

City of Ramsey
Agenda
Environmental Policy Board (EPB)

Monday, July 15, 2024

6:30 pm

Council Chambers, 7550 Sunwood Drive NW

Remote Attendance available at www.cityoframsey.com/meetings.
Those joining remotely and requesting to speak are asked to use a webcam when speaking.

1. **Call to Order**

2. **Citizen Input**

3. **Approve Agenda**

4. **Approve Minutes**
 1. Approve Meeting Minutes Dated March 18, 2024

5. **Policy Board Business**
 1. Consider Natural Resources Aspects of Site Plan for U-Haul (Project No. 24-115); Case of U-Haul

 2. Consider Natural Resources Aspects of Site Plan for Voice of Hope Church (Project No. 24-114); Case of Voice of Hope Church

6. **Board/Staff Input**
 - Curbside Recycling Event - August 5 - August 16

7. **Adjournment**

Environmental Policy Board (EPB)

Meeting Date: 07/15/2024

Primary Strategic Plan Initiative: Not Applicable

Information

Title:

Approve Meeting Minutes Dated March 18, 2024

Purpose/Background:

Approve the meeting minutes dated March 18, 2024.

Recommendation:

Staff recommends approving the March 18, 2024, meeting minutes.

Outcome/Action:

Motion to approve meeting minutes dated March 18, 2024.

Attachments

Meeting Minutes Dated March 18, 2024

Form Review

Inbox

Brian Hagen

Form Started By: Chris Anderson

Final Approval Date: 07/11/2024

Reviewed By

Abdi Sahal

Date

07/11/2024 11:50 AM

Started On: 07/10/2024 08:56 AM

**ENVIRONMENTAL POLICY BOARD
CITY OF RAMSEY
ANOKA COUNTY
STATE OF MINNESOTA**

On Monday, March 18, 2024, the Environmental Policy Board (EPB) met in the Council Chambers at the Ramsey Municipal Center, 7550 Sunwood Drive N.W., Ramsey, Minnesota.

Members Present: Chairperson Laura Moore
 Board Member Reid Bernard
 Board Member Melissa Fetterley
 Board Member Thomas Hagerty
 Board Member Hassan Salami

Members Absent: Board Member Jessica Vikander
 Board Member Mike Heifner

Also Present: Senior Planner Chris Anderson
 City Council Liaison Matt Woestehoff

1. CALL TO ORDER

Chairperson Moore called the meeting to order at 6:30 p.m.

2. CITIZEN INPUT

None.

3. APPROVE AGENDA

Motion by Board Member Bernard and seconded by Board Member Salami to approve the agenda as submitted.

Motion carried. Voting Yes: Chairperson Moore, Board Member Bernard, Salami, Fetterley, and Hagerty. Voting No: None. Absent: Board Member Heifner and Vikander.

4. APPROVE MINUTES

4.01: Approve Meeting Minutes Dated February 12, 2024

Motion by Board Member Fetterley and seconded by Board Member Bernard to approve the regular meeting minutes dated February 12, 2024.

Motion carried. Voting Yes: Chairperson Moore, Board Member Fetterley, Bernard, Hagerty, and Salami. Voting No: None. Absent: Board Member Heifner and Vikander.

5. POLICY BOARD BUSINESS

5.01: Appoint Chairperson and Vice Chairperson

Senior Planner Anderson presented the staff report. He noted that because of the previous policy adopted by the City Council, Chairperson Moore would be unable to serve as Chairperson for this term as she has already served two consecutive terms. He noted that the change in Chairperson would take place at the next meeting, and Chairperson Moore would continue for the remainder of this meeting.

Chairperson Moore nominated Board Member Fetterley for the position of Chairperson.

Board Member Fetterley accepted the nomination.

Motion by Board Member Moore and seconded by Board Member Bernard to appoint Melissa Fetterley as Chairperson of the Environmental Policy Board.

Motion carried. Voting Yes: Chairperson Moore, Board Member Bernard, Fetterley, Hagerty, and Salami. Voting No: None. Absent: Board Member Heifner and Vikander.

Board Member Salami nominated Melissa Moore to serve as Vice Chairperson.

Chairperson Moore accepted the nomination but stated that she would step away if someone else was interested in serving. No other members expressed interest.

Motion by Board Member Salami and seconded by Board Member Hagerty to appoint Laura Moore as Vice Chairperson of the Environmental Policy Board.

Motion carried. Voting Yes: Chairperson Moore, Board Member Salami, Hagerty, Bernard, and Fetterley. Voting No: None. Absent: Board Member Heifner and Vikander.

5.02: Consider the Natural Resources Aspects Associated with a Site Plan and Conditional Use Permit for Complete Auto Service (Project No. 24-102); Case of Classic Construction, Inc.

Senior Planner Anderson presented the staff report. He stated that the City has received an application from Classic Construction, Inc. for a Site Plan review and Conditional Use Permit for a proposed motor vehicle service shop at 5195 142nd Avenue NW.

Board Member Hagerty asked if there are other conditions related to an auto repair use given the proximity to the river.

Senior Planner Anderson replied that there are not different requirements, but there are standards in place to ensure the hazardous substances are captured onsite and do not enter the stormwater system.

Board Member Fetterley asked if there would be enough space along the boulevard to add additional trees.

Senior Planner Anderson replied that overall, on the site there would be enough space to adequately fit five additional trees, noting that they would not all have to go along Xkimo Street. He believed that three trees could fit along Xkimo and the other two on the front side of the site.

Board Member Fetterley asked if there would be fencing along the backside of the property and 47.

Senior Planner Anderson replied that the fencing would go along the eastern side of the building to screen those parking stalls with a gate, which will separate the parking lot between customer parking and vehicles awaiting service.

Board Member Fetterley asked if there would be transitioning required to the north.

Senior Planner Anderson replied that the property to the north is an office building and not residential, therefore it would not require transitioning.

Board Member Hagerty asked if there something that would prevent long-term storage of vehicles.

Senior Planner Anderson replied that condition could be added under the Conditional Use Permit (CUP), but generally speaking there could be a requirement that inoperable vehicles are stored inside the building. He noted that the Planning Commission would address that when it holds the public hearing.

Board Member Bernard commented that the fenced area could be used for that purpose as well, which would block those from view.

Chairperson Moore commented on the difficulty in getting onto 47 from that intersection and asked if there is a future plan for a traffic control change at that intersection.

Senior Planner Anderson replied that currently there is a right-in/right-out for that intersection. He stated that traffic cannot go southbound on 47 from 142nd and would instead travel on Xkimo to the stoplight which would allow access onto 47. He stated that there would be no changes proposed to the intersection for 47 and 142nd.

Motion by Board Member Salami and seconded by Board Member Bernard to recommend approval of the Landscape Plan, contingent upon compliance with staff's review comments.

Motion carried. Voting Yes: Chairperson Moore, Board Member Salami, Bernard, Fetterley, and Hagerty. Voting No: None. Absent: Board Member Heifner and Vikander.

5.03: Consider Natural Resources Aspects of a Site Plan and Final Plat for The Catholic Church of Saint Katharine Drexel (Project No. 24-103); Case of Saint Katherine Drexel

Senior Planner Anderson presented the staff report. He stated that the City has received an application from the Catholic Church of Saint Katharine Drexel for Site Plan review and Final Plat for a new church to be constructed at the northwest corner of 161st Avenue and Variolite Street.

Board Member Fetterley commented that she was pleased to see that the applicant was not removing more trees than needed and will wait for the future expansion plans to proceed with that.

Chairperson Moore commented that it is great to see over 70 percent of the trees preserved.

Motion by Board Member Hagerty and seconded by Board Member Fetterley to recommend approval of the Landscape Plan and Tree Inventory and Preservation Plan, contingent upon compliance with staff's review comments.

Motion carried. Voting Yes: Chairperson Moore, Board Member Hagerty, Fetterley, Bernard, and Salami. Voting No: None. Absent: Board Member Heifner and Vikander.

5.04: Consider Natural Resources Aspects of Site Plan for Norhart Mixed Use Apartment Complex (Project No. 24-104); Case of Norhart Architecture LLC

Senior Planner Anderson presented the staff report. He stated that the City has received an application from Norhart Architecture LLC for Site Plan review and a variance for a five story, mixed use apartment building located north and east of Sunwood Drive and west of Zeolite Street.

Chairperson Moore asked if staff feels that the trees and shrubs can fit along the border of the property, as it appears to be a compact amount of plants within that space.

Senior Planner Anderson replied that a lot of what you see along Ramsey Parkway is a combination of trees and shrubs, with shrubs in small groupings. He did not see any issues with that plan as proposed and believed that there would be sufficient space because of the combination of trees and shrubs.

Chairperson Moore asked if this project would utilize roof space as greenspace.

Senior Planner Anderson replied that he did not believe the applicant proposed any type of green roof.

Board Member Salami referenced the recommendations of approval that are made contingent upon certain conditions being met and asked if the Board ever goes back to ensure those conditions are met.

Senior Planner Anderson replied that the EPB does not follow up on the cases, but if those contingencies carry forward through a motion of the City Council, those would become formal requirements and staff would follow up to ensure those are met.

Motion by Board Member Fetterley and seconded by Board Member Salami to recommend approval of the Landscape Plan and Tree Inventory and Preservation Plan, contingent upon compliance with staff's review comments.

Motion carried. Voting Yes: Chairperson Moore, Board Member Fetterley, Salami, Bernard, and Hagerty. Voting No: None. Absent: Board Member Heifner and Vikander.

5.05: Consider the Natural Resources Aspects of the Site Plan and Preliminary Plat for

Haviland Fields (Project No. 24-101); Case of Presbyterian Homes Housing and Assisted Living, Inc.

Senior Planner Anderson presented the staff report. He stated that the City has received an application from Presbyterian Homes Housing and Assisted Living, Inc. for Site Plan, Preliminary Plat, Zoning Amendment, and a Comprehensive Plan Amendment for a project that includes a senior housing building, an all-ages building, and twin homes on the property currently occupied by Lord of Life Church and generally known as 14501 Nowthen Boulevard.

Chairperson Moore asked and received confirmation that this would be directly adjacent to Stoney River. It was also confirmed that this would be a separate owner from the existing facility. She stated that she is pleased that the wetland aspen oak area will be persevered on the eastern side of the property.

Board Member Hagerty referenced the high-quality area and received confirmation that area would not be impacted by this project.

Senior Planner Anderson explained that there would not be any construction within that area and the trees that border that area will be left intact. He noted that the typical stormwater management would be required for the proposed development to manage the water and runoff onsite.

Board Member Salami recognized the function of this Board but wondered about the impact that this dense development would have on the road system. He hoped that public works is taking a critical look at the development.

Senior Planner Anderson stated that there is a development review committee made up by members from every department, with the exception of finance, that reviews all aspects of a project to provide comments. He stated that MnDOT and Anoka County Highway Department has also been sent the plans to provide comments as well.

Motion by Board Member Salami and seconded by Board Member Bernard to recommend approval of the Landscape Plan and Tree Inventory and Preservation Plan, contingent upon compliance with staff's review comments.

Motion carried. Voting Yes: Chairperson Moore, Board Member Salami, Bernard, Fetterley, and Hagerty. Voting No: None. Absent: Board Member Heifner and Vikander.

5.06: Consider Opportunity to Reapply for Funding through the Metropolitan Council's Water Efficiency Grant Program

Senior Planner Anderson presented the staff report. He stated that in 2022, the City of Ramsey reapplied for a Water Efficiency Grant through the Metropolitan Council and was awarded \$19,800. The grant funds have been used to provide rebates to residential and commercial property owners that replaced water using devices (specifically including toilets, smart irrigation controllers, washing machines, and dishwashers) with WaterSense or Energy Star rated devices. Presently there is only about \$2,600 in grant funds remaining. The Metropolitan Council has announced that it is once again offering a Water Efficiency Grant. Applications are due by March

29, 2024 and grant recipients will be announced by May 24, 2024. The grant program will run from July 1, 2024 through June 30, 2026.

Chairperson Moore commented that she is very excited about the program, even though she is not eligible because she has a private well. She stated that it is great to see the participation from residents with this program.

Board Member Fetterley commented that the City did a great job marketing the program and it was great to see the funding almost exhausted from the last cycle. She was excited to apply again and potentially continue to provide additional funds to residents for this purpose.

Motion by Board Member Salami and seconded by Board Member Fetterley to recommend that the City submit a grant application to the Metropolitan Council for Water Efficiency Grant Program funds.

Motion carried. Voting Yes: Chairperson Moore, Board Member Salami, Fetterley, Bernard, and Hagerty. Voting No: None. Absent: Board Member Heifner and Vikander.

6. BOARD / STAFF INPUT

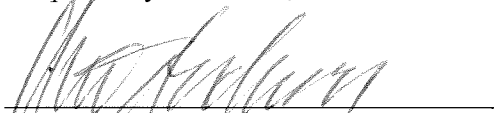
Chairperson Moore commented that if families or groups would like to participate in an Earth Day clean-up, they could register with the City and can then be provided with gloves and bags.

7. ADJOURNMENT

Motion by Board Member Hagerty and seconded by Board Member Bernard to adjourn the meeting.

The meeting adjourned at 7:44 p.m.

Respectfully submitted,



Chris Anderson
Senior Planner

ATTEST:



Dana Verbeek
Planning Administrative Assistant

Drafted by Amanda Staple
TimeSaver Off Site Secretarial, Inc.

Environmental Policy Board (EPB)**Meeting Date:** 07/15/2024**Primary Strategic Plan Initiative:** Promote economic growth and development.**Information****Title:**

Consider Natural Resources Aspects of Site Plan for U-Haul (Project No. 24-115); Case of U-Haul

Purpose/Background:

The City has received a Land Use Application from U-Haul (the "Applicant") for a Conditional Use Permit for a proposed U-Haul Moving and Storage Facility, located at 8725 Riverdale Drive (the "Subject Property"). The business operation would include the following uses on site: self-storage, truck and trailer rental, and related retail sales.

Time Frame/Observations/Alternatives:**Project Overview**

U-Haul is proposing to construct an approximately 38,000 square foot building on the Subject Property that would house climate-controlled self-storage units and U-Haul related retail sales space. Additionally, there would be five (5) more traditional self-storage buildings, each being a little over 4,000 square feet in size, that are directly accessed via overhead doors. Finally, there would also be an approximately 11,000 square foot building used to store portable storage units. There are two proposed accesses to the Subject Property, both off of Riverdale Drive. The City Council has already approved a Zoning Amendment to rezone the Subject Property to B-3 Business, which was necessary to accommodate the proposed use.

Natural Resources Inventory and Minnesota Land Cover Classification System

The City's Natural Resources Inventory (NRI) does not identify any native plant communities on the Subject Property. Additionally, the Minnesota Land Cover Classification System categorizes the Subject Property as 'Planted or Cultivated Vegetation'. This area had been actively farmed until very recently. Furthermore, there are no trees on the Subject Property and thus, there was no need for a Tree Inventory and Preservation Plan. There are no wetlands or floodplains on the Subject Property. The southwest corner of the Subject Property does fall within the Mississippi River Corridor Critical Area (about 0.1 acres), in the 'Separated from River' district. However, there are no Primary Conservation Areas (PCAs) or Public River Corridor Views (PRCVs) within this area and thus, no additional standards would be applicable.

Landscape Plan

The submittal includes a Landscape Plan for the project. The landscaping is focused primarily along the east and west sides of the Subject Property as well as along Riverdale Drive. Staff requested various minor revisions to the original plan set, and it appears that all but one comment was addressed with their submittal of revised plans. The only outstanding comment that needs to be addressed is adding a note to sheet L1.2 stating that the irrigation system must include some form of water efficient technology.

Funding Source:

All costs associated with this application are the Applicant's responsibility.

Recommendation:

Staff recommends approving the Landscape Plan contingent upon compliance with Staff's required plan corrections.

Outcome/Action:

Motion to recommend approval of the Landscape Plan, contingent upon compliance with Staff's required corrections.

Attachments

Site Location Map

Site Plan

Landscape Plan with Comments

Form Review

Inbox

Brian Hagen

Form Started By: Chris Anderson

Final Approval Date: 07/11/2024

Reviewed By

Brian Hagen

Date

07/11/2024 11:41 AM

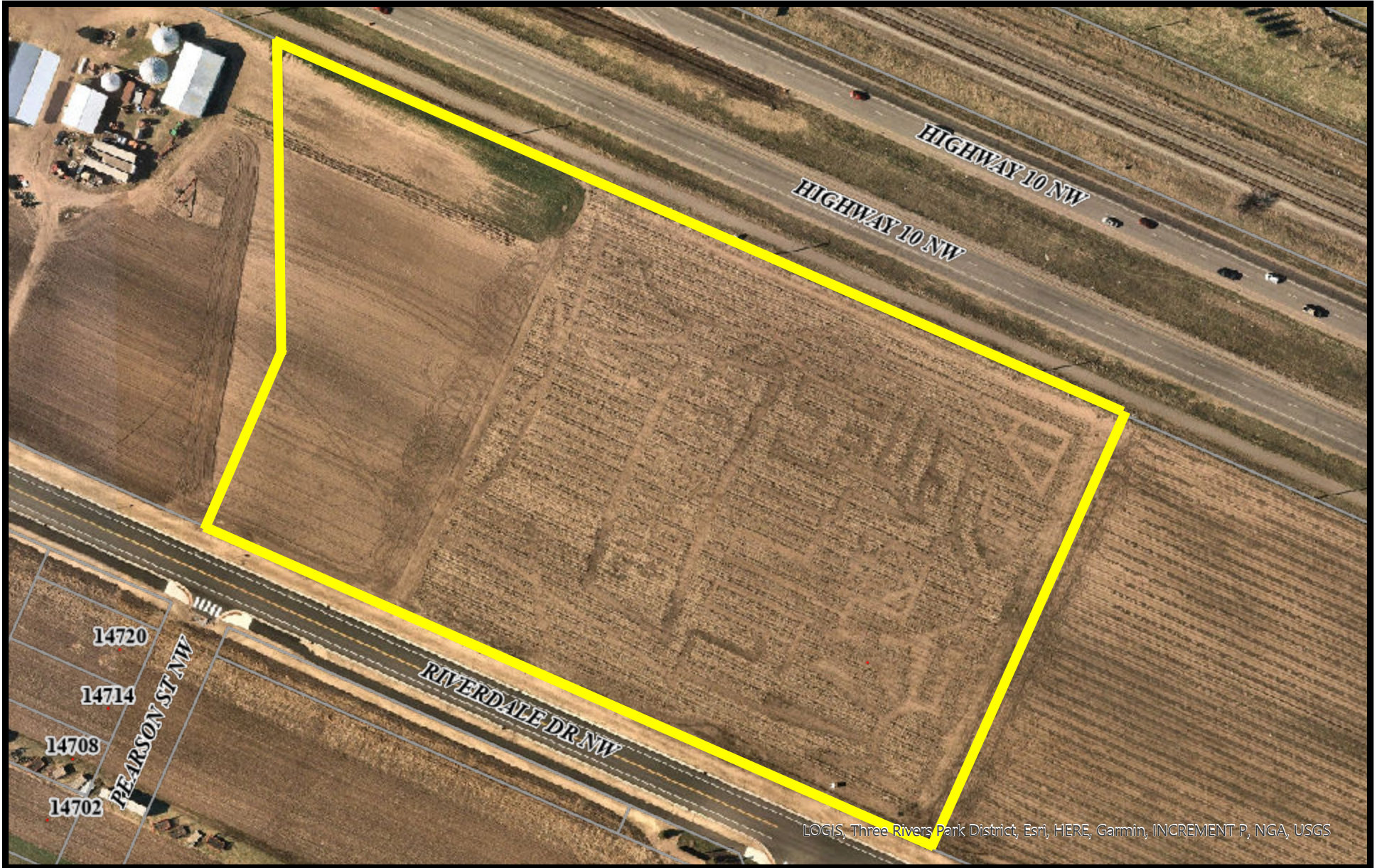
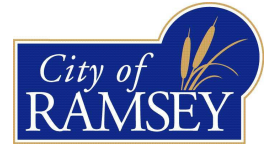
Started On: 06/25/2024 10:55 AM

8725 Riverdale Drive NW

Lot 1, Block 1, Donna Farms, Anoka County,
Minnesota 29-32-25-22-0024

U-HAUL

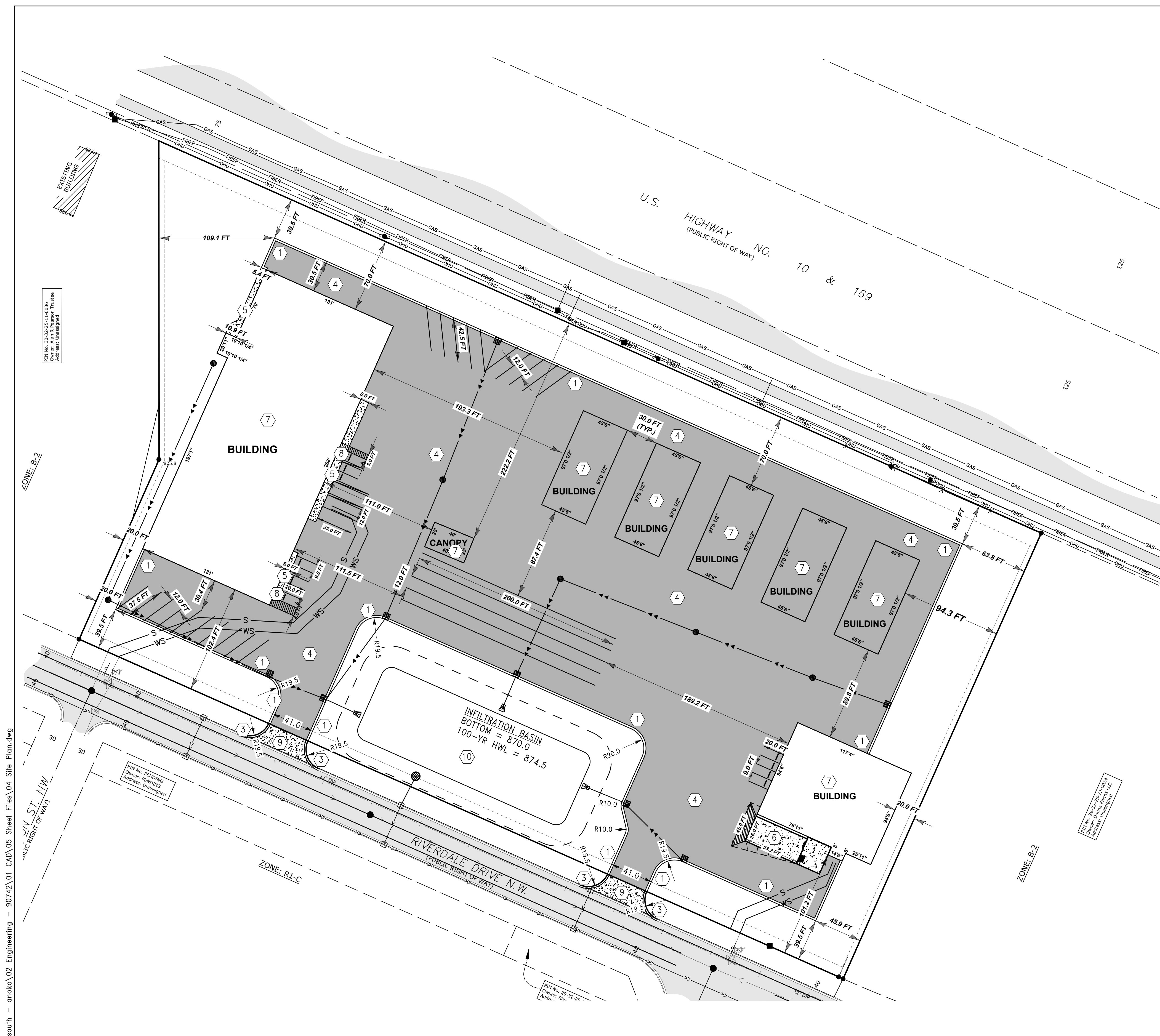
Conditional Use Permit



LOGIS, Three Rivers Park District, Esri, HERE, Garmin, INCREMENT P, NGA, USGS

Print Date: June 26, 2024

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mi

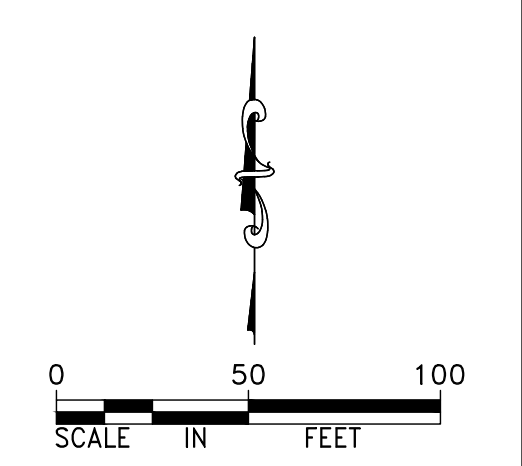


- REFERENCE NOTES:
- ① SURMOUNTABLE CURB AND GUTTER
 - ② SURMOUNTABLE TIPOUT CURB & GUTTER
 - ③ B618 CURB & GUTTER
 - ④ BITUMINOUS PAVEMENT PER $\frac{4}{C2}$
 - ⑤ CONCRETE SIDEWALK PER DETAILS $\frac{1}{C3}$ AND $\frac{3}{C3}$
 - ⑥ CONCRETE PAVEMENT PER $\frac{2}{C3}$ AND $\frac{4}{C3}$
 - ⑦ PROPOSED BUILDING. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DIMENSIONS.
 - ⑧ HANDICAP SIGN ON WALL
 - ⑨ COMMERCIAL ENTRANCE PER CITY DETAILS
 - ⑩ INFILTRATION BASIN

SITE DATA:
 LOT AREA = 8.73 AC
 EXISTING IMPERVIOUS AREA = 0 AC
 EXISTING HARDCOVER = 0%
 PROPOSED IMPERVIOUS AREA = 5.69 AC
 PROPOSED HARDCOVER = 65.2%

PARKING DATA:
 STANDARD STALLS PROVIDED = 10
 HANDICAP STALLS PROVIDED = 2
 RENTAL TRUCK STALLS PROVIDED = 17
 TOTAL PROPOSED PARKING STALLS = 29

- LEGEND**
- EXISTING BUILDING
 - EXISTING CURB & GUTTER
 - PROPOSED SURMOUNTABLE CURB & GUTTER
 - PROPOSED SURMOUNTABLE TIPOUT CURB & GUTTER
 - PROPOSED B618 CURB & GUTTER
 - PROPOSED B618 TIPOUT CURB & GUTTER
 - EXISTING STORM SEWER
 - PROPOSED STORM SEWER
 - EXISTING CONCRETE
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED BITUMINOUS PAVEMENT
 - EXISTING FENCE
 - EXISTING SIGN
 - PROPOSED PARKING STRIPE
 - NUMBER OF PARKING STALLS
 - PROPOSED LIGHT



F:\survey\riverstone_south - anoka\02_Engineering - 90742\01_CAD\05_Sheet_Files\04_Site_Plan.dwg

DESIGNED BY: JAP	I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.	REVISIONS
DRAWN BY: ABL		
CHECKED BY: GRP		
PRELIMINARY JEFFREY A. PRASCH, P.E. DATE: 06.14.24 LIC. NO.: 52706		

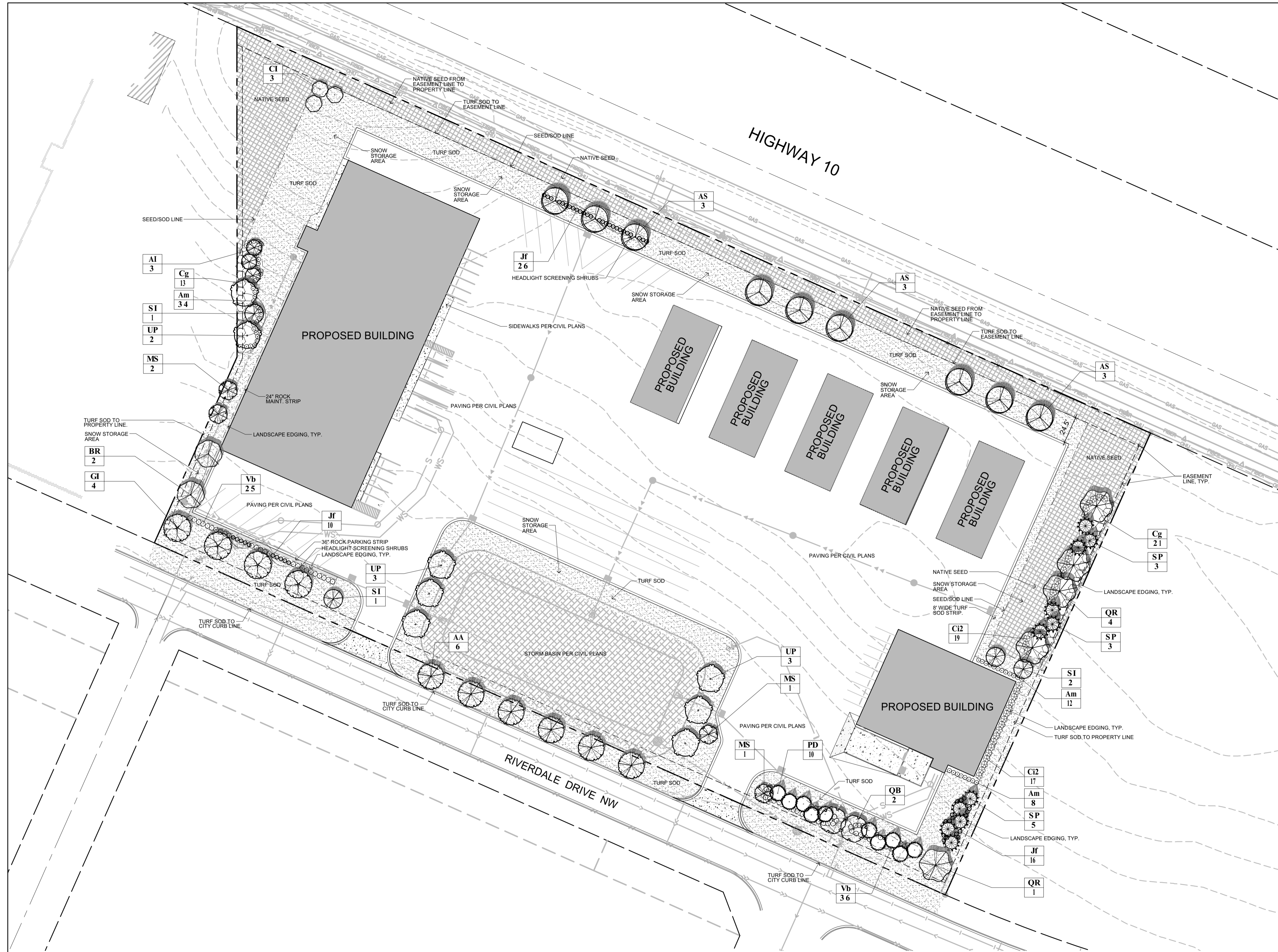
DEMARC
 LAND SURVEYING & ENGINEERING
 7601 73RD AVENUE N, BROOKLYN PARK, MN 55428
 PHONE: 763.560.3093 FAX: 763.560.3522
 www.Demarclnc.com

AMERCO REAL ESTATE COMPANY
 2727 N. CENTRAL AVENUE
 PHOENIX, ARIZONA 85004

RAMSEY U-HAUL
 XXXXX RIVERDALE DRIVE NW
 RAMSEY, MINNESOTA

SITE PLAN

PROJECT: 90742
 SHEET NO.
 C6 of C12



General Notes:

1. Landscape contractor to provide a new irrigation layout plan for the property. See Landscape Notes.
2. See Civil Engineer's plans for grading layout and requirements.
3. Contractor to coordinate any work in the right-of-way with City of Ramsey Public Works Department.
4. Sod all disturbed areas except plant beds and areas noted to receive mulch.
5. Place a minimum of 4" topsoil, with not more than 35% sand content. Topsoil inspection is required prior to installing sod and trees.
6. See Sheet L1.2 for Landscape Details, Notes, and Schedules.
7. Landscape contractor is responsible for verification of soils and graded condition prior to mobilization and shall notify the General Contractor if earthwork is not acceptable. Landscape contractor is responsible for fine grading, or grade to within 1" of final set elevation.

Landscape Materials Legend:

- Proposed Turf Sod
- Proposed MnDOT 2024 'Southern Shortgrass Roadside' Native Seed Mix - See Sheet L1.3
- Proposed MnDOT 2024 'Wet Ditch' Native Seed Mix - See Sheet L1.3

Municipal Landscape Requirements:

Community Business District-B2

Site Tree Requirements:
 1 Tree per 50 LF of Site Perimeter
 or
 1 Tree per 1,000 SF of Building Footprint
 whichever is greater

Site Shrub Requirements:
 1 Shrub per 30 LF of Site Perimeter
 or
 1 Shrub per 300 SF of Building Footprint
 whichever is greater

Road Frontage Plantings*:
 1 Overstory Tree per 35 LF of Public Rd Frontage
 *These plantings are credited toward the minimum planting requirements

Parking Lot Plantings*:
 1 Tree per 10 Parking Spaces
 *These plantings are credited toward the minimum planting requirements

Site Requirement Calculations:

Site Perimeter: approx. 2,647 LF
 Building Footprint: approx. 71,236 SF

2,647 / 50 = 53 Trees or 71,236 / 1,000 = **71 Trees**

2,647 / 30 = 88 Shrubs or 71,236 / 300 = **237 Shrubs**

Public Rd Frontage: Riverdale Drive NW

Parking Spaces: 20 Stalls

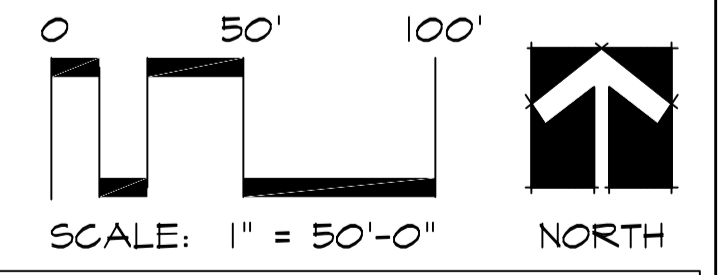
20 / 10 = 2 Parking Lot Trees*
 *These plantings are credited toward the minimum planting requirements

Additional Requirements:

Tree Diversity:
 -Minimum 25% Deciduous Overstory
 -Minimum 25% Coniferous
 -Maximum 25% Ornamental

Minimum Plant Sizes:
 -2" Deciduous Overstory
 -6' Hgt. Coniferous Tree
 -1.5" Ornamental Tree
 -24" Shrub (width or height)

Landscape rock is prohibited in landscape islands



LANDSCAPE LAYOUT PLAN:

CALYX DESIGN GROUP
 Landscape Architecture & Planning
 475 CLEVELAND AVE. N, SUITE 101A, ST PAUL, MN 55104
 PHONE: 651.788.9018
 www.calyxdesigngroup.com



ISSUE DATE: 06/14/2024	HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.
DRAWN BY: HL	
CHECKED BY: BH	

PRELIMINARY

REVISIONS	
06/14/2024	Initial City Submittal
07/08/2024	City Re-submittal

DEMARCO
 LAND SURVEYING & ENGINEERING
 7601 73RD AVENUE N, BROOKLYN PARK, MN 55428
 PHONE: 763.560.3093 FAX: 763.560.3522
 www.DemarcInc.com

AMERCO REAL ESTATE CO.
 5555 KIETZKE LANE, SUITE 100
 RENO, NEVADA 89511
 602.263.6601

U-HAUL OF RAMSEY
 RIVERSTONE DRIVE
 RAMSEY, MINNESOTA

LANDSCAPE PLAN

PROJECT: 24131

SHEET NO.
L1.1

Landscape Notes + Requirements:

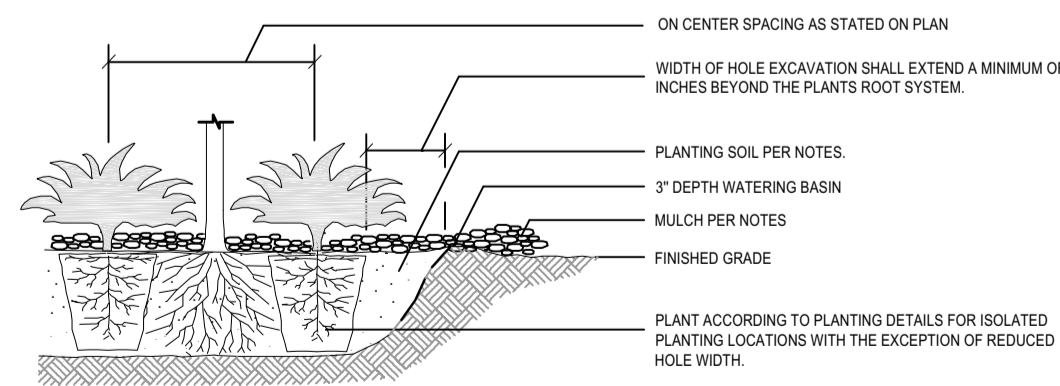
- Tree saucer mulch to be four inches (4") depth natural single-shred hardwood mulch for trees outside of a plant bed. Install per tree planting detail, including PVC trunk guards.
- Refer to civil plan sheets for grading, drainage, site dimensions, survey, proposed utilities & erosion control.
- All plant material shall comply with the latest edition of the American Standard for Nursery Stock, American Association of Nurserymen. Unless noted otherwise, deciduous shrubs shall have at least 5 canes at the specified shrub height. Plant material shall be delivered as specified. Deciduous tree diameter is measured at breast-height (40" above final grade), in accordance with National Forestry and ANSI standards. Coniferous tree height is measured following planting installation, and is measured from final grade to the tip of the central leader. Bidders submitting pricing accept the above measurement conditions.
- Plan takes precedence over plant schedule if discrepancies in quantities exist.
- All proposed plants shall be located and staked as shown.
- The project landscape contractor shall be held responsible for watering and properly handling all plant materials brought on the site both before and after installation. Schedule plant deliveries to coincide with expected installation time within 36 hours.
- All plant materials shall be fertilized upon installation as specified.
- The landscape contractor shall provide the owner with a watering schedule appropriate to the project site conditions and to plant material growth requirements.
- If the landscape contractor is concerned or perceives any deficiencies in the plant selections, soil conditions, drainage or any other site condition that might negatively affect plant establishment, survival or guarantee, they must bring these deficiencies to the attention of the landscape architect & client prior to bid submission. Plant bed drainage concerns during plant installation shall be brought to the attention of the Owner and General Contractor immediately.
- Contractor shall establish to their satisfaction that soil and compaction conditions are adequate to allow for proper drainage at and around the building site.
- Contractor is responsible for ongoing maintenance of all newly installed material until time of owner acceptance. Any acts of vandalism or damage which may occur prior to owner acceptance shall be the responsibility of the contractor. Contractor shall provide the owner with a maintenance program including, but not limited to, pruning, fertilization and disease/pest control.
- The contractor shall guarantee newly planted material through TWO calendar years from the date of passing the City of Ramsey's landscape inspection. Plants that exhibit more than 20% die-back damage shall be replaced at no additional cost to the owner. The contractor shall provide PVC tree trunk guards for all deciduous trees. Landscape contractor shall provide additional deer browse fencing protection measures for the plantings during the warranty period, as needed.
- This layout plan constitutes our understanding of the landscape requirements listed in the ordinance. Changes and modifications may be requested by the city based on applicant information, public input, council decisions, etc.
- The landscape contractor shall be responsible for obtaining any permits and coordinating inspections as required throughout the work process.
- Both plant species substitutions and plan changes to plant locations will require approval of the City of Ramsey prior to installation. Landscape contractor is required to document approved changes.
- The landscape contractor shall furnish an Irrigation Layout Plan for head-to-head coverage of all tree, turf and shrub planting areas. Use commercial-grade irrigation equipment and provide product cut-sheets and (4) copies of the proposed layout plan to the Owner for review and approval. Coordinate irrigation connection point, controller, back-flow, rain sensor, sleeving, and valve locations with the general contractor. All irrigation systems must include a rain sensor and utilize water efficient technology, such as a weather-smart controller, moisture sensor, etc.
- All edger shall be Commercial Grade 5" Black Polyethylene with 1" bull-nose. Anchor every 48" on-center (minimum). Submit edger sample.
- Landscape Contractor is responsible for coordination with the General Contractor, to protect the new improvements on and off-site during landscape work activities. Report any damage to the General Contractor immediately.
- Mulch: Where noted per plan, wood mulch areas shall receive 4" depth of locally available natural single-shred Western Red Cedar wood mulch over fabric weed mat, per detail. Submit mulch sample for Owner approval. Do not install weed mat under perennials, with the exception of ornamental grasses. Dyed mulch is not accepted.
- Ensure topsoil inspection is scheduled with the City of Ramsey no less than 5 days before planting is scheduled to occur. Corrections required by the city must be made & approved by the city prior to the start of landscape work.
- All planting, seeding, and sodded areas shall be prepared prior to installation activities with a harley power box rake or equal to provide a firm planting bed free of stones, sticks, construction debris, etc.
- Turf installation activity shall conform to all rules and regulations as established in the MnDOT Seeding Manual, 2024 edition, for turf bed preparation, installation, maintenance, and warranty.
- The Landscape Contractor shall furnish samples of all landscape materials for approval prior to installation.
- The Landscape Contractor shall clear and grub the underbrush from within the work limits to remove dead branches, leaves, trash, weeds and foreign materials. Remove trees where noted on the plan, including the stump to 30" below grade.
- The landscape contractor shall contact Gopher State One Call no less than 48 hours before digging for field utility locations.
- The landscape contractor shall be responsible for the removal of erosion control measures once vegetation has been established to the satisfaction of the municipal staff. This includes silt curtain fencing and sediment logs placed in the landscape.
- The landscape contractor shall be responsible for visiting the site to become familiar with the conditions prior to bidding and installation. Coordinate with the general contractors on matters such as fine grading, landscaped area conditions, staging areas, irrigation connection to building, etc.
- See Site and Civil plans for grading, utilities, and additional information regarding the project.
- Topsoil per City of Ramsey required detail ERO-6 for topsoil requirements. Slope away from building.
- Landscape contractor must prove the open sub-grade of all planting areas after their excavation is capable of infiltrating a minimum requirement of 1/4-inch of water per hour prior to installation of plant materials, topsoil, irrigation, weed mat, and mulch. Planting areas not capable of meeting this requirement shall have 4" diameter X 48" depth holes augured every 36" on-center and filled with MnDOT Free-Draining Coarse Filter Aggregate. Re-test sub-grade percolation for compliance to infiltration minimum requirement.
- Fencing (if noted) per Architect's Plans and Specifications.

PLANT SCHEDULE

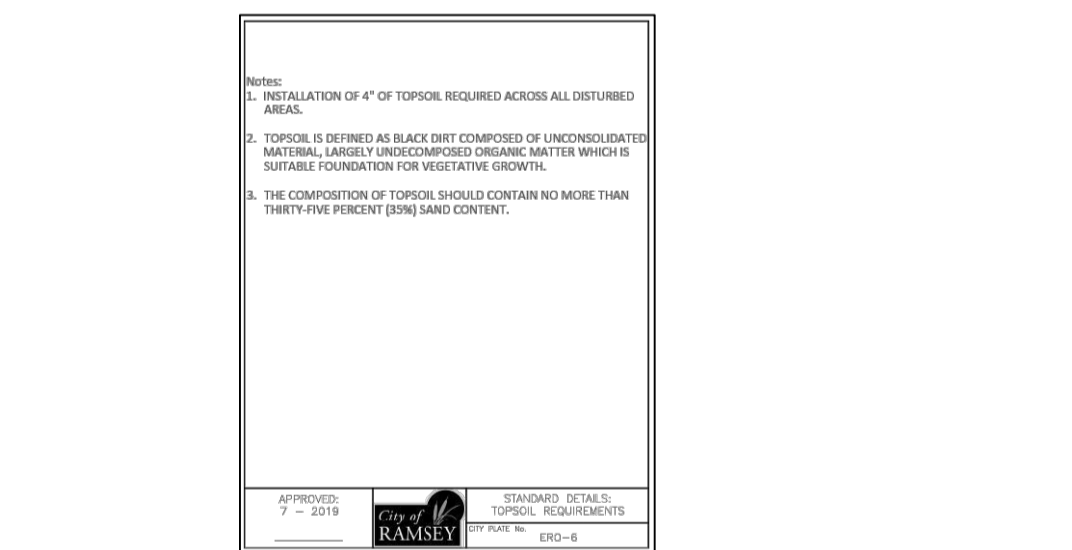
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
DECIDUOUS ORNAMENTAL TREES						
	AI	Alnus glutinosa 'Imperialis'	Imperial Black Alder	1.5" Cal.	B&B	3
	CI	Crataegus crus-galli inermis	Thornless Cockspur Hawthorn	1.5" Cal.	B&B	3
	MS	Malus x 'Spring Snow'	Spring Snow Crab Apple	1.5" Cal.	B&B	4
	SI	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	1.5" Cal.	B&B	4
DECIDUOUS OVERSTORY TREE						
	AS	Acer x freemanii 'Sienna'	Sienna Glen Maple	2" Cal.	B&B	9
	AA	Acer x freemanii 'Jeffersred'	Autumn Blaze® Freeman Maple	2" Cal.	B&B	6
	BR	Betula nigra	River Birch	2" Cal.	B&B	2
	GI	Gleditsia triacanthos inermis 'Skycole'™	Skyline Thornless Honey Locust	2" Cal.	B&B	4
	QB	Quercus bicolor	Swamp White Oak	2" Cal.	B&B	2
	QR	Quercus rubra	Northern Red Oak	2" Cal.	B&B	5
	UP	Ulmus americana 'Princeton'	Princeton American Elm	2" Cal.	B&B	8
EVERGREEN TREES						
	PD	Picea glauca 'Densata'	Black Hills Spruce	6' Hgt.	B&B	10
	SP	Pinus sylvestris	Scotch Pine	6' Hgt.	B&B	11
SHRUBS						
	Am	Aronia melanocarpa 'Morton'™	Iroquis Beauty Black Chokeberry	5 gal. (Min. 24" Hgt.)	Pot	54
	Cg	Cornus racemosa	Gray Dogwood	5 gal. (Min. 24" Hgt.)	Pot	34
	CI2	Cornus sericea 'Isanti'	Isanti Redosier Dogwood	5 gal. (Min. 24" Hgt.)	Pot	36
	Jf	Juniperus chinensis 'Sea Green'	Sea Green Juniper	5 gal. (Min. 24" Hgt.)	Pot	52
	Vb	Viburnum trilobum 'Bailey Compact'	Compact American Cranberry Bush	5 gal. (Min. 24" Hgt.)	Pot	61

Irrigation Notes + Requirements:

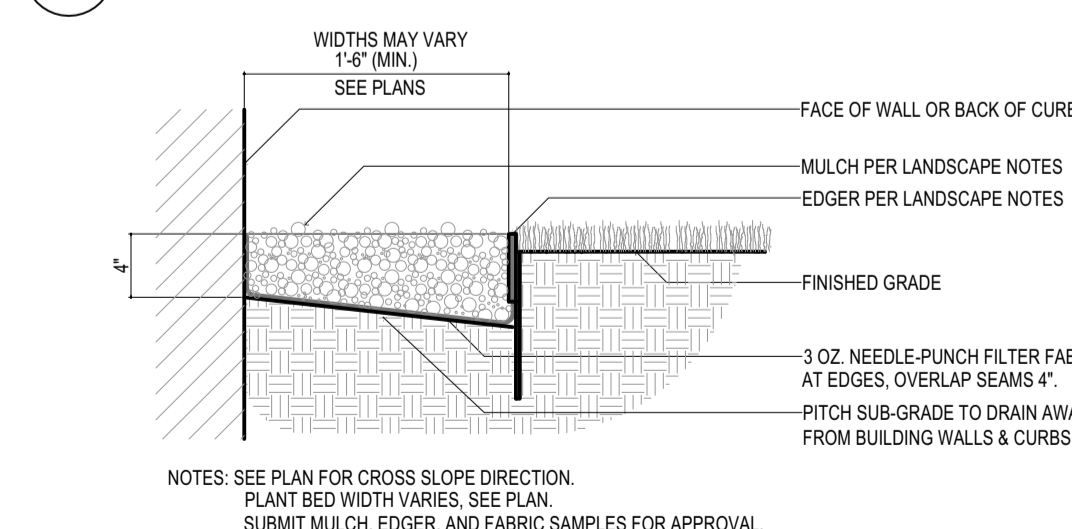
- LAYOUT WORK AS ACCURATELY AS POSSIBLE TO THE CONTRACTOR PROVIDED AND OWNER-APPROVED IRRIGATION LAYOUT PLANS. THE CONTRACTOR MAY MAKE MINOR ADJUSTMENTS TO THE LOCATION AND SPACING AS NECESSARY TO ACCOMMODATE ACTUAL CONDITIONS. HEAD LOCATIONS SHALL BE FLAGGED AND REVIEWED BY THE OWNER'S REP. PRIOR TO INSTALLATION.
- COORDINATE SLEEVING AND IRRIGATION PIPE / HEAD / INTERNAL PLUMBING INSTALLATION WITH THE WORK OF OTHERS.
- ALL MATERIALS SHALL BE INSTALLED AS DETAILED ON DRAWINGS. (HOWEVER, IF THE CONTRACT DRAWINGS AND/OR SPECIFICATIONS DO NOT THOROUGHLY DESCRIBE THE METHOD OR TECHNIQUES TO BE USED, THE CONTRACTOR SHALL FOLLOW THE INSTALLATION METHODS ISSUED BY THE MANUFACTURER. ALL SUCH LITERATURE MUST BE SUBMITTED 2 WEEKS PRIOR TO INSTALLATION FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT.)
- CHECK AND VERIFY ALL EXISTING AND PROPOSED SITE CONDITIONS, UTILITIES AND SERVICES PRIOR TO TRENCHING.
- LATERAL PIPING TO BE A MINIMUM OF 12 INCHES DEEP AND MAINLINES A MINIMUM OF 18 INCHES DEEP.
- ALL MAIN LINE PIPING AND LATERAL PIPE OF 1-1/2" AND LARGER SHALL BE PVC (SDR 26 / CLASS 160). ALL OTHER LATERAL PIPE OF 1-1/4" AND SMALLER MAY BE POLYETHYLENE, UNLESS OTHERWISE NOTED ON THE PLANS. BUILDING CONNECTIONS ARE TO BE COPPER. TRACER WIRE IS REQUIRED ON ALL MAIN AND LATERAL LINES. SLEEVE LOCATIONS ARE TO BE MARKED ON THE SIDEWALK OR CURB, SO THEY CAN BE FOUND AFTER FINE GRADING.
- ALL TEES AND ELBOWS ON MAIN LINES SHALL BE PVC (160 PSI).
- IRRIGATION EQUIPMENT SHALL HUNTER, RAINBIRD, OR TORO BRAND HEADS, VALVES, AND ROTORS. MATCH EXISTING EQUIPMENT BRAND ON-PROPERTY.
- ADJUST HEADS FOR GRADE, AS NECESSARY, AFTER TURF GRASS HAS BEEN ESTABLISHED AND ALL SETTLEMENT AT HEADS HAS OCCURRED.
- SUBMIT IRRIGATION PRODUCT DATA TO OWNER FOR REVIEW AND APPROVAL.
- USE TEFLON TAPE ON ALL THREADED JOINTS.
- CONDUCT PERFORMANCE TEST IN THE PRESENCE OF OWNER AND ARCHITECT FOLLOWING COMPLETION OF SYSTEM INSTALLATION.
- CONDUCT AND DEMONSTRATE WINTERIZATION AND SPRING START-UP PROCESS TO OWNER IN THE FALL OF COMPLETION.
- IRRIGATION LINE LOCATIONS SUBJECT TO CHANGE IN THE FIELD, AS CONTRACTOR DEEMS NECESSARY.
- OVER-SPRAY OF THE IRRIGATION SYSTEM ON TO ADJACENT WALKS AND ASPHALT PAVING IS NOT ACCEPTABLE. DO NOT INSTALL ANY IRRIGATION EQUIPMENT OUTSIDE OF THIS PROPERTY LIMITS, UNLESS APPROVED BY THE CITY.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING A COMPLETE IRRIGATION LAYOUT PLAN SET AND SUBMITTING TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF FIELD INSTALLATION.
- SUBMIT LAYOUT PLAN AND PRODUCT DATA TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- IRRIGATION BID SHALL INCLUDE (1) FALL SHUT-DOWN AND (1) SPRING START-UP.
- PROVIDE THE OWNER WITH AN AS-BUILT PLAN, INCLUDING THE EXISTING SYSTEM AS WELL AS NEWLY INSTALLED MATERIALS.
- IRRIGATION CONTRACTOR TO VERIFY WATER PRESSURE FOLLOWING CONSTRUCTION OF THE BUILDING UTILITIES. ADJUSTMENT OF PIPE AND VALVE SIZES MAY BE REQUIRED, BASED ON ACTUAL GPM AND PSI AVAILABLE.
- PROVIDE A PRINTED 8.5X11 MAP OF ALL ZONES AFTER NEW CONTROLLER IS WIRED AND TESTED.
- IRRIGATION MECHANICALS TO INCLUDE BOILER DRAIN BEFORE BACKFLOW DEVICE FOR WINTERIZATION.
- IRRIGATION DESIGN TO INCLUDE A QUICK-COUPLE VALVE ON THE MAIN BEFORE THE FIRST VALVE FOR WINTERIZATION.
- IRRIGATION IS NOW ALLOWED IN THE BIOFILTRATION BASIN.
- ENSURE THE IRRIGATION SYSTEM INCLUDES A WIRED RAIN SENSOR, PER STATE PLUMBING CODE.
- OBTAIN A PERMIT AS REQUIRED BY THE CITY FOR THE IRRIGATION SYSTEM. INCLUDE COST OF PERMIT IN BID.
- INCLUDE A SEPARATE WATER METER FOR IRRIGATION USE FROM THE CITY. INCLUDE COST IN BID.



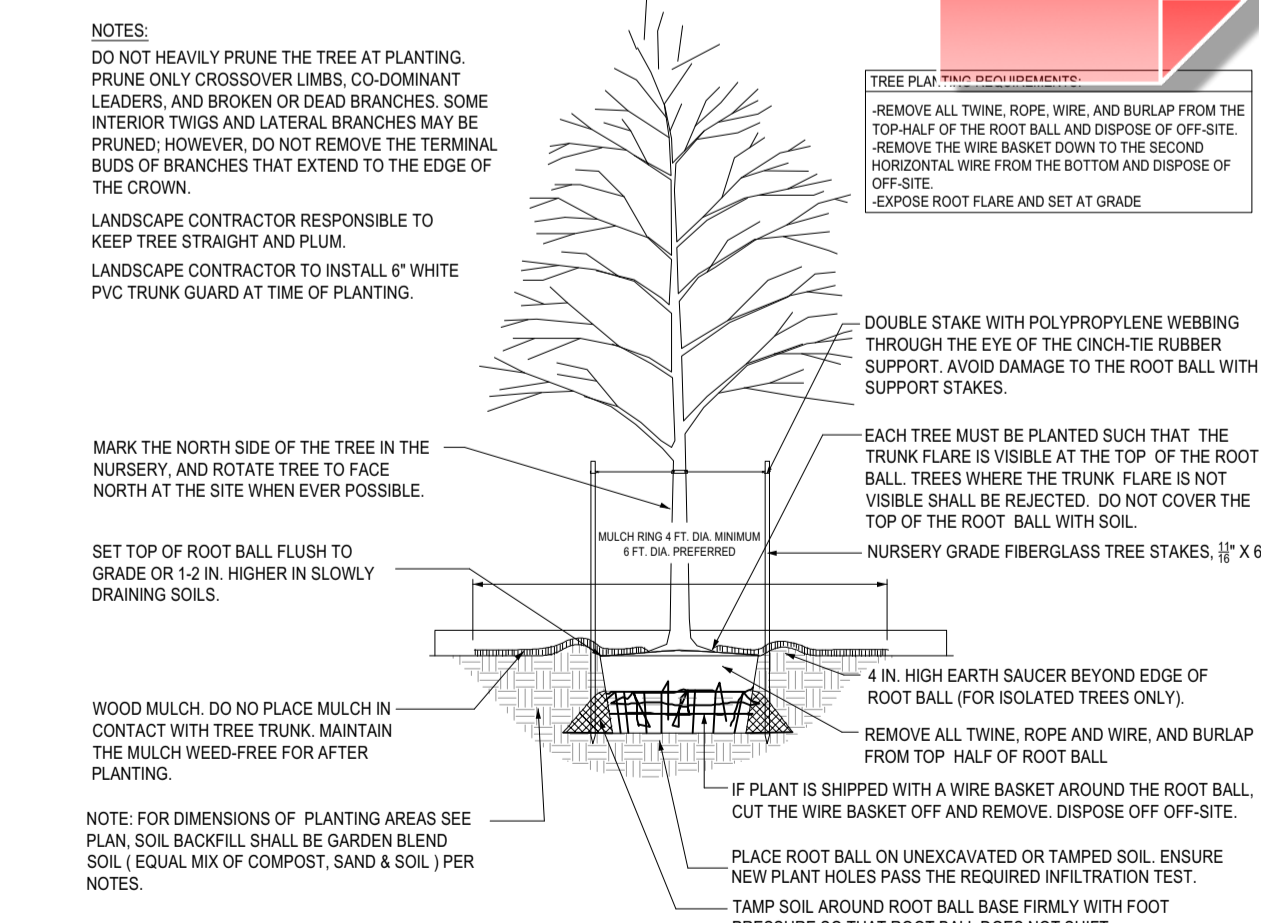
1 TYPICAL SHRUB PLANTING - SECTION
L1.2 NOT TO SCALE



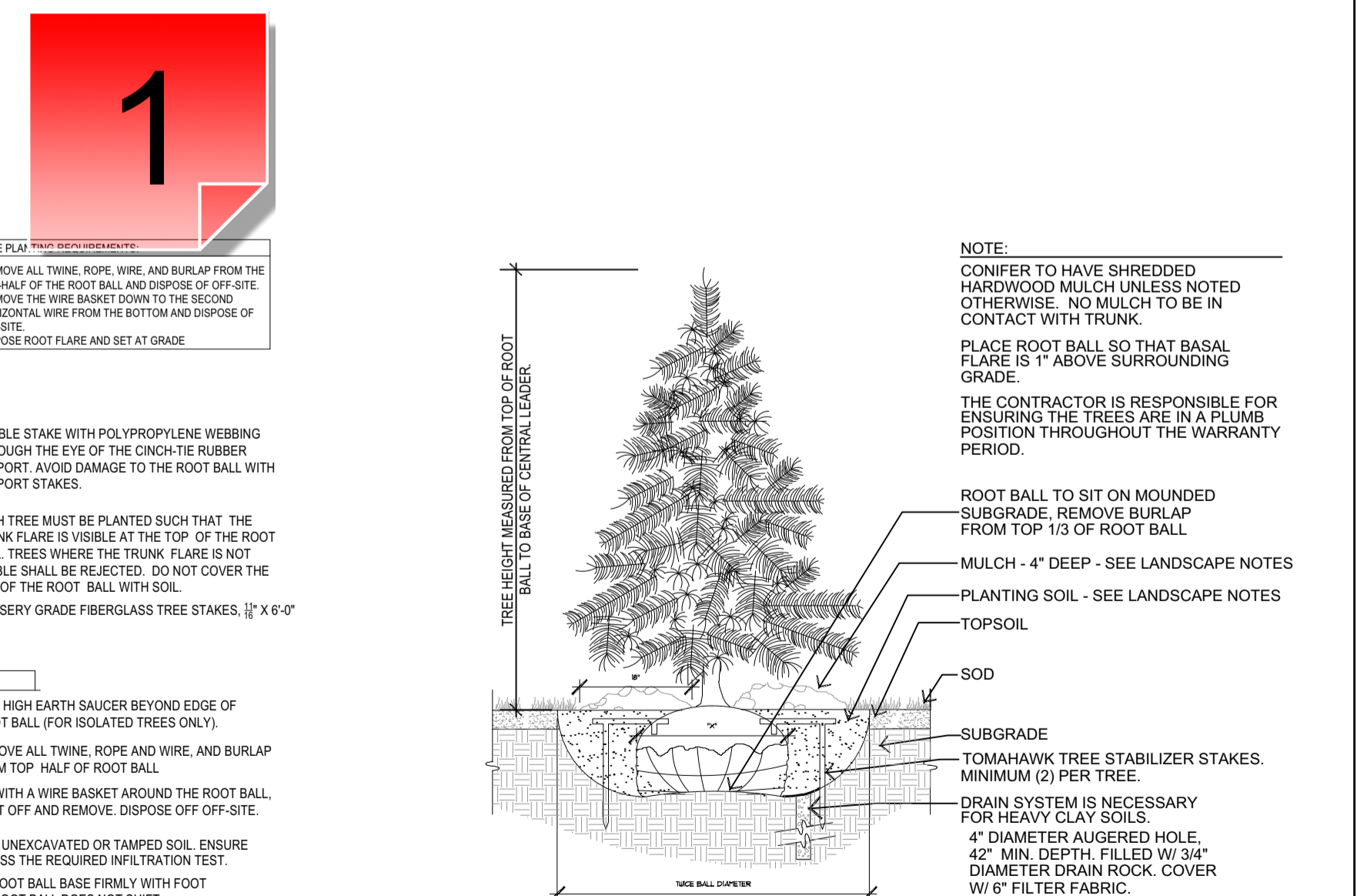
2 CITY TOPSOIL REQUIREMENTS (ERO-6)
L1.2 NOT TO SCALE



3 TYPICAL MULCH AND EDGER DETAIL
L1.2 NOT TO SCALE



4 DECIDUOUS TREE PLANTING - SECTION
L1.2 NOT TO SCALE



5 CONIFEROUS TREE PLANTING - SECTION
L1.2 NOT TO SCALE

CALYX DESIGN GROUP
Landscape Architecture & Planning

475 CLEVELAND AVE. N, SUITE 101A, ST PAUL, MN 55104
PHONE: 651.788.9018
www.calyxdesigngroup.com

PRELIMINARY

ISSUE DATE: 06/14/2024	HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.	REVISIONS
DRAWN BY: HL		06/14/2024 Initial City Submittal
CHECKED BY: BH		07/08/2024 City Re-submittal
DATE: xx/xx/xxxx	LIC. NO.: 48084	

DEMARC
LAND SURVEYING & ENGINEERING
7601 73RD AVENUE N, BROOKLYN PARK, MN 55428
PHONE: 763.560.3093 FAX: 763.560.3522
www.DemarcInc.com

AMERCO REAL ESTATE CO.
5555 KIETZKE LANE, SUITE 100
RENO, NEVADA 89511
602.263.6601

U-HAUL OF RAMSEY
RIVERSTONE DRIVE
RAMSEY, MINNESOTA

LANDSCAPE DETAILS,
NOTES, & SCHEDULES

PROJECT: 24131

SHEET NO.

L1.2

1 - Water Efficient Technology

Created by: Chris Anderson
On: 07/09/2024 03:56 PM


Please add a note under Irrigation Notes specifying that in addition to the required rain sensor, some form of water efficient technology, such as a smart controller, shall be installed as part of the irrigation system.

----- 0 Replies -----

STORM BASIN - SEED MIX REQUIREMENTS & MAINTENANCE:

Common Name	Scientific Name	Rate (lb/ac)	% of Mix (by weight)	% by Seed	Seeds/ sq ft
Big Bluestem	<i>Andropogon gerardii</i>	1.00	5.00%	1.10%	3.67
Fringed Brome	<i>Bromus ciliatus</i>	1.50	7.50%	1.81%	6.06
Bluejoint	<i>Calamagrostis canadensis</i>	0.05	0.25%	1.54%	5.14
Nodding Wild Rye	<i>Elymus canadensis</i>	2.00	10.00%	1.14%	3.82
Virginia Wild Rye	<i>Elymus virginicus</i>	4.00	20.00%	1.85%	6.17
Tall Fescue	<i>Lycium grandis</i>	0.15	0.75%	1.15%	3.86
Rice Cut Grass	<i>Lernaea oryzoides</i>	0.30	1.50%	1.12%	3.75
Perennial Ryegrass	<i>Lolium perenne</i>	6.00	30.00%	8.94%	29.89
Switchgrass	<i>Panicum virgatum</i>	0.50	2.50%	0.77%	2.57
Fowl Bluegrass	<i>Poa palustris</i>	1.00	5.00%	1.10%	3.67
Grasses Subtotal		16.50	82.50%	33.70%	112.68
Porcupine Sedge	<i>Carex hystericina</i>	0.10	0.50%	0.33%	1.10
Awl-fruited Sedge	<i>Carex stipitata</i>	0.05	0.25%	0.19%	0.62
Fox Sedge	<i>Carex vulpinoidea</i>	0.10	0.50%	1.10%	3.67
Dudley's Rush	<i>Juncus dudleyi</i>	0.05	0.25%	17.58%	58.77
Dark Green Bulrush	<i>Scirpus atrovirens</i>	0.10	0.50%	5.05%	16.90
Woolgrass	<i>Scirpus cyperinus</i>	0.10	0.50%	18.68%	62.44
Sedges & Rushes Subtotal		0.50	2.50%	42.92%	143.51
Canada Anemone	<i>Anemone canadensis</i>	0.05	0.25%	0.04%	0.15
Marsh Milkweed	<i>Asclepias incarnata</i>	0.25	1.25%	0.13%	0.44
Common Milkweed	<i>Asclepias syriaca</i>	0.20	1.00%	0.09%	0.29
Canada Milkweeth	<i>Astragalus canadensis</i>	0.50	2.50%	0.93%	3.12
Nodding Bur Marigold	<i>Bidens cernua</i>	0.10	0.50%	0.23%	0.77
Canada Tick Trefoil	<i>Desmodium canadense</i>	0.50	2.50%	0.30%	1.01
Flat-topped Aster	<i>Ossifragaria umbellata</i>	0.05	0.25%	0.37%	1.23
Common Boneset	<i>Eupatorium perfoliatum</i>	0.05	0.25%	0.88%	2.94
Grass-leaved Goldenrod	<i>Euthamia graminifolia</i>	0.03	0.15%	1.15%	3.86
Spotted Joe Pye Weed	<i>Eutrochium maculatum</i>	0.06	0.30%	0.63%	2.09
Autumn Sneezeweed	<i>Helenium autumnale</i>	0.10	0.50%	1.43%	4.78
Sawtooth Sunflower	<i>Helianthus grosseserratus</i>	0.06	0.30%	0.10%	0.33
Prairie Blazing Star	<i>Liatris pycnostachya</i>	0.17	0.85%	0.21%	0.69
Great Lobelia	<i>Lobelia siphilitica</i>	0.05	0.25%	2.75%	9.18
Blue Monkey Flower	<i>Mimulus ringens</i>	0.03	0.15%	7.58%	25.34
Obedient Plant	<i>Physostegia virginiana</i>	0.06	0.30%	0.07%	0.24
Cut-leaf Coneflower	<i>Rudbeckia laciniata</i>	0.10	0.50%	0.15%	0.51
Stiff Goldenrod	<i>Solidago rigida</i>	0.10	0.50%	0.45%	1.51
Eastern Panicled Aster	<i>Symphoricarpos lanceolatum</i>	0.05	0.25%	0.86%	2.87
Red-stemmed Aster	<i>Symphoricarpos punctatum</i>	0.05	0.25%	0.44%	1.47
Tall Meadow Rue	<i>Thalictrum dasycarpum</i>	0.10	0.50%	0.22%	0.73
Blue Vervain	<i>Verbena hastata</i>	0.15	0.75%	1.53%	5.12
Culver's Root	<i>Veronicastrum virginicum</i>	0.03	0.15%	2.64%	8.82
Golden Alexanders	<i>Zizia aurea</i>	0.16	0.80%	0.19%	0.65
Forbs Subtotal		3.00	15.00%	23.37%	78.14
Total		20.00	100%	100%	334.33

NATIVE SEED MIX:

 Native Seed Areas noted per plan: (unless otherwise noted on civil plans), shall be: MnDOT 'Wet Ditch' native seed mixture for Stormwater Treatment Basin South & West, drilled into the topsoil layer at 20.0 lbs per acre. Submit seed mix for approval. Grading and Erosion Control per Civil Plans and Specifications.

Add 20lbs per acre of MnDOT 21-111 Oats Cover Crop.

STORM BASIN - ADDITIONAL NOTES:

- Contractor to furnish and install MnDOT Seed Mix 'Wet Ditch (WD)' at the specified rate of 20 lbs/acre.
- Add additional oats at time of installation to improve site appearance.
- Certified Prairie Installer to be used for the implementation and 3 year maintenance of the MnDOT seed mix on site.
- DSV Northstar Seed Ltd. can be used for substitution or source of native seed mixes that meet MnDOT standards.


METHOD OF INSTALLING:

Drop Seeding
This is the "standard" method for seeding on prepared sites such as those on construction projects where there is suitable access for standard drop seeding equipment.
A) Seed Installation - Seed should be installed with a drop seeder that will accurately meter the types of seed to be planted, keep all seeds uniformly mixed during the seeding and contain drop seed tubes for seed placement (Brillion-type). The drop seeder should be equipped with a culti-packer assembly to ensure good seed-to-soil contact. For Roadside and Wet Ditch seed mixes, the seeder should contain a minimum of three

NATIVE SEED - SEED MIX REQUIREMENTS & MAINTENANCE:

Common Name	Scientific Name	Rate (lb/ac)	% of Mix (by weight)	% by Seed	Seeds/ sq ft
Side-oats Grama	<i>Bouteloua curtipendula</i>	3.50	13.46%	5.16%	7.71
Blue Grama	<i>Bouteloua gracilis</i>	0.90	3.46%	8.84%	13.22
Kalm's Brome	<i>Bromus kalmii</i>	0.90	3.46%	1.77%	2.64
Short Sedge	<i>Carex brevior</i>	0.10	0.38%	0.71%	1.07
Nodding Wild Rye	<i>Elymus canadensis</i>	2.50	9.62%	3.19%	4.78
Slender Wheatgrass	<i>Elymus trachycalyx</i>	6.00	23.08%	10.16%	15.21
Junegrass	<i>Koeleria macrantha</i>	0.10	0.38%	4.91%	7.36
Perennial Ryegrass	<i>Lolium perenne</i>	6.00	23.08%	19.98%	29.89
Little Bluestem	<i>Schizachyrium scoparium</i>	3.00	11.54%	11.05%	16.53
Grasses Subtotal		23.00	88.46%	65.76%	98.39
Leadplant	<i>Amorpha canescens</i>	0.15	0.58%	0.45%	0.67
Long-headed Thimbleweed	<i>Anemone cylindrica</i>	0.04	0.00%	0.26%	0.38
Prairie Sage	<i>Artemisia ludoviciana</i>	0.05	0.19%	3.07%	4.59
Butterfly Milkweed	<i>Asclepias tuberosa</i>	0.10	0.38%	0.11%	0.16
Whorled Milkweed	<i>Asclepias verticillata</i>	0.05	0.19%	0.14%	0.20
Partridge Pea	<i>Chamaecrista fasciculata</i>	0.60	2.31%	0.40%	0.60
Purple Prairie Clover	<i>Dalea purpurea</i>	0.60	2.31%	1.84%	2.75
Tall Cinerifol	<i>Dymecalis arguta</i>	0.06	0.00%	3.39%	5.07
Narrow-leaved Purple Coneflower	<i>Echinacea angustifolia</i>	0.06	0.23%	0.10%	0.15
Stiff Sunflower	<i>Helianthus pauciflorus</i>	0.06	0.23%	0.06%	0.09
Alumroot	<i>Heuchera richardsonii</i>	0.04	0.15%	6.87%	10.28
Round-headed Bush Clover	<i>Lespedeza capitata</i>	0.20	0.77%	0.39%	0.59
Rough Blazing Star	<i>Liatris aspera</i>	0.05	0.19%	0.20%	0.29
Wild Bergamot	<i>Monarda fistulosa</i>	0.05	0.19%	0.86%	1.29
Prairie Coneflower	<i>Ratibida columnifera</i>	0.15	0.58%	1.55%	2.31
Black-eyed Susan	<i>Rudbeckia hirta</i>	0.25	0.96%	5.65%	8.45
Gray Goldenrod	<i>Solidago nemoralis</i>	0.05	0.19%	3.68%	5.51
Stiff Goldenrod	<i>Solidago rigida</i>	0.06	0.23%	0.60%	0.90
Heath Aster	<i>Symphoricarpos ericoides</i>	0.05	0.19%	2.45%	3.67
Sky-blue Aster	<i>Symphoricarpos cullenianus</i>	0.05	0.19%	0.98%	1.47
Prairie Rose	<i>Rosa arkansana</i>	0.10	0.38%	0.02%	0.03
Bracted Goldenrod	<i>Tradescantia bracteata</i>	0.08	0.31%	0.20%	0.29
Hoary Vervain	<i>Verbena stricta</i>	0.10	0.38%	0.69%	1.03
Heart-leaved Alexanders	<i>Zizia aurea</i>	0.10	0.38%	0.29%	0.44
Forbs Subtotal		3.00	11.12%	34.24%	51.23
Total		26.00	100%	100%	149.63

NATIVE SEED MIX:

 Native Seed Areas noted per plan: (unless otherwise noted on civil plans), shall be: MnDOT 'Southern Shortgrass Roadside' native seed mixture for areas adjacent to on-site parking, referenced on Landscape Sheet L1.1. Submit seed mix for approval. Grading and Erosion Control per Civil Plans and Specifications.

Add 20lbs per acre of MnDOT 21-111 Oats Cover Crop.

NATIVE SEED AREA - ADDITIONAL NOTES:

- Contractor to furnish and install MnDOT Seed Mix 'Southern Shortgrass Roadside (SSR)' at the specified rate of 26 lbs/acre.
- Add additional oats at time of installation to improve site appearance.
- Certified Prairie Installer to be used for the implementation and 3 year maintenance of the MnDOT seed mix on site.
- DSV Northstar Seed Ltd. can be used for substitution or source of native seed mixes that meet MnDOT standards.

METHOD OF INSTALLING:

Drop Seeding
This is the "standard" method for seeding on prepared sites such as those on construction projects where there is suitable access for standard drop seeding equipment.
A) Seed Installation - Seed should be installed with a drop seeder that will accurately meter the types of seed to be planted, keep all seeds uniformly mixed during the seeding and contain drop seed tubes for seed placement (Brillion-type). The drop seeder should be equipped with a culti-packer assembly to ensure good seed-to-soil contact. For Roadside and Wet Ditch seed mixes, the seeder should contain a minimum of three

NATIVE SEED REQUIRED MAINTENANCE - 3 YRS:

Native Grass and Forb Mixtures (mixtures beginning with the number 3)

Year 1

- Establishment (spring seeding):**
- Prepare site - Late April - May
 - Seed - May 1 - June 1

Maintenance:

- Mow (6-8 inches) - every 30 days after planting until September 30.
- Weed Control - mowing should help control annual weeds. Spot spray thistles, etc.

Establishment (fall seeding):

- Prepare site - Late August - early September
- Seed - late September to freeze-up

Maintenance (following season):

- Mow (6-8 inches) - once in May, June, and July
- Weed Control - mowing should keep annual weeds down. Spot spray thistles, etc.

Evaluation:

- Cover crop growing within 2 weeks of planting (except dormant plantings).
- Seedlings spaced 1-6 inches apart in drill rows.
- Native grass seedlings may only be 4-6 inches tall.
- If there is a flush of growth from foxtail etc., mow as necessary.

Year 2

Maintenance:

- Mow (6-8 inches) one time between June 1 - August 15 before weeds set seed.
- Weed Control - mowing should keep annual weeds down. Spot spray thistles, etc.
- Some sites may not require much maintenance the second year.

Evaluation:

- Cover crop will be gone unless winter wheat was used in a fall planting.
- Grasses forming clumps 1-6 inches apart in drill rows, but still short.
- Some flowers should be blooming (black-eyed Susans, bergamot, etc.).
- If there is a flush of growth from foxtail etc., mow site.

Year 3

Maintenance:

- Mow only if necessary.
- Weed Control - Spot spray thistles, etc.
- Sites usually do not require much maintenance the third year.

Evaluation:

- Planting should begin looking like a prairie - tall grasses, flowers, etc.

Long-term

Maintenance:

- Weed Control - Spot spray thistles, etc.
- Burning (3-5 year rotation) alternate spring and fall if possible.
- Haying (3-5 year rotation) late summer or early fall. Alternate with burning (may substitute for burning).
- Burning two years in a row will really "clean up" rough-looking sites.

NATIVE SEEDING INSTALLATION METHOD:

Drop Seeding Onto Tilled Sites

This is the "standard" method for seeding on prepared sites such as those on construction projects.

- Site Preparation:** The site should be prepared by loosening topsoil to a minimum depth of 3 inches.
- Fertilizer:** Use a fertilizer analysis based on a soil test or a general recommendation is a 10-10-10 (NPK) commercial grade analysis at 200 lbs/acre.
- Seed Installation:** Seed should be installed with a drop seeder that will accurately meter the types of seed to be planted, keep all seeds uniformly mixed during the seeding and contain drop seed tubes for seed placement (Brillion-type). The drop seeder should be equipped with a cultipacker assembly to ensure seed-to-soil contact.
- Seeding Rates:** Rates are specified in the mixture tabulation for the specified mix.
- Packing:** If the drop seeder is not equipped with a cultipacker, the site should be cultipacked following the seeding to ensure seed-to-soil contact.
- Mulch:** Cover soil with a hydromulch consisting of natural wood fiber or paper fiber, water, and M-Binder at 100 lbs per acre.

Note: Heavy equipment is not allowed in the infiltration basins to keep soils from getting compacted. If any compaction occurs due to seeding operations, the soils must be uncompacted.

CALYX DESIGN GROUP
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PHONE: 651.788.9018
www.calyxdesigngroup.com

ISSUE DATE: 06/14/2024	HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.	REVISIONS
DRAWN BY: HL		06/14/2024 Initial City Submittal
CHECKED BY: BH		07/08/2024 City Re-submittal
DATE: xx/xx/xxxx	LIC. NO.: 48084	

PRELIMINARY

DEMARC
LAND SURVEYING & ENGINEERING
7601 73RD AVENUE N, BROOKLYN PARK, MN 55428
PHONE: 763.560.3093 FAX: 763.560.3522
www.DemarcInc.com

AMERCO REAL ESTATE CO.
5555 KIETZKE LANE, SUITE 100
RENO, NEVADA 89511
602.263.6601

U-HAUL OF RAMSEY
RIVERSTONE DRIVE
RAMSEY, MINNESOTA

LANDSCAPE DETAILS,
NOTES, & SCHEDULES

PROJECT: 24131
SHEET NO.
L1.3

Environmental Policy Board (EPB)**Meeting Date:** 07/15/2024**Primary Strategic Plan Initiative:** Promote economic growth and development.**Information****Title:**

Consider Natural Resources Aspects of Site Plan for Voice of Hope Church (Project No. 24-114); Case of Voice of Hope Church

Purpose/Background:

The City has received a Land Use Application from Voice of Hope Church (the "Applicant") for review of a proposed Site Plan and Final Plat regarding the property located at 15620 Armstrong Boulevard NW (the "Subject Property").

Time Frame/Observations/Alternatives:**Project Overview**

The proposed site plan includes an 18,547 SF institutional building designed with a 500-seat capacity for Voice of Hope Church's operations. The site plan also includes 261 parking stalls, which greatly exceeds the minimum requirements for assembly uses (one space for each three seats, equating to 167 minimum parking stalls for a 500-seat building). However, the Applicant explained that the parking lot is designed to meet the needs of the congregation, which typically includes members driving separately. Access to the site will come from a new approach onto Armstrong Boulevard at the southeast corner of the site, roughly equidistant between 156th and 157th Avenues on the east side of Armstrong Boulevard. The site will be connected to municipal water and have its own septic system, since municipal sewer is unavailable at this site. A sidewalk will provide pedestrian access between the church's front door and the trail along Armstrong Boulevard.

Natural Resources Inventory and Minnesota Land Cover Classification System

A portion of the Subject Property, along the northern boundary, is identified as an Altered/Non-Native Plant Community in the City's Natural Resources Inventory (NRI). This designation represents only a semi-natural plant community and does not qualify for a quality ranking. The Minnesota Land Cover Classification System (MLCCS) identifies the majority of the Subject Property as 'Urban with Vegetative Cover'. However, the area identified as an Altered/Non-Native Plant Community in the NRI is designated as 'Dry Grassland' by the MLCCS. There is a small wetland in the southwest corner of the Subject Property that appears to be outside the limits of construction and therefore, should not be impacted by this project. There are no floodplains on the Subject Property.

Tree Inventory and Preservation Plan

The submittal did include a Tree Inventory and Preservation Plan. After factoring out the Diameter at Breast Height (DBH) inches that are exempt from the removal calculation (for example, removals due to stormwater ponding and invasive species), the project will result in the removal of approximately twenty-eight percent (28%) of DBH inches of significant trees. Significant tree cover will remain along the southern and western property boundaries, with lighter tree cover remaining along the northern and eastern boundaries. The Tree Inventory and Preservation Plan complies with the requirements of City Code.

Landscape Plan

The Landscape Plan is generally acceptable. However, Staff did note various minor corrections that are needed (see attached Landscape Plan). Staff has suggested adding some taller growing evergreen shrubs in between the deciduous trees along the north side of the parking lot. These additional plantings will aid with shielding headlight glare into the abutting residential property. Staff has also requested a 3-5 year maintenance plan for the

area proposed to be established with a native seed mix. Having a maintenance plan will be beneficial for the property owner in ensuring that the seed mix not only gets established but in preventing unwanted vegetation (weeds) from taking over the area.

Irrigation is not proposed (nor is it required). However, turf establishment is proposed to be accomplished through seeding. Staff has requested more information on how the areas seeded will be watered to ensure germination and establishment of turf.

Funding Source:

All costs associated with this request are the Applicant's responsibility.

Recommendation:

Staff recommends approval of the Tree Inventory and Preservation Plan, as well as the Landscape Plan, contingent upon compliance with Staff's review comments.

Outcome/Action:

Motion to recommend approval of the Tree Inventory and Preservation Plan and the Landscape Plan, contingent upon compliance with Staff's review comments.

Attachments

- Site Location Map
- Site Plan
- Tree Inventory and Preservation Plan
- Landscape Plan with Comments

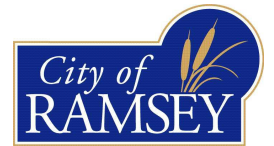
Form Review

Inbox	Reviewed By	Date
Brian Hagen	Brian Hagen	07/11/2024 11:43 AM
Form Started By: Chris Anderson		Started On: 06/26/2024 08:28 AM
Final Approval Date: 07/11/2024		

15620 Armstrong Blvd NW
20-32-25-11-0003

VOICE OF HOPE

Site Plan/Plat



Print Date: June 24, 2024

0.00 0.01 0.03 0.04 0.06
mi

SURVEY DATA

SURVEY INFORMATION PROVIDED BY:
NORTHWESTERN SURVEYING & ENGINEERING, INC.
P.O. BOX 3067
BEMIDJI, MN 56601

DATED: OCT. 02, 2023

SITE BENCHMARK:
NE COR. SEC. 20
ELEV.=898.83

EXISTING LEGAL DESCRIPTION

The North 627.94 feet of the East 727.00 feet, as measured along the East and North lines respectively, thereof, of Section 20, Township 32, Range 25, Anoka County, Minnesota.

PARKING DATA:

REQUIRED PARKING PER CITY CODE:
ONE SPACE FOR EACH THREE SEATS OF DESIGN CAPACITY
DESIGN CAPACITY 500 SEATS / 3 = 167 STALLS

PROPOSED PARKING:
9'x20' STALLS = 109 INCLUDES 8 HANDICAP STALLS
9'x18' STALLS = 152
267 TOTAL

SITE DATA:

EXISTING ZONING: P1, PUBLIC/INSTITUTIONAL
TOTAL AREA: 456,508 SF = 10.48 ACRES
LOT 1, BLK 1 AREA: 388,991 SF = 8.93 ACRES
EXISTING IMPERVIOUS AREA: 941 SF
PROPOSED BUILDING AREA: 18,547 SF
PERCENT BUILDING FOOTPRINT COVERAGE: 4.77%
(18,547 / 388,991)
FLOOR AREA RATIO (ALL FLOORS): 0.0477
(18,547 / 388,991)

PROPOSED IMPERVIOUS AREA: 112,891 SF
(includes, proposed building & pavement areas)
PERCENT PROPOSED IMPERVIOUS AREA: 29.02%
(% of lot area; 112,891/388,991)
TOTAL PERVIOUS AREA: 276,100 SF
(landscape, turf areas)
PERCENT PERVIOUS AREA: 71.02%
(% of lot area; 276,100/388,991)
DISTURBANCE AREA: 220,219 SF
5.05 AC

REFERENCE LOT REQUIREMENTS

ZONING: B1, B2, & B3
LOT DEPTH 150 FT
LOT WIDTH 100 FT
LOT AREA 0.50 AC. & B3=0.75 AC
SETBACKS: B1, B2, & B3
FRONT SETBACK 20 FT
SIDE SETBACK (INTERIOR) 10 FT
SIDE SETBACK (TO ROW) 20 FT
REAR SETBACK (INTERIOR) 35 FT
REAR SETBACK (TO ROW) 20 FT
SETBACK TO RESIDENTIAL DISTRICT 60 FT
SETBACK TO WETLANDS 16.5 FT

ZONING: RR
LOT DEPTH 200 FT
LOT WIDTH 200 FT
LOT AREA 2.50 AC
MIN. LOT FRONTAGE ON A PUBLIC STREET 60 FT

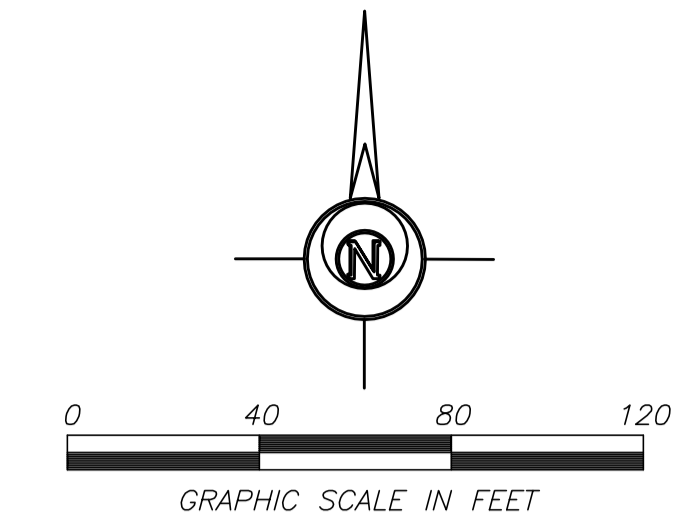
SETBACKS: RR
FRONT SETBACK 40 FT
SETBACK FROM ARTERIAL ROADWAYS 60 FT
SIDE SETBACK (INTERIOR) 40 FT
SIDE SETBACK (TO ROW) 40 FT
REAR SETBACK 40 FT
SETBACK TO WETLANDS 16.5 FT

KEY NOTES:

- 1 BITUMINOUS PAVEMENT; SEE SECTION ON DETAIL SHEET
- 2 3" VALLEY GUTTER (SEE DETAIL)
- 3 CONCRETE PAVEMENT HEAVY DUTY; 4,500 PSI MIX; SEE SECTION ON DETAIL SHEET
- 4 CONCRETE PAVEMENT LIGHT DUTY; 4,500 PSI MIX; SEE SECTION ON DETAIL SHEET
- 5 PAINT 4" SOLID STRIPE - WHITE LATEX PAINT
- 6 SAWCUT AND REMOVE EXISTING PAVEMENT SURFACE FOR CLEAN EDGE (REPLACE PAVEMENT SURFACE IN-KIND)
- 7 EXISTING PAVEMENT TO REMAIN
- 8 EXISTING UTILITIES OR SITE FEATURE TO REMAIN IN PLACE. CONTRACTOR TO PROTECT
- 9 CONTRACTOR TO COORDINATE RELOCATION OF EXISTING UTILITIES TO ACCOMMODATE CULVERT, DRIVE, AND GRADING
- 10 PERVIOUS AREA
- 11 PED RAMP TO COMPLY WITH AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS. REFERENCE MNDOT STANDARD PLAN 5-297.250 INCLUDING CONTRASTING DETECTABLE WARNING DEVICES. DEPRESS BACK OF CURB AT RAMP
- 12 CONTRACTOR TO RESTORE SIDEWALK TO MATCH EXISTING PAVEMENT SECTION.
- 13 PAINT INTERNATIONAL SYMBOL OF ACCESSIBILITY - WHITE LATEX PAINT
- 14 ACCESSIBLE PARKING SIGN (MnDOT NOS. R7-8A & R7-8B). CENTER SIGN ON PARKING STALL. LOCATION PER GENERAL CONTRACTOR. MOUNT ON STEEL CHANNEL POST. SIGN HEIGHT PER MN ADA REQUIREMENTS.
- 15 NO PARKING SIGN (MNDOT # R8-3). CENTER SIGN ON ADA ACCESS AISLE. LOCATION PER GENERAL CONTRACTOR. MOUNT ON STEEL CHANNEL POST. SIGN HEIGHT PER MN ADA REQUIREMENTS.
- 16 B612 (6") CONCRETE CURB & GUTTER MIX 3F32 FOR MACHINE PLACEMENT (MnDOT 2461) MIX 3F52 FOR MANUAL PLACEMENT (MnDOT 2461) DEPRESS BACK OF CURB AT ACCESS DRIVE
- 17 B612 (6") CONCRETE OUTFLOW CURB & GUTTER. (TIP-OUT FLOWLINE). MIX 3F32 FOR MACHINE PLACEMENT (MnDOT 2461) MIX 3F52 FOR MANUAL PLACEMENT (MnDOT 2461)
- 18 TRASH ENCLOSURE (SEE ARCHITECTURAL PLANS)
- 19 CONCRETE PAVEMENT SECTION PER STRUCTURAL DESIGN PLANS
- 20 PROPOSED WETLAND BUFFER / CONSERVATION EASEMENT SIGN
- 21 FIRE DEPARTMENT CONNECTION ON BUILDING WALL FOR FIRE SUPPRESSION SYSTEM.
- 22 LIGHT POLE. REFER TO LIGHTING AND PHOTOMETRIC PLAN FOR LOCATIONS AND SPECIFICATIONS
- 23 SEPTIC FIELD PROTECTION FENCE
- 24 ACCESS CONTROL
- 25 DIRECTIONAL TRAFFIC SIGN ON STEEL CHANNEL POST (STOP SIGN)
- 26 9 FT CURB-CUT (SEE DETAIL)

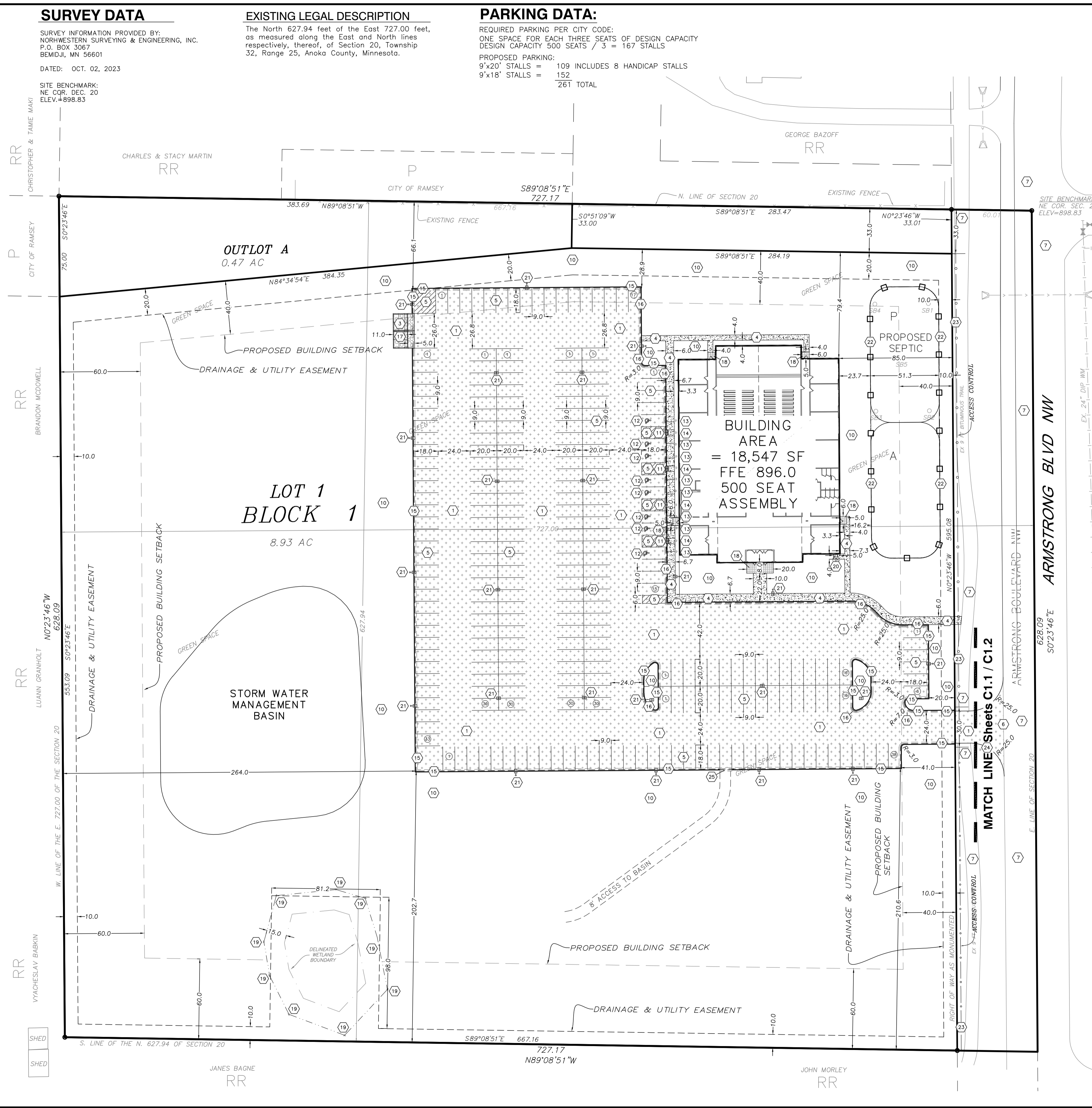
INDEX OF CIVIL SITE DRAWINGS:

C0	PROJECT LOCATION PLAN
C1.1-C1.2	PRELIMINARY PLAT & SITE DESIGN
C2	GRADING & DRAINAGE PLAN
C3	SANITARY & WATER UTILITY PLAN
C4	STORM SEWER UTILITY PLAN
C5	SWPPP
C6	EXISTING CONDITIONS & REMOVAL PLAN
C7.1-C7.3	DETAILS



LEGEND:

- 908 Existing Contours
- >> Existing Storm Sewer
- x 908.2 Existing Spot Elevation
- <<< Existing Storm Sewer
- < Existing Sanitary Sewer
- WM WM Existing Watermain Sewer
- T T Existing Underground Telephone
- E Existing Underground Electric
- Existing Tree Line
- Existing Easement Line
- Existing R/W Line
- Existing Boundary Line
- Existing Catch Basin
- Existing Manhole
- Existing Hydrant
- Existing Flared End Section
- Proposed Curb And Gutter Standard
- Proposed Curb And Gutter Tip-out
- Proposed Concrete Light Duty Sidewalk
- Propose Lot Line
- Proposed Concrete Heavy Duty
- Proposed Bituminous Pavement
- Concrete Pavement Section Per Structural Design Plans
- Septic Drainfield Protection fence
- Access Control



CLIENT:
VOICE OF HOPE CHURCH
13850 Lincoln St NE
Ham Lake, MN 55304

Roman Andrychuk
763-516-4206
roman.atozcontract@gmail.com

SITE DEVELOPMENT PROJECT

15620 Armstrong Blvd NW
Ramsey, MN 55909

PRELIMINARY PLAT OF
VOICE OF HOPE CHURCH
&
SITE DESIGN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

DATE: 06/14/24 Reg. No. 24348

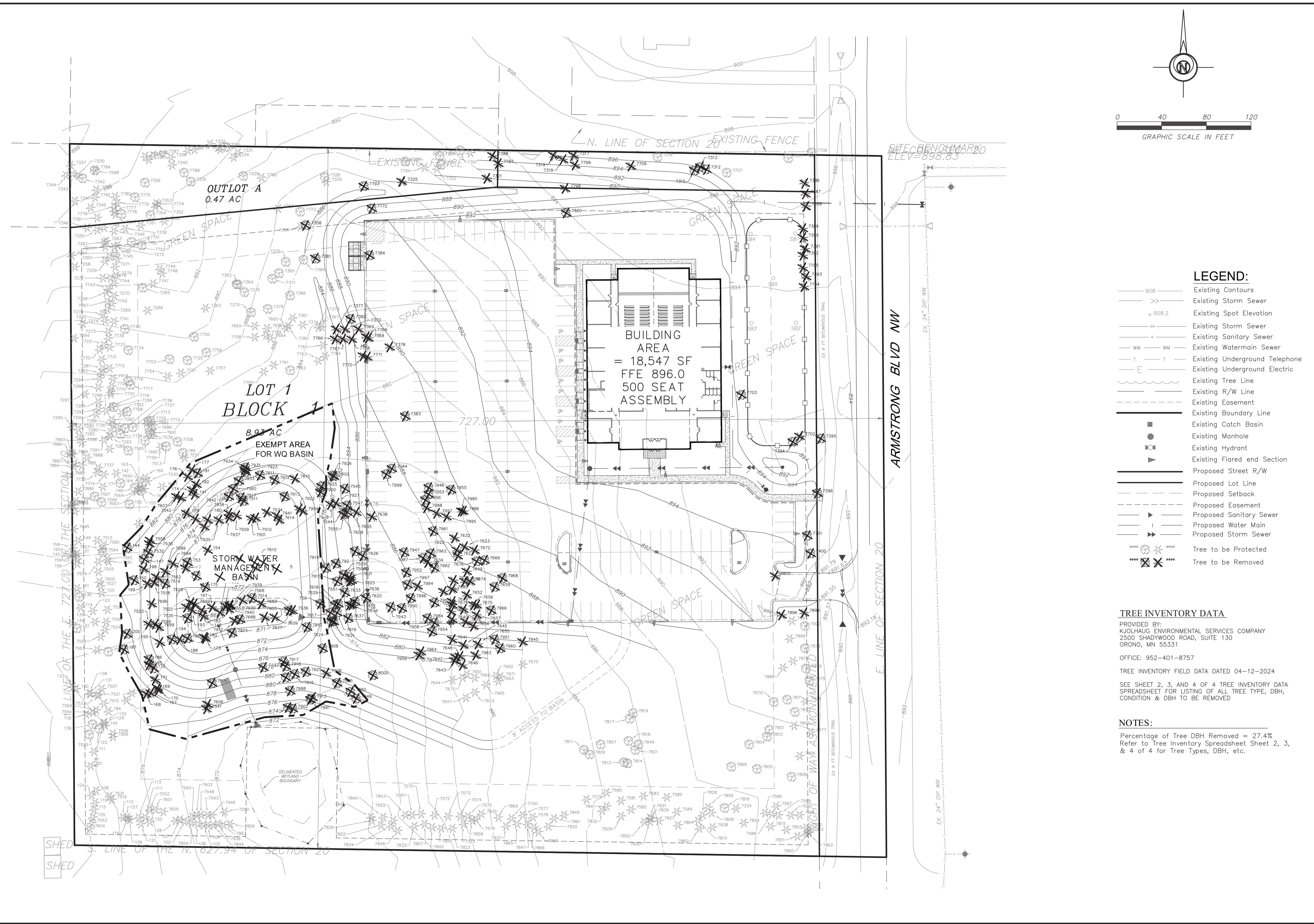
PREPARED BY: CIVIL ENGINEERING
SITE DESIGN
116 East Broadway St.
PO Box 566
Monticello, Mn 55362
Phone: 763-314-0929
www.civilesa.com

REVISIONS			
DATE	DRAWN BY	DESIGNED BY	CHECKED BY
06/14/24	SD	SD	SD
			VERTICAL SCALE 1 inch = _____ feet
			HORIZONTAL SCALE 1 inch = _____ feet (FULL SIZE SHEET 22 X 30)

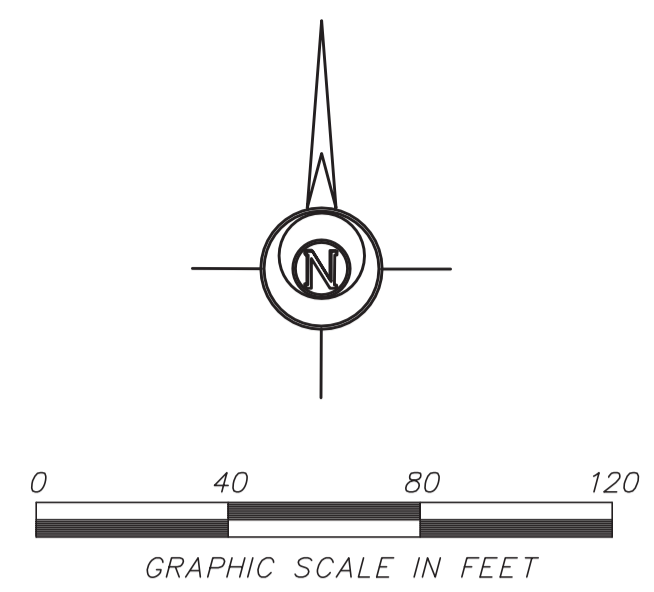
DATE	DRAWN BY	DESIGNED BY	CHECKED BY
06/14/24	SD	SD	SD

FILE NO. 00948

C1.1
Preliminary Plat &
Site Design



CLIENT:
VOICE OF HOPE CHURCH
 13850 Lincoln St NE
 Ham Lake, MN 55304
 Roman Andriychuk
 763-516-4206
 roman.atozcontract@gmail.com



SITE DEVELOPMENT PROJECT
15620 Armstrong Blvd NW Ramsey, MN 55303
TREE INVENTORY PLAN

- LEGEND:**
- 908 — Existing Contours
 - >> — Existing Storm Sewer
 - x 908.2 Existing Spot Elevation
 - < — Existing Storm Sewer
 - < — Existing Sanitary Sewer
 - WM — WM — Existing Watermain Sewer
 - T — T — Existing Underground Telephone
 - E — Existing Underground Electric
 - Existing Tree Line
 - Existing R/W Line
 - Existing Easement
 - Existing Boundary Line
 - Existing Catch Basin
 - Existing Manhole
 - Existing Hydrant
 - Existing Flared end Section
 - Proposed Street R/W
 - Proposed Lot Line
 - Proposed Setback
 - Proposed Easement
 - Proposed Sanitary Sewer
 - Proposed Water Main
 - Proposed Storm Sewer
 - *** Tree to be Protected
 - *** Tree to be Removed

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Date: _____ Reg. No. _____

PREPARED BY: **CIVIL ENGINEERING SITE DESIGN**
 118 East Broadway St.
 PO Box 566
 Monticello, Mn 55362
 Phone: 763-314-0929
 www.civiles.com

TREE INVENTORY DATA
 PROVIDED BY:
 KJOLHAUG ENVIRONMENTAL SERVICES COMPANY
 2500 SHADYWOOD ROAD, SUITE 130
 ORONO, MN 55331
 OFFICE: 952-401-8757
 TREE INVENTORY FIELD DATA DATED 04-12-2024
 SEE SHEET 2, 3, AND 4 OF 4 TREE INVENTORY DATA SPREADSHEET FOR LISTING OF ALL TREE TYPE, DBH, CONDITION & DBH TO BE REMOVED

NOTES:
 Percentage of Tree DBH Removed = 27.4%
 Refer to Tree Inventory Spreadsheet Sheet 2, 3, & 4 of 4 for Tree Types, DBH, etc.

REVISIONS	DATE	DRAWN BY	DESIGNED BY	CHECKED BY	HORIZONTAL SCALE 1 inch = 30 feet (FULL SIZE SHEET 22 x 30)	VERTICAL SCALE 1 inch = 10 feet

DATE	DRAWN BY	DESIGNED BY	CHECKED BY
06/14/24	SD	SD	SD

FILE NO. 00948

1/4
 Tree Inventory Plan

CLIENT:

VOICE OF HOPE CHURCH

13850 Lincoln St NE Ham Lake, MN 55304

Roman Andriychuk 763-516-4206 roman.atozcontract@gmail.com

Voice of Hope Church Tree Inventory 04/12/2024 by Kjolhaug Environmental Services

Table with columns: Tree Tag #, DBH (inches), Species, Condition, Stems, Notes, Significant Trees Removed (DBH), Significant Trees To Remain (DBH), Significant Trees Exempt (DBH). Rows 101-187.

Table with columns: Tree Tag #, DBH (inches), Species, Condition, Stems, Notes, Significant Trees Removed (DBH), Significant Trees To Remain (DBH), Significant Trees Exempt (DBH). Rows 188-342.

Table with columns: Tree Tag #, DBH (inches), Species, Condition, Stems, Notes, Significant Trees Removed (DBH), Significant Trees To Remain (DBH), Significant Trees Exempt (DBH). Rows 7343-7529.

SITE DEVELOPMENT PROJECT

15620 Armstrong Blvd NW Ramsey, MN 55303

TREE INVENTORY PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

CIVIL ENGINEERING SITE DESIGN 116 East Broadway St. Monticello, Mn 55362 Phone: 763-314-0929 www.civies.com

REVISIONS table with columns for revision number and description.

VERTICAL SCALE and HORIZONTAL SCALE information.

DATE 06/14/24, DRAWN BY SD, DESIGNED BY SD, CHECKED BY SD

FILE NO. 00948

CLIENT:

VOICE OF HOPE CHURCH

13850 Lincoln St NE Ham Lake, MN 55304

Roman Andriychuk 763-516-4206 roman.atozcontract@gmail.com

SITE DEVELOPMENT PROJECT

15620 Armstrong Blvd NW Ramsey, MN 55303

TREE INVENTORY PLAN

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PREPARED BY: CIVIL ENGINEERING SITE DESIGN 116 East Broadway St. Monticello, Mn 55362 Phone: 763-314-0929 www.civiles.com



REVISIONS

DATE 06/24/24

DRAWN BY SD

DESIGNED BY SD

CHECKED BY SD

FILE NO. 00948

3/4

Tree Inventory Plan

Table with 11 columns: Tree Tag #, DBH (inches), Species, Condition, Stems, Notes, Significant Trees Removed (DBH), Significant Trees To Remain (DBH), Significant Trees Exempt (DBH). Rows 7530-7619.

Table with 11 columns: Tree Tag #, DBH (inches), Species, Condition, Stems, Notes, Significant Trees Removed (DBH), Significant Trees To Remain (DBH), Significant Trees Exempt (DBH). Rows 7620-7712.

Table with 11 columns: Tree Tag #, DBH (inches), Species, Condition, Stems, Notes, Significant Trees Removed (DBH), Significant Trees To Remain (DBH), Significant Trees Exempt (DBH). Rows 7713-7801.

VERTICAL SCALE 1 inch = 10 feet
HORIZONTAL SCALE 1 inch = 20 feet (FULL SIZE SHEET 22 X 30)

Tree Tag #	DBH (inches)	Species	Condition	Stems	Notes	Significant Trees Removed (DBH)	Significant Trees To Remain (DBH)	Significant Trees Exempt (DBH)
7802	9	balsam fir	3	2	4.5, 5		9	
7803	10	green ash	1	1	deformity at base			
7804	9.25	green ash	2	1			9.25	
7805	8.25	green ash	2	1			8.25	
7806	11.5	boxelder	2	1			11.5	
7807	10.5	white spruce	3	1			10.5	
7808	11.75	blue spruce	3	1			11.75	
7809	13	black walnut	2	1			13	
7810	7.5	balsam fir	3	1			7.5	
7811	19.75	boxelder	2	1	growing around a wagon axle		19.75	
7812	10.5	red pine	3	1			10.5	
7813	10	Siberian elm	3	1			10	
7814	17	black walnut	3	1			17	
7815	13.5	red pine	3	1			13.5	
7816	11.75	Siberian elm	2	1			11.75	
7817	29.75	Siberian elm	3	4	7.5, 8.25, 7.75, 6.25, damaged by bulldozer.		29.75	
7818	9.5	black walnut	3	1			9.5	
7819	13.5	Siberian elm	3	1			13.5	
7820	10.5	balsam fir	3	1			10.5	
7821	12.5	Siberian elm	2	1			12.5	
7822	15.25	white spruce	3	1			15.25	
7823	8.75	balsam fir	3	1			8.75	
7824	12.5	red pine	3	1			12.5	
7825	11.25	white spruce	2	1			11.25	
7826	17.75	white spruce	3	1			17.75	
7827	14	balsam fir	2	2	6, 8		14	
7828	11	balsam fir	2	1			11	
7829	14	white spruce	3	1			14	
7830	12.25	blue spruce	3	1			12.25	
7831	5.5	eastern red cedar	3	1			5.5	
7832	13	red pine	3	1			13	
7833	10.5	white spruce	3	1			10.5	
7834	12.5	white spruce	3	1			12.5	
7835	14	white spruce	3	1			14	
7836	10.75	balsam fir	3	1			10.75	
7837	10	balsam fir	3	1			10	
7838	17.5	red pine	3	1			17.5	
7839	9.5	eastern red cedar	3	1			9.5	
7840	14	white spruce	3	1			14	
7841	12.25	red pine	3	1			12.25	
7842	13	white spruce	3	1			13	
7843	12.25	white spruce	3	1			12.25	
7844	10.5	balsam fir	3	1			10.5	
7845	13.5	white spruce	3	1			13.5	
7846	13	balsam fir	3	1			13	
7847	8.5	balsam fir	3	1			8.5	
7848	11.5	white spruce	3	1			11.5	
7849	15.5	red maple	2	1	damaged by bulldozer activity		15.5	
7850	11.5	red pine	3	1			11.5	
7851	9.75	red pine	3	1			9.75	
7852	10.5	white spruce	3	1			10.5	
7853	12.75	jack pine	3	1			12.75	
7854	7.5	balsam fir	3	1			7.5	
7855	6.5	white spruce	3	1			6.5	
7856	10.75	balsam fir	3	1			10.75	
7857	11.5	Siberian elm	2	1			11.5	
7858	11	balsam fir	3	1			11	
7859	12.5	balsam fir	2	2	9, 3.5		12.5	
7860	12.75	balsam fir	3	1			12.75	
7861	10	white spruce	3	1			10	
7862	10.75	red pine	3	1			10.75	
7863	10	eastern red cedar	3	1			10	
7864	8.5	eastern red cedar	3	1			8.5	
7865	9	balsam fir	3	1			9	
7866	9.5	balsam fir	3	1			9.5	
7867	9.5	balsam fir	3	1			9.5	
7868	55	eastern cottonwood	2	2	25, 30, growing around a metal pole		55	
7869	11	white spruce	3	1			11	
7870	8	Siberian elm	2	1			8	
7871	14	common hackberry	3	1			14	
7872	34	red maple	3	2	19.5, 14.5 dbH taken above split		34	
7873	14.5	red maple	3	2	7.5, 7		14.5	
7874	8	balsam fir	3	1			8	
7875	39.5	red maple	3	2	22.5, 17		39.5	
7876	12	red pine	2	1			12	
7877	8.5	balsam fir	2	1			8.5	
7878	4	balsam fir	3	1			4	
7879	17	boxelder	1	1			17	
7880	6	balsam fir	3	1			6	
7881	7.78	red pine	2	1			7.78	
7882	6.25	jack pine	3	1			6.25	
7883	8	jack pine	3	1			8	

Tree Tag #	DBH (inches)	Species	Condition	Stems	Notes	Significant Trees Removed (DBH)	Significant Trees To Remain (DBH)	Significant Trees Exempt (DBH)
7884	6.5	jack pine	3	1			6.5	
7885	6	red pine	3	1			6	
7886	6.75	jack pine	2	1			6.75	
7887	4	jack pine	2	1			4	
7888	5.75	jack pine	2	1			5.75	
7889	7	jack pine	2	1			7	
7890	7.5	jack pine	3	1			7.5	
7891	4.5	jack pine	2	1			4.5	
7892	6.75	jack pine	3	1			6.75	
7893	7.5	jack pine	3	1			7.5	
7894	7.5	jack pine	3	1			7.5	
7895	4.75	jack pine	3	1			4.75	
7896	8.75	blue spruce	2	1		8.75		
7897	7	balsam fir	2	1			7	
7898	10.5	balsam fir	3	1			10.5	
7899	12	balsam fir	3	1		12		
7900	16	red maple	2	2	7.5, 8.5, dbh taken above deformity		16	
7901	13.5	boxelder	2	3			13.5	
7902	28.25	green ash	4	2	15.75, 12.5		28.25	
7903	8	red pine	3	1			8	
7904	23	red pine	4	1			23	
7905	13.5	slippery elm	2	2	6, 7.5		13.5	
7906	23	white spruce	0	2			23	
7907	8	slippery elm	3	1			8	
7908	8.5	eastern cottonwood	2	1			8.5	
7910	12	eastern cottonwood	2	1			12	
7911	9.5	bigtooth aspen	4	1			9.5	
7912	5.5	red pine	2	1			5.5	
7913	31	boxelder	3	4	10.5, 8.5, 6, 6		31	
7914	17	boxelder	2	2	8, 9		17	
7915	12	eastern cottonwood	2	1		12		
7916	13	boxelder	2	2	8, 5		13	
7917	14	eastern cottonwood	3	1			14	
7918	11	Siberian elm	3	1			11	
7919	15.5	Siberian elm	2	2	9, 6.5		15.5	
7920	10.5	common hackberry	3	1			10.5	
7921	9.25	boxelder	2	2	6, 3.25		9.25	
7922	18	red pine	3	1			18	
7923	18.5	Siberian elm	2	1			18.5	
7924	28	eastern cottonwood	2	1			28	
7925	10.75	boxelder	3	1			10.75	
7926	14	boxelder	2	1		14		
7927	10.25	red pine	3	1		10.25		
7928	9	red pine	2	1		9		
7930	8.5	red pine	2	1			8.5	
7931	14.5	Siberian elm	2	1			14.5	
7932	10	jack pine	2	1			10	
7933	22	Siberian elm	3	2	12, 10		22	
7934	11	Siberian elm	2	1			11	
7935	14	red pine	3	1			14	
7936	8.25	red pine	2	1			8.25	
7937	14	red pine	3	1			14	
7938	18	red pine	3	1			18	
7939	8	red pine	2	1			8	
7940	10	red pine	3	1			10	
7941	26	red pine	3	2	19, 7		26	
7942	9	common hackberry	3	1			9	
7943	9.25	paper birch	1	1		9.25		
7944	18	Siberian elm	3	2	6, 12		18	
7945	7.5	white spruce	2	1			7.5	
7946	14.25	boxelder	2	1			14.25	
7947	9.5	common hackberry	3	1			9.5	
7949	14.75	green ash	2	1			14.75	
7950	10	boxelder	3	1			10	
7951	18	Siberian elm	2	3	2, 6, 10		18	
7952	9	Siberian elm	2	1			9	
7953	9	Siberian elm	2	1			9	
7954	9.5	green ash	2	1			9.5	
7955	15	common hackberry	4	1			15	
7956	8.75	green ash	2	1			8.75	
7957	9.75	red pine	2	1			9.75	
7958	9.25	silver maple	3	1			9.25	
7959	5.5	eastern red cedar	3	1			5.5	
7960	14.48	Siberian elm	2	1			14.48	
7961	15	red maple	2	2	7.5, 7.5		15	
7962	12.5	Siberian elm	3	1			12.5	
7963	14	red pine	3	1			14	
7964	10	red pine	3	1			10	
7965	6.75	eastern red cedar	3	1		6.75		
7966	19	boxelder	2	3	12, 5, 2		19	
7968	16	green ash	2	1			16	
7970	12.5	eastern red cedar	3	1			12.5	
7971	7.5	balsam fir	3	1			7.5	
7980	18	red pine	3	1			18	
7981	10	red maple	2	1			10	
7982	18	red maple	3	2	9, 9		18	
7983	7	eastern red cedar	2	1			7	
7984	11.75	boxelder	3	1		11.75		

Tree Tag #	DBH (inches)	Species	Condition	Stems	Notes	Significant Trees Removed (DBH)	Significant Trees To Remain (DBH)	Significant Trees Exempt (DBH)
7985	13.25	common hackberry	3	1		13.25		
7986	10	red pine	3	1		10		
7987	16.5	Siberian elm	3	1		16.5		
7988	22.75	red pine	3	1		22.75		
7990	10	Siberian elm	3	1		10		
7991	10	boxelder	3	1			10	
7992	8	balsam fir	2	2	4, 4			
7993	7.5	eastern red cedar	3	1			8	7.5
7994	6	eastern red cedar	1	1			6	
7995	16	red pine	3	1			16	
7996	10	Siberian elm	3	1			10	
7997	13	boxelder	2	1			13	
7998	19	boxelder	3	3	6, 8, 5			19
7999	11.5	Siberian elm	3	1			11.5	
8000	23.5	green ash	2	1			23.5	
Total Tree Count	Total DBH	Net DBH (minus Exempt)		Total Tree Stems		Significant Trees Removed (DBH)	Significant Trees To Remain (DBH)	Significant Trees Exempt (DBH)
712	8000	6799 (8000-1201)		785		1866 (1895/6799)	4645	1489
					Max. 70% >	27.4%		
				</				

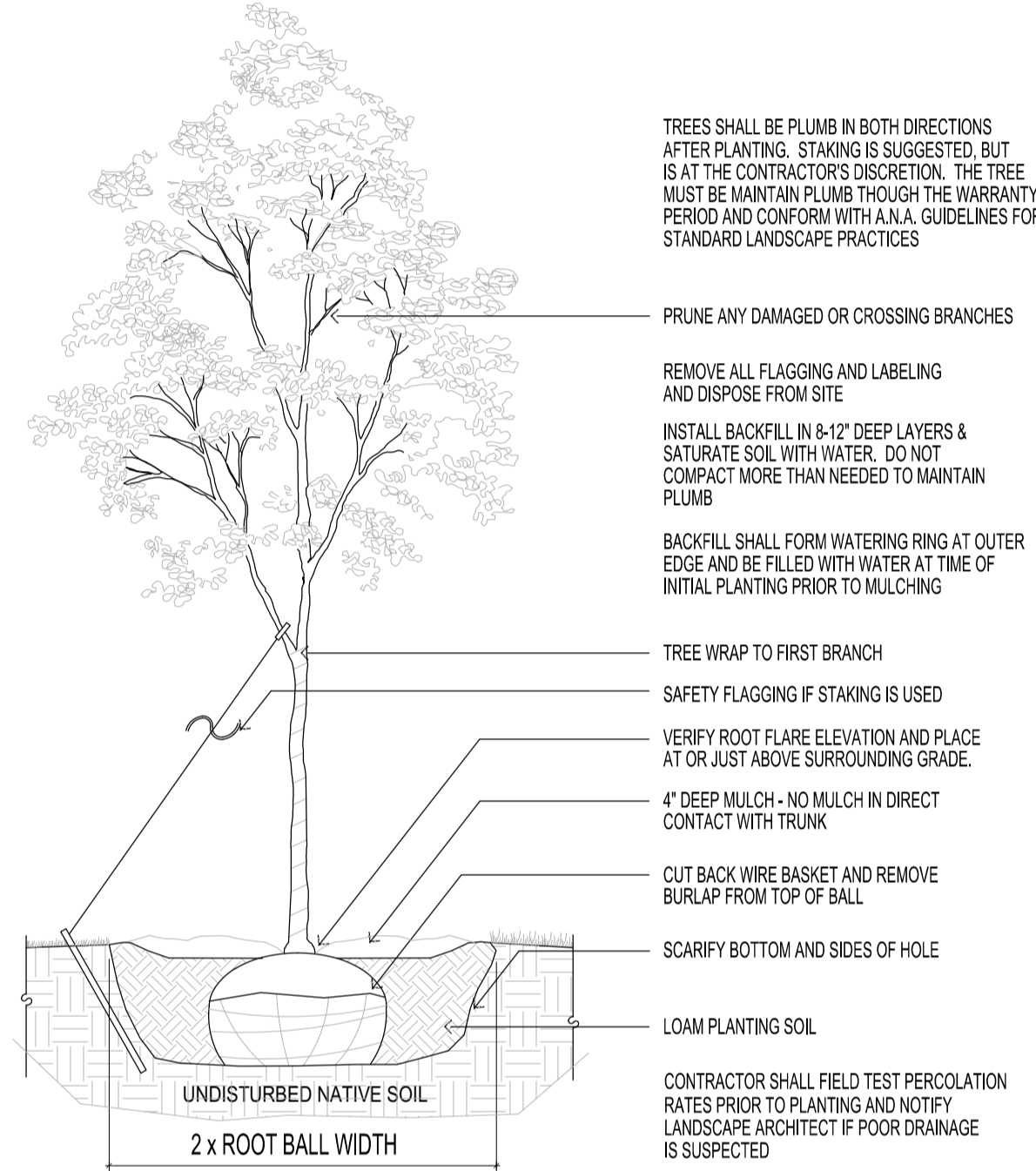
PER THE CITY OF RAMSEY LANDSCAPE ORDINANCE, REQUIRED LANDSCAPE QUANTITIES FOR THIS PROJECT ARE BASED ON RATIOS BASED ON BUILDING AREA OR SITE PERIMETER, WHICHEVER IS GREATER. FOR THIS PROJECT, SITE PERIMETER IS BEING USED FOR BOTH TREE AND SHRUB CALCULATIONS AND ARE CALCULATED AS FOLLOWS:

1. SITE PERIMETER = 2,484 LINEAL FEET
2. DIVIDED BY 50 = 49.68 = 50 TREES REQUIRED
3. DIVIDED BY 30 = 82.80 = 83 SHRUBS REQUIRED

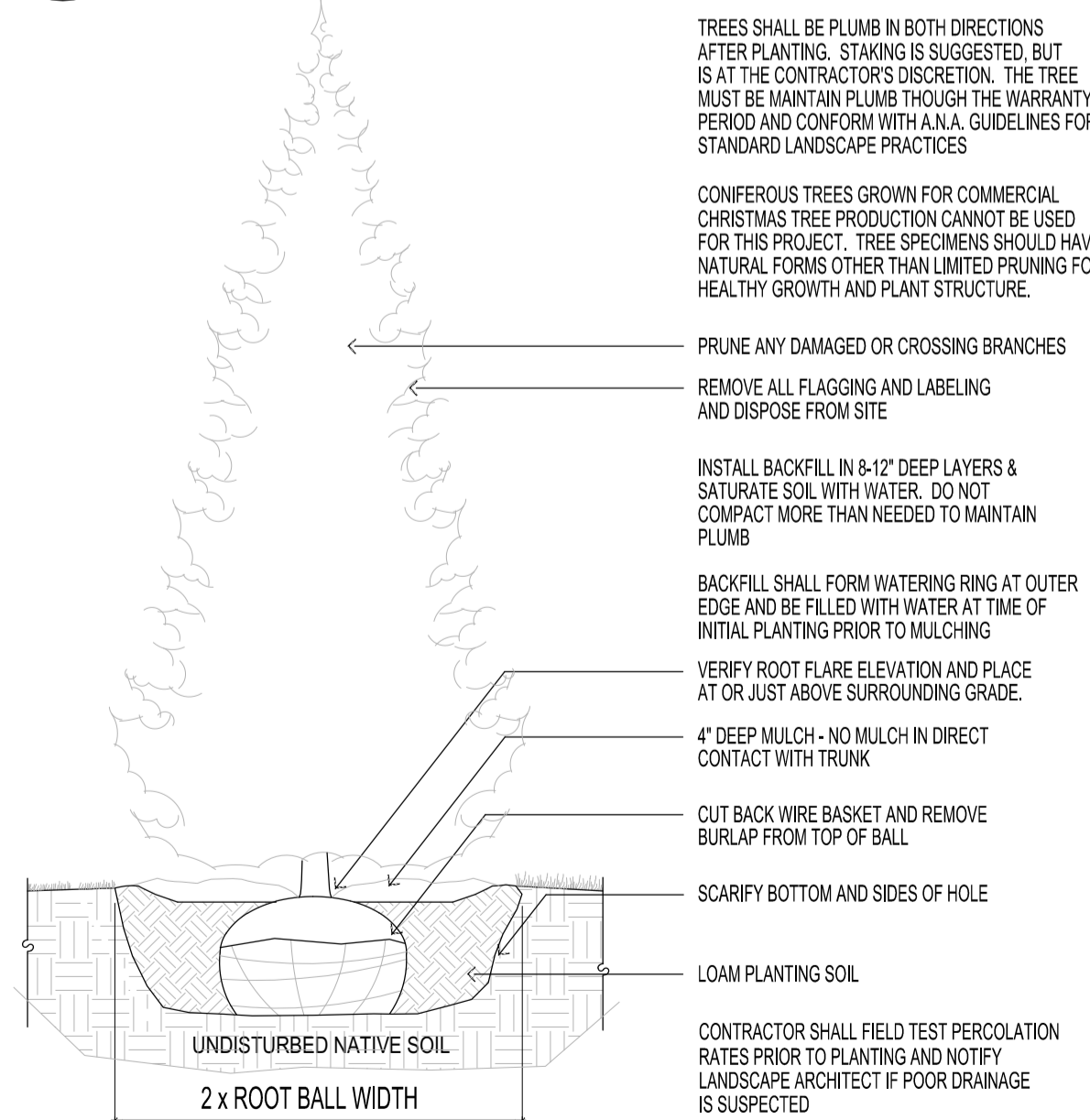
ROAD FRONTAGE PLANTINGS:
THE LANDSCAPE ORDINANCE REQUIRES ONE OVERSTORY TREE BE PLANTED FOR EVERY 35 LINEAL FEET OF PUBLIC ROAD FRONTAGE. FOR THIS PROJECT, ONLY THE EAST SIDE IS ADJACENT A PUBLIC ROAD AND IS CALCULATED AS FOLLOWS:

1. ARMSTRONG BOULEVARD FRONTAGE = 595 LINEAL FEET
2. DIVIDED BY 35 = 17 TREES REQUIRED
3. MANY EXISTING TREES (15+ QUALITY SPECIES) ARE BEING PRESERVED ON THE SOUTHEAST CORNER OF THE SITE AND ARE COUNTED TOWARD ROAD FRONTAGE SCREENING.
4. FIVE TREES ARE ADDED TO THE NORTH TO COMPLETE THE SCREENING REQUIREMENT.

LANDSCAPE CALCULATIONS:



1 DECIDUOUS TREE PLANTING DETAIL
SCALE: 1/2" = 1'-0"



2 CONIFEROUS TREE PLANTING DETAIL
SCALE: 1/2" = 1'-0"

PARKING LOT TREE PLANTINGS:
THE LANDSCAPE ORDINANCE REQUIRES ONE OVERSTORY TREE BE PLANTED FOR EVERY 10 SURFACE PARKING STALLS.

1. TOTAL PARKING COUNT = 261 SPACES
2. DIVIDED BY 10 = 26 TREES REQUIRED
3. 26 TREES PROVIDED

- 114+ TREES INCLUDE:**
1. 8 OVERSTORY TREES - GENERAL LANDSCAPE REQUIREMENT
 2. 75+ QUALITY EXISTING TREES RETAINED
 3. 26 OVERSTORY TREES - PARKING LOT REQUIREMENT
 4. 5 OVERSTORY TREES - ARMSTRONG BLVD FRONTAGE REQUIREMENT

120 SHRUBS/PERENNIALS INCLUDE:

1. 48 DECIDUOUS SHRUBS
2. 18 CONIFEROUS SHRUBS
3. 18 ORNAMENTAL GRASSES
4. 36 PERENNIALS

TREES WILL BE PLANTED AT THE MINIMUM SIZES AS SHOWN ON THE PLANT SCHEDULE. PROPOSED MINIMUM SIZES ARE:

1. 2.0" CAL. FOR DECIDUOUS TREES
2. 1.5" CAL. FOR ORNAMENTAL TREES
3. 6' HEIGHT FOR CONIFEROUS TREES

DECIDUOUS OVERSTORY TREES:

	SWAMP WHITE OAK Quercus bicolor 13 = Quantity @ 2" Caliper		CLUMP RIVER BIRCH Betula nigra 'Clump' 6 = Quantity @ 12" Height
	PRINCETON ELM Ulmus americana 'Princeton' 5 = Quantity @ 2" Caliper		BOULEVARD LINDEN Tilia americana 'Boulevard' 5 = Quantity @ 2" Caliper
	FALL FIESTA MAPLE Acer sacharum 'Bailista' 2 = Quantity @ 2" Caliper		HACKBERRY Celtis occidentalis 8 = Quantity @ 2" Caliper

5

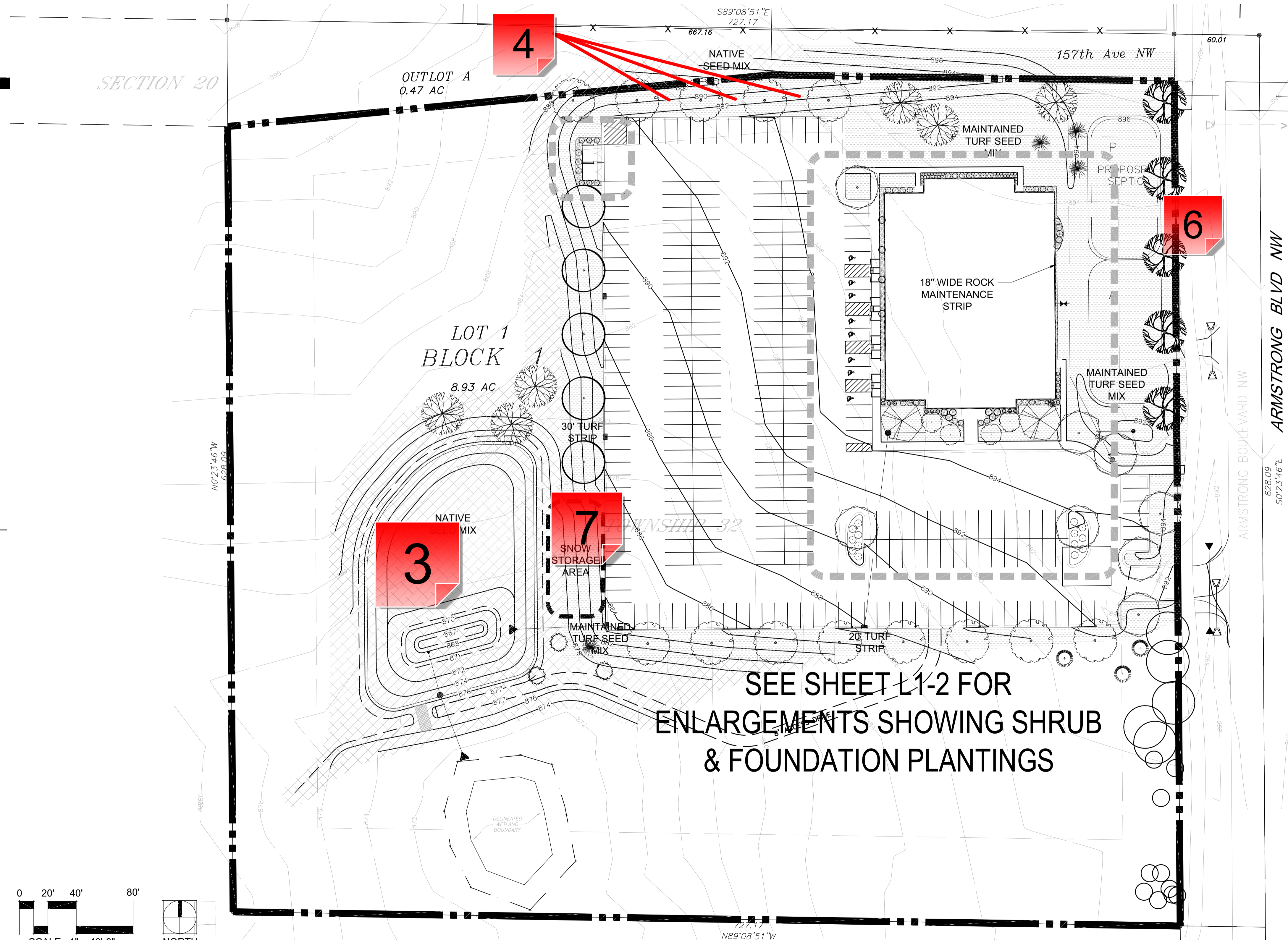
CONIFEROUS TREES:

	BLACK HILLS SPRUCE 3 = Quantity @ 5' Height
	COLORADO SPRUCE 0 = Quantity @ 6' Height
	AUSTRIAN PINE 3 = Quantity @ 5' Height
	SCOTCH PINE 3 = Quantity @ 6' Height

1

2

TREE PLANTING KEY:



SEE SHEET L1-2 FOR ENLARGEMENTS SHOWING SHRUB & FOUNDATION PLANTINGS

1 - Colorado Spruce

Created by: Chris Anderson
On: 06/24/2024 11:42 AM

If there are none of this species proposed to be planted, please eliminate from the Planting Key

----- 0 Replies -----

2 - Evergreen Size

Created by: Chris Anderson
On: 06/24/2024 11:46 AM

Please revise the minimum height for both Black Hills Spruce and Austrian Pine to be at least six (6) feet.

----- 0 Replies -----

3 - Native Seed Maintenance

Created by: Chris Anderson
On: 06/25/2024 09:17 AM

A 3-5 year maintenance plan needs to be prepared and submitted. This should provide clear, step by step instructions for the property owner to conduct the necessary maintenance to ensure the native seeding gets established.

----- 0 Replies -----

4 - Screening

Created by: Chris Anderson
On: 06/25/2024 09:24 AM

Please consider adding taller growing evergreen shrubs in between these trees to provide some screening of headlights from shining into the adjacent residential property. An alternative to plantings, a privacy fence could also be installed.

----- 0 Replies -----

5 - Evergreen Plantings

Created by: Chris Anderson
On: 06/25/2024 09:26 AM

Please increase the number of evergreen trees to be installed. At least 25% of the plantings shall consist of evergreen trees. A minimum of twelve (12) evergreens need to be planted (48 x 25% = 12).

----- 0 Replies -----

6 - Proximity to Septic

Created by: Chris Anderson
On: 06/25/2024 09:32 AM

Will these trees create any conflicts with the proposed drainfield area?

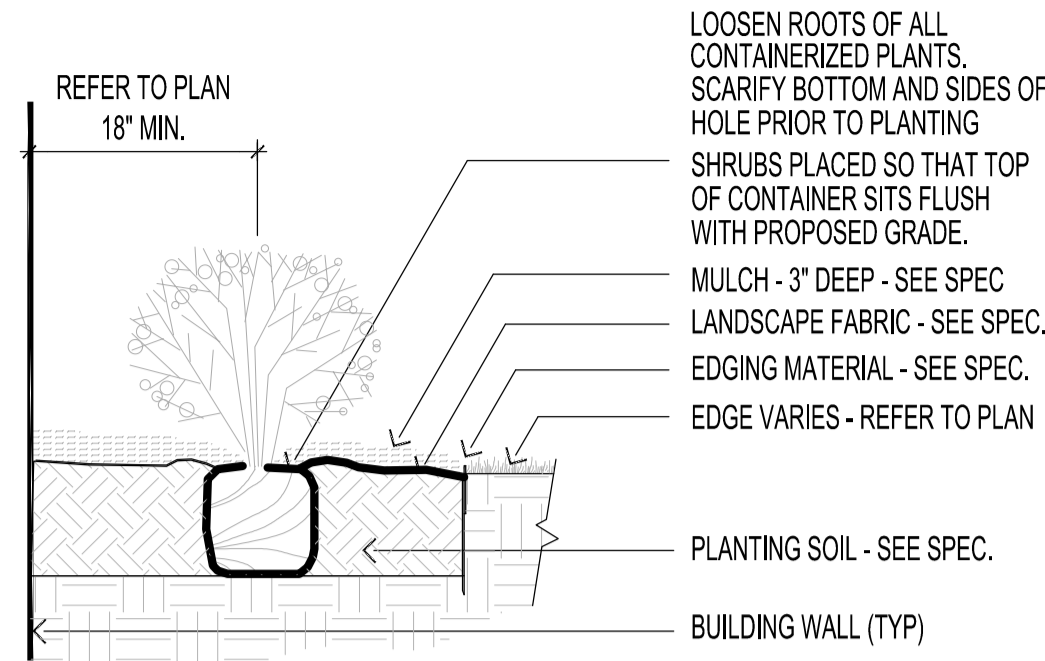
----- 0 Replies -----

7 - Snow Storage

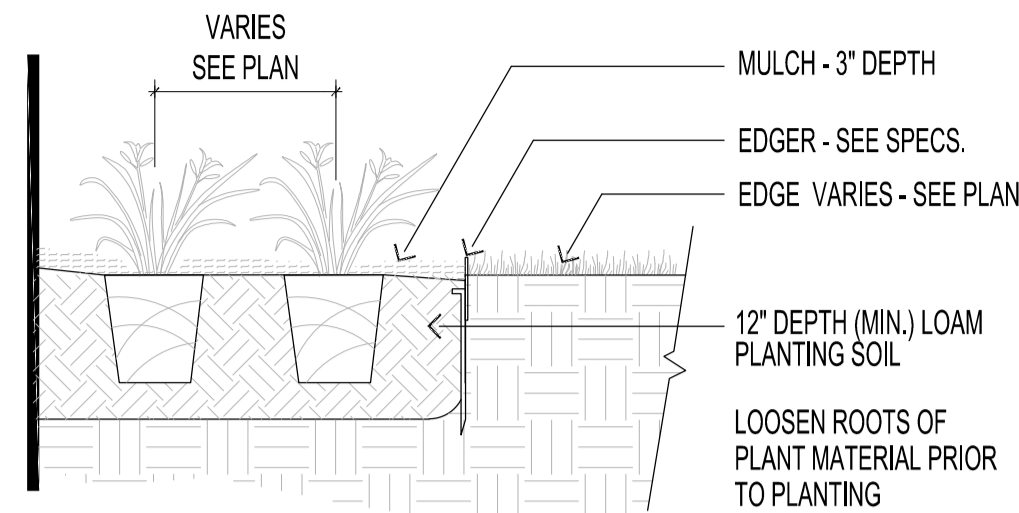
Created by: Chris Anderson
On: 06/25/2024 09:33 AM

Is this sufficient area for snow storage for this size parking lot?

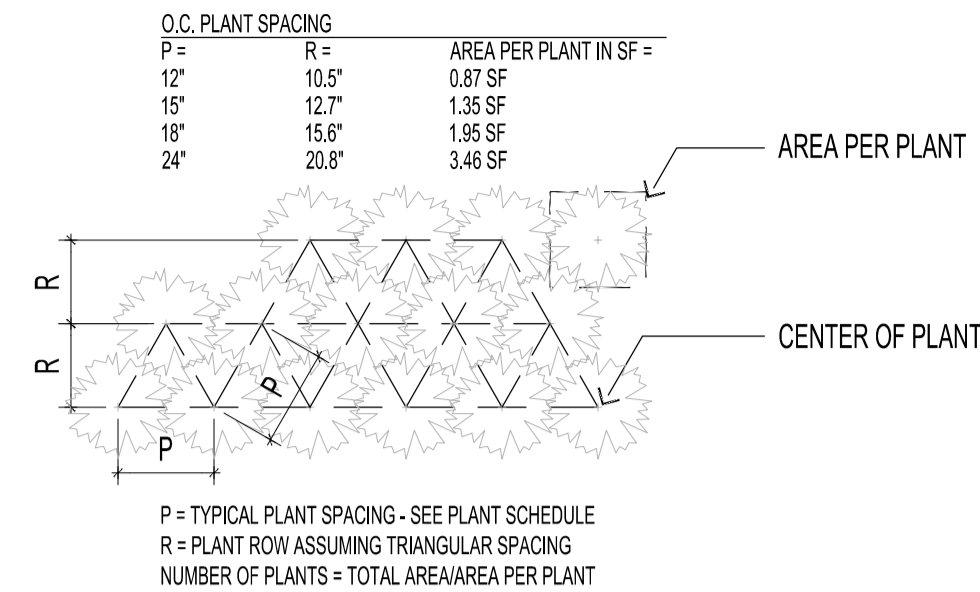
----- 0 Replies -----



1
L1-2
SHRUB PLANTING DETAIL
SCALE: 3/4" = 1'-0"



2
L1-2
PERENNIAL PLANTING
SCALE: 3/4" = 1'-0"



3
L1-2
PERENNIAL SPACING GUIDELINES
SCALE: 3/4" = 1'-0"

SYM	QTY	COMMON NAME	SCIENTIFIC NAME	SIZE	CONT	COMMENTS
DECIDUOUS SHRUBS						
ALP	7	ALPINE CURRANT	Ribes alpinum	3 GAL	POT	5' O.C.
ANH	8	ANNABELLE HYDRANGEA	Hydrangea arborescens 'Annabelle'	3 GAL	POT	5' O.C.
AWS	4	ANTHONY WATERER SPIREA	Spirea x bumalda 'Anthony Waterer'	3 GAL	POT	5' O.C.
DBH	14	DWARF BUSH-HONEYSUCKLE	Diervilla lonicera	3 GAL	POT	5' O.C.
MKL	8	MISS KIM LILAC	Syring patula 'Miss Kim'	3 GAL	POT	5' O.C.
RTD	6	ARCTIC FIRE RED DOGWOOD	Cornus stolonifera 'Farrow'	3 GAL	POT	5' O.C.
CONIFEROUS SHRUBS						
DFJ	4	DAUB'S FROSTED JUNIPER	Juniperus chinensis 'Daub's Frosted'	5 GAL	POT	5' O.C.
SGJ	3	SEA GREEN JUNIPER	Juniperus chinensis 'SeaGreen'	5 GAL	POT	5' O.C.
TYE	5	TAUNTON YEW	Taxus x media 'Taunton'	5 GAL	POT	5' O.C.
ORNAMENTAL GRASSES						
KFG	18	KARL FOERSTER GRASS	Calamagrostis x acutiflora 'Karl Foerster'	1 GAL	POT	3' O.C.
PERENNIALS						
OST	36	OSTRICH FERN	Matteuccia struthiopteris	1 GAL	POT	3' O.C.

PLANTING SCHEDULE:

PLANTING DETAILS:

GRAPHIC	MATERIAL	SPECIFICATION	NOTES
	ROCK MULCH	1.5" DIAMETER GRANITE RIVER ROCK MULCH	3" DEPTH
	TURF SEED	MN/DOT SEED MIX #25-121 MAINTAINED TURF FOR SANDY SOILS	61 LBS/ACRE
	NATIVE SEED	MN/DOT SEED MIX #33-261 STORMWATER BASINS	40 LBS/ACRE

GROUND COVER SCHEDULE:

PLANT SELECTIONS:
SUBSTITUTIONS WILL BE CONSIDERED ONLY IF REQUESTED PRIOR TO BIDDING OF THE PROJECT. THE CONTRACTOR SHALL VERIFY AVAILABILITY OF THE SPECIFIED MATERIALS AND INFORM THE LANDSCAPE ARCHITECT OF ANY CONCERNS PRIOR TO SUBMITTING A BID.

ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE NURSERY STOCK STANDARDS AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION (ANLA).

UNLESS NOTED OTHERWISE, DECIDUOUS SHRUBS SHALL HAVE AT LEAST 5 CANES AT THE SPECIFIED SHRUB HEIGHT. ORNAMENTAL TREES SHALL HAVE NO Y CROTCHES AND SHALL BEGIN BRANCHING NO LOWER THAN 3' ABOVE THE ROOT FLARE. STREET AND BOULEVARD TREES SHALL BEGIN BRANCHING NO LOWER THAN 6' ABOVE THE ROOT FLARE.

ANY CONIFEROUS TREE PREVIOUSLY PRUNED FOR CHRISTMAS TREE SALES SHALL NOT BE USED. ALL CONIFEROUS TREES SHALL HAVE A FULL, NATURAL FORM CONSISTENT WITH THE SPECIES.

THE LANDSCAPE PLAN TAKES PRECEDENCE OVER THE PLANT SCHEDULE IF ANY DISCREPANCIES IN QUANTITIES EXIST. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES.

STORAGE OF PLANTS ON CONSTRUCTION SITE:
PLANTS SHALL NOT BE STORED ON SITE FOR EXTENDED TIME PERIODS. IF PLANTINGS CANNOT BE PLACED IN THE GROUND, AND WELL WATERED THAT SAME DAY, THE PLANTINGS SHALL HAVE MOIST MULCH COVERING THE ROOTS AT ALL TIMES.

PLANTING INSTRUCTIONS:
ALL PLANTINGS SHALL BE INSTALLED PER THE PLANTING DETAILS AS SHOWN IN THESE CONSTRUCTION DOCUMENTS. PARTICULAR ATTENTION WILL BE PAID TO OVERSIZING THE PLANTING HOLE AND CREATION OF A WATERING WELL TO ALLOW SOAKING OF THE PLANTING BACKFILL FOR EACH PLANTING.

EDGING AND MAINTENANCE STRIPS:
BLACK POWDER COATED STEEL EDGER TO BE USED TO CONTAIN SHRUBS AND MAINTENANCE STRIP AREAS.

MAINTENANCE STRIPS SHALL HAVE EDGER AND MULCH AS SPECIFIED OR AS INDICATED ON DRAWINGS.

MULCHING:
A 3" DEPTH OF RIVER ROCK MULCH SHALL BE CLEAN AND FREE OF ANY SIGNIFICANT DIRT, SOIL, OR ORGANIC MATTER THAT WILL PROMOTE WEED GROWTH. HIGH QUALITY GEOTEXTILE FABRIC, WITH EDGES OVERLAPPED AT LEAST 12", SHALL BE PLACED UNDER ALL ROCK MULCH.

ALL TREES SHALL HAVE A MULCH RING (MINIMUM 48" DIAMETER) OF 4" DEEP SHREDDDED HARDWOOD MULCH WITH NONE IN DIRECT CONTACT WITH TREE TRUNK.

STAKING:
STAKING OF THE TREES IS OPTIONAL, BUT THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR CORRECTING ANY TREES THAT FALL OUT OF PLUMB DURING THE WARRANTY PERIOD.

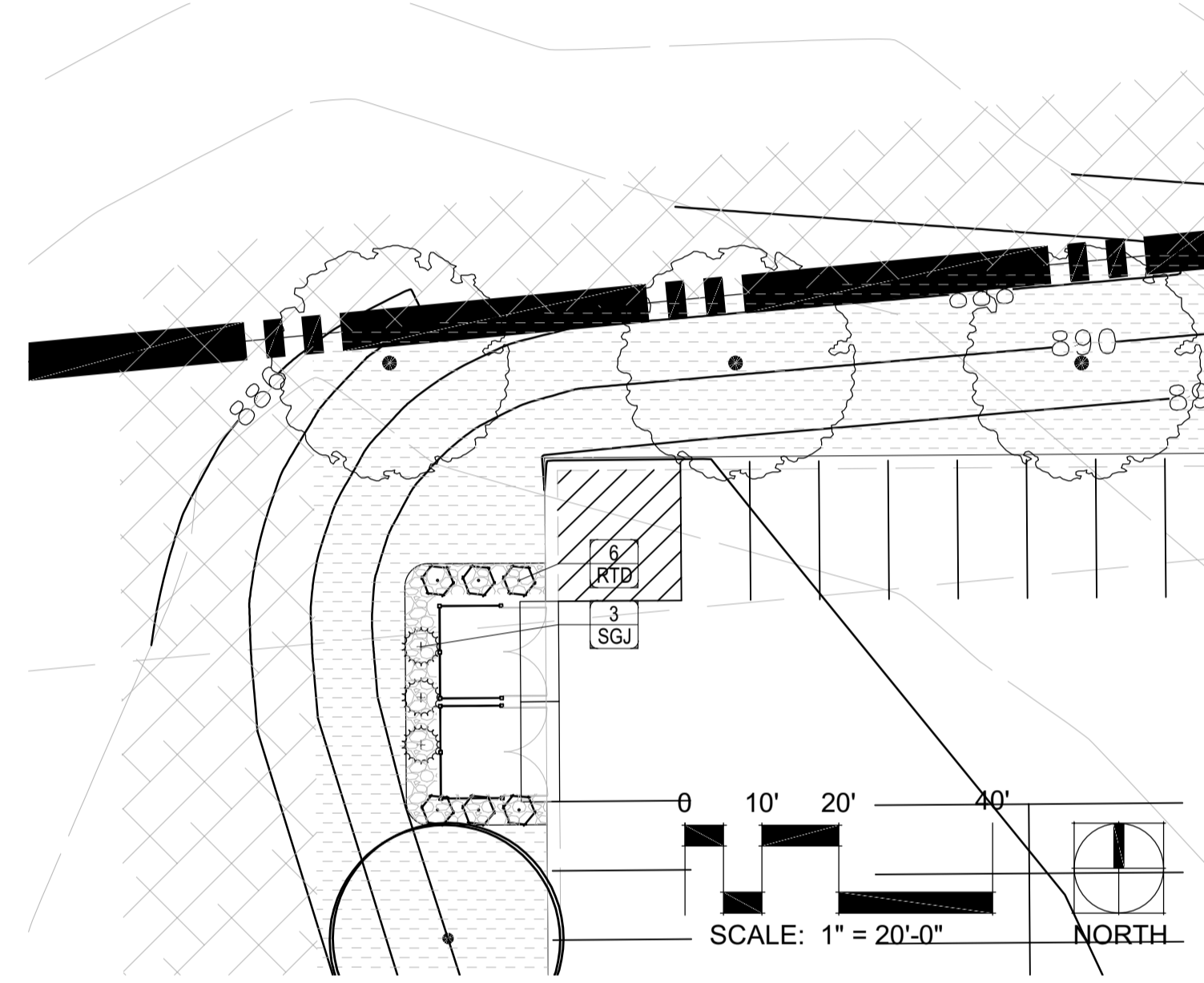
REMOVAL OF TAGGING:
ALL TAGGING AND PLANT LABELS SHALL BE REMOVED AFTER PLANTING. BALLED AND BURLAPPED PLANTINGS SHALL HAVE ANY ROPE REMOVED FROM THE TRUCK AND THE TOP OF THE WIRE CAGE REMOVED FROM THE BALL AFTER PLACEMENT IN THE PLANTING PIT.

WARRANTY PERIOD:
ALL PLANTING SHALL BE COVERED BY A ONE YEAR WARRANTY PERIOD TO COVER REPLACEMENT OF ANY PLANTINGS THAT HAVE DIED OR ARE SHOWING OBVIOUS SIGNS OF STRESS AT THE WARRANTY INSPECTION. REPLACEMENT OF ANY FAILED PLANTINGS INCLUDES RE-ESTABLISHING CLEAN MULCH AROUND ANY REMOVALS AND OFF-SITE DISPOSAL OF ANY MATERIALS.

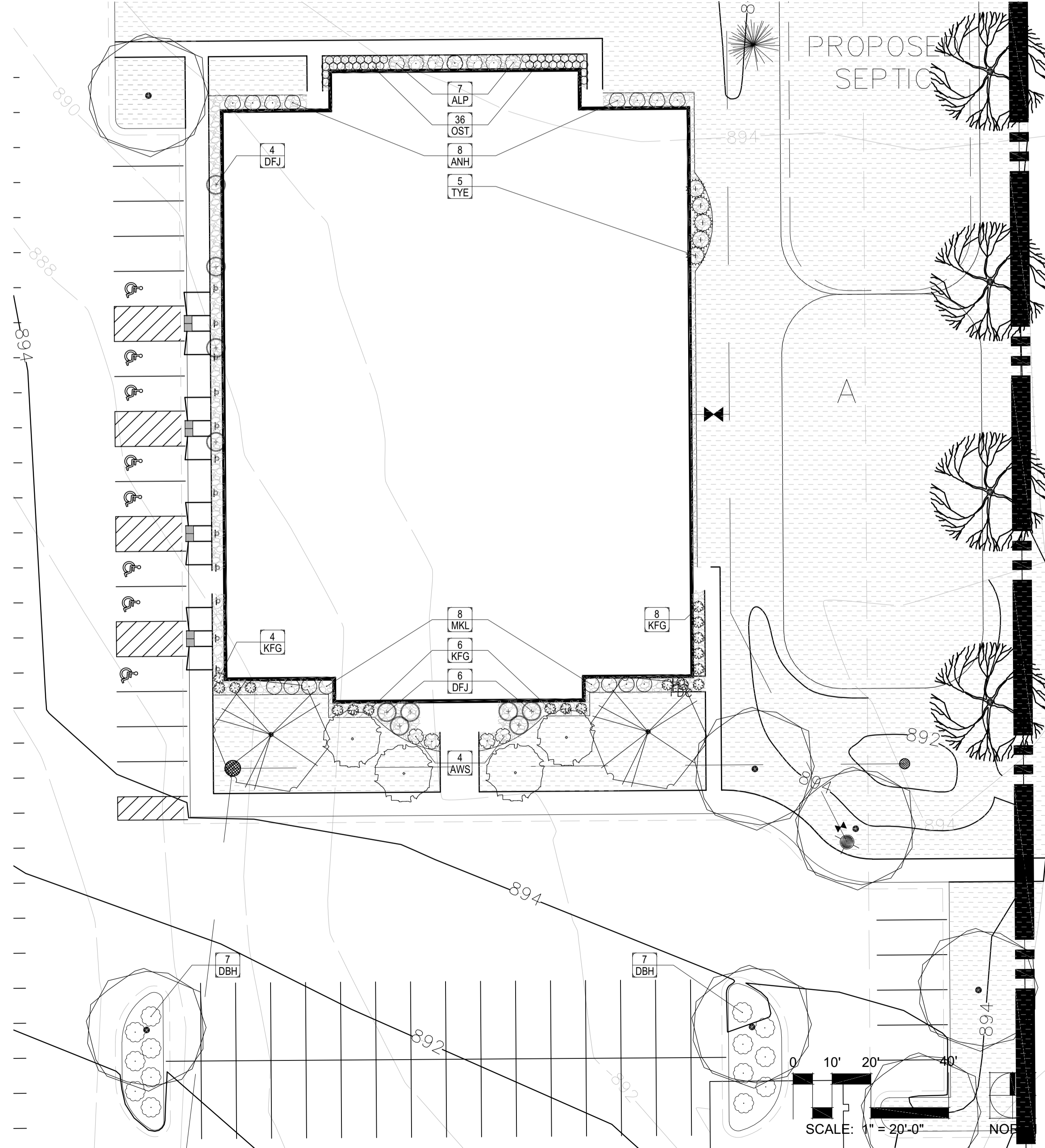
IRRIGATION:
IRRIGATION IS NOT PROPOSED ON THIS PROPERTY.

MAINTAINED TURF:
ALL FUTURE CLOSELY MOWN AREAS SHALL BE SEEDED USING THE SEED MIXES AS NOTED ON THE PLAN.

~~WARRANTY PERIOD:
ALL PLANTING SHALL BE COVERED BY A ONE YEAR WARRANTY PERIOD TO COVER REPLACEMENT OF ANY PLANTINGS THAT HAVE DIED OR ARE SHOWING OBVIOUS SIGNS OF STRESS AT THE WARRANTY INSPECTION. REPLACEMENT OF ANY FAILED PLANTINGS INCLUDES RE-ESTABLISHING CLEAN MULCH AROUND ANY REMOVALS AND OFF-SITE DISPOSAL OF ANY MATERIALS.~~



GARBAGE AREA ENLARGEMENT:



FOUNDATION PLANTING PLAN AND DETAILS:

PLANTING NOTES:

This is a repeat of language above

1 - Shrub Size

Created by: Chris Anderson
On: 06/25/2024 09:08 AM

Please revise planting schedule table to specify the minimum shrub size as 24" in height at time of installation.

----- 0 Replies -----

2 - Warranty Period

Created by: Chris Anderson
On: 06/25/2024 09:12 AM

The City's Development Agreement will require a 2-year warranty period beginning upon a passing Landscape Insepction.

----- 0 Replies -----

3 - Watering

Created by: Chris Anderson
On: 06/25/2024 09:13 AM

If irrigation is not proposed, who will be responsible for watering all the new plantings? Please modify the plans to include a watering schedule for at least the first two years after planting.

----- 0 Replies -----

4 - Turf Establishment

Created by: Chris Anderson
On: 06/25/2024 09:29 AM

Without irrigation, how will the turf seeding be established? Please provide clear and thorough instructions for the property owner to ensure proper establishment of turf grass.

----- 0 Replies -----