne | Date Saved: 7/18/2024 4:28 PM



# City of Ramsey Stormwater Retrofit Analysis

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*Prepared by:*



CITY OF RAMSEY AND

LOWER RUM RIVER WATERSHED MANAGEMENT ORGANIZATION

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**June 2016**

**Cover photo:** Historical and 2014 aerial photographs of subwatersheds analyzed in this report that drain to either the Mississippi (top pictures) or Rum River (bottom pictures).

**Disclaimer:** At the time of printing, this report identifies and ranks potential BMPs for selected subwatersheds in the City of Ramsey that drain to the Mississippi or Rum River. This list of practices is not all-inclusive and does not preclude adding additional priority BMPs in the future. An updated copy of the report shall be housed at either the Anoka Conservation District, the City of Ramsey, or the Lower Rum River Watershed Management Organization.

## Executive Summary

The City of Ramsey and Lower Rum River Watershed Management Organization (LRRWMO) contracted the Anoka Conservation District (ACD) to complete this stormwater retrofit analysis (SRA) for the purpose of identifying and ranking water quality improvement projects in selected subwatersheds that drain to either the Mississippi or Rum River. The subwatersheds are located along the southern City boundary (Mississippi River) and the eastern City boundary (Rum River) and consist of commercial, industrial, and residential land uses. Volume, total phosphorus (TP), and total suspended solids (TSS) were the target parameters analyzed.

This analysis is primarily intended to identify potential projects within the target area to improve water quality in the Mississippi and Rum Rivers through stormwater retrofits. Stormwater retrofits refer to best management practices (BMPs) that are added to an already developed landscape where little open space exists. The process is investigative and creative. Stormwater retrofits can be improperly judged by the total number of projects installed or by comparing costs alone. Those approaches neglect to consider how much pollution is removed per dollar spent. In this SRA, both costs and pollutant reductions were estimated and used to calculate cost-effectiveness for each potential retrofit identified.

Water quality benefits associated with the installation of each identified project were individually modeled using the Source Loading and Management Model for Windows (WinSLAMM). WinSLAMM uses an abundance of stormwater data from the upper-midwest and elsewhere to quantify runoff volumes and pollutant loads from urban areas. It has detailed accounting of pollutant loading from various land uses, and allows the user to build a model “landscape”. WinSLAMM uses rainfall and temperature data from a typical year (1959 data from Minneapolis for this analysis), routing stormwater through the user’s model for each storm.

WinSLAMM estimates volume and pollutant loading based on acreage, land use, and soils information. Therefore, the volume and pollutant estimates in this report are not waste load allocations, nor does this report serve as a TMDL for the study area. The WinSLAMM model was not calibrated and was only used as an estimation tool to provide relative ranking across potential retrofit projects. Specific model inputs (e.g. pollutant probability distribution, runoff coefficient, particulate solids concentration, particle residue delivery, and street delivery files) are detailed in Appendix A.

The costs associated with project design, administration, promotion, land acquisition, opportunity costs, construction oversight, installation, and maintenance were estimated. The total costs over the assumed effective life of each project were then divided by the modeled benefits over the same time period to enable ranking by cost-effectiveness.

A variety of stormwater retrofit approaches were identified. They included:

- Bioretention,
- Bioswales,
- Current BMP modification,
- Iron-enhanced sand filter check dams,
- Iron-enhanced sand filter pond benches, and

- Hydrodynamic devices.

If all of these practices were installed, significant volume and pollutant reductions could be accomplished. However, funding limitations and landowner interest make this unlikely. Instead, it is recommended that projects be installed in order of cost-effectiveness (pounds of pollution reduced per dollar spent). Other factors, including a project's educational value/visibility, construction timing, total cost, or non-target pollutant reduction also affect project installation decisions and will need to be weighed by resource managers when selecting projects to pursue.

For each type of recommended retrofit, conceptual siting is provided in the project profiles section. The intent of these figures is to provide an understanding of the approach. If a project is selected, site-specific designs must be prepared. In addition, many of the proposed retrofits (e.g. iron-enhanced sand filter pond benches and pond modifications) will require engineered plan sets if selected. This typically occurs after committed partnerships are formed to install the project. Committed partnerships must include willing landowners, both public and private.

The 448 acre target study area was divided into 16 catchments and two drainage networks (groups of catchments draining to a common point) based on drainage patterns influenced by topography and stormwater infrastructure. The Mississippi River network consists of seven catchments (320 acres), and the Rum River network consists of nine catchments (128) acres. Based on WinSLAMM model results, the Mississippi River network contributes an estimated 101 acre-feet of runoff, 28,083 pounds of TSS, and 85 pounds of TP annually to the Mississippi River. The Rum River network contributes an estimated 61 acre-feet of runoff, 19,764 pounds of TSS, and 63 pounds of TP annually to the Rum River.

The tables in the Project Ranking and Selection section (pages 14 - 17) summarize potential projects ranked by cost-effectiveness with respect to either TP or TSS. Potential projects are organized from most cost-effective to least based on pollutants removed.

Installation of projects in series will result in lower total treatment than the simple sum of treatment achieved by the individual projects due to treatment train effects. Reported treatment levels are dependent upon optimal site selection and sizing. More detail about each project can be found in the catchment profile pages of this report. Projects that were deemed unfeasible due to prohibitive size, number, or expense were not included in this report.

## Document Organization

This document is organized into five sections, plus references and appendices. Each section is briefly discussed below.

### Background

The background section provides a brief description of the landscape characteristics within the study area.

### Analytical Process and Elements

The analytical process and elements section overviews the procedures that were followed when analyzing the subwatershed. It explains the processes of retrofit scoping, desktop analysis, field investigation, modeling, cost/treatment analysis, project ranking, and project selection. Refer to Appendix A for a detailed description of the modeling methods.

### Project Ranking and Selection

The project ranking and selection section describes the methods and rationale for how projects were ranked. Local resource management professionals will be responsible to select and pursue projects, taking into consideration the many possible ways to prioritize projects. Several considerations in addition to project cost-effectiveness for prioritizing installation are included. Project funding opportunities may play a large role in project selection, design, and installation.

This section also ranks stormwater retrofit projects across all catchments to create a prioritized project list. The list is sorted by the amount of pollutant removed by each project over 30 years. The final cost per pound treatment value includes installation and maintenance costs over the estimated life of the project. If a practice's effective life was expected to be less than 30 years, rehabilitation or reinstallation costs were included in the cost estimate. There are many possible ways to prioritize projects, and the list provided in this report is merely a starting point.

### BMP Descriptions

For each type of project included in this report, there is a description of the rationale for including that type of project, the modeling method employed, and the cost calculations used to estimate associated installation and maintenance expenses.

### Catchment Profiles

The drainage areas targeted for this analysis were consolidated into 16 catchments distributed between two drainage networks and assigned unique identification numbers. For each catchment, the following information is detailed:

#### Drainage Network

Catchments were grouped into drainage networks based on their drainage to a common waterbody (i.e. Mississippi River or Rum River). The drainage networks were used to further subdivide the report to aid with organization and clarity.

### **Catchment Description**

Within each catchment profile is a table that summarizes basic catchment information including acres, land cover, parcels, and estimated annual pollutant and volume loads under existing conditions. Existing conditions included notable stormwater treatment practices for which information was available from the City of Ramsey. Small, site-specific practices (e.g. rain-leader disconnect rain gardens) were not included in the existing conditions model. A brief description of the land cover, stormwater infrastructure, and any other important general information is also described in this section. Notable existing stormwater practices are explained and their estimated effectiveness presented.

### **Retrofit Recommendations**

Retrofit recommendations are presented for each catchment and include a description of the proposed BMP, cost-effectiveness table including modeled volume and pollutant reductions, and an overview map showing the contributing drainage area for each BMP.

## **References**

This section identifies various sources of information synthesized to produce the protocol used in this analysis.

## **Appendices**

This section provides supplemental information and/or data used during the analysis.

## Background

Many factors are considered when choosing which subwatersheds to analyze for stormwater retrofits. Water quality monitoring data, non-degradation report modeling, and TMDL studies are just a few of the resources available to help determine which water bodies are a priority. Stormwater retrofit analyses supported by a Local Government Unit with sufficient capacity (staff, funding, available GIS data, etc.) to greater facilitate the process also rank highly. For some communities a stormwater retrofit analysis complements their MS4 stormwater permit. The focus is always on a high priority waterbody.

The drainage areas studied for this analysis are located in the City of Ramsey and discharge to either the Mississippi or Rum Rivers. Those discharging to the Mississippi River are located along the southern boundary of Ramsey primarily between Ramsey Blvd. NW on the west and Tungsten St. NW on the east. The railroad tracks just north of US-10 serve as much of the northern boundary. The total area of the seven catchments that comprise the Mississippi River network is 320 acres. The nine catchments discharging to the Rum River are located on the eastern boundary of the City primarily between Alpine Dr. NW on the north and Bunker Lake Blvd. NW on the south. All catchments are primarily east of St. Francis Blvd. NW. The total area of the nine catchments that comprise the Rum River network is 128 acres.

These catchments were selected for analysis because they drain to high priority waterbodies, and existing treatment in many of the catchments was lacking. Therefore, stormwater retrofits may provide cost-effective options for additional treatment of runoff, thereby improving water quality in the Mississippi and Rum Rivers.

The catchments analyzed are urbanized. Development throughout the City of Ramsey has resulted in the installation of subsurface drainage systems (i.e. stormwater infrastructure) to convey stormwater runoff, which increased due to the coverage of impervious surfaces throughout the catchments. The runoff generated within the areas targeted for this analysis is still conveyed to the Mississippi and Rum Rivers, as it was historically. However, the runoff is now captured by catch basins and directed underground before being discharged to the Mississippi and Rum Rivers via stormwater pipe.

Stormwater runoff from impervious surfaces can carry a variety of pollutants. While stormwater treatment to remove these pollutants is adequate in some areas, other areas were built prior to modern-day stormwater treatment technologies and requirements. The City of Ramsey and LRRWMO contracted the ACD to complete this SRA for the purpose of identifying and analyzing projects to improve the quality of stormwater runoff to the Mississippi and Rum Rivers. Overall subwatershed loading of TP, TSS, and stormwater volume were estimated for selected drainage areas. Proposed retrofits were modeled to estimate each practice's capability for removing pollutants and reducing volume. Finally, each project was ranked based on the estimated cost-effectiveness of the project to reduce pollutants.

## Analytical Process and Elements

This stormwater retrofit analysis is a watershed management tool to identify and prioritize potential stormwater retrofit projects by performance and cost-effectiveness. This process helps maximize the value of each dollar spent. The process used for this analysis is outlined in the following pages and was modified from the Center for Watershed Protection’s Urban Stormwater Retrofit Practices, Manuals 2 and 3 (Schueler & Kitchell, 2005 and Schueler et al. 2007). Locally relevant design considerations were also incorporated into the process (Technical Documents, Minnesota Stormwater Manual, 2014).

**Scoping** includes determining the objectives of the retrofits (volume reduction, target pollutant, etc.) and the level of treatment desired. It involves meeting with local stormwater managers, city staff and watershed management organization members to determine the issues in the subwatershed. This step also helps to define preferred retrofit treatment options and retrofit performance criteria. In order to create a manageable area to analyze in large subwatersheds, a focus area may be determined.

In this analysis, the focus areas were the contributing drainage areas to storm sewer outfalls directly into the Mississippi and Rum Rivers. More specifically, outfalls with limited existing treatment were selected. Included are areas of residential, commercial, industrial, and institutional land uses. Existing stormwater infrastructure maps and topography data were used to determine drainage boundaries for the 16 catchments included in this analysis.

The targeted pollutants for this study were TP and TSS, though volume was also estimated and reported. Volume of stormwater was tracked throughout this study because it is necessary for pollutant loading calculations and potential retrofit project considerations. Table 1 describes the target pollutants and their role in water quality degradation. Projects that effectively reduce loading of multiple target pollutants can provide greater immediate and long-term benefits.

**Table 1: Target Pollutants**

Target Pollutant	Description
<b>Total Phosphorus (TP)</b>	Phosphorus is a nutrient essential to plant growth and is commonly the factor that limits the growth of plants in surface water bodies. TP is a combination of particulate phosphorus (PP), which is bound to sediment and organic debris, and dissolved phosphorus (DP), which is in solution and readily available for plant growth (active).
<b>Total Suspended Solids (TSS)</b>	Very small mineral and organic particles that can be dispersed into the water column due to turbulent mixing. TSS loading can create turbid and cloudy water conditions and carry with it PP. As such, reductions in TSS will also result in TP reductions.
<b>Volume</b>	Higher runoff volumes and velocities can carry greater amounts of TSS to receiving water bodies. It can also exacerbate in-stream erosion, thereby increasing TSS loading. As such, reductions in volume may reduce TSS loading and, by extension, TP loading. However, in-stream erosion is not an issue in these catchments because stormwater is piped directly to the Mississippi and Rum Rivers.

**Desktop analysis** involves computer-based scanning of the subwatershed for potential retrofit catchments and/or specific sites. This step also identifies areas that don’t need to be analyzed because of existing stormwater infrastructure or disconnection from the target water body. Accurate GIS data are extremely valuable in conducting the desktop retrofit analysis. Some of the most important GIS

layers include: 2-foot or finer topography (Light Detection and Ranging [LiDAR] was used for this analysis), surface hydrology, soils, watershed/subwatershed boundaries, parcel boundaries, high-resolution aerial photography and the stormwater drainage infrastructure (with invert elevations).

**Field investigation** is conducted after potential retrofits are identified in the desktop analysis to evaluate each site and identify additional opportunities. During the investigation, the drainage area and surface stormwater infrastructure mapping data were verified. Site constraints were assessed to determine the most feasible retrofit options as well as eliminate sites from consideration. The field investigation may have also revealed additional retrofit opportunities that could have gone unnoticed during the desktop search.

**Modeling** involves assessing multiple scenarios to estimate pollutant loading and potential reductions by proposed retrofits. WinSLAMM (version 10.2.0), which allows routing of multiple catchments and stormwater treatment practices, was used for this analysis. This is important for estimating treatment train effects associated with multiple BMPs in series. Furthermore, it allows for estimation of volume and pollutant loading at the outfall point to the waterbody, which is the primary point of interest in this type of study.

WinSLAMM estimates volume and pollutant loading based on acreage, land use, and soils information. Therefore, the volume and pollutant estimates in this report are not waste load allocations, nor does this report serve as a TMDL for the study area. The WinSLAMM model was not calibrated and was only used as an estimation tool to provide relative ranking across potential retrofit projects. Soils throughout the study area were predominantly sandy based on the information available in the Anoka County soil survey. Specific model inputs (e.g. pollutant probability distribution, runoff coefficient, particulate solids concentration, particle residue delivery, and street delivery files) are detailed in Appendix A.

The initial step was to create a “base” model which estimates pollutant loading from each catchment in its present-day state without taking into consideration any existing stormwater treatment. To accurately model the land uses in each catchment, drainage area delineations were completed using the watershed delineation tool in ArcSWAT. The drainage areas were then consolidated into catchments using geographic information systems (specifically, ArcGIS). Land use data (based on 2010 Metropolitan Council land use file) were used to calculate acreages of each land use type within each catchment. Each land use polygon classification was compared with 2014 aerial photography and corrected if land use had changed since 2010. This process addressed recent development throughout the study area by reclassifying land use types accordingly. Soil types throughout the subwatershed were modeled as sand and silt in this analysis based on the information available in the Anoka County soil survey. This process resulted in a model that included estimates of the acreage of each type of source area (roof, road, lawn, etc.) in each catchment.

Once the “base” model was established, an “existing conditions” model was created by incorporating notable existing stormwater treatment practices in the catchment for which data were available from the City of Ramsey (Figure 1 and Figure 2). For example, street cleaning with mechanical or vacuum street sweepers, stormwater treatment ponds, and others were included in the “existing conditions” model if information was available.

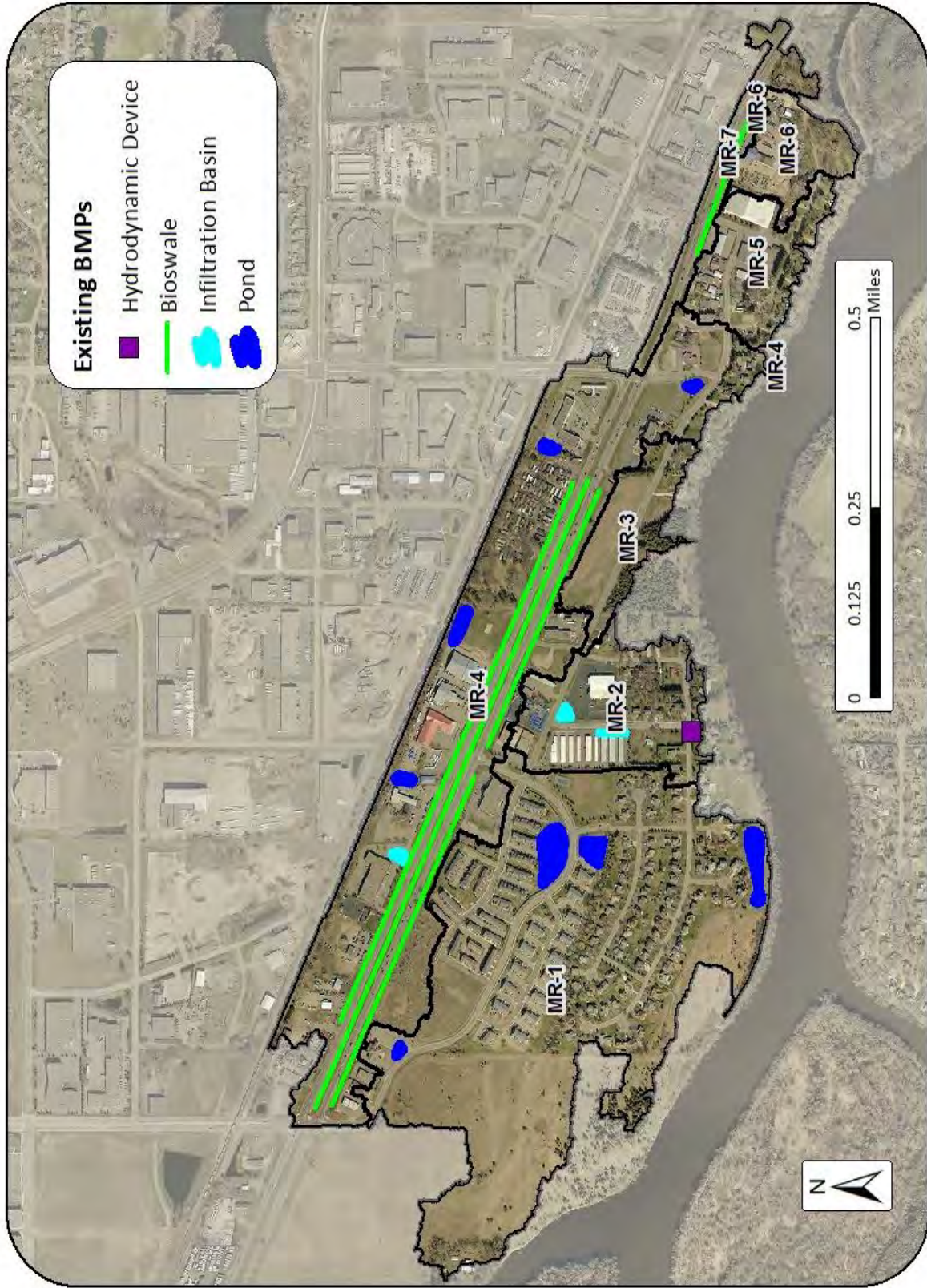


Figure 1: Mississippi River network-wide map showing existing BMPs included in the WinSLAMM model. Street sweeping is not shown on the map but was included where applicable in catchments within the network.

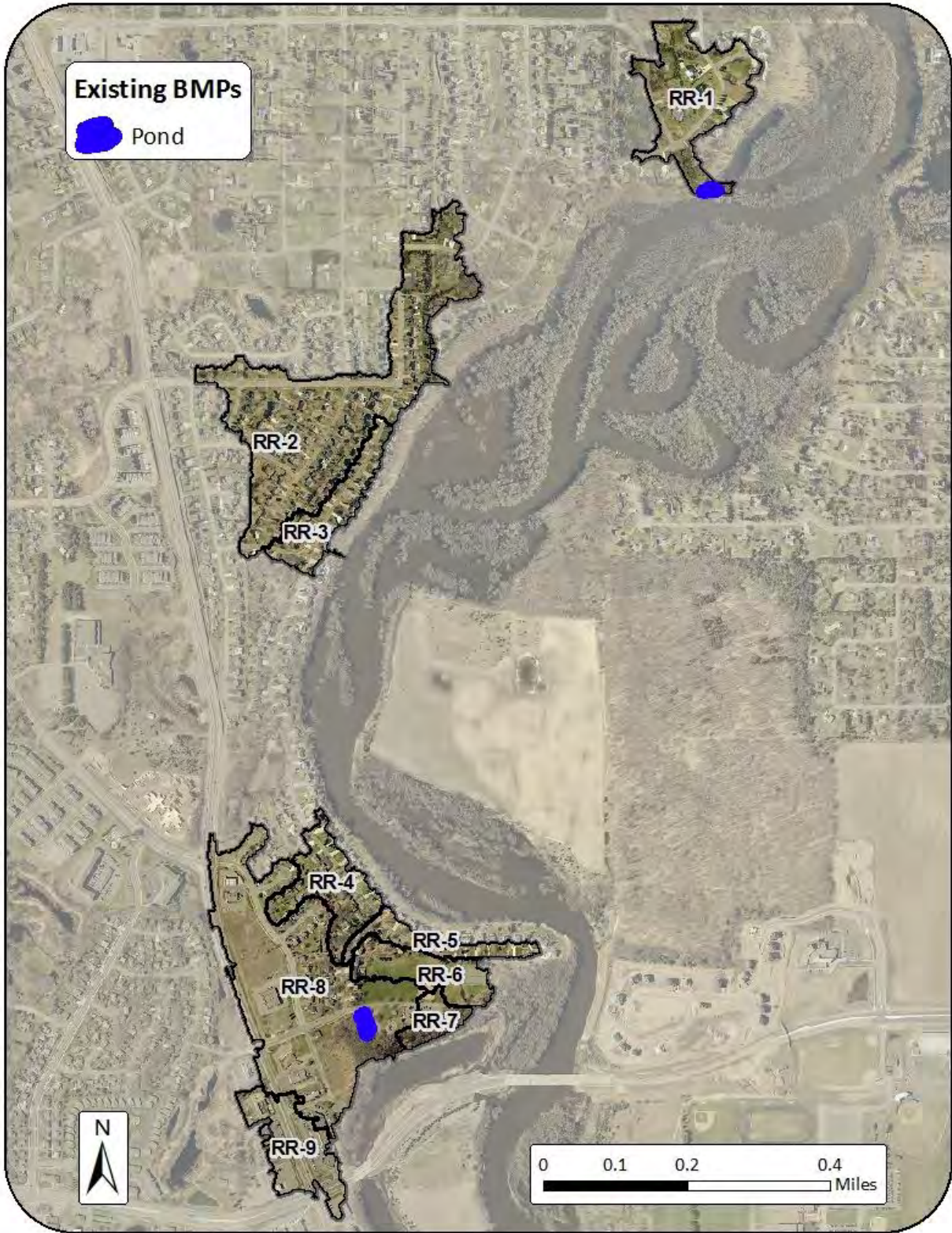


Figure 2: Rum River network-wide map showing existing BMPs included in the WinSLAMM model. Street sweeping is not shown on the map but was included where applicable in catchments within the network.

Finally, each proposed stormwater retrofit practice was added individually to the “existing conditions” model and pollutant reductions were estimated. Because neither a detailed design of each practice nor in-depth site investigation was completed, a generalized design for each practice was used. Whenever possible, site-specific parameters were included. Design parameters were modified to obtain various levels of treatment. It is worth noting that each practice was modeled individually, and the benefits of projects may not be additive, especially if serving the same area (i.e. treatment train effects). Reported treatment levels are dependent upon optimal site selection and sizing. Additional information on the WinSLAMM models can be found in Appendix A.

**Cost estimating** is essential for the comparison and ranking of projects, development of work plans, and pursuit of grants and other funds. All estimates were developed using 2016 dollars. Costs throughout this report were estimated using a multitude of sources. Costs were derived from The Center for Watershed Protection’s Urban Subwatershed Restoration Manuals (Schueler & Kitchell, 2005 and Schueler et al. 2007) and recent installation costs and cost estimates provided to the ACD by personal contacts. Cost estimates were annualized costs that incorporated the elements listed below over a 30-year period.

**Project promotion and administration** includes local staff efforts to reach out to landowners, administer related grants, and complete necessary administrative tasks.

**Design** includes site surveying, engineering, and construction oversight.

**Land or easement acquisition** cover the cost of purchasing property or the cost of obtaining necessary utility and access easements from landowners.

**Construction** calculations are project specific and may include all or some of the following; grading, erosion control, vegetation management, structures, mobilization, traffic control, equipment, soil disposal, and rock or other materials.

**Maintenance** includes annual inspections and minor site remediation such as vegetation management, structural outlet repair and cleaning, and washout repair.

In cases where promotion to landowners is important, such as rain gardens, those costs were included as well. In cases where multiple, similar projects are proposed in the same locality, promotion and administration costs were estimated using a non-linear relationship that accounted for savings with scale. Design assistance from an engineer is assumed for practices in-line with the stormwater conveyance system, involving complex stormwater treatment interactions, or posing a risk for upstream flooding. It should be understood that no site-specific construction investigations were done as part of this stormwater retrofit analysis, and therefore cost estimates account for only general site considerations.

**Project ranking** is essential to identify which projects may be pursued to achieve water quality goals. Project ranking tables are presented based on cost per pound of TP removed and cost per 1,000 pounds of TSS removed.

**Project selection** involves considerations other than project ranking, including but not limited to total cost, treatment train effects, social acceptability, and political feasibility.

## Project Ranking and Selection

The intent of this analysis is to provide the information necessary to enable local natural resource managers to successfully secure funding for the most cost-effective projects to achieve water quality goals. This analysis ranks potential projects by cost-effectiveness to facilitate project selection. There are many possible ways to prioritize projects, and the list provided in this report is merely a starting point. Local resource management professionals will be responsible to select projects to pursue. Several considerations in addition to project cost-effectiveness for prioritizing installation are included.

### Project Ranking

If all identified practices were installed (Figure 3 and Figure 4), significant pollution reduction could be accomplished. However, funding limitations and landowner interest will be a limiting factor in implementation. The tables on the following pages rank all modeled projects by cost-effectiveness. Tables were separated by drainage network (i.e. Mississippi River or Rum River), and projects were ranked in two ways:

- 1) Cost per pound of total phosphorus removed (Table 2 and Table 4) and
- 2) Cost per 1,000 pounds of total suspended solids removed (Table 3 and Table 5).

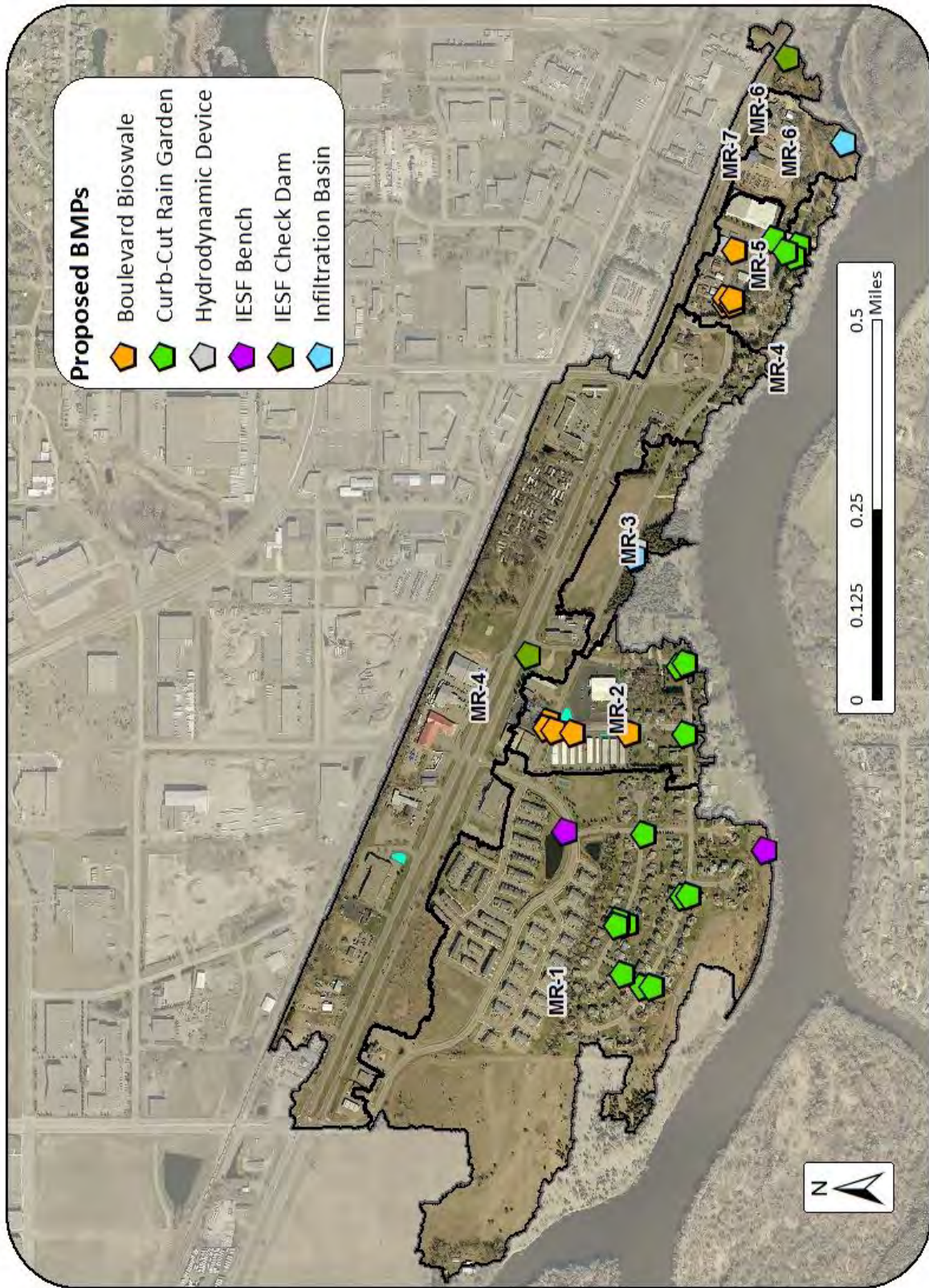


Figure 3: Mississippi River network-wide map showing all proposed retrofits.

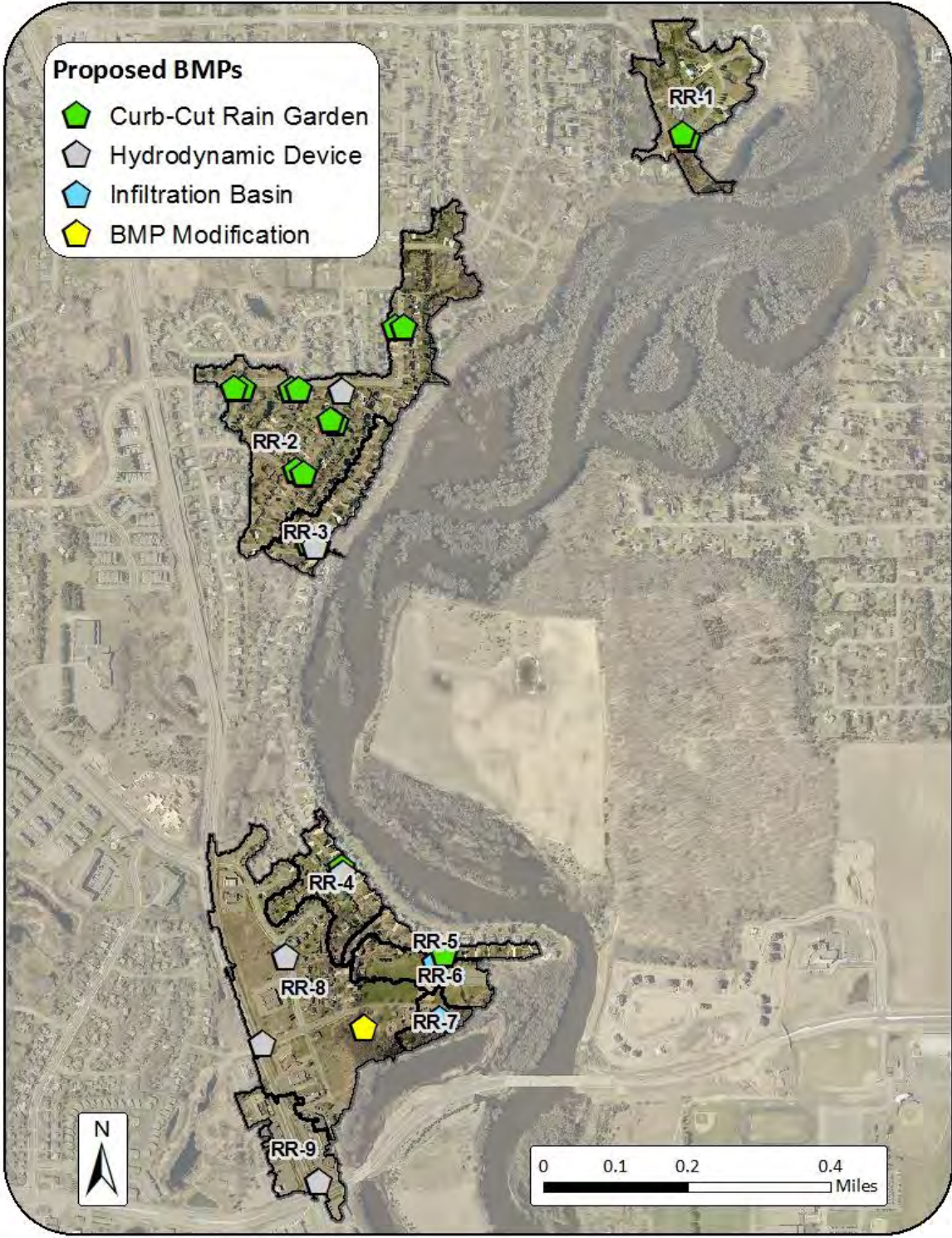


Figure 4: Rum River network-wide map showing all proposed retrofits.

Table 2: Mississippi River Network. Cost-effectiveness of retrofits with respect to TP reduction. TSS and volume reductions are also shown. For more information on each project refer to either the Catchment Profile or BMP Descriptions pages in this report. Volume and pollutant reduction benefits cannot be summed with other projects that provide treatment for the same source area.

Project Rank	Project ID	Page Number	Retrofit Type	Retrofit Location	Catchment	TP Reduction (lb/yr)	TSS Reduction (lb/yr)	Volume Reduction (ac-ft/yr)	Probable Project Cost	Estimated Annual Operations & Maintenance	Estimated cost/lb-TP/year (30-year) <sup>1</sup>
1	MR6-A	57	Infiltration Basin	Southeastern Portion of MR6	MR6	3.6 - 4.9	2,110 - 2,836	3.8 - 5.4	\$43,796 - \$83,796	\$225	\$468 - \$616
2	MR3-A	44	Infiltration Basin	Riverdale Dr.	MR3	2.5 - 3.0	867-1,034	2.2-2.7	\$33,796 - \$53,796	\$225	\$541 - \$673
3	MRS-A	52	Curb-Cut Rain Garden	Tungsten St. and Rivilyn Ave.	MRS	0.4-0.5	155-249	0.4-0.6	\$8,982	\$225	\$1,049 - \$1,311
4	MR1-C	36	IESF Bench	Hematite Cir. and Garnet St.	MR1	7.6	0	0.0	\$235,035	\$1,377	\$1,212
5	MR2-A	40	Curb-Cut Rain Garden	Ebony St. and 137th Ave.	MR2	0.4-1.2	112-336	0.3-0.9	\$8,982 - \$26,946	\$225 - \$675	\$1,311
6	MR1-A	34	Curb-Cut Rain Garden	Various locations in MR1	MR1	0.8-2.3	166-493	1.5-3.3	\$32,348 - \$81,860	\$675 - \$2,025	\$2,033 - \$2,192
7	MR1-B	35	IESF Bench	Feldspar St. and Garnet St.	MR1	2.4	0	0.0	\$143,475	\$459	\$2,202
8	MRS-B	53	Boulevard Bioswales	Riverdale Dr.	MRS	0.1	61	0.1	\$8,526	\$225	\$2,603
9	MR2-B	41	Boulevard Bioswales	Riverdale Dr. and Ebony St.	MR2	0.1	61	0.1	\$8,526	\$225	\$3,395
10	MR7-A	60	IESF Check Dam	US-10	MR7	0.2	15	0.0	\$15,448	\$365	\$4,526
11	MR4-A	49	IESF Check Dam	US-10	MR4	0.2	15	0.0	\$15,448	\$365	\$4,549
12	MRS-C	54	Hydrodynamic Device	Tungsten St. and Rivilyn Ave.	MRS	0.9	682	0.0	\$109,752	\$630	\$4,765
13	MR3-B	45	Hydrodynamic Device	Riverdale Dr.	MR3	0.4	211	0.0	\$109,752	\$630	\$10,721

<sup>1</sup> [(Probable Project Cost) + 30\*(Annual O&M)] / [30\*(Annual TP Reduction)]

**Table 3: Mississippi River Network. Cost-effectiveness of retrofits with respect to TSS reduction. TP and volume reductions are also shown. For more information on each project refer to either the Catchment Profile or BMP Descriptions pages in this report. Volume and pollutant reduction benefits cannot be summed with other projects that provide treatment for the same source area.**

Project Rank	Project ID	Page Number	Retrofit Type	Retrofit Location	Catchment	TP Reduction (lb/yr)	TSS Reduction (lb/yr)	Volume Reduction (ac-ft/yr)	Probable Project Cost	Estimated Annual Operations & Maintenance	Estimated cost/1,000lb-TSS/year (30-year) <sup>1</sup>
1	MR6-A	57	Infiltration Basin	Southeastern Portion of MR6	MR6	3.6 - 4.9	2,110 - 2,836	3.8 - 5.4	\$43,796 - \$83,796	\$225	\$799 - \$1,064
2	MR3-A	44	Infiltration Basin	Riverdale Dr.	MR3	2.5 - 3.0	867-1,034	2.2-2.7	\$33,796 - \$53,796	\$225	\$1,559 - \$1,952
3	MR5-A	52	Curb-Cut Rain Garden	Tungsten St. and Rivlyn Ave.	MR5	0.4-0.5	155-249	0.4-0.6	\$8,982	\$225	\$2,106 - \$3,383
4	MR2-A	40	Curb-Cut Rain Garden	Ebony St. and 137th Ave.	MR2	0.4-1.2	112-336	0.3-0.9	\$8,982 - \$26,946	\$225 - \$675	\$4,682
5	MR5-B	53	Boulevard Bioswales	Riverdale Dr.	MR5	0.1	61	0.1	\$8,526	\$225	\$4,839
6	MR5-C	54	Hydrodynamic Device	Tungsten St. and Rivlyn Ave.	MR5	0.9	682	0.0	\$109,752	\$630	\$6,288
7	MR2-B	41	Boulevard Bioswales	Riverdale Dr. and Ebony St.	MR2	0.1	61	0.1	\$8,526	\$225	\$8,526
8	MR1-A	34	Curb-Cut Rain Garden	Various locations in MR1	MR1	0.8-2.3	166-493	1.5-3.3	\$32,348 - \$81,860	\$675 - \$2,025	\$9,642 - \$10,562
9	MR3-B	45	Hydrodynamic Device	Riverdale Dr.	MR3	0.4	211	0.0	\$109,752	\$630	\$20,324
10	MR7-A	60	IESF Check Dam	US-10	MR7	0.2	15	0.0	\$15,448	\$365	\$58,662
11	MR4-A	49	IESF Check Dam	US-10	MR4	0.2	15	0.0	\$15,448	\$365	\$59,056
13	MR1-B	35	IESF Bench	Feldspar St. and Garnet St.	MR1	2.4	0	0.0	\$143,475	\$459	N/A
13	MR1-C	36	IESF Bench	Hematite Cir. and Garnet St.	MR1	7.6	0	0.0	\$235,035	\$1,377	N/A

<sup>1</sup> [(Probable Project Cost) + 30\*(Annual O&M)] / [30\*(Annual TSS Reduction/1,000)]

**Table 4: Rum River Network. Cost-effectiveness of retrofits with respect to TP reduction. TSS and volume reductions are also shown. For more information on each project refer to either the Catchment Profile or BMP Descriptions pages in this report. Volume and pollutant reduction benefits cannot be summed with other projects that provide treatment for the same source area.**

Project Rank	Project ID	Page Number	Retrofit Type	Retrofit Location	Catchment	TP Reduction (lb/yr)	TSS Reduction (lb/yr)	Volume Reduction (ac-ft/yr)	Probable Project Cost	Estimated Annual Operations & Maintenance	Estimated cost/lb-TP/year (30-year) <sup>1</sup>
1	RR6-A	83	Infiltration Basin	142nd LN.	RR6	4.2 - 4.8	1,139 - 1,267	2.6 - 2.9	\$63,796 - \$83,796	\$225	\$560 - \$629
2	RR3-A	71	Curb-Cut Rain Garden	Waco St.	RR3	0.6 - 0.7	188 - 204	0.5	\$8,982	\$225	\$749 - \$874
3	RR8-A	89	Pond Modification	Rivers Bend Park	RR8	7.7	3,672	0.2	\$140,840 - \$215,840	\$900	\$779 - \$1,203
4	RR1-A	64	Curb-Cut Rain Garden	Oneida St.	RR1	0.4 - 0.5	111 - 118	0.6 - 0.7	\$8,982	\$225	\$1,049 - \$1,311
4	RR4-A	75	Curb-Cut Rain Garden	Waco St.	RR4	0.4 - 0.5	122 - 155	0.3 - 0.4	\$8,982	\$225	\$1,049 - \$1,311
6	RR2-A	67	Curb-Cut Rain Garden	Various locations in RR2	RR2	0.5 - 5.0	155 - 1,551	0.4 - 3.8	\$15,844 - \$90,112	\$225 - \$2,250	\$1,051 - \$1,506
7	RR5-A	79	Curb-Cut Rain Garden	142nd LN.	RR5	0.37 - 0.43	110 - 129	0.26 - 0.30	\$8,982	\$225	\$1,220 - \$1,417
8	RR7-A	86	Infiltration Basin	Rivers Bend Park Parking Lot	RR7	0.20 - 0.32	59 - 72	0.12 - 0.15	\$7,796 - \$9,796	\$225	\$1,724 - \$2,424
9	RR9-A	94	Hydrodynamic Device	St. Francis Blvd. and Bunker Lake Blvd.	RR9	0.7	364	0.0	\$55,752	\$630	\$3,555
10	RR4-B	76	Hydrodynamic Device	Waco St.	RR4	0.5	200	0.0	\$55,752	\$630	\$4,977
11	RR5-B	80	Hydrodynamic Device	142nd LN.	RR5	0.3	111	0.0	\$28,752	\$630	\$5,295
12	RR2-B	68	Hydrodynamic Device	Xkimo St.	RR2	0.8	322	0.0	\$109,752	\$630	\$5,361
13	RR3-B	72	Hydrodynamic Device	Waco St.	RR3	0.4	167	0.0	\$55,752	\$630	\$6,221
14	RR8-B	90	Hydrodynamic Device	142nd Ave.	RR8	0.2	108	0.0	\$28,752	\$630	\$7,942
15	RR8-C	91	Hydrodynamic Device	Xkimo St.	RR8	0.5	220	0.0	\$109,752	\$630	\$8,577

<sup>1</sup> [(Probable Project Cost) + 30\*(Annual O&M)] / [30\*(Annual TP Reduction)]

**Table 5: Rum River Network. Cost-effectiveness of retrofits with respect to TSS reduction. TP and volume reductions are also shown. For more information on each project refer to either the Catchment Profile or BMP Descriptions pages in this report. Volume and pollutant reduction benefits cannot be summed with other projects that provide treatment for the same source area.**

Project Rank	Project ID	Page Number	Retrofit Type	Retrofit Location	Catchment	TP Reduction (lb/yr)	TSS Reduction (lb/yr)	Volume Reduction (ac-ft/yr)	Probable Project Cost	Estimated Annual Operations & Maintenance	Estimated cost/1,000lb-TSS/year (30-year) <sup>1</sup>
1	RR8-A	89	Pond Modification	Rivers Bend Park	RR8	7.7	3,672	0.2	\$140,840 - \$215,840	\$900	\$1,633 - \$2,522
2	RR6-A	83	Infiltration Basin	142nd LN.	RR6	4.2 - 4.8	1,139 - 1,267	2.6 - 2.9	\$63,796 - \$83,796	\$225	\$2,065 - \$2,382
3	RR4-A	75	Curb-Cut Rain Garden	Waco St.	RR4	0.4 - 0.5	122 - 155	0.3 - 0.4	\$8,982	\$225	\$3,383 - \$4,298
4	RR2-A	67	Curb-Cut Rain Garden	Various locations in RR2	RR2	0.5 - 5.0	155 - 1,551	0.4 - 3.8	\$15,844 - \$90,112	\$225 - \$2,250	\$3,387 - \$4,859
5	RR3-A	71	Curb-Cut Rain Garden	Waco St.	RR3	0.6 - 0.7	188 - 204	0.5	\$15,844	\$225	\$3,692 - \$4,006
6	RR5-A	79	Curb-Cut Rain Garden	142nd LN.	RR5	0.37 - 0.43	110 - 129	0.26 - 0.30	\$8,982	\$225	\$4,065 - \$4,767
7	RR1-A	64	Curb-Cut Rain Garden	Oneida St.	RR1	0.4 - 0.5	111 - 118	0.6 - 0.7	\$8,982	\$225	\$4,444 - \$4,724
8	RR9-A	94	Hydrodynamic Device	St. Francis Blvd. and Bunker Lake Blvd.	RR9	0.7	364	0.0	\$55,752	\$630	\$6,836
9	RR7-A	86	Infiltration Basin	Rivers Bend Park Parking Lot	RR7	0.20 - 0.32	59 - 72	0.12 - 0.15	\$7,796 - \$9,796	\$225	\$7,660 - \$8,218
10	RR4-B	76	Hydrodynamic Device	Waco St.	RR4	0.5	200	0.0	\$55,752	\$630	\$12,442
11	RR2-B	68	Hydrodynamic Device	Xkimo St.	RR2	0.8	322	0.0	\$109,752	\$630	\$13,318
12	RR5-B	80	Hydrodynamic Device	142nd LN.	RR5	0.3	111	0.0	\$28,752	\$630	\$14,310
13	RR8-B	90	Hydrodynamic Device	142nd Ave.	RR8	0.2	108	0.0	\$28,752	\$630	\$14,707
14	RR3-B	72	Hydrodynamic Device	Waco St.	RR3	0.4	167	0.0	\$55,752	\$630	\$14,901
15	RR8-C	91	Hydrodynamic Device	Xkimo St.	RR8	0.5	220	0.0	\$109,752	\$630	\$19,493

<sup>1</sup> [(Probable Project Cost) + 30\*(Annual O&M)] / [30\*(Annual TSS Reduction/1,000)]

## Project Selection

The combination of projects selected for pursuit could strive to achieve TP and/or TSS reductions in the most cost-effective manner possible. Several other factors affecting project installation decisions should be weighed by resource managers when selecting projects to pursue. These factors include but are not limited to the following:

- Total project costs
- Cumulative treatment
- Availability of funding
- Economies of scale
- Landowner willingness
- Project combinations with treatment train effects
- Non-target pollutant reductions
- Timing coordination with other projects to achieve cost savings
- Stakeholder input
- Number of parcels (landowners) involved
- Project visibility
- Educational value
- Long-term impacts on property values and public infrastructure

## BMP Descriptions

BMP types proposed throughout the target areas are detailed in this section. This was done to reduce duplicative reporting. For each BMP type, the method of modeling, assumptions made, and cost estimate considerations are described.

BMPs were proposed for a specific site within the research area. Each of these projects, including site location, size, and estimated cost and pollutant reduction potential are noted in detail in the Catchment Profiles section. Project types included in the following sections are:

- Bioretention
  - Curb-cut Rain Garden
  - Boulevard Bioswale
  - Infiltration Basin
- Hydrodynamic Device
- Iron-Enhanced Sand Filter Pond Bench
- Iron-Enhanced Sand Filter Check Dam
- Modification to an Existing Pond

## Bioretention

Bioretention is a BMP that uses soil and vegetation to treat stormwater runoff from roads, driveways, roof tops, and other impervious surfaces. Differing levels of volume and/or pollutant reductions can be achieved depending on the type of bioretention selected.

Bioretention can function as either filtration (biofiltration) or infiltration (bioinfiltration). Biofiltration BMPs are designed with a buried perforated drain tile that allows water in the basin to discharge to the stormwater drainage system after having been filtered through the soil. Bioinfiltration BMPs have no underdrain, ensuring that all water that enters the basins will either infiltrate into the soil or be evapotranspired into the air. Bioinfiltration provides 100% retention and treatment of captured stormwater, whereas biofiltration basins provide excellent removal of particulate contaminants but limited removal of dissolved contaminants, such as DP (Table 6).

**Table 6: Matrix describing curb-cut rain garden efficacy for pollutant removal based on type.**

Curb-cut Rain Garden Type	TSS Removal	PP Removal	DP Removal	Volume Reduction	Size of Area Treated	Site Selection and Design Notes
Bioinfiltration	High	High	High	High	High	Optimal sites are low enough in the landscape to capture most of the watershed but high enough to ensure adequate separation from the water table for treatment purposes. Higher soil infiltration rates allow for deeper basins and may eliminate the need for underdrains.
Biofiltration	High	Moderate	Low	Low	High	

The treatment efficacy of a particular bioretention project depends on many factors, including but not limited to the pollutant of concern, the quality of water entering the project, the intensity and duration of storm events, project size, position of the project in the landscape, existing downstream treatment, soil and vegetation characteristics, and project type (i.e. bioinfiltration or biofiltration). Optimally, new bioretention will capture water that would otherwise discharge into a priority waterbody untreated.

The volume and pollutant removal potential of each bioretention practice was estimated using WinSLAMM. In order to calculate cost-benefit, the cost of each project had to be estimated. To fully estimate the cost of project installation, labor costs for project outreach and promotion, project design, project administration, and project maintenance over the anticipated life of the practice were considered in addition to actual construction costs. If multiple projects were installed, cost savings could be achieved on the administration and promotion costs (and possibly the construction costs for a large and competitive bid).

Please note infiltration examples included in this section would require site specific investigations to verify soils are appropriate for infiltration.

## Curb-cut Rain Gardens

Curb-cut rain gardens capture stormwater that is in roadside gutters and redirect it into shallow roadside basins. These curb-cut rain gardens can provide treatment for impervious surface runoff from one to many properties and can be located anywhere sufficient space is available. Because curb-cut rain gardens capture water that is already part of the stormwater drainage system, they are more likely to provide higher benefits. Generally, curb-cut rain gardens were proposed in areas without sufficient existing stormwater treatment and located immediately up-gradient of a catch basin serving a large drainage area. Bioinfiltration was solely proposed (as opposed to biofiltration) as the available soil information suggested infiltration rates could be sufficient to allow complete draw-down within 24-48 hours following a storm event (Figure 5).

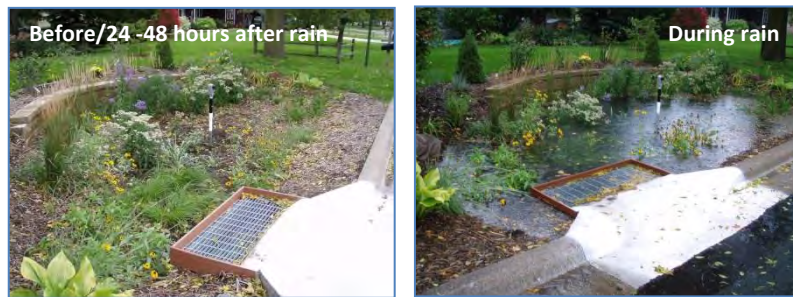


Figure 5: Rain garden before/after and during a rainfall event

All curb-cut rain gardens were presumed to have a 12” ponding depth, pretreatment, mulch, and perennial ornamental and native plants. The useful life of the project was assumed to be 30 years and so all costs are amortized over that time period. Additional costs were included for rehabilitation of the garden at years 10 and 20. Annual maintenance was assumed to be completed by the landowner of the property at which the rain garden could be installed.

## Boulevard Bioswale (NSS-E1)

One option for retrofitting a stormwater BMP within an existing boulevard is a bioswale. This practice is similar to the boulevard rain garden in its orientation and size. Bioswales typically range from 5-30’ in length, house a rich native plant community, and are installed between the existing sidewalk and roadway curb (Figure 6). Unlike rain gardens, these practices are typically much shallower (1-3” in depth) and have a curb-cut inlet and outlet (Figure 6). Although many rain gardens have outlets in the form of underdrains or risers, the bioswale outlet allows for a



Figure 6: Right-of-way bioswale installed in New York City (NYC Environmental Protection, 2013)

nearly continuous flow of stormwater through the practice. Although some infiltration does occur, the primary form of treatment is the settling of pollutants as stormwater flows through the dense plant community.

This practice was modeled to estimate the pollutant reduction capacity for TSS, TP, and stormwater volume in medium density residential drainage areas ranging from 0.25 to 4 acres (Table 7). A 20' long (parallel to roadway), 4' wide (perpendicular to roadway), and 3" deep bioswale was modeled with an infiltration rate of 2.5"/hour. No underdrain was modeled with this practice as they are designed to be flow-through systems with limited ponding ( $\leq 3''$ ). Additional model inputs are noted in Appendix A.

Table 7: WinSLAMM model results for the boulevard bioswale with a 2.5"/hour infiltration rate.

Drainage Area (acres)	Standard Boulevard Bioswale					
	TP Removal		TSS Removal		Volume Removal	
	lbs-TP	%	lbs-TSS	%	ac-ft	%
0.25	0.07	33.3%	43	38.0%	0.058	21.9%
0.5	0.09	23.7%	61	28.3%	0.067	12.6%
1	0.08	13.0%	53	15.6%	0.074	7.0%
2	0.07	8.0%	45	9.8%	0.082	3.8%
3	0.08	6.8%	47	8.6%	0.087	2.7%
4	0.08	6.2%	48	8.0%	0.09	2.1%

### Infiltration Basin

Infiltration basins function identically to the curb-cut rain gardens previously described in this bioretention section. However, these basins are proposed in locations where a large amount of space is available. This presents an opportunity to construct a large-scale (i.e. > 500 sq-ft.) infiltration basin. This would allow stormwater runoff to fill the basin and be filtered by the soil and vegetation.

Probable project cost includes installation of the project as well as promotion, administrative, and design costs, all in 2016 dollars. A reduced construction cost (i.e. \$15 to \$20 per ft.<sup>2</sup>) relative to other bioretention practices was proposed for the infiltration basin because of assumed cost savings with a larger project. Furthermore, the large open spaces available at each of the proposed project locations could allow the basins to be constructed without retaining walls, which would result in a significant cost savings. Maintenance was assumed to be completed by city public works crews. Maintenance costs were also included for rehabilitation of the basin every 10 years for the life of the project.

## Hydrodynamic Devices

In heavily urbanized settings stormwater is immediately intercepted along roadway catch basins and conveyed rapidly via storm sewer pipes to its destination. Once stormwater is intercepted by catch basins, it can be very difficult to supply treatment without large end-of-pipe projects such as regional ponds. One of the possible solutions is the hydrodynamic device (Figure 7). These are installed in-line with the existing storm sewer network and can provide treatment for up to 10-15 acres of upland drainage. This practice applies some form of filtration, settling, or hydrodynamic separation to remove coarse sediment, litter, oil, and grease. These devices are particularly useful in small but highly urbanized drainage areas and can be used as pretreatment for other downstream stormwater BMPs.

Each device's pollutant removal potential was estimated using WinSLAMM. Devices were sized based on upstream drainage area to ensure peak flow does not exceed each device's design guidelines. For this analysis, Downstream Defender devices were modeled based on available information and to maintain continuity across other SRAs. Devices were proposed along particular storm sewer lines and often just upstream of intersections with another, larger line. Model results assume the device is receiving input from all nearby catch basins noted.

In order to calculate cost-benefit, the cost of each project had to be estimated. To fully estimate the cost of project installation, labor costs for project outreach, promotion, design, administration, and maintenance over the anticipated life of the practice were considered in addition to actual construction costs. Load reduction estimates for these projects are noted in the Catchment Profiles section.

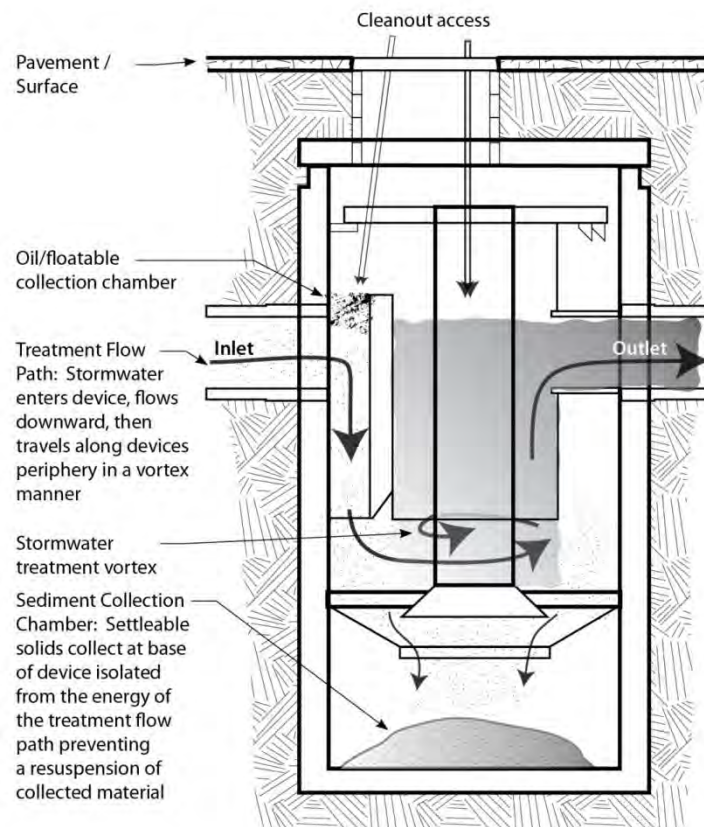


Figure 7: Schematic of a typical hydrodynamic device

## Iron-Enhanced Sand Filter Pond Bench

Wet retention ponds, although very effective in treating stormwater for suspended sediment and nutrients bound to sediment, have shown a limited ability at retaining dissolved species of nutrients. This is most notable for phosphorus, which easily adsorbs to sediment when in particulate form. Median values for pollutant removal percentage by wet retention ponds are 84% for TSS and 50% for TP (MN Stormwater Manual). For the case of phosphorus, dissolved species typically constitute 40-50% of TP in urban stream systems, but only 34% (median efficiency; Weiss et al., 2005) of dissolved phosphorus is treated by the pond. Thus, a majority of the phosphorus escaping wet retention ponds is in dissolved form. This has important effects downstream as dissolved phosphorus is a readily available nutrient for algal uptake in waterbodies and can be a main cause for nutrient eutrophication.

To address this deficiency, researchers at the University of Minnesota developed a method to augment phosphorus retention within a sand filter. They've named this technology the "Iron Enhanced Sand Filter (IESF; Figure 8)". Locally, this practice has also gone by the name "Minnesota Filter." IESFs rely on the properties of iron to bind dissolved phosphorus as it passes through an iron rich medium. Depending on topographic characteristics of the installation sites, IESFs can rely on gravitational flow and natural water level fluctuation, or water pumping to hydrate the IESF. IESFs must be designed to prevent anoxic conditions in the filter medium because such conditions will release the bound phosphorus. Because IESFs are intended to remove dissolved phosphorus and not organic phosphorus, they are typically constructed just downstream of stormwater ponds, minimizing the amount of suspended solids that could compromise their efficacy and drastically increase maintenance. As an alternative to an IESF, a ferric-chloride injection system could be installed to bind dissolved phosphorus into a flocculent, which would settle in the bottom of the new pond.

Figure 8 shows an IESF that is installed at an elevation slightly above the normal water level of the pond so that following a storm event the increase in depth of the pond would be first diverted to the IESF. The filter would have drain tile installed along the base of the trench and would outlet downstream of the current pond outlet. Large storm events that overwhelm the IESF's capacity would exit the pond via the existing outlet.

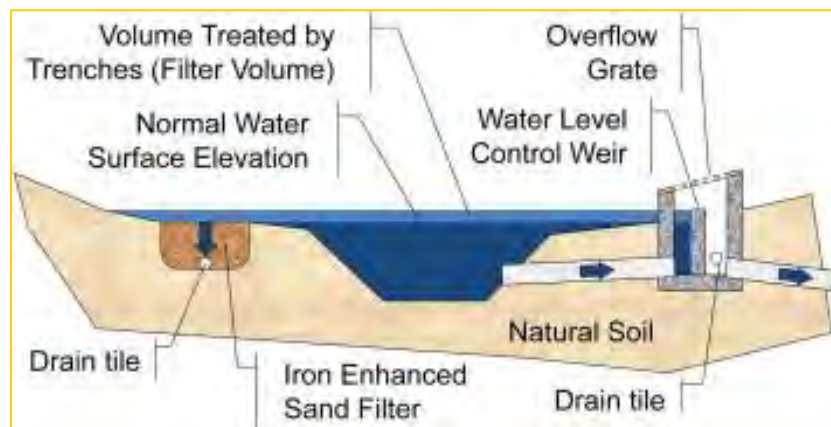


Figure 8: Iron Enhanced Sand Filter Concept (Erickson & Gulliver, 2010)

Benefits for stormwater ponds were modeled utilizing WinSLAMM. After selecting an optimal pond configuration in terms of cost-benefit, or by using the existing pond configuration if no updates are needed, modeling for an IESF was also completed in WinSLAMM. WinSLAMM is able to calculate flow through constructed features such as rain gardens with underdrains, soil amendments, and controlled overflow elevations. An IESF works much the same way. Storm event based discharge volumes and phosphorus concentrations estimated by WinSLAMM at the pond outlet were entered into WinSLAMM

as inputs into the IESF. Various iterations of IESFs were modeled to identify an optimal treatment level compared to construction costs and space available. A detailed account of the methodologies used is included in Appendix A.

To account for the DP treated by the IESF, an additional 80% DP removal was assumed for each IESF in addition to any removal by the pond. This value is based on laboratory and field tests performed by the University of Minnesota (Erickson & Gulliver, 2010) and assumes only removal of DP species within the device. Load reduction estimates for these projects are noted in the Catchment Profiles sections.

In order to calculate cost-benefit, the cost of each project had to be estimated. IESF projects were assumed to involve some excavation and disposal of soil, land acquisition (if necessary), erosion control, and vegetation management. Additionally, project engineering, promotion, administration, construction oversight, and long-term maintenance had to be considered in order to capture the true cost of the effort. Annual maintenance costs were estimated to be \$10,000 per acre of IESF based on information received from local, private consulting firms.

## Iron Enhanced Sand Filter Check Dam

Permeable check dams provide additional treatment for pollutants within ditches and grassed waterways through two processes. First, the dams act as a barrier to flow through the channel, allowing sediment and particulate pollutants to drop out of solution upstream of the dam. This promotes infiltration and evaporation of stormwater as well. Second, any water retained behind the dam can seep through a sand filter located within the rock dam. The sand, mixed with iron filings (similar to an IESF pond bench), creates an opportunity for dissolved pollutant species to be filtered out of the stormwater runoff.



Figure 9: Rock check dams in a small ditch ([www.casfm.org/stormwater\\_committee/LID-Summary.htm](http://www.casfm.org/stormwater_committee/LID-Summary.htm))

These practices are often installed in a series, from two to a dozen practices depending on the length and slope of the ditch or waterway (Figure 9). For short ditch lengths a single check dam is often sufficient. The dams include an inner sand filter mixed with iron filings. The ratio of iron filings to sand should be between 5-8% by weight and these should be mixed thoroughly prior to installation. The sand-iron mix should be encased within a permeable membrane allowing for flow in and out of the filter. This filter is surrounded by rocks to promote settling and inhibit clogging of the filter.

It is recommended that these dams are installed such that the buried rock toe of the upstream dam is at the same elevation as the top of any downstream dams (Figure 10). This reduces the likelihood of scouring downstream of dams as water flowing over the dam intercepts ponded water rather than erodible soil. Also, the top of the most upstream dam should be installed below the outlet elevation of any pipe draining to the practice to ensure water does not back up into the upstream storm sewer infrastructure.

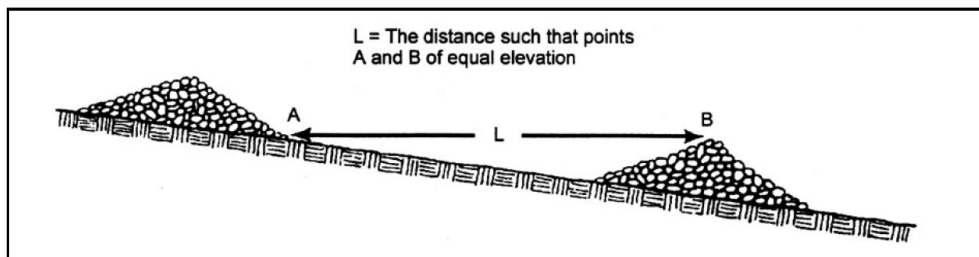


Figure 10: Check dam schematic (MPCA 2000)

The pollutant removal potential of permeable check dams was estimated using WinSLAMM. The ponding volume behind the dams was determined using LIDAR. Based on results of other IESFs, it was assumed that 80% of DP flowing through the dam was retained (Erickson & Gulliver, 2010). In order to calculate cost-benefit, the cost of each project had to be estimated. To fully estimate the cost of project installation, labor costs for project outreach, promotion, design, administration, and maintenance over the anticipated life of the practice were considered in addition to actual construction costs. Load reduction estimates for these projects are noted in the Catchment Profiles section.

## Modification to an Existing Pond

Developments prior to enactment of contemporary stormwater rules often included wet detention ponds which were frequently designed purely for flood control based on the land use, impervious cover, soils, and topography of the time. Changes to stormwater rules since the early 1970's have greatly altered the way ponds are designed.

Enactment of the National Pollution Discharge Elimination System (NPDES) in 1972 followed by research conducted by the Environmental Protection Agency in the early 1980's as part of the Nationwide Urban Runoff Program (NURP) set standards by which stormwater best management practices should be designed. Municipal Separate Storm Sewer System (MS4) guidelines issued in 1990 (affecting cities with more than 100,000 residents) and 1999 (for cities with less than 100,000 residents) required municipalities to obtain an NPDES permit and develop a plan for managing their stormwater.

Listed below are five strategies which exist for retrofitting a stormwater pond to increase pollutant retention (modified from *Urban Stormwater Retrofit Practices*):

- Excavate pond bottom to increase permanent pool storage
- Raise the embankment to increase flood pool storage
- Widen pond area to increase both permanent and flood pool storage
- Modify the riser
- Update pool geometry or add pretreatment (e.g. forebay)

These strategies can be employed separately or together to improve BMP effectiveness. Each strategy is limited by cost-effectiveness and constraints of space on the current site. Pond retrofits are preferable to most new BMPs as additional land usually does not need to be purchased, stormwater easements already exist, maintenance issues change little following project completion, and construction costs are greatly cheaper. There can also be a positive effect on reducing the rate of overflow from the pond, thereby reducing the risk for erosion (and thus further pollutant generation) downstream.

For this analysis, all existing ponds were modeled in the water quality model WinSLAMM to estimate their effectiveness based on best available information for pond characteristics and land use and soils. One proposed modification, excavating the pond bottom to increase storage, often has a very wide range in expected cost due to the nature of the excavated soil. If the soil has been contaminated and requires landfilling, the cost for disposal can quickly lead to a doubling in project cost. For this reason, projects which include the excavation of ponds have been priced based on the following criteria:

- Management Level 1: Dredged pond soil is suitable for use or reuse on properties with a residential or recreational use
- Management Level 2: Dredged pond soil is suitable for use or reuse on properties with an industrial use
- Management Level 3: Dredged pond soil is considered significantly contaminated and must be managed specifically for the contaminants present

Costs within each of these levels can even range widely, but were estimated to be \$20/cu-yd., \$35/cu-yd., and \$50/cu-yd. for levels 1, 2, and 3, respectively. Additional costs associated with specific projects are listed in Appendix B.

## Catchment Profiles

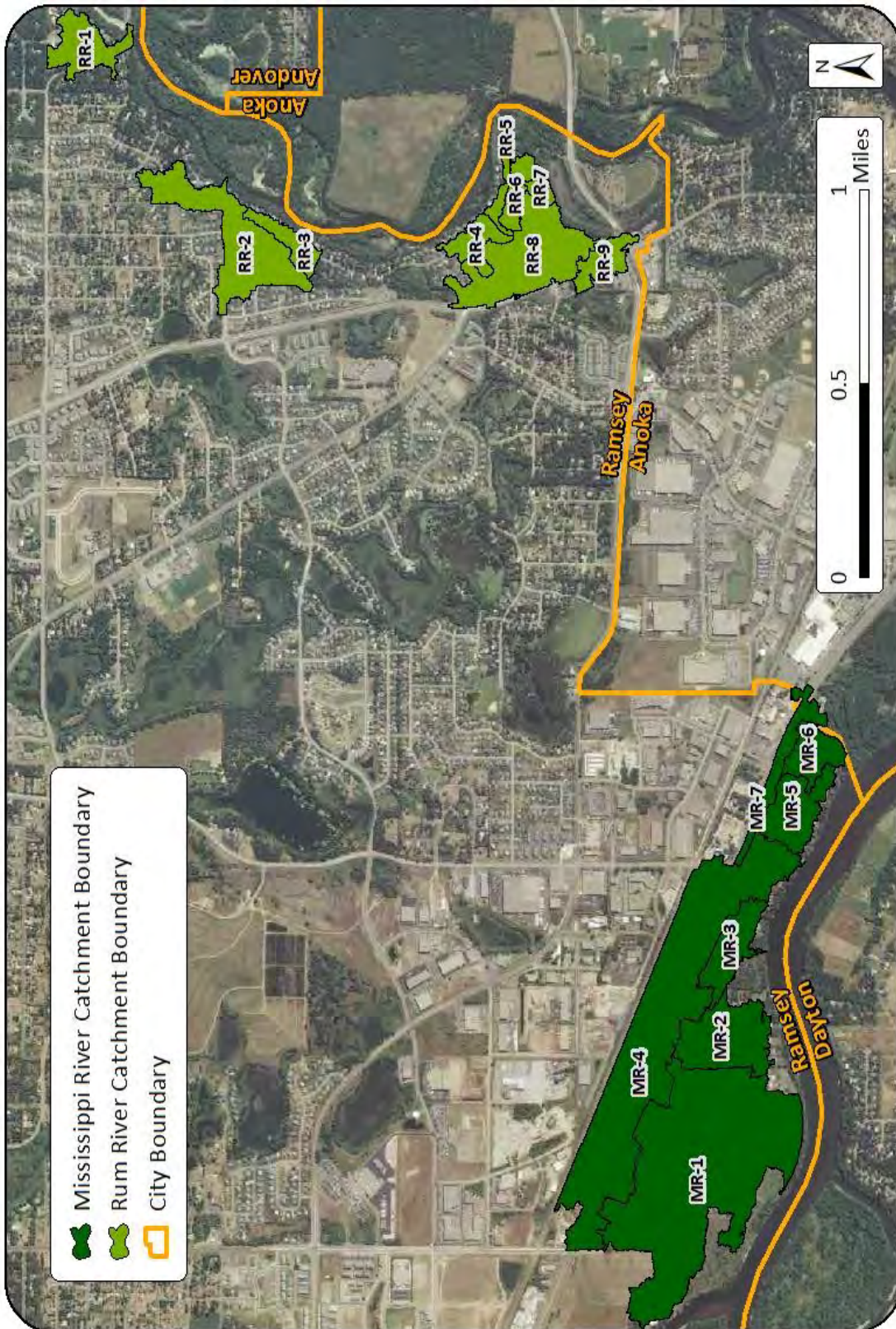


Figure 11: The 448 acre drainage area was divided into 2 drainage networks, which were subdivided into a total of 16 catchments for this analysis. Catchment profiles on the following pages provide additional information.

# Rum River Drainage Network

Catchment ID	Page
RR-1	62
RR-2	65
RR-3	69
RR-4	73
RR-5	77
RR-6	81
RR-7	84
RR-8	87
RR-9	92

Existing Network Summary	
Acres	127.7
Dominant Land Cover	Residential
Volume (ac-ft/yr)	61.3
TP (lb/yr)	62.5
TSS (lb/yr)	19,764



### DRAINAGE NETWORK SUMMARY

This network includes all of the catchments that discharge to the Rum River explored in this analysis. Catchments were chosen based on each major outfall to the Rum River and were named in order from north to south using the ‘RR’ designator for ‘Rum River’. The outfalls are located (from north to south) at 153<sup>rd</sup> Ave. and Oneida St. (Catchment RR-1), 149<sup>th</sup> Ave. and Waco St. (RR-2), 147<sup>th</sup> Ln. and Waco St. (RR-3), Waco St. east of 143<sup>rd</sup> Ave. (RR-4), 142<sup>nd</sup> Ln south of Waco St. (RR-5), Rivers Bend Park north of the parking lot (RR-6) and south of the parking lot (RR-7), 142<sup>nd</sup> Ave. (RR-8), and Bunker Lake Blvd. (RR-9).

These nine catchments have a wide variety of land uses, including single-family and multi-family residential, commercial, parkland, and industrial. Soils are generally sandy, and range from fine sand loams (Becker series) to coarse sands (Duelm series).

### EXISTING STORMWATER TREATMENT

Catchment boundaries and research areas within the Rum River drainage network were specifically chosen to locate and assess areas which were not already receiving stormwater treatment from constructed ponds and basins or wetlands. Only three existing BMPs were present within the nine catchments modeled. Two of these existing BMPs, stormwater retention ponds P19E304 in Catchment RR-1 and P25216 in Catchment RR-8, treat their entire respective catchments. The third BMP, street cleaning, is provided network-wide across all municipal streets by the City of Ramsey twice per year using mechanical sweepers. Additional detail for each of these BMPs is provided in the respective Catchment ID Pages.

# Catchment RR-8

Existing Catchment Summary	
Acres	38.1
Dominant Land Cover	Residential
Parcels	68

### CATCHMENT DESCRIPTION

This catchment contains a nearly even mix of single-family residential, commercial, and undeveloped land uses. Stormwater generated within this catchment is directed to a storm sewer network below 142<sup>nd</sup> Ave. which discharges into retention pond P25216 just east of Xkimo Street. The pond subsequently discharges into an oxbow lake adjacent to the Rum River.



### EXISTING STORMWATER TREATMENT

Stormwater retention pond P25216 provides pollutant treatment for the entire 38-acre catchment. In addition to the pond, street cleaning is provided by the City of Ramsey twice per year with mechanical sweepers. Present-day stormwater pollutant loading and treatment is summarized in the table below.

<i>Existing Conditions</i>		Base Loading	Treatment	Net Treatment %	Existing Loading
<b>Treatment</b>	Number of BMPs	2			
	BMP Types	Stormwater Pond and Street Cleaning			
	TP (lb/yr)	19.0	2.9	15%	<b>16.1</b>
	TSS (lb/yr)	6,895	1,367	20%	<b>5,528</b>
	Volume (acre-feet/yr)	19.3	0.0	0%	<b>19.3</b>

### PROPOSED RETROFITS OVERVIEW

Retention pond P25216 appears to be a natural depression which was retrofitted with an outlet control device to manage flow discharge. This pond could be modified to increase storage capacity to more sufficiently treat its developed drainage area.

Hydrodynamic devices were also proposed along the tertiary storm sewer lines on 142<sup>nd</sup> Ave and Xkimo St. These devices were purposefully sited to achieve contributing drainage areas of approximately 10 acres in size. This limits high peak discharges through the device that could cause sediment resuspension and decreased effectiveness.

RETROFIT RECOMMENDATIONS



# Project ID: RR8-A

Rivers Bend Park  
Pond Modification

**Drainage Area** – 38.0 acres

**Location** – Rivers Bend Park south of 142<sup>nd</sup> Ave NW – Waco St. NW intersection

**Property Ownership** – Public

**Site Specific Information** – The existing pond, P25216 receives drainage from the entire catchment and is currently undersized to treat the contributing drainage area. An expansion and dredging of the pond is recommended to increase the permanent pool storage, thereby promoting sediment settling and phosphorus retention. Proposed increases in pond storage will increase permanent pool surface area from .11 acres to .82 acres and average ponding depth from 1 ft. to 6 ft. Cumulative pond storage volume could increase from an estimated 0.05 acre-feet to approximately 2.0 acre-feet.



BMP Modification									
Cost/Removal Analysis		New Treatment		% Reduction		New Treatment		% Reduction	
Treatment	Pond Management Level	1		2		3			
	Amount of Soil Excavated	3,100	cu-yards	3,100	cu-yards	3,100	cu-yards		
	TP (lb/yr)	7.7		7.7	47.8%	7.7	47.8%		
	TSS (lb/yr)	3,672		3,672	66.4%	3,672	66.4%		
	Volume (acre-feet/yr)	0.2		0.2	1.0%	0.2	1.0%		
Cost	Administration & Promotion Costs*			\$5,840				\$5,840	
	Design & Construction Costs**			\$147,000				\$193,500	\$245,000
	Total Estimated Project Cost (2016)			<b>\$152,840</b>				<b>\$199,340</b>	<b>\$250,840</b>
	Annual O&M***			\$900				\$900	\$900
Efficiency	30-yr Average Cost/lb-TP	\$779		\$980		\$1,203			
	30-yr Average Cost/1,000lb-TSS	\$1,633		\$2,055		\$2,522			
	30-yr Average Cost/ac-ft Vol.	N/A		N/A		N/A			

\*Indirect Cost: 80 hours at \$73/hour

\*\*Direct Cost: See Appendix B for detailed cost information

\*\*\*\$1,000/acre of pond surface area - Annual inspection and sediment/debris removal from pretreatment area

# Project ID: RR8-B

142<sup>nd</sup> Ave.  
Hydrodynamic Device

**Drainage Area** – 2.5 acres  
**Location** – 142<sup>nd</sup> Ln. NW  
**Property Ownership** – Public  
**Site Specific Information** – A hydrodynamic device could be installed in-line with the storm sewer system to accept runoff from stormwater catch basins draining 142<sup>nd</sup> Ave NW and surrounding public and commercial properties.



Hydrodynamic Device			
Cost/Removal Analysis		New Treatment	% Reduction
Treatment	Number of BMPs	1	
	Total Size of BMPs	6 ft diameter	
	TP (lb/yr)	0.2	1.2%
	TSS (lb/yr)	108	2.0%
	Volume (acre-feet/yr)	0.0	0.0%
Cost	Administration & Promotion Costs*	\$1,752	
	Design & Construction Costs**	\$27,000	
	<b>Total Estimated Project Cost (2016)</b>	<b>\$28,752</b>	
	Annual O&M***	\$630	
Efficiency	<b>30-yr Average Cost/lb-TP</b>	<b>\$7,942</b>	
	<b>30-yr Average Cost/1,000lb-TSS</b>	<b>\$14,707</b>	
	<b>30-yr Average Cost/ac-ft Vol.</b>	<b>N/A</b>	

\*Indirect Cost: (24 hours at \$73/hour)

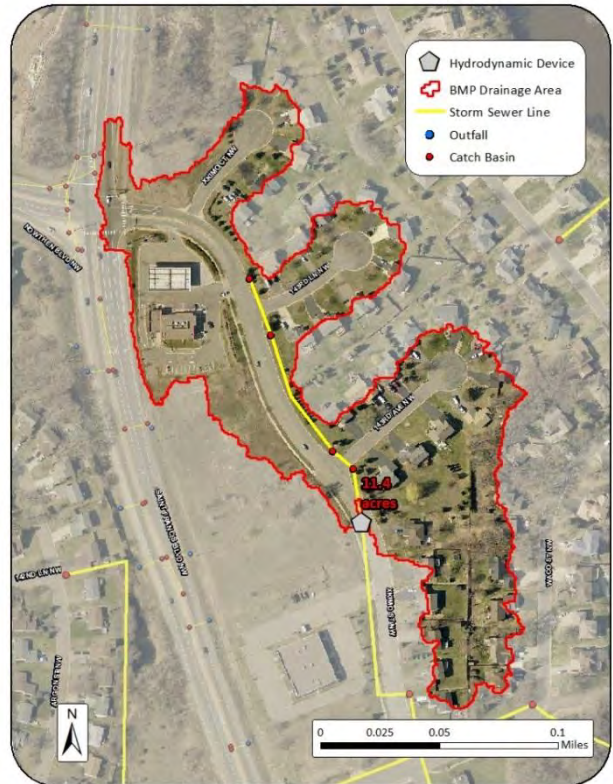
\*\*Direct Cost: (\$18,000 for materials) + (\$9,000 for labor and installation costs)

\*\*\*Per BMP: (3 cleanings/year)\*(3 hours/cleaning)\*(\$70/hour)

# Project ID: RR8-C

Xkimo St.  
Hydrodynamic Device

**Drainage Area** – 11.4 acres  
**Location** – Xkimo St. NW  
**Property Ownership** – Public  
**Site Specific Information** – A hydrodynamic device could be installed in-line with the storm sewer system to accept runoff from stormwater catch basins draining Xkimo St. NW and the surrounding single-family residential and commercial properties.



Hydrodynamic Device			
		New Treatment	% Reduction
<b>Cost/Removal Analysis</b>			
<b>Treatment</b>	Number of BMPs	1	
	Total Size of BMPs	10 ft diameter	
	TP (lb/yr)	0.5	3%
	TSS (lb/yr)	220	4%
	Volume (acre-feet/yr)	0.0	0%
<b>Cost</b>	Administration & Promotion Costs*	\$1,752	
	Design & Construction Costs**	\$108,000	
	Total Estimated Project Cost (2016)	<b>\$109,752</b>	
	Annual O&M***	\$630	
<b>Efficiency</b>	30-yr Average Cost/lb-TP	<b>\$8,577</b>	
	30-yr Average Cost/1,000lb-TSS	<b>\$19,493</b>	
	30-yr Average Cost/ac-ft Vol.	<b>N/A</b>	

\*Indirect Cost: (24 hours at \$73/hour)

\*\*Direct Cost: (\$72,000 for materials) + (\$36,000 for labor and installation costs)

\*\*\*Per BMP: (3 cleanings/year)\*(3 hours/cleaning)\*(\$70/hour)

## References

- Erickson, A.J., and J.S. Gulliver. 2010. *Performance Assessment of an Iron-Enhanced Sand Filtration Trench for Capturing Dissolved Phosphorus*. University of Minnesota St. Anthony Falls Laboratory Engineering, Environmental and Geophysical Fluid Dynamics Project Report No. 549. Prepared for the City of Prior Lake, Prior Lake, MN.
- Minnesota Pollution Control Agency (MPCA). 2014. *Design Criteria for Stormwater Ponds*. Web.
- New York City Environmental Protection. 2013. *NYC Green Infrastructure 2013 Annual Report*. 36 pp.
- Schueler, T. and A. Kitchell. 2005. *Methods to Develop Restoration Plans for Small Urban Watersheds. Manual 2, Urban Subwatershed Restoration Manual Series*. Center for Watershed Protection. Ellicott City, MD.
- Schueler, T., D. Hirschman, M. Novotney, and J. Zielinski. 2007. *Urban Stormwater Retrofit Practices. Manual 3, Urban Subwatershed Restoration Manual Series*. Center for Watershed Protection. Ellicott City, MD.
- Weiss, P.T., J.S. Gulliver, A.J. Erickson. 2005. *The Cost and Effectiveness of Stormwater Management Practices*. Minnesota Department of Transportation.

# CITY OF RAMSEY

## CONSTRUCTION PLANS FOR

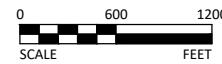
# RIVERS BEND REGIONAL STORM WATER IMPROVEMENTS

CITY PROJECT NUMBER 25-01

STORM SEWER, POND GRADING, EROSION CONTROL AND TURF ESTABLISHMENT

AUGUST, 2024

MAP OF THE  
CITY OF RAMSEY  
ANOKA COUNTY, MN



### MAP LEGEND

— PROJECT LIMITS

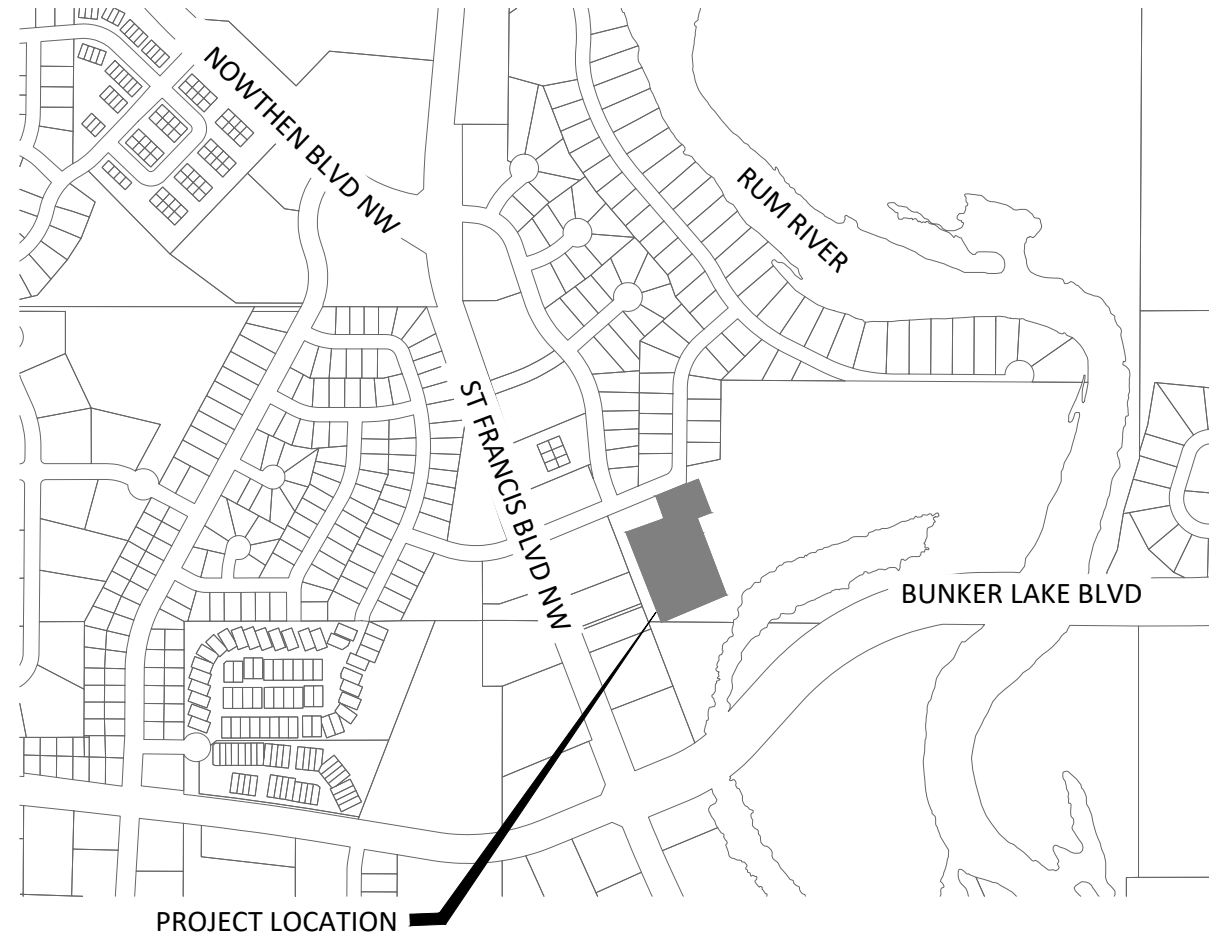
NOTE: EXISTING UTILITY INFORMATION SHOWN ON THIS PLAN HAS BEEN PROVIDED BY THE UTILITY OWNER. THE CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS PRIOR TO COMMENCING CONSTRUCTION AS REQUIRED BY STATE LAW. NOTIFY GOPHER STATE ONE CALL, 1-800-252-1166 OR 651-454-0002.

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D UNLESS OTHERWISE NOTED. THIS UTILITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-22, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

--- GOVERNING SPECIFICATIONS ---

THE 2020 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATION FOR CONSTRUCTION" AND THE 2023 EDITION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM) "STANDARD SPECIFICATIONS" FOR MUNICIPAL UTILITIES SHALL GOVERN.

ALL TRAFFIC CONTROL DEVICES AND SIGNING SHALL CONFORM AND BE INSTALLED IN ACCORDANCE WITH THE LATEST "MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MN MUTCD) AND PART VI, THE LATEST "FIELD MANUAL" FOR TEMPORARY TRAFFIC CONTROL DEVICES.



SHEET NUMBER	SHEET TITLE
1	TITLE SHEET
2	LEGEND
3	EXISTING CONDITIONS & REMOVALS
4	STATEMENT OF ESTIMATED QUANTITIES
5	POND TYPICAL SECTION
6	DETAILS
7	EROSION CONTROL & TURF ESTABLISHMENT
8 - 10	STORMWATER POLLUTION PREVENTION PLAN
11	GRADING PLANS
12	STORM SEWER PROFILES
THIS PLAN SET CONTAINS <u>12</u> SHEETS.	

Approved: City Engineer / Director of Public Works \_\_\_\_\_ Date \_\_\_\_\_

⚡ BM=862.90 TNH 77' SE OF SE INTERSECTION OF 142ND AVENUE NW & XKINO STREET	PROJECT DATUM: HORIZONTAL: ANOKA COUNTY COORDINATES (1996 ADJUSTMENT) VERTICAL: NAVD 88	RECORD DRAWING INFORMATION
		OBSERVER: CONTRACTOR: DATE:
CITY OF RAMSEY, MINNESOTA RIVERS BEND REGIONAL STORMWATER IMPROVEMENTS		SHEET 1 OF 12
TITLE SHEET		

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I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Kevin P. Kielb*  
 KEVIN P. KIELB  
 LIC. NO. 23211 DATE 8/20/2024



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 RAMSEY, MN 55303  
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 Email: Ramsey@bolton-menk.com  
 www.bolton-menk.com

DESIGNED	NO.	ISSUED FOR	DATE
ZFL			
DRAWN	TJH		
CHECKED	KPK		
CLIENT PROJ. NO.	CP-25-01		

**EXISTING TOPOGRAPHIC SYMBOLS**

	ACCESS GRATE		REGULATION STATION GAS
	AIR CONDITION UNIT		SATELLITE DISH
	ANTENNA		SIGN TRAFFIC
	AUTO SPRINKLER CONNECTION		SIGNAL CONTROL CABINET
	BARRICADE PERMANENT		SOIL BORING
	BASKETBALL POST		SIREN
	BENCH		TELEPHONE BOOTH
	BIRD FEEDER		TILE INLET
	BOLLARD		TILE OUTLET
	BUSH		TILE RISER
	CATCH BASIN RECTANGULAR CASTING		TRANSFORMER-ELECTRIC
	CATCH BASIN CIRCULAR CASTING		TREE-CONIFEROUS
	CURB STOP		TREE-DEAD
	CLEAN OUT		TREE-DECIDUOUS
	CULVERT END		TREE STUMP
	DRINKING FOUNTAIN		TRAFFIC ARM BARRIER
	DOWN SPOUT		TRAFFIC SIGNAL
	ELECTRIC CAR CHARGE STATION		TRASH CAN
	FILL PIPE		UTILITY MARKER
	FIRE HYDRANT		VALVE
	FLAG POLE		VALVE POST INDICATOR
	FLARED END / APRON		VALVE VAULT
	FUEL PUMP		VAULT
	GRILL		VENT PIPE
	GUY WIRE ANCHOR		WATER SPIGOT
	HANDHOLE		WELL
	HANDICAP SPACE		WETLAND DELINEATED MARKER
	IRRIGATION SPRINKLER HEAD		WETLAND
	IRRIGATION VALVE BOX		WET WELL
	LIFT STATION CONTROL PANEL		YARD HYDRANT
	LIFT STATION		
	LIGHT POLE		
	MAILBOX		
	MANHOLE-COMMUNICATION		
	MANHOLE-ELECTRIC		
	MANHOLE-GAS		
	MANHOLE-HEAT		
	MANHOLE-RECLAIMED WATER		
	MANHOLE-SANITARY SEWER		
	MANHOLE-STORM SEWER		
	MANHOLE-UTILITY		
	MANHOLE-WATER		
	METER		
	DRIVE-THRU MICROPHONE		
	PARKING METER		
	PAVEMENT MARKING		
	PEDESTAL-COMMUNICATION		
	PEDESTAL-ELECTRIC		
	PEDESTRIAN PUSH BUTTON		
	PICNIC TABLE		
	POLE-UTILITY		
	POST		
	RAILROAD SIGNAL POLE		

**PROPOSED TOPOGRAPHIC SYMBOLS**

	CLEANOUT
	MANHOLE
	LIFT STATION
	STORM SEWER CIRCULAR CASTING
	STORM SEWER RECTANGULAR CASTING
	STORM SEWER FLARED END / APRON
	STORM SEWER OUTLET STRUCTURE
	STORM SEWER OVERFLOW STRUCTURE
	CURB BOX
	FIRE HYDRANT
	WATER VALVE
	WATER REDUCER
	WATER BEND
	WATER TEE
	WATER CROSS
	WATER SLEEVE
	WATER CAP / PLUG
	RIP RAP
	DRAINAGE FLOW
	TRAFFIC SIGNS

**SURVEY SYMBOLS**

	BENCHMARK LOCATION		CAST IRON MONUMENT
	CONTROL POINT		STONE MONUMENT
	MONUMENT FOUND		

**EXISTING TOPOGRAPHIC LINES**

	RETAINING WALL
	FENCE
	FENCE-DECORATIVE
	GUARD RAIL
	TREE LINE
	BUSH LINE

**SURVEY LINES**

	CONTROLLED ACCESS BOUNDARY
	CENTERLINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING RIGHT-OF-WAY
	PROPOSED RIGHT-OF-WAY
	SETBACK LINE
	SECTION LINE
	QUARTER LINE
	SIXTEENTH LINE
	TEMPORARY EASEMENT

**EXISTING UTILITY LINES**

	FORCEMAIN
	SANITARY SEWER
	SANITARY SERVICE
	STORM SEWER
	STORM SEWER DRAIN TILE
	WATERMAIN
	WATER SERVICE
	RECLAIMED WATER

**PROPOSED UTILITY LINES**

	FORCEMAIN
	SANITARY SEWER
	SANITARY SERVICE
	STORM SEWER
	STORM SEWER DRAIN TILE
	WATERMAIN
	WATER SERVICE
	PIPE CASING
	TRENCHLESS PIPE (PLAN VIEW)
	TRENCHLESS PIPE (PROFILE VIEW)

**GRADING INFORMATION**

	EXISTING CONTOUR MINOR
	EXISTING CONTOUR MAJOR
	PROPOSED CONTOUR MINOR
	PROPOSED CONTOUR MAJOR
	PROPOSED GRADING LIMITS / SLOPE LIMITS
	PROJECT LIMITS
	PROPOSED SPOT ELEVATION
	RISE:RUN (SLOPE)

**HATCH PATTERNS**

	BITUMINOUS		GRAVEL
	CONCRETE		

**EXISTING PRIVATE UTILITY LINES**

NOTE: EXISTING UTILITY INFORMATION SHOWN ON THIS PLAN HAS BEEN PROVIDED BY THE UTILITY OWNER. THE CONTRACTOR SHALL FIELD VERIFY EXACT LOCATIONS PRIOR TO COMMENCING CONSTRUCTION AS REQUIRED BY STATE LAW. NOTIFY GOPHER STATE ONE CALL, 1-800-252-1166 OR 651-454-0002.

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	UNDERGROUND FIBER OPTIC
	UNDERGROUND ELECTRIC
	UNDERGROUND GAS
	UNDERGROUND COMMUNICATION
	OVERHEAD ELECTRIC
	OVERHEAD COMMUNICATION
	OVERHEAD UTILITY

**UTILITIES IDENTIFIED WITH A QUALITY LEVEL :**

LINE TYPES FOLLOW THE FORMAT: UTILITY TYPE - QUALITY LEVEL  
 EXAMPLE: UNDERGROUND GAS, QUALITY LEVEL A  
 UTILITY QUALITY LEVEL (A,B,C,D) DEFINITIONS CAN BE FOUND IN CI/ASCE 38-22.

**UTILITY QUALITY LEVELS:**

QUALITY LEVEL D: PROVIDES THE MOST BASIC LEVEL OF INFORMATION. IT INVOLVES COLLECTING DATA FROM EXISTING UTILITY RECORDS. RECORDS MAY INCLUDE AS-BUILT DRAWINGS, DISTRIBUTION AND SERVICES MAPS, EXISTING GEOGRAPHIC INFORMATION SYSTEM DATABASES, CONSTRUCTION PLANS, ETC.

QUALITY LEVEL C: INVOLVES SURVEYING VISIBLE SUBSURFACE UTILITY STRUCTURES SUCH AS MANHOLES, HAND-HOLES, UTILITY VALVES AND METERS, FIRE HYDRANTS, PEDESTALS AND UTILITY MARKERS, AND THEN CORRELATING THE INFORMATION WITH EXISTING UTILITY RECORDS TO CREATE COMPOSITE DRAWINGS. INCLUDES QUALITY LEVEL D ACTIVITIES.

QUALITY LEVEL B: INVOLVES DESIGNATING THE HORIZONTAL POSITION OF SUBSURFACE UTILITIES THROUGH SURFACE DETECTION METHODS AND COLLECTING THE INFORMATION THROUGH A SURVEY METHOD. INCLUDES QUALITY LEVEL C AND D TASKS.

QUALITY LEVEL A: PROVIDES THE HIGHEST LEVEL OF ACCURACY. IT INVOLVES LOCATING OR POTHOLING UTILITIES AS WELL AS ACTIVITIES IN QUALITY LEVELS B, C, AND D. THE LOCATED FACILITY INFORMATION IS SURVEYED AND MAPPED AND THE DATA PROVIDES PRECISE PLAN AND PROFILE INFORMATION.

**ABBREVIATIONS**

A	ALGEBRAIC DIFFERENCE	GRAV	GRAVEL	RSC	RIGID STEEL CONDUIT
ADJ	ADJUST	GU	GUTTER	RT	RIGHT
ALT	ALTERNATE	GV	GATE VALVE	SAN	SANITARY SEWER
B-B	BACK TO BACK	HDPE	HIGH DENSITY POLYETHYLENE	SCH	SCHEDULE
BIT	BITUMINOUS	HH	HANDHOLE	SERV	SERVICE
BLDG	BUILDING	HP	HIGH POINT	SHLD	SHOULDER
BMP	BEST MANAGEMENT PRACTICE	HWL	HIGH WATER LEVEL	STA	STATION
BR	BEGIN RADIUS	HYD	HYDRANT	STD	STANDARD
BV	BUTTERFLY VALVE	I	INVERT	STM	STORM SEWER
CB	CATCH BASIN	K	CURVE COEFFICIENT	TC	TOP OF CURB
C&G	CURB AND GUTTER	L	LENGTH	TE	TEMPORARY EASEMENT
CIP	CAST IRON PIPE	LO	LOWEST OPENING	TEMP	TEMPORARY
CIPP	CURED-IN-PLACE PIPE	LP	LOW POINT	TNH	TOP NUT HYDRANT
CL	CENTER LINE	LT	LEFT	TP	TOP OF PIPE
CL.	CLASS	MAX	MAXIMUM	TYP	TYPICAL
CLVT	CULVERT	MH	MANHOLE	VCP	VITRIFIED CLAY PIPE
CMP	CORRUGATED METAL PIPE	MIN	MINIMUM	VERT	VERTICAL
C.O.	CHANGE ORDER	MR	MID RADIUS	VPC	VERTICAL POINT OF CURVE
COMM	COMMUNICATION	NIC	NOT IN CONTRACT	VPI	VERTICAL POINT OF INTERSECTION
CON	CONCRETE	NMC	NON-METALLIC CONDUIT	VPT	VERTICAL POINT OF TANGENT
CSP	CORRUGATED STEEL PIPE	NTS	NOT TO SCALE	WM	WATERMAIN
DIA	DIAMETER	NWL	NORMAL WATER LEVEL		
DIP	DUCTILE IRON PIPE	OHW	ORDINARY HIGH WATER LEVEL		
DWY	DRIVEWAY	PC	POINT OF CURVE	AC	ACRES
E	EXTERNAL CURVE DISTANCE	PCC	POINT OF COMPOUND CURVE	CF	CUBIC FEET
ELEC	ELECTRIC	PE	PERMANENT EASEMENT	CV	COMPACTED VOLUME
ELEV	ELEVATION	PED	PEDESTRIAN, PEDESTAL	CY	CUBIC YARD
EOF	EMERGENCY OVERFLOW	PERF	PERFORATED PIPE	EA	EACH
ER	END RADIUS	PERM	PERMANENT	EV	EXCAVATED VOLUME
ESMT	EASEMENT	PI	POINT OF INTERSECTION	LB	POUND
EX	EXISTING	PL	PROPERTY LINE	LF	LINEAR FEET
FES	FLARED END SECTION	PRC	POINT OF REVERSE CURVE	LS	LUMP SUM
F-F	FACE TO FACE	PT	POINT OF TANGENT	LV	LOOSE VOLUME
FF	FINISHED FLOOR	PVC	POLYVINYL CHLORIDE PIPE	SF	SQUARE FEET
F&I	FURNISH AND INSTALL	PVMT	PAVEMENT	SV	STOCKPILE VOLUME
FM	FORCEMAIN	R	RADIUS	SY	SQUARE YARD
FO	FIBER OPTIC	R/W	RIGHT-OF-WAY		
F.O.	FIELD ORDER	RCP	REINFORCED CONCRETE PIPE		
GRAN	GRANULAR	RET	RETAINING		

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 KEVIN P. KIEHL  
 LIC. NO. 23211 DATE 8/20/2024



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<b>CITY OF RAMSEY, MINNESOTA</b>		SHEET
RIVERS BEND REGIONAL STORMWATER IMPROVEMENTS		2
LEGEND		OF
		12

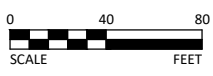


- NOTES:**
1. THE CONTRACTOR SHALL REMOVE ALL TREES WITHIN LIMITS SHOWN INCLUDING CHIPS, BRUSH, STUMPS, AND ROOTS. DISPOSE OF TREES AND BRUSH OFF-SITE.
  2. VERIFY CLEARING LIMITS WITH ENGINEER PRIOR TO TREE REMOVAL OPERATIONS.
  3. THE CONTRACTOR SHALL FIELD VERIFY EXACT UTILITY LOCATIONS PRIOR TO COMMENCING CONSTRUCTION AS REQUIRED BY STATE LAW. NOTIFY GOPHER STATE ONE CALL, 1-800-252-1166 OR 651-454-0002.



LEGEND					
	CLEAR & GRUB TREES		CURB & GUTTER		BOLLARD
	TREE-CONIFEROUS		EXISTING EASEMENT LINE		POST
	TREE-DECIDUOUS		EXISTING RIGHT-OF-WAY		UTILITY MARKER - GAS
	CLEANOUT		FENCE		TRANSFORMER-ELECTRIC
	STORM MANHOLE		UNDERGROUND GAS		PEDESTAL-COMMUNICATION
	SANITARY MANHOLE		UNDERGROUND COMM		PEDESTAL-ELECTRIC
	STORM CATCH BASIN		OVERHEAD UTILITY		HANDHOLE
	FLARED END SECITON		FIBER OPTIC LINE		POLE-UTILITY
	VALVE		WATERMAIN		GUY WIRE ANCHOR
			SANITARY SEWER		EXISTING TRAFFIC SIGN
			STORM SEWER		FIRE HYDRANT
			RUM RIVER FLOOD PLAIN		
			DELINEATED WETLAND		

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*Kevin P. Kiehl*  
 KEVIN P. KIEHL  
 LIC. NO. 23211 DATE 8/20/2024



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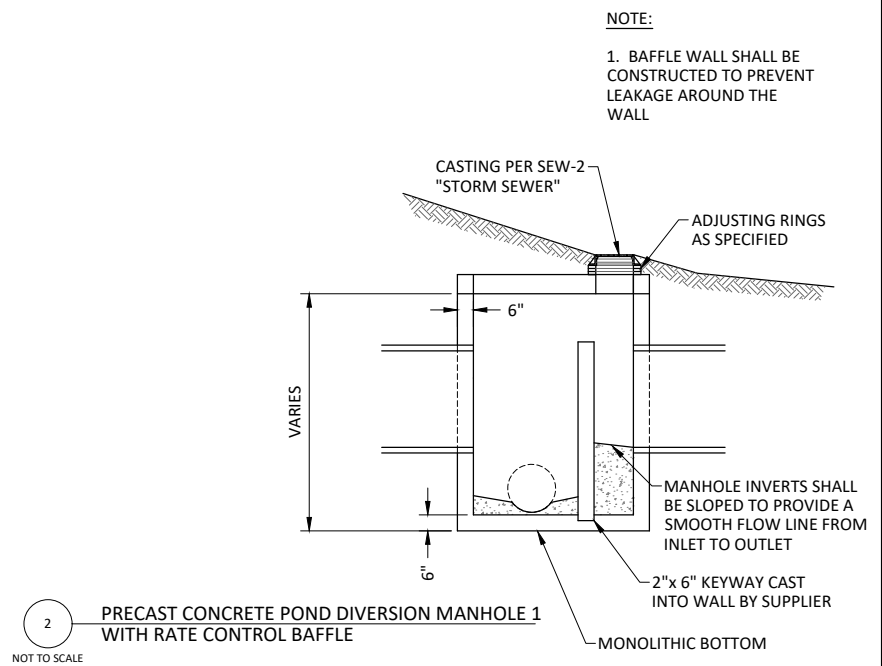
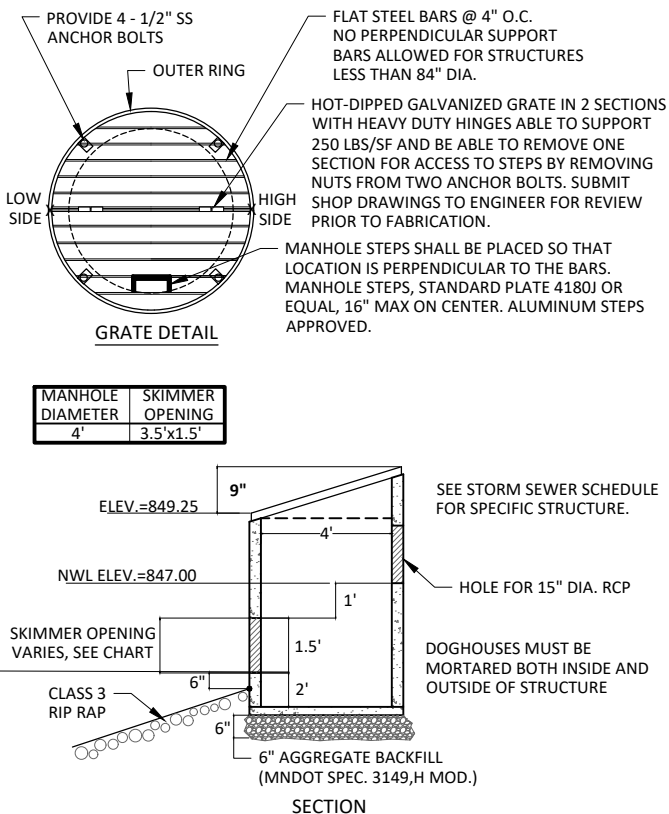
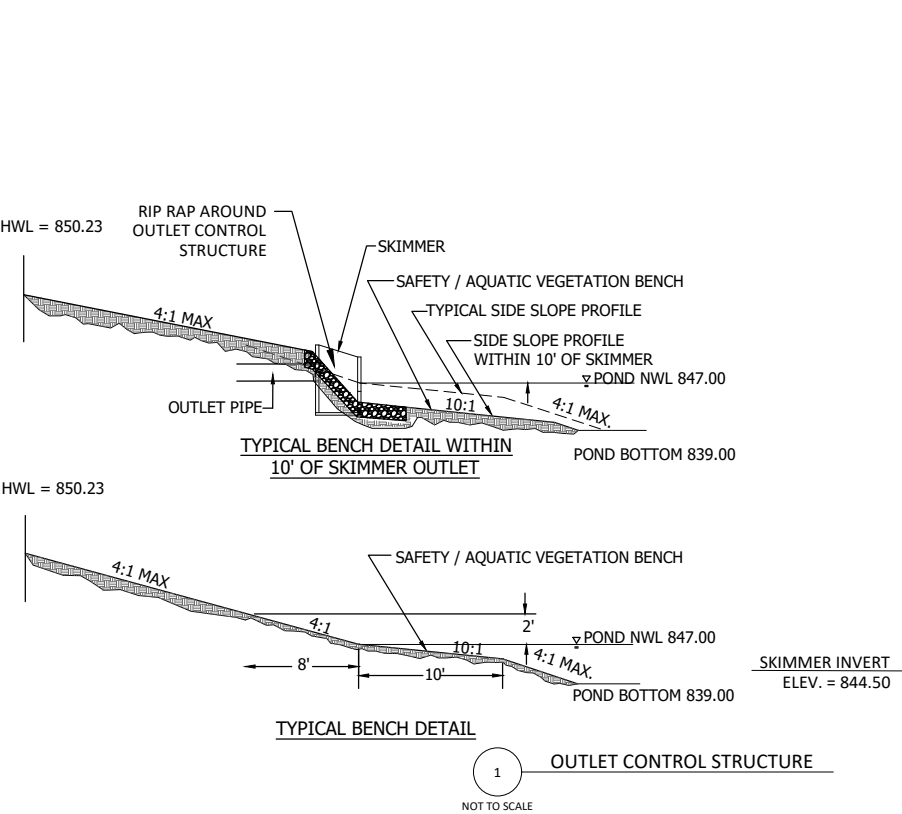
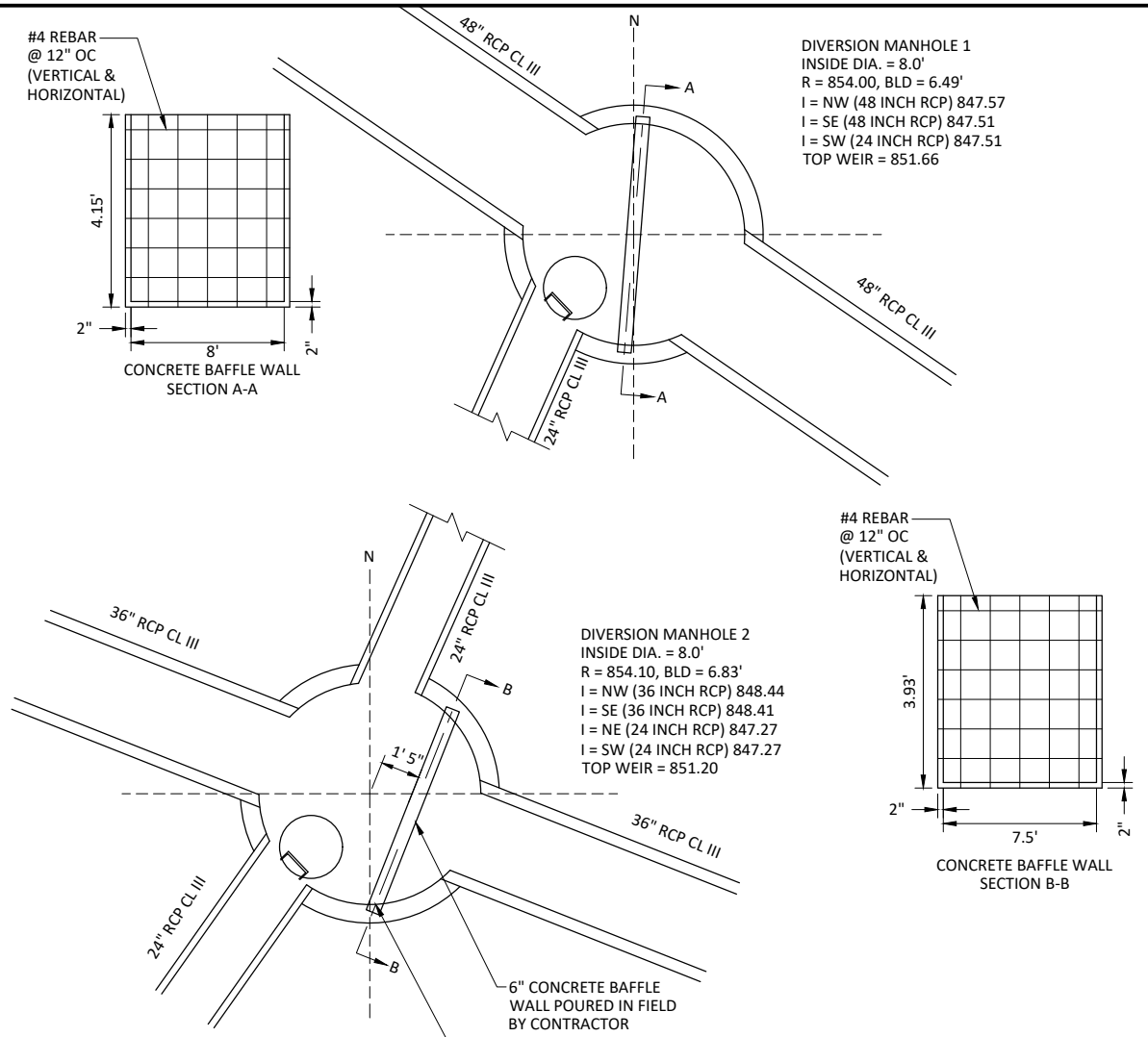
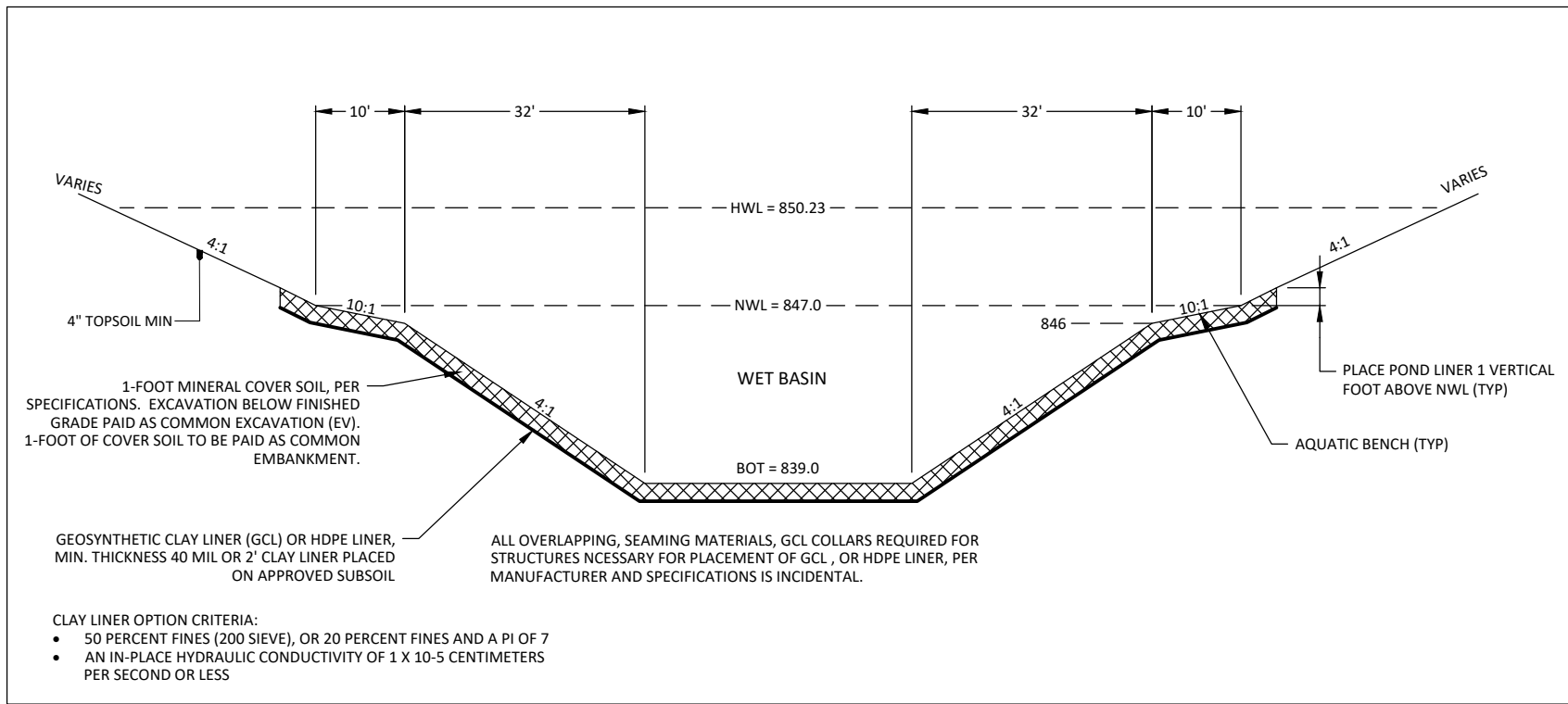


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CITY OF RAMSEY, MINNESOTA  
 RIVERS BEND REGIONAL STORMWATER IMPROVEMENTS  
 EXISTING CONDITIONS & REMOVALS

SHEET 3 OF 12





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KEVIN P. KIELB  
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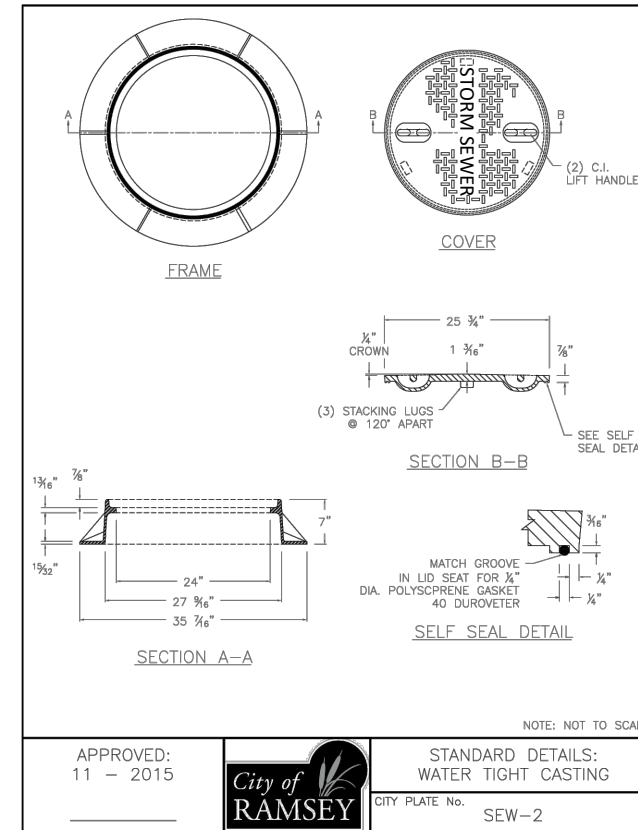
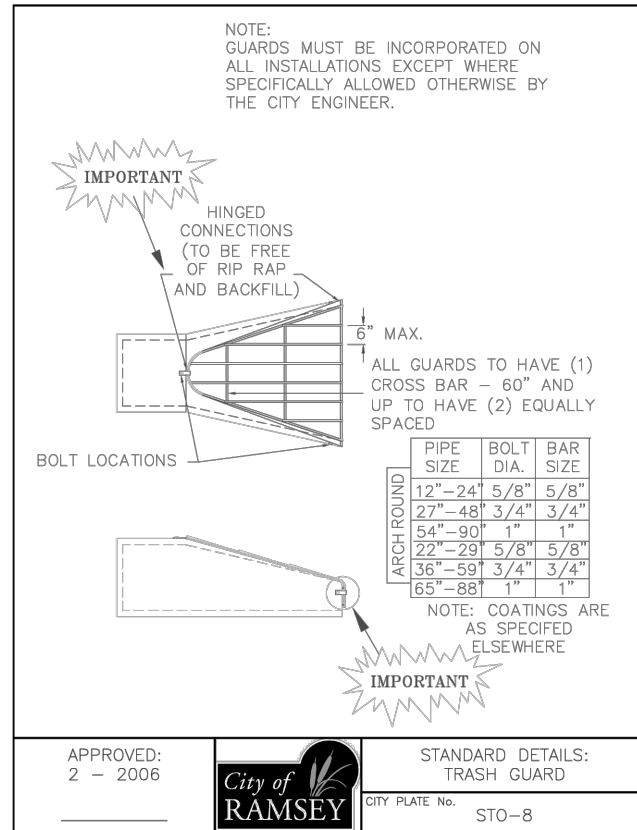
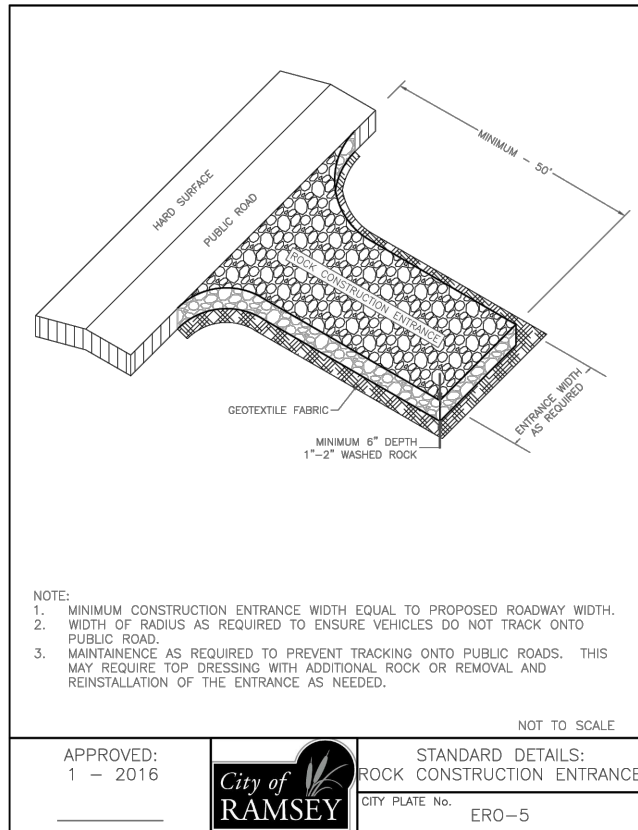
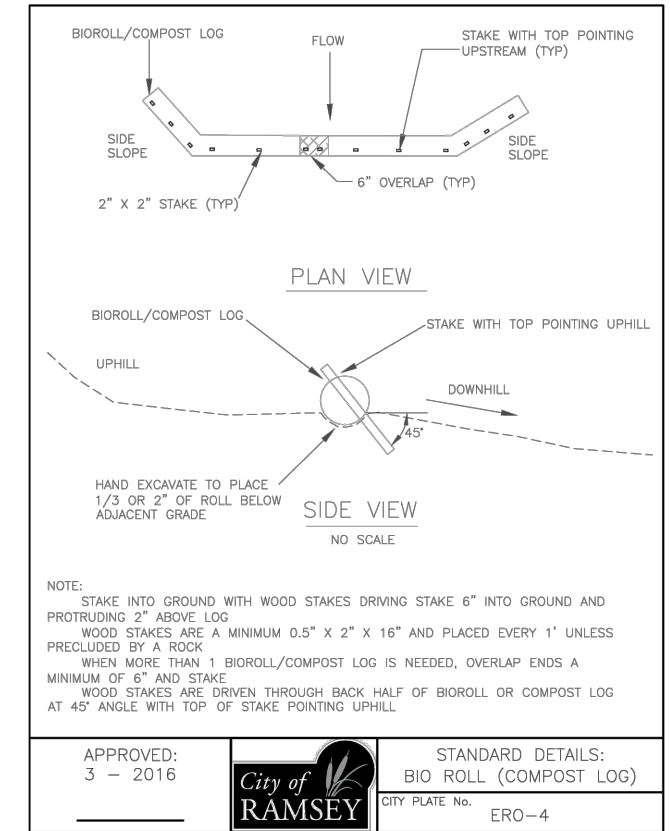
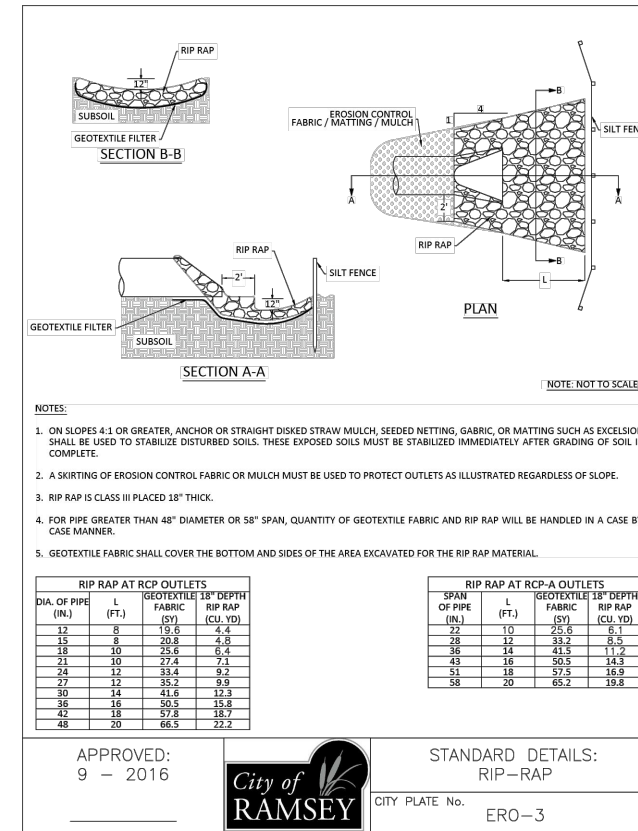
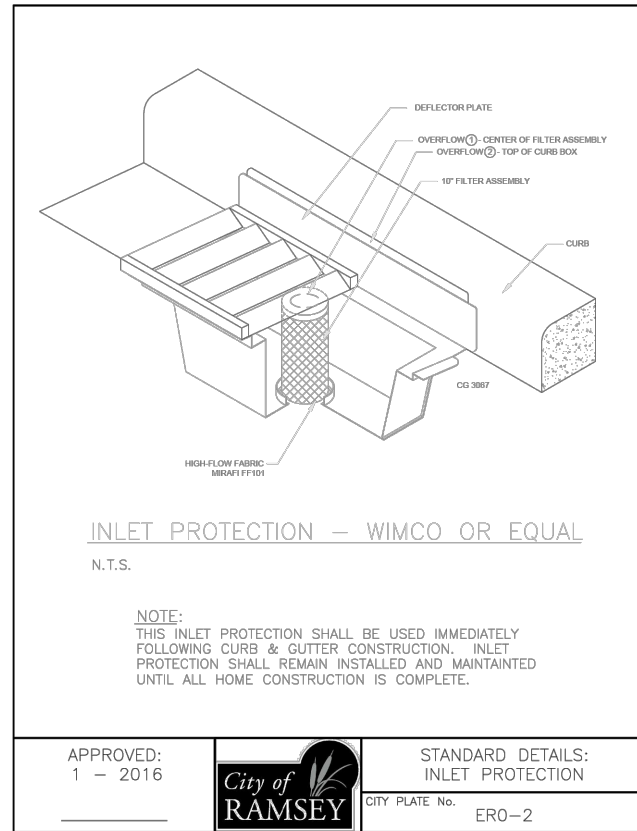
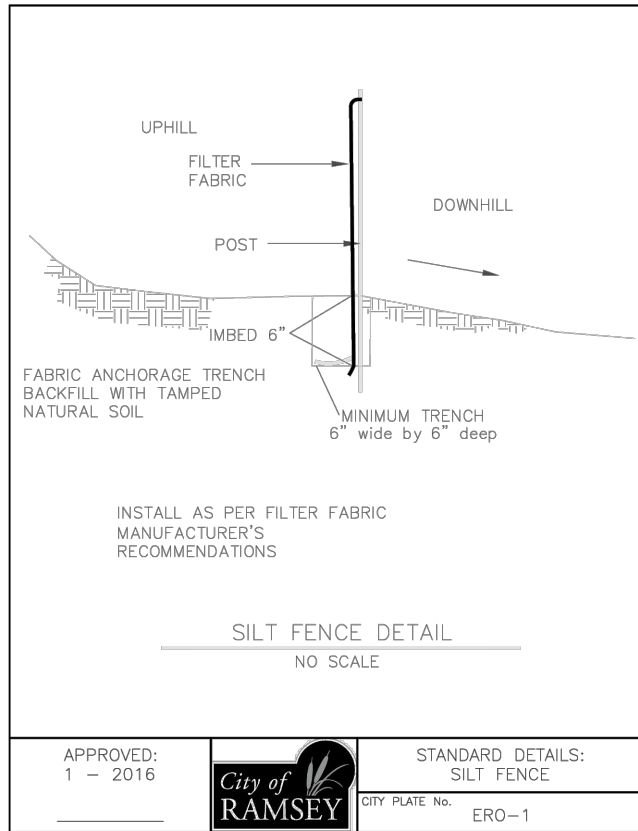
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CITY OF RAMSEY, MINNESOTA  
RIVERS BEND REGIONAL STORMWATER IMPROVEMENTS  
POND TYPICAL SECTION

SHEET 5 OF 12



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KEVIN P. KIELB  
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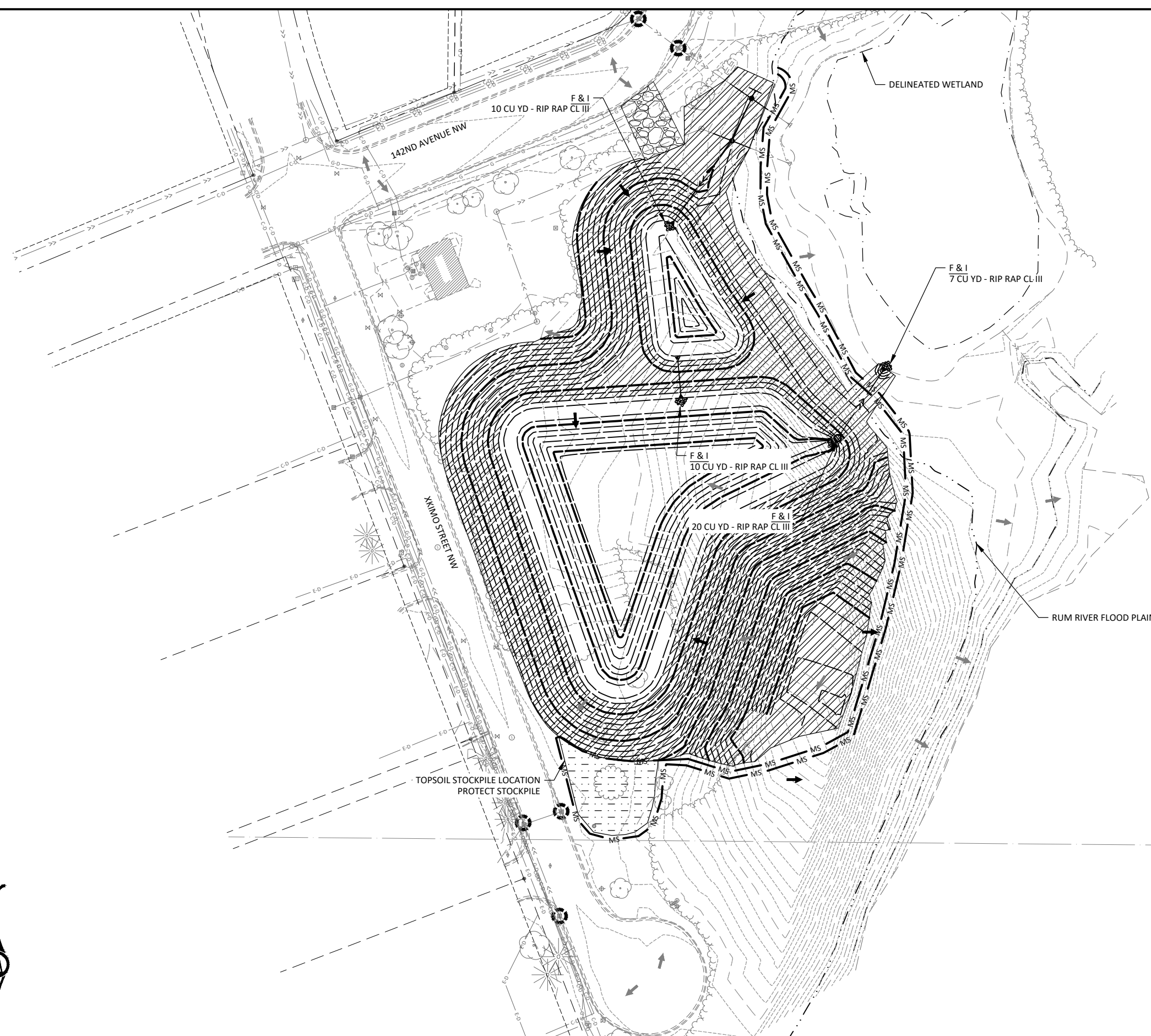


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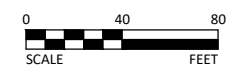
CITY OF RAMSEY, MINNESOTA  
RIVERS BEND REGIONAL STORMWATER IMPROVEMENTS  
DETAILS



### EROSION CONTROL LEGEND

	STORM DRAIN INLET PROTECTION
	SILT FENCE - MACHINE SLICED
	RIP RAP CLASS III
	PROPOSED DRAINAGE FLOW
	EXISTING DRAINAGE FLOW
	ROLLED EROSION PREVENTION CATEGORY 20 AND SEED MIX 35-241
	HYDRAULIC BONDED FIBER MATRIX
	STABILIZED CONSTRUCTION EXIT

- NOTES:**
1. ALL CATCH BASINS AND INLETS, BOTH EXISTING AND PROPOSED, SHALL HAVE INLET PROTECTION INSTALLED PRIOR TO DISTURBANCE AND REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED.
  2. CONSTRUCT STABILIZED CONSTRUCTION EXITS AS NECESSARY THROUGHOUT THE PROJECT.
  3. QUANTITY FOR INLET PROTECTION IS BASED ON INLET PROTECTION NEEDED FOR EACH STRUCTURE DURING THE COURSE OF THE PROJECT. ONCE STARTED, STORM SEWER AND GRADING ACTIVITIES SHALL BE EXECUTED DILIGENTLY AND CONTINUOUSLY UNTIL COMPLETE.
  4. PLACE 4" OF TOPSOIL IN OFF STREET GREEN SPACE.
  5. THE CONTRACTOR SHALL USE ONSITE TOPSOIL STOCKPILE FOR TOPSOIL INSTALLATION. NO TOPSOIL SHALL BE IMPORTED WITHOUT APPROVAL FROM THE ENGINEER.
  6. STABILIZE TOPSOIL STOCKPILE WITH HYDRAULIC BONDED FIBER MATRIX AT THE DIRECTION OF THE ENGINEER IN THE FIELD.



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CITY OF RAMSEY, MINNESOTA

RIVERS BEND REGIONAL STORMWATER IMPROVEMENTS

EROSION CONTROL & TURF ESTABLISHMENT

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Information contained in this SWPPP narrative sheet summarizes requirements of the GENERAL PERMIT AUTHORIZATION TO DISCHARGE STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM/STATE DISPOSAL SYSTEM PROGRAM - Permit No: MN R100001 (Permit) as they apply to this project. All provisions of the Permit including those not specifically cited herein shall apply to this project. The Contractor is responsible to be familiar with and comply with all conditions of the permit. The full text of the Permit is available at: <https://www.pca.state.mn.us/sites/default/files/wq-strm2-80a.pdf>

**SWPPP AMENDMENTS AND SUBMITTALS**

Contractor must prepare and submit to the Engineer a SWPPP amendment as necessary to include additional Best Management Practices (BMPs) to correct problems identified or address the following situations.

1. Contact information and training documentation for Construction SWPPP Manager and BMP Installer,
2. There is a change in construction method of phasing, operation, maintenance, weather or seasonal conditions not anticipated during the design of the SWPPP including but not limited to:
  - a. Types and/or Locations of BMPs
  - b. Material Storage and Spill Response
  - c. Fueling Plans
  - d. Locations for Stockpiles, Concrete Washout, and Sanitation Facilities and
  - e. Project Phasing
3. It is determined that the SWPPP is not achieving objectives of minimizing pollutants in stormwater discharges associated with construction activity, or
4. The SWPPP is not consistent with the terms and conditions of the permit.

The Contractor may implement SWPPP amendments immediately and is not required to wait for Engineer review of the submittal. The responsibility for completeness of SWPPP amendments and compliance with the Permit lies with the Contractor. Review, comment, or lack of comment by the Engineer on a SWPPP amendment shall not absolve the responsibilities of the Contractor in any way.

If a change order is issued for a design change the SWPPP amendment will be prepared by the Engineer and included in the change order.

In addition to SWPPP amendments, the Contractor shall submit to the Engineer Weekly Erosion and Sediment Control Schedule meeting the requirements of MnDOT 1717.

The Contractor shall keep copies of all SWPPP amendments, Weekly Erosion and Sediment Control Schedules, inspection logs, and maintenance logs with the field copy of the SWPPP. A PDF copy of these documents will be provided along with a copy of the final Field Copy of the SWPPP to the Engineer along with the signed Notice of Termination when final stabilization is complete.

**EROSION PREVENTION PRACTICES**

Stormwater conveyance channels shall be routed around unstabilized areas. Erosion controls and velocity dissipation devices shall be used at outlets within and along the length of any constructed conveyance channel.

The normal wetted perimeter of all ditches or swales, including storm water management pond slopes, that drain waters from the site must be stabilized within 200' of any property edge or discharge point, including storm sewer inlets, within 24 hours of connection.

Temporary or permanent ditches or swales used as sediment containment during construction do not need to be stabilized during temporary period of use and shall be stabilized within 24 hours after no longer used as sediment containment.

Mulch, hydromulch, tackifier, or similar practice shall not be used in any portion of the wetted perimeter of a temporary or permanent drainage ditch or swale section with a continuous slope of greater than 2 percent.

Energy dissipation shall be installed at all temporary or permanent pipe outlets within 24 hours of connection to a surface water or permanent stormwater treatment system.

The Contractor shall phase construction and use construction methods to the extent practical to minimize exposed soils. The project phasing shall be documented in the Weekly Erosion and Sediment Control Schedule.

**SEDIMENT CONTROL PRACTICES**

Down gradient BMPs including perimeter BMPs must be in place before up gradient land- disturbing activities begin and shall remain in place until final stabilization.

All BMPs that have been adjusted or removed to accommodate short-term activities shall be re-installed or replaced the earlier of the end of the work day or before the next precipitation event even if the activity is not complete.

Inlet BMPs may be removed for specific safety concerns. The BMPs shall be replaced as soon as the safety concern is resolved. The removal shall be documented in the SWPPP as a SWPPP amendment.

Temporary stockpiles must have sediment control BMPs. The Contractor shall prepare and submit to the Engineer a SWPPP amendment showing the location of temporary stockpiles and the BMPs for each stockpile. The SWPPP amendment must meet the minimum requirements of Section 9 of the Permit.

Soil compaction shall be minimized and topsoil shall be preserved, unless infeasible or if construction activities dictate soil compaction or topsoil stripping.

The use of polymers, flocculants, or other sedimentation treatment chemicals are not proposed as part of this SWPPP as designed by the Engineer. If methods or phasing of construction require the use of any of these chemicals, the Contractor shall prepare and submit to the Engineer a SWPPP amendment that meets the minimum requirements of Section 9 of the Permit.

**TEMPORARY SEDIMENTATION BASINS**

A temporary sedimentation basin has not been included in this SWPPP as designed by the Engineer. If a basin is later determined to be desirable or necessary the Contractor shall prepare and submit to the Engineer a SWPPP amendment. Temporary sedimentation basins shall meet or exceed the minimum requirements of Section 14 of the Permit and shall include a basin draining plan meeting or exceeding the minimum requirements of Section 10 of the Permit. Where the site discharges to Special and/or Impaired Waters the SWPPP amendment shall also meet or exceed the minimum requirements of Section 23 of the permit.

**DEWATERING**

A dewatering plan has not been included in this SWPPP as designed by the Engineer. If dewatering is required for this project, the Contractor shall prepare and submit to the Engineer a SWPPP amendment. All dewatering shall meet or exceed the minimum requirements of Section 10 of the Permit.

**POLLUTION PREVENTION**

Products and materials that have the potential to leach pollutants that are stored on the site must be stored in a manner designed to minimize contact with stormwater. Materials that are not a source of potential contamination to stormwater or that are designed for exposure to stormwater are not required to be covered.

Hazardous materials including but not limited to pesticides, fertilizer, petroleum products, curing compounds and toxic waste must be properly stored and protected from stormwater exposure as recommended by the manufacturer in an access restricted area.

Solid waste must be stored, collected and disposed of in compliance with Minnesota Administrative Rules Chapter 7035.

Portable toilets must be positioned so that they are secure and will not be tipped or knocked over. Sanitary waste must be disposed of properly in accordance with Minn. R. CH 7041.

Exterior vehicle or equipment washing on the project site shall be limited to a defined area of the site. No engine degreasing is allowed on site. A sign must be installed adjacent to each washout facility that requires site personnel to utilize the proper facilities for disposal of concrete and other washout wastes.

The Contractor shall prepare and submit a SWPPP amendment detailing the location and BMPs proposed for storage of materials, solid waste, portable toilets, and exterior vehicle or equipment washing on the site. The SWPPP amendment shall include a spill prevention and response plan that is appropriate for the materials proposed to be on the site. The SWPPP amendment shall meet or exceed the minimum requirements of Section 12 of the Permit.

**INSPECTION & MAINTENANCE**

A trained person shall routinely inspect the entire construction site at the time interval indicated on this sheet of the SWPPP during active construction and within 24-hours after a rainfall event greater than 0.5 inches in 24 hours. Following an inspection that occurs within 24-hours after a rainfall event, the next inspection must be conducted at the time interval indicated in the Receiving Waters Table found on the SITE PLAN AND INFORMATION SHEET of the SWPPP.

All inspections and maintenance conducted during construction must be recorded on the day it is completed and must be retained with the SWPPP. Inspection report forms are available in the Project Specifications. Inspection report forms other than those provided shall be approved by the engineer.

The Contractor may request a change in inspection schedule for the following conditions:

- a. Inspections of areas with permanent cover to be reduced to once per month,
- b. Inspections of areas that have permanent cover and have had no construction activity for 12 months to be suspended until construction resumes,
- c. Inspections of areas where construction is suspended due to frozen ground conditions, inspections to be suspended until the earlier of within 24 hours of runoff occurring, or upon resuming construction.

No change in inspection schedule shall occur until authorized by the Engineer.

Inspections must include:

1. All erosion prevention and sediment control BMPs and Pollution Prevention Management Measures to ensure integrity and effectiveness.
2. Surface waters, including drainage ditches and conveyance systems for evidence of erosion and sediment deposition.
3. Construction site vehicle exit locations, streets and curb and gutter systems within and adjacent to the project for sedimentation from erosion or tracked sediment from vehicles.
4. Infiltration areas to ensure that no sediment from ongoing construction activity is reaching the infiltration area and that equipment is not being driven across the infiltration area.

All non-functioning BMPs and those BMPs where sediment reaches one-half (1/2) of the depth of the BMP, or in the case of sediment basins one-half (1/2) of the storage volume, must be repaired, replaced, or supplemented by the end of the next business day after discovery, or as soon as field conditions allow.

Permittees must repair, replace or supplement all nonfunctional BMPs with functional BMPs by the end of the next business day after discovery, or as soon as field conditions allow.

Any sediment that escapes the site must be removed and the area stabilized within 7 calendar days of discovery unless precluded by legal, regulatory, or physical access in which case the work shall be completed within 7 calendar days of authorization. Paved surfaces such as streets shall have any escaped or tracked sediment removed by the end of the day that it is discovered. Sediment release, other than paved surfaces that can be cleaned up with street sweeping shall be reported immediately upon discovery to the Engineer.

**PUBLIC WATER RESTRICTIONS:**

For public waters that have been promulgated "work in water restrictions" during fish spawning time frames, all exposed soil areas that are within 200 feet of the water's edge, and drain to these waters must complete stabilization within 24-hours during the time period. MN DNR permits are not valid for work in waters that are designated as infested waters unless accompanied by an Infested Waters Permit or written notification has been obtained from MN DNR stating that such permit is not required. There is no exception for pre-existing permits. If a MN DNR Permit has been issued for the project and the water is later designated as infested, the Contractor shall halt all work covered by the MN DNR Permit until an Infested Waters Permit is obtained or that written notification is obtained stating that such permit is not required.

**FINAL STABILIZATION**

Final Stabilization is not complete until all the following requirements have been met:

1. Substantial Completion has been reached and no ground disturbing activities are anticipated.
2. Permanent cover has been installed with an established minimum uniform perennial vegetation density of 70 percent of its expected final growth. Vegetation is not required in areas where no vegetation is proposed by this project such as impervious surfaces or the base of a sand filter.

3. Accumulated sediment has been removed from all permanent stormwater treatment systems as necessary to ensure the system is operating as designed.
4. All sediment has been removed from conveyance systems
5. All temporary synthetic erosion prevention and sediment control BMPs have been removed. BMPs designated on the SWPPP to remain to decompose on-site may remain.
6. For residential construction only, permit coverage terminates on individual lots if the structures are finished and temporary erosion prevention and downgradient perimeter control is complete, the residence sells to the homeowner, and the permittee distributes the MPCA's "Homeowner Fact Sheet" to the homeowner.
7. For agricultural land only (e.g., pipelines across cropland), the disturbed land must be returned to its preconstruction agricultural use prior to submitting the NOT.

**SITE STABILIZATION COMPLETION:**

Stabilization of exposed soils shall begin immediately and shall be completed after the construction activity has temporarily or permanently ceased no later than:	7 calendar days
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**SITE INSPECTION INTERVAL:**

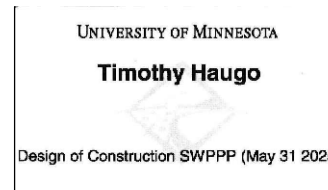
A trained person shall routinely inspect the entire construction site during active construction at an interval of no more than:	7 calendar days
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**SPECIAL ENVIRONMENTAL CONSIDERATIONS AND PERMITS:**

1) Was an environmental review required for this project or any part of a common plan of development or sale that includes all or any portion of this project?	NO
2) Does any portion of the site have the potential to affect threatened or endangered species or their critical habitat?	NO
3) Does any portion of this site discharge to a Calcareous fen.	NO
4) Will any portion of the site potentially affect properties listed on the National Register of Historic Places or a known or discovered archeological site?	NO
5) Have any Karst features been identified in the project vicinity?	NO
6) Is compliance with temporary or permanent stormwater management design requirements infeasible for this project?	NO
7) Has the MN DNR promulgated "work in water restrictions" for any Public Water this site discharges to during fish spawning?	NO

TYPE OF PERMIT	PERMITTING AGENCY	PERMIT STATUS AND CONDITIONS
Construction Stormwater NPDES	MPCA	Contractor Obtained
Watershed	LRRWMO	In Progress
Dewatering	MnDNR	Contractor Obtained

**SWPPP DESIGNER TRAINING DOCUMENTATION:**



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CITY OF RAMSEY, MINNESOTA  
 RIVERS BEND REGIONAL STORMWATER IMPROVEMENTS  
 STORM WATER POLLUTION PREVENTION NARRATIVE

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**LEGEND**

-  PROJECT BOUNDARY
-  SOIL TYPE
-  STEEP SLOPES (>33.3%)



**SOIL TYPE SUMMARY**

Map Unit Symbol	Soil Name	Hyd. Soil Group
Ba	Becker	B
DnA	Dickman	A
NyC	Nymore	A

- NHEL - Not Highly Erodible Land
- PHEL - Potentially Highly Erodible Land
- HEL - Highly Erodible Land

**LOCATION OF SWPPP REQUIREMENTS IN PROJECT PLAN**

DESCRIPTION	SHEET NO.
SITE MAP	8
DIRECTION OF FLOW	8
FINAL STABILIZATION	8
SOILS	10
DRAINAGE STRUCTURES	11
STORM SEWER PLAN & PROFILE SHEETS	12
EROSION & SEDIMENT CONTROL DETAILS	8
NARRATIVE & NOTES	9

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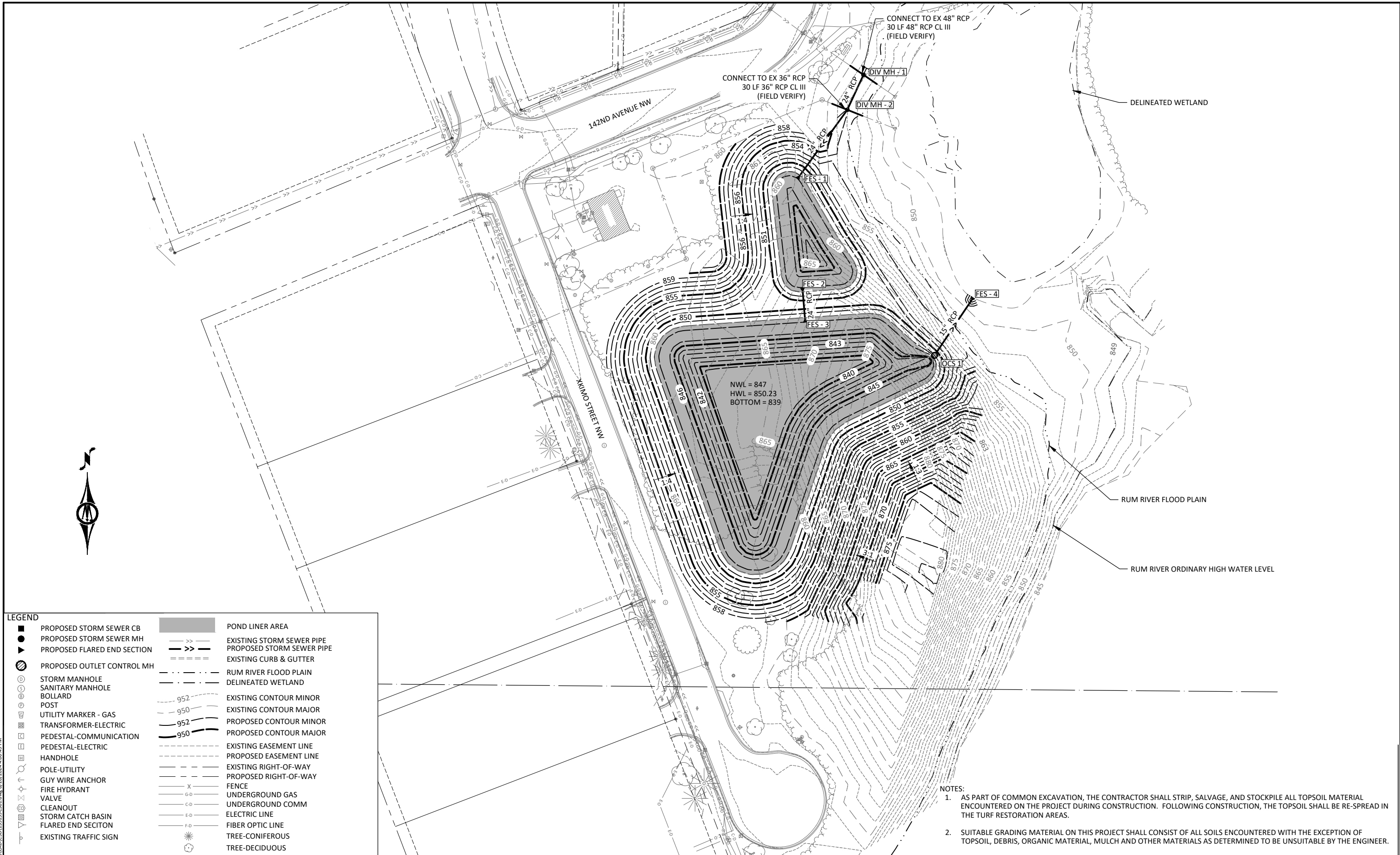
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CITY OF RAMSEY, MINNESOTA  
 RIVERS BEND REGIONAL STORMWATER IMPROVEMENTS  
 STORM WATER POLLUTION PREVENTION SOILS



**LEGEND**

■	PROPOSED STORM SEWER CB	▨	POND LINER AREA
●	PROPOSED STORM SEWER MH	— >> —	EXISTING STORM SEWER PIPE
▼	PROPOSED FLARED END SECTION	— >> —	PROPOSED STORM SEWER PIPE
○	PROPOSED OUTLET CONTROL MH	— >> —	EXISTING CURB & GUTTER
○	STORM MANHOLE	---	RUM RIVER FLOOD PLAIN
○	SANITARY MANHOLE	---	DELINEATED WETLAND
○	BOLLARD	---	EXISTING CONTOUR MINOR
○	POST	---	EXISTING CONTOUR MAJOR
○	UTILITY MARKER - GAS	---	PROPOSED CONTOUR MINOR
○	TRANSFORMER-ELECTRIC	---	PROPOSED CONTOUR MAJOR
○	PEDESTAL-COMMUNICATION	---	EXISTING EASEMENT LINE
○	PEDESTAL-ELECTRIC	---	PROPOSED EASEMENT LINE
○	HANDHOLE	---	EXISTING RIGHT-OF-WAY
○	POLE-UTILITY	---	PROPOSED RIGHT-OF-WAY
○	GUY WIRE ANCHOR	X	FENCE
○	FIRE HYDRANT	G-D	UNDERGROUND GAS
○	VALVE	C-D	UNDERGROUND COMM
○	CLEANOUT	E-D	ELECTRIC LINE
○	STORM CATCH BASIN	F-D	FIBER OPTIC LINE
○	FLARED END SECTION	☀	TREE-CONIFEROUS
○	EXISTING TRAFFIC SIGN	☺	TREE-DECIDUOUS

**NOTES:**

- AS PART OF COMMON EXCAVATION, THE CONTRACTOR SHALL STRIP, SALVAGE, AND STOCKPILE ALL TOPSOIL MATERIAL ENCOUNTERED ON THE PROJECT DURING CONSTRUCTION. FOLLOWING CONSTRUCTION, THE TOPSOIL SHALL BE RE-SPREAD IN THE TURF RESTORATION AREAS.
- SUITABLE GRADING MATERIAL ON THIS PROJECT SHALL CONSIST OF ALL SOILS ENCOUNTERED WITH THE EXCEPTION OF TOPSOIL, DEBRIS, ORGANIC MATERIAL, MULCH AND OTHER MATERIALS AS DETERMINED TO BE UNSUITABLE BY THE ENGINEER.

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I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Kevin P. Kielb*  
 KEVIN P. KIELB  
 LIC. NO. 23211 DATE 8/20/2024



7533 SUNWOOD DR NW, SUITE 206  
 RAMSEY, MN 55303  
 Phone: (763) 433-2851  
 Email: Ramsey@bolton-menk.com  
 www.bolton-menk.com



DESIGNED	NO.	ISSUED FOR	DATE
ZFL			
DRAWN			
TJH			
CHECKED			
KPK			
CLIENT PROJ. NO.			
CP-25-01			

<b>CITY OF RAMSEY, MINNESOTA</b>		SHEET 11 OF 12
RIVERS BEND REGIONAL STORMWATER IMPROVEMENTS		
GRADING PLANS		





Real People. Real Solutions.

7533 Sunwood Drive NW  
Suite 206  
Ramsey, MN 55303-5119

Ph: (763) 433-2851  
Fax: (763) 427-0833  
Bolton-Menk.com

September 12, 2024

Bruce Westby, P.E.  
City Engineer/Public Works Director  
City of Ramsey  
7550 Sunwood Drive NW  
Ramsey, MN 55303

RE: Proposal for CP 25-01 - Rivers Bend Park Pond Modification Construction Services

Dear Mr. Westby:

We appreciate the opportunity to assist the City of Ramsey with construction services related to the Rivers Bend Park pond.

#### **SCOPE OF WORK**

Our proposed services will be as described below:

**Contract Preparation** – Assist with Notice of Award, Contracts, and Notice to Proceed. Prepare sets of contract documents (plans and specifications) for City and Contractor.

**Pre-Construction Conference** – Attend Pre-Construction Conference to address questions that may arise related to project design or construction staking.

**Shop Drawing / Submittal Review** – Review submittals for key project components.

**Construction Staking** – Includes the following:

- Staking Calculations and Preparation of Data,
- Establishing Survey Control,
- Staking of Erosion Control and Removals,
- Staking of Storm Sewer, including Flared End Sections,
- Staking Right-of-Way, and
- Staking Pond Grading.

**Pay Application Assistance** – Work with City and Contractor to complete payment documents.

**As-Built Survey and Record Drawings** – Survey key project components after completion of construction and prepare of Record Drawings.

**Construction Revisions and Plan Updates** – To be performed as needed during construction. We have assumed a total of 16 hours for this task.

We have attached a fee spreadsheet depicting hours, rates, and total compensation on a per task basis. Our proposed Not-To-Exceed fees for the work are \$53,699.00.

**PROPOSED FEES**

Bolton & Menk proposes to perform the services on a not-to-exceed amount, based on the estimated fees per task in the table below:

<b><u>Task</u></b>	<b><u>Fees</u></b>
Contract Preparation	\$ 963
Pre-Construction Conference	\$ 1,059
Shop Drawing/Submittal Reviews	\$ 1,493
Construction Staking	\$ 4,206
Pay Application Assistance	\$ 2,088
Record Drawings, with Survey	\$ 2,805
Plan Revisions, if Needed	\$ 2,626
<b>Total Fees</b>	<b>\$15,240</b>

The fees listed above are estimates based on each task. The actual fees required for each task may vary, however, the total amount of \$15,240 is considered a Not-to-Exceed amount.

**SCHEDULE**

We are prepared to begin services immediately after authorization from the City is received.

If there are any questions, please call me at (651) 968-7760.

Sincerely,

**BOLTON & MENK, INC.**



Kevin P. Kielb, P.E.  
Principal Engineer



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Ramsey, MN 55303-5119

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Fax: (763) 427-0833  
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### MEMORANDUM

**Date:** September 6, 2024  
**To:** Bruce Westby, P.E., City Engineer / Director of Public Works  
**From:** Kevin Kielb, P.E., Principal Engineer  
**Subject:** Bid Results and Recommendation  
River’s Bend Regional Storm Water Improvements  
City Project No: 25-01

Five bids were received for the Rivers Bend Storm Water Improvement Project (City Project #25-01). The bids were read aloud at 10:00 AM on September 6, 2024. The bids were then reviewed, tabulated and the results are summarized below:

CONTRACTOR	BASE BID	ADD ALTERNATE	BASE BID PLUS ADD ALT
Douglas-Kerr Underground, L.L.C	\$899,653.30	\$0.01	\$899,653.31
Rachel Contracting, LLC	\$999,548.00	\$16,900.00	\$1,016,448.00
Peterson Companies	\$1,009,679.76	\$0.00	\$1,009,679.76
U.S. SiteWork, Inc.	\$1,254,337.00	\$22,160.00	\$1,276,497.00
New Look Contracting, Inc.	\$1,546,189.50	\$15,000.00	\$1,561,189.50
Engineer's Estimate	\$1,169,370.00	\$95,000.00	\$1,264,370.00

We reviewed Douglas-Kerr Underground, L.L.C’s unit prices and compared them to the Engineer's Estimate and other bids received. While differences were noted in individual bid items, our opinion is that the bid is responsive and not materially unbalanced.

If the City of Ramsey decides to award the project to the low bidder, we recommend awarding the contract to Douglas-Kerr Underground, L.L.C.

If you have any questions, please contact me at (651) 968-7760.

CC Regular Session New

Meeting Date:

09/24/2024

Primary Strategic Plan Initiative:

Promote economic growth and development.

**Title:**

Adopt Ordinance #24-11 Authorizing the City of Ramsey to Sell Fourteen (14) Parcels of Real Property

**Purpose/Background:**

As required by the City Charter, the City must pass an ordinance to declare and sell surplus City owned land. The purpose of this case is to introduce an ordinance to sell property owned by the City, held for the Right-of-Way Acquisition Loan Fund (RALF), as surplus City owned land, no longer needed for current or future City functions or Right of Way for the Ramsey Gateway Highway 10 Project, The total number of parcels available for sale is fourteen (14). These parcels will be marketed/sold after completion of the Ramsey Gateway Hwy 10 Project or authorization by the RALF program.

**Notification:**

The draft Ordinance will be posted at City Hall from September 10th- September 25th and published in the Anoka Union Herald Newspaper on September 27th, if adopted.

**Time Frame/Observations/Alternatives:**

City Charter requires the City Council to introduce and ultimately adopt the attached Ordinance #24-11 authorizing the City of Ramsey to sell/convey fourteen (14) parcels of real property. This ordinance was introduced at the September 10, 2024 City Council Meeting but formal adoption of the ordinance is required at this meeting per the City Charter.

Alternatives to consider:

1. Approval of the ordinance as presented by staff.
2. Make modifications to the ordinance.
3. Recommend denial of the ordinance.

**Funding Source:**

This action is covered under normal staff duties.

**Recommendation:**

Motion to adopt attached Ordinance #24-11 authorizing the City of Ramsey to sell/convey fourteen (14) parcels of real property

**Outcome/Action:**

Motion to waive the City Charter requirement to read the ordinance aloud and to adopt Ordinance #24-11 authorizing the City of Ramsey to sell/convey fourteen (14) parcels of real property.

*Roll Call Vote:*

- Councilmember Olson*
- Councilmember Woestehoff*
- Councilmember Specht*
- Councilmember Musgrove*
- Councilmember Howell*
- Councilmember Riley*
- Mayor Kuzma*

**Attachments**

ACTION - ADOPT Ordinance #24-11

**Form Review**

**Inbox**

Brian Hagen  
Form Started By: Sean Sullivan  
Final Approval Date: 09/19/2024

**Reviewed By**

Brian Hagen

**Date**

09/19/2024 12:27 PM  
Started On: 09/12/2024 09:23 AM

**ORDINANCE #24-11**

**CITY OF RAMSEY  
ANOKA COUNTY  
STATE OF  
MINNESOTA**

**AN ORDINANCE AUTHORIZING THE CITY OF RAMSEY TO  
SELL/CONVEY FOURTEEN (14) PARCELS OF REAL PROPERTY.**

The City of Ramsey Ordains:

**SECTION 1. PURPOSE**

It is the purpose of this Ordinance to authorize the City of Ramsey to convey certain real property which the City Council has determined is no longer necessary for the City's purposes. This Ordinance is adopted pursuant to and under the authority of Section 12.5 of the City Charter.

**SECTION 2. SALE/CONVEYANCE AUTHORIZATION**

The City Council hereby declares the following described real" property owned by the City, held for the Right-of-Way Acquisition Loan Fund (RALF), as surplus City owned land, no longer needed for current or future City functions or Right of Way for the Ramsey Gateway Highway 10 Project, and authorizes said property to be marketed for sale and conveyed/sold:

<b>Property ID</b>	<b>Address or Nearby Roadway</b>	<b>General Description</b>
28-32-25-43-0002	7443 Hwy 10 NW	Pt Lot 2, and Lot 3, Auditors Subdivision No. 34
34-32-25-22-0007	7039 Hwy 10 NW	Lot 2, Block 1, Kovar Addition
34-32-25-22-0009	XXXX Hwy 10 NW	Lot 4, Block 1, Kovar Addition
34-32-25-21-0103	XXXX Hwy 10 NW	Tract A, Registered Land Survey No. 249
34-32-25-21-0008	6745 Hwy 10 NW	Lot 2, Block 1, Deal Industrial Park
34-32-25-12-0009	6701 Hwy 10 NW	Lot 3, Block 1, Deal Industrial Park
34-32-25-12-0010	XXXX Hwy 10 NW	Outlot A, Deal Industrial Park
34-32-25-12-0013	6549 Hwy 10 NW FKA 6615	Lot 6 and Lot 7, Aud. Subdivision No. 30
35-32-25-23-0006	6201 Hwy 10 NW	Pt. of Lots 17 and 19 Aud. Subdivision No. 96
35-32-25-24-0001	XXXX Hwy 10 NW	Part of Lot 19, Auditors Subdivision No. 96
35-32-25-31-0007	6159 Hwy 10 NW	Part of Lot 17, Auditors Subdivision No. 96
35-32-25-31-0024	XXXX Hwy 10 NW	Tract C, Registered Land Survey No. 151
35-32-25-31-0027	6101 Hwy 10 NW	Lot 3, Block 1, Guy Addition
35-32-25-31-0028	6101 Hwy 10 NW	Lot 4, Block 1, Guy Addition

**SECTION 3. TERMS OF SALE/CONVEYANCE**

The City Council shall establish sale/conveyance terms and conditions in the future, at the time of purchase agreement negotiation, for each individual parcel identified in Section 2 of this Ordinance.

**SECTION 4. EFFECTIVE DATE**

This Ordinance becomes effective upon its passage and thirty (30) days after its publication according to law, subject to City Charter Provision, Section 5.7.

**PASSED** by the City Council of the City of Ramsey, Minnesota, the 24<sup>th</sup> day of September, 2024

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
City Clerk

Introduction date: September 10, 2024  
Posting dates: September 10, 2024 – September 25, 2024  
Adoption date: September 24, 2024  
Publication date: September 27, 2024  
Effective date: October 27, 2024