

**City of Ramsey**  
**Agenda**  
**City Council Work Session**  
**Tuesday, April 9, 2024**

**5:30 pm**  
**Lake Itasca Room, 7550 Sunwood Drive NW**

Remote Attendance available at [www.cityoframsey.com/meetings](http://www.cityoframsey.com/meetings).  
Those joining remotely and requesting to speak are asked to use a webcam when speaking.

**1. Call to Order**

**2. Topics for Discussion**

1. The Waterfront - Community Building Operations Forecast and Planning Status
2. Old Town Hall Discussion - 50th Anniversary

**3. Topics for Future Discussion**

1. Review Future Topics/Calendar

**4. Mayor/Council/Staff Input**

**5. Adjournment\***

**\*Note: the City Council may motion to recess this Work Session meeting and reconvene after the regular City Council meeting if items on the agenda are not completed.**

**CC Work Session****Meeting Date:** 04/09/2024**Primary Strategic Plan Initiative:** Promote economic growth and development.**Information****Title:**

The Waterfront - Community Building Operations Forecast and Planning Status

**Purpose/Background:****Background**

As part of the city's community park system planning, a water-centric park known as The Waterfront has been envisioned for more than a decade in Ramsey's downtown. In 2023, the mass grading for the park was completed as part of the preparation of pad-ready development of the entire northwest quadrant of The COR. Presently, the city is Advertising for Bids for a trail that will circumnavigate the 7-acre pond and connect the park to the adjoining residential areas and larger community. Throughout and during the last 10 years of planning for the park, city leaders have simultaneously heard a common refrain from many residents that they desire more family destinations, more restaurants, a 'splash pad' and a community center. These resident propositions have most recently coalesced as a proposed project that would address those aspirations.

Over the last year, the Park & Recreation Commission performed a detailed analysis of how a park building could best serve the community— this process resulted in a concept for an approximate 36,000 gross square foot two-story building, consisting of mass timber construction; and including dining, balcony, patio and beer garden, fitness, large indoor play area, and banquet space. The proposed structure with indoor and outdoor program areas is essentially a modern community center, with outdoor water-play elements replacing a traditional public swimming pool.

**Purpose**

This work session is an opportunity for the Council to have a broad discussion on the value to the entire community The Waterfront project may represent—and, also to explore some of the operational considerations for the project as well as desired next steps. Essentially, the goal or outcome would be to inform staff on whether to 'pump the brakes' or 'step on the gas' so-to-speak, relative to the overall project.

If desired, and utilized by other cities, the city could place a question on the November General Election Ballot to gauge the public's interest. General support of this project has been expressed through various avenues in the past, including the community survey. A ballot question this year could generate a larger response rate on the project due to it being a presidential election year that will generate higher voter turnout. Leading up to a ballot question, the city should prepare information on the project to include amenities and financial impact to the properties. This could be shared through a webpage, social media, handouts at events and the Ramsey Resident.

**Notification:**

A Public Hearing was conducted in December 2023 on the city-wide Capital Improvement Plan, and park improvements in Ramsey's downtown were identified as a proposed 2024 project.

**Time Frame/Observations/Alternatives:**

## **Observations**

As declared above, planning for The Waterfront has occurred over many years and with significant public input—and accordingly, the form, function, utility and scope of the concept plans for the community building and water play area are well-aligned to serve residents' needs. In light of this, and as the city nears the build-out of the Center of Ramsey, it is prudent to move forward with the project at this time—or, make a deliberate decision to pause the planning for a period of time, *or* to proceed with finite steps. For the work session discussion, Morrissey Hospitality will have representatives present to provide insights into the operations side of a venue that the concept plan represents. (Morrissey Hospitality provides management services for the city of Coon Rapids' Bunker Hills Activity Center as one example.) Additionally, Greg Houck, Principal with the Architectural firm Cuningham, will be in attendance. Cuningham worked with the city to bring the ideas and goals for the community building into the present concept design. They also just completed a very similar project for the city of Minneapolis with the Bde Maka Ska rebuild on that city's lake front.

## **Timeframe**

One hour is expected to be required to highlight the background and context of this project, and review operational aspects of community building.

## **Funding Source:**

The capital cost for constructing the proposed community building and water play area is estimated at +/- \$20M and the funding source(s) has not been specified at this time. However, around >\$3M could be from the Park Trust Fund, which would approximate the development fees (Park Dedication) that have been received from private development projects within The COR in recent years, since the \$3M construction of The Draw park & amphitheater.

The remaining balance of \$17M would require the issuance of a bond. Annual debt service on this amount over a 20-year term would be approximately \$1.325M. In the past, a lease revenue bond was referenced as an option. Unfortunately, that is not the case. Staff is seeking input as to what bond would apply to this project. In general, the bond would be required to be guaranteed by tax levy. As part of the city's overall levy calculation, we would be able to budget for revenue from this site. Staff will come to the meeting with more information on what this project could generate for revenue.

## **Recommendation:**

Staff requests the Council provide direction on the desired next steps for the proposed Waterfront project; which may include Schematic Design for the community building and water play area to determine probable construction costs, as well as organizing funding options for this prominent and valuable investment for the community.

## **Outcome/Action:**

Consensus direction on the scope and planning timeline for the build-out of The Waterfront project.

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## **Attachments**

Community building program  
Building program description  
splash pad planning  
Illustrative Plan View  
Architect portfolio  
Restaurant Operations Pro Forma  
2024 CIP worksheet  
CIP worksheet

## **Form Review**

**Inbox**

Bruce Westby

Brian Hagen

Form Started By: Mark Riverblood

Final Approval Date: 04/04/2024

**Reviewed By**

Bruce Westby

Brian Hagen

**Date**

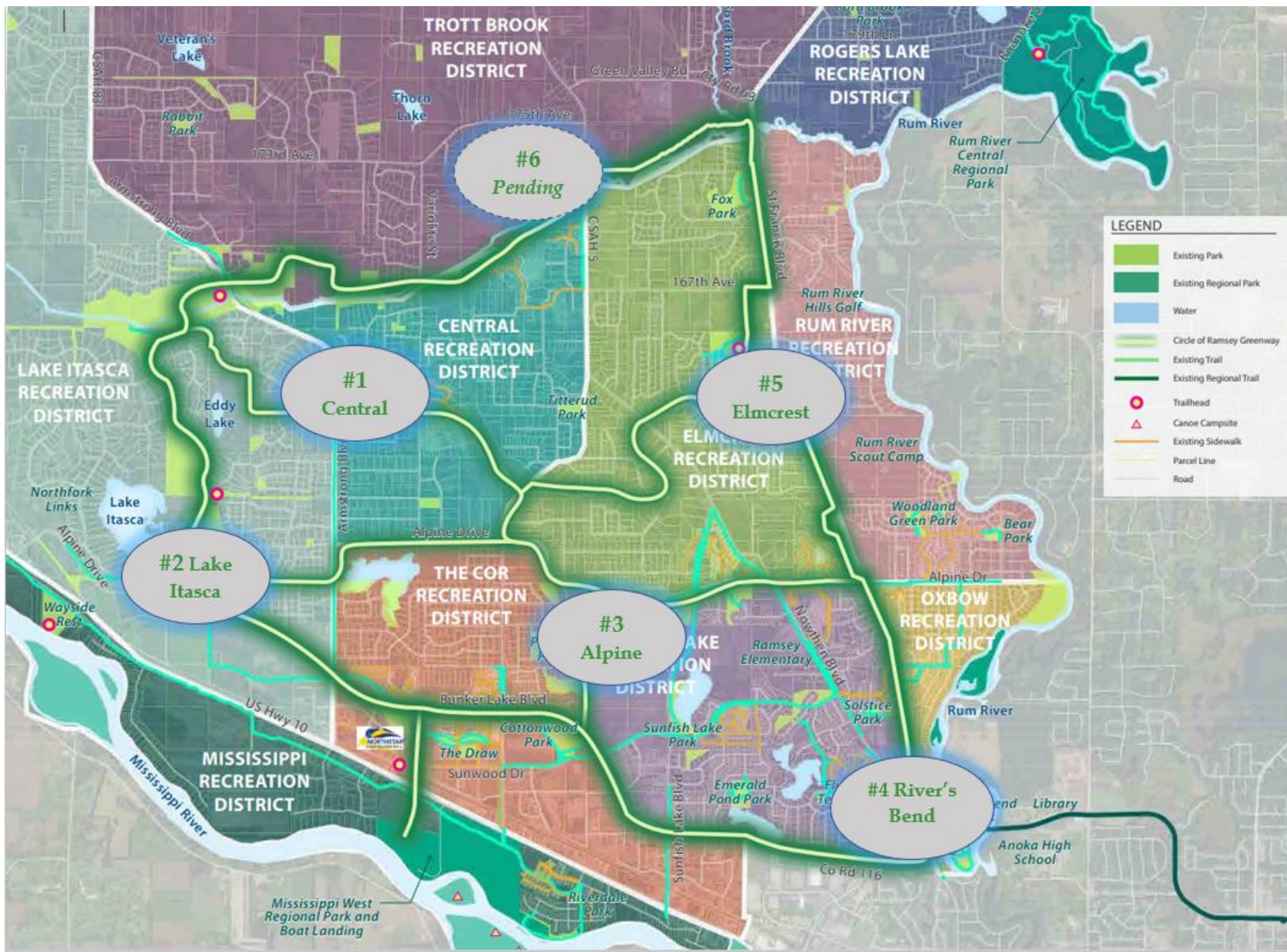
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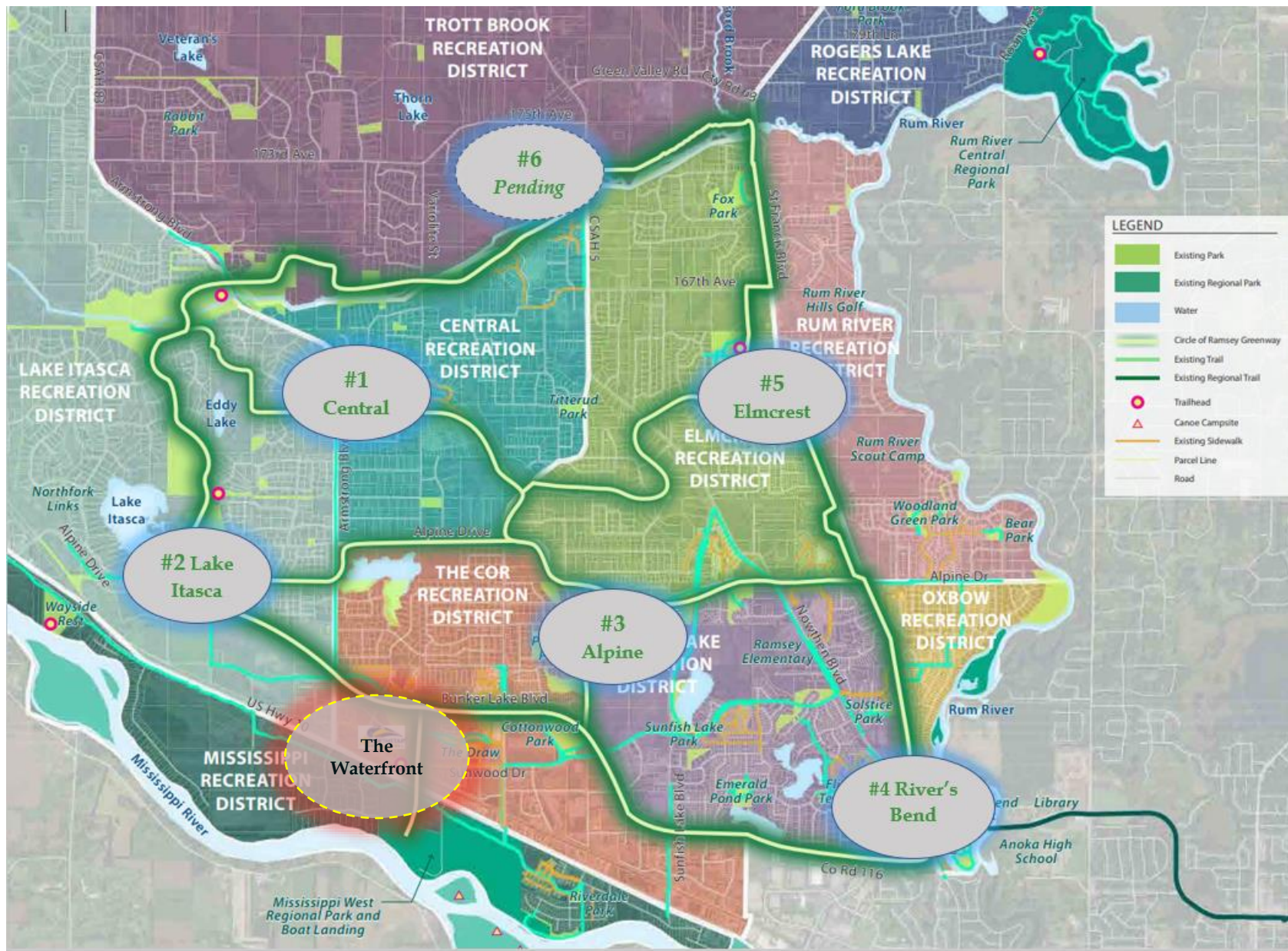
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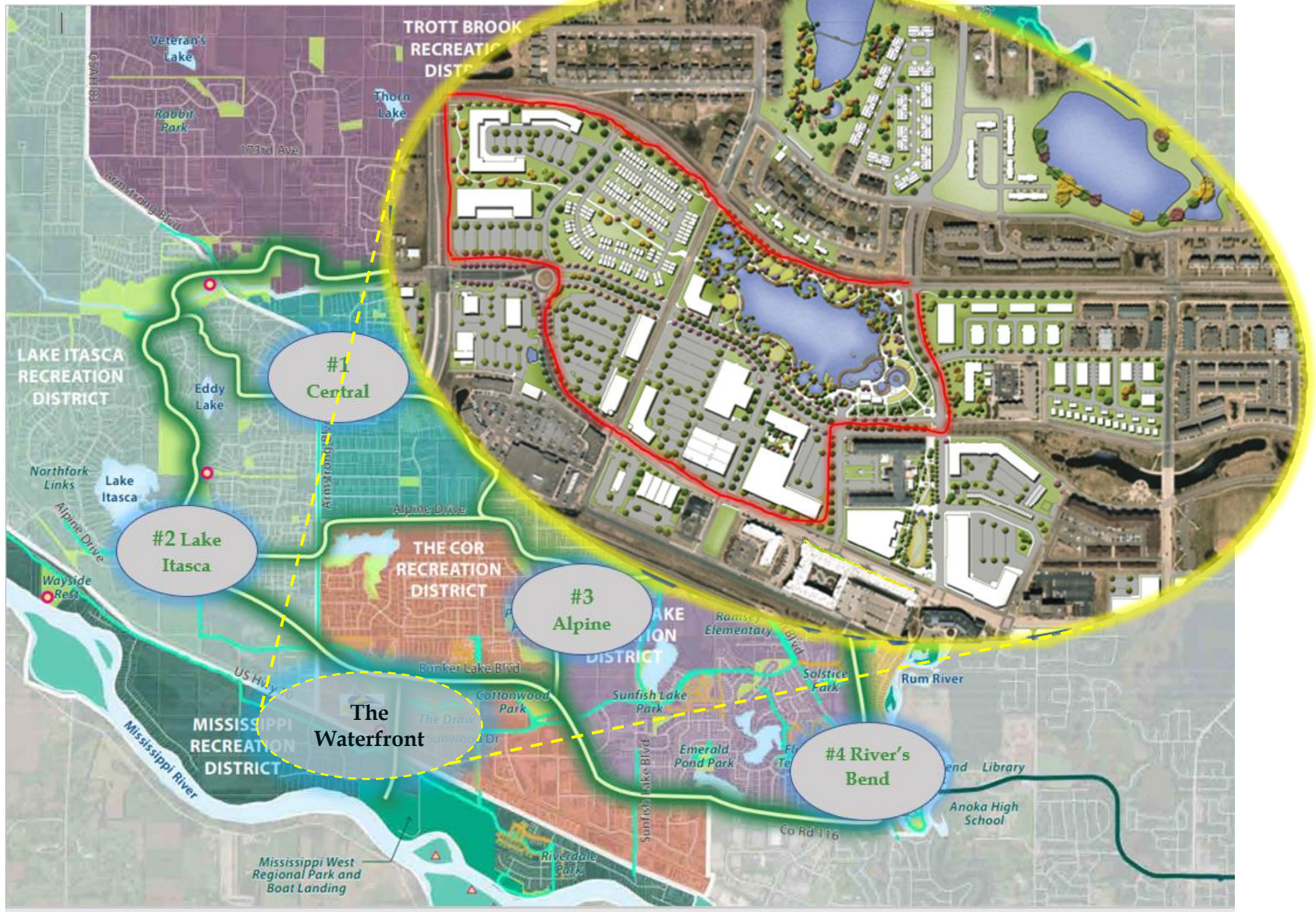
# THE WATERFRONT - STATUS OF COMMUNITY BUILDING/SPLASH PAD PLANNING

PRELIMINARY PLANNING BY:  
**CUNINGHAM GROUP ARCHITECTURE**  
**JACOBSON LANDSCAPE ARCHITECTURE**

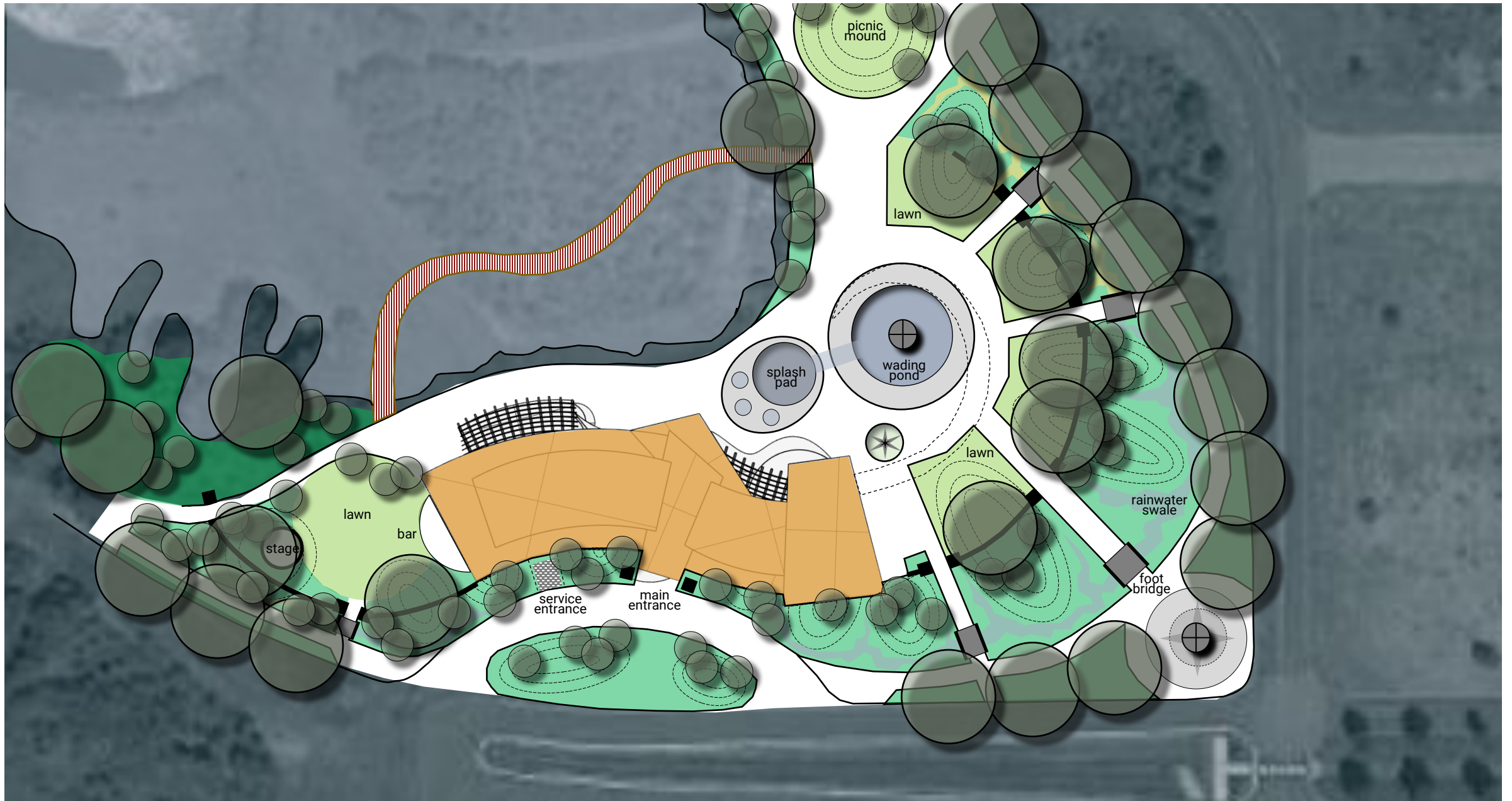




**Ramsey Waterfront Community Building**  
Community Park Distribution Map



**Ramsey Waterfront Community Building**  
Community Park Distribution Map



**Ramsey Waterfront Community Building**  
Landscape

GRADING FOR AESTHETICS



GRADING FOR STORMWATER



LIGHTING EFFECTS



SHORELINE TREATMENT



OPEN SAVANA CHARACTER



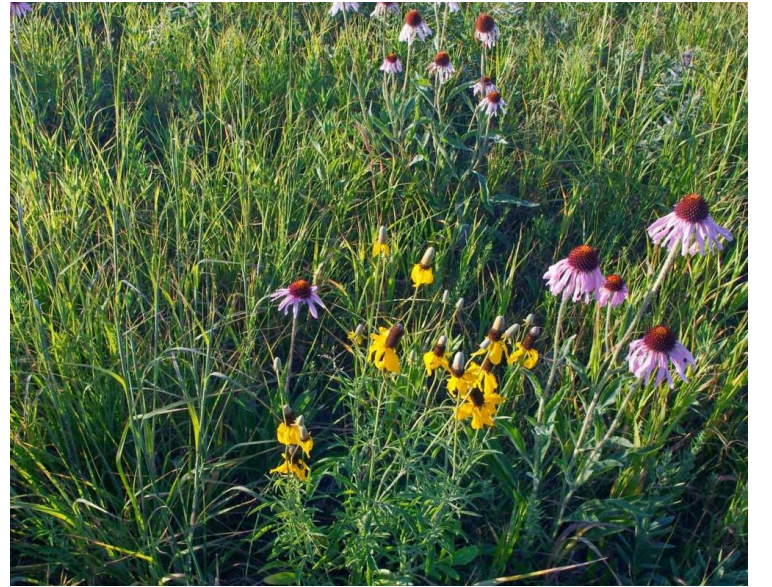
MULTI-TRUNK UNDERSTORY



BEE-FRIENDLY LAWN



SHORT-GRASS PRAIRIE



BOARDWALK



WADING POND



OUTDOOR HEARTH

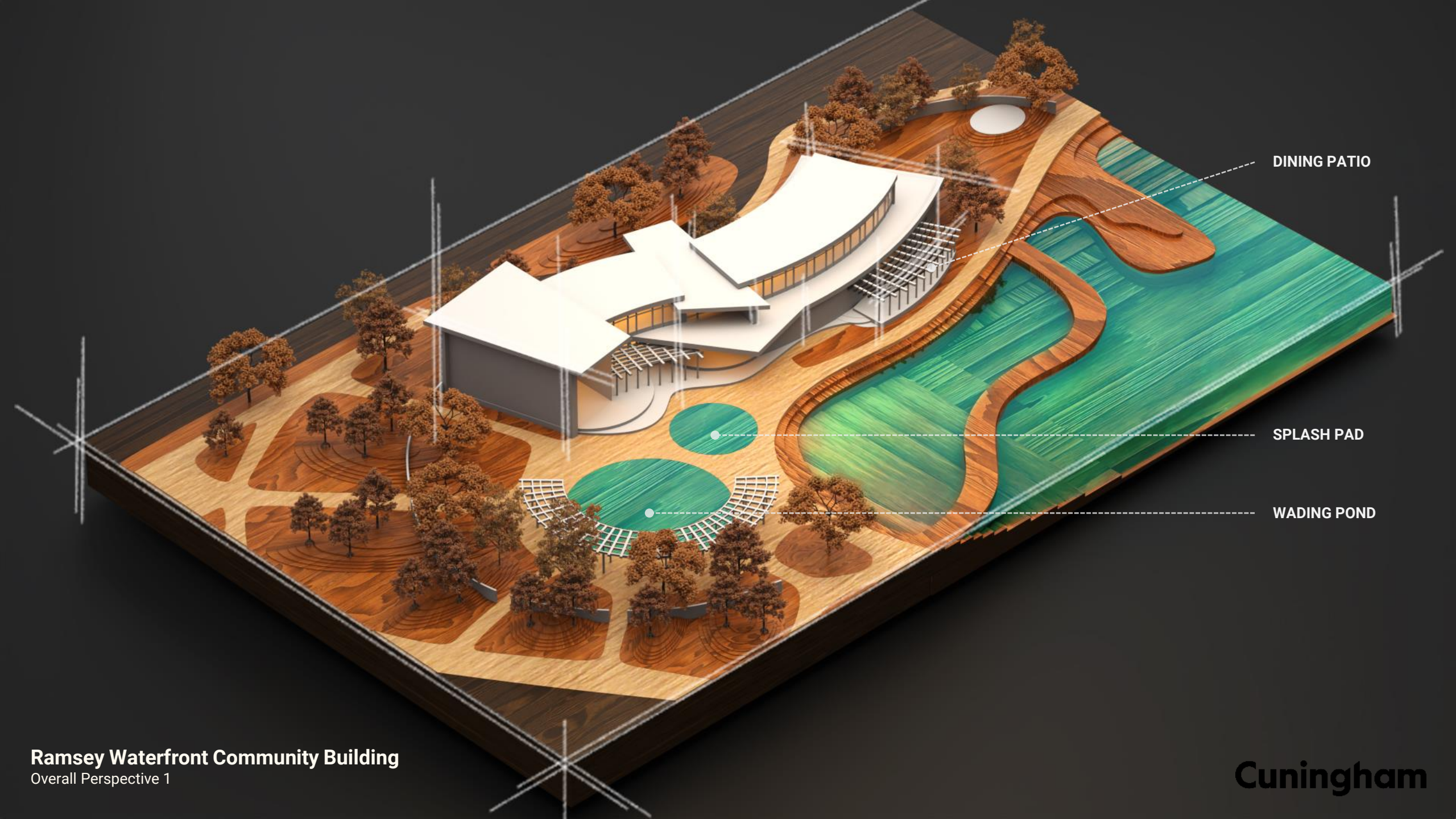


OUTDOOR GAME AREA



OUTDOOR GAME AREA





DINING PATIO

SPLASH PAD

WADING POND

**Ramsey Waterfront Community Building**  
Overall Perspective 1



WADING POND

SPLASH PAD

BAR PATIO

**Ramsey Waterfront Community Building**  
Overall Perspective 2



**Ramsey Waterfront Community Building**  
Floor Plan – Ground Floor

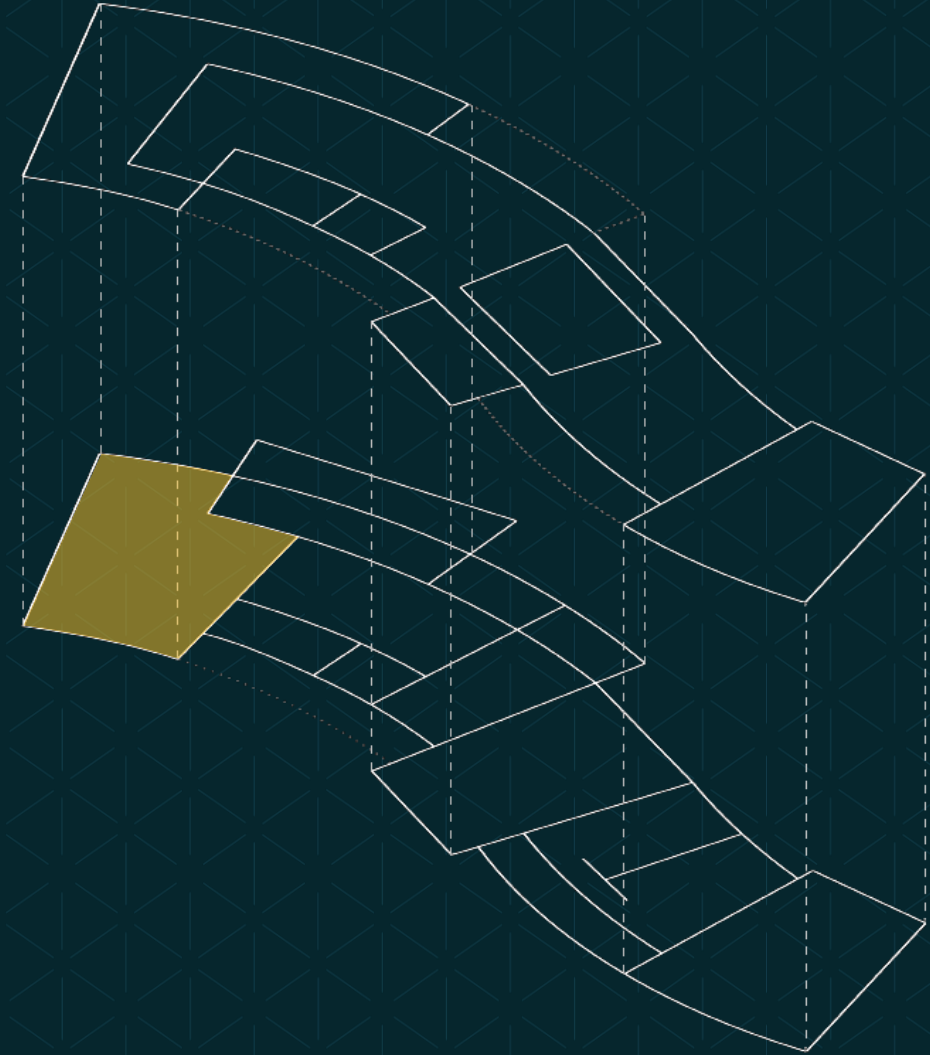


**Ramsey Waterfront Community Building**  
Floor Plan - Second Level

# DINING



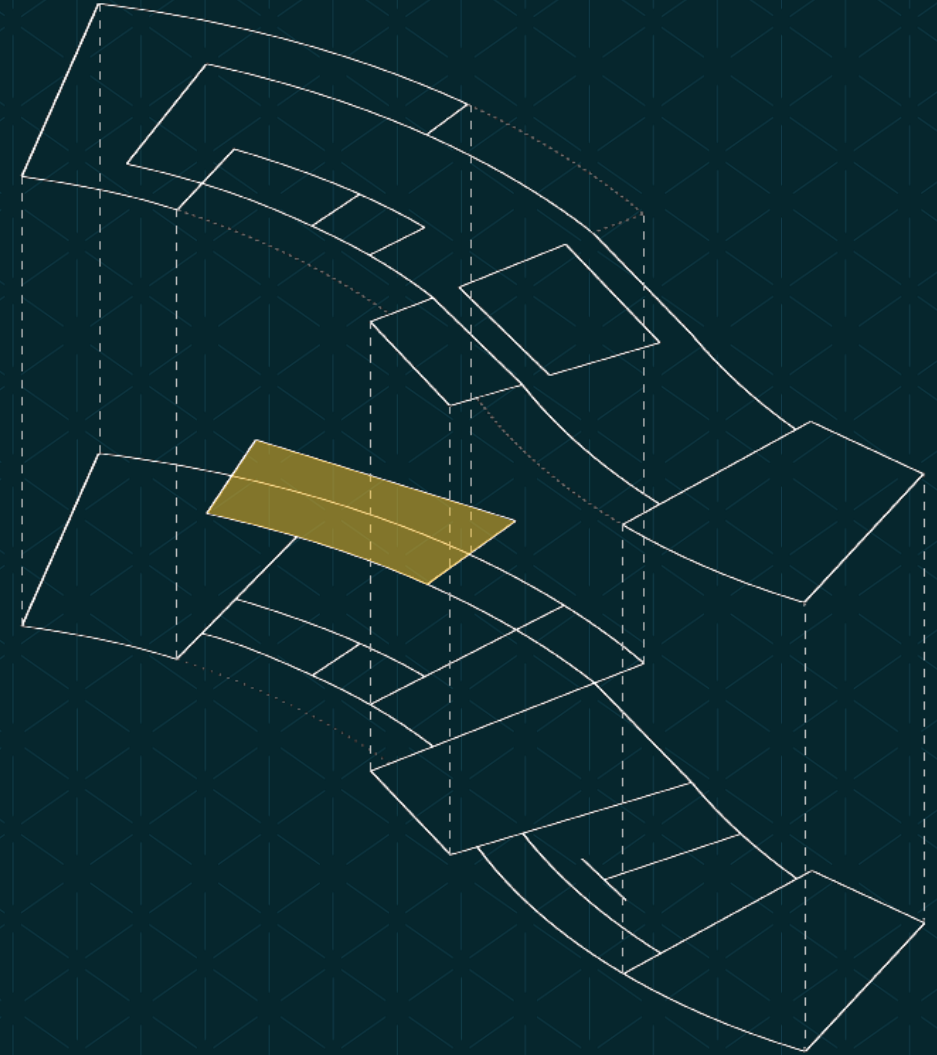
**Ramsey Waterfront Community Building**  
Program



# DINING PATIO



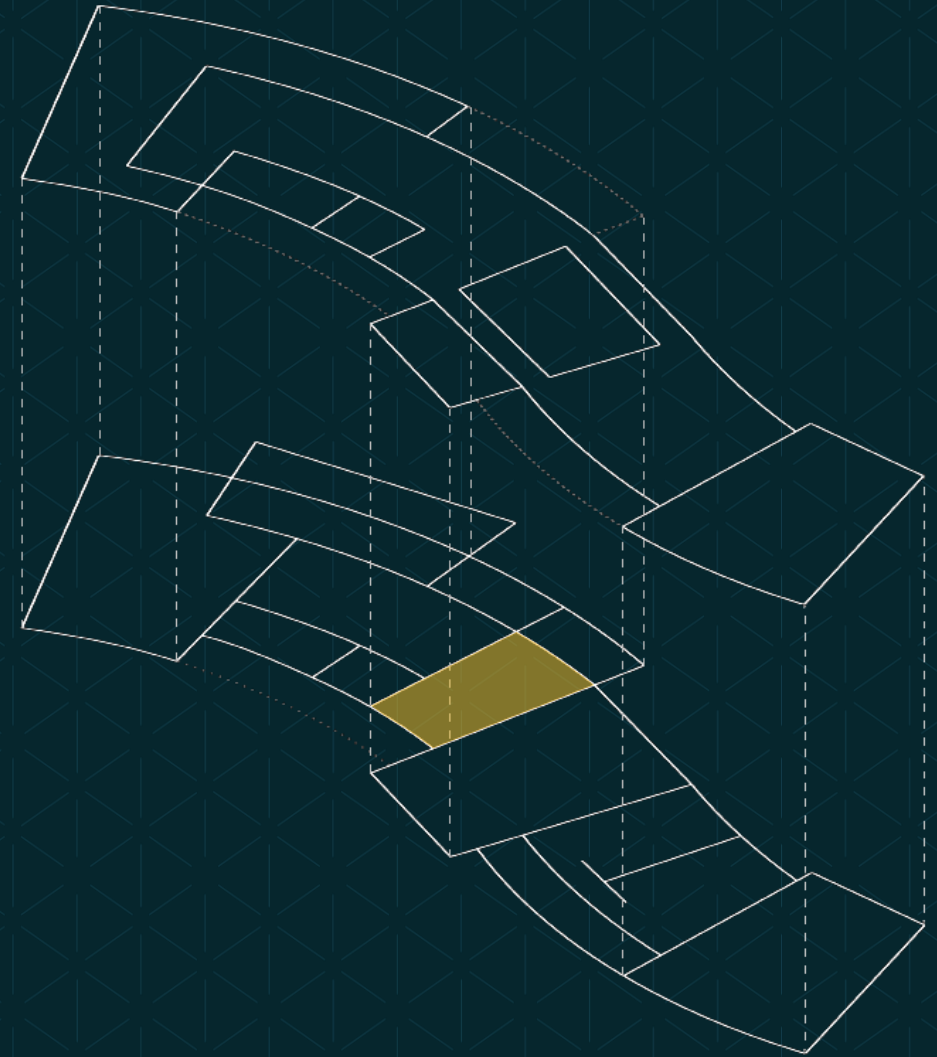
**Ramsey Waterfront Community Building**  
Program



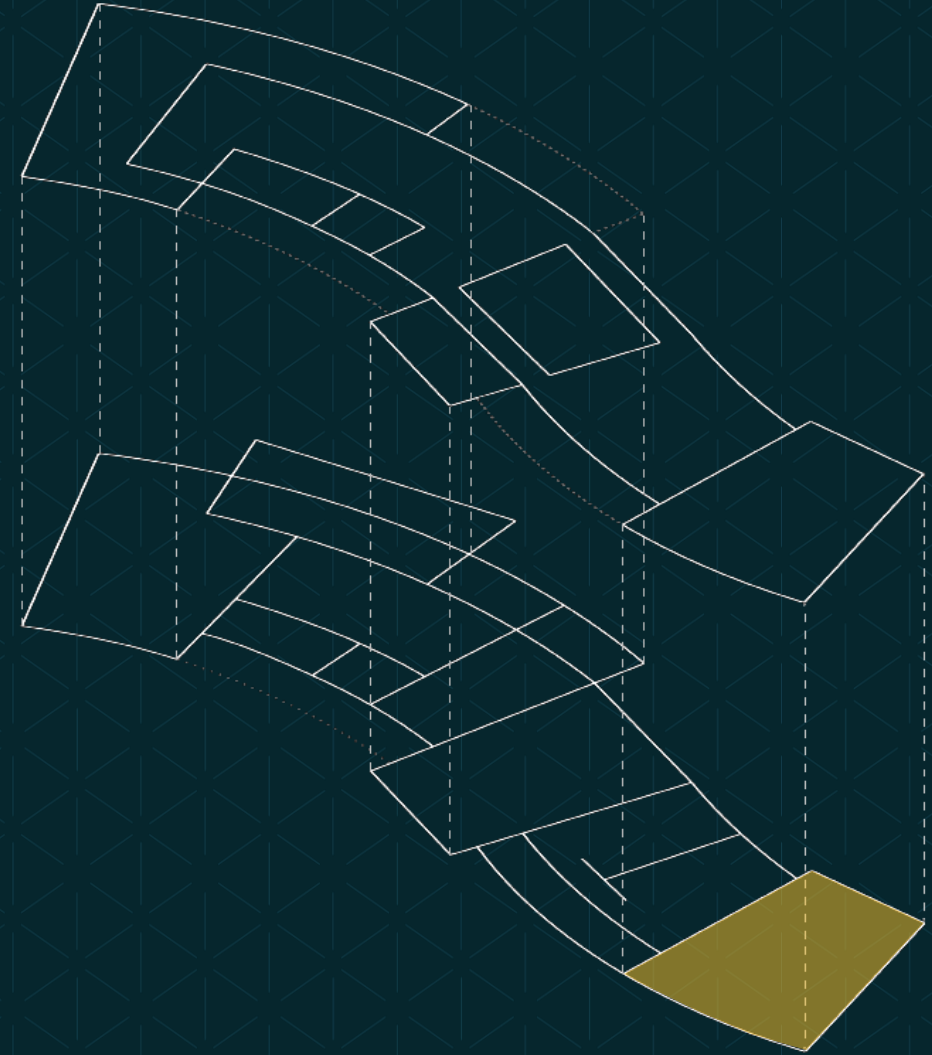
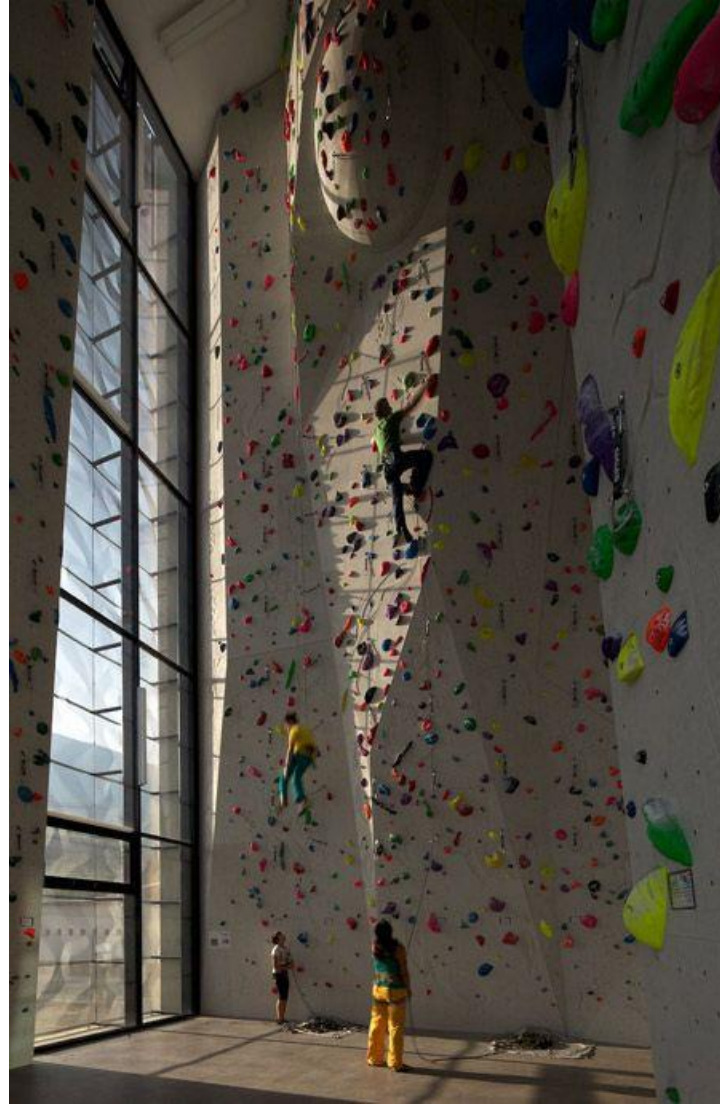
# YOGA/BALLET/FITNESS



**Ramsey Waterfront Community Building**  
Program



# INDOOR PLAY AREA

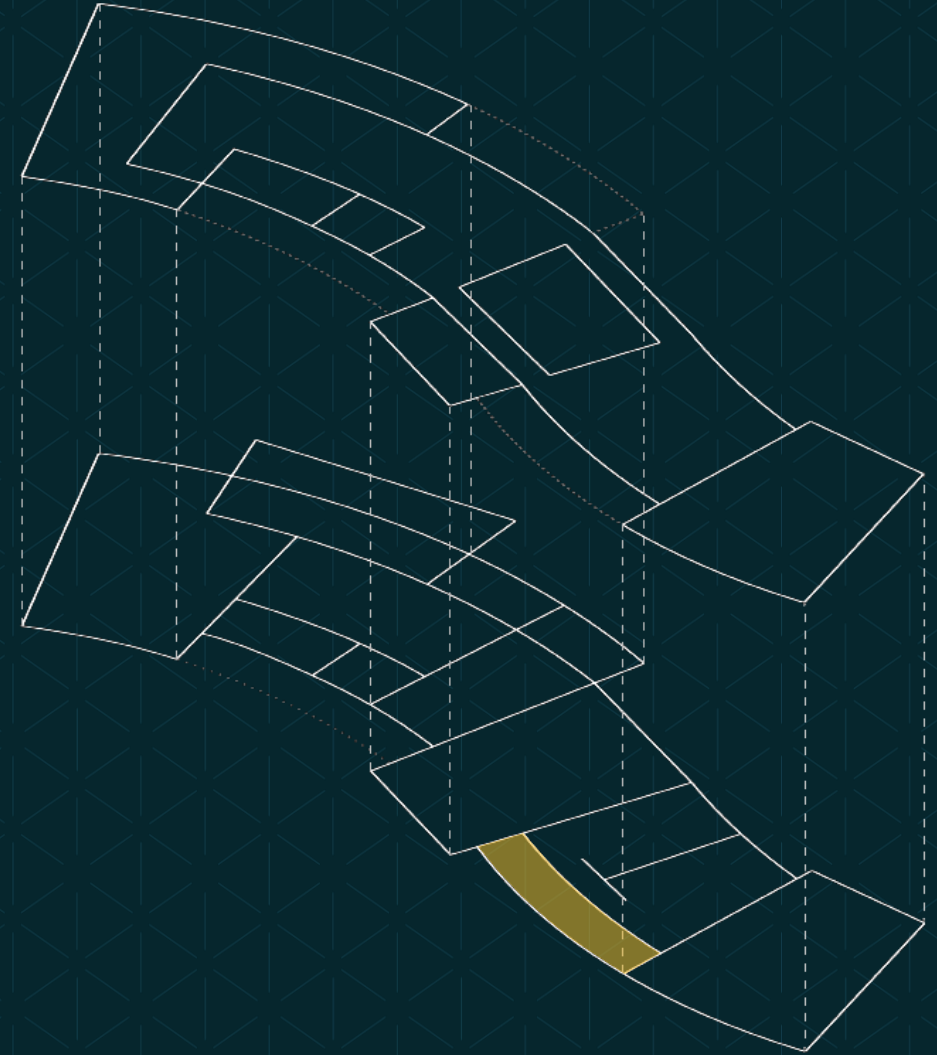


**Ramsey Waterfront Community Building**  
Program

# GALLERY



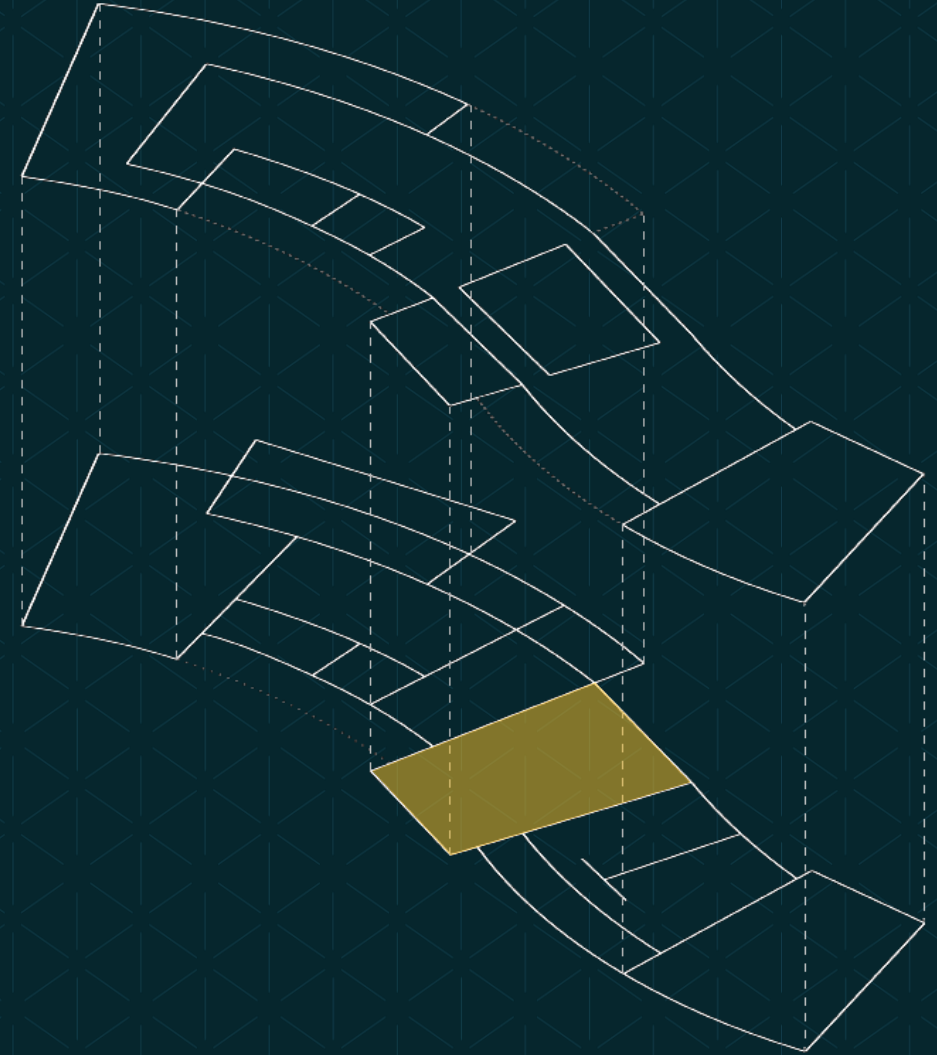
**Ramsey Waterfront Community Building**  
Program



# MAIN ENTRY



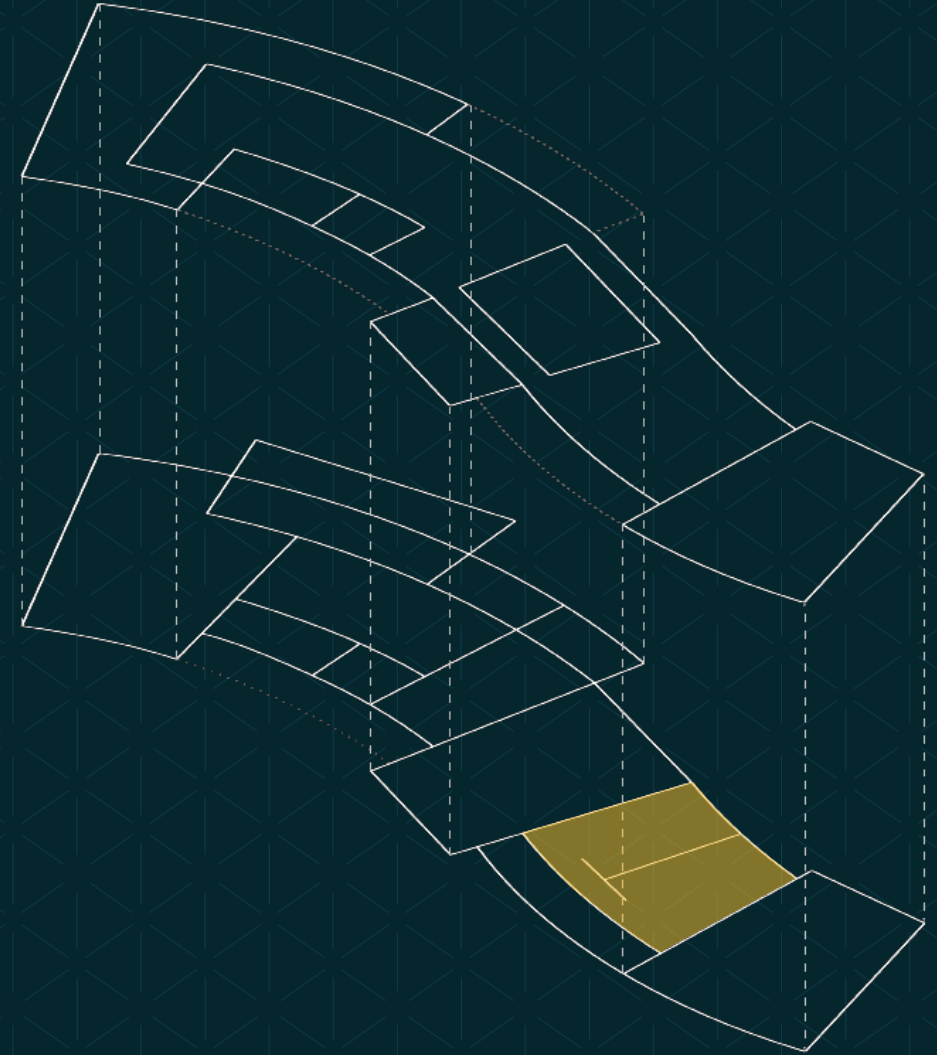
**Ramsey Waterfront Community Building**  
Program



# LOCKERS



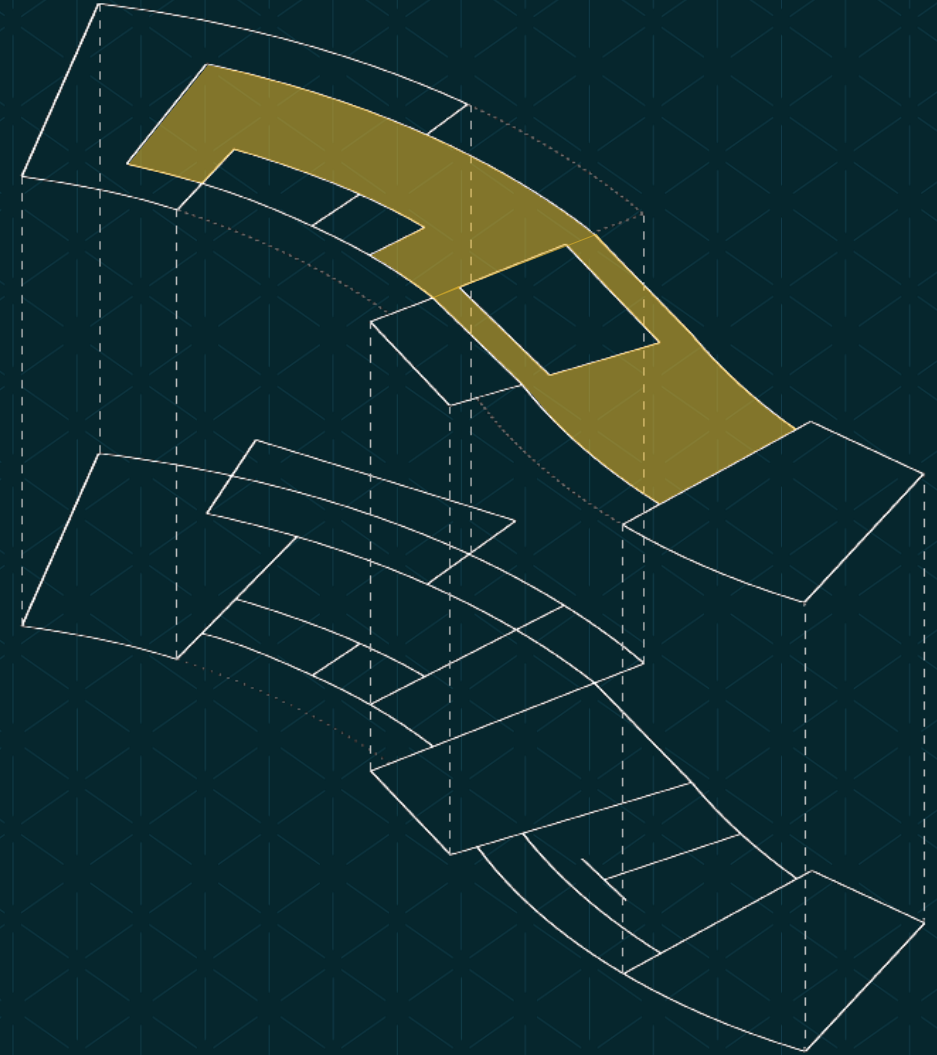
**Ramsey Waterfront Community Building**  
Program



# BANQUET/TRADE SHOW SPACE



**Ramsey Waterfront Community Building**  
Program





Ramsey Waterfront Community Building

A large, stylized letter 'C' logo on the left side of the image. The 'C' is filled with a teal color and contains a white grid pattern of thin lines. The background of the entire image is a dark teal color.

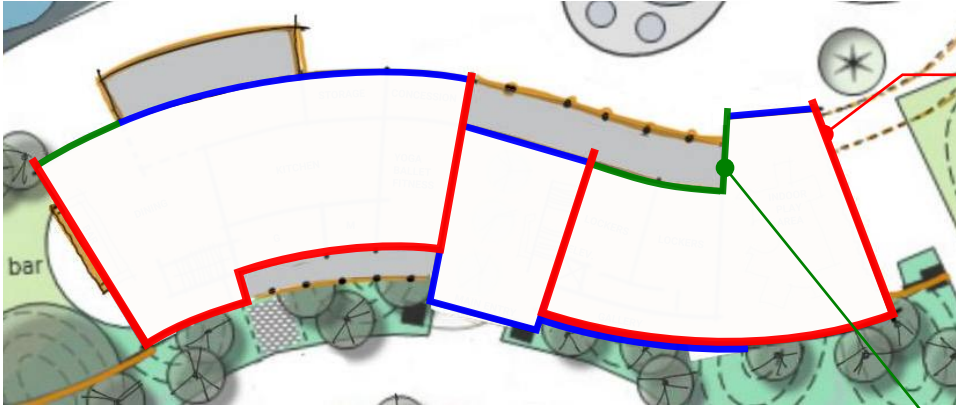
**Cunningham**



**Ramsey Waterfront Community Building**  
 Floor Plan – Ground Floor



**Ramsey Waterfront Community Building**  
 Floor Plan - Second Level



Ground Floor - Exterior Wall Type Key  
Floor to Floor Height: 15'

Stone Finish Insulated Wall System

- Stone Veneer
- Rigid Insulation
- Exterior Sheathing
- Wall Framing w/Batt Insulation
- Interior Sheathing

Approximate Material Take-Offs

Level 1: 8,900 SF  
Level 2: 4,300 SF  
**TOTAL: 13,200 SF**

Insulated Plaster Wall System

- Exterior Plaster with Integral Color
- Rigid Insulation
- Exterior Sheathing
- Wall Framing w/Batt Insulation
- Interior Sheathing

Approximate Material Take-Offs

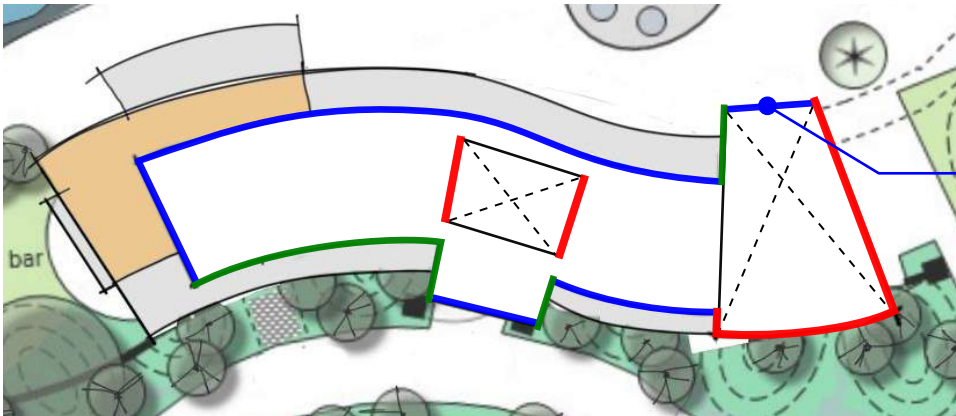
Level 1: 1,900 SF  
Level 2: 3,200 SF  
**TOTAL: 5,100 SF**

Timber Curtain Wall System

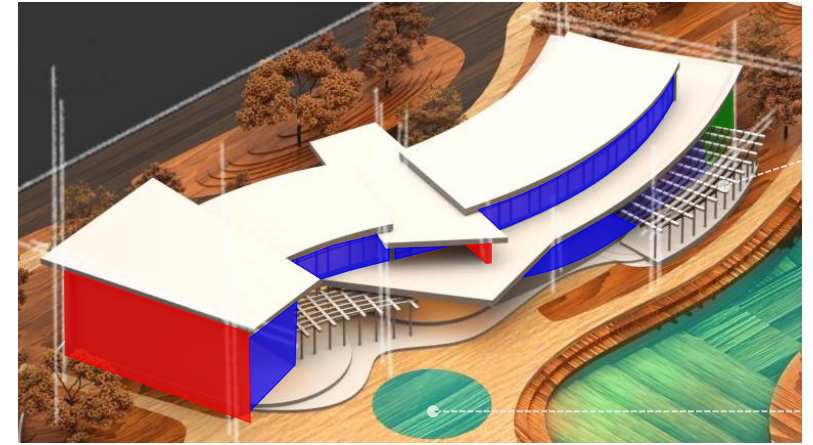
- Low-e Insulated Glazing Units
- Thermally broken framing

Approximate Material Take-Offs

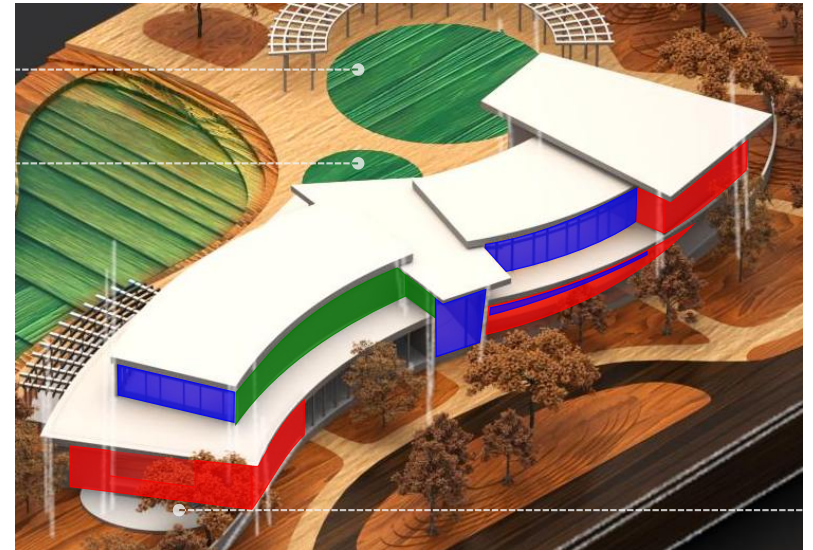
Level 1: 4,800 SF  
Level 2: 7,100 SF  
**TOTAL: 11,900 SF**



Second Floor - Exterior Wall Type Key  
Floor to Roof Height: 17'



3D View - Looking Southwest



3D View - Looking Northeast

Exterior/Interior Stone Finish



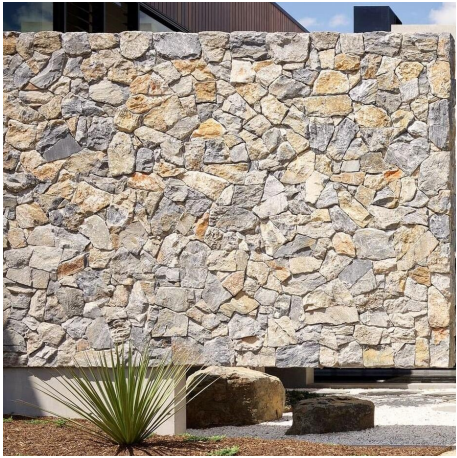
Exterior Plaster Finish

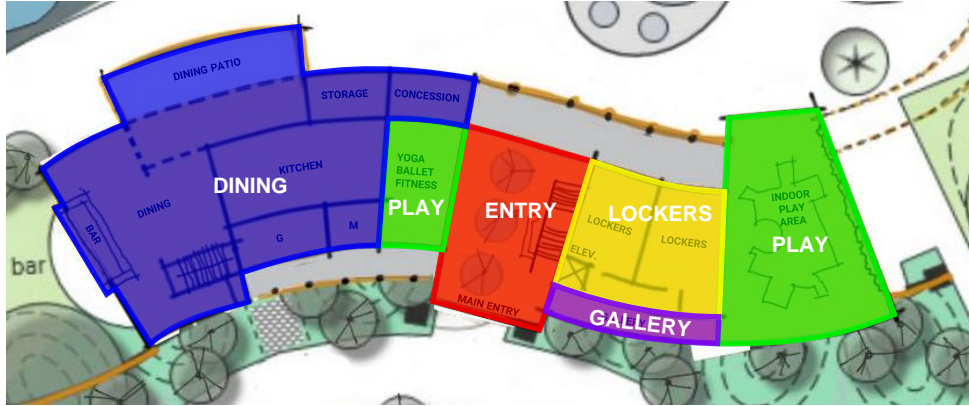


Timber Curtain Wall

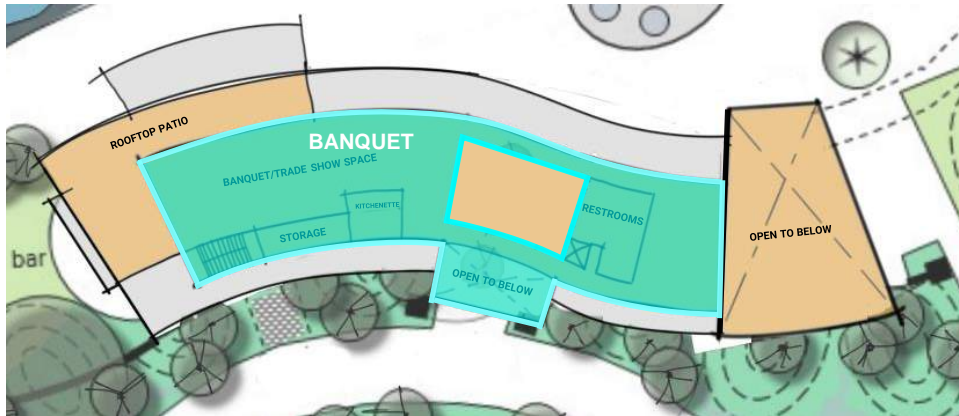


Heavy Timber Construction





Ground Floor - Room Type Categories



Second Floor - Room Type Categories

## Interior Finishes by Room Type Category:

### Dining Areas

- Upscale pub finishes, exposed timber structure and ceiling
- Kitchen areas: washable wall/ceiling surfaces

### Play Areas (Yoga/Indoor Play Area)

- Durable finishes with rubberized flooring
- Sound insulation on the walls; acoustic ceiling tiles
- Indoor play area: ~75 linear feet of climbing wall + indoor play structure

### Entry

- Interior stone veneer on walls to match exterior facades
- Expansive curtain wall with low-E glass
- Exposed timber structure and ceiling

### Lockers

- Resilient/utilitarian finishes
- Expansive curtain wall with low-E glass
- Exposed timber structure and ceiling

### Lockers

- Painted gypsum board walls
- Accommodations for mounted art on north/south wall
- Clerestory window on south wall for natural light

### Banquet

- Painted gypsum board walls, exposed ceiling structure
- East wall: windows down into play area

Lockers/Play Area



Play Area



Gallery/Banquet



Dining





# THE WATERFRONT

RAMSEY, MN

DECEMBER 14, 2023

**DF/ DAMON FARBER LANDSCAPE ARCHITECTS**

CONCEPT DEVELOPMENT

# BACKGROUND - MASTER PLAN



# BACKGROUND - PROGRAM ELEMENTS



PICNIC MOUND



REFLECTION POND / SHOAL



BOARDWALK



WATER PLAY & LIGHTING



BEER GARDEN



PLAZA



FLEXIBLE LAWN



DINING TERRACE

# PROCESS - REGULATIONS & CODES



## WADING POOL:

Wading pools are shallow pools that are usually less than two feet deep. They're best for young children to splash around and cool off without having to worry about swimming. Wading pools are governed by the MN pool code.

- **Defining Features:** 2' standing water depth, can also incorporate fountains, jets, structural play elements
- **Seasonal Interest:** Open when the temperature is 65 degrees and higher.
- **Depth**  
Min: 2"      Max: 24"
- **Fencing:** Yes - code now requires a 48" high perimeter fence.
- **Rules:** Requires the direct supervision by an adult caregiver.
- **Revenue:** Possible - Staff could monitor access at fence gate.
- **Capacity:** Varies depending on size. 15 square feet per bather.
- **Approximate Days of Use:** 100



## SPLASH PAD:

Traditional splash pads are fountain/water features intended for recreational use and designed to contain no more than 1 inch of water depth. Splash pads vary greatly in design, scale and features, but in general they allow users interact with bubblers, water nozzles and sprinklers and fountains.

- **Defining Features:** 1" max standing water depth with interactive fountains, jets, structural play elements
- **Seasonal Interest:** Open when the temperature is 65 degrees and higher.
- **Depth**  
Min: 0" / Zero Entry      Max: 2"
- **Fencing:** Fencing is not required
- **Rules:** Not required, but recommended for caregivers to accompany and supervise children
- **Revenue:** If the design includes a fenced area - revenue generation is possible.
- **Capacity:** Varies depending on size. 15 square feet per bather.
- **Approximate Days of Use:** 100



## ARCHITECTURAL WATER PLAY:

Custom experience for users. Artistic/sculptural features provide outdoor interest for users throughout all seasons. Contextually unique design affords users a sensory destination even when water features are not available.

- **Defining Features:** Integrated sculptural/interpretive water features
- **Seasonal Interest:** Open when the temperature is 65 degrees and higher. Lights and artistic/sculptural features provide 4 season interest.
- **Depth**  
Min: 0" / Zero Entry      Max: 24"
- **Fencing:** Not required, but recommended for caregivers to accompany and supervise children
- **Rules:** If the design includes a fenced area - revenue generation is possible.
- **Revenue:** Somewhat (private/reserved private events)
- **Capacity:** Varies depending on size. 15 square feet per bather.
- **Approximate Days of Use:** 365

# CASE STUDY - WATER FEATURE

## CENTRAL PARK MAPLE GROVE, MN

- Equipment/Features: 49 Jet Sprays And 18 Arching Sprays
- Chlorinated: Fountain water is chlorinated and recycled through a filtration system in the lower level of the community building.
- Surrounding Area: Concrete & Unit Paver Hardscape Patio
- Water Depth: 0" / Spray Only
- Lighting: Led Lights Turn The Fountain Into A Light Show Once The Sun Goes Down
- Targeted Age Group: All Age Groups
- Seasons of Use: Open year-round (water in warmer temps)

**WATER PLAY USER CAPACITY** 150



Project Design By Damon Farber



# CASE STUDY - WATER FEATURE

## WABUN PARK WADING POOL MINNEAPOLIS, MN

- Equipment/Features: Wading Pool With Spraying Rock Structure
- Chlorinated: Fountain water is chlorinated and recycled through a filtration system and the water is reused just like in a swimming pool
- Surrounding Area: Concrete with Furnishings & Umbrellas
- Water Depth: Zero-Depth Entry To 24" Depth @ Deepest
- Fencing: Yes - 42" perimeter fencing per MN wading pool code.
- Targeted Age Group: Tot - 12 Years
- Seasons of Use: Summer Only

WATER PLAY USER CAPACITY 140



# CASE STUDY - WATER FEATURE

## ELEPHANT PARK LONDON, UK

- Equipment/Features: "Village" Pumps, Jets, Water Cascades, Rock Channels, Babbling Stream, Sand Pits
- Surrounding Area: Sand Play, Lawn, Stone Paving, Landscaping
- Water Depth: Zero-Depth Entry To 3"
- Lighting: Perimeter Post Lights
- Targeted Age Group: Tot - 18 Years
- Seasons of Use: Open year-round (water in warmer temps)

WATER PLAY USER CAPACITY 400



# CASE STUDY - WATER FEATURE

## MADRID RIO PARK MADRID, SPAIN

- Equipment/Features: Splash Pads with Water Jets
- Surrounding Area: Unit Pavers, Lawn, Landscaping
- Water Depth: Zero-Depth Entry To 1"
- Lighting: Park Lamp Posts
- Targeted Age Group: All Ages
- Seasons of Use: Open year-round (water in warmer temps)

WATER PLAY USER CAPACITY 900



# SUMMARY - CASE STUDIES



4,000 SF OF WATER PLAY

## CENTRAL PARK - MAPLE GROVE, MN

- Jet & Arching Spray Pad
- Recycled Water Via Filtration System
- Hardscape Perimeter Patio w/ Seatwalls
- 0" Depth Water - Spray Only
- Integrated LED Fountain Lighting
- No Fencing
- All Age Groups



6,500 SF OF WATER PLAY

## WABUN WADING POOL - MINNEAPOLIS, MN

- Wading Pool With Spraying Rock Structure, Sprayers
- Recycled Water Via Filtration System
- 2 Umbrellas @ Patio
- Zero-Depth Entry To 24" Depth @ Deepest
- 42" Fencing
- Tot - 12 Years Targeted Age Group



10,000 SF OF WATER PLAY

## ELEPHANT PARK - LONDON, UK

- "Village" Pumps, Jets, Water Cascades, Rock Channels, Babbling Stream, Sand Pits
- Chlorinated: Unknown
- Lush Planted Edges
- Zero-Depth Entry To 1"
- Perimeter Post Lights
- Fencing: Unknown
- Tot - 12 Years Targeted Age Group

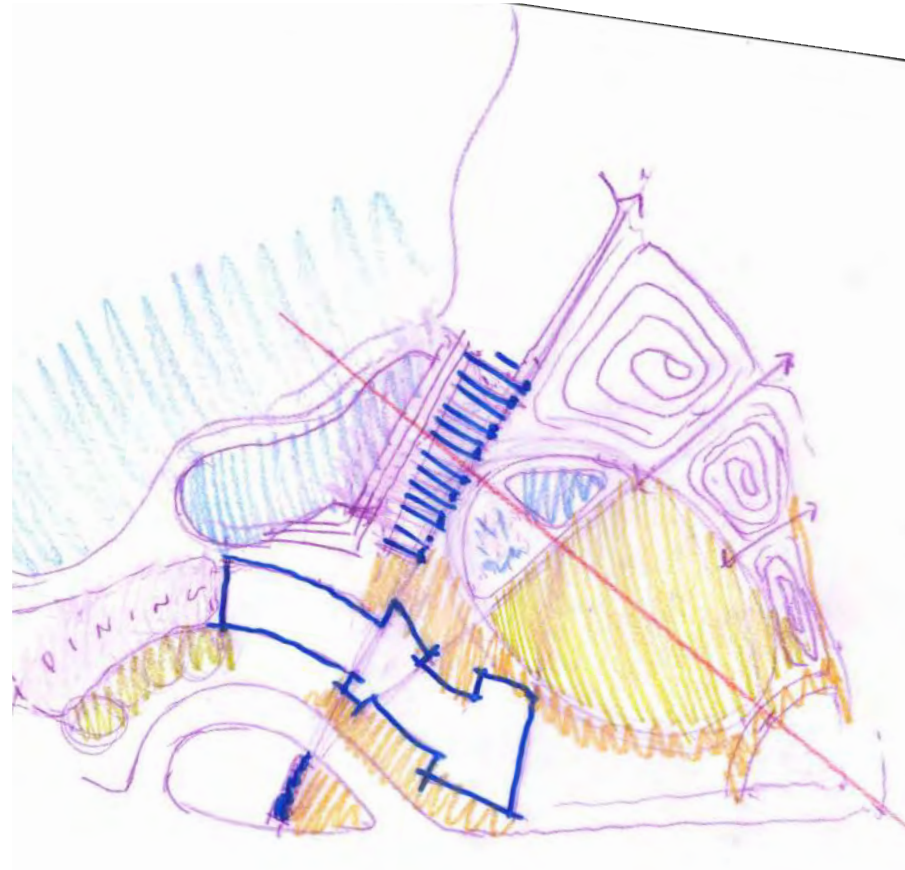


25,500 SF OF WATER PLAY

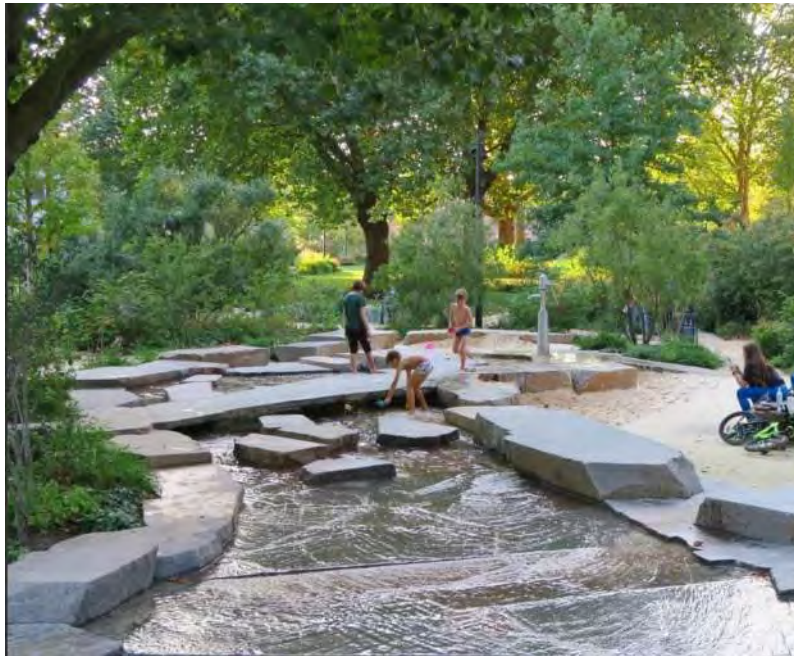
## MADRID RIO PARK - MADRID, SPAIN

- Wading Pool Series (3), Jets
- Chlorinated: N/A
- Hardscape Perimeter With Grass And Planted Canopy
- Zero-Depth Entry To 24"
- Park Lamp Posts
- No Fencing
- All Age Groups

# PROCESS - CONCEPT DEVELOPMENT



# CONCEPT 1

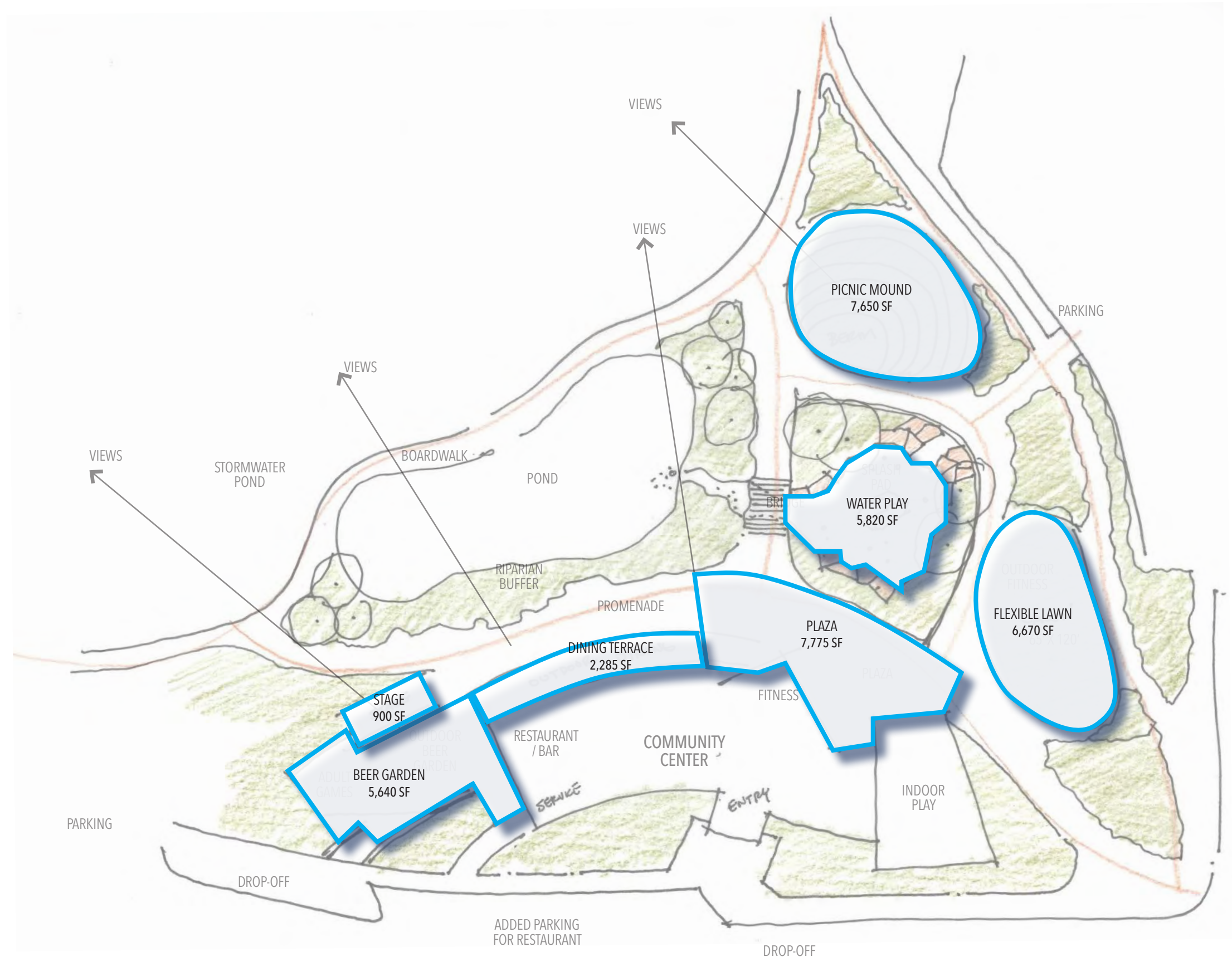


# CONCEPT 1 PROGRAM

## SPACE PROGRAMMING

FLEXIBLE LAWN	6,670 SF
PICNIC MOUND	7,650 SF
WATER PLAY	5,820 SF
PLAZA	7,775 SF
DINING TERRACE	2,285 SF
BEER GARDEN	5,640 SF
STAGE	900 SF

WATER PLAY USER CAPACITY 375



# CONCEPT 1A

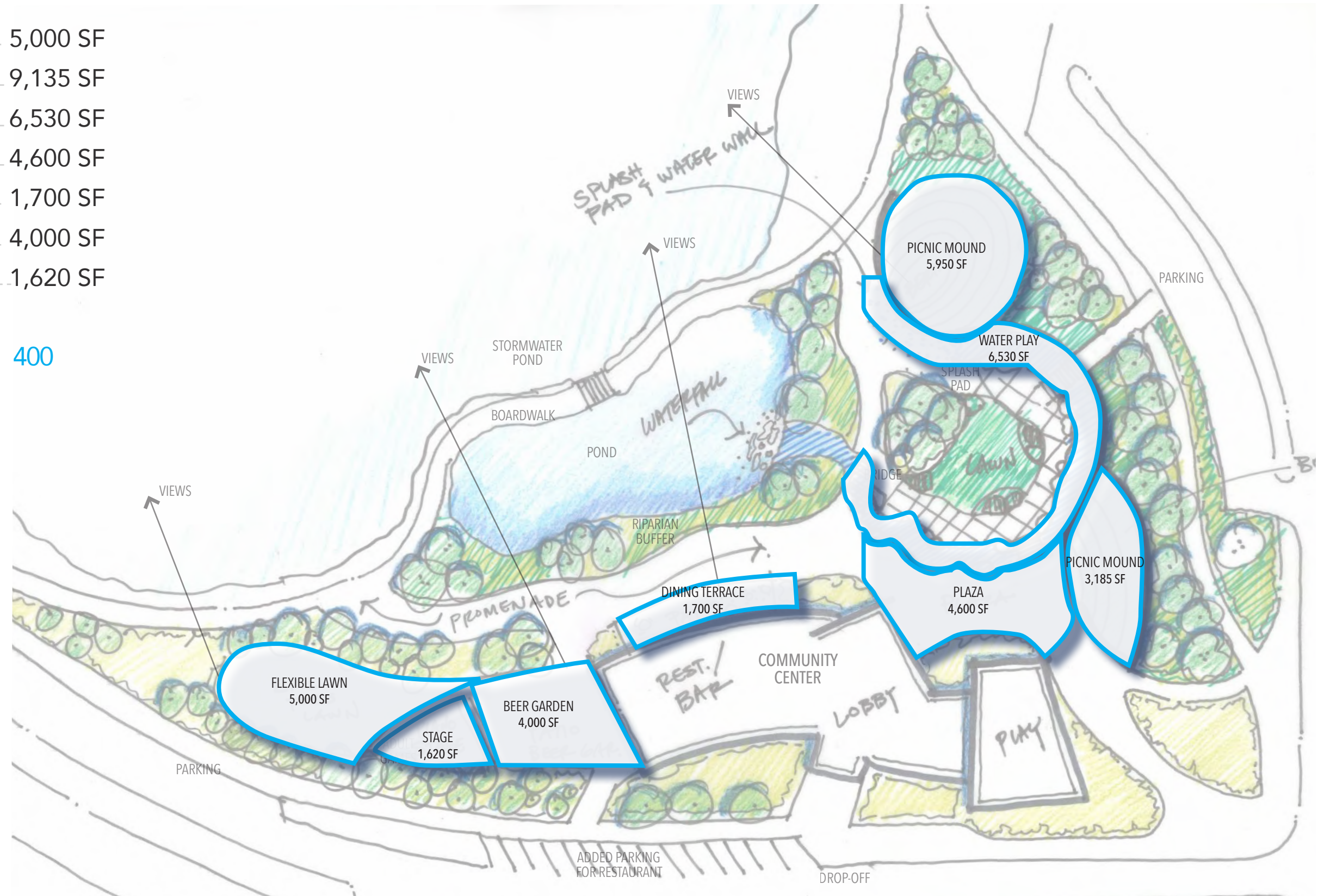


# CONCEPT 1A PROGRAM

## SPACE PROGRAMMING

FLEXIBLE LAWN	5,000 SF
PICNIC MOUND	9,135 SF
WATER PLAY	6,530 SF
PLAZA	4,600 SF
DINING TERRACE	1,700 SF
BEER GARDEN	4,000 SF
STAGE	1,620 SF

WATER PLAY USER CAPACITY 400



# CONCEPT 2

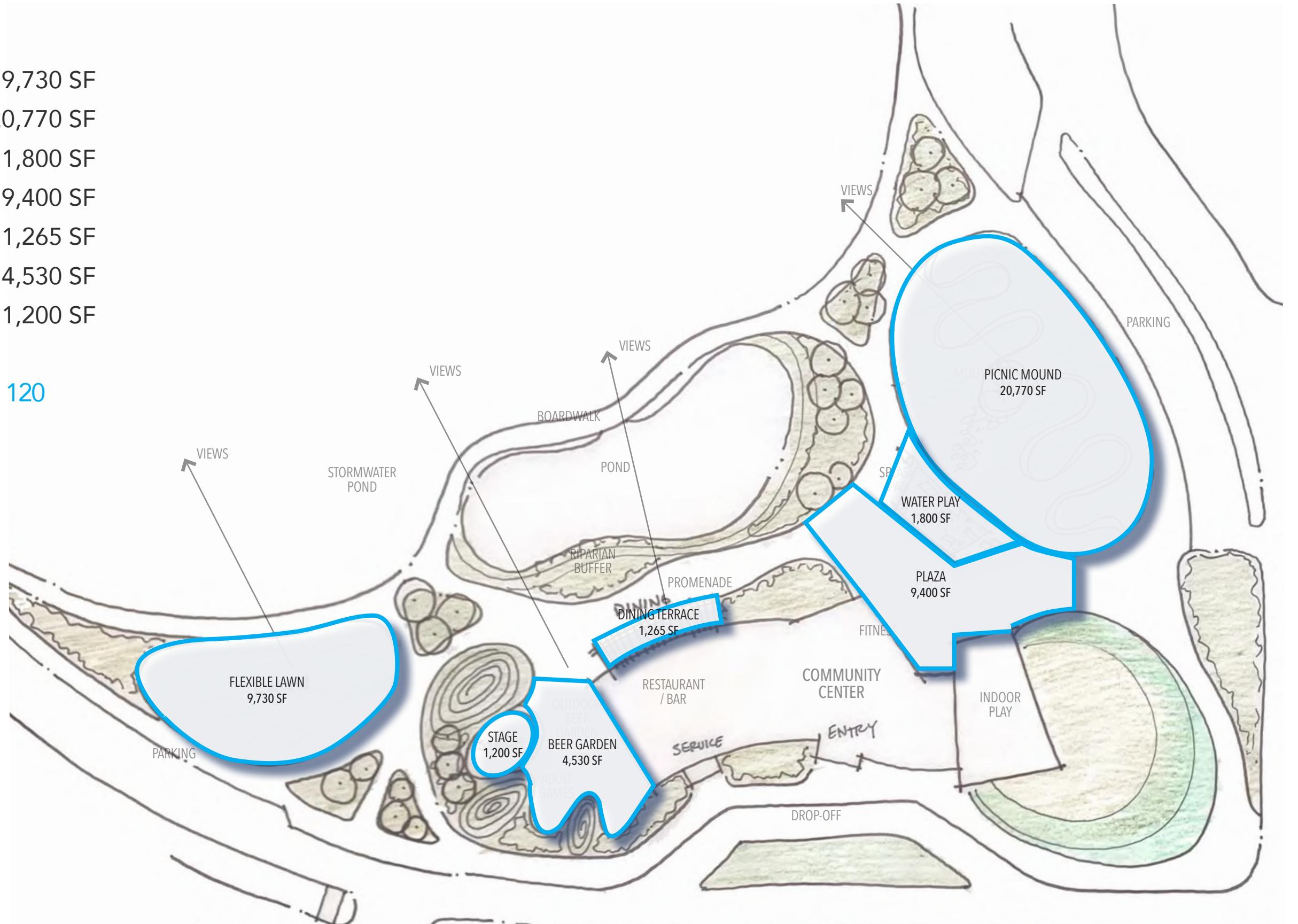


# CONCEPT 2 PROGRAM

## SPACE PROGRAMMING

FLEXIBLE LAWN	9,730 SF
PICNIC MOUND	20,770 SF
WATER PLAY	1,800 SF
PLAZA	9,400 SF
DINING TERRACE	1,265 SF
BEER GARDEN	4,530 SF
STAGE	1,200 SF

WATER PLAY USER CAPACITY 120



# CONCEPT 3

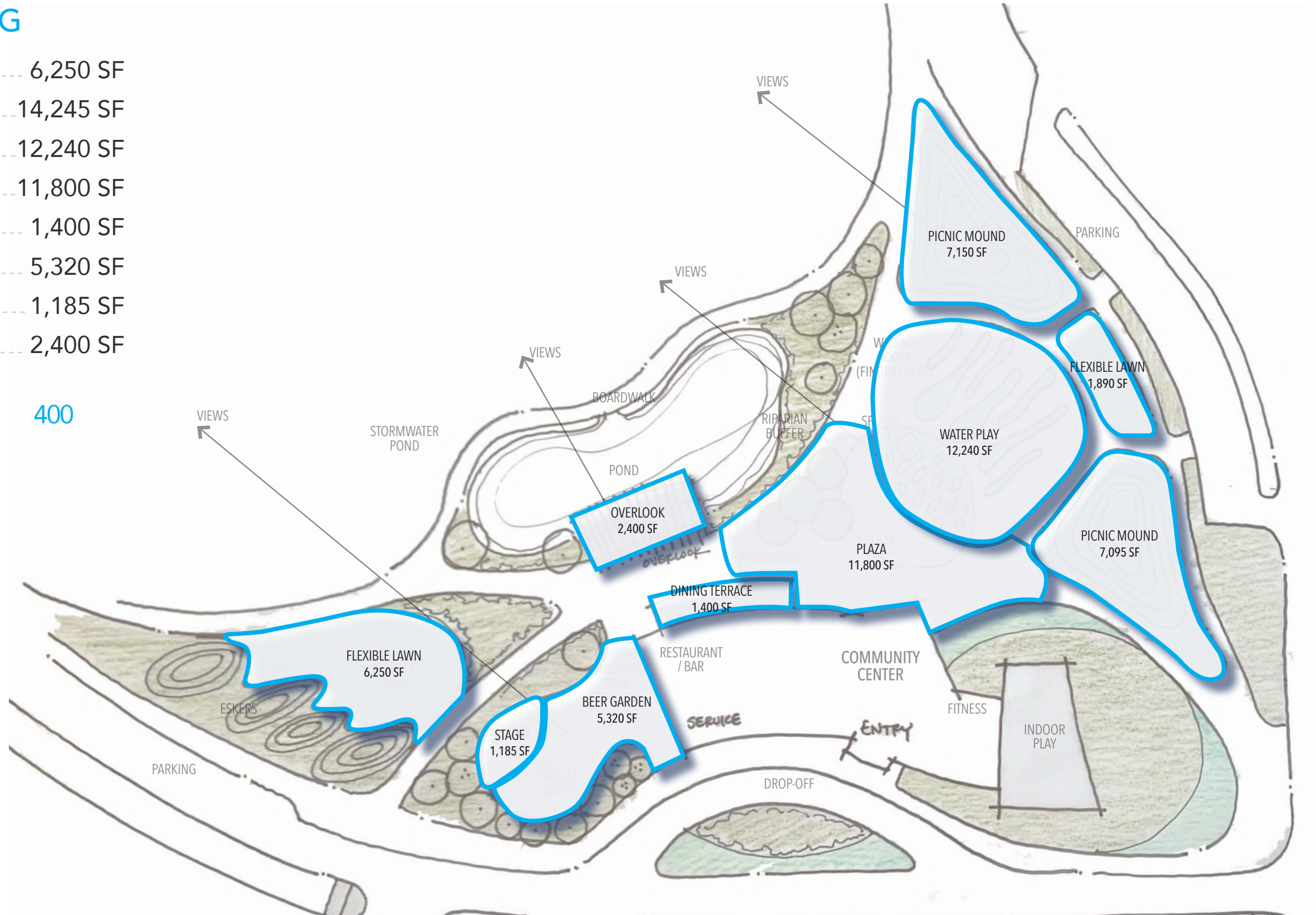


# CONCEPT 3 PROGRAM

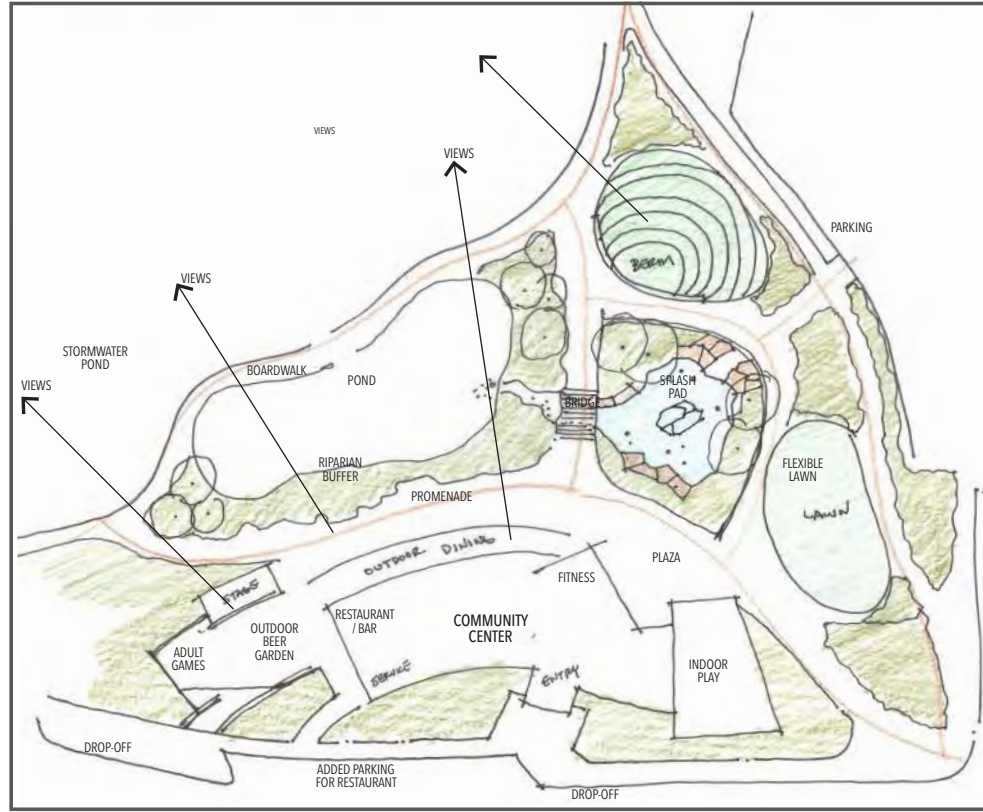
## SPACE PROGRAMMING

FLEXIBLE LAWN	6,250 SF
PICNIC MOUND	14,245 SF
WATER PLAY	12,240 SF
PLAZA	11,800 SF
DINING TERRACE	1,400 SF
BEER GARDEN	5,320 SF
STAGE	1,185 SF
OVERLOOK	2,400 SF

WATER PLAY USER CAPACITY 400



# SUMMARY - PROPOSED CONCEPTS



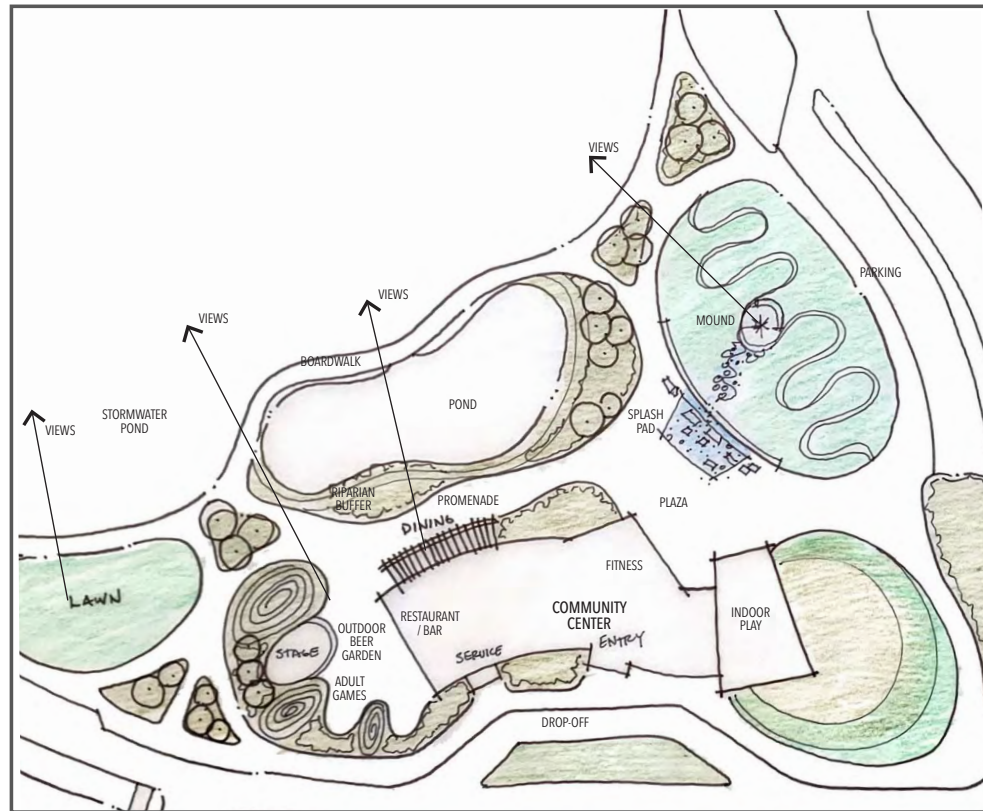
## CONCEPT 1 SPACE PROGRAM

FLEXIBLE LAWN	5,000 SF
PICNIC MOUND	9,135 SF
WATER PLAY	6,530 SF
PLAZA	4,592 SF
DINING TERRACE	1,700 SF
BEER GARDEN	4,000 SF
STAGE	1,620 SF



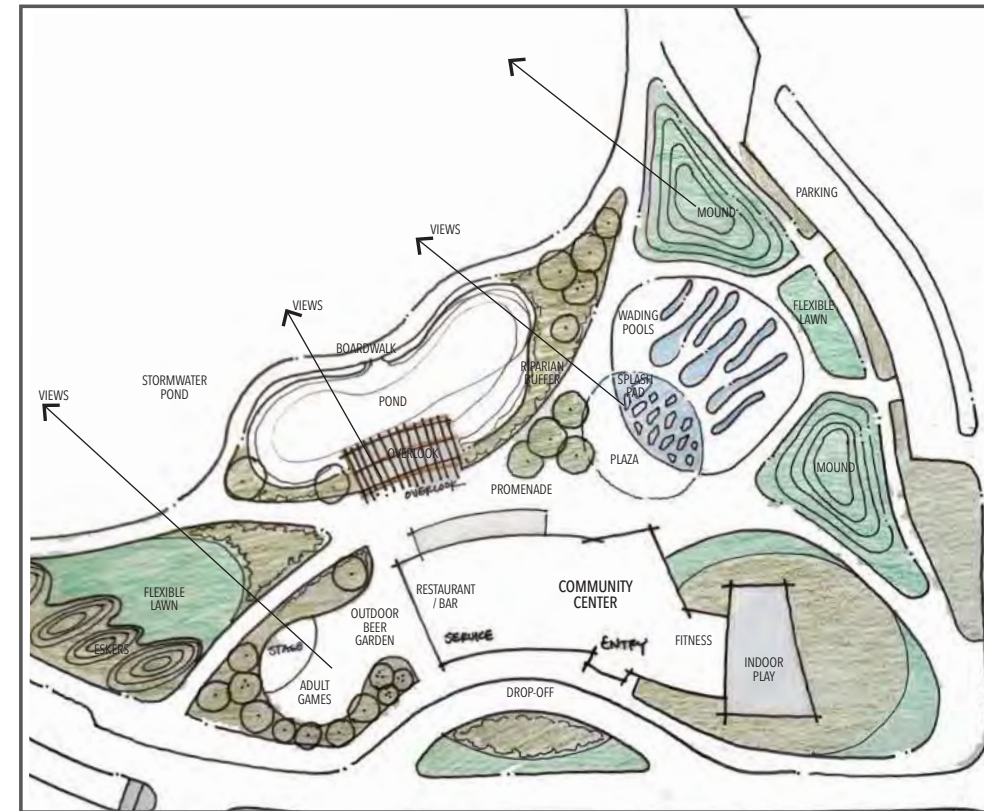
## CONCEPT 1A SPACE PROGRAM

FLEXIBLE LAWN	6,670 SF
PICNIC MOUND	7,650 SF
WATER PLAY	5,820 SF
PLAZA	7,775 SF
DINING TERRACE	2,285 SF
BEER GARDEN	5,640 SF
STAGE	900 SF



## CONCEPT 2 SPACE PROGRAM

FLEXIBLE LAWN	9,730 SF
PICNIC MOUND	20,770 SF
WATER PLAY	2,000 SF
PLAZA	9,400 SF
DINING TERRACE	1,265 SF
BEER GARDEN	4,530 SF
STAGE	1,200 SF



## CONCEPT 3 SPACE PROGRAM

FLEXIBLE LAWN	6,250 SF
PICNIC MOUND	14,245 SF
WATER PLAY	12,240 SF
PLAZA	11,800 SF
DINING TERRACE	1,400 SF
BEER GARDEN	5,320 SF
STAGE	1,185 SF
OVERLOOK	2,400 SF

# WATER FEATURE COSTS

**Costs for water features vary dramatically and are driven by the following factors:**

- > Size of the Water Feature
- > Equipment and Filtration System
- > Programming & Control Systems
- > Lighting & Sound Systems
- > Construction Materials
- > Amenities
- > Bidding Climate & Number of Bidders

The conceptualized water features included in this presentation have an estimated probable cost of \$1m to \$3m.

NOT FOR  
CONSTRUCTION



95% TRAIL PAVING PLAN

## THE WATERFRONT

RAMSEY, MINNESOTA

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Name \_\_\_\_\_  
Registration# \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_

Date 01/11/2024

DF/ Project # 23-176

Scale AS SHOWN

Drawn/Checked AG/CE

REVISION

## SITE ORIENTATION PLAN

# L110

August 5, 2022

City of Ramsey  
7550 Sunwood Drive NW  
Ramsey, MN 55303

Subject: PROPOSAL AND AGREEMENT FOR PROVIDING PROFESSIONAL SERVICES  
**Ramsey Waterfront Pavilion**  
**22-0152**

Dear Mark Riverblood:

We're excited about this opportunity to help you enhance the center of Ramsey with a waterfront pavilion. Your pavilion and other recent development projects in the City, including your amphitheater, new residences, educational facilities, transportation, and city services, can further establish downtown Ramsey as a hub where the community can gather year-round. We envision a pavilion that attracts residents and visitors of all generations to dine, shop, play, and enjoy live music and other community events.

Cunningham is an excellent choice for your Project because we collaborate with you to bring the personality of your community into your space by expanding facilities to better represent the culture and spirit of Ramsey. We recognize that the City has beautiful recreational opportunities, including the Rum and Mississippi rivers, regional, City and neighborhood parks, and many trails. It would be a pleasure to create a space for you that plays off of your natural surroundings and exceeds the expectations of your residents.

Many other municipalities in Minnesota and nationwide have trusted Cunningham to design public spaces. Our recent experience on the Bde Maka Ska Refectory Rebuild closely matches the needs of your Project. The Minneapolis Park and Recreation Board selected Cunningham over 18 other firms to reimagine and rejuvenate their lakeside pavilion that was lost to a fire in 2019. The new pavilion offers dining, performance, retail, and indoor and outdoor recreation spaces. It reflects the community's needs by providing a place to showcase events that reveal the untold stories of the site's cultural history, protect natural resources and the environment with regeneratively conscious design and native plants, and give local businesses a space to gain economic opportunities. Overall, it provides a place for people to connect with nature and one another.

What is different about Cunningham is the diversity of experience we can bring to your pavilion. Our team's previous experience goes well beyond public spaces to include award-winning restaurants such as The Boathouse and Bar George at Disney Springs at Walt Disney World Resort in Orlando, Florida, as well as acclaimed hotels, including the Pendry in West Hollywood and Hotel Nia in Menlo Park, California.

It has been proven that good design adds value to a space. Our solutions go beyond the architecture as we look for ways to enhance your value. We realize that you are a government working to responsibly grow your community and provide quality services for residents, which can be challenging. We have worked with some of the most complex organizations globally and found paths to success. Our process seeks to align your residents with your vision.



Gregory T. Houck, AIA  
Principal | Director of New Work

Cunningham

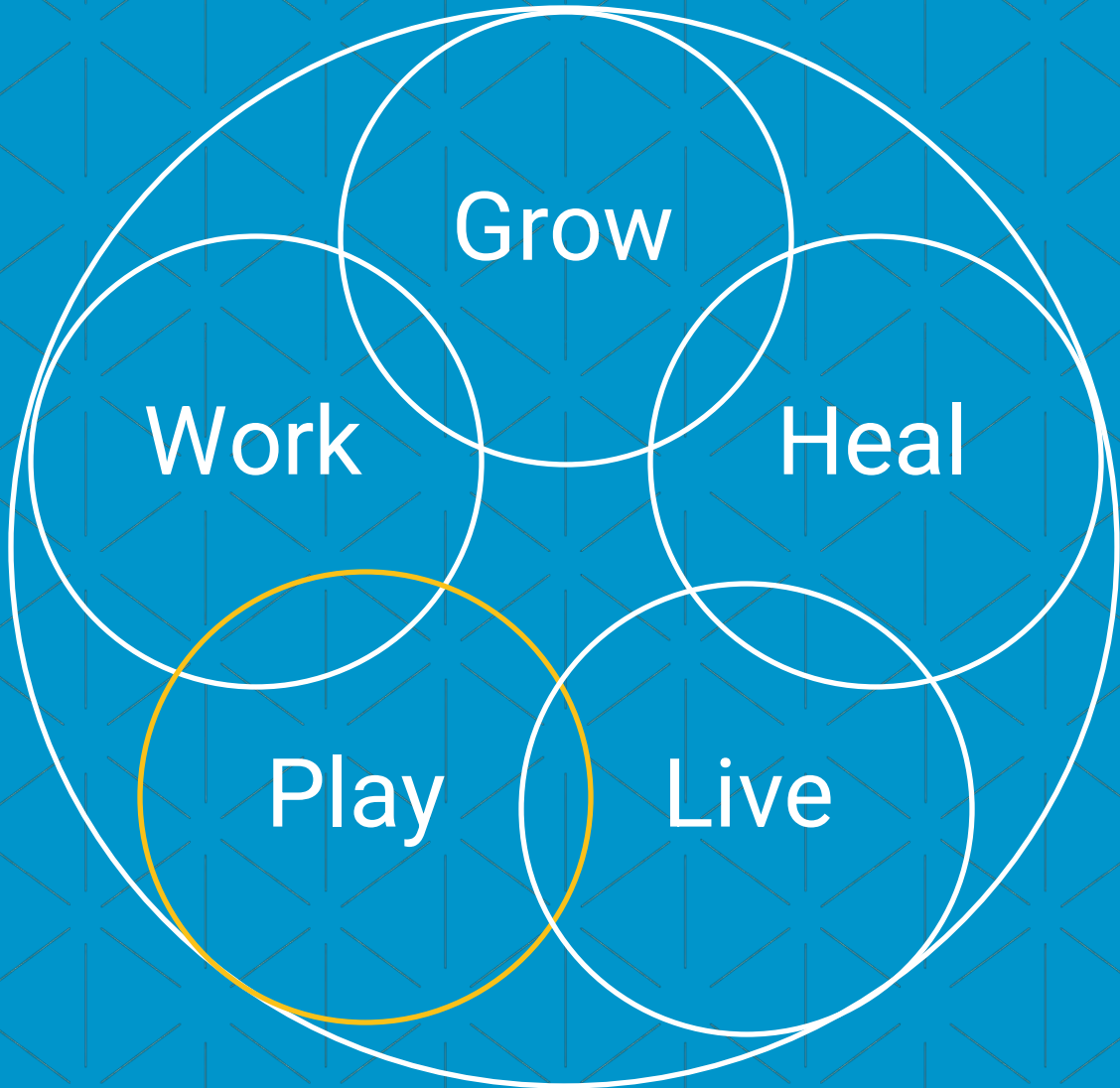
201 SE Main Street  
Suite 325  
Minneapolis  
Minnesota 55414

Tel 612 379 3400

# Cunningham



# Expertise



## Grow

Higher Education  
K-12 Education  
Non-Profit  
Civic | Cultural

## Heal

Acute Care  
Ambulatory Care  
Behavioral Health  
Pediatrics  
Women's Health  
Cancer Centers  
Medical Offices

## Live

Apartments  
Condominiums  
Senior  
Student  
Affordable | Supportive  
Mixed-use

## Play

Resorts  
Hospitality  
Retail  
Restaurants  
Gaming  
Themed Entertainment

## Work

Corporate  
Commercial  
Institutional | Non-Profit  
Mixed-use

# 250

Employees

# 7

Offices

Since

# 1968

# Firm Rankings

No. **7** **ENR**  
Engineering News-Record  
Top 500 Sourcebook Entertainment  
Firms, 2021

No. **34** **ARCHITECTURAL  
RECORD**  
Top 300 Architecture Firms, 2021

No. **11** **INTERIOR  
DESIGN**  
100 Rising Giants, 2021

**HVI** HOTEL MANAGEMENT  
Top Hotel Design Firm, 2021

## BUILDING DESIGN + CONSTRUCTION 2021 Giants 400 Rankings

No. **4** Top 30 Entertainment Firms

No. **4** Top 15 Casino Firms

No. **12** Top 120 Hospitality Firms

No. **14** Top 160 Architecture Firms

No. **19** Top 80 Restaurant Firms

No. **23** Top 120 Retail Firms

No. **23** Top 120 Hotel and Resort Architecture Firms

## Services

Architecture  
Interior Design  
Urban Design  
Landscape Architecture



# MISSION

WHAT WE DO



Together, we create  
enduring experiences for  
a healthy world.

# VISION

WHAT WE ASPIRE TO DO



Dream big.  
Be daring.  
Create change.

# VALUES

WHAT WE BELIEVE



Celebrate curiosity.  
Design the future.  
Restore the earth.  
Take care of each other.  
Have fun.

# Locations

## Denver

601 South Broadway, Suite N  
Denver, Colorado 80209  
Tel: 303 861 1600

## Las Vegas

3770 Howard Hughes Parkway, Suite 100  
Las Vegas, Nevada 89169  
Tel: 702 946 5390

## Los Angeles

8665 Hayden Place  
Culver City, California 90232  
Tel: 310 895 2200

## Minneapolis

201 SE Main Street, Suite 325  
Minneapolis, Minnesota 55414  
Tel: 612 379 3400

## Phoenix

5001 East Washington Street  
Phoenix, Arizona 85034  
Tel: 602 744 3660

## San Diego

1030 G Street  
San Diego, California 92101  
Tel: 619 849 1080

## Doha

Mashreq Bank Building, Office 3, Grand  
Hamad Street  
P.O. Box 30281  
Doha, Qatar  
Tel: 974 4444 3440



## Cheers!

What makes Cunningham unique is our depth of experience in bringing imaginative design to a real-world application within the expanse of the markets we serve. Our 30-year history working with entertainment giants, including Walt Disney Imagineering and Universal Studios, has proven that we can create enduring human experiences by engaging our audiences with stories. Our portfolio encompasses a range of large and small restaurant and bar projects, from renovations and expansions to new construction.

Cunningham has designed numerous culinary and entertainment destinations that are unique, immersive, and successful. We have designed boutique dining environments and created branded experiences requiring established brand standards. Our comprehensive approach to food and beverage environments considers the critical components of kitchen and bar functionality, back of house needs, and dining area aesthetics while balancing the desire for sustainable solutions and budget consciousness.

What can we create together?





**Pendry West Hollywood Hotel and Residences | West Hollywood, California**

Cunningham was the executive architect for this iconic 300,000-square-foot mixed-use development on the famed Sunset Strip. The property includes a restaurant with mixed seating in exotic patterns and prints. Statement chandeliers complement marble and brass tables below—reinforcing a glamorous LA vibe—while luscious planting keeps the look fresh and exciting.



### O'Shaughnessy Distillery | Minneapolis, Minnesota

O'Shaughnessy Distillery integrates traditional Irish design features into an up-scale artisanal craft "grain-to-glass" distillery. The existing interior and exterior brick was revived to its original condition. Warm wood paneling with metal accent bands are interrupted by large expanses of glass that emulates the stained-glass proportions of the existing building, giving warmth and views to the energy within the building.



**Nine Twenty Five Restaurant at Hotel Landing | Wayzata Bay, Minnesota**

A two-story, 5,500-square-foot "theater in the round" style restaurant for approximately 200 guests that features a dramatic mezzanine overlooking the large central bar. With an indoor dining hall, fireplace room, and an outdoor balcony, the restaurant provides guests with an array of dining options. Warm wood tones, factory styled windows, rustic white bricks, and pops of gold comprise the design aesthetic.



### **ALL NET Resort and Arena | Las Vegas, Nevada**

Located on a 27-acre site at the north end of the Las Vegas Strip, ALL NET Resort and Arena will encompass approximately 8.2 million square feet. The future-forward design includes a 400,000 square-foot food and retail plaza with world-class shopping experiences featuring iconic and internationally recognized brands as well as the only full-service supermarket on the Las Vegas Strip.



### **Nolo's Kitchen & Bar | Minneapolis, Minnesota**

Located in a historic building in Minneapolis' North Loop neighborhood, this two-level dining and drinking establishment is fast becoming a local favorite. Nolo's design takes its cues from the industrial feel of the existing space while remaining open and bright with exposed brick and accents of marble, leather and gold. A feature bar, open kitchen and lounge seating provide a casual backdrop.



**Walt Disney Imagineering Experience | Multiple Locations, Worldwide**

Over the past 25 years, Cunningham has provided architectural design services to Walt Disney Imagineering. While much of the work we do is confidential, it includes design services for major attractions, themed retail and restaurants, cast support, guest services, and back of house facilities. Cunningham provided Architectural Design Services for the above projects.



**Morimoto at MGM Grand | Las Vegas, Nevada**

Cunningham transformed an existing restaurant space into celebrity chef Masaharu Morimoto's restaurant, including a new bar and lounge featuring Morimoto's signature sake, a gourmet sushi bar, and teppanyaki grill tables – a first for a Morimoto establishment. The space was adapted with a modern Japanese grace, as evidenced by the refined finishes and elegant lighting.



**Dream Dance Steakhouse at Potawatomi Hotel & Casino | Milwaukee, Wisconsin**

Designed to be a modern take on the traditional steak house, strong angular ceiling elements and deep wood finishes contribute to the warm, elegant and urban dining experience. A wine portal enhances the restaurant's west entrance and the finished restaurant represents a comprehensive approach to renovation, informed by both culture and upscale dining.



### **Galleria Shopping Center | Edina, Minnesota**

An integral collaborator with the Galleria Shopping Center's management team, Cunningham is involved with everything from tenant coordination to building expansions, lease negotiations, and ongoing maintenance. The design of the Galleria Shopping Center draws upon its unique and sophisticated character. Cunningham worked with tenants to stay operational during construction.



### Number 12 Cider | Minneapolis, Minnesota

Number 12 Cider's new taproom mirrors the cozy, rustic barns for which Minnesota's countryside is known. Soft woods are accented with vibrant colors throughout. A wooden door and a chandelier with apple features further evoke the bucolic lifestyle. Additionally, a retractable garage door provides a connection to the outdoors, inviting the space's urban setting to mix with its agrarian-inspired interior.



### Wedge Community Co-op | Minneapolis, Minnesota

Wedge Community Co-op is a grocery store, café, catering company, wholesale distributor and sustainable food leader that has been a fixture in Minneapolis since 1974. A neutral color palette and oversized punctuating graphics help refresh the atmosphere for community members.



**Jake & Eli Restaurant at The Westin Hotel and Spa | Las Vegas, Nevada**

This upscale lobby bar, lounge, and steakhouse was part of a phased renovation and expansion. Project ownership challenged designers to turn a large two-story area into an intimate dining experience. Designers were able to downplay the size of the space by creating intimate, sub-dividable elements that address varying levels of use so the restaurant always feels full and vibrant.



**H.O.B.O. | Edina, Minnesota**

Cunningham renovated this locally-owned store to better reflect its contemporary merchandise. This project was part of a larger expansion of the upscale Galleria shopping center.



**Tavern 23 | Edina, Minnesota**

Straying from the traditional dark and old-fashioned steakhouse atmosphere, Tavern 23 is bright and airy with an open kitchen and large U-shaped bar. The main dining room accommodates 156 diners with seating for 46 in the bar, while 18 can be seated for private dining in a special room. A patio expansion makes space for approximately 86 guests to enjoy views of the Centennial Lakes.



**Art of Optiks | Edina, Minnesota**

The new 2,500-square-foot Art of Optiks merges personalized patient care with high-end retail in a contemporary environment that is open and inviting. The design balances square footage between exam rooms, offices and retail space, and evokes a hand-crafted feel by mixing cold rolled steel with warm walnut features.



**The Grille House at Grand Casino Hinckley | Hinckley, Minnesota**

Part of a significant property enhancement at Grand Casino Hinckley, which was originally designed by Cuningham 25 years prior, this renovation was phased to allow the resort to remain operational during design and construction.



**Wine Bar George at Disney Springs® | Walt Disney World® Resort, Lake Buena Vista, Florida**

Cunningham collaborated with Master Sommelier, George Milioles to bring Wine Bar George to Disney Springs®. Together with George, Cunningham created a storied building where he can share his knowledge and introduce guests to wines from around the world.



**The BOATHOUSE® | Disney Springs® – Walt Disney World® Resort, Lake Buena Vista, Florida**

For the fourth time, Cunningham helped bring a one-of-a-kind dining and interactive entertainment experience to Walt Disney World Resort®. The Boathouse® opened as part of the rebranding of Downtown Disney into Disney Springs® and is themed around the history, elegance, and joy of leisure boating.

## Contact

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Principal | Director of New Work

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612 379 5513



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Associate Principal

[cstclair@cunningham.com](mailto:cstclair@cunningham.com)

612 379 5517



Denver

Las Vegas

Los Angeles

Minneapolis

Phoenix

San Diego

Doha

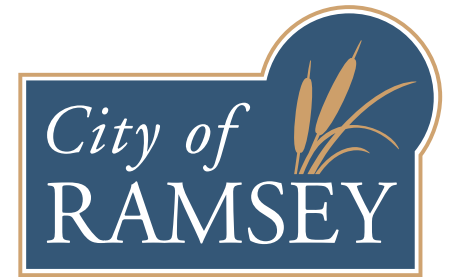
# Cunningham

[cunningham.com](http://cunningham.com)





  
**MORRISSEY**  
HOSPITALITY



## ABOUT MORRISSEY HOSPITALITY

In 1995, St. Paul native and passionate hospitality veteran Bill Morrissey founded Morrissey Hospitality, forging its first partnership with the iconic Saint Paul Hotel. Today, Morrissey is a privately held business with over 700 employees across 19 unique concepts. Morrissey's second generation guides the company legacy of Midwestern values and genuine hospitality, growing an impressive portfolio of trusted brands across lodging, restaurants and event venues in the Twin Cities and throughout the Upper Midwest.

Today, connection is still at the heart of the Morrissey Hospitality ethos. The Morrissey family has grown to over 700 employees, who strive to create meaningful, exceptional experiences for guests while delivering consistent, impressive results for clients. Morrissey properties are welcoming, purposeful, and community-driven, and Morrissey Hospitality continues to build a family of iconic, trusted, long-lasting brands.

## COMMUNITY CONNECTION

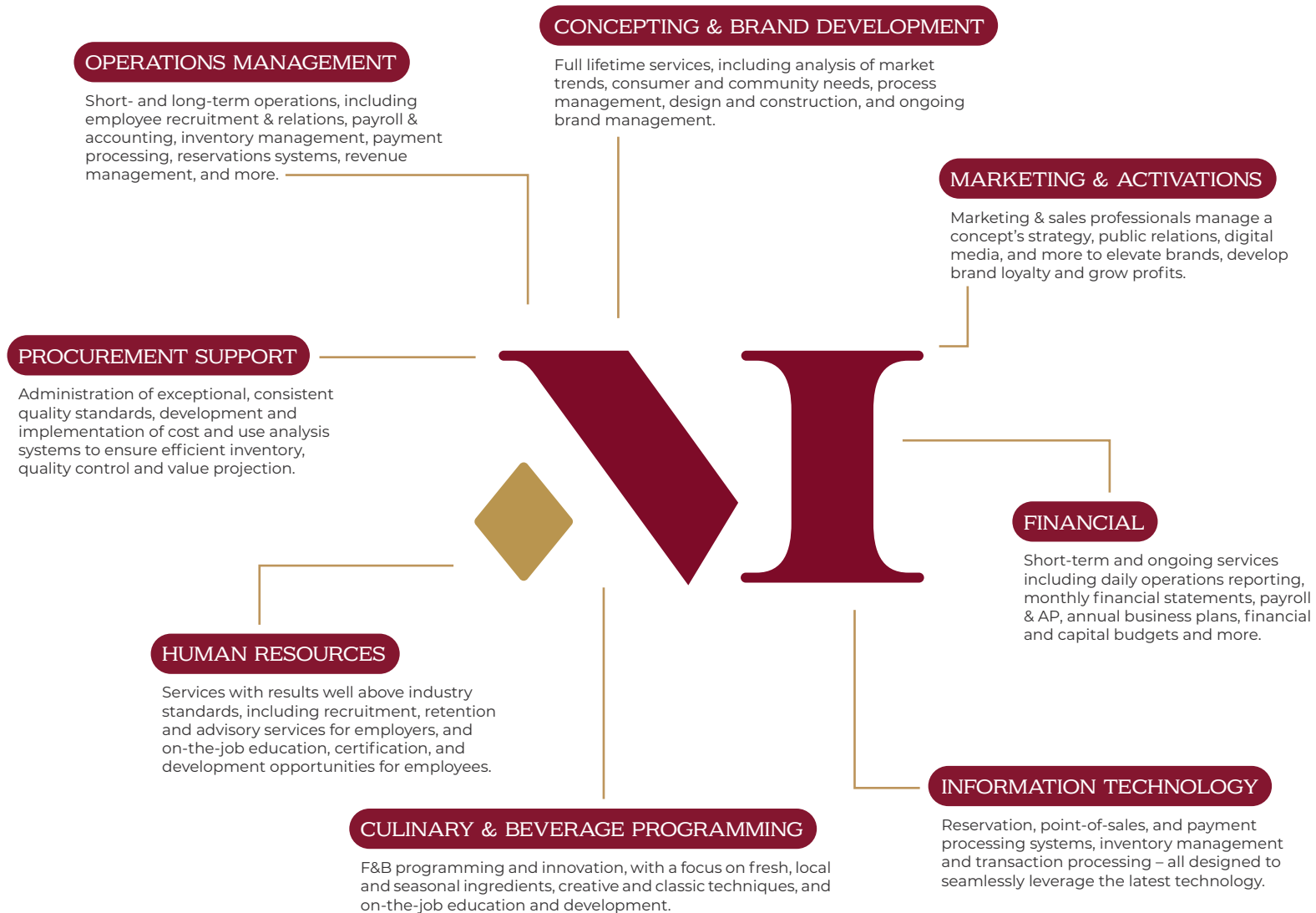
Morrissey Hospitality properties are welcoming, purposeful and community-driven. Altruism, philanthropy and community are cornerstones of our company, and we find intrinsic value in connecting with the communities we serve.

Our properties not only serve as gathering spaces – they also benefit their local communities. Morrissey concepts provide local employment opportunities, tourism, and community engagement and enrichment.

Morrissey Hospitality is a leader in philanthropic efforts in the Twin Cities. In 2020, we provided over 16,000 meals to First Responders and Front Line Hospital Staff, and took over leadership of the Ronald McDonald House. Morrissey Hospitality partners with the Boys & Girls Club of the Twin Cities, and in 2020-2021, the Morrissey team prepared and provided over 47,000 meals to families in need. Additionally, Morrissey Hospitality participates in the annual "Light the Night" event for the Leukemia & Lymphoma Society.

# SERVICES

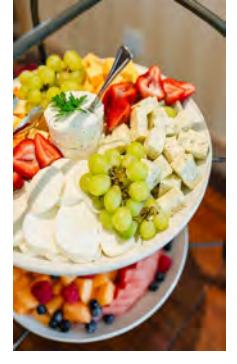
Morrissey Hospitality builds brands, gives guests extraordinary experiences, and exceeds expectations for hotel, restaurant and event venue partners. With over 25 years in hospitality, our partnerships are based on mutual respect, common goals and shared values. Morrissey Hospitality's team of entrepreneurs and innovators, and experts in hospitality management, culinary, beverage, finance, event planning, marketing, design, branding and concepting.



## FOLLOW

[www.morrisseyhospitality.com](http://www.morrisseyhospitality.com) | Morrissey Hospitality    

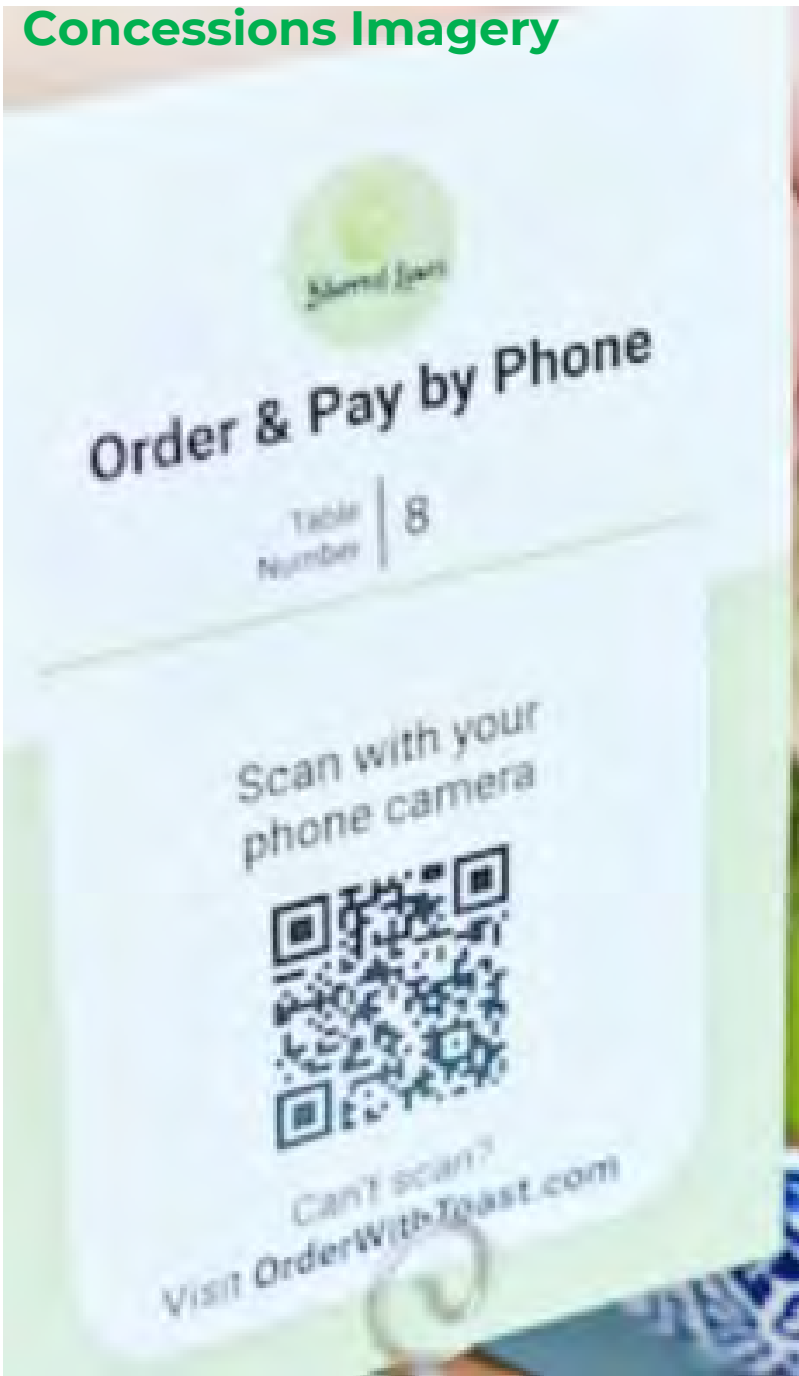
# BANQUETS & CATERING IMAGERY



# RESTAURANT IMAGERY



# Concessions Imagery



## FIVE YEAR PROFORMA

		Assumptions	Year 1	Year 2	Year 3	Year 4	Year 5
<b>Revenue</b>							
Restaurant			\$ 859,846	\$ 1,263,973	\$ 1,592,606	\$ 1,872,904	\$ 2,044,837
Concessions			\$ 12,500	\$ 13,125	\$ 13,781	\$ 14,470	\$ 15,194
Catering			\$ 300,000	\$ 405,000	\$ 546,750	\$ 656,100	\$ 754,515
Other			\$ 100,000	\$ 135,000	\$ 182,250	\$ 218,700	\$ 251,505
<b>Total Revenue</b>			<b>\$ 1,272,346</b>	<b>\$ 1,817,098</b>	<b>\$ 2,335,387</b>	<b>\$ 2,762,175</b>	<b>\$ 3,066,051</b>
<b>COGS</b>							
Cost of Food			\$ 213,893	\$ 305,518	\$ 390,739	\$ 461,295	\$ 510,617
Cost of Beverage			\$ 122,371	\$ 176,839	\$ 225,901	\$ 266,770	\$ 294,490
<b>Total COGS</b>			<b>\$ 336,263</b>	<b>\$ 482,357</b>	<b>\$ 616,640</b>	<b>\$ 728,065</b>	<b>\$ 805,107</b>
			28.68%	28.68%	28.64%	28.62%	28.61%
<b>Salaries &amp; Wages</b>							
Fixed Labor			\$ 225,000	\$ 296,750	\$ 305,653	\$ 314,822	\$ 324,267
Variable Labor			\$ 338,274	\$ 480,871	\$ 619,063	\$ 732,442	\$ 814,443
<b>Total S&amp;W</b>			<b>\$ 563,274</b>	<b>\$ 777,621</b>	<b>\$ 924,716</b>	<b>\$ 1,047,264</b>	<b>\$ 1,138,709</b>
<i>% of revenue</i>			44.3%	42.8%	39.6%	37.9%	37.1%
<b>PTEB</b>							
EE Benefits (Medical, 401k Etc)	% of payroll	5.00%	\$ 28,164	\$ 38,881	\$ 46,236	\$ 52,363	\$ 56,935
Workers' Compensation Insurance	% of payroll	1.70%	\$ 9,576	\$ 13,220	\$ 15,720	\$ 17,803	\$ 19,358
Payroll Taxes	% of payroll	9.00%	\$ 50,695	\$ 69,986	\$ 83,224	\$ 94,254	\$ 102,484
<b>Total PTEB</b>			<b>\$ 88,434</b>	<b>\$ 122,087</b>	<b>\$ 145,180</b>	<b>\$ 164,420</b>	<b>\$ 178,777</b>
<b>Total Payroll Costs</b>			<b>\$ 651,708</b>	<b>\$ 899,708</b>	<b>\$ 1,069,896</b>	<b>\$ 1,211,685</b>	<b>\$ 1,317,487</b>
<i>% of revenue</i>			51.2%	49.5%	45.8%	43.9%	43.0%
<i>Prime Costs</i>			77.65%	76.06%	72.22%	70.23%	69.23%
<b>Food and Beverage Operating Expenses</b>							
Cleaning Supplies	% of F&B revenue	0.65%	\$ 7,539	\$ 10,848	\$ 13,906	\$ 16,439	\$ 18,196
Complimentary Services/Gifts	% of F&B revenue, cost of food and beverage comps	0.30%	\$ 3,480	\$ 5,007	\$ 6,418	\$ 7,587	\$ 8,398
Contract Services	draught line cleaning and maintenance, other contract services, PM		\$ 48,000	\$ 48,000	\$ 48,000	\$ 48,000	\$ 48,000
Decorations	\$1,000 per quarter, flowers and seasonal décor		\$ 4,000	\$ 4,000	\$ 4,000	\$ 4,000	\$ 4,000
Dues and Subscriptions	association fees		\$ 2,400	\$ 2,400	\$ 2,400	\$ 2,400	\$ 2,400
Licenses and Permits	food and liquor license, music rights		\$ 5,200	\$ 5,200	\$ 5,200	\$ 5,200	\$ 5,200
Operating Supplies	% of F&B revenue, misc supplies	0.55%	\$ 6,379	\$ 9,179	\$ 11,766	\$ 13,910	\$ 15,396
Printing and Stationery	menu printing, F&B related collateral		\$ 2,400	\$ 2,400	\$ 2,400	\$ 2,400	\$ 2,400
Training	annual food safety certifications, BT tips training		\$ 4,800	\$ 4,800	\$ 4,800	\$ 4,800	\$ 4,800
Uniform Costs	replacement and new hire uniforms		\$ 2,400	\$ 1,200	\$ 1,200	\$ 1,200	\$ 1,200
China	annual replacement to maintain par		\$ -	\$ 6,000	\$ 6,000	\$ 6,000	\$ 6,000
Glassware	annual replacement to maintain par		\$ -	\$ 1,200	\$ 1,200	\$ 1,200	\$ 1,200
Flatware	annual replacement to maintain par		\$ -	\$ 2,400	\$ 2,400	\$ 2,400	\$ 2,400
Dishwashing Supplies	% of F&B revenue	0.65%	\$ 7,539	\$ 10,848	\$ 13,906	\$ 16,439	\$ 18,196
Music and Entertainment	caple and overhead music costs		\$ 5,600	\$ 5,600	\$ 5,600	\$ 5,600	\$ 5,600
Paper and Plastics	% of F&B revenue	0.95%	\$ 11,019	\$ 15,855	\$ 20,324	\$ 24,026	\$ 26,594
Reservation Fees	annual reservation system costs		\$ 4,200	\$ 4,200	\$ 4,200	\$ 4,200	\$ 4,200
Utensils	annual replacement to maintain par		\$ -	\$ 1,200	\$ 1,200	\$ 1,200	\$ 1,200
<b>Total F&amp;B Expenses</b>			<b>\$ 114,955</b>	<b>\$ 140,338</b>	<b>\$ 154,920</b>	<b>\$ 166,999</b>	<b>\$ 175,380</b>
<i>% of revenue</i>			9.03%	7.72%	6.63%	6.05%	5.72%
<b>Undistributed Expenses</b>							
<b>Technology</b>							
Tec- A&G	security and accounting software		\$ 3,500	\$ 3,500	\$ 3,500	\$ 3,500	\$ 3,500
Tec- Cost of Cell Phones	two management phones \$75 per month, 1 MOD phone \$150 per month		\$ 3,600	\$ 3,600	\$ 3,600	\$ 3,600	\$ 3,600
Tec-Cost of Internet Services	guest/admin internet		\$ 1,800	\$ 1,800	\$ 1,800	\$ 1,800	\$ 1,800
Tec-Cost of Telephone			\$ 1,800	\$ 1,800	\$ 1,800	\$ 1,800	\$ 1,800
Tec- Hardware	misc technology hardware, computers, printers		\$ 5,500	\$ 1,500	\$ 1,500	\$ 1,500	\$ 1,500
Tec- Information Systems	LAN/WAN, email software, PCI compliance		\$ 1,000	\$ 1,000	\$ 1,000	\$ 1,000	\$ 1,000

Tec- F&B	POS system	\$	7,800	\$	7,800	\$	7,800	\$	7,800	\$	7,800
Tec - Sales & Marketing	Catering Software	\$	2,800	\$	2,800	\$	2,800	\$	2,800	\$	2,800
<b>Total Technology</b>		\$	<b>27,800</b>	\$	<b>23,800</b>	\$	<b>23,800</b>	\$	<b>23,800</b>	\$	<b>23,800</b>
% of revenue			2.18%		1.31%		1.02%		0.86%		0.78%
<b>A&amp;G</b>											
A&G- Bank Charges		\$	1,800	\$	1,800	\$	1,800	\$	1,800	\$	1,800
A&G- Credit Card Commissions	% of revenue	2.90%	\$ 36,898	\$	52,696	\$	67,726	\$	80,103	\$	88,915
A&G- Human Resources	recruiting, misc HR expenses	\$	6,000	\$	3,000	\$	3,000	\$	3,000	\$	3,000
A&G- Legal Services	misc legal expenses	\$	3,000	\$	3,000	\$	3,000	\$	3,000	\$	3,000
A&G- Payroll Processing	% of payroll	1.30%	\$ 7,323	\$	10,109	\$	12,021	\$	13,614	\$	14,803
<b>Total A&amp;G</b>		\$	<b>55,021</b>	\$	<b>70,605</b>	\$	<b>87,548</b>	\$	<b>101,518</b>	\$	<b>111,519</b>
% of revenue			4.32%		3.89%		3.75%		3.68%		3.64%
<b>S&amp;M</b>											
Sales/Marketing- Media		\$	44,532	\$	36,342	\$	46,708	\$	55,243	\$	61,321
Sales/Marketing- Website		\$	31,809	\$	18,171	\$	23,354	\$	27,622	\$	30,661
<b>Total S&amp;M</b>		\$	<b>76,341</b>	\$	<b>54,513</b>	\$	<b>70,062</b>	\$	<b>82,865</b>	\$	<b>91,982</b>
% of revenue			6.00%		3.00%		3.00%		3.00%		3.00%
<b>POM</b>											
POM- Building		\$	2,500	\$	2,600	\$	2,704	\$	2,812	\$	2,925
POM- Elec. & Mech.	First year many items under warranty	\$	2,000	\$	2,500	\$	2,600	\$	2,704	\$	2,812
POM- Elevators & Escalators	75% of first year under warranty	\$	1,000	\$	4,000	\$	4,000	\$	4,000	\$	4,000
POM- Engineering Supplies		\$	480	\$	499	\$	519	\$	540	\$	562
POM- Furniture and Equipment		\$	1,000	\$	1,500	\$	3,000	\$	3,120	\$	3,245
POM- Grounds		\$	1,500	\$	1,500	\$	1,500	\$	1,500	\$	1,500
POM- HVAC Equipment		\$	1,000	\$	2,500	\$	2,500	\$	2,500	\$	3,500
POM- Kitchen Equipment		\$	2,000	\$	3,000	\$	3,120	\$	3,245	\$	3,375
POM- Life/Safety	Fire alarm and sprinkler testing	\$	2,800	\$	2,912	\$	3,028	\$	3,150	\$	3,276
POM- Waste Removal		\$	10,800	\$	11,448	\$	12,135	\$	12,863	\$	13,635
<b>Total POM</b>		\$	<b>25,080</b>	\$	<b>32,459</b>	\$	<b>35,107</b>	\$	<b>36,433</b>	\$	<b>38,828</b>
% of revenue			1.97%		1.79%		1.50%		1.32%		1.27%
<b>Utilities</b>											
Electricity	6% increase YOY	\$	45,000	\$	47,700	\$	50,562	\$	53,596	\$	56,811
Gas	6% increase YOY	\$	18,000	\$	19,080	\$	20,225	\$	21,438	\$	22,725
Water/Sewer	6% increase YOY	\$	12,000	\$	12,720	\$	13,483	\$	14,292	\$	15,150
<b>Total Utilities</b>		\$	<b>75,000</b>	\$	<b>79,500</b>	\$	<b>84,270</b>	\$	<b>89,326</b>	\$	<b>94,686</b>
<b>GOP</b>		\$	<b>(89,822)</b>	\$	<b>33,817</b>	\$	<b>193,145</b>	\$	<b>321,484</b>	\$	<b>407,264</b>
<b>Fixed</b>											
Fixed- General Liability Insurance		\$	12,000	\$	12,600	\$	13,230	\$	13,892	\$	14,586
Fixed- Management Fees	% of revenue	5.00%	\$ 63,617	\$	90,855	\$	116,769	\$	138,109	\$	153,303
<b>Total Fixed</b>		\$	<b>75,617</b>	\$	<b>103,455</b>	\$	<b>129,999</b>	\$	<b>152,000</b>	\$	<b>167,889</b>
<b>EBITDA</b>		\$	<b>(165,439)</b>	\$	<b>(69,637)</b>	\$	<b>63,145</b>	\$	<b>169,484</b>	\$	<b>239,375</b>
% of revenue			-13.00%		-3.83%		2.70%		6.14%		7.81%

## FIVE YEAR PROFORMA - ASSUMPTIONS

Capacity	Sq. Footage	Questions	Assumption	Est Capacity
Restaurant	3,300	Kitchen serves approx. 400?	18 sq ft per guest, min revenue \$150/sq foot	183
Patio	2,700		18 sq ft per guest, min revenue \$150/sq foot	150
Catering	7,000	Kitchenette is prep kitchen	15 sq ft per guest	467
Rooftop Patio	3,050	Restaurant or Catering Only?		

### Assumptions

#### Restaurant / Patio

Year 1 covers based on 50% factor from Kendall's 2015 - factor based on decrease in overall population between locations  
 Covers increasing 40%, 20%, 12%, 6% into year 5  
 Anticipate nominal growth in covers after year 5. 3 - 5% annually  
 Year 1 average check starts at \$26.50 assumes upscale casual full service restaurant in line with comp set  
 Average check increasing 5% through year 4 and 3% in year 5  
 Average check increase will result from ongoing menu development  
 Opening operating model is 5 days / week Lunch & Dinner Service  
 Restaurant is self sustaining - not seasonal or dependent on concessions / catering drivers  
 Restaurant is community gathering spot  
 Revenue surpasses \$150 revenue / square foot in Year 2

#### Concessions

Concessions are amenity for outdoor water features  
 Food and NA sales only, no alcohol  
 Seasonal May - September  
 Year 1 revenue based on \$125 / day x 20 operating days or \$2,500 / month  
 5% YOY growth through Year 5 is combination of volume and menu mix / pricing

#### Catering

In house catering serviced by restaurant kitchen  
 Food, Beverage, Supplies can be safely and efficiently transported to second floor  
 Second floor kitchen is prep kitchen / warming kitchen only  
 Revenue includes base food & beverage + 25% other revenue (room rental / catering service charge, misc., etc.)  
 Year 1 revenue assumes Catering Sales Person is hired and selling pre opening  
 YOY revenue trajectory is based on growth trends from other start up catering operations  
 Not based on Bunker Hills due to golf factor and business on the books at takeover

#### Concerns with maximizing catering revenue

Quality of food and beverage service based on existing layout, kitchen, and elevator  
 1 large space will not allow for multiple bookings on same day  
 1 large space may not appeal to small groups or breakout meetings  
 How community center will be marketing and what groups they will like to attract  
 Next level analysis should break out sales plan with event types and average checks

#### Expenses

Facility will target prime cost (Food and Beverage + Labor) at or below 70%  
 Prime costs to be achieved in Year 4 and beyond  
 Facility will target operating costs (F&B Expenses + Technology) at 8%  
 Operating costs target achieved in Year 3  
 Assumptions based on comparable facility, to be refined as operation is built out  
 Tech Hardware (Computers, POS, etc.) to be included with preopening capital  
 Industry average marketing spend of 3% to be achieved in Year 2 and beyond.  
 Year 1 marketing spend at 6% to drive traffic and achieve targeted restaurant covers and catering bookings  
 Minimal POM (Production and Operations Management) spending due to age of building  
 Assumes maintenance for F&B spaces only, CAM parking lot, snow removal, lawn care etc. not included  
 Assumes 5% management fee structure  
 EBITDA (Earnings Before Interest, Tax, Depreciation, and Amortization) improves annually and turns positive in year 3

**The Waterfront-Capital % Ranging and Estimating**

SQ-FT	Location	Estimated Cost (Index Medium)	Kitchen & Cooking Equipment	Smallwares & Tabletop	Table, Furniture and Fixtures	Point of Sale and Restaurant App Automation	Electronic Signage & Interfaces	General Conditions Permits  Associated Fees	Contingency
<b>560</b>	<b>Concessions Stand</b>								
	Lower End Level	\$ 61,600	\$ 14,784	\$ 5,544	\$ 11,088	\$ 1,848	\$ 2,464	\$ 11,088	\$ 6,160
	Standard or Mid-Level	\$ 86,800	\$ 20,832	\$ 7,812	\$ 15,624	\$ 2,604	\$ 3,472	\$ 15,624	\$ 8,680
	Higher Level	\$ 117,600	\$ 28,224	\$ 10,584	\$ 21,168	\$ 3,528	\$ 4,704	\$ 21,168	\$ 11,760
<b>2000</b>	<b>Main Kitchen</b>								
	Lower End Level	\$ 220,000	\$ 52,800	\$ 19,800	\$ 39,600	\$ 6,600	\$ 8,800	\$ 39,600	\$ 22,000
	Standard or Mid-Level	\$ 310,000	\$ 74,400	\$ 27,900	\$ 55,800	\$ 9,300	\$ 12,400	\$ 55,800	\$ 31,000
	Higher Level	\$ 420,000	\$ 100,800	\$ 37,800	\$ 75,600	\$ 12,600	\$ 16,800	\$ 75,600	\$ 42,000
<b>220</b>	<b>Indoor/Outdoor Bar</b>								
	Lower End Level	\$ 24,200	\$ 5,808	\$ 2,178	\$ 4,356	\$ 726	\$ 968	\$ 4,356	\$ 2,420
	Standard or Mid-Level	\$ 34,100	\$ 8,184	\$ 3,069	\$ 6,138	\$ 1,023	\$ 1,364	\$ 6,138	\$ 3,410
	Higher Level	\$ 46,200	\$ 11,088	\$ 4,158	\$ 8,316	\$ 1,386	\$ 1,848	\$ 8,316	\$ 4,620
<b>3300</b>	<b>Restaurant-LL</b>								
	Lower End Level	\$ 363,000	\$ 87,120	\$ 32,670	\$ 65,340	\$ 10,890	\$ 14,520	\$ 65,340	\$ 36,300
	Standard or Mid-Level	\$ 511,500	\$ 122,760	\$ 46,035	\$ 92,070	\$ 15,345	\$ 20,460	\$ 92,070	\$ 51,150
	Higher Level	\$ 693,000	\$ 166,320	\$ 62,370	\$ 124,740	\$ 20,790	\$ 27,720	\$ 124,740	\$ 69,300
<b>2700</b>	<b>Patio-LL</b>								
	Lower End Level	\$ 297,000	\$ 71,280	\$ 26,730	\$ 53,460	\$ 8,910	\$ 11,880	\$ 53,460	\$ 29,700
	Standard or Mid-Level	\$ 418,500	\$ 100,440	\$ 37,665	\$ 75,330	\$ 12,555	\$ 16,740	\$ 75,330	\$ 41,850
	Higher Level	\$ 567,000	\$ 136,080	\$ 51,030	\$ 102,060	\$ 17,010	\$ 22,680	\$ 102,060	\$ 56,700
<b>7000</b>	<b>Event Center-UL</b>								
	Lower End Level	\$ 770,000	\$ 184,800	\$ 69,300	\$ 138,600	\$ 23,100	\$ 30,800	\$ 138,600	\$ 77,000
	Standard or Mid-Level	\$ 1,085,000	\$ 260,400	\$ 97,650	\$ 195,300	\$ 32,550	\$ 43,400	\$ 195,300	\$ 108,500
	Higher Level	\$ 1,470,000	\$ 352,800	\$ 132,300	\$ 264,600	\$ 44,100	\$ 58,800	\$ 264,600	\$ 147,000
<b>380</b>	<b>Skullery Kitchen-UL</b>								
	Lower End Level	\$ 41,800	\$ 10,032	\$ 3,762	\$ 7,524	\$ 1,254	\$ 1,672	\$ 7,524	\$ 4,180
	Standard or Mid-Level	\$ 58,900	\$ 14,136	\$ 5,301	\$ 10,602	\$ 1,767	\$ 2,356	\$ 10,602	\$ 5,890
	Higher Level	\$ 79,800	\$ 19,152	\$ 7,182	\$ 14,364	\$ 2,394	\$ 3,192	\$ 14,364	\$ 7,980
<b>3050</b>	<b>Rooftop Patio-UL</b>								
	Lower End Level	\$ 335,500	\$ 80,520	\$ 30,195	\$ 60,390	\$ 10,065	\$ 13,420	\$ 60,390	\$ 33,550
	Standard or Mid-Level	\$ 472,750	\$ 113,460	\$ 42,548	\$ 85,095	\$ 14,183	\$ 18,910	\$ 85,095	\$ 47,275
	Higher Level	\$ 640,500	\$ 153,720	\$ 57,645	\$ 115,290	\$ 19,215	\$ 25,620	\$ 115,290	\$ 64,050
<b>19210</b>	<b>Project Estimates</b>								
	Lower End Level	\$ <b>2,113,100</b>	\$ <b>507,144</b>	\$ <b>190,179</b>	\$ <b>380,358</b>	\$ <b>63,393</b>	\$ <b>84,524</b>	\$ <b>380,358</b>	\$ <b>211,310</b>
	Standard or Mid-Level	\$ <b>2,977,550</b>	\$ <b>714,612</b>	\$ <b>267,980</b>	\$ <b>535,959</b>	\$ <b>89,327</b>	\$ <b>119,102</b>	\$ <b>535,959</b>	\$ <b>297,755</b>
	Higher Level	\$ <b>4,034,100</b>	\$ <b>968,184</b>	\$ <b>363,069</b>	\$ <b>726,138</b>	\$ <b>121,023</b>	\$ <b>161,364</b>	\$ <b>726,138</b>	\$ <b>403,410</b>
	<b>Per Square Foot</b>								
	Lower End Level	\$ <b>110.00</b>							
	Standard or Mid-Level	\$ <b>155.00</b>							
	Higher Level	\$ <b>210.00</b>							

Capital Improvement Program  
 City of Ramsey, Minnesota

2024 *thru* 2033

Department Park Improvements  
 Contact  
 Type Improvement  
 Useful Life 20 Years  
 Category Park Improvement  
 Priority 2-New Addition (High)  
 Status Active

Project # 08-PARK-005  
 Project Name Park Development in The COR

Total Cost \$1,350,000

Description

This proposed capital improvement represents additional park development in The COR, beginning in 2023. The project may be landscape improvements at Municipal Plaza and/or first phase development of The Waterfront to include a splash pad.

Justification

A splash pad continues to be requested by residents, and mass grading for The Waterfront park will generate fill for areas of The COR the city desires to sell.

Prior	Expenditures	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	Total
150,000	Improvements Other than Building Cost	1,200,000										1,200,000
<b>Total</b>	<b>Total</b>	<b>1,200,000</b>										<b>1,200,000</b>

Prior	Funding Sources	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	Total
150,000	Park Improvement Trust Fund	1,200,000										1,200,000
<b>Total</b>	<b>Total</b>	<b>1,200,000</b>										<b>1,200,000</b>

Capital Improvement Program

2024 *thru* 2033

City of Ramsey, Minnesota

Project #	04-BLDG-002
Project Name	Community Center Construction

Department	Municipal Buildings
Contact	Unassigned
Type	Buildings
Useful Life	50 Years
Category	Municipal Building
Priority	5-Opportunity/Unfunded/Placeholder
Status	Active

Description	Total Cost \$20,000,000
<p>The Community Center would include recreational areas such as a swimming pool, gym, etc. It would also include meeting rooms for various organizations to hold banquets, monthly meetings, etc.</p> <p>Construction of a community center will rely on a partnership with another organization(s).</p>	

Justification	Per public consensus, the need for a Community Center is a justified expenditure of public financing. Currently, Ramsey residents must leave the City limits and drive a considerable distance to get to such a facility.
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Expenditures	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	Total
Building Cost/Construction										20,000,000	20,000,000
<b>Total</b>										<b>20,000,000</b>	<b>20,000,000</b>
Funding Sources	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	Total
To Be Determined										20,000,000	20,000,000
<b>Total</b>										<b>20,000,000</b>	<b>20,000,000</b>

**CC Work Session****Meeting Date:** 04/09/2024**Primary Strategic Plan Initiative:** Promote economic growth and development.**Information****Title:**

Old Town Hall Discussion - 50th Anniversary

**Purpose/Background:**

Council Members Specht and Howell asked for this item to be brought forward for discussion. Ramsey is having its 50th Anniversary this year and trying to bring the Old Town Hall back into service in some capacity could be part of the celebration.

**Renovation History and New Pricing Estimate**

The City worked with the U of M and Resilient Communities Project (RCP) to put together a 1) Historical Report of the Old Town Hall (17A) and 2) the Future of Ramsey Town Hall (17B). The Historical Report has been provided for reference but the focus of the discussion centers around the renovation and future use of this historical building in Report 17B. The report evaluated the pros and cons of keeping the building at its current location or moving it to the COR. The report concluded that leaving it in its current location would allow it to remain on the National Register and not risk damaging the building by moving it. The report then looked at what would be needed to renovate the building so it could be restored appropriately and be able to be occupied and used. Any renovation would need to comply with the Secretary of the Interior's Standards for Rehabilitation as outlined in the RCP report.

In order to maintain its place on the National Register, special care must be taken to restore the building as close to the original conditions as possible. The report outlines the 2 major steps necessary to get to this point: 1) Climatization and 2) Pre-Occupancy Upgrade. In 2018, the cost to bring this building into operation was estimated to be \$44,940. In 2019, the City re-roofed the building and repaired the eaves. In 2021 a private business asked the city to renovate the building and to lease it back for a boutique. Quotes for the renovation at this time were \$111,900 to \$139,270 based on increased costs of construction and inflation staff is estimating a 50% mark-up from the 2021 pricing which would amount to a cost of \$167,850 to \$208,905.

**Parking / History**

When the First Bank of Isanti bought the land next to Town Hall and constructed its facility, a Declaration of Reciprocal Easements document was filed. (See attached) This document references a shared parking easement agreement between the Old Town Hall and the Bank that is permanent and perpetual. Other requirements of the agreement include ongoing maintenance by the bank with the City being responsible for 29% of the maintenance costs within 30 days receipt of an invoice by the Bank and hours that the Old Town Hall can use a portion of the bank parking lot excluding specific hours during bank operation. Staff is not aware of any invoices that have been issued to the City but will need to verify with finance. There was supposed to be an Exhibit as part of the recorded document by KKE defining these areas better but unfortunately it is not part of the document of record at Anoka County. Staff has searched for records internally for the KKE Exhibit but have been unable to find it. Staff has reached out to Flagship bank to see if they have any interest in formalizing a new parking agreement that would make use of the Old Town Hall more viable. Unfortunately, Flagship Bank is in the middle of a merger and won't have time to discuss options in any detail until the merger is complete which is estimated to be sometime in May.

**Future Use Options**

The 17b RCP report discussed potential future use of the Old Town Hall. Uses contemplated ranged from a

public space, museum, school, arts, business and incubator. Staff has received multiple requests about the availability of the building for lease for various types of businesses in the past. Schools and retail uses have approached the City but due to the condition and renovation needed to the building the users go elsewhere. These users were excited at the possibility of using this unique building and think its allure will benefit their businesses. Parking is also difficult to solve for and any agreement with a future tenant would likely need some sort of cross parking easement with the adjacent properties.

The Old Town Hall has an estimated 778 SF of lease space. It includes a bathroom, main hall and cloak room. Staff consulted with a local real estate agent in 2021 and market rate rent for this building would be in the \$12-18 / SF range with the tenant responsible for the utilities / snowplowing and the City responsible for the property taxes. Staff estimates that a current lease rate would fall into the \$14-20 / SF range.

**Private Party Lease**

The EDA reviewed this use in 2021 and recommended that staff renovate the building when pricing came down. Unfortunately, pricing has not come down since Covid and Staff has not brought solicited new quotes for a renovation and to market it to the private sector for lease.

**Public / Parks**

Ideas for use of the site include art classes and rental for small events. Staff has spoke with Mark Riverblood and he was not confident he could identify many viable parks uses for that building based on the layout, outside noise and uncertain parking. He noted he thought it was a better niche retail location if the use didn't require much parking or if a parking solution could be found.

**Visitor Center**

Mayor Kuzma has expressed interest in moving the Old Town Hall to the Anoka County Mississippi West Regional Park and to utilize it as a Visitor Center. More information is needed to determine the viability of this based on the information in the RCP Report.

**Timeframe:**

10-20 minutes

**Funding Source:**

To Be Determined

**Responsible Party(ies):**

Brian Hagen

**Outcome:**

To determine the future use of Old Town Hall and if it's viable to renovate or move.

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**Attachments**

- Site Location Map
- RCP Report 17A
- RCP Report 17B
- Reciprocal Easement Agreement (Recorded)

**Form Review**

**Inbox**

Brian Hagen

Form Started By: Sean Sullivan

**Reviewed By**

Brian Hagen

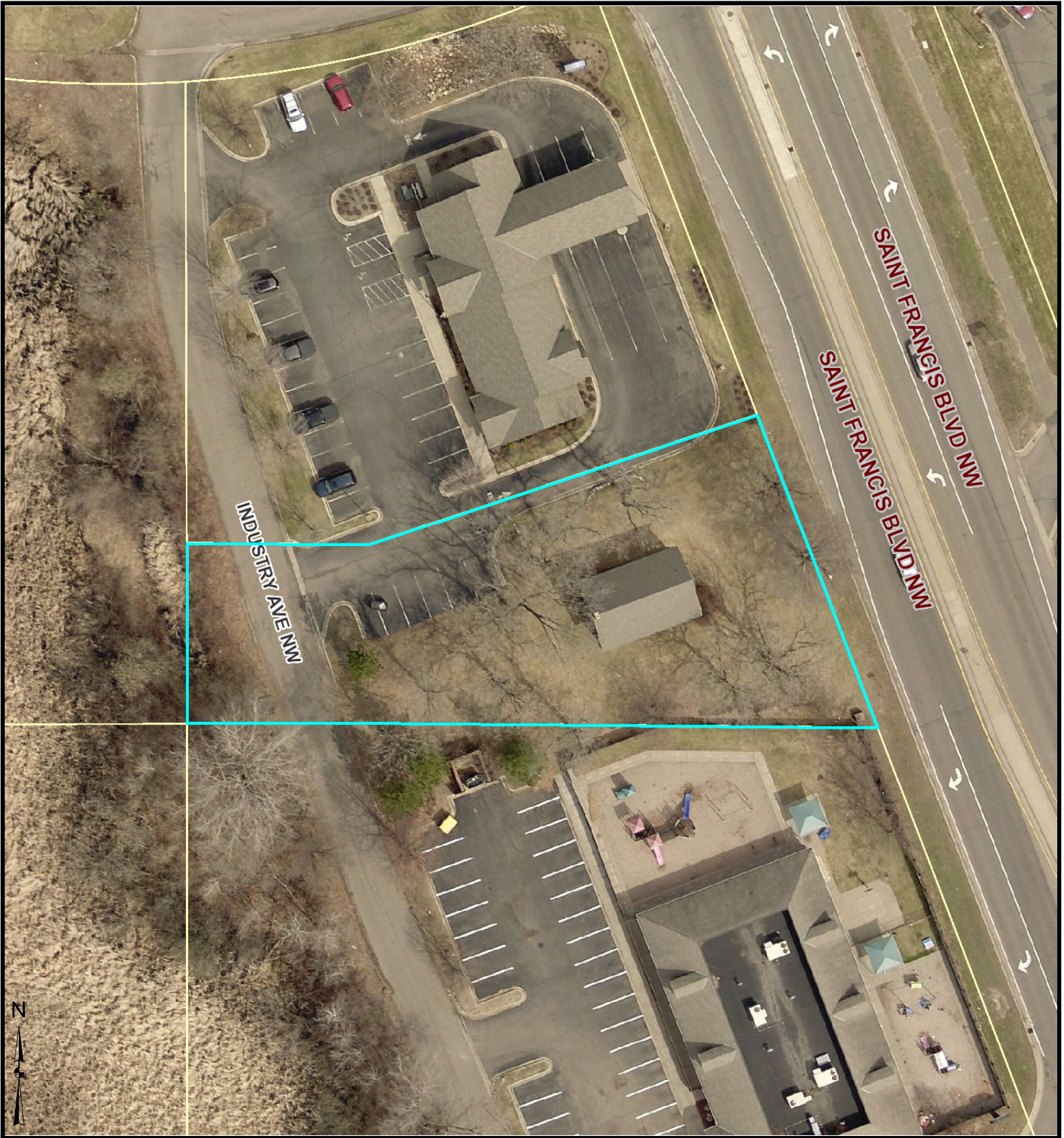
**Date**

04/04/2024 04:13 PM

Started On: 04/04/2024 03:17 PM

Final Approval Date: 04/04/2024

# Anoka County Parcel Viewer



**Parcel Information:**    Approx. Acres: 0.49  
25-32-25-43-0063    Commissioner: MATT LOOK  
14120 SAINT FRANCIS BLVD NW  
RAMSEY  
MN 55303  
Plat: OLD SCHOOL HOUSE NO. 28 ADDITION

**Owner Information:**  
RAMSEY CITY OF  
7550 SUNWOOD DRIVE  
RAMSEY  
MN  
55303



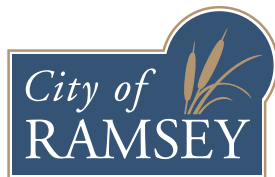
# Historic Ramsey Town Hall: Ramsey, MN



## Prepared by

Corinne Deger, Morgan Kuehn, Kate Stanger, and  
Vanessa Walton

Students in ARCH 5672: Historic Building Conservation  
Instructor: Todd Grover  
College of Design



Prepared in Collaboration with  
Kurt Ulrich  
City Administrator, City of Ramsey



The project on which this report is based was completed in collaboration with the City of Ramsey as part of the 2017–2018 Resilient Communities Project (RCP) partnership. RCP is a program at the University of Minnesota’s Center for Urban and Regional Affairs (CURA) that connects University faculty and students with Minnesota communities to address strategic projects that advance local resilience and sustainability.

The contents of this report represent the views of the authors, and do not necessarily reflect those of RCP, CURA, the Regents of the University of Minnesota, or the City of Ramsey.



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This publication may be available in alternate formats upon request.

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Web site: <http://www.rcp.umn.edu>



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# HISTORIC RAMSEY TOWN HALL

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RAMSEY, MINNESOTA

Corinne Deger, Morgan Kuehn, Kate Stanger, and Vanessa Walton  
COLLEGE OF DESIGN | UNIVERSITY OF MINNESOTA

# RAMSEY TOWN HALL, Ramsey, Minnesota

## 1. Introduction

The Ramsey Old Town Hall is located in Ramsey, Minnesota. The primary façade faces roughly East.

It is a small wood framed building with a rectangular footprint. The building is clad in Chaska brick, and the roof has asphalt shingles. The building has a first floor composed of a handful of rooms supported by wood floor joists. There is a basement that has a small landing and crawl space under the remainder of the first floor.

There have already been some preservation efforts on the building. There is gypsum board on the wood studs throughout the first level. Many of the probable future occupants of the Ramsey Town hall are small businesses. While the city of Ramsey may add a small homage inside the building to its historic significance, it will not be a focus of the reuse.

Considering these factors, we have decided to make recommendations based upon the Secretary of the Interior's Standards for Rehabilitation.



Figure 1 – Ramsey Town Hall Primary Façade

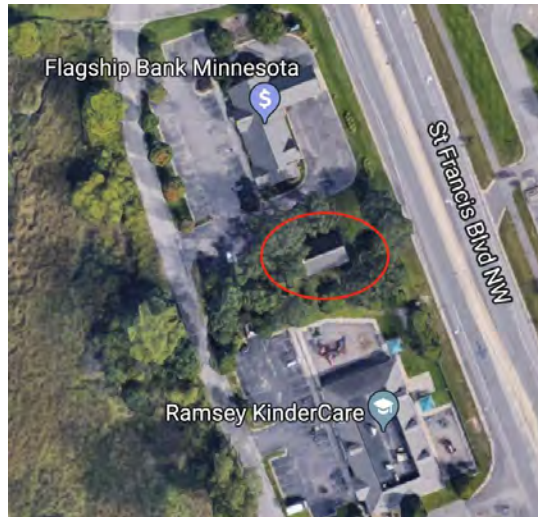


Figure 2 – North Oriented Map

## 2. History

The Ramsey Town Hall was built in 1892 as a one room school house referred to as the District No. 28 School. The brick school was built to replace a smaller wood frame school house. It is currently located at 14100 St. Francis Boulevard NW in Ramsey, Minnesota.

From 1892 until 1946, the building served as a modest rural schoolhouse for students from first to eighth grade. The building was constructed of buff colored bricks that were manufactured at the nearby Kelsey Brickyard. It had decorative segmental arches over the doors and windows, and a wood shingled roof. It had a pair of front doors that opened vertically at the center and were topped by a bell for calling students. Upon entering, there was a coat closet for the girls on the right, a water station and entrance to the basement in the center, and a coat closet for the boys and the archway into the classroom on the left. In the classroom, the teacher's desk was to the right, along the east wall. There was a small closet behind the teacher's desk. Rows of student desks faced the center of the room, chalkboards were on the back, west wall, and a wood burning stove sat in the back northwest corner. The building had plaster walls with wainscoting, a pressed tin ceiling, arched windows, and no electricity or running water.

# RAMSEY TOWN HALL, Ramsey, Minnesota

Today, the building sits between a bank on its north side, a day care center on its south side, and paved roads on the east and west sides. Originally, the schoolhouse sat on a large lot with a swamp and open land in the back, and an ample front yard with two large oak trees. The students used to play with the toads at the swamp, swing from a swing on the oak trees, and get water from the water pump in front of the building.

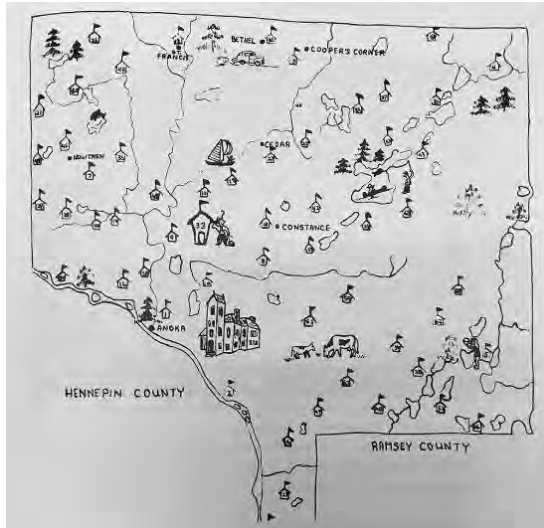


Figure 3 – Anoka Co Schools, No. 28 in Blue

Between 1943 and 1944, a local school father, Mr. Pearson, oversaw what is believed to be the first renovations. At this time, the original plaster above the wainscoting was removed from the walls and replaced with a form of paper board that had vertical strips of wood over the seams.

In 1946, the school closed and was converted into a town hall. Until this time, it was common that schools were used as meeting places for the town board. Additionally, as enrollment decreased, many one room school houses in the area were closing and larger schools were being built. In fact, when District No. 28 School closed, it had an enrollment of roughly nine students.<sup>1</sup>

The conversion to a town hall brought many changes to the building. On the exterior, the front door was replaced, the east, north, and south wall windows were replaced with rectangular windows, the west wall windows were bricked in with asphalt brick, asphalt shingles replaced the wood shingles on the roof, and a concrete belt course was added around the building. On the interior, the girl's

coat room was turned into a small kitchen, the small teacher's closet was removed, the chalk boards were painted yellow, the wood floor was covered with a vinyl flooring, and the paper board was replaced with fiber board. The building served as the Ramsey Town Hall until around 1974 when a new town hall was built.<sup>2</sup>

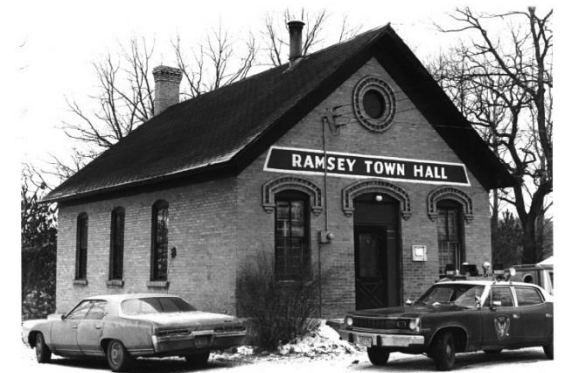


Figure 4 – Ramsey Town Hall 1978

After being listed in the National Register of Historic Places, rehabilitation of the building began. Currently, the building sits vacant and unfinished with several modern updates throughout.

<sup>1</sup> Alan Pearson and Betty Pearson, "Ramsey Town Hall / District No. 28 School," interview by Kate Stanger, November 29, 2017.

<sup>2</sup> Lynne VanBroeklin Spaeth, "School District No. 28," National Register of Historic Places Inventory/Nomination Form, St. Paul, November 6, 1979.

# RAMSEY TOWN HALL, Ramsey, Minnesota

## 3. Exterior

The rectangular building is clad in brick. There is a main entrance with windows on the eastern facade, and windows of various sizes scattered on all other sides.

### Front Entrance

The entrance of the building is fitted with particleboard, which has allowed the use of a standard size door in place of what was likely a door and curved transom window.



Figure 5 – Front Entrance with Particleboard

By the looks of the paint that is left on the brick near top and sides of the particleboard insert, the original wood door and framing was red. The door that is currently present, while functioning, is in poor condition.



Figure 6 – Red Paint on Overhead Framing

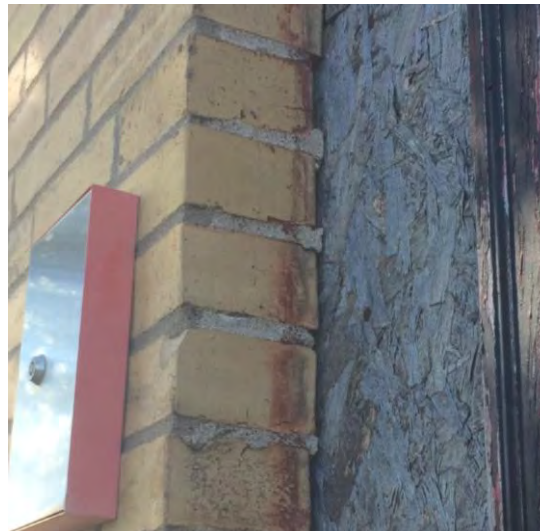


Figure 7 – Red Paint on Side Framing

Organic matter from bats is piled on the left side of the front door.

There is damage to the threshold of the front door and beyond the entrance exposing what looks to be part of the wood subfloor of the building.

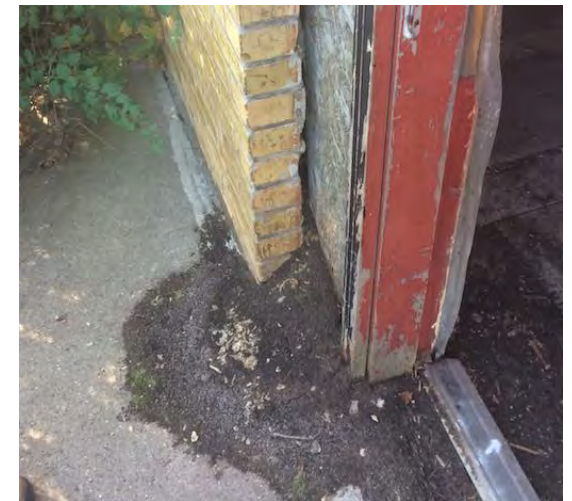


Figure 8 – Organic Matter near Front Door



Figure 9 – Front Door Threshold

# RAMSEY TOWN HALL, Ramsey, Minnesota

The concrete stoop and steps that lead up to the building have several cracks and are uneven. It appears as if there has been some patching between the steps and the building. There are no hand railings. The building entrance is not currently ADA accessible and the steps are at the wrong rise and run for an entrance.

## Recommendations

Primarily, the pile of organic matter at the entrance of the door should be removed. It poses a health hazard.

The building should be outfitted with the proper door and frame. In our research, we learned that the original door was a French door likely topped with a transom window. We'd suggest that a similar door be installed and painted in the same red that is used in other areas on the exterior of the building.

The current concrete steps should be removed and replaced with a system that is ADA compliant. All steps should have uniform riser heights and uniform tread depths. Risers should be 4 inches (100 mm) high minimum and 7 inches (180 mm) high maximum. Open risers are not allowed. Treads shall be 11 inches (280 mm) deep minimum. The radius of curvature at the leading edge of the tread shall be ½ inch (13 mm) maximum. Handrails shall be provided on both sides of stairs and ramps.

Additionally, slopes on the wheelchair ramp should be at a 1:12 ratio which equals 4.8 degrees slope (one foot of wheelchair ramp for each inch of rise). A minimum of 5' x 5' flat areas unobstructed should be at the top and bottom of the wheelchair ramp with a minimum width of 36 inches of clear space across the ramp.

## Brick

The façade is covered in a yellow Chaska brick veneer. While there have been some repairs to several sections of the facade; there are still a few problem areas. On the front facade, the use of plywood around the door caused gaps in between the plywood and the brick. These gaps gave us an opportunity to get a better look at the wood structure without taking out any bricks.

The North and South brick facades are warping leading us to speculate that the metal ties or other material attaching the veneer to the wood has deteriorated, most likely due to rusting from water exposure. Additionally, because of the accessible gaps, there were leaves and debris in between the wood frame and brick façade.

There is some deterioration of the brick caused by humans. Many of the bricks have carvings and etchings.



Figure 10 – Accessible Gap Behind Brick



Figure 11 – Carvings and Etchings in Brick

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Additionally, there are a series of chips in the brick on the South facade that appear to be in a gunshot pattern.



Figure 12 – Gunshot Pattern in Brick

There are multiple areas where there is broken brick. This is most evident on the window sills on the North and South elevations, around the front entrance, and on the chimney on the West elevation. This damage could have been caused by humans, objects hitting the brick, or water damage.



Figure 13 – Broken Brick at Corner

There is also deterioration of the brick that was caused by the environment. There are bricks on all four facades that are experiencing spalling, especially near the entrance of the building. Spalling is caused by water being absorbed into the brick and cracking the front face of the brick when the water freezes, therefore, it is evidence that water is not able to drain properly behind the veneer. The freezing and thawing of water can also crack large parts of the brick off in the locations noted previously.



Figure 14 – Environmental Degradation

Figure 15 shows several small holes where a sign may have been hung in the past.

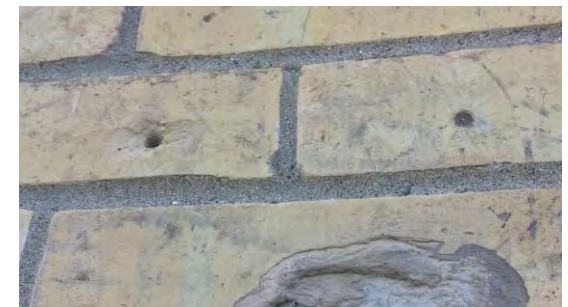


Figure 15 – Holes in Brick from Sign

# RAMSEY TOWN HALL, Ramsey, Minnesota

There are also some metal brackets in the façade; these were where electric lines and some services were connected.



Figure 16 – Metal Brackets in Brick



Figure 17 – Metal Brackets in Brick

There are several sections of the primary façade where it looks like some repointing has taken place, specifically under the window on the right-hand side, where the mortar is a different color, and to the top of the circular window at the top of the structure. Figures 18, 19 and 20 show other areas where repointing was done, including the chimney. The mortar joints where the repointing was done are much more prominent due to the following characteristics: over-grinding during repointing process damaged the brick around the repointed areas, a different color of mortar was used, possibly a different strength of mortar was used, and the size of the mortar joints are larger. The mortar is supposed to be weaker than the brick so that it cracks before the brick can.



Figure 18 – Attempted Repointing

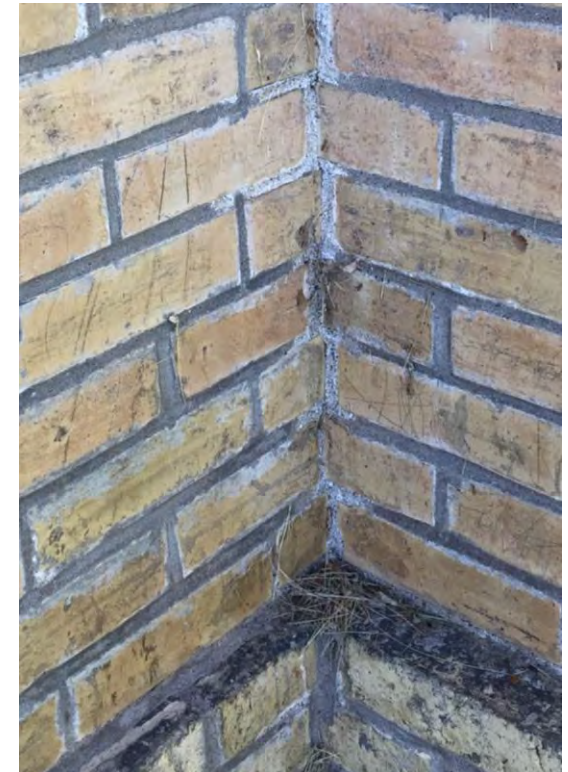


Figure 19 – Attempted Repointing



Figure 20 – Attempted Repointing

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There have been some attempts to repair some of the damaged brick in several places. Several of the repairs are closer to the concrete foundation on the Southern elevation. However, rather than replacing the brick that was broken off, concrete or mortar was used to fill in the broken pieces.



Figure 21 – Mortar Replacement to Fill Voids



Figure 22 – Mortar Replacement to Fill Voids

In one location, area of brick that was smeared with mortar on the rear elevation. The concrete curb that is located around the base of the North, South, and West elevations is most likely covering up deteriorated brick.



Figure 23 – Deteriorated Brick with Mortar

There are a couple of bricks that look like they were replaced with a different type of brick. The new bricks don't have the same coloring as the Chaska brick; they have more hints of red than yellow. These replacement bricks look like they have been damaged, which implies that they aren't as strong as the original Chaska brick.

There is a pipe that runs from the basement to the exterior on the North elevation. The area around the pipe was not filled in, so there is currently a hole in the wall that exposes the wood structure.



Figure 23 – Replacement Bricks



Figure 23 – Exterior Pipe Penetration

In addition to cracked brick and mismatched mortar, the chimney is missing a cap.

# RAMSEY TOWN HALL, Ramsey, Minnesota

## Recommendations

Any repointing done going forward must be done in a manner so as not to not grind into the bricks while removing the mortar. The mortar and brick used for any replacements must be of quality strength and grades as the original.<sup>3</sup>

If possible, use Chaska brick when replacing damaged bricks. Bricks could potentially be found at a salvage site, new Chaska bricks could be special ordered and produced, or bricks from the basement that are no longer visible could be used. If Chaska bricks are not available, find a brick of a similar strength, size, porosity, and color. A chimney cap matching the brick should be added.

Carvings in the brick are not currently a problem. Some would argue that leaving them provides a specific aesthetic that is worth keeping. However, spalling and holes should be repaired. The large penetration in the brick around the pipe should be repaired, and sealant should be applied.

The ties holding the brick veneer against the wood structure underneath should be reinforced. This project is priority.

The mortar that is covering the brick should be removed if possible. This process must be done by hand without damaging the brick. Replace the bricks as needed.

## Exterior Windows

There are eleven windows on this building. There are three double hung wood windows on the side elevations with a two-over-two dividing lite orientation, four wood windows on the rear elevation with a single vertical division, and one circular window on the front elevation. The windows have a wood frame and a vinyl side jamb.

The painting around the frame is patchy, and there is caulk missing around the window frames.



Figure 24 – Rear Window



Figure 25 – Side Elevation Window

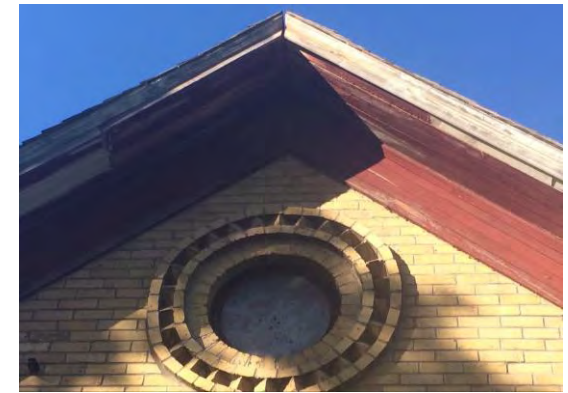


Figure 26 – Circular Front Window



Figure 27 – Paint Chipping on Window Frame

<sup>3</sup> Robert C. Mack, and John P. Spewiek. "Preservation Briefs 2: Repointing Mortar Joints in Historic Masonry Buildings," (Technical Preservation Services, NPS, 1998), <https://www.nps.gov/tps/how-to-preserve/briefs/2-repoint-mortar-joints.htm>.

# RAMSEY TOWN HALL, Ramsey, Minnesota

A pane is broken on one of the windows on the rear elevation. It is our understanding that the windows were replaced in 1946, but we do not have any confirmation about other replacements. We have been assuming that the windows were replaced again around 1990 because the existing windows appear to be newer since they are in decent condition. The paint has worn around the frame, which exposes the wood. If the windows were older than 1990, then there would be significant deterioration from the lack of maintenance. We found a tag in that states Marvin Windows is the manufacturer.

The brick around the top of the windows is arched which means that the tops of the windows were potentially curved as well. We could not find a photograph that would confirm this, so further research would be needed. We also could not confirm what kind of glass was in the front circular window. In general, there does not seem to be any major deterioration from mold or insects.

## Recommendations

If replacement of the windows is possible, replacements should have a curved upper sash, and the window divisions should be preserved. The following recommendations should be considered if replacement of the entire window is not possible.

The sashes and other portions of window showing mold should be replaced. The window frames should be painted to match the fascia/soffit. Broken and missing glass, like on the rear elevation, should be replaced with clear glass. The window frames should be secured to the wooden structure, and caulking should be installed around the interior and exterior frame to create a seal.<sup>4</sup>

For the front circular window, the plywood should be removed, and glass should be installed. If another style/pattern of glass is found when doing more research, then replace with what is historically appropriate.

The interior and exterior portions of the window should be cleaned. Harsh chemical cleaners should be avoided. Consult Marvin Windows for a proper cleaning method.

## Roof

The existing roof has asphalt shingles, and the soffit and fascia are solid wood. The original roof has wood shingles. We could not access the roof to determine the condition, but the shingles appear to be in poor condition. Many of the shingles are not flat, meaning water is being shedding improperly.



Figure 28 – Asphalt Shingles

The apex of the roof appears to be split. This could be due to the walls not providing enough support to the roof, so the roof is slowly failing. It could be due to the wood shrinking over time as well. There are pieces of the soffit and fascia that have fallen off, and there are holes in the soffit on the West elevation.

<sup>4</sup> John H. Myers. "Preservation Briefs 9: The Repair of Historic Wooden Windows," (Technical Preservation Services, NPS, 1981), <https://www.nps.gov/tps/how-to-preserve/briefs/9-wooden-windows.htm>.

# RAMSEY TOWN HALL, Ramsey, Minnesota

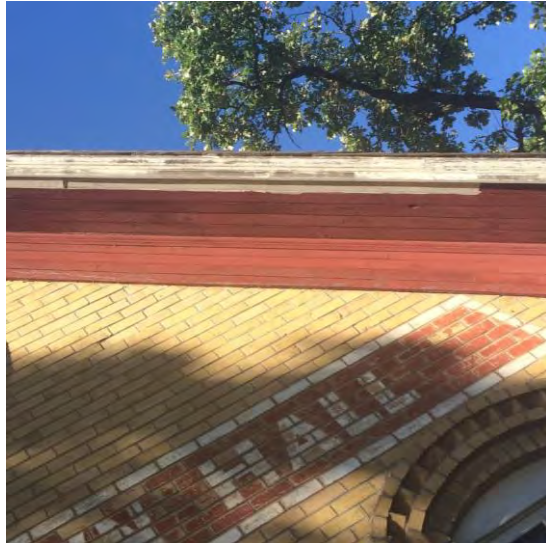


Figure 29 – Wooden Soffit and Fascia

Moss and other vegetation is growing on the roof, especially on the west side near the chimney. This observation supports our assumption that the roof is not shedding water properly. There are not any gutters on the building.

## Recommendations

The roof ridge should be sealed, and a professional should be consulted to determine the cause of the split roof. We believe this could be from a lack of support from the walls since the brick veneer and wood frame are not properly secured to one another, but a professional would confirm.

The soffit and fascia should be repaired with wood similar to the existing. They should then be painted.<sup>5</sup>

Additionally, the roof should be re-shingled, and any holes should be repaired. The new roof material can be asphalt shingles, but wooden shingles would be more appropriate. The roof and chimney must be properly flashed.

## Concrete

There is a concrete curb that runs from the side elevations to the rear elevation. It is not original or historic. It was most likely installed to cover up deteriorated brick in addition to providing structural support to the wall. The settling of the concrete could be cracking the brick behind. There is no sealant between the concrete and the brick. The concrete has major cracks that is allowing water to penetrate the structure.

The concrete is covering up two garden level windows on the North and South elevations. These windows can be seen while standing in the basement.

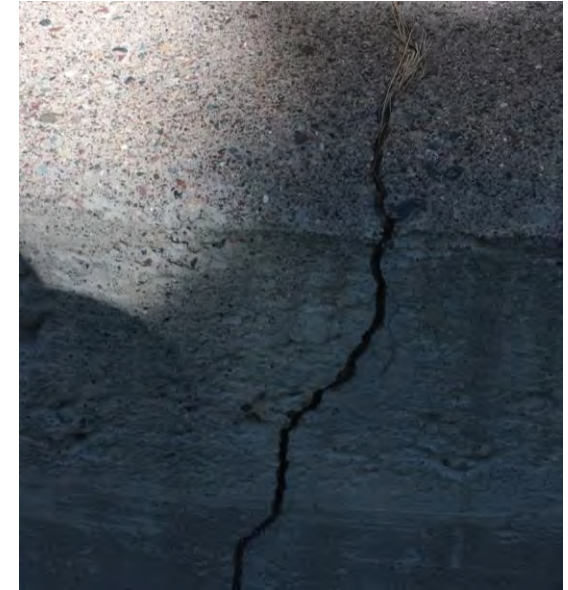


Figure 30 – Concrete Curb Crack



Figure 31 – North Elevation Window

<sup>5</sup> Sarah M. Sweetser. "Roofing for Historic Buildings," (Technical Preservation Services, NPS, 1978), <https://www.nps.gov/tps/how-to-preserve/briefs/4-roofing.htm>

# RAMSEY TOWN HALL, Ramsey, Minnesota



Figure 30 – South Elevation Window

## Recommendations

The cracks in the concrete should be sealed. Additionally, the joint where the bricks meet the concrete should be sealed.

If there are future plans to remove the concrete, the following is recommended. The concrete should be removed carefully as to not damage the garden level window lintels. The brick veneer should be reattached to the wood stud wall, and damaged bricks should be replaced.

We recognize that the use of the concrete was a solution to an issue. However, we strongly recommend that no new concrete is installed, and other solutions are pursued in the future.

## 3. Entry Hall & Main Room

The entry hall is the first room inside the Ramsey Town Hall. It is a small room that contains the stairwell to the basement and leads to the main room. The main room is a large open space just off the entry hall that was formerly the classroom of the original school house. In both room, the conditions of the walls and floors are similar and, therefore, will be addressed together.

### Walls

The original walls were removed and replaced with fiber boards during a previous renovation. The fiber boards have since been replaced with modern gypsum board on the top two thirds of the wall and particle board on the bottom third, presumably to recreate the original wainscoting. There is also a large rectangular hole cut in the gypsum board above the front door. On the interior, the walls appear structurally sound and have no apparent water damage. The gypsum board has been tapped and mudded, but not been treated with a primer.

As evidenced by rodents and loose insulation, the exposed gas line on the west wall of the main room is not sealed or insulated correctly.

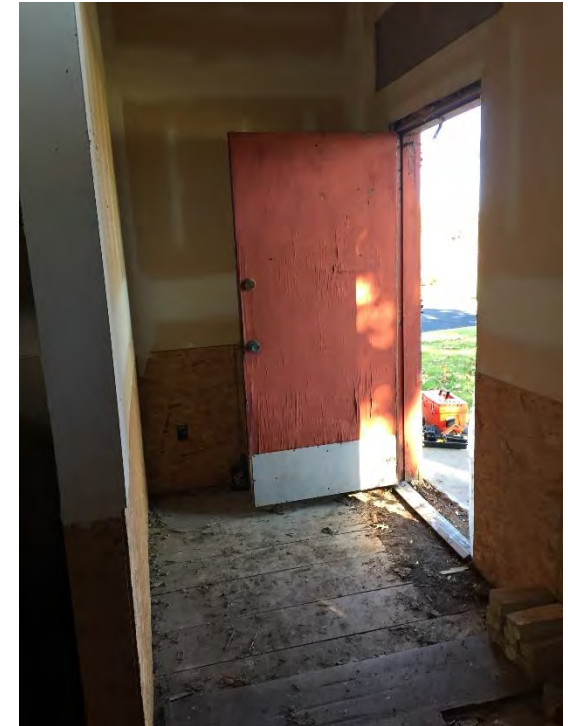


Figure 31 – Entry Hall



Figure 32 – Opening Above Entry

# RAMSEY TOWN HALL, Ramsey, Minnesota



Figure 33 – Main Room, East Wall



Figure 34 – Main Room, Northwest Corner

## Recommendations

Much of the interior integrity has been compromised, since none of the current wall material is original. Therefore, further alterations are not strictly discouraged.

However, effort should be taken to match the original wall design including matching the bottom paneling and applying a paint color that matches the original.

All walls and window interiors should be cleaned of debris and primed before applying paint to ensure a more even application. Preservation Brief 28: Painting Historic Interiors should be consulted when choosing a paint color. Following the brief, it will be best to match the new paint color to the historic wall color, if possible. If the original paint color cannot be determined, a color that is historically appropriate for both the time period and function of the building is recommended.<sup>6</sup>

In the entry hall, the hole above the front door may be exposed as a transom window once a new door has been added. If not, the hole must be patched to match the rest of the wall.

In the main room, the original chalk boards, which are still present on site, should be

incorporated in the adaptive reuse and restored to their original location on the west wall. An expert should be consulted to inspect the gas line.

## Floors

Approximately half of the original wood floor is intact in the entry hall. A section of the original flooring has been removed immediately upon entry. The subfloor that remains has significant damage from exposure to the weather.



Figure 34 – Entry Hall Flooring at Threshold

Throughout the main room, the original wood flooring is intact. Unfortunately, redesign of the interior walls has left holes in the floor. There are holes along the north and south walls for venting to the basement. There is a small amount of water damage on the boards in the doorway to the bathroom.

<sup>6</sup> Sara B. Chase, "Preservation Briefs 28: Painting Historic Interiors," (Technical Preservation Services, NPS, 1992), <https://www.nps.gov/tps/how-to-preserve/briefs/28-painting-interiors.htm>.

# RAMSEY TOWN HALL, Ramsey, Minnesota

Overall, the original flooring in both rooms is very dirty, there are some holes along the wood grain caused by wear and previous renovations, and there is remnant of adhesive from the vinyl flooring.



Figure 35 – Main Room, Holes in Floor



Figure 35 – Bathroom Water Damage



Figure 36 – Holes Along Wood Grain

## Recommendations

Restoration of the existing floor should be based on the Secretary of the Interior's Standards for Rehabilitation. Overall, the floors need to be cleaned and sanded to remove debris and adhesive. According to SOIS, both chemical and physical treatments may be undertaken in the gentlest means possible. If necessary, complementary wood flooring which matches in design, color, texture, and possibly material, should be used to fill in any spaces of missing flooring.<sup>7</sup> Finally, a protective coating should be applied.

In the entry hall, replacement of the front door should help protect the floor from further deterioration due to weather exposure. If not, a more durable flooring choice may appropriate around the threshold, since the original flooring is no longer intact.

In the main room, the minimal water damage should be examined to determine its full extent, otherwise, it is not enough to make the flooring structurally unsound.

## Stairwell

The stairwell is located in the entry hall. The walls and ceiling of the stairwell have been covered in modern gypsum board, however the joints have not been taped or mudded and are starting to pull from the frame. In current condition, the stairs appear sturdy but have no railing.

## Recommendations

The gypsum board should be removed to determine the cause of it pulling from the wall. If no distinguishable cause can be determined, the boards may just need to be taped, mudded, and primed for painting.

The treads of the steps need further examination to determine wear. A railing should be added that meets the building code height of 36 inches above the tread.

<sup>7</sup> W. Brown Morton, Anne E. Grimmer, and Kay D. Weeks, *The Secretary of the Interior's standards for rehabilitation & illustrated guidelines for rehabilitating historic buildings*, Washington, D.C.: U.S. Department of the Interior, National Park Service, Cultural Resources, Preservation Assistance Division, 1992.

# RAMSEY TOWN HALL, Ramsey, Minnesota



Figure 37 – Stairway Ceiling

## 4. Bathroom

The bathroom is situated off the main room and was originally a coat closet, and then was used as a small kitchen.

### Walls

The original walls were removed and replaced with fiber boards during a previous renovation. The fiber boards have since been replaced with modern gypsum board on the east and south walls. Behind the plumbing fixtures on the north wall are moisture resistant gypsum boards. Moisture resistant boards are also located on the bottom section of the west wall.

On the interior, the walls appear structurally sound and have no apparent water damage. The gypsum board has been tapped and mudded, but not been treated with a primer.

### Recommendations

Much of the interior integrity has been compromised, since none of the current wall material is original. Therefore, further alterations are not strictly discouraged. However, effort should be taken to match the original wall design when applying paint.

As with the wall in the entry hall and main room, the walls should be cleaned of debris and primed before applying paint to ensure a more even application. Preservation Brief 28: Painting Historic Interiors should be consulted when choosing a paint color. Following the brief, it will be best to match the new paint color to the historic wall color, if possible. If the original paint color cannot be determined, a color that is historically appropriate for both the time period and function of the building is recommended.<sup>8</sup>

Additionally, since a water-resistant material such as tile is suggested for spaces with water such as bathrooms, tile that is historically appropriate for both the time period and the function of the building is recommended.

### Floors

There are no original floors in the bathroom, there is only a subfloor.

### Recommendations

As with the walls, a water-resistant material is suggested for the floors of bathrooms. Tile that historically appropriate for both the time period and the function of the building is recommended.

### Plumbing

The bathroom is currently fitted with a toilet stack, and hot and cold taps and a drain pipe for a sink.

### Recommendations

The exposed plumbing does not appear to be connected to a running water supply and is therefore not likely to cause water damage. If the plumbing is to be used, an expert should inspect them to ensure they are in working order and that none have burst or are leaking.

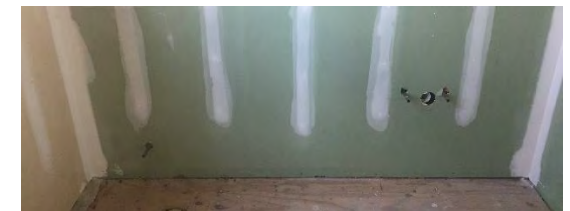


Figure 38 – Bathroom Plumbing

<sup>8</sup> Sara B. Chase, "Preservation Briefs 28: Painting Historic Interiors," (Technical Preservation Services, NPS, 1992), <https://www.nps.gov/tps/how-to-preserve/briefs/28-painting-interiors.htm>.

# RAMSEY TOWN HALL, Ramsey, Minnesota

## 5. General Interior

There are three elements present in each of the three rooms. They are ceiling, electrical outlets, and baseboards and trim.

### Ceiling

As of late 1970s, the original pressed tin ceiling was still present throughout the building. Currently, however, the ceiling is a drop ceiling covered with modern gypsum board with four open electrical boxes.

### Recommendations

In order to determine whether or not the original tin ceiling still remains, it is necessary to remove a portion of the current drop ceiling to examine what is above.

If the original ceilings are still intact, they should be cleaned and restored with the gentlest methods as per the Secretary of the Interior's Standards for Rehabilitation.

If any of the original ceiling has been damaged throughout renovation, or if the original ceiling is missing and a replica is desired, the replacement should match in design, color, texture, and material as per the Secretary of the Interior's standards for Rehabilitation.

### Electric Boxes

There are approximately 16 open electrical boxes throughout the first floor of the building. These include electrical outlets, light switches, wall lights, and ceiling lights.

### Recommendations

A licensed electrician should be consulted to inspect the existing electrical boxes. Before work can begin, it is necessary to ensure that the electrical has been installed correctly and to code. After inspection, all boxes should be fitted with plates or light fixtures.

### Baseboards and Trim

Currently, there are no baseboards or trim throughout the building.

### Recommendations

Unfortunately, historical research did not identify the existence or type of the original baseboards and trim. However, historically, such decorative elements would likely have been present, especially in connection with the wainscoting. Because the original design is not known, one that is historically appropriate for both the time period and function of the building is recommended.

Additionally, following the Secretary of the Interior's Standards for Rehabilitation, any new materials should be documented and distinguished from historical elements.<sup>9</sup>



Figure 39 – Main Room, West Wall

<sup>9</sup> Sara B. Chase, "Preservation Briefs 28: Painting Historic Interiors," (Technical Preservation Services, NPS, 1992), <https://www.nps.gov/tps/how-to-preserve/briefs/28-painting-interiors.htm>.

# RAMSEY TOWN HALL, Ramsey, Minnesota

## 6. Basement

The basement is one level below ground. However, the first-floor joists are a few feet above grade. The stairs to the basement are positioned near the middle of the structure, between the entry hall and main room. The stairs lead down to a small landing. A shallow crawl space is under the remaining rectangular footprint of the building.

### Stairs

The staircase down to the basement is made of sawn timber, which is painted yellow. There are two stringers underneath the walking treads. These members are attached with nails. The stair does not appear to be from the original construction.

### Recommendations

The stairs should be investigated by an engineer. When on the stairs, they feel less than stable. If recommended, follow replacement or stabilization guidelines made by the engineer.

The stairs are not historically significant. However, the wood construction retains the character of the building as recommended in Standard 2. If replacement is necessary, a dissimilar assembly should be avoided if possible.

### Masonry Wall

At the base of the stairs, a masonry wall surrounds the landing. A portion of the wall is rounded and is composed of clay masonry. The other portion is composed of concrete masonry. They are connected with a thick grouted joint.

The clay masonry appears to be part of original construction; however, it may have served a different purpose. The wall appears to be stable, and a majority of the masonry units are in excellent condition.

The concrete masonry, which is painted cream, was installed after initial construction. There are a number of vertical cracks in the wall, but the units appear fairly intact.

### Recommendations

The clay masonry portion of the wall is in good condition. The units should be examined with better lighting conditions; however, no major issues were initially discovered that require remediation.

The concrete masonry wall should be examined. Cracks in below-grade structures can cause complications with soil pressures and ground water flow. Sealing and stabilizing the cracks may be the best option.



Figure 40 – Clay Masonry Wall

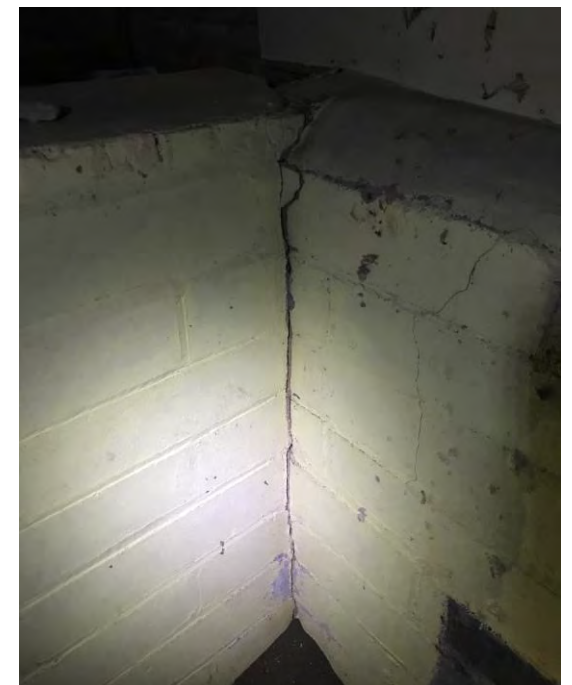


Figure 41 – Concrete Masonry Wall

# RAMSEY TOWN HALL, Ramsey, Minnesota

## Exterior Wall

There are clay masonry walls defining the exterior bounds of the basement. It is the same Chaska brick that covers the exterior façade of the building.

Directly under the upper floor, there appears to be a wooden lath covered with a type of cementitious material. It extends down for about one foot. The extent the cementitious material covers the lath varies throughout.

A window in the wall is visible across the crawl space on the West façade. It appears to be original and is covered from the outside. The original construction may have included a similar window mirrored on the North façade.

## Recommendations

The brick and lath system, which appears to be original, is performing well. There does not appear to be holes or cracks to the exterior elements.

Standard 5 states property characterizing elements should be preserved, making the original window is of interest. Even if reinstallation is not desired, the window should be inspected and removed intact if possible. The hole after window removal can be filled with brick to match the historic.



Figure 42 – Exterior Basement Window



Figure 43 – Wall with Cementitious Material

## Floor Joists

The structure of the upper floor is wooden floor joists supported on the side exterior faces of the building. A large beam that runs down the center of the structure also supports them. The joists appear to be largely original; however, there are some places where replacement sawn lumber has been installed

There is wooden cross bracing between each of the joists. They are attached with nails; however, the cross bracing appears to be disconnected.

## Recommendations

The joists appear to be structurally stable; however, an engineer should conduct an analysis on their capacity in order to provide more insight. Reinforcements may need to be added.

The current lumber floor joist reinforcements and replacements are acceptable. If possible, any future replacements should resemble the historic joists as per Standard 6.

The necessity for the cross bracing should be determined by an engineer. If they are unnecessary, it may be appropriate to remove the bracing from the system as it does not add historic significance.

# RAMSEY TOWN HALL, Ramsey, Minnesota

A few of the floor joists appear to not rest on the intermediate beam. Their natural lower elevation is about one centimeter above the beam. The joists may need to be realigned to provide the intended load path.



Figure 44 – Replacement Floor Joist



Figure 45 – Joist Cross Bracing

## Beams and Supports

The transfer beam supporting the floor joists in the middle of the structure is not original as it is engineered lumber. It is unclear if the initial construction had any beam.

The beam has multiple supports along its length to the soil and masonry below. The supports range in stability from a large post to multiple staked 2x4s. The supports are not securely attached to the transfer beam or soil below.

## Recommendations

The beam appears to be in good condition. While it is not original, it appears to serve an important structural related function. An engineer should verify the capacity of the transfer beam is sufficient for its demand.

The structural supports of the beam are extremely unsafe. They are not code compliant, and they offer very little stability. Large posts should be used for all of the supports. Additionally, the beam should be securely connected to the support, and the support should be securely connected to the soil or masonry base.

Shoring will be needed to provide temporary support during reinforcement or installation. An engineer should be consulted to create a safe plan.



Figure 46 – Intermediate Beam



Figure 47 – Beam Support

# RAMSEY TOWN HALL, Ramsey, Minnesota

## Utilities

There are a variety of utility lines and conduits scattered across the small landing in the basement. It is not clear if they are dormant or active. Some PVC pipes and conduits are draping from the ceiling.

There is also a hole in the exterior wall of the structure that appears to be for plumbing. However, nothing is attached on the inside or outside of the building.

## Recommendations

All of the wires and conduits must be organized and secured. It poses a safety risk to have them in their current configuration.

The hole is not original to the structure. It should either be used to provide modern amenities or taken out. The discontinuity can be easily patched with cementitious material.



Figure 48 – Utilities Hole in Exterior Wall



Figure 49 – Utilities Hole in Exterior Wall

## Crawl Space

More than seventy percent of the basement is composed of crawl space. There is about three to four feet of space between the bottom of the floor joists and the soil. It is filled with what appears to be construction and renovation debris.

## Recommendations

This entire area must be cleared out. The debris, in conjunction with improper utility grounding, poses a fire risk.

Additionally, the building's stability cannot be determined until all structural elements are examined individually. The debris makes this analysis impossible. Once it is cleared, an engineer should evaluate the floor joists and exterior walls in the crawl space.



Figure 50 – Crawl Space with Debris

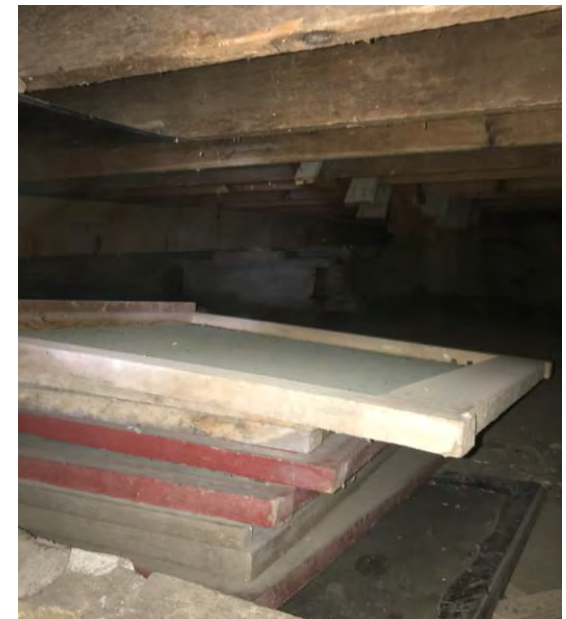


Figure 51 – Crawl Space with Debris

# RAMSEY TOWN HALL, Ramsey, Minnesota

## 7. High Priority List

### Exterior

1. Reinforce the ties that hold the brick veneer to the wood frame structure underneath. A professional should be brought in to confirm.
2. Remove the organic matter and plywood door. Replace with red French door and transom window.
3. Repour steps to code and make the entrance ADA accessible.
4. Re-shingle the roof.
5. Paint all wood surfaces (i.e. window frames/trim, soffit, fascia)
6. Replace broken glass with clear glass.

### First Floor

1. Replace the door to stop further destruction to the subfloor at the threshold
2. Add baseboards and trim
3. Finish walls: patch holes, prime, paint
4. Add railing to the basement steps

### Basement

1. Clean crawl space and landing area
2. Hire an engineer to investigate all areas discussed above. Follow their structural suggestions
3. Replace and stabilize beam supports
4. Add stair railing for code compliance.
5. Professionals should be consulted to fix the plumbing, gas, electrical, etc.

## 8. Moving the Building

We recommend that the building is not moved to another location. Moving the building will remove both the historic context and the current context. If the building was moved, then the bank located next to the Town Hall would lose its architectural context. The bank's roof, siding, and overall design are very similar to the Town Hall. Also, the building may not survive the move. The building's walls and structure would need to be repaired before it is moved, and the bricks would need to be handled very carefully so they aren't damaged.

The process of moving a building can be very expensive, so we recommend that the money budgeted towards such an endeavor be used to repair/restore other historic buildings in Ramsey, MN.

## 9. Authors

The authors of this report are Corinne Deger, Morgan Kuehn, Kate Stanger, and Vanessa Walton. Guidance was provided from the Historic Building Conservation course instructor, Todd Grover.

The report was prepared in conjunction with the Resilient Communities Project and City of Ramsey on December 15<sup>th</sup>, 2017.

# Sustaining Our Legacy: The Future of Ramsey Town Hall



**Prepared by**

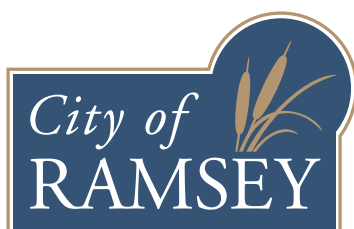
Mary Cutrufello, Katriona Molasky, and Amy Van Gessel

Students in PA 5211 Land Use Planning  
Instructor: Dr. Fernando Burga  
Hubert H. Humphrey School of Public Affairs

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**Prepared in Collaboration with**

Kurt Ulrich  
City Administrator  
City of Ramsey



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The contents of this report represent the views of the authors, and do not necessarily reflect those of RCP, CURA, the Regents of the University of Minnesota, or the City of Ramsey.



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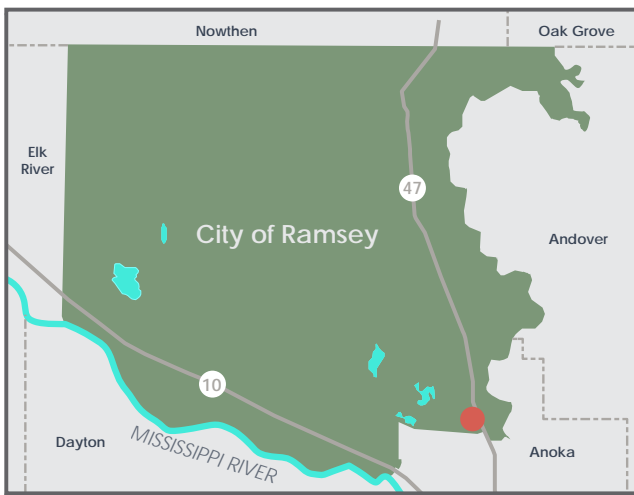
# Sustaining Our Legacy



## The Future of Ramsey Town Hall

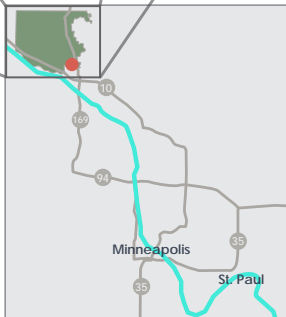


The **Old Ramsey Town Hall/District No. 28 Schoolhouse (OTH)** is the most historically significant structure of the few surviving 19th-century structures in Ramsey. The schoolhouse is located in the far southeastern corner of the city. It currently sits empty, surrounded by modern development and with no plan for its future use. **This project explores the historical and current context of both the building and the site, and presents two alternatives for the future: redevelopment *in situ*, or relocation to The COR (Center of Ramsey).**



### ● SITE OF OLD TOWN HALL

The Town Hall is located at 14150 St. Francis Boulevard NW in Ramsey, Minnesota. Ramsey is in the southwest corner of Anoka County, about half an hour from downtown Minneapolis.



The Old Town Hall, looking northwest, Ramsey, Minnesota (circa 2017)

In the following posters we will explore the **Old Town Hall's place in Ramsey**, evaluate its **context within the city**, and project **future plans for the building**. Our goal is to provide a vision for the Old Town Hall that **promotes a sense of place** in Ramsey while also developing a plan for it to once again **benefit the community**. We will carry out this project in three parts:

	Part I: EXPLORATION	Part II: EVALUATION	Part III: PROJECTION	
STATUS QUO	<p><b>1</b> POSTER NUMBER</p> <p><b>2</b> <b>History of the Area</b> We explore the historical significance of the OTH in the Anoka County area and specifically, in the development of the City of Ramsey.</p> <p><b>2</b> <b>History of the Building</b> We investigate the timeline of the building and its past uses.</p> <p><b>3</b> <b>Historic Preservation Context</b> We recognize prior preservation efforts of the community and their current engagement with and use of the area's existing historical resources.</p>	<p><b>3</b> <b>Historical Significance</b> We assess and determine the building's historical significance.</p> <p><b>4</b> <b>Future Preservation Outreach</b> We recommend city policies that can encourage good stewardship of Ramsey's historic resources.</p> <p><b>5</b> <b>Context and Constraints</b> We evaluate the site and surrounding land use over time. We evaluate issues &amp; opportunities that exist with neighbors.</p> <p><b>6</b> &amp; <b>7</b> <b>Building Condition</b> We evaluate the current condition of the OTH and recommend changes.</p>	<p><b>8</b> &amp; <b>9</b> <b>Retrofit: Redevelopment In Situ</b> We provide possible uses consistent with the building's location, some of which may involve collaborations with surrounding businesses.</p> <p><b>10</b> &amp; <b>11</b> <b>Relocation: Move to New Site</b> We propose sites for relocation. We recommend possible uses that may benefit The COR and acknowledge consequences of relocation.</p> <p><b>11</b> <b>Conclusion</b> We provide recommendations based on our evaluation of the building, the site, and potential future uses.</p>	ALTERNATIVE



The Old Town Hall building is **one of the few remaining links to Ramsey's rural past**. The following posters present an **overview** of its significance, an **investigation** into its current state, and **proposals** for its future use. Our story begins near the banks of the Rum River in 1892.

# Sustaining Our Legacy

## The Future of Ramsey Town Hall



### THE HISTORY OF RAMSEY



Ramsey traces its roots to the middle of the nineteenth century. As a **trading post**, the city enjoyed river- and rail-driven importance for a few decades, after which it settled into a quiet century as a **farming community**. Since suburban development began in the 1970s, the town has emerged as an **outer-ring commuter suburb**.

#### Ramsey Old Town Hall



Plot of undeveloped Oak Savanna, the dominant landscape for the area



1874 Map of Anoka County



1914 Map showing local schoolhouse and church locations



Typical one-room schoolhouse scene New York State, early 1900s



Building in 1977



Building in 2017

**1892** Schoolhouse building built on land owned by Ara E. Pitman.

**1912** A furnace is installed for heating.

**1914** The school applies for \$150 in state aid for its 26 students.

**1937** The school is deeded to the township by Edith Patch, a member of the Pitman family.

**1945** Last year of classes at the school.

**1947**

**1979** The building is listed on the National Register of Historic Places.

**1996** The Minnesota Historical Society (MHS) awards Ramsey a grant for restoration of the building.

**2004** The MHS grant is closed out.

**2012** The city explores relocation options for the building in the context of the COR development and the Northstar Commuter Rail project.

#### City of Ramsey

**pre-1840**

The confluence of the Mississippi and Rum Rivers is a well-established neutral zone for the Sioux and Chippewa.

**1846**

Peter and Francis Patoille establish a trading post at this location.

**1851**

First permanent European settlement.

**1852**

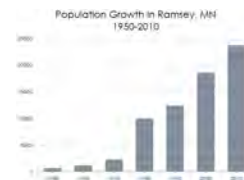
The town of Itasca is laid out on sections 19 and 30 in Ramsey, near the trading post.

**1857**

Watertown Township established. Renamed Ramsey after Territorial Governor Alexander Ramsey a year later.

**1864**

The St. Paul & Pacific (StP&P) Railroad reaches Ramsey. In 1890, the StP&P becomes part of James J. Hill's Great Northern Railway.



**1970**

The Census shows 2,360 people live in Ramsey Township.

**1974**

The City of Ramsey is incorporated.

**1980**

The Census shows 10,093 people live in the City of Ramsey, a 327% increase from 1970.

**2012**

Northstar Commuter Rail opens a station in Ramsey, connecting the city to downtown Minneapolis.



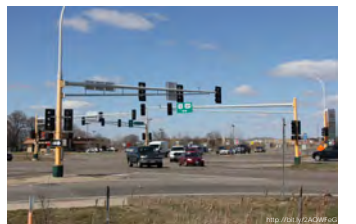
Typical Chippewa lodge and Sioux tipis, White Earth Reservation



1851 Township Map



The William Crooks, Minnesota's first locomotive, on the StP&P mainline in 1864



Commercial development along US 10, the main thoroughfare in Ramsey



Northstar Commuter Rail in Ramsey



More than a century and a half has passed since Europeans first settled in what is now Ramsey, MN. The Old Town Hall is a **unique asset that brings that long history into the present**. The following posters will closely examine how Ramsey has tried to preserve the Old Town Hall for the future.

# Sustaining Our Legacy

## The Future of Ramsey Town Hall



### PREVIOUS PRESERVATION IN RAMSEY



In 1977, the newly incorporated City of Ramsey moved its municipal offices to a new building on Nowthen Boulevard. At that time, there was some interest in **restoring the Old Town Hall to its schoolhouse glory**. Based on our archival research, however, it appears that this preservation effort has produced very little success.

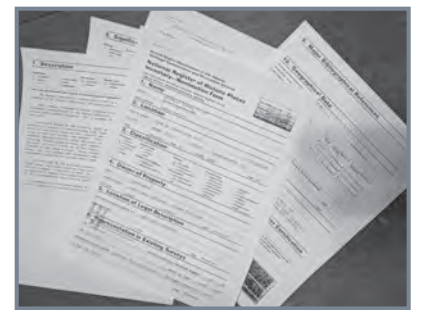
### TIMELINE OF PRESERVATION WORK: What went wrong?



#### INACTION

The Old Town Hall was placed on the National Register of Historic Places in 1980. Fifteen years later, **the city secured a grant** from the Minnesota Historical Society (MHS) for restoration, which it matched with local funds. Work got underway in 1996, but was halted soon after. The matching funds were reallocated and some of the grant money was returned to MHS.

- *The City was not interested in spending grant money.*



Application for National Register, 1979



#### INERTIA

During the 1980s and 1990s, **historically minded residents regularly had their say** in City Council meetings and letters to city hall. Despite this, there does not seem to have been much political interest in doing anything significant with the old building.

- *The City was not interested in working with its citizens.*



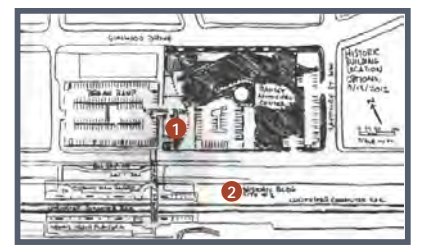
Work sign for most recent restoration, 1996



#### INDIFFERENCE

The arrival of the Northstar Commuter Rail and the COR initiative in 2012 saw plans to **move the building to this exciting transit-oriented development**. This was more problematic than it appeared, as posters 10 and 11 will show.

- *The City was not interested in including the building in its flagship development.*



Proposed siting in the COR, 2012

### All of which leads us to the obvious, unasked question: **WHY NOT JUST KNOCK IT DOWN?**

Over the years, as tepid preservation efforts have come and gone, the obvious question keeps coming back: **Why not demolish the building and be done with it?** Well...

- The building is an irreplaceable **historical asset** in a community that has precious few of them.
- This is perhaps the most **iconic symbol** of Ramsey's **rural heritage**, a heritage of which the city is very proud and protective.
- Although no preservation project is cheap, **demolition costs money**, too, and in the process destroys an asset that could be turned into a **revenue generator** as well as a **source of local pride**.



Enthusiasm for restoring the Old Town Hall has been **intermittent at best over the past forty years**. How could things have gone differently? In the next poster, we look at one way to ensure that historic buildings are respected and preserved.

# Sustaining Our Legacy

## The Future of Ramsey Town Hall



## FUTURE CITY PRESERVATION POLICIES: Local Outreach



Development in Ramsey has primarily taken place since the 1960s. Therefore, many buildings, structures, and landscapes in the city will soon reach **potential "historic" status** as defined by the National Park Service (NPS). We present **steps and recommendations** for the City to make **informed and responsible decisions** about their historic resources. We begin by identifying the ever-changing definition of "historic."

## WHAT IS HISTORIC?



Many people associate "historic" buildings and places with long-ago times, perhaps the nineteenth century or earlier. In reality, though, **the threshold is only fifty years**. Although the Ramsey Schoolhouse is clearly an historic building, within ten years, structures from Ramsey's first wave of development will be historic as well. As Ramsey ages, more and more of the structures from the city's early suburban development will potentially become historic, and it will become important to think about **preserving structures from the more recent past**. Using Ramsey's oldest buildings as a guide, we propose the following first steps.

## THE NATIONAL REGISTER



**What is the NRHP?**  
The National Register is a database of over **80,000 properties of national, regional, and local historical significance**. Nomination is usually done through a state's

Historic Preservation Office. The Ramsey Town Hall's application was submitted by the Minnesota Historical Society.

### What does this designation mean?

Listing on the Register makes buildings eligible for **federal rehabilitation grants and tax credits**, as well as easements and fire and health safety code alternatives. In addition, the State of Minnesota offers a 20% tax credit that parallels the federal one.

### Criteria for Evaluation

The quality of significance in American history, architecture, archeology, engineering, and culture is present in districts, sites, buildings, structures, and objects that possess integrity of location, design, setting, materials, workmanship, feeling, and association, and four more elaborate criteria found in the NRHP guidelines.  
<https://www.nps.gov/nr/>

## HISTORIC PRESERVATION 101:

Establishing a City Historic Preservation Commission (HPC)

### STEP 1 Survey of Existing Resources

Identify buildings, landscapes, districts, etc. that may **qualify for NRHP** according to the NPS. Those that are deemed worthy can apply for placement on the NRHP.

**Local historic designation** may be useful for those that do not qualify for significance nationally.

### STEP 2 Establish Guidelines

Prepare **design guidelines** for nationally and locally designated historic structures. These will help the city of Ramsey **monitor and provide a standard for any building improvements or alterations, including demolition**.

### STEP 3 Engage with Community

Creating resources that connect residents to the area's **history** is vital in creating a **sense of place**. The City HPC could advocate for participation in a **Historical Society**, which may be better equipped to host **community events**.

### Examples of Local HPCs

	Anoka Heritage Preservation Commission	Mankato Historic Preservation Commission
Number of people on HPC	7 people on commission	7 people on commission, including a Blue Earth County Historical Society officer, and a staff liaison from the Mankato Planning Department (not an official member)
Number of meetings	Once a month	Once a month
Guidelines/design manual	Set of design guidelines for their historic district that serves as reference materials. The guidelines also establish general standards for preservation and rehabilitation projects.	Neighborhood design guidelines created the Urban Planning department at a local college. Design manuals are created for different designated historic districts in the city.
How much control do they have?	Any change to City register items comes to the committee for recommendation. The committee makes its recommendation to the City Council, which has the final say.	Proposals for changes to City-designated structures or structures within the historic districts come to the commission for review, even if the building is not historic. The committee makes its recommendation to the City Council, which has the final say.



**A citywide framework for preservation** is an investment in preventing deterioration of the community's architecture. This approach also preserves Ramsey's aesthetic and cultural heritage, while enhancing the community's vitality and encouraging economic growth for the future. As a case in point, the lack of such a framework has contributed to the **deterioration of the schoolhouse and the degradation of its site**. How bad is it? Let's take a look.

# Sustaining Our Legacy

## The Future of Ramsey Town Hall

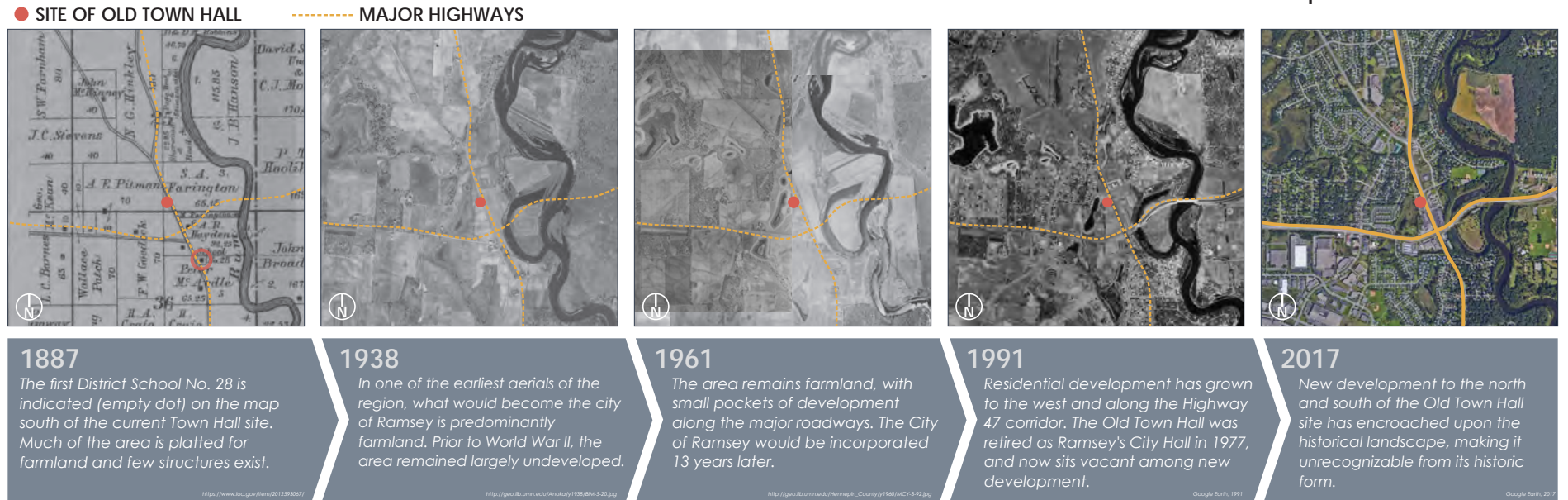


### SITE HISTORY & EXISTING ISSUES



The Old Town Hall building has served Ramsey in multiple ways during its lifetime. As the city has grown, commercial development has sprouted up around the building, **severely limiting redevelopment options**. As one of the last remnants of a predominantly rural beginning, the City looks to **take advantage of its oldest asset**.

### SITE DEVELOPMENT OVER TIME: From Farmland to Suburban Development



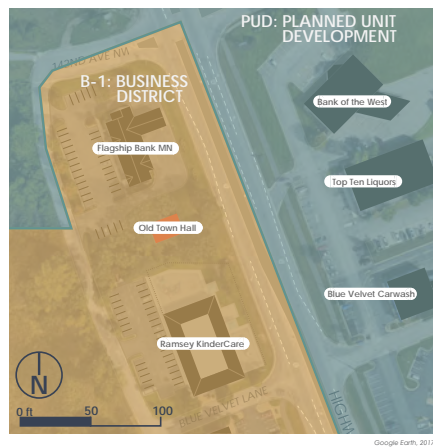
### ISSUES & CONCERNS

#### Site Specifics

**Building Height Context**—Surrounding buildings are one story with gable and hip roofs.

**Zoning**—The site and neighboring buildings are zoned B-1 Business District, with Planned Unit Development across the highway.

**Future Land Use**—The area is planned for commercial use.



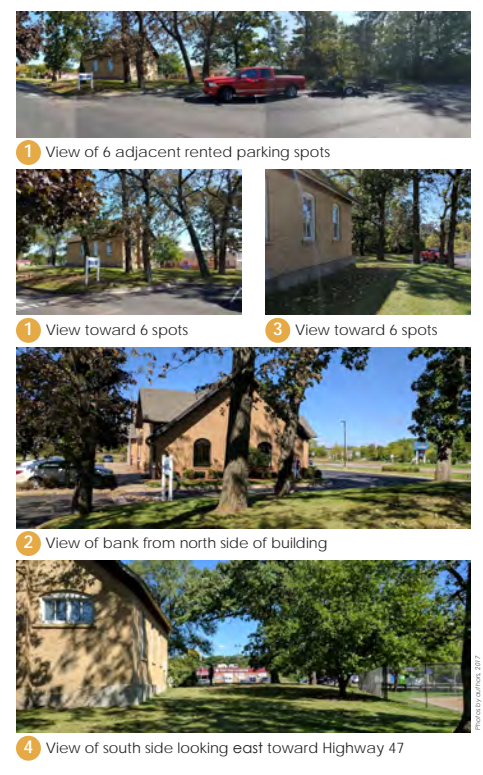
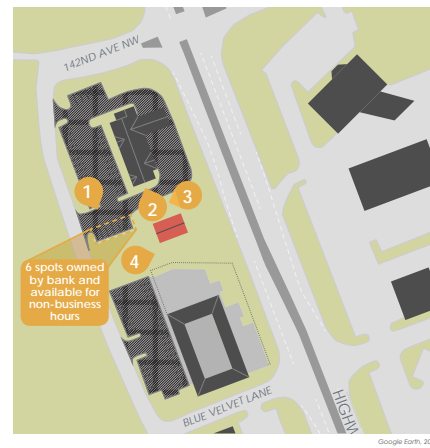
#### Tree Canopy

In the immediate vicinity of the Old Town Hall are multiple **mature hardwood trees**. The 1970s NRHP nomination notes what are now 100-year-old trees on the site. Not only do they provide valuable shading for the Old Town Hall and surrounding buildings, but the trees also contribute greatly to the historic setting.



#### Parking

The lot the building is located on is surrounded on all sides, with businesses to the north and south, a high-traffic roadway to the east, and an expansive wetland to the west. **There is no room for expansion**. The building sits on an incline from the surrounding properties and there is no parking associated with the building.



While the Old Town Hall site has few remnants of its rural past, reusing the building will still be a challenge for any business needing moderate amounts of parking. The **structural and architectural integrity of the building** should be addressed first.

# Sustaining Our Legacy

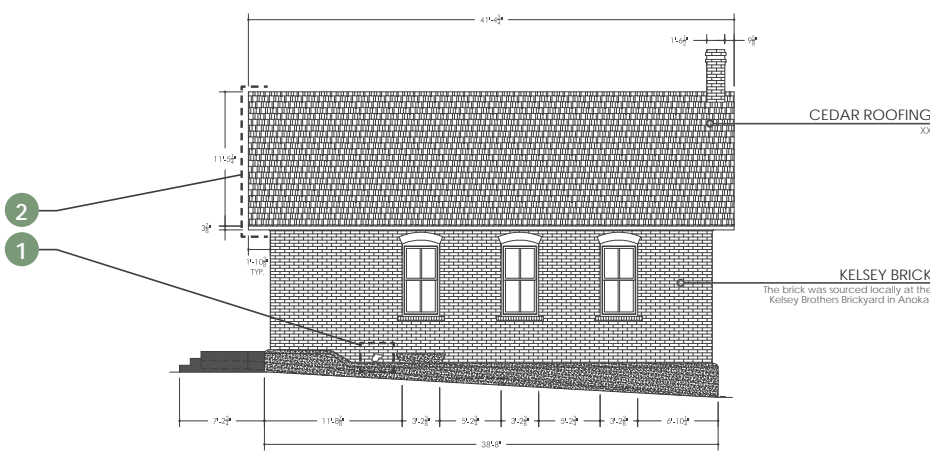
## The Future of Ramsey Town Hall



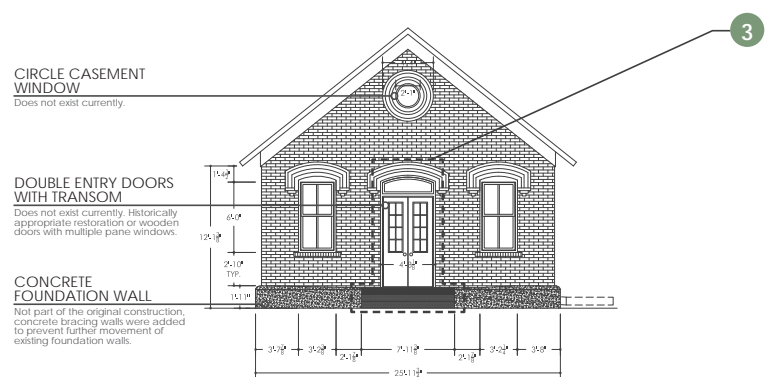
### BUILDING DRAWINGS



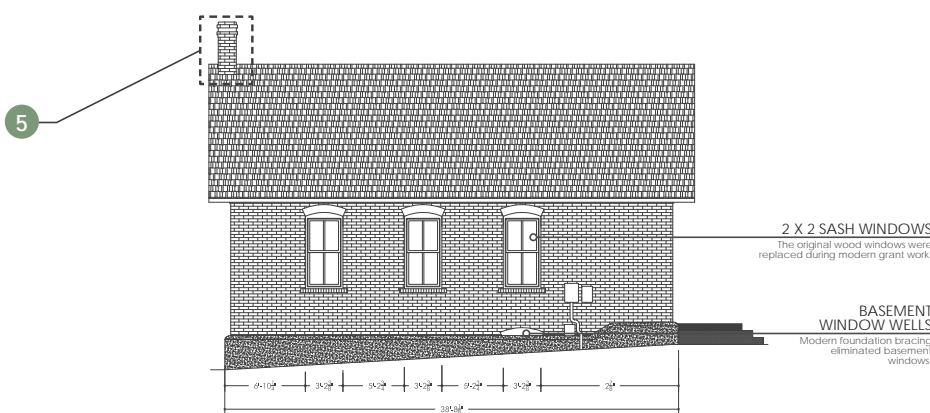
Architectural drawings—such as the ones shown below, which are based on previous renderings—are not only necessary in the construction process, but are also invaluable for **historical documentation of early construction methods** in Minnesota. The Old Ramsey Town Hall is a unique resource in Ramsey, as well as in the larger architectural landscape of Minnesota.



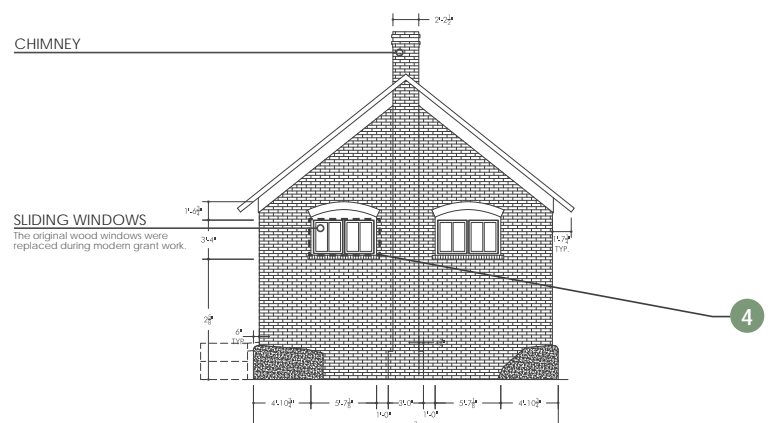
**A NORTH ELEVATION**



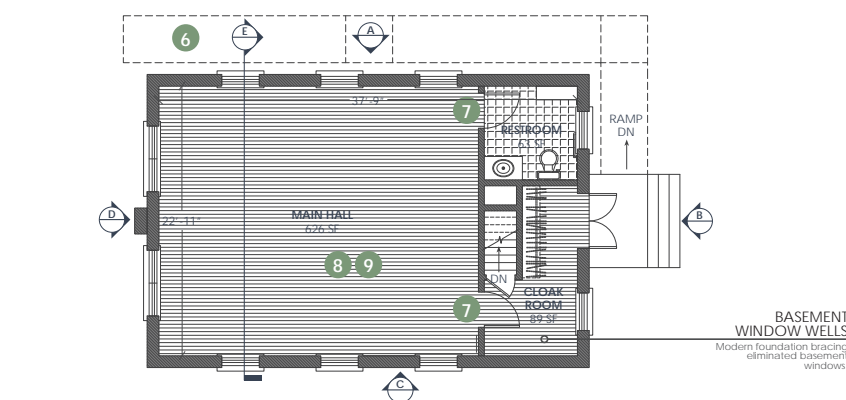
**B EAST ELEVATION**



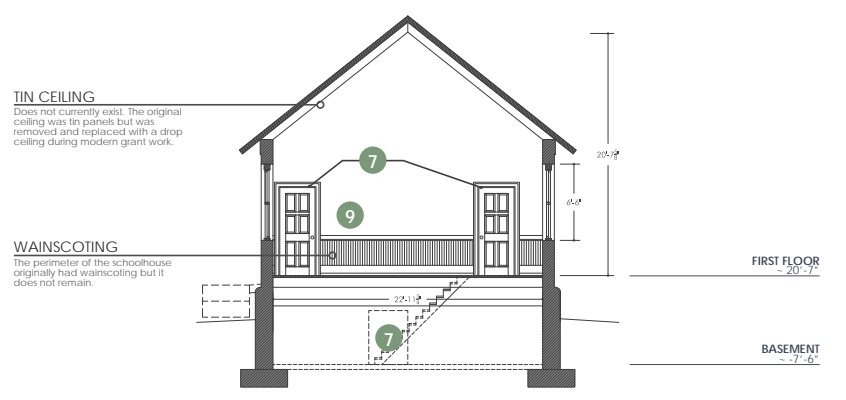
**C SOUTH ELEVATION**



**D WEST ELEVATION**



**FLOOR PLAN**



**SECTION**

NOTE: NOT FOR CONSTRUCTION, VERIFY ALL DIMENSIONS.



The Old Ramsey Town Hall retains much of its historic character. The brick and timbers used to construct it would have been obtained from the surrounding area, making the building a representation of late 19th century local industry. In the next poster, we propose improvements and restoration work that can strengthen not only the integrity of the structure, but also its future potential.

# Sustaining Our Legacy

## The Future of Ramsey Town Hall



### BUILDING ASSESSMENT & RECOMMENDATIONS



A variety of both **structural and cosmetic work** must be completed to render the Old Ramsey Town Hall building **stable** and **suitable for occupation**. Here we outline the necessary steps for improving the century-old structure to meet modern **building code requirements** and **Americans with Disabilities Act (ADA)** standards. All work must align with the guidelines set by the Secretary of the Interior's Standards for Rehabilitation.

#### PHASE I: Climatization

First and foremost, the Old Town Hall needs to be stabilized to **prevent further damage** to the structure. The repairs outlined here are in need of **immediate attention** to prevent further water infiltration, insect or rodent infestation, and deterioration of historic material.

##### 1 Seal Envelope

**Repair brick** around basement ventilation stack and **replace brick in-kind**. Install proper ventilation stack in preparation for installation of heating and cooling equipment.

ESTIMATED COST: \$600  
<https://www.homeadvisor.com/cost/walls-and-ceiling/repair-brick-work/>



##### 2 Replace Roof & Repair Eaves

Replacing the roof will **prevent any future water infiltration**. The roof should be replaced with wood shingles or shakes. More research could determine the historical profile typical of the time of construction. More insulation could be added to **improve energy efficiency** at the same time.

ESTIMATED COST: \$20,000  
<https://www.homeadvisor.com/cost/roofing/replace-roof.html>



##### 3 Replace Entry Door & Stairs

The existing entry door is water-damaged, and the door surround does not properly join the brick veneer, leaving room for vermin infestation and water infiltration. The door should be replaced with **double swinging doors with a glass transom above**, which is the appropriate historical replacement.

ESTIMATED COST: \$3,700 (doors & transom), \$2,400 (stairs)  
<https://www.thrifty.com/building-landscapes/decks-for-backyards-outdoors-2132014>



TOTAL COST: \$26,700

All work on the OTH will follow The Secretary of the Interior's Standards for Rehabilitation, which pertain to all historic properties listed on or eligible for listing on the NRHP. The Standards are to be "applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility."



The renovation and restoration tasks are formidable, but **not insurmountable**. The result of these rehabilitation efforts would be a **valuable community asset**, one that reinforces a **connection** to Ramsey's rural roots as embodied in one of the earliest brick buildings in the area. Does Ramsey have the will to do right by the Old Town Hall?

#### PHASE II: Pre-Occupancy Upgrade

We recommend that the interior remain as **one large space**, adhering to the historical spatial experience of the building. If partitions within the space must be installed, any alterations or additions should be **reversible** and installed in-kind.

##### 4 Repair & Restore Windows

The windows were replaced during an earlier grant project but could benefit from **new paint and caulk** where brick meets wood. A rear window needs to be replaced.

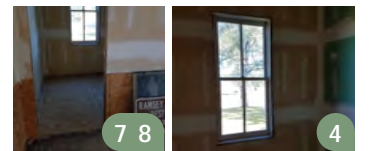
ESTIMATED COST: \$450 (recaulking), \$900 (window)  
<https://www.homeadvisor.com/cost/interior-decoration/interior-painting.html>  
<https://www.homeadvisor.com/cost/interior-decoration/interior-window-replacement.html>



##### 5 Repoint Chimney

The mortar on the chimney is deteriorated and needs to be **repointed**. This will prevent any brick movement and possible spalling.

ESTIMATED COST: \$1,000  
<https://www.dymon.com/paper/repaint-repoint-chimney/>



##### 6 Install ADA Ramp, Sidewalk

**Increasing access** to the building for future tenants is a top priority. The ramp addition will be removable.

ESTIMATED COST: \$4,400 (ramp), \$450 (45' sidewalk)  
<https://www.homeadvisor.com/cost/interior-decoration/safety-build-a-disability-ramp/>



##### 7 Install doors, plumbing, HVAC

Previous grants were used to purchase **doors and a furnace**. Neither was installed completely. New **plumbing fixtures** need to be purchased and installed.

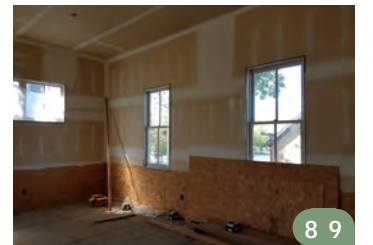
ESTIMATED COST: \$300 (doors), \$600 (plumbing), \$1,700 (HVAC)  
<https://www.homeadvisor.com/cost/interior-decoration/install-toilet.html>



##### 8 Restore Wood Floor, Install Tile

The original hardwood floor needs an **extensive restoration**. Historically compatible tile should be installed in the restroom.

ESTIMATED COST: \$3,300 (hardwood), \$1,200 (tile)  
<https://www.homeadvisor.com/cost/roofing/replace-wood-flooring.html>  
<https://www.homeadvisor.com/cost/interior-decoration/install-the-floor.html>



##### 9 Finish Interior

New **wainscoting** (historically appropriate) needs to be installed and the new **sheetrock** needs to be painted.

ESTIMATED COST: \$3,940  
<https://www.homeadvisor.com/cost/interior-decoration/paint-rooms.html>

TOTAL COST: \$18,240

TOTAL PROJECT COST: \$44,940

# Sustaining Our Legacy

## The Future of Ramsey Town Hall



RETROFIT

### RETROFIT: OTH REMAINS AT CURRENT LOCATION



Keeping the Old Ramsey Town Hall in its current location has benefits and drawbacks. By remaining where it is, the OTH can **remain on the National Register**, connect Ramsey to its **rural past**, and potentially contribute to a **thriving business community**. However, the location is developed on all sides, leaving no room for expansion or parking.



“Old ideas can sometimes use new buildings. New ideas must use old buildings.”  
—Jane Jacobs,  
author of *The Death and Life of Great American Cities*



“I drive by the Old Town Hall every day, and I think that building is so awesome and I want to see life.”  
—Shannon Potter



“The historical significance of the property is something that we would like to display. History is always something that should be remembered.”  
—Tara Gattner

### PRECEDENTS

#### Weaver Schoolhouse Weaver, MN – Residential



Formerly a one-room schoolhouse serving Weaver and the surrounding area, the building was renovated in 2008 and turned into a private residence.

The adaptive reuse of the building won a Stewardship Award at the Minnesota Preservation Awards for its efforts.

#### Emy Frenz Arts Guild Mankato, MN – Community



A historic local church was renovated and turned into the Emy Frenz Arts Guild. The building serves as the home of a local arts nonprofit,

Twin Rivers Council for the Arts, and provides gallery and rental space for community events.

#### Anoka State Hospital Anoka, MN – Public Housing



Formerly a state mental health campus, the old buildings have been abandoned for years. A plan to begin renovation of the property for adaptive reuse as

housing for homeless veterans began this fall and will continue over a ten-year period.

### BENEFITS



#### Stays on the National Register of Historic Places (NRHP)

By remaining where it is, the building stays on the National Register. This means that the building is eligible for **state and federal grant funding** and **tax benefits** that it would lose access to if moved.

The following resources are available for buildings on the NRHP. Most stipulated work has to follow the Secretary of the Interior's Standards.

- MN Historic Structure Rehabilitation Tax Credit
- Preservation Alliance of MN Heritage Partnership Program
- MN Historical and Cultural Heritage Grants
- Certified Local Government Grants through the Historic Preservation Fund



#### Location

St. Francis Boulevard is a busy arterial road. The building will have **prime access to clients** when the building is re-purposed. The area is zoned for small business developments, keeping the surrounding businesses on a similar scale.



#### Connection to Ramsey's rural roots

The current location is near Ramsey's border with Anoka; the school served families from both communities. Keeping the building here helps explain how early-twentieth-century **rural communities depended on each other**.



#### Save money

With **no relocation costs** to consider, the city will only need to cover the costs of renovation and maintenance.



#### Foster a thriving local business community

Old spaces are key to fostering new creative endeavors in communities. **Nonprofits, startup businesses, and arts communities** all create spaces where creative ideas can grow and flourish. Ramsey has the ability to capitalize on that.

### DRAWBACKS



#### Lack of parking

The site has **no space for added parking**. It is surrounded by businesses on either side and a busy highway to which it has only indirect access. A private driveway and a large wetland further constrain parking options. The lack of parking makes finding a business that would be able to thrive more difficult.



#### Funding constraints

Being on the National Register means there are **constraints on what may be done to the building**. For example, changing the outward appearance of the building would not be permitted. Signage added to the building for business purposes would have to be freestanding and not affect the façade of the building.



#### No room for expansion

The site constraints mean there is **no possibility of expansion or growth**. Any future occupant would be locked into using the building as is.

VS



Taking into account these considerations, there are still **many opportunities for the property to be put to good use**. With a few business proposals already received by the **City**, we will explore possibilities for the property in its current location.

# Sustaining Our Legacy

## The Future of Ramsey Town Hall



RETROFIT

### RETROFIT: OTH REMAINS AT CURRENT LOCATION (continued)



Over the years, there has been interest in **putting the Old Town Hall to use**. Since it was left mid-remodel, it has been sitting there, **lifeless**. We will explore two **business proposals** for **adaptive reuse** of the Old Town Hall, as well as potential use of the space as a **business incubator**. By looking at the proposed **floor plans** for the building, we will evaluate the reuse options and their **effects on the space**.

#### School of the Arts



“It’s not really about me. I just want to see that space used again and I want to bring more artists to Ramsey.”

Shannon Potter’s proposal for reusing the Old Town Hall focuses on bringing a community use back to the building. The location is a main draw for potential **arts instruction programming** and Shannon’s experience as a property manager gives her an ability to manage the building while utilizing the space. Proposed program components include:

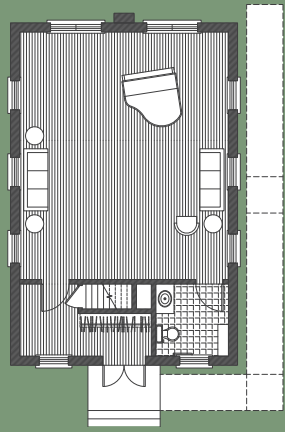
- **Teaching:**
  - Classes for youth
  - Classes for adults
  - Voice lessons
  - Other art classes as possible
- **Flexible teaching artist model**
- **Expanding classes offered as new teachers join**
- **Building reservations for community events**

##### Community Growth

A new business with a focus on bringing artists to the community will help Ramsey’s community and business grow.

##### Property Management

Having the historic property used by a business owner who is also a property manager adds extra understanding to the nature of running a historic property.



+ VS -

##### Unestablished

As a new business, it may be difficult for the School of the Arts to establish itself. The building could end up being empty again if the programming is unable to take off.

##### Unpredictable

The flexibility of the business plan leaves the space utilized during unpredictable hours and by an unpredictable amount of people creating possible complications related to negotiating parking easements.

#### Braven Music Anoka



“We love history and a good story; we think that it is great that the building started out as a school and could again be one!”

Tara Gattner’s proposal for the building is based on expanding the **established music school**. Having reached maximum capacity operating out of their home and limited rental space, the stand-alone Old Town Hall building seemed like the perfect location. Program components include:

- **Teaching:**
  - Music
  - Fine motor skill optimization
  - Personal discipline
  - People skills
  - Team building
- **Currently over 50 students**
- **Music lessons for youth**
- **Experience working with children with disabilities**
- **Giving back to the community**

##### Established Business

Braven has already established a client base and is not a new business just trying to get on its feet.

##### Community Involvement

Braven is an active participant in the community of Anoka, regularly attending community events in order to give back. Bringing that into Ramsey would be a boon to the community.

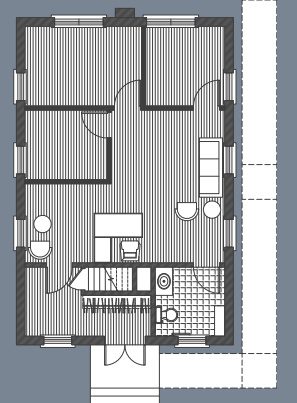
+ VS -

##### Dividing Space

The school needs the building to be divided up into at least 3 private practice rooms. This will involve a great deal of construction. If Braven outgrows this space, these divided rooms may make finding a new use for the property difficult.

##### Sound Proofing

The separate rooms in the music school will need to be soundproof and set for acoustics. This will also add an extra layer of complication to the construction process.



#### Business Incubator



“An incubator would catalyze entrepreneurship in the city of Ramsey and be the cornerstone for creating local goods and services.”

—Matthew Goodwin, Talent and Tenacity

The city’s economic development team and the Resilient Communities Project have been working to create places and services provided by the city of Ramsey aimed to help startup businesses get off the ground. The Old Town Hall building would diversify this by creating a smaller scale space that appeals to new businesses. Components include:

- **Business possibilities:**
  - Small scale start-ups
  - Nonprofits
  - Arts organizations
- **Flexible business model**
- **Discretion of Ramsey**
- **Building can be used for community services**

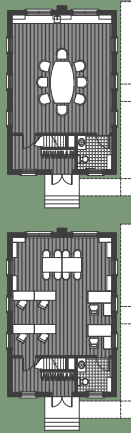
(To further explore the business incubator option, see the “Talent & Tenacity” posters)

##### Diversification

Brings a new scale option, encouraging development of different types of businesses not already served by the Ramsey Business Incubator.

##### Existing program

Ramsey already has an established business incubator program. This addition simply expands the program.



+ VS -

##### Control

Ramsey will retain control of the building, requiring management and oversight on the part of the City.

##### Turnover

There can be a high turnover rate in any business incubator, leaving the possibility of the space being left empty and underutilized.



There is local interest in putting the Old Town Hall building to use on its **current site** and bringing new life to the area through **adaptive reuse of the building**. However, the City of Ramsey has also considered **moving the building to the Center of Ramsey (The COR)**, the city’s new mixed-use downtown area. In the next set of posters we will explore the relocation of the Old Town Hall.

# Sustaining Our Legacy

## The Future of Ramsey Town Hall



RELOCATION

### RELOCATION: OTH MOVES TO THE CENTER OF RAMSEY



Moving the Old Town Hall to the new Center of Ramsey (COR) also has benefits and drawbacks. The move would showcase Ramsey's **history**, create a **new context** for the building, and provide **flexibility** in placement. However, it would **lose its status on the Historic Register**, **risk reduced structural integrity**, and be **out of scale with its surroundings**.



“Its value lies not in the land it sits on but, rather, in the remembrance of the people of the land it served.”  
—Mike Auspos



“[The house] would have been left to decay in its current plot, but it moved to a gorgeous piece of land where it truly served as the anchor for the site. The move brought new life to the house.”  
—Terry Plyant on How Historic Homes Are Moved

### PRECEDENTS

#### Hubbard House Carriage House

Mankato, MN – Museum



Built in 1880, the carriage house was originally located across the Glenwood Creek from the main house. In 1977, the building was moved to the garden area next to the house to

keep its historical context to the building. **The carriage house serves as a supporting structure for the Hubbard House, which is now used as a museum.** Programming is run by the Blue Earth County Historical Society.

#### Pierre Bottineau House

Maple Grove, MN – Interactive Learning



Built in 1854, the home has been moved at least four times. In 2009, it was moved to its current location in the Elm Creek Park Reserve to

replicate its natural historical setting. **The house is used as an interpretive space run by the Three Rivers Park District.** The park resources benefit the historic home by extending the learning landscape and highlighting the possibilities for adventure.

#### Longfellow House

Minneapolis, MN – Museum



Built in 1907, the house was originally connected to Minnehaha Park. In 1994, during the expansion of the roadway, the building was moved across the highway and reconnected with the park it had been separated from. **The house is currently used as an interpretive center run by the Minneapolis Park Board.**

### BENEFITS



#### New Context

By moving the building into the COR district, Ramsey will be able to create a “then and now” relationship between the Old Town Hall and the new town hall. It will **bring Ramsey’s history into context with its present**.



#### History in the Forefront

As the COR develops, it will become the destination in the city for people to eat, shop, and play. By bringing the building into this exciting new development, Ramsey has the opportunity to put its **history on full display**.



#### Flexibility

The COR location offers **several potential sites** for the OTH to be relocated, allowing the City to **choose the ideal context** for the building in the new development.

VS

### DRAWBACKS



#### Removal from the National Register

If the building is moved, it will lose its status on the National Register and Ramsey will **lose access to funding opportunities** that come with it.



#### Structural Integrity

The Old Town Hall structure is comprised of a **timber frame structure with a brick veneer**. The brick was only secured to the structure with nails in the mortar. These nails have now rusted and **no longer support the one-brick wythe veneer**. Therefore, moving the Old Town Hall is a risky endeavor.



#### Scale

The scale of the COR is much larger than that of the Old Town Hall building. The one-room schoolhouse building could **easily lose prominence**, either standing alone in a large expanse or being surrounded by large developments.



#### Cost

Moving the building will **add extra cost to the process of renovation** and to general maintenance. The building improvements needed in preparation for the move and the distance the building is being moved will both affect the cost. A reliable and reputable firm will be able to do the work in the range of \$50K.

[www.wolfhousemovers.com](http://www.wolfhousemovers.com)



Historic buildings are generally moved to keep them in a setting that **maintains historical context**, either because the new location closely **resembles the original surroundings** or **reunites the buildings with some other historic element**. Considering this and the structural integrity issues involved with relocation, Ramsey has several other options to consider.

# Sustaining Our Legacy

## The Future of Ramsey Town Hall



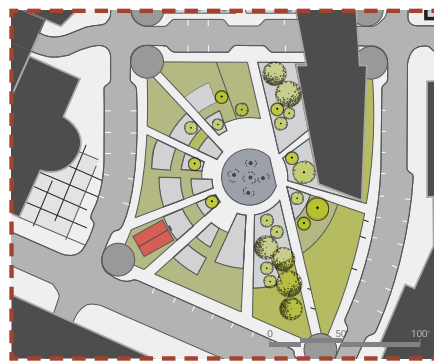
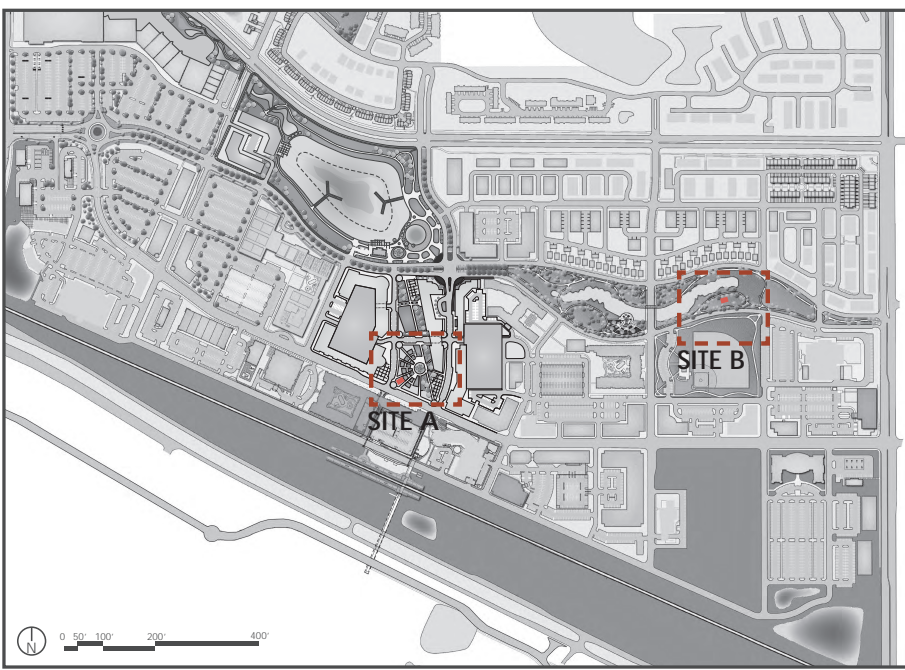
RELOCATION & CONCLUSION

### RELOCATION: OTH MOVES TO CENTER OF RAMSEY (cont'd)



Moving the Old Town Hall to The COR would give the City options for several potential relocations sites. It can be placed in a **“then and now” context in proximity to the current City Hall** or be moved to a **pastoral context to closely mimic its historic surroundings**. There are various options for programming in both contexts: an **entrepreneurial space** like a cafe or retail establishment, or a **museum or interpretive learning center**.

#### PROPOSED SITE LOCATIONS



##### SITE A: “Then and Now”

The schoolhouse will be placed in a “then and now” context with the City Hall, driving home the notion of historical progress.

- + The COR is slated for increased large-scale development in the coming years.
- This scale mismatch will diminish the visibility of the schoolhouse.



##### SITE B: Pastoral

The schoolhouse will be sited on its own, which is important to give the building a proper historical context.

- + Existing in a setting more like its original one, the building will become more of a destination.
- This may make it harder for the public to engage with the building.

#### PROPOSED PROGRAMMATIC USES

##### Cafe

**+** Adapts well to space restrictions. Provides a destination for social gathering. Serves the COR and surrounding businesses.

VS

**-** Produces high traffic in a historic building. Hard on interior of the building. Loses connection to original use of the space. Limits growth.



##### Retail

**+** Adapts well to space restrictions. Brings new generation and use to old building. Provides economic draw in the COR.

VS

**-** High turn-over in new, unestablished retail. Loses connection to original use of building. Limited space limits store options and growth.



##### Interpretive Learning/Museum

**+** Fits within the building's original context. Capitalizes on local history. Ties into Ramsey's rural roots. Historical Society involvement.

VS

**-** Ramsey's historic tourism market may be lacking. The extent of their historic tourism resources is limited.



## CONCLUSION

The Old Town Hall building serves as a **window into Ramsey's history**. It keeps the city connected to its **rural roots** and creates a **sense of place** anchored in the building's historical context and connection to its surroundings. **Keeping the building in its current location** is important to keeping that **context and program history**, and **remaining on the National Register**. Beyond that, the structural integrity of the building is such that the possible damage to the building during a move is not worth the **risk**. In its current location the Old Town Hall building can serve as a starting point for Ramsey to create a **local Historic Preservation Commission or Historical Society**. Remaining in place and on the National Register, the Old Town Hall can serve as a **true showpiece** for Ramsey.





- b) "Owner" shall initially mean the Declarants stated above; however, owner shall also mean the successors and assigns of Declarants who become owners of any portion of the Property. If different portions of the Property are owned by different Persons, each Person shall be an Owner and shall all be liable for the performance of all covenants, obligations, and undertakings herein set forth, with respect to the portion of the Property owned by it during such period of ownership.
  - c) "Person" shall mean any individual, partnership, firm, association, corporation, trust, or any other form of business or government entity.
3. **Easements.** There shall hereby exist in favor of each Owner and each Lot for the use by each Owner, its lessees, employees, agents, contractors, customers, guests and invitees, in common with others entitled to use the same, if any, a nonexclusive easement for roadway, utilities and drainage purposes and for ingress and egress and parking lot purposes over and across that part of the property legally described on Exhibit "A" attached hereto and made a part hereof. Said Exhibit "A" has been prepared by KKE Architects at the joint request of Declarants, and is hereby approved by Declarants.
4. **Duration of Easement.** The Easement shall be permanent and perpetual and shall inure to the benefit of and be binding upon all Owners and their respective successors and assigns, and shall run with the land.
5. **Maintenance and Repair.** The Owner of Lot 1 shall construct all of the driveways and parking areas shown on Exhibit "A" in a manner conforming with the plans and specifications prepared by KKE Architects and attached hereto as Exhibit "B". Said improvements shall be completed in a good, workmanlike manner and shall be completed by not later than February 12, 1997, subject to delays beyond the reasonable control of the Owner of Lot 1. The Owner of Lot 1 shall, at its sole cost and expense, maintain and repair said driveways, parking lot and related improvements, including, but not limited to, snow plowing, snow removal, and repair and replacement as necessary for the bituminous surface and curbing (the "Maintenance Costs"); however:

- a) From and after completion of the subject improvements as specified in Exhibit "B", the Owner of Lot 2 shall reimburse the Owner of Lot 1 for 29 percent of the initial construction costs thereof. Said reimbursement shall be due and payable within thirty (30) days after receipt of an invoice from the Owner of Lot 1 for the same; and,
  - b) From and after completion of the improvements as specified in Exhibit "B", the Owner of Lot 2 shall reimburse the Owner of Lot 1 for 29 percent of the maintenance costs on a monthly basis within thirty (30) days after receipt of an invoice from the Owner of said Lot 2 for the same.
6. **No Dedication.** Notwithstanding anything herein to the contrary, the Easement shall not be deemed dedicated to the public or otherwise deemed public land. Notwithstanding that it is a party to this Agreement, Ramsey shall have no obligation and no right, unless otherwise existing independent of this Declaration, under the ordinances, statutes and other laws under which Ramsey operates, to maintain and administer the Easement area, except the Easement area located upon its own lot in a manner consistent with this Agreement. Except as may otherwise be specifically provided herein, no right or privilege of any Owner shall inure to the benefit of any third party Person nor shall any third party Person be deemed to be a beneficiary of any of the provisions contained herein.
7. **Parking Restriction.** Notwithstanding any other provision hereof, the Owner of Lot 2, its lessees, employees, agents, contractors, customers, guests and invitees, understand that the primary purpose of the parking designated on Exhibit "B" which are located upon Lot 1 during the hours of 8:00 a.m. to 6:00 p.m., Monday through Friday (excepting legal holidays) and that during the hours of 8:00 a.m. to 12:00 noon Saturdays are for the operation of the bank facility and shall abide by any reasonable requests from said owners.
8. **Miscellaneous.** The headings used herein are for convenience only and are not to be used in interpreting this Declaration. This Declaration may not be modified, amended or changed orally, but only by an agreement in writing signed by the affected Owners. No Owner shall be deemed to have waived any rights under this Declaration unless such waiver is given in writing, and signed by such Owner. If any provision of this Declaration is invalid or unenforceable, such provision shall

be deemed to be modified to be within the limits of enforceability or validity, if feasible; however, if the offending provision cannot be modified, it shall be stricken and all other provisions of this Declaration in all other respects shall remain valid and enforceable.

This Agreement shall be construed in accordance with the laws of the State of Minnesota.

CITY OF RAMSEY, MINNESOTA  
By [Signature]

FIRST STATE BANK OF ISANTI  
By [Signature]

Its: Mayor

Its: Executive Vice President

By [Signature]

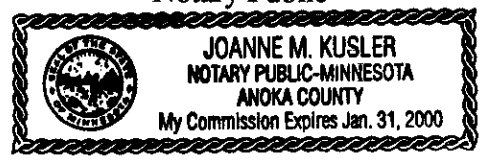
Its: City Administrator

STATE OF MINNESOTA )  
                                  ) ss.  
COUNTY OF ANOKA )

On this 17<sup>th</sup> day of September, 1996, before me, a Notary Public, personally appeared Glen D. Hardin and Ryan R. Schroeder to me personally known, who, being each by me duly sworn did say that they are respectively the Mayor and City Administrator of the City of Ramsey, the Municipal Corporation named in the foregoing instrument, and the seal affixed to said instrument is the corporate seal of said Municipal Corporation, and the said instrument was signed and sealed on behalf of said Municipal Corporation by authority of its City Council and said Glen D. Hardin and Ryan R. Schroeder acknowledge said instrument to be the free act and deed of said Municipal Corporation.

[Signature]  
Notary Public

STATE OF MINNESOTA )  
                                  ) SS.  
COUNTY OF Anoka )



On this 12<sup>th</sup> day of September, 1996, before me a Notary Public, personally appeared Kevin Johnson, the Executive Vice President of First State Bank of Isanti, a corporation under the laws of the State of Minnesota, signed said instrument as a free act on behalf of the Corporation.

[Signature]  
Notary Public



**THIS INSTRUMENT WAS DRAFTED BY:**

**Clark A. Joslin  
JOSLIN & URNESS, P.A.  
Attorneys at Law  
221 NW 2nd Avenue  
Cambridge, MN 55008  
Phone: (612) 689-4101  
Attorney ID No: 52802**

ABSTRACT

DOCUMENT NO. 1243375.0 ABSTRACT

**ANOKA COUNTY MINNESOTA**

I HEREBY CERTIFY THAT THE WITHIN INSTRUMENT WAS FILED IN THIS OFFICE  
FOR RECORD ON **SEP 30 96**  
AT **5:00 PM** AND WAS DULY RECORDED.  
FEES AND TAXES IN THE AMOUNT OF **\$19.50** PAID.

RECEIPT NO. **96068372**  
EDWARD M. TRESKA

ANOKA COUNTY PROPERTY TAX ADMINISTRATOR/RECORDER/REGISTRAR OF TITLES

BY **JLG**  
DEPUTY PROPERTY TAX ADMINISTRATOR/RECORDER/REGISTRAR OF TITLES

Receipt # <u>68372</u>	<input type="checkbox"/> Certified Copy
Date/Time: <u>9/30/19:00</u>	<input type="checkbox"/> Tax Liens/Releases
Doc. Order <u>1</u> of <u>1</u>	<input type="checkbox"/> Multi-Co. Doc Tax Pd
✓ by: Recordability: <u>[Signature]</u>	<input type="checkbox"/> Transfer <input type="checkbox"/> New Desc.
Filing Fees: <u>19.50</u>	<input type="checkbox"/> Division <input type="checkbox"/> GAC
Delqs: _____ Pins: <u>9L</u>	<input type="checkbox"/> Status <input type="checkbox"/> Def. Spec.

**CC Work Session**

**Meeting Date:** 04/09/2024

**Primary Strategic Plan Initiative:** Enhance City’s communication through transparency and accountability.

**Information**

**Title:**

Review Future Topics/Calendar

**Purpose/Background:**

Attached is the current list of future topics for work session discussions. Items are drawn from Council requests at meetings, or are related to topics that have been identified in the City's strategic plan. Tentative dates have been assigned.

**Timeframe:**

**Funding Source:**

**Responsible Party(ies):**

**Outcome:**

For Council review - no formal action necessary.

**Attachments**

Future Topics List

**Form Review**

**Inbox**

Brian Hagen

Form Started By: Katie Schmidt

Final Approval Date: 04/04/2024

**Reviewed By**

Brian Hagen

**Date**

04/04/2024 02:57 PM

Started On: 04/02/2024 11:12 AM

Row #		<u><i>Tentative City Council Future Work Session Topics</i></u>	
	Proposed Date	Topic	Minutes (Estimate)
	<b>2024</b>		
	TBD	Solicitor License approval process	15
	April 23	Subdivision Code	60
	April 23	Personnel Policy	30
	May 14	Final Review of Personnel Policy	30
	May 14	Labor Negotiations (closed session)	60
	May 28	Subdivision Code	
	June 11	City Administrator Review	15
	June 25	Review Citizen Survey	
	July	Budget Season Begins	
	TBD	Continue Policy Project Discussion – continue Park Policy discussion – Riverblood	30
	TBD	Draft Trail Maintenance Policy – Riverblood	30
	TBD	Draft Stormwater Pond Maintenance Policy – Westby	30
	TBD	Review procedure/policy/best practice for introduction of resolutions/proclamations – Staff	20
	TBD	Discuss Council and B/C Remote Meetings Policy - Staff	15
	TBD	Decorum of Council Towards Meeting Attendees	