

City of Ramsey
Agenda
Environmental Policy Board (EPB)
Monday, August 19, 2024
6:30 pm
Council Chambers, 7550 Sunwood Drive NW

Remote Attendance available at www.cityoframsey.com/meetings.
Those joining remotely and requesting to speak are asked to use a webcam when speaking.

1. **Call to Order**

2. **Citizen Input**

3. **Approve Agenda**

4. **Approve Minutes**
 1. Approve Meeting Minutes Dated July 15, 2024

5. **Policy Board Business**
 1. Consider Natural Resources Aspects for Parkside Townhomes Preliminary Plat
 2. Discuss Potential Development of Performance Standards for Managed Natural Landscapes

6. **Board/Staff Input**
 - Fall Recycling Event - September 28, 2024 (8am - 12pm, Public Works Campus, 14199 Jasper St)
 - Fix It Clinic - October 5, 2024 (10am - 1pm, Public Works Campus, 14199 Jasper St)

7. **Adjournment**

Environmental Policy Board (EPB)

Meeting Date: 08/19/2024

Primary Strategic Plan Initiative:

Information

Title:

Approve Meeting Minutes Dated July 15, 2024

Purpose/Background:

NA

Recommendation:

NA

Outcome/Action:

Motion to approve meeting minutes dated July 15, 2024.

Attachments

Meeting Minutes Dated July 15, 2024

Form Review

Inbox

Brian Hagen

Form Started By: Chris Anderson

Final Approval Date: 08/15/2024

Reviewed By

Brian Hagen

Date

08/15/2024 10:47 AM

Started On: 08/13/2024 10:00 AM

**ENVIRONMENTAL POLICY BOARD
CITY OF RAMSEY
ANOKA COUNTY
STATE OF MINNESOTA**

On Monday, July 15, 2024, the Environmental Policy Board (EPB) met in the Council Chambers at the Ramsey Municipal Center, 7550 Sunwood Drive N.W., Ramsey, Minnesota.

Members Present: Chairperson Melissa Fetterley
 Board Member Reid Bernard
 Board Member Nick Burgess
 Board Member Thomas Hagerty
 Board Member Paula Houts
 Board Member Hassan Salami

Members Absent: Board Member Laura Moore

Also Present: Senior Planner Chris Anderson
 City Council Liaison Matt Woestehoff

1. CALL TO ORDER

Chairperson Fetterley called the meeting to order at 6:30 p.m.

2. CITIZEN INPUT

None.

3. APPROVE AGENDA

Motion by Board Member Bernard and seconded by Board Member Salami to approve the agenda as submitted.

Motion carried. Voting Yes: Chairperson Fetterley, Board Member Bernard, Salami, Burgess, Hagerty, and Houts. Voting No: None. Absent: Board Member Moore.

4. APPROVE MINUTES

4.01: Approve Meeting Minutes Dated March 18, 2024

Motion by Board Member Bernard and seconded by Board Member Hagerty to approve the regular meeting minutes dated March 18, 2024.

Motion carried. Voting Yes: Chairperson Fetterley, Board Member Bernard, Hagerty, Burgess, Houts, and Salami. Voting No: None. Absent: Board Member Moore.

Chairperson Fetterley introduced the two new members of the Board. All members of the Board introduced themselves.

5. POLICY BOARD BUSINESS

5.01: Consider Natural Resources Aspects of Site Plan for U-Haul (Project No. 24-115); Case of U-Haul

Senior Planner Anderson presented the staff report. He stated that the City received a Land Use Application for U-Haul for a Conditional Use Permit for a proposed U-Haul Moving and Storage Facility, located at 8725 Riverdale Drive. The Business operation would include the following uses on site: self-storage, truck and trailer rental, and related retail sales.

Board Member Burgess asked if light pollution is considered for the adjacent residential development.

Senior Planner Anderson replied that the existing screening on the south side of the road would address those concerns. He noted that the zoning code was recently updated, including lighting regulations.

Motion by Board Member Salami and seconded by Board Member Hagerty to recommend approval of the Landscape Plan, contingent upon compliance with staff's required corrections.

Motion carried. Voting Yes: Chairperson Fetterley, Board Member Salami, Hagerty, Bernard, Burgess, and Houts. Voting No: None. Absent: Board Member Moore.

5.02: Consider Natural Resources Aspects of Site Plan for Voice of Hope Church (Project No. 24-114); Case of Voice of Hope Church

Senior Planner Anderson presented the staff report. He stated that the City received a Land Use Application from Voice of Hope Church for review of a proposed Site Plan and Final Plat regarding the property located at 15620 Armstrong Boulevard NW.

Board Member Salami asked if there was a public hearing for this project to allow residents near this property to provide input.

Senior Planner Anderson replied that notices have been sent for the public hearing to be conducted by the Planning Commission at their July meeting. He acknowledged that the residential property to the north may not be thrilled with this use, but it is a permitted use within the zoning district.

Chairperson Fetterley referenced the areas to the northwest and south and commented that those areas appear to remain untouched. She asked if staff is satisfied that the trees proposed to add shade to the parking would be adequate and whether tree islands would be a good addition.

Senior Planner Anderson commented that there are trees around the perimeter which would meet the parking lot landscaping requirements. He stated that a recommendation for parking lot islands could be made, but explained that is a tough growing environment for a tree.

Chairperson Fetterley commented that there appears to be a significant area to the north and east of the church which will be seeded and perhaps those would be areas where native seeding would be a better option than grass.

Senior Planner Anderson commented that there are some areas proposed for native seeding, and he has requested a three-to-five-year maintenance plan for those areas. He was also unsure that a native seed mix would be a good fit for the septic area.

Board Member Houts asked for more details on the things that are exempt from the tree preservation requirements.

Senior Planner Anderson reviewed the different things that are exempt.

Board Member Bernard asked if there would be a trail connection in the north, connecting to the Itasca Trail.

Senior Planner Anderson commented that there is an outlot identified where the trail corridor could be located, but no trail would be constructed as part of this project.

Board Member Burgess asked for details on the commercial septic system and asked if there would be a sprinkler component.

Senior Planner Anderson commented that the building division reviews proposed septic systems. He noted that the system would need to meet the septic requirements.

Motion by Board Member Bernard and seconded by Board Member Hagerty to recommend approval of the Tree Inventory and Preservation Plan and the Landscape Plan, contingent upon compliance with Staff's review comments.

Motion carried. Voting Yes: Chairperson Fetterley, Board Member Bernard, Salami, Burgess, Hagerty, and Houts. Voting No: None. Absent: Board Member Moore.

6. BOARD / STAFF INPUT

- **Curbside Recycling Event – August 5 – August 16**

Senior Planner Anderson provided details on the upcoming curbside recycling event which will take place August 5th through August 16th.

Senior Planner Anderson also provided details on the rain barrel and compost bin distribution event which took place on May 1st, noting that there are still barrels and compost bins available and staff will continue to promote the items on its website. He stated that the City will be requesting that Board Members alert staff one week in advance if they will not be able to attend a meeting, noting that there have been a few instances where there have not been enough Board Members for a quorum on the meeting night.

Chairperson Fetterley commented that she, Board Member Hagerty, and Councilmember Woestehoff participated in the tree planting in May. She stated that in June she attended an energy awareness event at Connexus and provided an update.

Board Member Hagerty apologized that he was unable to attend the June meeting and forgot to provide that notice to staff. He asked for an update on a native planting that was done last year.

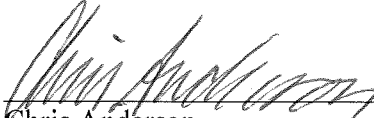
Senior Planner Anderson commented that planting was not as successful as had been hoped and provided additional details on the potential reasons. He also provided an update on Ash Tree removals.

7. ADJOURNMENT

Motion by Board Member Salami and seconded by Board Member Hagerty to adjourn the meeting.

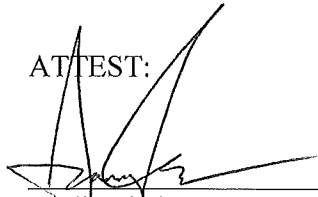
The meeting adjourned at 7:27 p.m.

Respectfully submitted,



Chris Anderson
Senior Planner

ATTEST:



Abdi Sahal
Planning Administrative Assistant

Drafted by Amanda Staple
TimeSaver Off Site Secretarial, Inc.

Environmental Policy Board (EPB)**Meeting Date:** 08/19/2024**Primary Strategic Plan Initiative:** Promote economic growth and development.**Information****Title:**

Consider Natural Resources Aspects for Parkside Townhomes Preliminary Plat

Purpose/Background:

The City has received an application from Ramsey at COR LLC (the "Applicant") for Preliminary Plat review of a proposed townhome development located on the block bordered by Rhinestone Street, Traprock Street, 146th Avenue, and Ramsey Parkway (the "Subject Property"). The purpose of this case is to review the Landscape Plan and other natural resources aspects of the project. Environmental Policy Board (EPB) members may recall this project from early in 2023. Parkside Townhomes actually received Preliminary Plat approval. However, the Applicant withdrew the application for Final Plat consideration to work through some items with his builder. Preliminary Plat approval is only valid for one (1) year, and by the time the Applicant was ready to move forward again, that approval had expired.

Time Frame/Observations/Alternatives:**Project Summary**

The Subject Property is located within the COR District and, more specifically, the COR-4b neighborhood subdistrict. This zoning district allows a density of up to fifteen (15) units per acre. The project includes sixty-eight (68) townhome units across approximately 5.04 acres, which equates to a net density of 13.5 units per acre. The Subject Property was actually originally platted as Ramsey Town Center 7th Addition in the mid-2000s, but due to the housing crash, the former property owner did not complete construction of townhomes on the Subject Property. The current preliminary plat is aligned very similarly to the existing property boundaries.

Natural Resources Inventory

The City's Natural Resources Inventory (NRI) does not identify any native plant communities on the Subject Property. The Minnesota Land Cover Classification System (MLCCS) categorizes the entire Subject Property as urban with little vegetative cover.

Wetlands and Floodplains

Per the National Wetland Inventory (NWI), there are no wetlands on the Subject Property. Also, per FEMA's Flood Insurance Rate Maps (FIRM), there are no floodplains on the Subject Property either.

Drinking Water Supply Management Area

The Subject Property is within a Drinking Water Supply Management Area (DWSMA), as is the majority of The COR subdivision. Furthermore, much of the Subject Property is within a 10-year capture zone (again, as is much of the COR subdivision). Thus, the project is not eligible to provide onsite stormwater infiltration. Rather, the project will have to make a financial contribution to the City's Infiltration Fund, which helps offset the cost of a City-installed infiltration basin serving the entire COR subdivision (this is located in the southeast corner of The COR, abutting Ramsey Boulevard and the BNSF railroad tracks and outside the DWSMA)

Tree Inventory and Preservation Plan

A Tree Inventory and Preservation Plan was included. While there are some trees on site, almost all do not meet the criteria of a significant tree (as defined in City Code). Additionally, most of these 'scrub' trees are Siberian Elm. The inventory only identified two (2) significant trees, both of which are located on the vacant land on the north side of 146th Avenue (also owned by the Applicant and will eventually be platted/developed, just not at this

time).

Landscape Plan

The Landscape Plan includes a mix of deciduous and evergreen trees and shrubs. All species are acceptable or preferred per the Ramsey Tree Book. The Landscape Plan includes both boulevard trees, which are emphasized in The COR Design Framework, and plantings internal to the project. There were only a couple minor revisions that Staff requested. These include adding a note to the Plant Schedule specifying that River Birch shall be in the form of a single stem, rather than the more common clump form, when planted in the boulevard (clump form is acceptable for plantings internal to the site) and adding a note that the irrigation system must include some form of water efficient technology (such as a smart controller). The Landscape Plan is generally acceptable, with the necessary corrections noted on the plan sheets.

Funding Source:

All costs associated with this application are the responsibility of the Applicant.

Recommendation:

Staff recommends approving the Landscape Plan, contingent upon compliance with Staff's review comments.

Outcome/Action:

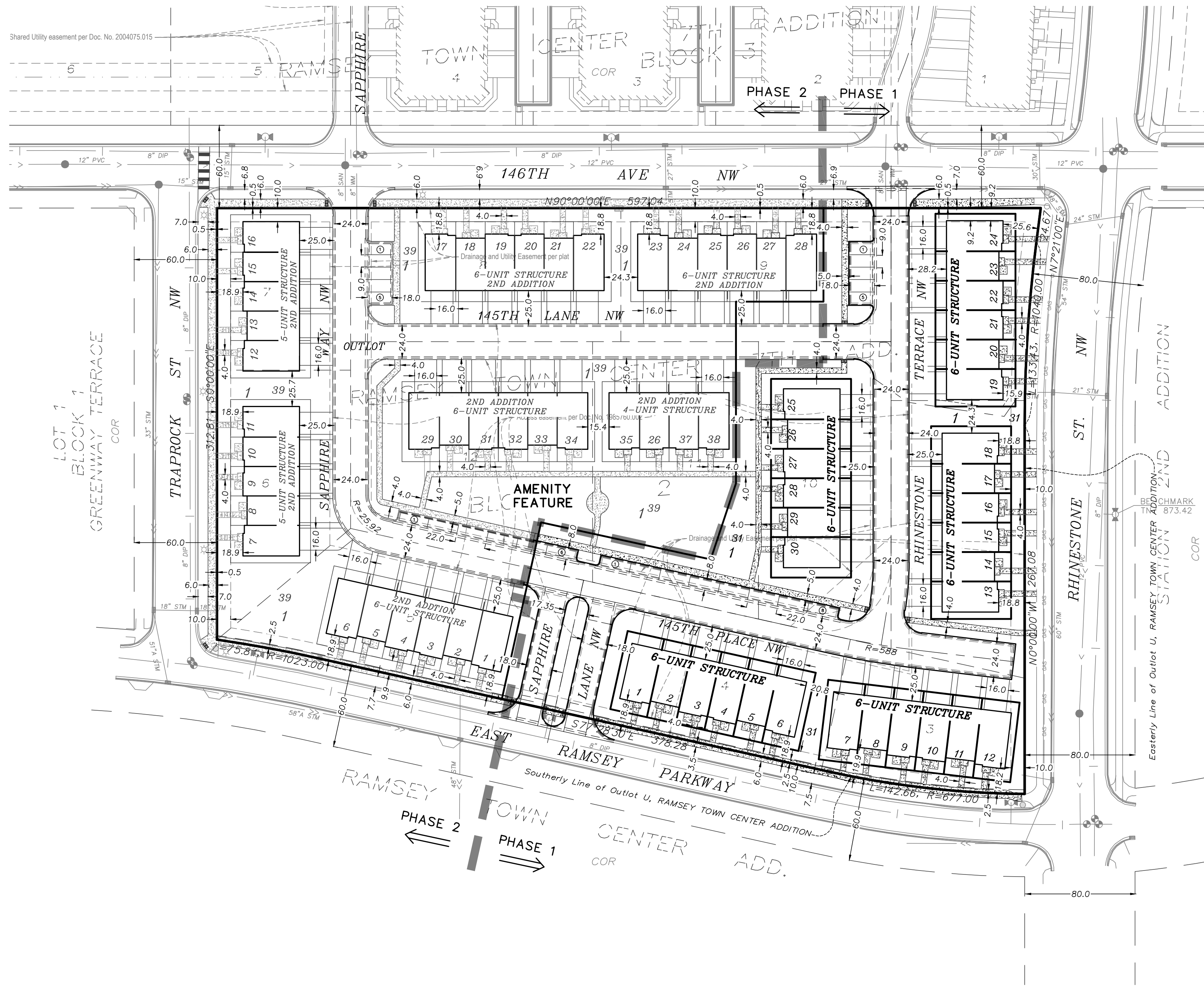
Motion to recommend approval of the Landscape Plan, contingent upon compliance with Staff's review comments.

Attachments

- Site Location Map
- Preliminary Plat
- Site Plan and Phasing Plan
- Tree Inventory and Preservation Plan
- Landscape Plan with Comments

Form Review

Inbox	Reviewed By	Date
Brian Hagen	Brian Hagen	08/15/2024 10:44 AM
Form Started By: Chris Anderson		Started On: 08/08/2024 03:50 PM
Final Approval Date: 08/15/2024		



Shared Utility easement per Doc. No. 2004075.015

SURVEY DATA

SURVEY INFORMATION PROVIDED BY:
 LANDFORM
 105 SOUTH FIFTH AVE. S
 MINNEAPOLIS, MN 55401

DATED: 08/09/2021

BENCHMARK: EAST SIDE RHINESTONE STREET NW 2ND
 HYDRANT SOUTH OF COUNTY ROAD #116
 ELEVATION=873.42

EXISTING LEGAL DESCRIPTION

LOTS 1-12, BLOCK 2,
 RAMSEY TOWN CENTER 7TH ADDITION
 ANOKA COUNTY, MINNESOTA.

EXISTING ZONING

COR, THE COR

SITE DATA

TOTAL AREA = 219,440 SF = 5.04 AC
 EXISTING TOTAL IMPERVIOUS AREA: 0.00%
 PROPOSED NEW IMPERVIOUS AREA: 140,316 SF (3.22 AC)
 PERCENT NEW IMPERVIOUS AREA: 63.9%
 (140,316 SF / 219,440 SF)
 PERCENT TOTAL IMPERVIOUS AREA: 63.9%
 (140,316 SF / 219,440 SF)

NOTE:

- EXISTING DRAINAGE AND UTILITY EASEMENTS PER EXISTING PLAT TO BE VACATED.
- PROPOSED LOT 31, BLOCK 1 (PHASE 1), AND LOT 39, BLOCK 1 (PHASE 2) ARE TO BE DRAINAGE AND UTILITY EASEMENT OVER ENTIRE LOT.

MINIMUM LOT REQUIREMENTS

LOT DEPTH 58 FT
 LOT WIDTH 20 FT

BUILD TO REQUIREMENT

BUILDINGS MUST BE WITHIN 20' OF RIGHT OF WAY

DRIVEWAYS

MINIMUM LENGTH 25 FT
 MAX. WIDTH 20 FT

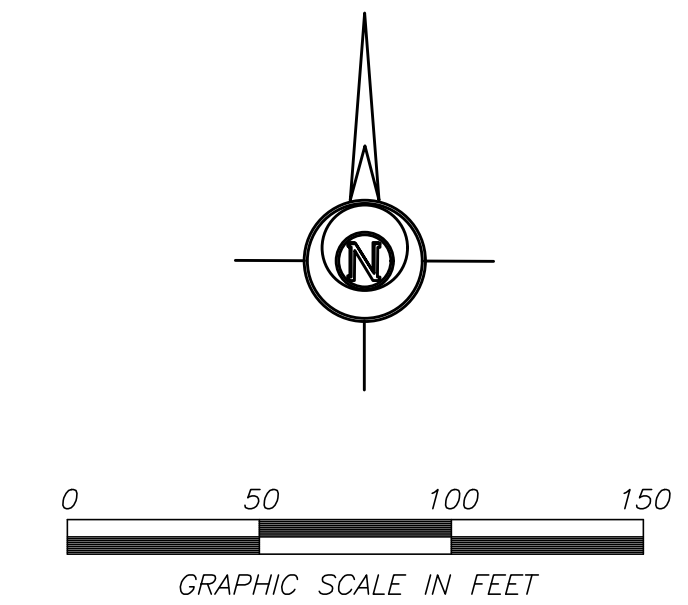
PROPOSED DENSITY

68 UNITS / 5.04 AC = 13.5 UNITS/AC

PROPOSED PHASE SCHEDULE

PHASE 1: YEARS: 2024-2025
 UNITS 1-30 (30 UNITS)

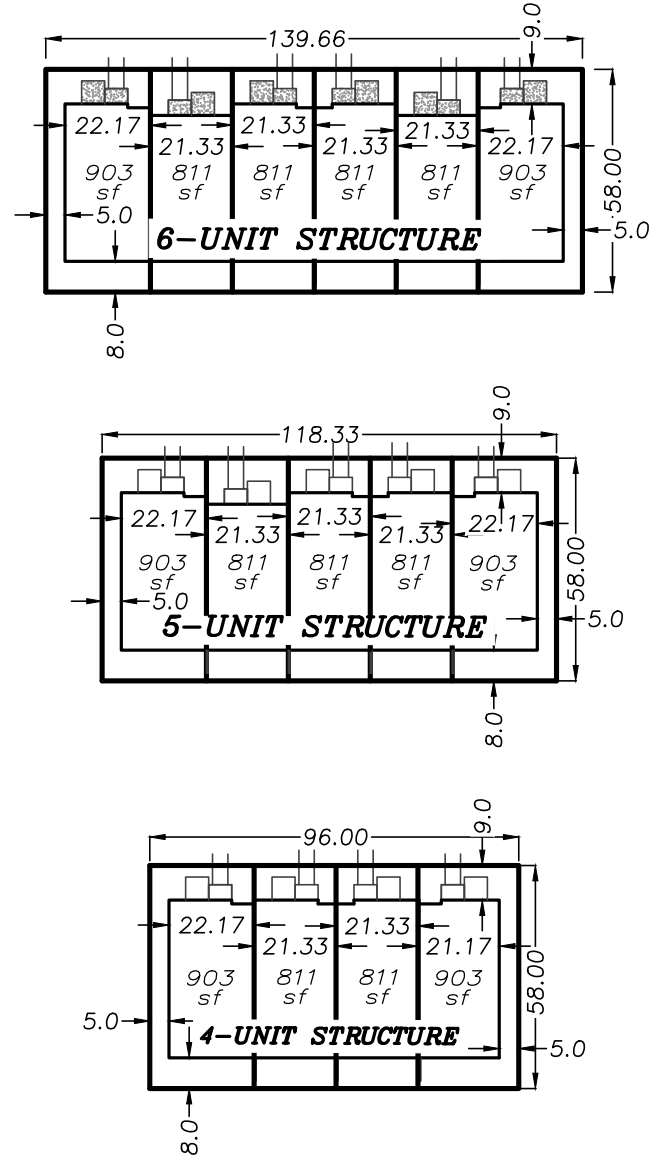
PHASE 2: YEARS: 2025-2026
 UNITS 1-38 (38 UNITS)



LEGEND:

— 908 —	Existing Contours
>>	Existing Storm Sewer
x 908.2	Existing Spot Elevation
<<	Existing Storm Sewer
<	Existing Sanitary Sewer
— MM —	Existing Watermain Sewer
— T —	Existing Underground Telephone
— E —	Existing Underground Electric
—	Existing Tree Line
- - -	Existing Easement Line
- - -	Existing R/w Line
- - -	Existing Boundary Line
—	Existing Catch Basin
—	Existing Manhole
—	Existing Hydrant
—	Existing Flared End Section
—	Proposed Curb And Gutter Standard
—	Proposed Curb And Gutter Tip-out
—	Proposed Concrete Valley Gutter
—	Proposed Concrete Light Duty Sidewalk
—	Propose Lot Line
—	Proposed Project Phase Line

TYPICAL LOT DIMENSION LAYOUT



INDEX OF CIVIL SITE DRAWINGS:

- C0 PROJECT LOCATION PLAN
- C1 PRELIMINARY PLAT
- C2 GRADING & DRAINAGE PLAN
- C3 SANITARY & WATER UTILITY PLAN
- C4 STORM SEWER UTILITY PLAN
- C5 SWPPP
- C6 EXISTING CONDITIONS & REMOVAL PLAN
- C7.1-7.2 PROFILES
- C8.1-C8.3 DETAILS

OWNER/DEVELOPER:
COR AT RAMSEY LLC
 PO Box 302
 Excelsior, MN 55331

Jason Palmby
 612-220-6641
 jason@palmby.com

PARKSIDE TOWNHOMES
 Development Project

145th Lane NE
 Ramsey, Minnesota 55303

PRELIMINARY PLAT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

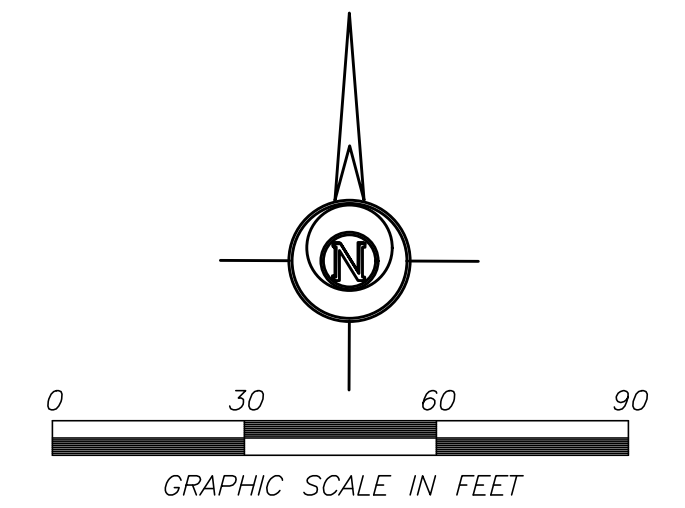
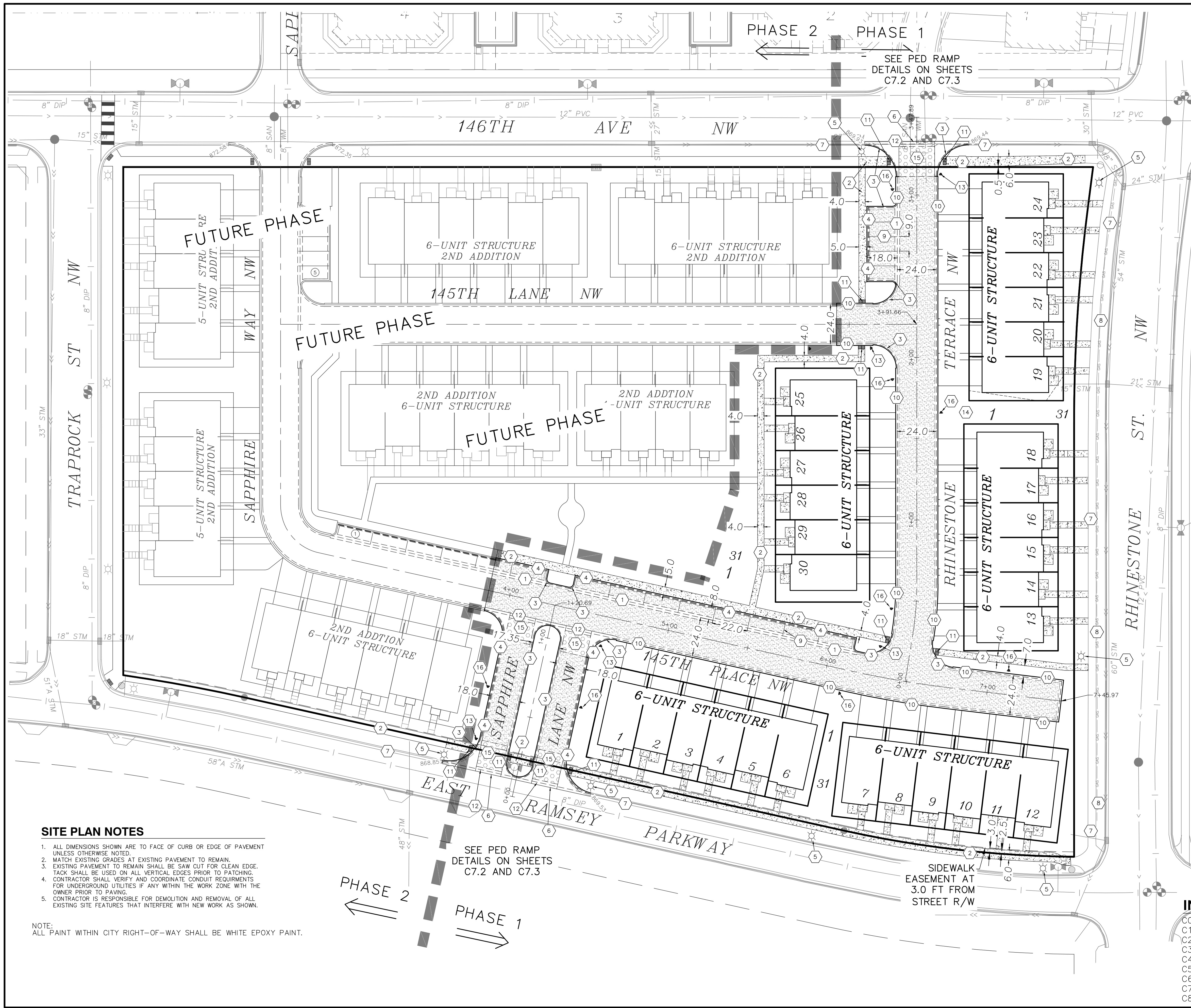
DATE: 07/15/24 Reg. No. 24348
 PREPARED BY: CIVIL ENGINEERING SITE DESIGN
 116 East Broadway St.
 Monticello, Mn 55362
 Phone: 763-314-0929
 www.civilsco.com

REVISIONS	DATE	BY	DESCRIPTION
02/10/23 CITY COMMENTS			
5/13/24 REUSE BUILDING PER OWNER			
2/15/24 REUSE PHASE LINE			

DATE 01/16/23	DRAWN BY SD	DESIGNED BY SD	CHECKED BY SD
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FILE NO. 00866

C1
 Preliminary Plat



LEGEND:

- 908 — Existing Contours
- - - Existing Storm Sewer
- x 908.2 Existing Spot Elevation
- - - Existing Storm Sewer
- - - Existing Sanitary Sewer
- - - Existing Watermain Sewer
- - - Existing Underground Telephone
- - - Existing Underground Electric
- - - Existing Tree Line
- - - Existing R/W Line
- - - Existing Boundary Line
- Existing Catch Basin
- Existing Manhole
- ▲ Existing Hydrant
- ▽ Existing Flared end Section
- - - PROPOSED CURB AND GUTTER STANDARD
- - - PROPOSED CURB AND GUTTER TIP-OUT
- ▨ PROPOSED CONCRETE LIGHT DUTY
- ▩ PROPOSED CONCRETE HEAVY DUTY
- ▧ PROPOSED BITUMINOUS
- ☼ PROPOSED STREET LIGHT LOCATIONS

SURVEY DATA

SURVEY INFORMATION PROVIDED BY:
 LANDFORM
 105 SOUTH FIFTH AVE.
 MINNEAPOLIS, MN 55401

BENCHMARK: Top Nut Hydrant, East side Rhinestone Street NW, 2nd Hydrant South of County Road 116 = 873.42

KEY NOTES:

- 1 3 FT CONCRETE VALLEY GUTTER (SEE DETAIL)
- 2 CONCRETE PAVEMENT LIGHT DUTY; 4,500 PSI MIX; SEE SECTION ON DETAIL SHEET
- 3 B612 (6") CONCRETE CURB & GUTTER MIX 3F32 FOR MACHINE PLACEMENT (MnDOT 2461) MIX 3F52 FOR MANUAL PLACEMENT (MnDOT 2461)
- 4 B612 (6") CONCRETE OUTFLOW CURB & GUTTER (TIP-OUT FLOWLINE) MIX 3F32 FOR MACHINE PLACEMENT (MnDOT 2461) MIX 3F52 FOR MANUAL PLACEMENT (MnDOT 2461)
- 5 STREET LIGHT PER CITY REQUIREMENTS; SEE PLAN SHEET C8.1
- 6 SAWCUT AND REMOVE EXISTING BITUMINOUS FOR CLEAN EDGE (REPLACE BITUMINOUS IN-KIND)
- 7 EXISTING CURB, SIDEWALK & PAVEMENT TO REMAIN
- 8 EXISTING UTILITIES TO REMAIN IN PLACE. CONTRACTOR TO PROTECT
- 9 PAINT 4" SOLID STRIPE - WHITE LATEX PAINT
- 10 D412 MODIFY (3") CONCRETE CURB & GUTTER MIX 3F32 FOR MACHINE PLACEMENT (MnDOT 2461) MIX 3F52 FOR MANUAL PLACEMENT (MnDOT 2461)
- 11 PED RAMP TO COMPLY WITH AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS. REFERENCE MNDOT STANDARD PLAN 5-297.250 INCLUDING CONTRASTING DETECTABLE WARNING DEVICES. DEPRESS BACK OF CURB AT RAMP. CONTRACTOR TO RESTORE SIDEWALK TO MATCH EXISTING PAVEMENT SECTION.
- 12 CROSS GUTTER (SEE DETAIL)
- 13 STOP SIGN AND STREET NAME SIGN PER CITY REQUIREMENTS; SEE PLAN SHEET 8.1
- 14 LANDSCAPE IRRIGATION SERVICE AND CONTROL LOCATION
- 15 HEAVY DUTY CONCRETE
- 16 NO PARKING SIGN PER CITY REQUIREMENTS; SEE PLAN SHEET C8.1

INDEX OF CIVIL SITE DRAWINGS:

- C0 PROJECT LOCATION PLAN
- C1.1-1.2 OVERALL LAYOUT, NOTES, SERVICE DATA
- C2.1-2.2 SANITARY AND WATER UTILITY PLANS
- C3.1-3.2 STORM SEWER AND STREET PLANS
- C4.1 GRADING AND DRAINAGE PLAN
- C5.1 STORM WATER POLLUTION PREVENTION PLAN
- C6.1 EXISTING CONDITIONS AND REMOVAL PLAN
- C7.1-C7.4 DETAILS
- C8.1 LIGHTING AND SIGN PLAN

SITE PLAN NOTES

1. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
2. MATCH EXISTING GRADES AT EXISTING PAVEMENT TO REMAIN.
3. EXISTING PAVEMENT TO REMAIN SHALL BE SAW CUT FOR CLEAN EDGE. TACK SHALL BE USED ON ALL VERTICAL EDGES PRIOR TO PATCHING.
4. CONTRACTOR SHALL VERIFY AND COORDINATE CONDUIT REQUIREMENTS FOR UNDERGROUND UTILITIES IF ANY WITHIN THE WORK ZONE WITH THE OWNER PRIOR TO PAVING.
5. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL EXISTING SITE FEATURES THAT INTERFERE WITH NEW WORK AS SHOWN.

NOTE:
 ALL PAINT WITHIN CITY RIGHT-OF-WAY SHALL BE WHITE EPOXY PAINT.

OWNER:
COR AT RAMSEY LLC
 PO Box 302
 Excelsior, MN 55331

Jason Palmby
 612-220-6641
 jason@palmby.com

PARKSIDE TOWNHOMES (PHASE 1) DEVELOPMENT PROJECT

145th Lane NE
 Ramsey, Minnesota 55903

OVERALL LAYOUT & SITE PLAN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Date: 07/15/24 Reg. No. 24348

PREPARED BY: **CIVIL ENGINEERING SITE DESIGN**
 116 East Broadway St.
 Monticello, Mn 55362
 Phone: 763-314-0929
 www.civilses.com

REVISIONS	DATE	BY	SCALE
04/20/23 CITY COMMENTS	04/27/23	SD	1 inch = 10 feet
04/27/23 ADD LIGHTING AND SIGN PLAN C8.1			
06/13/24 REVISED BUILDING PER OWNER			
07/15/24 REVISED PHASE LINE			

DATE	04/06/23	DRAWN BY	SD	DESIGNED BY	SD	CHECKED BY	SD
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FILE NO. 00866

C1.1
 Overall Layout & Site Plan

Town Center Tree Survey

Project Location-Ramsey, MN

Legend



Google Earth

1000 ft



Town Center Tree Survey

Tree Survey Results

Legend

Tree 02

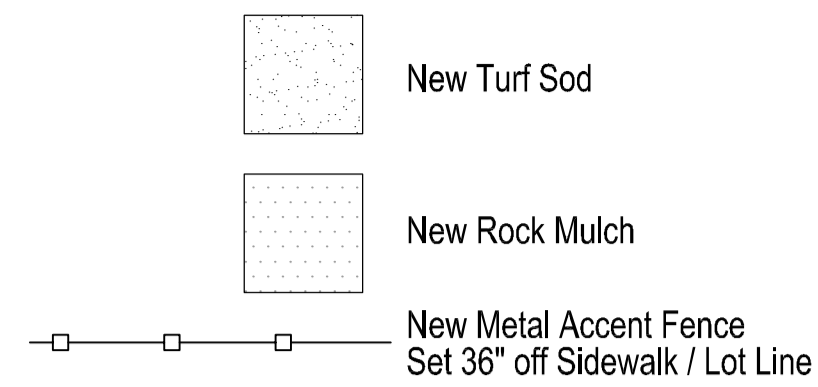
Tree 01

Google Earth

400 ft



LANDSCAPE LEGEND:



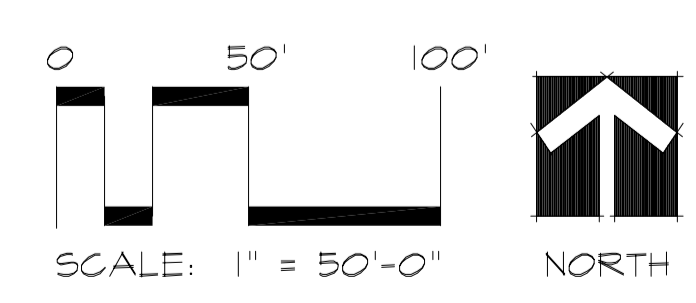
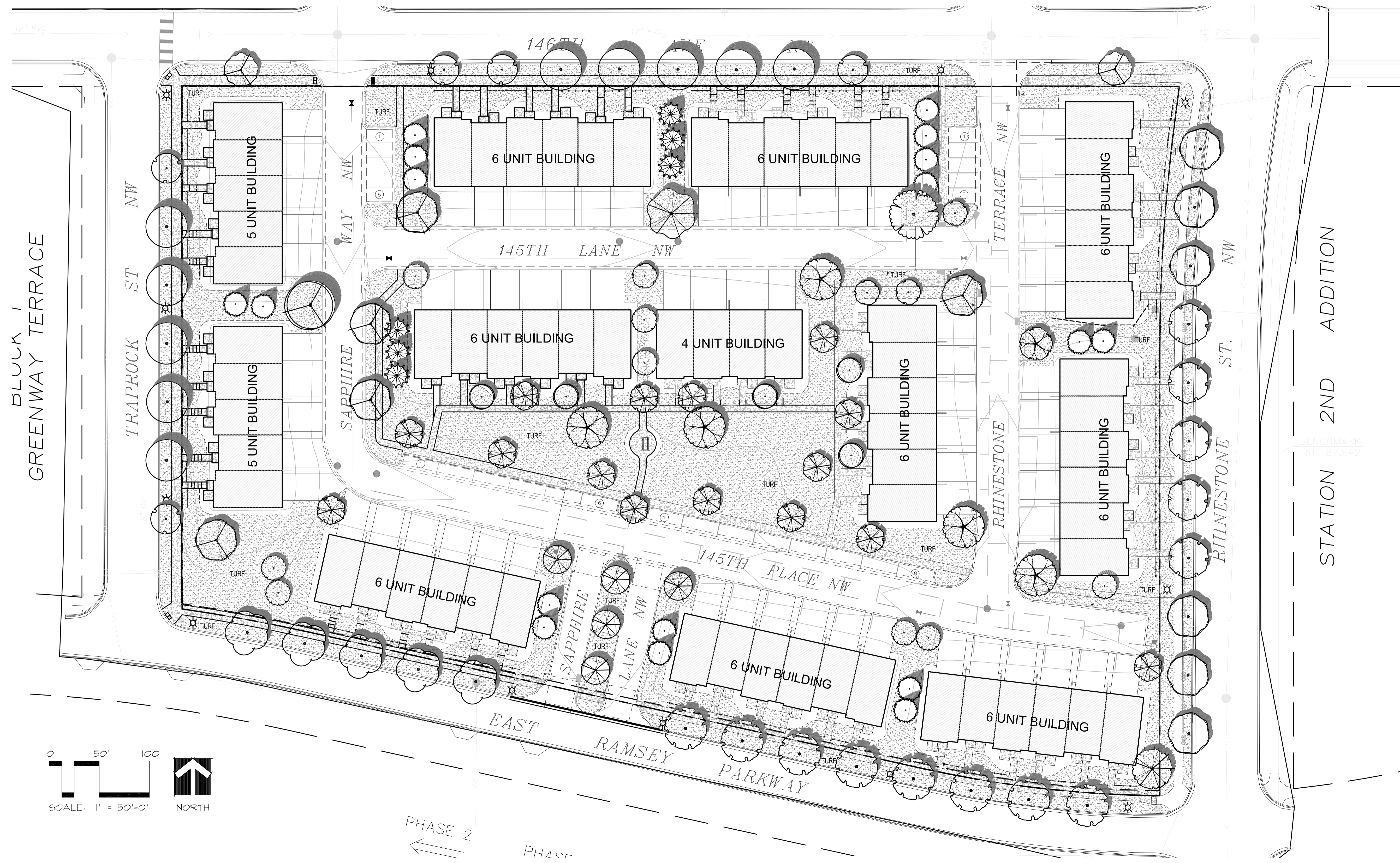
MUNICIPAL LANDSCAPE CALCULATIONS:

Minimum Planting Sizes
Coniferous Trees: 5' Hgt.
Ornamental Trees: 1.0" Cal.
Shade/Deciduous Island Trees: 1.0" Cal.
Shade/Deciduous Overstory Trees: 1.0" Cal.
Deciduous Shrubs: 24"

City of Ramsey R-3 Residential Units:
 One Overstory Tree Per 50 Feet of Street Frontage
 (1,650LF) Internal Roads X2 (Double-Loaded) / 50
 Development Trees Provided: 75

GENERAL NOTES:

- Landscape contractor to provide a new irrigation layout plan for the property. See Landscape Notes.
- See Civil Engineer's plans for grading layout and requirements
- Contractor to coordinate any work in the right-of-way with City of Ramsey Public Works Department.
- Sod all disturbed areas except plant beds and areas noted to receive mulch.
- Place a minimum of 4" topsoil, with not more than 35% sand content. Topsoil inspection is required prior to installing sod and trees.
- Refer to builder's specifications for additional requirements.
- See Sheets L1.2 + L1.3 for Landscape Details, Notes, Schedules, and Foundation Planting Enlargements.
- Landscape contractor is responsible for verification of soils and graded condition prior to mobilization and shall notify the General Contractor if earthwork is not acceptable. Landscape contractor is responsible for fine grading, or grade down within 1" of final set elevation.



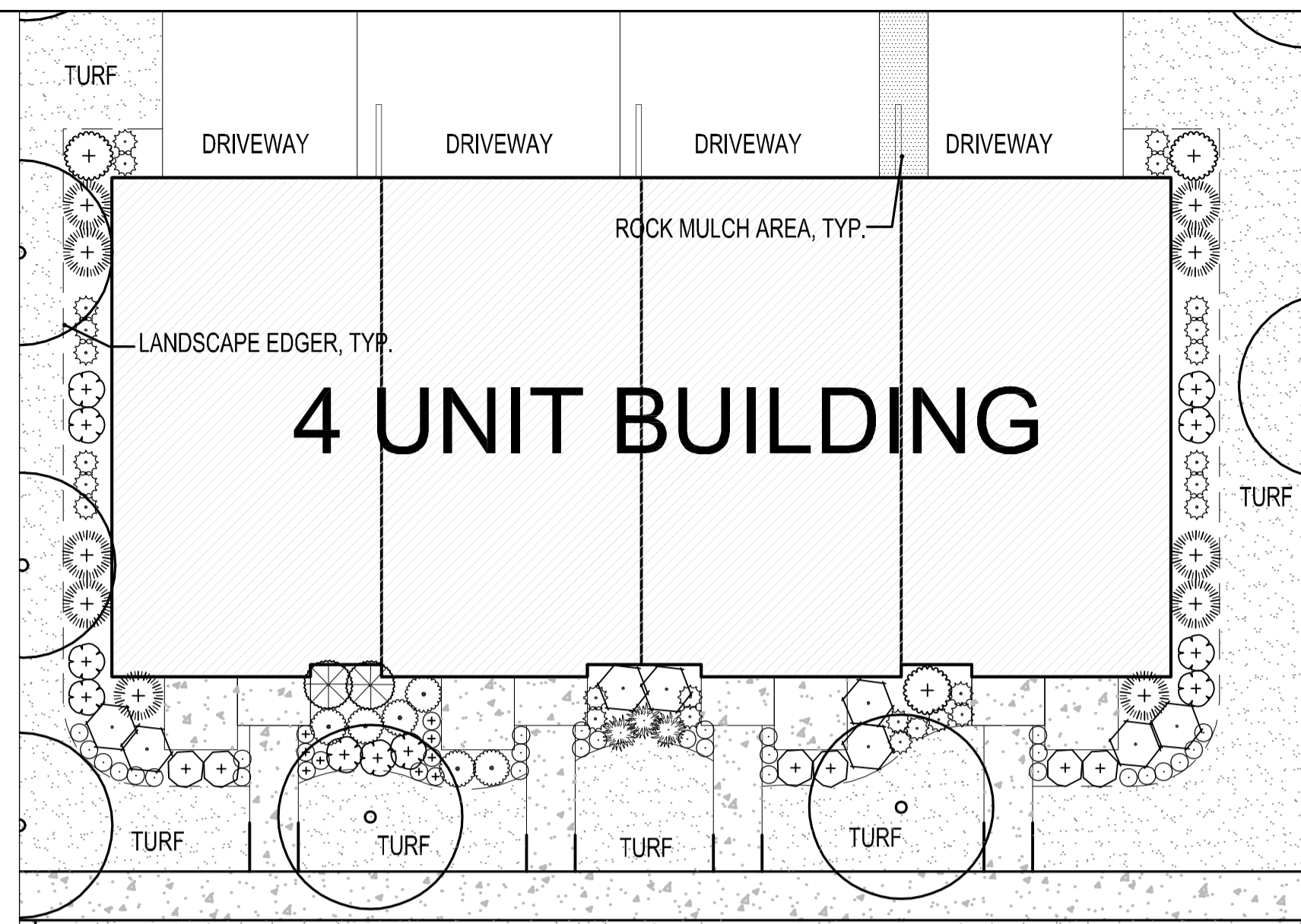
CALYX DESIGN GROUP
 Landscape Architecture - Planning
 475 Cleveland Ave. N | Suite 101A | Saint Paul, MN 55104
 telephone: 651.788.9018
 internet: www.calyxdesigngroup.com

PRELIMINARY

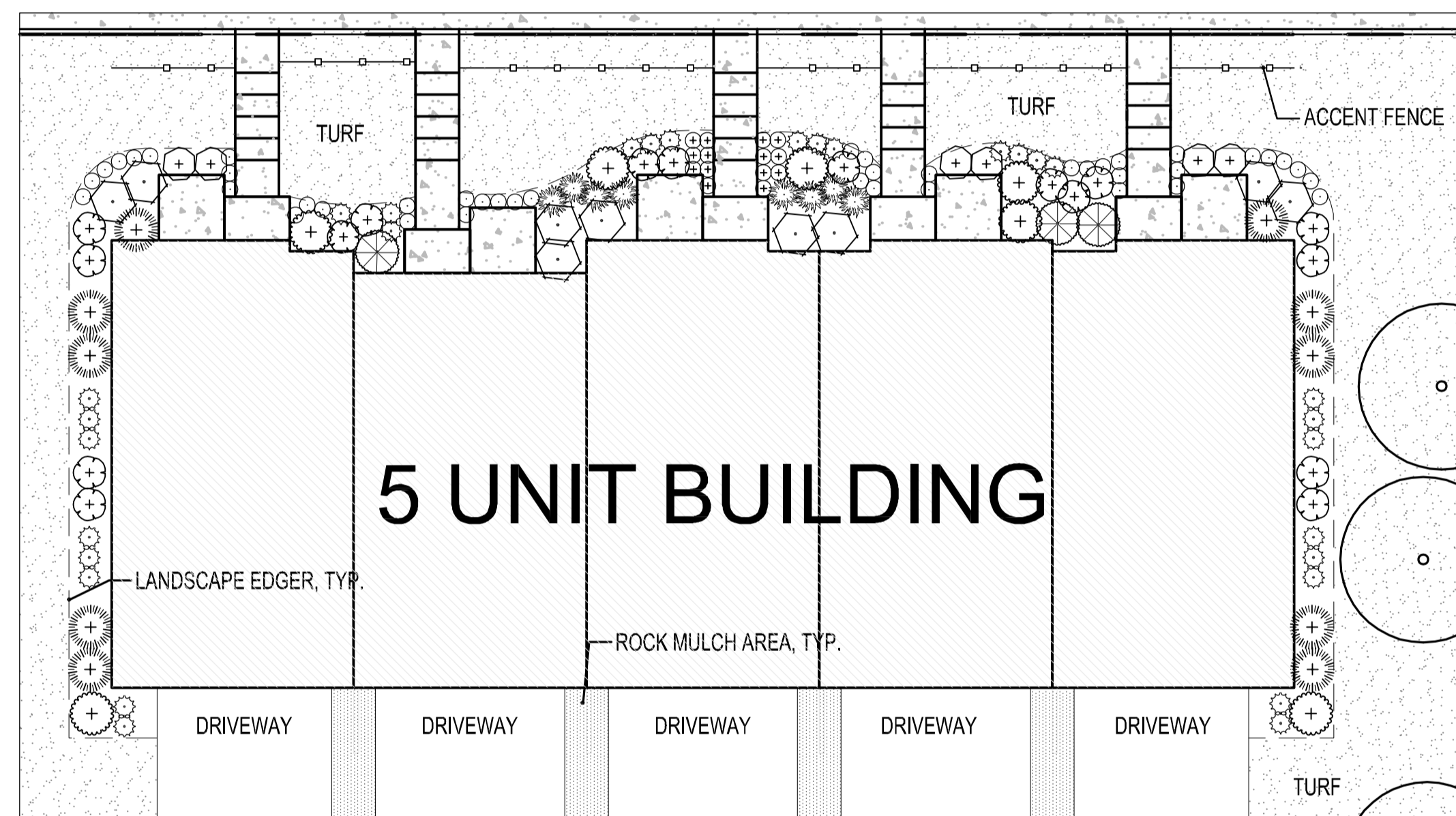
PARKSIDE TOWNHOMES
 RAMSEY, MINNESOTA
LANDSCAPE LAYOUT PLAN
 FOR
COR AT RAMSEY LLC
 3313 LAKESHORE COURT, CHASKA, MN 55318

DRAWN BY	
BH	
DATE	
01/17/2023	
REVISIONS	
02/10/23	CITY COMMENTS
04/28/23	CITY COMMENTS
07/18/24	REV. SITE PLAN
PROJECT NO.	
22-164	
L1.1	

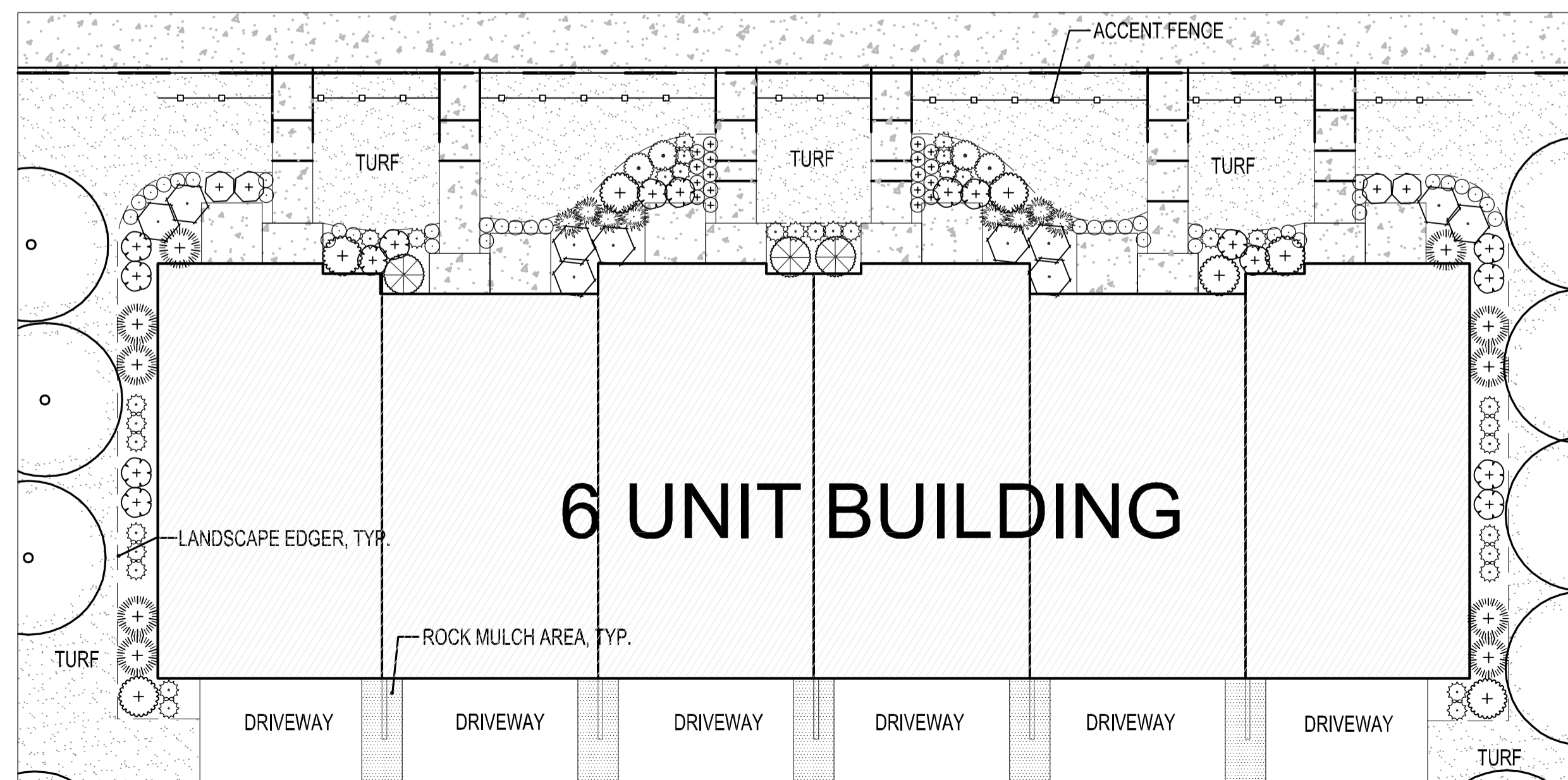




TYPICAL 4 UNIT FOUNDATION PLANTING PLAN:



TYPICAL 5-UNIT FOUNDATION PLANTING PLAN:



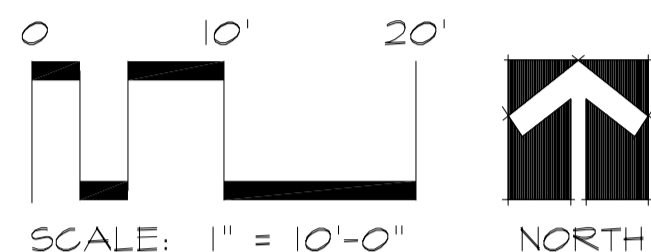
TYPICAL 6-UNIT FOUNDATION PLANTING PLAN:



GENERAL NOTES:

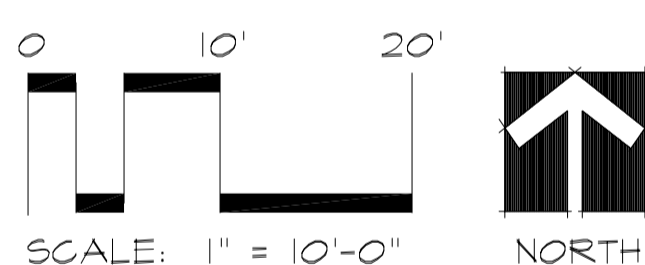
1. Landscape contractor to provide a new irrigation layout plan for the property. See landscape note #17.
2. See Civil Engineer's plans for grading layout and requirements
3. Contractor to coordinate any work in the right-of-way with City of Ramsey Public Works Department.
4. Sod all disturbed areas except plant beds and areas noted to receive mulch.
5. Place a minimum of 4" topsoil, with not more than 35% sand content. Topsoil inspection is required prior to installing sod and trees.
6. Refer to builder's specifications for additional requirements.
7. See Sheet L.1.1 for development landscape layout plan.
8. Landscape contractor is responsible for verification of soils and graded condition prior to mobilization and shall notify the General Contractor if earthwork is not acceptable. Landscape contractor is responsible for fine grading, or grade to within 1" of final set elevation.

REFER TO LAYOUT PLAN SHEETS FOR TREE LOCATIONS

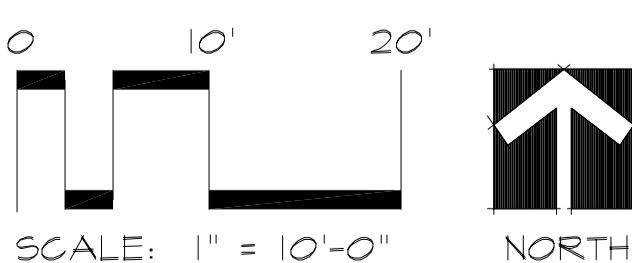


LANDSCAPE LEGEND:

- New Turf Sod
- New Rock Mulch
- New Metal Accent Fence Set 36" off Sidewalk / Lot Line



REFER TO LAYOUT PLAN SHEETS FOR TREE LOCATIONS



PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
CONNECTOR STREET TREES						
	GS	Gleditsia triacanthos inermis 'Skyline'	Skyline Honey Locust	1.5" Cal.	B&B	6
	QB	Quercus bicolor	Swamp White Oak	1.5" Cal.	B&B	5
EVERGREEN TREES						
	PD	Picea glauca 'Densata'	Black Hills Spruce	5' Ht.	B&B	17
	SP	Pinus sylvestris	Scotch Pine	5' Ht.	B&B	6
LOCAL STREET TREES						
	BR2	Betula nigra	River Birch	1.5" Cal.	B&B	10
	MS2	Malus x 'Spring Snow'	Spring Snow Crabapple	1" Cal.	B&B	2
	SR	Syringa reticulata	Japanese Tree Lilac	1" Cal.	B&B	5
ORNAMENTAL TREES						
	CC	Crataegus laevigata 'Crimson Cloud'	Crimson Cloud Hawthorn	1" Cal.	B&B	4
	MS	Malus x 'Spring Snow'	Spring Snow Crab Apple	1" Cal.	B&B	15
	SI	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	1" Cal.	B&B	5
OVERSTORY TREE						
	AR	Acer rubrum	Red Maple	2" Cal.	B&B	1
	AS	Acer x freemanii 'Sienna'	Sienna Glen Maple	1.5" Cal.	B&B	1
	BR	Betula nigra	River Birch	1.5" Cal.	B&B	5
	BF	Betula platyphylla 'Fargo'	Dakota Pinnacle® Asian White Birch	1.5" Cal.	B&B	5
	CO	Celtis occidentalis	Common Hackberry	2" Cal.	B&B	1
	GI	Gleditsia triacanthos inermis 'Skycole'™	Skyline Thornless Honey Locust	1.5" Cal.	B&B	5
	QE	Quercus ellipsoidalis	Northern Pin Oak	1.5" Cal.	B&B	1
	QC	Quercus robur x alba 'Crimschmidt'	Crimson Spire™ Oak	1" Cal.	B&B	8
	QR	Quercus rubra	Northern Red Oak	1.5" Cal.	B&B	1
PARKWAY STREET TREES						
	AS2	Acer x freemanii 'Sienna'	Sienna Glen® Maple	1.5" Cal.	B&B	8
	UV	Ulmus americana 'Valley Forge'	Valley Forge American Elm	1.5" Cal.	B&B	5
SHRUBS						
	Am	Aronia melanocarpa 'Morton'™	Iroquis Beauty Black Chokeberry	5 gal. (Min. 24" Hgt.)	Pot	80
	Cr2	Clethra alnifolia 'Ruby Spice'	Ruby Spice Clethra	5 gal. (Min. 24" Hgt.)	Pot	187
	Cr	Cornus alba 'Regnzam'	Red Gnome Dogwood	5 gal. (Min. 24" Hgt.)	Pot	116
	DI	Diervilla lonicera	Dwarf Bush Honeysuckle	5 gal. (Min. 24" Hgt.)	Pot	48
	Jf	Juniperus chinensis 'Sea Green'	Sea Green Juniper	5 gal. (Min. 24" Hgt.)	Pot	120
	Sm3	Spiraea x bumalda 'Goldmound'	Gold Mound Spirea	5 gal. (Min. 24" Hgt.)	Pot	54
	T12	Thuja occidentalis 'Techny Globe'	Techny Globe Arborvitae	5 gal. (Min. 24" Hgt.)	Pot	35
ANNUALS/PERENNIALS						
	Hh	Hemerocallis x 'Happy Returns'	Happy Returns Daylily	1 gal.	Pot	24
	Hr	Hemerocallis x 'Ruby Stella'	Ruby Stella Daylily	1 gal.	Pot	223
	Ho	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	1 gal.	Pot	464
	Nr	Nepeta racemosa 'Walker's Low'	Catmint	1 gal.	Pot	127
GRASSES						
	Ck	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal.	Pot	463

1

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PRELIMINARY

PARKSIDE TOWNHOMES
 RAMSEY, MINNESOTA
LANDSCAPE DETAILS
 FOR
COR AT RAMSEY LLC
 3313 LAKESHORE COURT, CHASKA, MN 55318

DRAWN BY
BH

DATE
01/17/2023

REVISIONS

02/10/23	CITY COMMENTS
04/28/23	CITY COMMENTS
07/18/24	REV. SITE PLAN

PROJECT NO.
22-164

L1.2

1 - River Birch

Created by: Chris Anderson
On: 07/22/2024 04:27 PM

River Birch is acceptable in boulevard areas but it MUST be single stem. No clump plantings in the boulevard will be permitted. The clump form is acceptable for any plantings internal to the site. Please add note to Plant Schedule.

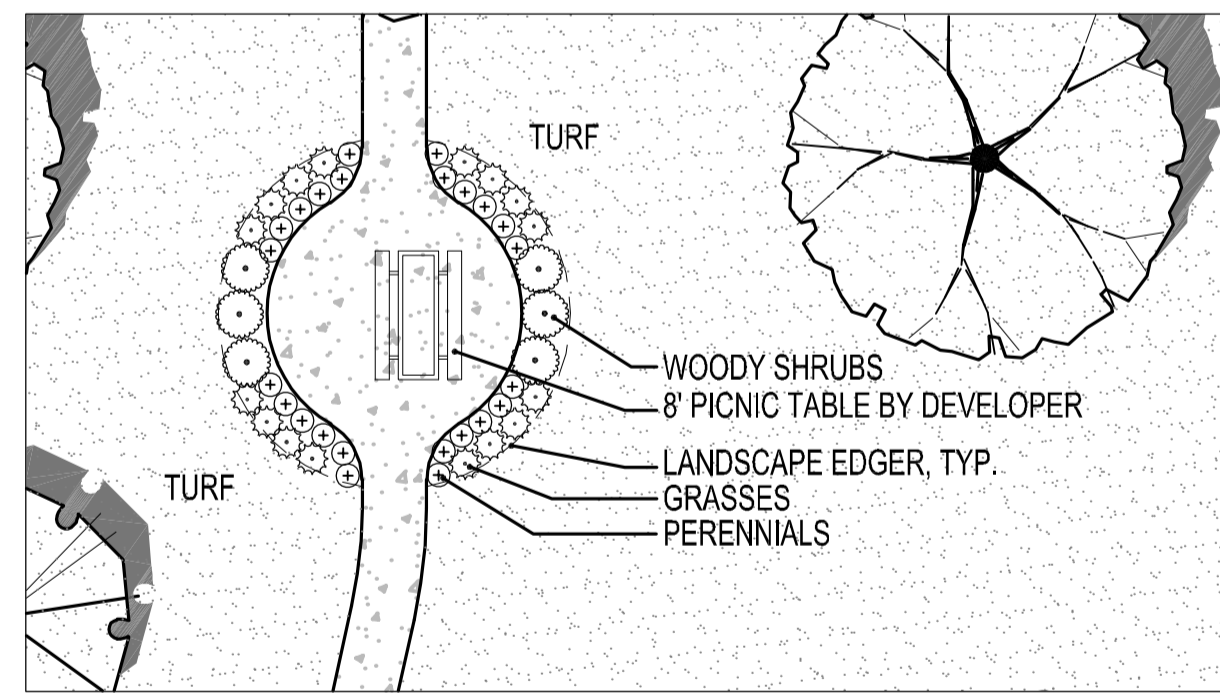
----- 0 Replies -----

LANDSCAPE NOTES + REQUIREMENTS:

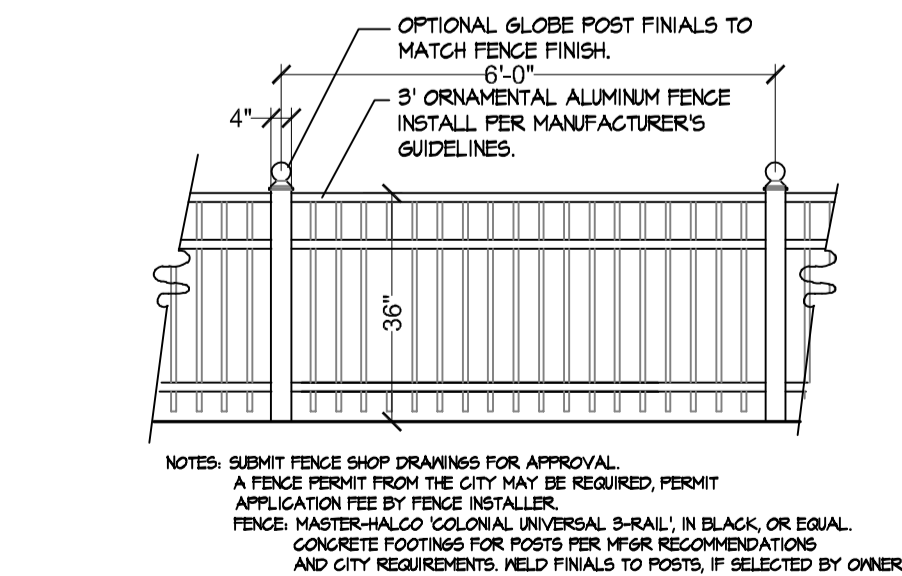
- Landscape contractor to provide nursery pull list (bill of lading) including plant species and sizes shipped to the site. Additionally, the landscape contractor shall provide nursery stock traceability, proving none of the materials provided contain or are genetic strains of the neonicotinoid family including acetamiprid, clothianidin, imidacloprid, nitenpyram, nithiazine, thiacloprid and thiamethoxam.
- Refer to civil plan sheets for grading, drainage, site dimensions, survey, tree removal, proposed utilities & erosion control.
- All plant material shall comply with the latest edition of the American Standard for Nursery Stock, American Association of Nurserymen. Unless noted otherwise, deciduous shrubs shall have at least 5 canes at the specified shrub height. Plant material shall be delivered as specified. All deciduous trees are measured at 48" from finished grade to determine tree diameter (DBH). All coniferous trees are measured from finished grade to the top of the central leader. If no central leader is present on coniferous trees, that plant is rejected and must be replaced immediately.
- Plan takes precedence over plant schedule if discrepancies in quantities exist.
- All proposed plants shall be placed as close to the location(s) indicated on the plan as possible. Contact the landscape architect if discrepancies arise during plant installation that require deviating location(s) from those shown on the plans.
- Adjustment in location of proposed plant material may be needed in field. Should an adjustment be required, the client will provide field approval. Significant changes may require city review and approval.
- The project landscape contractor shall be held responsible for watering and properly handling all plant materials brought on the site both before and after installation. Schedule plant deliveries to coincide with expected installation time within 36 hours.
- All plant materials shall be fertilized upon installation as specified.
- The landscape contractor shall provide the owner with a watering schedule appropriate to the project site conditions and to plant material growth requirements.
- If the landscape contractor is concerned or perceives any deficiencies in the plant selections, soil conditions, drainage or any other site condition that might negatively affect plant establishment, survival or guarantee, they must bring these deficiencies to the attention of the landscape architect & client prior to bid submission. Plant bed drainage concerns during plant installation shall be brought to the attention of the Owner and General Contractor immediately.
- Contractor shall establish to his/ her satisfaction that soil and compaction conditions are adequate to allow for proper drainage at and around the building site.
- Contractor is responsible for ongoing maintenance of all newly installed material for the duration of the plant warranty, with the exception of turf sod, which shall be maintained for 30 days after installation or until the first mowing, whichever comes first. Contractor must bag dippings from initial mowing and remove from the job site. Any acts of vandalism or damage which may occur prior to warranty start shall be the responsibility of the contractor. Contractor shall provide the owner with O&M information, including (but not limited to), written instructions on proper lawn mowing height, yearly lawn maintenance recommendations, proper plant pruning information, plant & lawn fertilization schedule, and disease/pest control.
- The contractor shall guarantee newly planted material through two calendar years from the date punch list review. Plants that exhibit more than 20% die-back damage shall be replaced at no additional cost to the owner. The contractor shall also provide adequate tree wrap and deer/rodent protection measures for the plantings during the warranty period.
- This layout plan constitutes our understanding of the landscape requirements listed in the ordinance. Changes and modifications may be requested by the city based on applicant information, public input, council decisions, etc.
- The landscape contractor shall be responsible for obtaining any permits and coordinating inspections as required throughout the work process.
- Plant size & species substitutions must be approved in writing by the City of Ramsey prior to installation.
- Irrigation: The landscape contractor shall furnish a complete irrigation layout plan for review. Design for head-to-head coverage of all landscaped areas. Include underground sleeve locations, irrigation connection location within the building, and locations of all heads, lateral lines, main lines, valves, & controls. Include a wired rain sensor per state plumbing code.
- Landscape Contractor is responsible for coordination with the General Contractor, to protect the new improvements on and off-site during landscape work activities. Report any damage to the General Contractor immediately.
- All plant beds and trees located outside of plant bed limits to receive Western Red Cedar wood mulch to a depth of 4-inches. Wood mulch tree rings per details. Submit mulch sample for Owner approval. Top dress wood mulch areas with Preen pre-emergent granule to prevent emergent weeds.
- Edger to be 16 GA Plated Finish Perforated Edger, Coyote or Equal. Stake every 18" minimum. Submit sample for approval.
- All planting areas shall be prepared prior to installation activities with clean, imported loam topsoil. Provide a firm planting bed free of stones, sticks, construction debris, etc.
- The Landscape Contractor shall furnish samples of all landscape materials for approval prior to installation.
- The Landscape Contractor shall clear and grub the underbrush from within the work limits to remove dead branches, leaves, trash, weeds and foreign materials.
- The landscape contractor shall contact Gopher State One Call no less than 48 hours before digging for field utility locations.
- The landscape contractor shall be responsible for the removal of erosion control measures once vegetation has been established to the satisfaction of the municipal staff. This includes silt curtain fencing and sediment logs placed in the landscape.
- The landscape contractor shall be responsible for visiting the site to become familiar with the conditions prior to bidding and installation. Coordinate with the general contractors on matters such as fine grading, landscaped area conditions, staging areas, irrigation connection to building, etc.
- Construction materials, stockpiles, equipment, and vehicles shall not be stored or operated on city boulevards without written permission from the city. Restore disturbed areas off-site to original condition.
- All sub-cut areas of the site that are designated on the site plan as open space for landscape shall be graded with imported, pulverized topsoil. Slope away from building. See note 29 below.
- Landscape contractor must prove the open sub-grade of all planting areas after their excavation is capable of infiltrating a minimum requirement of 1/4-inch of water per hour prior to installation of plant materials, topsoil, irrigation, weed mat, and mulch. Planting areas not capable of meeting this requirement shall have 4" diameter X 48" depth holes augured every 36" on-center and filled with MnDOT Free-Draining Coarse Filter Aggregate. Re-test sub-grade percolation for compliance to infiltration minimum requirement.
- Fencing (if noted) per Architect's Plans and Specifications.
- Grind or excavate existing stumps (if present) to 30" below grade & backfill with imported topsoil.
- Rock Mulch: Where noted on the plans, rock mulch shall be 3" depth of .75" dia. crushed buff limestone rock over 5oz, needle-punch free-draining landscape mat. Bryan Rock or equal. Overlap seams 6" and staple every 16" on-center.
- Landscape Contractor and Excavator shall be responsible for providing 4" depth topsoil under turf areas, 12" depth topsoil in plant beds and 24" in tree pits, with no more than 35% sand. See civil engineer's plans for grading, erosion control, and final grade elevations.

IRRIGATION NOTES + REQUIREMENTS:

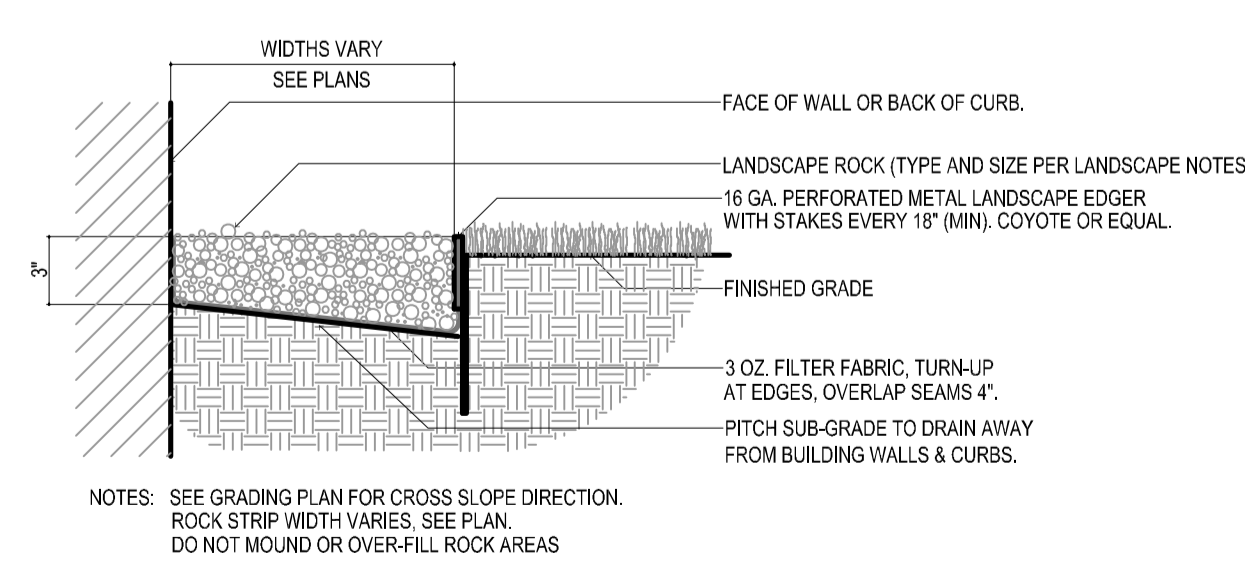
- LAYOUT WORK AS ACCURATELY AS POSSIBLE TO THE CONTRACTOR PROVIDED AND OWNER-APPROVED IRRIGATION LAYOUT PLANS. THE CONTRACTOR MAY MAKE MINOR ADJUSTMENTS TO THE LOCATION AND SPACING AS NECESSARY TO ACCOMMODATE ACTUAL CONDITIONS. HEAD LOCATIONS SHALL BE FLAGGED AND REVIEWED BY THE OWNER'S REP. PRIOR TO INSTALLATION.
- COORDINATE SLEEVING AND IRRIGATION PIPE / HEAD / INTERNAL PLUMBING INSTALLATION WITH THE WORK OF OTHERS.
- ALL MATERIALS SHALL BE INSTALLED AS DETAILED ON DRAWINGS. (HOWEVER, IF THE CONTRACT DRAWINGS AND/OR SPECIFICATIONS DO NOT THOROUGHLY DESCRIBE THE METHOD OR TECHNIQUES TO BE USED, THE CONTRACTOR SHALL FOLLOW THE INSTALLATION METHODS ISSUED BY THE MANUFACTURER. ALL SUCH LITERATURE MUST BE SUBMITTED 2 WEEKS PRIOR TO INSTALLATION FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT.)
- CHECK AND VERIFY ALL EXISTING AND PROPOSED SITE CONDITIONS, UTILITIES AND SERVICES PRIOR TO TRENCHING.
- LATERAL PIPING TO BE A MINIMUM OF 12 INCHES DEEP AND MAINLINES A MINIMUM OF 18 INCHES DEEP.
- ALL MAIN LINE PIPING AND LATERAL PIPE OF 1-1/2" AND LARGER SHALL BE PVC (SDR 26 / CLASS 160). ALL OTHER LATERAL PIPE OF 1-1/4" AND SMALLER MAY BE POLYETHYLENE, UNLESS OTHERWISE NOTED ON THE PLANS. BUILDING CONNECTIONS ARE TO BE COPPER. TRACER WIRE IS REQUIRED ON ALL MAIN AND LATERAL LINES. SLEEVE LOCATIONS ARE TO BE MARKED ON THE SIDEWALK OR CURB, SO THEY CAN BE FOUND AFTER FINE GRADING.
- ALL TEES AND ELBOWS ON MAIN LINES SHALL BE PVC (160 PSI).
- IRRIGATION EQUIPMENT SHALL HUNTER, RAINBIRD, OR TORO BRAND HEADS, VALVES, AND ROTORS AND MUST INCLUDE AN ATMOSPHERIC RAIN SENSOR, PER STATE CODE. OBTAIN A PERMIT FROM THE CITY OF RAMSEY FOR IRRIGATION WORK. INCLUDE PERMIT COST IN BID TO OWNER.
- ADJUST HEADS FOR GRADE, AS NECESSARY, AFTER TURF GRASS HAS BEEN ESTABLISHED AND ALL SETTLEMENT AT HEADS HAS OCCURRED.
- SUBMIT IRRIGATION PRODUCT DATA TO OWNER FOR REVIEW AND APPROVAL.
- USE TEFLON TAPE ON ALL THREADED JOINTS.
- CONDUCT PERFORMANCE TEST IN THE PRESENCE OF OWNER FOLLOWING COMPLETION OF SYSTEM INSTALLATION.
- CONDUCT AND DEMONSTRATE WINTERIZATION AND SPRING START-UP PROCESS TO OWNER IN THE FALL OF COMPLETION.
- IRRIGATION LINE LOCATIONS SUBJECT TO CHANGE IN THE FIELD, AS CONTRACTOR DEEMS NECESSARY.
- OVER-SPRAY OF THE IRRIGATION SYSTEM ON TO ADJACENT WALKS AND ASPHALT PAVING IS NOT ACCEPTABLE. DO NOT INSTALL ANY IRRIGATION EQUIPMENT OUTSIDE OF THIS PROPERTY LIMITS, UNLESS APPROVED BY THE CITY.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING A COMPLETE IRRIGATION LAYOUT PLAN SET AND SUBMITTING TO THE LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF FIELD INSTALLATION.
- SUBMIT LAYOUT PLAN AND PRODUCT DATA TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- IRRIGATION BID SHALL INCLUDE (1) FALL SHUT-DOWN AND (1) SPRING START-UP.
- PROVIDE THE OWNER WITH AN AS-BUILT PLAN, INCLUDING THE EXISTING SYSTEM AS WELL AS NEWLY INSTALLED MATERIALS.
- IRRIGATION CONTRACTOR TO VERIFY WATER PRESSURE FOLLOWING CONSTRUCTION OF THE BUILDING UTILITIES. ADJUSTMENT OF PIPE AND VALVE SIZES MAY BE REQUIRED, BASED ON ACTUAL GPM AND PSI AVAILABLE.
- PROVIDE A PRINTED 8.5X11 MAP OF ALL ZONES AFTER NEW CONTROLLER IS WIRED AND TESTED.
- IRRIGATION MECHANICALS TO INCLUDE DOMESTIC WATER BRASS OR BRONZE GATE (BALL) VALVE, DEDUCT WATER METER, IRRIGATION BACKFLOW DEVICE, AND BOTH A QUICK COUPLE VALVE IMMEDIATELY OUTSIDE THE FOUNDATION ON THE MAIN AND A BOILER DRAIN WITH RUBBER HOSE ROUTED TO FLOOR DRAIN, FOR WINTERIZATION.
- ALL IRRIGATION EQUIPMENT REQUIRED FOR OPERATION IS TO BE FURNISHED AND INSTALLED BY THE IRRIGATION CONTRACTOR AND THEIR LICENSED PLUMBING SUB-CONTRACTOR. THIS INCLUDES SLEEVING THROUGH FOUNDATION WITH WATERSTOPS, FOR IRRIGATION MAIN ROUTING TO THE LANDSCAPE.



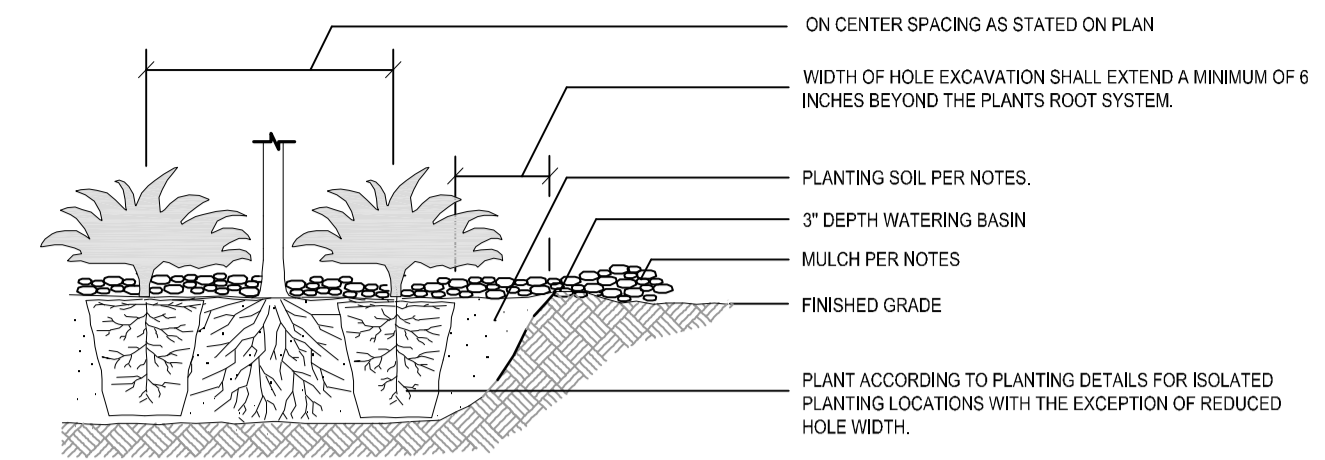
PICNIC AREA ENLARGEMENT:



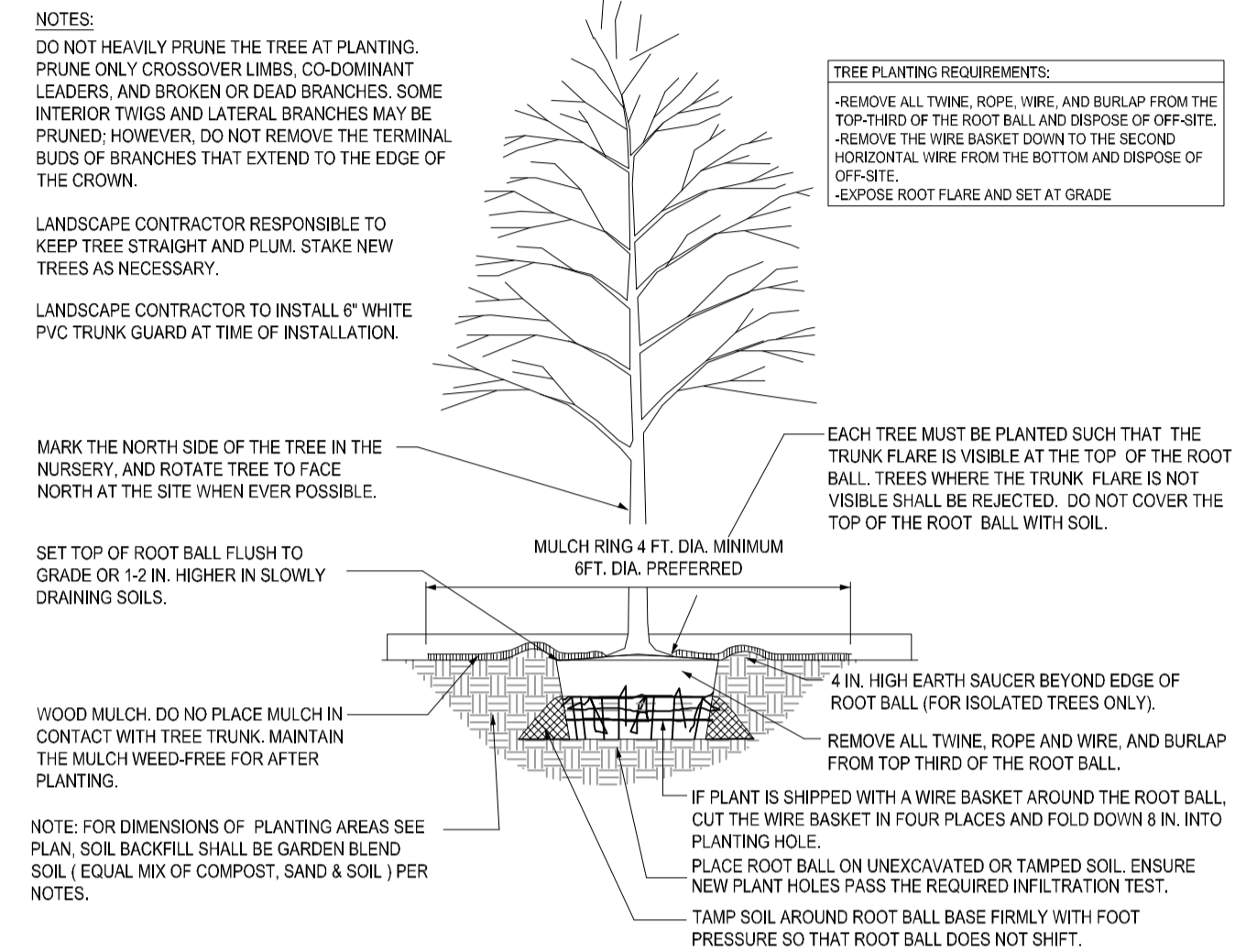
4 36" ORNAMENTAL ACCENT FENCE
L1.3 NOT TO SCALE



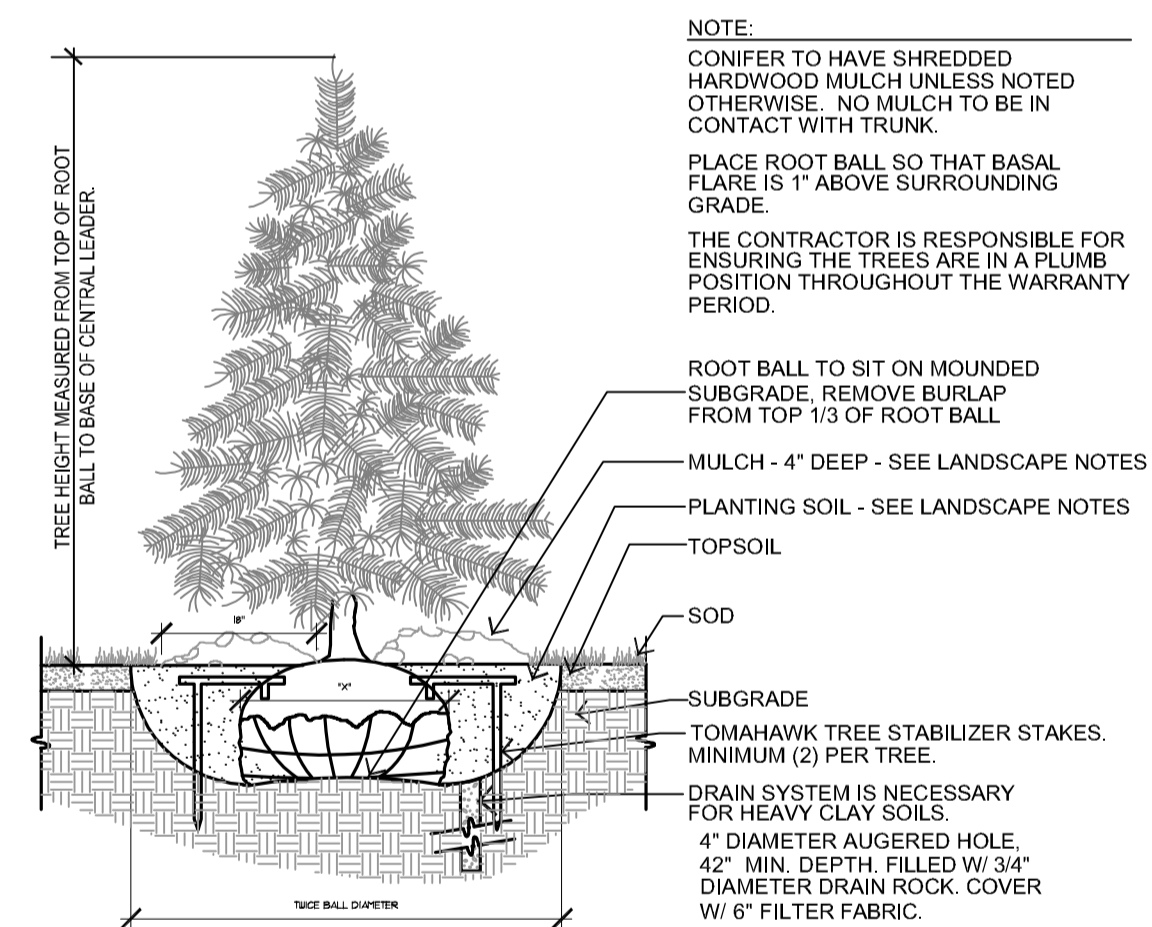
5 ROCK MAINTENANCE STRIP DETAIL
L1.3 NOT TO SCALE



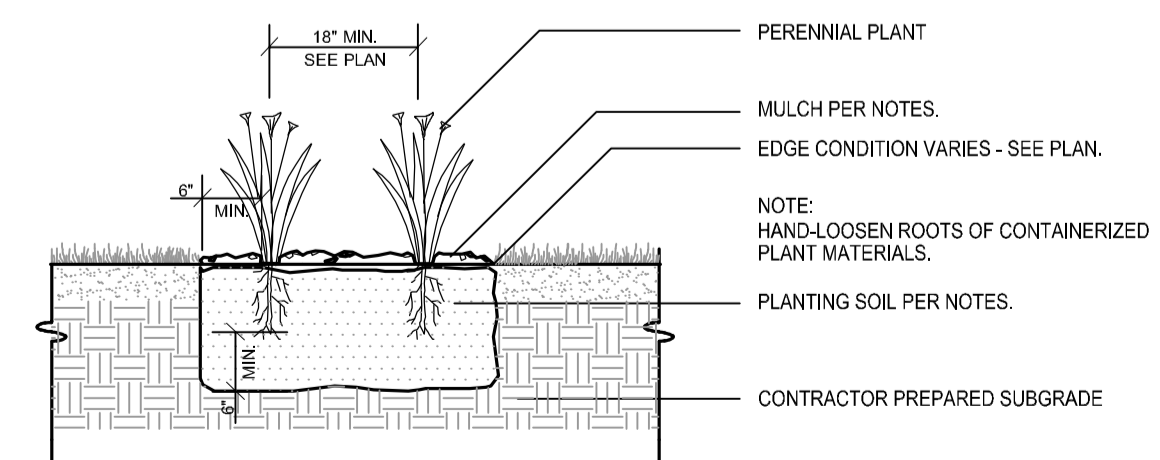
1 TYP. SHRUB PLANTING - SECTION
L1.3 NOT TO SCALE



2 DECIDUOUS TREE PLANTING - SECTION
L1.3 NOT TO SCALE

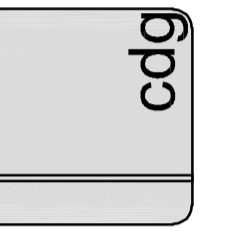


3 CONIFEROUS TREE PLANTING - SECTION
L1.3 NOT TO SCALE



6 TYP. PERENNIAL PLANTING DETAIL
L1.3 NOT TO SCALE

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PRELIMINARY

PARKSIDE TOWNHOMES
RAMSEY, MINNESOTA
LANDSCAPE DETAILS
FOR
COR AT RAMSEY LLC
3313 LAKESHORE COURT, CHASKA, MN 55318

DRAWN BY
BH
DATE
01/17/2023

REVISIONS

02/10/23 CITY COMMENTS
07/18/24 REV. SITE PLAN

PROJECT NO.
22-164
L1.3



1 - Water Efficient Technology

Created by: Chris Anderson
On: 07/23/2024 08:51 AM

Irrigation system must include some form of water efficient technology, such as a smart controller and/or soil moisture sensors. Please add a note specifying that system must include some form of water efficient technology in addition to the state required rain sensor.

----- 0 Replies -----

Environmental Policy Board (EPB)**Meeting Date:** 08/19/2024**Primary Strategic Plan Initiative:** Create a positive image for residential neighborhoods, business districts and key corridors.**Information****Title:**

Discuss Potential Development of Performance Standards for Managed Natural Landscapes

Purpose/Background:

In 2007, the City of Ramsey amended Chapter 30 (Nuisances) of City Code to exempt natural landscape plant materials from the eight (8) inch height restriction for grass and weeds. In 2023, the State of Minnesota enacted State Statute 412.925 (Native Landscapes), which specifies that statutory and home rule charter cities must allow private property owners to install and maintain managed natural landscapes on private property. In 2024, Ramsey amended Chapter 30 (Nuisances) again, reiterating that natural landscapes are exempt from the vegetative height restrictions but also specifying that an approved management plan is required. However, there are no other standards in place regarding these managed natural landscapes.

Potential standards could include the following:

- Require a setback from shared property lines with abutting properties
- Limiting the location of managed natural landscapes (e.g. prohibiting them from being in boulevards/rights-of-way)
- Requiring small signage to inform the public that the landscape is intentional, planned, and managed (either permanently or at least through 75% establishment)
- Maintenance activities such as:
 - Mowing (year 1: 1-3 mowings, year 2: 1 mowing, assess for need to spot spray, year 3 and beyond: 1 mowing per year and/or controlled burns if allowed and with the proper permit)
 - Routine weeding (should plan to do this at least weekly during the first 1-2 years of establishment)

There is nothing that would require any amendments to City Code regarding natural/alternative landscapes. However, there has been greater interest in this type of landscape over the past 1-2 years, which could potentially lead to an uptick in concerns from property owners nearby. Thus, Staff thought it would be best to bring this topic forward to the EPB to see if there is any interest in drafting some standards for incorporation into City Code, which could be helpful in terms of enforcement actions.

Staff has reached out to both the Board of Soil and Water Resources (BWSR) and Prairie Restorations, Inc. seeking any resources they may have regarding 'must haves' in any management plan. As of the writing of this case, no responses have been received.

Recommendation:

NA

Outcome/Action:

No specific action is required. The purpose of this case is to discuss whether the EPB sees any need or benefit to developing standards for establishing a natural landscape.

Attachments

No file(s) attached.

Inbox

Brian Hagen

Form Started By: Chris Anderson

Final Approval Date: 08/15/2024

Reviewed By

Brian Hagen

Form Review

Date

08/15/2024 10:46 AM

Started On: 08/12/2024 12:34 PM