

**City of Ramsey**  
**Agenda**  
**Park and Recreation Commission**  
**Thursday, March 14, 2024**

**6:30 pm**  
**Council Chambers, 7550 Sunwood Drive NW**

Remote Attendance available at [www.cityoframsey.com/meetings](http://www.cityoframsey.com/meetings).  
Those joining remotely and requesting to speak are asked to use a webcam when speaking.

1. **Call to Order**
  
2. **Citizen Input**
  
3. **Approve Agenda**
  
4. **Approve Minutes**
  1. Approve the following meeting minutes.
    1. Park and Recreation Commission meeting dated February 8, 2024.
  
5. **Commission Business**
  1. Recreation Programs Update
  2. The Waterfront - Recommend Funding for Trails, Trees and Furnishings, a 2024 CIP
  3. Consider Irrigation for Municipal Plaza
  
6. **Commission/Staff Input**
  1. Commission/Staff Input
  
7. **Adjournment**

**Park and Recreation Commission**

**Meeting Date:** 03/14/2024

**Primary Strategic Plan Initiative:** Connect the community through Parks, Trails and Recreational Programming.

**Information**

**Title:**

Approve the following meeting minutes.  
1. Park and Recreation Commission meeting dated February 8, 2024.

**Purpose/Background:**

To review and approve meeting minutes that are attached for review.

**Notification:**

N/A

**Time Frame/Observations/Alternatives:**

Staff anticipates this case will take less than 5 minutes.

**Funding Source:**

N/A

**Recommendation:**

To review and approve meeting minutes dated February 8, 2024.

**Outcome/Action:**

Motion to approve meeting minutes date February 8, 2024.

**Attachments**

February 2024 mtg minutes

**Form Review**

<b>Inbox</b>	<b>Reviewed By</b>	<b>Date</b>
Mariah Albrecht	Mariah Albrecht	03/08/2024 12:58 PM
Brian Hagen		
Form Started By: Mariah Albrecht		Started On: 03/08/2024 10:32 AM

**PARK AND RECREATION COMMISSION  
CITY OF RAMSEY  
ANOKA COUNTY  
STATE OF MINNESOTA**

The Ramsey Park and Recreation Commission conducted a regular meeting on February 8, 2024, at the Ramsey Municipal Center, 7550 Sunwood Drive NW, Ramsey, Minnesota.

Commission Members Present: Chair Nathan Barten  
Vice Chair Brandon Sis  
Commissioner Todd Arts  
Commissioner Shane Bennett  
Commissioner Megan Ealain  
Commissioner Jennifer Leistico  
Commissioner Dean Olson

Also Present: City Council Liaison Debra Musgrove  
Parks & Assistant Public Works Director Mark Riverblood  
Recreation Coordinator Abby Proulx

**1. CALL TO ORDER**

Chair Barten called the Park and Recreation Commission meeting to order at 6:30 p.m.

**2. CITIZEN INPUT**

None.

**3. APPROVE AGENDA**

Motion by Commissioner Olson, seconded by Commissioner Bennett, to approve the Park and Recreation Commission meeting agenda, moving item 0 to Item 6.

Motion carried. Voting Yes: Chair Barten; Commissioners Olson, Bennett, Arts, Ealain, Leistico, and Sis. Voting No: None. Absent: None.

**4. APPROVE MINUTES**

**4.01: Approve Park and Recreation Commission Meeting Minutes**

Motion by Commissioner Leistico, seconded by Commissioner Sis, to approve the following Park and Recreation Commission Regular Meeting Minutes:

- Park and Recreation Commission Meeting Minutes date January 11, 2024

Motion carried. Voting Yes: Chair Barten; Commissioners Leistico, Sis, Arts, Bennett, Ealain, and Olson. Voting No: None. Absent: None.

## **5. COMMISSION BUSINESS**

### **5.01: 2023 Photo Contest Review**

Recreation Coordinator Proulx explained how the winning photos are used and presented the proposed winners for the 2023 Photo Contest in the categories of landscapes of Ramsey, wildlife of Ramsey, parks and trails, life in Ramsey, and the grand prize winner.

Motion by Commissioner Bennett, seconded by Commissioner Sis, to affirm the 2023 Photo Contest winners.

Motion carried. Voting Yes: Chair Barten; Commissioners Bennett, Sis, Arts, Ealain, Leistico, and Olson. Voting No: None. Absent: None.

### **5.02: Recreation Program Review and Update**

Recreation Coordinator Proulx presented a brief recap of the 2023 recreational programming. She also highlighted some of the programming coming in the next few months.

## **6. COMMISSION/STAFF INPUT**

Parks & Assistant Public Works Director Riverblood reported that the skating season began late and has already been finished because of the warm temperatures. He provided a brief review of the short season. He noted that the Central Park numbers were higher during that short period most likely because Ramsey Elementary was not flooded this year. He stated that staff did not receive any complaints about the Ramsey rink not being open.


## **7. ADJOURNMENT**

Motion by Commissioner Bennett, seconded by Commissioner Arts, to adjourn the meeting.

Motion carried. Voting Yes: Chair Barten; Commissioners Bennett, Arts, Ealain, Leistico, Olson, and Sis. Voting No: None. Absent: None.

The Park and Recreation Commission meeting adjourned at 6:43 p.m.

Respectfully submitted,



Mark Riverblood  
Parks & Assistant Public Works Director

Drafted by Amanda Staple, *TimeSaver Off Site Secretarial, Inc.*

**Park and Recreation Commission**

**Meeting Date:** 03/14/2024

**Primary Strategic Plan Initiative:** Connect the community through Parks, Trails and Recreational Programming.

**Information**

**Title:**

Recreation Programs Update

**Purpose/Background:**

To provide an update on programs, changes to the 2024 Art Fair, and highlight the addition of new Summer programs.

**Time Frame/Observations/Alternatives:**

For the meeting, staff review recent program highlights and forecast planned-for recreation programs.

**Funding Source:**

Funding and program revenue are accommodated as part of the Park & Recreation Department's annual operating budget and work plan.

**Recommendation:**

N/A

**Outcome/Action:**

No action required, this case is to provide general information for the Commission.

**Attachments**

- Kites and Bites Flyer
- Sports Discovery, Tuesday Evening Flyer
- Sports Discovery Half Day 3-5 Flyer
- Sports Discovery Half Day K-2 Flyer
- Bingo with a Purpose Flyer
- Theatre Camp Seussical
- Theatre Camp Frozen Flyer
- Community Choir Flyer
- Spring Starwatch Party
- Garage Sale Trail Flyer
- Movies in the Park Flyer
- Egg-Paw-Looza Flyer
- Art in Bloom Day Trip Flyer

**Form Review**

**Inbox**

Mark Riverblood

**Reviewed By**

Mark Riverblood

**Date**

03/06/2024 01:52 PM

Brian Hagen  
Form Started By: Abby Proulx  
Final Approval Date: 03/07/2024

Brian Hagen

03/06/2024 02:25 PM  
Started On: 03/06/2024 12:16 PM

# 2<sup>ND</sup> ANNUAL KITES AND BITES



## FREE EVENT

Fill the Spring skies with colorful kites! Join us with the Ramsey Lions for our second annual Kites and Bites. It's fun for all ages. Bring your own kite or decorate a kite when you get to the park (while supplies last).

We'll have food trucks, face painting, games, and more!

**Saturday, May 11**

**10:30 a.m.-2:00 p.m.**

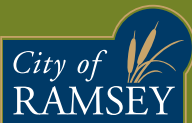
**Elmcrest Park**

**16303 Quicksilver Street NW**

**Ramsey**

**All Ages**

**FREE**



# PARKS & RECREATION

**FOR MORE  
INFORMATION**  
[cityoframsey.com/  
parksregister](http://cityoframsey.com/parksregister)



## CONTACT

Mariah Albrecht, Parks Administrative Assistant  
[malbrecht@cityoframsey.com](mailto:malbrecht@cityoframsey.com)  
763-433-9820

# YOUTH SPORTS DISCOVERY



## AGES 3-9

Explore your child's potential passion for sports! This introductory program is the perfect way to familiarize kids with a variety of athletic activities, helping them discover their favorites. Each week, kids will participate in a new sport, not only to develop skills but also to learn the importance of sportsmanship.

This program is partnered with i9 Sports.

**Tuesdays | June 11-July 2**

**Ages 3 to 4 5:00-6:00 p.m.**

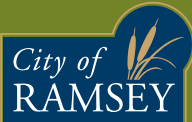
**Ages 5 to 6 6:15-7:15 p.m.**

**Ages 7 to 9 7:30-8:30 p.m.**

**Central Park**

**7925 161st Avenue NW, Ramsey**

**Cost \$69 per participant**



# PARKS & RECREATION

## REGISTER

[cityoframsey.com/  
parksregister](http://cityoframsey.com/parksregister)



## CONTACT

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[malbrecht@cityoframsey.com](mailto:malbrecht@cityoframsey.com)  
763-433-9820



# YOUTH SPORTS DISCOVERY



## HALF-DAY CAMP GRADES 3-5

Let your child discover their passion for sports through a half-day exploratory camp! Each day will focus on a different value of sportsmanship through exciting games and drills across different sports to build their skills in a fun and supportive environment.

This program is partnered with i9 Sports.

Monday-Thursday | July 15-18

9:00 a.m.-Noon

Central Park

7925 161st Avenue NW, Ramsey

Grades 3-5 (2024-2025 school year)

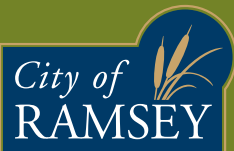
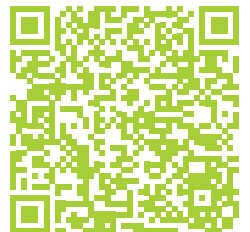
Cost \$155

### CONTACT

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763-433-9820

### REGISTER

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# PARKS & RECREATION



# YOUTH SPORTS DISCOVERY



## HALF-DAY CAMP GRADES K-2

Let your child discover their passion for sports through a half-day exploratory camp! Each day will focus on a different value of sportsmanship through exciting games and drills across different sports to build their skills in a fun and supportive environment.

This program is partnered with i9 Sports.

Monday-Thursday | August 5-8

9:00 a.m.-Noon

Central Park

7925 161st Avenue NW, Ramsey

Grades K-2 (2024-2025 school year)

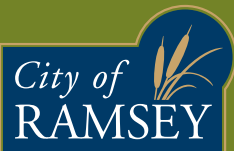
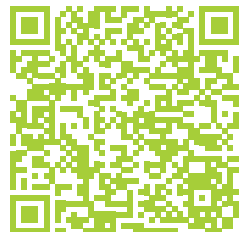
Cost \$155

### CONTACT

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# PARKS & RECREATION



# BINGO WITH A PURPOSE



## GET READY FOR "BINGO WITH PURPOSE!"

This isn't your average bingo game. We are partnering with the Alexandra House to shine a light on serious issues, such as violence against seniors that affect one in ten. While playing for prizes, you'll also learn about protecting yourself and loved ones from financial exploitation, understanding protection orders, making safety plans, and discovering Alexandra House's support.

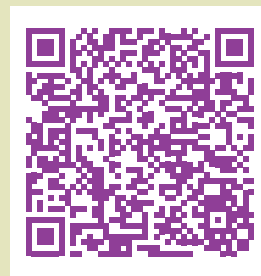
This event is for everyone, young and young at heart, to help make our community safer for everyone. Join us to learn, win, and make a difference!



# FREE

Tuesday, June 4  
10:00-11:00 a.m.

Ramsey City Hall  
Alexander Ramsey Room  
7550 Sunwood Drive NW

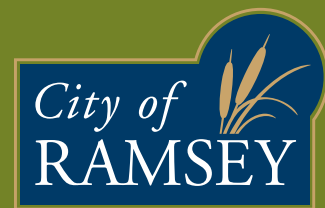


### MORE INFORMATION

[cityoframsey.com/parksregister](http://cityoframsey.com/parksregister)

### CONTACT

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Parks Administrative Assistant  
[malbrecht@cityoframsey.com](mailto:malbrecht@cityoframsey.com)  
763-433-9820



# PARKS & RECREATION



## MUSICAL THEATRE CAMP - SEUSSICAL

Experience the magic as Horton the Elephant, the Cat in the Hat, as all beloved Dr. Seuss characters leap from page to stage in *Seussical KIDS*, an enchanting musical spectacle brought to you by Tony-winning duo Lynn Ahrens and Stephen Flaherty, creators of *Lucky Stiff*, *My Favorite Year*, *Once on This Island*, and *Ragtime*. Under the expert guidance of Northern Starz's seasoned teaching and performance team, children will breathe life into these delightful characters, showcasing their talents in this vibrant production.

Transporting audiences from the Jungle of Nool to the Circus McGurkus, the Cat in the Hat, our narrator, tells the story of Horton, an elephant who discovers a speck of dust containing tiny people called the Whos, including Jojo, a Who child, who gets in trouble for thinking too many "thinks." Horton's challenge is twofold — not only must he protect the Whos from a world of naysayers and dangers, but he must also guard an abandoned egg left in his care by the irresponsible Mayzie La Bird. Although Horton faces ridicule, danger, kidnapping and a trial, the intrepid Gertrude McFuzz never loses faith in him. Ultimately, the powers of friendship, loyalty, family and community are challenged and emerge triumphant!

The final performance will be on the last day of class.

Pre-registration is required.  
Register by Monday, July 29.

**Monday-Friday, August 5-8**

**9:00 a.m.-4:00 p.m.**

**Elmcrest Park  
16303 Quicksilver Street NW**

**Grades: 4-6, as of fall 2024**

**Cost: \$315**

**Min Enrollment: 10**

**Max Enrollment: 30**



**NORTHERN STARZ**  
CENTER FOR THE PERFORMING ARTS

## REGISTER

[cityoframsey.com/  
parksregister](http://cityoframsey.com/parksregister)



## CONTACT

Mariah Albretch, Parks Admin Assistant  
[malbretch@cityoframsey.com](mailto:malbretch@cityoframsey.com)  
763-433-9820



## MUSICAL THEATRE CAMP - FROZEN FOR KIDS!

Are you ready to build a snowman? Dive into the whimsical and heartwarming world of the beloved animated film with this enchanting stage adaptation. With the guidance of Northern Starz's skilled teaching and performance staff, children can bring this magical universe to life, captivating audiences with their portrayal of cherished characters and timeless tales.

Join Anna, Elsa, Olaf, Sven, and all your favorite characters as they embark on an epic, ice-filled journey of self-discovery, camaraderie, and the real meaning of true love. Adapted for young performers, this musical includes favorite Frozen songs such as *Love Is an Open Door*, *Do You Want to Build a Snowman?* and *Let It Go*, as well as wonderful new songs from the Broadway production. This production of Frozen KIDS is sure to prove that "some people are worth melting for."

The final performance will be on the last day of class.

Pre-registration is required.  
Register by Monday, August 5.

**Monday-Friday, August 12-16**

**9:00 a.m.-4:00 p.m.**

**Elmcrest Park  
16303 Quicksilver Street NW**

**Grades: K-3, as of fall 2024**

**Cost: \$315**

**Min Enrollment: 10**

**Max Enrollment: 20**



**NORTHERN STARZ**  
CENTER FOR THE PERFORMING ARTS

## REGISTER

[cityoframsey.com/  
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## CONTACT

Mariah Albretch, Parks Admin Assistant  
[malbretch@cityoframsey.com](mailto:malbretch@cityoframsey.com)  
763-433-9820



## CONSTELLATIONS COMMUNITY CHOIR

Ramsey Parks and Recreation is excited to announce its partnership with Northern Starz to create the newest entertainment group, Constellations Community Choir!

This group is for ages 10+, all abilities, and all voices are encouraged to join! Performances for the group are to be determined depending on participant availability.

Pre-registration is required. Register by Monday, April 15.

**Mondays**  
**May 6 through August 12**  
**6:00-8:00 p.m.**  
**The Draw Amphitheater**  
**7401 Ramsey Parkway**

**Ages 10+**  
**Cost \$180**

**Minimum Enrollment 10**  
**Maximum Enrollment 40**

### REGISTER

[cityoframsey.com/  
parksregister](http://cityoframsey.com/parksregister)

### CONTACT

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763-433-9820



**NORTHERN STARZ**  
CENTER FOR THE PERFORMING ARTS



# SPRING EQUINOX STARWATCH PARTY



On Tuesday, March 19, the Spring Equinox marks a balance of day and night in the Northern Hemisphere. Our days will gradually lengthen as we approach the Summer Solstice on June 20. Celebrate this increase in daylight with us through a captivating exploration of the night sky on Saturday, March 23. Delve into the stories behind the constellations and marvel at celestial wonders through two of Minnesota's largest mobile telescopes, offering close-up views of faraway objects.

Mike Lynch, a retired meteorologist with WCCO Radio and a veteran of over 50 years in astronomy, will guide us through a tour of visible celestial subjects such as the moon, planets, star clusters, galaxies and more. He'll also showcase a telescope-astrophotography system for glimpsing distant galaxies. Mike, an author and columnist, brings unparalleled expertise to this stargazing adventure.

Feel free to bring lawn chairs and blankets for comfort. The event is primarily outdoors, so dress warmly. Indoor facilities are available for restroom access and warming up.

**Registration is required.**

**Saturday, March 23  
7:45-9:45 p.m.**

**Elmcrest Park  
16303 Quicksilver St NW**

**Cost: \$12.50 per person**

**Max Enrollment: 30**



## PARKS & RECREATION

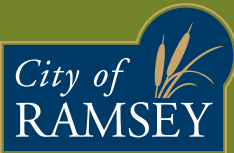
### REGISTER

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parksregister](http://cityoframsey.com/parksregister)



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763-433-9820



# PARKS & RECREATION



# GARAGE SALE Trail

## Ramsey City-wide Garage Sale

Last year we had 79 registered sales. Could we get more this year?

The city-wide garage sale weekend will be May 3-5. Register to have your sale listed on the map for FREE. You must be signed up by Sunday, April 21 to be in on the FREE publicity. You can sign up for all days or only the ones you want.

The map with registered listings will be available on the City's website. Or you can pick up a printed copy at City Hall or the Public Works building.

Meet your neighbors, find bargains, rummage through miscellaneous treasures.

Friday, Saturday, Sunday | May 3-5

Publicized times will be  
8:00 a.m.-5:00 p.m.

City-wide

Registration is FREE

Registration deadline is  
Sunday, April 21 at 11:59 pm.

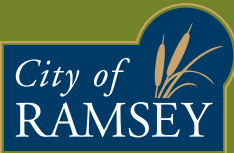
### REGISTER

[cityoframsey.com/  
parksregister](http://cityoframsey.com/parksregister)

### CONTACT

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Parks Administrative Assistant  
[malbrecht@cityoframsey.com](mailto:malbrecht@cityoframsey.com)  
763-433-9820





# PARKS & RECREATION



## Movies in the Park

Gather your friends and family, pack a lawn chair or blanket, and join us for a movie night under the stars! Arrive before sunset to enjoy music and concessions for sale. The movie will start soon after the sun is low in the sky.

### The Super Mario Bros. Movie

Dive into a vibrant animated adventure where Mario, the beloved plumber from the iconic video game franchise, embarks on an epic quest through the Mushroom Kingdom to save Princess Peach from the clutches of the villainous Bowser. This family-friendly film combines humor, heart and action, making it a perfect pick for movie lovers of all ages.

Saturday, June 8  
9:00-10:45 p.m.

Elmcrest Park  
16303 Quicksilver Street NW  
Ramsey

All Ages Welcome

Movie Rating: PG

FREE

#### REGISTER

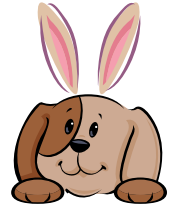
[cityoframsey.com/  
parksregister](http://cityoframsey.com/parksregister)

#### CONTACT

Mariah Albrecht  
Parks Administrative Assistant  
[malbrecht@cityoframsey.com](mailto:malbrecht@cityoframsey.com)  
763-433-9820



## EGG-PAW-LOOZA



# EGG PAW L Looza

Get ready for a thrilling 'Easter Egg Hunt' designed for dogs at our second annual Egg-Paw-Looza! We will have an abundance of themed tennis balls around the park for your dog to sniff out and play. Additionally, we're featuring local vendors such as Fetched Up, a family-owned pet supply business that prioritizes the well-being of your dogs and cats. Be sure to visit their booth for a chance to win exciting prizes!

Please note that dogs must be well-behaved and under control at all times. Any dog showing signs of aggression must be promptly removed from the park.

**Saturday, April 6**  
10:00 a.m.-2:00 p.m.

**Alpine Dog Park**  
6600 Alpine Drive NW

**FREE**

### REGISTER

[cityoframsey.com/  
parksregister](http://cityoframsey.com/parksregister)



### CONTACT

Abby Proulx, Recreation Coordinator  
[aproulx@cityoframsey.com](mailto:aproulx@cityoframsey.com)  
763-433-9883

55+

# MIA ART IN BLOOM

PHOTO BY COREY STRAND



Explore the blend of art and nature at the annual Art in Bloom exhibit at the Minneapolis Institute of Art (MIA). This unique four-day exhibit features imaginative floral interpretations of some of the MIA's permanent art collections. Arrangements are created by more than 100 individual and commercial florists. You'll have a chance to embark on a self-guided tour of the museum's rich art collection of over 89,000 objects and visit the Art in Bloom Pop-up Shop. Following the museum visit, we will enjoy lunch at the Hen House Eatery, featuring a homemade meal and sweet treat to conclude our day.

The cost per person and includes round-trip transportation on a coach bus, free entry to the museum, and lunch. Registrations and cancellations must be received by Friday, March 15. After this date, refunds cannot be processed, but you may transfer your registration to someone else.

Enjoy imaginative floral interpretations of selected works of art from Mia's permanent collection, created by more than 100 commercial florists and individual artists. Guests are invited to experience the floral fragrance throughout the museum. Browse floral-inspired merchandise in the Art in Bloom Pop-up Shop. This is a self-guided experience throughout the campus. There is a Gift Store and a Café.

Please see the Parks and Recreation registration website for more information.

Preregistration is required.

Thursday, April 25  
9:00 a.m.-3:00 p.m.

Bus leaves from, returns to  
Ramsey City Hall  
7550 Sunwood Drive NW  
Ramsey. Travels to the  
Minneapolis Institute of Art  
and the Hen House Eatery in  
Minneapolis for lunch.

Age: 55+

Cost: \$84 includes, coach  
transportation, admission to  
MIA and lunch

Minimum Enrollment: 30

Maximum Enrollment: 51

Enrollment/cancellation  
deadline is Friday, March 15

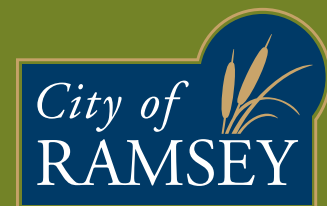


## REGISTER

[cityoframsey.com/parksregister](http://cityoframsey.com/parksregister)

## CONTACT

Mariah Albrecht  
Parks and Recreation  
Administrative Assistant  
[malbrecht@cityoframsey.com](mailto:malbrecht@cityoframsey.com)  
763-433-9820



# PARKS & RECREATION

**Park and Recreation Commission****Meeting Date:** 03/14/2024**Primary Strategic Plan Initiative:** Promote economic growth and development.**Information****Title:**

The Waterfront - Recommend Funding for Trails, Trees and Furnishings, a 2024 CIP

**Purpose/Background:**

As part of the city's community park system, a water-centric park known as The Waterfront has been envisioned for more than a decade in Ramsey's downtown. In the Fall of 2023, the mass grading and establishment seeding for the park was completed. Over the Winter of 2022-23, the Park & Recreation Commission performed a detailed analysis of how a park building could best serve the community— this process resulted in a concept for an approximate 37,000 gross square foot two-story building, consisting of mass timber construction; and including dining, fitness, large indoor play area, gallery, banquet space, patios, as well as outdoor beer garden and lawn game areas. During the Winter of 2023-24 the Commission also reviewed concepts for family-friendly water play features east of the proposed community building. The large building with proposed indoor and outdoor program areas is essentially a modern community center, with outdoor water-play elements replacing a more traditional public swimming pool.

At the Commission's regular January 2024 meeting, the Commission recommended, and City Council subsequently approved, preparing plans and specifications and obtaining bids for the trail and associated improvements. The purpose of this case is to consider a recommendation to City Council to proceed with trail construction and tree planting at the park, together with installation of the attendant furnishings (benches, bike racks and trash receptacles). The first attachment details the scope of that proposed work and probable costs.

**Time Frame/Observations/Alternatives:**

On April 9th, 2024, City Council has scheduled time at their regular work session to discuss an overview of how the annual operations for The Waterfront community building would be accommodated—as well as next steps for the larger project. At the regular City Council meeting on this same date, approval of the trail project for the park is anticipated to be on Council's regular agenda for consideration. Bids for the trail project are currently being advertised and due to the city on April 3rd, thus the reason and timing for the Park & Recreation Commission's review and recommendation at the March meeting.

Additional information will be presented at the meeting.

**Funding Source:**

The funding for the proposed trail and related elements would be from the Park Trust Fund, which has a balance of >\$7M. This case authorizes a not-to-exceed amount of \$430,000 and is the formal recommendation from the Park & Recreation Commission to City Council.

**Recommendation:**

Staff recommends authorization of the funding and construction of the park improvements this case discusses for The Waterfront in 2024, and supports the motion below.

**Outcome/Action:**

Motion to recommend to City Council a not-to-exceed amount of \$430,000 from the Park Trust Fund for the construction of trails, and related improvements to The Waterfront.

---

### **Attachments**

Project Scope and Est Costs  
Trail Plans  
Concrete and bench pads  
Trees  
2024 CIP worksheet  
Building program description  
splash pad planning  
Community building program

### **Form Review**

<b>Inbox</b>	<b>Reviewed By</b>	<b>Date</b>
Bruce Westby	Bruce Westby	03/08/2024 01:58 PM
Brian Hagen		
Form Started By: Mark Riverblood		Started On: 03/07/2024 10:33 AM

for  
**The Waterfront @ Ramsey**

**GRADING**

	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	AMOUNT
1	Common Excavation	C.Y.	2250	\$15.00	\$33,750.00
2	Erosion Control (Silt Fence and/or Haybales)	L.F.	4200	\$3.50	\$14,700.00
				<b>TOTAL</b>	<b>\$48,450.00</b>

**RESTORATION AND SPECIAL ITEMS**

	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	AMOUNT
3	Mobilization	L.S.	1	\$10,000.00	\$10,000.00
4	EC Blanket Category 20	S.Y.	2800	\$6.00	\$16,800.00
5	Boulder Retaining Wall	S.F.	375	\$35.00	\$13,125.00
				<b>TOTAL</b>	<b>\$39,925.00</b>

**BITUMINOUS AND CONCRETE PAVING**

	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	AMOUNT
6	SPWEA240B Bituminous Wear Coarse	Ton	600	\$125.00	\$75,000.00
7	Class 5 (100% Crushed Quarry Rock)	Ton	1430	\$27.50	\$39,325.00
8	Class 3 (Crushed Granite)	S.F.	2350	\$7.50	\$17,625.00
9	5" Concrete Walk	S.F.	5360	\$14.00	\$75,040.00
10	Concrete Pads for Bench, Receptacle, & Bike Rack	S.F.	930	\$14.00	\$13,020.00
				<b>TOTAL</b>	<b>\$220,010.00</b>

**SITE FURNISHINGS**

	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	AMOUNT
11	Benches - 6' Long Backed Bench	Each	9	\$2,000.00	\$18,000.00
12	Trash & Recycle Receptacle	Each	7	\$1,300.00	\$9,100.00
13	Bicycle Bollard/Rack - Each Secures 2 Bikes	Each	11	\$600.00	\$6,600.00
				<b>TOTAL</b>	<b>\$33,700.00</b>

**LANDSCAPE**

	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	AMOUNT
14	1" Caliper Trees	Each	26	\$200.00	\$5,200.00
15	2.5" Caliper Trees	Each	14	\$600.00	\$8,400.00
16	6' Ht. Coniferous Trees	Each	20	\$600.00	\$12,000.00
17	Mulch (8' Diameter Ring @ each tree)	Each	60	\$20.00	\$1,200.00
				<b>TOTAL</b>	<b>\$47,900.00</b>

**TOTALS:**

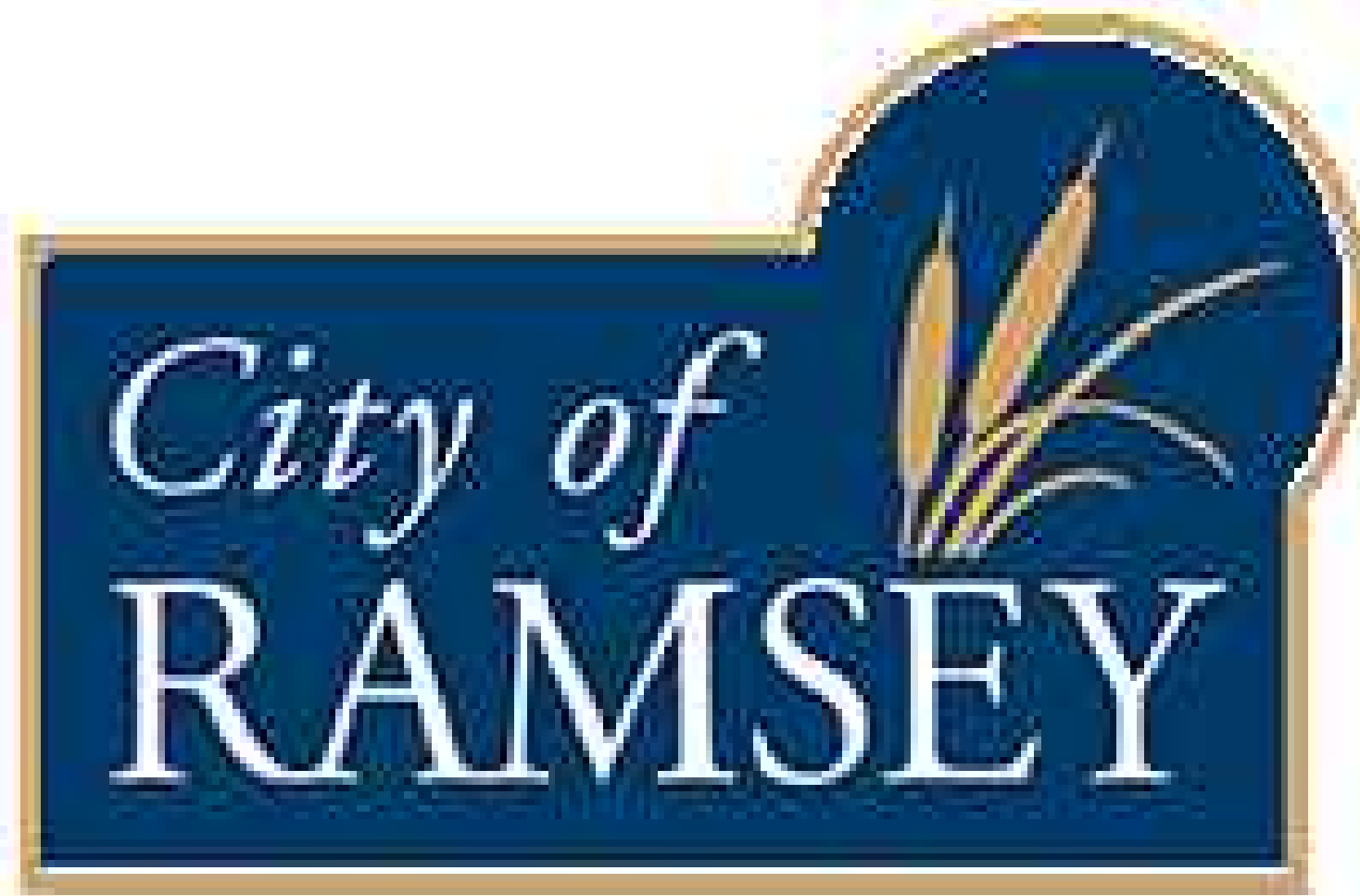
GRADING	\$48,450.00
RESTORATION AND SPECIAL ITEMS	\$39,925.00
BITUMINOUS AND CONCRETE PAVING	\$220,010.00
SITE FURNISHINGS	\$33,700.00
LANDSCAPE	\$47,900.00

**TOTAL**

10% Contingency	\$38,998.50
-----------------	-------------

**GRAND TOTAL**

**\$428,983.50**



# THE WATERFRONT

CITY OF RAMSEY

RAMSEY, MN 55303

## 100% EARTHWORK, UTILITIES & TRAIL PAVING PLAN CONSTRUCTION DRAWINGS



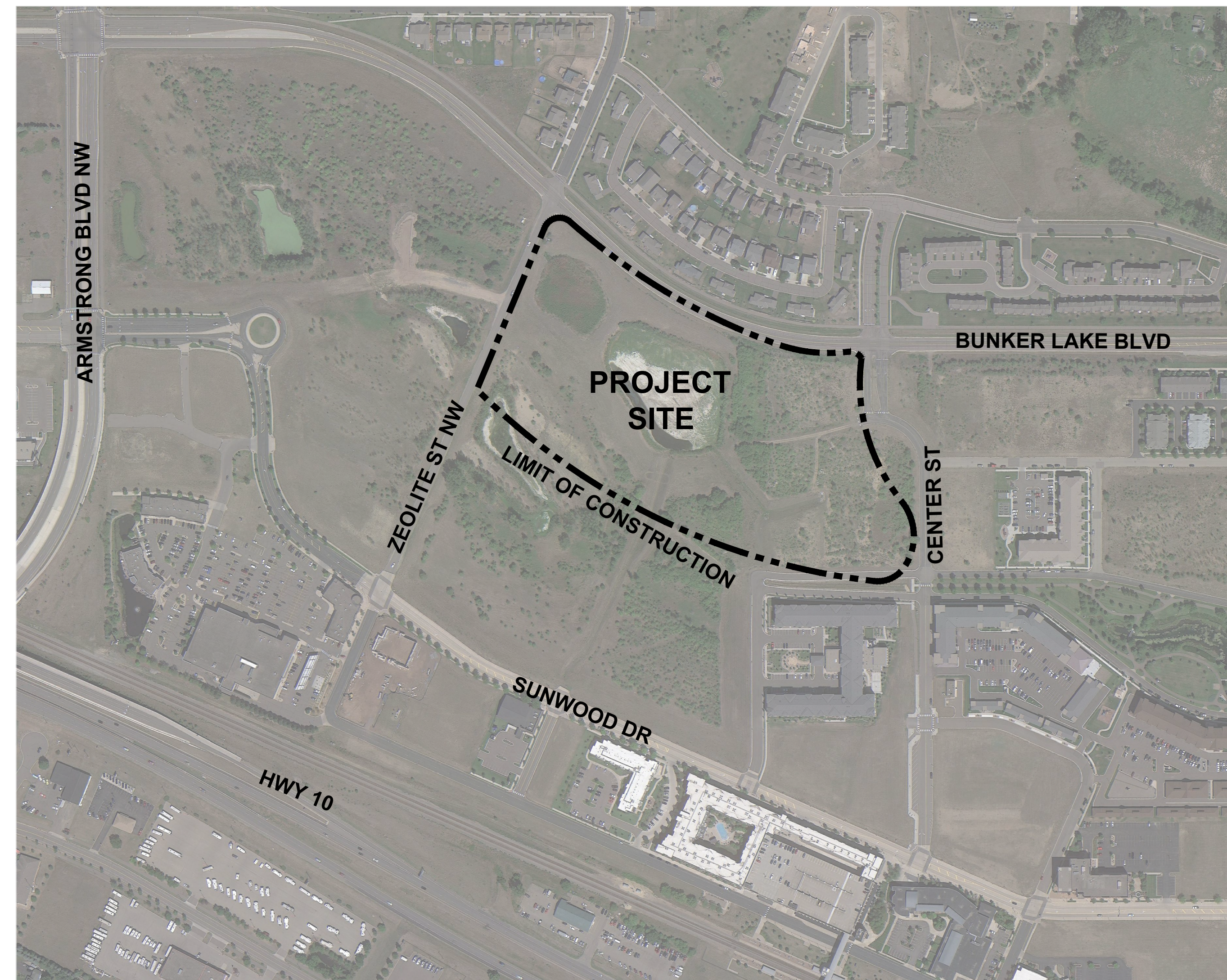
310 South 4th Avenue, Suite 7050  
Minneapolis, MN 55415  
p: 612.332.7522



3440 Federal Drive, Suite 110  
Eagan, MN 55122  
Telephone: 651-452-5051  
www.rehder.com  
Project No: 231-3242.012  
PROJECT NO.: 231-3242.012  
DRAWING FILE: 3242016.DWG

PROJECT # 23-176

CONTEXT MAP



PROJECT DIRECTORY

**OWNER**

CITY OF RAMSEY  
MARK RIVERBLOOD | PARKS & ASSISTANT PUBLIC WORKS DIRECTOR  
7550 SUNWOOD DRIVE NW  
RAMSEY, MINNESOTA 55303  
MRIVERBLOOD@CITYOFRAMSEY.COM  
P. 763.433.9853

**LANDSCAPE ARCHITECT**

DAMON FARBER LANDSCAPE ARCHITECTS  
310 S 4TH AVE  
MINNEAPOLIS, MN 55415  
CONTACT: CHUCK EVENS, PLA  
CEVENS@DAMONFARBER.COM  
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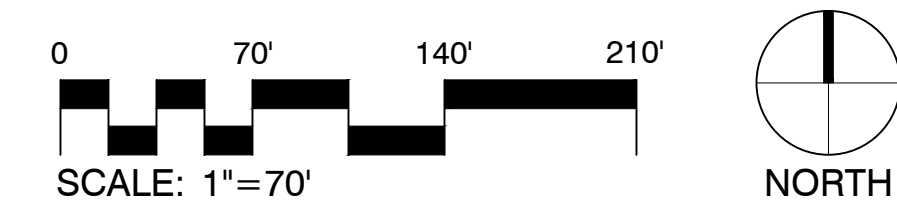
**CIVIL ENGINEER**

REHDER & ASSOCIATES  
CONTACT: NICK ADAM, P.E.  
NADAM@REHDER.COM  
651.337.6729

Sheet List Table	
Sheet Number	Sheet Title
G000	COVER SHEET
G001	EXISTING CONDITIONS
G002	NOTES, ABBREVIATIONS & SYMBOLS
C101	GRADING & EROSION CONTROL PLAN
C102	GRADING & EROSION CONTROL PLAN
L110	SITE MATERIALS PLAN
L500	SITE DETAILS



01 SITE ORIENTATION PLAN  
1" = 50'-0"



100% BID PACKAGE

EARTHWORK, UTILITIES & TRAIL PAVING

THE WATERFRONT

RAMSEY, MINNESOTA

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

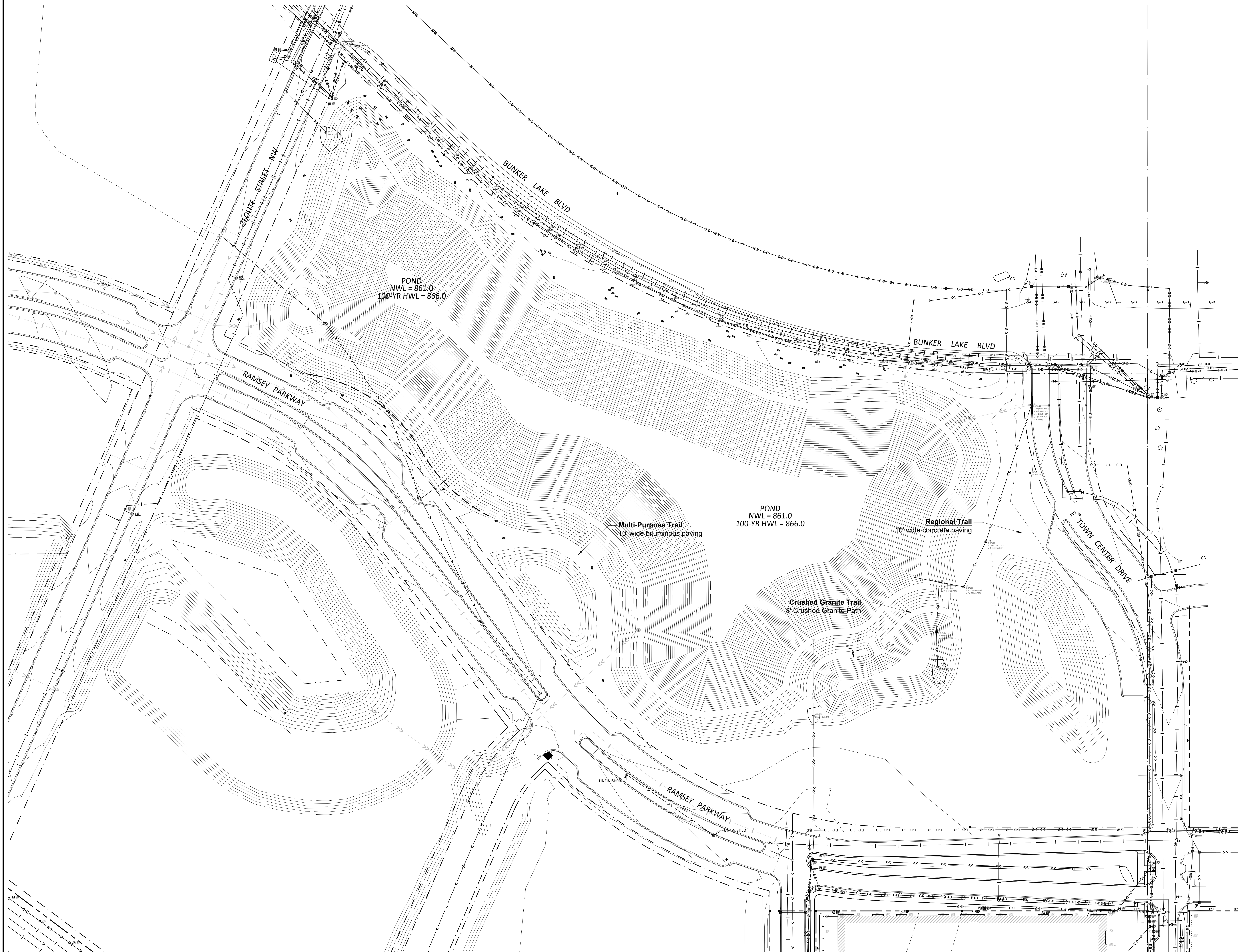
Name: Charles Evens  
Registration#: 50575  
Signature: *Charles Evens*  
Date: 03/08/2024

Date: 03/08/2024  
DF/ Project #: 23-176  
Scale: AS SHOWN  
Drawn/Checked: AG/CE

REVISION: --

COVER SHEET

G000



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EARTHWORK, UTILITIES & TRAIL  
PAVING

## THE WATERFRONT

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Name Charles Evens  
Registration# 50575  
*Charles Evens*  
Signature 03/08/2024 Date

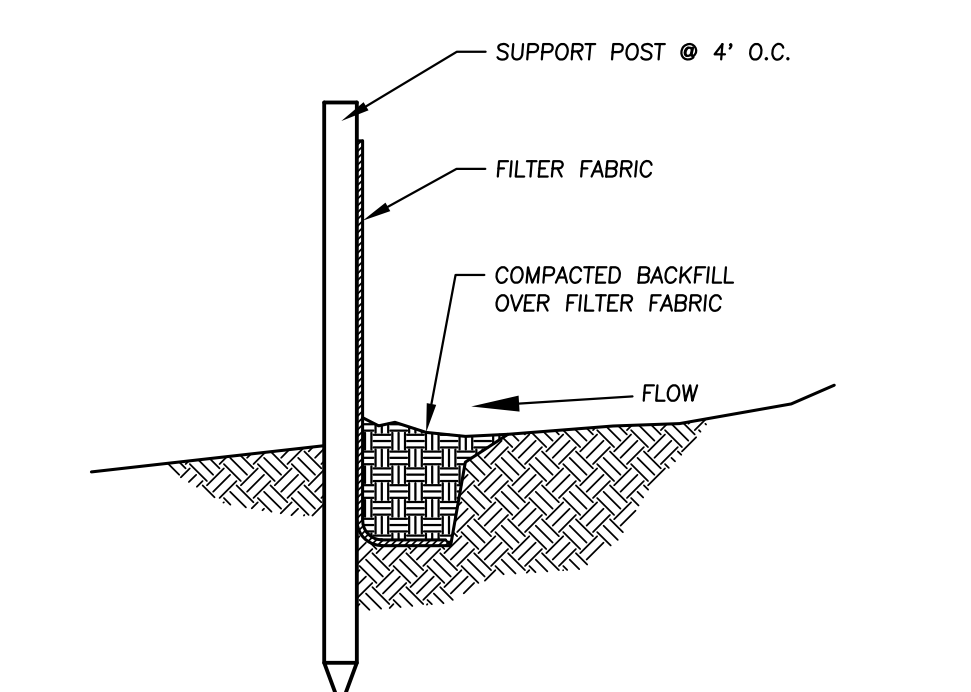
Date 03/08/2024  
DF/ Project # 23-176  
Scale AS SHOWN  
Drawn/Checked AG/CE

REVISION

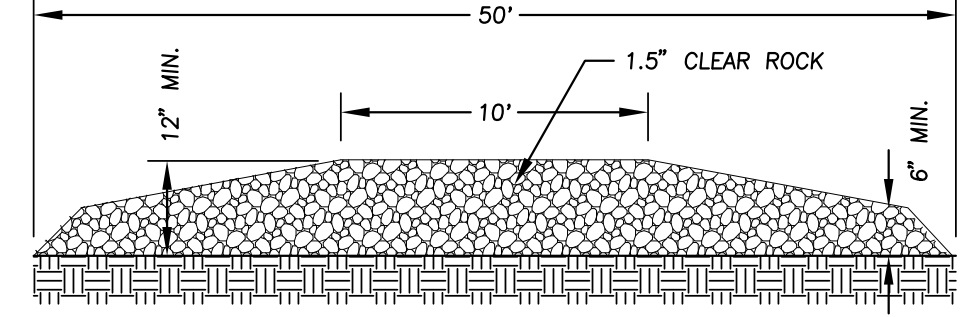
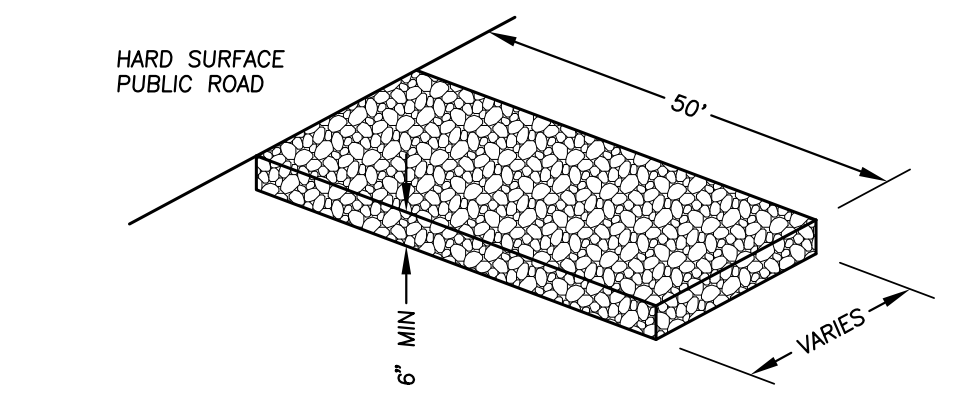
EXISTING  
CONDITIONS

# G001



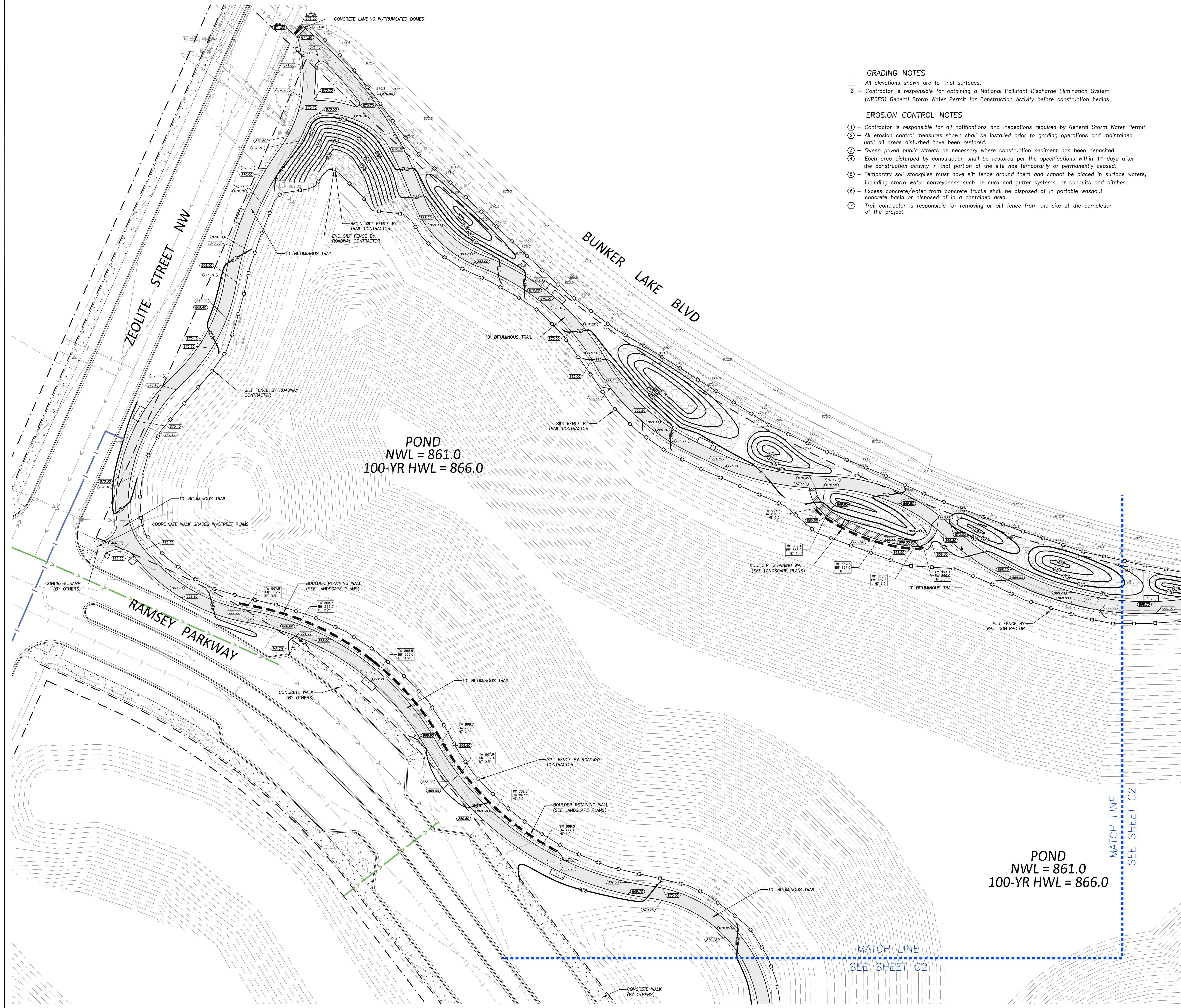


**1**  
C1  
SILT FENCE  
NO SCALE



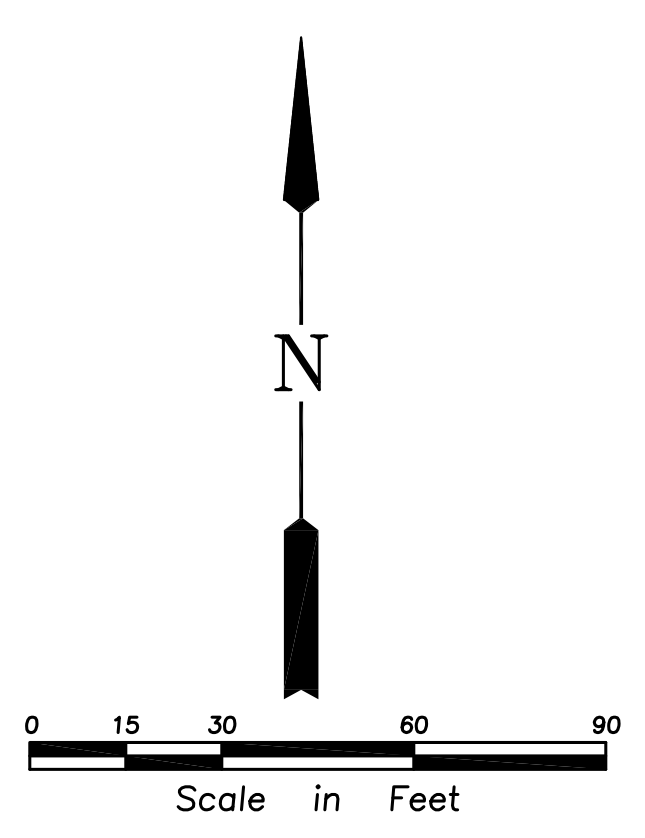
**2**  
C1  
ROCK CONSTRUCTION ENTRANCE  
NO SCALE

- GRADING NOTES**
- 1 - All elevations shown are to final surfaces.
  - 2 - Contractor is responsible for obtaining a National Pollutant Discharge Elimination System (NPDES) General Storm Water Permit for Construction Activity before construction begins.
- EROSION CONTROL NOTES**
- 1 - Contractor is responsible for all notifications and inspections required by General Storm Water Permit.
  - 2 - All erosion control measures shown shall be installed prior to grading operations and maintained until all areas disturbed have been restored.
  - 3 - Sweep paved public streets as necessary where construction sediment has been deposited.
  - 4 - Each area disturbed by construction shall be restored per the specifications within 14 days after the construction activity in that portion of the site has temporarily or permanently ceased.
  - 5 - Temporary soil stockpiles must have silt fence around them and cannot be placed in surface waters, including storm water conveyances such as curb and gutter systems, or conduits and ditches.
  - 6 - Excess concrete/water from concrete trucks shall be disposed of in portable washout concrete basin or disposed of in a contained area.
  - 7 - Trail contractor is responsible for removing all silt fence from the site at the completion of the project.



**LEGEND**

- PROPOSED CONCRETE
- PROPOSED BITUMINOUS
- PROPOSED CRUSHED GRANITE
- PROPOSED CONTOUR
- PROPOSED ELEVATION
- SILT FENCE
- PROPOSED EC BLANKET CATEGORY 20 (MNDOT 3885)
- BOUNDARY/ROW/BLOCK LINE
- BUILDING/PARKING SETBACK LINE
- DRAINAGE ARROW
- EXISTING CONTOUR
- EXISTING ELEVATION



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EARTHWORK, UTILITIES & TRAIL PAVING

**THE WATERFRONT**

RAMSEY, MN

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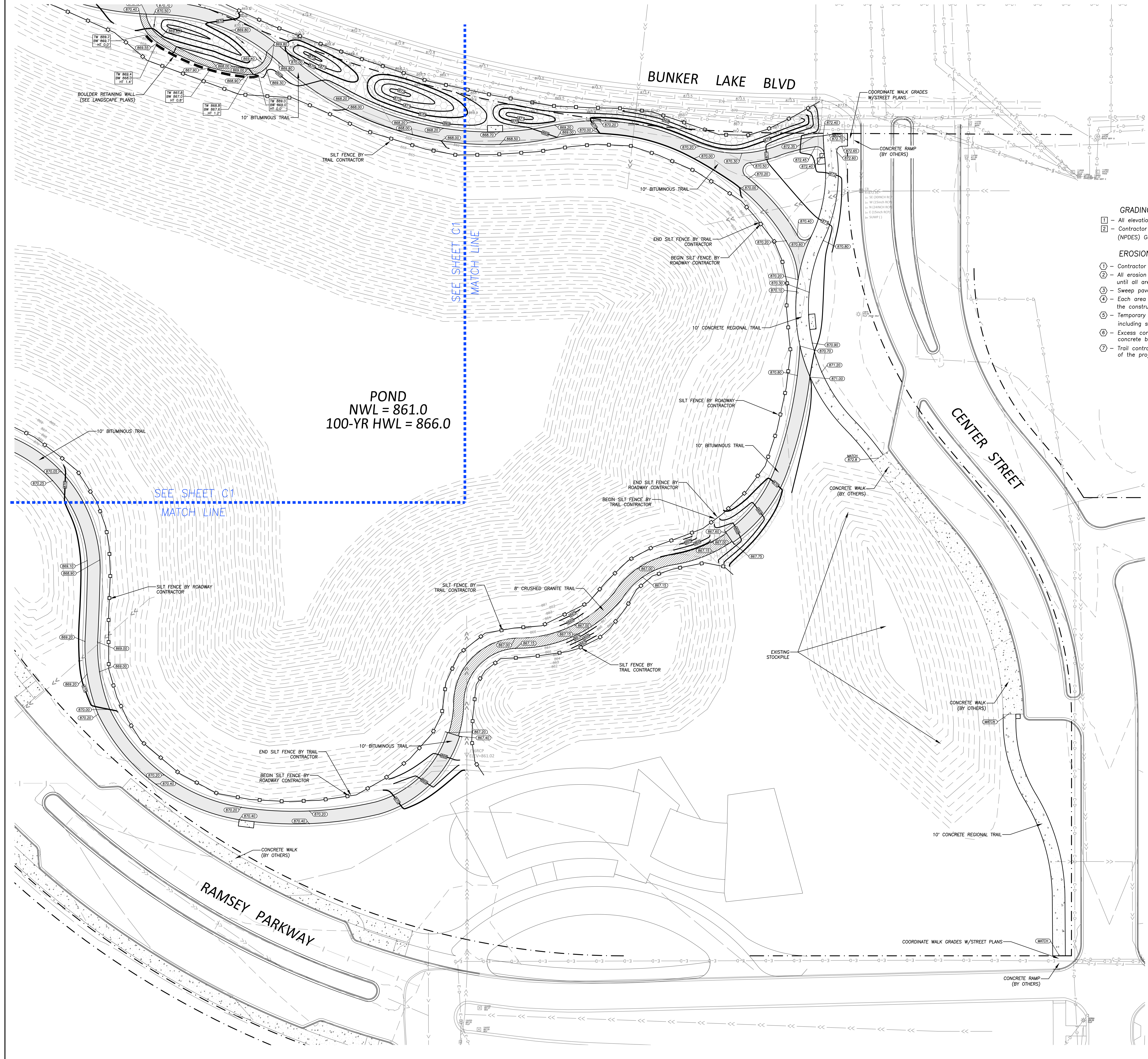
Name: Nicholas P. Adam  
Registration#: 43856  
Signature: *Nicholas P. Adam* 03/08/2024  
Date

Date: 03/08/2024  
DF/ Project #: 23-176  
Scale: 1 INCH = 30 FEET  
Drawn/Checked: BJO/NPA

REVISION


**GRADING & EROSION CONTROL PLAN**

**C101**



**GRADING NOTES**

- 1 - All elevations shown are to final surfaces.
- 2 - Contractor is responsible for obtaining a National Pollutant Discharge Elimination System (NPDES) General Storm Water Permit for Construction Activity before construction begins.

**EROSION CONTROL NOTES**

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- 7 - Trail contractor is responsible for removing all silt fence from the site at the completion of the project.

**SPECIFICATIONS**

**GENERAL**

- I. GENERAL
  - A. Before construction begins, the Contractor shall contact all utility companies, both public and private and have them locate all utilities within the construction limits.
  - B. The Contractor shall be responsible for arranging all required inspections with the governing authority that has jurisdiction over the work that is to be performed.
  - C. The Contractor shall stay within the construction limits unless approved otherwise by the Owner and/or Engineer. Construction limits are defined by the property boundary unless shown different on the plan.
  - D. The Contractor shall be responsible for protecting all existing structures, utilities, trees, etc. from damage during construction.
  - E. The Contractor shall be responsible for correcting any damage (at Contractor's expense).
  - F. Any discrepancies found on the site that affect the proposed work shall be reported to the Owner and/or Engineer before the completion of any additional work.
  - G. No soils report provided. Subgrade soils assumed adequate for the proposed construction.
  - H. Existing Topography and Boundary Survey provided by Bolton & Menz.

**SITE CLEARING**

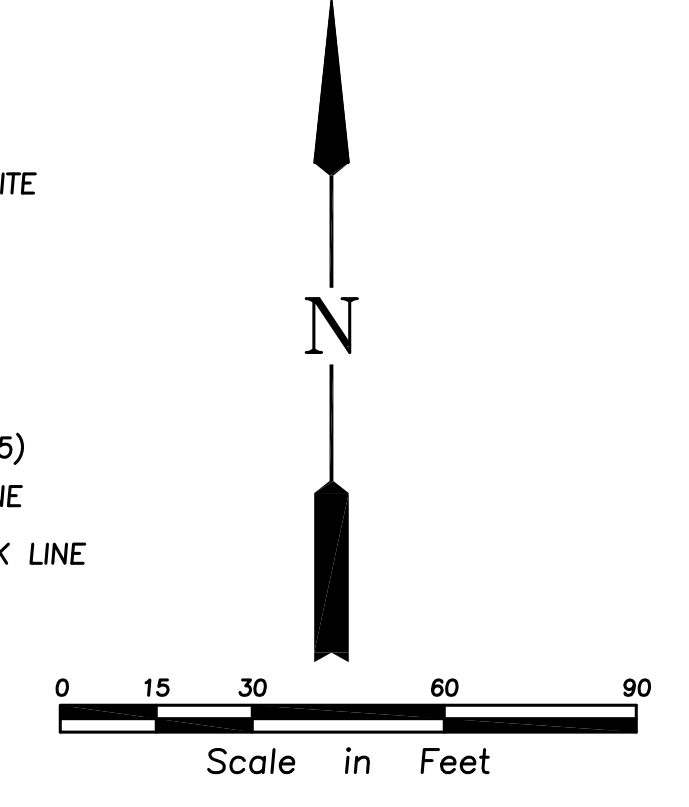
- I. GENERAL
  - A. Remove trees, shrubs, grass, and other vegetation or obstructions, as required, to permit installation of improvements shown on the Plans.
- II. EXECUTION
  - A. Trees and stumps shall be hauled from the site. Burial on-site or burning of trees and stumps will not be allowed.
  - B. Where existing trees are indicated to remain, leave existing topsoil in place within drip lines to prevent damage to root system.
  - C. Topsoil shall be stripped from disturbed areas and stockpiled in piles not exceeding 3-feet in depth.
  - D. Remove all back dirt and unsuitable material from under drives and roadways within 3-feet of final pavement subgrade.
  - E. Remove all waste materials and unsuitable or excess topsoil from Owner's property.

**GRADING, EROSION CONTROL, AND TURF ESTABLISHMENT**

- I. GENERAL
  - A. All grading, erosion control and turf establishment shall be according to the materials, workmanship, and other applicable requirements of the Minnesota Department of Transportation "Standard Specifications for Construction", latest edition, unless otherwise specified.
  - B. All erosion control measures shown on the plans must be installed prior to commencement of grading operations and maintained until all areas altered on the site have been restored.
  - C. All areas disturbed by construction shall be restored with seed and disked mulch, sod, wood fiber blanket, or be hard surfaced within two weeks of substantial completion of construction.
  - D. Provide approved borrow soil materials from off-site when sufficient approved soil materials are not available from excavations. Remove all excess and unsatisfactory material from the site.
  - E. Protect structures, utilities, sidewalks, pavements, and other facilities from damage caused by settlement, lateral movement, undermining, heaving, and other hazards created by earthwork operations.
  - F. Compaction shall not be less than the following percentages of maximum dry density according to ASTM D 698:
    - i. Under structures, building slabs, steps, and pavements, compact the top 12 inches below subgrade and each layer of backfill or fill material at 100 percent maximum dry density.
    - ii. Under walkways, compact the top 6 inches below subgrade and each layer of backfill or fill material at 100 percent maximum dry density.
    - iii. Under lawn or ungrazed areas, compact the top 6 inches below subgrade and each layer of backfill or fill material at 95 percent maximum dry density.
  - G. Grades as shown on the plan are to finished grade.
  - H. Backfill trenches involving utilities under building slabs to be designed by Others (per their requirements).
- II. PRODUCTS
  - A. Satisfactory soils include ASTM D 2487 soil classification groups GW, GP, GM, SW, SP, and SM; free of rock or gravel larger than 2-inches in any dimension, debris waste, frozen material, vegetation and other deleterious matter.
  - B. Unsatisfactory soils include ASTM D 2487 soil classification groups GC, SC, ML, MH, CL, CH, OL, OH, and PT.
  - C. All backfill and fill materials must be satisfactory soil materials.
  - D. Topsoil shall be per ASTM D 5268, free of stones 1" or larger.
  - E. Subbase and base material must be a naturally or artificially graded mixture of natural or crushed gravel, crushed stone, and natural or meeting MNDOT Specifications for Class 6 gravel.
  - F. Spring/Summer temporary turf establishment: seed shall be MNDOT Mixture 110 @ 100 lbs/acre and mulch shall be MNDOT Type 1.
  - G. Winter temporary turf establishment: seed shall be MNDOT Mixture 100 @ 100 lbs/acre and mulch shall be MNDOT Type 1.
- III. EXECUTION
  - A. Place 4-inches of topsoil over all areas to be re-established with turf or as specified in the landscape plans.
  - B. Provide erosion control measures to prevent erosion or displacement of soils and discharge of soil-bearing water runoff or airborne dust to adjacent properties and walkways.
  - C. Place inlet protection devices in catch basins and maintain until all areas disturbed have been restored.
  - D. Whenever construction vehicle access routes intersect paved public roads, provisions must be made to minimize the transport of sediment (mud) by runoff or vehicles tracking onto the paved road surface. Where sediment is transported onto a public road surface, the roads shall be cleaned thoroughly at the end of each day. Sediment shall be removed by shoveling or sweeping and be transported to a sediment controlled disposal area. Street washing shall be allowed only after sediment is removed in this manner.

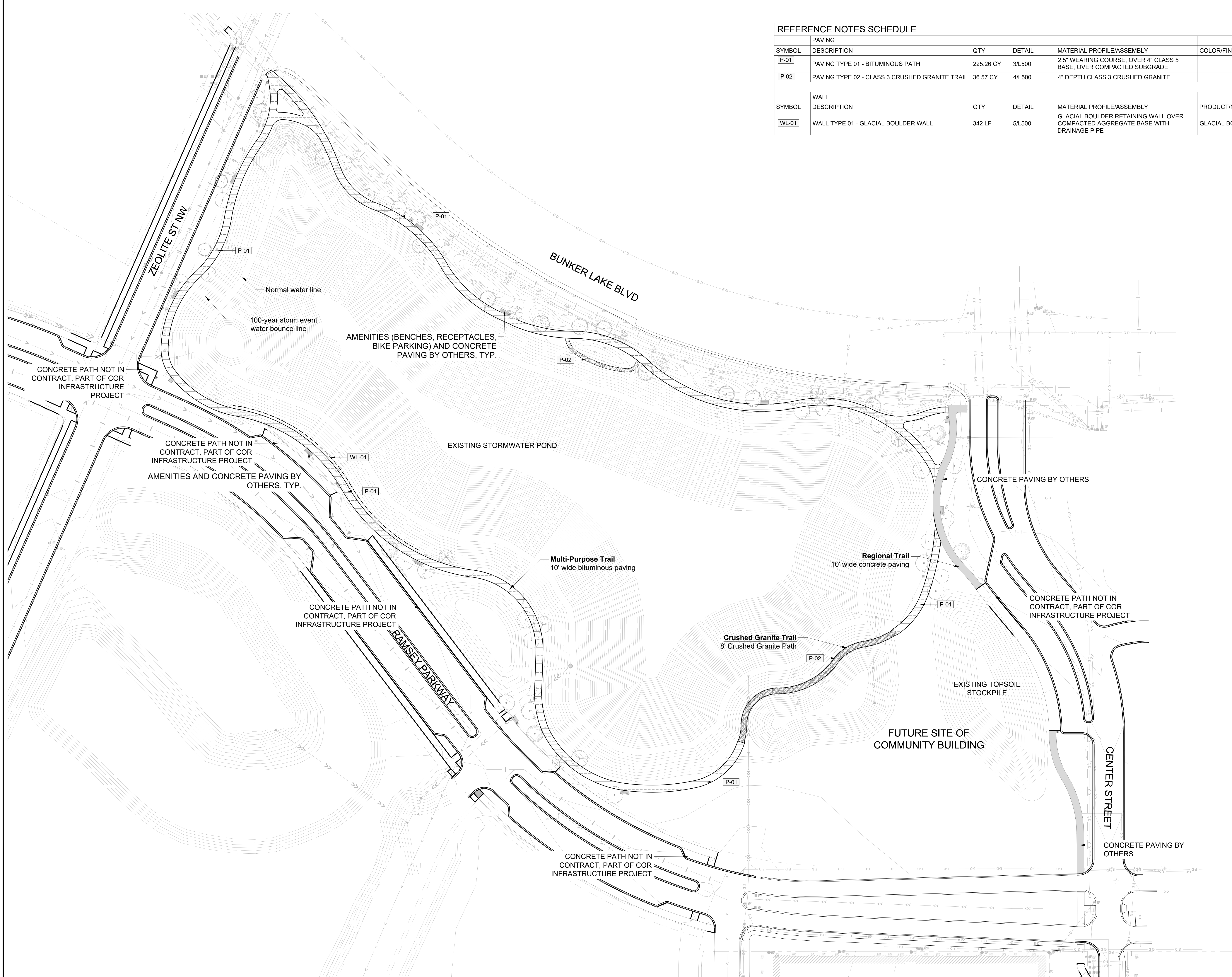
**LEGEND**

- PROPOSED CONCRETE
- PROPOSED BITUMINOUS
- PROPOSED CRUSHED GRANITE
- PROPOSED CONTOUR
- PROPOSED ELEVATION
- SILT FENCE
- PROPOSED EC BLANKET CATEGORY 20 (MNDOT 3885)
- BOUNDARY/ROW/BLOCK LINE
- BUILDING/PARKING SETBACK LINE
- DRAINAGE ARROW
- EXISTING CONTOUR
- EXISTING ELEVATION



REFERENCE NOTES SCHEDULE

PAVING					
SYMBOL	DESCRIPTION	QTY	DETAIL	MATERIAL PROFILE/ASSEMBLY	COLOR/FINISH
P-01	PAVING TYPE 01 - BITUMINOUS PATH	225.26 CY	3/L500	2.5" WEARING COURSE, OVER 4" CLASS 5 BASE, OVER COMPACTED SUBGRADE	
P-02	PAVING TYPE 02 - CLASS 3 CRUSHED GRANITE TRAIL	36.57 CY	4/L500	4" DEPTH CLASS 3 CRUSHED GRANITE	
WALL					
SYMBOL	DESCRIPTION	QTY	DETAIL	MATERIAL PROFILE/ASSEMBLY	PRODUCT/MODEL
WL-01	WALL TYPE 01 - GLACIAL BOULDER WALL	342 LF	5/L500	GLACIAL BOULDER RETAINING WALL OVER COMPACTED AGGREGATE BASE WITH DRAINAGE PIPE	GLACIAL BOULDER 12"-36"



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EARTHWORK, UTILITIES & TRAIL PAVING

THE WATERFRONT

RAMSEY, MINNESOTA

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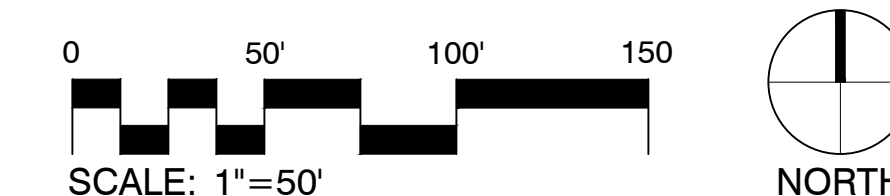
Name Charles Evens  
Registration# 50575  
*Charles Evens*  
Signature 03/08/2024 Date

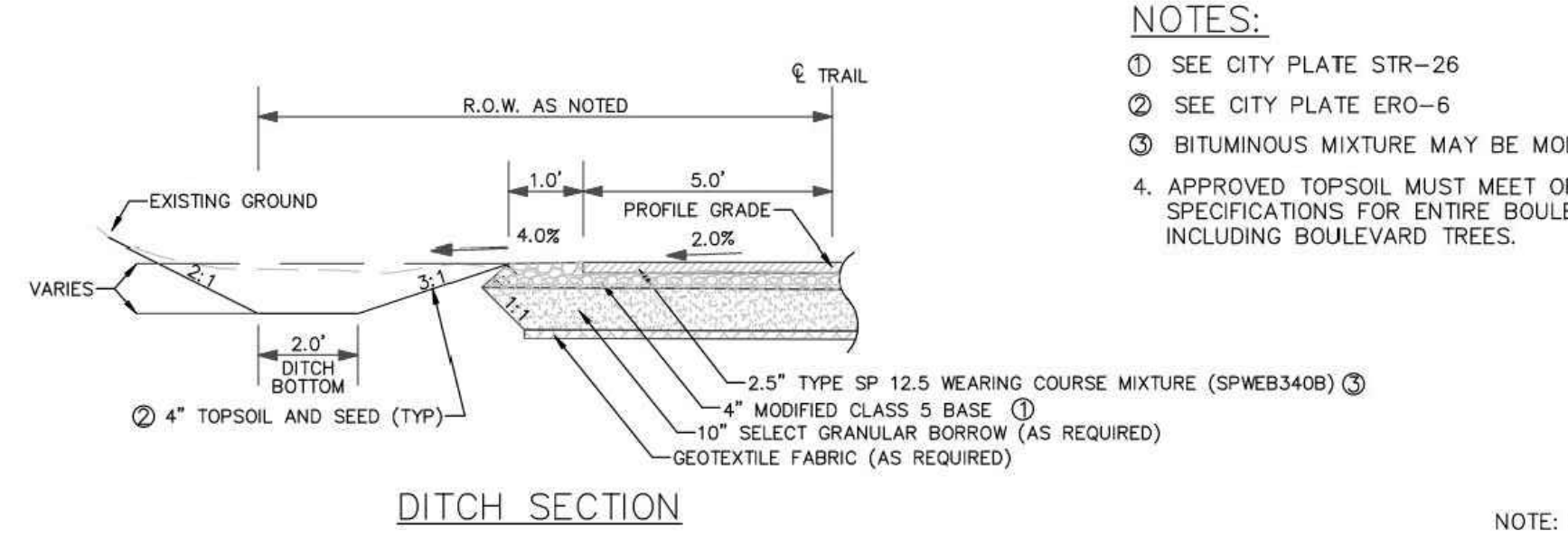
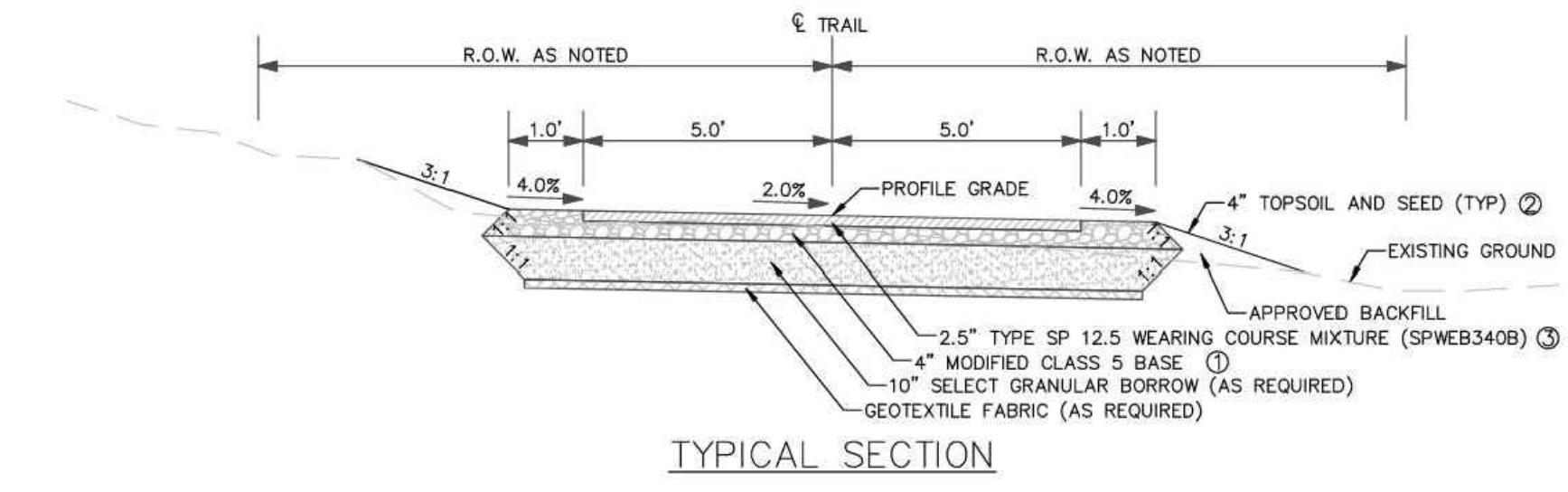
Date 03/08/2024  
DF/ Project # 23-176  
Scale AS SHOWN  
Drawn/Checked AG/CE

REVISION

SITE MATERIALS PLAN

L110



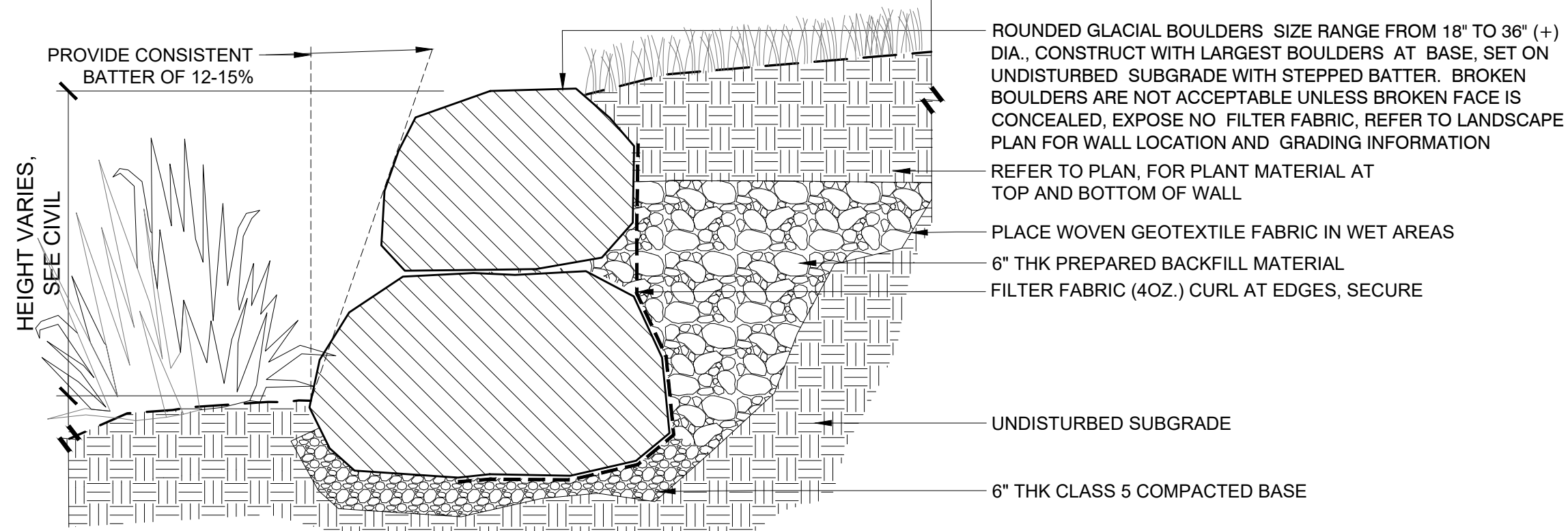


- NOTES:**
- ① SEE CITY PLATE STR-26
  - ② SEE CITY PLATE ERO-6
  - ③ BITUMINOUS MIXTURE MAY BE MODIFIED PER PLAN.
  - 4. APPROVED TOPSOIL MUST MEET ORGANIC CONTENT SPECIFICATIONS FOR ENTIRE BOULEVARD IN AREAS INCLUDING BOULEVARD TREES.

**3** DETAIL-BITUMINOUS TRAIL SECTION - STANDARD  
NTS

P-23 176-92

- NOTES:**
- REFER TO CIVIL PLAN FOR LOCATION, TOP OF WALL AND BOTTOM OF WALL ELEVATIONS.
  - BOULDERS SHALL BE STABLE AND FREE FROM MOVEMENT.
  - SELECT BOULDERS FOR APPROPRIATE SCALE AND FIT WITH ADJACENT BOULDERS
  - INSTALL LARGEST BOULDERS ON THE BOTTOM COURSE
  - PROPERLY SELECTED BOULDERS WILL LIMIT SIZE OF VOIDS AND PROVIDE SECURE WALL
  - ENSURE GOOD CONTACT BETWEEN ADJACENT BOULDERS
  - PROVIDE SOLID INSTALLATION WITHOUT MOVEMENT OF INDIVIDUAL BOULDERS
  - SELECT BOULDERS FOR APPROPRIATE SCALE AND FIT WITH ADJACENT BOULDERS
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  - ENSURE GOOD CONTACT BETWEEN ADJACENT BOULDERS
  - PROVIDE SOLID INSTALLATION WITHOUT MOVEMENT OF INDIVIDUAL BOULDERS



**2** WALL TYPE 01 - BOULDER RETAINING WALL  
1" = 1'-0"

P-23 176-14

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EARTHWORK, UTILITIES & TRAIL PAVING

THE WATERFRONT

RAMSEY, MINNESOTA

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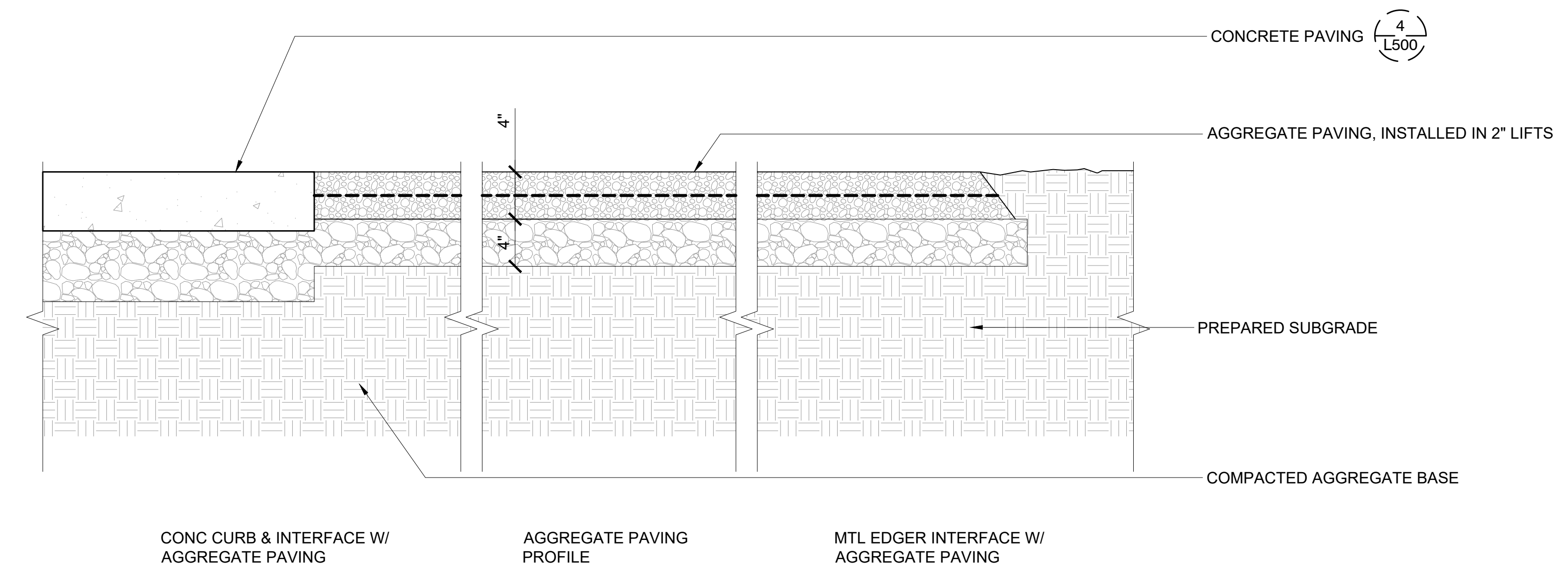
Name: Charles Evens  
Registration#: 50575  
Signature: *Charles Evens*  
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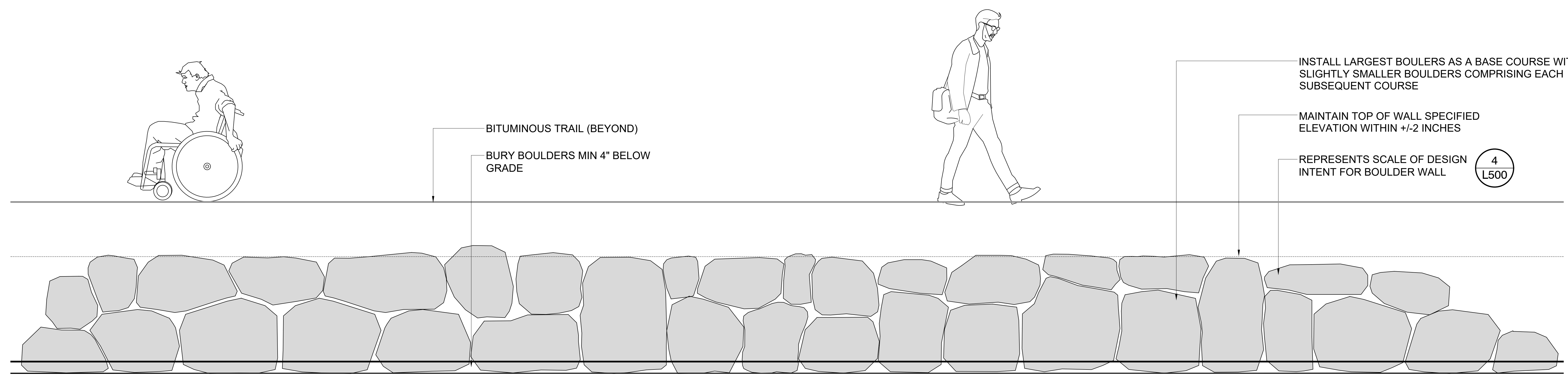
REVISION	

SITE DETAILS

L500

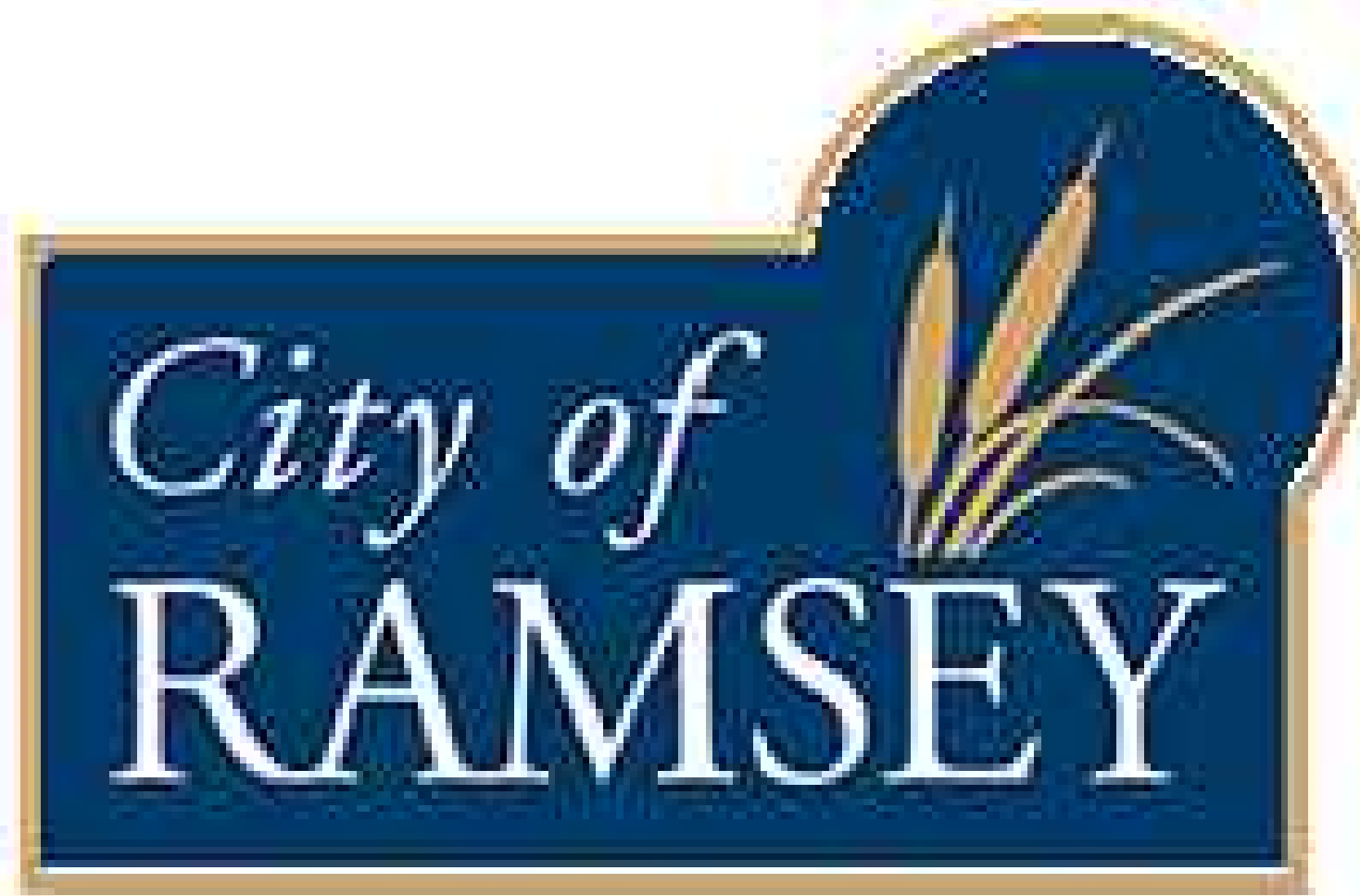


**4** DETAIL - AGGREGATE PAVING  
1 1/2" = 1'-0"



**1** WALL TYPE 01 - BOULDER RETAINING WALL ELEVATION  
3/4" = 1'-0"

P-23 176-94



# THE WATERFRONT

CITY OF RAMSEY

RAMSEY, MN 55303

## 100% CONCRETE PAVING & INSTALLATION OF SITE FURNISHINGS CONSTRUCTION DRAWINGS



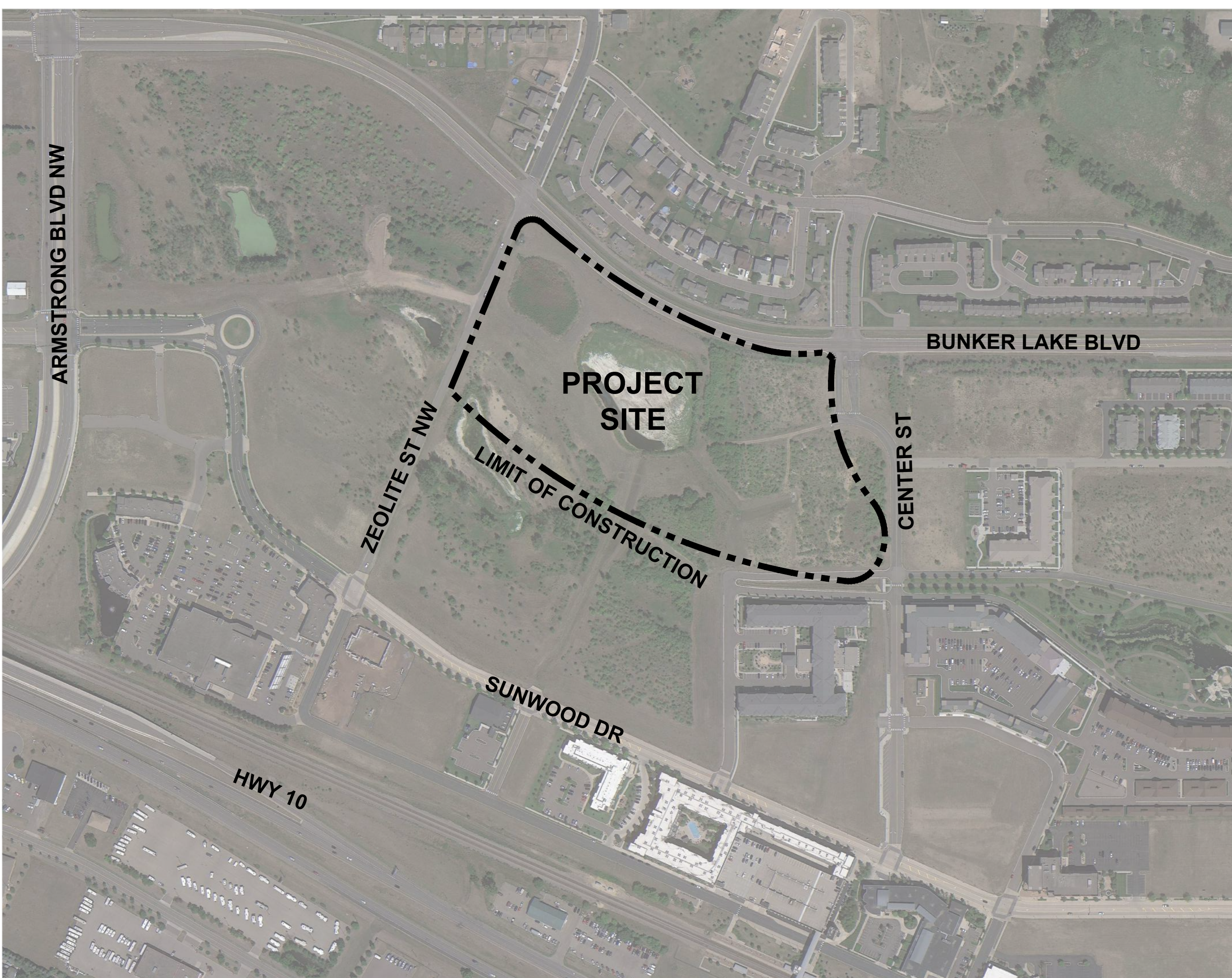
310 South 4th Avenue, Suite 7050  
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p: 612.332.7522



3440 Federal Drive, Suite 110  
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Telephone: 651-452-5051  
www.rehder.com  
Project No: 221-3242.012  
PROJECT NO.: 221-3242.012  
DRAWING FILE: 3242012.DWG

PROJECT # 23-176

CONTEXT MAP



PROJECT DIRECTORY

**OWNER**  
CITY OF RAMSEY  
MARK RIVERBLOOD | PARKS & ASSISTANT PUBLIC WORKS DIRECTOR  
7550 SUNWOOD DRIVE NW  
RAMSEY, MINNESOTA 55303  
MRIVERBLOOD@CITYOFRAMSEY.COM  
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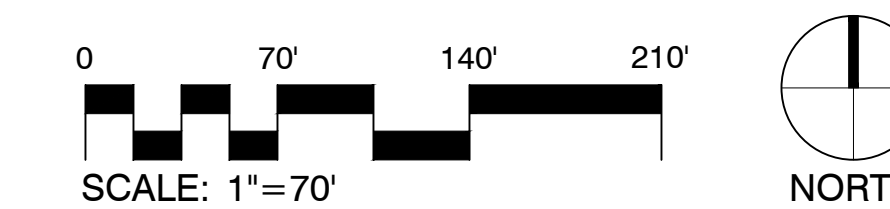
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NADAM@REHDER.COM  
651.337.6729



01 SITE ORIENTATION PLAN  
1" = 50'-0"



100% CONSTRUCTION SET FOR CONTRACTOR QUOTES

CONCRETE PAVING & INSTALLATION OF SITE FURNISHINGS

THE WATERFRONT

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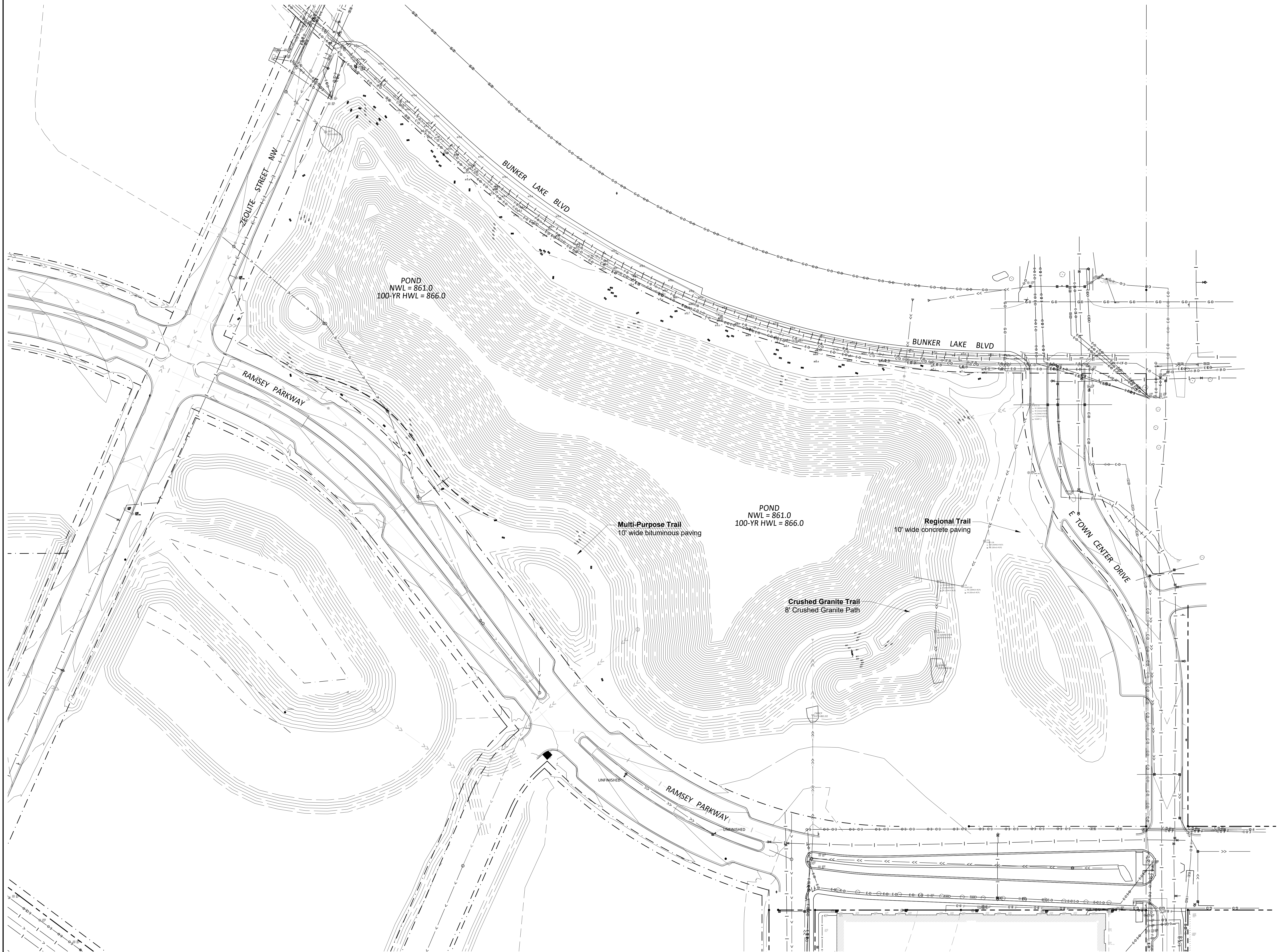
Name: Charles Evens  
Registration#: 50575  
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Date: 03/08/2024

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DF/ Project #: 23-176  
Scale: AS SHOWN  
Drawn/Checked: AG/CE

REVISION: --

COVER SHEET

G000



100% CONSTRUCTION  
SET FOR CONTRACTOR  
QUOTES

CONCRETE PAVING &  
INSTALLATION OF SITE  
FURNISHINGS

## THE WATERFRONT

RAMSEY, MINNESOTA

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Name Charles Evens  
Registration# 50575  
*Charles Evens*  
Signature 03/08/2024  
Date

Date 03/08/2024  
DF/ Project # 23-176  
Scale AS SHOWN  
Drawn/Checked AG/CE

REVISION	

EXISTING  
CONDITIONS

# G001

## GENERAL PROJECT NOTES

### CONTRACT DOCUMENTS

1. THE WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS.
2. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. READ THE DRAWINGS IN CONJUNCTION WITH THE SPECIFICATIONS AND EXECUTE THE WORK.
3. THE WORK IS DEPENDENT ON SEVERAL DISCIPLINES. READ THE DRAWINGS BY CROSS-REFERENCING BETWEEN DISCIPLINES.
4. REPORT DISCREPANCIES IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR DIRECTION BEFORE PROCEEDING WITH THE WORK.

### SITE ACCESS & PROTECTION

1. STAGING AREA IS WITHIN THE CONTRACT LIMIT (OR "PROJECT LIMITS") LINE. STAGING AREA DOES NOT INCLUDE ACCESS ROUTES TO THE SITE. THE CONSTRUCTION (AND REMOVAL) OF TEMPORARY STAGING AREAS AND/OR ACCESS ROUTES SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY AND EXPENSE.
2. CONSTRUCTION RELATED VEHICLES REQUIRED FOR THE WORK EXITING AND/OR ENTERING THE SITE SHALL NOT DEPOSIT DIRT, MUD, OR OTHER DELETERIOUS MATERIALS THAT WOULD PRESENT A NUISANCE OR HAZARD TO THE PUBLIC TRAVELING ON RIGHT OF WAYS. PREVENTION AND CLEANING SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY AND EXPENSE.
3. NO WORK, EQUIPMENT OR STAGING IS PERMITTED OUTSIDE THE LIMIT LINES UNLESS THE CONTRACTOR HAS APPROVAL FROM AUTHORITIES. COORDINATION PERMITS AND TRAFFIC CONTROL REQUIRED SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY AND EXPENSE.
4. THE DOCUMENTS DO NOT SPECIFY SAFETY MATERIALS, EQUIPMENT, METHODS OR SEQUENCING TO PROTECT PERSONS AND PROPERTY. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY AND EXPENSE TO DIRECT AND IMPLEMENT SAFETY OPERATIONS TO PROTECT PERSONS AND PROPERTY.

### QUALITY ASSURANCE

1. EXECUTE THE WORK AND SCHEDULE INSPECTIONS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL STANDARDS, LAWS AND REGULATIONS.
2. ENSURE SUBCONTRACTORS, MANUFACTURERS AND SUPPLIERS HAVE THE LATEST CONTRACT DOCUMENTS PRIOR TO THE SUBMITTAL OF THEIR SHOP DRAWINGS AND/OR DELEGATED DESIGN DRAWINGS.
3. REFER TO THE SPECIFICATIONS FOR REQUIRED SUBMITTALS, INSPECTIONS AND NOTICE TO PROCEED.

### EXISTING CONDITIONS SURVEY

1. THE DOCUMENTS ARE BASED ON THE FOLLOWING TOPOGRAPHIC AND UTILITY SURVEY:
  - TOPOGRAPHIC SURVEY BY [INSERT SURVEYOR NAME AND ATE PERFORMED]
2. SURVEYED UNDERGROUND UTILITIES ARE PROVIDED FOR INFORMATION ONLY AS THEY ARE INFERRED BY SURFACE MARKINGS AND FEATURES AND AS SUCH MAY NOT BE ACCURATE OR COMPLETE.

### GEOTECHNICAL REPORT

1. THE GEOTECHNICAL REPORTS ARE MADE AVAILABLE FOR INFORMATION ONLY AS SOME RECOMMENDATIONS IN THE REPORT MAY NOT BE RELEVANT OR USED IN THE DOCUMENTS.

### UTILITIES

1. THE LOCATIONS AND SIZES OF EXISTING UTILITIES (IF SHOWN) ARE APPROXIMATE ONLY. IDENTIFY, LOCATE AND PROTECT UNDERGROUND AND OVERHEAD UTILITIES TO REMAIN.
2. COORDINATE WITH THE LOCAL UTILITY COMPANIES AND/OR AGENCIES. CALL LOCAL '811' OR REQUEST LOCATES ONLINE NO LESS THAN 48 HOURS PRIOR TO DIGGING TO LOCATE UNDERGROUND UTILITIES OR AS REQUIRED BY LOCAL REGULATIONS.
3. BE FULLY RESPONSIBLE FOR THE COST OF DAMAGES WHICH OCCUR AS A RESULT OF A FAILURE TO ACCURATELY LOCATE AND/OR RETAIN UTILITIES TO REMAIN.

### LAYOUT

1. THE VERTICAL CONTROL FOR THE PROJECT IS: NORTH AMERICAN VERTICAL DATUM (NAV88) OR NATIONAL GEODETIC DATUM (NGDV29) UNLESS OTHERWISE NOTED.
2. VERIFY THE LOCATION OF EXISTING FEATURES TO REMAIN THAT CONNECT TO NEW WORK, DIMENSIONAL CLEARANCES, SETBACKS AND OFFSETS AND VERTICAL DATUM. REPORT DISCREPANCIES IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR DIRECTION BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
3. VERIFY PREVIOUS UNDERLYING TRADEWORK CONFORMS TO THE DOCUMENTS PRIOR TO PROCEEDING WITH OVERLYING TRADEWORK. REPORT DISCREPANCIES IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR DIRECTION BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
4. GENERAL CONTRACTOR SHALL RETAIN SURVEY CONTROL FOR LAYOUT OF THE WORKS AND AS-BUILT SURVEYS.
5. COORDINATE AND COLLATE SUBCONTRACTOR'S SURVEYS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY EXISTING SITE CONDITIONS AND EVOLVING SITE CONDITIONS PRIOR TO THE START OF SITE WORK. DISCREPANCY AND/OR UNFORESEEN CONDITIONS FOUND SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO STARTING THE SITE WORK. DO NOT BEGIN WORK IN SUCH AFFECTED AREA UNTIL THE DISCREPANCY HAS BEEN RESOLVED.
6. ERECT AND INSTALL ALL WORK LEVEL, PLUMB, SQUARE, TRUE, STRAIGHT AND IN PROPER ALIGNMENT.
7. DO NOT SCALE FROM DRAWINGS. USE DIMENSIONS SHOWN AND/OR SUPPLIED CAD DRAWING FILE AND SURVEY INTERPOLATION.
8. DIMENSIONS NOTED "CLR" OR "CLEAR" MUST BE STRICTLY MAINTAINED ALLOWING FOR THICKNESS OF FINISHES. FIELD VERIFY PRIOR TO CONSTRUCTION.
9. ANGLES ARE 90 DEGREES UNLESS NOTED OTHERWISE.
10. CURVES FOR PAVING, BANDS, PATHS, EDGING AND HEADER BOARDS SHALL BE SMOOTH AND CONTINUOUS WITHOUT ABRUPT CHANGES, OBVIOUS TANGENTS OR BENDS.
11. PITCH EVENLY BETWEEN SPOT GRADES AND CONTOUR LINES UNLESS GRADE BREAKS, RIDGELINES, SWALES ARE INDICATED OR OTHERWISE NOTED. PAVED AREAS SHALL PITCH AT A MINIMUM OF 1% UNLESS OTHERWISE NOTED ON DRAWINGS. DISCREPANCIES OR CONDITIONS NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE FOR RESOLUTIONS PRIOR TO CONTINUING WORK.
12. PEDESTRIAN SIDEWALKS AND PAVING SHALL HAVE A CROSS PITCH LESS THAN 2% UNLESS OTHERWISE NOTED TO MEET ADA REQUIREMENTS.

13. REQUEST A FIELD REVIEW BY THE LANDSCAPE ARCHITECT OF THE LAYOUT OF ELEMENTS AS SHOWN. OBTAIN LANDSCAPE ARCHITECT'S APPROVAL OF LAYOUT BEFORE INSTALLING THE FOLLOWING:
  - FIRST TYPICAL SITE LIGHTING FIXTURES, JUNCTION BOXES, TRANSFORMERS.
  - FIRST TYPICAL SITE UTILITY FIXTURES, INCLUDING BUT NOT LIMITED TO BOXES, VAULTS, PULL BOXES, MAN HOLES, AIR RELEASE VALVES, VENTS, BFP, AND OTHER CIVIL, MECHANICAL, ELECTRICAL, PLUMBING, TELECOM, HEATING/COOLING, AND IRRIGATION STRUCTURES.
  - FIRST TYPICAL FORMWORK OF WALLS.
  - TREE LOCATIONS. STAKE ALL TREE LOCATIONS. OBTAIN APPROVAL OF LANDSCAPE ARCHITECT BEFORE PLANTING TREES.
  - FIRST TYPICAL CURVED EDGING AND CUTTING.
  - FIRST TYPICAL EXPANSION JOINTS IN CONCRETE PAVING.

### WORK BY OTHERS

1. COOPERATE AND COORDINATE WITH OTHER CONTRACTORS WORKING CONCURRENTLY SO AS TO NOT VIOLATE EACH OTHER'S PERMITS AND TO AVOID DAMAGE TO EACH OTHER'S WORK.
2. EACH CONTRACTOR SHALL PROTECT AND MAINTAIN THEIR OWN WORK FOR THE DURATION OF THEIR CONTRACTS.

### CODE COMPLIANCE

1. WORK SHALL BE IN ACCORDANCE WITH APPLICABLE LAWS, CODES AND REQUIREMENTS OF REGULATORY AGENCIES HAVING JURISDICTION.
2. NOTIFY THE OWNER'S REPRESENTATIVE OF DISCREPANCIES BETWEEN THE WORK AND APPLICABLE CODES. DO NOT WORK IN AN AFFECTED AREA UNTIL THE DISCREPANCY HAS BEEN RESOLVED.
3. VERIFY CODES IN EFFECT AT THE TIME OF THE NOTICE TO PROCEED AND STAY CURRENT WITH CODE CHANGES WHICH AFFECT THE WORK UNTIL SUBSTANTIAL COMPLETION.
4. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN AND PAY FOR CONSTRUCTION RELATED PERMITS.

### CODES IN EFFECT

1. THE FOLLOWING CODES ARE APPLICABLE AND IN EFFECT:
  - [INSERT BUILDING CODE INFORMATION]
2. REVISIONS TO THE APPROVED AND PERMITTED DRAWINGS OR DOCUMENTS SHALL BE SUBMITTED TO THE CODE AUTHORITIES FOR REVIEW. NOTIFY THE OWNER'S REPRESENTATIVE OF THE PROCESSING TIME FOR EACH REVISION SUBMITTED FOR PLAN CHECK.

### COPYRIGHT AND REPRODUCTION

1. THE USE OF REPRODUCTIONS OF THE CONTRACT DOCUMENTS OR ELECTRONIC FILES AS SHOP DRAWING DOCUMENTS BY THE CONTRACTOR IS AT THEIR OWN RISK. THE DESIGN CONSULTANTS ASSUME NO LIABILITY AS A RESULT OF THE USE OF REPRODUCTIONS OF THE CONTRACT DOCUMENTS FOR SHOP DRAWINGS AND/OR DELEGATED DESIGN DRAWINGS.
2. THE ENTIRE CONTRACT DOCUMENT PACKAGE HEREIN IS THE ORIGINAL AND UNPUBLISHED PROPERTY OF THE OWNER AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE PRIOR EXPLICIT WRITTEN CONSENT.
3. THE USE OF DIGITAL DESIGN FILES SHALL REQUIRE THE CONTRACTOR TO AGREE TO PRIME CONSULTANT'S LICENSE CONDITIONS BEFORE USE.

### CONSTRUCTION LOADS, DAMAGES & REPAIRS

1. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SLOPE STABILITY AND DE-WATERING DURING THE WORKS UNLESS UNKNOWN CONDITIONS ARE ENCOUNTERED.
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROTECTING THE WORKS FROM CONSTRUCTION LOADS AND DAMAGES TO EXISTING STRUCTURES TO REMAIN, NEW STRUCTURES AND NEW PAVEMENTS DURING THE WORKS.
3. BE FULLY RESPONSIBLE FOR THE COST OF DAMAGES WHICH OCCUR AS A RESULT OF A FAILURE TO MITIGATE CONSTRUCTION LOADS AND/OR PROTECT THE WORKS FROM CONSTRUCTION RELATED IMPACTS. REPAIRS SHALL BE TO A NEW OR BETTER CONDITION COMPARED TO THE EXISTING CONDITION BEFORE DAMAGE, AND AS APPROVED BY THE OWNER'S REPRESENTATIVE.
4. CONFIRM ON-STRUCTURE UNIFORM AND POINT LOAD LIMITS WITH ENGINEER PRIOR TO IMPORTING AND HANDLING LANDSCAPE MATERIALS OVER VAULTS, AND/OR TUNNELS, INCLUDING UTILITY STRUCTURES, AND FLOOD CONTROL STRUCTURES.

### CONSTRUCTION WASTE MANAGEMENT

1. REMOVE FROM THE SITE EXCESS MATERIAL AND/OR DEBRIS. DISPOSAL OF MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR. EXCESS MATERIAL AND/OR DEBRIS TO ABLE TO BE RECYCLED OR REUSED SHALL BE DISPOSED OF OFF THE PROJECT SITE IN A PERMITTED LANDFILL.

## EXISTING CONDITIONS & SITE REMOVAL NOTES

### SITE REMOVAL NOTES

1. EXISTING SITE INFORMATION WAS PROVIDED BY OTHERS. ACTUAL FIELD CONDITIONS MAY VARY. FIELD VERIFY UTILITY LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
2. THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT EXISTING UTILITIES OR STRUCTURES LOCATED AT THE WORK SITE.
3. CONTRACTOR TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES PRIOR TO BEGINNING ANY CONSTRUCTION BY CALLING GOPHER STATE ONE-CALL AT 651-454-0002 (METRO) OR 1-800-252-1166 (OUT-STATE).
4. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY UTILITY COMPANY'S FORCES AND FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING FEES AND CHARGES.
5. ALWAYS VERIFY BENCHMARK ELEVATIONS BETWEEN TWO BENCHMARKS.
6. REMOVAL ITEMS BECOME THE PROPERTY OF THE CONTRACTOR UNLESS SPECIFIED OTHERWISE. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS

IN A LAWFUL MANNER PER LOCAL GOVERNING AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL. FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.

7. PRIOR TO DEMOLITION, EROSION CONTROL DEVICES ARE TO BE INSTALLED WHERE NECESSARY AND OBTAIN AN NPDES STORM WATER PERMIT. REFER TO CIVIL FOR EROSION CONTROL.
8. DAMAGE TO REMAINING EXISTING CONDITIONS WILL BE REPLACED AT CONTRACTOR'S EXPENSE AND SHALL BE EQUAL TO OR EXCEED THE QUALITY OF CONSTRUCTION PRIOR TO DAMAGE.
9. CONCRETE PAVEMENT, SIDEWALKS, CURB AND GUTTER, AND OTHER POURED CONCRETE ITEMS ARE TO BE REMOVED TO AN EXISTING EXPANSION OR CONTRACTION JOINT.
10. CONTRACTOR SHALL LIMIT SAW-CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS. IF DAMAGE IS INCURRED ON THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR AT NO ADDITIONAL COST TO THE OWNER. BITUMINOUS PAVEMENT REMOVALS ARE TO BE MADE WITH A VERTICAL SAW CUT OR TO A NEAT MILLED EDGE.
11. CONTRACTOR SHALL PRESERVE VEGETATION NOT TO BE REMOVED BY CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR RE-SEEDING OR SODDING AREAS DISTURBED BY CONSTRUCTION.
12. LOCATION AND ELEVATIONS OF IMPROVEMENTS TO BE MET (OR AVOIDED) SHALL BE CONFIRMED BY THE CONTRACTOR THROUGH FIELD EXPLORATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REPORT TO THE LANDSCAPE ARCHITECT DISCREPANCIES BETWEEN THEIR MEASUREMENTS AND THESE PLANS. CONTRACTOR SHALL ALSO MAKE EXPLORATION EXCAVATIONS AND LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES. CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND OTHER EXISTING LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
13. EXISTING UTILITIES TO REMAIN IN PLACE UNLESS SPECIFICALLY MARKED ON THIS SHEET.

## SYMBOLS

	PROPERTY LINE
	SECTION LIMIT
	CENTER LINE
	STATION POINT
	REVISION RECORD
	MATCH LINE
	PROJECT LIMITS LINE
	SECTION REFERENCE
	DETAIL CALLOUT
	LARGE SCALE PLAN OR ENLARGED DETAIL
	LEADER
	DIMENSION
	DIMENSION (RADIUS, ANGLE, FOCI)
	DIMENSION (ARC LENGTH)
	ALIGN
	KEY NOTE

## ABBREVIATIONS

APPROX AVG	APPROXIMATE AVERAGE	PC PCC PERF PERP pH PH PI PKG PL PLBG PRCST PREFAB PROV PVC PWR	POINT OF CURVE PRECAST CONCRETE PERFORATED PERPENDICULAR ACID/ALKALINE SCALE PHASE POINT OF INTERSECTION PACKAGE PROPERTY LINE PLUMBING PRECAST PREFABRICATE PROVISIONAL POLYVINYL CHLORIDE POWER
BLDG BM BOS BOT	BUILDING BENCHMARK BOTTOM OF STAIR BOTTOM	QTR QTY	QUARTER QUANTITY
C CB CIP CJ CL CLR CLL CMU CONC CTR	CHILLER CATCH BASIN CAST-IN-PLACE CONTROL JOINT CENTER LINE CLEAR CONTRACT LIMIT LINE CONCRETE MASONRY UNIT CONCRETE CENTER	R RCP RECIRC RECPT REINF REQD REVISION RLG ROW	RADIUS REINFORCED CONCRETE PIPE RECIRCULATE RECEPTACLE REINFORCE REQUIRED REVISION RAILING RIGHT OF WAY
DAT DEG DIA DIM DIST DIV DWG	DATUM DEGREE DIAMETER DIMENSION DISTANCE DIVISION DRAWING	S SALV SEG SHT SIM SPEC SQ SSD SST STA STD SUCT	SOUTH SALVAGE SEGMENT SHEET SIMILAR SPECIFICATION SQUARE SUBSOIL DRAIN STAINLESS STEEL STATION STANDARD SUCTION
E EA EJ EL EP EQ EQSP EQUIV EX	EAST EACH EXPANSION JOINT ELEVATION EDGE OF PAVEMENT EQUAL EQUAL SPACING EQUIVALENT EXISTING	T TAN TBD TB-XX TD TEMP THK THRU TO TOC TOL TOS TOW TR TS TYP	TRANSFORMER TANGENT TO BE DETERMINED TEST BORING TRENCH DRAIN TEMPORARY THICKNESS THROUGH TOP OF TOP OF CURB TOLERANCE TOP OF SLOPE TOP OF WALL TRASH TOP OF STAIR TYPICAL
F FC FFE FF&E FG FOC FOW FV	FAHRENHEIT FOOTCANDLE FINISH FLOOR ELEVATION FURNITURE, FIXTURE, AND EQUIPMENT FINISHED GRADE FACE OF CURB FACE OF WALL FIELD VERIFY	UGND UNIF UP UV	UNDERGROUND UNIFORM UTILITY POLE ULTRAVIOLET
GALV GDR	GALVANIZED GUARDRAIL	VAR VERT VRFY	VARIES VERTICAL VERIFY
H HB HDPE HH HDR HORIZ HT HV	HIGH HOSE BIBB HIGH DENSITY POLYETHYLENE HAND HOLE HANDRAIL HORIZONTAL HEIGHT HIGH VOLTAGE	W W/ W/O WL WLD WT.EL	WEST WITH WITHOUT WATERLINE WELDED WATER ELEVATION
ID INV.EL	INSIDE DIMENSION INVERT ELEVATION	XFMR	TRANSFORMER
KW	KILOWATT	YR	YEAR
LDPE LED LF LPT LTD LV LW	LOW DENSITY POLYETHYLENE LIGHT EMITTING DIODE LINEAR FEET LOW POINT LIMITED LOW VOLTAGE LOW WATER	@ & - / + IJ HW NP GB	AT AND DIMENSION TOLERANCE ISOLATION JOINT HIGH WATER NORMAL POOL GRADE BREAK
MAX MFR.REC MH MID MIN	MAXIMUM MANUFACTURER'S RECOMMENDATIONS MANHOLE MIDDLE MINIMUM		
N NA NIC NO NOM NTS	NORTH NOT APPLICABLE NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE		
OC OD OH	ON CENTER OUTSIDE DIAMETER OVERHANG		
PB	PULL BOX		

100% CONSTRUCTION  
SET FOR CONTRACTOR  
QUOTES

CONCRETE PAVING &  
INSTALLATION OF SITE  
FURNISHINGS

THE  
WATERFRONT

RAMSEY, MINNESOTA

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

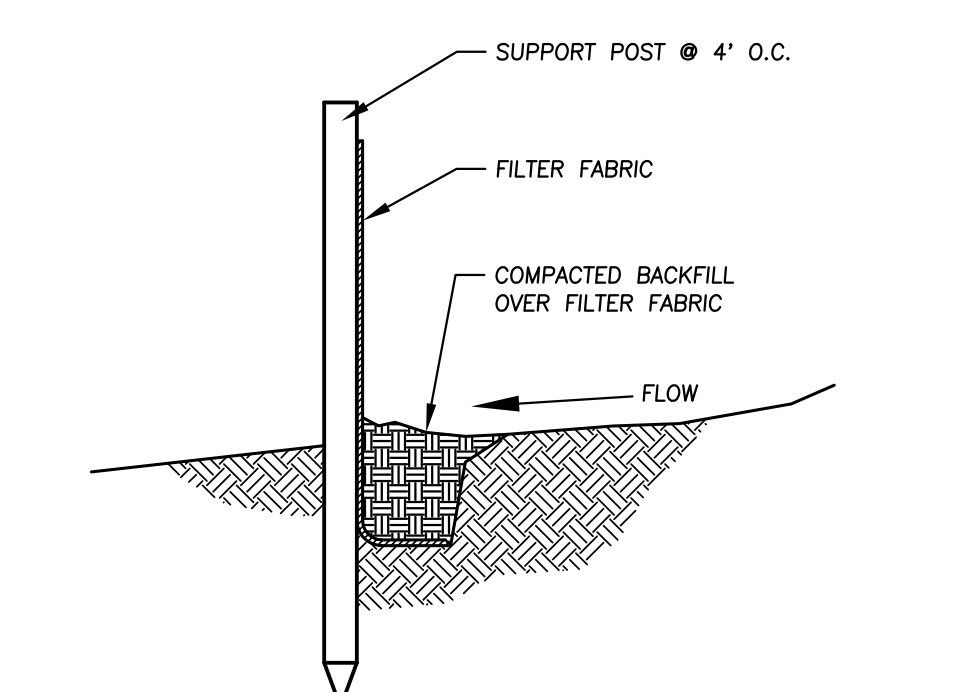
Name Charles Evens  
Registration# 50575  
  
Signature Date 03/08/2024

Date 03/08/2024  
DF/ Project # 23-176  
Scale AS SHOWN  
Drawn/Checked AG/CE

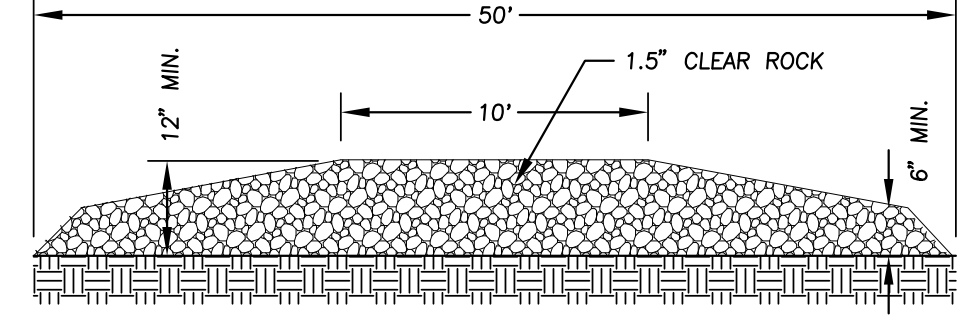
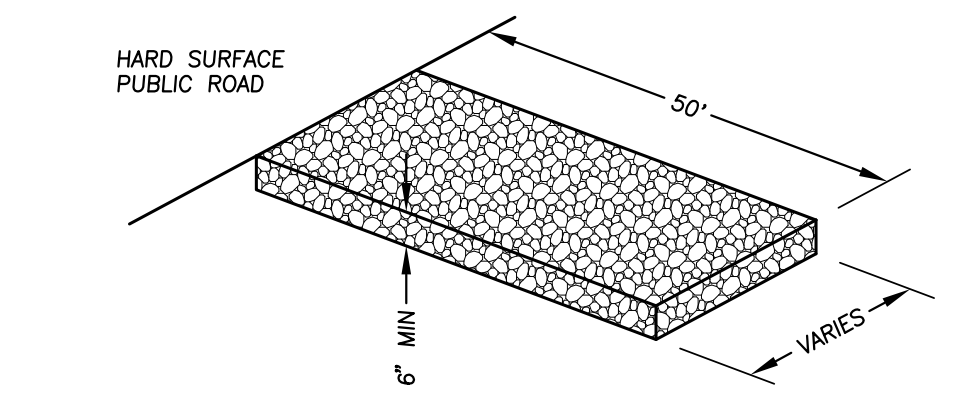
REVISION --

NOTES,  
ABBREVIATIONS  
& SYMBOLS

G002

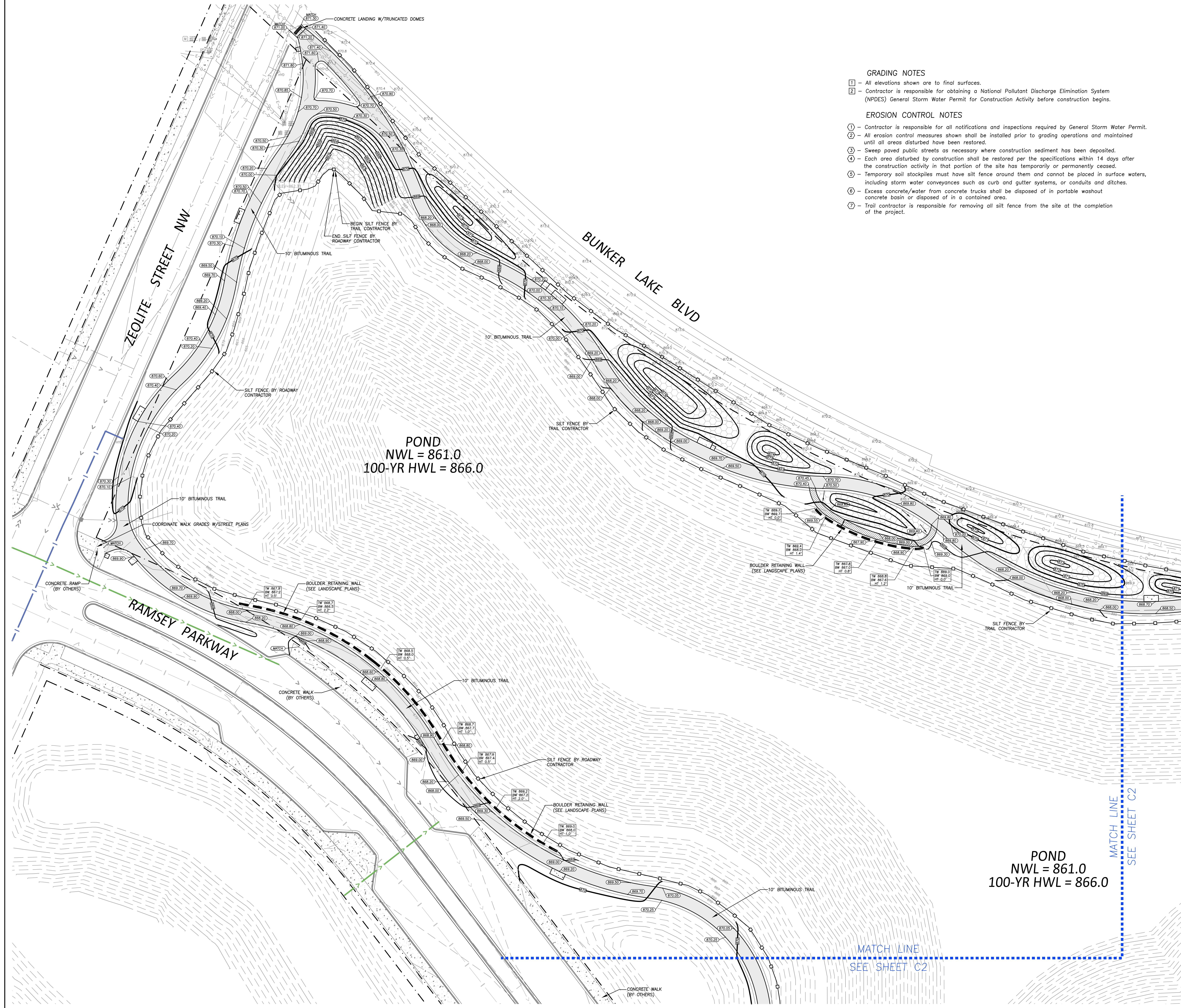


**1**  
C1  
SILT FENCE  
NO SCALE



**2**  
C1  
ROCK CONSTRUCTION ENTRANCE  
NO SCALE

- GRADING NOTES**
- 1 - All elevations shown are to final surfaces.
  - 2 - Contractor is responsible for obtaining a National Pollutant Discharge Elimination System (NPDES) General Storm Water Permit for Construction Activity before construction begins.
- EROSION CONTROL NOTES**
- 1 - Contractor is responsible for all notifications and inspections required by General Storm Water Permit.
  - 2 - All erosion control measures shown shall be installed prior to grading operations and maintained until all areas disturbed have been restored.
  - 3 - Sweep paved public streets as necessary where construction sediment has been deposited.
  - 4 - Each area disturbed by construction shall be restored per the specifications within 14 days after the construction activity in that portion of the site has temporarily or permanently ceased.
  - 5 - Temporary soil stockpiles must have silt fence around them and cannot be placed in surface waters, including storm water conveyances such as curb and gutter systems, or conduits and ditches.
  - 6 - Excess concrete/water from concrete trucks shall be disposed of in portable washout concrete basin or disposed of in a contained area.
  - 7 - Trail contractor is responsible for removing all silt fence from the site at the completion of the project.



POND  
NWL = 861.0  
100-YR HWL = 866.0

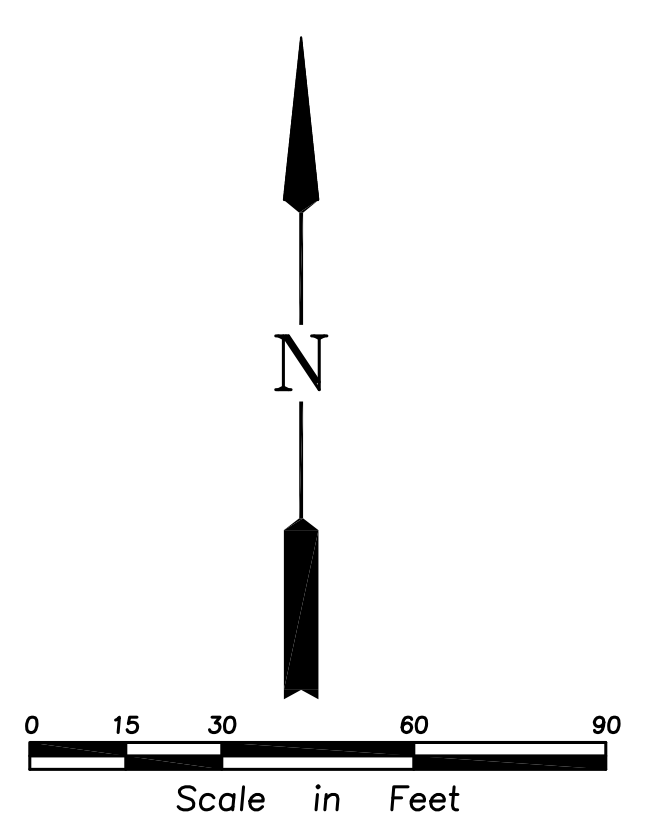
POND  
NWL = 861.0  
100-YR HWL = 866.0

MATCH LINE  
SEE SHEET C2

MATCH LINE  
SEE SHEET C2

**LEGEND**

	PROPOSED CONCRETE
	PROPOSED BITUMINOUS
	PROPOSED CRUSHED GRANITE
	PROPOSED CONTOUR
	PROPOSED ELEVATION
	SILT FENCE
	PROPOSED EC BLANKET CATEGORY 20 (MNDOT 3885)
	BOUNDARY/ROW/BLOCK LINE
	BUILDING/PARKING SETBACK LINE
	DRAINAGE ARROW
	EXISTING CONTOUR
	EXISTING ELEVATION



100% CONSTRUCTION  
SET FOR CONTRACTOR  
QUOTES

CONCRETE PAVING &  
INSTALLATION OF SITE  
FURNISHINGS

## THE WATERFRONT

RAMSEY, MN

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Name: Nicholas P. Adam  
Registration#: 43856  
Signature: *Nicholas P. Adam* 03/08/2024  
Date

Date: 03/08/2024  
DF/ Project #: 23-176  
Scale: 1 INCH = 30 FEET  
Drawn/Checked: BJO/NPA

REVISION	

## GRADING & EROSION CONTROL PLAN

# C101

**100% CONSTRUCTION  
SET FOR CONTRACTOR  
QUOTES**

CONCRETE PAVING &  
INSTALLATION OF SITE  
FURNISHINGS

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WATERFRONT**

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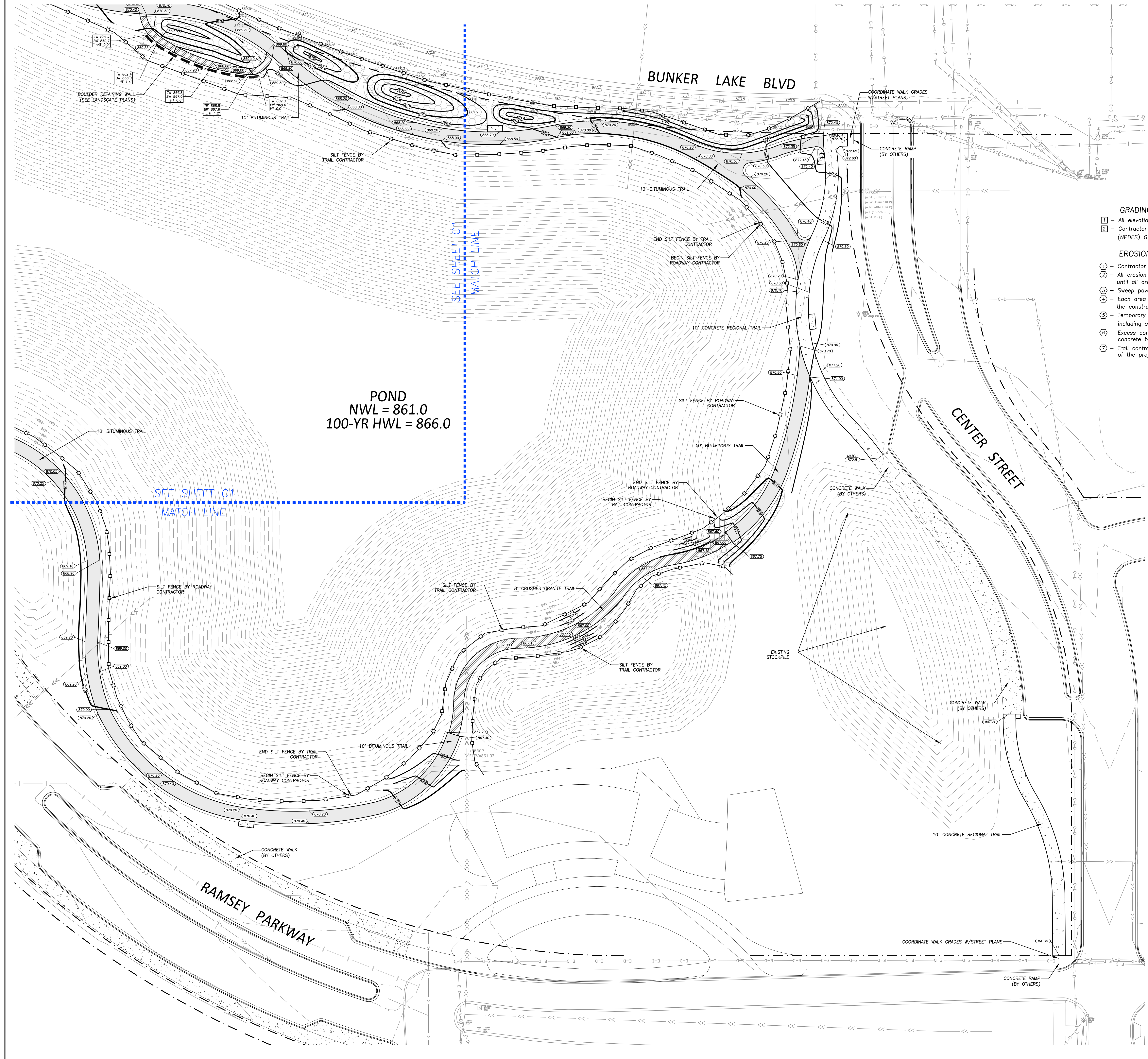
Name	Nicholas P. Adam
Registration#	43856
Signature	<i>Nicholas P. Adam</i>
Date	03/08/2024

Date	03/08/2024
DF/ Project #	23-176
Scale	1 INCH = 30 FEET
Drawn/Checked	BJQ/NPA

REVISION	

**GRADING &  
EROSION  
CONTROL  
PLAN**

**C102**



**GRADING NOTES**

- 1 - All elevations shown are to final surfaces.
- 2 - Contractor is responsible for obtaining a National Pollutant Discharge Elimination System (NPDES) General Storm Water Permit for Construction Activity before construction begins.

**EROSION CONTROL NOTES**

- 1 - Contractor is responsible for all notifications and inspections required by General Storm Water Permit.
- 2 - All erosion control measures shown shall be installed prior to grading operations and maintained until all areas disturbed have been restored.
- 3 - Sweep paved public streets as necessary where construction sediment has been deposited.
- 4 - Each area disturbed by construction shall be restored per the specifications within 14 days after the construction activity in that portion of the site has temporarily or permanently ceased.
- 5 - Temporary soil stockpiles must have silt fence around them and cannot be placed in surface waters, including storm water conveyances such as curb and gutter systems, or conduits and ditches.
- 6 - Excess concrete/water from concrete trucks shall be disposed of in portable washout concrete basin or disposed of in a contained area.
- 7 - Trail contractor is responsible for removing all silt fence from the site at the completion of the project.

**SPECIFICATIONS**

**GENERAL**

- I. GENERAL
  - A. Before construction begins, the Contractor shall contact all utility companies, both public and private and have them locate all utilities within the construction limits.
  - B. The Contractor shall be responsible for arranging all required inspections with the governing authority that has jurisdiction over the work that is to be performed.
  - C. The Contractor shall stay within the construction limits unless approved otherwise by the Owner and/or Engineer. Construction limits are defined by the property boundary unless shown different on the plan.
  - D. The Contractor shall be responsible for protecting all existing structures, utilities, trees, etc. from damage during construction.
  - E. The Contractor shall be responsible for correcting any damage (at Contractor's expense).
  - F. Any discrepancies found on the site that affect the proposed work shall be reported to the Owner and/or Engineer before the completion of any additional work.
  - G. No soils report provided. Subgrade soils assumed adequate for the proposed construction.
  - H. Existing Topography and Boundary Survey provided by Bolton & Menz.

**SITE CLEARING**

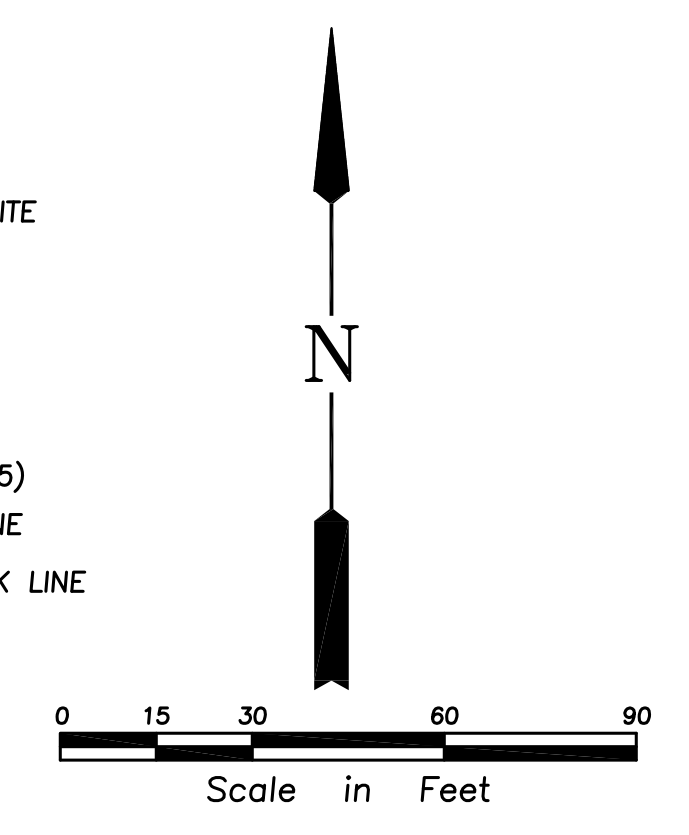
- I. GENERAL
  - A. Remove trees, shrubs, grass, and other vegetation or obstructions, as required, to permit installation of improvements shown on the Plans.
- II. EXECUTION
  - A. Trees and stumps shall be hauled from the site. Burial on-site or burning of trees and stumps will not be allowed.
  - B. Where existing trees are indicated to remain, leave existing topsoil in place within drip lines to prevent damage to root system.
  - C. Topsoil shall be stripped from disturbed areas and stockpiled in piles not exceeding 5-feet in depth.
  - D. Remove all back dirt and unsuitable material from under drives and roadways within 3-feet of final pavement subgrade.
  - E. Remove all waste materials and unsuitable or excess topsoil from Owner's property.

**GRADING, EROSION CONTROL, AND TURF ESTABLISHMENT**

- I. GENERAL
  - A. All grading, erosion control and turf establishment shall be according to the materials, workmanship, and other applicable requirements of the Minnesota Department of Transportation "Standard Specifications for Construction", latest edition, unless otherwise specified.
  - B. All erosion control measures shown on the plans must be installed prior to commencement of grading operations and maintained until all areas altered on the site have been restored.
  - C. All areas disturbed by construction shall be restored with seed and disked mulch, sod, wood fiber blanket, or be hard surfaced within two weeks of substantial completion of construction.
  - D. Provide approved borrow soil materials from off-site when sufficient approved soil materials are not available from excavations. Remove all excess and unsatisfactory material from the site.
  - E. Protect structures, utilities, sidewalks, pavements, and other facilities from damage caused by settlement, lateral movement, undermining, heaving, and other hazards created by earthwork operations.
  - F. Compaction shall not be less than the following percentages of maximum dry density according to ASTM D 698:
    - i. Under structures, building slabs, steps, and pavements, compact the top 12 inches below subgrade and each layer of backfill or fill material at 100 percent maximum dry density.
    - ii. Under walkways, compact the top 6 inches below subgrade and each layer of backfill or fill material at 100 percent maximum dry density.
    - iii. Under lawn or ungrazed areas, compact the top 6 inches below subgrade and each layer of backfill or fill material at 95 percent maximum dry density.
  - G. Grades as shown on the plan are to finished grade.
  - H. Backfill trenches involving utilities under building slabs to be designed by Others (per their requirements).
- II. PRODUCTS
  - A. Satisfactory soils include ASTM D 2487 soil classification groups GW, GP, GM, SW, SP, and SM; free of rock or gravel larger than 2-inches in any dimension, debris waste, frozen material, vegetation and other deleterious matter.
  - B. Unsatisfactory soils include ASTM D 2487 soil classification groups GC, SC, ML, MH, CL, CH, OL, OH, and PT.
  - C. All backfill and fill materials must be satisfactory soil materials.
  - D. Topsoil shall be per ASTM D 5268, free of stones 1" or larger.
  - E. Subbase and base material must be a naturally or artificially graded mixture of natural or crushed gravel, crushed stone, and natural or meeting MNDOT Specifications for Class 6 gravel.
  - F. Spring/Summer temporary turf establishment: seed shall be MNDOT Mixture 110 @ 100 lbs/acre and mulch shall be MNDOT Type 1.
  - G. Winter temporary turf establishment: seed shall be MNDOT Mixture 100 @ 100 lbs/acre and mulch shall be MNDOT Type 1.
- III. EXECUTION
  - A. Place 4-inches of topsoil over all areas to be re-established with turf or as specified in the landscape plans.
  - B. Provide erosion control measures to prevent erosion or displacement of soils and discharge of soil-bearing water runoff or airborne dust to adjacent properties and walkways.
  - C. Place inlet protection devices in catch basins and maintain until all areas disturbed have been restored.
  - D. Whenever construction vehicle access routes intersect paved public roads, provisions must be made to minimize the transport of sediment (mud) by runoff or vehicles tracking onto the paved road surface. Where sediment is transported onto a public road surface, the roads shall be cleaned thoroughly at the end of each day. Sediment shall be removed by hosing or sweeping and be transported to a sediment controlled disposal area. Street washing shall be allowed only after sediment is removed in this manner.

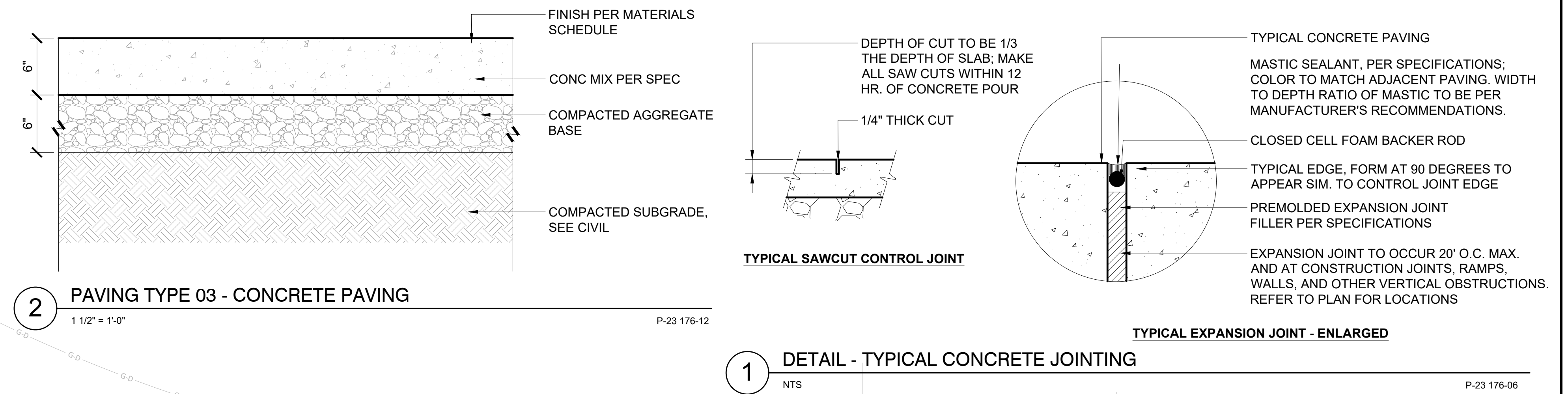
**LEGEND**

- PROPOSED CONCRETE
- PROPOSED BITUMINOUS
- PROPOSED CRUSHED GRANITE
- PROPOSED CONTOUR
- PROPOSED ELEVATION
- SILT FENCE
- PROPOSED EC BLANKET CATEGORY 20 (MNDOT 3885)
- BOUNDARY/ROW/BLOCK LINE
- BUILDING/PARKING SETBACK LINE
- DRAINAGE ARROW
- EXISTING CONTOUR
- EXISTING ELEVATION

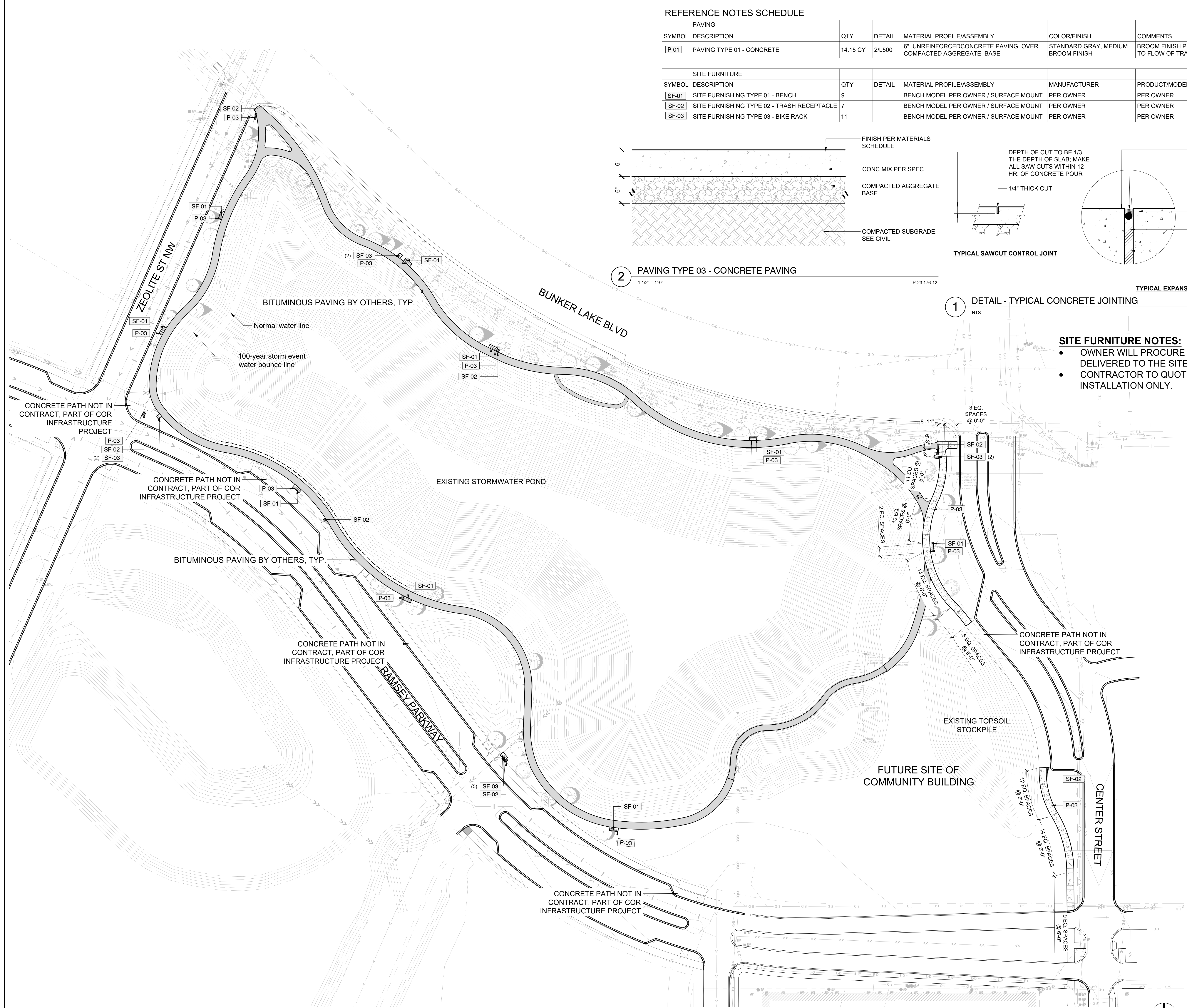


**REFERENCE SCHEDULE**

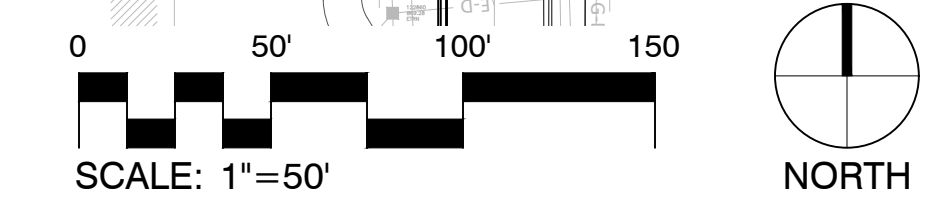
PAVING							
SYMBOL	DESCRIPTION	QTY	DETAIL	MATERIAL PROFILE/ASSEMBLY	COLOR/FINISH	COMMENTS	
P-01	PAVING TYPE 01 - CONCRETE	14.15 CY	2/L500	6" UNREINFORCED CONCRETE PAVING, OVER COMPACTED AGGREGATE BASE	STANDARD GRAY, MEDIUM BROOM FINISH	BROOM FINISH PERPENDICULAR TO FLOW OF TRAFFIC	
SITE FURNITURE							
SYMBOL	DESCRIPTION	QTY	DETAIL	MATERIAL PROFILE/ASSEMBLY	MANUFACTURER	PRODUCT/MODEL	COLOR/FINISH
SF-01	SITE FURNISHING TYPE 01 - BENCH	9		BENCH MODEL PER OWNER / SURFACE MOUNT	PER OWNER	PER OWNER	PER OWNER
SF-02	SITE FURNISHING TYPE 02 - TRASH RECEPTACLE	7		BENCH MODEL PER OWNER / SURFACE MOUNT	PER OWNER	PER OWNER	PER OWNER
SF-03	SITE FURNISHING TYPE 03 - BIKE RACK	11		BENCH MODEL PER OWNER / SURFACE MOUNT	PER OWNER	PER OWNER	PER OWNER



- SITE FURNITURE NOTES:**
- OWNER WILL PROCURE ALL SITE FURNITURE AND HAVE DELIVERED TO THE SITE
  - CONTRACTOR TO QUOTE ON-SITE HANDLING AND INSTALLATION ONLY.



**01 SITE MATERIALS PLAN**  
1" = 50'-0"



100% CONSTRUCTION SET FOR CONTRACTOR QUOTES

CONCRETE PAVING & INSTALLATION OF SITE FURNISHINGS

**THE WATERFRONT**

RAMSEY, MINNESOTA

I hereby certify that this document was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

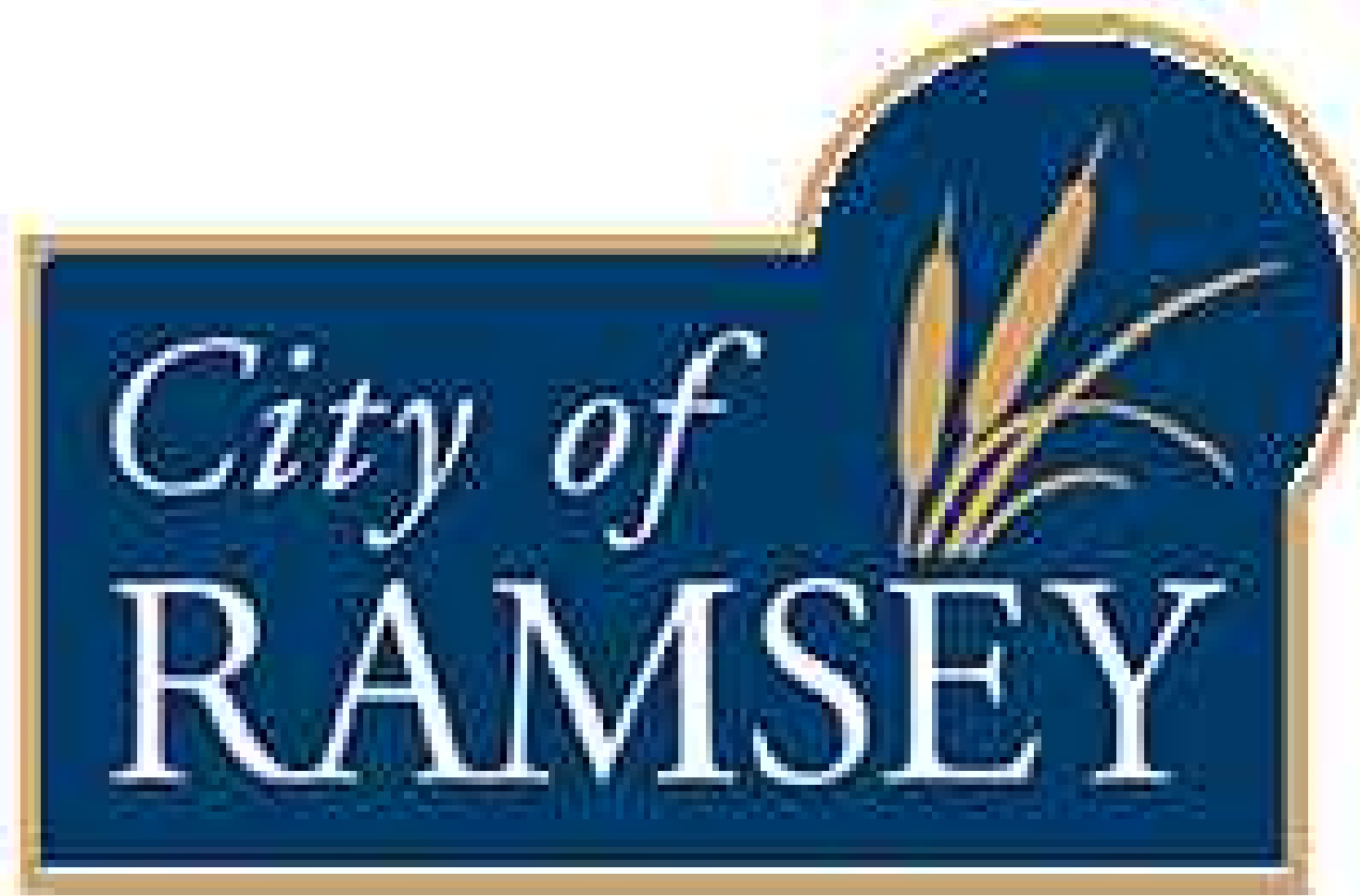
Name: Charles Evens  
Registration#: 50575  
Signature: *Charles Evens*  
Date: 03/08/2024

Date: 03/08/2024  
DF/ Project #: 23-176  
Scale: AS SHOWN  
Drawn/Checked: AG/CE

REVISION: --

**SITE MATERIALS PLAN**

**L110**



# THE WATERFRONT

CITY OF RAMSEY

RAMSEY, MN 55303

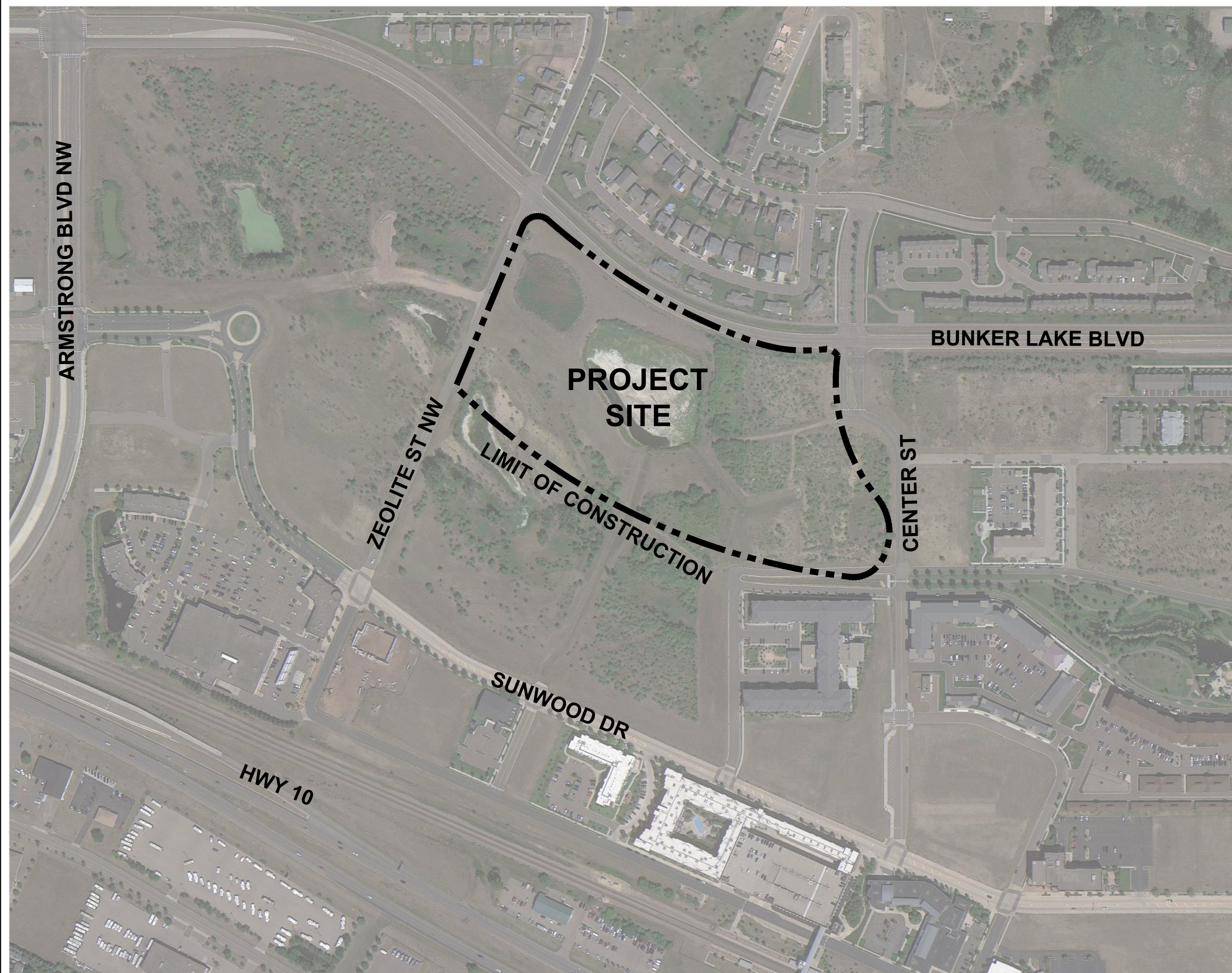
**DF/**  
DAMON FARBER  
LANDSCAPE ARCHITECTS

310 South 4th Avenue, Suite 7050  
Minneapolis, MN 55415  
p: 612.332.7522

## TREE PLANTING PLAN

PROJECT # 23-176

CONTEXT MAP



PROJECT DIRECTORY

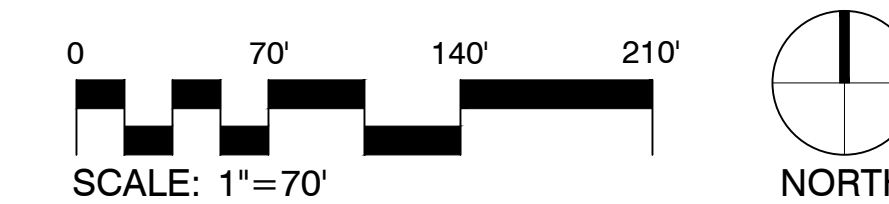
**OWNER**  
CITY OF RAMSEY  
MARK RIVERBLOOD | PARKS & ASSISTANT PUBLIC WORKS DIRECTOR  
7550 SUNWOOD DRIVE NW  
RAMSEY, MINNESOTA 55303  
MRIVERBLOOD@CITYOFRAMSEY.COM  
P. 763.433.9853

Sheet List Table	
Sheet Number	Sheet Title
G000	COVER SHEET
G001	EXISTING CONDITIONS
G003	NOTES, ABBREVIATIONS & SYMBOLS
L100	TREE PLANTING PLAN
L500	SITE DETAILS

**LANDSCAPE ARCHITECT**  
DAMON FARBER LANDSCAPE ARCHITECTS  
310 S 4TH AVE  
MINNEAPOLIS, MN 55415  
CONTACT: CHUCK EVENS, PLA  
CEVENS@DAMONFARBER.COM  
651.216.6115  
ABBY GLASTETTER, PLA  
AGLASTER@DAMONFARBER.COM  
314.413.7180



01 SITE ORIENTATION PLAN  
1" = 50'-0"



100% CONSTRUCTION  
SET FOR CONTRACTOR  
QUOTES

TREE PLANTING PLAN

THE  
WATERFRONT

RAMSEY, MINNESOTA

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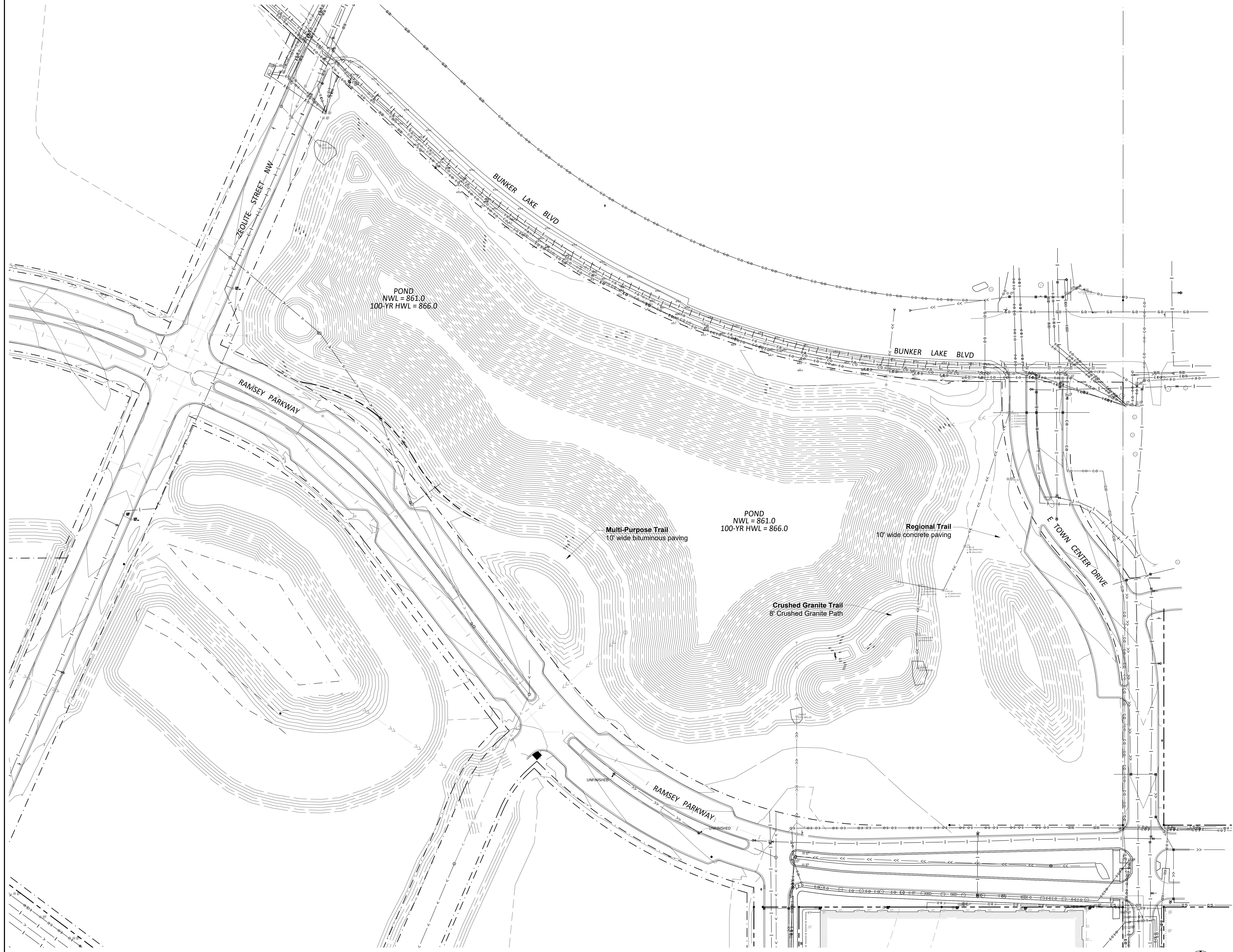
Name Charles Evens  
Registration# 50575  
Signature *Charles Evens* 03/08/2024  
Date

Date 03/08/2024  
DF/ Project # 23-176  
Scale AS SHOWN  
Drawn/Checked AG/CE

REVISION	

COVER SHEET

G000



100% CONSTRUCTION  
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QUOTES

TREE PLANTING PLAN

## THE WATERFRONT

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Name Charles Evens  
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*Charles Evens*  
Signature 03/08/2024  
Date

Date 03/08/2024  
DF/ Project # 23-176  
Scale AS SHOWN  
Drawn/Checked AG/CE

REVISION

EXISTING  
CONDITIONS

# G001



PLANT SCHEDULE						
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT.
<b>TREES</b>						
	AB	3	ACER NIGRUM	BLACK MAPLE	1" CAL.	BARE ROOT
	AR	2	ACER RUBRUM	RED MAPLE	2.5" CAL.	B&B
	AS	10	ACER SACCHARUM	SUGAR MAPLE	1" CAL.	BARE ROOT
	BA	2	BETULA ALLEGHANIENSIS	YELLOW BIRCH	2.5" CAL.	B&B
	BP	2	BETULA PAPYRIFERA	PAPER BIRCH	2.5" CAL.	B&B
	BP2	6	BETULA PENDULA	EUROPEAN WHITE BIRCH	2.5" CAL.	B&B
	CC	3	CARYA CORDIFORMIS	BITTERNUT HICKORY	1" CAL.	BARE ROOT
	LL	6	LARIX LARICINA	TAMARACK	6' HT.	B&B
	OV	3	OSTRYA VIRGINIANA	AMERICAN HOPHORNBEAM	1" CAL.	BARE ROOT
	PB	2	PICEA MARIANA	BLACK SPRUCE	6' HT.	B&B
	PR	3	PINUS RESINOSA	RED PINE	6' HT.	B&B
	PS2	5	PINUS STROBUS	WHITE PINE	6' HT.	B&B
	QR	3	QUERCUS RUBRA	RED OAK	2.5" CAL.	B&B
	TA	4	TILIA AMERICANA	AMERICAN LINDEN	1" CAL.	BARE ROOT
	TC	3	TSUGA CANADENSIS	EASTERN HEMLOCK	6' HT.	B&B
	UR	3	ULMUS RUBRA	SLIPPERY ELM	1" CAL.	BARE ROOT

100% CONSTRUCTION  
SET FOR CONTRACTOR  
QUOTES

TREE PLANTING PLAN

## THE WATERFRONT

RAMSEY, MINNESOTA

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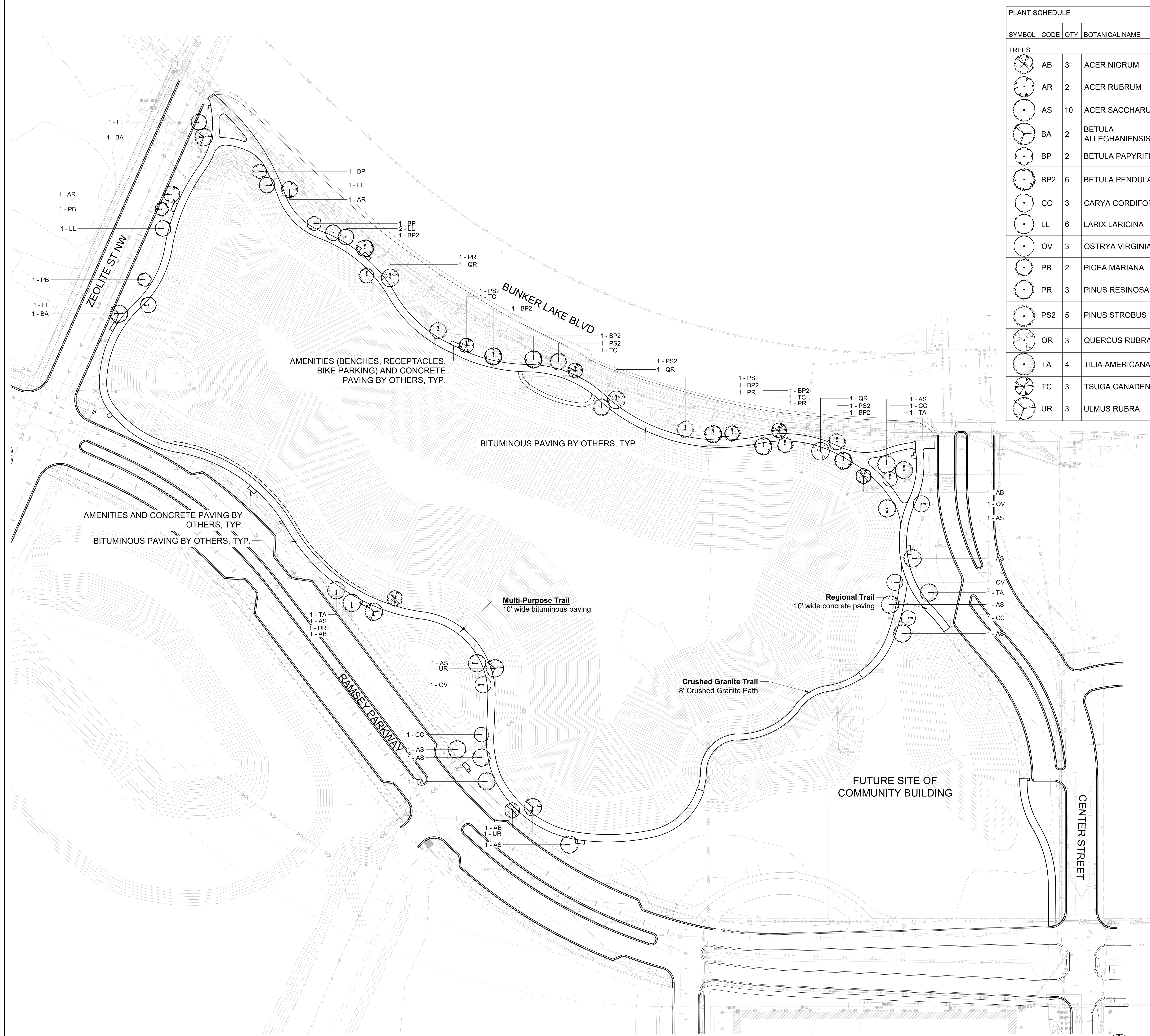
Name: Charles Evens  
Registration#: 50575  
Signature: Date: 03/08/2024

Date: 03/08/2024  
DF/ Project #: 23-176  
Scale: AS SHOWN  
Drawn/Checked: AG/CE

REVISION: --

TREE  
PLANTING  
PLAN

# L100



100% CONSTRUCTION  
SET FOR CONTRACTOR  
QUOTES

TREE PLANTING PLAN

## THE WATERFRONT

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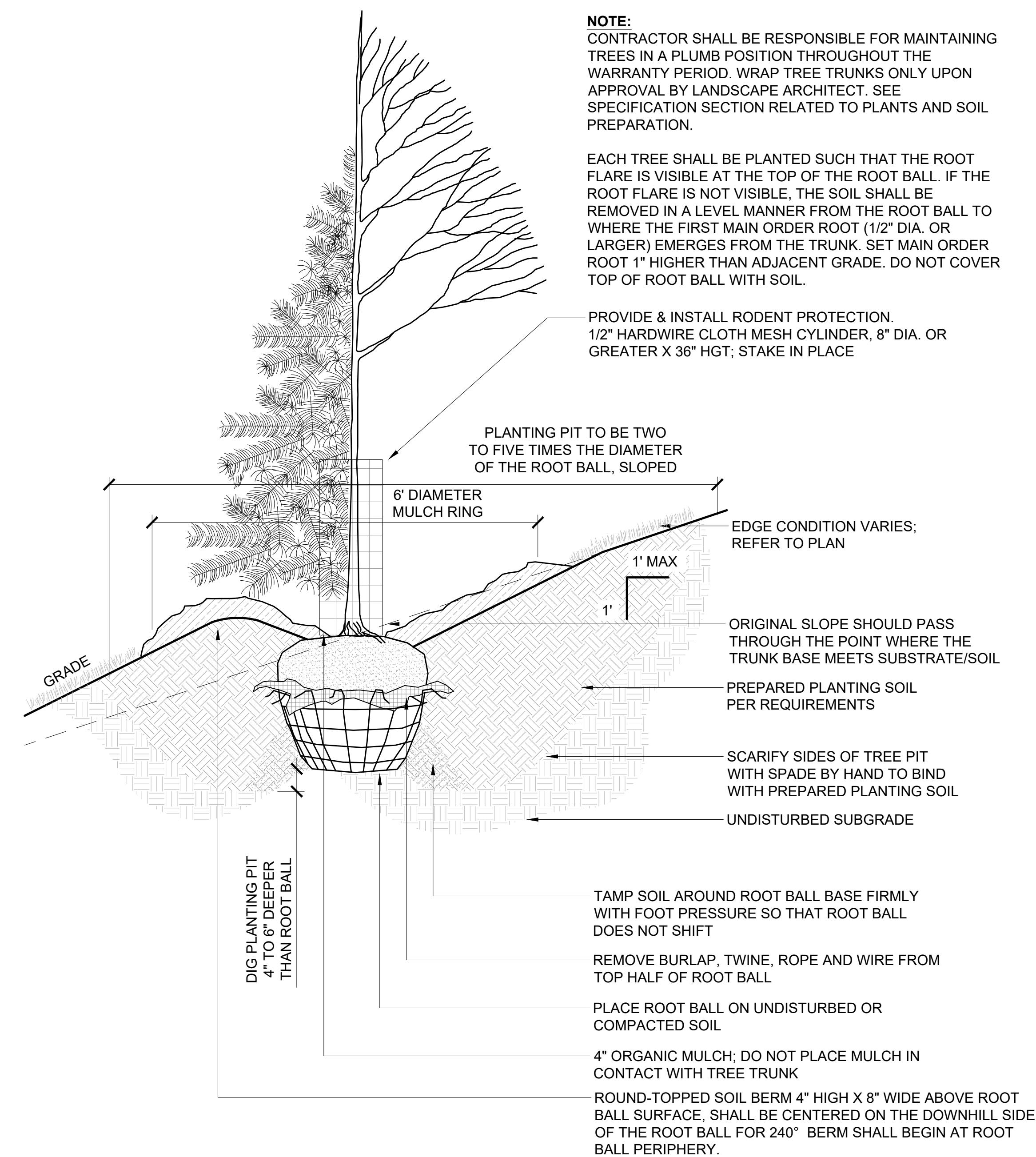
Name Charles Evens  
Registration# 50575  
*Charles Evens*  
Signature 03/08/2024 Date

Date 03/08/2024  
DF/ Project # 23-176  
Scale AS SHOWN  
Drawn/Checked AG/CE

REVISION --

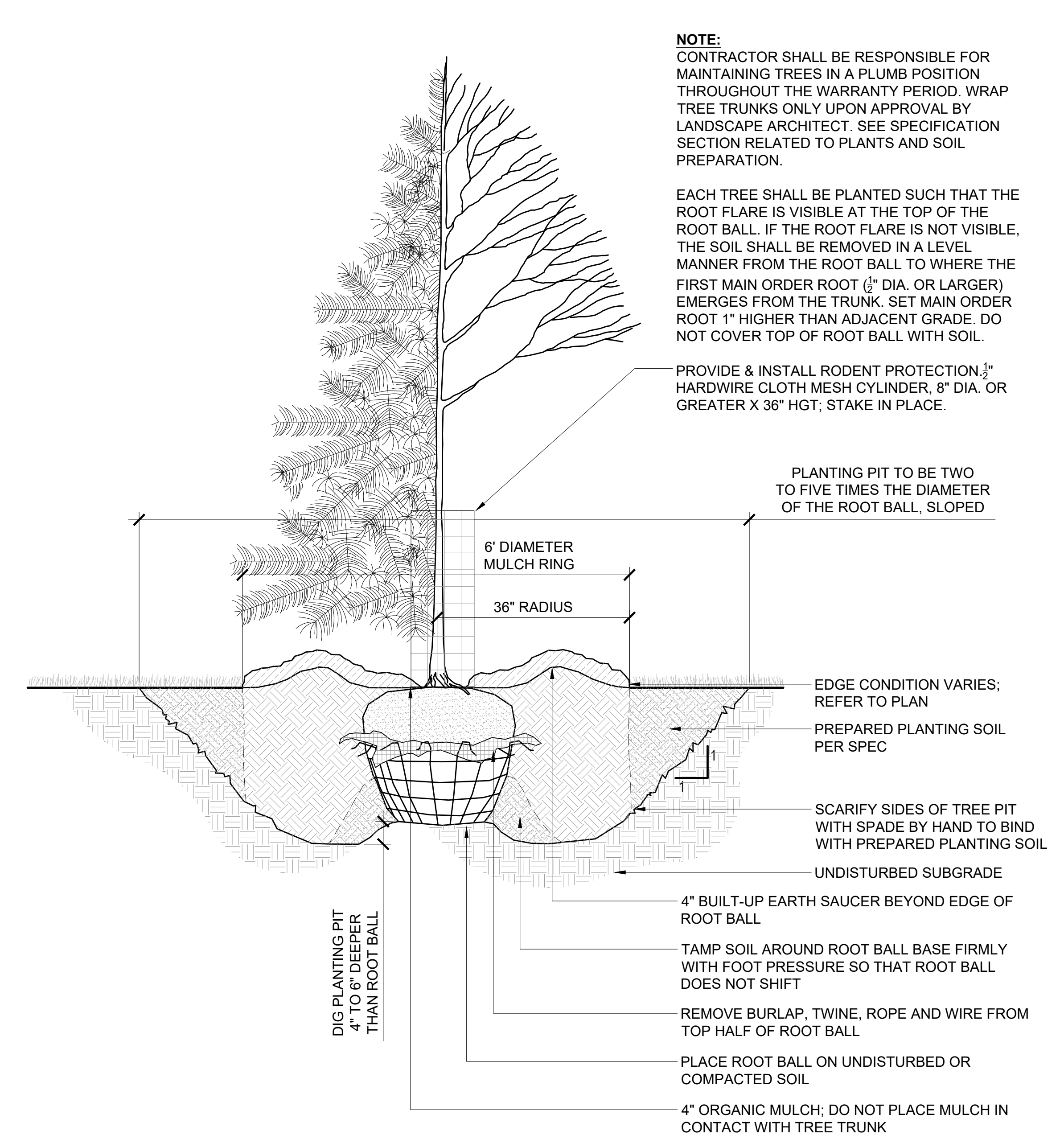
SITE DETAILS

# L500



**2** DETAIL - TREE PLANTING ON SLOPE 5% (20:1) TO 50% (2:1)

P-23 176-29



**1** DETAIL - TREE PLANTING

P-23 176-01

Capital Improvement Program  
 City of Ramsey, Minnesota

2024 *thru* 2033

Department Park Improvements  
 Contact  
 Type Improvement  
 Useful Life 20 Years  
 Category Park Improvement  
 Priority 2-New Addition (High)  
 Status Active

Project # 08-PARK-005  
 Project Name Park Development in The COR

Total Cost \$1,350,000

Description

This proposed capital improvement represents additional park development in The COR, beginning in 2023. The project may be landscape improvements at Municipal Plaza and/or first phase development of The Waterfront to include a splash pad.

Justification

A splash pad continues to be requested by residents, and mass grading for The Waterfront park will generate fill for areas of The COR the city desires to sell.

Prior	Expenditures	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	Total
150,000	Improvements Other than Building Cost	1,200,000										1,200,000
<b>Total</b>	<b>Total</b>	<b>1,200,000</b>										<b>1,200,000</b>

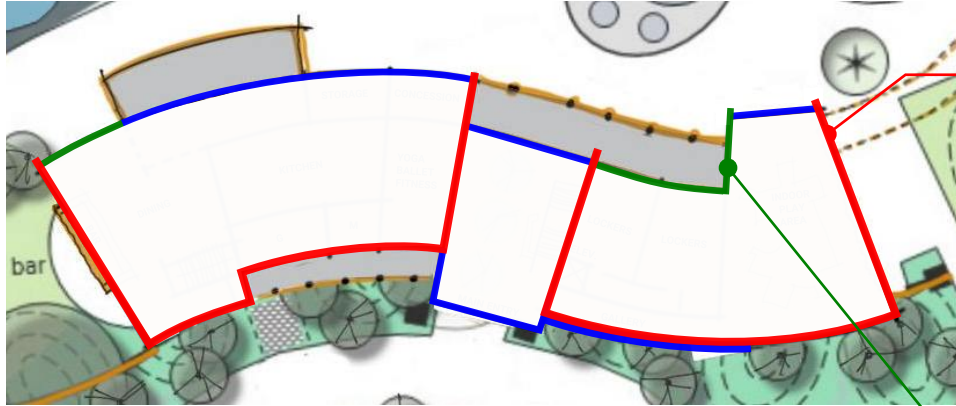
Prior	Funding Sources	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	Total
150,000	Park Improvement Trust Fund	1,200,000										1,200,000
<b>Total</b>	<b>Total</b>	<b>1,200,000</b>										<b>1,200,000</b>



**Ramsey Waterfront Community Building**  
 Floor Plan – Ground Floor



**Ramsey Waterfront Community Building**  
 Floor Plan - Second Level



Ground Floor - Exterior Wall Type Key  
Floor to Floor Height: 15'

Stone Finish Insulated Wall System

- Stone Veneer
- Rigid Insulation
- Exterior Sheathing
- Wall Framing w/Batt Insulation
- Interior Sheathing

Approximate Material Take-Offs

Level 1: 8,900 SF  
Level 2: 4,300 SF  
**TOTAL: 13,200 SF**

Insulated Plaster Wall System

- Exterior Plaster with Integral Color
- Rigid Insulation
- Exterior Sheathing
- Wall Framing w/Batt Insulation
- Interior Sheathing

Approximate Material Take-Offs

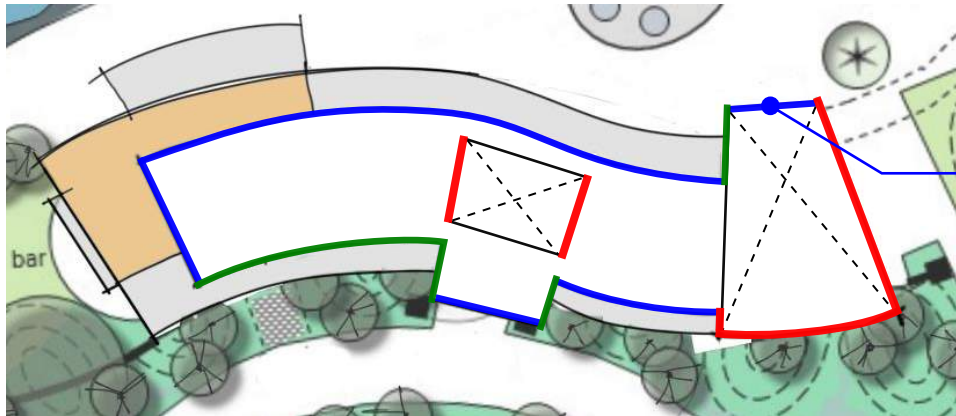
Level 1: 1,900 SF  
Level 2: 3,200 SF  
**TOTAL: 5,100 SF**

Timber Curtain Wall System

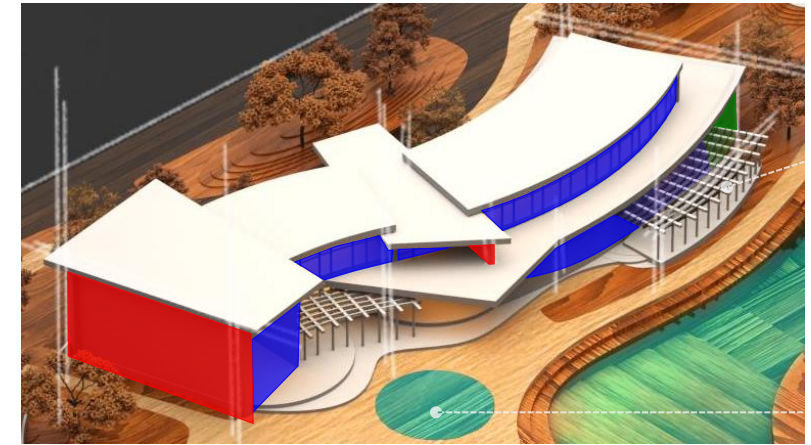
- Low-e Insulated Glazing Units
- Thermally broken framing

Approximate Material Take-Offs

Level 1: 4,800 SF  
Level 2: 7,100 SF  
**TOTAL: 11,900 SF**



Second Floor - Exterior Wall Type Key  
Floor to Roof Height: 17'



3D View - Looking Southwest



3D View - Looking Northeast

Exterior/Interior Stone Finish



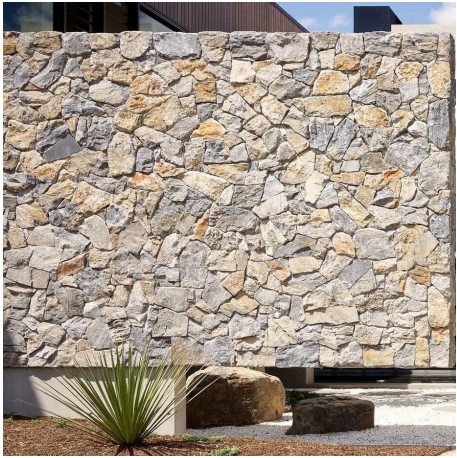
Exterior Plaster Finish

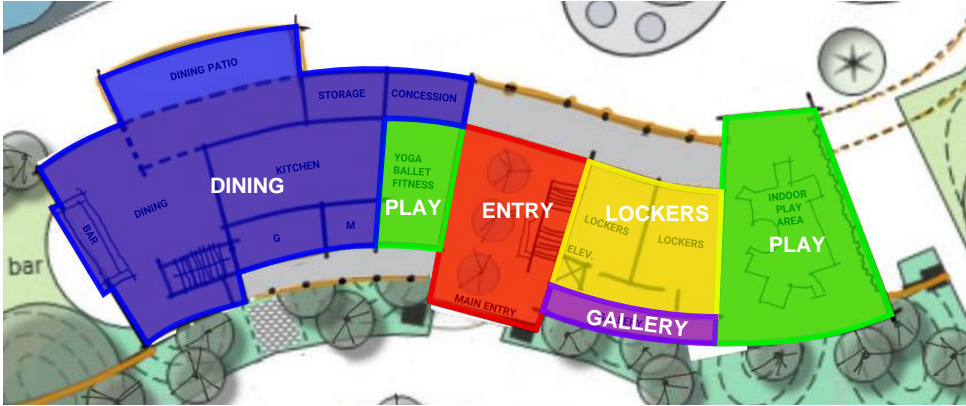


Timber Curtain Wall

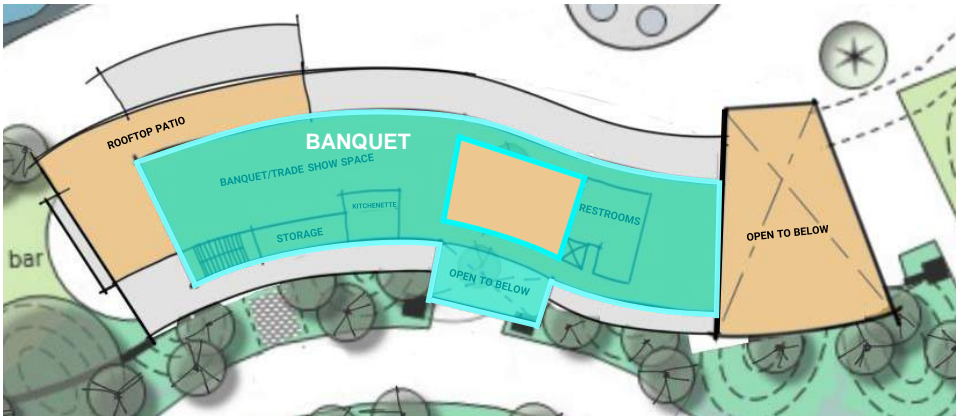


Heavy Timber Construction





Ground Floor - Room Type Categories



Second Floor - Room Type Categories

## Interior Finishes by Room Type Category:

### Dining Areas

- Upscale pub finishes, exposed timber structure and ceiling
- Kitchen areas: washable wall/ceiling surfaces

### Play Areas (Yoga/Indoor Play Area)

- Durable finishes with rubberized flooring
- Sound insulation on the walls; acoustic ceiling tiles
- Indoor play area: ~75 linear feet of climbing wall + indoor play structure

### Entry

- Interior stone veneer on walls to match exterior facades
- Expansive curtain wall with low-E glass
- Exposed timber structure and ceiling

### Lockers

- Resilient/utilitarian finishes
- Expansive curtain wall with low-E glass
- Exposed timber structure and ceiling

### Lockers

- Painted gypsum board walls
- Accommodations for mounted art on north/south wall
- Clerestory window on south wall for natural light

### Banquet

- Painted gypsum board walls, exposed ceiling structure
- East wall: windows down into play area

Lockers/Play Area



Play Area



Gallery/Banquet



Dining





# THE WATERFRONT

RAMSEY, MN

DECEMBER 14, 2023

**DF/ DAMON FARBER LANDSCAPE ARCHITECTS**

CONCEPT DEVELOPMENT

# BACKGROUND - MASTER PLAN



# BACKGROUND - PROGRAM ELEMENTS



PICNIC MOUND



REFLECTION POND / SHOAL



BOARDWALK



WATER PLAY & LIGHTING



BEER GARDEN



PLAZA



FLEXIBLE LAWN



DINING TERRACE

# PROCESS - REGULATIONS & CODES



## WADING POOL:

Wading pools are shallow pools that are usually less than two feet deep. They're best for young children to splash around and cool off without having to worry about swimming. Wading pools are governed by the MN pool code.

- **Defining Features:** 2' standing water depth, can also incorporate fountains, jets, structural play elements
- **Seasonal Interest:** Open when the temperature is 65 degrees and higher.
- **Depth**  
Min: 2"      Max: 24"
- **Fencing:** Yes - code now requires a 48" high perimeter fence.
- **Rules:** Requires the direct supervision by an adult caregiver.
- **Revenue:** Possible - Staff could monitor access at fence gate.
- **Capacity:** Varies depending on size. 15 square feet per bather.
- **Approximate Days of Use:** 100



## SPLASH PAD:

Traditional splash pads are fountain/water features intended for recreational use and designed to contain no more than 1 inch of water depth. Splash pads vary greatly in design, scale and features, but in general they allow users interact with bubblers, water nozzles and sprinklers and fountains.

- **Defining Features:** 1" max standing water depth with interactive fountains, jets, structural play elements
- **Seasonal Interest:** Open when the temperature is 65 degrees and higher.
- **Depth**  
Min: 0" / Zero Entry      Max: 2"
- **Fencing:** Fencing is not required
- **Rules:** Not required, but recommended for caregivers to accompany and supervise children
- **Revenue:** If the design includes a fenced area - revenue generation is possible.
- **Capacity:** Varies depending on size. 15 square feet per bather.
- **Approximate Days of Use:** 100



## ARCHITECTURAL WATER PLAY:

Custom experience for users. Artistic/sculptural features provide outdoor interest for users throughout all seasons. Contextually unique design affords users a sensory destination even when water features are not available.

- **Defining Features:** Integrated sculptural/interpretive water features
- **Seasonal Interest:** Open when the temperature is 65 degrees and higher. Lights and artistic/sculptural features provide 4 season interest.
- **Depth**  
Min: 0" / Zero Entry      Max: 24"
- **Fencing:** Not required, but recommended for caregivers to accompany and supervise children
- **Rules:** If the design includes a fenced area - revenue generation is possible.
- **Revenue:** Somewhat (private/reserved private events)
- **Capacity:** Varies depending on size. 15 square feet per bather.
- **Approximate Days of Use:** 365

# CASE STUDY - WATER FEATURE

## CENTRAL PARK MAPLE GROVE, MN

- Equipment/Features: 49 Jet Sprays And 18 Arching Sprays
- Chlorinated: Fountain water is chlorinated and recycled through a filtration system in the lower level of the community building.
- Surrounding Area: Concrete & Unit Paver Hardscape Patio
- Water Depth: 0" / Spray Only
- Lighting: Led Lights Turn The Fountain Into A Light Show Once The Sun Goes Down
- Targeted Age Group: All Age Groups
- Seasons of Use: Open year-round (water in warmer temps)

**WATER PLAY USER CAPACITY 150**



Project Design By Damon Farber



# CASE STUDY - WATER FEATURE

## WABUN PARK WADING POOL MINNEAPOLIS, MN

- Equipment/Features: Wading Pool With Spraying Rock Structure
- Chlorinated: Fountain water is chlorinated and recycled through a filtration system and the water is reused just like in a swimming pool
- Surrounding Area: Concrete with Furnishings & Umbrellas
- Water Depth: Zero-Depth Entry To 24" Depth @ Deepest
- Fencing: Yes - 42" perimeter fencing per MN wading pool code.
- Targeted Age Group: Tot - 12 Years
- Seasons of Use: Summer Only

WATER PLAY USER CAPACITY 140



# CASE STUDY - WATER FEATURE

## ELEPHANT PARK LONDON, UK

- Equipment/Features: "Village" Pumps, Jets, Water Cascades, Rock Channels, Babbling Stream, Sand Pits
- Surrounding Area: Sand Play, Lawn, Stone Paving, Landscaping
- Water Depth: Zero-Depth Entry To 3"
- Lighting: Perimeter Post Lights
- Targeted Age Group: Tot - 18 Years
- Seasons of Use: Open year-round (water in warmer temps)

WATER PLAY USER CAPACITY 400



# CASE STUDY - WATER FEATURE

## MADRID RIO PARK MADRID, SPAIN

- Equipment/Features: Splash Pads with Water Jets
- Surrounding Area: Unit Pavers, Lawn, Landscaping
- Water Depth: Zero-Depth Entry To 1"
- Lighting: Park Lamp Posts
- Targeted Age Group: All Ages
- Seasons of Use: Open year-round (water in warmer temps)

WATER PLAY USER CAPACITY 900



# SUMMARY - CASE STUDIES



4,000 SF OF WATER PLAY

## CENTRAL PARK - MAPLE GROVE, MN

- Jet & Arching Spray Pad
- Recycled Water Via Filtration System
- Hardscape Perimeter Patio w/ Seatwalls
- 0" Depth Water - Spray Only
- Integrated LED Fountain Lighting
- No Fencing
- All Age Groups



6,500 SF OF WATER PLAY

## WABUN WADING POOL - MINNEAPOLIS, MN

- Wading Pool With Spraying Rock Structure, Sprayers
- Recycled Water Via Filtration System
- 2 Umbrellas @ Patio
- Zero-Depth Entry To 24" Depth @ Deepest
- 42" Fencing
- Tot - 12 Years Targeted Age Group



10,000 SF OF WATER PLAY

## ELEPHANT PARK - LONDON, UK

- "Village" Pumps, Jets, Water Cascades, Rock Channels, Babbling Stream, Sand Pits
- Chlorinated: Unknown
- Lush Planted Edges
- Zero-Depth Entry To 1"
- Perimeter Post Lights
- Fencing: Unknown
- Tot - 12 Years Targeted Age Group

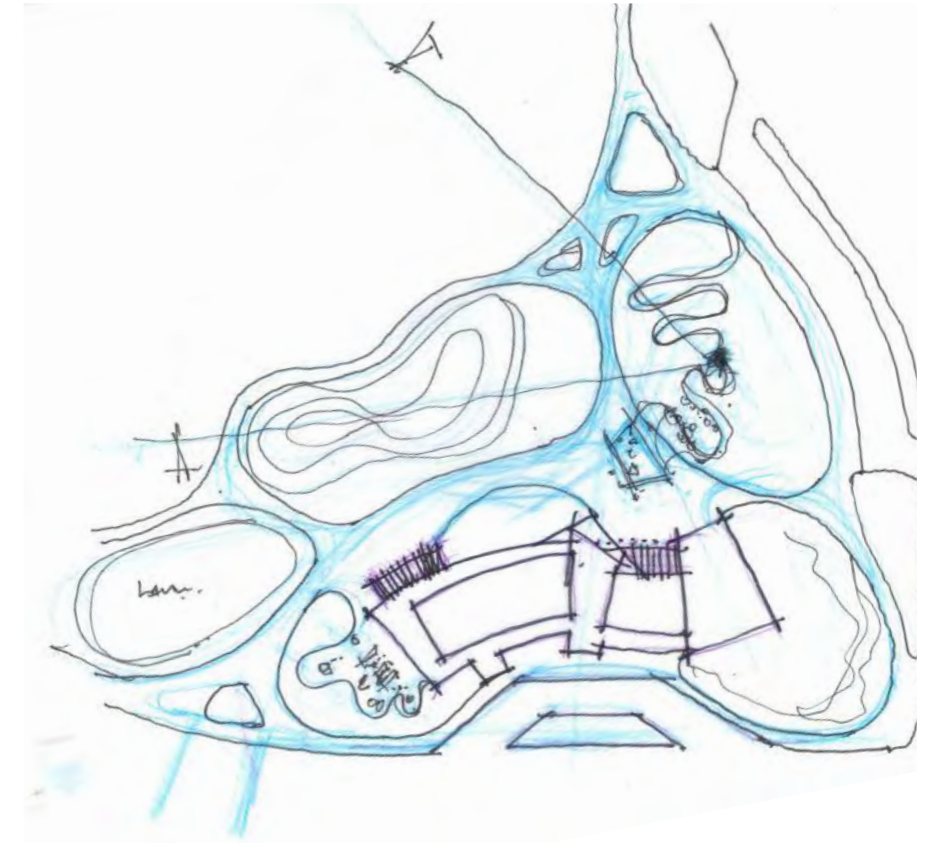
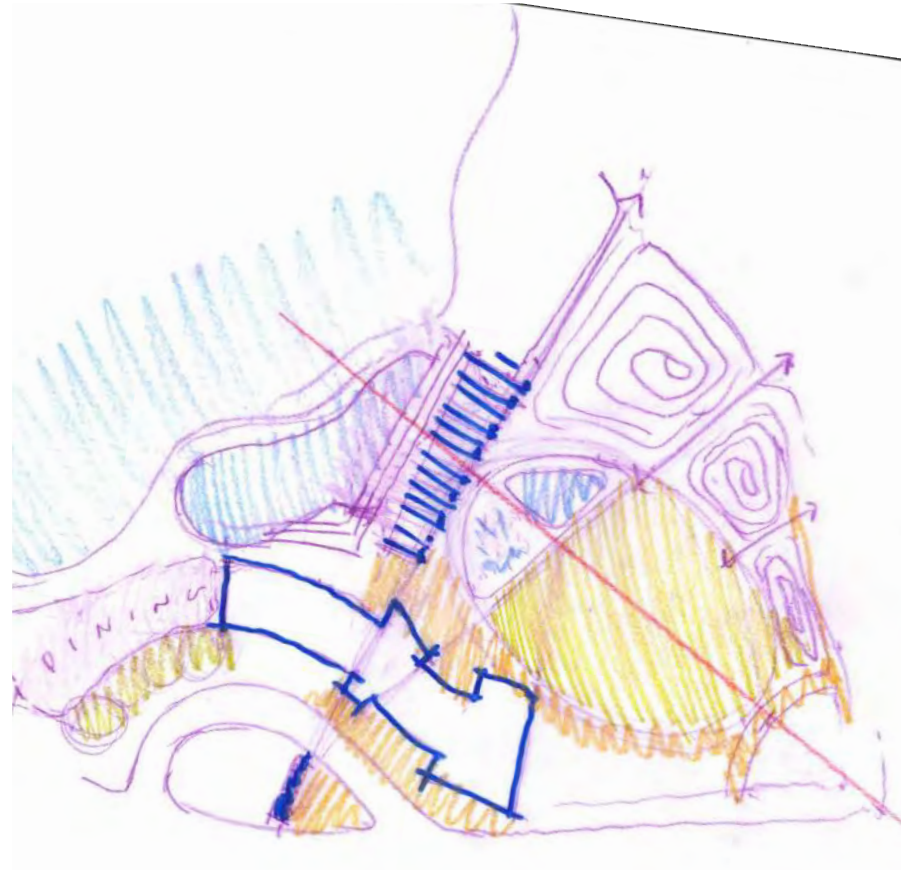


25,500 SF OF WATER PLAY

## MADRID RIO PARK - MADRID, SPAIN

- Wading Pool Series (3), Jets
- Chlorinated: N/A
- Hardscape Perimeter With Grass And Planted Canopy
- Zero-Depth Entry To 24"
- Park Lamp Posts
- No Fencing
- All Age Groups

# PROCESS - CONCEPT DEVELOPMENT



# CONCEPT 1

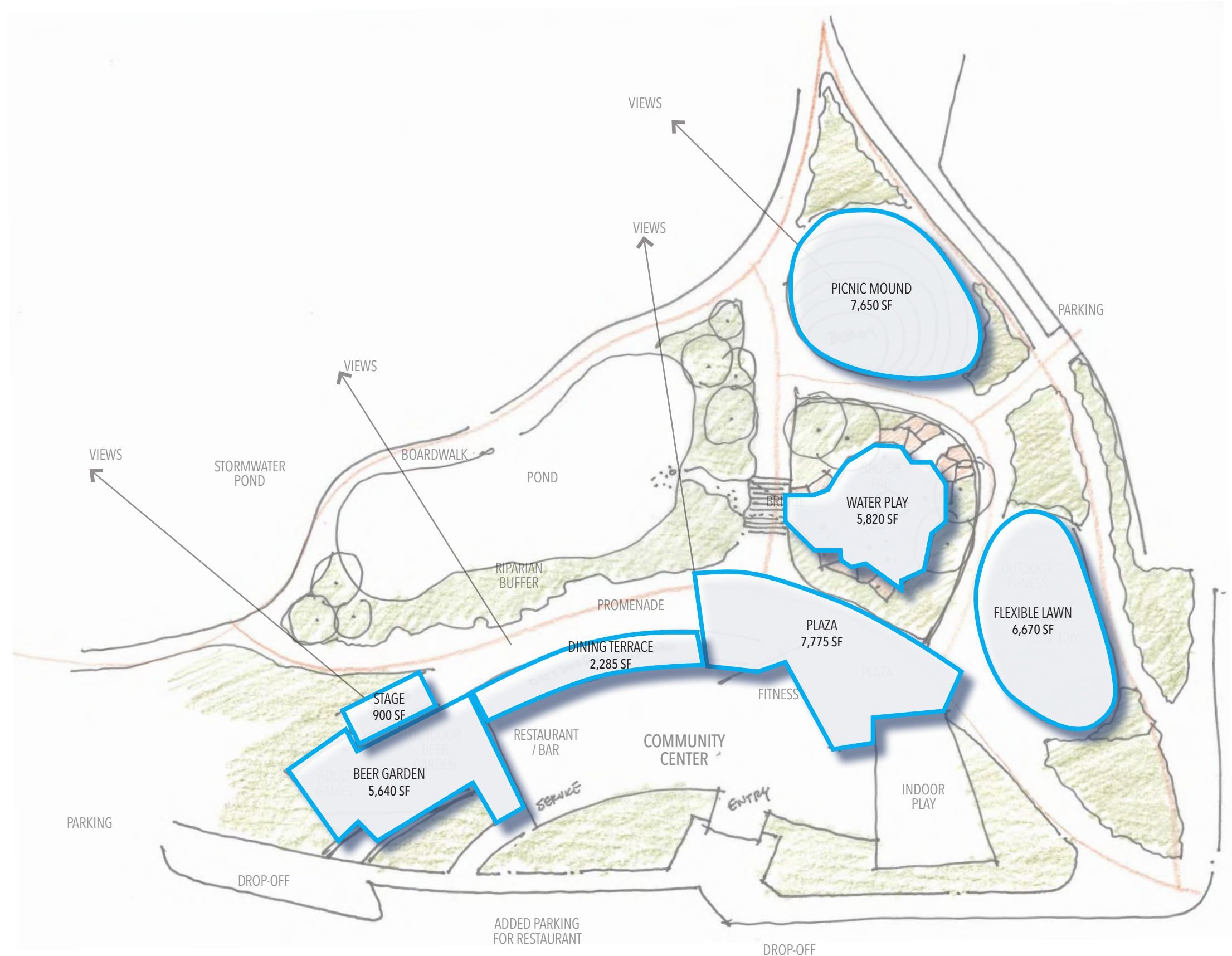


# CONCEPT 1 PROGRAM

## SPACE PROGRAMMING

FLEXIBLE LAWN	6,670 SF
PICNIC MOUND	7,650 SF
WATER PLAY	5,820 SF
PLAZA	7,775 SF
DINING TERRACE	2,285 SF
BEER GARDEN	5,640 SF
STAGE	900 SF

WATER PLAY USER CAPACITY 375



# CONCEPT 1A

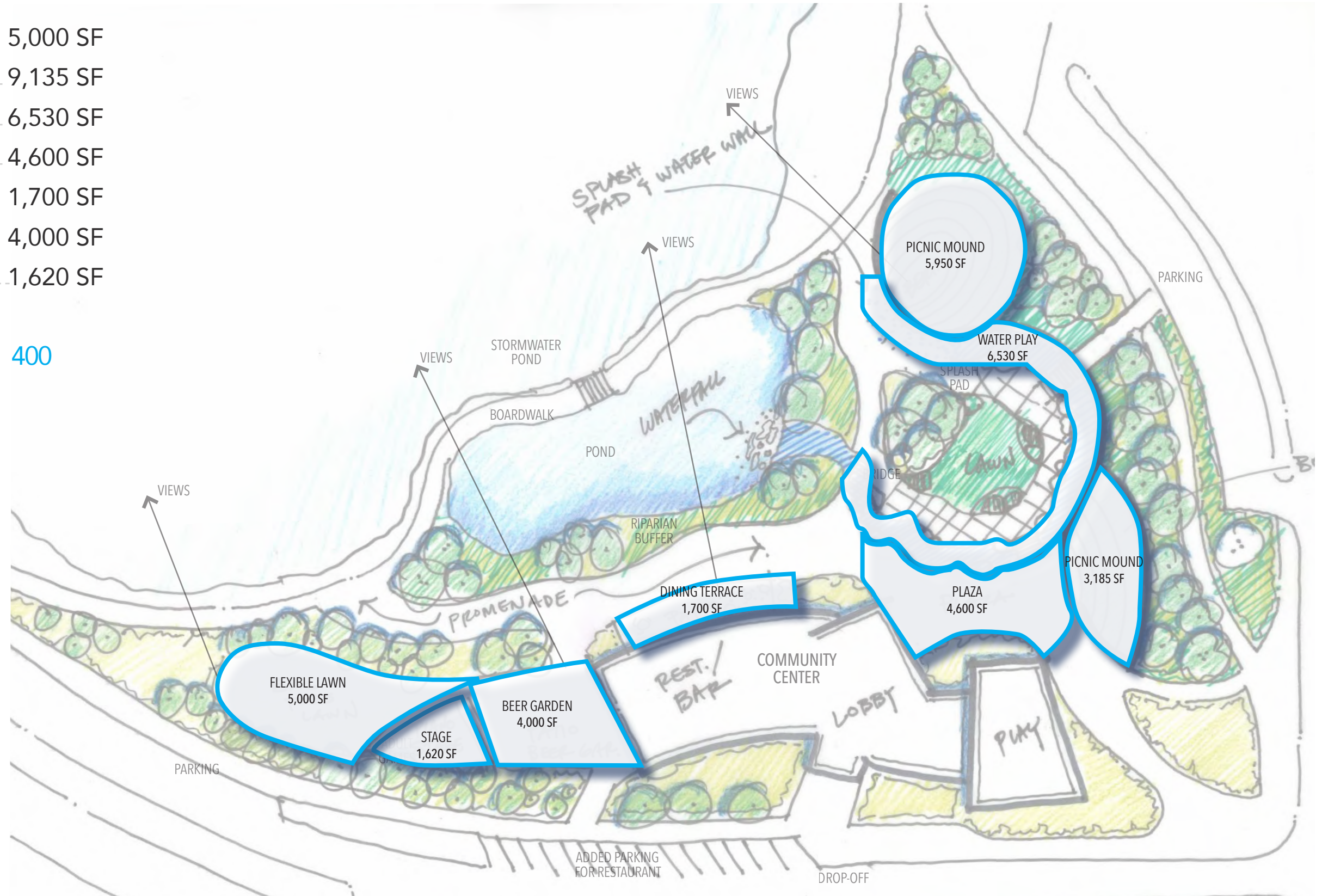


# CONCEPT 1A PROGRAM

## SPACE PROGRAMMING

FLEXIBLE LAWN	5,000 SF
PICNIC MOUND	9,135 SF
WATER PLAY	6,530 SF
PLAZA	4,600 SF
DINING TERRACE	1,700 SF
BEER GARDEN	4,000 SF
STAGE	1,620 SF

WATER PLAY USER CAPACITY 400



# CONCEPT 2



# CONCEPT 2 PROGRAM

## SPACE PROGRAMMING

FLEXIBLE LAWN	9,730 SF
PICNIC MOUND	20,770 SF
WATER PLAY	1,800 SF
PLAZA	9,400 SF
DINING TERRACE	1,265 SF
BEER GARDEN	4,530 SF
STAGE	1,200 SF

WATER PLAY USER CAPACITY 120



# CONCEPT 3

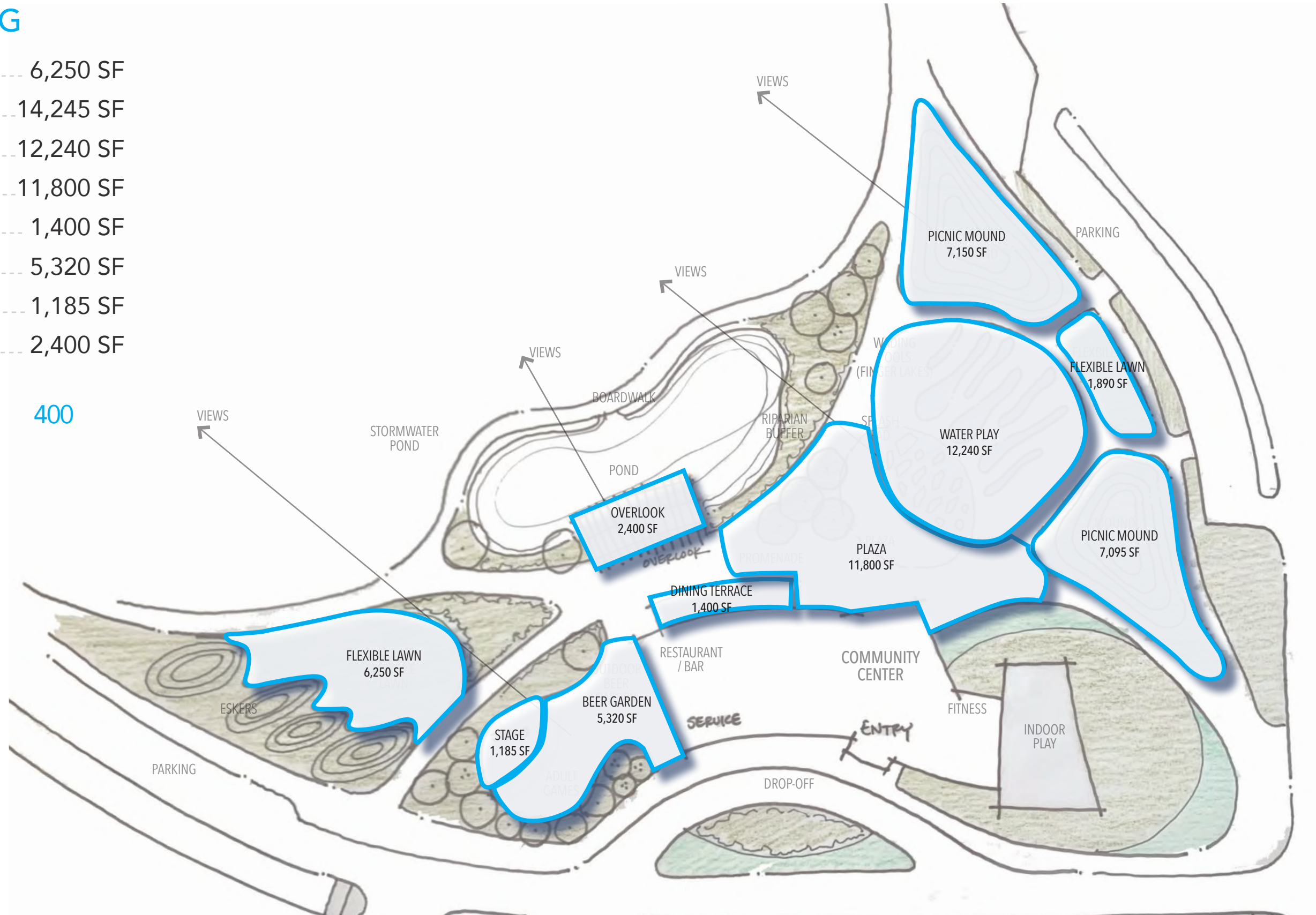


# CONCEPT 3 PROGRAM

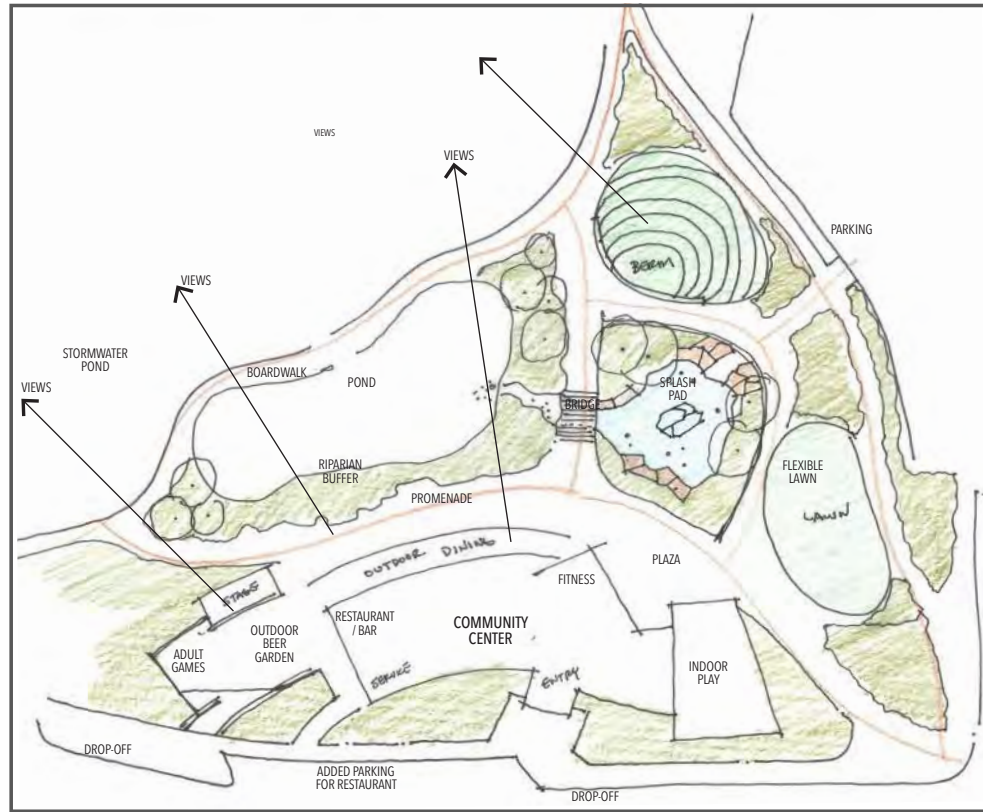
## SPACE PROGRAMMING

FLEXIBLE LAWN	6,250 SF
PICNIC MOUND	14,245 SF
WATER PLAY	12,240 SF
PLAZA	11,800 SF
DINING TERRACE	1,400 SF
BEER GARDEN	5,320 SF
STAGE	1,185 SF
OVERLOOK	2,400 SF

WATER PLAY USER CAPACITY 400



# SUMMARY - PROPOSED CONCEPTS



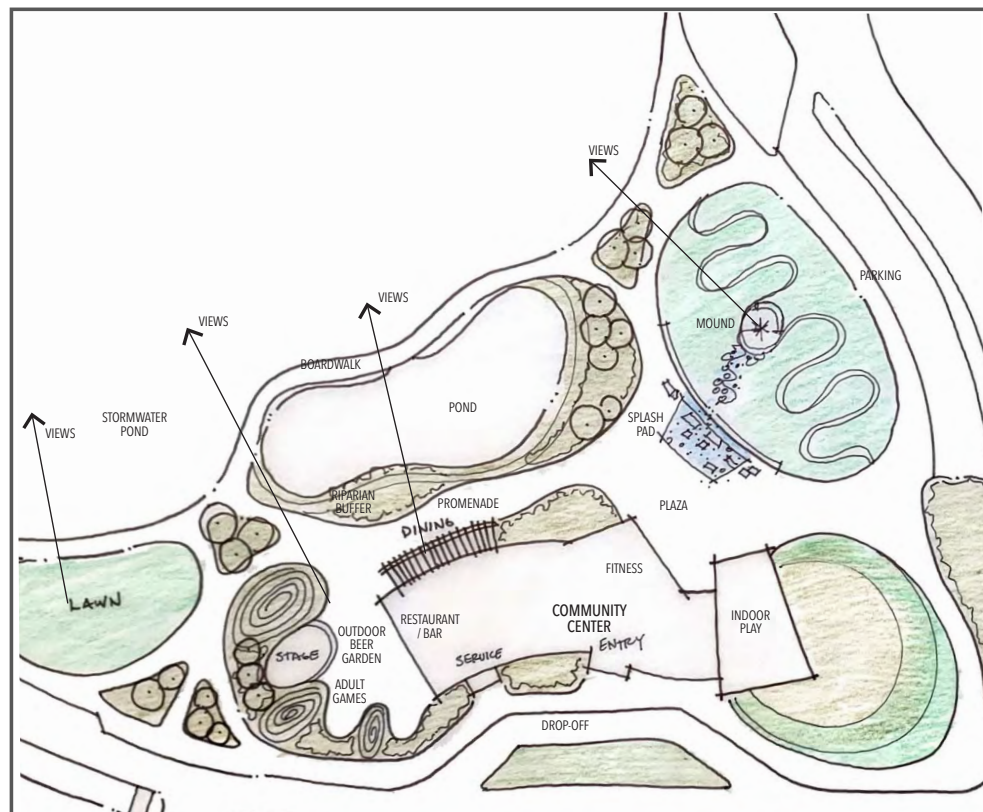
## CONCEPT 1 SPACE PROGRAM

FLEXIBLE LAWN	5,000 SF
PICNIC MOUND	9,135 SF
WATER PLAY	6,530 SF
PLAZA	4,592 SF
DINING TERRACE	1,700 SF
BEER GARDEN	4,000 SF
STAGE	1,620 SF



## CONCEPT 1A SPACE PROGRAM

FLEXIBLE LAWN	6,670 SF
PICNIC MOUND	7,650 SF
WATER PLAY	5,820 SF
PLAZA	7,775 SF
DINING TERRACE	2,285 SF
BEER GARDEN	5,640 SF
STAGE	900 SF



## CONCEPT 2 SPACE PROGRAM

FLEXIBLE LAWN	9,730 SF
PICNIC MOUND	20,770 SF
WATER PLAY	2,000 SF
PLAZA	9,400 SF
DINING TERRACE	1,265 SF
BEER GARDEN	4,530 SF
STAGE	1,200 SF



## CONCEPT 3 SPACE PROGRAM

FLEXIBLE LAWN	6,250 SF
PICNIC MOUND	14,245 SF
WATER PLAY	12,240 SF
PLAZA	11,800 SF
DINING TERRACE	1,400 SF
BEER GARDEN	5,320 SF
STAGE	1,185 SF
OVERLOOK	2,400 SF

# WATER FEATURE COSTS

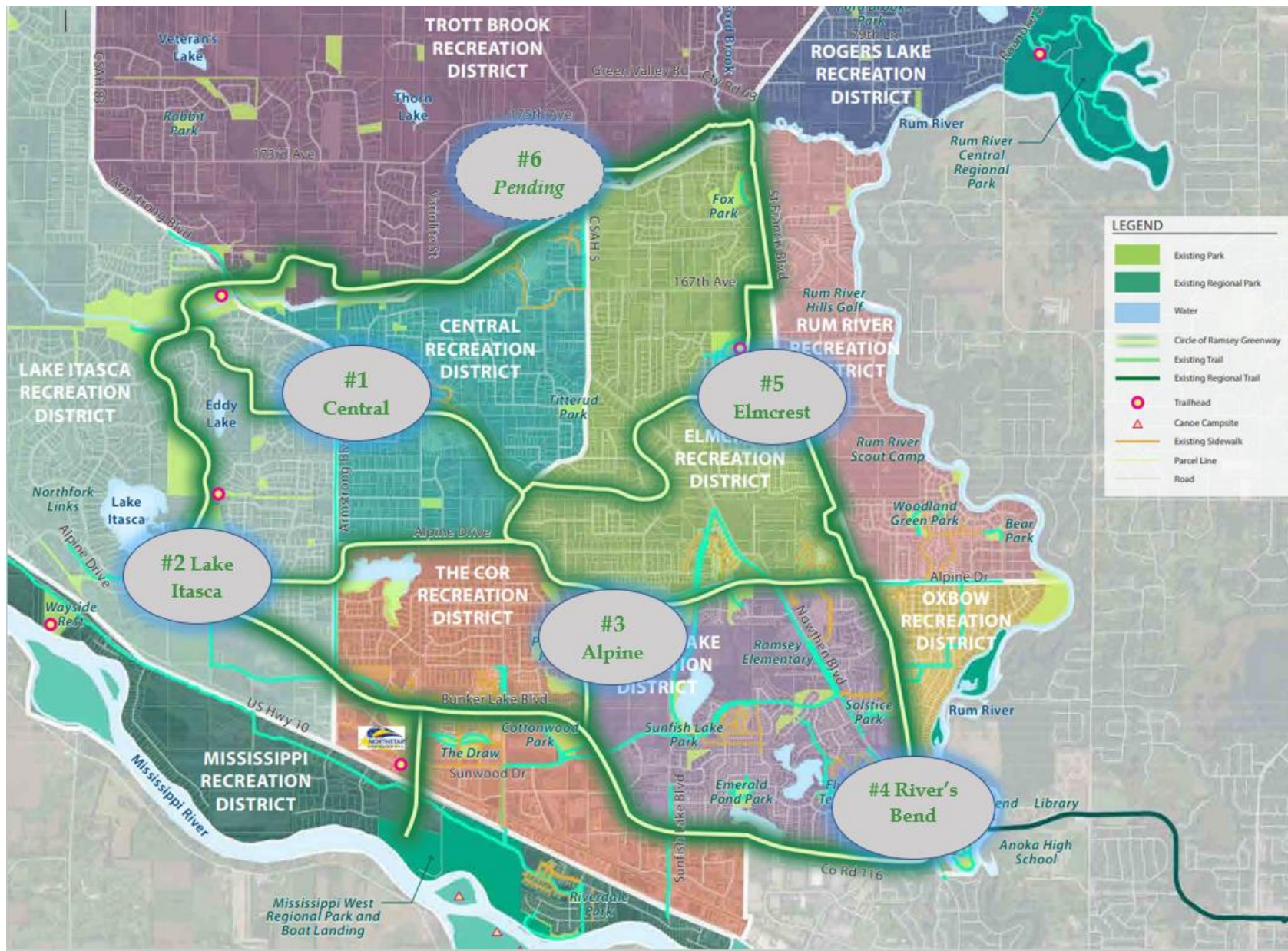
**Costs for water features vary dramatically and are driven by the following factors:**

- > Size of the Water Feature
- > Equipment and Filtration System
- > Programming & Control Systems
- > Lighting & Sound Systems
- > Construction Materials
- > Amenities
- > Bidding Climate & Number of Bidders

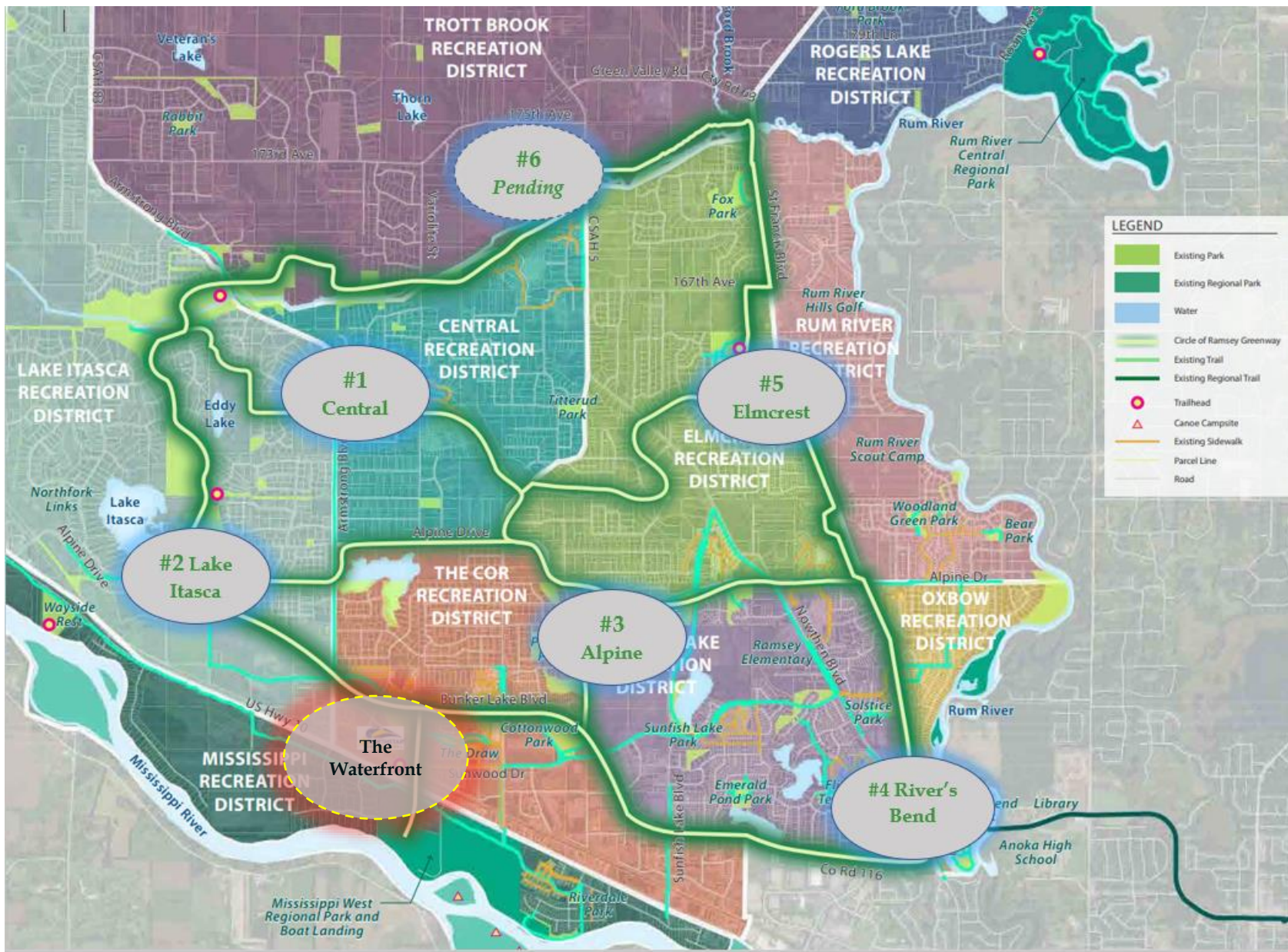
The conceptualized water features included in this presentation have an estimated probable cost of \$1m to \$3m.

# THE WATERFRONT - STATUS OF COMMUNITY BUILDING/SPLASH PAD PLANNING

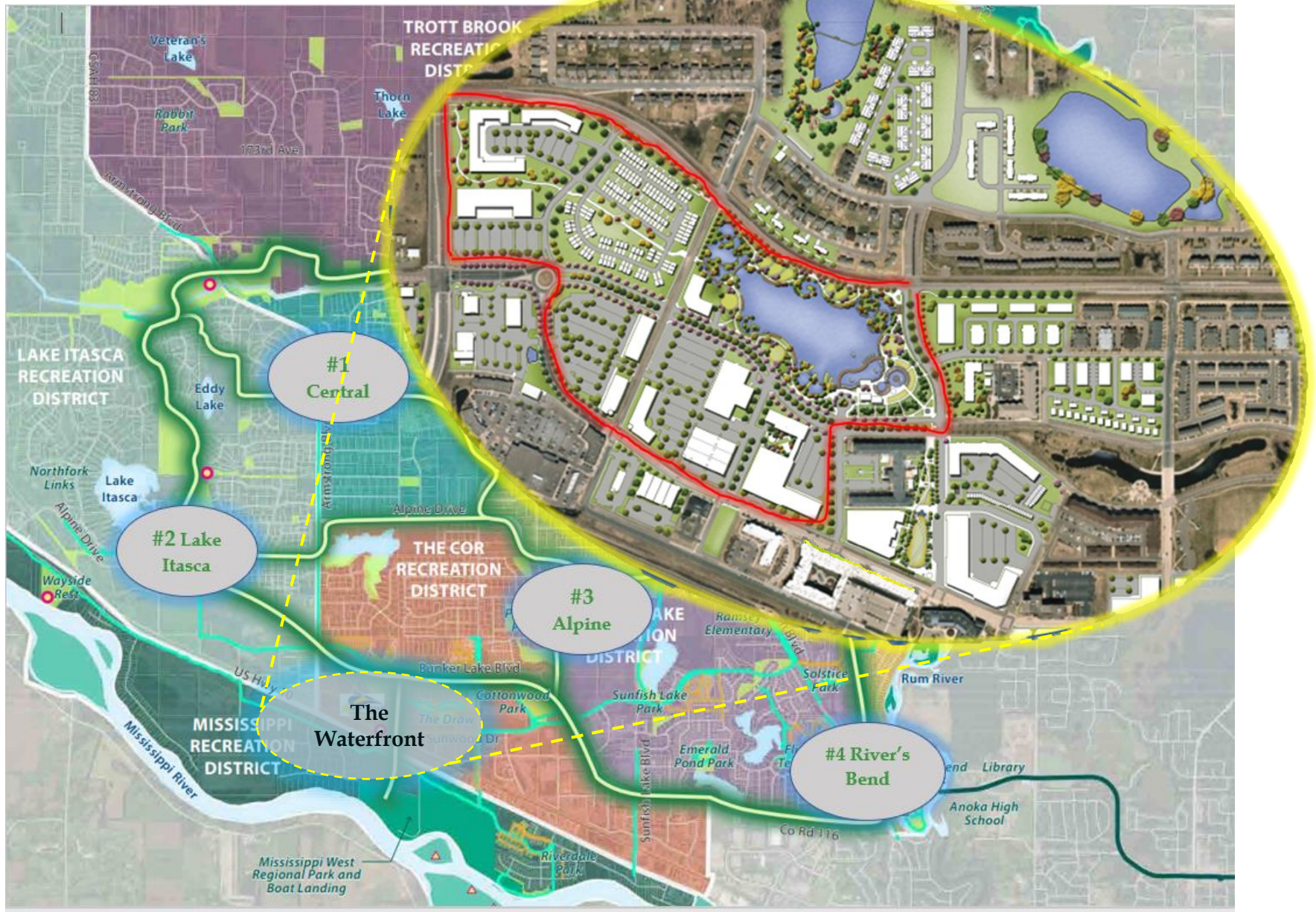
PRELIMINARY PLANNING BY:  
**CUNINGHAM GROUP ARCHITECTURE**  
**JACOBSON LANDSCAPE ARCHITECTURE**



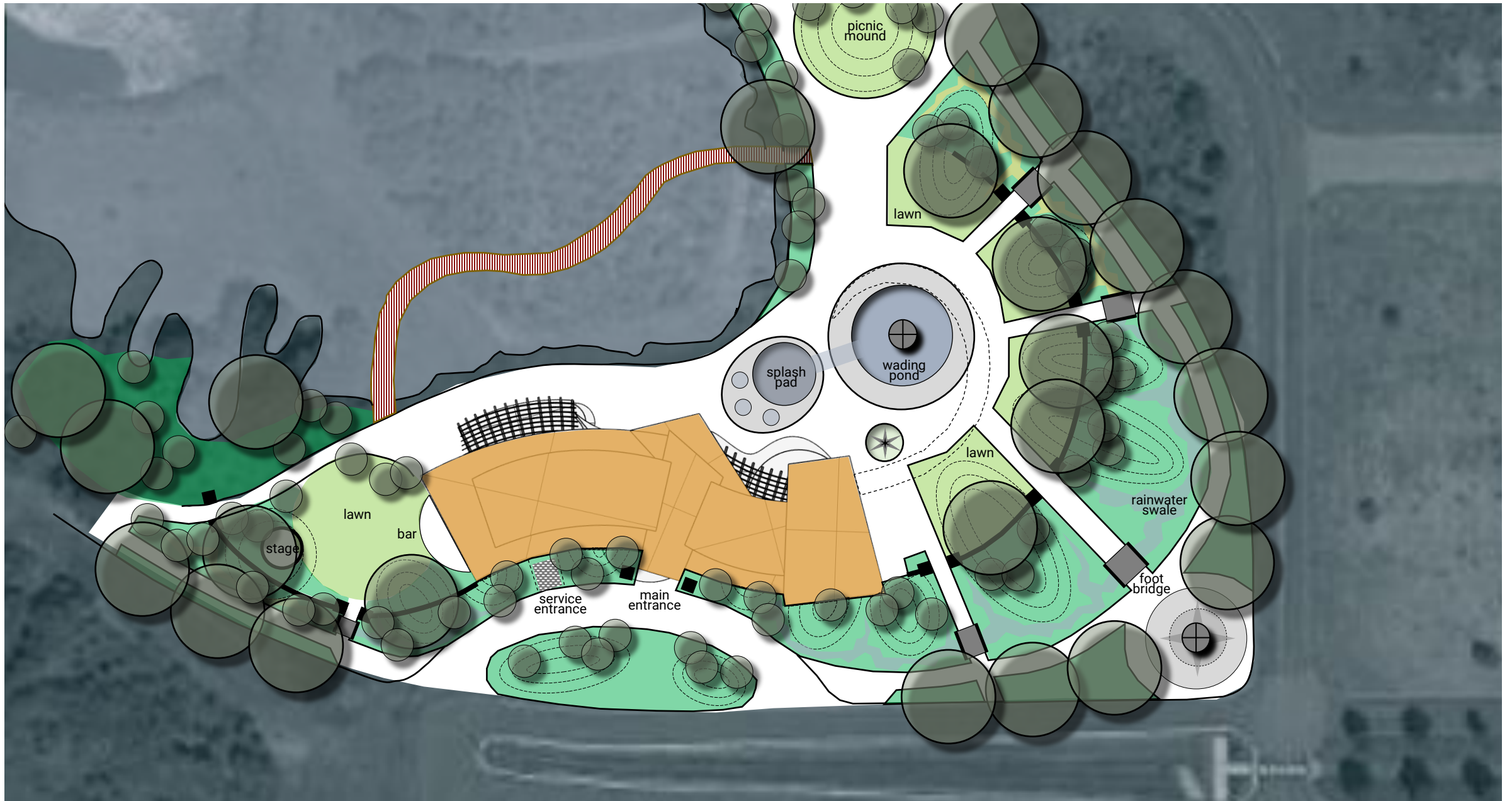
**Ramsey Waterfront Community Building**  
Community Park Distribution Map



**Ramsey Waterfront Community Building**  
Community Park Distribution Map



**Ramsey Waterfront Community Building**  
Community Park Distribution Map



**Ramsey Waterfront Community Building**  
Landscape

GRADING FOR AESTHETICS



GRADING FOR STORMWATER



LIGHTING EFFECTS



SHORELINE TREATMENT



OPEN SAVANA CHARACTER



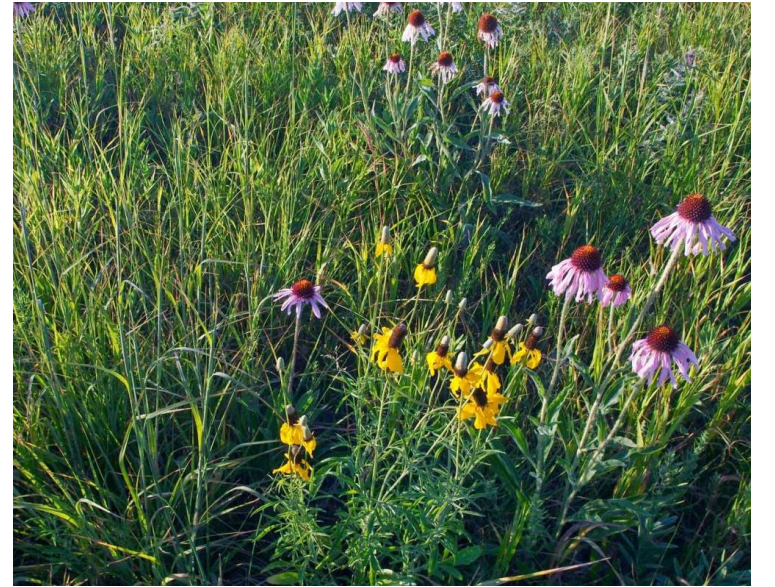
MULTI-TRUNK UNDERSTORY



BEE-FRIENDLY LAWN



SHORT-GRASS PRAIRIE



BOARDWALK



WADING POND



OUTDOOR GAME AREA

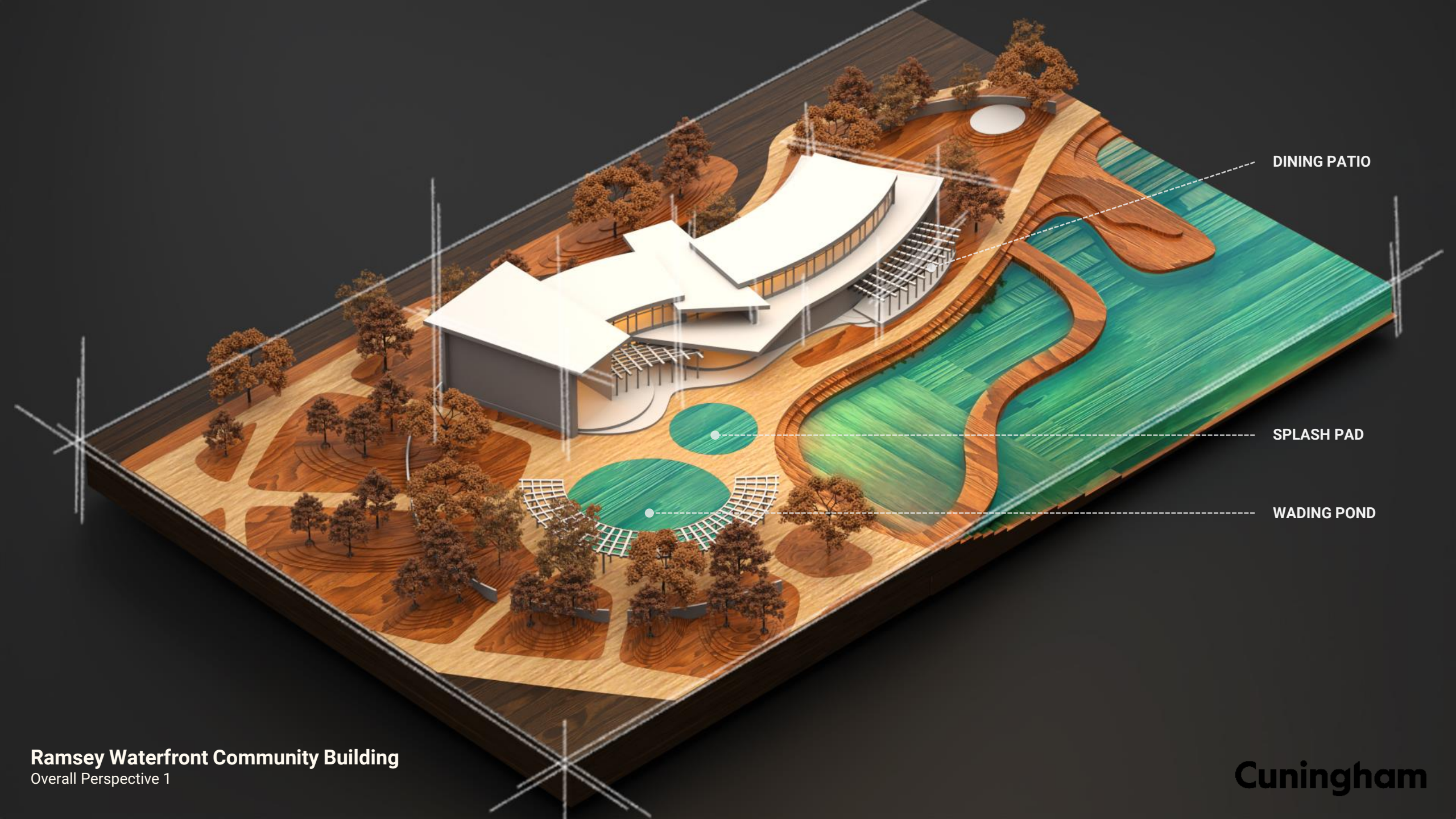


OUTDOOR HEARTH



OUTDOOR GAME AREA





DINING PATIO

SPLASH PAD

WADING POND

**Ramsey Waterfront Community Building**

Overall Perspective 1



WADING POND

SPLASH PAD

BAR PATIO



**Ramsey Waterfront Community Building**  
Floor Plan – Ground Floor

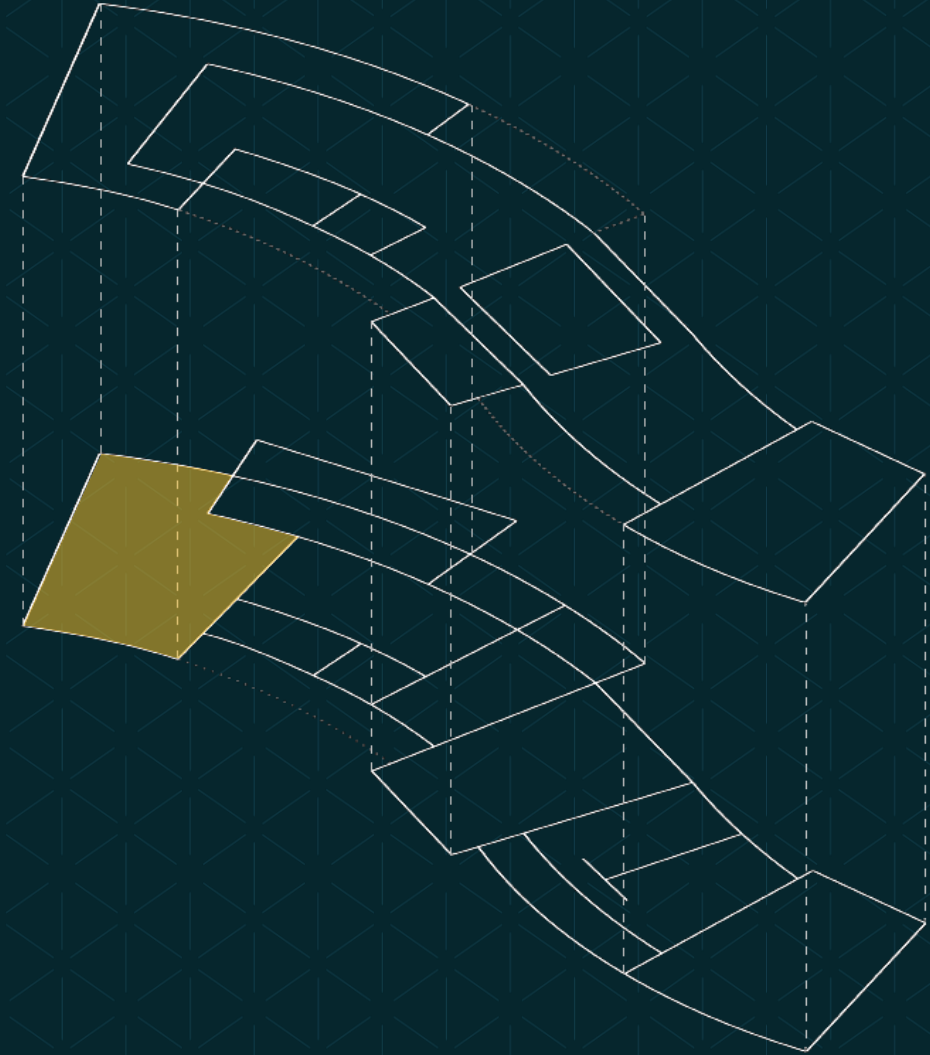


**Ramsey Waterfront Community Building**  
Floor Plan - Second Level

# DINING



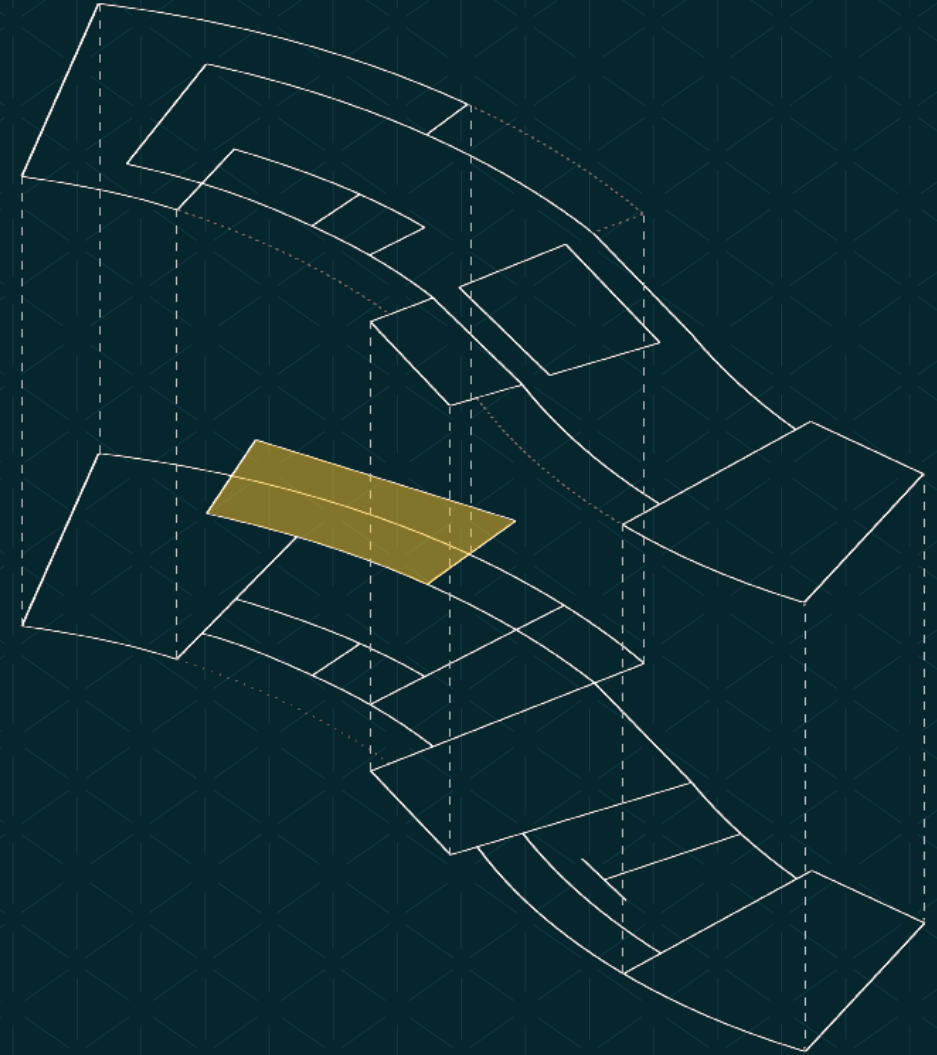
**Ramsey Waterfront Community Building**  
Program



# DINING PATIO



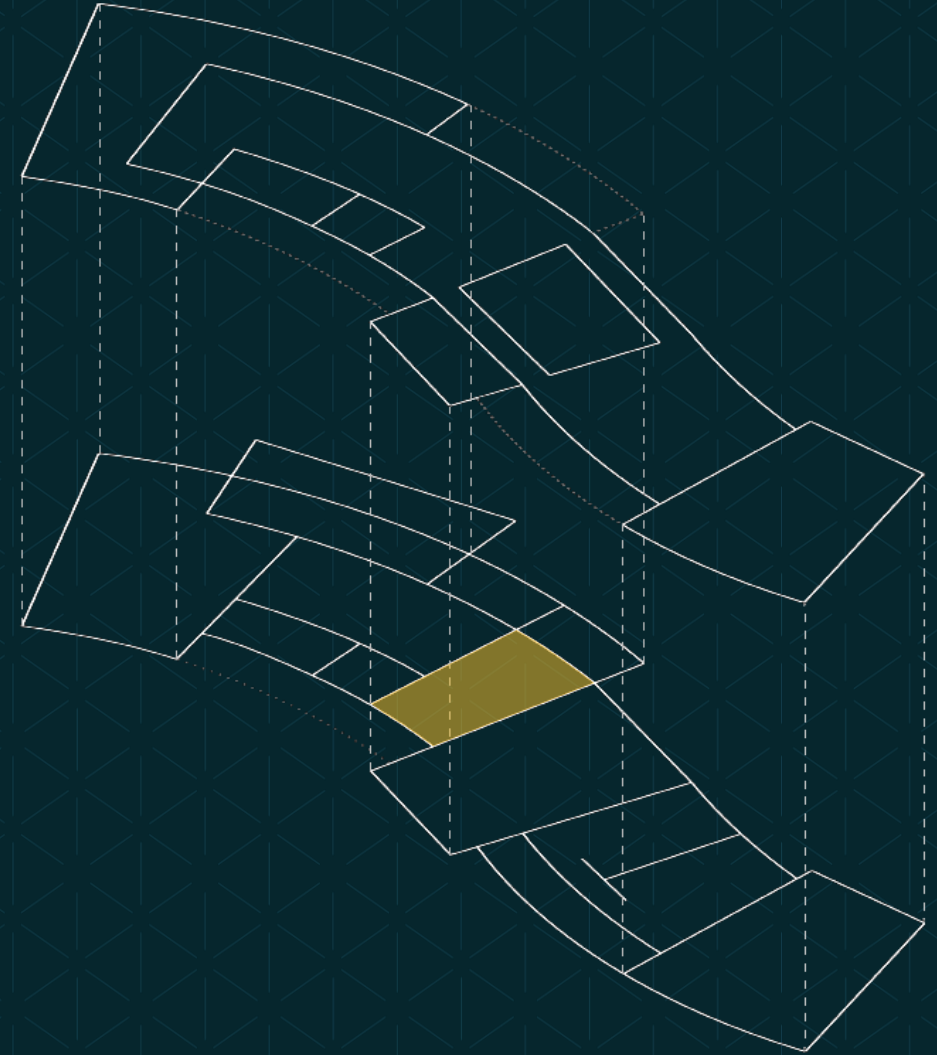
**Ramsey Waterfront Community Building**  
Program



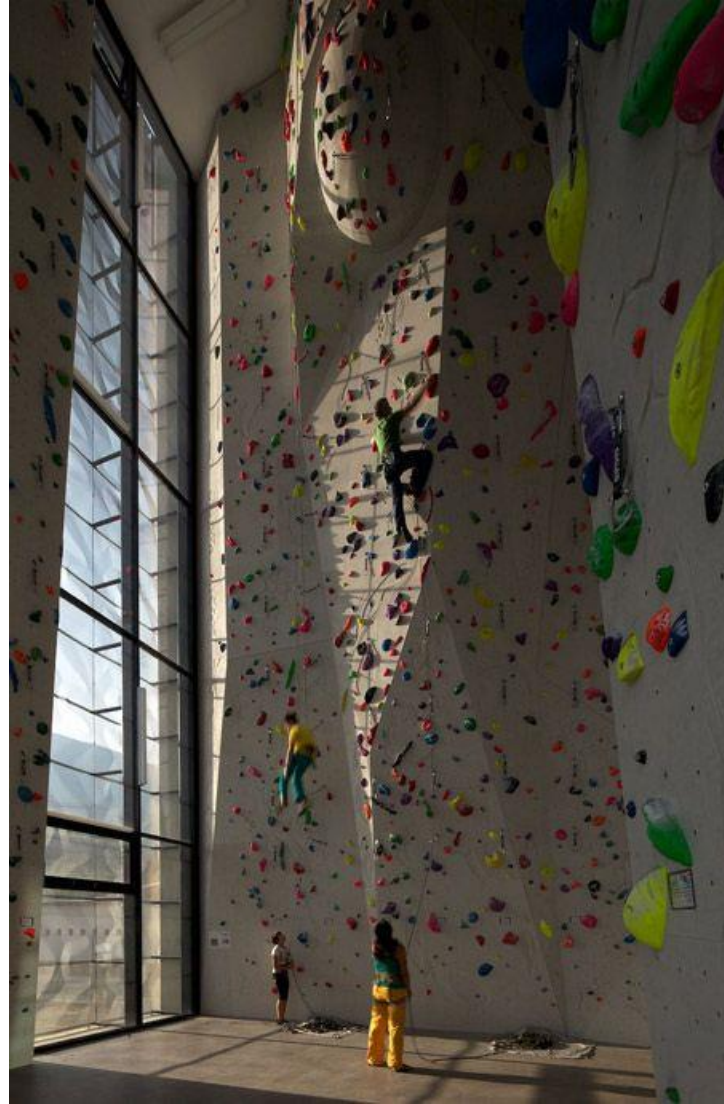
# YOGA/BALLET/FITNESS



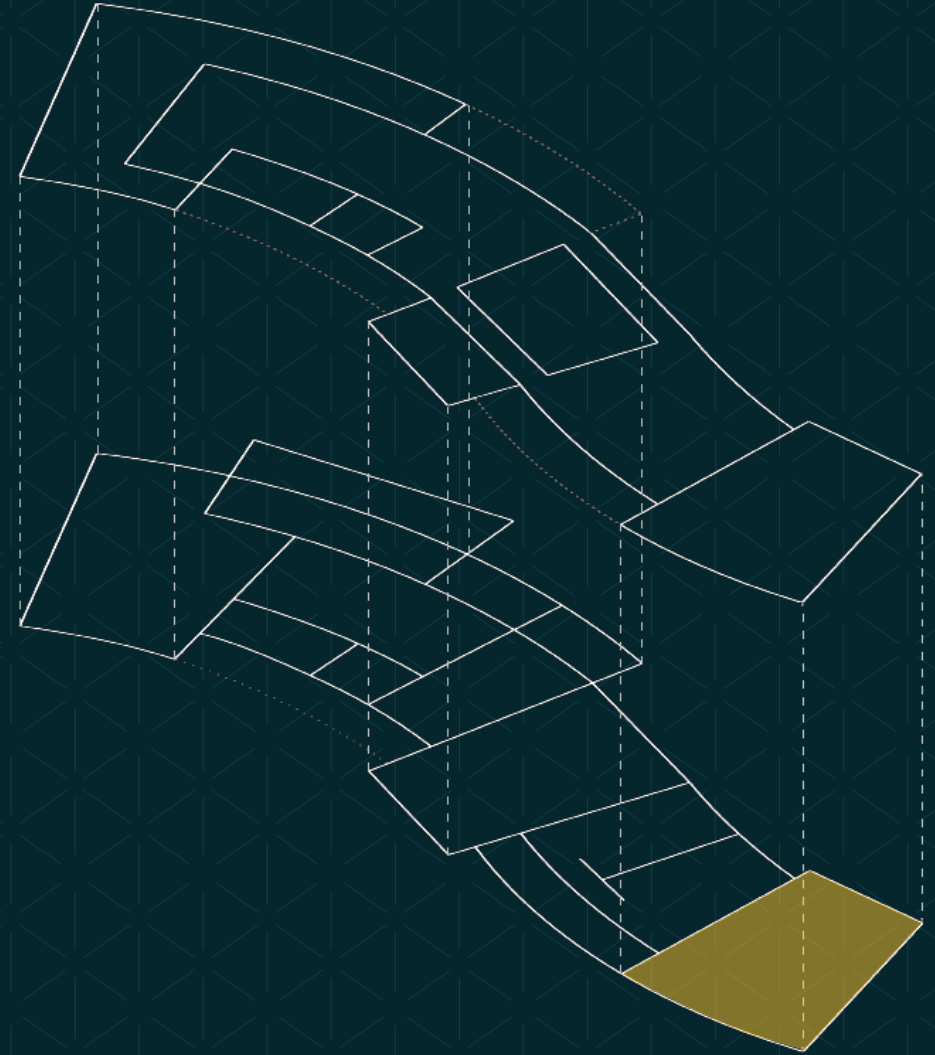
**Ramsey Waterfront Community Building**  
Program



# INDOOR PLAY AREA



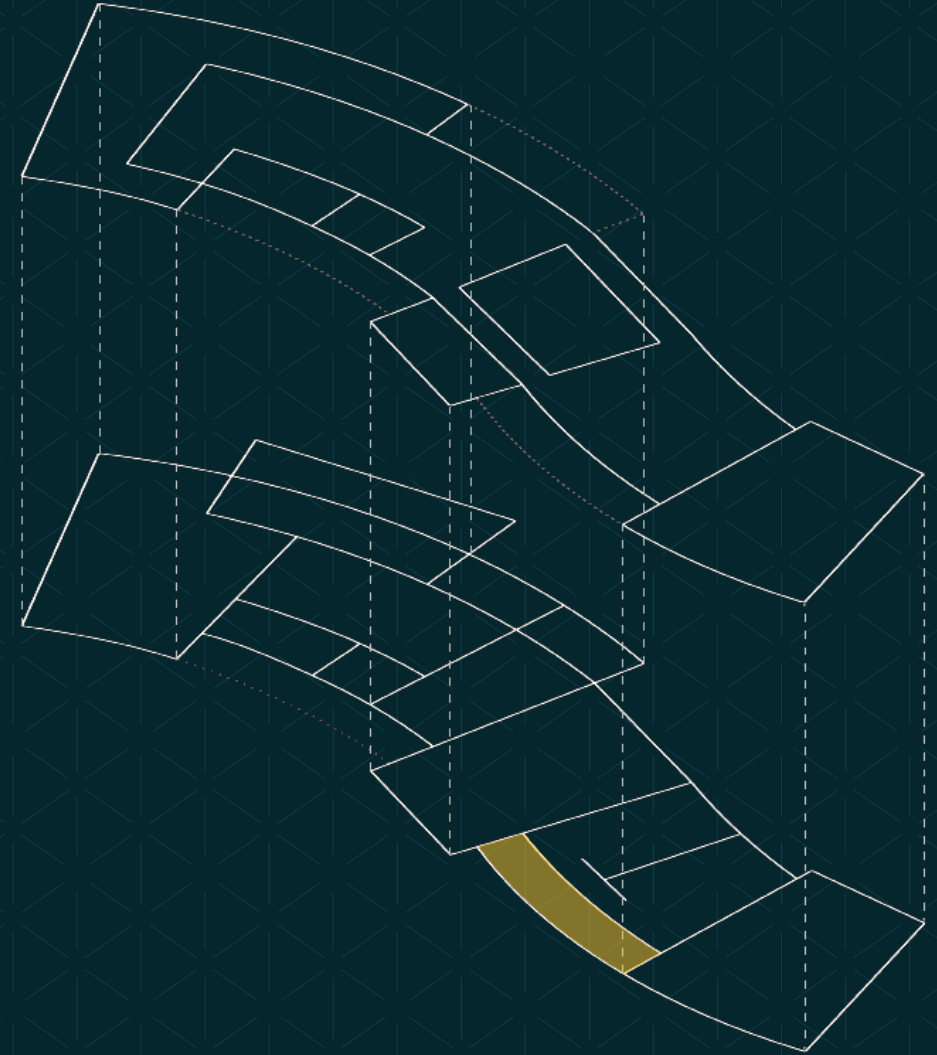
**Ramsey Waterfront Community Building**  
Program



# GALLERY



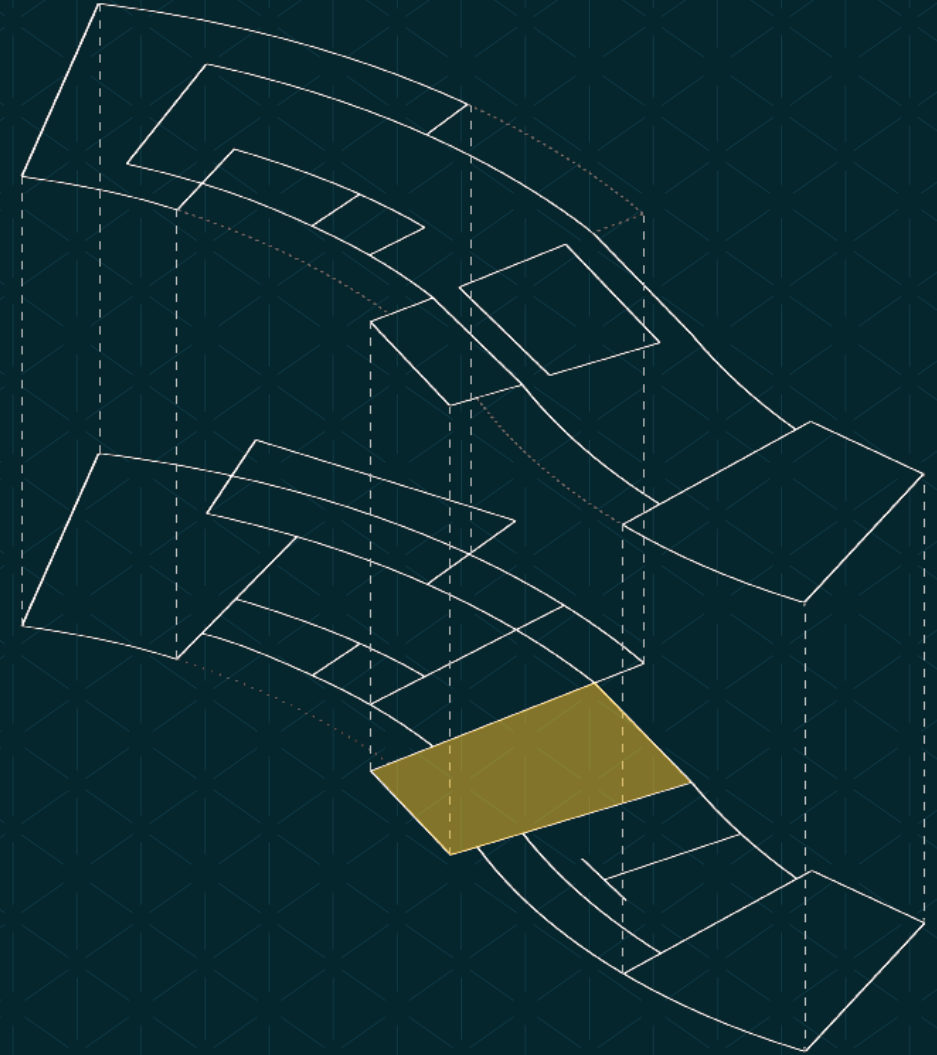
**Ramsey Waterfront Community Building**  
Program



# MAIN ENTRY



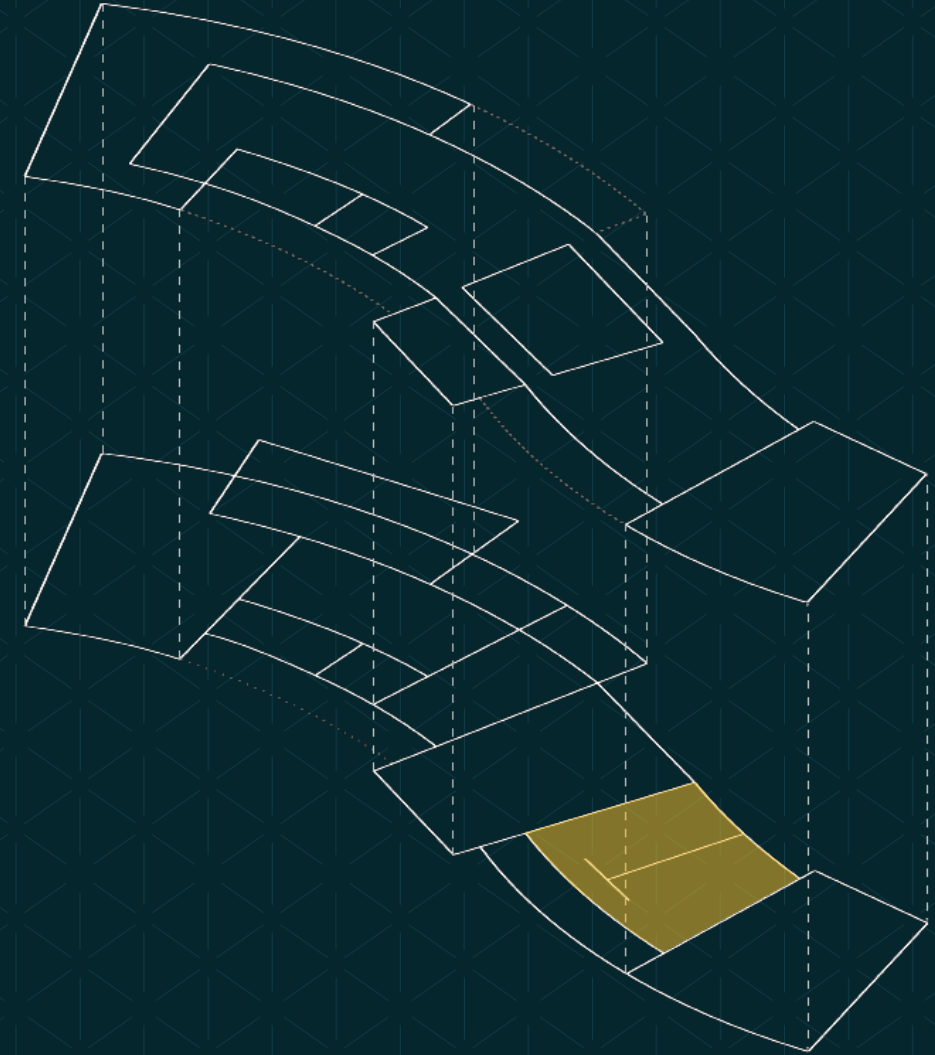
**Ramsey Waterfront Community Building**  
Program



# LOCKERS



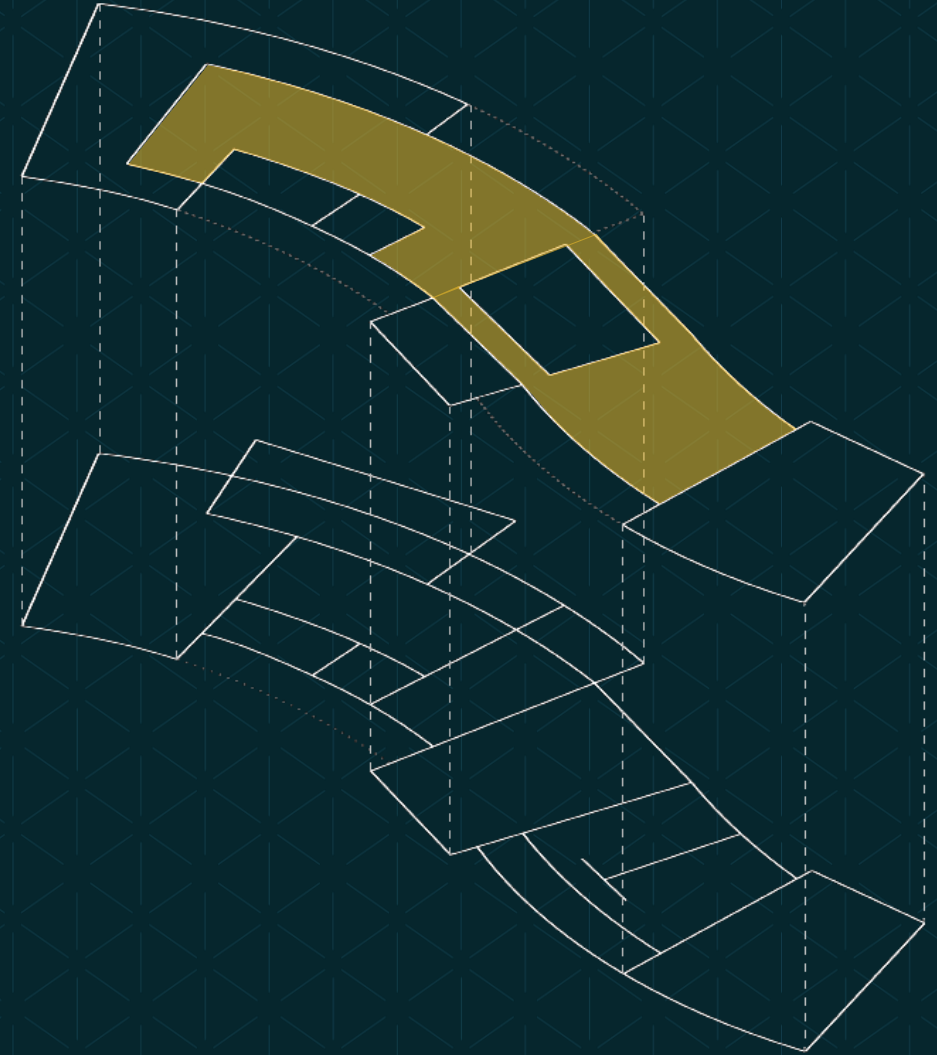
**Ramsey Waterfront Community Building**  
Program



# BANQUET/TRADE SHOW SPACE



**Ramsey Waterfront Community Building**  
Program





**Ramsey Waterfront Community Building**

A large, stylized letter 'C' logo on the left side of the image. The 'C' is filled with a teal color and features a white grid pattern of thin lines. The background of the entire image is a dark teal color.

**Cunningham**

**Park and Recreation Commission**

**Meeting Date:** 03/14/2024

**Primary Strategic Plan Initiative:** Create a positive image for residential neighborhoods, business districts and key corridors.

**Information**

**Title:**

Consider Irrigation for Municipal Plaza

**Purpose/Background:**

The purpose of this case is to acknowledge the need and begin the process to irrigate Municipal Plaza—the undeveloped park space north of City Hall and west of Center Street.

**Time Frame/Observations/Alternatives:**

For the meeting, staff will review the purpose and scope of the proposed irrigation project for the park.

**Funding Source:**

This case does not authorize funding. However, the funding for the proposed irrigation would be from the Park Trust Fund, and would occur following a formal recommendation from the Park & Recreation Commission to City Council at a later date.

**Recommendation:**

Staff recommends a discussion on the benefits of irrigating Municipal Plaza.

**Outcome/Action:**

Consensus acknowledgment that it is prudent to begin the process for developing plans for irrigating Municipal Plaza and identify the associated costs.

**Attachments**

- Aerial view
- Base map
- 2024 CIP worksheet

**Form Review**

**Inbox**

Bruce Westby

Brian Hagen

Form Started By: Mark Riverblood

**Reviewed By**

Bruce Westby

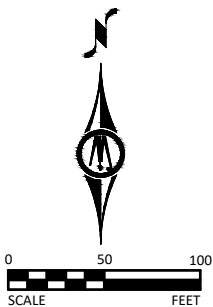
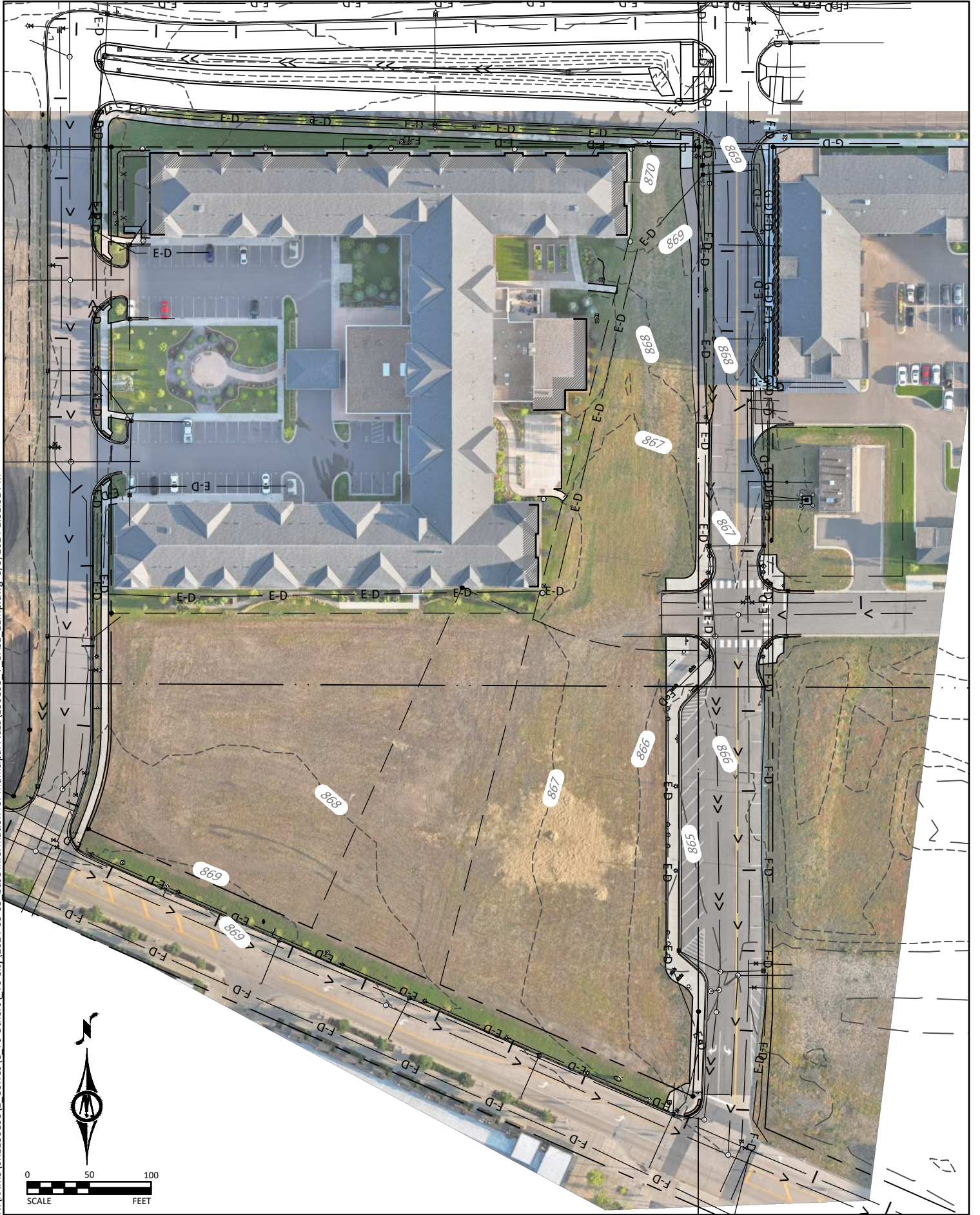
**Date**

03/08/2024 01:55 PM

Started On: 03/08/2024 10:21 AM



H:\RAMS\0R1130893\1\_Corres\C... To City\2024-03-05\_base information for Municipal Plaza\130893\_V\_BASE\_EImp.dwg 3/5/2024 1:31:31 PM



Capital Improvement Program  
 City of Ramsey, Minnesota

2024 *thru* 2033

Department Park Improvements  
 Contact  
 Type Improvement  
 Useful Life 20 Years  
 Category Park Improvement  
 Priority 2-New Addition (High)  
 Status Active

Project # 08-PARK-005  
 Project Name Park Development in The COR

Total Cost \$1,350,000

Description

This proposed capital improvement represents additional park development in The COR, beginning in 2023. The project may be landscape improvements at Municipal Plaza and/or first phase development of The Waterfront to include a splash pad.

Justification

A splash pad continues to be requested by residents, and mass grading for The Waterfront park will generate fill for areas of The COR the city desires to sell.

Prior	Expenditures	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	Total
150,000	Improvements Other than Building Cost	1,200,000										1,200,000
<b>Total</b>	<b>Total</b>	<b>1,200,000</b>										<b>1,200,000</b>

Prior	Funding Sources	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	Total
150,000	Park Improvement Trust Fund	1,200,000										1,200,000
<b>Total</b>	<b>Total</b>	<b>1,200,000</b>										<b>1,200,000</b>

**Park and Recreation Commission**

**Meeting Date:** 03/14/2024

**Primary Strategic Plan Initiative:** Address infrastructure needs.

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**Information**

**Title:**

Commission/Staff Input

**Purpose/Background:**

~ Okapi Street Boardwalk refurbishment

**Recommendation:**

.

**Outcome/Action:**

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**Attachments**

Boardwalk RFQ

**Form Review**

**Inbox**

Bruce Westby

Brian Hagen

Form Started By: Mark Riverblood

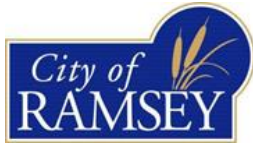
**Reviewed By**

Bruce Westby

**Date**

03/08/2024 01:54 PM

Started On: 03/08/2024 01:43 PM



## REQUEST FOR QUOTATION



QUOTES MUST BE RECEIVED BY:  
**2:00 pm on Tuesday, February 20<sup>th</sup>, 2024**

Submit by e-mail ONLY to:

Mariah Albrecht  
Ramsey, MN 55303  
763-433-9820

E-mail to: [malbrecht@cityoframsey.com](mailto:malbrecht@cityoframsey.com)

### Furnish Materials and Labor for the 'Over-decking' of the Okapi Street Boardwalk



South end of boardwalk accessible  
from Trailhead at; 16350 Okapi Street  
Ramsey, MN 55303

## QUOTATION SPECIFICATIONS

### **Furnish Materials and Installation Labor for the 8' foot Over-decking of the existing, approximately 132' foot, 6' foot-wide Okapi Street Boardwalk**

#### **Pre-Qualifications:**

- I. \*Bidder/Contactor shall demonstrate that he/she has successfully installed 3 (three) projects of comparable or greater scope in a county, municipal, state park, or school setting in Minnesota within the last 5 (five) years.
- II. Bidder/Contractor shall confirm his/her capacity to 'field adjust' the methods and detail of the construction (for City approval) to achieve a uniform deck surface pursuant to the specifications below.
- III. Contractor is responsible for visiting the site to determine all existing conditions that may affect the performance of the Work, AND may request a walk through with city staff if required.

#### **Project Requirements:**

I/We agree to furnish all labor, supply materials as needed, and site security to perform the work as described below:

- Contractor and the City of Ramsey shall enter into the City's standard form of agreement.
- Contractor shall submit material examples to the City's representative for review and approval if requested.
- Contractor shall secure all permits related to the Work (if any).
- The Okapi Street Boardwalk should be reasonably accessible to the public during construction, for a safe, continuous north/south crossing by pedestrians. The Contractor shall also ensure a continuous and safe route at the conclusion of each work day, generally free of loose items.
- Contractor shall provide evidence of insurance in accordance with City requirements, and be licensed to work in the City (a \$75 fee).
- Contractor shall provide temporary facilities, as required, for proper storage of materials and if necessary, also sanitation (outdoor portable toilet on-site).

- Contractor shall protect adjacent trees and shrubs and notify the City's representative immediately of any damage to trees or pavement associated with the site and work.
- Contractor shall remove ALL boardwalk materials that are not completely covered by the new decking from the project in conjunction with the Work, and dispose of same properly at his/her expense. (Materials and refuse not recycled may be placed in the roll-off dumpster at Public Works.)
- The Contractor shall substantially complete the project by July 15<sup>th</sup> 2024.
- The Contractor may be paid for the work completed, materials on site, and not lumber & hardware stored off-site. The City is not responsible for stolen, missing or damaged materials.
- Notify the City's representative prior to substantial completion to schedule a final review of the work and make corrections to deficiencies identified in the final review.
- This Request for Quotation shall be a not-to-exceed, Lump Sum amount. The Contractor must include within his/her quote any time or materials and incidentals necessary to complete the work in a professional and quality manner. At the completion of the Work, the site's grounds shall be returned to its current condition by the Contractor.
- There shall be no Change Orders.
- Portions of the work site including material piles may be required to be enclosed with temporary safety fencing – if the contractor is not physically on site. Fencing is **not required** if there are no equipment or loose items/tools anywhere on site. However, through-passage for pedestrians shall be maintained at all times.

#### **Specification details:**

- Contractor shall supply and install new 2" x 8" brown treated decking, 8' wide, centered and over, the existing 6' foot boardwalk and upon the new 8" high spacer beams (depicted on page 6). This new decking shall be screwed down with #10 X 3 1/2" Climatek Coated GRK Screws into the spacer beam.
- Shim under spacer beams as necessary, to result in new decking boards level from left to right, to achieve a level plane within 1" tolerances from left to right within the 8' wide new deck surface. Shimming shall be performed such that there is **no** 'sagging' or board flexing or 'wiggling' from movement of people on the completed deck surface.

- All new wood for the boardwalk shall be treated, but only the 2 x8 decking, the curb/bumper and corresponding blocking need to be brown treated.
- If wood is not suitable for significant adjustment of any decking or does not have adequate structural integrity, in certain locations of the existing boardwalk, the Contractor may supply and install bracket hardware, mud foot plate and pipe, with a 5/8" set bolt mechanism for adjustment (as depicted on page 6). All components to be hot dipped galvanized, and the pipe is to be 1 1/2" schedule 40, hot dipped galvanized. If this system to be used at the Contractor's discretion, it shall be incidental to the job and within the scope of the Lump Sum proposal.
- Contractor to supply and install a 2" x 4" blocking (spaced no more than 3' on center), along with a continuous 2" x 4" to create a 3" high 'curb' along the entire length of each side. The seams of these boards shall not be opposite of the other side, and be generally at the middle point of existing deck sections – and the seams shall be matched by a 45° degree cut directly over the blocking. (See example reference below, page 5.) There shall be two to three fasteners screwed into each end of the upper 2" x 4" where they join. The blocking shall have at least two fasteners through and secured to the 2 x 8 decking.
- The finished deck surface shall be level in both directions, and 9" 1/2 inches higher than the existing boardwalk over the south 102' (approximately). At the very south end of the new completed boardwalk, a treated wood rim joist shall be placed to 'cap' the new end. The bituminous trail will then be elevated (by others) to match the new boardwalk height.
- At approximately 100' feet from the south end described above, the Contractor shall fabricate and adjust the north 30' of the new boardwalk to transition gradually from level (approximately 9" in height), to the precise existing height of the bituminous trail to the north. This shall be performed primarily by reducing the length of the 5" 4 x 4's within the 'spacer beam' depicted on page 7.

**Specification References:**

The Contractor shall design the Work in conformance with the Specifications, and example images below, as well as in accordance with standard construction practices.

**Illustration of 3" high curb/bumper on boardwalk edge**



Depiction of 45° degree curb joint configuration

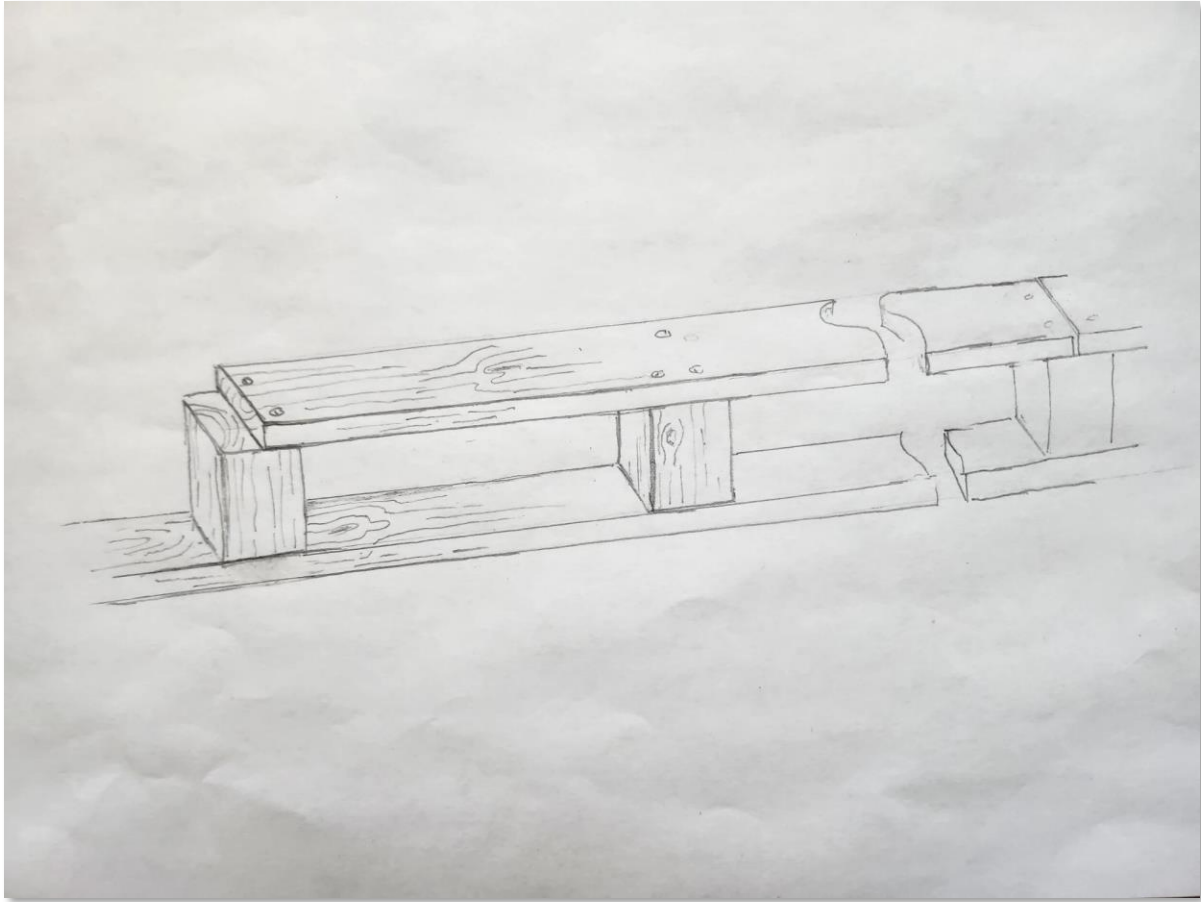


Example bracket hardware, mud foot plate and pipe, *if used*, at contractor's discretion



Example of completed 8' foot wide, 2 x 8 brown treated deck-over

## Illustration of spacer beam



Treated spacer beam to consist of 4 x 4 blocks +/- 5" high, placed 2' o.c. Treated 2 x 4 joint(s) to be centered over blocks – however, top and bottom 2 x 4 joints to alternate when possible.

Spacer beams shall be placed on the existing edges of the 6' boardwalk, and a third down the center. The spacer beam shall be 8" in total height, and may be greater in areas if needed to level for the new decking, and less for the north 30' of the boardwalk. Shims to account for undulation in the surface of the existing boardwalk, shall be placed *under* the spacer beam such that the new 8' decking shall be uniformly flat and screwed to the continuous new treated material of the top of the spacer beam.

**Work and Staging Areas:**

Confine work activities to the boardwalk site, and adjacent to bituminous trails – all of which should remain passable by pedestrians during the construction periods. Contactor is responsible for protecting trail pavement from breaking and damage. No mechanized equipment shall be left overnight on the site (unless fenced), and no construction activity shall be performed before 7 AM nor after 7 PM Monday through Saturday. The contractor shall provide 72-hour advance notice before working on Saturday. City Council approval may be required for Sunday work. Coordinate staging area and fencing with the City’s representative prior to beginning the Work as necessary.

**Liquidated Damages:**

Liquidated damages may be deducted from the approved quoted amount, in a sum of \$50 dollars per weekday (M-F) for non-completion after July 30<sup>th</sup>, 2024.

**Warranty/Guarantee:**

The Contractor warrants and guarantees to the Owner that all installation Work will be of good quality and free from faults or defects in accordance with this RFQ. All defective Work may be rejected.

If required by the Owner, prior to payment, the Contractor will promptly without cost to the Owner, correct defective Work, or replace it with non-defective Work. If the Contractor does not correct such defective Work or remove and replace within a reasonable time, the Owner may have the deficiency corrected or the rejected Work removed and replaced. All direct or indirect costs of such correction or removal and replacement, including compensation for additional professional services shall be paid by the Contractor, or deducted by the Owner, all such costs from the quoted contract price.

If, instead of requiring correction or removal and replacement of defective Work, the Owner (prior to approval of final payment) prefers to accept it, they may do so. In such case, if the acceptance occurs prior to final payment, a Statement shall be issued incorporating the necessary revisions, including appropriate reductions in Contract Price

**Quotation for Furnishing Materials and Installation Labor for the 8' foot Over-decking of the Existing 6' foot Okapi Street Boardwalk**

\$ \_\_\_\_\_ **Lump Sum** for all costs to complete installation as referenced.

In submitting the above quote, I/We warrant the quote valid for work to be completed on or before July 15<sup>th</sup>, 2024.

Additionally, I/we acknowledge the Specifications, Provisions, Appendix, and existing conditions referenced herein and above. (Bidder need only submit this Quotation page #8.)

Contractor name \_\_\_\_\_

Owner or representative \_\_\_\_\_

Signature \_\_\_\_\_

Phone(s) \_\_\_\_\_

E-mail \_\_\_\_\_

\*List three related projects of comparable scope for a governmental agency in Minnesota within recent years, with contact/reference information:

Project name and location \_\_\_\_\_  
Contact name and info \_\_\_\_\_

Project name and location \_\_\_\_\_  
Contact name and info \_\_\_\_\_

Project name and location \_\_\_\_\_  
Contact name and info \_\_\_\_\_