

City of Ramsey
Agenda
Public Works Committee
Tuesday, July 16, 2024

5:30 pm

Lake Itasca Room, 7550 Sunwood Drive NW

Remote Attendance available at www.cityoframsey.com/meetings.
Those joining remotely and requesting to speak are asked to use a webcam when speaking.

1. **Call to Order**

2. **Citizen Input**

3. **Approve Agenda**

4. **Approve Minutes**
 1. Approve the following Meeting Minutes.
Public Works Committee meeting dated June 18, 2024.

5. **Committee Business**
 1. Trail Maintenance Policy - Status Update
 2. Review Draft Stormwater Pond Maintenance Policy Framework

6. **Committee/Staff Input**
 1. Receive Updates on Wetland 114P
 2. Receive Updates on Improvement Projects, Studies and Items of Interest
 3. Review Future Topics Calendar

7. **Adjournment**

Public Works Committee

Meeting Date: 07/16/2024

Primary Strategic Plan Initiative: Not Applicable

Title:

Approve the following Meeting Minutes.
Public Works Committee meeting dated June 18, 2024.

Purpose/Background:

The meeting minutes dated June 18, 2024, are attached for review.

Notification:

N/A

Time Frame/Observations/Alternatives:

Staff anticipates this case will take less than 5 minutes.

Funding Source:

N/A

Recommendation:

To review and approve meeting minutes dated June 18, 2024.

Outcome/Action:

Motion to approve meeting minutes dated June 18, 2024.

Attachments

June 2024 PWC Minutes

Form Review

Inbox	Reviewed By	Date
Brian Hagen	Brian Hagen	07/11/2024 11:55 AM
Form Started By: Marsha Weidner		Started On: 07/11/2024 08:18 AM
Final Approval Date: 07/11/2024		

**PUBLIC WORKS COMMITTEE
CITY OF RAMSEY
ANOKA COUNTY
STATE OF MINNESOTA**

The Public Works Committee conducted a regular meeting on Tuesday, June 18, 2024, at the Ramsey Municipal Center, 7550 Sunwood Drive NW, Ramsey, Minnesota.

Members Present: Chairperson Debra Musgrove
 Councilmember Chelsee Howell
 Councilmember Michael Olson

Also Present: City Engineer/Public Works Director Bruce Westby
 Assistant City Engineer Joe Feriancek
 Civil Engineer IV Leonard Linton

1. CALL TO ORDER

Chairperson Musgrove called the regular meeting of the Public Works Committee to order at 5:30 p.m.

2. CITIZEN INPUT

There was none.

3. APPROVE AGENDA

Chairperson Musgrove requested to move Item 6.01 to be considered after approval of the minutes.

Motion by Councilmember Olson, seconded by Councilmember Howell, to approve the agenda, as amended.

Motion carried. Voting Yes: Chairperson Musgrove, Councilmembers Olson and Howell. Voting No: None.

4. APPROVE MINUTES

4.01: Approve May 21, 2024, Meeting Minutes

Motion by Councilmember Howell, seconded by Councilmember Olson, to approve the following minutes:

Regular Meeting Minutes dated May 21, 2024

Motion carried. Voting Yes: Chairperson Musgrove, Councilmembers Howell and Olson. Voting No: None.

6. COMMITTEE / STAFF INPUT

6.01: Receive Updates on Improvement Projects, Studies, and Items of Interest

City Engineer/Public Works Director Westby provided background information on DNR wetland 114P. He explained that when lots abutting the wetland were platted in the early 1990's, the properties were developed to protect homes from flooding. He commented that this is currently the fifth wettest spring on record and that the wetland is obviously full of stormwater. He stated that the City has been working with the DNR for years to manage the water level in this wetland and last year came to an agreement on an outlet structure that would help to manage the water level within the wetland. He recognized that the last few years have been incredibly dry and therefore the level of the wetland has been low and having water in portions of backyards is most likely new for some homeowners. He played a video showing how the new outlet control structure functions, showing that water is freely flowing through the structure and downstream of the structure. He stated that staff are monitoring things to ensure that the structure does not become plugged, and no one should have water inside their homes.

Councilmember Olson asked the level of the outlet control.

City Engineer/Public Works Director Westby provided additional details on the outlet structure.

Civil Engineer IV Linton stated that the elevation of the weir was set using information from the DNR based on the historical ordinary high water (OHW) level prior to development. He stated that around the time the homes were constructed an outlet pipe was installed without regard for the historical OHW level, and that pipe was approximately 1.7 feet below the OHW level. He stated that in the Spring of 2023 the City installed the new outlet structure with a weir elevation of 857.9.

Jenny Larson, 5790 145th Court NW, asked when the old outlet pipe was installed. She stated that they built their home in 2004 when the water level was similar to what it is now. She stated that as the years have progressed the wetland was drier and drier and filled with vegetation. She believed that there should be accountability as the lower outlet pipe was in place for the past 20 years. She stated that people have purchased homes with a false sense of what their land is because the wetland has been dry and now has returned to its original level, leaving yards wet that have not been wet.

Donna Wippler, 5770 145th Court NW, commented that she lives next door to the Larsons, and the water is very high. She stated that they have lost a lot of lawn and many of their trees are in standing water. She commented that there is basically a river going through their backyard. She recognized that the water is nice but there is also risk to their trees.

Mark Bollman, 14600 Junkite Street NW, stated that he took a stick to the culvert today. He stated that he has been walking that path for 24 years. He stated that today the water level is at 36 inches, which means 5 inches are above the threshold. He estimated that the old threshold was about 10 inches. He stated that the creek having 3 feet of water is way too high. He commented that yards

were flooded long before the threshold is reached. He believed that the threshold should be lowered 12 or 13 inches. He commented that his daughter also lives in the neighborhood and at her rear lot line the water level is 12 inches. He believed that the DNR was going to raise the level of the wetland by 4 or 5 inches, and this is much too high.

Civil Engineer IV Linton commented that before all the homes were built the DNR established the normal water level of the wetland, which is the OHW mark. He stated that the new outlet structure matches that OHW mark. He stated that because of all the rain there is extra water coming through the structure.

Mr. Bollman asked why the structure was not built with more flexibility such as flashboards that could be pulled out to drop the water level accordingly.

Eric McBroom, 5771 145th Court NW, agreed that a few weeks ago was probably the best reading that they have had. He was unsure when the water level was increased.

Civil Engineer IV Linton commented that the outlet structure was constructed in Spring of 2023.

Mr. McBroom asked if all the increased water is then a result of the rain this Spring.

Civil Engineer IV Linton replied that is true.

Mr. Bollman commented that the threshold is too high.

Mr. McBroom commented that he was losing yard a few weeks ago when that reading was done.

Ms. Larson asked if the wetland could be dredged to create more storage room. She commented that with the higher water the wildlife is coming back, which is great, but perhaps dredging would assist to keep water in the pond and not in yards.

Civil Engineer IV Linton replied that he is unsure the purpose that dredging would serve at this point.

Chairperson Musgrove asked if a wetland could legally be dredged.

Civil Engineer IV Linton replied that it is not legal to dredge a wetland.

Chairperson Musgrove stated that she spoke with Becky Wozney from the Anoka Conservation District who provided additional input on cattails noting that if the water level stays high the cattails will not survive into the Fall.

Tim Hoyt, 5741 145th Court NW, commented that he is thankful that the residents have the opportunity to speak tonight. He asked if there would be documentation of the conversations the City has had with the DNR related to the water level that could be shared with area residents. He commented that he reviewed the original Council minutes and it seems that the City made the decision to raise the water level four inches higher than the level of record and the DNR approved

that, but did not require it. He asked how the City is allowed to damage properties, noting that if a resident were to cause that damage to a neighbor, they would be required to mitigate it by code. He commented that his backyard is inundated when it had been dry for the last 6 years. He stated that the portion of his backyard that is wet is not within floodplain or even an easement. He stated that if he brings fill in to his property, that would cause more damage to his neighbors' properties. He then referenced the trail on the east side of the wetland which, according to Councilmember Specht last year, the trail is being raised to prevent the trail from flooding due to raising the water elevation in wetland 114P. He asked why residents are being told that the water level is due to rain when the trail project was completed in order to mitigate for raising water levels with a new outlet structure. His final request was for the City to revisit the decision to raise the outlet structure as it has negatively impacted his private property. He stated that it seems that the City listened to people downstream that requested higher water levels and not those that did not want it. He requested that the City make changes to the outlet to lower the water level in the wetland, or provide residents with funds to mitigate and alleviate what this has created. If funds are being used to raise a trail due to the negative impacts of raising the outlet, it is only logical that funds should be available to assist negatively impacted property owners as well.

City Engineer/Public Works Director Westby stated that staff will work to provide the requested documentation but it will take a little time.

Ali Bollman, 5731 145th Court NW, commented that she now has over half of her yard under water with up to two feet of standing water, which includes vegetation and trees. She stated that she just purchased their home in September and the property value was assessed based on the land that was there. She stated that she was also denied flood insurance because of the historical data provided by FEMA. She stated that the water is currently about 15 feet from her home and is concerned with the flooding that is happening. She stated that it seems that the project was completed without survey and input from the residents that are directly affected. She stated that she also spoke with Ms. Wozney who stated that precipitation levels are only a few inches above average so if we have a typical winter she would have concerns with future water levels. She felt that not all aspects were considered when completing this project and therefore the increased water level is a result of negligence of the City. She did not believe that there should be standing water in her yard.

Mr. Bollman commented that ducks and geese require dry land to nest and with the current elevation there is no dry area to nest.

Mr. McBroom commented that it has forced the ducks and geese into yards.

Ms. Bollman asked if sandbags could be provided to prevent flooding should the rain continue at its current levels.

Mr. McBroom recognized that the water level change was made last year and asked if it naturally took this long to fill.

City Engineer/Public Works Director Westby commented that there have been three years of drought conditions prior to this year, so there was very little water to start with. He commented that the heavy rains began in March of this year.

Diane Anderson, 5750 142nd Avenue NW, commented that she has lived in her property for 50 years and where the water is now is where it was when they first moved in and was like that for several years. She stated that the water has fluctuated over wet and dry conditions throughout the years. She recognized the frustration people would have that have not seen this water level in the past. She stated that in the early 1990's the whole pond changed, and a lot of wildlife left the area. She stated that they had always been told that the ponds to the north drain into this wetland. She asked for details on the drainage patterns on the ponds to the north. She recognized that it is hard when some people want water and others do not.

Ms. Bollman commented that she likes the water, but within the basin and not her yard.

Ms. Anderson commented that they have had seedlings get 20 feet high near the water line but then are lost when the water levels increase again. She stated that the outlet is functioning as it should be. She asked if there is something preventing the water from flowing as it should.

Mr. Bollman replied that the outlet is preventing the water from leaving as it should.

City Engineer/Public Works Director Westby explained how water flows from the north to the south through the wetland complexes. He stated that there are not defined, maintained swales that connect the wetlands and instead the water overflows from one wetland to the next.

Mr. Hoyt asked if anyone has been at the City since all the decisions were made with the DNR.

Civil Engineer IV Linton commented that he spoke with the DNR but they were unable to attend this meeting on short notice.

Mr. Hoyt commented that he has not found any documentation that the City had to construct the outlet.

Civil Engineer IV Linton commented that he has correspondence from the DNR stating that the City had to construct the outlet structure. He stated that he does not have record of when the old outlet pipe was installed and upon checking by the DNR, the pipe was found to be incorrectly located. He commented that the government does not always keep the best records.

Mr. Hoyt commented that is untrue because records should be stored on Laserfiche. He stated that perhaps that is unique to Ramsey, but there are cities incorporated a long time ago that still have accurate records. He asked who required the pipe and who agreed to the pipe location. He stated that someone from the DNR has to be able to provide the answer.

Mr. Bollman asked if it would be possible to get the overflow dropped by 12 inches, as that would significantly help with the issue of flooding while still keeping water in the pond.

City Engineer/Public Works Director Westby commented that staff will speak with the DNR, do a document search, and review correspondence from previous conversations. He stated that hopefully the rain will stop, and water levels will recede. He stated that the ground is saturated,

and the groundwater levels are up. He stated that this is the first time there has been a robust discussion on this and staff will research property records, noting that the permits for each of the homes that were constructed contain surveys. He recognized that records prior to 2000 can be spotty. He stated that perhaps a lower elevation could be agreed upon but staff will need to search available data to determine what a reasonable elevation would be to minimize standing water in yards. He stated that the structure that was installed is concrete and while it does not have removable boards, adjustments can be made to drop the water level, if that is approved by the DNR and City Council. He commented that the City obviously does not want prolonged periods of standing water in yards that will kill trees.

Mr. McBroom asked how residents will stay informed on this process.

Chairperson Musgrove stated that additional information can be brought back to the next Public Works Committee meeting. She stated that they will continue to monitor the water levels as they have not yet had a full year of data to collect.

Councilmember Howell recognized that some residents have been there a long time and have seen these kinds of conditions, while others have not. She was hopeful that there could be something that they could do but recognized that would depend on the data that they obtain, and information received from the DNR.

Jeremy Larson, 5790 145th Court NW, commented that for the last ten years the big pond has been low and filling with vegetation that takes up space. He stated that if that vegetation that has built up were removed, perhaps that would create additional storage space for the water, and it would act more like a pond. He stated that if the water were then kept at that level, it would keep the vegetation from reemerging and taking up space where water should be stored.

City Engineer/Public Works Director Westby commented that vegetation management is allowable, but dredging cannot occur in wetlands. He commented that even if the cattails were removed, there could still be excess water backing up into yards.

Ms. Larson commented that the damage was caused by whoever put the pipe in to begin with as that caused improper management of the water level. She believed that the damage was done by the City of Ramsey.

Ms. Wippler asked how long her yard and trees can be sitting in water before permanent damage is done. She asked if waiting for the next meeting would be too long.

City Engineer/Public Works Director Westby commented that depends on the species of tree but that staff will work quickly with the DNR to investigate options.

Ms. Bollman commented that she has had trees 40 to 60 feet tall that have been in standing water since May. She hoped that the City would remedy that issue if permanent damage is done.

5. COMMITTEE BUSINESS

5.01: Consider Recommending City Council Ordering a Request for Proposals for Sewer and Water Connection to Fire Station No. 1

Assistant City Engineer Feriancek reviewed the staff report and recommendation from staff to recommend City Council order a Request for Proposals for sewer and water connections to Fire Station No. 1.

Motion by Councilmember Olson, seconded by Councilmember Howell, to recommend City Council order a Request for Proposals for sewer and water connections to Fire Station No. 1.

Motion carried. Voting Yes: Chairperson Musgrove, Councilmembers Olson and Howell. Voting No: None.

6. COMMITTEE / STAFF INPUT (Continued)

6.01: Receive Updates on Improvement Projects, Studies, and Items of Interest

City Engineer/Public Works Director Westby provided an update on current and proposed City, County, and MnDOT improvement projects and studies, and on other items of interest to the Committee.

City Engineer/Public Works Director Westby summarized staff's intentions to resolve the wetland 114P standing water concerns. Staff will move with all due haste to work with the DNR to resolve this issue to limit the amount of time that trees are sitting in standing water. If needed, the City could core a hole in the weir to reduce water levels.

Councilmember Olson asked and received confirmation that the weir in the outlet control structure for Wetland 114P is at the OHW mark specified by the DNR.

Civil Engineer IV Linton commented that the DNR wants the water at that level to provide better habitat for wetland plants.

Councilmember Olson asked how quickly the water would recede if the rain stopped.

Civil Engineer IV Linton commented that if you pull the plug on a bathtub, the water drains out but if the faucet is turned back on, that works against you.

City Engineer/Public Works Director Westby commented that if the rain were to stop, the water level should recede fairly quickly, within a matter of days.

Councilmember Olson asked if there is any idea of how high the water level is currently, above the weir.

City Engineer/Public Works Director Westby commented that the resident measured the front edge of the weir as the threshold and measured five inches above that.

Civil Engineer IV Linton commented that the upstream drainage area goes north of Alpine Drive, behind Ramsey Elementary and therefore all that will still flow down.

Councilmember Olson asked and received confirmation that the soil in this area is sandy and should drain quickly.

City Engineer/Public Works Director Westby replied that the bottom of the wetland is silty and therefore would not drain as fast.

Councilmember Howell asked if there is any chance that the DNR made a mistake or that different data points could be used to determine elevations.

City Engineer/Public Works Director Westby commented that it is most likely that the DNR used historical data. He commented that City staff's intent was not to have standing water in backyards at all times.

Civil Engineer IV Linton confirmed that staff will continue to work with the DNR in an attempt to resolve things.

6.02: Review Future Topics Calendar

City Engineer/Public Works Director Westby provided an update on the status of some of the items on the list that could potentially be removed. He clarified no plans exist to raise the trail along the east side of wetland 114P to accommodate higher water levels as stated by a resident earlier, but confirmed that the trail is in need of repairs. He stated repairing this segment of trail is a low priority since it closely parallels streets therefore Parks and Assistant Public Works Director Mark Riverblood plans to discuss options for repairing this trail, or removing it from the trail system, with the Park and Recreation Commission in July.

7. ADJOURNMENT

Motion by Councilmember Howell, seconded by Councilmember Olson, to adjourn the Public Works Committee meeting.

Motion carried.

The regular meeting of the Public Works Committee adjourned at 6:54 p.m.

Respectfully submitted,



Bruce Westby
City Engineer/Public Works Director

Drafted by Amanda Staple
TimeSaver Off Site Secretarial, Inc.

Public Works Committee

Meeting Date: 07/16/2024

Primary Strategic Plan Initiative: Address infrastructure needs.

Title:

Trail Maintenance Policy - Status Update

Purpose/Background:

The purpose of this case is to garner the Public Works Committee's recommendations on the scope and intent for the city's forthcoming Trail Maintenance Policy. Attached is a *2004 draft* that may serve as an *example* of the type of written content that may be expected for the formalized Trail Maintenance Policy. Also attached is a draft table that represents maintenance activities by frequency and time-of-year.

Below is an example of how the plan may be organized:

Section 1: Introduction..... 3

Section 2: General Policy Statement..... 3

Section 3: General Maintenance Goals and Intent..... 4

Section 4. Bituminous Trail Maintenance Practices 3

Section 5. Boardwalk and Other Trail Maintenance..... 3

Section 6. Sidewalks 3

Section 7. Winter Trail Maintenance..... 3

Section 8. Funding..... 3

Section 9. Appendix 3

Time Frame/Observations/Alternatives:

For the meeting, staff will highlight trail maintenance practices and review the 2024 trail maintenance program, (estimated 10 minutes).

Funding Source:

No funding is required or implicated at this time.

Recommendation:

Staff requests feedback on content and scope of the desired Trail Maintenance Policy.

Outcome/Action:

By consensus, provide staff guidance on the developing draft Trail Maintenance Policy.

Attachments

- 2004 Draft Maint. Plan
- Draft Maint. Table
- Park and Trail map
- City of Monticello Trail Maintenance Specs

Form Review

Inbox

Bruce Westby

Brian Hagen

Form Started By: Mark Riverblood

Final Approval Date: 07/11/2024

Reviewed By

Bruce Westby

Brian Hagen

Date

07/11/2024 10:29 AM

07/11/2024 11:54 AM

Started On: 07/09/2024 02:06 PM

7 Section

Operations and Maintenance

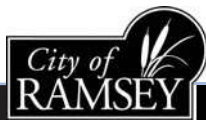
- A. Overview
- B. O & M Department
- C. O & M Routine Functions
- D. General Maintenance Tasks for Turf Adjacent to Trails
- E. Maintenance Categories for Turf Adjacent to Trails
- F. Policy on the Use of Chemicals for Maintaining Sustainable and Conventional Landscapes
- G. Willow Control
- H. Replacement and Maintenance Schedules
- J. Unit Costs for Trail Overlay
- K. Other
 - i. Training Programs for O & M Personnel
 - ii. Integrated O & M Management
 - iii. Trail Signage Program
 - iv. ADA Guidelines
 - v. Universal Design Guidelines - Beyond the ADA

A. Overview

Having an operations and maintenance plan is as important as getting the trails built. Proper maintenance allows the initial investment to be fully utilized and enjoyed. Having an operations plan in place can result in more productive work time from maintenance staff. A maintenance schedule and operations plan must be rigid enough to act as a standard that can be referenced by employees, yet flexible enough to change with changing policies, physical environments, budgets, staff, and weather.



The City's current Operations & Maintenance (O & M) Department is responsible for the operations and maintenance of the city's infrastructure. This section defines the department's responsibilities as they relate to trails and addresses overall priorities. This section does not cover day-to-day scheduling and resource allocation, which, given their fluid nature, require ongoing decisions by the director and the department managers. The intent here is to provide the Park Board, City Council, and residents with a broader perspective of how this function is structured and conducted to ensure effectiveness and efficiency of the operation. Greater detail on each of the issues addressed in this section is available through the department director on request.



7 Section

Operations and Maintenance Continued

A. Overview Cont.

In general, the scope of work performed by the O & M department and volunteer park and recreation leadership is (but is not limited to) the following:

Spring maintenance including:

- Sweeping/Powerwashing trails from winter de-icing programs (removing gravel, sand, salt)
- Removing snow fencing
- Removing stakes that marked trails for snow removal
- Picking up trash and disposing from turf areas and trash receptacles
- Reseeding turf areas from oversalting, winter kill, or damage from snow removal operations

Summer maintenance including:

- Sweeping trails to remove sticks and debris (weekly basis)
- Picking up trash pickup and disposing from turf areas and trash receptacles (bi-weekly)
- Reseeding turf areas from dieback (weekly)
- Watering turf areas that are stressed (bi-weekly)
- Replacing bituminous trails by milling 1.5" and resurfacing with 1.5" bituminous

Fall maintenance including:

- Sweeping trails to remove sticks and debris (weekly basis)
- Picking up trash and disposing from turf areas and trash receptacles (bi-weekly)
- Reseeding turf areas from dieback (weekly)
- Watering turf areas that are stressed (bi-weekly)
- Staking trails for snow removal
- Raking leaves and compost

Winter maintenance including:

- Sweeping trails to remove sticks and debris (weekly basis)
- Designing accessibility and safety using ADA and Universal Design Guidelines

Volunteer and community service maintenance:

- Using community volunteers for spring cleanup (picking up trash and sweeping trails)
- Involving community with invasive plant removal (e.g. removing buckthorn)

Programming and using “Friends of Ramsey’s Trails” (FORT) group:

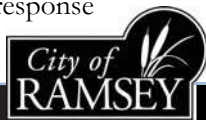
- Involving the group with neighborhood watch groups for security
- Organizing community FORT meetings related to trail maintenance as needed

Associating maintenance costs by corridor:

- Attachment A at the end of this section describes in detail the maintenance costs per trail

Incorporating public safety aids and the police in vandalism and trail security:

- Locating “Call Boxes” that can be used for security and emergencies. These should be located at each trailhead.
- Create “Crime Prevention” courses that will be staffed by local police and fire department for instruction on safety, security and emergency response



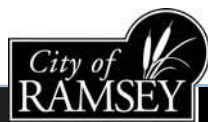
7 Section

Operations and Maintenance Continued

B. Operations and Maintenance Department

Part of managing an operations and maintenance group that is dedicated to trails is to retain staff specialized in areas of knowledge that pertain to trail maintenance, and to determine when and how that maintenance gets completed. As part of the City of Ramsey's Operations and Maintenance Department, the addition of a Trails Manager is suggested to oversee and implement policies and scheduling related to the operation and maintenance of trails. The position of Trails Manager would entail the following:

<i>Division</i>	<i>Responsibility of Division</i>	<i>Personnel Training Requirements</i>
Trails Manager	<p>Manager reports to the Trails Supervisor and is responsible for all operations and maintenance activities associated with trails including:</p> <ul style="list-style-type: none"> • Routine Maintenance • General trail inspections (safety, erosion, surface quality) • Trails, and capital improvements (contracted) <p>Manager is also responsible for work force hiring, scheduling, and oversight. Work force personnel are from a common pool of workers.</p>	<p>Specialized training is required for a number of the work tasks under this division, including:</p> <ul style="list-style-type: none"> • Trail inspections - the city typically has a minimum of two certified inspectors to ensure compliance to ever-changing regulations and guidelines • Herbicide and pesticide use and application as part of the natural resources restoration and management program <p>Trail maintenance specialists - dedicated work force with training and experience needed to maintain high quality trails.</p>

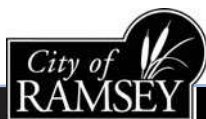


7 Section

Operations and Maintenance Continued

C. Operations and Maintenance Routine Functions

Routine Trail Maintenance	This category relates to a wide-range of maintenance issues such as minor patching and erosion control. Although not as definable as turf management, it is a necessary function of the department.
General Trail Inspections	Inspections are routinely completed along the trails to identify hazards and to monitor the general quality of the built infrastructure. In general, each trail is inspected at least once every two weeks for maintenance issues and hazards, such as fallen trees and failing pavement.
Snow Removal Program	As with turf maintenance, snow removal is a labor intensive maintenance function requiring a prioritization schedule to stage work and stay within working budgets.
Trail Upgrades	As time and budget allow, the department will take on construction projects where it can be done more efficiently internally than hiring a contractor. The department also routinely contracts out capital improvement projects as dictated through City Council action.
Turf and Brush Management	One of the most labor intensive summertime maintenance functions is turf management along trails, which includes lawn mowing as well as a host of other activities to keep the turf grasses in good shape for various levels of use. To stay within overall budgets, the department prioritizes turf management under several levels, as defined in this section.
Expectations and Performance	The responsibility of the department is to perform routine functions while staying within working budgets. This challenge changes as budgets and financial policies change. Establishing priorities is, perhaps, the best way to respond to changes in funding without losing all core routine functions.



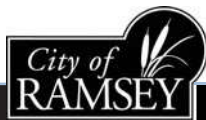
7 Section

Operations and Maintenance Continued

D. General Maintenance Tasks for Turf Adjacent to Trails

There are general tasks that relate to turf management along trails, but what do the tasks involve? The following are tasks that are associated with turf maintenance. These tasks will be performed to varying degrees depending on the level of maintenance required or assigned to the given trail. Section D describes the “Maintenance Variable” and how that affects O&M.

<i>Task</i>	<i>General Description</i>
Soil Testing	Relates to doing a complete soil analysis on individual sites to determine the soil structure and fertility. Both major and minor elements should be reviewed during the analysis. Ideally, 15 to 20 cores should be tested per mile of turf adjacent to trails for high use areas. Where time and budget are limited, 10 or so soil samples per mile of turf adjacent to trails can be combined together to give an average soil analysis reading for the length of trail. In either case, the samples should be random to ensure an accurate soil analysis. The results of the soil test serve as the baseline for determining fertility needs. Soil testing on a routine basis allows for prescriptive maintenance to take place on a trail by trail basis.
Fertility	Relates to the level of essential compounds and nutrients within the soil structure that foster growth and increase durability of turf grasses. The primary components in fertilizer include: <ul style="list-style-type: none">• Nitrogen (N) -- is the key element in the production of turf grass. It affects turf greenness, ability to recover from damage, root and shoot growth and density, resistance to disease, and drought tolerance.• Phosphate (P) – is the workhorse of the nutrition team and fosters energy transformation. It is extremely important in new seedling development. Since it is cold sensitive, the most severe deficiency of phosphate usually occurs in the spring and fall.
Aeration	Aeration fragments or loosens compacted soils to allow for the free flow of air, water, and soil nutrients within the soil structure. It is an extremely important maintenance function that cannot be overlooked if quality turf adjacent to the trail is to be achieved.



7 Section

Operations and Maintenance Continued

D. General Maintenance Tasks for Turf Adjacent to Trails Cont.

Overseeding

Relates to reseeding of turf areas in order to introduce new seed growth and new varieties of seeds that are more resilient to heavy use, diseases, and limited maintenance budgets. The type of seed that would be prescribed for any given situation is highly dependent on the level of turf maintenance, irrigation, and inherent soil structure. Slit seeding is the preferred method because it impregnates the seed into the ground, therefore protecting it from the elements and fostering quicker growth.

Topdressing

Relates to adding relatively small amounts of sand, sandy loam, or other soil mixture to existing turf areas to protect the crowns of plants, and provide better footing for the trail users. The best time to topdress turf is after slit-seeding.

Irrigation

Adding an irrigation system to turf allows for more nutrient uptake in the soil structure, which in turn provides a more vigorous and durable growth of turf grasses. Also, it allows for a greater selection of turf grass varieties to be used. For intensively used and premium level turf areas, irrigation is important to maintaining turf quality.

Mowing

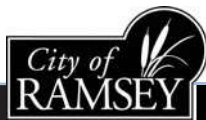
Relates to the routine mowing of turf grasses to a preferred height to ensure strong plant structure and disease resistance. Using the proper equipment along with routine maintenance, especially sharpening mowing blades, is important to maintaining quality turf.

Growth Regulators

On high-use areas of turf where fertility, aeration, overseeding, and irrigation are available, plant growth regulators can be used to redirect the growth from vertical to horizontal, resulting in a tighter knit and more durable turf. New products, such as Primo, are very effective and environmentally sound. As with fertilization, use of growth regulators should be in sync with the city's policy on the use of chemicals on turf grasses.

Disease/Pest Control

The use of prescriptive treatments for diseases, infestations, and pest control varies greatly and is dependent upon many variables. Therefore, the use of pesticides, herbicides, and other treatments is on an as-needed, case-by-case basis. All applications should be done by trained personnel. As with fertilization, use of pesticides and herbicides should be in sync with the city's policy on the use of chemicals on turf grasses.



7 Section

Operations and Maintenance Continued

E. Maintenance Categories for Turf Adjacent to Trails

Categorizing the level of trail maintenance intensity for various routine maintenance tasks aids in the prioritization of what work needs to get completed, where it needs to be completed, and how much time and money can be spent on the completion of the work.

The table below establishes guidelines for the level of maintenance for three different categories of trails. The goal in all cases is to achieve an optimal level of turf quality within the given “maintenance variable.” The maintenance variable will be assigned to each trail at the beginning of the year based on the age of the trail, the amount of use, the current condition, and available funding. Over time, trails should be upgraded or downgraded depending upon re-evaluation of the trail.

<i>Maintenance Level</i>	<i>Description/Scheduling Priority</i>	<i>Trails Under this Level</i>
“A”	High use trails	Trails listed in order of priority
“B”	Moderate to high use trails	Trails listed in order of priority
“C”	Low to moderate use trails	Trails <u>not</u> listed in order of priority

Maintenance Tasks According to Assigned Maintenance Variable

<i>Maintenance Variable</i>	<i>Level A (High Intensity Maintenance)</i>	<i>Level B (Moderate Intensity Maintenance)</i>	<i>Level C (Low Intensity Maintenance)</i>
Use Level/Average Threshold	Premium trails with high use each week during season.	Second tier trails with extensive use but not premium level.	Low use trails and neighborhood parks.
Soil Testing	Sample each trail at the same time each year (test representative/composite sample if budget precludes testing all trails).	Sample each trail at the same time every other year (test representative/composite sample if budget precludes testing all trails).	Every 2 to 3 years test representative/composite sample to determine general needs.



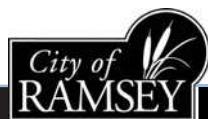
7 Section

Operations and Maintenance Continued

E. Maintenance Categories for Turf Adjacent to Trails Cont.

Maintenance Table Continued

<p>Fertility</p> <p>Note: Low phosphate fertilizer or no fertilizer should be used in areas adjacent to or on an immediate tributary to streams or open water.</p>	<p>Based on soil test results. General guidelines include: Nitrogen (N), 4 -5 lbs./1000 sf. applied during growing season, 40-50% being slow release. This should be done 3-4 times per season. Phosphate (P), Spring and fall only & based on soil analysis. Very limited use given environmental impacts. Potassium (K), 1:1 ratio with Nitrogen. Minimum 1:2 ratio with Nitrogen on extremely high use fields.</p>	<p>Based on soil test results. General guidelines include: Nitrogen (N): 3 lbs./1000 sf. Applied during growing season, 25% being slow release. This should be done 2 times per season - early spring and early fall. Phosphate (P) and Potassium (K), Amounts are based on soil test results.</p>	<p>Apply 1 application of fertilizer in either the early spring to maximize spring play quality or early fall for recovery of summer use. Nitrogen is the primary component, with Phosphate (P), and Potassium (K), used as dictated by latest soil test results.</p>
<p>Aeration</p>	<p>Minimum 3 times per season.</p>	<p>Minimum once, preferably twice per season in early spring or early fall.</p>	<p>Minimum once per season. Fall is an appropriate time if equipment is being used on higher level fields during spring and summer.</p>
<p>Overseeding</p>	<p>Minimum 2 times per season-in early spring and early fall (best season).</p>	<p>Minimum 1 time per season-in early spring or mid-fall</p>	<p>Only when required. (Turf grass selection is extremely important under low maintenance levels).</p>
<p>Topdressing</p>	<p>Ideally 2 times per season, 1 time being minimum. 1/8-1/4 inch per application is desired.</p>	<p>Higher wear areas as required to address wear, footing, or safety concerns.</p>	<p>Only as needed.</p>



7 Section

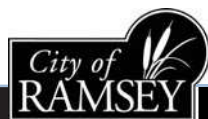
Operations and Maintenance Continued

E. Maintenance Categories for Turf Adjacent to Trails Cont.

Maintenance Table Continued

Irrigation	Required on high use trails, with a minimum of 1 inch of water per week.	Not required, but desirable. Turf grass selection is important.	Not required. Turf grass selection is important.
Mowing	Mow to a height of 1 ½ to 2 inches, taking 1/3 or less of the plant each time.	Mow to a height of 2 to 3 inches, taking 1/3 or less of the plant each time.	Mow to a height of 3 to 4 inches, taking 1/3 or less of the plant each time.
Growth Regulants	Case by case basis. Especially effective on extremely high use fields.	Not required nor recommended under this level.	Not required nor recommended under this level.
Pesticide/Herbicide/ Pest Control	On as-needed basis only with highly controlled applications.	On as-needed basis only with highly controlled applications.	On as-needed basis only with highly controlled applications.

*Note that in addition to the above maintenance levels, a level “D” level also exists, which relates to sites that fall outside of typical parks but do need periodic mowing and turf maintenance. The program for these sites are site specific as determined necessary by the department staff.



F. Policy on the Use of Chemicals for Maintaining Sustainable and Conventional Landscapes

As the attitude toward greater environmental/ecological stewardship of parks and open spaces has gained momentum in the city in recent years, greater concern has arisen as to the use of chemicals as part of the management of natural areas, turf grasses, woody vegetation, and lakes and creeks.

Even naturalized or sustainable restoration, installation, and management projects can benefit from the careful use of specific chemicals to achieve management objectives. So do the positive aspects of chemical use outweigh the negative aspects? Sustainable native landscape treatments are often scrutinized when they are compared to conventional landscaping or sod installations.

For example, let us compare a native prairie grass and forb planting to a sod installation. On nearly every level, the native planting is a superior choice. The native planting will cost less to maintain and install. In addition, native plantings consume less water, retain and filter more runoff, shelter more wildlife, and are historically more appropriate for most applications in Ramsey.

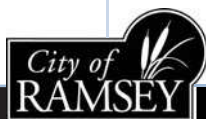
However, there are people that like sod, enjoy mowing a lawn, and are willing to pay extra dollars for it. The choice is a matter of aesthetics and personal choice. It would be difficult to argue a native grass planting on the 8th green at Ramsey's finest golf course, but native plantings should be used whenever possible.

When installing sustainable native plantings, performance goals must be set. If a sustainable installation fails, for whatever reason, it can set a bad precedent for any future attempts. There is always an argument to be made as to what is best aesthetically, and after a failure, that argument will be made. If all else fails, the one point it is difficult to argue is the bottom line.

When installing conventional landscaping and sod, performance goals must also be met. Costs associated with these installations such as fertilizers, pesticides, herbicides and irrigation will be required to keep the installation looking good. The maintenance variable assigned to any new or existing installation should be factored into the expected performance goals.

In order to regulate what chemicals are being used, and how they are being used, the following points should be considered:

- Listing of accepted chemicals, including the rationale behind their use, specific application rates, and their cost.
- Training/certification must be provided so that chemical agents can be used safely and cost effectively.
- Authorization and accountability procedure to ensure compliance with application rules.



7 Section

Operations and Maintenance Continued

G. Willow Control

Many of Ramsey's existing trails were built in areas that were less desirable for housing or commercial development. Soils are often damp and support large colonies of willows (*Salix species*). Willows have a tremendous ability to multiply by root and can grow just about anywhere there is adequate moisture.

Older trail sections that do not have adequate base construction, or are not properly drained are most often the trails that are damaged by willow intrusion. Over time, when cracks inevitably form in the surface of the bituminous trail, water and light penetrate into the granular base. Any willow root matter in the sub-cut, below the base, can be triggered to grow up through the base, through the bituminous surface and into the open air. As the roots grow, they can heave and spawl the trail surface.

Bio-barrier® is a product that has been used successfully in Ramsey to prevent willow intrusion when installed below the granular base in new trail construction and full tear-out repairs. Recently, test plots featuring varied installations of Bio-Barrier® have been constructed within some of the City's trails and are being monitored for performance.

An approved cross section must be used for all future trail construction that is proposed to occur in areas where willows are abundant. It is likely that a Bio-Barrier® product, or an approved equal, will be used.

The following tables are maintenance schedules that identify specific trail segments to be resurfaced with projected cost estimates. This schedule is reflective of the current management technique used for trail O & M in Ramsey.



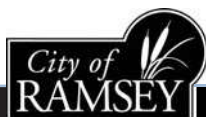
7 Section

Operations and Maintenance Continued

H. Replacement and Maintenance Schedules

The following tables are maintenance schedules that identify specific trail segments to be resurfaced with projected cost estimates. This schedule uses is reflective of the current management technique used for trail s O & M in Ramsey.

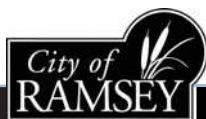
#	LOCATION	FEATURE	LOCALITY	DESCRIPTION OF WORK	LENGTH (ft)	WIDTH (ft)	YEAR BUILT	ESTIMATED AMOUNT	YEAR WORK SCHEDULED
1	County Road 116	Trail	Ramsey Blvd. To Armstrong Blvd.	Resurface	?	6	1995	\$0	2004
2	Central Park	Trail	Park center/field #6	Resurface	294	6	1995	\$1,764	2004
3	Central Park	Trail	ballfield, play area	Resurface	855	6	1995	\$5,130	2004
4	Central Park	Trail	baseball	Resurface	175	6	1995	\$1,050	2004
5	Lake Itasca	Trail	head to boardwalk	Resurface	402	6	1995	\$2,412	2004
6	Lake Itasca	Trail	head to Andrie Ct.	Resurface	4,933	6	1995	\$29,598	2004
7	Lake Itasca	Trail	Andrie Ct./153rd	Resurface	477	6	1995	\$2,862	2004
8	Lake Itasca	Trail	Boardwalk/160th	Resurface	2,577	6	1995	\$15,462	2004
9	Lake Itasca	Trail	160th/162nd	Resurface	1,732	6	1995	\$10,392	2004
10	Lake Itasca	Trail	162nd/Trail Cir.	Resurface	2,407	6	1995	\$14,442	2004
11	Lake Itasca	Trail	Intersection/Boardwalk	Resurface	1,057	6	1995	\$6,342	2004
12	Lake Itasca	Trail	Boardwalk/167th	Resurface	987	6	1995	\$5,922	2004
13	Ramsey Boulevard	Trail	149th/C.R 116	Resurface	1,353	6	1995	\$8,118	2004
14	Cottonwood	Trail	C.R 116/Swamp	Resurface	2,850	6	1995	\$17,100	2004
15	Cottonwood	Trail	Intersection/Sunwood	Resurface	2,251	6	1995	\$13,506	2004
16	Cottonwood	Trail	Sunwood to end	Resurface	738	6	1995	\$4,428	2004
17	Cottonwood	Trail	Intersection/Swamp	Resurface	797	6	1995	\$4,782	2004
18	County Road 116	Trail	Hemaute/Sunfish Rd.	Resurface	4,652	6	1995	\$27,912	2004
19	County Road 116	Trail	Intersection/Garnet	Resurface	2,555	6	1995	\$15,330	2004
20	Peltzer	Trail	Peltzer Park	Resurface	170	6	1995	\$1,020	2004
21	Sunfish Boulevard	Trail	144th/143rd	Resurface	552	6	1995	\$3,312	2004
22	Sunfish Boulevard	Trail	143rd/C.R. 116	Resurface	903	6	1995	\$5,418	2004



7 Section

Operations and Maintenance Continued

23	County Road 116	Trail	Sunfish/Wolfram	Resurface	585	6	1995	\$3,510	2004
24	County Road 116	Trail	Wolfram/Tungsten	Resurface	830	6	1995	\$4,980	2004
25	Emerald Pond	Trail	Emerald Pond Park	Resurface	2,442	6	1995	\$14,652	2004
26	Ramsey Terrace	Trail	Junkite/145 Ct.	Resurface	2,107	6	1995	\$12,642	2004
27	Ramsey Terrace	Trail	145 Ct./Krypton	Resurface	1,003	6	1995	\$6,018	2004
28	Ramsey Terrace	Trail	Intersection/Fluorine	Resurface	822	6	1995	\$4,932	2004
29	Flintwood	Trail	Fluorine/142nd	Resurface	1,300	6	1995	\$7,800	2004
30	Solstice	Trail	Solstice	Resurface	592	6	1995	\$3,552	2004
31	Sunwood	Trail	Sunfish/145th	Resurface	1,328	6	1995	\$7,968	2004
32	Sunwood	Trail	145th/146th	Resurface	559	6	1995	\$3,354	2004
33	Sunwood	Trail	146th/Potassium	Resurface	1,137	6	1995	\$6,822	2004
34	Sunwood	Trail	Potassium/148th	Resurface	357	6	1995	\$2,142	2004
35	Sunwood	Trail	148th/Krypton	Resurface	1,157	6	1995	\$6,942	2004
36	Sunwood	Trail	Krypton/Nowthen Blvd.	Resurface	1,003	6	1995	\$6,018	2004
37	Nowthen Boulevard	Trail	Sunwood/148th	Resurface	753	6	1995	\$4,518	2004
38	Nowthen Boulevard	Trail	148th/City Hall	Resurface	2,443	6	1995	\$14,658	2004
39	153rd Avenue	Trail	153rd/Quicksilver Street	Resurface	914	6	1995	\$5,484	2004
40	153rd Avenue	Trail	153rd/Sunfish Blvd.	Resurface	924	6	1995	\$5,544	2004
41	153rd Avenue	Trail	Sodium/153rd	Resurface	199	6	1995	\$1,194	2004
42	Sunfish Boulevard	Trail	153rd/152nd	Resurface	1,000	6	1995	\$6,000	2004
43	Alpine	Trail	Sunfish/Garnet Street	Resurface	4,612	6	1995	\$27,672	2004
44	153rd	Trail	Nowthen/C.R. 47	Resurface	2,675	6	1995	\$16,050	2004
45	County Road 47	Trail	153rd/C.R. 47	Resurface	327	6	1995	\$1,962	2004
46	Fox Park	Trail	Potassium St./Boardwalk	Resurface	544	6	1995	\$3,264	2004
47	Fox Park	Trail	Boardwalk/Potassium	Resurface	674	6	1995	\$4,044	2004
48	Woodland Green	Trail	155th/156th	Resurface	1,069	6	1995	\$6,414	2004
49	Oxbow	Trail	153rd/150th	Resurface	1,637	6	1995	\$9,822	2004
50	Oxbow	Trail	150th/Waco Street	Resurface	540	6	1995	\$3,240	2004
51	Oxbow	Trail	Waco Street/149th	Resurface	816	6	1995	\$4,896	2004



7 Section

Operations and Maintenance Continued

52	Oxbow	Trail	Waco Street/C.R. 47	Resurface	1,726	6	1995	\$10,356	2004
53	Oxbow	Trail	149th/Barium Street	Resurface	1,837	6	1995	\$11,022	2004
54	Oxbow	Trail	149th/C.R. 47	Resurface	2,741	6	1995	\$16,446	2004
55	Oxbow	Trail	Argon Street/Yakima Street	Resurface	368	6	1995	\$2,208	2004
56	Oxbow	Trail	148th/149th	Resurface	471	6	1995	\$2,826	2004
57	Riversbend	Trail	Riversbend trails	Resurface	6,145	6	1995	\$36,870	2004
58	Lake Itasca	1st Boardwalk	Itaska	Resurface	145	6	1995	\$870	2004
59	Lake Itasca	2nd Boardwalk	Itaska	Resurface	1,186	6	1995	\$7,116	2004
60	Lake Itasca	3rd Boardwalk	Itaska	Resurface	130	6	1995	\$780	2004
61	Fox Park	Broadwalk	Fox Park	Resurface	286	6	1995	\$1,716	2004
62	Central Park #1	parking lot	Central	Resurface		6	1995	\$0	2004
63	Central Park #2	parking lot	Central	Resurface		6	1995	\$0	2004
64	Central Park	tennis, parking lot	Central	Resurface		6	1995	\$0	2004
65	Central Park	hockey, parking lot	Central	Resurface		6	1995	\$0	2004
66	Central Park	park center, parking lot	Central	Resurface		6	1995	\$0	2004
67	Central Park	drive	161st/Park center	Resurface	1,329	25	1995	\$33,225	2004
68	Central Park	drive	tennis	Resurface	291	25	1995	\$7,275	2004
69	Central Park	drive	2nd drive	Resurface	157	25	1995	\$3,925	2004
70	Lake Itasca	drive	trail head	Resurface	166	25	1995	\$4,150	2004
71	Lake Itasca	parking lot	trail head	Resurface		6	1995	\$0	2004
72	Emerald Pond	parking lot	Emerald Pond Park	Resurface		6	1995	\$0	2004
73	Watertower	Drive	Watertower	Resurface	144	25	1995	\$3,600	2004
74	Alpine	drive	Alpine	Resurface	1,160	25	1995	\$29,000	2004
75	Alpine	1st Parking lot	Alpine	Resurface		6	1995	\$0	2004
76	Alpine	2nd Parking lot	Alpine	Resurface		6	1995	\$0	2004
77	Riversbend	Tennis parking lot	Riversbend	Resurface		6	1995	\$0	2004
78	Riversbend	Main parking lot	Riversbend	Resurface		6	1995	\$0	2004
79	Riversbend	Main Drive	Riversbend	Resurface	1,971	25	1995	\$49,275	2004
			Subtotal					\$623,056	
			Contingency				15%	\$93,458	
			Projected Total					\$716,514	



7 Section

Operations and Maintenance Continued

J. Unit Costs for Trail Overlay

The following section includes costs associated with materials and labor for an overlay project on a segment of trail in Ramsey

1. MATERIAL COSTS

- ASPHALT = 25.85/TON
- TACK OIL = 15.00/5 GALLON PAIL
- TRUCKING/LABOR = 50.00/HR
- LABOR = 2.75 X WAGE
14.60 X 2.75 = 40.15
19.20 X 2.75 = 52.80

2. CENTRAL TRAIL

MATERIAL

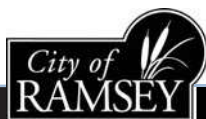
- ASPHALT = 25.85/TON X 12 TON = \$ 310.20
- TACK = 15.00/PAIL X 5 PAILS = 75.00
- TRUCKING = 50.00 X 2 TRUCKS X 4 HOURS = 400.00
- LABOR = 14.60 X 2.75 = 40.15 X 4 = 160.60
= 19.20 X 2.75 = 52.80 X 4 = 211.20
\$1157.00

Trail Length = 175' X 8.5 WIDE

Overlay thickness = 1.5"

Unit Price = \$6.61/linear foot

Unit Price = \$7.00/square yard



7 Section

Operations and Maintenance Continued

K. Other

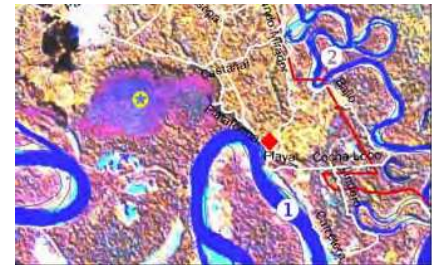
- **Training Programs for O & M Personnel**

Improving the technical capabilities of O & M personnel is an objective that the department has and will continue to implement. Currently, the department participates in training programs ranging from pesticide application to playground safety inspections. In the future, the department will be focusing on enhancing the training for a variety of technical disciplines. As individuals become more specialized, work crews will be broken down into areas of specialization and expertise. This approach is particularly appropriate for department functions like natural resource restoration and management, where highly skilled and specialized personnel are needed to fulfill program objectives. Note that strengthening internal training programs will also be important as existing personnel retire, taking with them experience that can be difficult to replace in the current labor market.

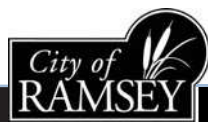


- **Integrated O & M Management**

To date, the O & M function has relied on working knowledge of the system by staff and field crews and a few manual systems to track day-to-day maintenance activities. Lacking a more sophisticated system, this approach has sufficed to get the job done in a reasonably efficient manner. In recent years, however, O & M staff have found that keeping track of all functions and activities and their associated costs has become more of a challenge due to the increased size and complexity of the operation. For example, the department has become more involved in natural resources stewardship since 1995. This function alone requires extensive tracking of activities, costs, scheduling, and performance. Interlinking this data with the city's developing geographic information system (GIS) is important to effectively run the program. Across all of the department's functions, increasing demands on finite resources underscores the need to gain operational efficiencies wherever possible, starting with an integrated information management system.



New software is currently on the market that has been developed for the management of new and existing structures. Existing information about current trails is entered into the management system. Variables, such as anticipated maintenance, staffing hours, and cost are entered as well. This is very useful as a tool for budgeting future maintenance costs, identifying when maintenance should occur, how much labor is required, and how much it will cost. Increased costs due to inflation can be factored in to improve accuracy.



7 Section

Operations and Maintenance Continued

K. Other Continued

With the recognition that staff output and other resources are being maximized, gaining additional capacity by increased efficiencies requires contemporary tracking and analytical tools. These will enable the department to work harder and smarter. In addition, systems need to be put in place to lessen the risk of losing the “braintrust” of the organization through retirement, since this is a contributing factor in organizational inefficiency. Critical knowledge could be lost because if no system is in place to capture it. The management system needs to remain in place as the workforce changes.

- **Trail Signage Program**

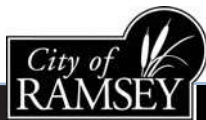
One of the more important communication tools is a comprehensive signage program that is carried uniformly throughout the trail system. The signage should provide a consistent message to trail visitors, and provide information on trail names, directions to features, general information, rules, ecological stewardship programs, and interpretive information. Section 6 features various types of signage that could be considered for a signage program. Concepts range from less expensive with low durability to more expensive with high durability.



- **Americans with Disabilities Act (ADA) Guidelines**

Various trail cross sections and routes have been illustrated in this document. Trails are designed for the people, but what types of people? It is important to consider all user types when planning new trails and upgrading existing trails. Municipalities have a responsibility (morally as well as legally) to provide a reasonable level of accessibility (to parks and programs) for individuals with varying levels of ability. To help this happen, the federal government has established laws that mandate designs that promote equal access to all users of public (and private) facilities and programs. Although not completely tested in park settings, the basic intent of the act is clear: reasonable, equal access opportunities must be provided to those with disabilities.

There are no requirements within the ADA that mandate any spatial requirements relative to the size of any particular type of park and recreation facility. The act does, however, mandate that park areas and facilities be reasonably accessible and usable to all populations. The extent to which compliance with the act will impact the size or configuration of a particular facility is unlikely. Specific design guidelines may have to be incorporated into the design in response to the act.



7 Section

Operations and Maintenance Continued

K. Other Continued

Many of the older park sites in the city do not adequately address ADA issues. In the future, the city should meet all the applicable ADA requirements as they impact park and trail facilities.

An implementation plan for the ADA improvements is suggested. Part of the improvements should be made when reconstruction of roads are occurring. The City has a map of surmountable curbs.

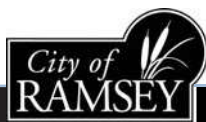
A copy of the American Disabilities Act (ADA) of 1992 (and subsequent revisions) is on file with the Park and Recreation Department for reference and application. Other publications covering the ADA concerns include the following:

U.S. Department of Justice, Civil Rights Division, Office on the ADA
P.O. Box 66118
Washington, DC 20035-6118 (202) 514-0301

Recommendations for Accessibility Guidelines: Recreational Facilities and Outdoor Developed Areas
Architectural and Transportation Barriers Compliance Board
1111 18th Street NW, Suite 501
Washington, DC 20036

Uniform Federal Accessibility Standards, General Service Administration
18th and F Streets, NW - Room 3044
Washington, DC 20405 (202) 586-0038

Design Guide for Accessible Outdoor Recreation, USDA Forest Service, Auditors Bldg.
201 14th Street, SW at Independence Ave. SW
Attn: Access Coordinator, Recreation Staff
Washington, DC 20250



7 Section

Operations and Maintenance Continued

K. Other Continued

- **Universal Design Guidelines- Beyond the ADA**

Universal design is a design philosophy that focuses on ensuring reasonable accessibility for all users beyond the typical definition which is often associated with a wheelchair user. The reality is that the majority of people with disabilities are ambulatory and do not require a wheelchair and the range of abilities and disabilities goes well beyond limited definition.

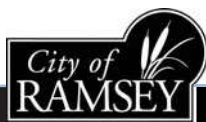
The Enabler model brings to light the broad spectrum of disability concerns that must be considered if universal design is to be achieved. The model serves as a conceptual aid that helps designers and lay persons empathize with the people who will actually be using a site, building, or facility, and encourages a more comprehensive and integrated view of people with and without disabilities.



Universal design attempts to consider all degrees of sensory awareness, all types of locomotion, and all levels of physical and intellectual function in the design process. By doing so, the needs of individuals with varying desires, abilities, and expectations can be reasonably accommodated in an appropriate setting. The end result is that individuals with and without disabilities are accommodated in a manner that meets their expectations for a specific space or setting. This is distinctly different than simply accommodating a set of accessibility requirements that ensure compliance to the law, but may not ensure accessibility for all people.

- **Ensuring that a Design offers Universal Access Opportunities**

Since universal design is still an evolving approach to design, achieving universal access is simpler in concept than in practice. Anticipating the needs of people with varying degrees of abilities and disabilities is a formidable task, since it is often very difficult to understand the specific needs of individuals with different abilities when one does not share those limitations. Therefore, it becomes imperative that the design process include individuals that represent a cross-section of the people with and without disabilities. As the project moves into design implementation phases, efforts should be made to involve representatives of the divergent populations in the detail design of specific facilities. This approach helps ensure that the design for a given facility will actually serve the intended population.



TRAIL MAINTENANCE POLICY

Maintenance Activity	Optimal Frequency							Notes
	Bi-Weekly	Monthly	Quarterly	Annually	Spring/Fall	After Storm	Other	
General								
1 Safety Inspection	X							
2 General debris and litter pickup	X							
3 Vandalism inspection	X							
4 Encroachments				X				
Pavements								
1 Pavement survey (Phaser rating)							X	
2 Crack sealing								
3 Patching								
4 Fog seal								
5 Sealcoat								
6 Micro surfacing/slurry seal								
7 Overlay								
8 Reconstruct								
9 Inspect boardwalk interface		X						
10 Inspect utility infrasturcture for snow removal (high iron)				Fall				
Vegetation								
1 Mowing - clear zones, trailhead areas		X						
2 Brush trimming/overhead trimming								
3 Clear zone weed control (Sandbar Willow)								
4 Sight line trimming at intersections								
5 Tree removal						X		
6 Rain garden maintenance								
7 Trail sweeping/blowing					X			
8 Seeding								
9 Root cutting								
Drainage								
1 Erosion repair								
2 Culvert/catch basin clearing								
3 Ditch maintenance (clear debris, trash, branches)								
4 Standing water repair								
5 Rodent damage repair				X				

City of Ramsey Park and Trail User Map



"This map's primary purpose is to assist residents in navigating their trail system and in exploring and discovering park and recreation areas. More planning documents and maps like the playground map, together with other facilities are available at the city's website at www.cityoframsey.com. Recreation program offerings and park reservation opportunities may also be found there, together with a host of other city services."

Park Map Symbols

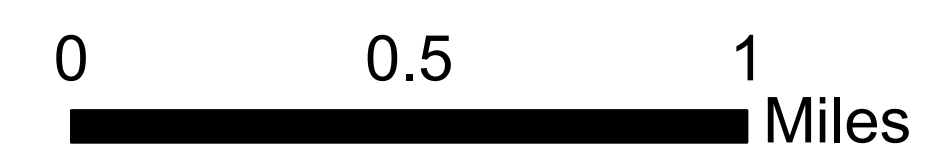
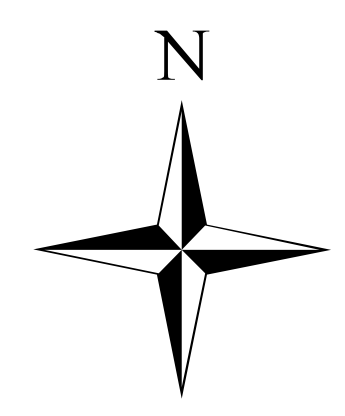
- Underpass
- Proposed Underpass
- Crosswalk
- Existing Trailhead
- Fire Station
- City Hall
- Proposed Trailhead
- Winter Recreation
- Right of Way (ROW)

Trail Type

- OFF-ROAD (OUT OF ROW)
- BOARDWALKS
- ON-ROAD (WITHIN ROW)
- Under Construction (2017)

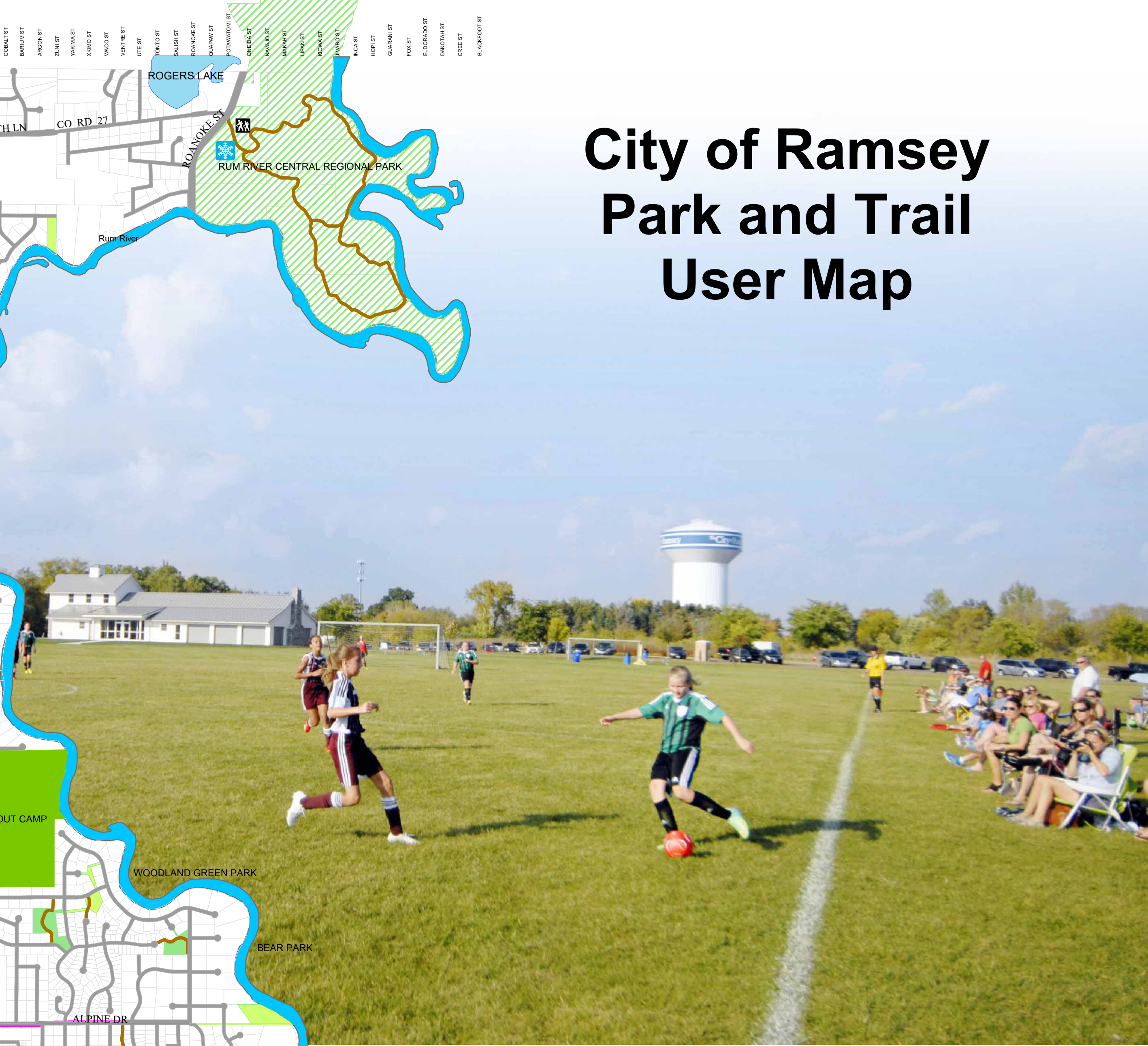
Park and Open Space

- PARKS
- QUASI-PUBLIC
- REGIONAL
- PROPOSED PARK
- OPEN SPACE/ TRAIL CORRIDOR



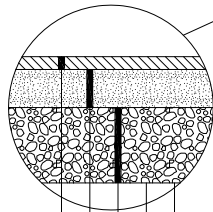
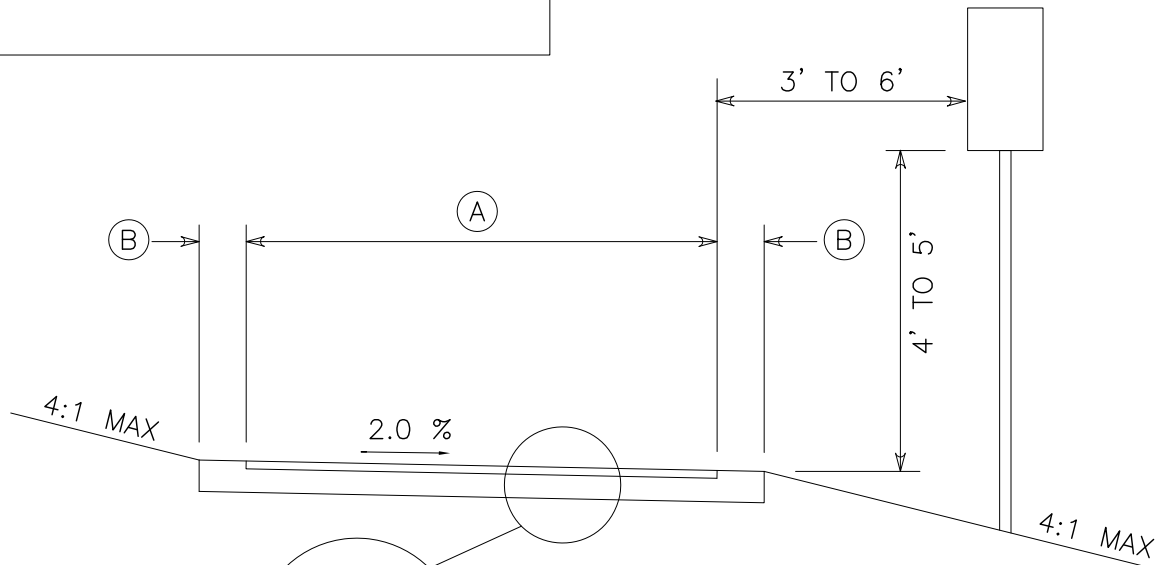
City of Ramsey
7550 Sunwood Drive NW Ramsey MN 55303
www.cityoframsey.com
(763) 427 - 1410

Prepared by City of Ramsey
Revised February 2021



BITUMINOUS TRAIL DESIGN

- Ⓐ - PATHWAY WIDTH 10 ft
- Ⓑ - SHOULDER WIDTH 1 ft MIN.



- 3" SP 9.5 WEARING COURSE MIXTURE (2,B)
- 6" CL 5 AGGREGATE BASE (MODIFIED)
- 12" SELECT GRANULAR BORROW
- 6" MINIMUM SCARIFY AND RE COMPACT (SUBGRADE PREP)
- FABRIC IF DIRECTED BY ENGINEER

NOTES:

1. TRAIL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE CITY OF MONTICELLO GENERAL SPECIFICATIONS AND STANDARD DETAIL PLATES.
2. PEDESTRIAN RAMPS SHALL BE CONSTRUCTED WITH TRUNCATED DOMES AND CONFORM TO ADA REQUIREMENTS.
3. MODIFY SURFACING, BASE, AND SUBGRADE DESIGN BASED ON EXPECTED VEHICULAR USE AND SUBGRADE SOILS.



**Standard Plate Library
City of Monticello**

Title:

Typical Trail Section

Date: 03-05

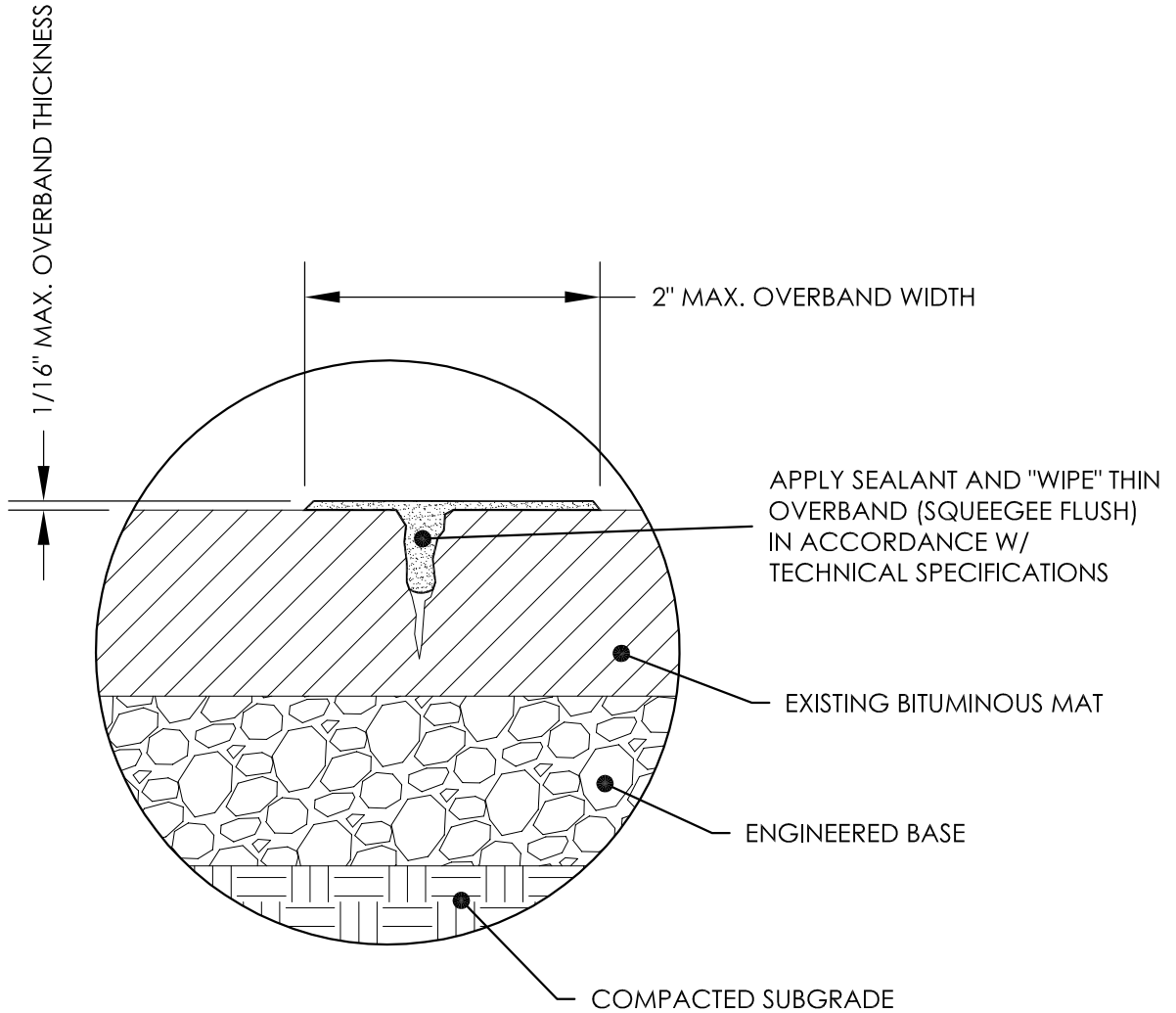
Plate No.

5013

Revised: 03-15

NOTES:

1. REFER TO TECHNICAL SPECIFICATIONS AND DRAWINGS.
2. DO NOT ROUT.
3. JOINT AND CRACK SEALANT:
 - A. CRAFCO ASPHALT RUBBER PLUS #34241
4. APPLY SAND OR 1-PLY PAPER AS PER TECHNICAL SPECIFICATIONS.



TR-2
####

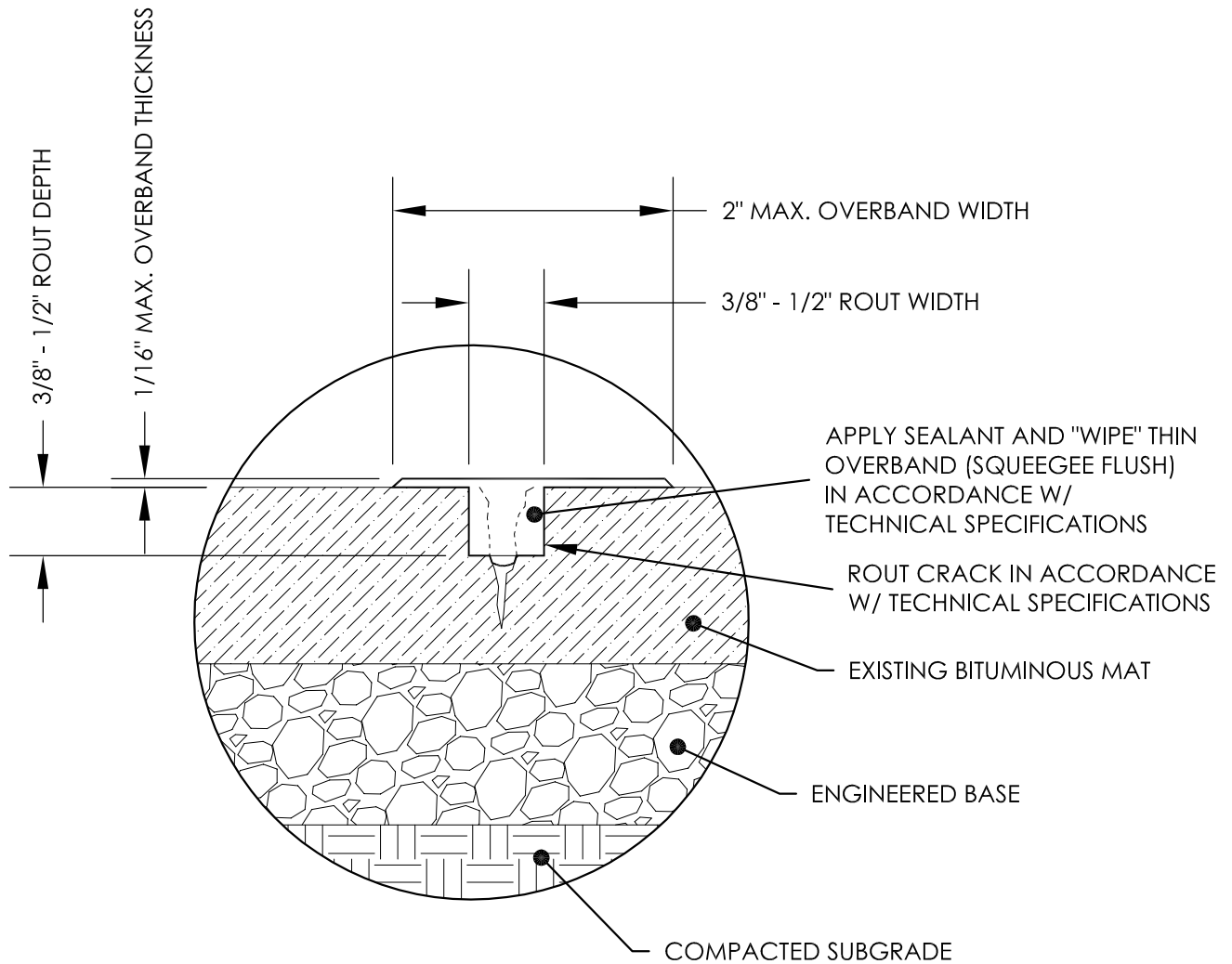
BITUMINOUS TRAIL CRACK REPAIR: 1/4" - 1/2" NON-TRANSVERSE



NTS

NOTES:

1. REFER TO TECHNICAL SPECIFICATIONS AND DRAWINGS.
2. JOINT AND CRACK SEALANT:
 - A. CRAFCO ASPHALT RUBBER PLUS #34241
3. APPLY SAND OR 1-PLY PAPER AS PER TECHNICAL SPECIFICATIONS.



TR-3
###

BITUMINOUS TRAIL CRACK REPAIR: 1/4" - 1/2" TRANSVERSE

NTS

2F. Consideration of approving pathway micro surfacing improvements in Groveland Addition (TP, ML)

A. REFERENCE AND BACKGROUND

The Monticello Parks Department is recommending trail maintenance to be completed within the Groveland Addition. The project will include crack filling, infrared patching and installation of micro-surfacing. The proposed pathway project segments total approximately 134,976 feet of micro-surfacing. Staff has included a map of the project area and specifications to complete the trail maintenance under supporting data. Staff posted an RFP for three weeks and obtained one proposal from MP Asphalt totaling \$38,000.

Staff is recommending the proposal from MP Asphalt to complete the crack filling, infrared patching and installation of micro-surfacing. Staff did get a quote from MP Asphalt to reconstruct a trail segment that is located on a dead-end spur in the Groveland addition for a sum of \$54,000. However, the current Parks Budget doesn't support the trail reconstruction work. Park staff is proposing to work with the Street Department to reconstruct 1,000 feet of the trail with the remainder of the Parks & Pathway Budget.

The Parks Department has inspected and rated the city's pathway system annually since 2009, and has developed a program to track, manage and perform maintenance of the pathway system. The city currently has 24 miles of pathways and approximately ten miles of pathways are plowed each year. Parks has used the PACER method to inspect and rate the pathways (see enclosed information). In addition, when determining methods to maintain the pathways, the Parks Department uses the following criteria:

- Pavement structure condition and age.
- Drainage issues.
- Constructability of maintenance method.
- Consideration for pathways that are plowed versus non-plowed.
- Frequency of use.

Facts about the pathways proposed for micro-surfacing this year within Groveland Additions include the following:

- 8-10 feet wide.
- Constructed in 2002 with 2" of bituminous pavement over 6" of aggregate base

Currently, Monticello trails overall are 7.2 out of 10. PACER Rating below:

Quality	Rating	Treatment (Asphalt)
Excellent	9-10	No maintenance required
Good	7-8	Crack sealing and minor patching
Fair	5-6	Preservation treatments (non-structural)
Poor	3-4	Structural renewal (overlay)
Failed	1-2	Reconstruction

The project is anticipated to be completed in June-August. The micro-surfacing product will be applied when temperatures are a minimum 70 degrees as specified.

- A1. Budget Impact:** Approximately \$50,000 was budgeted in the Park & Pathway Fund for trail maintenance in 2020. The contractor’s proposal is for crack filling, infrared patching and installation of micro-surfacing product for a sum of \$38,000. The remaining pathway budget of \$12,000 will be used to purchase asphalt needed to complete an overlay with public works staff.
- A2. Staff Workload Impact:** Department staff time will be utilized to manage the project and pedestrian traffic control.

B. ALTERNATIVE ACTIONS

- 1. Motion to accept quote from MP Asphalt Contractors, Inc. for pathway micro-surfacing improvements in the Groveland Development for a total project cost of \$38,000, and to authorize staff to utilize the remaining \$12,000 to purchase asphalt needed for an overlay.
- 2. Motion to deny pathway maintenance and improvements at this time.

C. STAFF RECOMMENDATION

Staff recommends Alternative #1.

D. SUPPORTING DATA

- Pathway Map.
- Specifications
- Quote from MP Asphalt.



CITY OF MONTICELLO

SPECIFICATIONS

FOR

TRAIL PAVEMENT REHABILITATION

FOR THE

CITY OF MONTICELLO MINNESOTA

AUGUST 4, 2015

Prepared By:

*City of Monticello
Office of Public Works
909 Golf Course Road
Monticello, MN 55362*

*Tom Pawelk
Park Superintendent*

*Shibani Bisson
City Engineer
WSB & Associates, Inc.*

*Phone: 763-295-3170
Fax: 763-271-3272
Website: www.ci.monticello.mn.us*

DESCRIPTION OF WORK

SUMMARY

This project consists of trail pavement rehabilitation intended to improve the serviceability and ride quality of the shared multi-use paved trail along west County Road 75 between Washington Avenue and Meadow Oak Avenue and along County Road 18 between CSAH 75 and I-94 to (see enclosed map of the project area). The trail segment identified for Work has experienced surface deficiencies primarily in the form of surface cracking and minor to major raveling. The trail pavement will require crack filing, asphalt removal and patching or infrared patching, and T-Mat installation. An alternate quote shall be provided for the crack filling and asphalt patching work.

The trail segment is a component of the City of Monticello paved trail system, a heavily-used route for trail users of all recreation types: walking/hiking/running, dog-walking, biking, rollerblading, commuting, and roller skiing. For these reasons, the Contractor must pay careful attention to the requirements for safety, maintenance of traffic, and approved work times, as referenced throughout the Contract Documents.

To maintain heavy trail traffic during the summer months, the Contractor will be required to place T-Mat in specific trail Segments, allowing trail to fully dry prior to moving onto next Segment. The contractor shall only close the trail segment that is actively being worked on.

The contractor shall submit to the City a schedule of the intended closure dates of the trail segments one week prior to commencing work to allow the City to properly notify the public.

The contractor shall not change the dates of closure once submitted (excluding delays due to weather related events). The contractor shall install temporary construction signage as necessary and as determined by the City. No substitutions will be allowed.

PRESERVATION OF EXISTING FEATURES

The Contractor shall minimize disruption and damages to existing Project Site features, including but not limited to lawns, trees, existing topography, pavements, and curbing. All construction access and traffic shall be confined to the routes indicated on the Drawings or by the project Engineer. Any damages to Project Site features outside the specified routes shall be repaired and restored by the Contractor to the satisfaction of the City of Monticello at no cost to the City of Monticello.

The Contractor and City of Monticello shall create a photo inventory of pre-construction conditions of the Project Site for later use in determination of changed conditions.

END OF SECTION

REFERENCE STANDARDS

1.1 REFERENCE STANDARDS

- A. Applicability of Standards: For products and workmanship required by these or other Contract Documents, comply with requirements of the applicable Reference Standard except where modified or altered by the Contract Documents. Applicable Reference Standards have the same force and effect as if bound or copied directly into the Contract Documents.
1. The following Reference Standards are hereby made part of the Contract Documents. Names and website addresses are subject to change and are believed to be accurate and up-to-date as of the date of the Contract Documents.

ABBREVIATION / ACRONYM	REFERENCE STANDARD	WEBSITE / CONTACT INFORMATION
MN/DOT-SPEC	State of Minnesota Department of Transportation "Standard Specifications for Construction," 2005	www.dot.state.mn.us/tsecsup/spec
ADAAG	American Disabilities Act (ADA) Architectural Barriers Act (ABA) Accessibility Guidelines for Buildings and Facilities	www.access-board.gov
MMUTCD	Minnesota Manual on Uniform Traffic Control Devices	www.dot.state.mn.us/traffceng/otepubl/mutcd/index.html
MN/DOT - TEM	The Official Minnesota Department of Transportation Traffic Engineering Manual (TEM) prepared by the Office of Traffic, Safety, and Operations	www.dot.state.mn.us/traffceng/otepubl/tem

- B. Publication Dates: Comply with standards in effect as of date of the Contract Documents, unless otherwise indicated.
- C. Copies of Standards: Each entity engaged in the Work should be familiar with industry standards applicable to its construction activity. Copies of applicable standards are not bound with the Contract Documents.
1. Where copies of standards are needed to perform a required construction activity, obtain copies directly from publication source.
- D. Abbreviations and Acronyms for Standards and Regulations: Where abbreviations and acronyms are used in the Contract Documents, they shall mean the recognized name of the Reference Standard.

END OF SECTION

TECHNICAL SPECIFICATIONS

SECTION 1 – CLEAN AND PREPARE TRAIL SURFACE

PART 1 – GENERAL

1.1 SUMMARY

- A. This section includes requirements for the preparation of the existing bituminous surface including crack filling and patching of pavement to promote the successful coverage of polymerized asphalt emulsion.

1.2 PROJECT CONDITIONS

- A. Work shall be performed only when the following conditions are present:
 - 1. Rain is not forecasted in the next 24 hours.
- B. Prep Work shall be performed Monday through Thursday, excluding holidays, during the hours of 7:00 AM to 7:00 PM, unless otherwise approved by the Owner.
- C. Contractor shall notify the Parks Superintendent not less than 2 days prior to commencing work activities, excluding weekends and holidays.
- D. Prior to commencing work, the Contractor shall demonstrate compliance to the following requirements, to the satisfaction of the City of Monticello:
 - 1. Safety:
 - a. Refer to the conditions of the Proposal Form.
 - b. Contractor use of City of Monticello-furnished products or materials shall not relieve the Contractor of any requirements and responsibilities for safety on the project.
 - 2. Maintenance of Traffic:
 - a. All trails shall remain CLOSED to public use during the work, unless otherwise approved by the City of Monticello project engineer.
 - 3. Work Hours:
 - a. Shall be carefully planned to coordinate with subsequent work activities.

PART 2 - PRODUCTS

2.1 TRAFFIC CONTROL DEVICES

- A. Conform to devices prescribed by the MMUTCD, or approved equal.
- B. Survey ribbon, lathe, or rope shall not be acceptable traffic control devices.
- C. Acceptable traffic control devices include MUTCD sign panels installed on Type III barricades and/or portable fencing panels, and approved equals.

2.2 EQUIPMENT

- A. All equipment shall be appropriately sized and suitable for use on paved trails.
- B. All propelled equipment shall be rubber-tired.
- C. Audible and/or visual devices shall be installed on equipment, as appropriate, to provide advance warning to trail users.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. The Contractor shall coordinate a site meeting with the City of Monticello Representative prior to commencing construction activities to generally review the scope of work and to ensure that the requirements of Part 1.2.D are acceptable.
- B. Receive approval to proceed from City of Monticello Representative.

3.2 PERFORMANCE

- A. Operate equipment in a responsible manner. Operate audible or visual devices, as needed, to ensure safety of approaching trail users.
- B. Provide traffic control devices as shown in the plan. Relocate devices during performance of the work, as needed.
- C. Cracks shall be prepared by routing or blowing out debris with compressed air and heating the crack face with a hot air lance before filling with CrafcO asphalt rubber plus #34241. All routed cracks must follow technical specs TR2, TR3. See attachment.

Alternate 1 – Crack Filling: This work shall consist of performing crack filling following technical specifications.

- D. Patching of Asphalt shall be completed with one of two alternates in the areas identified by the City and as described below:

Alternate 2- Pavement Removal and Patching: This work shall consist of full depth sawcutting and removal of the asphalt, 1-inch mill for a 1-foot width around the removal area and placement of 3-inches of 2360 Type SP 9.5 Wearing Course Mixture (2,B).

Alternate 3- Infrared Patching: This work shall consist of performing an asphalt thermal bond infrared patch in areas selected by the City. The newly patched surface shall be installed in a manner so that it bonds the with the old asphalt surface, creating a smooth, seamless repair. An asphalt rejuvenator shall be applied to the surface with this method.

- E. Using a string trimmer, edger, or similar, remove all encroaching vegetation from the trail edge, exposing the edge.
- F. Using a string trimmer, heat lance, or pick, remove all vegetation from cracks on the trail surface.
- G. Using a flat shovel or similar, remove all accumulated and/or embedded dirt and debris from relative low points, depressions, and poorly drained areas.
- H. Using a walk-behind blower, power broom, or similar, remove all dirt, dust, and debris from the trail surface, across its full width, ensuring that the surface will remain clean until subsequent work activities commence.

3.3 CLEAN UP AND DISPOSAL

- A. Remove and properly dispose of all work-related debris off site in accordance with local and state regulations.

PART 4 - MEASUREMENT AND PAYMENT

4.1 MEASUREMENT

- A. Measurement shall be by project square yard for all work described herein or as required by the Contract Documents. No additional measurement shall be made for items associated with the successful execution of the Work, including but not limited to labor, equipment, and materials.

4.2 PAYMENT

- A. Payment shall be by project square yard, per the conditions of the Contract Documents, except for Part 3.2E.

END OF SECTION

TECHNICAL SPECIFICATIONS

SECTION 2 – T-MAT ASPHALT RESURFACING

PART 1 – GENERAL

1.1 SUMMARY

- A. This section includes application of a polymerized asphalt emulsion, containing fibers and aggregates, to existing bituminous surfaces.

1.2 PROJECT CONDITIONS

- A. Application shall be performed only when the following conditions are present:
 - 1. Air and surface temperature exceed 70 degrees F, and
 - 2. Relative humidity is less than 60%, and
 - 3. Rain has not fallen in the past 8 hours and
 - 4. Rain is not forecasted in the next 24 hours, and
 - 5. Next day high temperature forecast exceeds 70 degrees F.
- B. Placement of the product shall be performed Monday through Wednesday, excluding holidays, during the hours of 7:00 AM to 7:00 PM, unless otherwise approved by the City of Monticello.
- C. All Trails shall be open to the public Friday - Sunday
- D. Contractor shall notify the Parks Superintendent not less than 2 days prior to commencing work activities, excluding weekends and holidays, such that the Owner can provide adequate advanced trail closure notice to staff and public.
- E. Prior to commencing work, the Contractor shall demonstrate compliance to the following requirements, to the satisfaction of the City of Monticello:
 - 1. Safety:
 - a. Refer to the conditions of the Proposal Form.
 - b. Contractor use of City of Monticello-furnished signage shall not relieve the Contractor of any requirements or responsibilities for safety on the project.
 - 2. Maintenance of Traffic:
 - a. The Contractor shall CLOSE the paved trail to public use for the duration of the work, including curing and drying of the product, as shown in the drawings.
 - b. Coordinate all traffic control and closures with the City of Monticello Representative one week prior to any closures.
 - c. All turf trails shall remain OPEN to public use throughout the duration of the work, unless otherwise approved by the City of Monticello Representative. The Contractor shall maintain traffic through the turf trail segment crossings depicted on the Drawings.

- d. The Contractor shall be responsible for providing means and methods for traffic maintenance that are acceptable to the City of Monticello Representative.
3. Work Hours:
- a. Shall be carefully planned to optimize favorable weather conditions necessary for drying and curing of the product, and shall conform to the conditions of Parts 1.2.A and 1.2.B.

.3 BIDDER QUALIFICATIONS

- A. Bidder must be a certified applicator of T-MAT, as authorized by Crius Corporation. Certified applicators shall be pre-qualified to ensure that they have the necessary equipment and personal training necessary to install T-MAT.

PART 2 - PRODUCTS

2.1 APPROVED PRODUCTS

- A. T-MAT, as manufactured by Crius Corporation, consisting of a highly polymerized asphalt emulsion fortified with fibers and fillers specifically designed to enhance and stabilize the emulsion, blended with a gradation of aggregate as specified. No substitution will be considered unless written request has been submitted to the Owner for approval at least four (4) calendar days prior to the date and hour set for receipt of bids. Refer to Proposal Form Part VII.
- B. Acrylic Adhesion Promoter: Use product approved by the asphalt emulsion product manufacturer.
- C. Aggregate: Dresser trap rock 100% manufactured sand, or equal, meeting gradation requirements of Part 2.2.B.
- D. Mixture rate shall be 9 pounds of aggregate per gallon of T-MAT.

2.2 AGGREGATE MATERIALS

- A. Aggregate shall consist of a durable manufactured sand, crushed stone or fines or a combination thereof. The material shall not exceed 7% moisture content and shall be free of all plant or organic matter or debris. All aggregate to be used shall be pre-tested and approved by the manufacturer.
- B. Aggregate shall conform to the following gradation when tested in accordance with ASTM C136.

Sieve Size	% Passing
#4	100
#8	100
#16	99
#30	91
#50	56
#100	30
#200	12.7

2.3 EQUIPMENT

- A. All equipment shall be certified for T-MAT installation by the manufacturer.
- B. Distributor vehicle shall be self-propelled, rubber-tired, suitable for trail use, and capable of applying the product across the full width of the trail in a single pass.
- C. Distributor vehicle tank capacity shall not exceed 500 gallons. Not greater than 300 gallons of product shall be present in the tank at any time.
- D. Feeder vehicle shall be properly sized and loaded to travel to designated access points without risking damage to park infrastructure.

2.4 TRAFFIC CONTROL DEVICES

- A. Conform to devices prescribed by the MMUTCD, or approved equal.
- B. Survey ribbon, lathe, or rope shall not be acceptable traffic control devices.
- C. Acceptable traffic control devices include MUTCD sign panels installed on Type III barricades and/or portable fencing panels, and approved equals.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. The Contractor shall coordinate a site meeting with the City of Monticello Representative prior to commencing construction activities to generally review the scope of work and to ensure that the requirements of Part 1.2.D are acceptable.
- B. Conduct work only if the surface has been cleaned and prepared per Section 1 – Clean and Prepare Trail Surface.

- C. Receive approval to proceed from City of Monticello Representative.

3.2 PREPARATION

- A. Apply Acrylic Adhesion Promoter to all heavily shaded areas and as directed by the City of Monticello Representative, per manufacturer recommendations.

3.3 PERFORMANCE

- A. Conduct work in phases to meet the requirements of Part 1.2.D.2. Install appropriate traffic control devices and move the devices as necessary during each phase.
- B. Apply two coats, uniform coat of T-MAT to the full trail width, per manufacturer recommendations. Do not allow product to spill over the trail edge or to pool on the trail surface.
- C. Coverage rate shall be at least 0.50 gallons per square yard.
- D. Speed of distribution vehicle shall be sufficiently slow, to ensure optimal adhesion of the product.
- E. Traffic control devices shall remain in-place until the finished surface has fully cured, dried, and can be opened to traffic without risk of damage to the work.

3.4 CLEAN UP AND DISPOSAL

- A. In the event of overspill of the product during installation, confine the product to the trail shoulder and prevent any flow towards surface waters or wetlands. Allow product to dry, and then return to clean up and dispose of the product. Overspill material shall be considered excess product.
- B. In the event of pooling of the product during installation, use a squeegee or similar to spread the product uniformly across the surrounding trail surface, provided that the resultant product thickness will cure and dry at the same rate as surrounding areas. If the resultant product thickness will not cure and dry at a reasonable rate, or at the direction of the City of Monticello Representative, spread the product off of the trail edge, and treat it as overspill material.
- C. Remove and properly dispose of all work-related debris and excess product off site in accordance with local and state regulations.
- D. Material beyond the edge of paved trail must be allowed to cure and dry, and then be cleanly detached from the adjacent pavement surface and properly disposed of off-site.

PART 4 - MEASUREMENT AND PAYMENT

4.1 MEASUREMENT

- A. Measurement shall be by project square yard for all work described herein or as required by the Contract Documents. No additional measurement shall be made for items associated with the successful execution of the Work, including but not limited to labor, equipment, and materials.

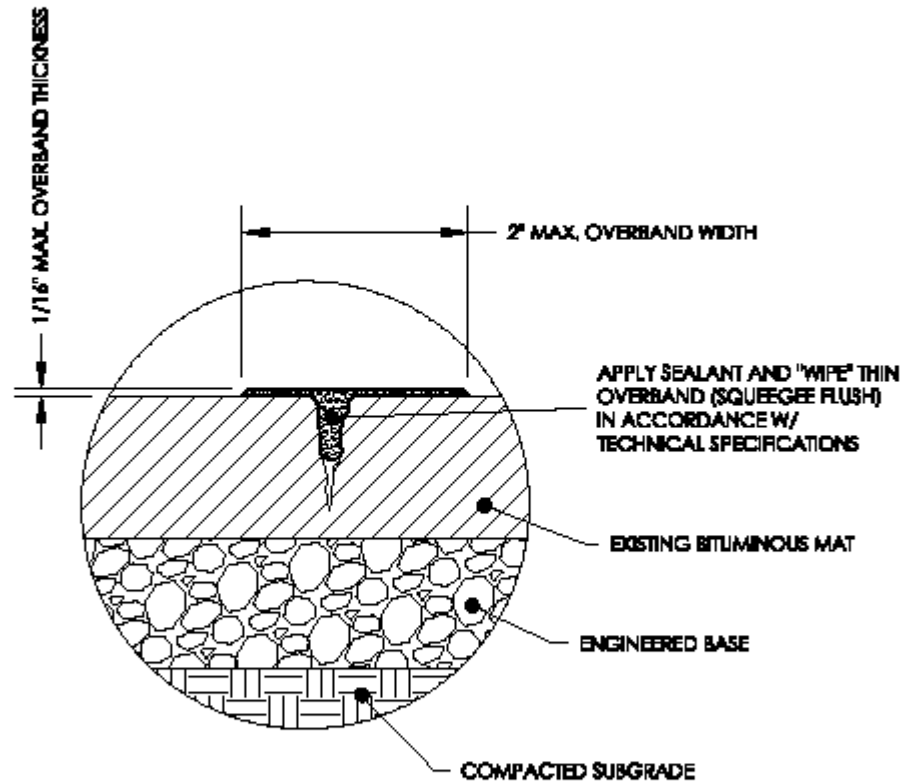
4.2 PAYMENT

- A. Payment shall be by project square yard, per the conditions of the Contract Documents.

END OF SECTION

NOTES:

1. REFER TO TECHNICAL SPECIFICATIONS AND DRAWINGS.
2. DO NOT ROUT.
3. JOINT AND CRACK SEALANT:
 - A. CRAFCO ROADSAYER 534.
4. APPLY SAND OR 1-FLY PAPER AS PER TECHNICAL SPECIFICATIONS.

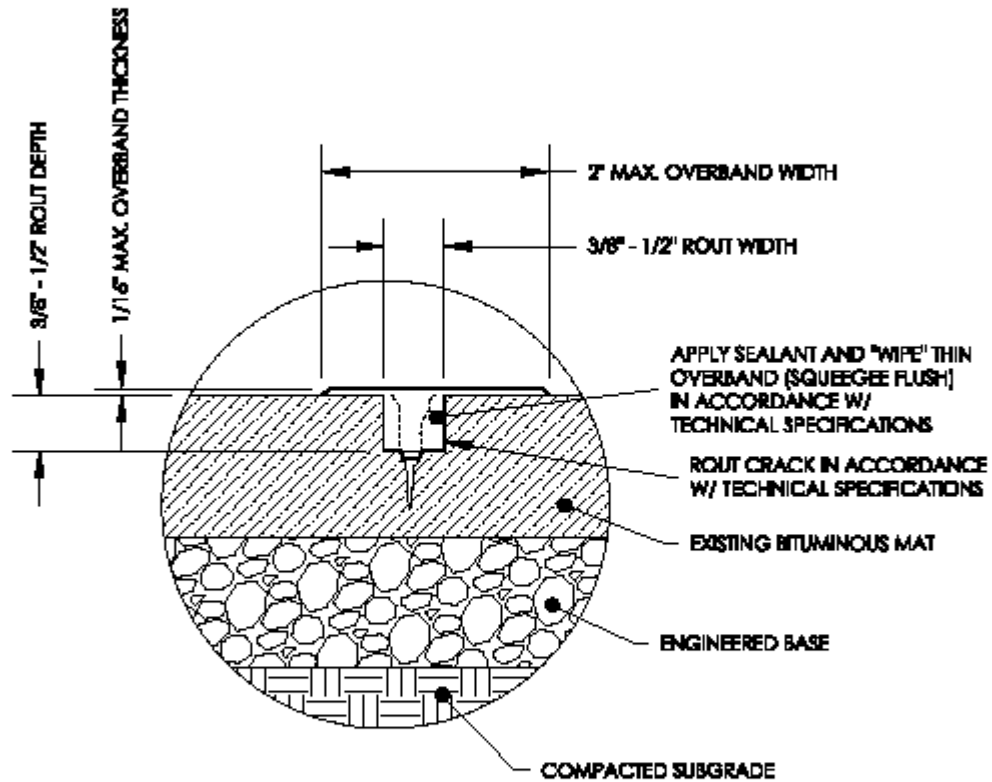


BITUMINOUS TRAIL CRACK REPAIR: 1/4" - 1/2" NON-TRANSVERSE

NTS

NOTES:

1. REFER TO TECHNICAL SPECIFICATIONS AND DRAWINGS.
2. JOINT AND CRACK SEALANT:
A. CRAFCO ROADSAVER 534.
3. APPLY SAND OR 1-PLY PAPER AS PER TECHNICAL SPECIFICATIONS.

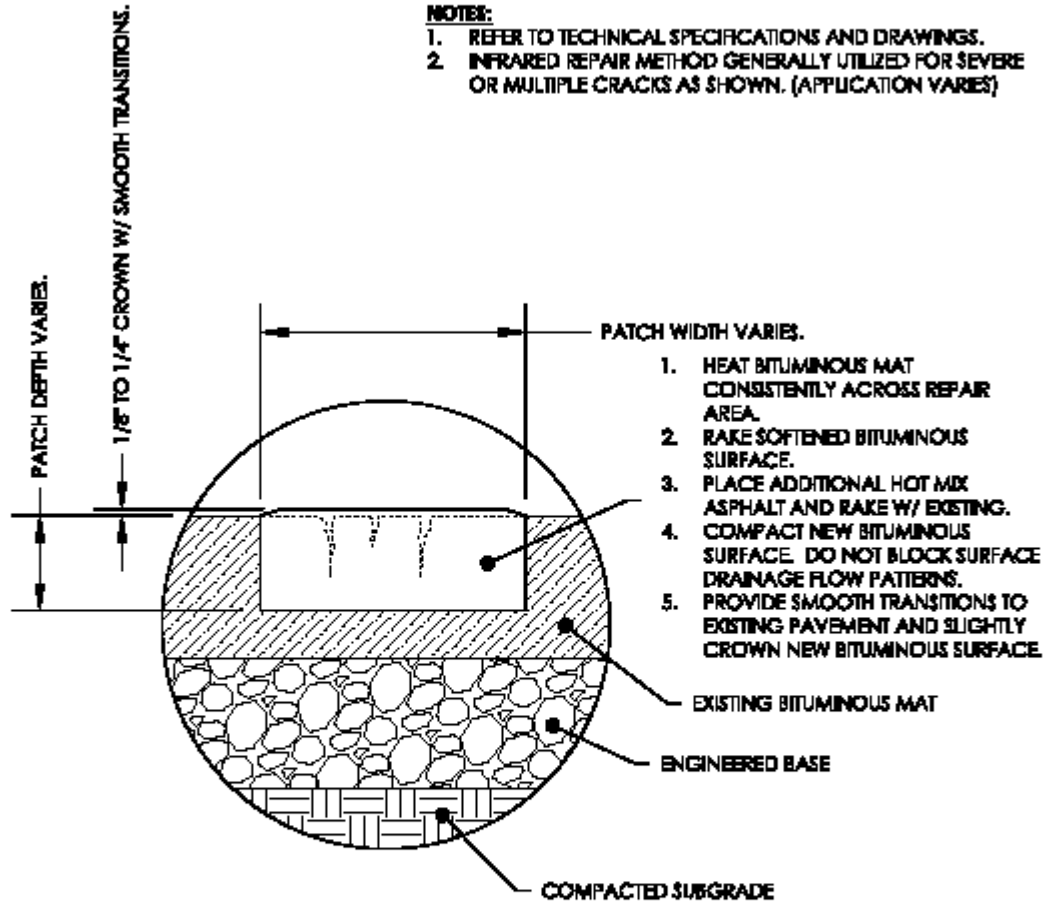


BITUMINOUS TRAIL CRACK REPAIR: 1/4" - 1/2" TRANSVERSE

NTS

NOTE:

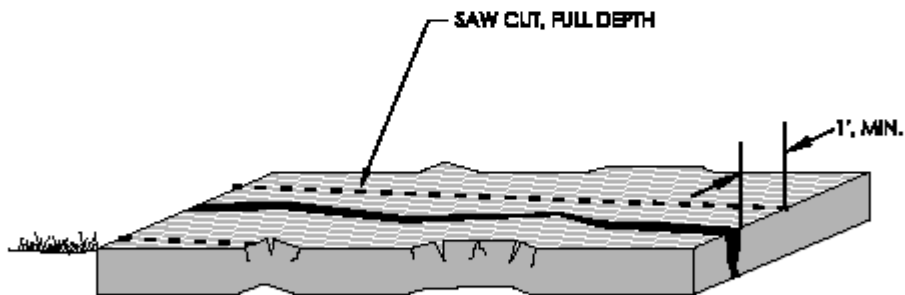
1. REFER TO TECHNICAL SPECIFICATIONS AND DRAWINGS.
2. INFRARED REPAIR METHOD GENERALLY UTILIZED FOR SEVERE OR MULTIPLE CRACKS AS SHOWN. (APPLICATION VARIES)



STR-6 INFRARED PATCH
NTS

NOTES:

1. SAWCUT BITUMINOUS PAVEMENT FULL WIDTH BETWEEN REPAIR EXTENTS (INCIDENTAL).
2. REMOVE 1" OF BITUMINOUS MATERIAL ON BOTH SIDES OF CRACK OR AS FIELD MARKED TO REMOVE ALL HEAVING AND DISTORTION ASSOCIATED WITH CRACK.
3. APPLY BITUMINOUS TACK COAT MATERIAL TO SIDES OF SAW CUT PRIOR TO PLACING NEW BITUMINOUS MATERIAL (INCIDENTAL).
4. PLACE AND COMPACT BITUMINOUS MAT, SPWEA2406 WITH VIBRATORY ROLLER EQUIPMENT THAT IS PROPERLY SIZED TO NOT CAUSE ANY DAMAGE TO ADJACENT TRAILS PER MnDOT SPEC 2360.
5. SHOULDER WITH TOPSOIL (AMENDED AND LOOSENED), RESTORE SEED (MnDOT 25-141) AND MULCH OR BLANKET AS DIRECTED BY OWNER AND PER MnDOT SPEC 2572.
6. DETAIL REFLECTS ACCEPTABLE MEANS AND METHODS. CONTRACTOR MAY SUBMIT ALTERNATIVE MEANS AND METHODS TO OWNER FOR REVIEW AND APPROVAL.
7. ALL CONSTRUCTION RELATED DEBRIS, VEGETATION AND CONTAMINATED SOILS SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED.

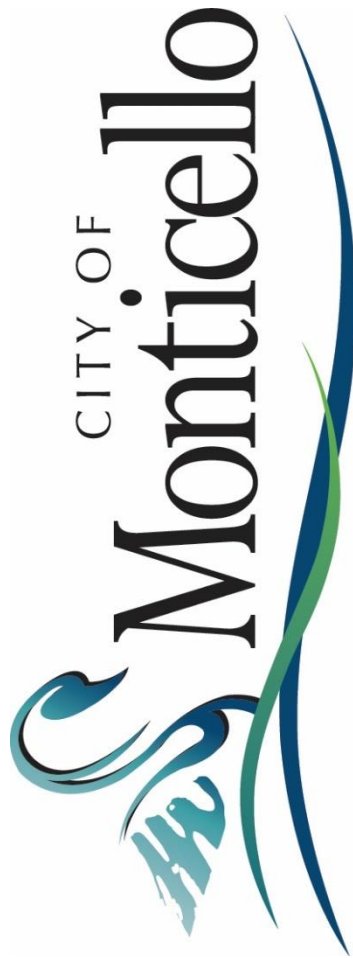


BITUMINOUS TRAIL CRACK REPAIR: 1" OR GREATER

NTS



CITY PATHWAY —
Broadway E—Monticello Middle School to
Meadow Oak Ave-
Approximately 8,250 feet
Cty Rd 18—Broadway to Ped Bridge -
Approximately 740 feet



CITY OF MONTICELLO

SPECIFICATIONS

FOR

TRAIL PAVEMENT
REHABILITATION

FOR THE

CITY OF MONTICELLO
MINNESOTA

MARCH 20, 2018

Prepared By:

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DESCRIPTION OF WORK

SUMMARY

This project consists of trail pavement rehabilitation intended to improve the serviceability and ride quality of the shared multi-use paved trail within the Meadow Oak development. (see enclosed map of the project area). The trail segment identified for Work has experienced surface deficiencies primarily in the form of surface cracking and minor to major raveling. The trail pavement will require crack filing, asphalt removal and patching or infrared patching, and RoadGuard installation. An alternate quote shall be provided for the crack filling and asphalt patching work.

The trail segment is a component of the City of Monticello paved trail system, a heavily-used route for trail users of all recreation types: walking/hiking/running, dog-walking, biking, rollerblading, commuting, and roller skiing. For these reasons, the Contractor must pay careful attention to the requirements for safety, maintenance of traffic, and approved work times, as referenced throughout the Contract Documents.

To maintain heavy trail traffic during the summer months, the Contractor will be required to place RoadGuard in specific trail Segments, allowing trail to fully dry prior to moving onto next Segment. The contractor shall only close the trail segment that is actively being worked on.

The contractor shall submit to the City a schedule of the intended closure dates of the trail segments one week prior to commencing work to allow the City to properly notify the public.

The contractor shall not change the dates of closure once submitted (excluding delays due to weather related events). The contractor shall install temporary construction signage as necessary and as determined by the City. No substitutions will be allowed.

PRESERVATION OF EXISTING FEATURES

The Contractor shall minimize disruption and damages to existing Project Site features, including but not limited to lawns, trees, existing topography, pavements, and curbing. All construction access and traffic shall be confined to the routes indicated on the Drawings or by the project Engineer. Any damages to Project Site features outside the specified routes shall be repaired and restored by the Contractor to the satisfaction of the City of Monticello at no cost to the City of Monticello.

The Contractor and City of Monticello shall create a photo inventory of pre-construction conditions of the Project Site for later use in determination of changed conditions.

END OF SECTION

TECHNICAL SPECIFICATIONS

SECTION 32 2350

CLEAN AND PREPARE TRAIL SURFACE

PART 1 – GENERAL

1.1 SUMMARY

- A. Section includes preparation of the existing bituminous surface to promote the successful coverage of micro-surfacing or sealcoating operations.

1.2 MEASUREMENT AND PAYMENT

- A. Measurement shall be by lump sum for all work described herein or as required by the Contract Documents. No additional measurement shall be made for items associated with the successful execution of the Work, including but not limited to labor, equipment, and materials.

1.3 PROJECT CONDITIONS

- A. Work shall be performed only when the following conditions are present:
 - 1. Rain is not forecasted in the next 24 hours.
- B. Work shall be performed Monday through Friday, excluding holidays, during the hours of 7:00 AM to 7:00 PM, unless otherwise approved by the Owner.
- C. Contractor shall notify the Owner not less than 2 days prior to commencing work activities, excluding weekends and holidays.
- D. Prior to commencing work, the Contractor shall demonstrate compliance to the following requirements, to the satisfaction of the Owner:
 - 1. Safety:
 - a. Refer to the conditions of the Proposal Form.
 - b. Contractor use of Owner-furnished products or materials shall not relieve the Contractor of any requirements and responsibilities for safety on the project.
 - 2. Maintenance of Traffic:
 - a. All trails shall remain CLOSED to public use during the work, unless otherwise approved by the Owner Representative.
 - 3. Timing of work:
 - a. Shall be carefully planned to coordinate with subsequent work activities.

PART 2 – PRODUCTS

2.1 TRAFFIC CONTROL DEVICES

- A. Conform to devices prescribed by the MMUTCD, or approved equal.
- B. Survey ribbon, lathe, or rope shall not be acceptable traffic control devices.
- C. Acceptable traffic control devices include MUTCD sign panels installed on Type III barricades and/or portable fencing panels, and approved equals.
- D. Provide traffic control devices as shown in the plan. Relocate devices during performance of the work, as needed.

2.2 EQUIPMENT

- A. All equipment shall be appropriately sized and suitable for use on paved trails.
- B. All propelled equipment shall be rubber-tired.
- C. Audible and/or visual devices shall be installed on equipment, as appropriate, to provide advance warning to trail users.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. The Contractor shall coordinate a site meeting with the Owner Representative prior to commencing construction activities to generally review the scope of work and to ensure that the requirements of Part 1.3.D are acceptable.
- B. Receive approval to proceed from Owners Representative.

3.2 PERFORMANCE

- A. Using a string trimmer, edger, or similar, remove all encroaching vegetation from the trail edge, exposing the edge.
- B. Using a string trimmer, heat lance, or pick, remove all vegetation from cracks on the trail surface.
- C. Using a flat shovel or similar, remove all accumulated and/or embedded dirt and debris from relative low points, depressions, and poorly drained areas.
- D. Using a walk-behind blower, power broom, or similar, remove all dirt, dust, and debris from the trail surface, across its full width, ensuring that the surface will remain clean until subsequent work activities commence.

3.3 CLEAN UP AND DISPOSAL

- A. Remove and properly dispose of all work-related debris off site in accordance with local and state regulations.

END OF SECTION

SECTION 32 2354

MICRO-SURFACING

PART 1 – GENERAL

1.1 SUMMARY

- A. This section covers the furnishing of all labor, materials, tools, equipment and performance of all work and services necessary or incidental to construct micro-surfacing on a prepared pavement.

1.2 RELATED DOCUMENTS

- A. 2014 Mn/DOT Specification Section 2354, MICRO-SURFACING, shall apply except as modified herein.

1.3 MEASUREMENT AND PAYMENT

- A. Measurement shall be by project square yard for all work described herein or as required by the Contract Documents. No additional measurement shall be made for items associated with the successful execution of the Work, including but not limited to labor, equipment, and materials.
- B. Payment shall be in the amount of the contract unit price, per the conditions of the Contract Documents.
- C. Bituminous material for fog seal, where applicable, shall be considered incidental to the contract.

1.4 PROJECT CONDITIONS

- A. Work shall be performed only when the following conditions are present:
 - 1. Air and surface temperature exceed 50 degrees F, and
 - 2. Relative humidity is less than 60%, and
 - 3. Rain has not fallen in the past 8 hours and
 - 4. Rain is not forecasted in the next 24 hours, and
 - 5. Next day high temperature forecast exceeds 50 degrees F.
- B. Placement of the product shall be performed Monday through Thursday, excluding holidays, during the hours of 7:00 AM to 7:00 PM, unless otherwise approved by the Owner.
- C. All Trails shall be open to the public Friday - Sunday
- D. Contractor shall notify the Owner not less than 2 days prior to commencing work activities, excluding weekends and holidays, such that the Owner can provide adequate advanced trail closure notice to staff and public.
- E. Prior to commencing work, the Contractor shall demonstrate compliance to the following requirements, to the satisfaction of the Owner:
 - 1. Safety:
 - a. Refer to the conditions of the Proposal Form.
 - b. Contractor use of Owner-furnished products or materials shall not relieve the Contractor of any requirements and responsibilities for safety on the project.
 - 2. Maintenance of Traffic:
 - a. The Contractor shall CLOSE the paved trail to public use for the duration of the work, including curing and drying of the product, as shown in the drawings.
 - b. Coordinate all traffic control and closures with the Owner Representative.

- c. All turf trails shall remain open to public use throughout the duration of the work, unless otherwise approved by the Owners Representative. The Contractor shall maintain traffic through the turf trail segment crossings depicted on the Drawings.
 - d. The Contractor shall be responsible for providing means and methods for traffic maintenance that are acceptable to the Owner Representative.
3. Work Hours:
- a. Shall be carefully planned to optimize favorable weather conditions necessary for drying and curing of the product, and shall conform to the conditions of Parts 1.4.A through 1.4.C.

PART 2 - PRODUCTS

2.1 PRODUCTS

- A. Micro-surfacing: Provide a micro-surface complying with Mn/DOT Specification Section 2354. The micro-surface type shall be Surface Course utilizing Type 1 aggregate gradation per Mn/DOT Specification Section 3139.5. Under this contract, the contractor shall not be obligated to apply either Rut Fill or Scratch Course Microsurfacing. A Job Mix Formula (JMF) complying with Mn/DOT Specification Section 2354.2E shall be provided with the contractor's bid.
- B. Acrylic Adhesion Promoter or Bituminous Tack Coat: Use product approved by the asphalt emulsion product manufacturer if required by the Micro-surfacing JMF in heavily shaded areas.

2.2 AGGREGATE MATERIALS

- A. Aggregate shall consist of a durable manufactured sand, crushed stone or fines, or a combination thereof. The material shall not exceed 7% moisture content and shall be free of all plant or organic matter or debris. Aggregate shall comply with Mn/DOT Specification Section 3139.5.
- B. Aggregate gradation shall comply with Mn/DOT Specification Section 3139.5.B Type 1.
- C. Aggregate mixture rate shall be provided with JMF.

2.3 EQUIPMENT

- A. Distributor vehicle shall be self-propelled, rubber-tired, suitable for trail use, and capable of applying the product across the full width of the trail in a single pass.
- B. Distributor vehicle tank capacity shall not exceed 500 gallons. Not greater than 300 gallons of product shall be present in the tank at any time.
- C. Feeder vehicle shall be properly sized and loaded to travel to designated access points without risking damage to park infrastructure.

2.4 TRAFFIC CONTROL DEVICES

- A. Conform to devices prescribed by the MMUTCD, or approved equal.
- B. Survey ribbon, lathe, or rope shall not be acceptable traffic control devices.
- C. Acceptable traffic control devices include MUTCD sign panels installed on Type III barricades and/or portable fencing panels, or approved equals.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. The Contractor shall coordinate a site meeting with the Owners Representative prior to commencing construction activities to generally review the scope of work and to ensure that the requirements of Part 1.4.D are acceptable.
- B. Conduct work only if the surface has been cleaned and prepared per Section 32 2350 – CLEAN AND PREPARE TRAIL SURFACE.
- C. The Owner may replace the Test Strip requirement (MN/DOT spec 2354.3B.4) for Phase 1, Day 1 construction.
- D. Receive approval to proceed from Owners Representative prior to commencing parts 3.2 through 3.4.

3.2 PREPARATION

- A. Apply Acrylic Adhesion Promoter or Bituminous Tack Coat to all heavily shaded areas and as shown on the plans or as directed by the Owners Representative if required by the Micro-surfacing JMF. Install per manufacturer's recommendations.
- B. The owner may waive MN/DOT specification 2354.3B.6 - Fog seal requirement if the JMF specifically states to apply product to an untreated asphalt surface.

3.3 PERFORMANCE

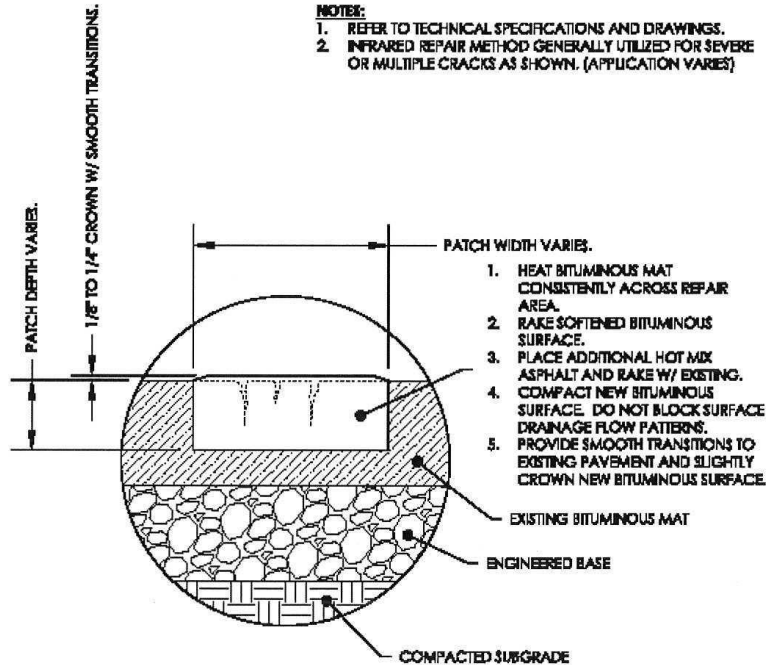
- A. Conduct work in phases to meet the requirements of Part 1.4.E.2. Install appropriate traffic control devices and move the devices as necessary during each phase.
- B. Apply a uniform coat of Micro-surface to the full trail width. Do not allow product to spill over the trail edge or to pool on the trail surface.
- C. Minimum coverage rate of Micro-surface shall be 0.50 gallons per square yard. Coverage rate shall be achieved with a minimum of two coats.
- D. Speed of distribution vehicle shall be sufficiently slow, to ensure optimal adhesion of the product.
- E. Finished surface of Micro-surface shall be smooth and free from defects caused during installation of material. Defects include, but are not limited to, ridges in surface, scratching of surface, squeegee marks, or contamination of material during placement. All defects shall be promptly corrected utilizing a squeegee to the satisfaction of the owner.
- F. Traffic control devices shall remain in-place until the finished surface has fully cured, dried, and can be opened to traffic without risk of damage to the work.
- G. A one year warranty will be provided to the Owner. Defective work will be corrected within the warranty period.

3.4 CLEAN UP AND DISPOSAL

- A. In the event of overspill of the product during installation, confine the product to the trail shoulder and prevent any flow towards surface waters or wetlands. Allow product to dry, and then return to clean up and dispose of the product. Overspill material shall be considered excess product. No compensation shall be made for overspill material.
- B. In the event of pooling of the product during installation, use a squeegee or similar to spread the product uniformly across the surrounding trail surface, provided that the resultant product thickness will cure and dry at the same rate as surrounding areas. If the resultant product thickness will not cure and dry at a reasonable rate, or at the direction of the Owner Representative, spread the product off of the trail edge, and treat it as overspill material.

- C. Remove and properly dispose of all work-related debris and excess product off site in accordance with local and state regulations.
- D. Material beyond the edge of paved trail must be allowed to cure and dry, and then be cleanly detached from the adjacent pavement surface and properly disposed of off-site.

END OF SECTION



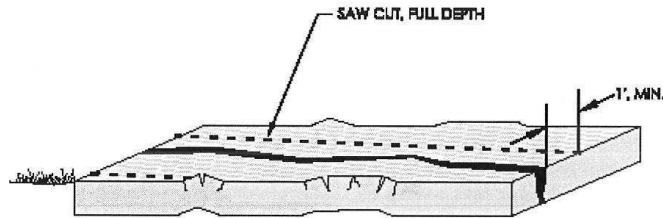
NOTES:

1. REFER TO TECHNICAL SPECIFICATIONS AND DRAWINGS.
2. INFRARED REPAIR METHOD GENERALLY UTILIZED FOR SEVERE OR MULTIPLE CRACKS AS SHOWN. (APPLICATION VARIES)

STR-6 INFRARED PATCH
NTS

NOTES:

1. SAWCUT BITUMINOUS PAVEMENT FULL WIDTH BETWEEN REPAIR EXTENTS (INCIDENTAL).
2. REMOVE 1" OF BITUMINOUS MATERIAL ON BOTH SIDES OF CRACK OR AS FIELD MARKED TO REMOVE ALL HEAVING AND DISTORTION ASSOCIATED WITH CRACK.
3. APPLY BITUMINOUS TACK COAT MATERIAL TO SIDES OF SAW CUT PRIOR TO PLACING NEW BITUMINOUS MATERIAL (INCIDENTAL).
4. PLACE AND COMPACT BITUMINOUS MAT, SPWEA2406 WITH VIBRATORY ROLLER EQUIPMENT THAT IS PROPERLY SIZED TO NOT CAUSE ANY DAMAGE TO ADJACENT TRAILS PER MNDOT SPEC 2340.
5. SHOULDER WITH TOPSOIL (AMENDED AND LOOSENED), RESTORE SEED (MNDOT 25-141) AND MULCH OR BLANKET AS DIRECTED BY OWNER AND PER MNDOT SPEC 2672.
6. DETAIL REFLECTS ACCEPTABLE MEANS AND METHODS. CONTRACTOR MAY SUBMIT ALTERNATIVE MEANS AND METHODS TO OWNER FOR REVIEW AND APPROVAL.
7. ALL CONSTRUCTION RELATED DEBRIS, VEGETATION AND CONTAMINATED SOILS SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED.

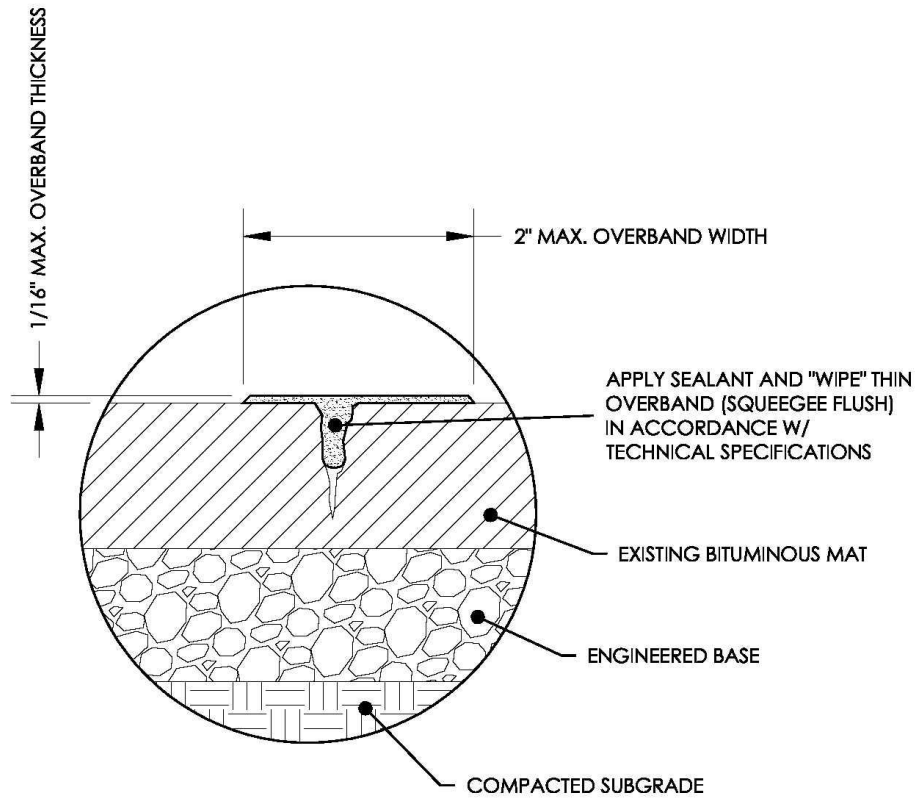


BITUMINOUS TRAIL CRACK REPAIR: 1" OR GREATER

NTS

NOTES:

1. REFER TO TECHNICAL SPECIFICATIONS AND DRAWINGS.
2. DO NOT ROUT.
3. JOINT AND CRACK SEALANT:
 - A. CRAFCO ASPHALT RUBBER PLUS #34241
4. APPLY SAND OR 1-PLY PAPER AS PER TECHNICAL SPECIFICATIONS.

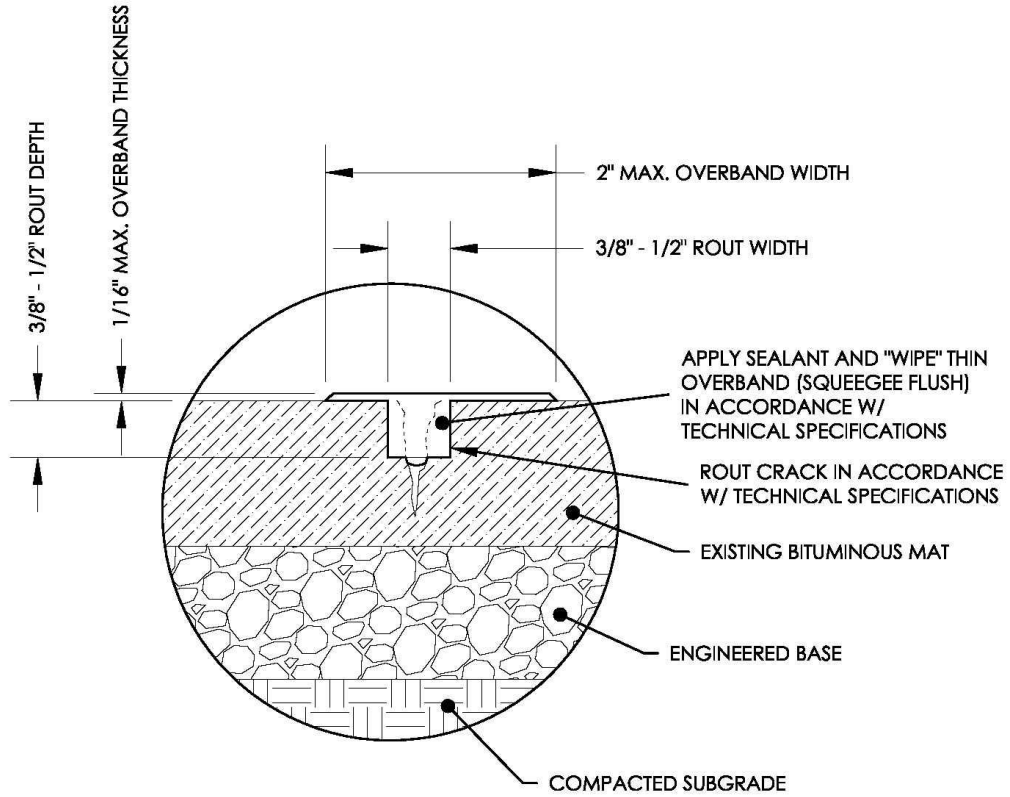


BITUMINOUS TRAIL CRACK REPAIR: 1/4" - 1/2" NON-TRANSVERSE

NTS

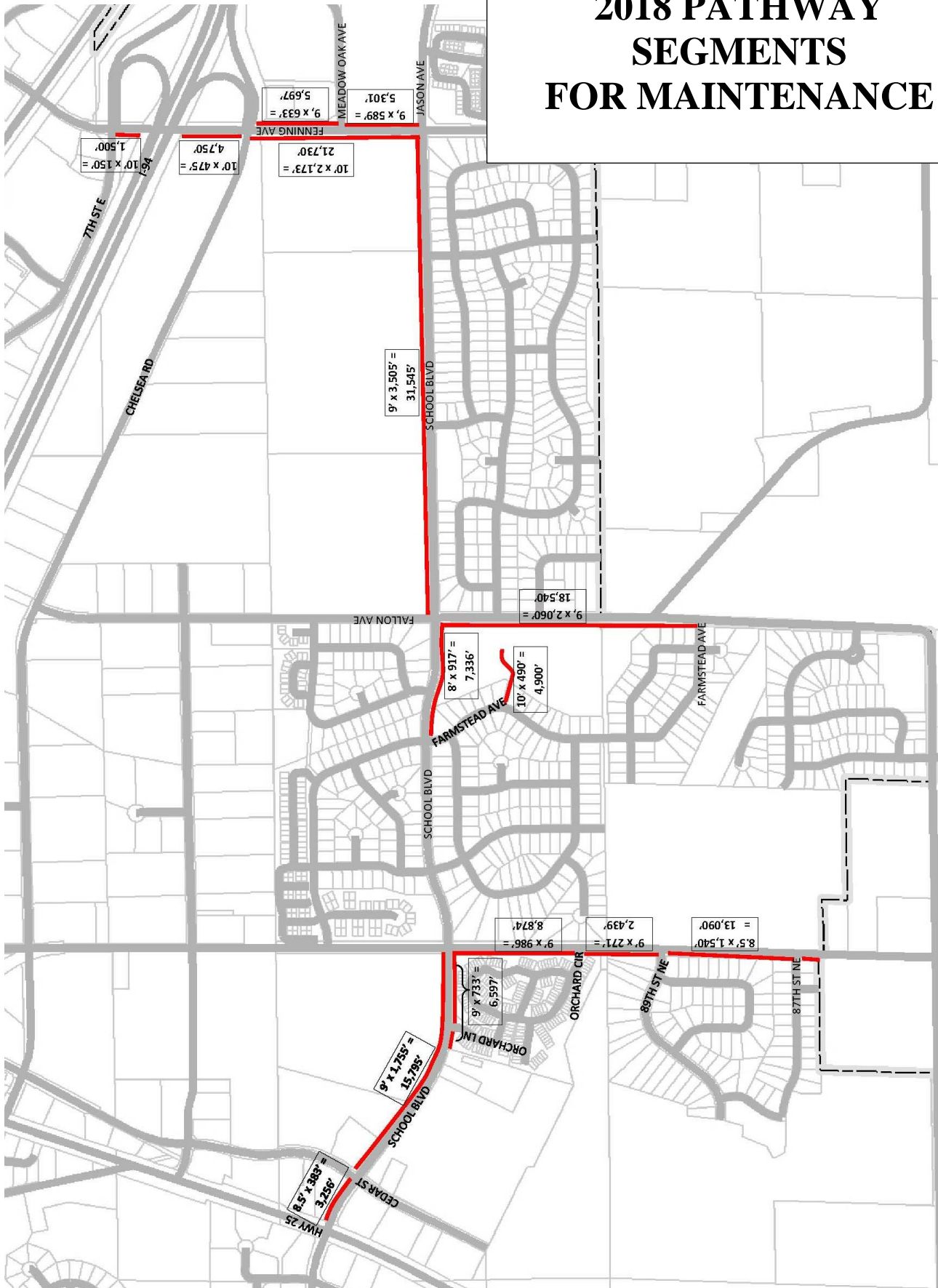
NOTES:

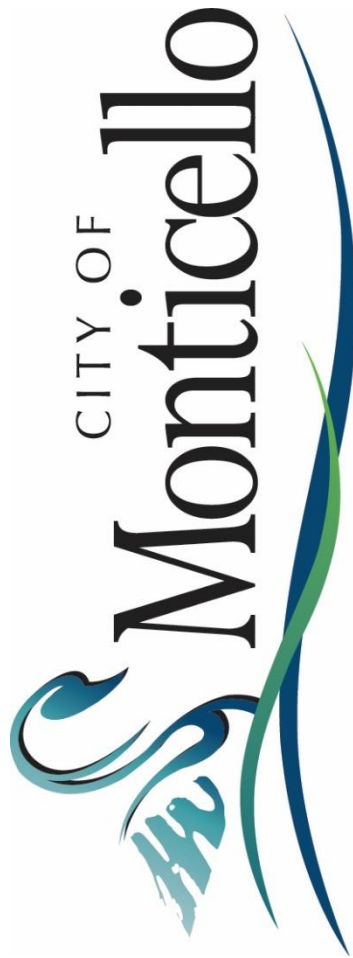
1. REFER TO TECHNICAL SPECIFICATIONS AND DRAWINGS.
2. JOINT AND CRACK SEALANT:
 - A. CRAFCO ASPHALT RUBBER PLUS #34241
3. APPLY SAND OR 1-PLY PAPER AS PER TECHNICAL SPECIFICATIONS.



TR-3 BITUMINOUS TRAIL CRACK REPAIR: 1/4" - 1/2" TRANSVERSE
 #####
 NTS

2018 PATHWAY SEGMENTS FOR MAINTENANCE





CITY OF MONTICELLO

SPECIFICATIONS

FOR

TRAIL PAVEMENT
REHABILITATION

FOR THE

CITY OF MONTICELLO
MINNESOTA

MAY 8, 2020

Prepared By:

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Office of Public Works
909 Golf Course Road
Monticello, MN 55362*

*Tom Pawelk
Park Superintendent*

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City Engineer
Public Works Director*

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DESCRIPTION OF WORK

SUMMARY

This project consists of trail pavement rehabilitation intended to improve the serviceability and ride quality of the shared multi-use paved trail within the southwest quadrant of the City of Monticello. (see enclosed map of the project area). The trail segments identified for work have experienced surface deficiencies primarily in the form of surface cracking minor to major raveling. The trail pavement will require crack filling, asphalt removal and patching or infrared patching, tree root cutting/barrier and micro surfacing treatment installation. Bidders are encouraged to visit the site along with City staff to fully understand all of the project components. A lump sum breakdown including the unit prices for crack filling, asphalt patch, micro surfacing, fog sealing, tree root cutting, root barrier and pavement reconstruct work shall be provided along with the bid.

The trail segment is a component of the City of Monticello paved trail system, a heavily-used route for trail users of all recreation types: walking/hiking/running, dog-walking, biking, rollerblading, commuting, and roller skiing. For these reasons, the Contractor must pay careful attention to the requirements for safety, maintenance of traffic, and approved work times, as referenced throughout the Contract Documents.

To maintain heavy trail traffic during the summer months, the Contractor will be required to place micro surfacing in specific trail Segments, allowing trail to fully dry prior to moving onto next Segment. The contractor shall only close the trail segment that is actively being worked on.

No contractor or subcontractor shall commence work under this contract until he has obtained at his own cost and expense all insurance required by this article, such insurance to be approved by the owner and maintained by the contractor until final completion of the work. Completed operations insurance shall also be maintained by the contractor for a period of one (1) year after final completion date.

The contractor shall take out and maintain for the duration of this contract statutory workmen's compensation insurance and employer's liability insurance as shall be required under the laws of the state of Minnesota.

A. Workmen's Compensation Insurance

The contractor shall take out and maintain during the life of this contract such-public liability and property damage insurance as shall protect him from all claims for bodily injury, including accidental death, as well as from all claims for property damage arising from operations under this contract. The minimum limits which are required are: Public Liability, \$1,000,000 per each occurrence, General Aggregate, \$1,000,000, and Worker's Compensation, \$100,000 (employer's liability limit).

Such policy shall include coverage for:

(a) Injury to or destruction of any property arising out of the collapse of or structural injury to any building or structure due:

- i. to grading of land, excavation, borrowing, filling, backfilling, tunneling, pile driving, coffer-dame work, or caisson work, or
- ii. to moving, shoring, underpinning, raising, or demolition of any building or structure or removal or rebuilding of any structural support thereof.

(b) Injury to or destruction of wires, conduits, pipes, mains, sewers, tanks, tunnels, any similar property, and any apparatus in connection therewith, beneath the surface of the ground or water, caused by and occurring during the use of mechanical equipment for the purpose of grading land, paving, excavating, drilling, borrowing, filling, backfilling, or pile driving or injury to or destruction of property at any time resulting therefrom.

(c) Injury to or destruction of any property arising out of blasting or explosion.

2. *Automobile Insurance*

The contractor shall carry automobile insurance on all automotive equipment owned, rented, or borrowed in the minimum amount of \$500,000 combined single limit.

3. *Contractual Liability Insurance*

The contractor agrees to hold harmless and indemnify the owner, the engineer, and their agents from every claim, action, cause of action, liability, damage, expense, or payment incurred by reasons of any bodily injury including death or property damage resulting from the contractor's operations on this project.

4. *Owner's Protective Liability and Property Damage Insurance*

The contractor shall provide owner's protective liability and property damage insurance in the name of the owner and the engineer insuring against bodily injury and property damage liability in the limits set forth above for which they may become legally obligated to pay as damages sustained by any persons caused by accident and arising out of operations performed for the named insured by independent contractors and general supervision thereof.

C. *Builder's Risk--Fire and Extended Coverage Insurance*

If the nature of the entire installation or portion thereof is such that it is insurable against the perils of fire, extended coverage, vandalism, and malicious mischief, such insurance shall be procured and maintained by the contractor in behalf of himself, the owner, and his subcontractors on a complete value form.

Insurance certificates evidencing that the above insurance is in force with companies acceptable to the owner and in the amounts required shall be submitted to the owner for examination and approved concurrently with the execution of the contract, after which they shall be filed with the owner. In addition to the normal information provided on the insurance certificates, they shall specifically provide that:

1. A certificate will not be modified except upon ten days' prior written notice to the owner;
2. Coverage is included for blasting, collapse, and underground hazards; and
3. The contractual liability hazard has been insured.

The contractor shall submit to the City a schedule of the intended closure dates of the trail segments one week prior to commencing work to allow the City to properly notify the public.

The contractor shall not change the dates of closure once submitted (excluding delays due to weather related events). The contractor shall install temporary construction signage as necessary and as determined by the City. No substitutions will be allowed.

PRESERVATION OF EXISTING FEATURES

The Contractor shall minimize disruption and damages to existing Project Site features, including but not limited to lawns, trees, existing topography, pavements, and curbing. All construction access and traffic shall be confined to the routes indicated on the Drawings or by the project Engineer. Any damages to Project Site features outside the specified routes shall be repaired and restored by the Contractor to the satisfaction of the City of Monticello at no cost to the City of Monticello.

The Contractor and City of Monticello shall create a photo inventory of pre-construction conditions of the Project Site for later use in determination of changed conditions.

END OF SECTION

TECHNICAL SPECIFICATIONS

SECTION 32 2350

CLEAN AND PREPARE TRAIL SURFACE

PART 1 – GENERAL

1.1 SUMMARY

- A. Section includes thorough preparation of the existing bituminous surface to promote the successful coverage of micro-surfacing or sealcoating operations.

1.2 MEASUREMENT AND PAYMENT

- A. Measurement shall be by lump sum for all work described herein or as required by the Contract Documents. No additional measurement shall be made for items associated with the successful execution of the Work, including but not limited to labor, equipment, and materials.

1.3 PROJECT CONDITIONS

- A. Work shall be performed only when the following conditions are present:
 - 1. Rain is not forecasted in the next 24 hours.
- B. Work shall be performed Monday through Friday, excluding holidays, during the hours of 7:00 AM to 7:00 PM, unless otherwise approved by the Owner.
- C. Contractor shall notify the Owner not less than 2 days prior to commencing work activities, excluding weekends and holidays.
- D. Prior to commencing work, the Contractor shall demonstrate compliance to the following requirements, to the satisfaction of the Owner:
 - 1. Safety:
 - a. Refer to the conditions of the Proposal Form.
 - b. Contractor use of Owner-furnished products or materials shall not relieve the Contractor of any requirements and responsibilities for safety on the project.
 - 2. Maintenance of Traffic:
 - a. All trails shall remain CLOSED to public use during the work, unless otherwise approved by the Owner Representative.
 - 3. Timing of work:
 - a. Shall be carefully planned to coordinate with subsequent work activities.

PART 2 – PRODUCTS

2.1 TRAFFIC CONTROL DEVICES

- A. Conform to devices prescribed by the MMUTCD, or approved equal.
- B. Survey ribbon, lathe, or rope shall not be acceptable traffic control devices.
- C. Acceptable traffic control devices include MUTCD sign panels installed on Type III barricades and/or portable fencing panels, and approved equals.
- D. Provide traffic control devices as shown in the plan. Relocate devices during performance of the work, as needed.

2.2 EQUIPMENT

- A. All equipment shall be appropriately sized and suitable for use on paved trails.
- B. All propelled equipment shall be rubber-tired.
- C. Audible and/or visual devices shall be installed on equipment, as appropriate, to provide advance warning to trail users.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. The Contractor shall coordinate a site meeting with the Owner Representative prior to commencing construction activities to generally review the scope of work and to ensure that the requirements of Part 1.3.D are acceptable.
- B. Receive approval to proceed from Owners Representative.

3.2 PERFORMANCE

- A. Using a string trimmer, edger, or similar, remove all encroaching vegetation from the trail edge, exposing the edge.
- B. Using a string trimmer, heat lance, or pick, remove all vegetation from cracks on the trail surface.
- C. Using a flat shovel or similar, remove all accumulated and/or embedded dirt and debris from relative low points, depressions, and poorly drained areas.
- D. Using a walk-behind blower, power broom, or similar, remove all dirt, dust, and debris from the trail surface, across its full width, ensuring that the surface will remain clean until subsequent work activities commence.

3.3 CLEAN UP AND DISPOSAL

- A. Remove and properly dispose of all work-related debris off site in accordance with local and state regulations.

END OF SECTION

SECTION 32 2354

MICRO-SURFACING

PART 1 – GENERAL

1.1 SUMMARY

- A. This section covers the furnishing of all labor, materials, tools, equipment and performance of all work and services necessary or incidental to construct micro-surfacing on a prepared pavement.

1.2 RELATED DOCUMENTS

- A. 2018 Mn/DOT Specification Section 2354, MICRO-SURFACING, shall apply except as modified herein.

1.3 MEASUREMENT AND PAYMENT

- A. Measurement shall be by project square yard for all work described herein or as required by the Contract Documents. No additional measurement shall be made for items associated with the successful execution of the Work, including but not limited to labor, equipment, and materials.
- B. Payment shall be in the amount of the contract unit price, per the conditions of the Contract Documents.
- C. Bituminous material for fog seal, where applicable, shall be considered incidental to the contract.

1.4 PROJECT CONDITIONS

- A. Work shall be performed only when the following conditions are present:
 - 1. Air and surface temperature exceed 50 degrees F, and
 - 2. Relative humidity is less than 60%, and
 - 3. Rain has not fallen in the past 8 hours and
 - 4. Rain is not forecasted in the next 24 hours, and
 - 5. Next day high temperature forecast exceeds 50 degrees F.
- B. Placement of the product shall be performed Monday through Thursday, excluding holidays, during the hours of 7:00 AM to 7:00 PM, unless otherwise approved by the Owner.
- C. All Trails shall be open to the public Friday - Sunday
- D. Contractor shall notify the Owner not less than 2 days prior to commencing work activities, excluding weekends and holidays, such that the Owner can provide adequate advanced trail closure notice to staff and public.
- E. Prior to commencing work, the Contractor shall demonstrate compliance to the following requirements, to the satisfaction of the Owner:
 - 1. Safety:
 - a. Refer to the conditions of the Proposal Form.
 - b. Contractor use of Owner-furnished products or materials shall not relieve the Contractor of any requirements and responsibilities for safety on the project.
 - 2. Maintenance of Traffic:
 - a. The Contractor shall CLOSE the paved trail to public use for the duration of the work, including curing and drying of the product, as shown in the drawings.
 - b. Coordinate all traffic control and closures with the Owner Representative.

- c. All turf trails shall remain open to public use throughout the duration of the work, unless otherwise approved by the Owners Representative. The Contractor shall maintain traffic through the turf trail segment crossings depicted on the Drawings.
 - d. The Contractor shall be responsible for providing means and methods for traffic maintenance that are acceptable to the Owner Representative.
3. Work Hours:
- a. Shall be carefully planned to optimize favorable weather conditions necessary for drying and curing of the product, and shall conform to the conditions of Parts 1.4.A through 1.4.C.

PART 2 - PRODUCTS

2.1 PRODUCTS

- A. Micro-surfacing: Provide a micro-surface complying with Mn/DOT Specification Section 2354. The micro-surface type shall be Surface Course utilizing Type 1 aggregate gradation per Mn/DOT Specification Section 3139.5. Under this contract, the contractor shall not be obligated to apply either Rut Fill or Scratch Course Micro-surfacing. A Job Mix Formula (JMF) complying with Mn/DOT Specification Section 2354.2E shall be provided with the contractor's bid.
- B. Acrylic Adhesion Promoter or Bituminous Tack Coat: Use product approved by the asphalt emulsion product manufacturer if required by the Micro-surfacing JMF in heavily shaded areas.

2.2 AGGREGATE MATERIALS

- A. Aggregate shall consist of a durable manufactured sand, crushed stone or fines, or a combination thereof. The material shall not exceed 7% moisture content and shall be free of all plant or organic matter or debris. Aggregate shall comply with Mn/DOT Specification Section 3139.5.
- B. Aggregate gradation shall comply with Mn/DOT Specification Section 3139.5.B Type 1.
- C. Aggregate mixture rate shall be provided with JMF.

2.3 EQUIPMENT

- A. Distributor vehicle shall be self-propelled, rubber-tired, suitable for trail use, and capable of applying the product across the full width of the trail in a single pass.
- B. Distributor vehicle tank capacity shall not exceed 500 gallons. Not greater than 300 gallons of product shall be present in the tank at any time.
- C. Feeder vehicle shall be properly sized and loaded to travel to designated access points without risking damage to park infrastructure.

2.4 TRAFFIC CONTROL DEVICES

- A. Conform to devices prescribed by the MMUTCD, or approved equal.
- B. Survey ribbon, lathe, or rope shall not be acceptable traffic control devices.
- C. Acceptable traffic control devices include MUTCD sign panels installed on Type III barricades and/or portable fencing panels, or approved equals.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. The Contractor shall coordinate a site meeting with the Owners Representative prior to commencing construction activities to generally review the scope of work and to ensure that the requirements of Part 1.4.D are acceptable.
- B. Conduct work only if the surface has been cleaned and prepared per Section 32 2350 – CLEAN AND PREPARE TRAIL SURFACE.
- C. The Owner may replace the Test Strip requirement (MN/DOT spec 2354.3B.4) for Phase 1, Day 1 construction.
- D. Receive approval to proceed from Owners Representative prior to commencing parts 3.2 through 3.4.

3.2 PREPARATION

- A. Apply Acrylic Adhesion Promoter or Bituminous Tack Coat to all heavily shaded areas and as shown on the plans or as directed by the Owners Representative if required by the Micro-surfacing JMF. Install per manufacturer's recommendations.
- B. The owner may waive MN/DOT specification 2354.3B.6 - Fog seal requirement if the JMF specifically states to apply product to an untreated asphalt surface.

3.3 PERFORMANCE

- A. Conduct work in phases to meet the requirements of Part 1.4.E.2. Install appropriate traffic control devices and move the devices as necessary during each phase.
- B. Apply a uniform coat of Micro-surface to the full trail width. Do not allow product to spill over the trail edge or to pool on the trail surface.
- C. Minimum coverage rate of Micro-surface shall be 0.50 gallons per square yard. Coverage rate shall be achieved with a minimum of two coats.
- D. Speed of distribution vehicle shall be sufficiently slow, to ensure optimal adhesion of the product.
- E. Finished surface of Micro-surface shall be smooth and free from defects caused during installation of material. Defects include, but are not limited to, ridges in surface, scratching of surface, squeegee marks, or contamination of material during placement. All defects shall be promptly corrected utilizing a squeegee to the satisfaction of the owner.
- F. Traffic control devices shall remain in-place until the finished surface has fully cured, dried, and can be opened to traffic without risk of damage to the work.
- G. A one year warranty will be provided to the Owner. Defective work will be corrected within the warranty period.

3.4 CLEAN UP AND DISPOSAL

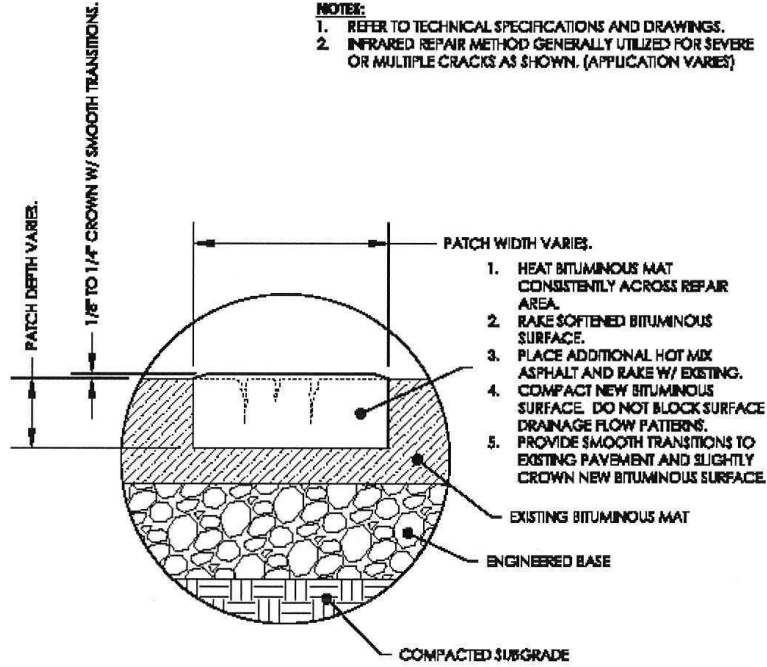
- A. In the event of overspill of the product during installation, confine the product to the trail shoulder and prevent any flow towards surface waters or wetlands. Allow product to dry, and then return to clean up and dispose of the product. Overspill material shall be considered excess product. No compensation shall be made for overspill material.
- B. In the event of pooling of the product during installation, use a squeegee or similar to spread the product uniformly across the surrounding trail surface, provided that the resultant product thickness will cure and dry at the same rate as surrounding areas. If the resultant product thickness will not cure and dry at a reasonable rate, or at the direction of the Owner Representative, spread the product off of the trail edge, and treat it as overspill material.

- C. Remove and properly dispose of all work-related debris and excess product off site in accordance with local and state regulations.
- D. Material beyond the edge of paved trail must be allowed to cure and dry, and then be cleanly detached from the adjacent pavement surface and properly disposed of off-site.

END OF SECTION

NOTES:

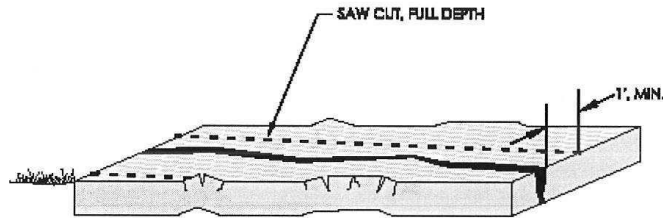
1. REFER TO TECHNICAL SPECIFICATIONS AND DRAWINGS.
2. INFRARED REPAIR METHOD GENERALLY UTILIZED FOR SEVERE OR MULTIPLE CRACKS AS SHOWN. (APPLICATION VARIES)



STR-6 INFRARED PATCH
NTS

NOTES:

1. SAWCUT BITUMINOUS PAVEMENT FULL WIDTH BETWEEN REPAIR EXTENTS (INCIDENTAL).
2. REMOVE 1" OF BITUMINOUS MATERIAL ON BOTH SIDES OF CRACK OR AS FIELD MARKED TO REMOVE ALL HEAVING AND DISTORTION ASSOCIATED WITH CRACK.
3. APPLY BITUMINOUS TACK COAT MATERIAL TO SIDES OF SAW CUT PRIOR TO PLACING NEW BITUMINOUS MATERIAL (INCIDENTAL).
4. PLACE AND COMPACT BITUMINOUS MAT, SPWEA2406 WITH VIBRATORY ROLLER EQUIPMENT THAT IS PROPERLY SIZED TO NOT CAUSE ANY DAMAGE TO ADJACENT TRAILS PER MNDOT SPEC 2340.
5. SHOULDER WITH TOPSOIL (AMENDED AND LOOSENED), RESTORE SEED (MNDOT 25-141) AND MULCH OR BLANKET AS DIRECTED BY OWNER AND PER MNDOT SPEC 2672.
6. DETAIL REFLECTS ACCEPTABLE MEANS AND METHODS. CONTRACTOR MAY SUBMIT ALTERNATIVE MEANS AND METHODS TO OWNER FOR REVIEW AND APPROVAL.
7. ALL CONSTRUCTION RELATED DEBRIS, VEGETATION AND CONTAMINATED SOILS SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED.

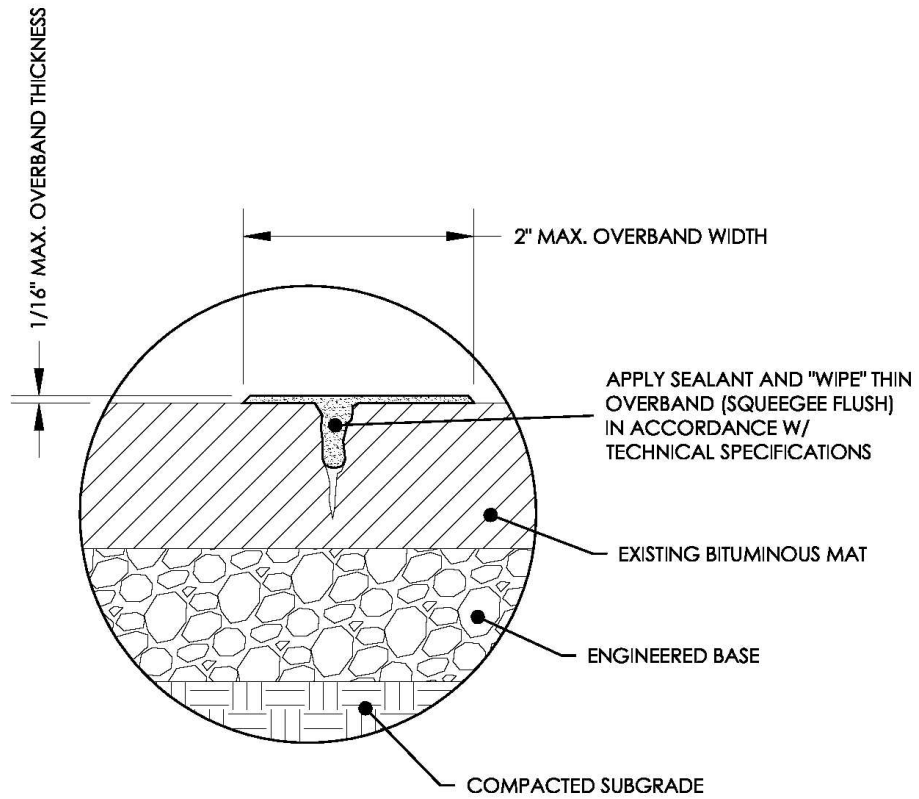


BITUMINOUS TRAIL CRACK REPAIR: 1" OR GREATER

NTS

NOTES:

1. REFER TO TECHNICAL SPECIFICATIONS AND DRAWINGS.
2. DO NOT ROUT.
3. JOINT AND CRACK SEALANT:
 - A. CRAFCO ASPHALT RUBBER PLUS #34241
4. APPLY SAND OR 1-PLY PAPER AS PER TECHNICAL SPECIFICATIONS.

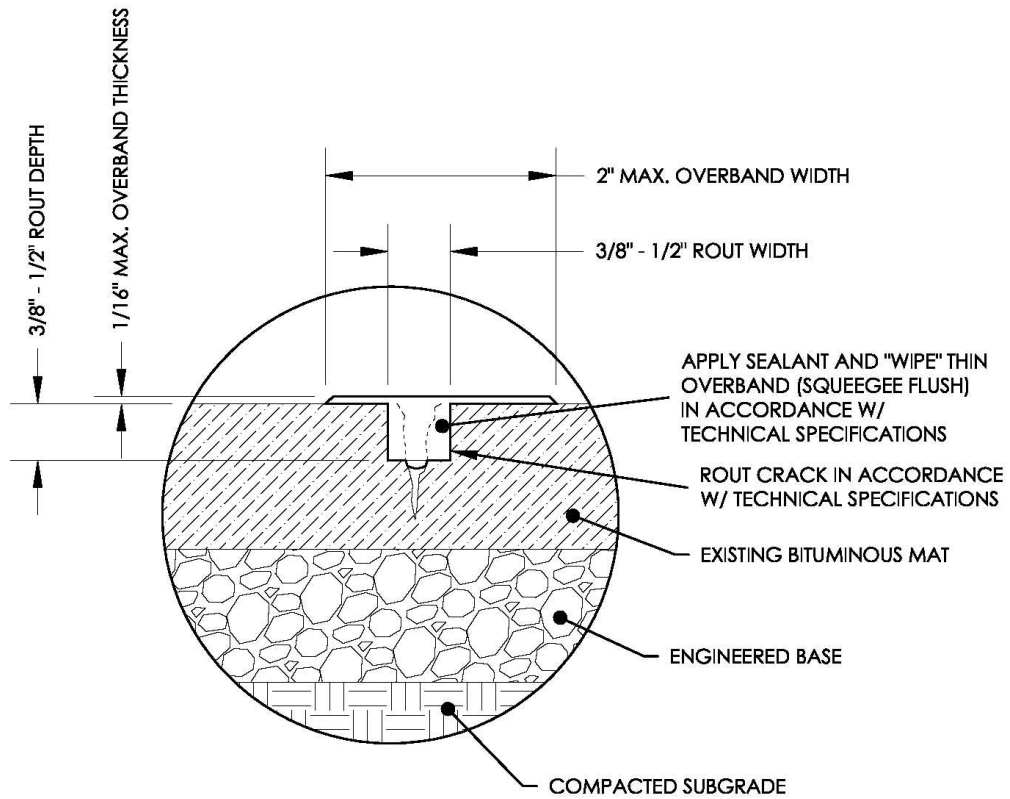


BITUMINOUS TRAIL CRACK REPAIR: 1/4" - 1/2" NON-TRANSVERSE

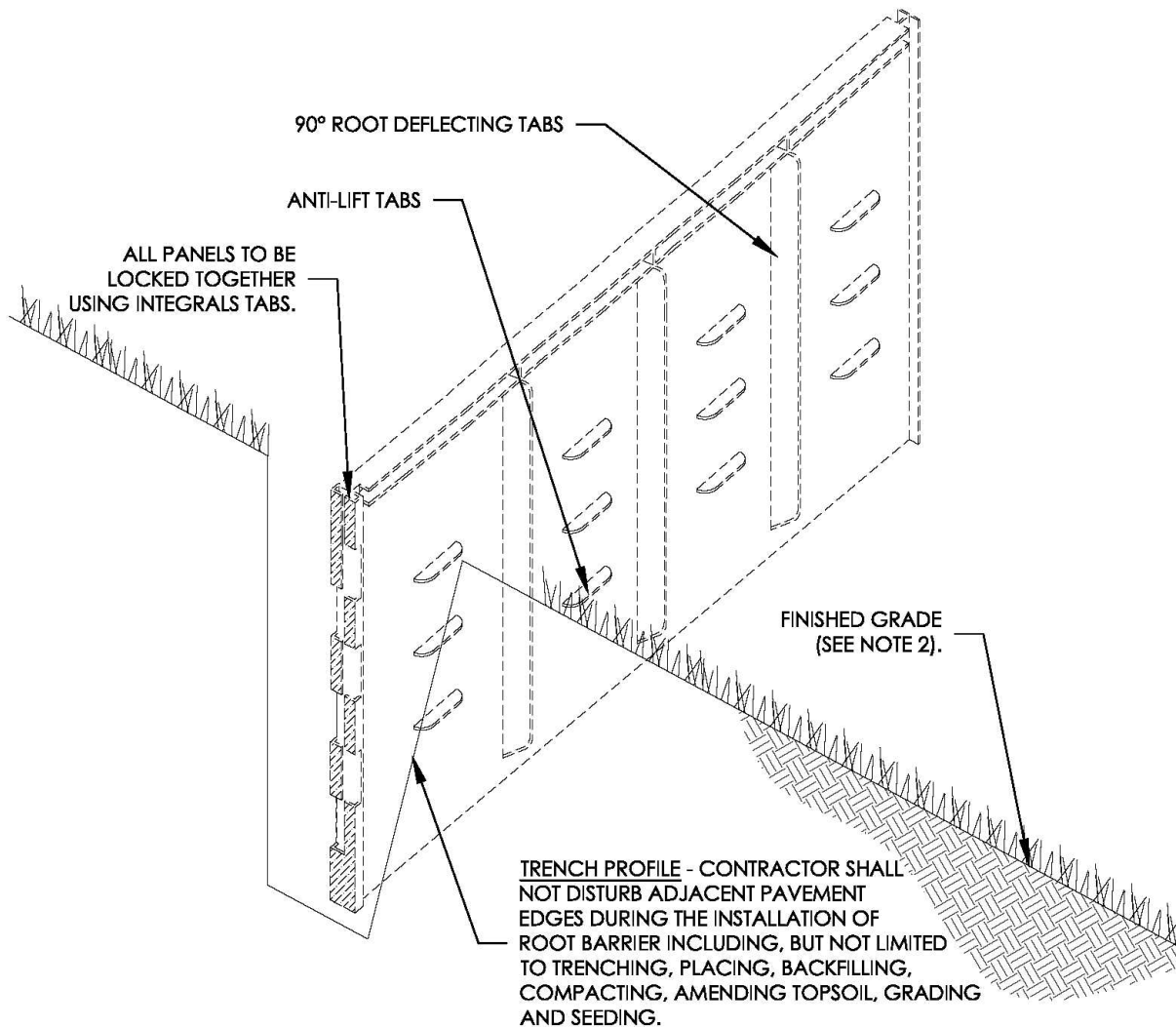
NTS

NOTES:

1. REFER TO TECHNICAL SPECIFICATIONS AND DRAWINGS.
2. JOINT AND CRACK SEALANT:
 - A. CRAFCO ASPHALT RUBBER PLUS #34241
3. APPLY SAND OR 1-PLY PAPER AS PER TECHNICAL SPECIFICATIONS.



TR-3 BITUMINOUS TRAIL CRACK REPAIR: 1/4" - 1/2" TRANSVERSE
 #####
 NTS



NOTES:

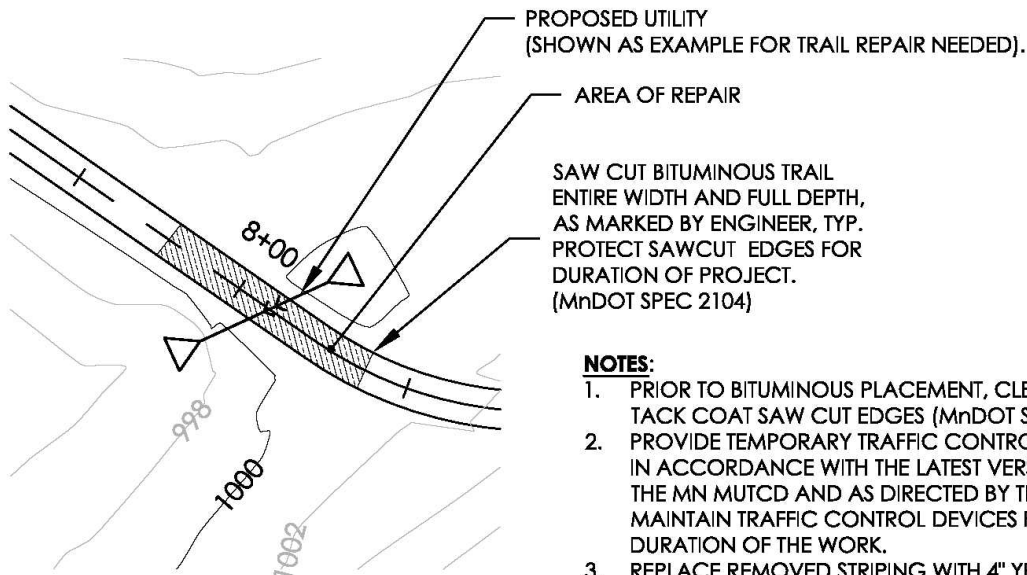
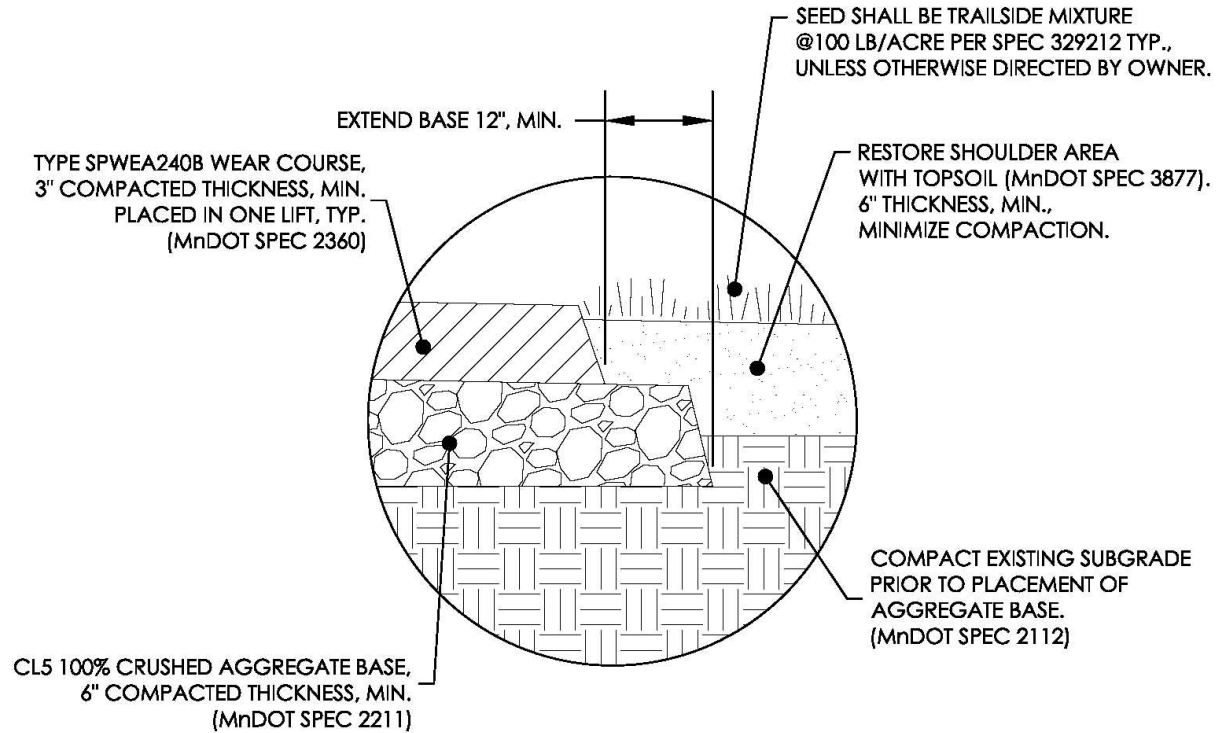
1. ROOT BARRIER USED SHALL BE 18" IN DEPTH, UNLESS OTHERWISE SPECIFIED IN CONTRACT. (SEE PLANS FOR LENGTH OF ROOT BARRIER).
2. ROOT BARRIER SHALL BE PLACED SO THAT TOP EDGE SHALL BE LOCATED 1/2" BELOW FINISHED GRADE.
3. SIDE WITH TABS SHALL BE FACING VEGETATION.
4. INSTALL ROOT BARRIER 3' OFF EDGE OF TRAIL, TYP. PER MANUFACTURERS GUIDELINES AND CONTRACT DOCUMENTS. WHEN INSTALLED ADJACENT TO EXISTING IMPROVED SURFACES, UTILIZE MEANS AND METHODS TO PROTECT THE EXISTING INFRASTRUCTURE FROM DAMAGE.
5. ROOT BARRIER SHALL BE MANUFACTURED BY DEEP ROOT PARTNERS OR APPROVED EQUAL.



ROOT BARRIER



NTS



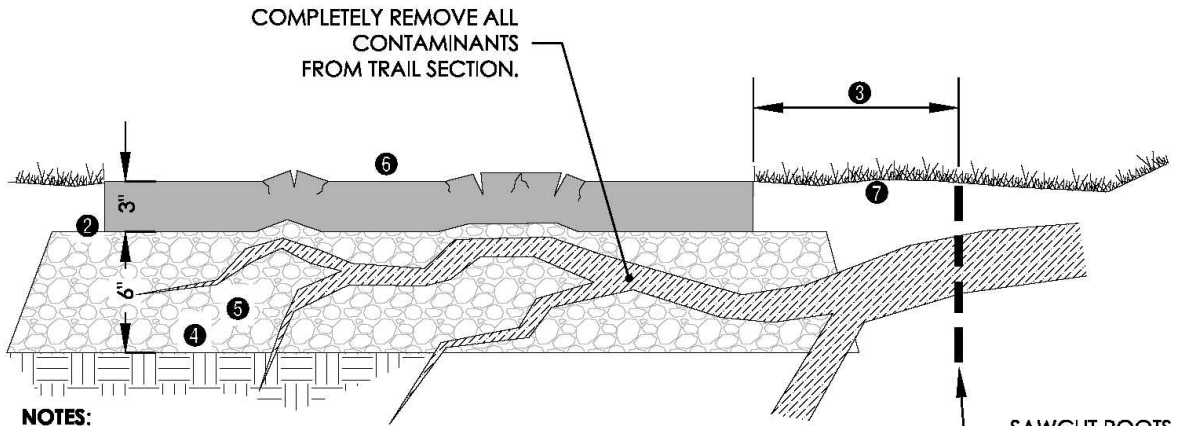
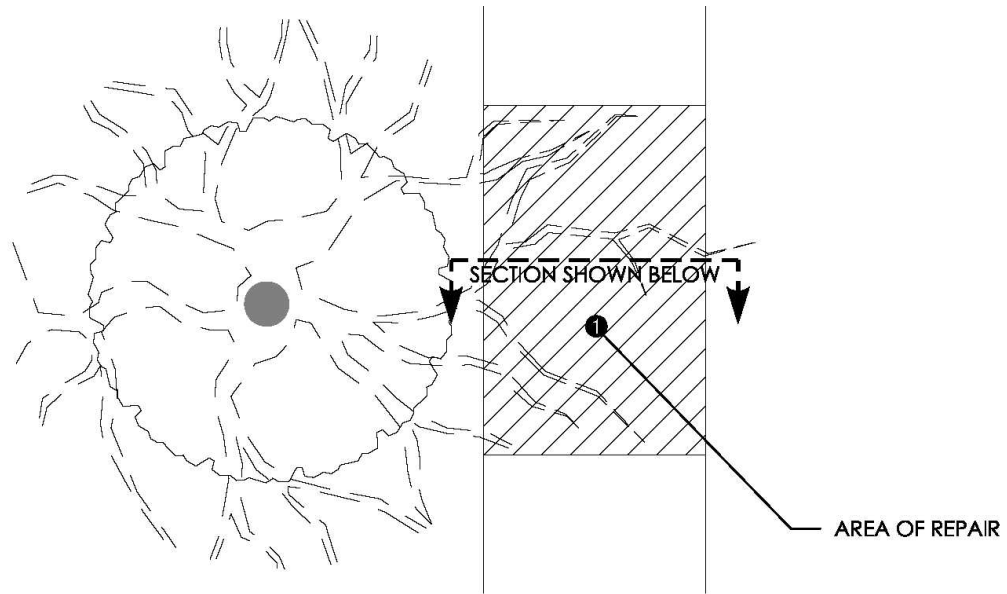
NOTES:

1. PRIOR TO BITUMINOUS PLACEMENT, CLEAN AND TACK COAT SAW CUT EDGES (MnDOT SPEC 2357).
2. PROVIDE TEMPORARY TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE LATEST VERSION OF THE MN MUTCD AND AS DIRECTED BY THE OWNER. MAINTAIN TRAFFIC CONTROL DEVICES FOR THE DURATION OF THE WORK.
3. REPLACE REMOVED STRIPING WITH 4" YELLOW LATEX PAINT, TYP. MATCH PREEXISTING PAVEMENT MARKINGS.

SAMPLE PLAN

TR-9 TYPICAL BITUMINOUS TRAIL REPAIR SECTION

NTS



NOTES:

1. SAWCUT BITUMINOUS PAVEMENT FULL WIDTH BETWEEN REPAIR EXTENTS.
2. REMOVE BITUMINOUS PAVEMENT AND CONTAMINATED BASE MATERIAL.
3. SAW CUT TREE ROOTS 2' FROM TRAIL EDGE, MIN. INSTALL ROOT BARRIER AS DIRECTED BY ENGINEER/CONTRACT DOCUMENTS. (SEE DETAIL GEN-4).
4. RECOMPACT SUBGRADE.
5. PLACE AND COMPACT CL5 AGGREGATE BASE, PER MnDOT SPEC 221.1.
6. PLACE AND COMPACT BITUMINOUS MAT, SPWEA240B WITH VIBRATORY ROLLER EQUIPMENT THAT IS PROPERLY SIZED, AS TO NOT CAUSE ANY DAMAGE TO ADJACENT TRAILS PER MnDOT SPEC 2360.
7. SHOULDER WITH TOPSOIL (AMENDED AND LOOSENED), RESTORE SEED (MnDOT 25-141) AND MULCH OR BLANKET AS DIRECTED BY OWNER AND PER MnDOT SPEC 2572.
8. DETAIL REFLECTS ACCEPTABLE MEANS AND METHODS. CONTRACTOR MAY SUBMIT ALTERNATIVE MEANS AND METHODS TO OWNER FOR REVIEW AND APPROVAL.
9. ALL CONSTRUCTION RELATED DEBRIS, VEGETATION AND CONTAMINATED SOILS SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.

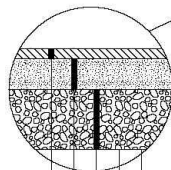
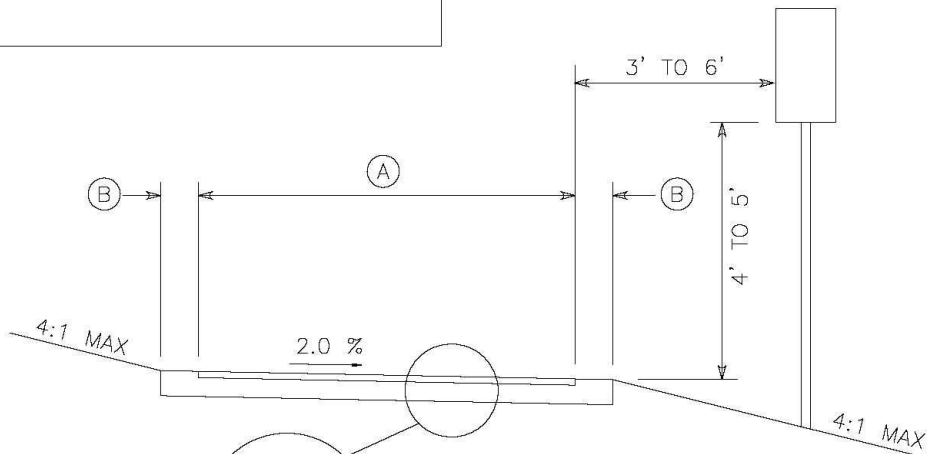
SAWCUT ROOTS
CLEANLY TO
DEPTH OF 18"
MIN.

TR-10 TRAIL REPAIR - TREE ROOT DAMAGE

NTS

BITUMINOUS TRAIL DESIGN

- Ⓐ - PATHWAY WIDTH 10 ft
- Ⓑ - SHOULDER WIDTH 1 ft MIN.



- 3" SP 9.5 WEARING COURSE MIXTURE (2.B)
- 6" CL 5 AGGREGATE BASE (MODIFIED)
- 12" SELECT GRANULAR BORROW
- 6" MINIMUM SCARIFY AND RE COMPACT (SUBGRADE PREP)
- FABRIC IF DIRECTED BY ENGINEER

NOTES:

1. TRAIL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE CITY OF MONTICELLO GENERAL SPECIFICATIONS AND STANDARD DETAIL PLATES.
2. PEDESTRIAN RAMPS SHALL BE CONSTRUCTED WITH TRUNCATED DOMES AND CONFORM TO ADA REQUIREMENTS.
3. MODIFY SURFACING, BASE, AND SUBGRADE DESIGN BASED ON EXPECTED VEHICULAR USE AND SUBGRADE SOILS.



Title:

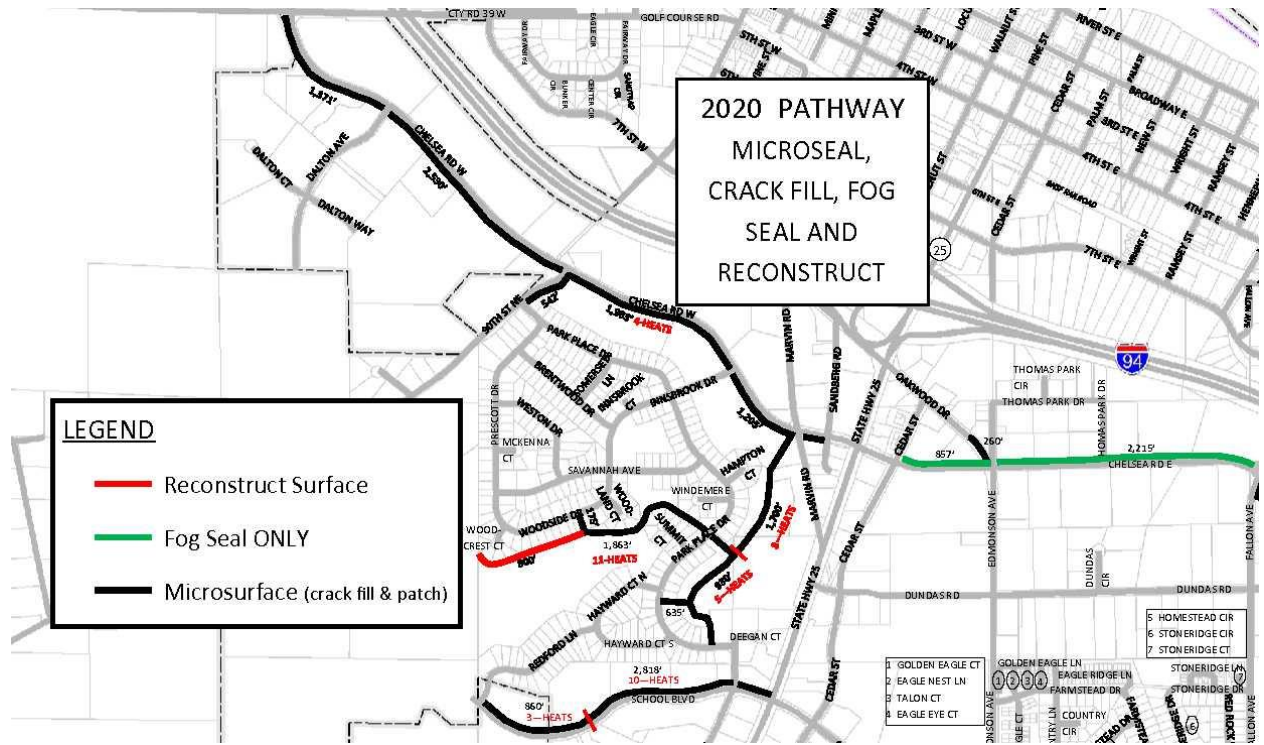
Typical Trail Section

Date: 03-05

Plate No.

Revised: 03-15

5013



2020 INSPECTIONS																	
SECTION	DESCRIPTION/LOCATION	LENGTH	RATING	CRACK FILL	DISTANCE BETWEEN CRACKS	ASPHALT KNUCKLING	HOLES UNDERMIND	SURFACE CRACK SEALED	SURFACE FOG SEALED	SURFACE CHIP SEALED	ADDITIONAL COMMENTS	YEAR OF INSP	YEAR OF INSP - 2ND	YEAR OF INSP- 3RD	YEAR OF INSP- 4TH	YEAR OF INSP- 5TH	YEAR OF INSP- 6TH
NE01P	7TH ST E (CEDAR ST TO WASHINGTON ST)	2211	5	YES	AVG 15 FT	YES	NO				CRACKS, TRIM TREES, REPAIR AROUND 4 WATER SHUT OFF, FOG SEAL	2011	2013	2017			
NE02P	7TH ST E (WASHINGTON ST TO WEST SIDE OF ENTRANCE TO ST. HENRY'S CHURCH)	1720	6	YES	AVG 20 FT	NO	NO				CRACKS, TRIM TREES, BE AWARE OF CABLE BOX, FOG SEAL	2011	2013	2017			
NE04P	BROADWAY E - EAST END OF MIDDLE SCHOOL TO HIGHLAND WAY	3190	7	YES	AVG 300 FT	NO	NO				CRACKING NEAR MMS EAST DRIVEWAY, TRIM TREES, BLACKTOP WATER SHUT OFF, FOG SEAL, ACI 2015	2011	2013	2017			
NE05P	PATHWAY TO SWAN VIEWING AREA (MISSISSIPPI DR NORTH TO RIVER)	180	6	YES	AVG 15 FT	NO	NO				CRACKS, FOG SEAL	2011	2013	2017			
NE06P	CSAH 18 (WEST SIDE FROM 7TH ST E TO BROADWAY E)	590	8	YES	AVG 250 FT	NO	NO				CRACKS, BE AWARE OF LANDSCAPE ROCK & HIGH LINE POLES, FOG SEAL, ACI 2015	2011	2013	2017			
NE07P	CSAH 39 E (EAST SIDE FROM BROADWAY E TO HART BLVD)	575	7	YES	AVG 80 FT	NO	NO				CRACKS, BE AWARE OF: WATER SHUT OFF, FIRE HYDRANT, 4 - HIGH LINE POLES, FOG SEAL	2011	2013	2017			
NE08P	BROADWAY E (SOUTH SIDE FROM CSAH 18 TO MEADOW OAK AVE)	2650	7	YES	AVG 400 FT	NO	NO	2012	2012		CRACKS, FOG SEAL, ACI 2015	2011	2013	2017			
NE09P	MILL RUN RD TO RIVER FOREST DR	1990	6	YES	40 FT	YES	NO				CRACKS, TRIM TREES, STUMP 2' OFF PATH, SHED & BRICKS 1' OFF PATH, FOG SEAL	2011	2013	2017			
NE10P	RIVER MILL PARK (ENTRANCE OFF OF MILL TRAIL LN)	265	6	YES	AVG 6 FT	YES	NO				CRACKS, FOG SEAL	2011	2013	2017			
NE11P	GILLARD AVE WEST TO RIVER FOREST DR	336	8	YES	100 FT	NO	NO				CRACKS, TRIM TREES, FOG SEAL	2011	2013	2017			
NE12P	GILLARD AVE (WEST SIDE FROM RIVER FOREST DR TO 95TH ST)	1142	7	YES	200 FT	NO	NO	2010	2010		CRACKS, BRICKS NEAR PATH, REPAIR AROUND WATER SHUT OFF	2011	2013	2017			
NE13P	95TH ST (SOUTH SIDE FROM GILLARD TO HAUG AVE - INTO SUNSET PONDS PARK)	1704	8	YES	300 FT	NO	NO				CRACKS, FOG SEAL, 4 - SINK HOLES, 5X2 AREA OF SINK HOLES	2011	2013	2017			
NE14P	SUNSET PONDS (94TH ST TO GINGHAM CT)	1515	7	YES	200 FT	YES	NO				CRACKS, ELECTRICAL BOX CABINET 2' OF PATH, MANHOLE COVER, FOG SEAL, 11 - SINK HOLES	2011	2013	2017			
NW01P	BROADWAY W (SOUTH SIDE FROM ROD & GUN CLUB) TO CHESTNUT	8017	5	YES	AVG 175 FT	3 SPOTS	3 SPOTS	2010	2010		REMOVE 1 STUMP, ACI 2014, ACI PEELING IN PINES & AT OTTER CREEK PARK	2011	2013	2017			
NW02P	RAILROAD TRACKS (MAPLE ST TO WALNUT ST)	1182	3	YES	AVG 10 FT	YES	NO				CRACKS, ADD BLACKTOP WHERE MISSING, REPAIR AREA HEAVING, TRIM TREES, FOG SEAL, 2468 NEEDS REDONE TREE ROOTS	2011	2013	2017			
NW03P	RAILROAD TRACKS (WALNUT ST TO PINE ST)	321	5	YES	AVG 15 FT	NO	YES				CRACKS, REPAIR SINK HOLE, BE AWARE OF ELECTRICAL BOX 2' OFF PATH, FOG SEAL	2011	2013	2017			
NW04P	FRONT ST (NORTH SIDE FROM LOCUST TO WALNUT ST)	432	7	YES	AVG 30 FT	NO	NO	2010			OK - 2013; MINOR CRACKS	2011	2013	2017			
NW05P	FRONT ST PIER (FROM STREET TOWARD RIVER)	285	6	YES	AVG 30 FT	NO	NO	2010	2010		MINOR CRACKING - APPROX 10 FT FROM DOCK	2011	2013	2017			
NW06P	WEST BRIDGE PARK (ALONG RIVER FROM WALNUT ST TO RIVER BRIDGE)	450	6	YES	AVG 50 FT	1 SPOTS	NO	2010			10x10 REPAIR - HEAVING	2011	2013	2017			
NW07P	WEST BRIDGE PARK (WITHIN PARK FROM PARKING LOT TO COMMUNITY ROOM)	234	6	NO	AVG 80 FT	NO	NO	2010			REPAIR HEAVING, FOG SEAL	2011	2013	2017			
NW08P	COUNTRY CLUB PARK (WEST OF EAGLE CIR)	275	7	YES	4 CRACK	YES	NO				CRACKS, FOG SEAL, 12X8 REPAIR - HEAVING	2011	2013	2017			
NW09P	EAST BRIDGE PARK (UNDER BRIDGE, ALONG RIVER TO PARKING LOT)	395	7	YES	AVG 50	NO	NO				OK	2011	2013	2017			
NW10P	CTY RD 75 - NORTH SIDE - EAST TO TRAIL HEAD START	1715	9	NO	NO CRACKS	NO	NO				NEW	2013	2017				
NW11P	ST TO RIVER ST WEST	1778	9	NO	NO CRACKS	NO	NO				NEW	2013	2017				
NW12P	7TH STREET WEST - MINNESOTA ST WEST TO ELM ST	1280	10	NO	NO CRACKS	NO	NO				NEW	2017					
SE01P	STATE HWY 25 SOUTH OF I94 (EAST SIDE FROM OAKWOOD DR TO CHELSEA RD)	756	8	YES	AVG 58 FT	NO	NO	2010			CRACKS, FOG SEAL - 2013- NO CRACKS; 2015 - 13 NEW CRACKS	2011	2013	2015	2017		

2020 INSPECTIONS																	
SECTION	DESCRIPTION/LOCATION	LENGTH	RATING	CRACK FILL	DISTANCE BETWEEN CRACKS	ASPHALT KNUCKLING	HOLES UNDERMIND	SURFACE CRACK SEALED	SURFACE FOG SEALED	SURFACE CHIP SEALED	ADDITIONAL COMMENTS	YEAR OF INSP	YEAR OF INSP - 2ND	YEAR OF INSP- 3RD	YEAR OF INSP- 4TH	YEAR OF INSP- 5TH	YEAR OF INSP- 6TH
SE02P	STATE HWY 25 SOUTH OF 194 (EAST SIDE FROM CHELSEA RD DUNDAS RD)	1315	8	YES	AVG 54 FT	NO	NO	2010	2010		CRACKS, FOG SEAL - 2013 - 4 CRACKS; 2015 - 24 NEW CRACKS	2011	2013	2015	2017		
SE03P	STATE HWY 25 SOUTH OF 194 (EAST SIDE DUNDAS RD TO SCHOOL BLVD)	1164	8	YES	AVG 43 FT	NO	NO	2010			CRACKS, FOG SEAL - 2013 - 5 CRACKS; 2015 - 27 NEW CRACKS	2011	2013	2015	2017		
SE04P	STATE HWY 25 SOUTH OF 194 (EAST SIDE SCHOOL BLVD SOUTH 1722 FEET)	1722	8	YES	AVG 44 FT	NO	NO	2010			2013 - 11 CRACKS; 2015 - 39 NEW CRACKS	2011	2013	2015	2017		
SE05P	CHELSEA RD E (FROM CEDAR ST TO EDMONSON AVE)	857	7	YES	AVG 71 FT	NO	NO				CRACKS, FOG SEAL - 2013 - 3 CRACKS; 2015 - 12 CRACKS	2011	2013	2015	2017		
SE06P	OAKWOOD DR CUL DE SAC - SE END TO EDMONSON AVE	260	7	YES	AVG 130 FT	NO	NO				CRACKS, FOG SEAL - 2013 - 0 CRACKS; 2015 - 2 NEW CRACKS		2013	2015	2017		
SE07P	SCHOOL BLVD (STATE HWY 25 EAST TO CEDAR ST)	383	7	YES	AVG 60 FT	NO	YES	2012			CRACKS, BE AWARE OF LANDSCAPING, FOG SEAL - 2013; 2015 - 5 CRACKS	2011	2013	2015	2017		
SE08P	SCHOOL BLVD (NORTH SIDE - CEDAR ST TO EDMONSON AVE)	1755	7	YES	AVG 30 FT	NO	NO	2012			CRACKS, FOG SEAL - 2015 - 59 CRACKS, ROCKS, TREES; 2013 - 13 CRACKS, 6X4 NEXT TO PATHWAY	2011	2013	2015	2017		
SE09P	SCHOOL BLVD (SOUTH SIDE - EAST OF ENTRANCE TO QUAD DEV TO EDMONSON AVE)	733	7	YES	AVG 61 FT	NO	NO	2012			CRACKS, BE AWARE OF LANDSCAPING, FOG SEAL, MANHOLE COVER	2011	2012	2013	2015	2017	
SE10P	EDMONSON AVE (WEST SIDE - SCHOOL BLVD TO ORCHARD CIR)	986	8	YES	AVG 98 FT	NO	NO				CRACKS, FOG SEAL - 2013 - 2 CRACKS; 2017 - 10 CRACKS	2011	2012	2013	2015	2017	
SE11P	EDMONSON AVE (WEST SIDE - ORCHARD CIR 623' SOUTH)	623	7	YES	AVG 45 FT	NO	NO				CRACKS, ADD BLACKTOP TO MAN HOLE COVER, FOG SEAL - WORK AROUND MANHOLE - 2013; 8 SINKHOLE	2011	2012	2013	2015	2017	
SE12P	EDMONSON AVE (WEST SIDE - APPROX 93' NORTH OF 89TH ST TO APPROX 168' SOUTH OF 87TH ST)	1196	7	YES	AVG 400 FT	NO	YES				2013 - 2 CRACKS; 2017 - 3 CRACKS, 1 SINKHOLE AND 1 SPOT MISSING BLACKTOP	2011	2012	2013	2015	2017	
SE13P	SCHOOL BLVD (NORTH SIDE EDMONSON TO COUNTRY AVE)	589	10	NO	NO CRACKS	NO	NO	2012			2015 - NEW SURFACE	2011	2012	2013	2015	2017	
SE14P	SCHOOL BLVD (COUNTRY AVE TO FARMSTEAD DR)	1010	10	NO	NO CRACKS	NO	NO	2012			2015 - NEW SURFACE, ROCKS, ELECTRIC BOX, TRIM TREES, FOG SEAL	2011	2012	2013	2015	2017	
SE15P	SCHOOL BLVD (NORTH SIDE - FARMSTEAD DR TO STONERIDGE DR)	362	10	NO	NO CRACKS	NO	NO	2012			BE AWARE OF FIRE HYDRANT & FENCE, FOG SEAL - 2015 NEW SURFACE, 2013 - 3 NEW CRACKS	2011	2012	2013	2015	2017	
SE16P	SCHOOL BLVD (NORTH SIDE STONERIDGE DR TO FALLON AVE)	558	10	NO	NO CRACKS	NO	NO	2012			2015 - NEW SURFACE	2011	2012	2013	2015	2017	
SE17P	SCHOOL BLVD (SOUTH SIDE - FARMSTEAD AVE TO FALLON AVE)	917	4	YES	Multi-CRACKS - AVG 70 FT	YES	YES	2012			34" X 16" - 2013 - 4 HOLES; 2015 - 6 NEW CRACKS; 2017 - 13 NEW CRACKS	2011	2012	2013	2015	2017	
SE18P	FALLON AVE (WEST SIDE - SCHOOL BLVD SOUTH TO FARMSTEAD AVE)	2060	6	YES	AVG 41 FT	NO	NO	2012			2' X 2' AND 10" X 6" - 2013 - NO CRACKS; 2015 - 50 NEW CRACKS, 3 SINK HOLES; 2017 - 5 NEW CRACKS, 10 NEW SINK HOLES	2011	2012	2013	2015	2017	
SE19P	SCHOOL BLVD (NORTH SIDE - FALLON AVE TO CSAH 18)	3505	7	YES	13 NEW CRACKS	NO	NO	2012	2273 FT DONE IN 2012		CRACKS, BE AWARE OF CONCRETE WALL WITHIN FEET OF PATHWAY, FOG SEAL	2011	2012	2013	2015	2017	
SE20P	SCHOOL BLVD (SOUTH SIDE - FALLON AVE 950' EAST TO SIDEWALK)	950	10	NO	NO CRACKS	NO	NO				2015 - NEW SURFACE	2011	2012	2013	2015	2017	
SE21P	STARLING NORTH TO FALCON	325	4	YES	AVG 7 FT	YES	NO				CRACKS, REPAIR HEAVING, TRIM TREES, FOG SEAL 8X12, 8X15	2011	2012	2013	2015	2017	
SE22P	MALLARD LN SOUTH 320'	320	3	YES	AVG 24 FT	YES	NO				2017 - SOUTH 320 FT - 3 SPOTS HEAVING 29X8, 18X8 AND 18X8; CRACKS, REPAIR HEAVING, FOG SEAL, SHED NEXT TO TRAIL - TREE TRIM	2011	2012	2013	2015	2017	
SE23P	MOCKINGBIRD LN TO ORIOLE LN - CARDINAL HILLS TOT LOT	412	6	YES	AVG 25 FT	NO	NO				CRACKS, TRIM TREES, FOG SEAL	2011	2012	2013	2015	2017	
SE24P	CHELSEA RD E (NORTH SIDE - FALLON AVE TO CSAH 18)	4536	7	YES	AVG50 FT	NO	5 SPOTS				CRACKS, BE AWARE OF WATER SHUT OFF & MANHOLES, FOG SEAL	2011	2012	2013	2016	2017	
SE25P	CSAH 18 (WEST SIDE FROM CHELSEA RD TO PEDESTRIAN BRIDGE)	475	7	YES	AVG 40 FT	NO	NO				CRACKS, FOG SEAL, MANHOLE	2011	2013	2016	2017		

2020 INSPECTIONS																	
SECTION	DESCRIPTION/LOCATION	LENGTH	RATING	CRACK FILL	DISTANCE BETWEEN CRACKS	ASPHALT KNUCKLING	HOLES UNDERMIND	SURFACE CRACK SEALED	SURFACE FOG SEALED	SURFACE CHIP SEALED	ADDITIONAL COMMENTS	YEAR OF INSP	YEAR OF INSP - 2ND	YEAR OF INSP- 3RD	YEAR OF INSP- 4TH	YEAR OF INSP- 5TH	YEAR OF INSP- 6TH
SE26P	CSAH 18 (WEST SIDE FROM PED BRIDGE TO 7TH ST E)	150	9	NO	NO NEW CRACKS	NO	NO	2016	2016		2016 - ACI	2011	2013	2016	2017		
SE27P	CSAH 18 (WEST SIDE FROM CHELSEA RD TO SCHOOL BLVD)	1218	7	NO	AVG 93 FT	NO	NO	2012	2012		CRACKS, TRIM TREES, FOG SEAL; 2016 - 13 NEW CRACKS	2011	2012	2013	2016	2017	
SE28P	CSAH 18 (EAST SIDE - CHELSEA RD TO MEADOW OAK AVE (ROUND-A-BOU)	633	9	NO	NO CRACKS	NO	NO				BE AWARE OF MANHOLE COVERS, FOG SEAL	2011	2013	2016	2017		
SE29P	CSAH 18 (EAST SIDE - MEADOW OAK AVE TO JASON AVE)	589	8	NO	2 CRACKS	NO	NO	2012	2012		CRACKS, BE AWARE OF MANHOLE COVERS, FOG SEAL	2011	2012	2013	2015	2017	
SE30P	JASON AVE (NORTH SIDE - CSAH 18 TO EASTWOOD LN)	1905	8	YES	17 CRACKS	NO	NO	2012	2012		2016 - ACI, 5" X 9", 4" X 8" AND 5" X 11"; 2015 - 10+ NEW CRACKS, ACI 2016	2011	2012	2013	2015	2017	
SE31P	"Y" FROM PATHWAY SECTION SE30P - TO EASTWOOD CIR	53	8	YES	NO CRACKS	NO	NO	2012	2012		2016 - ACI, BE AWARE OF MULCH & ROCK,	2011	2012	2013	2015	2017	
SE32P	EASTWOOD CIR NORTH TO MEADOW OAK AVE	316	6	YES	2 CRACKS	NO	NO	2012	2012		2016 - ACI, CRACKS, TRIM TREES, BE AWARE OF MULCH & ROCKS, FOG SEAL	2011	2012	2013	2015	2017	
SE33P	MEADOW OAK LN TO NORTH SIDE OF RR TRACKS	217	8	NO	NO NEW CRACKS	NO	NO	2012	2012		2016 - ACI, CRACKS, FOG SEAL; 2015 - 5 NEW CRACKS,	2011	2012	2013	2015	2017	
SE34P	RAILROAD TRACKS - SOUTH SIDE - ALONG BROADWAY E FROM MEADOW OAK AVE EAST	1781	7	YES	5 CRACKS	YES	YES	2012	2012		2017 - 5 NEW CRACKS, 2016 - ACI, 2015 - 20 NEW CRACKS, TRIM TREES, BE AWARE OF MAN HOLE COVER, TRIM TREES, FOG SEAL - 2013; 2 SINKHOLES	2011	2012	2013	2015	2017	
SE35P	MEADOW OAKS - BRIAR OAKES BLVD EAST TO MEADOW OAK DR	1706	7	YES	3 CRACKS	NO	NO	2012	2012		2017 - 3 NEW CRACKS, 2015 - 15 NEW CRACKS, 2" X 5" AND 3" X 7"	2011	2012	2013	2015	2017	
SE36P	MEADOW OAKS - OFF OF SECTION SE35P TO RED OAK LN	268	4	YES	AVG 15 FT	YES	NO				2017 -ACI, CRACKS, REPAIR HEAVING, FOG SEAL, TREE TRIM	2011	2013	2015	2017		
SE37P	MEADOW OAK DR (STEMS OFF TO THE EAST)	200	8	YES	3 CRACKS	NO	NO				2017 - ACI, LEO WALL, NO PARKING SIGNS, 2015 - 3 NEW CRACKS	2011	2013	2015	2017		
SE38P	BETWEEN MEADOW OAK DR & OAK RIDGE DR	1575	5	YES	AVG 80 FT	YES	NO				2017 - ACI, 5 SPOTS HEAVING,CRACKS, REPAIR HEAVING, BE AWARE OF LANDSCAPE ITEMS, TRIM TREES, FOG SEAL	2011	2013	2015	2017		
SE39P	CONNECT SECTION SE38P TO OAK RIDGE DR	164	6	YES	AVG 20 FT	NO	NO				2017 - ACI, CRACKS, FOG SEAL	2011	2013	2015	2017		
SE40P	CONNECTING SECTION 38P TO MEADOW OAK DR	140	7	YES	45 FT	NO	NO				2017 - ACI, 3 CRACKS; OK - 2013; 2 CRACKS	2011	2013	2015	2017		
SE41P	SOUTH OF EAST OAK DR	1200	6	YES	60 FT	NO	YES				2017 - ACI, 15 SINK HOLES; CRACKS, FOG SEAL, 2015 - 5 SINK HOLES, TREE TRIMMING	2011	2013	2015	2017		
SE42P	NORTH OF OAKVIEW LN TO RED OAK LN	335	10	YES	2 CRACKS	NO	NO				2017 - ACI, CRACKS, REPAIR POT HOLES, REPAIR PAVEMENT, TRIM TREES, FOG SEAL - 2013; BRAND NEW PATHWAY	2011	2013	2015	2017		
SE43P	WEST OF MEADOW LN TO BRIAR OAKES BLVD	492	9	YES	2 CRACKS	NO	NO				2017 - ACI, TRIM SHRUBS	2011	2013	2015	2017		
SE44P	SOUTH OF OAK RIDGE DR	212	3	YES	AVG 10 FT	YES	YES				2017 - ACI, 1 SINK HOLE; CRACKS, REPAIR LAST 20 FT OF PATHWAY, FOG SEAL	2011	2013	2015	2017		
SE45P	CONNECTING SHADY OAK CIR & HAWTHORNE PL N	247	4	YES	AVG 8 FT	YES	NO				2017 - ACI, CRACKS, REPAIR HEAVING, BE AWARE OF WATER SHUT OFF, FOG SEAL, 2X21, TREE TRIMMING, 3 OTHER HEAVING SPOTS	2011	2013	2015	2017		
SE46P	CSAH 18 (SOUTH SIDE FROM SPIRIT HILLS RD TO TROY MARQUETTE DR)	2815	6	YES	AVG 30 FT	NO	YES				CRACKS, REPAIR 9 SINK HOLES, LOWER SHUT OFF VALVE, BE AWARE OF ROCKS & SHED, FOG SEAL, TREE TRIMMING	2011	2013	2015	2017		
SE47P	EAST OF SPIRIT HILLS RD - SOUTH OF OVERLOOK LN	580	5	YES	AVG 64 FT	YES	YES				2017 - 5 SINK HOLES, 2 HEAVING SPOTS, LAST 10 FEET - GOOD - TREE TRIMMING, CRACKS, FOG SEAL	2011	2013	2015	2017		
SE48P	NORTH OF WILDWOOD WAY	375	5	YES	AVG 37 FT	NO	NO				2017 - ACI, TRIM TREES,	2011	2013	2015	2017		
SE49P	CSAH 18 (JASON AVE NORTH SIDE FROM OAKVIEW CT TO OAK RIDGE CIR	1068	8	YES	HORIZONTAL CRACKS	NO	NO				2017 - TRIM TREES, 2013 - NEW PATHWAY; 2015 - CRACKING HORIZONTAL ON EDGES	2011	2013	2015	2017		
SE50P	CSAH 18 - SOUTH SIDE FROM WILDWOOD BLVD TO GATEWATER DR	1418	5	YES	AVG 80 FT	NO	NO				CRACKS, REPAIR LOW AREAS, FOG SEAL	2011	2013	2016	2017		
SE51P	FENNING AVE NE - EAST SIDE FROM 86TH ST TO 85TH ST	580	4	YES	AVG 30 FT	YES	NO				2017 - HEAVING BY PINES, 100 FT ??, TREE TRIMMING, CRACKS, FOG SEAL	2011	2013	2016	2017		
SE52P	CSAH 18 PED BRIDGE	316	9	NO	NO CRACKS	NO	NO				OK	2011	2013	2016	2017		

2020 INSPECTIONS																	
SECTION	DESCRIPTION/LOCATION	LENGTH	RATING	CRACK FILL	DISTANCE BETWEEN CRACKS	ASPHALT KNUCKLING	HOLES UNDERMIND	SURFACE CRACK SEALED	SURFACE FOG SEALED	SURFACE CHIP SEALED	ADDITIONAL COMMENTS	YEAR OF INSP	YEAR OF INSP - 2ND	YEAR OF INSP- 3RD	YEAR OF INSP- 4TH	YEAR OF INSP- 5TH	YEAR OF INSP- 6TH
SE53P	MEADOW OAKS - BETWEEN BRIAR OAKES BLVD AND RED OAK LN	755	6	YES	AVG 30 FT	YES	NO				2017 - ACI, TREE TRIMMING, 8X12, 8X27, 8X12; 2013 - OK, CRACKS, FOG SEAL, HEAVING	2011	2013	2016	2017		
SE54P	CARDINAL HILLS TOT LOT - PATH TO SHELTER	77	9	NO	NO CRACKS	NO	NO				OK	2011	2013	2016	2017		
SE55P	STONERIDGE DR TO FARMSTEAD DR	364	7	YES	19 FT	NO	NO				2017 - 25 CRACKS	2016	2017				
SE56P	FARMSTEAD DR THROUGH PIONEER PARK TO PARKING LOT	490	9	NO	AVG 100 FT	NO	NO				2016 - 5 CRACKS, FOG SEAL	2013	2016	2017			
SE57P	FARMSTEAD AVE TO 87TH ST NE	1205	10	NO	NO CRACKS	NO	NO				NEW 2015 - 1 MANHOLE COVER	2015	2017				
SE58P	FENNING AVE - 86TH ST NORTH 165'	635	10	NO	NO CRACKS	NO	NO				2017 - OK, NO CRACKS	2017					
SE59P	DEER ST, 5991	150															
SW01P	CHELSEA RD W (SOUTH SIDE FROM CTY RD 39 TO DALTON AVE)	1371	7	YES	AVG 228 FT	NO	YES				2017 - 2 AREAS WHERE HOLES SINKING, FENCE NEXT TO PATHWAY; OK - 2013 - 1 AREA WHERE HOLES ARE SINKING; 2016 - 2 FEET OFF MANHOLE COVER TRAIL	2011	2013	2016	2017		
SW02P	CHELSEA RD W (SOUTH SIDE FROM DALTON AVE TO 90TH ST)	2530	8	YES	AVG 210 FT	NO	NO				2017 - 12 CRACKS, 2016 - 6 CRACKS, FOG SEAL; 2013 -OK, 1 CRACK	2011	2013	2016	2017		
SW03P	DALTON AVE (EAST SIDE SOUTH END FROM CULDESAC TO DALTON WAY)	721	9	YES	NO CRACKS	NO	NO				OK	2011	2013	2016			
SW04P	DALTON AVE (EAST SIDE FROM DALTON WAY TO CHELSEA RD W)	1113	8	NO	AVG 215 FT	NO	YES				OK - 2013 - 1 HOLE; 2016 - 5 CRACKS, FOG SEAL	2011	2013	2016			
SW05P	90TH ST (EAST SIDE FROM PARK PLACE DR TO CHELSEA RD W)	542	8	NO	AVG 130 FT	NO	NO	2011			2016 - 4 CRACKS, FOG SEAL	2011	2013	2016			
SW06P	CHELSEA RD W (SOUTH SIDE FROM 90TH ST TO INNSBROOK DR)	1983	7	YES	AVG 70 FT	NO	NO	2011			REPAIR AROUND WATER SHUT OFF - 2013 - 5 CRACKS	2011	2013	2016			
SW07P	PRESCOTT DR WEST TO 90TH ST	238	9	NO	NO CRACKS	NO	NO	2011			OK	2011	2013	2016			
SW08P	CHELSEA RD W (SOUTH SIDE FROM INNSBROOK DR TO SANDBERG RD)	1205	7	YES	AVG 33 FT	NO	NO	2011			CRACKS, FOG SEAL	2011	2013	2016			
SW09P	WOODSIDE DR BETWEEN 3668 & 3694	175	8	NO	AVG 85 FT	NO	NO	2011			2 CRACKS, TRIM TREES, REPLACE BLACKTOP IN NEED OF MAJOR REPAIR, FOG SEAL - 2013; NO CRACKS	2011	2013	2016			
SW10P	GROVELAND (BETWEEN 3RD & 4TH ADDITION)	2663	2	YES	AVG 100 FT	YES	YES	2011			CRACKS, BE AWARE OF FENCE NEAR PATHWAY, FOG SEAL - 2013; HEAVING, SINKHOLES	2011	2013	2016			
SW11P	CHELSEA RD - SOUTH SIDE ALONG SANDBERG RD TO PARK PLACE DR	1700	5	YES	AVG 275 FT	NO	YES	2011			CRACKS, REPLACE BAD BLACK TOP (2 SINK HOLES), FOG SEAL - 2013; 3 LRG SINKHOLES, AREA FOG SEAL	2011	2013	2016			
SW12P	SW11P TO PARK PLACE DR - BETWEEN 9614 & 9644 PARK PLACE DR	930	6	YES	AVG 100 FT	YES	NO	2011			CRACKS, REPLACE BAD BLACK TOP (2 SINK HOLES), FOG SEAL - 2013; NO SINKHOLES	2011	2013	2016			
SW13P	SCHOOL BLVD - WEST OF RIVER CITY LANES TO REDFORD LN	860	8	YES	AVG 20 FT	NO	NO	2011			CRACKS, REPLACE BLACKTOP WHERE SINK HOLE IS, FOG SEAL - 2013; SINKHOLES HAVE BEEN REPAIRED	2011	2013	2016			
SW14P	SCHOOL BLVD (DEEGAN AVE TO WEST OF FINAL DRIVE TO RIVER CITY LANES)	2818	7	YES	AVG 60 FT	NO	NO	2011			CRACKS, BE AWARE OF LANDSCAPING & WATER SHUT OFF, FOG SEAL	2011	2013	2016			
SW15P	9641 PARK PLACE DR TO PARK PLACE DRIVE	635	7	NO	AVG 315 FT	NO	NO	2011			CRACKS, FOG SEAL - 2013; NO CRACKS	2011	2013	2016			

Public Works Committee**Meeting Date:** 07/16/2024**Primary Strategic Plan Initiative:** Not Applicable**Title:**

Review Draft Stormwater Pond Maintenance Policy Framework

Purpose/Background:

The purpose of this case is to review and discuss the draft framework below for a formal Stormwater Facility Maintenance Policy for the City of Ramsey. The City currently has no formal policy (or plan).

1. Purpose of Policy
2. Executive Summary
3. Regulatory Requirements and Design Standards
 - a. State
 - i. Pollution Control Agency
 - b. City
 - i. Lower Rum River Watershed Management Organization
 - ii. City of Ramsey
 1. Stormwater Pollution Prevention Program (SWPPP)
 2. Municipal Separate Storm Sewer System (MS4)
 3. Surface Water Management Plan (SWMP)
4. Stormwater Facility Inventories
 - a. Stormwater Ponds
 - i. State Ponds
 - ii. County Ponds
 - iii. City Ponds
 - iv. Private Ponds
 - b. Ditches
 - i. State Ditches
 - ii. County Ditches
 - iii. City Ditches
 - iv. Private Ditches
 - c. Storm Sewer Systems
 - i. State
 - ii. County
 - iii. City
 - d. Rivers
 - i. Mississippi
 - ii. Rum
 - e. Brooks
 - i. Ford
 - ii. Trott
 - f. Wetlands
 - g. Structural Pollution Control Devices
5. Goals
6. Priorities
7. Inspections
8. Financial Considerations

a. Capital Improvement Program (CIP)

9. Recommendations

Staff will present additional details on this framework during the meeting.

Notification:

N/A

Time Frame/Observations/Alternatives:

Staff anticipates 20 minutes will be required to present this case and respond to questions.

Funding Source:

All costs associated with this policy will be paid from Stormwater Funds.

Recommendation:

Staff recommends preparing a draft policy incorporating Committee input received after reviewing and discussing the draft framework tonight, then presenting the draft policy for approval during the August Public Works Committee meeting.

Outcome/Action:

Review and discuss the draft framework and provide input and direction to Staff to allow a draft policy to be presented during the August Public Works Committee meeting for approval.

Attachments

No file(s) attached.

Form Review

Inbox

Brian Hagen

Form Started By: Bruce Westby

Final Approval Date: 07/11/2024

Reviewed By

Brian Hagen

Date

07/11/2024 11:55 AM

Started On: 07/10/2024 10:19 AM

Public Works Committee**Meeting Date:** 07/16/2024**Primary Strategic Plan Initiative:** Not Applicable**Title:**

Receive Updates on Wetland 114P

Purpose/Background:

See attached June 18, 2024, meeting minutes for detailed background information.

Since the June 18th Public Works Committee meeting, the following tasks have been completed.

- The draft PWC meeting minutes provided by Timesavers were edited by comparing the minutes to the audio recording to ensure the minutes accurately capture the attending resident's names, addresses, comments and requests. The edited minutes are included under section 4 for Committee approval.
- The outlet control structure for wetland 114P was surveyed to confirm as-built elevations. Based on the as-built elevation, which was verified independently, the weir in the outlet control structure was constructed to an elevation of 858.57 feet, which is 8-inches higher than the elevation shown in the approved construction plans of 857.9. Staff is therefore working to temporarily sawcut the weir to lower the outlet elevation to 857.9, and is exploring options to permanently reconstruct or reinstall the outlet control structure this Summer or Fall.
- Lot surveys for the properties of residents that called with high-water concerns and/or that attended June's PWC meeting were located and reviewed against the approved and as-built outlet elevations to determine the extent to which yards may be prone to extended periods of standing water, and to determine a revised outlet elevation that would allow yards to drain more fully following heavy and/or prolonged rain events. The lowest lot corner elevations for these properties range between 856.0 and 859.0, which means some lots will have standing water over portions of them throughout the year during wet years. The low floor elevations for these properties range between 861.0 and 865.8, meaning the water would need to overflow the existing weir by almost 2.5 feet to flood any of the structures, and by almost 3.25 feet once the weir is lowered to the approved plan elevation.
- Staff reviewed plats to document wetland boundaries and drainage easements on properties surrounding wetland 114P. Copies of the plats are attached to the case.
- Staff gathered requested documentation proving that the DNR required the City to construct an outlet control structure to raise the surface water elevation of wetland 114P. This email is attached to this case.
- Staff shared the resident's concerns with our DNR representative, Wes Saunders-Pearce, and is having additional conversations to determine if the DNR will agree to reducing the outlet elevation further to prevent extended periods of standing water on private properties.
- Staff continues to monitor the water elevation in wetland 114P. As of July 11th, the water elevation was approximately 1-inch above the top of the weir.

Notification:

N/A

Time Frame/Observations/Alternatives:

Staff anticipates 30 minutes will be required to present this case and respond to questions.

Observations:

On Friday, July 12th, approximately 8-inches was removed from the top of the concrete weir within the outlet control structure for Wetland 114P to lower the weir elevation from 858.57 to 857.84.

Funding Source:

Any costs associated with this case will be paid through Stormwater Funds.

Recommendation:

Staff is working to saw-cut the weir to lower it 8-inches to the approved DNR elevation as quickly as possible, and will present additional updates during the August PWC meeting, including potential plans to permanently reconstruct or reinstall the outlet control structure based on additional DNR input.

Outcome/Action:

No action is requested at this time.

Attachments

- Wetland 114P w NWI layer
- Plat Chestnut Hills 2nd Addn
- Plat Chestnut Hill 3rd Addn
- Plat Chestnut Hill 4th Addn
- Plat Chestnut Hill
- Plat Chestnut Ridge
- Plat Chestnut Ridge 2nd Addn
- Plat Chestnut Woods
- Plat Ramsey Terrace
- Plat Ponds of Ramsey 2nd Addn
- Plat Ponds of Ramsey
- Plat Windemere Woods
- Plat Wood Pond Hills
- Plat Wood Pond Hills 3rd Addn
- Plat Wood Pond Hills 4th Addn
- DNR email

Form Review

Inbox

Brian Hagen
Bruce Westby (Originator)
Brian Hagen
Form Started By: Bruce Westby
Final Approval Date: 07/11/2024

Reviewed By

Bruce Westby
Kathy Schmitz
Brian Hagen

Date

07/11/2024 11:38 AM
07/11/2024 02:49 PM
07/11/2024 03:28 PM
Started On: 07/10/2024 10:17 AM

CHESTNUT HILL 2ND ADDITION

CITY OF RAMSEY, COUNTY OF ANOKA

KNOW ALL PERSONS BY THESE PRESENTS: That Good Value Homes, Inc., a Minnesota Corporation, owner and proprietor, and Builders Development & Finance, Inc., a Minnesota Corporation, Mortgagee of the following described property situate in the County of Anoka, State of Minnesota, to wit:

Outlot A, CHESTNUT HILL, according to the recorded plat thereof, Anoka County, Minnesota.

Have caused the same to be surveyed, platted and known as CHESTNUT HILL 2ND ADDITION and does hereby donate and dedicate to the public, for public use forever the Street, Avenue and dedicate the drainage and utility easements as shown on the plat. In witness whereof, said Good Value Homes, Inc., a Minnesota corporation, has caused these presents to be signed by its proper officers this 13th day of August, 1992.

Also in witness whereof, said Builders Development & Finance, Inc., a Minnesota Corporation, mortgagee, has caused these presents to be signed by its proper officer this 13th day of August, 1992.

GOOD VALUE HOMES, INC.

By Betty R. Hardle
Betty R. Hardle, Chief Executive Officer

By John R. Peterson
John R. Peterson, Vice President

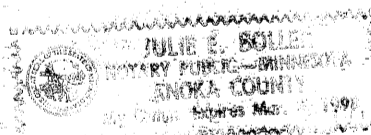
BUILDERS DEVELOPMENT & FINANCE INC.

By Fritz W. Van Nest
Fritz W. Van Nest, Vice President

State of Minnesota
County of Anoka

The foregoing instrument was acknowledged before me this 13th day of August, 1992 by Betty R. Hardle, Chief Executive Officer, and by John R. Peterson, Vice President of Good Value Homes, Inc., a Minnesota corporation, on behalf of the corporation.

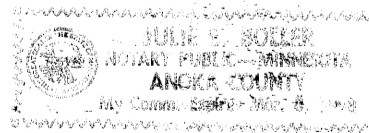
Julie Boller
Notary Public, Anoka County, Minnesota
My commission expires March 8, 1998



State of Minnesota
County of Anoka

The foregoing instrument was acknowledged before me this 13th day of August, 1992 by Fritz W. Van Nest, as Vice President of Builders Development & Finance, Inc., a Minnesota Corporation, on behalf of the corporation.

Julie Boller
Notary Public, Anoka County, Minnesota
My commission expires March 8, 1998



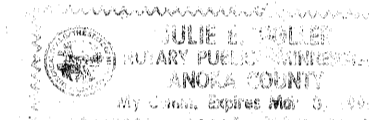
I, Marvin G. Lovlein, hereby certify that I have surveyed and platted the property described on this plat as CHESTNUT HILL 2ND ADDITION, that this plat is a correct representation of the survey, that all distances are correctly shown on the plat in feet and hundredths of a foot, that all monuments have been correctly placed in the ground as shown, that the outside boundary lines are correctly designated on the plat and that there are no wet lands or public highways to be designated other than as shown.

Marvin G. Lovlein
Marvin G. Lovlein, Land Surveyor
Minnesota Registration Number 17259

State of Minnesota
County of Anoka

The foregoing Surveyor's Certificate was acknowledged before me this 13th day of August, 1992 by Marvin G. Lovlein, Minnesota Registration No. 17259

Julie Boller
Notary Public, Anoka County, Minnesota
My Commission expires March 8, 1998



RAMSEY, MINNESOTA

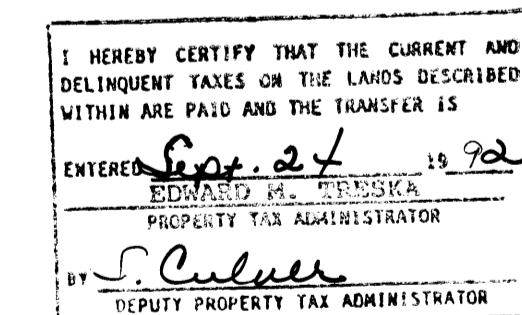
This plat of CHESTNUT HILL 2ND ADDITION, was approved and accepted by the City Council of the City of Ramsey, Minnesota, at a regular meeting thereof held this 23rd day of June, 1992. If applicable, the written comments and recommendations of the Commissioner of Transportation and the County Highway Engineer have been received by the city or the prescribed 30 day period has elapsed without receipt of such comments and recommendations, as provided by Minn. Statutes, Section 505.03, Subd. 2.

CITY COUNCIL OF THE CITY OF RAMSEY, MINNESOTA
James R. Mattson, Mayor Ryan R. Schweder, Clerk

ANOKA COUNTY SURVEYOR

I hereby certify that this plat has been checked and approved this 24th day of Sept., 1992.

By Merlyn D. Anderson
Merlyn D. Anderson, Anoka County Surveyor



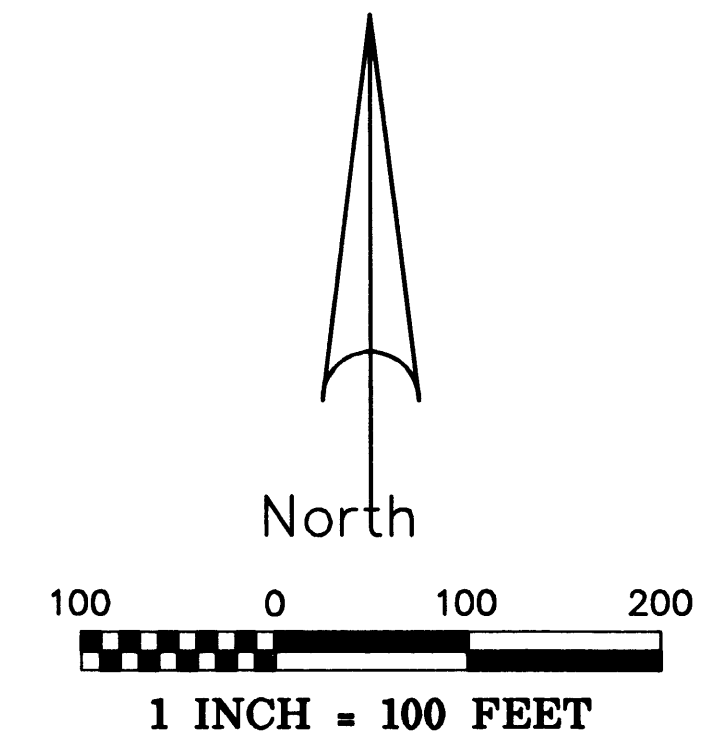
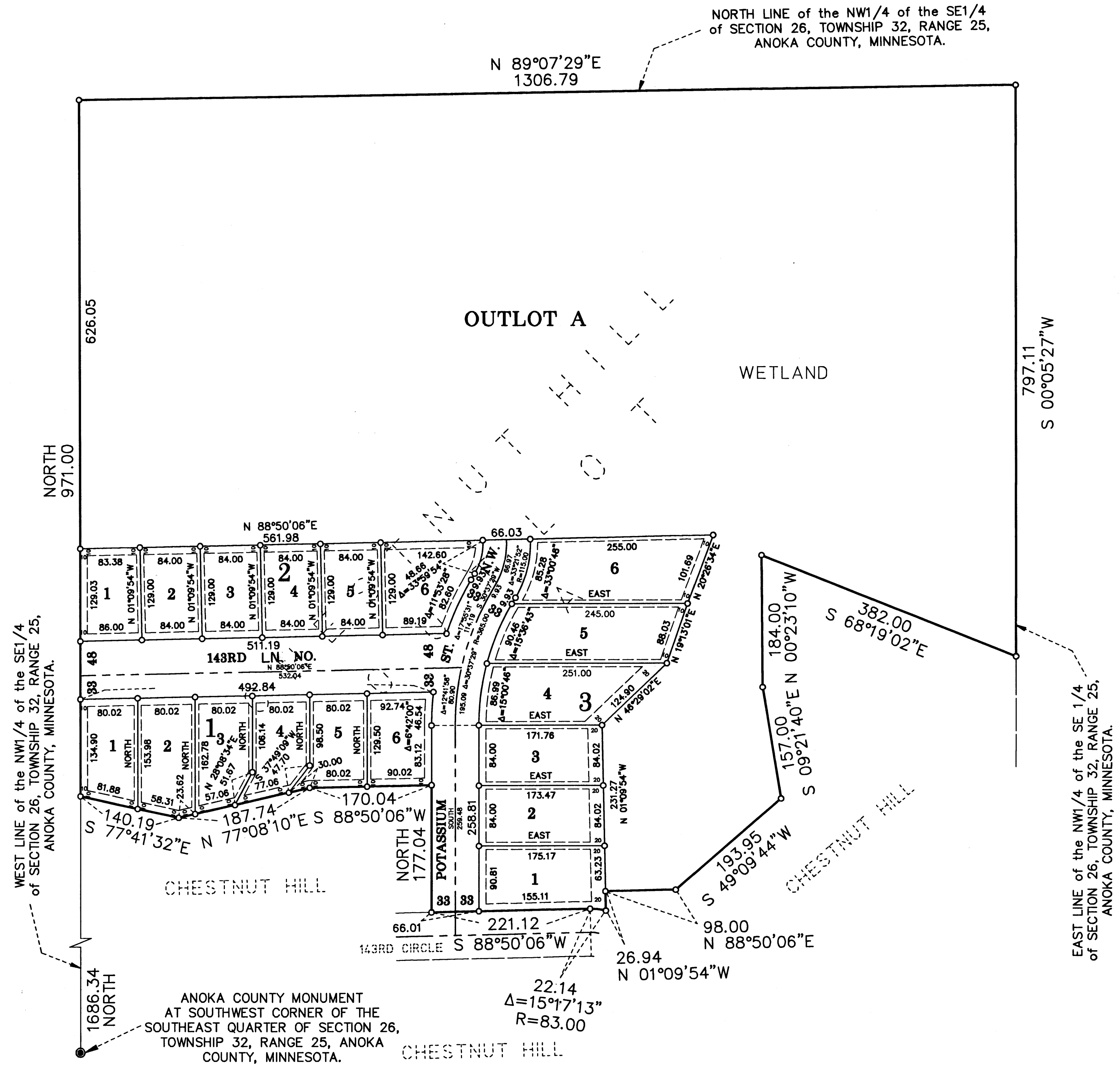
999453

OFFICE OF COUNTY RECORDER
STATE OF MINNESOTA, COUNTY OF ANOKA
I hereby certify that the within instrument was filed in this office for record on the SEP 24 A.D., 1992 at 2:16 o'clock P.M., and was duly recorded in book # of Plats page 18
Red J. Conkell
County Recorder
By Debra Kay Gipe
Deputy

CHERRIER LAND SURVEYORS, INC.
REGISTERED PROFESSIONAL • LAND SURVEYORS

CHESTNUT HILL 2ND ADDITION

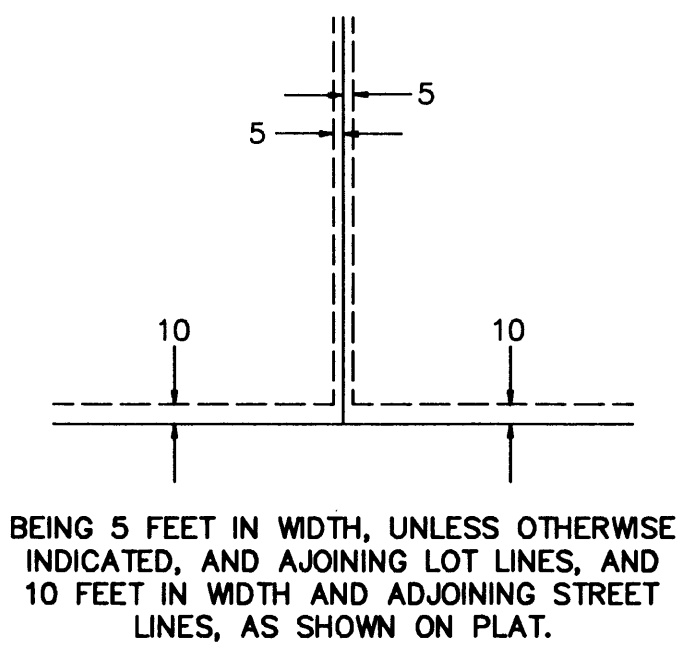
CITY OF RAMSEY, COUNTY OF ANOKA



o denotes 5/8 inch by 18 inch iron monument set and marked by Registration No. 17259, unless otherwise shown.

BEARING NOTE:
The west line of the Northwest Quarter of the Southeast Quarter is assumed to have a bearing of NORTH.

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



CHESTNUT HILL 3RD ADDITION

CITY OF RAMSEY, COUNTY OF ANOKA

KNOW ALL PERSONS BY THESE PRESENTS: That Good Value Homes, Inc., a Minnesota Corporation, owner and proprietor, and Builders Development & Finance, Inc., a Minnesota Corporation, Mortgagee of the following described property situate in the County of Anoka, State of Minnesota, to wit:

Outlot A, CHESTNUT HILL 2ND ADDITION, according to the recorded plat thereof, Anoka County, Minnesota.

Have caused the same to be surveyed, platted and known as CHESTNUT HILL 3RD ADDITION and does hereby donate and dedicate to the public, for public use forever the Street, the Lane, the Circle, and dedicate the drainage and utility easements as shown on the plat. In witness whereof, said Good Value Homes, Inc., a Minnesota corporation, has caused these presents to be signed by its proper officers this 31st day of August, 19 92.

Also in witness whereof, said Builders Development & Finance, Inc., a Minnesota Corporation, mortgagee, has caused these presents to be signed by its proper officer this 1st day of SEPTEMBER, 19 92.

GOOD VALUE HOMES, INC.

By Betty R. Hardle
Betty R. Hardle, Chief Executive Officer

By John R. Peterson
John R. Peterson, Vice President

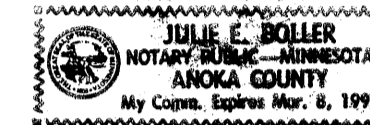
BUILDERS DEVELOPMENT & FINANCE INC.

By Fritz W. Van Nest
Fritz W. Van Nest, Vice President

State of Minnesota
County of Anoka

The foregoing instrument was acknowledged before me this 31st day of August, 19 92 by Betty R. Hardle, Chief Executive Officer, and by John R. Peterson, Vice President of Good Value Homes, Inc., a Minnesota corporation, on behalf of the corporation.

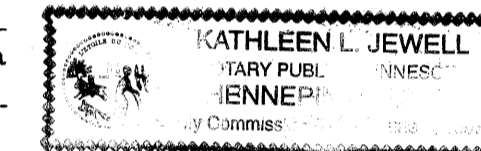
Julie Bauer
Notary Public, Anoka County, Minnesota
My commission expires March 8, 1998



State of Minnesota
County of Anoka

The foregoing instrument was acknowledged before me this 1st day of September, 19 92 by Fritz W. Van Nest, as Vice President of Builders Development & Finance, Inc., a Minnesota Corporation, on behalf of the corporation.

Kathleen L. Jewell
Notary Public, Hennepin County, Minnesota
My commission expires 6-6-97



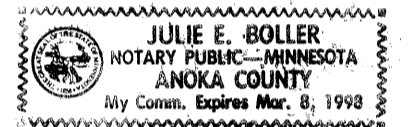
I, Marvin G. Lovlein, hereby certify that I have surveyed and platted the property described on this plat as CHESTNUT HILL 3RD ADDITION, that this plat is a correct representation of the survey, that all distances are correctly shown on the plat in feet and hundredths of a foot, that all monuments have been correctly placed in the ground as shown, that the outside boundary lines are correctly designated on the plat and that there are no wet lands or public highways to be designated other than as shown.

Marvin G. Lovlein
Marvin G. Lovlein, Land Surveyor
Minnesota Registration Number 17259

State of Minnesota
County of Anoka

The foregoing Surveyor's Certificate was acknowledged before me this 31st day of August, 19 92 by Marvin G. Lovlein, Minnesota Registration No. 17259

Julie Bauer
Notary Public, Anoka County, Minnesota
My commission expires March 8, 1998



RAMSEY, MINNESOTA

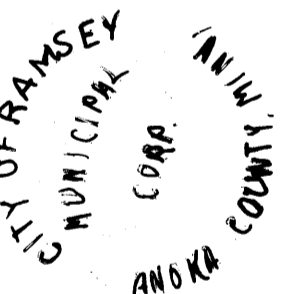
This plat of CHESTNUT HILL 3RD ADDITION, was approved and accepted by the City Council of the City of Ramsey, Minnesota, at a regular meeting thereof held this 10th day of November, 19 92. If applicable, the written comments and recommendations of the Commissioner of Transportation and the County Highway Engineer have been received by the city or the prescribed 30 day period has elapsed without receipt of such comments and recommendations, as provided by Minn. Statutes, Section 505.03, Subd. 2.

CITY COUNCIL OF THE CITY OF RAMSEY, MINNESOTA
James R. Johnson, Mayor Ryan R. Schneider, Clerk

ANOKA COUNTY SURVEYOR

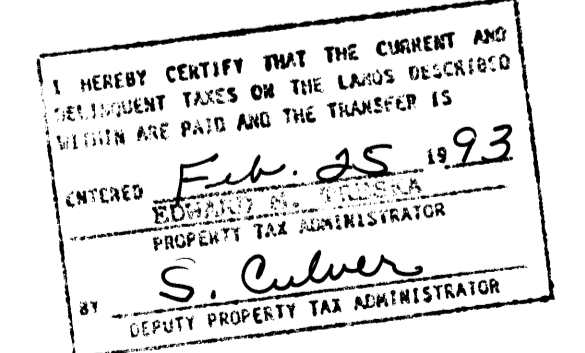
I hereby certify that this plat has been checked and approved this 25th day of FEBRUARY, 19 93.

By Merlyn D. Anderson by Garry D. Stein
Merlyn D. Anderson, Anoka County Surveyor Garry D. Stein, deputy



1024899

OFFICE OF COUNTY RECORDER
STATE OF MINNESOTA, COUNTY OF ANOKA
I hereby certify that the within instrument was filed in the office for record on the Feb 25 day of 1993 at 1:20 o'clock P.M., and was duly recorded in book 601 page 15
Red J. Randall
County Recorder
By Shirley Kay Egan
Deputy



CHERRIER LAND SURVEYORS, INC.
REGISTERED PROFESSIONAL • LAND SURVEYORS

CHESTNUT HILL 4TH ADDITION

CITY OF RAMSEY, COUNTY OF ANOKA

KNOW ALL PERSONS BY THESE PRESENTS: That Good Value Homes, Inc., a Minnesota Corporation, owner and proprietor, and Builders Development & Finance, Inc., a Minnesota Corporation, Mortgagee of the following described property situate in the County of Anoka, State of Minnesota, to wit:

That part of the South 330 feet of Government Lot 3, Section 26, Township 32, Range 25, Anoka County, Minnesota, lying East of a line described as beginning at a point on the South line of said Government Lot 3, distant 881.45 feet West of the Southeast corner thereof and ending at a point on the North line of said South 330 feet distant 886.49 feet West of the East line of said Government Lot 3.

Together with that part of the South 330 feet of the Southwest Quarter of the Northeast Quarter of said Section 26, lying West of a line described as beginning at a point on the South line of said Southwest Quarter of the Northeast Quarter, distant 657.55 feet East of the Southwest corner thereof and ending at a point on the North line of said South 330.00 feet distant 652.51 feet East of the West line of said Southwest Quarter of the Northeast Quarter.

Have caused the same to be surveyed, platted and known as CHESTNUT HILL 4TH ADDITION and does hereby donate and dedicate to the public, for public use forever the Streets, the Avenue, and dedicate the drainage and utility easements as shown on the plat. In witness whereof, said Good Value Homes, Inc., a Minnesota corporation, has caused these presents to be signed by its proper officers this 28th day of JUNE, 1993.

Also in witness whereof, said Builders Development & Finance, Inc., a Minnesota Corporation, mortgagee, has caused these presents to be signed by its proper officer this 30 day of June, 1993.

GOOD VALUE HOMES, INC.

By Betty R. Hardle
Betty R. Hardle, Chief Executive Officer

By John R. Peterson
John R. Peterson, Vice President

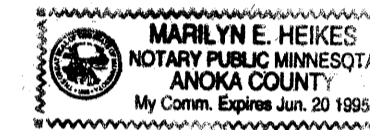
BUILDERS DEVELOPMENT & FINANCE INC.

By Tim N. Golie
Tim N. Golie, Assistant Vice President

State of Minnesota
County of ANOKA

The foregoing instrument was acknowledged before me this 28th day of JUNE, 1993 by Betty R. Hardle, Chief Executive Officer, and by John R. Peterson, Vice President of Good Value Homes, Inc., a Minnesota corporation, on behalf of the corporation.

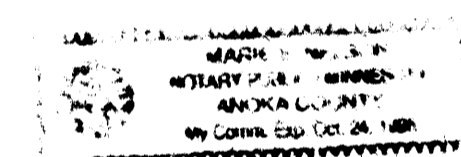
Marilyn E. Heikes
Notary Public, ANOKA County, Minnesota
My commission expires JUNE 20, 1993



State of Minnesota
County of ANOKA

The foregoing instrument was acknowledged before me this 30 day of June, 1993 by Tim N. Golie, as Assistant Vice President of Builders Development & Finance, Inc., a Minnesota Corporation, on behalf of the corporation.

Marie E. Nelson
Notary Public, ANOKA County, Minnesota
My commission expires October 24, 1996



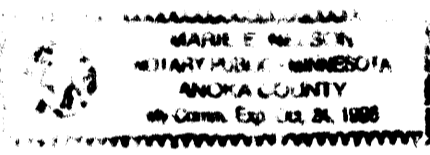
I, Marvin G. Lovlein, hereby certify that I have surveyed and platted the property described on this plat as CHESTNUT HILL 4TH ADDITION, that this plat is a correct representation of the survey, that all distances are correctly shown on the plat in feet and hundredths of a foot, that all monuments have been correctly placed in the ground as shown, that the outside boundary lines are correctly designated on the plat and that there are no wet lands or public highways to be designated other than as shown.

Marvin G. Lovlein
Marvin G. Lovlein, Land Surveyor
Minnesota Registration Number 17259

State of Minnesota
County of ANOKA

The foregoing Surveyor's Certificate was acknowledged before me this 30 day of June, 1993 by Marvin G. Lovlein, Minnesota Registration No. 17259

Marie E. Nelson
Notary Public, ANOKA County, Minnesota
My commission expires October 24, 1996



RAMSEY, MINNESOTA

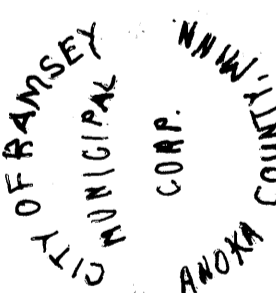
This plat of CHESTNUT HILL 4TH ADDITION, was approved and accepted by the City Council of the City of Ramsey, Minnesota, at a regular meeting thereof held this 8th day of June, 1993. If applicable, the written comments and recommendations of the Commissioner of Transportation and the County Highway Engineer have been received by the city or the prescribed 30 day period has elapsed without receipt of such comments and recommendations, as provided by Minn. Statutes, Section 505.03, Subd. 2.

CITY COUNCIL OF THE CITY OF RAMSEY, MINNESOTA
Kenneth P. Peterson Mayor, Alan E. Schwader Clerk

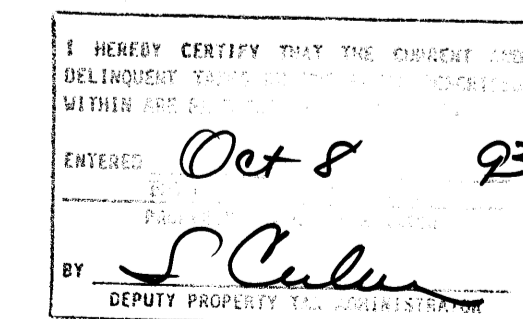
ANOKA COUNTY SURVEYOR

I hereby certify that this plat has been checked and approved this 8th day of October, 1993.

By Merly D. Anderson
Merly D. Anderson, Anoka County Surveyor



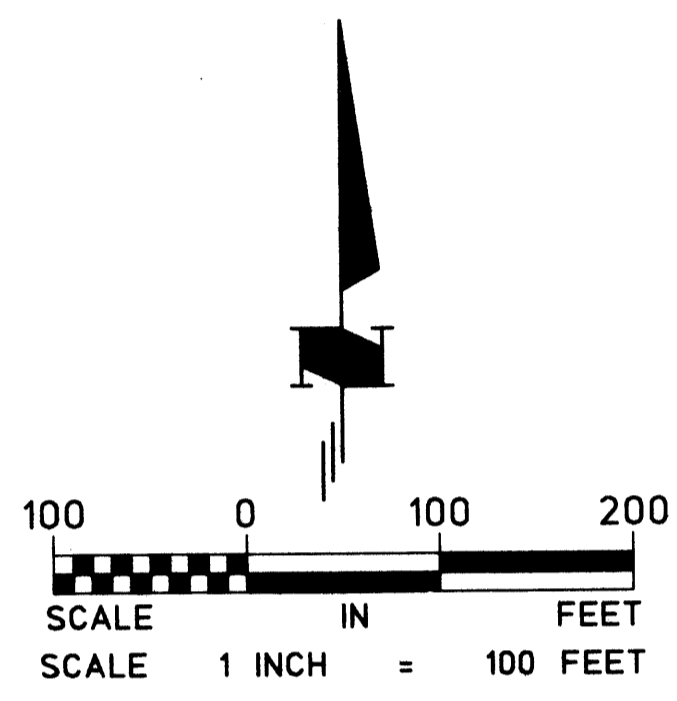
1070319
OFFICE OF COUNTY RECORDER
STATE OF MINNESOTA, COUNTY OF ANOKA
I hereby certify that the within instrument was filed in this office for record on the Oct 8 A.D., 1993 at 12:15 o'clock P.M., and was duly recorded in book 47 of Plats page 20
Edward M. Traska
County Recorder
By [Signature]
Deputy



CHERRIER LAND SURVEYORS, INC.
REGISTERED PROFESSIONAL • LAND SURVEYORS

CHESTNUT HILL 4TH ADDITION

CITY OF RAMSEY, COUNTY OF ANOKA

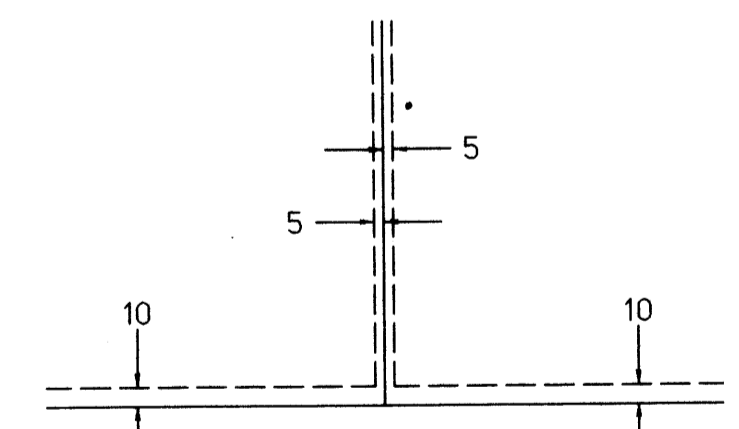


BEARING NOTE:

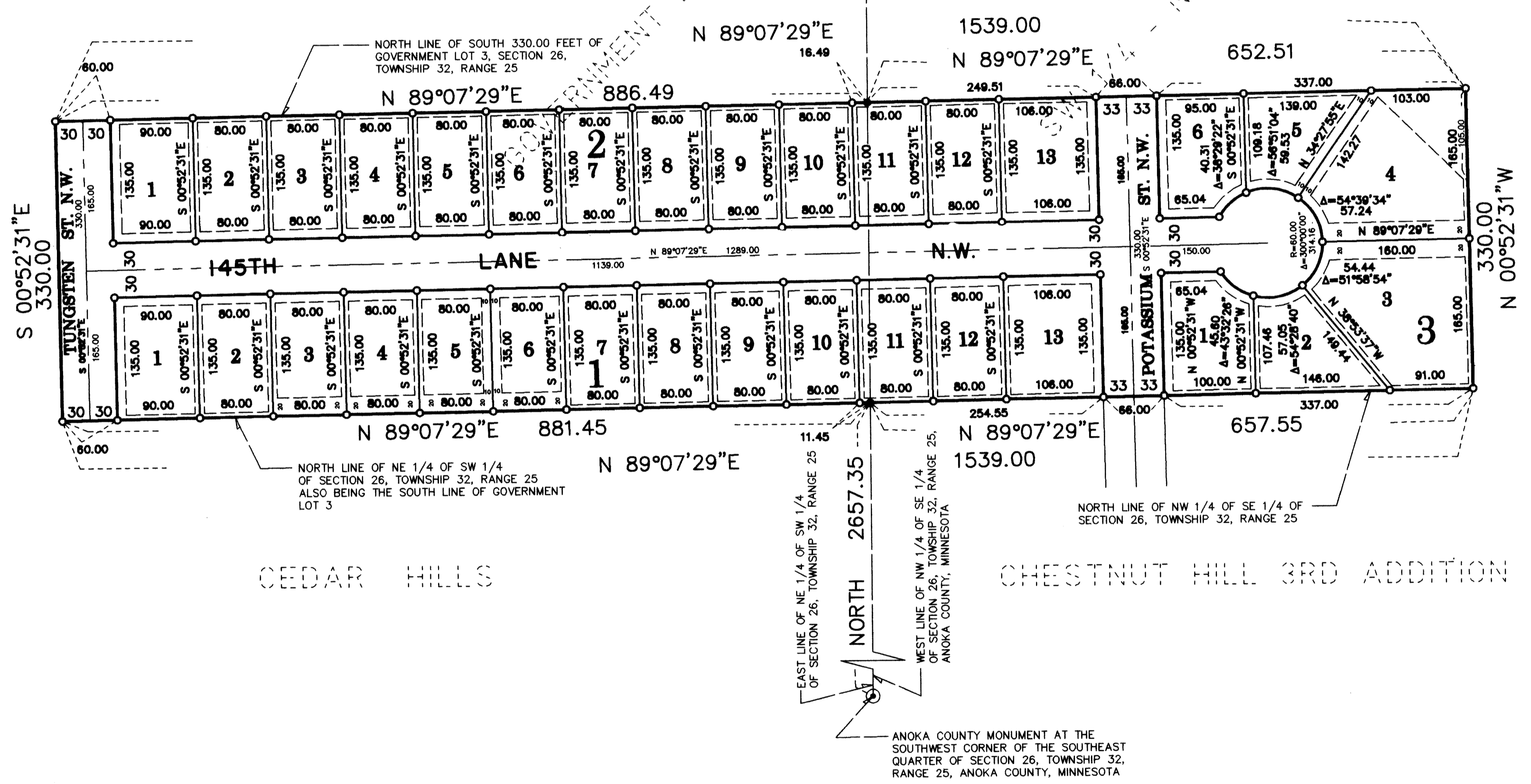
FOR PURPOSES OF THIS PLAT, THE NORTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 32, RANGE 25, IS ASSUMED TO BEAR N 89°07'29"E

- denotes 5/8 inch by 18 inch iron monument set and capped with a plastic cap stamped land corner 17259
- denotes found iron monument

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:

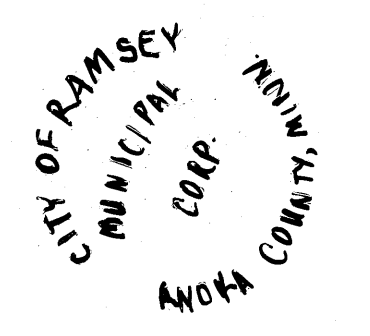


being 5 feet in width, unless otherwise indicated, and adjoining lot lines, and 10 feet in width and adjoining street lines, as shown on the plat.



CHESTNUT HILL

CITY OF RAMSEY, COUNTY OF ANOKA



KNOW ALL PERSONS BY THESE PRESENTS: That Good Value Homes, Inc., a Minnesota Corporation, owner and proprietor, and Builders Development & Finance, Inc., a Minnesota Corporation, Mortgagee of the following described property situate in the County of Anoka, State of Minnesota, to wit:

The Northwest Quarter of the Southeast Quarter of Section 26, Township 32, Range 25, according to the United States Government Survey thereof and situate in Anoka County, Minnesota.

Have caused the same to be surveyed, platted and known as CHESTNUT HILL and does hereby donate and dedicate to the public, for public use forever the Circle, Street, Park, and dedicate the drainage and utility easements as shown on the plat. In witness whereof, said Good Value Homes, Inc., a Minnesota corporation, has caused these presents to be signed by its proper officers this 12th day of SEPTEMBER 1991.

Also in witness whereof, said Builders Development & Finance, Inc., a Minnesota Corporation, mortgagee, has caused these presents to be signed by its proper officers, this 12th day of SEPTEMBER, 1991.

GOOD VALUE HOMES, INC.

By Betty R. Hardle
Betty R. Hardle, Chief Executive Officer

By John R. Peterson
John R. Peterson, Vice President

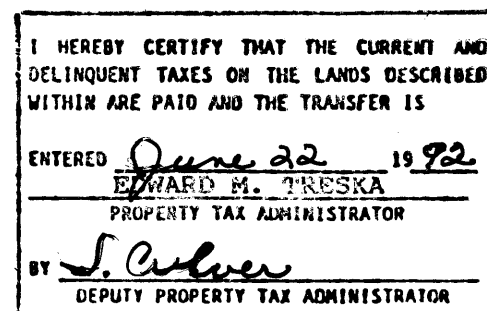
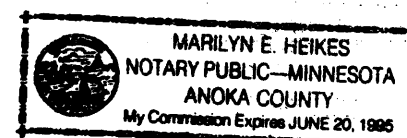
BUILDERS DEVELOPMENT & FINANCE, INC.

By Fritz Van Nest, vice president
Fritz Van Nest, Vice President

State of Minnesota
County of ANOKA

The foregoing instrument was acknowledged before me this 12th day of SEPTEMBER 1991 by Betty R. Hardle, Chief Executive Officer, and by John R. Peterson, Vice President of Good Value Homes, Inc., a Minnesota corporation, on behalf of the corporation.

By Marilyn E. Heikes
Notary Public, ANOKA County, Minnesota
My commission expires JUNE 20, 1995



State of Minnesota
County of Anoka

The foregoing instrument was acknowledged before me this 13 day of September, 1991 by Fritz Van Nest, Vice President of Builders Development & Finance, Inc., a Minnesota Corporation, on behalf of the corporation.

By Kathleen L. Jewell
Notary Public, Hennepin County, Minnesota
My commission expires 6-6-97



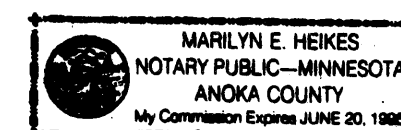
I, Marvin G. Lovlein, hereby certify that I have surveyed and platted the property described on this plat as CHESTNUT HILL, that this plat is a correct representation of the survey, that all distances are correctly shown on the plat in feet and hundredths of a foot, that all monuments have been correctly placed in the ground as shown, that the outside boundary lines are correctly designated on the plat and that there are no wet lands or public highways to be designated other than as shown.

By Marvin G. Lovlein
Marvin G. Lovlein, Land Surveyor
Minnesota Registration Number 17259

State of Minnesota
County of ANOKA

The foregoing Surveyor's Certificate was acknowledged before me this 12th day of SEPTEMBER, 1991 by Marvin G. Lovlein, Minnesota Registration No. 17259

By Marilyn E. Heikes
Notary Public, Anoka County, Minnesota
My commission expires JUNE 20, 1995



RAMSEY, MINNESOTA

This plat of CHESTNUT HILL was approved and accepted by the City Council of the City of Ramsey, Minnesota, at a regular meeting thereof held this 13th day of August, 1991. If applicable, the written comments and recommendations of the Commissioner of Transportation and the County Highway Engineer have been received by the city or the prescribed 30 day period has elapsed without receipt of such comments and recommendations, as provided by Minn. Statutes, Section 505.03, Subd. 2.

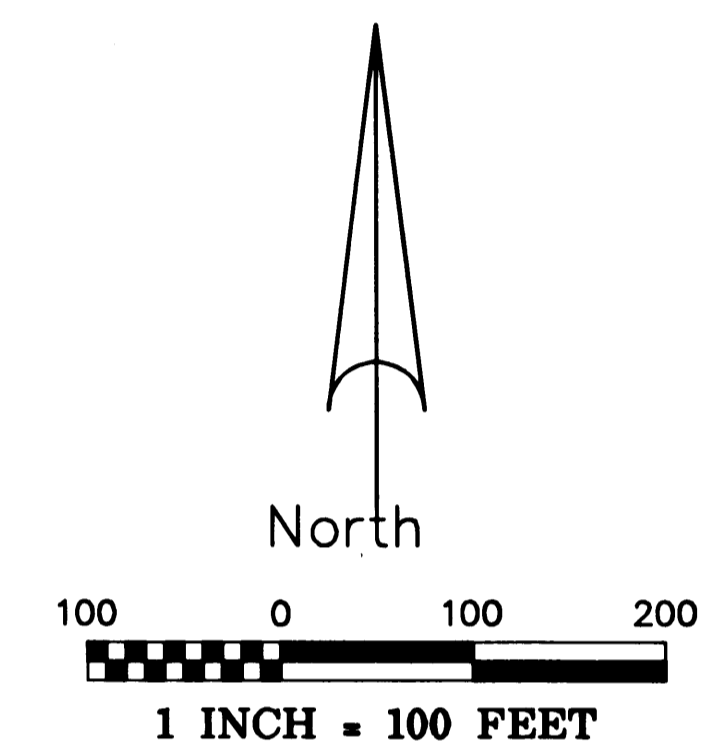
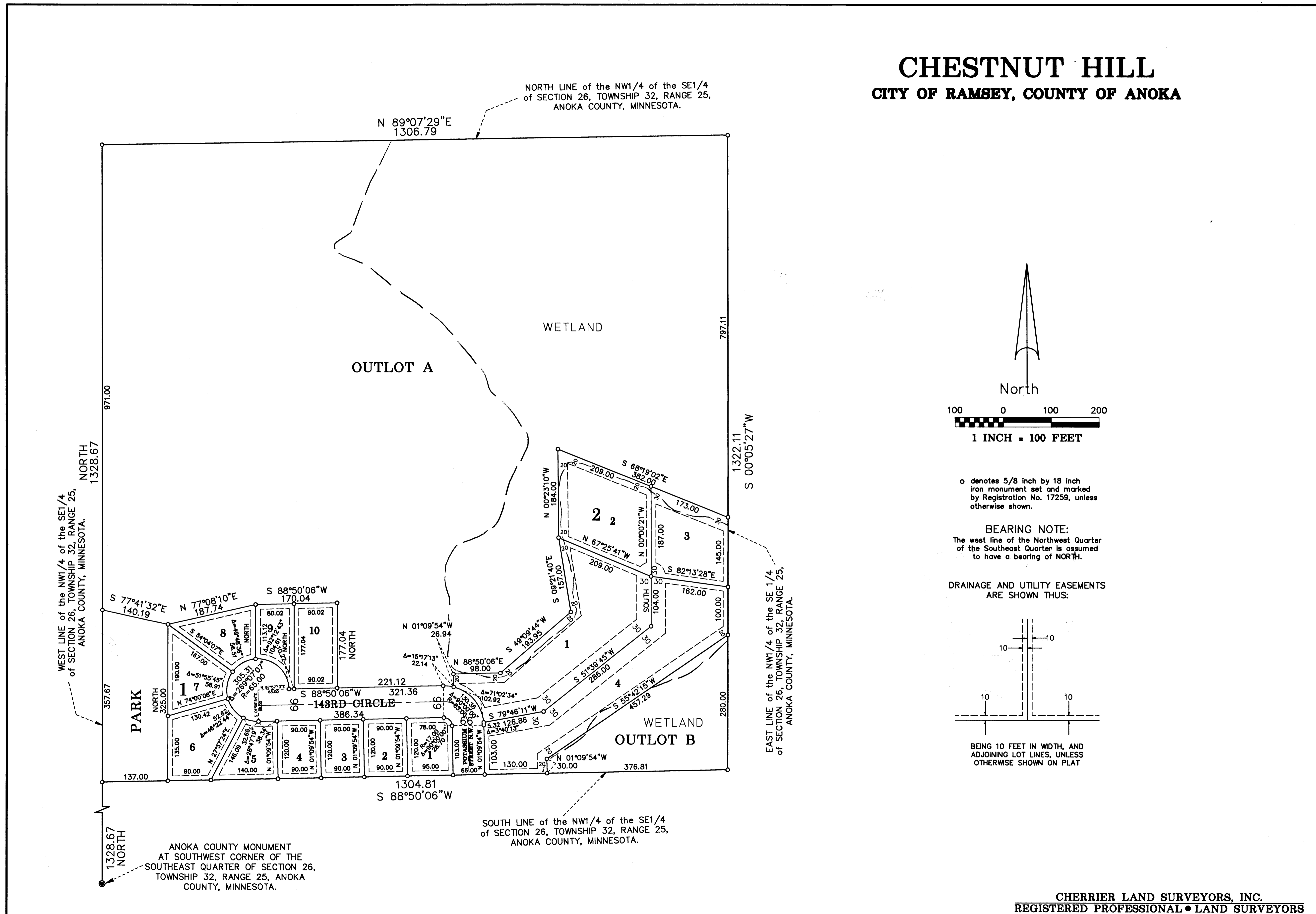
CITY COUNCIL OF THE CITY OF RAMSEY, MINNESOTA
By James P. Johnston, Mayor Egon Rehneder, Clerk
ANOKA COUNTY SURVEYOR

I hereby certify that this plat has been checked and approved this 22nd day of June, 1992.
By Merlyn D. Anderson
Merlyn D. Anderson, Anoka County Surveyor

985170
OFFICE OF COUNTY RECORDER
STATE OF MINNESOTA, COUNTY OF ANOKA
I hereby certify that the within instrument was filed in this office for record on the 22nd June A.D., 1992 at 11:50 o'clock A.M., and was duly recorded in book 44 of Plats page 44.
Ed J. Sundahl
County Recorder
By James H. Johnson
Deputy

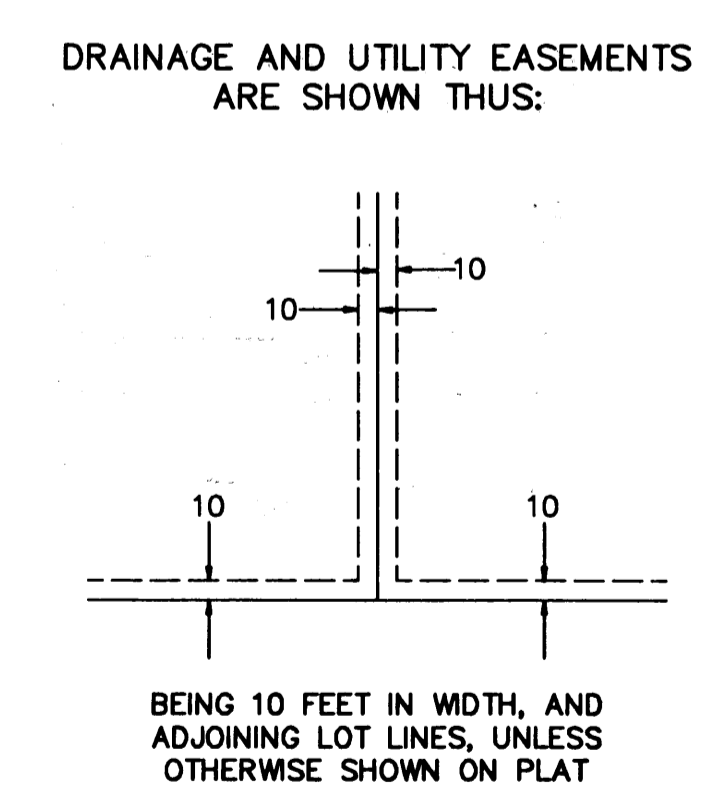
OFFICE OF COUNTY RECORDER
STATE OF MINNESOTA, COUNTY OF ANOKA
I hereby certify that the within instrument was filed in this office for record on the JUNE 22 A.D., 1992 at 11:50 o'clock A.M., and was duly recorded in book 44 of Plats page 44.
Ed J. Sundahl
County Recorder
By A. D. Swanson
Deputy

CHESTNUT HILL CITY OF RAMSEY, COUNTY OF ANOKA



o denotes 5/8 inch by 18 inch iron monument set and marked by Registration No. 17259, unless otherwise shown.

BEARING NOTE:
The west line of the Northwest Quarter of the Southeast Quarter is assumed to have a bearing of NORTH.



CHESTNUT RIDGE

CITY OF RAMSEY, COUNTY OF ANOKA

KNOW ALL PERSONS BY THESE PRESENTS: That Good Value Homes, Inc., a Minnesota Corporation, owner and proprietor, Builders Development & Finance, Inc., a Minnesota Corporation, Mortgagee and Sidney V. Schaumburg and Marlys V. Schaumburg, husband and wife, Mortgagee of the following described property situate in the County of Anoka, State of Minnesota, to wit:

The Southwest Quarter of the Northeast Quarter of Section 26, Township 32, Range 25, except that part thereof platted as CHESTNUT HILL 4TH ADDITION, according to the United States Government Survey thereof and situate in Anoka County, Minnesota.

Also WPH Properties, Inc., a Minnesota Corporation, owner and proprietor, and Ludwig R. Hanus and Lorraine Hanus, husband and wife, Mortgagee of the following described property situate in the County of Anoka, State of Minnesota, to wit:

Outlot C, WOOD POND HILLS, according to the recorded plat thereof, and situate in Anoka County, Minnesota.

Have caused the same to be surveyed, platted and known as CHESTNUT RIDGE and does hereby donate and dedicate to the public, for public use forever the Street, and dedicate the drainage and utility easements as shown on the plat.

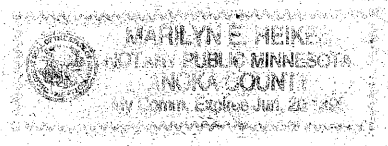
In witness whereof, said Good Value Homes, Inc., a Minnesota corporation, has caused these presents to be signed by its proper officers this 15th day of JUNE, 1994.

GOOD VALUE HOMES, INC.
By Betty R. Hardle
Betty R. Hardle, Chief Executive Officer
By John R. Peterson
John R. Peterson, President

State of Minnesota
County of Anoka

The foregoing instrument was acknowledged before me this 15th day of JUNE, 1994 by Betty R. Hardle, Chief Executive Officer, and by John R. Peterson, President of Good Value Homes, Inc., a Minnesota corporation, on behalf of the corporation.

Marilyn E. Heikes
Notary Public, Anoka County, Minnesota
My commission expires JUNE 20, 1995



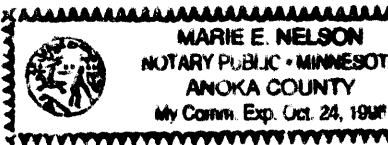
Also in witness whereof, said Builders Development & Finance, Inc., a Minnesota Corporation, mortgagee, has caused these presents to be signed by its proper officer this 13 day of July, 1994.

BUILDERS DEVELOPMENT & FINANCE INC.
By Tim N. Golie
Tim N. Golie, Assistant Vice President

State of Minnesota
County of Anoka

The foregoing instrument was acknowledged before me this 13 day of July, 1994 by Tim N. Golie, as Assistant Vice President of Builders Development & Finance, Inc., a Minnesota Corporation, on behalf of the corporation.

Marie E. Nelson
Notary Public, Anoka County, Minnesota
My commission expires Oct. 24, 1996



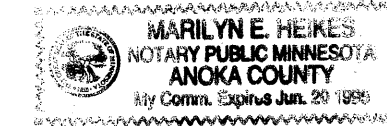
Also in witness whereof, said Sidney V. Schaumburg and Marlys V. Schaumburg, husband and wife, mortgagee, have hereunto set their hands this 15th day of JUNE, 1994.

Signed: Sidney V. Schaumburg Marlys V. Schaumburg
Sidney V. Schaumburg Marlys V. Schaumburg

State of Minnesota
County of Anoka

The foregoing instrument was acknowledged before me this 15th day of JUNE, 1994 by Sidney V. Schaumburg and Marlys V. Schaumburg, husband and wife, mortgagee.

Marilyn E. Heikes
Notary Public, Anoka County, Minnesota
My commission expires JUNE 20, 1995



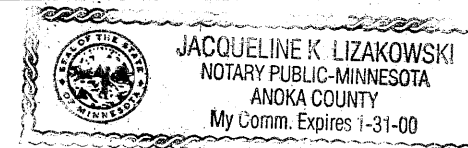
Also in witness whereof, said WPH Properties, Inc., a Minnesota Corporation, owner and proprietor, has caused these presents to be signed by its proper officer this 20th day of JUNE, 1994.

WPH PROPERTIES, INC.
By [Signature]
Its President

State of Minnesota
County of Anoka

The foregoing instrument was acknowledged before me this 20th day of JUNE, 1994 by David Sgarl, as President of WPH Properties, Inc., a Minnesota Corporation, on behalf of the corporation.

Jacqueline K. Lizakowski
Notary Public, Anoka County, Minnesota
My commission expires 1/31/2000



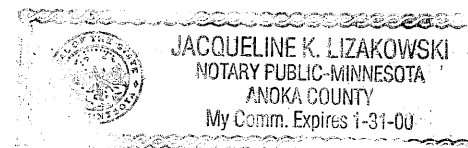
Also in witness whereof, said Ludwig R. Hanus and Lorraine Hanus, husband and wife, mortgagee, have hereunto set their hands this 20th day of JUNE, 1994.

Signed: Ludwig R. Hanus Lorraine Hanus
Ludwig R. Hanus Lorraine Hanus

State of Minnesota
County of Anoka

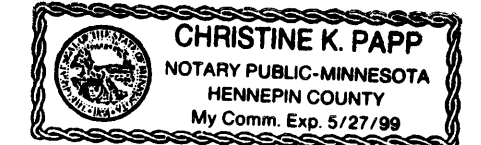
The foregoing instrument was acknowledged before me this 20th day of JUNE, 1994 by Ludwig R. Hanus and Lorraine Hanus, husband and wife, mortgagee.

Jacqueline K. Lizakowski
Notary Public, Anoka County, Minnesota
My commission expires 1/31/2000



I, Marvin G. Lovlein, hereby certify that I have surveyed and platted the property described on this plat as CHESTNUT RIDGE, that this plat is a correct representation of the survey, that all distances are correctly shown on the plat in feet and hundredths of a foot, that all monuments have been correctly placed in the ground as shown or will be correctly placed in the ground as designated; that the outside boundary lines are correctly designated on the plat and that there are no wet lands or public highways to be designated other than as shown.

Marvin G. Lovlein
Marvin G. Lovlein, Land Surveyor
Minnesota Registration Number 17259



State of Minnesota
County of Hennepin

The foregoing Surveyor's Certificate was acknowledged before me this 13th day of JUNE, 1994 by Marvin G. Lovlein, Minnesota Registration No. 17259

Christine K. Papp
Notary Public, Hennepin County, Minnesota
My commission expires 5-27-99

RAMSEY, MINNESOTA

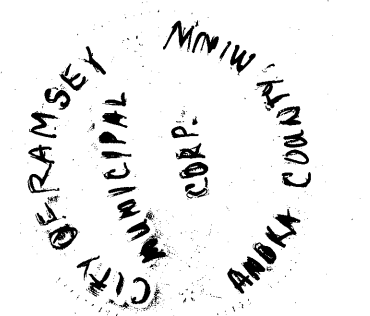
This plat of CHESTNUT RIDGE, was approved and accepted by the City Council of the City of Ramsey, Minnesota, at a regular meeting thereof held this 14th day of JUNE, 1994. If applicable, the written comments and recommendations of the Commissioner of Transportation and the County Highway Engineer have been received by the city or the prescribed 30 day period has elapsed without receipt of such comments and recommendations, as provided by Minn. Statutes, Section 505.03, Subd. 2.

CITY COUNCIL OF THE CITY OF RAMSEY, MINNESOTA
James R. [Signature] MAYOR Evan R. [Signature] CLERK

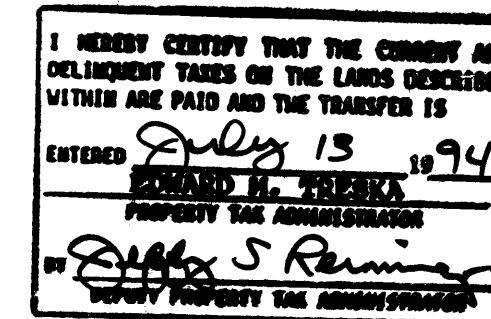
ANOKA COUNTY SURVEYOR

I hereby certify that this plat has been checked and approved this 13th day of July, 1994.

By Merlyn D. Anderson
Merlyn D. Anderson, Anoka County Surveyor



1126050

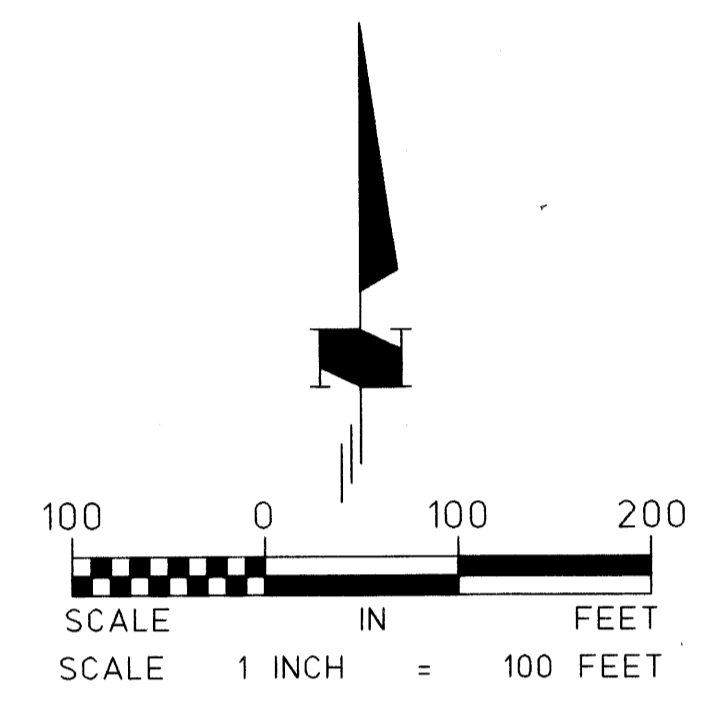


OFFICE OF COUNTY RECORDER
STATE OF MINNESOTA, COUNTY OF ANOKA
I hereby certify that the within instrument was filed in this office for record on the 13th day July A.D., 1994 at 1:55 o'clock PM, and was duly recorded in book 48 of plat 25
Edward M. Swada
County Recorder
By N. [Signature]

CHERRIER LAND SURVEYORS, INC.
REGISTERED PROFESSIONAL • LAND SURVEYORS

CHESTNUT RIDGE

CITY OF RAMSEY, COUNTY OF ANOKA

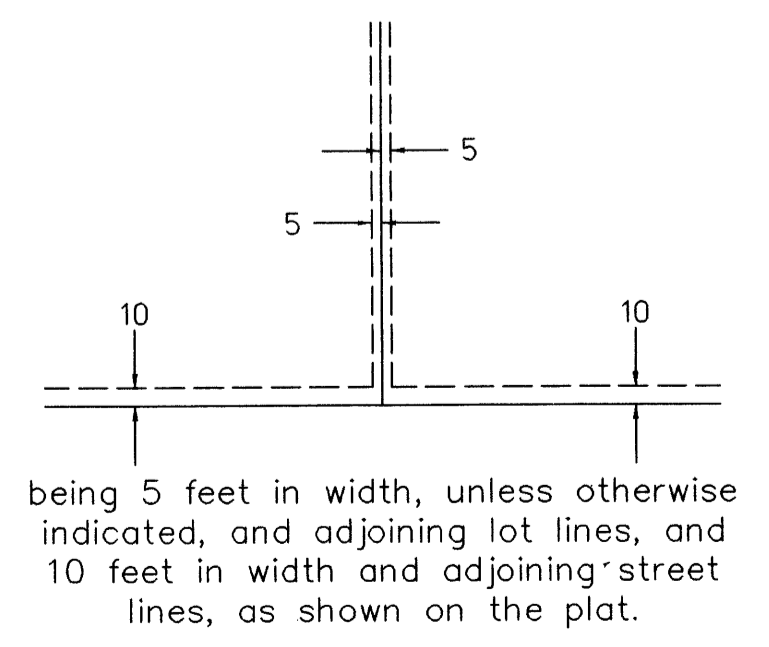


BEARING NOTE:
FOR PURPOSES OF THIS PLAT, THE NORTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 32, RANGE 25, IS ASSUMED TO BEAR N 89°07'29"E

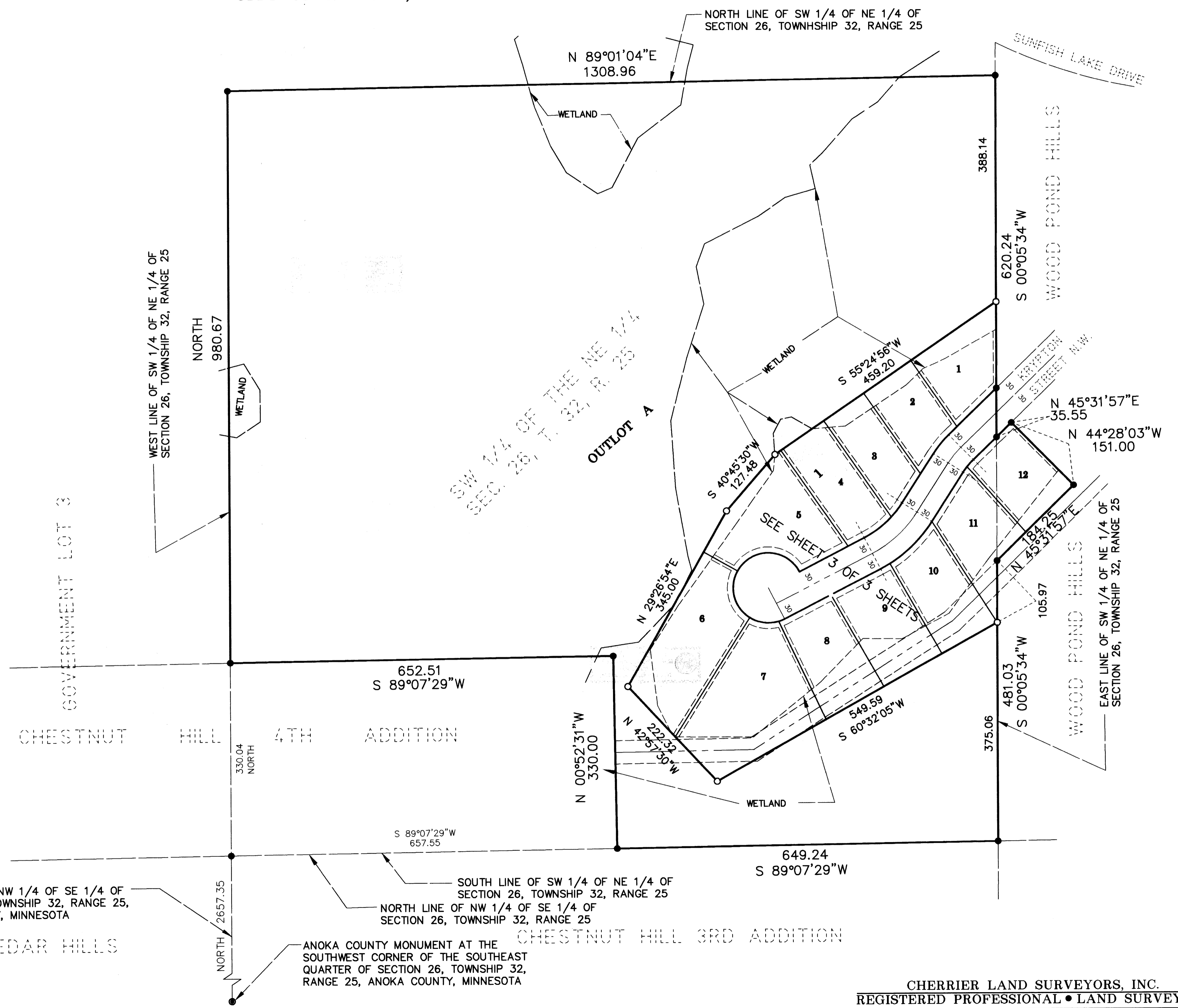
- denotes 5/8 inch by 18 inch iron monument set and capped with a plastic cap stamped land corner 17259
- denotes found iron monument

No monument symbol shown at any statute required location indicates a plat monument that will be set, and which shall be in place on or before the 1st day of June, 1995.

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



being 5 feet in width, unless otherwise indicated, and adjoining lot lines, and 10 feet in width and adjoining street lines, as shown on the plat.



CHERRIER LAND SURVEYORS, INC.
REGISTERED PROFESSIONAL • LAND SURVEYORS

CHESTNUT RIDGE

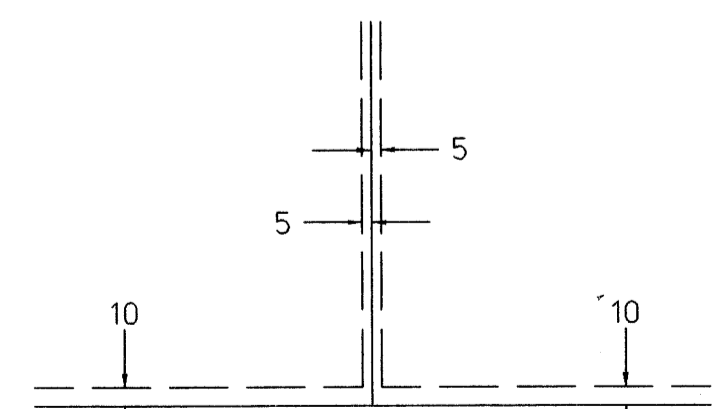
CITY OF RAMSEY, COUNTY OF ANOKA

BEARING NOTE:
FOR PURPOSES OF THIS PLAT, THE NORTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 32, RANGE 25, IS ASSUMED TO BEAR N 89°07'29"E

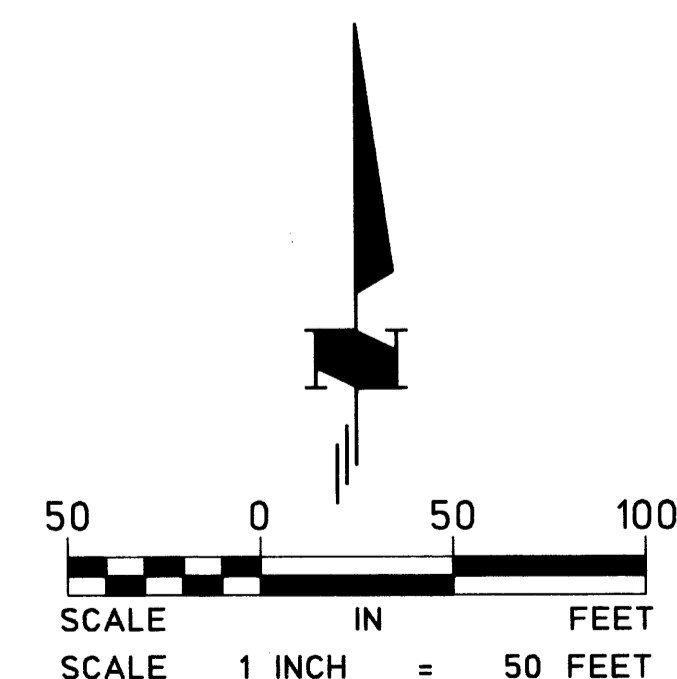
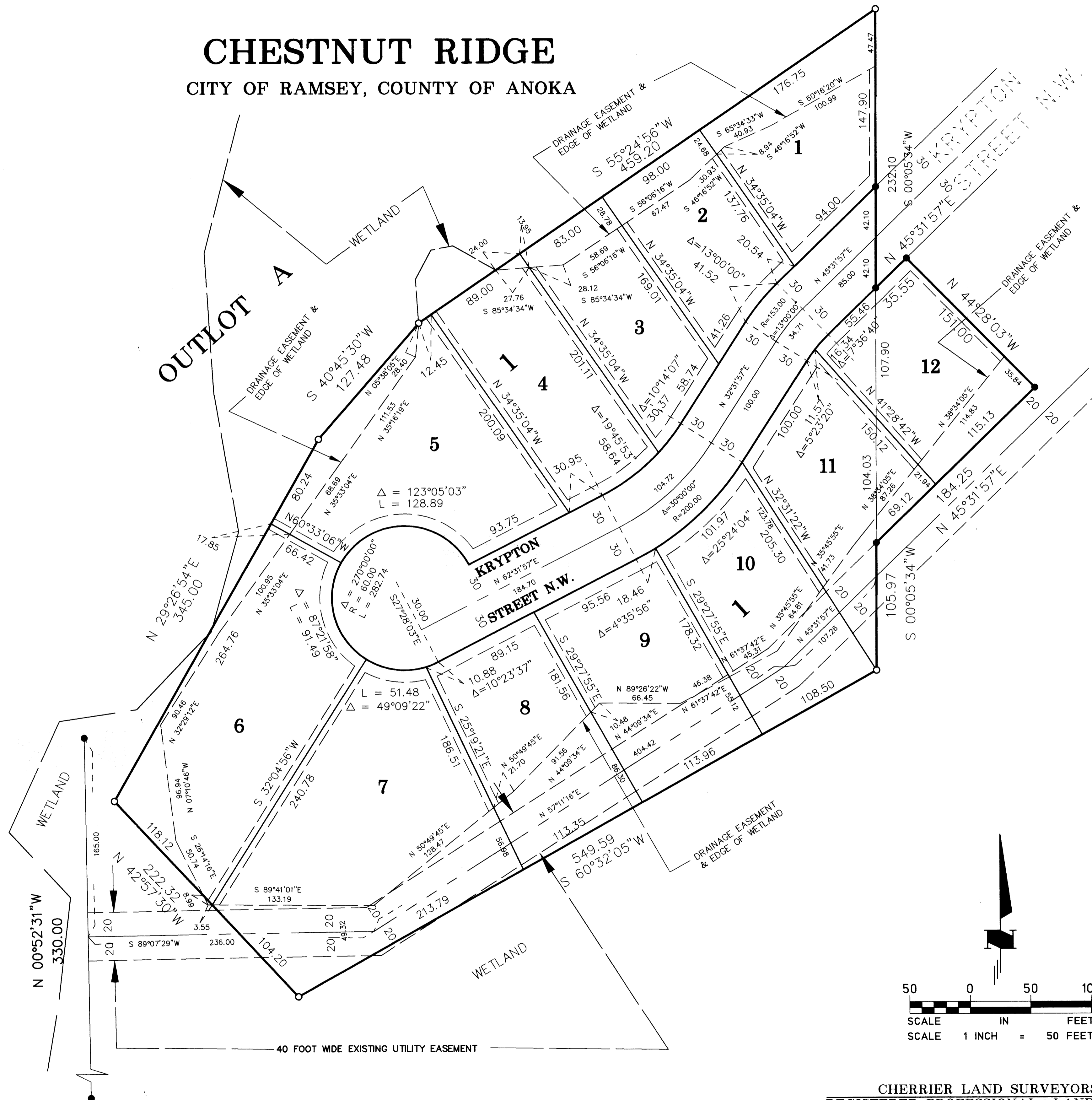
- denotes 5/8 inch by 18 inch iron monument set and capped with a plastic cap stamped land corner 17259
- denotes found iron monument

No monument symbol shown at any statute required location indicates a plat monument that will be set, and which shall be in place on or before the 1st day of June, 1995.

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



being 5 feet in width, unless otherwise indicated, and adjoining lot lines, and 10 feet in width and adjoining street lines, as shown on the plat.



CHERRIER LAND SURVEYORS, INC.
REGISTERED PROFESSIONAL • LAND SURVEYORS

CHESTNUT RIDGE 2ND ADDITION

CITY OF RAMSEY, COUNTY OF ANOKA

1205499
OFFICE OF COUNTY RECORDER
STATE OF MINNESOTA, COUNTY OF ANOKA
27th 05 Feb 96
3:27 P
Plats 27
Edward M. Trezka
By EIC
Deputy

KNOW ALL PERSONS BY THESE PRESENTS: That Good Value Homes, Inc., a Minnesota Corporation, owner and proprietor, Builders Mortgage Corporation mortgagee, Sidney V. Schaumburg and Marlys V. Schaumburg, husband and wife, mortgagee, of the following described property situated in the County of Anoka, State of Minnesota, to wit:

That part of the Northeast Quarter of Section 26, Township 32, Range 25, Anoka County, Minnesota, being all of Outlot A, CHESTNUT RIDGE according to the record plat thereof, Anoka County, Minnesota and that portion of the Northwest Quarter of the Northeast Quarter of said Section 26, described as follows; Beginning at the Northwest corner of the Northeast Quarter of said Section 26; Thence North 88 degrees 54 minutes 33 seconds East 223.70 feet along the North line of said Northeast Quarter; Thence South 33 degrees 33 minutes 46 seconds East, 766.78 feet; Thence South 64 degrees 07 minutes 05 seconds East, 736.10 feet to the east line of the Northwest Quarter of the Northeast Quarter; Thence South 00 degrees 05 minutes 26 seconds West along the East line of said Northwest Quarter of the Northeast Quarter 332.67 feet to the Southeast Corner of said Northwest Quarter of the Northeast Quarter; Thence South 89 degrees 00 minutes 16 seconds West along the South line of said Northwest Quarter of the Northeast Quarter 1309.11 feet to the Southwest corner of said Northwest Quarter of the Northeast Quarter; Thence North 00 degrees 01 minutes 02 seconds West along the West line of said Northwest Quarter of the Northeast Quarter 1311.04 feet to the POINT OF BEGINNING.

Have caused the same to be surveyed, platted and known as CHESTNUT RIDGE 2ND ADDITION and does hereby donate and dedicate to the public, for public use forever the Avenue, Streets, Lane, Drive, and dedicate the drainage and utility easements as shown on the plat.

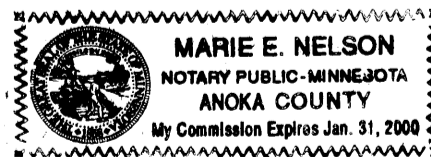
In witness whereof, said Good Value Homes, Inc., a Minnesota corporation, has caused these presents to be signed by its proper officers this 14th day of February 1996.
GOOD VALUE HOMES, INC.

By [Signature]
John R. Peterson, President

State of Minnesota
County of Anoka

The foregoing instrument was acknowledged before me this 14th day of February 1996 by John R. Peterson, President of Good Value Homes, Inc., a Minnesota Corporation, on behalf of the corporation.

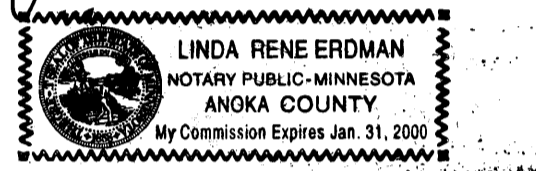
Notary Public, Anoka County, Minnesota
My commission expires January 31, 2000



Also in witness whereof, said Sidney V. Schaumburg and Marlys V. Schaumburg, husband and wife, mortgagee, have hereunto set their hands this 14 day of February 1996.

By [Signature]
Sidney V. Schaumburg
By [Signature]
Marlys M. Schaumburg

State of Minnesota
County of Anoka



The foregoing instrument was acknowledged before me this 14 day of February 1996 by Sidney V. Schaumburg and Marlys V. Schaumburg, husband and wife mortgagee.

Notary Public, Anoka County, Minnesota
My commission expires January 31, 2000

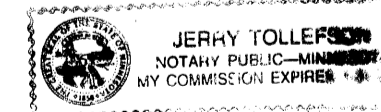
Also in witness whereof, said Builders Mortgage Corporation, a Minnesota Corporation, mortgagee, has caused these presents to be signed by its proper officers this 14th day of February 1996.

BUILDERS MORTGAGE CORPORATION
By [Signature]
Ronald G. Stratton, President

State of Minnesota
County of Anoka

The foregoing instrument was acknowledged before me this 14th day of February 1996 by Ronald G. Stratton, President of Builders Mortgage Corporation a Minnesota Corporation on behalf of the corporation.

Notary Public, Anoka County, Minnesota
My commission expires 1-31-2000



I, Donald E. Sigety, hereby certify that I have surveyed and platted the property described on this plat as CHESTNUT RIDGE 2ND ADDITION, that this plat is a correct representation of the survey, that all distances are correctly shown on the plat in feet and hundredths of a foot, that all monuments have been correctly placed in the ground as shown or will be correctly placed in the ground as designated; that the outside boundary lines are correctly designated on the plat and that there are no wet lands or public highways to be designated other than as shown.

[Signature]
Donald E. Sigety, Land Surveyor
Minnesota License Number 23945

State of Minnesota
County of Anoka

The foregoing Surveyor's Certificate was acknowledged before me this 10th day of January 1996 by Donald E. Sigety, Minnesota License No. 23945

Notary Public, Anoka County, Minnesota
My commission expires Jan. 31, 2000

RAMSEY, MINNESOTA

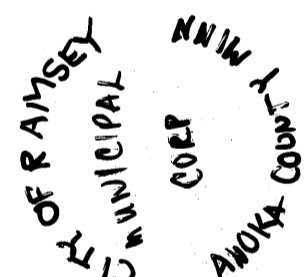
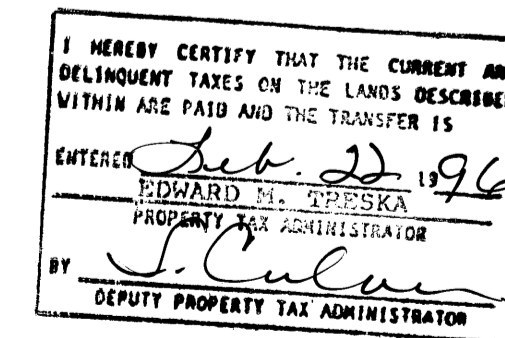
This plat of CHESTNUT RIDGE 2ND ADDITION was approved and accepted by the City Council of the City of Ramsey, Minnesota, at a regular meeting thereof held this 9th day of January 1996. If applicable, the written comments and recommendations of the Commissioner of Transportation and the County Highway Engineer have been received by the city or the prescribed 30 day period has elapsed without receipt of such comments and recommendations, as provided by Minn. Statutes, Section 505.03, Subd. 2.

CITY COUNCIL OF THE CITY OF RAMSEY, MINNESOTA
[Signature] Mayor [Signature] Clerk

ANOKA COUNTY SURVEYOR

I hereby certify that this plat has been checked and approved this 22nd day of Feb 1996

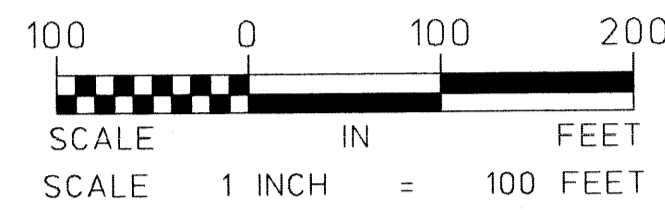
By [Signature]
Merlyn D. Anderson, Anoka County Surveyor



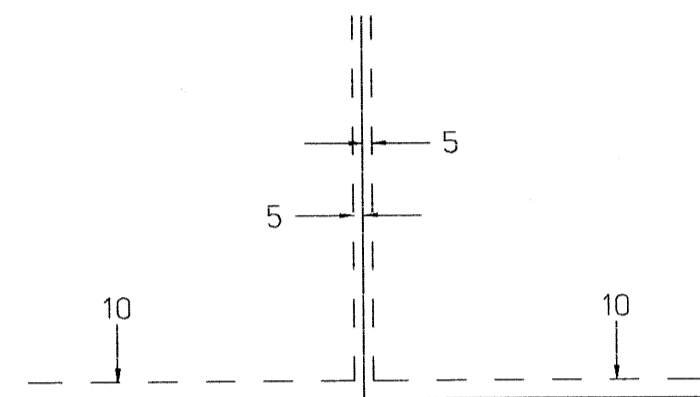
PASSE ENGINEERING, INC.
REGISTERED PROFESSIONAL ENGINEERS
LICENSED LAND SURVEYORS

CHESTNUT RIDGE 2ND ADDITION

CITY OF RAMSEY, COUNTY OF ANOKA



DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



being 5 feet in width and adjoining lot lines, and 10 feet in width and adjoining street lines, unless otherwise indicated on the plat.

BEARING NOTE:

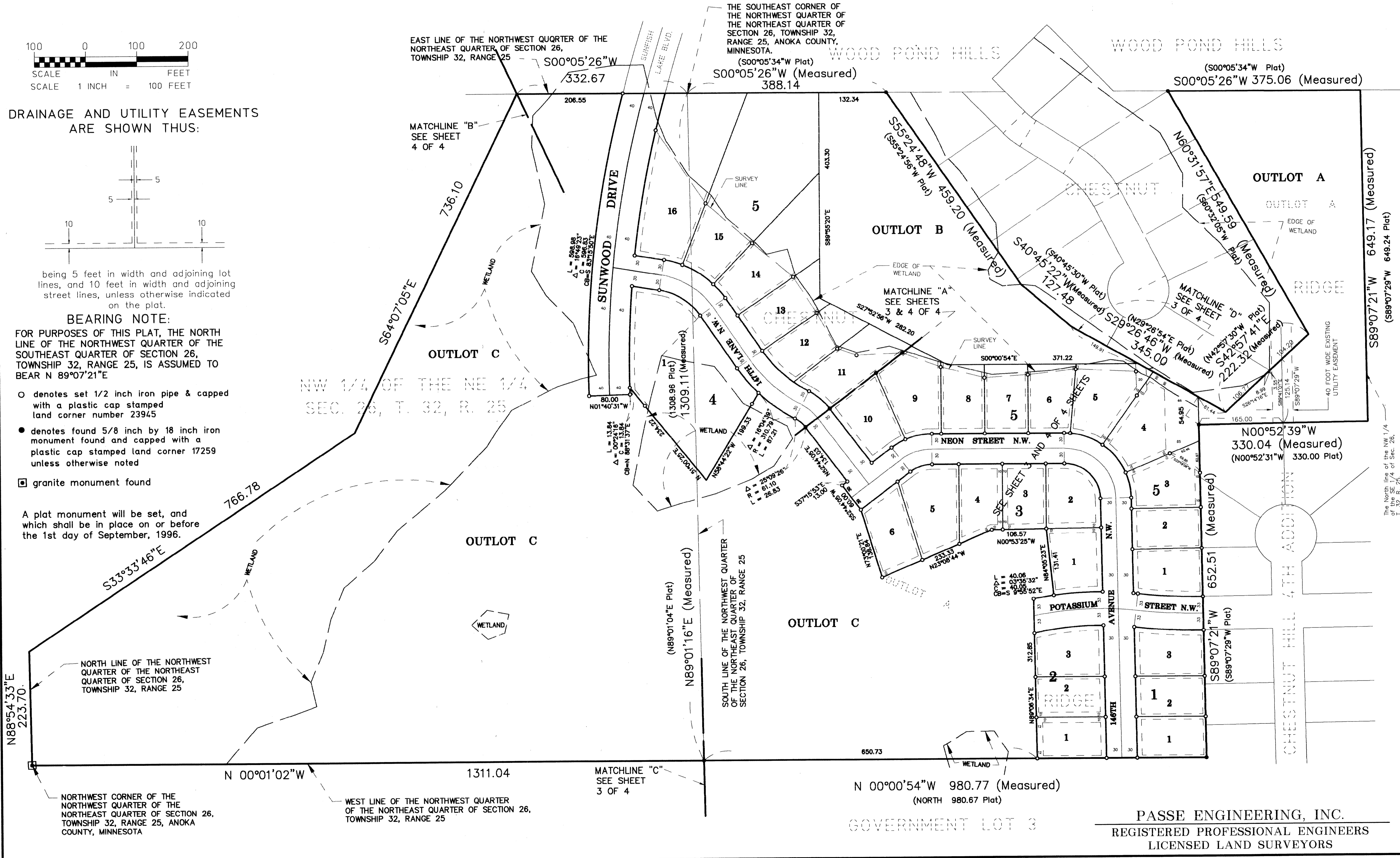
FOR PURPOSES OF THIS PLAT, THE NORTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 32, RANGE 25, IS ASSUMED TO BEAR N 89°07'21"E

○ denotes set 1/2 inch iron pipe & capped with a plastic cap stamped land corner number 23945

● denotes found 5/8 inch by 18 inch iron monument found and capped with a plastic cap stamped land corner 17259 unless otherwise noted

■ granite monument found

A plat monument will be set, and which shall be in place on or before the 1st day of September, 1996.



NORTH LINE OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 32, RANGE 25

NORTHWEST CORNER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 32, RANGE 25, ANOKA COUNTY, MINNESOTA

WEST LINE OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 32, RANGE 25

THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 26, TOWNSHIP 32, RANGE 25, ANOKA COUNTY, MINNESOTA.

GOVERNMENT LOT 3

PASSE ENGINEERING, INC.
REGISTERED PROFESSIONAL ENGINEERS
LICENSED LAND SURVEYORS

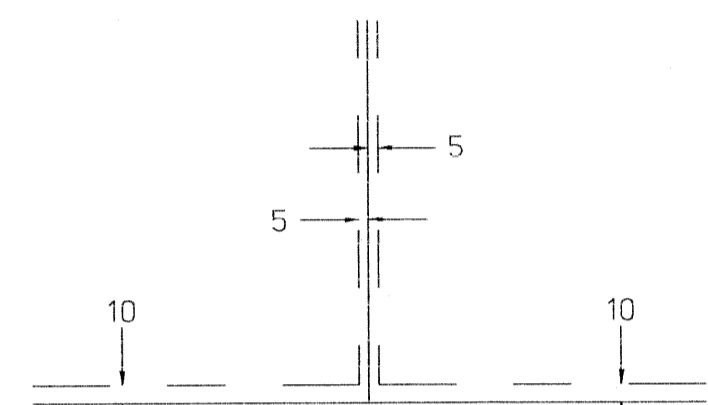
CHESTNUT RIDGE 2ND ADDITION

CITY OF RAMSEY, COUNTY OF ANOKA

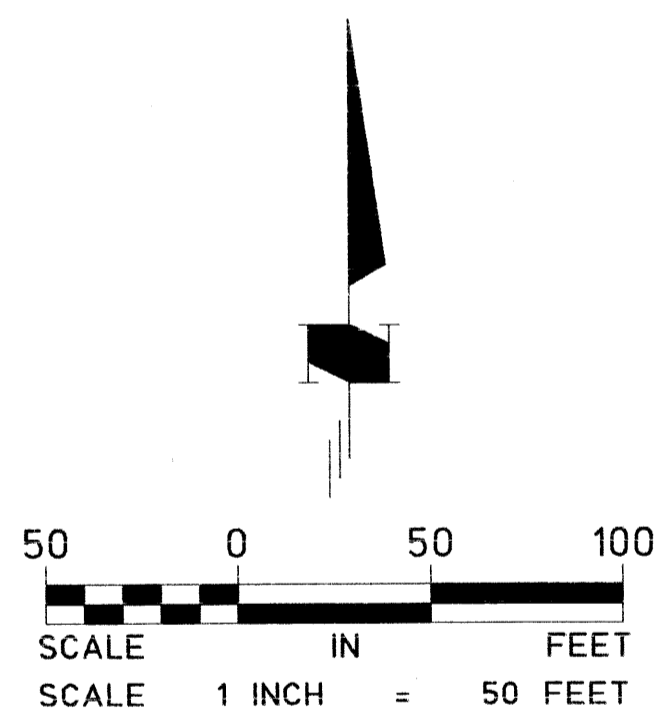
MATCHLINE "C"
SEE SHEET
2 OF 4

SOUTH LINE OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 26, TOWNSHIP 32, RANGE 25

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



being 5 feet in width and adjoining lot lines, and 10 feet in width and adjoining street lines, unless otherwise indicated on the plat.



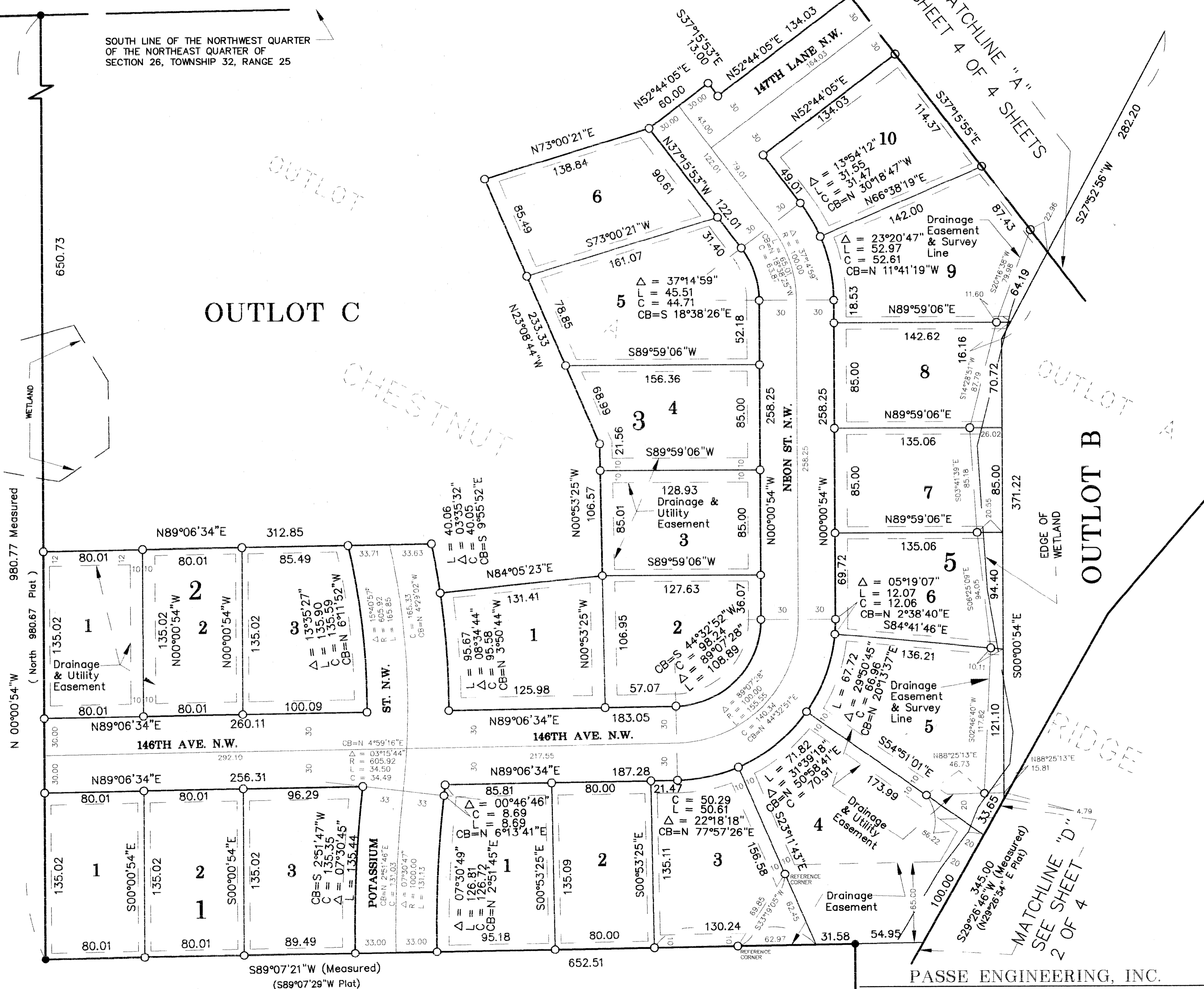
BEARING NOTE:

FOR PURPOSES OF THIS PLAT, THE NORTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 32, RANGE 25, IS ASSUMED TO BEAR N 89°07'21"E

- denotes set 1/2 inch iron pipe & capped with a plastic cap stamped land corner number 23945
- denotes found 5/8 inch by 18 inch iron monument found and capped with a plastic cap stamped land corner 17259 unless otherwise noted

A plat monument will be set, and which shall be in place on or before the 1st day of September, 1996.

GOVERNMENT LOT 3



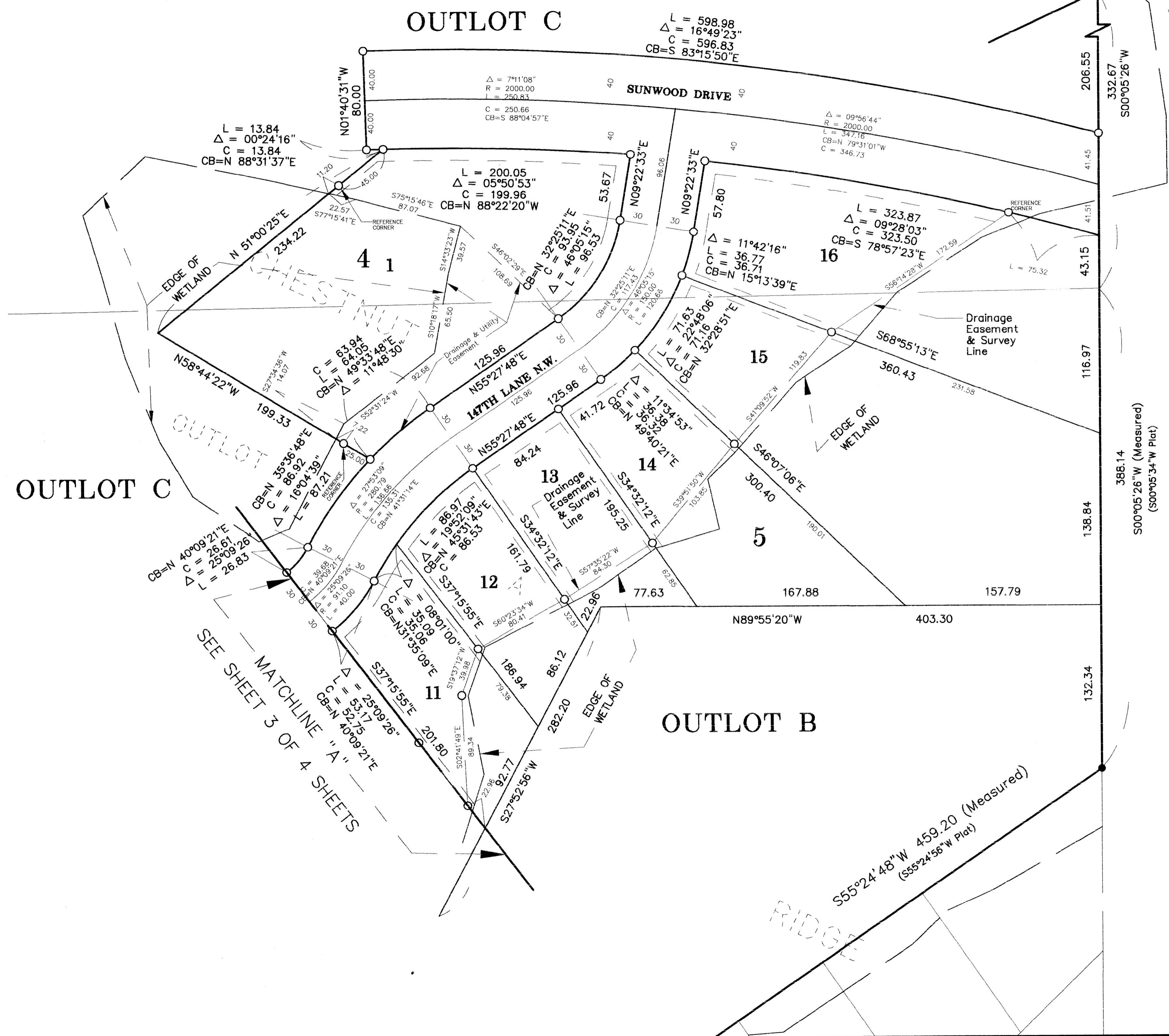
CHESTNUT HILL 4TH ADDITION

PASSE ENGINEERING, INC.
REGISTERED PROFESSIONAL ENGINEERS
LICENSED LAND SURVEYORS

CHESTNUT RIDGE 2ND ADDITION

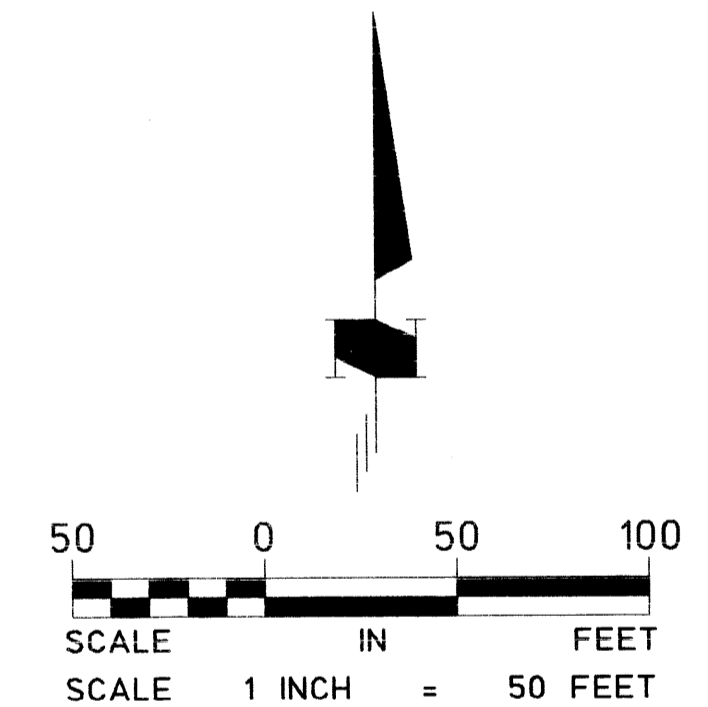
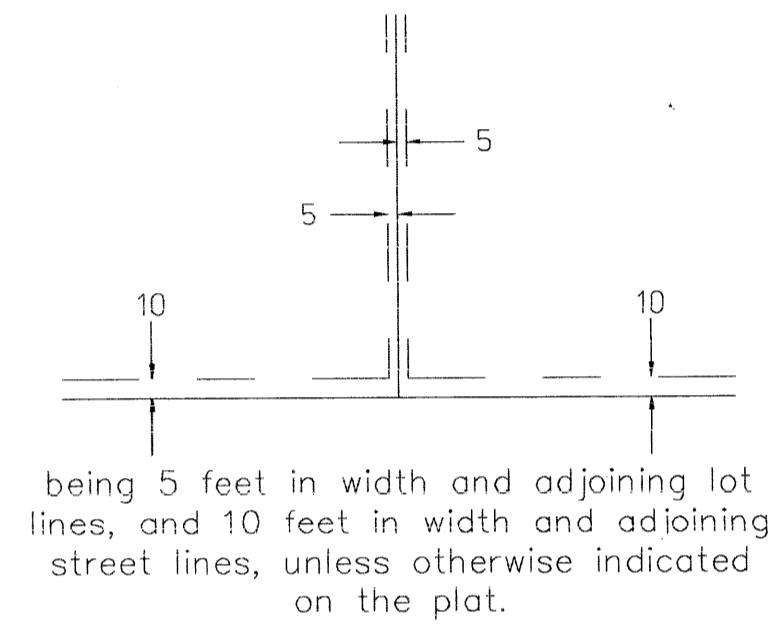
CITY OF RAMSEY, COUNTY OF ANOKA

OUTLOT C



MATCHLINE "B"
SEE SHEET
2 OF 4

DRAINAGE AND UTILITY EASEMENTS
ARE SHOWN THUS:



BEARING NOTE:

FOR PURPOSES OF THIS PLAT, THE NORTH LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 32, RANGE 25, IS ASSUMED TO BEAR N 89°07'21"E

- denotes set 1/2 inch iron pipe & capped with a plastic cap stamped land corner number 23945
- denotes found 5/8 inch by 18 inch iron monument found and capped with a plastic cap stamped land corner 17259 unless otherwise noted

A plat monument will be set, and which shall be in place on or before the 1st day of September, 1996.

PASSE ENGINEERING, INC.
REGISTERED PROFESSIONAL ENGINEERS
LICENSED LAND SURVEYORS

CHESTNUT WOODS

CITY OF RAMSEY, COUNTY OF ANOKA

KNOW ALL PERSONS BY THESE PRESENTS: That Good Value Homes, Inc., a Minnesota Corporation, owner and proprietor, and Builders Development & Finance, Inc., a Minnesota Corporation, Mortgagee of the following described property situate in the County of Anoka, State of Minnesota, to wit:

Lot 4, Block 2, CHESTNUT HILL, according to the plat of record thereof, Anoka County, Minnesota

Have caused the same to be surveyed, platted and known as CHESTNUT WOODS and does hereby donate and dedicate to the public, for public use forever, the drainage and utility easements as shown on the plat.

In witness whereof, said Good Value Homes, Inc., a Minnesota corporation, has caused these presents to be signed by its proper officers this 24th day of August 1993.

Also in witness whereof, said Builders Development & Finance, Inc., a Minnesota Corporation, mortgagee, has caused these presents to be signed by its proper officer this 24th day of August 1993.

GOOD VALUE HOMES, INC.

By Betty R. Hardle
Betty R. Hardle, Chief Executive Officer

By John R. Peterson
John R. Peterson, President

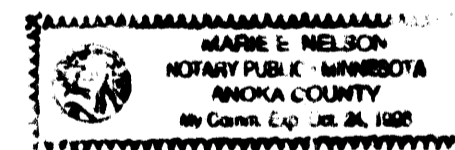
BUILDERS DEVELOPMENT & FINANCE INC.

By Tim N. Golie
Tim N. Golie, Assistant Vice President

State of Minnesota
County of Anoka

The foregoing instrument was acknowledged before me this 24 day of August 1993 by Betty R. Hardle, Chief Executive Officer, and by John R. Peterson, President of Good Value Homes, Inc., a Minnesota corporation, on behalf of the corporation.

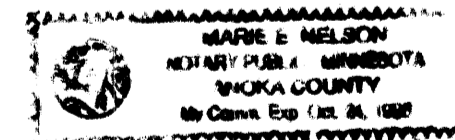
By Maria E. Nelson
Notary Public, Anoka County, Minnesota
My commission expires 10-24-96



State of Minnesota
County of Anoka

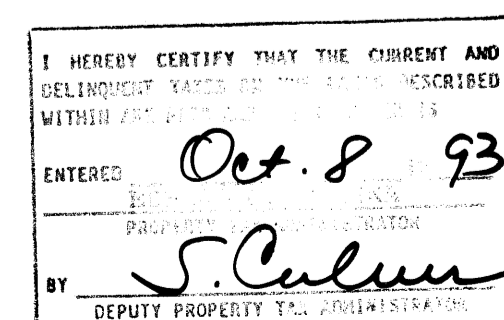
The foregoing instrument was acknowledged before me this 24 day of August 1993 by Tim N. Golie, as Assistant Vice President of Builders Development & Finance, Inc., a Minnesota Corporation, on behalf of the corporation.

By Maria E. Nelson
Notary Public, Anoka County, Minnesota
My commission expires 10-24-96



I, Marvin G. Lovlein, hereby certify that I have surveyed and platted the property described on this plat as CHESTNUT WOODS, that this plat is a correct representation of the survey, that all distances are correctly shown on the plat in feet and hundredths of a foot, that all monuments have been correctly placed in the ground as shown, that the outside boundary lines are correctly designated on the plat and that there are no wet lands or public highways to be designated other than as shown.

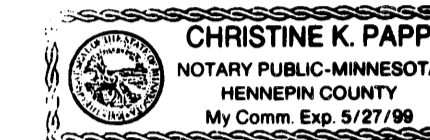
By Marvin G. Lovlein
Marvin G. Lovlein, Land Surveyor
Minnesota Registration Number 17259



State of Minnesota
County of Anoka

The forgoing Surveyor's Certificate was acknowledged before me this 12th day of AUGUST 1993 by Marvin G. Lovlein, Minnesota Registration No. 17259

By Christine K. Papp
Notary Public, Hennepin County, Minnesota
My commission expires 5-27-99



RAMSEY MINNESOTA

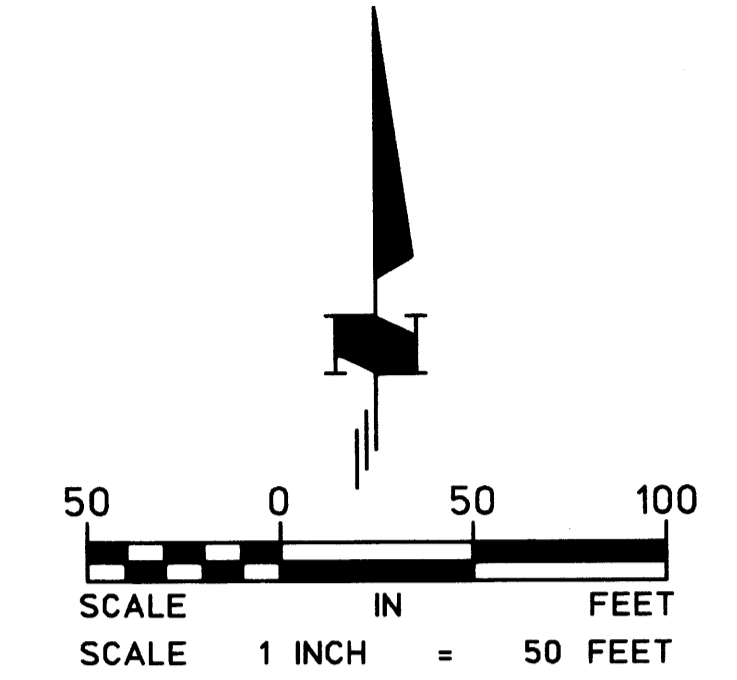
This plat of CHESTNUT WOODS, was approved and accepted by the City Council of the City of Ramsey, Minnesota, at a regular meeting thereof held this 27th day of July, 1993. If applicable, the written comments and recommendations of the Commissioner of Transportation and the County Highway Engineer have been received by the city or the prescribed 30 day period has elapsed without receipt of such comments and recommendations, as provided by Minn. Statutes, Section 505.03, Subd. 2.

CITY COUNCIL OF THE CITY OF RAMSEY, MINNESOTA
By James J. Peterson MAYOR Eva R. Schwedes CLERK

ANOKA COUNTY SURVEYOR

I hereby certify that this plat has been checked and approved this 8th day of October 1993

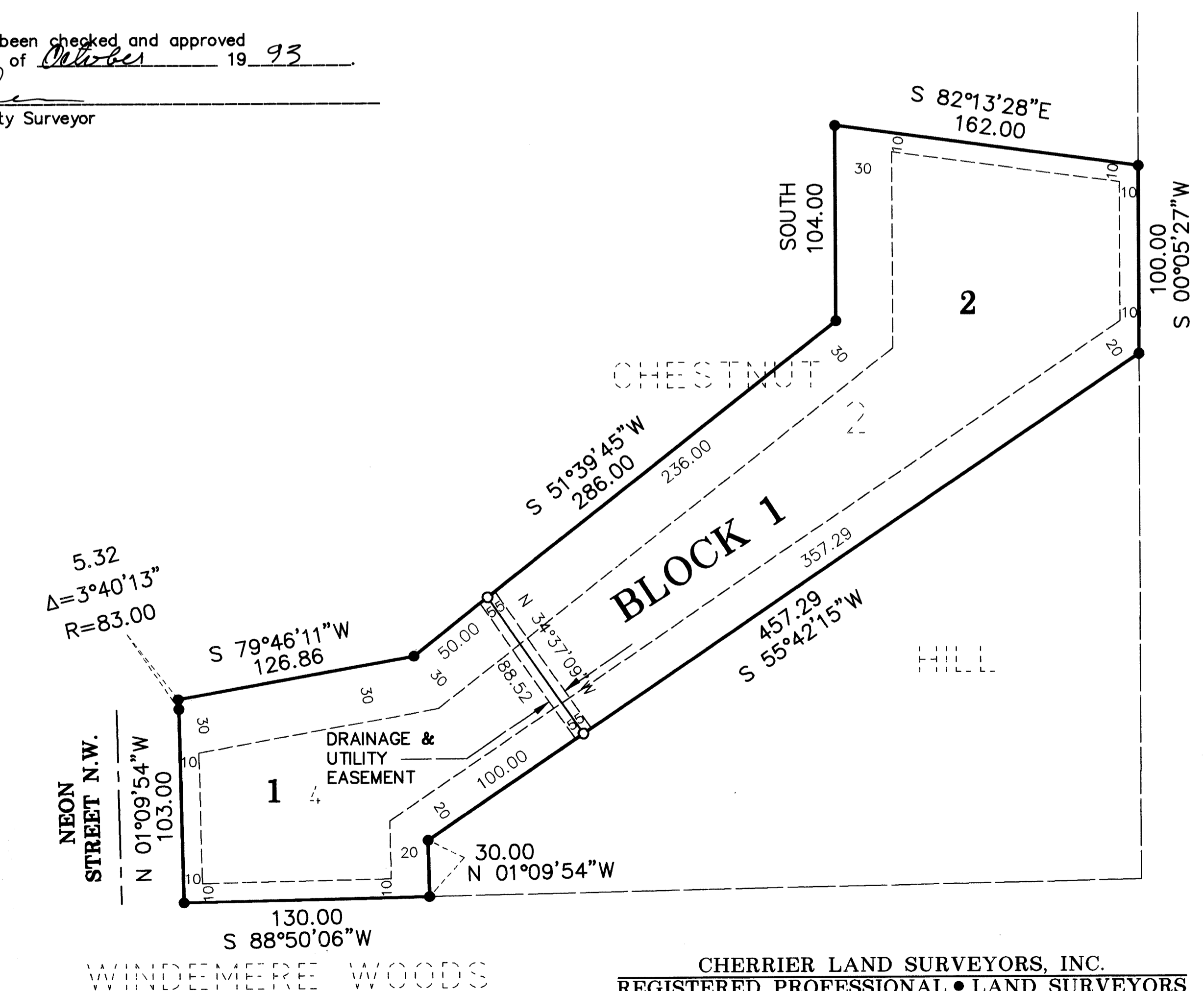
By Merlyn D. Anderson
Merlyn D. Anderson, Anoka County Surveyor



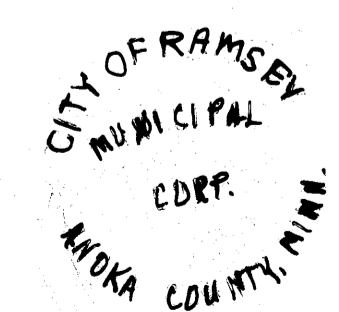
EASEMENTS AS PER PLAT OF CHESTNUT HILL UNLESS OTHERWISE SHOWN

BEARINGS AS PER PLAT OF CHESTNUT HILL

- denotes 5/8 inch by 18 inch iron monument set and capped with a plastic cap stamped land corner 17259
- denotes found iron monument



1070318
OFFICE OF COUNTY RECORDER
STATE OF MINNESOTA, COUNTY OF ANOKA
I hereby certify that the within instrument was filed in this office for record on the Oct 8 A.D., 1993 at 12:15 o'clock P.M., and was duly recorded in book 172 Aids page 19
By Edward M. Preska
County Recorder



CHERRIER LAND SURVEYORS, INC.
REGISTERED PROFESSIONAL • LAND SURVEYORS

LOT SURVEYS COMPANY
LAND SURVEYORS

RAMSEY TERRACE

TOWNSHIP OF RAMSEY, ANOKA COUNTY, MINNESOTA

KNOW ALL MEN BY THESE PRESENTS: That Donald W. Chapman and Muriel D. Chapman, his wife, owners and proprietors, and Pat (June) Fichtel, executrix of the estate of Era M. Smith deceased, mortgagee, of the following described property situate in the County of Anoka, State of Minnesota to-wit: The Southeast 1/4 of the Southeast 1/4 of Section 26, and that part of the East 1/2 of the Northeast 1/4 of Section 35 lying North of the center line County Road Number 57. All in Township 32, Range 25. Have caused the same to be surveyed and platted as RAMSEY TERRACE and do hereby donate and dedicate to the public for public use forever the Streets, Avenues, Road and Park as shown on the plat. Also dedicating to the County of Anoka, the right of access to County Road No. 57 from Lots 1, 2, 3 and 4, Block 7 and Lot 6, Block 3 and Lot 6, Block 6. Also reserving the Utility and Drainage Easements as shown on the plat. In witness whereof said Donald W. Chapman and Muriel D. Chapman, his wife, have hereunto set their hands and seals this 20th day of July A.D., 1972. In witness whereof said Pat (June) Fichtel, executrix of the estate of Era M. Smith deceased, has hereunto set her hand and seal this 20th day of July A.D., 1972.

In Presence of:
E.P. Baberuk and Germaine Kain
E.P. Baberuk and Germaine Kain
E.P. Baberuk and Germaine Kain

Signed:
Donald W. Chapman
Donald W. Chapman
Muriel D. Chapman
Muriel D. Chapman
Pat (June) Fichtel
Pat (June) Fichtel
Executrix of the estate of Era M. Smith, deceased

I hereby certify that I have surveyed and platted the land described in the dedication on this plat as RAMSEY TERRACE; that this plat is a correct representation of said survey; that all distances are correctly shown on said plat; that all monuments have been correctly placed in the ground as shown; and that the outside boundaries of the land are correctly designated on said plat; and that there are no wet lands or public highways to be designated other than as shown thereon.

Raymond A. Beach
Registered Land Surveyor - Minnesota Registration Number 6743

State of Minnesota
County of Hennepin Surveyor's certificate subscribed and sworn to before me, a Notary Public within and for said County and State on this 19th day of JUNE A.D., 1972.

Gerald T. Coyne
Notary Public, Hennepin County, Minnesota
Gerald T. Coyne
My Commission Expires September 14, 1976

State of Minnesota
County of Anoka On this 20th day of July A.D., 1972, before me, a Notary Public within and for said County and State, personally appeared Donald W. Chapman and Muriel D. Chapman, his wife, to me personally known to be the persons described in and who executed the foregoing instrument and they acknowledged the same to be their own free act and deed.

E.P. Baberuk
Notary Public, Anoka County, Minnesota
E. P. BABCOCK
Notary Public, Hennepin County, Minn.
My Commission Expires June 5, 1977. Commission Expires _____

State of Minnesota
County of Anoka On this 20th day of July A.D., 1972, before me, a Notary Public within and for said County and State, personally appeared Pat (June) Fichtel, to me personally known to be the executrix of the estate of Era M. Smith, deceased, and the person described in and who executed the foregoing instrument and she acknowledged the same to be her own free act and deed.

E.P. Baberuk
Notary Public, County, Minnesota
E. P. BABCOCK
Notary Public, Hennepin County, Minn.
My Commission Expires June 5, 1977. My Commission Expires _____

Recommended for approval this 25th day of July A.D., 1972.

C. J. Lundheim
Anoka County Highway Engineer

This plat was approved as to form and execution on this 5th day of October A.D., 1972.

Robert J. Johnson
County Attorney, Anoka County, Minnesota

Checked and approved this 25th day of July A.D., 1972.

Roland W. Anderson
Anoka County Surveyor

Annexed plat of RAMSEY TERRACE was approved by the Town Board of the Township of Ramsey at a regular meeting thereof held this 19th day of June A.D., 1972.

Robert E. Murphy
Chairman
James M. Peterson
Clerk

This plat was approved and accepted by the Board of County Commissioners of the County of Anoka, State of Minnesota, at a regular meeting thereof held this 25 day of July A.D., 1972.

Robert A. Kordich
Chairman
Charles R. Leflore
County Auditor

Annexed plat of RAMSEY TERRACE was approved by the Planning Commission of the Township of Ramsey at a regular meeting thereof held this 5th day of JUNE A.D., 1972.

Gary R. Reimann
Chairman

"NO DELINQUENT TAXES
AND TRANSFER ENTERED"

11 1972
Charles M. Gebue
Auditor, Anoka County
BY Anton N. Heintz
Deputy

377189
OFFICE OF REGISTER OF DEEDS
STATE OF MINNESOTA, COUNTY OF ANOKA }ss

I hereby certify that the within instrument was filed in this office for record on the 11th day of JULY A.D., 1972, at 11:30 o'clock A.M., and was duly recorded in book 12 of Plats, page 14.

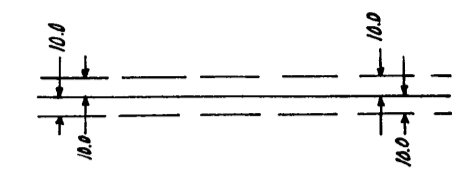
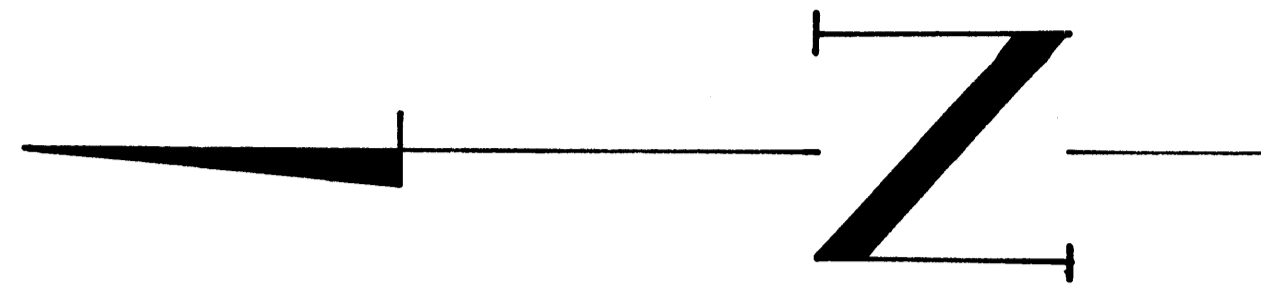
Ted J. Omdahl
Register of Deeds
By Margaret Russell
Deputy

LOT SURVEYS COMPANY
LAND SURVEYORS

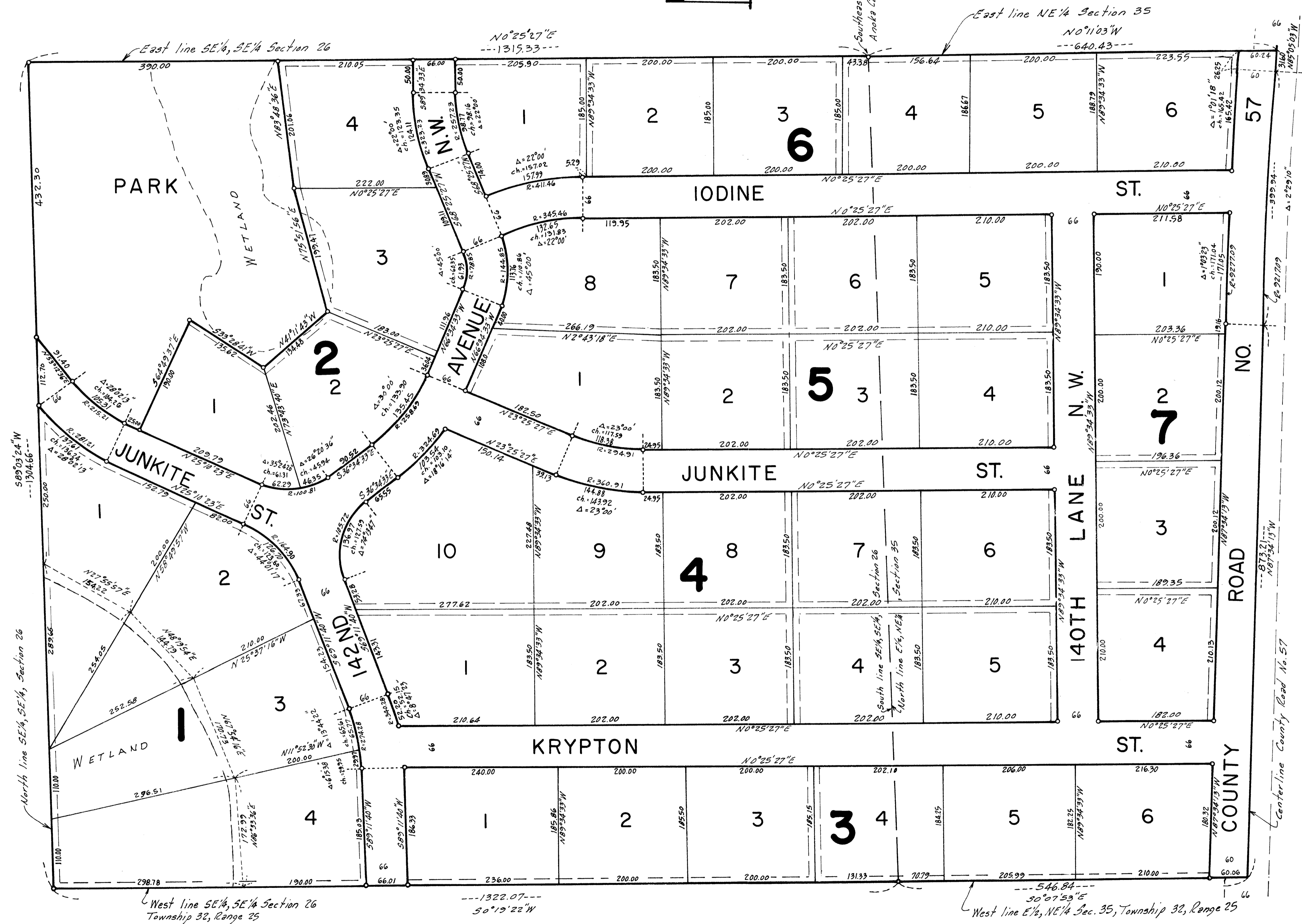
RAMSEY TERRACE

TOWNSHIP OF RAMSEY, ANOKA COUNTY, MINNESOTA

• Denotes Iron Monument
Bearings shown are assumed
Scale: 1 inch = 100 feet
June, 1972



Utility and Drainage Easements shown thus being 10 feet in width and parallel with lot lines as shown.



"NO DELINQUENT TAXES AND TRANSFER ENTERED"

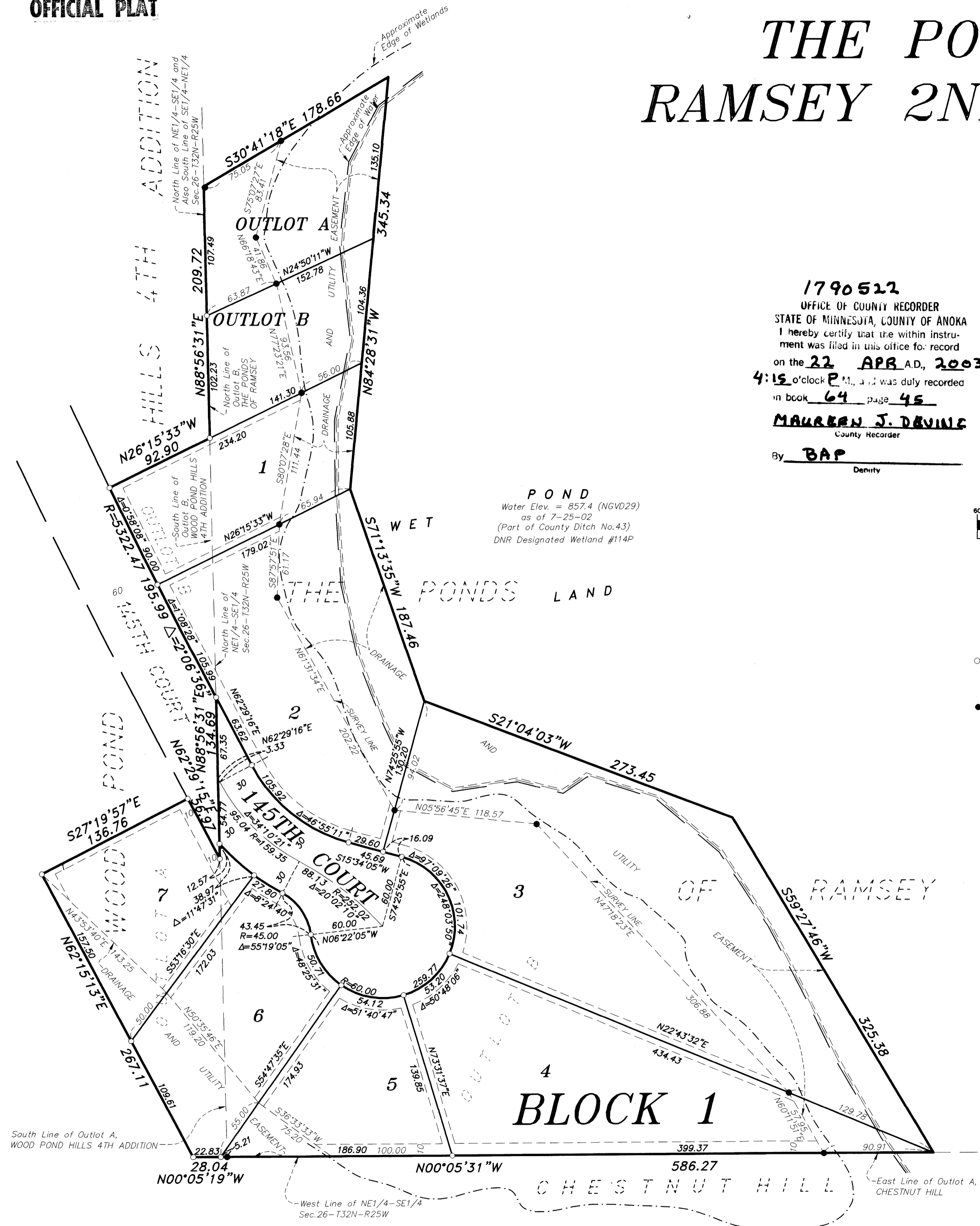
Oct 11 1977

Charles A. Lofgren
Surveyor, Anoka County

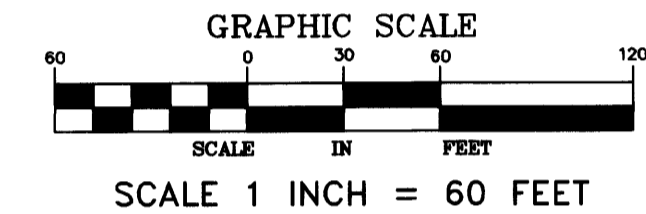
Edwin A. Heidt
Deputy

THE PONDS OF RAMSEY 2ND ADDITION

OFFICIAL PLAT



1790512
 OFFICE OF COUNTY RECORDER
 STATE OF MINNESOTA, COUNTY OF ANOKA
 I hereby certify that the within instrument was filed in this office for record on the 22 APR, A.D., 2003 at 4:15 o'clock P.M. and was duly recorded in book 64 page 45
MAUREEN J. DEVINE
 County Recorder
 By BAP
 Deputy



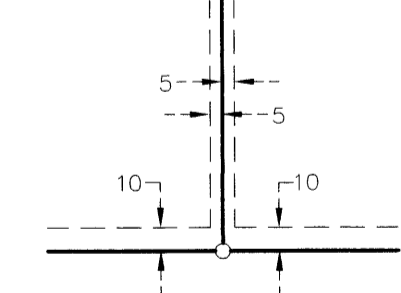
NOTES:

- - DENOTES 1/2 INCH BY 14 INCH IRON PIPE MONUMENT SET AND MARKED WITH A PLASTIC CAP INSCRIBED "RLS 10947"
- - DENOTES MONUMENT FOUND

BENCHMARK:

- TOP OF CAST IRON MONUMENT AT NORTHEAST CORNER OF NORTHEAST QUARTER OF SOUTHEAST QUARTER OF SEC.26-T32N-R25W ELEVATION = 871.33 (NGVD29)

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:
 BEING 5 FEET IN WIDTH AND ADJOINING LOT LINES, AND 10 FEET IN WIDTH AND ADJOINING RIGHT-OF-WAY LINES UNLESS OTHERWISE SHOWN ON THE PLAT.



KNOW ALL PERSONS BY THESE PRESENTS: That Royal Oaks Realty Inc. a Minnesota Corporation and Dale T. Dockendorf and Kathleen J. Dockendorf, husband and wife, fee owners and Builders Development & Finance, Inc., a Minnesota Corporation, mortgagee of the following described property situated in the County of Anoka, State of Minnesota to wit:

Outlot B, THE PONDS OF RAMSEY, Anoka County, Minnesota, according to the recorded plat thereof.
 And that Enterprise Properties, LLP, a Minnesota Limited Liability Partnership, fee owner of the following described property situated in the County of Anoka, State of Minnesota to wit:
 Outlot A, WOOD POND HILLS 4TH ADDITION, Anoka County, Minnesota, according to the recorded plat thereof.
 AND
 Outlot B, WOOD POND HILLS 4TH ADDITION, Anoka County, Minnesota, according to the recorded plat thereof.

Have caused the same to be surveyed and platted as THE PONDS OF RAMSEY 2ND ADDITION and do hereby donate and dedicate to the public use forever the court and easements for drainage and utility purposes as shown on the plat.
 In witness whereof said Royal Oaks Realty, Inc., a Minnesota Corporation, has caused these presents to be signed by its President this 6th day of September, 2002

ROYAL OAKS REALTY, INC.
Marcel Eibensteiner
 Marcel Eibensteiner, President
 In witness whereof said Dale T. Dockendorf and Kathleen J. Dockendorf have hereunto set their hands this 6th day of September, 2002
Dale T. Dockendorf
 Dale T. Dockendorf
Kathleen J. Dockendorf
 Kathleen J. Dockendorf

In witness whereof said Builders Development & Finance, Inc., a Minnesota Corporation, has caused these presents to be signed by its president this 9th day of September, 2002.
 BUILDERS DEVELOPMENT AND FINANCE, INC
Bill Keenan, Inc
 Bill Keenan, President

In witness whereof said Enterprise Properties, LLP, a Minnesota Limited Liability Partnership, has caused these presents to be signed by its General Partner this 17th day of February, 2002.
 ENTERPRISE PROPERTIES, LLP
David Segal
 David Segal, General Partner

STATE OF MINNESOTA
 COUNTY OF Ramsey
 The foregoing instrument was acknowledged before me this 6th day of September, 2002, by Marcel Eibensteiner, as President, of Royal Oaks Realty, Inc., a Minnesota Corporation, on behalf of the Corporation.

Ronald J. Riach
 RONALD J. RIACH
 Notary Public - Minnesota
 My Comm. Expires Jan. 31, 2005

Randy Riach
 Randy Riach
 Notary Public, _____ County, Minnesota
 My commission expires _____

STATE OF MINNESOTA
 COUNTY OF Ramsey
 The foregoing instrument was acknowledged before me this 6th day of September, 2002, by Dale T. Dockendorf and Kathleen J. Dockendorf, husband and wife.

Ronald J. Riach
 RONALD J. RIACH
 Notary Public - Minnesota
 My Comm. Expires Jan. 31, 2005

Randy Riach
 Randy Riach
 Notary Public, _____ County, Minnesota
 My commission expires _____

STATE OF MINNESOTA
 COUNTY OF Ramsey
 The foregoing instrument was acknowledged before me this 9th day of September, 2002, by Bill Keenan, as president of Builders Development & Finance, Inc., a Minnesota Corporation, on behalf of the corporation.

Mary Ellen Olke
 MARY ELLEN OLKE
 Notary Public - Minnesota
 My Commission Expires Jan. 31, 2008

Mary Ellen Olke
 Mary Ellen Olke
 Notary Public, Ramsey County, Minnesota
 My commission expires January 31, 2005

STATE OF MINNESOTA
 COUNTY OF Ramsey
 The foregoing instrument was acknowledged before me this 17th day of February, 2003, by David Segal, as General Partner of Enterprise Properties, LLP, a Minnesota Limited Liability Partnership, on behalf of the Partnership.

Mary Ellen Olke
 MARY ELLEN OLKE
 Notary Public - Minnesota
 My Commission Expires Jan. 31, 2008

Mary Ellen Olke
 Mary Ellen Olke
 Notary Public, Ramsey County, Minnesota
 My commission expires January 31, 2005

I hereby certify that I have surveyed and platted the land described on this plat as THE PONDS OF RAMSEY 2ND ADDITION; that this plat is a true and correct representation of said survey; that all distances are correctly shown on the plat in feet and hundredths of a foot; that all monuments have been correctly placed in the ground as shown on said plat or will be placed as required by the local government unit as designated on said plat; that the outside boundary lines are correctly designated on the plat and that there are no wetlands as defined in Minnesota Statutes 505.02, Subd. 1 or public highways to be designated on said plat other than as shown.

Rodney H. Halvorson
 Rodney H. Halvorson, Land Surveyor
 Minnesota License No. 10947

STATE OF MINNESOTA
 COUNTY OF Anoka
 The foregoing instrument was acknowledged before me this 3rd day of September, 2002, by Rodney H. Halvorson, Land Surveyor.

Diane S. Halvorson
 DIANE S. HALVORSON
 Notary Public, Anoka County, Minnesota
 My commission expires 31 Jan 2005

The foregoing instrument was approved and accepted by the City Council of Ramsey, Minnesota at a regular meeting thereof held this 18th day of April, 2003. If applicable, the written comments and recommendations of the Commissioner of Transportation and the County Highway Engineer have been received by the City or the prescribed 30 day period has elapsed without receipt of such comments and recommendations, as provided by Minnesota Statutes, Section 605.03, Subd. 2.

CITY COUNCIL OF RAMSEY, MINNESOTA
 By *James E. Norman*
 James E. Norman, Mayor
 By *James E. Norman*
 James E. Norman, City Manager

Checked and approved this 22nd day of April, 2003
James E. Norman
 James E. Norman, City Manager
 Anoka County Surveyor

RECEIVED
 APR 22 2003
J. Culver
 DEPUTY COUNTY CLERK

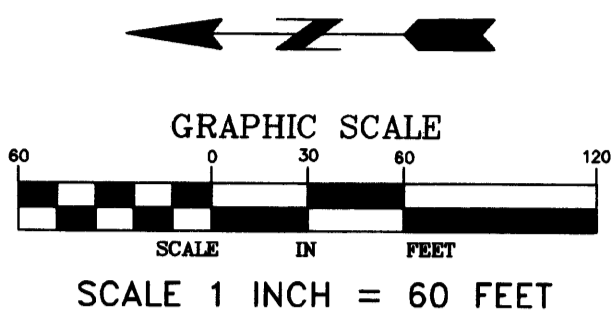
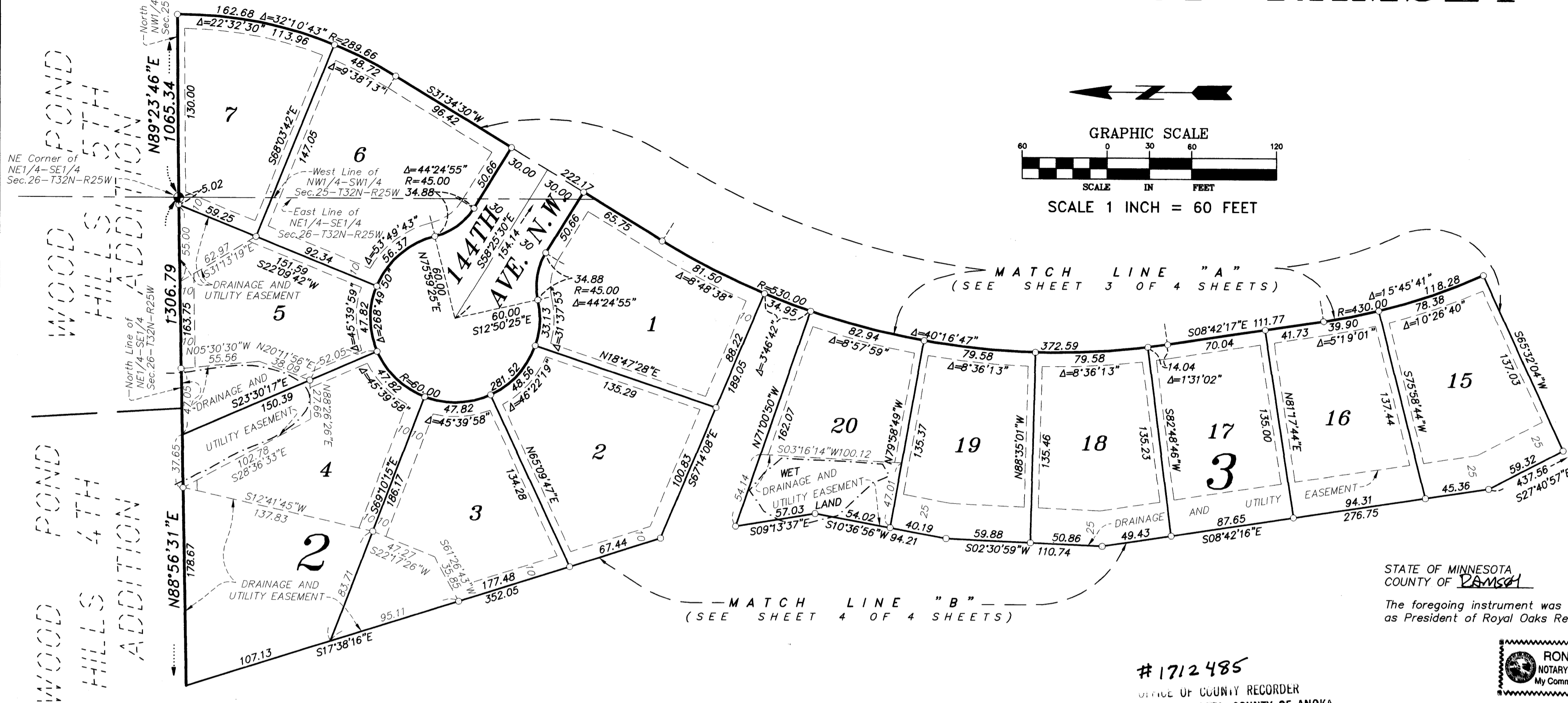
RECEIPT# 2003052099 / 365.00

MIDWEST
 Land Surveyors & Civil Engineers, Inc.

OFFICIAL PLAT

THE PONDS OF RAMSEY

CITY OF RAMSEY
COUNTY OF ANOKA
SEC.25 & 26-T32N-R25W
Book 63 Page 31



NOTES:

- DENOTES 1/2 INCH BY 14 INCH IRON PIPE MONUMENT SET AND MARKED WITH A PLASTIC CAP INSCRIBED 'RLS 10947'
- DENOTES MONUMENT FOUND
- DENOTES ANOKA COUNTY MONUMENT
- DENOTES RIGHT OF ACCESS DEDICATED TO THE COUNTY OF ANOKA.

MIDWEST Land Surveyors & Civil Engineers, Inc.

KNOW ALL PERSONS BY THESE PRESENTS: That Royal Oaks Realty Inc. a Minnesota Corporation and Dale T. Dockendorf and Kathleen J. Dockendorf, husband and wife, fee owners and Builders Development & Finance, Inc., a Minnesota Corporation, mortgagee of the following described property situated in the County of Anoka, State of Minnesota to wit:

That part of the Northeast 1/4 of the Southwest 1/4 of Section 25, Township 32, Range 25, lying Southwesterly of the Southwesterly right of way line of County State Aid Highway No. 5 and lying westerly of the Westerly right of way line of Dysprosium Street, except that part described as follows:

Commencing at the Southwest corner of said 1/4 1/4, thence North 89 degrees, 51 minutes, 23 seconds East (assumed bearing) along the Southerly line of said 1/4 1/4 469.93 feet, thence Northerly 208.74 feet along a non-tangential curve concave to the West having a radius of 260 feet and a central angle of 46 degrees and the chord of said curve bears North 5 degrees, 12 minutes, 55 seconds East and is 203.18 feet in length, thence North 17 degrees, 47 minutes 5 seconds West tangent to said curve 50 feet, thence Northerly 151.47 feet along a tangential curve concave to the East, having a radius of 340 feet and a central angle of 25 degrees, 31 minutes, 31 seconds to the point of beginning of said tract to be described.

AND

The Northwest 1/4 of the Southwest 1/4 of Section 25, Township 32, Range 25, except that portion taken for County State Aid Highway No. 5, Anoka County, Minnesota.

AND

The Northeast 1/4 of the Southeast 1/4 of Section 26, Township 32, Range 25, Anoka County, Minnesota.

Have caused the same to be surveyed and platted as THE PONDS OF RAMSEY and do hereby donate and dedicate to the public for public use forever the avenues, courts, street, way, parks and easements for drainage and utility purposes and dedicate to Anoka County the right of access onto County State Aid Highway No. 5 as shown on the plat.

In witness whereof said Royal Oaks Realty, Inc., a Minnesota Corporation has caused these presents to be signed by its President this 6th day of September 2002

ROYAL OAKS REALTY, INC. Marcel Eibensteiner, President

In witness whereof said Dale T. Dockendorf and Kathleen J. Dockendorf have hereunto set their hands this 6th day of September, 2002

Dale T. Dockendorf, Kathleen J. Dockendorf

In witness whereof said Builders Development & Finance, Inc., a Minnesota Corporation, has caused these presents to be signed by its President this 6th day of September, 2002

BUILDERS DEVELOPMENT AND FINANCE, INC. Bill Keenan, President

#1712485
OFFICE OF COUNTY RECORDER
STATE OF MINNESOTA, COUNTY OF ANOKA
I hereby certify that the within instrument was filed in this office for record on the 24 SEP AD, 2002 at 9:45 o'clock A.M., and was duly recorded in book 63 page 31
Manson J. Devisia
County Recorder

STATE OF MINNESOTA COUNTY OF Ramsey
The foregoing instrument was acknowledged before me this 6th day of September, 2002, by Marcel Eibensteiner, as President of Royal Oaks Realty, Inc., a Minnesota Corporation, on behalf of the Corporation.

RONALD J. RIACH
NOTARY PUBLIC - MINNESOTA
My Comm. Expires Jan. 31, 2005

Notary Public, Ramsey County, Minnesota
My commission expires

STATE OF MINNESOTA COUNTY OF Ramsey
The foregoing instrument was acknowledged before me this 6th day of September, 2002, by Dale T. Dockendorf and Kathleen J. Dockendorf, husband and wife.

RONALD J. RIACH
NOTARY PUBLIC - MINNESOTA
My Comm. Expires Jan. 31, 2005

Notary Public, Ramsey County, Minnesota
My commission expires

STATE OF MINNESOTA COUNTY OF Ramsey
The foregoing instrument was acknowledged before me this 6th day of September, 2002, by Bill Keenan, as President of Builders Development & Finance, Inc., a Minnesota Corporation, on behalf of the corporation.

Notary Public, Ramsey County, Minnesota
My commission expires Jan. 31, 2002

I hereby certify that I have surveyed and platted the land described on this plat as THE PONDS OF RAMSEY; that this plat is a true and correct representation of said survey; that all distances are correctly shown on the plat in feet and hundredths of a foot; that all monuments have been correctly placed in the ground as shown on said plat or will be placed as required by the local government unit as designated on said plat; that the outside boundary lines are correctly designated on the plat and that there are no wetlands as defined in Minnesota Statutes 505.02, Subd. 1 or public highways to be designated on said plat other than as shown.

Rodney H. Halvorson, Land Surveyor
Minnesota License No. 10947

STATE OF MINNESOTA COUNTY OF Anoka
The foregoing instrument was acknowledged before me this 3rd day of September, 2002, by Rodney H. Halvorson, Land Surveyor.

DIANE S. HALVORSON
NOTARY PUBLIC - MINNESOTA
My Commission Expires Jan. 31, 2005

Notary Public, Anoka County, Minnesota
My commission expires 31 Jan 2005

The foregoing plat of THE PONDS OF RAMSEY was approved and accepted by the City Council of Ramsey, Minnesota at a regular meeting thereof held this 14th day of May, 2002. If applicable, the written comments and recommendations of the Commissioner of Transportation and the County Highway Engineer have been received by the City or the prescribed 30 day period has elapsed without receipt of such comments and recommendations, as provided by Minnesota Statutes, Section 505.03, Subd. 2.

CITY COUNCIL OF RAMSEY, MINNESOTA
By Mayor
By City Manager

Checked and approved this 21st day of September, 2002
Anoka County Surveyor

I HEREBY CERTIFY THAT THE CURRENT AND DELINQUENT TAXES ON THE LANDS DESCRIBED WITHIN ARE PAID AND THE TRANSFER IS ENTERED
MAUREN J. DEVINE
PROPERTY TAX ADMINISTRATOR

RECEIPT # 2002112554 / 5524.50



MIDWEST
Land Surveyors & Civil Engineers, Inc.

OFFICIAL PLAT

THE PONDS OF RAMSEY

CITY OF RAMSEY
COUNTY OF ANOKA
SEC.25&26-T32N-R25W
Book 63 PAGE 31

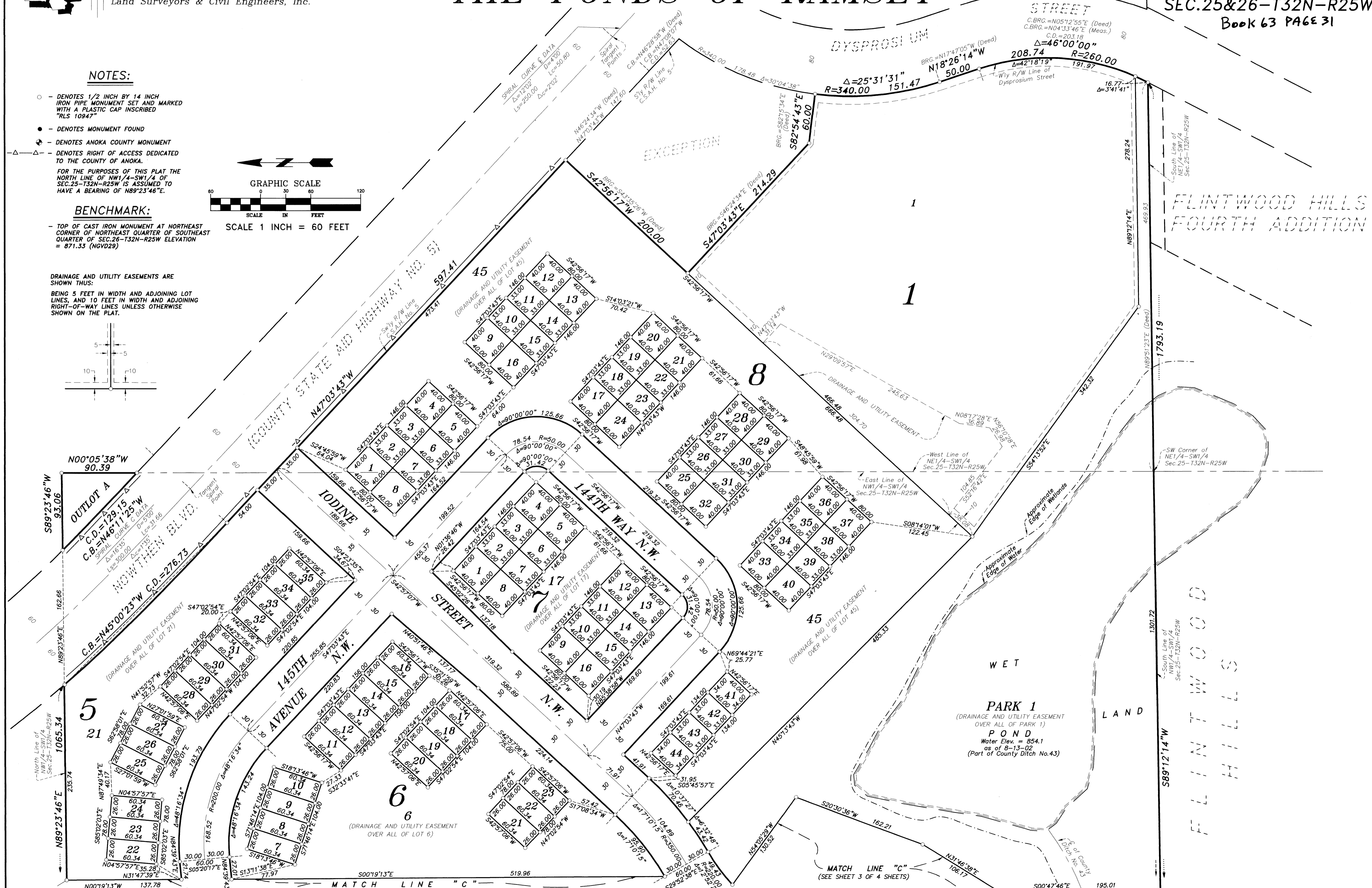
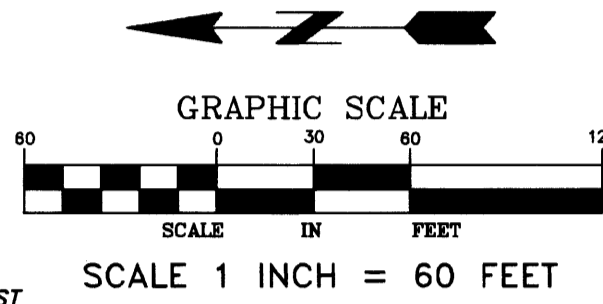
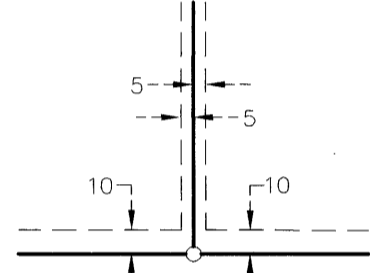
NOTES:

- DENOTES 1/2 INCH BY 14 INCH IRON PIPE MONUMENT SET AND MARKED WITH A PLASTIC CAP INSCRIBED "RLS 10947"
 - DENOTES MONUMENT FOUND
 - ▲ DENOTES ANOKA COUNTY MONUMENT
 - △ DENOTES RIGHT OF ACCESS DEDICATED TO THE COUNTY OF ANOKA.
- FOR THE PURPOSES OF THIS PLAT THE NORTH LINE OF NW1/4-SW1/4 OF SEC.25-T32N-R25W IS ASSUMED TO HAVE A BEARING OF N89°23'46"E.

BENCHMARK:

- TOP OF CAST IRON MONUMENT AT NORTHEAST CORNER OF NORTHEAST QUARTER OF SOUTHWEST QUARTER OF SEC.25-T32N-R25W ELEVATION = 871.33 (NGVD29)

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:
BEING 5 FEET IN WIDTH AND ADJOINING LOT LINES, AND 10 FEET IN WIDTH AND ADJOINING RIGHT-OF-WAY LINES UNLESS OTHERWISE SHOWN ON THE PLAT.



FLINTWOOD HILLS
FOURTH ADDITION

FLINTWOOD
HILLS

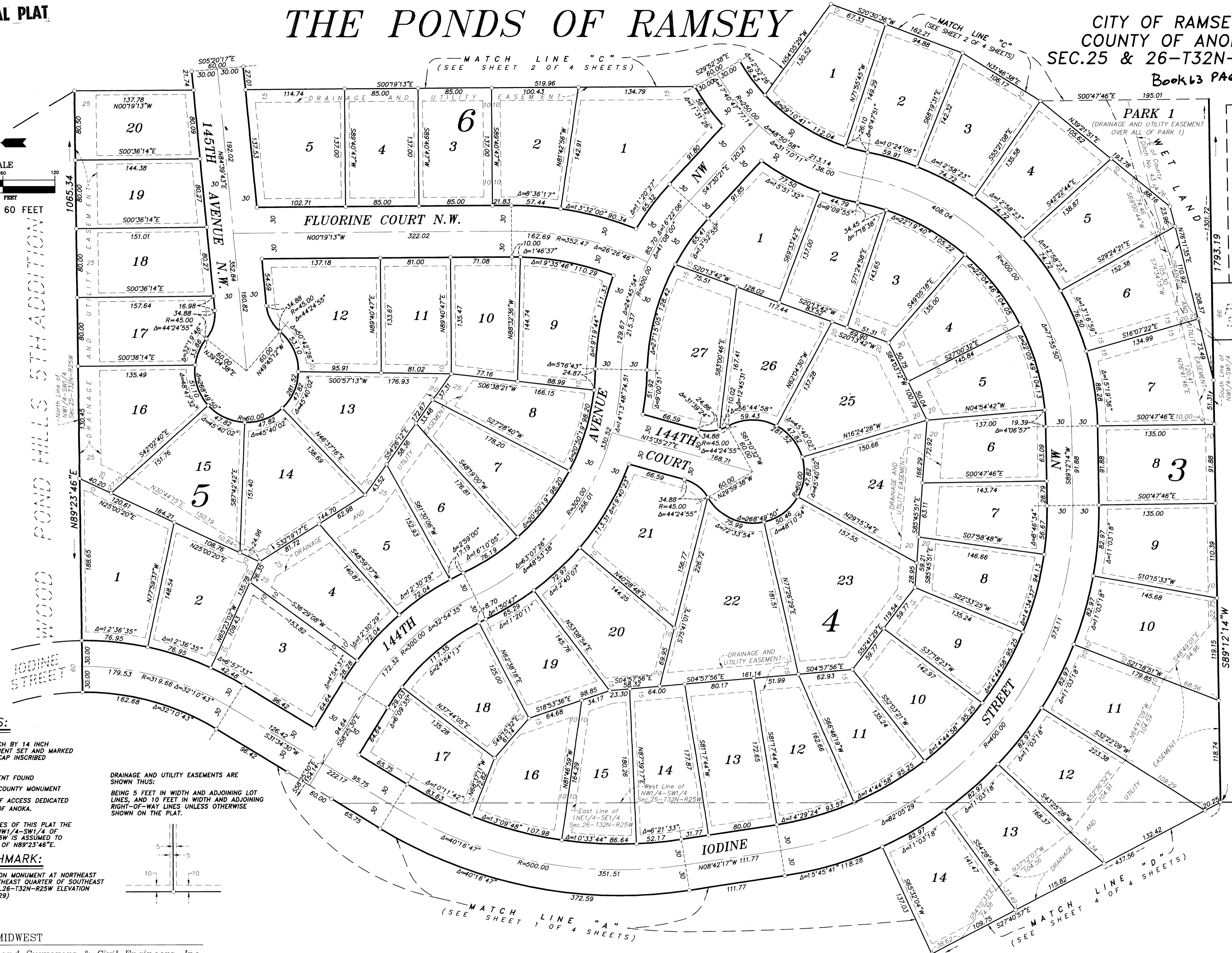
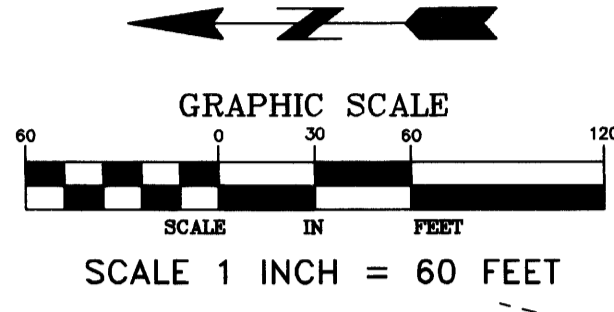
PARK 1
(DRAINAGE AND UTILITY EASEMENT OVER ALL OF PARK 1)
POND
Water Elev. = 854.1
as of 8-13-02
(Part of County Ditch No.43)

MATCH LINE "C"
(SEE SHEET 3 OF 4 SHEETS)

MATCH LINE "C"
(SEE SHEET 3 OF 4 SHEETS)

THE PONDS OF RAMSEY

CITY OF RAMSEY
COUNTY OF ANOKA
SEC.25 & 26-T32N-R25W
Book 63 PAGE 31



NOTES:

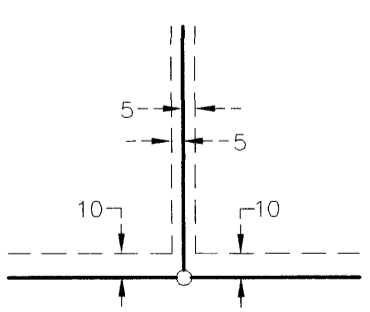
- DENOTES 1/2 INCH BY 14 INCH IRON PIPE MONUMENT SET AND MARKED WITH A PLASTIC CAP INSCRIBED "RLS 10947"
- DENOTES MONUMENT FOUND
- ◆ DENOTES ANOKA COUNTY MONUMENT
- △ DENOTES RIGHT OF ACCESS DEDICATED TO THE COUNTY OF ANOKA.

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:
BEING 5 FEET IN WIDTH AND ADJOINING LOT LINES, AND 10 FEET IN WIDTH AND ADJOINING RIGHT-OF-WAY LINES UNLESS OTHERWISE SHOWN ON THE PLAT.

FOR THE PURPOSES OF THIS PLAT THE NORTH LINE OF NW1/4-SW1/4 OF SEC.25-T32N-R25W IS ASSUMED TO HAVE A BEARING OF N89°23'46"E.

BENCHMARK:

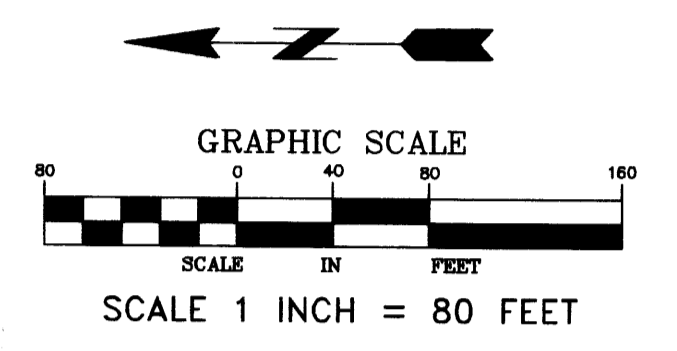
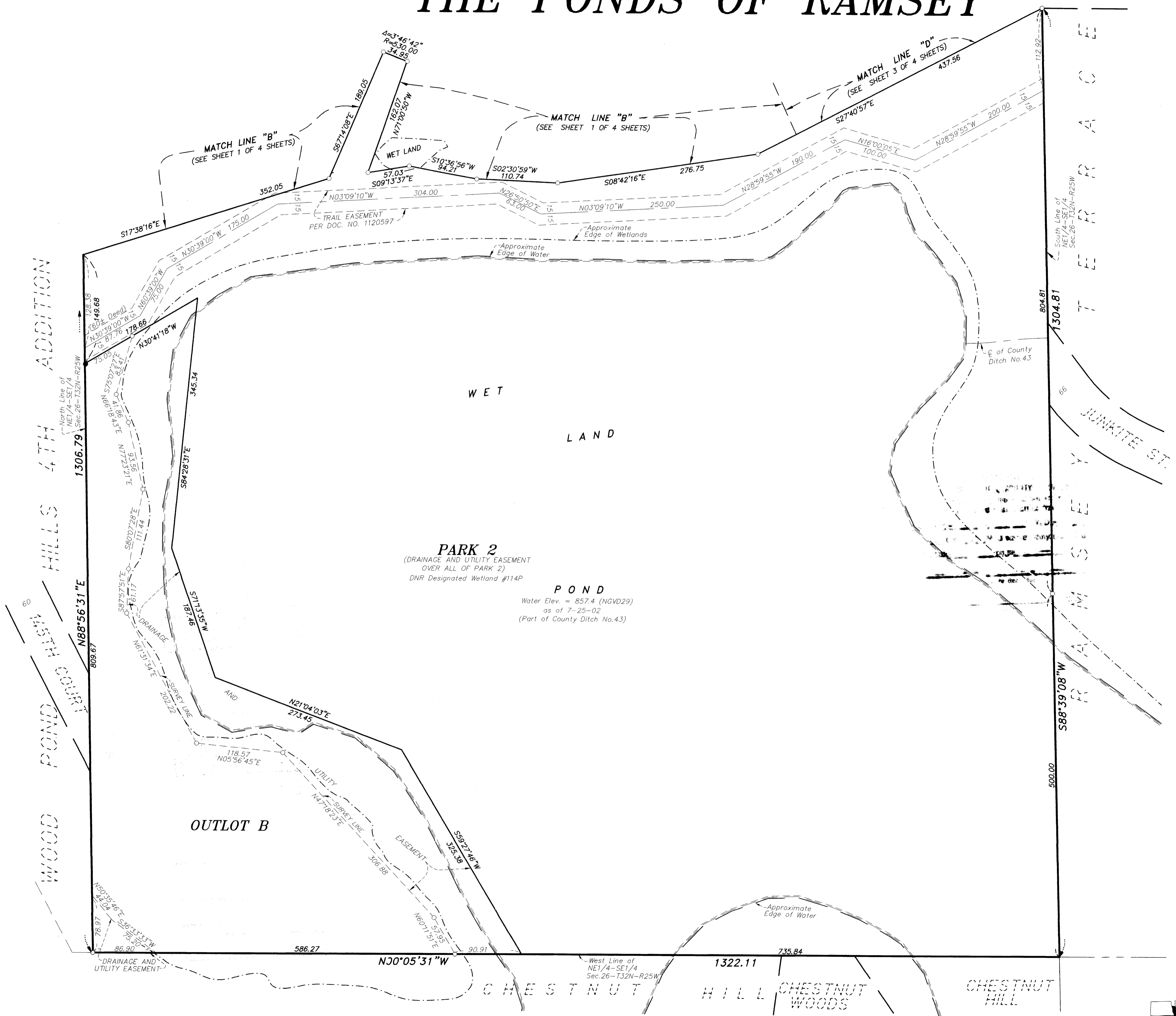
TOP OF CAST IRON MONUMENT AT NORTHEAST CORNER OF NORTHEAST QUARTER OF SOUTHWEST QUARTER OF SEC.26-T32N-R25W ELEVATION = 871.33 (NGVD29)



MIDWEST
Land Surveyors & Civil Engineers, Inc.

THE PONDS OF RAMSEY

CITY OF RAMSEY
COUNTY OF ANOKA
SEC.25 & 26-T32N-R25W
BOOK 63 PAGE 31

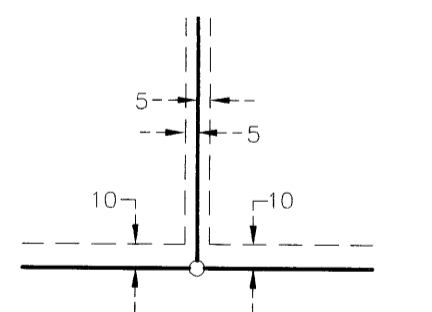


- NOTES:**
- - DENOTES 1/2 INCH BY 14 INCH IRON PIPE MONUMENT SET AND MARKED WITH A PLASTIC CAP INSCRIBED "RLS 10947"
 - - DENOTES MONUMENT FOUND
 - ⊕ - DENOTES ANOKA COUNTY MONUMENT
 - △-△-△ - DENOTES RIGHT OF ACCESS DEDICATED TO THE COUNTY OF ANOKA.
- FOR THE PURPOSES OF THIS PLAT THE NORTH LINE OF NW1/4-SW1/4 OF SEC.25-T32N-R25W IS ASSUMED TO HAVE A BEARING OF N89°23'46"E.

BENCHMARK:

- TOP OF CAST IRON MONUMENT AT NORTHEAST CORNER OF NORTHEAST QUARTER OF SOUTHEAST QUARTER OF SEC.26-T32N-R25W ELEVATION = 871.33 (NGVD29)

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:
BEING 5 FEET IN WIDTH AND ADJOINING LOT LINES, AND 10 FEET IN WIDTH AND ADJOINING RIGHT-OF-WAY LINES UNLESS OTHERWISE SHOWN ON THE PLAT.



MIDWEST
Land Surveyors & Civil Engineers, Inc.

WINDEMERE WOODS

CITY OF RAMSEY,
ANOKA COUNTY, MN.

KNOW ALL MEN BY THESE PRESENTS: That Windemere Woods of Ramsey, a Minnesota Partnership, fee owner; and Robert F. Hoffman and Corrine J. Hoffman, mortgagees; of the following described property situated in the State of Minnesota, County of Anoka, to-wit:

The Southwest Quarter of the Southeast Quarter (SW 1/4 of SE 1/4) of Section Twenty-six (26), Township Thirty-two (32), Range Twenty-five (25), EXCEPT the South Two Hundred (S 200) feet of the East Two Hundred (E 200) feet AND EXCEPT the South Two Hundred Fifty (250) feet thereof.

Have caused the same to be surveyed and platted as WINDEMERE WOODS, and do hereby donate and dedicate to the public for the public use forever the Streets, Avenue, and Lane as shown on this plat. Also dedicating to the public, the easements as shown on this plat for drainage and utility purposes only. In witness whereof said Windemere Woods of Ramsey has caused these presents to be signed by its partners this 16th day of June, 1992.

By: Allen L. Koenig, partner
By: Alice M. Koenig, partner

Also in witness whereof, said Robert F. Hoffman and Corrine J. Hoffman have caused these presents to be signed this 16th day of June, 1992.

Robert F. Hoffman, Robert F. Hoffman
Corrine J. Hoffman, Corrine J. Hoffman

State of Minnesota, County of Anoka
The foregoing instrument was acknowledged before me this 16th day of June, 1992 by Allen L. Koenig and Alice M. Koenig, as partners, on behalf of Windemere Woods of Ramsey, a Minnesota partnership.

Penny Jean Ott Notary Public, Anoka County, Minnesota
My commission expires: 5-10-95

State of Minnesota, County of Anoka
The foregoing instrument was acknowledged before me this 16th day of June, 1992 by Robert F. Hoffman and Corrine J. Hoffman.

Penny Jean Ott Notary Public, Anoka County, Minnesota
My commission expires: 5-10-95

I hereby certify that I have surveyed and platted the property described in this plat as WINDEMERE WOODS and that this plat is a correct representation of said survey; that all monuments have been correctly placed in the ground as shown on the plat; that all distances are correctly shown on the plat in feet and hundredths of a foot; that the outside boundary lines are correctly designated on the plat; and that there are no wet lands or public highways to be designated on the plat other than as shown thereon.

Lynn P. Caswell
Lynn P. Caswell, Land Surveyor
Minnesota Registration No. 13057

State of Minnesota, County of Sherburne
The foregoing instrument was acknowledged before me this 28th day of January, 1992, by Lynn P. Caswell, Land Surveyor.

SHARON L. SHERWOOD
NOTARY PUBLIC - MINNESOTA
SHERBURNE COUNTY
My Comm. Exp. June 25, 1997

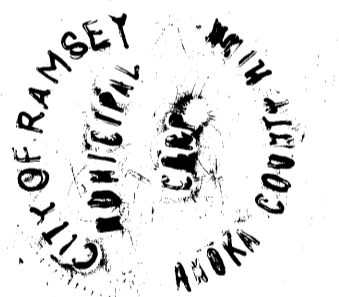
Sharon L. Sherwood Notary Public, Sherburne County, Minnesota
My commission expires: June 25, 1997

Annexed plat of WINDEMERE WOODS was approved by the City Council of Ramsey, Minnesota at a regular meeting thereof held this 24th day of September, 1991. If applicable, the written comments and recommendations of the Commissioner of Transportation and the County Highway Engineer have been received by the City or the prescribed 30 day period has elapsed without receipt of such comments and recommendations, as provided by Minnesota Statutes Section 505.03, Subdivision 2.

By: James P. [Signature], Mayor Attest: Egon R. Schroeder, Clerk

This plat has been checked and approved this 16th day of JUNE, 1992.

MERLYN D. ANDERSON, Anoka County Surveyor
by Larry D. [Signature] deputy



220941
Office of REGISTRAR OF TITLES
STATE OF MINNESOTA
COUNTY OF ANOKA
I hereby certify that the within instrument was filed in this office on the 25th day of JUNE, A.D. 1992 at 4:15 o'clock P. M.
By [Signature] Registrar of Titles
DEPUTY REGISTRAR OF TITLES

I HEREBY CERTIFY THAT THE CURRENT AND DELINQUENT TAXES ON THE LANDS DESCRIBED WITHIN ARE PAID AND THE TRANSFER IS
ENTERED June 16 1992
EDWARD M. [Signature]
PROPERTY TAX ADMINISTRATOR
BY [Signature]
DEPUTY PROPERTY TAX ADMINISTRATOR

I HEREBY CERTIFY THAT THE CURRENT AND DELINQUENT TAXES ON THE LANDS DESCRIBED WITHIN ARE PAID AND THE TRANSFER IS
ENTERED June 25 1992
EDWARD M. [Signature]
PROPERTY TAX ADMINISTRATOR
BY [Signature]
DEPUTY PROPERTY TAX ADMINISTRATOR

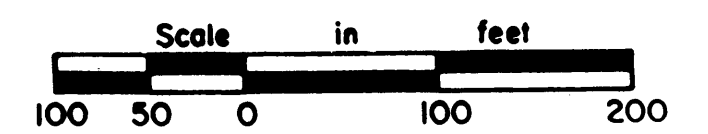
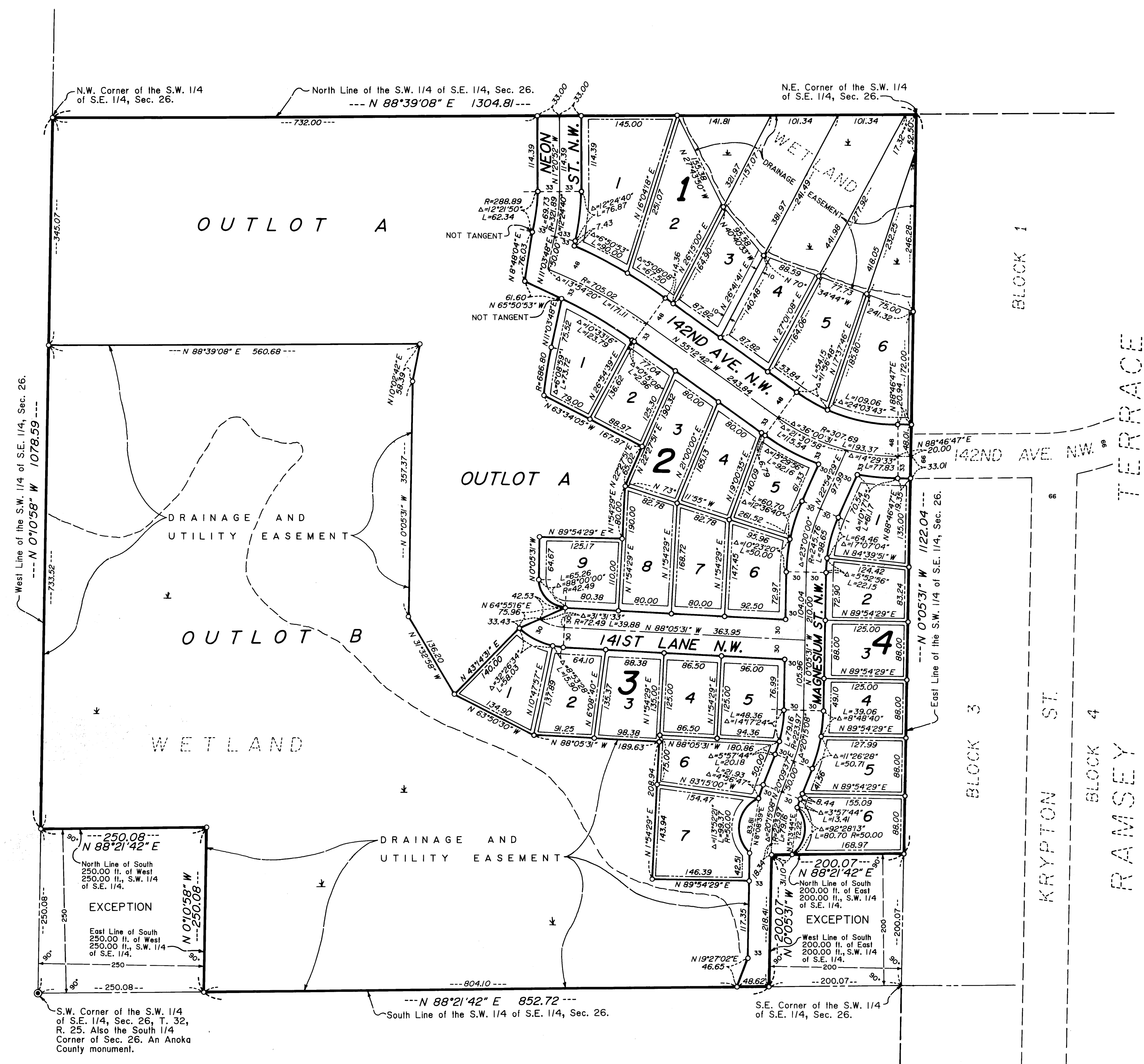
JOHN OLIVER & ASSOCIATES, INC.

922 Main Street
Bix River, Minnesota 55330
(612) 441-9072

Land Surveying
Subdivision Design
Site Planning

WINDEMERE WOODS

CITY OF RAMSEY,
ANOKA COUNTY, MN.

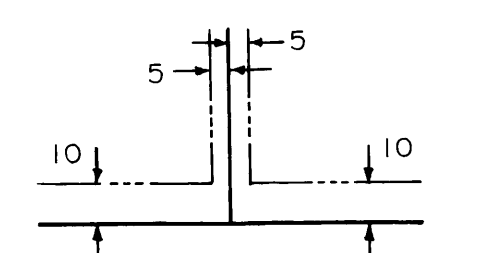


Scale: 1 inch = 100 feet

For the purposes of this plat, the East Line of the S.W. 1/4 of S.E. 1/4, Sec. 26, is assumed to bear N 0°05'31" W.

○ Denotes iron pipe set with a plastic plug stamped RLS 13057.

Drainage and Utility Easements are shown thus:



Being 10 feet in width and adjoining front lot lines, also being 5 feet in width and adjoining side and rear lot lines, unless noted otherwise.

EXCEPTION

North Line of South 250.00 ft. of West 250.00 ft., S.W. 1/4 of S.E. 1/4.

East Line of South 250.00 ft. of West 250.00 ft., S.W. 1/4 of S.E. 1/4.

EXCEPTION

North Line of South 200.00 ft. of East 200.00 ft., S.W. 1/4 of S.E. 1/4.

West Line of South 200.00 ft. of East 200.00 ft., S.W. 1/4 of S.E. 1/4.

JOHN OLIVER & ASSOCIATES, INC.

922 Main Street
Elk River, Minnesota 55330
(612) 441-2072

WOOD POND HILLS

CITY OF RAMSEY
ANOKA COUNTY, MINNESOTA

KNOW ALL MEN BY THESE PRESENTS: That WPH Properties, Inc., a Minnesota corporation, owner and proprietor of the following described property situated in the County of Anoka, State of Minnesota to wit:

That part of the Northeast Quarter of the Northeast Quarter of Section 26, Township 32, Range 25, lying South of the following described line:

Beginning at a point on the centerline of County State Aid Highway No. 5, which is 759.3 feet South (as measured at a right angle) from the North line of said Northeast Quarter of Section 26; thence Westerly on a line 759.3 feet South of and parallel with said North line of Northeast Quarter of Section 26, a distance of 873.07 feet; thence deflect 15 degrees 18 minutes 10 seconds to the left (west-southwest), a distance of 455 feet, more or less, to the Westerly line of the East Half of the Northeast Quarter of Section 26. ALSO

All that part of the Northwest Quarter of the Northwest Quarter of Section 25, lying West of State Highway No. 5. ALSO

The Southeast Quarter of the Northeast Quarter of Section 26, Township 32, Range 25. ALSO

That part of the Southwest Quarter of the Northwest Quarter of Section 25, Township 32, Range 25, lying West of State Aid Highway No. 5 except the following described tracts:

That part of the Southwest Quarter of the Northwest Quarter of Section 25, Township 32, Range 25, described as follows:

Commencing at the West Quarter corner of said Section 25; thence North 90 degrees 00 minutes East along the south line of said Northwest Quarter, a distance of 829.60 feet to the actual point of beginning; thence North 30 degrees 49 minutes 30 seconds West a distance of 401.96 feet; thence North 87 degrees 34 minutes 50 seconds East, a distance of 278.50 feet more or less, to the centerline of County State Aid Highway No. 5; thence Southeasterly along centerline of said Highway No. 5, a distance of 430.20 feet, more or less, to said southerly line of the Northwest Quarter; thence westerly along said southerly line, a distance of 310.0 feet, more or less, to the point of beginning.

That part of the Southwest Quarter of the Northwest Quarter of Section 25, Township 32, Range 25, described as follows:

Commencing at the West Quarter corner of said Section 25; thence North 90 degrees 00 minutes East along the south line of said Northwest Quarter a distance of 829.60 feet; thence North 30 degrees 49 minutes 30 seconds West, a distance of 401.96 feet; thence North 29 degrees 55 minutes 10 seconds West a distance of 37.20 feet to the actual point of beginning; thence continuing North 29 degrees 55 minutes 10 seconds West, a distance of 177.00 feet; thence North 87 degrees 34 minutes 50 seconds East a distance of 278.50 feet, more or less, to the centerline of County State Aid Highway No. 5; thence South 29 degrees 55 minutes 10 seconds East, along the centerline of said Highway No. 5, a distance of 177.0 feet; thence South 87 degrees 34 minutes 50 seconds West, a distance of 278.50 feet, more or less, to the point of beginning.

That part of the Southwest Quarter of the Northwest Quarter of Section 25, Township 32, Range 25, described as follows:

Commencing at the West Quarter corner of said Section 25; thence North 90 degrees 00 minutes East along the south line of said Northwest Quarter, a distance of 829.60 feet; thence North 30 degrees 49 minutes 30 seconds West, a distance of 401.96 feet; thence North 29 degrees 55 minutes 10 seconds West, a distance of 214.20 feet to the actual point of beginning; thence continuing North 29 degrees 55 minutes 10 seconds West, a distance of 288.37 feet; thence North 60 degrees 04 minutes 50 seconds East, a distance of 247.03 feet, more or less, to the centerline of County State Aid Highway No. 5; thence South 29 degrees 55 minutes 10 seconds East, along the centerline of said Highway No. 5, a distance of 416.97 feet; thence South 87 degrees 34 minutes 50 seconds West, a distance of 278.50 feet, more or less, to the point of beginning.

Part of the Southwest Quarter of the Northwest Quarter of Section 25, Township 32, Range 25, described as follows:

Beginning at the West Quarter corner of Section 25; thence East (along the south line of said Southwest Quarter of the Northwest Quarter) 829.60 feet; thence North 30 degrees 49 minutes 30 seconds West 401.96 feet; thence North 29 degrees 55 minutes 10 seconds West, 292.39 feet to the point of beginning of the parcel to be described; thence continue North 29 degrees 55 minutes 10 seconds West 210 feet; thence South 60 degrees 04 minutes 50 seconds West, 210 feet; thence South 29 degrees 55 minutes 10 seconds East 210 feet; thence North 60 degrees 04 minutes 50 seconds East 210 feet to the point of beginning.

Has caused the same to be surveyed and platted as WOOD POND HILLS and does hereby donate and dedicate to the public for public use forever the Streets, Drive, Parks 1, 2, 3 and 4, Boulevards and Avenue and does hereby grant to the City of Ramsey the utility and drainage easements as shown on the plat and also dedicate to Anoka County and the City of Ramsey the right of access as shown on the plat.

In witness whereof said WPH Properties, Inc., a Minnesota corporation, has caused these presents to be signed by its proper officer this 19th day of May, 1992.

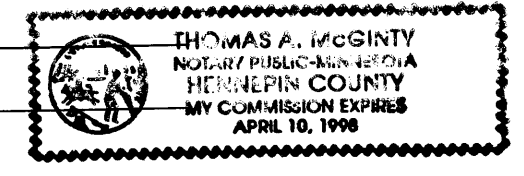
SIGNED: WPH Properties, Inc.

By: Dickman C. Knutson, President

STATE OF MINNESOTA
COUNTY OF HENNEPIN

The foregoing instrument was acknowledged before me this 19th day of May, 1992, by Dickman C. Knutson, President of WPH Properties, Inc., a Minnesota corporation, on behalf of the corporation.

Thomas A. McSherry
Notary Public, Hennepin County, Minnesota
My Commission Expires April 10, 1998



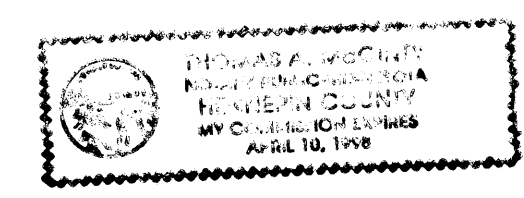
I hereby certify that I have surveyed and platted the property described on this plat as WOOD POND HILLS; that this plat is a correct representation of said survey; that all distances are correctly shown in feet and hundredths of a foot; that all monuments have been correctly placed in the ground as shown; that the outside boundary lines are correctly designated and there are no wetlands or public highways to be designated on said plat.

Paul A. Johnson
Paul A. Johnson, Land Surveyor, Minn. Lic. No. 10938

STATE OF MINNESOTA
COUNTY OF HENNEPIN

The foregoing Surveyor's Certificate was acknowledged before me this 18th day of May, 1992, by Paul A. Johnson, Land Surveyor.

Thomas A. McSherry
Notary Public, Hennepin County, Minnesota
My Commission Expires April 10, 1998



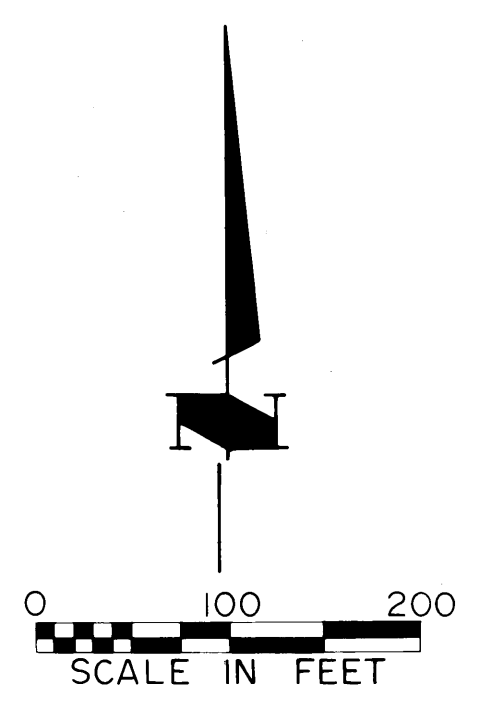
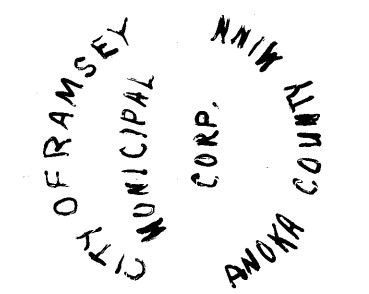
Annexed plat of WOOD POND HILLS was approved and accepted by the City Council of the City of Ramsey, Minnesota, at a regular meeting thereof held this 24th day of May, A.D. 1992. If applicable, the written comments and recommendations of the Commissioner of Transportation and the County Highway Engineer have been received by the City or the prescribed 30 day period has elapsed without receipt of such comments and recommendations, as provided by Minn. Statutes, Section 505.03, Subd. 2.

By: James R. Ollerton, Mayor
By: Egon R. Schneider, Clerk

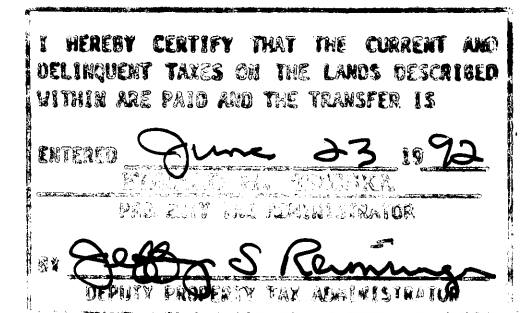
This plat has been checked and approved this 17th day of June, 1992.

By: W. D. Anderson, Anoka County Surveyor

FOR THE PURPOSE OF THIS PLAT THE SOUTH LINE OF THE SE 1/4 OF NE 1/4 OF SEC. 26, T. 32, R. 25 IS ASSUMED TO HAVE A BEARING OF N88°56'26"E.

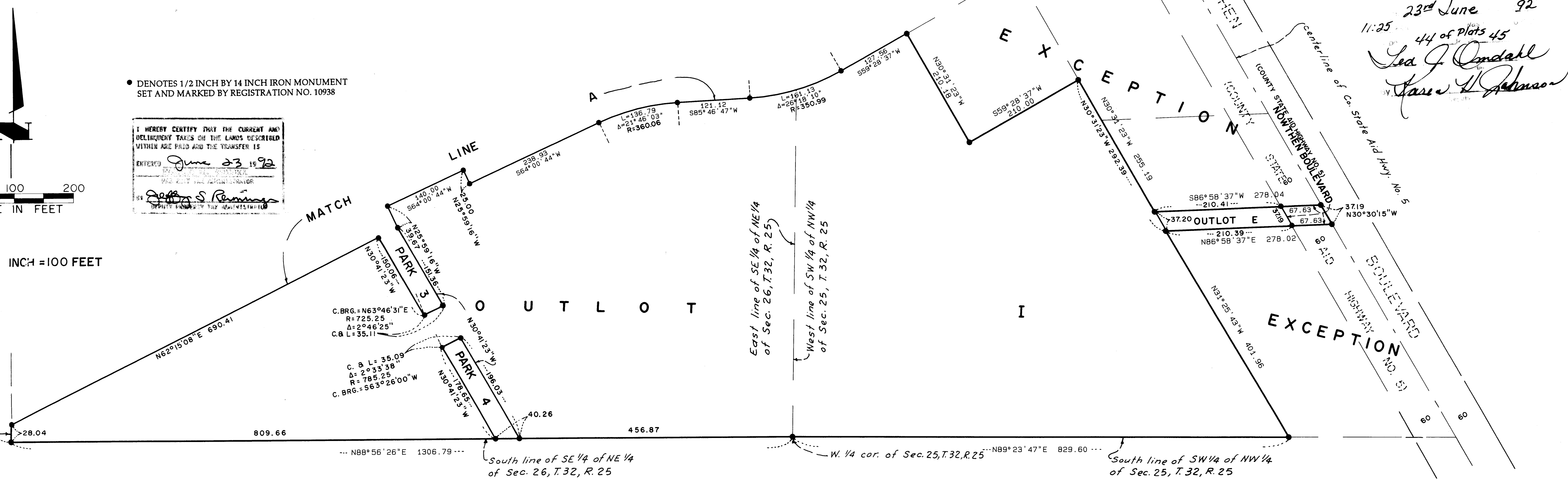


• DENOTES 1/2 INCH BY 14 INCH IRON MONUMENT SET AND MARKED BY REGISTRATION NO. 10938



SCALE: 1 INCH = 100 FEET

West line of SE 1/4 of NE 1/4 of Sec. 26, T. 32, R. 25



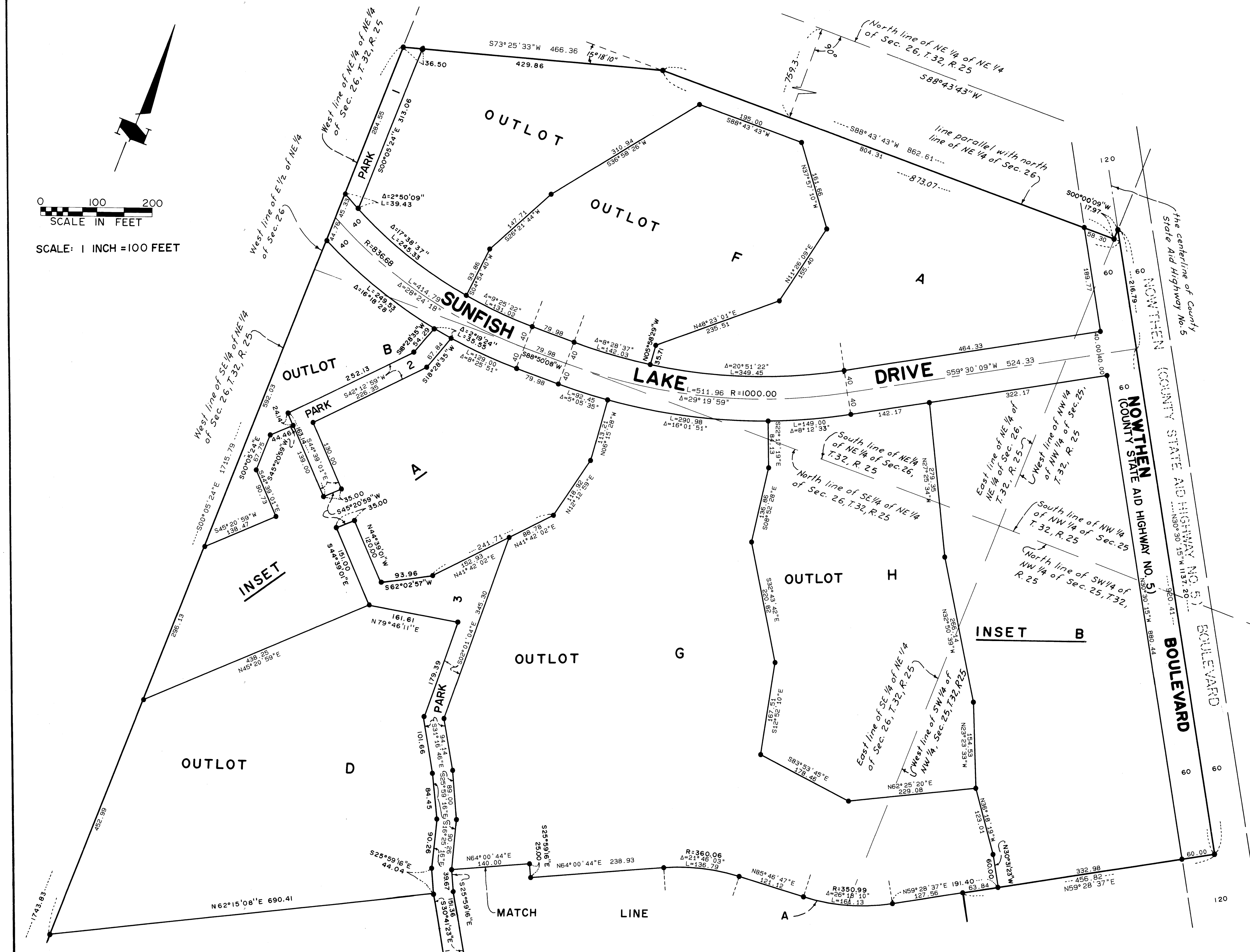
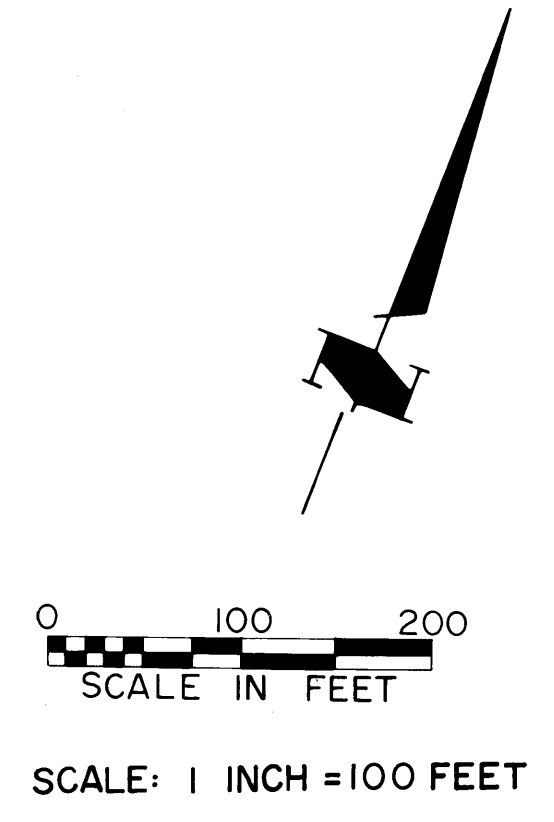
985453
RECORDED
COUNTY OF RAMSEY
JUN 23 1992
23rd June 92
11:25
44 of Plats 45
Paul J. Ollerton
James R. Ollerton

McCOMBS FRANK ROOS ASSOCIATES, INC.
ENGINEERS AND SURVEYORS

001 AORA 6-23-92 *30.00 d

WOOD POND HILLS

CITY OF RAMSEY
ANOKA COUNTY, MINNESOTA



- DENOTES 1/2 INCH BY 14 INCH IRON MONUMENT SET AND MARKED BY REGISTRATION NO. 10938

FOR THE PURPOSE OF THIS PLAT THE SOUTH LINE OF THE SE 1/4 OF NE 1/4 OF SEC. 26, T. 32, R. 25 IS ASSUMED TO HAVE A BEARING OF N88°56'26"E.

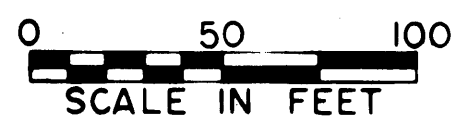
C. BRG = 563°46'31"W
R = 725.25
Δ = 2°46'25"
C&L = 35.11

McCOMBS FRANK ROOS ASSOCIATES, INC.
ENGINEERS AND SURVEYORS

WOOD POND HILLS

CITY OF RAMSEY
ANOKA COUNTY, MINNESOTA

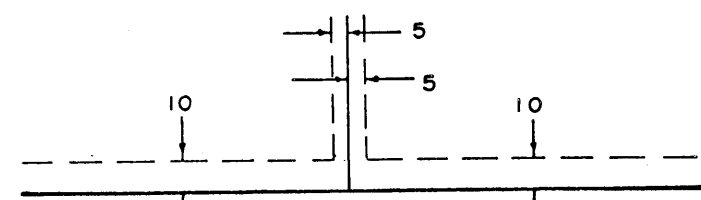
INSET A



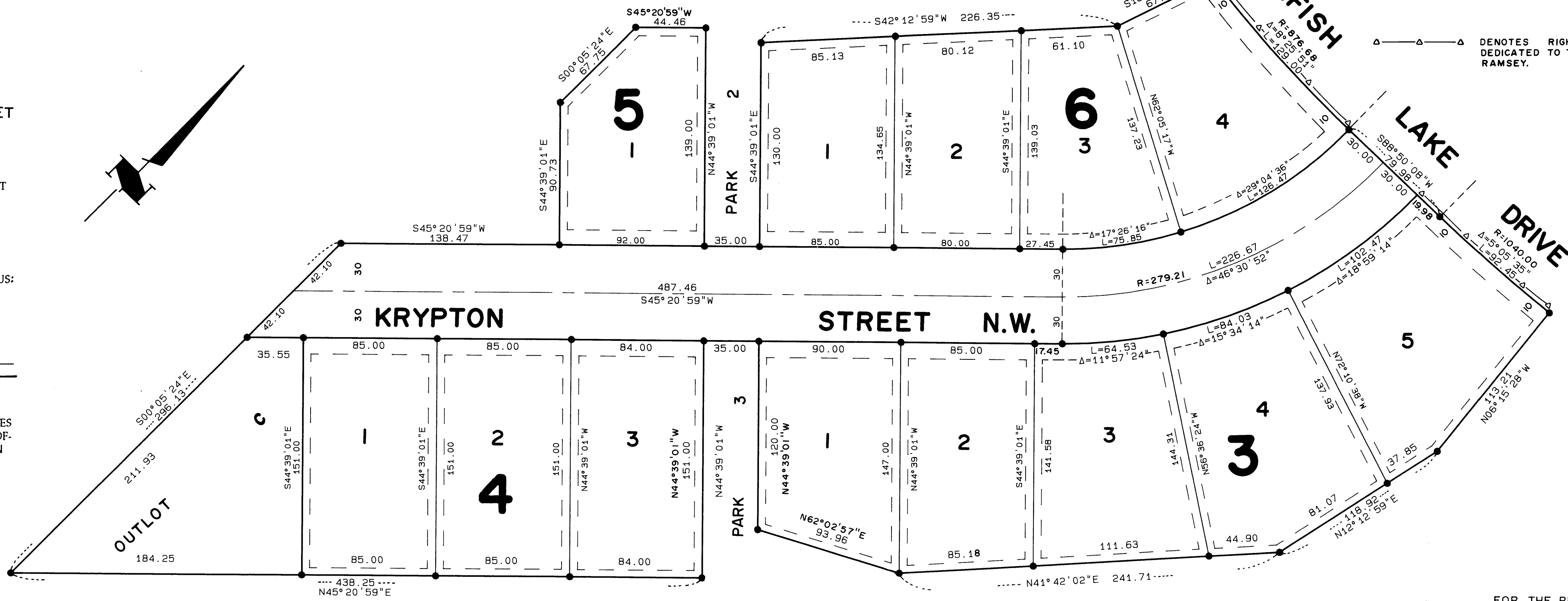
SCALE: 1 INCH = 50 FEET

• DENOTES 1/2 INCH BY 14 INCH IRON MONUMENT SET AND MARKED BY REGISTRATION NO. 10938

UTILITY & DRAINAGE EASEMENTS ARE SHOWN THUS:



BEING 5 FEET IN WIDTH AND ADJOINING LOT LINES AND 10 FEET IN WIDTH AND ADJOINING RIGHT-OF-WAY LINES UNLESS OTHERWISE SHOWN ON THE PLAT.



△ DENOTES RIGHT OF ACCESS DEDICATED TO THE CITY OF RAMSEY.

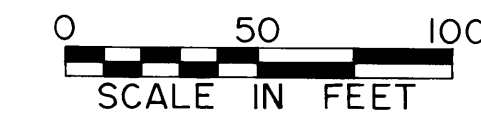
FOR THE PURPOSE OF THIS PLAT THE SOUTH LINE OF THE SE 1/4 OF NE 1/4 OF SEC. 26, T. 32, R. 25 IS ASSUMED TO HAVE A BEARING OF N88°56'26"E.

INSET B

NOWTHEN

BOULEVARD

△ DENOTES RIGHT OF ACCESS DEDICATED TO ANOKA COUNTY.

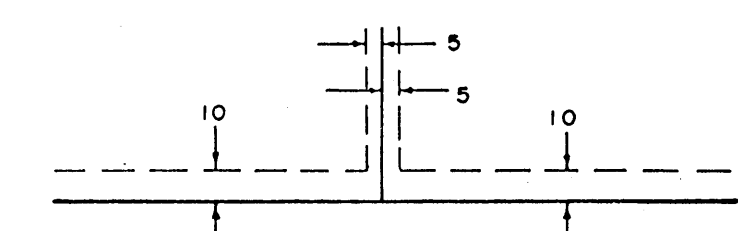


SCALE: 1 INCH = 50 FEET

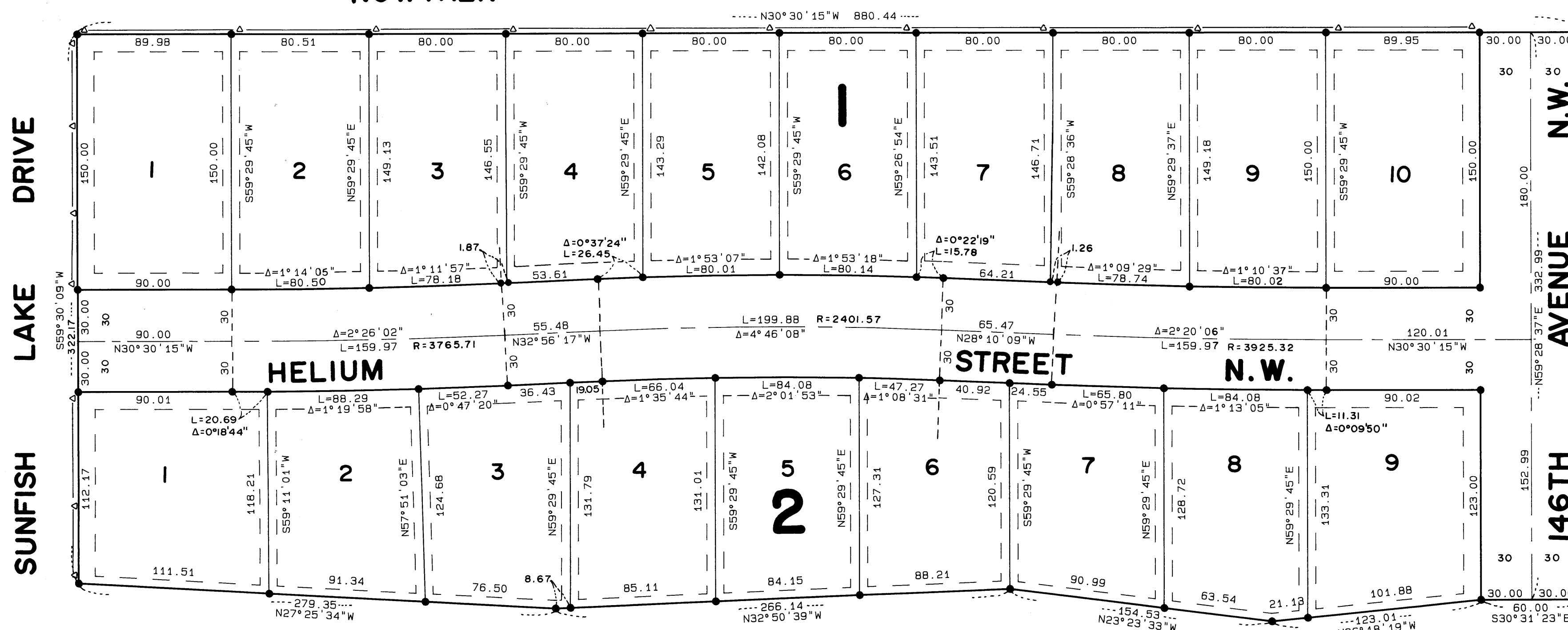
△ DENOTES RIGHT OF ACCESS DEDICATED TO THE CITY OF RAMSEY.

• DENOTES 1/2 INCH BY 14 INCH IRON MONUMENT SET AND MARKED BY REGISTRATION NO. 10938

UTILITY & DRAINAGE EASEMENTS ARE SHOWN THUS:



BEING 5 FEET IN WIDTH AND ADJOINING LOT LINES AND 10 FEET IN WIDTH AND ADJOINING RIGHT-OF-WAY LINES UNLESS OTHERWISE SHOWN ON THE PLAT.



McCOMBS FRANK ROOS ASSOCIATES, INC.
ENGINEERS AND SURVEYORS

WOOD POND HILLS 3RD ADDITION

CITY OF RAMSEY
ANOKA COUNTY, MINNESOTA

KNOW ALL MEN BY THESE PRESENTS: That WPH Properties, Inc., a Minnesota corporation, fee owner of the following described property in the County of Anoka, State of Minnesota to wit:

Outlots F and G, WOOD POND HILLS, according to the recorded plat thereof.

Has caused the same to be surveyed and platted as WOOD POND HILLS 3RD ADDITION and does hereby donate and dedicate to the public for public use forever the Court, Circle, Street and Avenue and does hereby grant to the City of Ramsey the utility and drainage easements as shown on the plat.

In witness whereof said WPH Properties, Inc., a Minnesota corporation, has caused these presents to be signed by its proper officer this 27th day of September, 1993.

SIGNED:

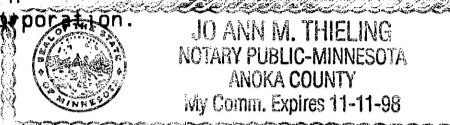
WPH PROPERTIES, INC.

By: David Segal
David Segal, President

STATE OF MINNESOTA
COUNTY OF HENNEPIN

The foregoing instrument was acknowledged before me this 29 day of September, 1993, by David Segal, President of WPH Properties, Inc., a Minnesota corporation, on behalf of the corporation.

Thomas A. McGinty
Notary Public, Hennepin County, Minnesota
My Commission Expires 11-11-98



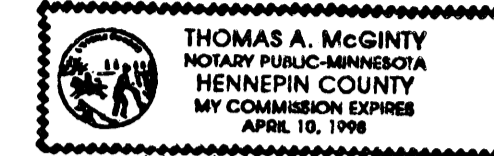
I hereby certify that I have surveyed and platted the property described on this plat as WOOD POND HILLS 3RD ADDITION; that this plat is a correct representation of said survey; that all distances are correctly shown in feet or hundredths of a foot; that all monuments have been correctly placed in the ground as shown; that the outside boundary lines are correctly designated and there are no wetlands or public highways to be designated on said plat, other than as shown.

Paul R. Johnson
Paul R. Johnson, Land Surveyor, Minn. Lic. No. 10938

STATE OF MINNESOTA
COUNTY OF HENNEPIN

The foregoing Surveyor's Certificate was acknowledged before me this 27th day of September, 1993, by Paul R. Johnson, Land Surveyor.

Thomas A. McGinty
Notary Public, Hennepin County, Minnesota
My Commission Expires April 10, 1998



Annexed plat of WOOD POND HILLS 3RD ADDITION was approved and accepted by the City Council of Ramsey, Minnesota, at a regular meeting thereof held this 24th day of August, 1993. If applicable, the written comments and recommendations of the Commissioner of Transportation and the County Highway Engineer have been received by the City or the prescribed 30 day period has elapsed without receipt of such comments or recommendations, as provided by Minn. Statutes, Section 505.03, Subd. 2.

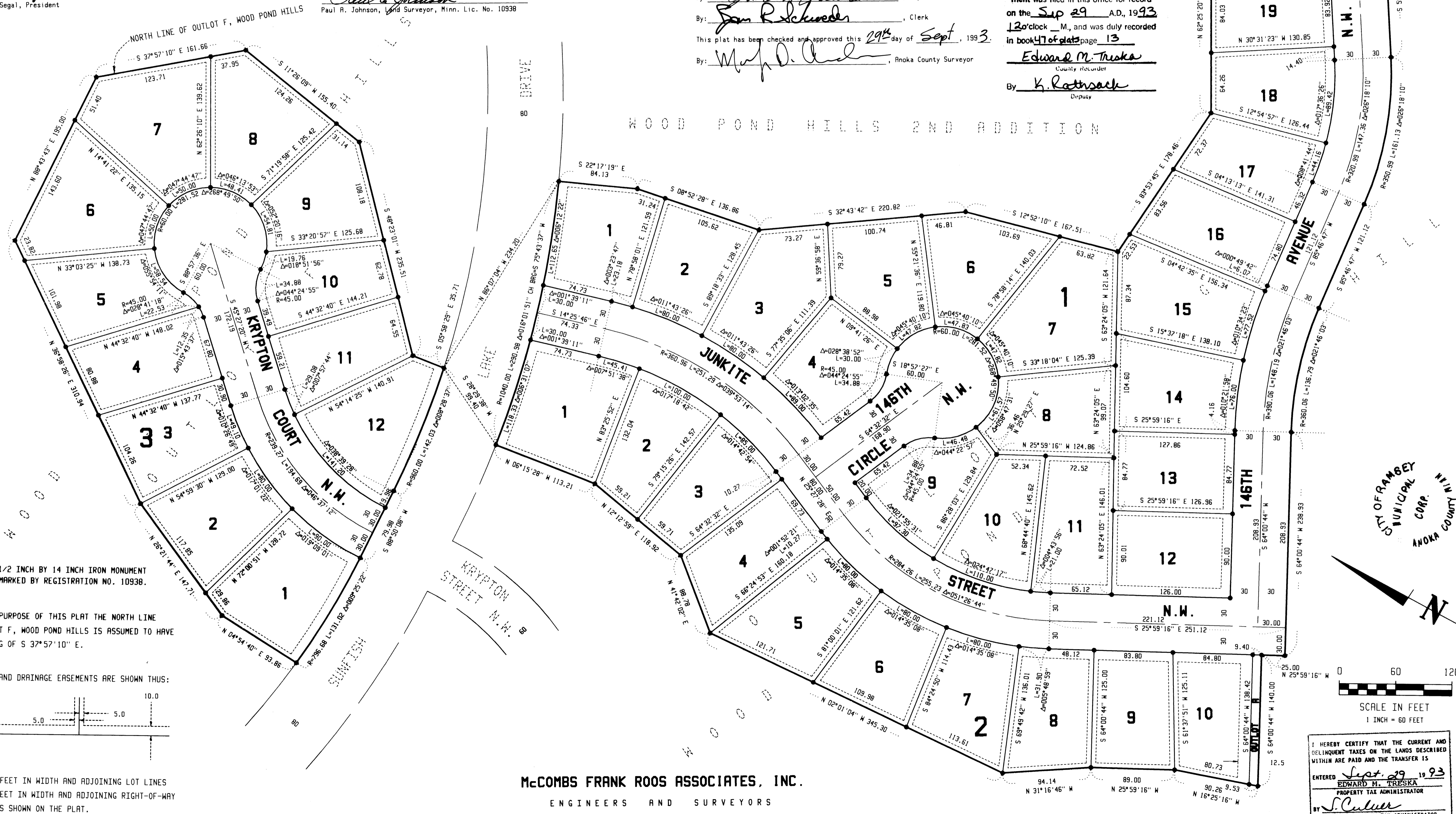
By: James A. Johnson, Mayor

By: Jan R. Schwede, Clerk

This plat has been checked and approved this 29th day of Sept, 1993.

By: Walter D. Chisholm, Anoka County Surveyor

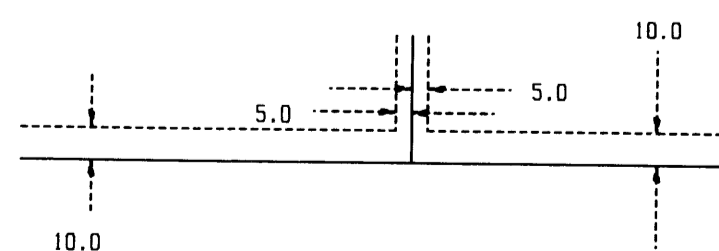
WOOD POND HILLS



• DENOTES 1/2 INCH BY 14 INCH IRON MONUMENT SET AND MARKED BY REGISTRATION NO. 10938.

FOR THE PURPOSE OF THIS PLAT THE NORTH LINE OF OUTLOT F, WOOD POND HILLS IS ASSUMED TO HAVE A BEARING OF S 37°57'10" E.

UTILITY AND DRAINAGE EASEMENTS ARE SHOWN THUS:

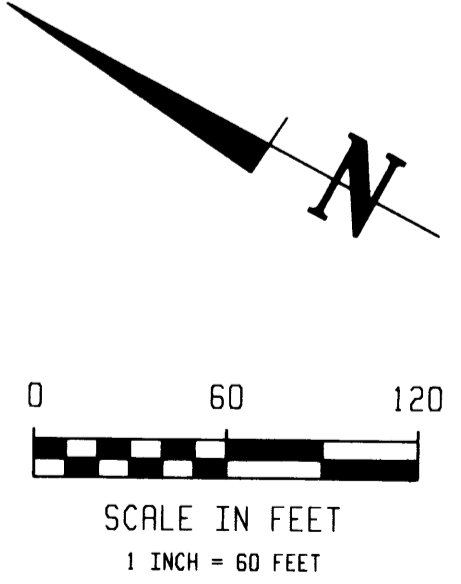


BEING 5 FEET IN WIDTH AND ADJOINING LOT LINES AND 10 FEET IN WIDTH AND ADJOINING RIGHT-OF-WAY LINES, AS SHOWN ON THE PLAT.

McCOMBS FRANK ROOS ASSOCIATES, INC.
ENGINEERS AND SURVEYORS

COIACRA 9-29-93#182 \$30.00 d

1068219
OFFICE OF COUNTY RECORDER
STATE OF MINNESOTA, COUNTY OF ANOKA
I hereby certify that the within instrument was filed in this office for record on the 29 day of Sept, 1993, at 12:00 o'clock P.M., and was duly recorded in book 47 of plats, page 13.
Edward M. Treska
County Recorder
By: K. Ratschek
Deputy



I HEREBY CERTIFY THAT THE CURRENT AND DELINQUENT TAXES ON THE LANDS DESCRIBED WITHIN ARE PAID AND THE TRANSFER IS
ENTERED Sept 29 1993
Edward M. Treska
PROPERTY TAX ADMINISTRATOR
By: J. Culver
DEPUTY PROPERTY TAX ADMINISTRATOR

WOOD POND HILLS 4TH ADDITION

STATE OF MINNESOTA
COUNTY OF HENNEPIN

KNOW ALL MEN BY THESE PRESENTS: That WPH Properties, Inc., a Minnesota corporation, fee owner of the following described property in the County of Anoka, State of Minnesota to wit:

Outlot I, WOOD POND HILLS, and Outlot A, WOOD POND HILLS 3RD ADDITION, according to the recorded plats thereof.

Has caused the same to be surveyed and platted as WOOD POND HILLS 4TH ADDITION and does hereby donate and dedicate to the public for public use forever the Park, Court and Street and the utility and drainage easements as shown on the plat.

In witness whereof said WPH Properties, Inc., a Minnesota corporation, has caused these presents to be signed by its proper officer this 13th day of September, 1994.

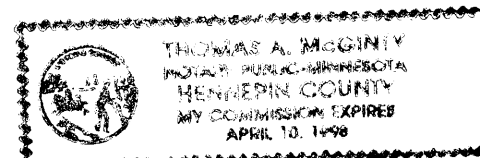
SIGNED:

WPH PROPERTIES, INC.

By: David Segal
David Segal, as President

The foregoing Surveyor's Certificate was acknowledged before me this 8th day of August, 1994, by Paul A. Johnson, Land Surveyor.

Thomas A. McCarty
Notary Public, Hennepin County, Minnesota
My Commission Expires April 10, 1998



Annexed plat of WOOD POND HILLS 4TH ADDITION was approved and accepted by the City Council of Ramsey, Minnesota, at a regular meeting thereof held this 23rd day of August, 1994. If applicable, the written comments and recommendations of the Commissioner of Transportation and the County Highway Engineer have been received by the City or the prescribed 30 day period has elapsed without receipt of such comments or recommendations, as provided by Minn. Statutes, Section 505.03, Subd. 2.

By: James A. [Signature], Mayor

By: Ryan R. Schroeder, Clerk

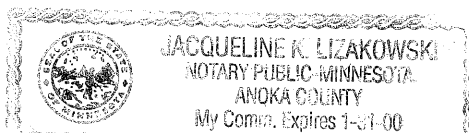
This plat has been checked and approved this 14th day of Sept., 1994.

By: Paul A. Johnson, Anoka County Surveyor

STATE OF MINNESOTA
COUNTY OF HENNEPIN

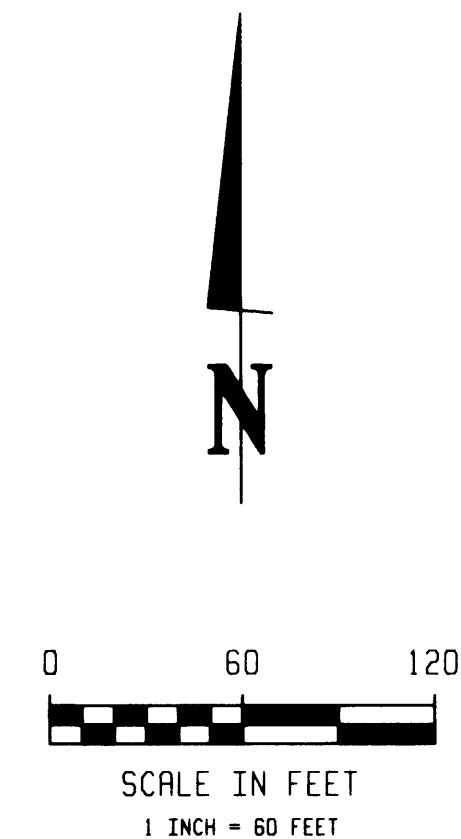
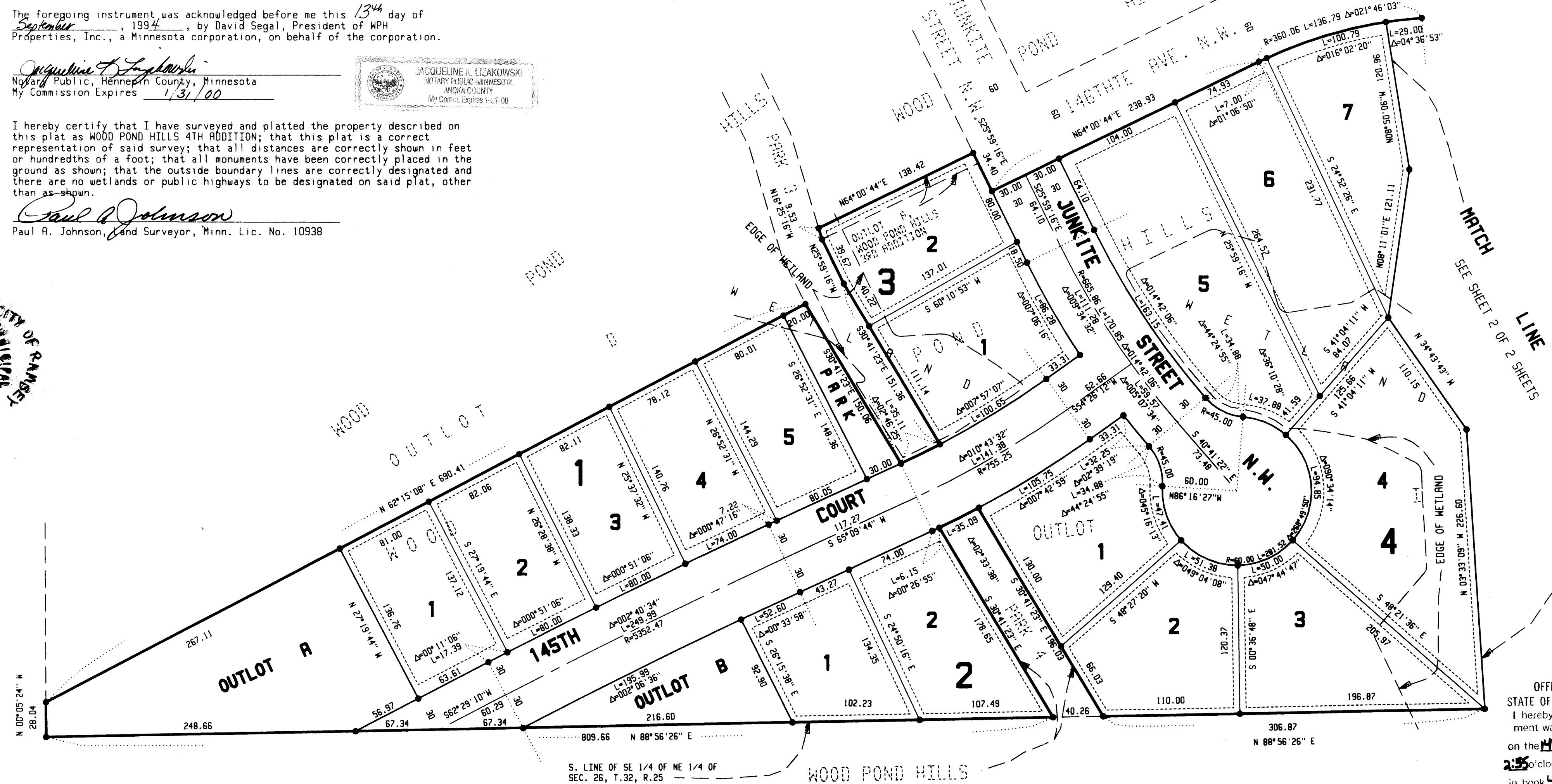
The foregoing instrument was acknowledged before me this 13th day of September, 1994, by David Segal, President of WPH Properties, Inc., a Minnesota corporation, on behalf of the corporation.

Jacqueline K. Lizarowski
Notary Public, Hennepin County, Minnesota
My Commission Expires 1/31/00



I hereby certify that I have surveyed and platted the property described on this plat as WOOD POND HILLS 4TH ADDITION; that this plat is a correct representation of said survey; that all distances are correctly shown in feet or hundredths of a foot; that all monuments have been correctly placed in the ground as shown; that the outside boundary lines are correctly designated and there are no wetlands or public highways to be designated on said plat, other than as shown.

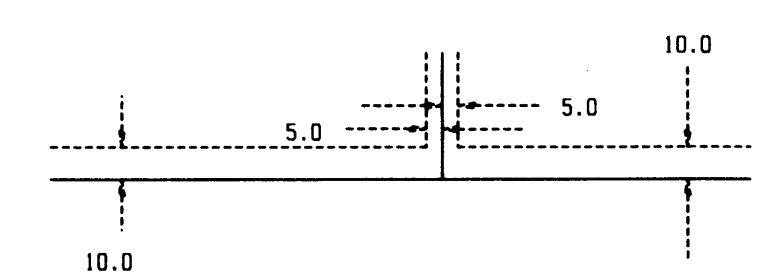
Paul A. Johnson
Paul A. Johnson, Land Surveyor, Minn. Lic. No. 10938



THE SOUTH LINE OF SE 1/4 OF NE 1/4 SEC. 26, T. 32, IS ASSUMED TO HAVE A BEARING OF N88° 56' 26" E.

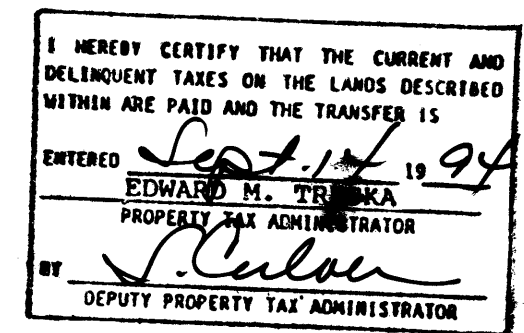
• DENOTES 1/2 INCH BY 14 INCH IRON MONUMENT SET AND MARKED BY REGISTRATION NO. 10938.

UTILITY AND DRAINAGE EASEMENTS ARE SHOWN THUS:



BEING 5 FEET IN WIDTH AND ADJOINING LOT LINES, UNLESS OTHERWISE INDICATED AND 10 FEET IN WIDTH AND ADJOINING RIGHT OF WAY LINES, AS SHOWN ON THE PLAT.

1135352
OFFICE OF COUNTY RECORDER
STATE OF MINNESOTA, COUNTY OF ANOKA
I hereby certify that the within instrument was filed in this office for record on the 14th day of SEPT. A.D., 1994 at 2:55 o'clock P.M., and was duly recorded in book 49 of PLATS page 5
Edward M. Truska
County Recorder
By: J. Seefeld
Deputy



McCOMBS FRANK ROOS ASSOCIATES, INC.
ENGINEERS AND SURVEYORS

RECEIPT # 94043503 \$50.00

From: [Drewry, Kate \(DNR\)](#)
To: [Leonard Linton](#)
Cc: [Bruce Westby](#)
Subject: FW: Ordinary Water Level for Wetland 114P
Date: Wednesday, September 17, 2014 3:52:44 PM

Leonard:

I haven't head back from you on this issue and received another call from concerned resident last week. I would appreciate an update on your plans for this outlet control structure.

Regards,

Kate Drewry
North Metro Area Hydrologist
DNR Division of Ecological and Water Resources
1200 Warner Road St. Paul, MN 55106
Phone: 651-259-5753
Fax: 651-772-7977
kate.drewry@state.mn.us
www.mndnr.gov

From: Drewry, Kate (DNR)
Sent: Friday, August 01, 2014 1:52 PM
To: 'Leonard Linton'
Subject: FW: Ordinary Water Level for Wetland 114P

Leonard:

I've received several calls over the past month from a resident concerned about manipulation of the control structure at the wetland outlet. Are you still planning to proceed with design and permitting of a permanent fixed crest structure? Please note that since this is a Public Water Wetland, the current structure cannot be manipulated or changed without a DNR permit and approved operational plan.

Please let me know the current status of the outlet structure and you plans for moving forward.

Regards,

Kate Drewry
North Metro Area Hydrologist
DNR Division of Ecological and Water Resources
1200 Warner Road St. Paul, MN 55106
Phone: 651-259-5753
Fax: 651-772-7977
kate.drewry@state.mn.us

www.mndnr.gov

From: Drewry, Kate (DNR)
Sent: Tuesday, June 10, 2014 3:34 PM
To: 'Leonard Linton'
Subject: RE: Ordinary Water Level for Wetland 114P

Hello Leonard:

The OHW elevation of this wetland (south basin) is 858.1 (1929 datum). I am glad to see that the City plans to move forward with a permanent outlet structure and strongly encourage you to design it with a fixed crest and at an elevation that will maintain the current OHW. Adjustable outlets are an invitation to tampering and the types of on-going neighborhood disputes that you describe.

When you are ready to apply for the DNR permit, please use our new online system at the following link:

<http://www.dnr.state.mn.us/mpars/index.html>

Let me know if you have further questions.

Regards,

Kate Drewry
North Metro Area Hydrologist
DNR Division of Ecological and Water Resources
1200 Warner Road St. Paul, MN 55106
Phone: 651-259-5753
Fax: 651-772-7977
kate.drewry@state.mn.us
www.mndnr.gov

From: Leonard Linton [<mailto:llinton@ci.ramsey.mn.us>]
Sent: Wednesday, June 04, 2014 10:06 AM
To: Drewry, Kate (DNR)
Subject: Ordinary Water Level for Wetland 114P

Kate,

We are looking for the Ordinary High Water level for Wetland 114P. We have two groups of neighbors that have different ideas on where the level should be. One group will place boards over the culvert to raise the water level, the other group calls the City during spring runoff, complaining that the high water level is damaging their property. The City will then remove the boards to lower

the level. The boards will reappear in the summer when water levels drop.

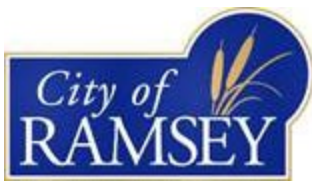
The outlet is located under at trail at the end of Junkite Street north of 142nd Avenue.

Our plan has two steps.

1. Determine the ordinary high water elevation and evaluate the elevation of the outlet pipe.
2. Prepare plans and apply for a permit to install a permanent outlet structure that maintains the OHW while allowing the spring high flows to pass.

Thank you for your help.

Please feel free to call with questions.



Leonard Linton | llinton@ci.ramsey.mn.us
Civil Engineer II
City of Ramsey | Engineering Department
P: 763-433-9834 | F: 763-433-9848
7550 Sunwood Drive NW | Ramsey, MN 55303
www.cityoframsey.com

***Our Mission: To work together to responsibly grow our community,
and to provide quality, cost-effective, and efficient government services.***

Public Works Committee**Meeting Date:** 07/16/2024**Primary Strategic Plan Initiative:** Not Applicable**Title:**

Receive Updates on Improvement Projects, Studies and Items of Interest

Purpose/Background:

The purpose of this case is to update the Public Works Committee on current and proposed City, County and MnDOT improvement projects and studies, and on other items of interest to the Committee.

City Improvement Projects**#24-01 Barthel's Rum River Acres & White Pine Estates Street Reconstructions**

- Construction in progress
- Substantial completion scheduled for August 2, 2024

#24-02 Halls Dover Acres Street Reconstruction

- Construction in progress
- Substantial completion scheduled for August 2, 2024

#24-03 2024 NE Ramsey Street Reconstruction

- Construction in progress
- Substantial completion scheduled for September 30, 2024

#24-04 Ford Brook Estates Drainage Improvements

- Anoka County Union Herald did not advertise bids as requested è bids delayed 2 weeks
- Bids publicly opened July 15th
- Substantial completion scheduled for August 31, 2024

#24-05 Xkimo St MSA (TH47 to 142nd Avenue) Reconstruction

- Construction in progress.
- Substantial completion scheduled for September 1, 2024

#24-06 2024 MSA Pavement Overlay Improvements (McKinley St)

- Bids will be publicly opened August 5, 2024
- Substantial completion scheduled for October 11, 2024
- Final completion scheduled for June 30, 2025

#24-07 2024 Neighborhood Overlay Improvements

- Construction in progress
- Substantial completion scheduled for August 31, 2024

#24-09 2024 Pavement Rejuvenator Improvements

- Preconstruction meeting scheduled for July 18, 2024
- Final completion is anticipated to occur by August 30, 2024

#24-10 2024 MSA Pavement Markings

- Final completion scheduled for August 3, 2024

#24-11 Alpine Drive MSA Street Reconstruction (Puma St to CSAH 83)

- Construction in progress
- Substantial completion scheduled for August 2, 2024

#24-12 Juniper Woods 1st – 3rd Street Reconstruction

- Construction in progress
- Substantial completion scheduled for August 2, 2024

#24-51 TH 47 Trail Gap Connection – 142nd Avenue to Xkimo Street

- Bolton & Menk preparing plans and specs for 10' trail construction
- Request for Quotes anticipated Summer 2024

#23-01 161st Avenue Reconstruction

- Final payment anticipated July 2024

#23-02 Central Park Parking Lot Reconstruction

- Final payment anticipated July 2024

#23-04 167th Avenue Reconstruction

- Final payment anticipated July 2024

#23-05 Barthels Rum River Acres 2nd Reconstruction

- Final payment anticipated July 2024

#23-10 Whispering Pines Estates Plat 3 Reconstructions

- Final payment anticipated July 2024

#23-19 COR Infrastructure Improvements

- Construction in progress
- Construction completion anticipated late August 2024

#23-20 COR Mass Grading

- Pond lining leaks have been repaired
- Final completion anticipated July/August 2024

#22-17 Highway 47 Sound Wall north of Xkimo Street

- Execution of contracts in progress
- Substantial completion scheduled for August 31, 2024

#21-08 WTP Trunk Watermain Improvements

- Construction in progress
- 143rd Avenue restricted to one-way traffic (Westbound only)
- Substantial completion anticipated September 13, 2024

#21-09 Centralized Water Treatment Plant

- Construction in progress
- Substantial completion scheduled for May 1, 2025
- Final completion scheduled for August 1, 2025

#20-11 Ramsey Gateway Highway 10 Improvements

- Construction in progress
- Final completion anticipated June 2026
- Project webpage <https://www.anokacountymn.gov/3918/Hwy-10Ramsey-Blvd-Interchange>

City of Anoka Improvement Projects

Highway 47 Corridor Improvements

- 3-lane design proposed south of Bunker Lake Boulevard
- City received regional solicitation funds for 2027 construction
- Signal system at McKinley Street proposed to be permanent
- Project webpage <https://clients.bolton-menk.com/anokahwy47/>

Anoka County Improvement Projects

2024 Pavement Overlay Improvements

- CSAH 83 (173rd to 181st) and CR 27 (Hwy 47 to CSAH 7)
- Work tentatively scheduled from early August through late September
- Project webpage <https://www.anokacountymn.gov/4070/2024-Projects>

MnDOT Improvement Projects

Ferry Street / Trunk Highway 47 Grade Separation @ BNSF Rail Crossing

- Preliminary design officially paused to explore S-curve realignment and stormwater impacts
- \$45M in bonds authorized October 2020
- MnDOT webpage <http://www.dot.state.mn.us/metro/projects/hwy47rr-anoka/>

Studies & Items of Interest

Wetland 114 P staff updates

- *See separate case*

Commercial/Industrial/Residential Developments

- Staff can respond to questions as needed.

PWC Future Topics Calendar Discussion Items

No updates.

Notification:

N/A

Time Frame/Observations/Alternatives:

Staff estimates up to 15 minutes will be needed for updates and discussion.

Funding Source:

N/A

Recommendation:

Staff will offer recommendations on specific items when requested.

Outcome/Action:

No formal action required. For Committee review and discussion purposes only.

Attachments

No file(s) attached.

Form Review

Inbox

Brian Hagen

Form Started By: Bruce Westby

Final Approval Date: 07/11/2024

Reviewed By

Brian Hagen

Date

07/11/2024 11:54 AM

Started On: 07/09/2024 04:30 PM

Public Works Committee

Meeting Date: 07/16/2024

Primary Strategic Plan Initiative: Not Applicable

Title:

Review Future Topics Calendar

Purpose/Background:

Attached is a calendar of future topics for review and discussion by the Public Works Committee. The calendar includes topics drawn from Committee requests received during meetings and/or unresolved topics previously discussed by the Committee. Calendar dates are subject to change based on the availability of information and required attendees, staff workload, and competing interests and objectives.

Notification:

Notification is not required for this case.

Time Frame/Observations/Alternatives:

Less than 5 minutes is anticipated to be necessary to review the future topics calendar and address questions.

Funding Source:

Dependent on discussion.

Recommendation:

Staff recommends reviewing the attached calendar and to either approve the calendar by consensus or to direct Staff to revise the calendar as follows; _____.

Outcome/Action:

No formal action required. For Committee review and discussion purposes only.

Attachments

PWC Calendar July2024

Form Review

Inbox

Brian Hagen

Form Started By: Bruce Westby

Final Approval Date: 07/11/2024

Reviewed By

Brian Hagen

Date

07/11/2024 11:54 AM

Started On: 07/09/2024 04:31 PM

Public Works Committee Future Topics Calendar *

Date	Topics for Discussion – Committee Action
Future/TBD	Sunwood Drive Roundabout Landscaping (<i>Riverblood</i>)
Date	Topics for Discussion – Regulatory
Ongoing	Wetland 114P Water Elevation
Date	Topics for Discussion – Policy
Future/TBD	Landscaped Median Maintenance Policy (<i>Riverblood</i>)
Future/TBD	Draft Gravel Road Elimination Policy (<i>Westby</i>)
July 2024	Draft Trail Maintenance Policy (<i>Riverblood</i>)
July 2024	Draft Stormwater Pond Maintenance Policy (<i>Westby</i>)
Date	Topics for Discussion – Planning and Budget
Future/TBD	Asset Management Program Update (<i>Westby</i>)
August 2024	Targeted Trail Gap Connection Planning (<i>Riverblood</i>)
Date	Topics for Discussion – Staff Updates
Ongoing	Project Review Process Improvements (<i>Westby</i>)
Ongoing	Flashing Yellow Arrow Improvement Opportunities (<i>Westby</i>)
Ongoing	TH 47 Improvements, Bunker Lk Blvd to Hwy 10 (<i>Westby</i>)
Ongoing	TH 47 Trail Connection Update (142 nd to Holiday So. of Xkimo)

* Dates subject to change based on availability of information, required attendees, staff workload, and competing interests and objectives.