

City of Ramsey
Agenda
Regular Planning Commission
Thursday, April 25, 2024

7:00 pm

Council Chambers, 7550 Sunwood Drive NW

Remote Attendance available at www.cityoframsey.com/meetings.

Those joining remotely and requesting to speak are asked to use a webcam when speaking.

1. Call to Order

2. Pledge of Allegiance

3. Citizen Input

4. Approve Agenda

5. Consent Agenda

1. Approve the Planning Commission Meeting Minutes for March 28, 2024.

6. Commission Business

1. Appoint Chairperson and Vice Chairperson of the Planning Commission

7. Public Hearing

1. PUBLIC HEARING: Consider a Zoning Amendment for Donna Farms
2. PUBLIC HEARING: Consider Sketch Plan and Related Variances for a Proposed Minor Plat of Pearson Place 2nd Addition at the Southwest Corner of Riverdale Drive and Highway 10 (Project No. 24-100); Case of John Dobbs
3. PUBLIC HEARING: Consider a Zoning Amendment, Site Plan, and Variance to Height Regulations in the COR Framework for Norhart Ramsey at 7975 and 7979 Sunwood Drive NW

8. Commission/Staff Input

9. Adjournment

Regular Planning Commission

Meeting Date: 04/25/2024

Primary Strategic Plan Initiative: Not Applicable

Information

Title:

Approve the Planning Commission Meeting Minutes for March 28, 2024.

Purpose/Background:

The purpose of this case is to approve the Planning Commission Meeting Minutes for March 28, 2024.

Recommendation:

Approval

Outcome/Action:

Approved

Attachments

March PC Minutes

Form Review

Inbox

Brian Hagen

Form Started By: Dana Verbeek

Final Approval Date: 04/18/2024

Reviewed By

Brian Hagen

Date

04/18/2024 08:21 AM

Started On: 04/16/2024 10:57 AM

**PLANNING COMMISSION
CITY OF RAMSEY
ANOKA COUNTY
STATE OF MINNESOTA**

The Ramsey Planning Commission conducted a regular meeting on Thursday, March 28, 2024, at the Ramsey Municipal Center, 7550 Sunwood Drive NW, Ramsey, Minnesota.

Members Present: Chairperson Cheri Gengler
 Commissioner Bruce Anderson (via Zoom)
 Commissioner Randy Bauer (arrived at 8:23 p.m.)
 Commissioner Ryan Heineman
 Commissioner Tom Hunt
 Commissioner Eric Peters
 Commissioner Gary Van Scoy

Members Absent: None

Also Present: Planning Manager Todd Larson
 City Planner Adam Martin
 Senior Planner Chris Anderson
 City Council Liaison Matt Woestehoff

1. CALL TO ORDER

Chairperson Gengler called the regular meeting to order at 7:05 p.m.

2. PLEDGE OF ALLEGIANCE

Chairperson Gengler led the group in the Pledge of Allegiance.

3. CITIZEN INPUT

None.

4. APPROVAL OF AGENDA

Motion by Commissioner Peters, seconded by Commissioner Hunts, to approve the agenda as presented.

A roll call vote was performed:

Commissioner Hunt	aye
Commissioner Van Scoy	aye
Commissioner Heineman	aye

Commissioner Peters aye
Commissioner Anderson aye
Chairperson Gengler aye

Motion Carried.

5. CONSENT AGENDA

5.01: Approve the February 22, 2024 Planning Commission Meeting Minutes

5.02: Pearson Place 2nd Addition Sketch Plan and Variances (Project No. 24-100)

Motion by Commissioner Van Scoy, seconded by Commissioner Heineman, to approve the consent agenda as presented.

A roll call vote was performed:

Commissioner Anderson aye
Commissioner Peters aye
Commissioner Heineman aye
Commissioner Van Scoy aye
Commissioner Hunt aye
Chairperson Gengler aye

Motion Carried.

6. PUBLIC HEARINGS/COMMISSION BUSINESS

6.01: Public Hearing: Consider a Site Plan, Variance, and Conditional Use Permit for a Proposed Automotive Repair Shop at 5195 142nd Avenue

Public Hearing

Chairperson Gengler called the public hearing to order at 7:03 p.m.

Presentation

Senior Planner Anderson presented the staff report stating that the Environmental Policy Board recommends approval of the landscape plan, contingent upon compliance with staff's review comments and also recommends approval of the variance to the impervious surfacing coverage. Staff recommends approval of the Site Plan and Conditional Use Permit, contingent upon compliance with staff's review comments. Staff received one written comment from a resident which was provided to the Commission via e-mail and in paper version tonight.

Commissioner Van Scoy asked if the southeastern edge of the fence is where the applicant designed and whether there was a condition to move that.

Senior Planner Anderson replied that is addressed in the staff review comments. He noted that could also be added as a condition if desired by the Commission.

Commissioner Heineman referenced the western entrance proposed for 142nd and asked if that would be a right-in/right-out.

Senior Planner Anderson replied that police raised a concern with shifting the access closer to 47 and the applicant is aware of that concern. He stated that the applicant has stated that the entrances as they exist today would create issues with moving vehicles around the site. He explained that vehicles could enter the site through the second entrance before getting to Xkimo.

Commissioner Heineman commented that he would support a do not enter sign at the western entrance.

Citizen Input

Mitchell Web, applicant, stated that everything within the fenced area would be screened. He stated that he does not operate a business where vehicles sit for a long time as this is not an auto body shop with crashed cars. He stated that the vehicles leave in a short period of time after the repair is completed. He stated that they have spent a lot of time and energy looking at ways to reconfigure the parking lot and entrances. He noted that the more they shift the western entrance away from 47, the more difficult it will be for the vehicles in those parking spots to get out of those spots. He noted that reconfiguration would also cause them to lose three parking stalls and they want to ensure the site has sufficient parking available.

Commissioner Heineman asked if the applicant would see any issues with using the eastern entrance for vehicles coming into the site and the western entrance for people leaving.

Mr. Web stated that he could look into that. He stated that they have been working cooperatively with staff throughout this process and their goal is to ensure it is safe for customers and the public to come in and out of the site. He stated that he would want to ensure that there would not be conflict with vehicles coming into the site and whatever is going on behind the screened area.

Commissioner Heineman asked the hours of the business.

Mr. Web stated that their hours would be 8:00 a.m. to 6:00 p.m. He stated that all three of the current locations have one or two property lines that abut residential, and they have not had any issues or complaints, often serving vehicles of the neighboring residents.

Senior Planner Anderson commented that he spoke with the City of Andover today as that location is very similar to this proposed location. He stated that the staff member had been there for the past five years and has not received any complaints, noting that site actually borders two single-family home properties. He noted that site is clean and well maintained.

Commissioner Peters asked if there would be a zipper drain in the floor.

Mr. Web commented that they would use proper drainage with an array of drainage systems throughout the building and explained how that system functions and is cleaned.

Commissioner Van Scoy commented that the City is concerned with moving the fence and asked for the thoughts from the applicant.

Mr. Web commented that their initial drawing was more drastic, with the fence two feet from the sidewalk and landscaping inside the fence. He stated that if they move the trees to the outside of the fence, they would only have nine to ten feet between the curb and fence in some spots in order for the trees to grow correctly. He believed that they could put some trees and landscaping outside of the fence in an attempt to meet in the middle as he also has concerns with having enough space for snow storage in the winter. He stated that he has talked to staff about potentially leaving the fence as proposed and adding landscaping on the outside of the fence. He stated that the screened fence does not look terrible, and they are a professional business.

Commissioner Van Scoy asked if the fence were required to be moved, would that create a major issue for the applicant.

Mr. Web commented that he feels that would create a major issue. He stated that they do not have a lot of room for snow storage on the western side of the site and therefore want to ensure there is space for snow storage on the east. He noted that they did move the fence on the north to add three or four trees on the outside. He believed that they could collaborate to find a solution that would work for everyone.

Senior Planner Anderson commented that staff could explore shifting some of the plantings into the boulevard if there is sufficient space. He stated that they could also look at column growing arborvitae that do not require much space. He stated that the applicant has been very open to this discussion, and they continue to work together to find a solution.

Commissioner Heineman commented that it does not appear that the other locations have screened fencing and asked if that is correct.

Mr. Web stated that is not correct. He provided details noting that they use black screen privacy fencing, explaining that the installation of the fencing at one location was delayed until the time a tenant moved out of the building and they were able to install the fence.

Commissioner Van Scoy asked for clarification on whether staff wants the fence in a specific location.

Senior Planner Anderson replied that staff is not specifying where the fence will be, they just want the plantings moved to the outside of the fence.

Commissioner Van Scoy referenced the need of the business owner for storage space.

Senior Planner Anderson believed that they could look at alternative species of trees that will require much less growing space. He believed that staff could continue to work with the applicant to find a solution that would leave enough space for snow storage and place plantings on the outside of the fence.

Commissioner Hunt referenced the DNR comments related to stormwater runoff. He asked if the pond would have adequate storage space to accommodate for this site and what would happen if there were not adequate space.

Senior Planner Anderson commented that there is a stretch of undeveloped parcels that face this same situation and therefore staff is confident in this proposed solution for treatment. He believed that the City would be able to obtain the necessary approvals to expand the regional pond.

Chairperson Gengler asked if the east entrance would typically be open during business hours.

Mr. Web replied that the goal would be to have that open during the majority of the time.

Senior Planner Anderson commented that crossing a painted median into a driveway is legal, therefore there is nothing that would prohibit that movement for people to turn into the western entrance.

Wendy West, 14233 Xkimo Street, commented that her neighbor sent the letter mentioned. She noted that her major concerns are related to the entrance. She believed that using the eastern entrance for traffic to enter the site and exit to the west would be the best flow for traffic. She also agreed with the mention to have a narrower growing tree to use on the outside of the fence. She commented that the traffic on Xkimo is awful, and she has difficulty turning out of her driveway. She commented that the applicant appears to be doing a great job working with City staff and therefore does not have any objections. She asked how residents would receive updates on the progress.

Senior Planner Anderson commented that the next step would be to move these recommendations forward to the April 9th or 23rd City Council meeting. He stated that there would not be another mailing, but the City Council agendas can be found on the City website.

Motion by Commissioner Heineman, seconded by Commissioner Van Scoy, to close the public hearing.

A roll call vote was performed:

Commissioner Hunt	aye
Commissioner Van Scoy	aye
Commissioner Heineman	aye
Commissioner Peters	aye
Commissioner Anderson	aye
Chairperson Genger	aye

Motion Carried.

Chairperson Gengler closed the public hearing at 7:46 p.m.

Commission Business

Motion by Commissioner Hunt, seconded by Commissioner Peters, to approve Resolution #24-088 Granting a Variance to the Maximum Impervious Surfacing Standard in the Scenic River Protection Overlay District.

A roll call vote was performed:

Commissioner Anderson	aye
Commissioner Peters	aye
Commissioner Heineman	aye
Commissioner Van Scoy	aye
Commissioner Hunt	aye
Chairperson Genger	aye

Motion Carried.

Motion by Commissioner Heineman, seconded by Commissioner Peters, to recommend that City Council adopt Resolution #24-089 to Approve the Site Plan and Conditional Use Permit with the City Council to consider the feasibility of the alternate entrance.

A roll call vote was performed:

Commissioner Hunt	aye
Commissioner Van Scoy	aye
Commissioner Heineman	aye
Commissioner Peters	aye
Commissioner Anderson	aye
Chairperson Genger	aye

Motion Carried.

6.02: Public Hearing: Haviland Fields (Presbyterian Homes) – Comprehensive Plan Amendment, Rezoning, Preliminary Plat, and Site Plan Review for a Multi-Family Residential Development at 14501 Nowthen Boulevard NW

Public Hearing

Chairperson Gengler called the public hearing to order at 7:49 p.m.

Presentation

Planning Manager Larson presented the staff report stating that staff recommends approval of the Haviland Fields development proposal. Staff received many letters and emails from residents which have been provided to the Commission.

Citizen Input

Councilmember Woestehoff commented that the City Council actually reviewed the EAW twice, asking for additional information on traffic after the first review. He noted that the approved EAW has been posted on the City website.

Sam Jagodzinski, representing the applicant, echoed the comments from the staff report. He stated that they are working with a host of partners who are great at what they do and introduced some of the members present tonight. He stated that they want the development to look intentional with the density transitioning to the south, away from the adjoining residential homes. He provided a recap of the proposal, noting that the existing Lord of Life Church would remain the focus of the site with complimentary uses proposed to be added. He acknowledged the different approvals that would be needed for this development to move forward and reviewed the process thus far which began in 2022. He recapped how the input received from the public, Commission and City Council has helped to guide the development of their plans. He noted that a PUD is being required but they do meet the standards of R-3 zoning with the exception of the density calculation because of the items (including the church property) that must not be included in the overall site calculation.

Chris Palkowitsch, BKV Architects, commented that staff did a thorough job presenting the request. He noted that the intent of the design was to create a park-based campus, focusing on the natural environment and the church. He felt that with the amount of wetlands preserved and the church space, the density will not be as condensed as it would seem in the calculation. He explained how the team worked together to incorporate the feedback from the residents, noting that park homes adjacent to the single-family homes and moving the density to the south.

Michael Rice, 14620 Flourine Street NW, commented that this property backs to the Lord of Life property. He stated that he moved to this area to have a low, calm life. He stated that his main concern is the additional burden that this would place on the schools. He believed that the issues with the schools should be addressed before adding more families to this area.

James Berreau, 14641 Flourine Street, commented that his backyard also overlooks the firepit for Lord of Life Church. He did not think the senior building should be in that location. He stated that many of his concerns are related to traffic, commenting on the gross negligence of the first traffic study that was done. He commented that any data obtained from that study should be considered null and void and believed that traffic counts estimated were significantly underestimated. He commented that for his street it takes about three to four minutes to get out of the neighborhood when school is in session. He believed that at minimum there should also be an exit from this property directly onto 47.

Chad Lindgren, 5561 145th Circle NW, commented that he believes that bringing in more residents will help ease the burden through increased tax base. He commented that the development looks fine, but his concern is with traffic. He noted a previous development concept which required a

turn lane improvement, but thought that this would seem odd to have a bigger development which would not trigger traffic improvements. He commented on a recent accident that his neighbor was involved in on 146th Avenue which caused injuries. He asked that something be done to protect the safety of the existing and new residents in terms of traffic control.

Motion by Commissioner Van Scoy, seconded by Commissioner Peters, to close the public hearing.

A roll call vote was performed:

Commissioner Hunt	aye
Commissioner Van Scoy	aye
Commissioner Bauer	aye
Commissioner Heineman	aye
Commissioner Peters	aye
Commissioner Anderson	aye
Chairperson Genger	aye

Motion Carried.

Chairperson Gengler closed the public hearing at 8:23 p.m.

Commission Business

Commissioner Heineman referenced the intersection of Nowthen Boulevard and Sunwood and confirmed that there is no stoplight currently. He asked if there has been consideration to add a stoplight at that location.

Planning Manager Larson replied that the intersection is the top rated for the County radar, with plans to install a roundabout in that location within the next two years or so. He stated that there are other intersections that the County would also like to upgrade. He noted that both of the driveways into this project from County Road 5 would have turn lanes.

Councilmember Woestehoff commented that one of the big takeaways of reviewing the traffic study was the input from the County, as this is a County road. He stated that he defaults to the County in making those decisions and agreed that the Sunwood intersection improvement will help as well.

Commissioner Van Scoy commented that his major concern is with the people that would be leaving this site and traveling south. He stated that the ability to turn right when exiting this site, travel down a short ways and turn around in the roundabout will be a huge benefit, but asked what would be done in the meantime until that is constructed.

Planning Manager Larson replied that vehicles could turn left from the southern exit for the property, but vehicles using the northern exit/entrance would need to turn right and travel in that direction.

Commissioner Bauer commented that he is very familiar with that area and noted the difficulty in making a left turn from that side of Nowthen Boulevard. He believed that the roundabout would be a huge improvement.

Commissioner Hunt agreed, noting that he also travels that stretch of the road multiple times per day. He agreed that a healthy majority of people exiting that property in the morning would be traveling south and that volume of traffic trying to exit from one location would create a traffic problem.

Councilmember Woestehoff asked for details on the phasing of the development.

Mr. Jagodzinski commented that phasing is still not completely set but the all-ages building would most likely be constructed first, beginning in 2025 and the senior buildings would follow. He noted that it would be a multi-year process and therefore the roundabout would most likely be in place prior to full build out.

Councilmember Woestehoff noted that the senior building would also have a much different traffic pattern than the all-ages building.

Commissioner Peters referenced the all ages building and asked the anticipated price point for rentals.

Mr. Jagodzinski replied that those units would start at \$1,450 per month.

Commissioner Peters asked the type of air handling units that would be used.

Mr. Jagodzinski replied that they would be using magic-paks.

Commissioner Hunt asked if there are plans for a playground.

Mr. Jagodzinski replied that while it is not currently in the plans, they would be open to discussions.

Chairperson Gengler asked if one HOA would cover all the housing sections or whether they would be separate.

Mr. Jagodzinski replied that most likely they would have one entity to control all of that.

Chairperson Gengler asked for more details on the emergency access gate.

Planning Manager Larson replied that fire and police wanted a connection, but public works was not supportive of a through public street, nor did the applicant, which lead to the addition of the gate to allow emergency access if needed but prevent through traffic.

Commissioner Hunt commented that there have been quite a few times he has noticed the parking lot is very full during events and asked if the church would plan to hold less events or whether the shared parking would accommodate the events.

Michelle Anderson and Woody Nelson, representing Lord of Life Church, replied that they would continue to hold their events and look forward to involving this new community. She believed the allocated parking space would be sufficient.

Motion by Commissioner Peters, seconded by Commissioner Heineman, to recommend that City Council approve the Comprehensive Plan Amendment, Rezoning, Plat, and Site Plan Review for Haviland Fields.

Further discussion

Commissioner Van Scoy commented that his major concern is with traffic control but acknowledged that the County is aware and has plans to take action. He asked if the County would take action sooner if there are significant issues. Planning Manager Larson replied that would be a combination of different City departments with the County taking the lead to find a solution for whatever problem were to pop up. He confirmed that public safety has reviewed the plans.

A roll call vote was performed:

Commissioner Hunt	aye
Commissioner Van Scoy	aye
Commissioner Bauer	aye
Commissioner Heineman	aye
Commissioner Peters	aye
Commissioner Anderson	aye
Chairperson Genger	aye

Motion Carried.

6.03: Public Hearing: Consider a Site Plan and Final Plat from St. Katharine Drexel at 7633 161st Avenue NW

Public Hearing

Chairperson Gengler called the public hearing to order at 8:41 p.m.

Commissioners Bauer and Van Scoy recused themselves from this item because of their affiliation with St. Katharine Drexel.

Presentation

City Planner Martin presented the staff report stating that staff recommends approval of the Site Plan and Final Plat.

Citizen Input

Tom Peterson, representing the applicant, stated that he was present to address any questions of the Commission.

Chairperson Gengler asked the anticipated timeline for the building and mentioned expansion.

Mr. Peterson replied that there is no set timeline for a future expansion at this time, noting that they are just providing the ability to expand in the future if that is needed.

Chairperson Gengler asked for details on the site configuration.

Mr. Peterson provided further clarification on how the traffic would flow through the site, noting that the plans also showed how the site could grow in the future as well. He stated that if there were an expansion proposed in the future, that would follow the same review process.

Commissioner Heineman asked if the sidewalk heading west would connect to something.

Mr. Peterson commented that would connect to the parking for PACT Charter School to accommodate for shared parking.

City Planner Martin commented that there is a shared parking agreement between the church and school.

Commissioner Peters asked if there would be church bells.

Randy Bauer, representing St. Katharine Drexel Church, commented that the church does not have immediate plans for bells although they may consider a bell tower at some time in the future. He stated that the multi-purpose space where services would be held would have just under 400 seats, noting that the current space has 200 seats. He commented that will allow quite a bit of growth and anticipated a minimum of ten years before the church would look at plans for phase two.

Motion by Commissioner Peters, seconded by Commissioner Hunt, to close the public hearing.

A roll call vote was performed:

Commissioner Peters	aye
Commissioner Heineman	aye
Commissioner Anderson	aye
Commissioner Hunt	aye
Chairperson Genger	aye

Motion Carried.

Chairperson Gengler closed the public hearing at 8:53 p.m.

Commission Business

Motion by Commissioner Hunt, seconded by Commissioner Heineman, to recommend that City Council adopt Resolution #24-093 Approving a Final Plat and Site Plan Review for St. Katharine Drexel Church Addition.

A roll call vote was performed:

Commissioner Anderson	aye
Commissioner Heineman	aye
Commissioner Hunt	aye
Commissioner Peters	aye
Chairperson Genger	aye

Motion Carried.

Commissioners Bauer and Van Scoy rejoined the Commission.

7. COMMISSION BUSINESS

8. COMMISSION / STAFF INPUT

Planning Manager Larson noted that the Chair and Vice Chair elections will take place at the next meeting. He stated that Commissioner Anderson was reappointed by the City Council and there were no other expiring terms.

Commissioner Hunt noted that he will not be in attendance at the April meeting.

Commissioner Van Scoy noted that he would also not be present at the April meeting.

Planning Manager Larson advised that the Commission is scheduled to hold three public hearings at the April meeting.

Councilmember Woestehoff commented that the City Council will hold a special worksession the following Tuesday to discuss a City position, for or against, State legislature consideration of bills that would limit local land control laws. He stated that he opposes the issue, as do many cities and the League of Minnesota Cities.

9. ADJOURNMENT

Motion by Commissioner Bauer, seconded by Commissioner Van Scoy, to adjourn the meeting.

A roll call vote was performed:

Commissioner Anderson	aye
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Commissioner Peters aye
Commissioner Heineman aye
Commissioner Bauer aye
Commissioner Van Scoy aye
Commissioner Hunt aye
Chairperson Genger aye

Motion Carried.

The regular meeting of the Planning Commission adjourned at 9:06 p.m.

Respectfully submitted,

Todd Larson
Planning Manager

ATTEST:

Dana Verbeek
Planning Administrative Assistant

Drafted by Amanda Staple
TimeSaver Off Site Secretarial, Inc.

Regular Planning Commission

6. 1.

Meeting Date: 04/25/2024

By: Todd Larson, Community Development

Information

Title:

Appoint Chairperson and Vice Chairperson of the Planning Commission

Purpose/Background:

Each year the Planning Commission appoints a chairperson and a vice-chairperson. Currently, Commissioner Cheri Gengler serves as Chairperson and Commissioner Randy Bauer serves as the Vice Chairperson. The next term of appointment is from April 25, 2024, to April 24, 2025.

Notification:

Observations/Alternatives:

Funding Source:

Recommendation:

Action:

Motion to appoint _____ as Chairperson of the Planning Commission.

-and-

Motion to appoint _____ as Vice Chairperson of the Planning Commission.

Attachments

No file(s) attached.

Form Review

Inbox

Brian Hagen

Form Started By: Todd Larson

Final Approval Date: 04/18/2024

Reviewed By

Brian Hagen

Date

04/18/2024 08:13 AM

Started On: 03/25/2024 08:48 AM

Regular Planning Commission**Meeting Date:** 04/25/2024**Primary Strategic Plan Initiative:** Promote economic growth and development.**Information****Title:**

PUBLIC HEARING: Consider a Zoning Amendment for Donna Farms

Purpose/Background:

The City has received an application from Markquart Ramsey, LLC (the "Applicant") for a Final Plat and Zoning Map Amendment from B-2 to B-3 on the property currently described as Outlot B, Riverstone South. The Subject Property is addressed as 8655 and 8725 Riverdale Drive NW.

Notification:

Staff attempted to notify property owners within 700 feet of the Subject Property, as reflected in the Anoka County Property Records, of the request and the Public Hearing to be held by the Planning Commission. A notice of the Public Hearing was published in the Anoka County UnionHerald, the City's official newspaper. A proposed development sign was placed on the property.

Time Frame/Observations/Alternatives:**Subject Property and Zoning Map Amendment**

The Subject Property is generally located between US Highway 10 and Riverdale Drive NW, east of the Pearson Farm and west of the City-owned stormwater pond constructed as part of the Riverdale Drive extension project in 2022. The Subject Property is currently zoned B-2, Community Business District. The Applicant is requesting a Zoning Map Amendment from B-2 to B-3, Regional Business District. This is to accommodate an RV sales and service facility on one lot for Markquart RV (formerly known as RV World), who is looking to relocate and expand their operations in Ramsey, and a U-Haul self-storage facility and truck rental depot on the other lot. It should be noted that both uses will require Conditional Use Permits, and it is anticipated that each business will submit Land Use Applications in the near future. Conceptual site plans are attached to this report and will be refined as part of each businesses' land use applications.

All details pertaining to each business's site plan, building design, landscaping, and other design-related items will be reviewed at the time of receiving a complete Land Use Application. The current request is simply to review and make a recommendation upon a Zoning Map Amendment for the Subject Property.

The site is guided for commercial uses in the Comprehensive Plan. A rezoning from B-2 to B-3 would be consistent with the Comprehensive Plan. When the Zoning Code was updated in 2023, the general rationale for the allotment of commercial uses (the "B" zones) was that B-1 was adjacent to residential uses, B-2 was across a street from residential uses, and B-3 was set away from residential uses. This site is across Riverdale Drive from Riverstone South. It is recommended that the two proposed businesses keep in mind the proximity to the Riverstone South neighborhood when developing their site plans by adding extra beaming and landscaping along Riverdale Drive in order to be better neighbors.

The adjacent properties to the east and west will remain zoned B-2.

Final Plat

The Sketch Plan was reviewed administratively, since only two lots are proposed, no right-of-way is being platted, and no public utilities are being constructed as part of this plat. A copy of the Final Plat is attached to this case for Planning Commission's reference, though City Council will make the final decision upon the Final Plat.

Alternatives

Alternative 1: Recommend approval of the Zoning Map Amendment, as recommended by Staff.

Alternative 2: Recommend denial of the Zoning Map Amendment, based on supporting findings of fact.

Funding Source:

All costs associated with this request are the Applicant's responsibility.

Recommendation:

Staff recommends approval of the Zoning Map Amendment.

Outcome/Action:

Motion to recommend City Council adopt Ordinance #24-08, Approving a Zoning Map Amendment for Donna Farms.

Attachments

Location Map

Ordinance #24-08

Final Plat

U-Haul Site Plan on Lot 1 - for reference only

Markquart RV Site Plan on Lot 2 - for reference only

Form Review

Inbox

Brian Hagen

Form Started By: Adam Martin

Final Approval Date: 04/18/2024

Reviewed By

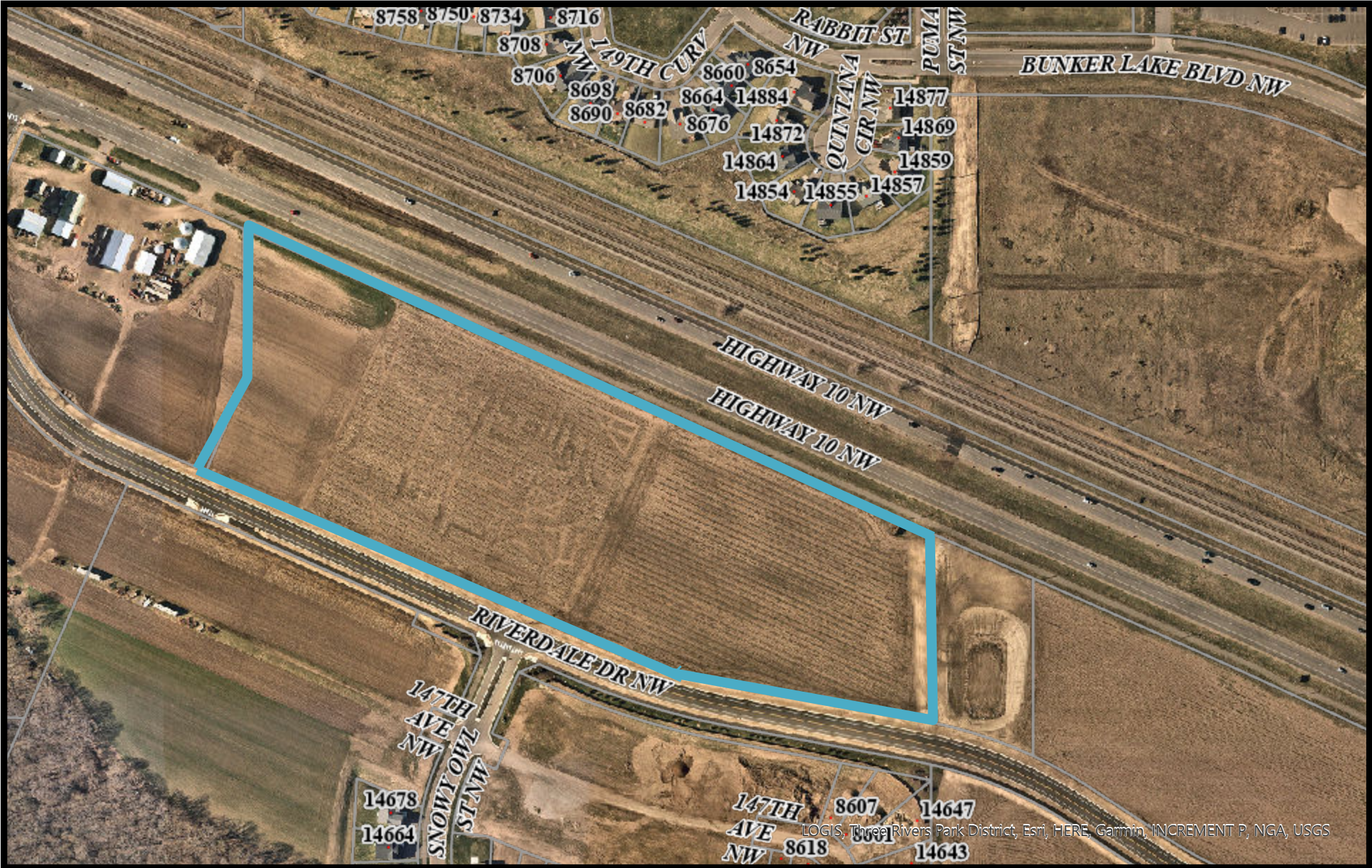
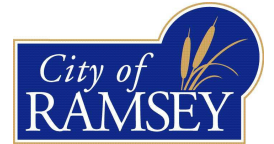
Brian Hagen

Date

04/18/2024 09:39 AM

Started On: 04/17/2024 04:14 PM

DONNA FARMS



**ORDINANCE #24-08
CITY OF RAMSEY
ANOKA COUNTY
STATE OF MINNESOTA**

**AN ORDINANCE AMENDING SECTION 106-120 "OFFICIAL ZONING MAP" OF
CHAPTER 106 OF THE CITY CODE OF RAMSEY, MINNEOSTA**

The City Council of Ramsey ordains:

SECTION 1. AUTHORITY

This ordinance is adopted pursuant to and under the authority of the City Charter of the City of Ramsey.

SECTION 2. AMENDMENT TO SECTION 106-120 PERTAINING TO A ZONING MAP AMENDMENT.

The following legally described properties are hereby rezoned from B-2 – Community Business District to B-3 – Regional Business District:

Parcel 1: 8655 Riverdale Drive NW

Lot 2, Block 1, DONNA FARMS, Anoka County, Minnesota

Parcel 2: 8725 Riverdale Drive NW

Lot 1, Block 1, DONNA FARMS, Anoka County, Minnesota

SECTION 3. MAP

The City is hereby instructed to cause this amendment to be shown on the "City of Ramsey Official Zoning Map."

SECTION 4. EFFECTIVE DATE

This ordinance becomes effective 30 days after its passage and publication, subject to City Charter Section 5.04.

DONNA FARMS

**CITY OF RAMSEY
COUNTY OF ANOKA
SEC. 29 & 30, TWP. 32, RGE. 25**

KNOW ALL PERSONS BY THESE PRESENTS: That Donna Farms, LLC, a Minnesota limited liability company, owner of the following described property:

Outlot B, RIVERSTONE SOUTH, according to the recorded plat thereof, Anoka County, Minnesota.

Has caused the same to be surveyed and platted as DONNA FARMS and does hereby dedicate to the public for public use the drainage and utility easements as shown on this plat.

In witness whereof said Donna Farms, LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officer this ___ day of _____, 20__.

DONNA FARMS, LLC

Steven M. Jung, President

STATE OF _____

COUNTY OF _____

This instrument was acknowledged before me on _____ by Steven M. Jung, President of Donna Farms, LLC, a Minnesota limited liability company, on behalf of the company.

_____(Signed)

_____(Printed)

Notary Public, _____ County, _____

My commission expires _____

I Jason E. Rud do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this ___ day of _____, 20__.

Jason E. Rud, Licensed Land Surveyor
Minnesota License No. 41578

STATE OF _____

COUNTY OF _____

This instrument was acknowledged before me on _____ by Jason E. Rud.

_____(Signed)

_____(Printed)

Notary Public, _____ County, Minnesota

My commission expires _____

CITY COUNCIL, CITY OF RAMSEY, MINNESOTA

This plat of DONNA FARMS was approved and accepted by the City Council of the City of Ramsey, Minnesota at a regular meeting thereof held this ___ day of _____, 20__, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

CITY COUNCIL, CITY OF RAMSEY, MINNESOTA

By: _____, Mayor

By: _____, Clerk

COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this ___ day of _____, 20__.

By: _____

David M. Ziegler
Anoka County Surveyor

COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20__ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this ___ day of _____, 20__.

Property Tax Administrator

By: _____, Deputy

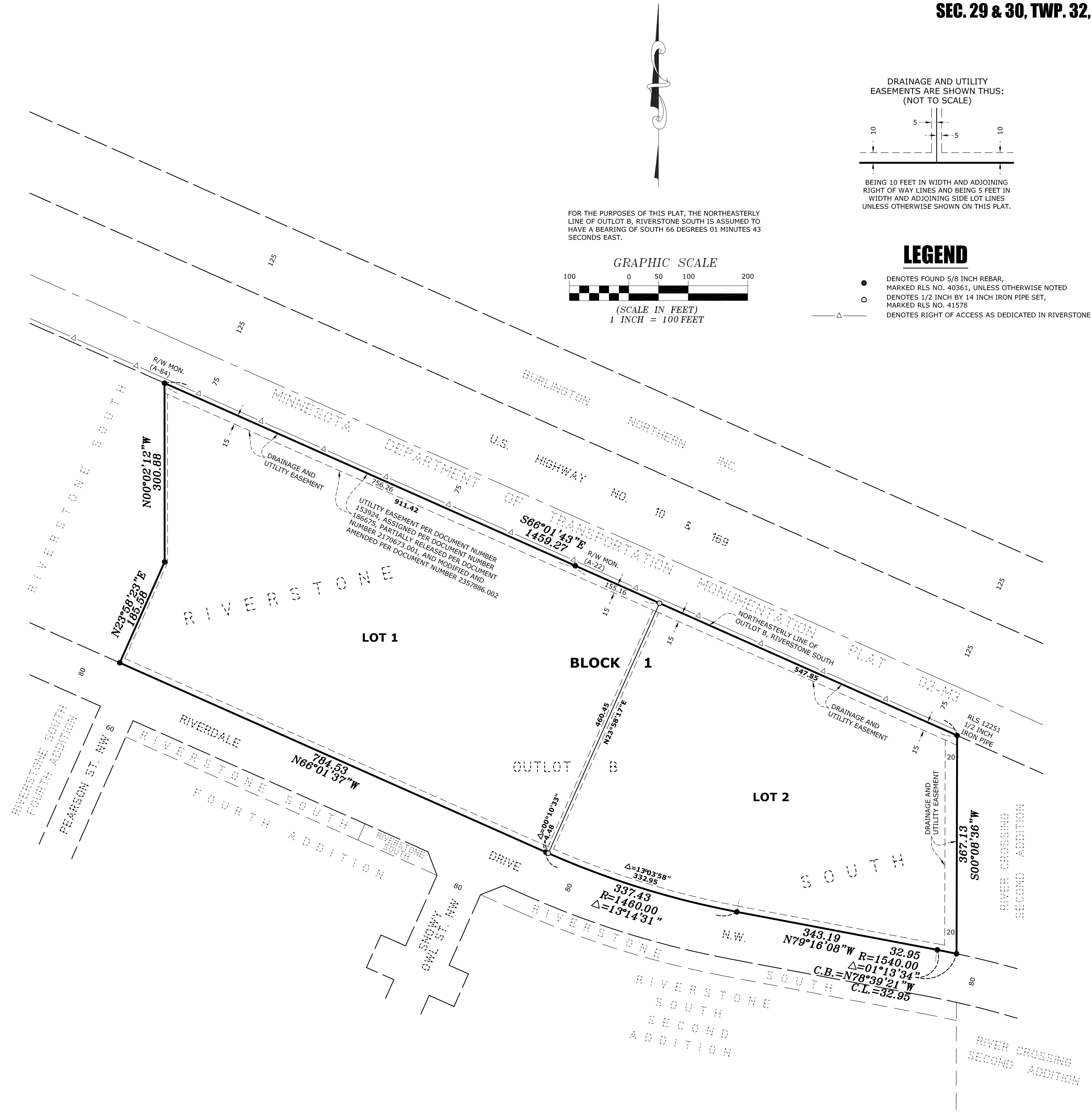
COUNTY RECORDER/REGISTRAR OF TITLES

County of Anoka, State of Minnesota

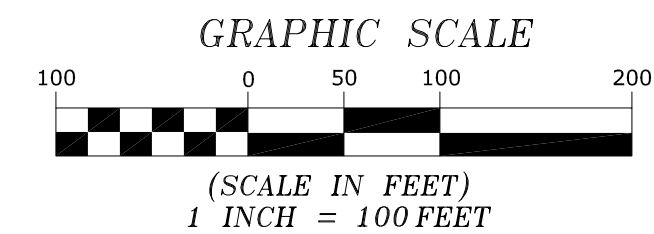
I hereby certify that this plat of DONNA FARMS was filed in the office of the County Recorder/Registrar of Titles for public record on this ___ day of _____, 20__, at ___ o'clock __.M. and was duly recorded as Document Number _____.

County Recorder/Registrar of Titles

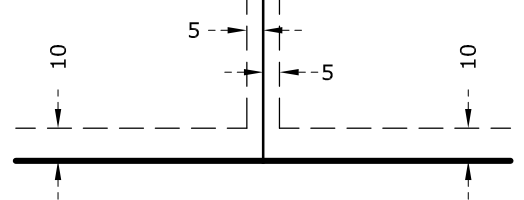
By: _____, Deputy



FOR THE PURPOSES OF THIS PLAT, THE NORTHEASTERLY LINE OF OUTLOT B, RIVERSTONE SOUTH IS ASSUMED TO HAVE A BEARING OF SOUTH 66 DEGREES 01 MINUTES 43 SECONDS EAST.



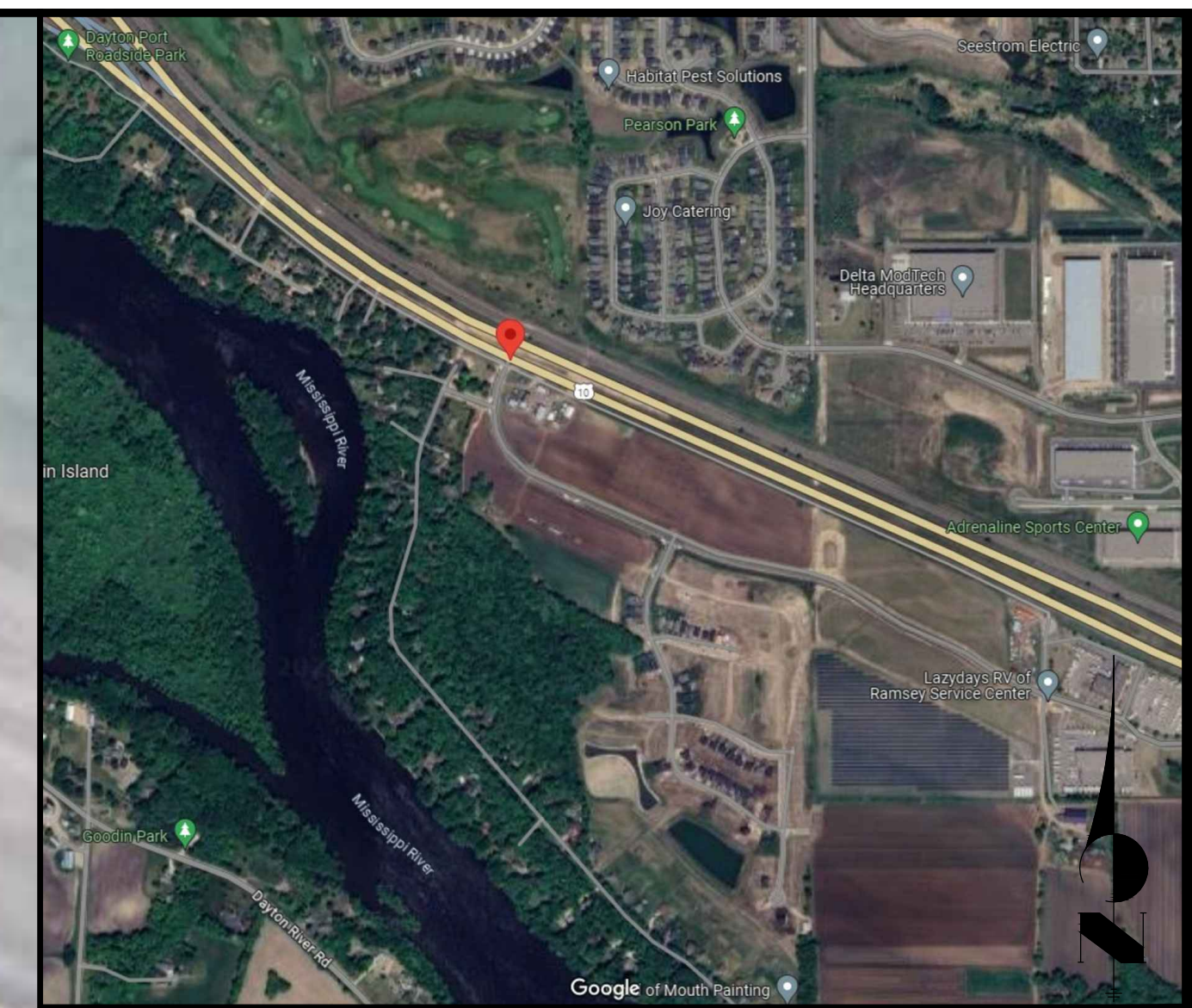
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS: (NOT TO SCALE)



BEING 10 FEET IN WIDTH AND ADJOINING RIGHT OF WAY LINES AND BEING 5 FEET IN WIDTH AND ADJOINING SIDE LOT LINES UNLESS OTHERWISE SHOWN ON THIS PLAT.

LEGEND

- DENOTES FOUND 5/8 INCH REBAR, MARKED RLS NO. 40361, UNLESS OTHERWISE NOTED
- DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET, MARKED RLS NO. 41578
- △— DENOTES RIGHT OF ACCESS AS DEDICATED IN RIVERSTONE SOUTH



SITE AERIAL SCALE: N.T.S.

Zoning Information

Project Name: U-Haul Moving & Storage of Ramsey, MN
Municipality: City of Ramsey, MN
Project Address: Hwy 10 & Riverdale Dr., Ramsey, MN
Parcel No. / Area: 7-Acres
Zone: Rezoned to B-3

- Uses:**
- Self-Storage
 - U-Haul Truck & Trailer Sharing
 - Related Retail Sales

SHEET NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
5			
6			
7			
8			

PROFESSIONAL SEAL:
*PRELIMINARY DOCUMENTS,
 NOT FOR CONSTRUCTION,
 FOR INFORMATION ONLY.*

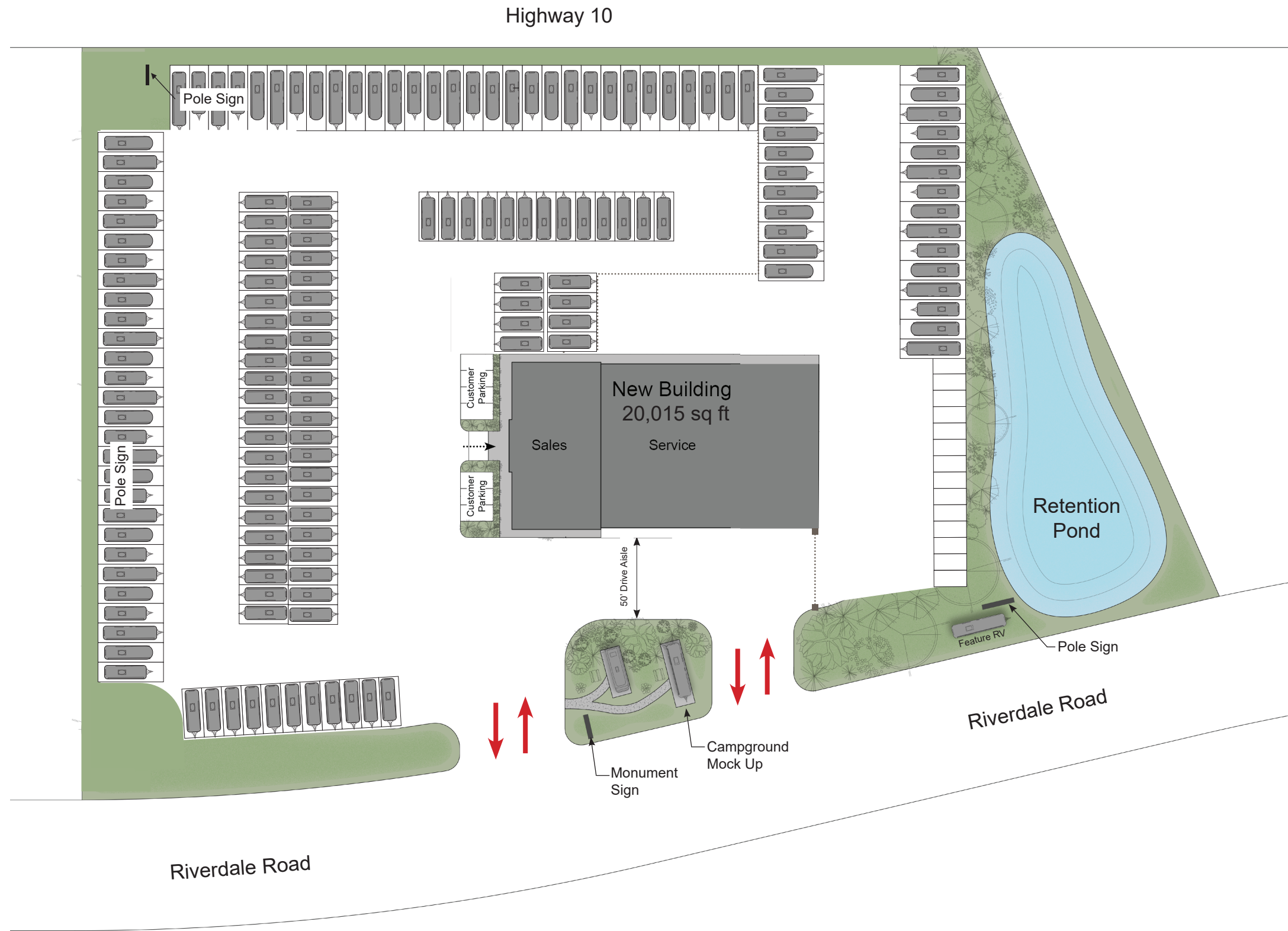
ARCHITECT LOGO:

AMERCO REAL ESTATE COMPANY
 CONSTRUCTION DEPARTMENT
 2727 NORTH CENTRAL AVENUE
 PHOENIX, ARIZONA 85004
 P: (602) 263-6502

SITE ADDRESS:
 U-Haul of Ramsey, MN
 Hwy 10 & Riverdale Dr.
 RAMSEY, MN

SHEET CONTENTS:
 PRELIMINARY
 SITE PLAN

729XXX
 DRAWN: GKT
 CHECKED: PB
 DATE: 04.17.2024
 SP1
 XXXXXXXXX



Regular Planning Commission**Meeting Date:** 04/25/2024**Primary Strategic Plan Initiative:** Promote economic growth and development.**Information****Title:**

PUBLIC HEARING: Consider Sketch Plan and Related Variances for a Proposed Minor Plat of Pearson Place 2nd Addition at the Southwest Corner of Riverdale Drive and Highway 10 (Project No. 24-100); Case of John Dobbs

Purpose/Background:

The City received an application from John Dobbs (the "Applicant") for a proposed Minor Plat of the property located south of Highway 10, west of Riverdale Drive, north of 148th Avenue, and east of Bowers Drive (the "Subject Property"). No roads or utilities will be constructed with this project as they are already in place. The Subject Property abuts roads on all four sides, partially due to the City's extension of Riverdale Drive, which also included creating a cul-de-sac at the north end of Bowers Drive and the construction of 148th Avenue connecting Bowers Drive to Riverdale Drive.

Notification:

City Staff attempted to notify all property owners within 700 feet of the Subject Property, according to Anoka County's property records, via standard U.S. mail, of the Public Hearing on April 25, 2024. A notice of the Public Hearing was also published in the City's official newspaper, the Anoka Union Herald. Finally, a "Proposed Development Action" sign was also placed on the Subject Property.

Time Frame/Observations/Alternatives:**Minor Plat**

The Applicant is proposing to subdivide the Subject Property, which is approximately 1.05 acres in size, into three (3) single family residential lots. The three (3) proposed lots will all be at least sixty-five (65) feet wide and all exceed the minimum required lot area of 6,500 square feet. Each lot will be accessed from Bowers Drive. When the City extended Riverdale Drive to connect to Highway 10, the Bowers Drive connection to Highway 10 was eliminated and replaced with a cul-de-sac. As part of that project, three (3) utility services were installed to serve the Subject Property. As there is no need to construct any roads or install utilities, this subdivision qualifies as a Minor Plat, which the Planning Commission would normally not review (Sketch Plan is reviewed by City Staff and then Final Plat would go straight to City Council). However, during the review of the Sketch Plan, it was noted that multiple variances would be required, partially due to changes from the Zoning Code update.

Zoning and Land Use

The Subject Property is zoned R-1B Single Family Residential. This zoning designation allows for sixty-five (65) foot wide lots with a minimum lot area of 6,500 square feet. All three (3) lots meet or exceed the base bulk standards for width and area. The surrounding properties are zoned R-1A Single Family Residential (west of Bowers Drive), R-1B Single Family Residential (south of 148th Avenue), and B-2 Community Business District (east of Riverdale Drive). The Subject Property abuts Highway 10 to the north.

The 2040 Comprehensive Plan guides the Subject Property as Low Density Residential. The surrounding properties are guided Low Density Residential (west and south of the Subject Property) and Commercial (east of the Subject Property). The proposed density of this project is 2.85 units per acre.

Roads and Utilities

As previously noted, there are no roads or utilities that will be constructed with this project. Each of the three (3) lots will be accessed from Bowers Drive. There are three (3) sets of sanitary sewer and municipal water stubs to the Subject Property that were installed as part of the Bowers Drive improvements that were completed in 2022/2023 (with anticipation of the Subject Property being subdivided into three [3] lots). The Sketch Plan does indicate that each lot will be encumbered with standard drainage and utility easements (five [5] feet along common lot lines and ten [10] feet along right-of-way boundaries).

There is an existing Right of Way Easement that presently encumbers a portion of the Subject Property for the Bowers Drive cul-de-sac. This easement will need to be vacated (Public Hearing to be held by the City Council) as the right-of-way will be formally dedicated to the public with the recording of the Final Plat.

Variances

Multiple variances are necessary to complete this subdivision. These include creating double frontage lots with parallel roads, the setback from an arterial road (Highway 10), and the width of a corner lot (supposed to be ten [10] feet wider than the minimum width of an interior lot). Regarding the double frontage lots on parallel roads, this is an existing condition that was created by the City when Riverdale Drive was extended to connect to Highway 10 on the east side of the Subject Property. In fact, the improvements associated with the Ramsey Gateway Highway 10 project resulted in the Subject Property being bordered by right-of-way/public roads on all four (4) sides.

The Zoning Code update that was recently completed modified the minimum setback from an arterial road (Highway 10). The setback previously was sixty (60) feet from the centerline of the arterial road right-of-way plus the applicable local setback (in this case, twenty [20] feet). Lot 3 would have met this standard. However, as part of the Zoning Code update, the setback from an arterial road was modified to be sixty (60) feet. As proposed, the house pad on Lot 3 would be approximately twenty-seven (27) feet from the boundary of the Highway 10 right-of-way. When the concept of this subdivision was created (and used as the basis for 3 sets of utility stubs to be installed with the Bowers Drive improvements), it was based on the standards in City Code at that time. When the City adopted the new Zoning Code, and therefore implemented a new setback standard, it created a practical difficulty for this project.

The third variance required relates to the minimum required width of a corner lot (in this case, only Lot 1 is considered a corner lot because the right of access along the northern boundary of the Subject Property was already dedicated to the State of Minnesota as part of the Riverstone South plat). Per City Code Section 117-614 (h) (3), corner lots are to be ten (10) feet wider than interior lots. So, Lot 1 should be seventy-five (75) feet wide rather than the standard width of sixty-five (65) feet for this zoning district. As proposed, Lot 1 is seventy (70) feet wide while Lot 3 is approximately seventy-six (76) feet wide. The additional width for Lot 3 makes sense, allowing that home to be slightly further back from Highway 10 and leaving some additional space to possibly accommodate plantings/berming/fencing if so desired. Technically, it appears that Lot 1 could be widened five (5) feet and Lot 3 could be narrowed by five (5) feet, which would eliminate the need for this variance. However, as noted already, it would seem more desirable to leave the additional width on Lot 3, simply due to that lot abutting Highway 10.

Three Factor Test for Variances

Per State Statute, a variance can be issued if zoning provisions result in practical difficulties for a property owner. This includes reasonableness, uniqueness, and essential character.

- **Reasonableness:** The proposed subdivision meets the standards of the R-1B Single Family Residential district in terms of lot area and width. The double frontage is an existing condition created by the City's improvements associated with the Highway 10 Gateway project. The arterial road setback is a new standard that was not in place at the time this subdivision was conceptually laid out. Providing additional width to the lot abutting Highway 10 seems more beneficial than adding the extra five (5) feet of width to Lot 1.

- **Uniqueness:** The Subject Property is bounded by public roads on all four (4) sides, which was the result of actions by the City, not the Applicant. The Subject Property had been envisioned to be subdivided into three (3) lots, evidenced by the City installing three (3) sets of utility stubs when Bowers Drive was modified.
- **Essential Character:** This subdivision will be similar in nature to the Riverstone South neighborhood to the south/east of the Subject Property. Therefore, it should not alter the essential character of the area in the general vicinity of the Subject Property.

Alternatives

Alternative 1: Approve the necessary variances that would allow the proposed subdivision to move forward to Final Plat. There are practical difficulties that support granting a variance to the three (3) aforementioned standards (width of a corner lot, double frontage lots, and arterial road setback). The City had anticipated the Subject Property subdividing into three (3) single family residential lots, which is apparent based on the three (3) sets of utility stubs being installed with the Bowers Drive improvements. Staff supports this alternative.

Alternative 2: Do not approve the necessary variances to allow this subdivision to move forward to Final Plat. As previously noted, two of the variances are direct results of actions by the City (extension of Riverdale Drive creating the double frontage condition and revamping the Zoning Code, which modified the setback requirement from an arterial road after this subdivision was conceptually designed). While it appears that the width of the corner lot (Lot 1) could be increased five (5) feet to meet the minimum standard, that would result in the future home on Lot 3 being shifted slightly closer to Highway 10. It seems more reasonable to keep the added width with Lot 3, so that it leaves a bit more space for plantings, a small berm, and/or privacy fencing should that be desirable by the future property owner. Staff does not support this alternative.

Funding Source:

The Applicant is responsible for all costs associated with this application.

Recommendation:

Staff recommends adopting Resolution #24-108 granting multiple variances associated with the proposed subdivision known as Pearson Place 2nd Addition.

Outcome/Action:

Motion to adopt Resolution #24-108 granting a variance to standards addressing double frontage lots, additional width for a corner lot, and the setback from an arterial road.

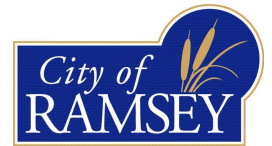
Attachments

Site Location Map
 Sketch Plan
 Preliminary Grading Plan
 Existing Conditions
 Resolution #24-108: Variances

Form Review

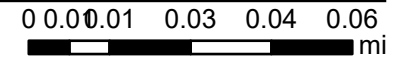
Inbox	Reviewed By	Date
Brian Hagen	Brian Hagen	04/18/2024 08:22 AM
Form Started By: Chris Anderson		Started On: 04/15/2024 10:41 AM
Final Approval Date: 04/18/2024		

Site Location Map: Pearson Place 2nd Addition



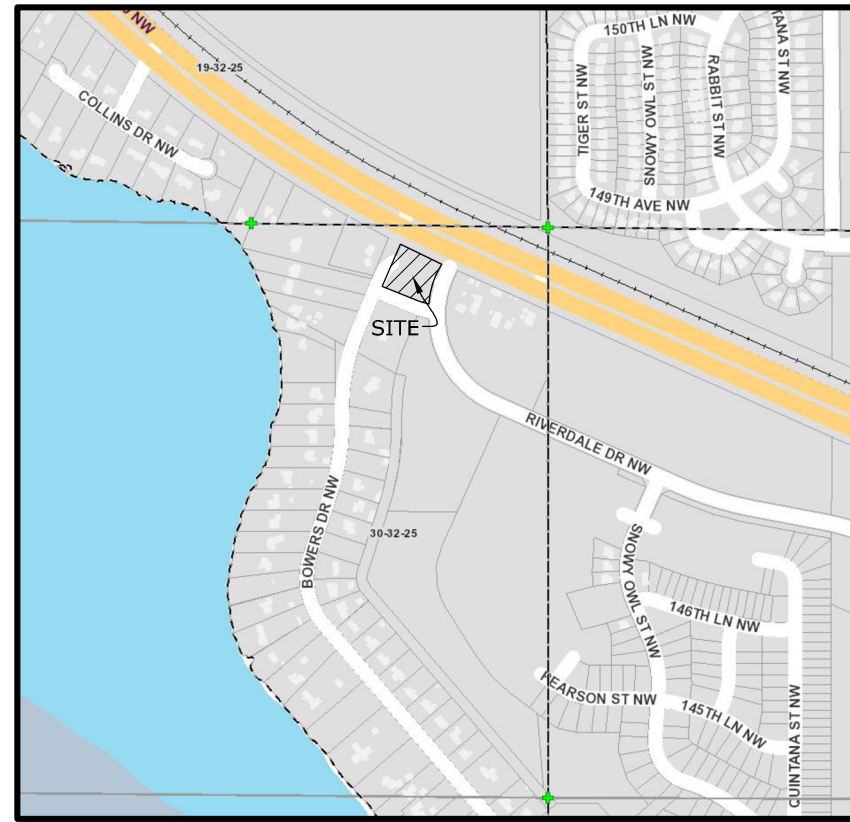
LOGIS, Three Rivers Park District, Esri, HERE, Garmin, INCREMENT P, NGA, USGS

Print Date: January 17, 2024

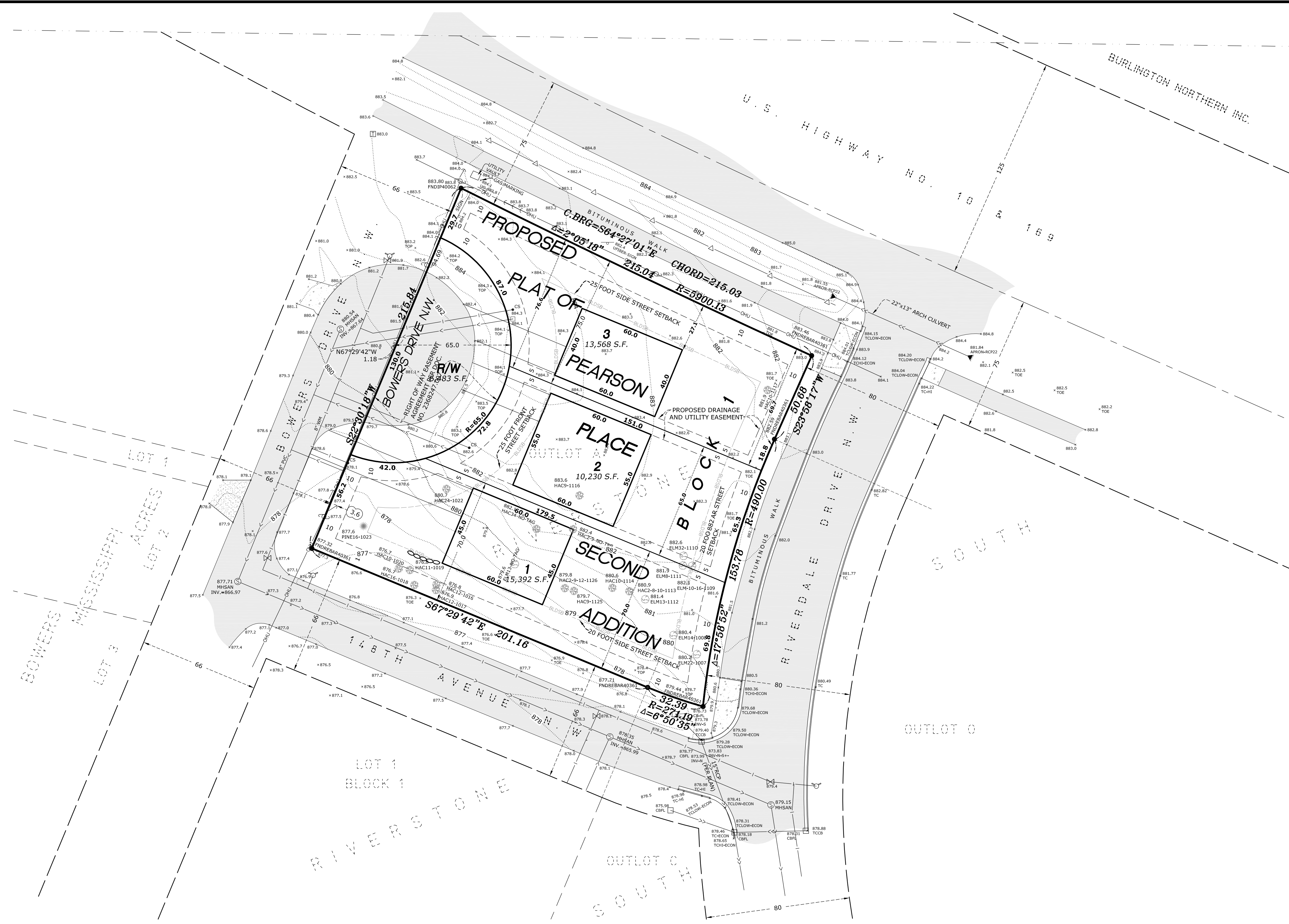


VICINITY MAP

PART OF SEC. 30, TWP. 32, RNG. 25



ANOKA COUNTY, MINNESOTA
(NO SCALE)



AREA COMPUTATIONS

TOTAL SITE AREA:	1.05 ACRES
PROPOSED NUMBER OF LOTS:	3 LOTS
EXISTING RIGHT OF WAY:	6,483 S.F.
OVERALL DENSITY:	2.85 LOTS/ACRE

ZONING AND SETBACKS

CURRENT ZONING: R-1A RESIDENTIAL DISTRICT MUSA

R-1A RESIDENTIAL DISTRICT MUSA SETBACKS & DEVELOPMENTS REQUIREMENTS	
FRONT YARD SETBACK:	25 FEET
SIDE (INTERIOR) SETBACK:	5 FEET
SIDE (RIGHT OF WAY) SETBACK:	20 FEET
REAR YARD SETBACK:	20 FEET
ARTERIAL ROAD:	*60 FEET
WETLAND/STORMWATER PONDS:	16.5 FEET

MAXIMUM BUILDING HEIGHT: 35 FEET (MEASURED FROM LOWEST ADJACENT GRADE TO AVERAGE HEIGHT BETWEEN EAVES AND HIGHEST RIDGE.)

MAXIMUM BUILDING LOT COVERAGE: 35%
MINIMUM LOT SIZE: 0.15 ACRES (6,534 S.F.)
MINIMUM LOT WIDTH: 65 FEET ** 75 FEET FOR CORNER LOTS

*VARIANCE REQUIRED FOR LOT 3 SETBACK BEING REDUCED DOWN TO 25 FEET FROM HIGHWAY 10.
**VARIANCE REQUIRED FOR LOT 1 BEING A CORNER LOT AND REDUCED DOWN TO 70 FEET WIDE.
**VARIANCE REQUIRED FOR DOUBLE FRONTAGE LOTS.

PROPERTY DESCRIPTION

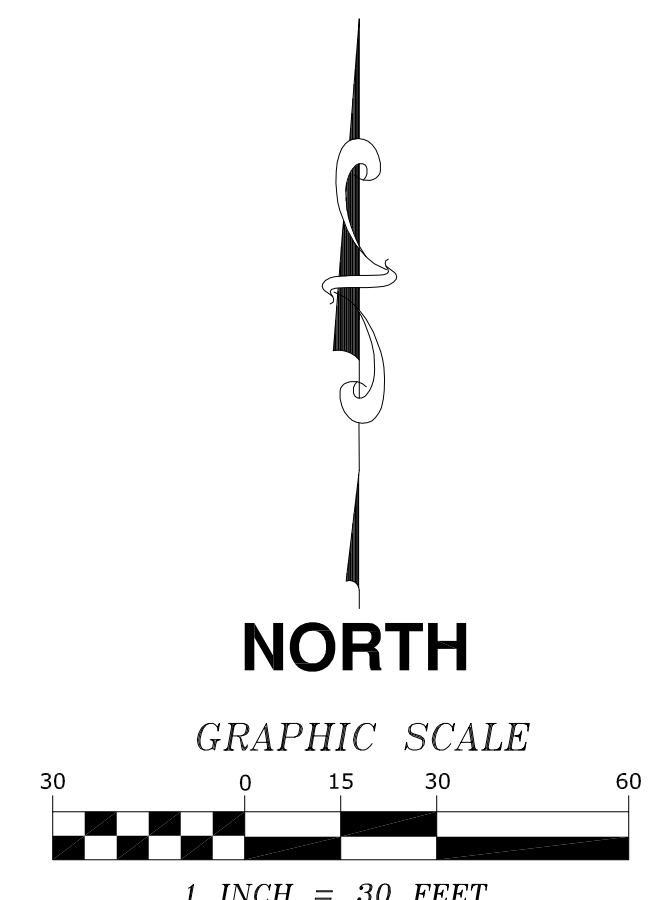
OUTLOT A, RIVERSTONE SOUTH, Anoka County, Minnesota.

NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 11/08/2023. Additional topography shot on 04/04/2024.
- Address of the surveyed premises: Unassigned.
- Fee ownership is vested in ALAN R. PEARSON TRUSTEE.
- Parcel ID Number: 30-32-25-11-0034.
- Surveyed premises shown on this survey map is in Flood Zone X (Areas determined to be outside the 0.2% annual chance floodplain.), according to Flood Insurance Rate Map No. 27003C0280E Community No. 270681 Panel No. 0280 Suffix E by the Federal Emergency Management Agency, effective date December 16, 2015.
- This survey is based upon information found in the commitment for title insurance prepared by Land Title, Inc. as issuing agents for First American Title Insurance Company, File No. 686058, dated effective October 17, 2023.

BENCHMARK

MNDOT NAME: 0202 B
GSID STATION: #93781
ELEVATION: 865.015 (NAVD88)



- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES CATCH BASIN
- DENOTES CURB STOP
- DENOTES EXISTING SPOT ELEVATION
- ▲ DENOTES STORM SEWER APRON
- DENOTES GUY WIRE
- DENOTES HYDRANT
- DENOTES POWER POLE
- DENOTES SANITARY SEWER MANHOLE
- DENOTES SIGN
- DENOTES TELEPHONE PEDESTAL
- DENOTES WATER VALVE

LEGEND

- DENOTES EXISTING CONTOURS
- DENOTES TREE LINE
- DENOTES OVERHEAD WIRE
- DENOTES BUILDING SETBACK LINE
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING STORM SEWER
- DENOTES EXISTING WATER MAIN
- DENOTES BITUMINOUS SURFACE
- DENOTES CONCRETE SURFACE
- DENOTES GRAVEL SURFACE
- DENOTES RIGHT OF ACCESS DEDICATED TO THE STATE OF MINNESOTA PER THE RECORDED PLAT OF RIVERSTONE SOUTH

TREE DETAIL

- DENOTES ELEVATION
- DENOTES TAG #
- DENOTES TREE SIZE IN INCHES
- DENOTES TREE QUANTITY
- DENOTES TREE TYPE HAC=HACKBERRY

E.G. RUD & SONS, INC.
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701
www.egrud.com

NO.	DATE	DESCRIPTION	BY
1	01-16-24	REV. SKETCH PLAN TO PRE-PLAT	JEN
2	04-12-24	REV. PER CITY COMMENTS	JEN
3			
4			
5			

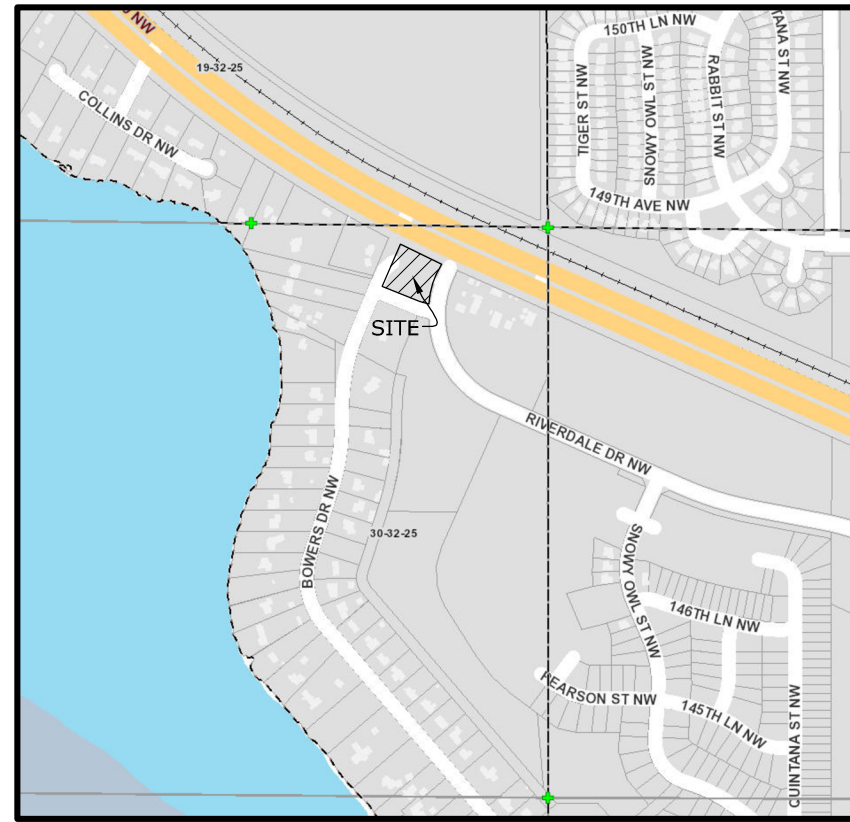
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.
JANIE RUD
Date: 04-12-2024 License No. 41578

PEARSON PLACE SECOND ADDITION
CITY OF RAMSEY, MN
PRELIMINARY PLAT
PREPARED FOR: DEVELOPMENT CONSULTING SERVICES, LLC

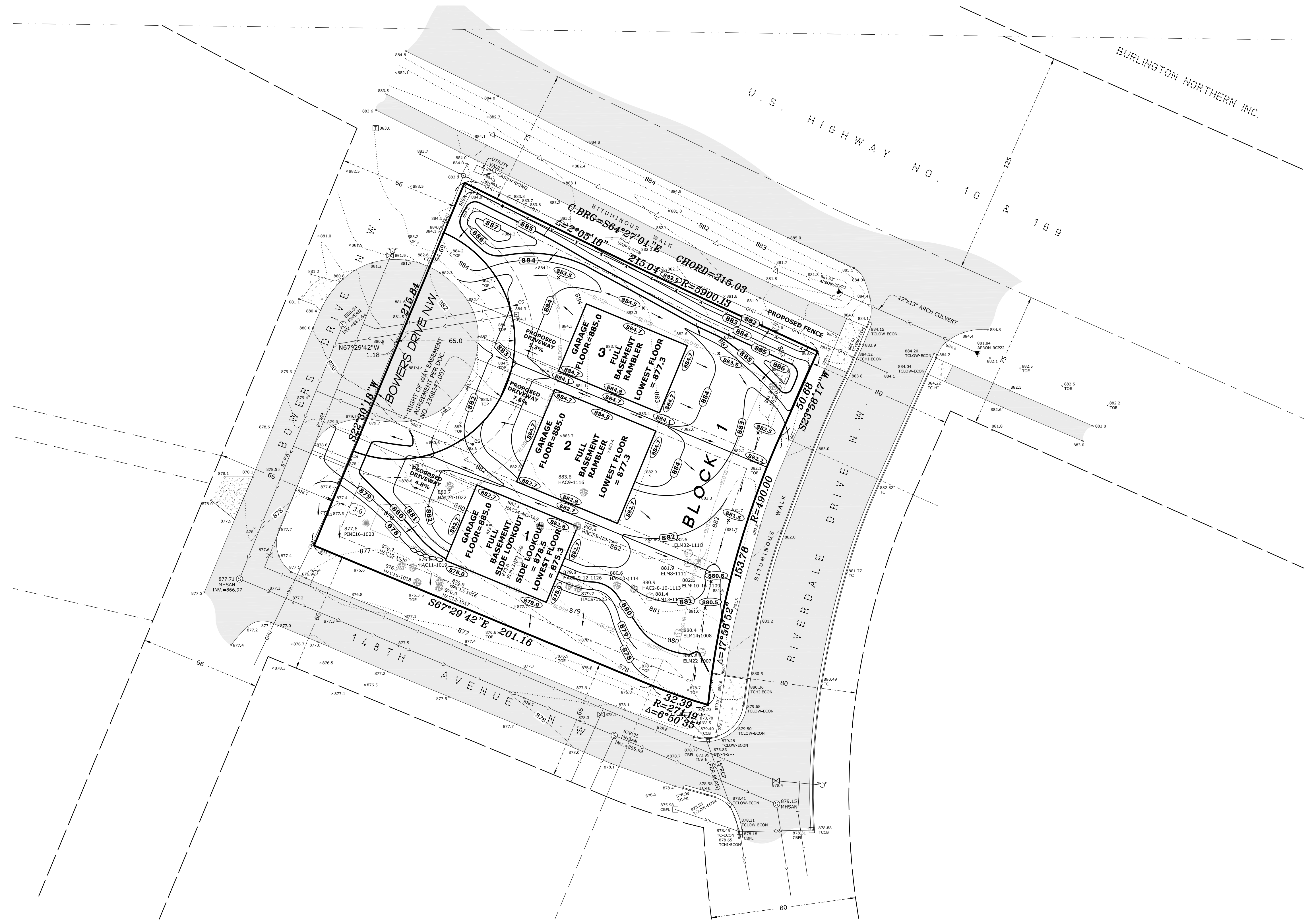
SHEET
V.001

VICINITY MAP

PART OF SEC. 30, TWP. 32, RNG. 25



ANOKA COUNTY, MINNESOTA
(NO SCALE)



PROPERTY DESCRIPTION

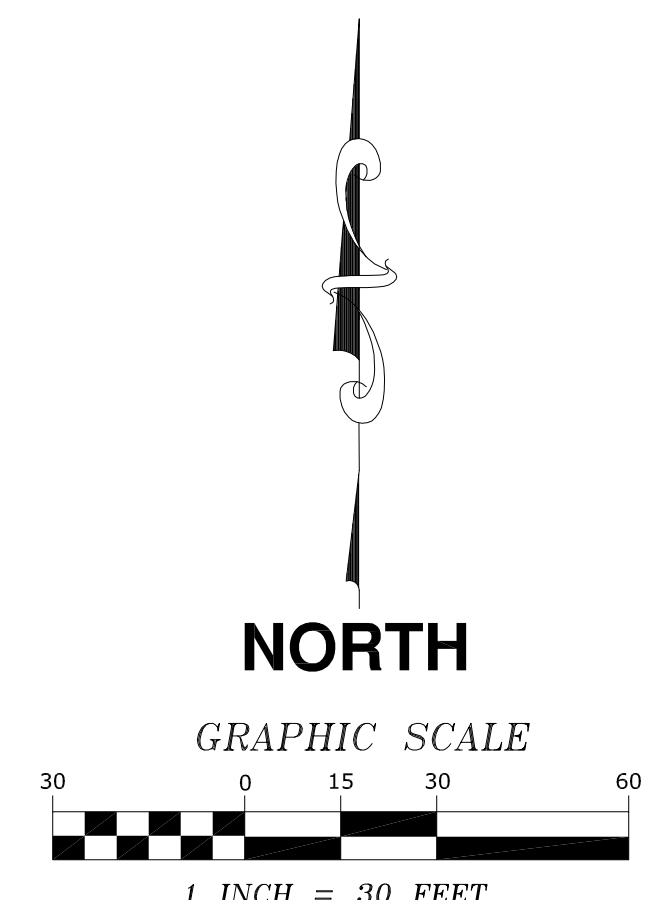
OUTLOT A, RIVERSTONE SOUTH, Anoka County, Minnesota.

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- Iron monuments to be set, once city approval has been obtained.

BENCHMARK

MNDOT NAME: 0202 B
GSID STATION: #93781
ELEVATION: 865.015 (NAVD88)



LEGEND

- DENOTES CATCH BASIN
- DENOTES CURB STOP
- x DENOTES EXISTING SPOT ELEVATION
- ▲ DENOTES STORM SEWER APRON
- DENOTES GUY WIRE
- DENOTES HYDRANT
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- DENOTES CONCRETE SURFACE
- DENOTES GRAVEL SURFACE
- DENOTES RIGHT OF ACCESS DEDICATED TO THE STATE OF MINNESOTA PER THE RECORDED PLAT OF RIVERSTONE SOUTH
- DENOTES PROPOSED CONTOURS
- DENOTES PROPOSED FENCE
- DENOTES PROPOSED RETAINING WALL
- DENOTES PROPOSED SPOT ELEVATION

TREE DETAIL

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- DENOTES TAG #
- DENOTES TREE SIZE IN INCHES
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NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			
5			

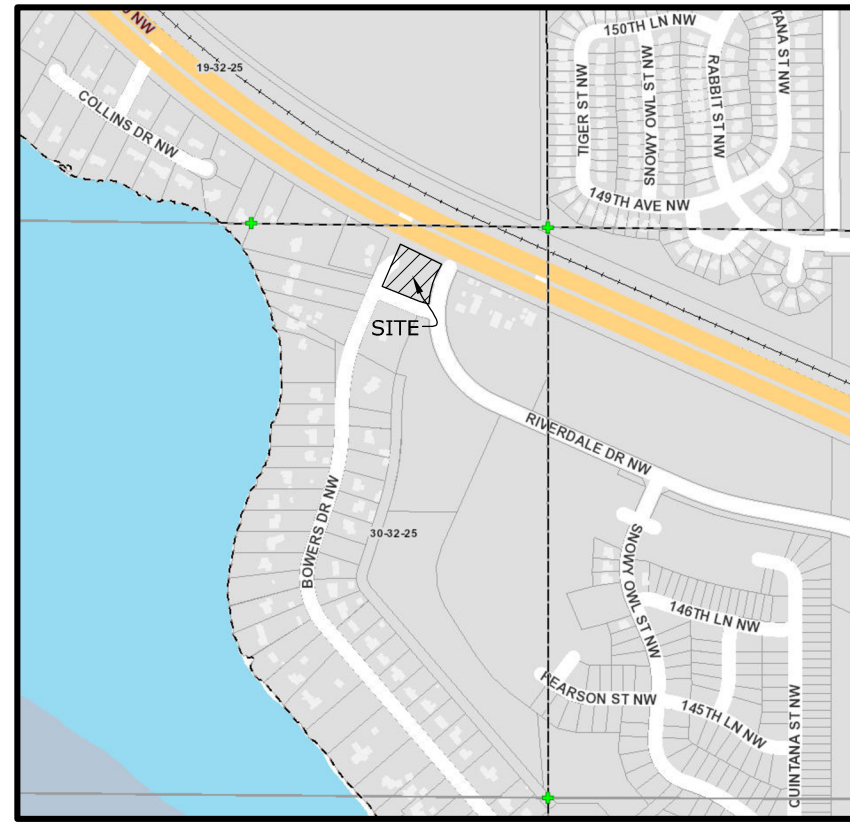
I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.
JASON E. RUD
Date: 04-12-2024 License No. 41578

PEARSON PLACE SECOND ADDITION
CITY OF RAMSEY, MN
PRELIMINARY GRADING PLAN
PREPARED FOR: DEVELOPMENT CONSULTING SERVICES, LLC

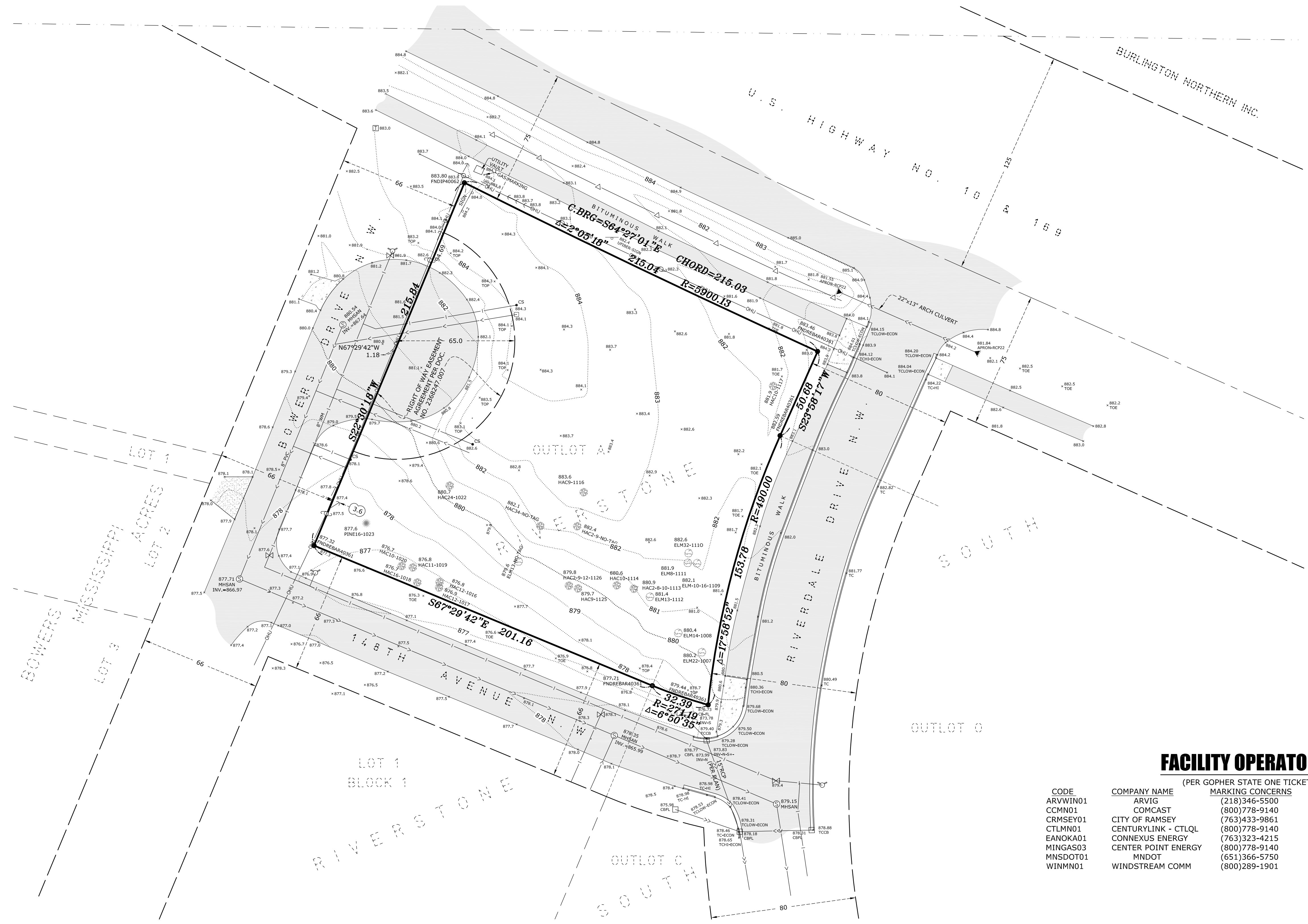
SHEET
V.002

VICINITY MAP

PART OF SEC. 30, TWP. 32, RNG. 25



ANOKA COUNTY, MINNESOTA
(NO SCALE)



FACILITY OPERATORS NOTIFIED

(PER GOPHER STATE ONE TICKET NO. 232912336)

CODE	COMPANY NAME	MARKING CONCERNS	DAMAGE	CUSTOMER SERVICE
ARWIN01	ARVIG	(218)346-5500	(218)346-5500	(218)346-8248
CCMN01	COMCAST	(800)778-9140	(651)493-5143	
CRMSEY01	CITY OF RAMSEY	(763)433-9861	(763)913-9259	(763)433-9861
CTLMN01	CENTURYLINK - CTLQL	(800)778-9140	(303)260-4929	(877)366-8344
EANKAO1	CONNEXUS ENERGY	(763)323-4215	(763)323-2660	(763)323-2600
MINGAS03	CENTER POINT ENERGY	(800)778-9140	(512)321-5200	(612)321-4421
MNSDOT01	MNDOT	(651)366-5750	(651)366-5750	(651)366-5750
WINMN01	WINDSTREAM COMM	(800)289-1901	(800)289-1901	(800)289-1901

AREA COMPUTATIONS

TOTAL SITE AREA: 1.05 ACRES

ZONING AND SETBACKS

CURRENT ZONING: R-1 RESIDENTIAL DISTRICT MUSA
R-1 RESIDENTIAL DISTRICT MUSA SETBACKS & DEVELOPMENTS REQUIREMENTS
FRONT YARD SETBACK: 25 FEET
SIDE YARD SETBACK: 5 FEET
SIDE STREET SETBACK: 25 FEET
REAR YARD SETBACK: 20 FEET
WETLAND/STORMWATER PONDS: 16.5 FEET
MAXIMUM BUILDING HEIGHT: 35 FEET (MEASURED FROM LOWEST ADJACENT GRADE TO AVERAGE HEIGHT BETWEEN EAVES AND HIGHEST RIDGE.)
MAXIMUM BUILDING LOT COVERAGE: 35%
MINIMUM LOT SIZE: 0.15 ACRES (6,534 S.F.)
MINIMUM LOT WIDTH: 65 FEET

PROPERTY DESCRIPTION

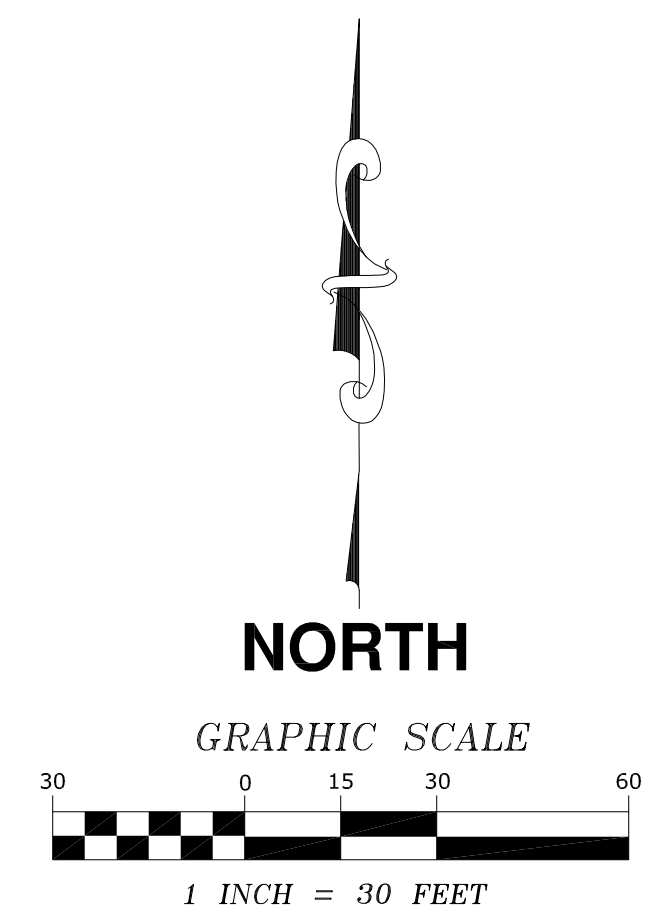
Outlot A, RIVERSTONE SOUTH, Anoka County, Minnesota.

NOTES

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BENCHMARK

MNDOT NAME: 0202 B
GSID STATION: #93781
ELEVATION: 865.015 (NAVD88)



LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- DENOTES CATCH BASIN
- DENOTES CURB STOP
- DENOTES EXISTING SPOT ELEVATION
- ▲ DENOTES STORM SEWER APRON
- DENOTES GUY WIRE
- DENOTES HYDRANT
- DENOTES POWER POLE
- DENOTES SANITARY SEWER MANHOLE
- DENOTES SIGN
- DENOTES TELEPHONE PEDESTAL
- DENOTES WATER VALVE
- DENOTES EXISTING CONTOURS
- DENOTES TREE LINE
- DENOTES OVERHEAD WIRE
- DENOTES BUILDING SETBACK LINE
- DENOTES EXISTING SANITARY SEWER
- DENOTES EXISTING STORM SEWER
- DENOTES EXISTING WATER MAIN
- DENOTES BITUMINOUS SURFACE
- DENOTES CONCRETE SURFACE
- DENOTES GRAVEL SURFACE
- DENOTES RIGHT OF ACCESS DEDICATED TO THE STATE OF MINNESOTA PER THE RECORDED PLAT OF RIVERSTONE SOUTH

TREE DETAIL

- DENOTES ELEVATION
- DENOTES TAG #
- DENOTES TREE SIZE IN INCHES
- DENOTES TREE QUANTITY
- DENOTES TREE TYPE HAC=HACKBERRY

E.G. RUD & SONS, INC.
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701
www.egrud.com

NO.	DATE	DESCRIPTION	BY
1	04-12-2024	REV. PER CITY COMMENTS: ADD ADDITIONAL TOPO AND REMOVE ASH TREES	JEN
2			
3			
4			
5			

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.
JASON P. RUD
Date: 04-12-2024 License No. 41578

PEARSON PLACE SECOND ADDITION
CITY OF RAMSEY, MN
EXISTING CONDITIONS SURVEY
PREPARED FOR: DEVELOPMENT CONSULTING SERVICES, LLC

SHEET
V.000

Commissioner _____ introduced the following resolution and moved for its adoption:

RESOLUTION #24-108

A RESOLUTION APPROVING MULTIPLE VARIANCES INCLUDING DOUBLE FRONTAGE LOTS, A SETBACK FROM AN ARTERIAL ROADWAY, AND REDUCED WIDTH OF A CORNER LOT, IN PEARSON PLACE 2ND ADDITION

RECITALS

1. The City of Ramsey received a Land Use Application from John Dobbs (the "Applicant") for a Minor Plat of the property associated with PID #30-32-25-11-0034 and legally described as follows:

Outlot A, Riverstone South, Anoka County, Minnesota

-or upon recording-

Lots 1-3, Block 1, Pearson Place 2nd Addition, Anoka County, Minnesota

(the "**Subject Property**")

2. That the **Subject Property** is zoned R-1B Single Family Residential and is guided as Low Density Residential in the 2024 Comprehensive Plan.
3. That the surrounding properties are zoned R-1A Single Family Residential (west of Bowers Drive), R-1B Single Family Residential (south of 148th Avenue), and B-2 Community Business (east of Riverdale Drive). The **Subject Property** abuts Highway 10 to the north.
4. That the surrounding properties are guided as Low Density Residential (to the west and south) and Commercial (to the east) in the 2040 Comprehensive Plan.
5. That the **Subject Property** is approximately 1.05 acres in size.
6. That the R-1B zoning district requires a minimum lot width of sixty-five (65) feet and minimum lot area of 6,500 square feet.
7. That the proposed lots range in size from 10,230 square feet to 15,392 square feet and have widths ranging from sixty-five (65) feet to seventy-six (76) feet.
8. That City Code Section 117-614 (Subdivision Design Standards) (h) states that corner lots shall be platted at least ten (10) feet wider than interior lots and that lots shall not be permitted with frontage on two (2) parallel streets.
9. That when the City extended Riverdale Drive in 2022/2023, it created double frontages for the **Subject Property**.

10. That Lot 1 is a corner lot and thus, should be at least seventy-five (75) feet in width; however, the **Applicant** is proposing to provide approximately ten (10) additional feet to proposed Lot 3 (about 76 feet in width), to move that home further back from Highway 10).
11. That City Code Section 106-430 (Bulk Standards) specifies a setback of sixty (60) feet from arterial roadways.
12. That prior to the Zoning Code update, the setback from arterial roadways was sixty (60) feet from the centerline of the arterial road, plus the applicable local setback (so in this case, 60 feet from the centerline of Highway 10 right-of-way plus 20 feet, which is the minimum required side setback from a right-of-way).
13. That the total right-of-way width of Highway 10 adjacent to the **Subject Property** is approximately 200 feet, so as proposed, the required side setback (street side) for Lot 3 under the previous Zoning Code standards would have been twenty (20) feet.
14. That the **Applicant** appeared before the Planning Commission for a public hearing pursuant to Section 106-220 (Variances) of the Ramsey City Code on April 25, 2024, and that said public hearing was properly advertised and that the minutes of said public hearing are available.
15. That the **Subject Property** is located within the Mississippi River Corridor Critical Area Overlay District (and more specifically in the CA-SR [Critical Area – Separated from River] district) and thus, Staff sent notice the Minnesota Department of Natural Resources (MN DNR) regarding the Minor Plat.
16. That the **Subject Property** abuts Highway 10 and thus, Staff sent notice to the Minnesota Department of Transportation (MnDOT).
17. That the **Applicant** has submitted a Noise Study due to the proximity to Highway 10, which indicates that with proper construction methods and materials, the site can comply with state noise regulations.

FINDINGS OF FACT

1. That the Minor Plat will not impair an adequate supply of light and air to adjacent property.
2. That the Minor Plat will not unreasonably increase the congestion on the public street.
3. That the Minor Plat will not have the effect of allowing any use prohibited in the R-1B Single Family Residential District.

4. That the Minor Plat will not permit a lesser degree of public health, safety, and general welfare protection than established by Chapters 106 and 117 of the Ramsey City Code, or permit standards which are lower than those required by state law.
5. That the Minor Plat will not increase the danger of fire or endanger the public safety.
6. That the Minor Plat will not unreasonably diminish or impair established property values within the neighborhood, or in any way be contrary to the intent of Chapters 106 and 117 of the Ramsey City Code.
7. That the Minor Plat will be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and such use will not change the essential character of the area.
8. That the Minor Plat will not violate the intent and purpose of the Comprehensive Plan.
9. That the Variance will be in accordance with the objectives and intent of Section 106-220 (Variances) of the Ramsey City Code.

NOW THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:

That the Ramsey Planning Commission hereby grants approval of multiple variances (collectively, the “**Variance**”) to allow double frontage lots, to allow a corner lot that is only five (5) feet wider than the minimum width for an interior lot, and to deviate from minimum setback from an arterial roadway, on the **Subject Property** subject to review and approval as to legal form and contingent upon the following conditions:

CONDITIONS

1. That this **Variance** is based off of a Sketch Plan drafted by E.G. Rud & Sons, Inc. and dated January 16, 2024, revised on April 12, 2024, and which is depicted in **Exhibit 1**.
2. That the **Applicant** shall comply with all Staff comments as noted in ProjectDox for said Sketch Plan.
3. That no part of the homes or garages, including eave overhangs, shall encroach into any drainage and utility easement
4. That the **Permittee** shall be responsible for all City costs incurred in administering and enforcing this **Variance**.
5. That this resolution shall be recorded against the property with the Anoka County Recorder’s Office prior to receiving a building permit for any of the three (3) lots.

6. That this **Variance** shall become null and void if the use is not initiated within twelve (12) months of the date of approval, and recording of the Final Plat of Pearson Place 2nd Addition shall constitute initiation.

The motion for the adoption of the foregoing resolution was duly seconded by Commissioner _____, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

whereupon said resolution was declared duly passed and adopted by the Ramsey Planning Commission this the 25th day of April, 2024.

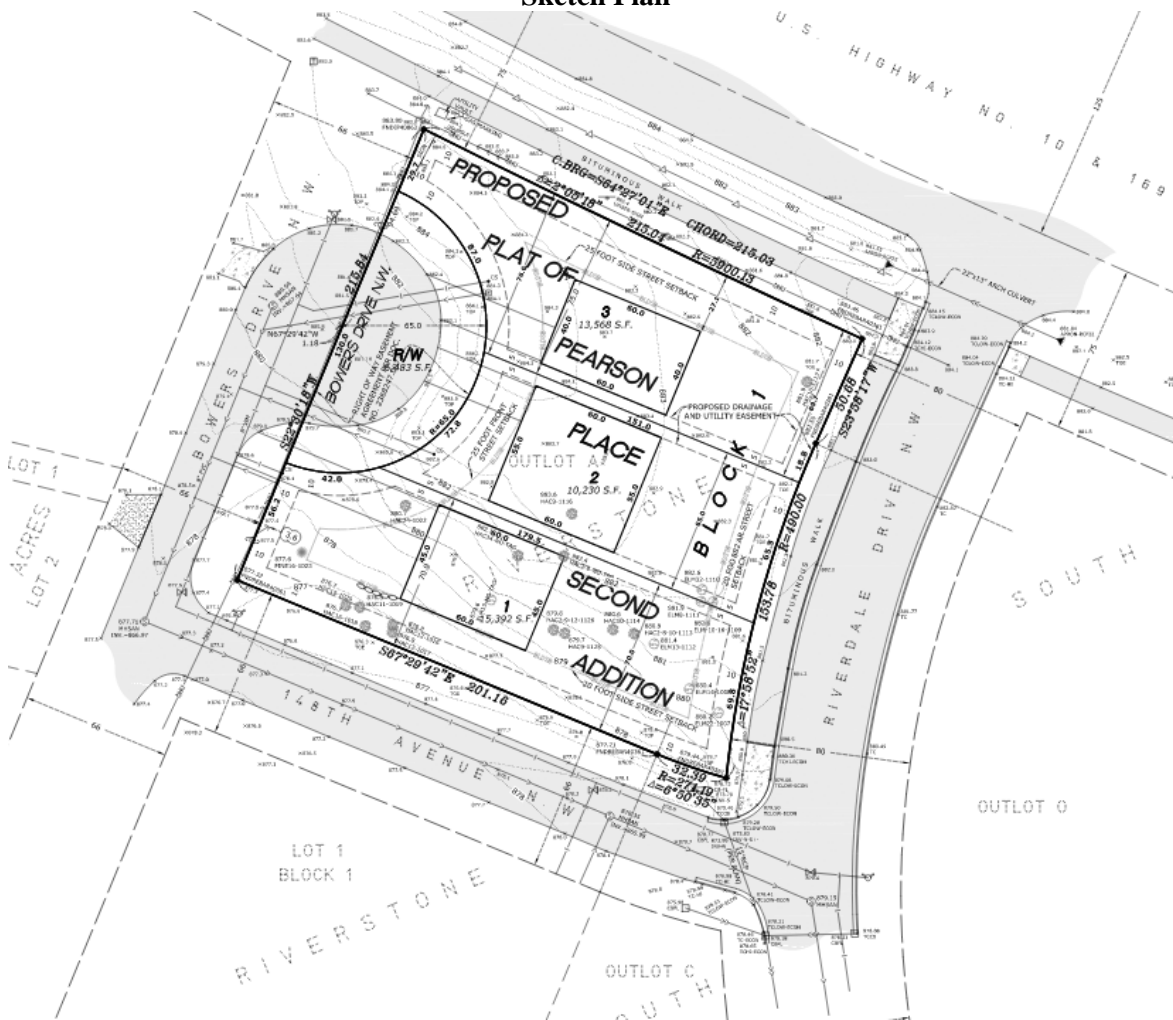
Planning Commission Chairperson

ATTEST:

City Clerk

The document drafted by:
The City of Ramsey
7550 Sunwood Dr NW
Ramsey, Minnesota 55303

**Exhibit 1
Sketch Plan**



Regular Planning Commission**Meeting Date:** 04/25/2024**Primary Strategic Plan Initiative:****Information****Title:**

PUBLIC HEARING: Consider a Zoning Amendment, Site Plan, and Variance to Height Regulations in the COR Framework for Norhart Ramsey at 7975 and 7979 Sunwood Drive NW

Purpose/Background:

Norhart (the "**Applicant**") has submitted a Land Use Application for development of a 3.88-acre parcel in the COR, bounded by Sunwood Drive to the west, Zeolite Street to the east, future Ramsey Parkway to the north, and the Home2Suites site (currently under construction) to the south. The project will consist of 218 apartment units distributed through 5 floors, a sunken parking garage, and 5,000 square feet of retail space on the ground floor, situated at the southwest corner of the site. The site is currently zoned COR-4b and guided for Mixed-Use in the City's Comprehensive Plan. The site will be platted as part of Waterfront Village. In order to accommodate the proposed development, the Applicant is requesting a Zoning Map Amendment, a Site Plan Review, and a Variance to Height Regulations in the COR Zoning District.

Notification:

Staff attempted to notify property owners within 350 feet of the Subject Property, as reflected in the Anoka County Property Records, of the request and the Public Hearing to be held by the Planning Commission. A notice of the Public Hearing was published in the Anoka County UnionHerald, the City's official newspaper. A proposed development sign was placed on the property facing Sunwood Drive.

Time Frame/Observations/Alternatives:**Subject Property**

The Subject Property is located in the COR, bounded by Sunwood Drive to the west, Zeolite Street to the east, future Ramsey Parkway to the north, and the Home2Suites development to the south. The proposed addresses are 7975 Sunwood Drive for the retail space and 7979 Sunwood Drive for the apartments.

The Subject Property is currently zoned COR-4b, which was part of the Waterfront Village lot when the City adopted a new city-wide zoning map in November 2023. It is guided for Mixed-Use in the City's 2040 Comprehensive Plan, and is approximately 3.88 acres in size. Surrounding properties are also guided for Mixed-Use, though this will only be the second instance of vertical mixed-use development in the COR, with the first instance being The Residence at the COR Apartment Homes at 7700 Sunwood Drive.

Site Plan

The proposed building has a footprint of 43,866 square feet, and is roughly L-shaped along Sunwood Drive and Ramsey Parkway, with the amenities corner situated at the northwest corner along the roundabout. The north leg of the building is designed to follow the contour of Ramsey Parkway as it curves along the site. Sixty-four (64) percent of the building frontage is located within 20 feet of the right-of-way of Sunwood Drive and Ramsey Parkway, which satisfies the minimum requirement of 60 percent as stated in the COR Framework. The proposed development has 26.3 percent building coverage and 54 percent hard surfacing coverage (including pavement, sidewalks, outdoor patios, and the pool deck) on the lot, resulting in 81.1 percent impervious surfacing coverage on the lot. Other developments of this scale in the COR have similar percentages.

The building is designed to have the main residential entrance in the northwest corner of the building, facing

southeast toward the parking lot. Additional secure entrances for residents will be located at the northwest corner of the building (facing the roundabout and aligning with the entrance to ALDI across the street), the southwest corner of the building (along Sunwood Drive), and the southeast corner of the building (to align with the pool house and sidewalk along Zeolite Street). Additional entrances to the retail space will come from both the west (along an outdoor patio fronting along Sunwood Drive) and east (along the parking lot). In addition to the pedestrian entrances to the building, there is a vehicular entrance along the east end of the building to access the sunken parking garage. It should be noted that this is the first instance of underground or sunken parking in the COR. Vehicular access to the lot will come from two driveways: a shared driveway with Home2Suites onto Sunwood Drive, located at the southwest corner of the lot, and a standalone driveway onto Zeolite Street at the southeast corner of the lot.

In addition to the proposed mixed-use building, the Applicant is proposing a 580-square foot pool house with restrooms and equipment space for an outdoor pool and patio space situated along Zeolite Street between the parking garage entrance ramp and the southeast driveway onto Zeolite Street. There will be a privacy fence and a vegetation buffer between the pool deck and Zeolite Street which will serve as a visual buffer for both residents of the Norhart site and multi-modal traffic along Zeolite Street. The Applicant is also proposing a trash enclosure southeast of the proposed building, with the gates facing northward, away from Home2Suites and all adjacent streets. Both the pool house and the trash enclosure will be designed with similar building materials to the principal building.

Minimum parking requirements for the 218 apartment units are 1.5 stalls per unit, which results in 327 required parking stalls. Additionally, retail shopping uses require one parking stall for each 200 square feet of floor space for retail uses under 20,000 square feet. While the retail tenant has not yet been determined, which also means the retail build-out of the space has not yet been designed, 25 parking stalls would be required for the full 5,000 square feet of retail space. This results in a total requirement of 352 parking stalls. 344 parking stalls are provided on-site (120 internal parking stalls for residents, and 224 external parking stalls to be shared by residents, employees, and retail customers). It is anticipated by both City Staff and the developer that some of the external parking stalls will be shared throughout the day, as is common in mixed-use developments. There will be on-street parking along Ramsey Parkway to accommodate any overflow of retail customers or visitors.

Architecture and Building Elevations

The building will have five stories above-ground, with an additional story of sunken parking that extends up to five feet above grade along portions of the building facade. More information on the building's height can be found under the "Variance" section of this staff report. The building facade will consist of curtain walls (glass with aluminum framing), white EIFS, black EIFS, Magic Pak air conditioners for each residential unit, and a "black Class I material." Since the Applicant is not anticipating to break ground on this project until Spring 2025, it was requested to approve two material options for the "black Class I material" to account for availability and pricing of materials at the time of construction. The two proposed options include Flextile Eco-Stone (which consists of inorganic material, clay, and ore) and Rear Ventilated Rainscreen (which consists of an aluminum composite material). The City's Building Inspection staff have reviewed all proposed materials, which all appear to comply with Minnesota Building Code. It should be noted that the Applicant has used these same materials on other projects in Oakdale and Cottage Grove.

It should be noted that the COR Framework does not discuss Class-I and Class-II materials as the Zoning Code does for business districts. Instead, it discusses the "Use of high quality materials, suggesting a preference towards native materials and masonry elements, with respect for local techniques" (page 27). Furthermore, the metals and the Flextile would be considered Class-II materials for business buildings in Zoning. The proposed building materials are more contemporary in nature than discussed by the COR Framework. The Planning Commission has expressed openness to these designs.

Signage

The following signs are proposed to be installed on the building and site:

- Channel-letter signage for the future retail tenant on the ground floor, along the west, south, and east sides of the building, each measuring approximately 27.5 square feet in area.
- Channel-letter "Norhart" signage on the roof parapet along the south side of the building, measuring approximately 51 square feet in area.

- Channel-letter "Norhart" signage on the fifth floor along the northwest side of the building, measuring approximately 51 square feet in area.
- Channel-letter "n" (Norhart's logo) on the ground floor along the west side of the building, measuring approximately 100 square feet in area.
- The generic "Retail" sign noted on the south and west elevations will be the location of the retail tenant's signs.
- Two freestanding monument signs, each measuring 10 feet tall, with a base of 6 feet in width and 1.5 feet in length. Each sign face will measure approximately 60 square feet in area.
 - One sign will be located at the southwest corner of the site, at the intersection of Sunwood Drive and the shared driveway with Home2Suites;
 - The other sign will be located at the northeast corner of the site, at the intersection of Ramsey Parkway and Zeolite Street.

The total proposed signage is 316 square feet for wall signage, divided between 8 total signs, and 240 square feet of display area on the two freestanding monument signs. It is recommended that the proposed sign package be approved.

Landscape Plan

As noted in the Environmental Policy Board's (EPB) recommendation from March 18, there are no significant trees on the Subject Property and therefore, there was no need for an inventory or preservation plan. The Environmental Policy Board may recall that much of the remaining vacant land in The COR was cleared and grubbed last fall. The proposed landscaping for this project includes forty-five (45) new trees. The combination of plantings for the hotel project, this project, and the Waterfront Village detached townhome project (north of the Subject Property), along with the City's improvements to The Waterfront, which also includes plantings, will ultimately exceed the reforestation requirements from the clearing and grubbing activities last fall.

The landscape plan includes a combination of deciduous trees and both evergreen and deciduous shrubs. The perimeter of the site (all views from public roads and entrances) is well landscaped. Staff had recommended enlarging the parking lot islands to accommodate trees, which would not only provide some shade but also break up the parking lot with some visual relief. However, this would result in the loss of parking spaces, which would drop below the minimum number of stalls required. In lieu of installing trees, Staff has recommended increasing the number of shrubs in these islands. Staff provided a few other minor comments regarding the Landscape Plan, most specifically limiting plantings in the boulevard along Zeolite Street to include only trees (no shrubs) and to utilize a species from the Connector Street pool of species outlined in The COR Design Framework.

Lighting Plan

Section 106-310 of City Code provides lighting regulations for all developments in the City. All photometric readings will measure less than 0.5 footcandles at the property line and will measure at least 1.0 footcandle throughout the parking lot in compliance with City Code. All lighting must be downcast and shielded. The proposed lighting plan shows a 27-foot mounting. It is recommended that the plans be modified to use a 20-foot mounting to match Home2Suites to the south. Additional light poles are likely required to meet the light levels.

Utilities

The building will be connected to municipal water via a stub along the south edge of the property, and connected to sanitary sewer via a stub to the north along Ramsey Parkway, which will be constructed as part of COR Infrastructure Project currently underway.

Stormwater Management

All stormwater from the site will be directed into a network of pipes that flow into the large regional retention basin in Waterfront Park then into the regional infiltration basin at the southeast portion of the COR. A separate system of pipes will collect stormwater from a trench drain at the bottom of the parking garage ramp. This will help prevent back-up and overflow of stormwater pipes during high-precipitation weather events. The Applicant will contribute the cost of constructing a storm water basin on-site into the regional basin.

Zoning Map Amendment

The Subject Property was rezoned to COR-4b back in November 2023 to accommodate the Waterfront Village development to the north, since the Subject Property was included as part of that larger parcel at that time. However, the COR-4b zoning district allows multi-family residential uses, but only to a density of 4 to 15 units per acre. The COR-4c zoning district allows 15 or more units per acre, with a theoretical maximum density of 75 units per acre, as defined by the City's 2040 Comprehensive Plan. The only other instance of the COR-4c zoning district in the City is Greenway Terrace Apartments, which was approved in

2017 for a residential density of 26.7 units per acre. The Applicant's proposed density is 56.2 units per acre, which is comparable to Affinity at Ramsey (51.8) and The Residence at the COR (75.9), though both of those developments are zoned COR-1.

To accommodate the proposed density of 56.2 residential units per acre, the Applicant is requesting a Zoning Map Amendment from COR-4b to COR-4c. This was presented to the Planning Commission in February 2024 go receive direction on how to handle the density (via a text amendment or a map amendment).

Variance

As noted above, the Applicant is requesting a Variance to the Height Regulations in the COR Framework to allow for a fifth story in the COR-4c zoning district. The Applicant has stated that the development cannot work without a fifth story, and has stated their practical difficulty through the following items:

- The development needs at least 200 residential units to be economically feasible and to comply with the terms of the Purchase Agreement with the City. Eliminating the fifth story would result in a loss of 46 residential units, leaving only 172 available, which would be insufficient for both the Applicant's pro forma and the City's Purchase Agreement.
- The Applicant is working to maximize the green space on the site while minimizing the building footprint. If the fifth story is eliminated, the building footprint will have to increase, resulting in a loss of green space, landscaped areas, and residential amenities.

The building's proposed height is as follows:

- 54.5 feet from the 1st Floor/Highest Grade to the Roof Line
- 56.5 feet from the 1st Floor/Highest Grade to the Top of the Parapet
- 59.5 feet from the Lowest Grade to the Roof Line
- 61.5 feet from the Lowest Grade to the Top of the Parapet

The COR zoning districts specify height regulations by the number of *stories* instead of the height *in feet*. Specifically, the COR-4b and COR-4c zoning districts allow buildings up to 4 stories in height, and the COR-1 zoning district allows buildings between 2 and 5 stories in height. For context, building regulations in the R-3 zoning district allow for a 60-foot-tall building by-right. The proposed building will be 5 stories above-ground, with an additional story of sunken parking that extends up to five feet above grade along portions of the building facade. Since the sunken parking's above-ground exposure does not exceed 6 feet above grade, it does not meet the definition of a "story" in City Code and, thus, does not count towards the height of the building in the COR Framework.

When comparing the proposed building to other similar residential and mixed-use buildings in the COR, the Norhart building is within one foot of the height of Affinity at Ramsey (54 feet) and The Residence at the COR (53.5 feet), and the same height at Parkview East (54.5 feet), as measured from the highest grade to the roof peak. All of these other buildings are 4 stories tall, and two of these buildings have gabled roofs. The Residence at the COR has a flat roof, but its first floor is taller than the other floors to accommodate the retail space and walk-up townhomes along Sunwood Drive.

Three Factor Test

Per State **Statute**, a variance can be issued if zoning provisions result in practical difficulties for a property owner. This includes reasonableness, uniqueness, and essential character.

- **Reasonableness:** Impervious surfacing and buildings are essential components of land development. The subject property has been vacant since the establishment of the COR Framework, and is set aside for mixed-use development. Several other developments in the COR have included buildings of similar size and impervious surfacing of similar scale to the proposed development.
- **Uniqueness:** The proposed development is unique in that it will be the first in the COR district to include sunken or underground parking, which lessens the impervious surfacing but increases the building height. Additionally, there is a paved driveway that encroaches onto the Subject Property's southern edge to provide shared access to Home2Suites. This driveway increases the impervious surfacing coverage of the lot and decreases the available land to build upon, thus necessitating the fifth story to accommodate the development.
- **Essential Character:** The Subject Property and neighboring properties are zoned and guided for a mix of commercial and residential land uses. Thus, a mixed-use development on the Subject Property meets the

essential character of the neighborhood.

City Code Section 106-220 discusses the practical difficulties that are allowed to be used for justifying variances. Among them, "the variance, if granted, will not alter the essential character of the locality" is used to show that the structure in question will blend in. The proposed height is consistent with other multi-family in the COR plus the adjacent Hilton Home2 Suites building. Additionally, the requested variance meets all conditions in the three-factor test. Staff recommends approval of the variance.

Alternatives

Alternative 1: Recommend approval of the Zoning Map Amendment and Site Plan, and approve the Variance to Height Regulations in the COR Zoning District, as recommended by Staff.

Alternative 2: Recommend approval of the Zoning Map Amendment and Site Plan, and deny the Variance. Without an approved variance, the Applicant would need to significantly revise and reduce development plans, which would likely result in the proposed development not going forward.

Alternative 3: Recommend approval of the Zoning Map Amendment and Site Plan, and approve the Variance to Height Regulations in the COR Zoning District with modifications based on discussion.

Alternative 4: Recommend denial of the Zoning Map Amendment and Site Plan, and deny the Variance, based on supported findings of fact.

Funding Source:

All costs associated with this request are the Applicant's responsibility.

The property is City-owned and the Applicant would be purchasing the property. Development fees will be calculated at the time of Development Agreement.

Recommendation:

Staff recommends approval of the Zoning Map Amendment, Site Plan, and Variance to Height Regulations in the COR Framework.

Outcome/Action:

Motion to adopt Resolution #24-115, Approving a Variance to Height Regulations in the COR Zoning District for Norhart Ramsey at 7975 and 7979 Sunwood Drive NW.

- and -

Motion to recommend the City Council approve the Site Plan and Zoning Map Amendment for Norhart Ramsey.

Attachments

Location Map
Resolution #24-115 Variance
Ordinance #24-07
Zoning Map Amendment Exhibit
Architectural Plan Set
Civil Plan Set
Landscaping Plan Set
Applicant's Narrative

Form Review

Inbox
Adam Martin

Reviewed By
Adam Martin

Date
04/18/2024 09:35 AM

Brian Hagen

Brian Hagen

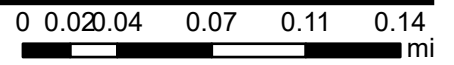
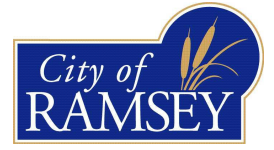
04/18/2024 01:21 PM

Form Started By: Adam Martin

Started On: 03/27/2024 01:17 PM

Final Approval Date: 04/18/2024

NORHART



Commissioner _____ introduced the following resolution and moved for its adoption:

RESOLUTION #24-115

**A RESOLUTION APPROVING A VARIANCE TO HEIGHT REGULATIONS IN THE
COR ZONING DISTRICT FOR NORHART RAMSEY**

RECITALS

1. **WHEREAS**, The City of Ramsey received an application from Norhart (the "**Applicant**") requesting a **Variance** to the maximum height regulations on the property legally described as follows:

Lot 1, Block 7, Waterfront Village, Anoka County, Minnesota

(the "**Subject Property**")

2. **WHEREAS**, the **Applicant** appeared before the Planning Commission for a public hearing pursuant to Section 106-220 (**Variances**) of the Ramsey City Code on April 25, 2024, and that said public hearing was properly advertised and that the minutes of said public hearing are available.
3. That the **Subject Property** is approximately 3.88 acres in size, which is similar to other commercial properties in the immediate surrounding neighborhood.
4. That the **Subject Property** is zoned COR-4c, Neighborhood Subdistrict, which is part of the overall COR zoning district.
5. That the parcels surrounding the **Subject Property** in all directions are also zoned as subdistricts of the COR zoning district.
6. That the **Subject Property** is guided as Mixed-Use in the 2040 Comprehensive Plan.
7. That City Code Section 106-630 (**Bulk Standards**) adopts all bulk standards within the COR district as specified in the COR development framework, which is incorporated into Chapter 106 of City Code by reference.
8. That the COR development framework specifies that the maximum allowable height in the COR-4 subdistrict is 4 stories.
9. That the **Applicant** is proposing to construct a 5-story mixed-use building, plus an additional story of sunken parking that extends mostly below-grade.
10. That the **Applicant's** proposed sunken parking story only reaches up to 5 feet above-grade, which does not meet the City Code definition of a story, and thus does not count towards the proposed height of the building.

FINDINGS OF FACT

1. That the **Variance** will be in accordance with the objectives of the intent of Section 106-220 (**Variances**) of the Ramsey City Code.
2. That the **Variance** will allow the property owner to use the property in a reasonable manner not otherwise permitted by the zoning code.
3. That the **Variance** will not alter the essential character of the locality.
4. That the **Variance** is not intended to solely satisfy economic considerations.
5. That the **Variance** will not cause inadequate access to direct sunlight for adjacent properties.

NOW THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:

That the Ramsey Planning Commission hereby grants approval of a variance (the “**Variance**”) to deviate from the required maximum height regulation set forth in Section 106-630, which adopts the COR Development Framework by reference, to allow a building up to 5 stories in height on the **Subject Property**, subject to review and approval as to legal form and contingent upon the following conditions:

CONDITIONS

1. That this variance is based off of plans dated 4/3/2024 with the intent of applying for a building permit with an administrative site plan review.
2. That the **Applicant** shall comply with all Staff comments as noted in ProjectDox.
3. That the **Applicant** shall not expand the building height beyond 5 stories on the **Subject Property** in any way unless in full compliance with City Code.
4. That the **Applicant** shall be responsible for all City costs incurred in administering and enforcing this **Variance**.
5. That this resolution shall be recorded against the property with the Anoka County Recorder’s Office prior to receiving a building permit.

The motion for the adoption of the foregoing resolution was duly seconded by Commissioner _____, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

whereupon said resolution was declared duly passed and adopted by the Ramsey Planning Commission this the 25th day of April, 2024.

Planning Commission Chairperson

ATTEST:

City Clerk

The document drafted by:
The City of Ramsey
7550 Sunwood Dr NW
Ramsey, Minnesota 55303

**ORDINANCE #24-07
CITY OF RAMSEY
ANOKA COUNTY
STATE OF MINNESOTA**

**AN ORDINANCE AMENDING SECTION 106-120 “OFFICIAL ZONING MAP” OF
CHAPTER 106 OF THE CITY CODE OF RAMSEY, MINNEOSTA AND TO THE
“COR DESIGN FRAMEWORK”
PERTAINING TO A ZONING MAP AMENDMENT ON PROPERTY AT THE
SOUTHEAST CORNER OF SUNWOOD DRIVE AND RAMSEY PARKWAY**

The City Council of Ramsey ordains:

SECTION 1. AUTHORITY

This ordinance is adopted pursuant to and under the authority of the City Charter of the City of Ramsey.

SECTION 2. AMENDMENT TO SECTION 106-120 PERTAINING TO A ZONING MAP AMENDMENT:

The following legally described property is hereby rezoned from COR-4b to COR-4c:

Parcel 1: 7975 and 7979 Sunwood Drive NW
Lot 1, Block 7, WATERFRONT VILLAGE, Anoka County, Minnesota

SECTION 3. MAP

The City is hereby instructed to cause this amendment to be shown on the "City of Ramsey Official Zoning Map.”

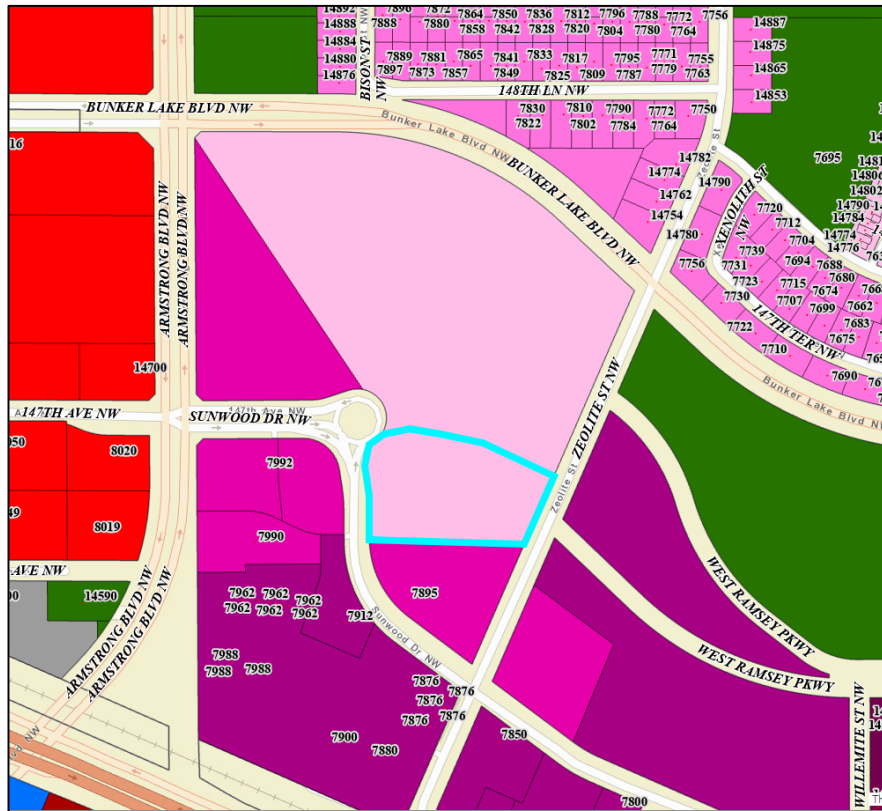
SECTION 4. EFFECTIVE DATE

This ordinance becomes effective 30 days after its passage and publication, subject to City Charter Section 5.04.

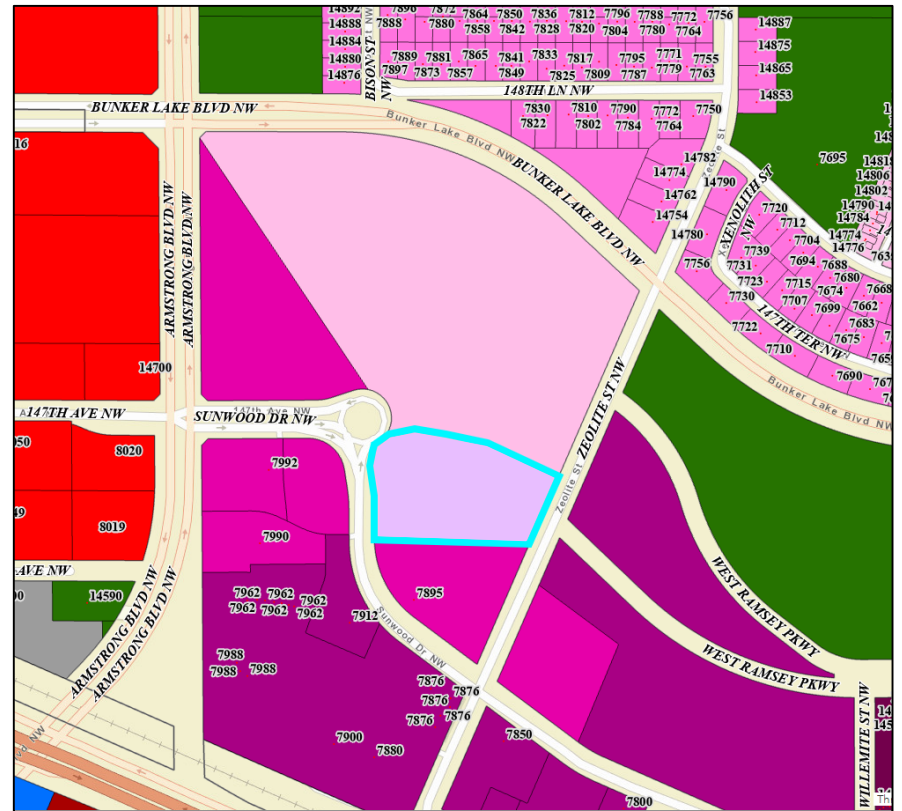
PASSED by the City Council of the City of Ramsey, Minnesota the _____, 2024.

Zoning Map Amendment Exhibit

Current Zoning: COR-4b



Current Zoning: COR-4c



FLEXTILE CLASS 1 MATERIAL



Why do we do the flexible tiles?

Current situation of building exterior decoration

Problems of imitation stone paint

- 1.The effect of imitation stone paint on the exterior wall is realized by the material and construction, which is uncontrollable and the finishing effect is unstable.
- 2.The increased flatness and crack resistance of the building's external walls cannot be solved, which affects the finishing effect.
3. There is no difference in the same coloring, which can not express the texture effect of the stone. The ordinary paint can not reflect the individualization of the building exterior wall.

Insufficient of insulation and decoration integrated board

The facing can only realize the imitation stone, which can not realize the texture of the natural stone. The installation anchor is uncontrollable and the safety has hidden dangers. The seam is easy to crack and seep, resulting in the water absorption and degumming of the insulation layer.

Insufficient of stone curtain wall

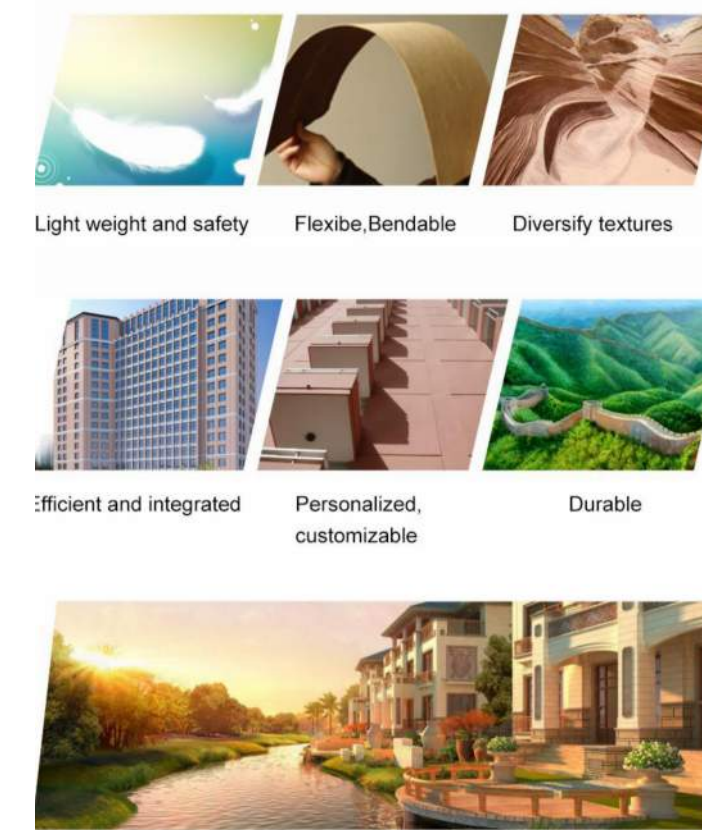
1. The keel installation process is complicated
2. Natural stone is expensive and difficult to construct
3. Natural stone has natural color differences
4. Resources are not renewable

Flexible Tile

By analyzing the advantages and disadvantages of the three types of products, such as imitation stone paint, insulation and decoration integrated board and stone curtain wall, after three years of research and development we finally created this new product - flexible tile ecological wall material, with inspected the domestic and foreign markets and introduced the team.

Flexible tile can make up for all the shortcomings of the above three types of products, which conforms with the national industry policy, and its unique product characteristic is an epoch-making decorative product.

Six characteristics



Light weight and safety

Eco-tiles are light and safe. The weight is 1/20 of stone, 1/10 of imitation slate, 1/3 of ceramic tiles, which is one of the safest building exterior decorative materials.



Flexible, Bendable

The tiles are bendable with flexibility (9200). For the complex shape, such as lines, squares columns, cylinders and arched beams, we can install directly on the site.



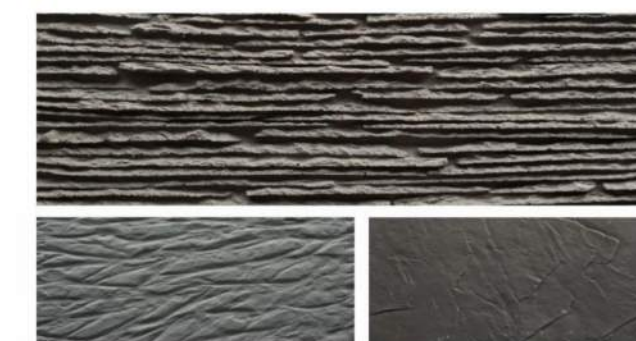
Personalized, customizable

Eco-tiles can be pre-formed according to customer's required size.



Diversify textures

Eco flexible tiles can perfectly replicate almost all the textures of nature, with natural colors, never fade, clear texture, and natural beauty.



Efficient and integrated

Eco-tiles adopts the wet-pasting process, which doesn't require the use of light steel keels or fasteners, and can be directly laid on the site, which can greatly shorten the construction period.



Durable

Eco-tiles passed accelerated aging test of 3500 hours, no powder, no skin, no cracking. In theory, eco-tiles can achieve the same life as buildings.



What is flexible tiles?

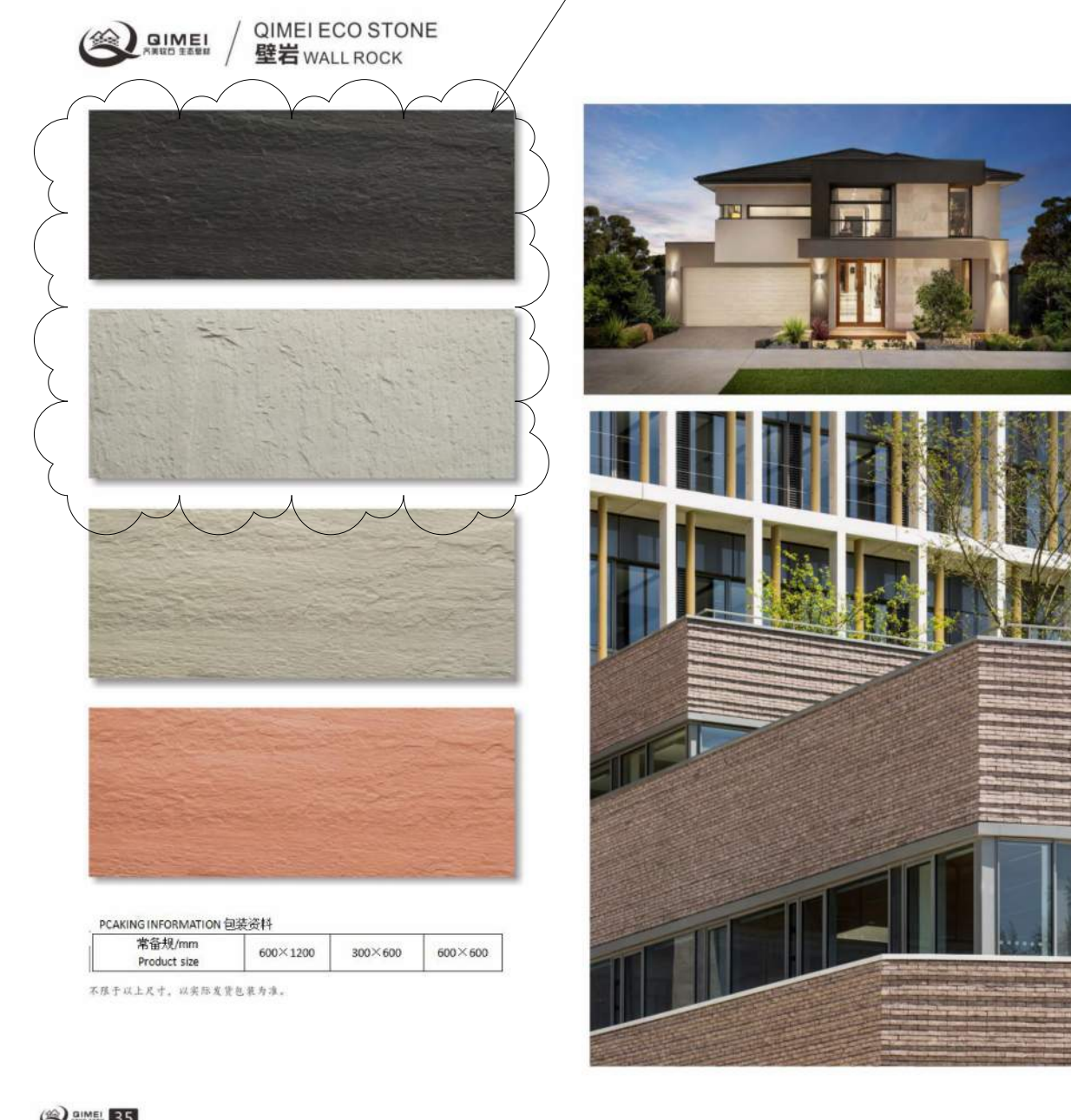
Design concepts of flexible tiles-Ecological

Wall Material

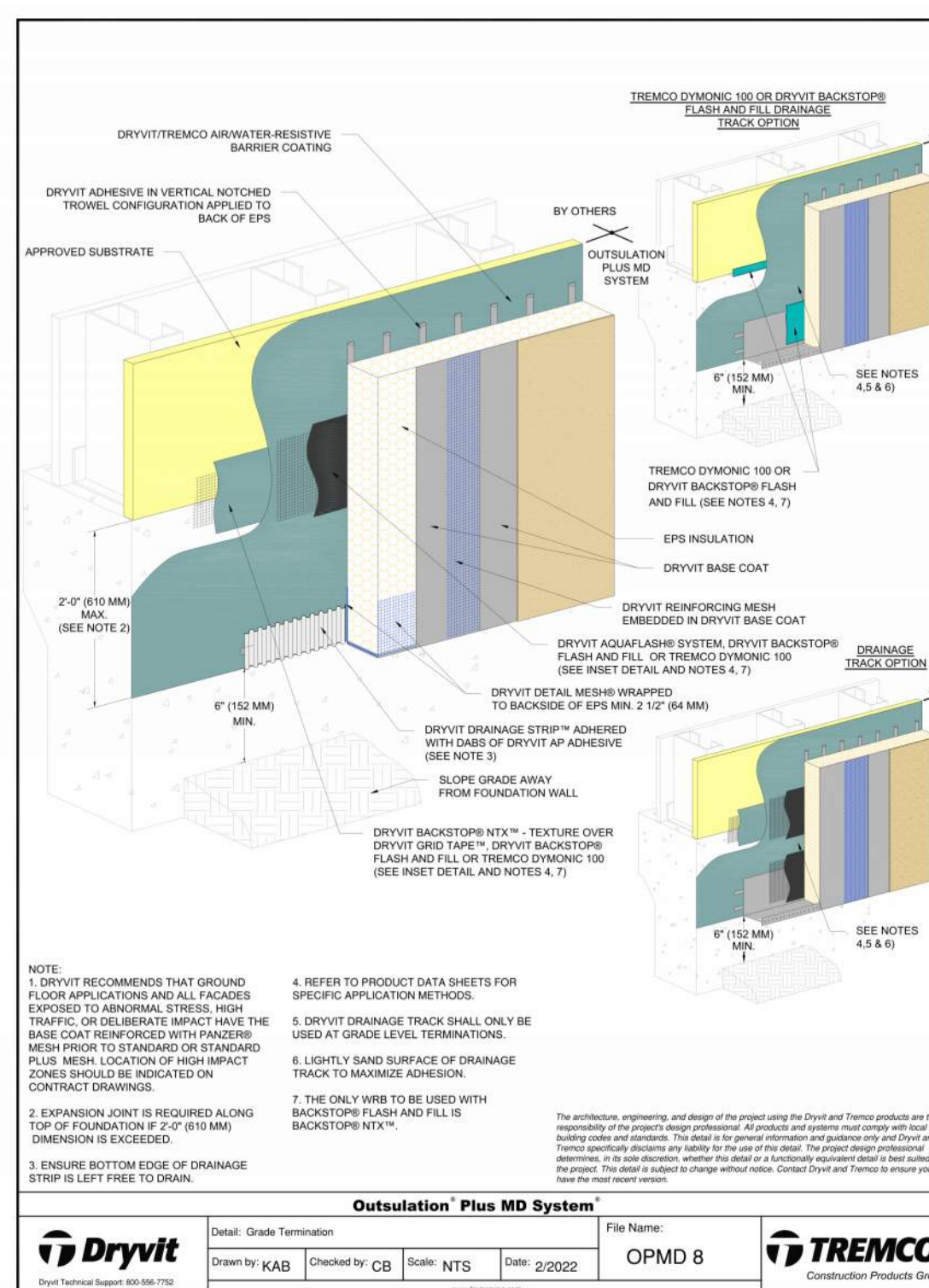
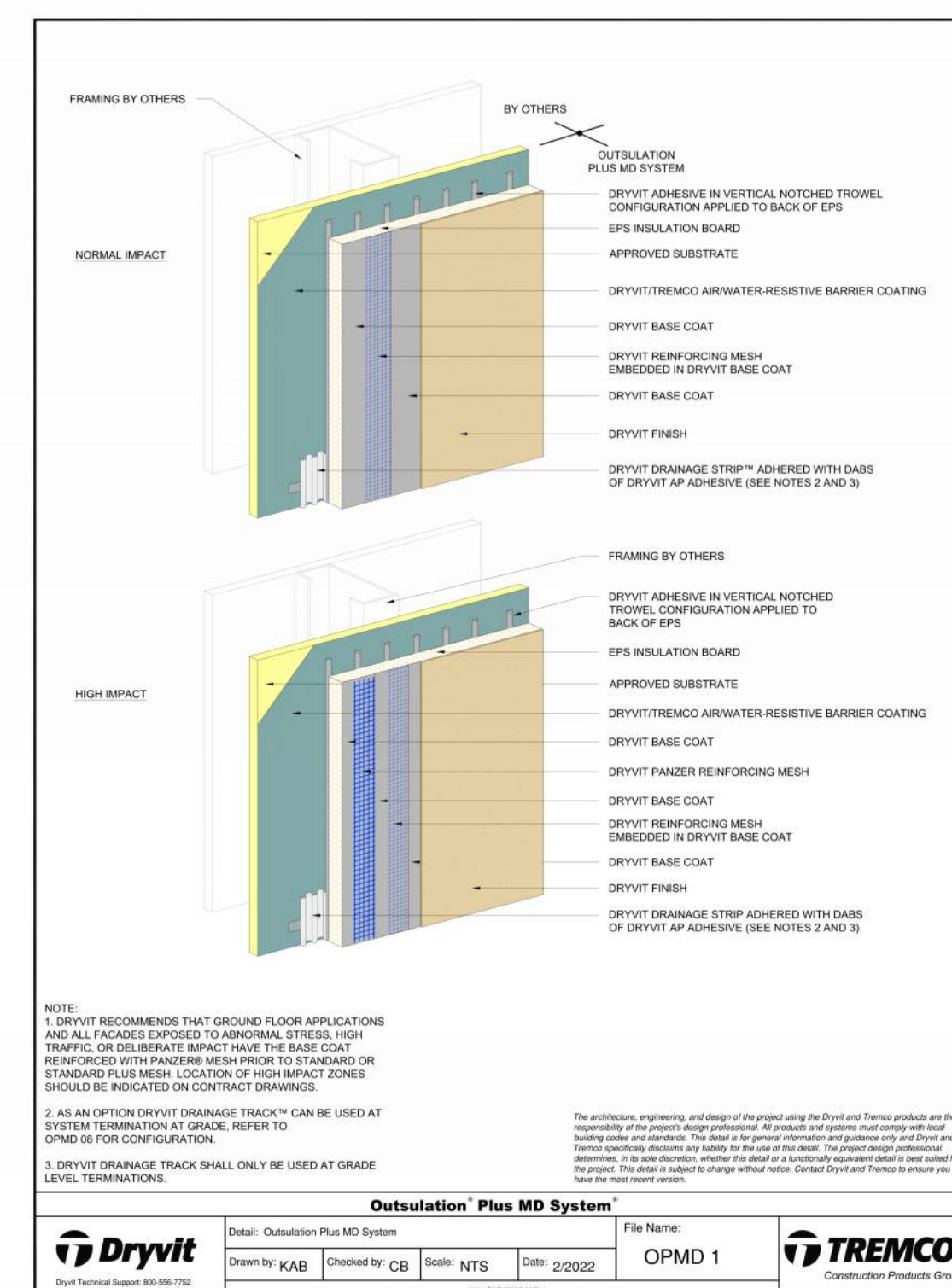
1. Flexible tile was formed through molecular compatibility and low temperature solidification using by inorganic materials such as inorganic clay, ore, powder.
2. Flexible tile can 100% perfectly reproduced the texture and color of stone by 3D technology, which others company can not do that now at the market.
3. Environmental protection and energy saving of Baidal flexible tiles is from nature and back to nature.
4. Flexible tiles is a new flexible wall material for interior and exterior, which is fully upgraded for decoration of the building.



NORHART COLOR SLECTIONS



EIFS



NORHART OAKDALE BLACK AND WHITE EIFS EXAMPLE



SEAL

No.	Description	Date
02	PERMIT RESUBMITALL 01	MM/DD/YY

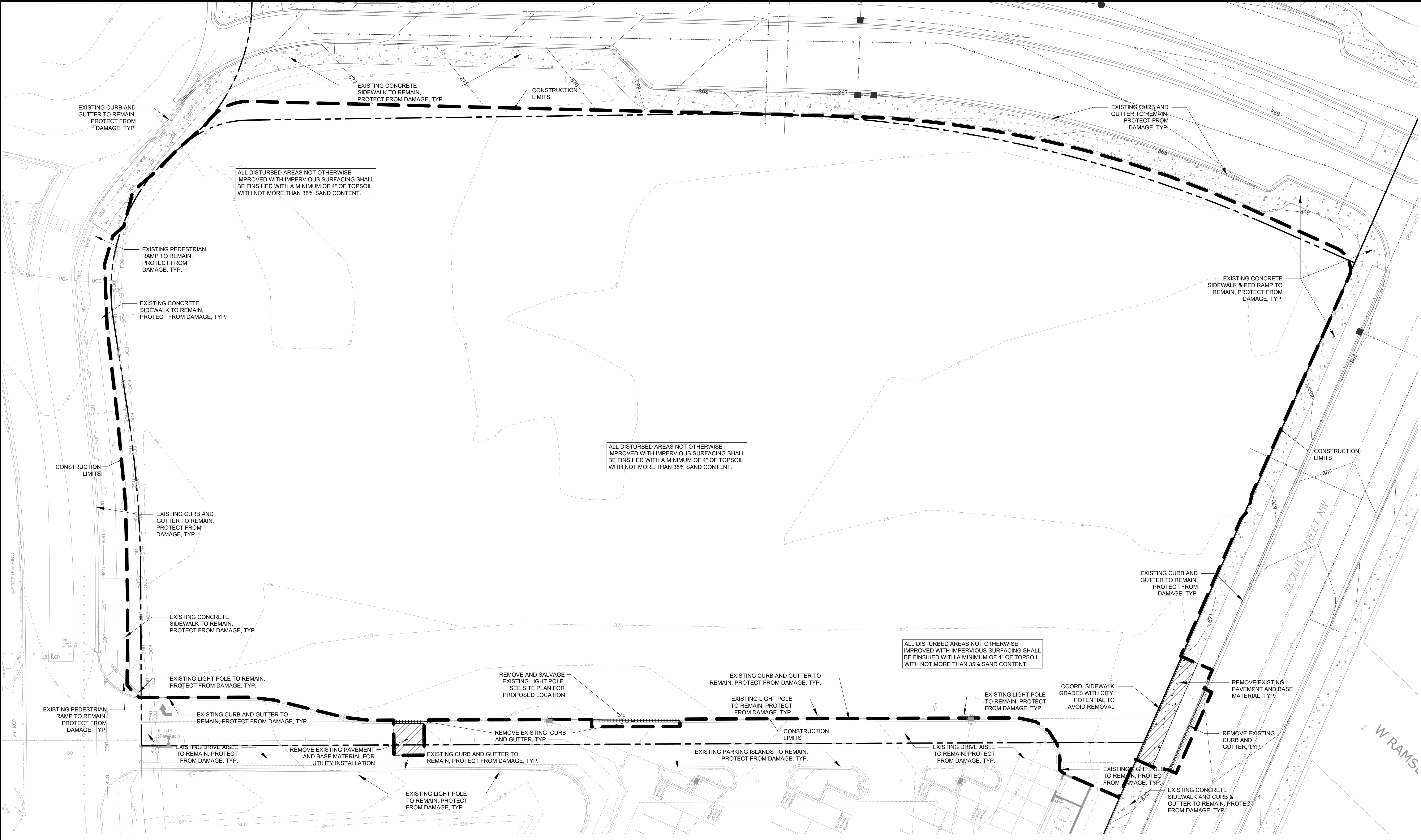
PROJECT NAME:
NORHART RAMSEY

PROJECT ADDRESS:
PID 28-32-25-22-0076

SHEET NAME:
OPTION OF FACADE MATERIALS - FLEX TILE & EIFS

SHEET NUMBER:
A205

**PRELIMINARY:
NOT FOR
CONSTRUCTION**



NORHART RAMSEY
ZEOLITE ST NW & RAMSEY PKWY, RAMSEY, MN 55303
NORHART
1081 4TH ST SW, FOREST LAKE, MN 55025

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
Anders S. Melby
ANDERS S. MELBY
DATE 04/03/24 LICENSE NO. 58260

CITY OF RAMSEY REMOVAL NOTES:
1. RESERVED FOR CITY SPECIFIC REMOVAL NOTES.

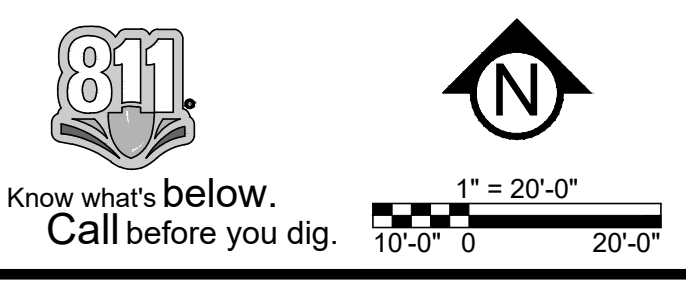
EROSION CONTROL NOTES:
SEE SWPPP ON SHEETS SW1.0 - SW1.3

OWNER INFORMATION
NORHART
1081 4TH STREET SW
FOREST LAKE, MN 55025
MARYBETH WISE
651-338-5325
MARYBETH.WISE@NORHART.COM

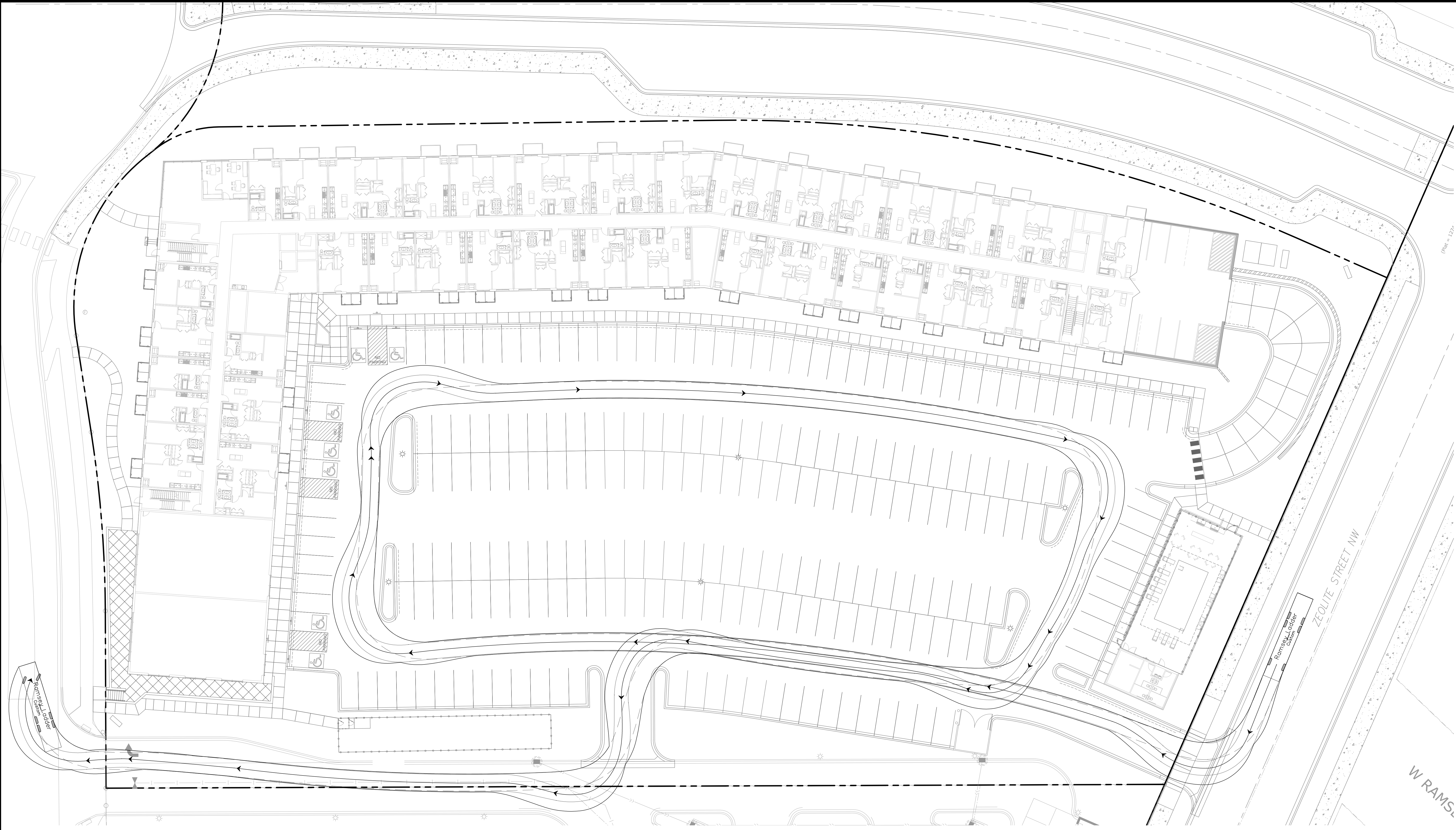
REMOVALS LEGEND:

	REMOVAL OF PAVEMENT AND ALL BASE MATERIAL, INCLUDING BIT., CONC., AND GRAVEL PAVTS.
	CONSTRUCTION LIMITS
	PROPERTY LINE
	REMOVE CURB AND GUTTER. IF IN RIGHT-OF-WAY, COORDINATE WITH LOCAL GOVERNING UNIT.

SEE SHEET C0.1 FOR GENERAL REMOVAL NOTES



**PRELIMINARY:
NOT FOR
CONSTRUCTION**



NORHART RAMSEY
ZEOLITE ST NW & RAMSEY PKWY, RAMSEY, MN 55303

NORHART
1081 4TH ST SW, FOREST LAKE, MN 55025

PROJECT

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

ANDERS S. MELBY
DATE 04/03/24 LICENSE NO. 58960

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
03/20/24	CITY SUBMITTAL

REVISION SUMMARY

DATE	DESCRIPTION
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TURNING MOVEMENT PLAN

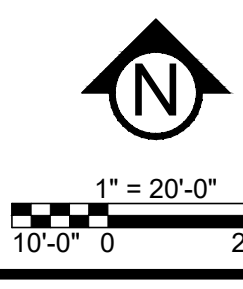
C2.1

SEE SHEET C0.1 FOR GENERAL SITE NOTES

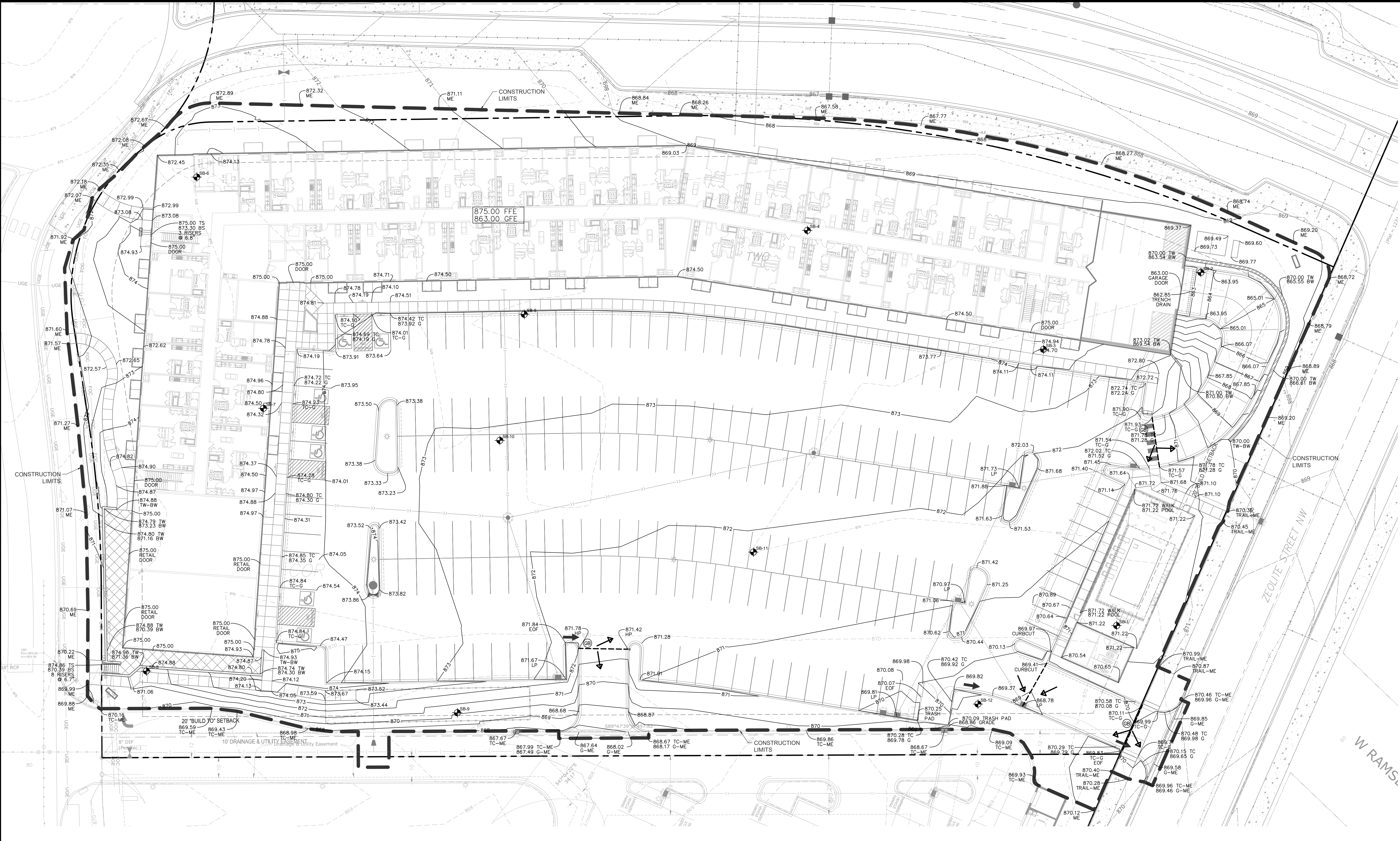
SEE SHEET C2.0 FOR GENERAL SITE NOTES & LEGEND



Know what's below.
Call before you dig.



**PRELIMINARY:
NOT FOR
CONSTRUCTION**



CITY OF RAMSEY GRADING NOTES:
1. RESERVED FOR CITY SPECIFIC GRADING NOTES.

EROSION CONTROL NOTES:
SEE SWPPP ON SHEETS SW1.0 - SW1.3

BORING	GROUND WATER ELEVATION
SB-1	857.70
SB-2	857.60
SB-3	857.40
SB-4	857.50
SB-5	857.60
SB-6	857.50
SB-7	857.60
SB-8	857.60
SB-9	858.40
SB-10	NA
SB-11	NA
SB-12	NA

PER GEOTECHNICAL REPORT COMPLETED BY HAUGO GEOTECHNICAL SERVICES, LLC ON 02/08/24.

GRADING PLAN LEGEND:

--- 1125 ---	EX. 1' CONTOUR ELEVATION INTERVAL
--- 1137 ---	1.0' CONTOUR ELEVATION INTERVAL
~ 41.28 ~	SPOT GRADE ELEVATION (GUTTER/FLOW LINE UNLESS OTHERWISE NOTED)
891.00 G	SPOT GRADE ELEVATION GUTTER
891.00 TC	SPOT GRADE ELEVATION TOP OF CURB
891.00 BS/TS	SPOT GRADE ELEVATION BOTTOM OF STAIRS/TOP OF STAIRS
891.00 ME	SPOT GRADE ELEVATION MATCH EXISTING
⊕	GRADE BREAK - HIGH POINTS
--- T.O ---	CURB AND GUTTER (T.O = TIP OUT)
→ EOF=XXX.XX	EMERGENCY OVERFLOW
--- ---	CONSTRUCTION LIMITS

NORHART RAMSEY
ZEOLITE ST NW & RAMSEY PKWY, RAMSEY, MN 55303

NORHART
1081 4TH ST SW, FOREST LAKE, MN 55025

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ANDERS S. MELBY
DATE: 04/03/24 LICENSE NO.: 58960

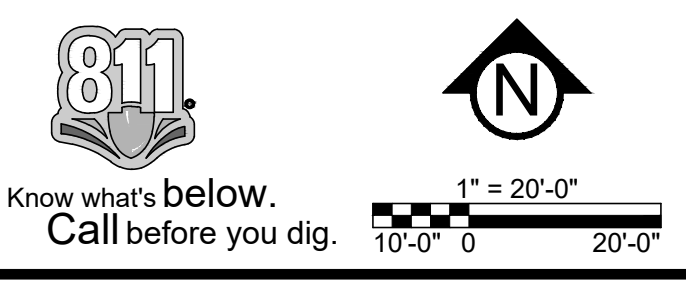
DATE	DESCRIPTION
03/20/24	CITY SUBMITTAL

DATE	DESCRIPTION

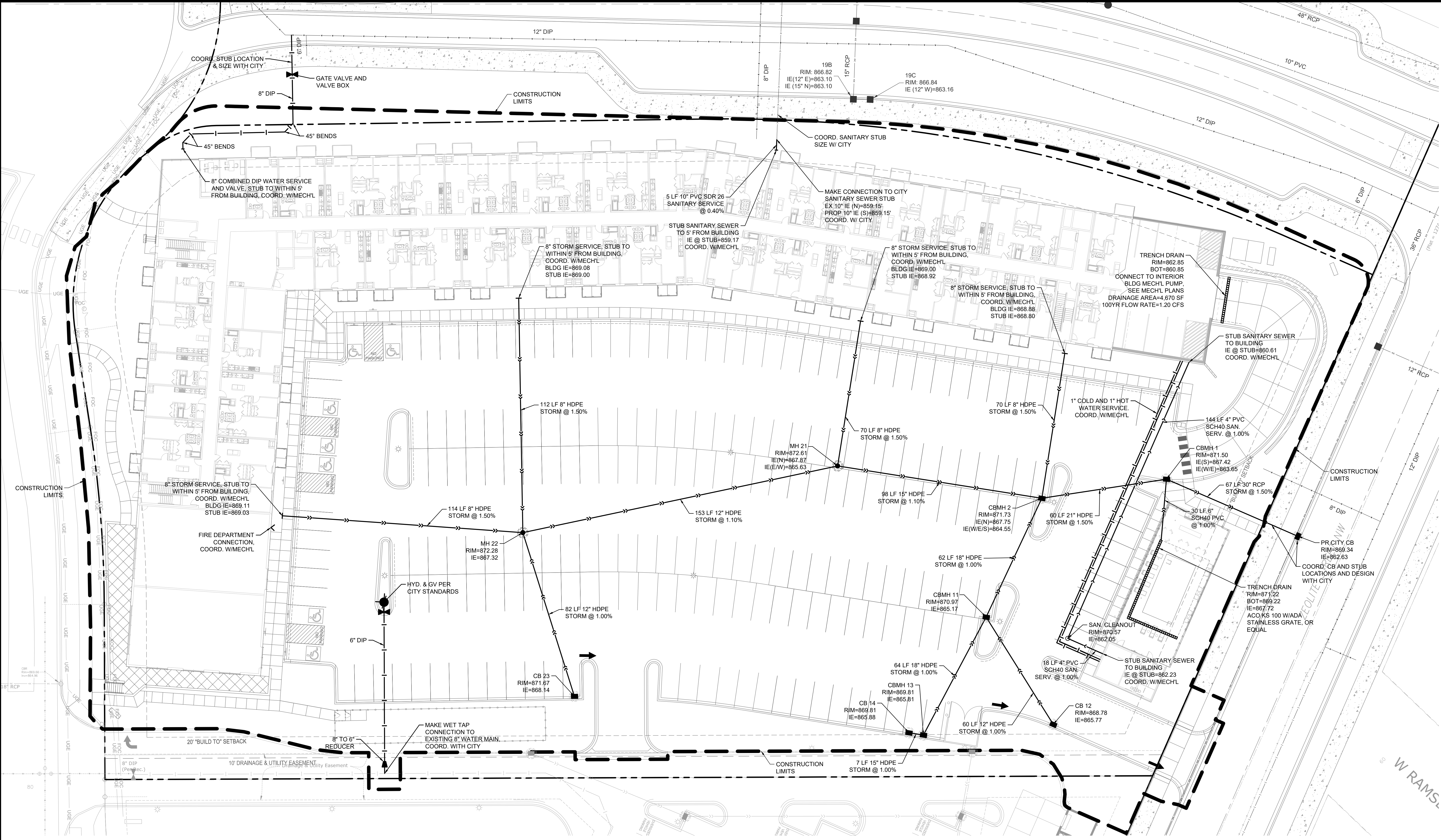
GRADING PLAN

C3.0

SEE SHEET C0.1 FOR GENERAL GRADING NOTES



**PRELIMINARY:
NOT FOR
CONSTRUCTION**

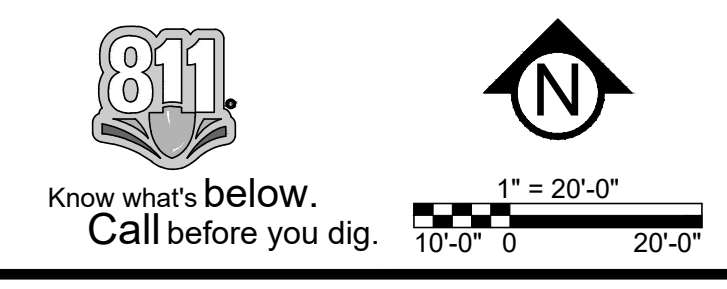


CITY OF RAMSEY UTILITY NOTES:
1. RESERVED FOR CITY SPECIFIC UTILITY NOTES.

UTILITY LEGEND:

	CATCH BASIN
	MANHOLE
	GATE VALVE AND VALVE BOX
	PROPOSED FIRE HYDRANT
	WATER MAIN
	SANITARY SEWER
	STORM SEWER
	TRENCH DRAIN
	CONSTRUCTION LIMITS

SEE SHEET C0.1 FOR GENERAL UTILITY NOTES



NORHART RAMSEY
ZEOLITE ST NW & RAMSEY PKWY, RAMSEY, MN 55303
NORHART
1081 4TH ST SW, FOREST LAKE, MN 55025

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ANDERS S. MELBY
DATE: 04/03/24 LICENSE NO.: 58960

ISSUE/SUBMITTAL SUMMARY

DATE	DESCRIPTION
4/3/2024	CITY SUBMITTAL

REVISION SUMMARY

DATE	DESCRIPTION

UTILITY PLAN
C4.0
© COPYRIGHT 2023 CIVIL SITE GROUP INC.

**PRELIMINARY:
NOT FOR
CONSTRUCTION**

RECTANGULAR

CIRCULAR

APPROVED: 1 - 2024

City of RAMSEY CITY PLATE No. **STO-1**

STANDARD DETAIL

APPROVED: 1 - 2024

City of RAMSEY CITY PLATE No. **STO-3**

NOTE: SURMOUNTABLE CURB & GUTTER

1. CATCH BASIN CASTING SHALL BE NEENAH R-3501TB (BICYCLE SAFE) OR APPROVED EQUAL.

2. FOR CATCH BASINS ADJACENT TO RADIUS, USE NEENAH R-3246R OR APPROVED EQUAL.

NOTE: B 618 CURB & GUTTER

1. CATCH BASIN CASTING SHALL BE NEENAH R-3246 (BICYCLE SAFE) OR APPROVED EQUAL.

STANDARD CATCHBASIN CASTING

APPROVED: 1 - 2024

City of RAMSEY CITY PLATE No. **STO-4**

ROADWAY STRUCTURE

Ø MH	"x"
48"	0.73
54"	0.98
60"	1.23
66"	1.48
72"	1.73
78"	1.98
84"	2.23
90"	2.48
96"	2.73
102"	2.98
108"	3.23
120"	3.73
132"	4.23
144"	4.73
168"	5.73

APPROVED: 4 - 2005

City of RAMSEY CITY PLATE No. **STO-5**

R-2560 Series or Approved Equal. Beehive Grates with Frames

SUITABLE FOR DRAINAGE IN CIRCUMSTANCES WHERE CLOGGING OF A FLAT GRATING IS A PROBLEM. EXCELLENT FOR ROADSIDE OR EARTH DITCH CATCH BASINS.

Coloring No.	A	B	C	D	E	F	G	WT. LBS.		
R-2560-A	12	11	13 1/2	15	4	3	120	80		
R-2560-B	15 1/2	11 1/4	15	15	21	6	120	120		
R-2560-C	18	1 1/4	15 1/2	30 1/2	30	8	3	190		
R-2560-D	22	1 1/2	20	1/2	23	28	4	4 1/2	190	
R-2560-E	22	1 1/2	20	1/2	24	1/2	35	9	4 1/2	220
R-2560-F	22	1 1/2	20	1/2	24	1/2	35	6	1	280
R-2560-G	22	1 1/2	20	1/2	24	1/2	35	6	1	280
R-2560-H	22	1 1/2	20	1/2	24	1/2	35	6	1	280
R-2560-I	22	1 1/2	20	1/2	24	1/2	35	6	1	280
R-2560-J	22	1 1/2	20	1/2	24	1/2	35	6	1	280
R-2560-K	22	1 1/2	20	1/2	24	1/2	35	6	1	280
R-2560-L	22	1 1/2	20	1/2	24	1/2	35	6	1	280
R-2560-M	22	1 1/2	20	1/2	24	1/2	35	6	1	280
R-2560-N	22	1 1/2	20	1/2	24	1/2	35	6	1	280
R-2560-O	22	1 1/2	20	1/2	24	1/2	35	6	1	280
R-2560-P	22	1 1/2	20	1/2	24	1/2	35	6	1	280
R-2560-Q	22	1 1/2	20	1/2	24	1/2	35	6	1	280
R-2560-R	22	1 1/2	20	1/2	24	1/2	35	6	1	280
R-2560-S	22	1 1/2	20	1/2	24	1/2	35	6	1	280
R-2560-T	22	1 1/2	20	1/2	24	1/2	35	6	1	280
R-2560-U	22	1 1/2	20	1/2	24	1/2	35	6	1	280
R-2560-V	22	1 1/2	20	1/2	24	1/2	35	6	1	280
R-2560-W	22	1 1/2	20	1/2	24	1/2	35	6	1	280
R-2560-X	22	1 1/2	20	1/2	24	1/2	35	6	1	280
R-2560-Y	22	1 1/2	20	1/2	24	1/2	35	6	1	280
R-2560-Z	22	1 1/2	20	1/2	24	1/2	35	6	1	280

APPROVED: 9 - 2011

City of RAMSEY CITY PLATE No. **STO-6**

MnDOT B618 (URBAN)

MnDOT B612 (URBAN)

SURMOUNTABLE

APPROVED: 1 - 2016

City of RAMSEY CITY PLATE No. **STR-1**

CONCRETE CROSS GUTTER

APPROVED: 3 - 2017

City of RAMSEY CITY PLATE No. **STR-2**

CONCRETE SIDEWALK

APPROVED: 10 - 2015

City of RAMSEY CITY PLATE No. **STR-3**

COMMERCIAL DRIVEWAY CURBCUT

APPROVED: 4 - 2016

City of RAMSEY CITY PLATE No. **STR-14**

STREET PATCHING STANDARDS

APPROVED: 3 - 2022

City of RAMSEY CITY PLATE No. **STR-25**

TABLE A

MODIFIED CLASS 5 SPECIFICATIONS

SIZE	% PASSING
1"	100
3/4"	90 - 100
3/8"	50 - 80
No.4	35 - 70
No.10	20 - 60
No.40	10 - 35
No.200	5 - 10

APPROVED: 2 - 2003

City of RAMSEY CITY PLATE No. **STR-26**

NORHART RAMSEY
ZEOLITE ST NW & RAMSEY PKWY, RAMSEY, MN 55303

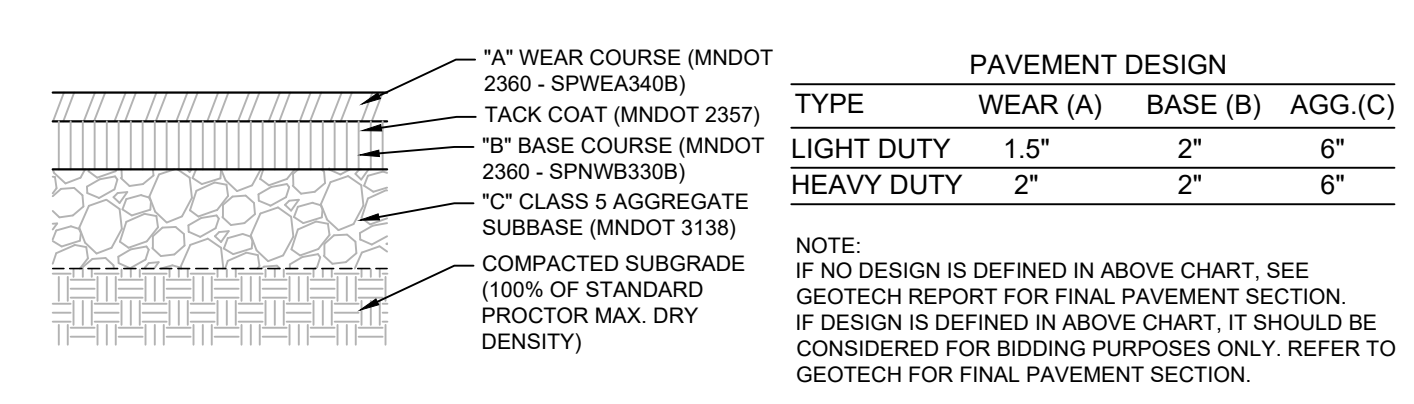
NORHART
1081 4TH ST SW, FOREST LAKE, MN 55025

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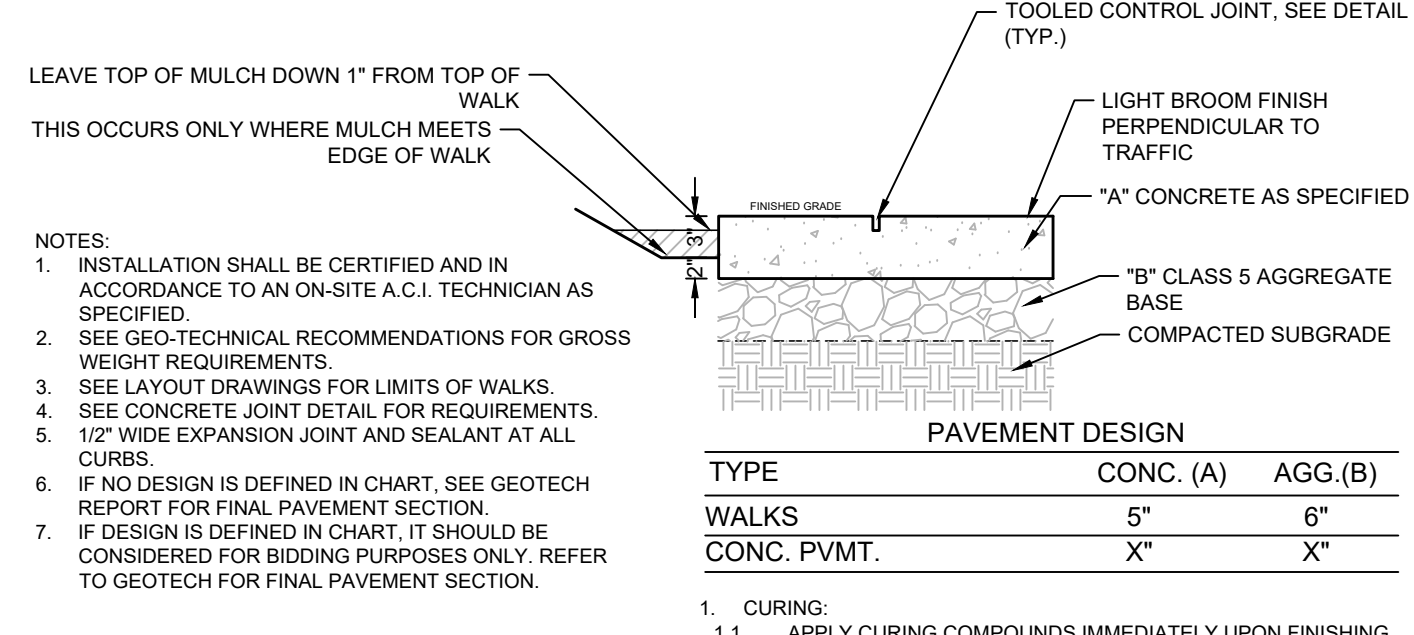
ANDERS S. MELBY
DATE: 04/03/24 LICENSE NO.: 58960

ISSUE/SUBMITTAL SUMMARY	
DATE	DESCRIPTION
04/03/24	CITY SUBMITTAL
REVISION SUMMARY	
DATE	DESCRIPTION

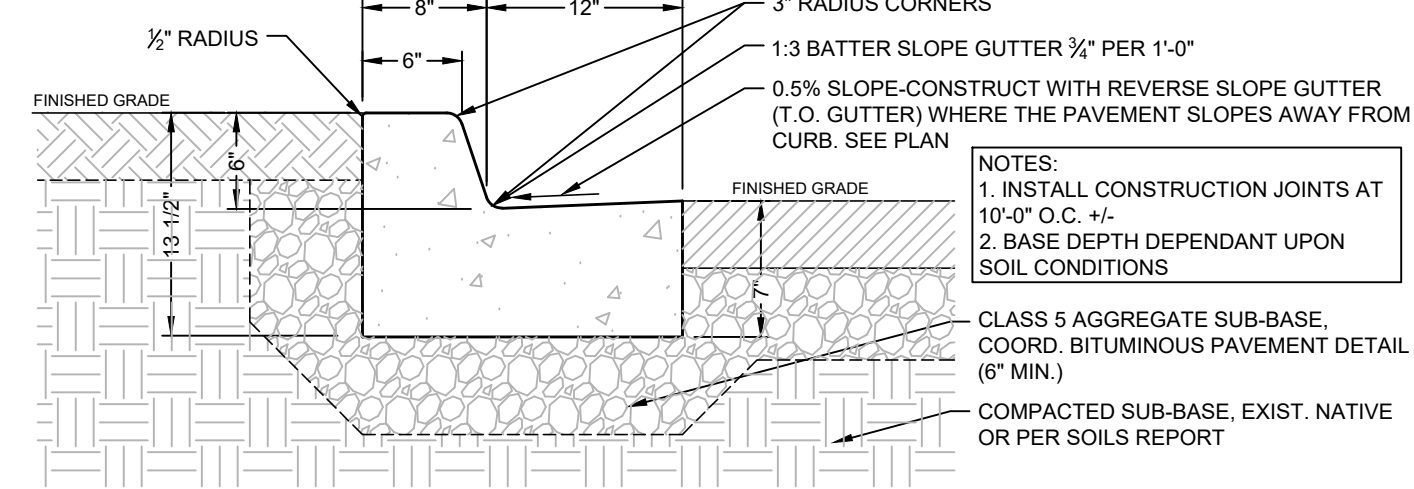
**PRELIMINARY:
NOT FOR
CONSTRUCTION**



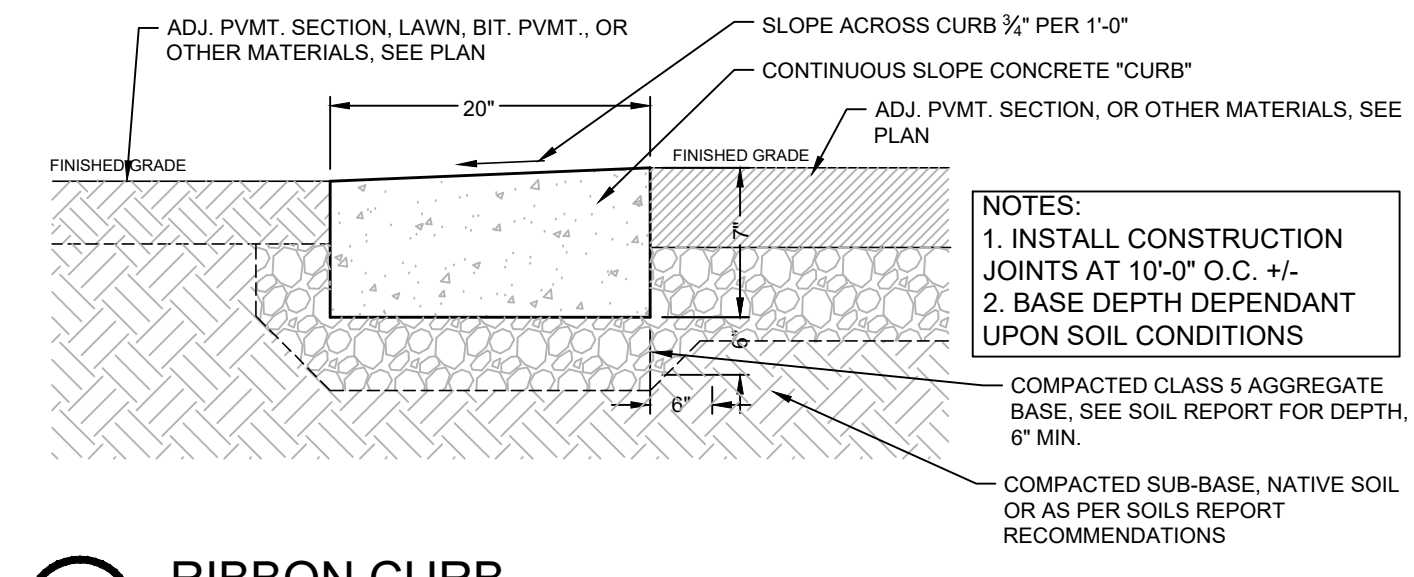
1 BITUMINOUS PAVEMENT - ALL TYPES
N T S



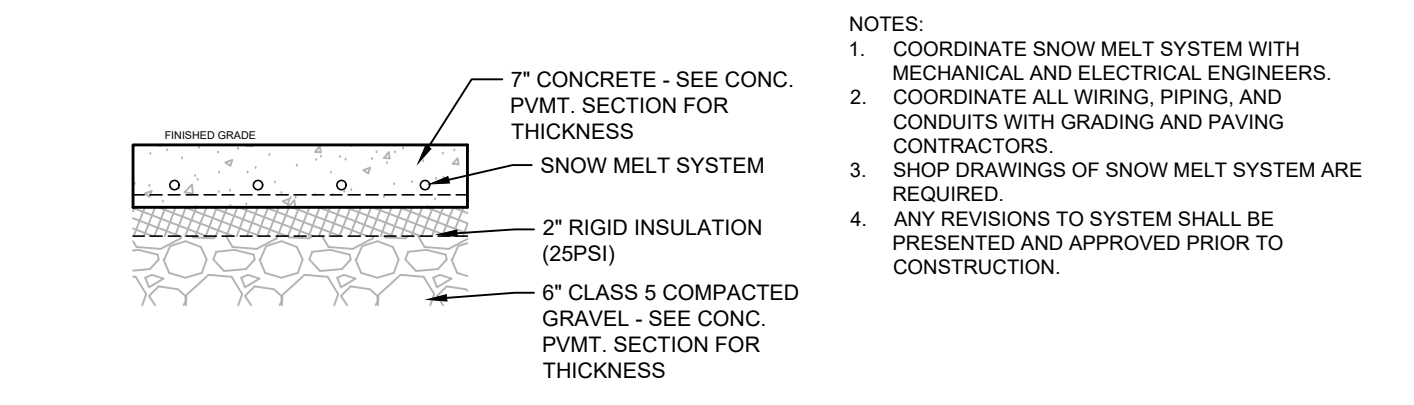
2 CONCRETE PVMT./WALK/PAD
N T S (PRIVATE PROPERTY)



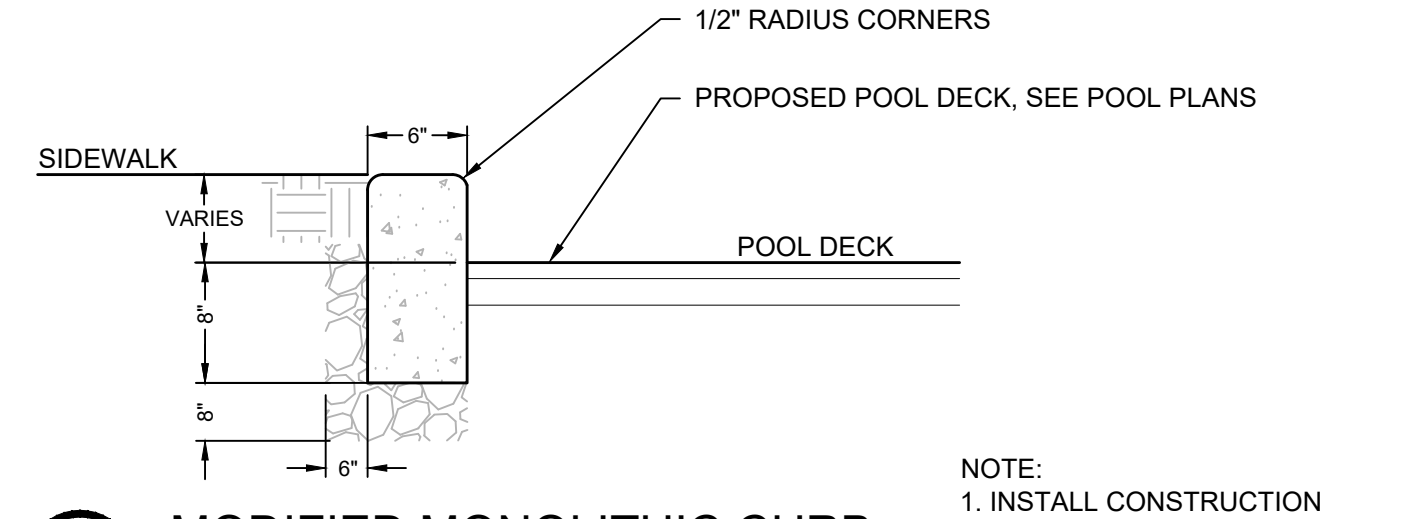
3 B-612 CONCRETE CURB AND GUTTER
N T S



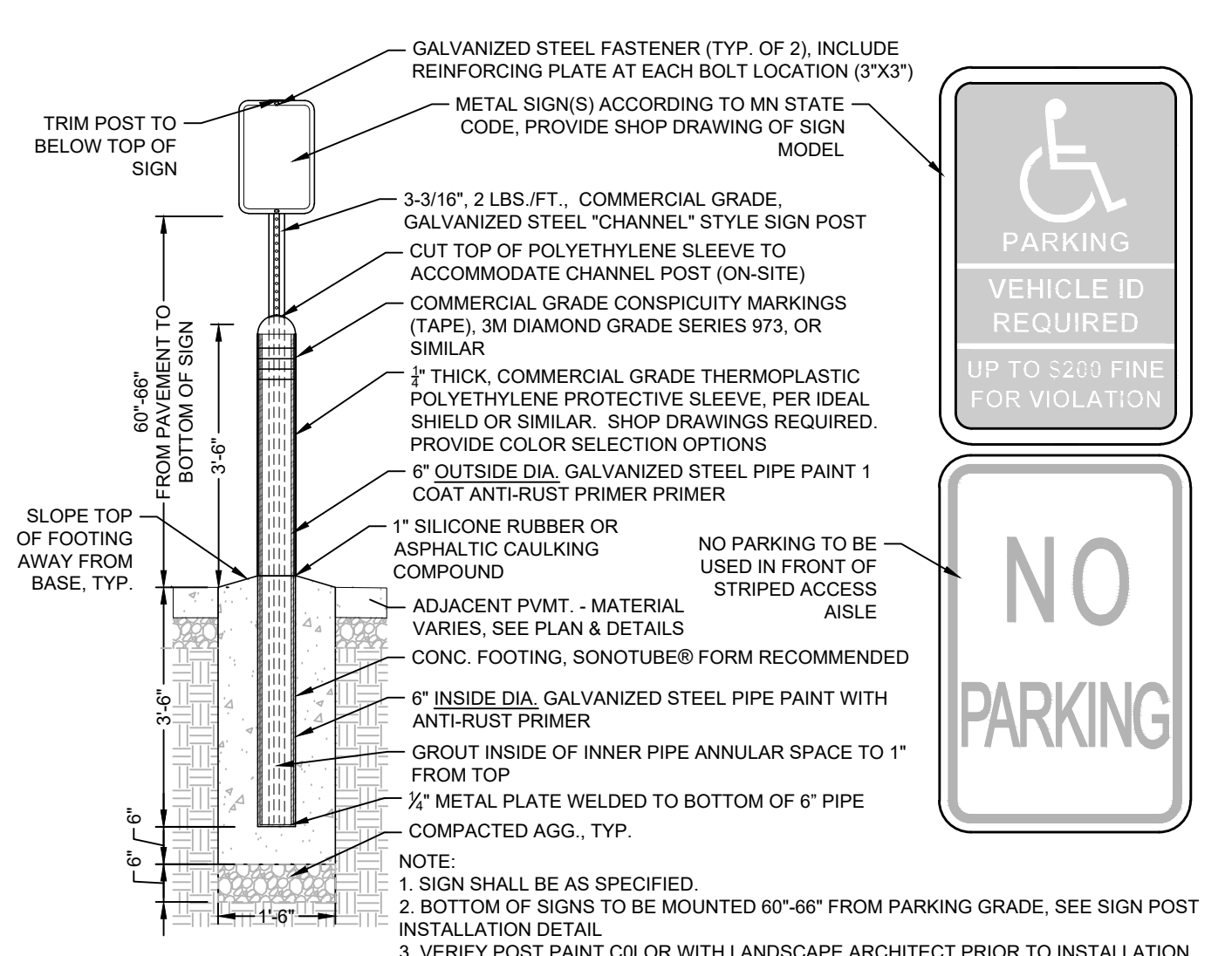
4 RIBBON CURB
N T S



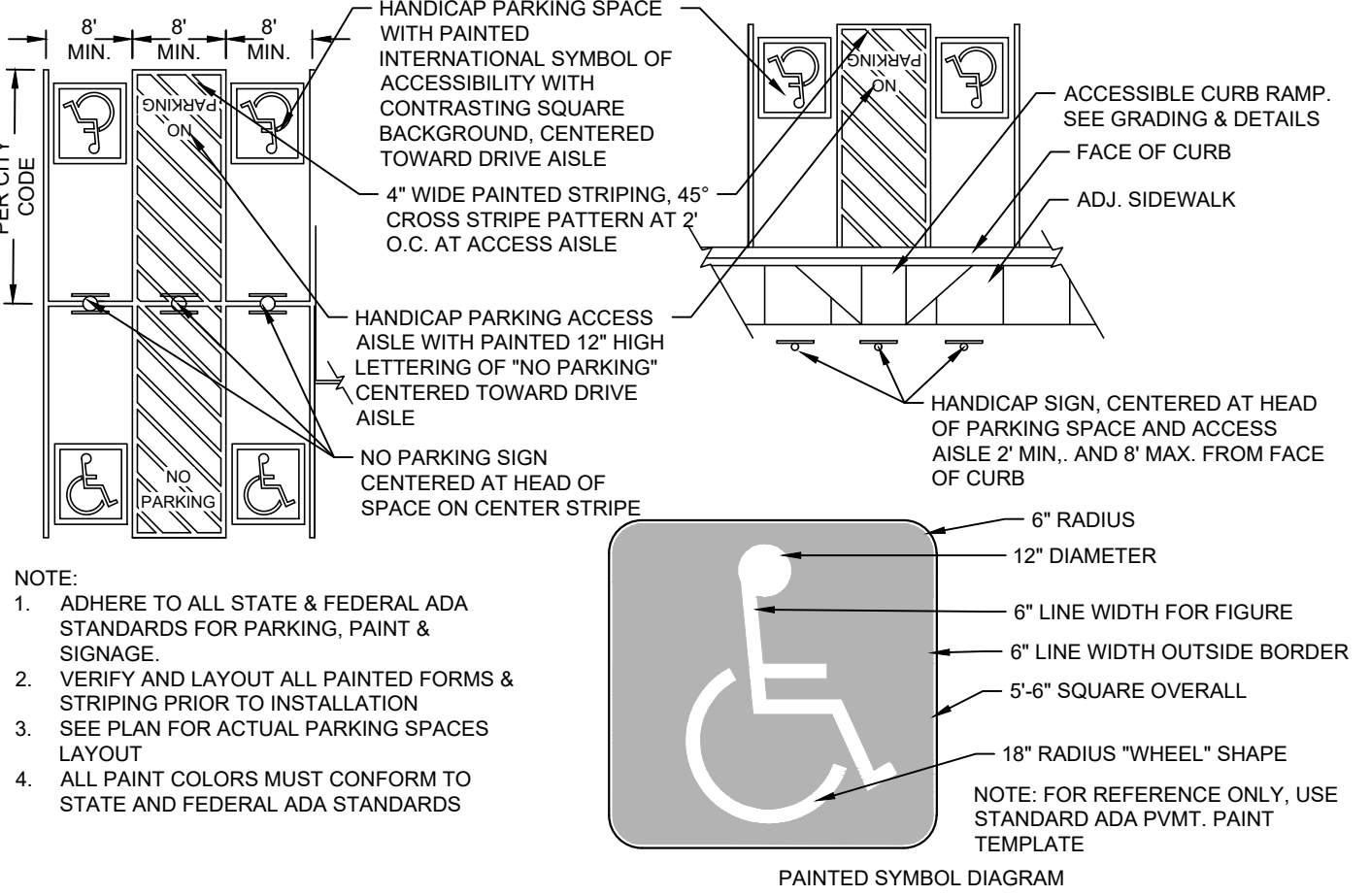
5 HEATED CONCRETE PVMT.
N T S (PRIVATE PROPERTY)



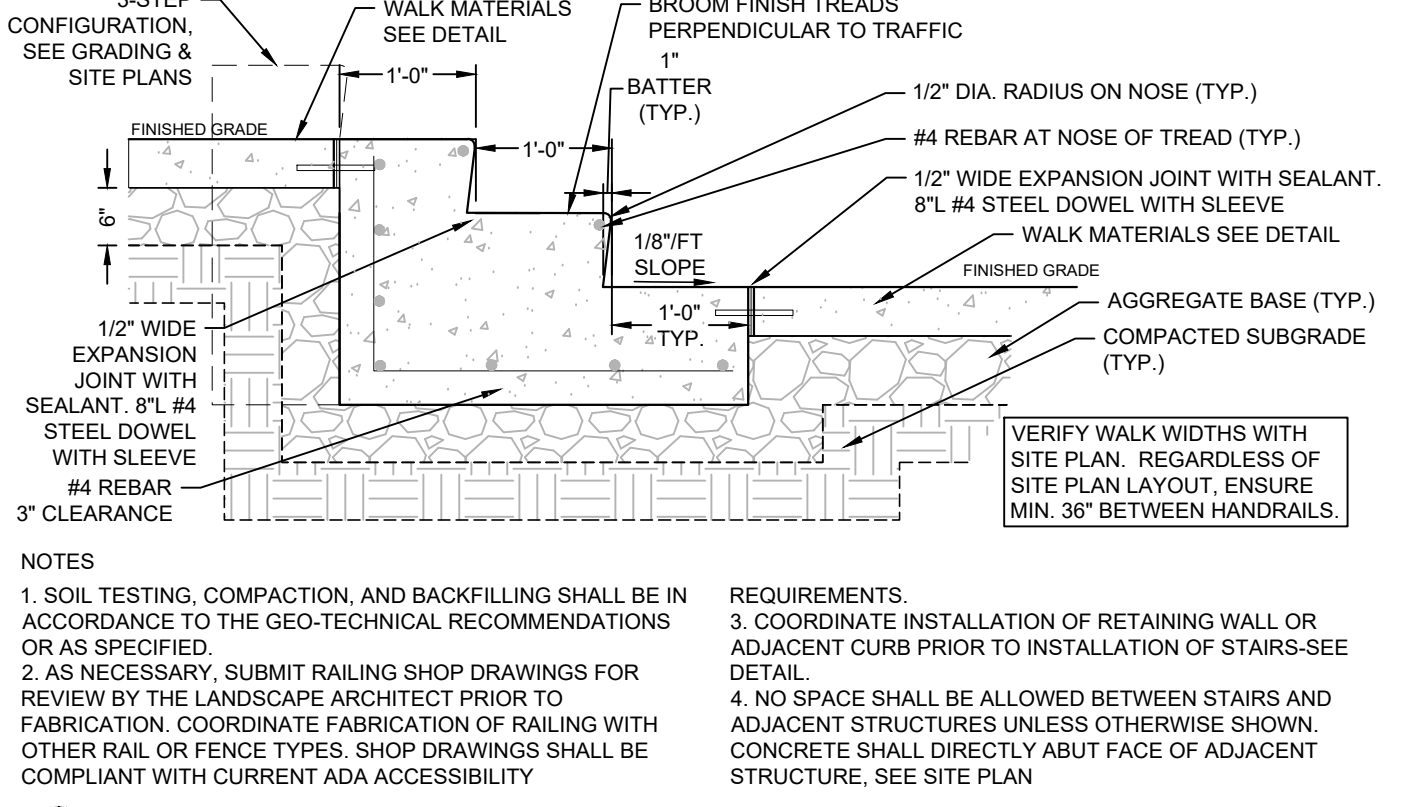
6 MODIFIED MONOLITHIC CURB
N T S



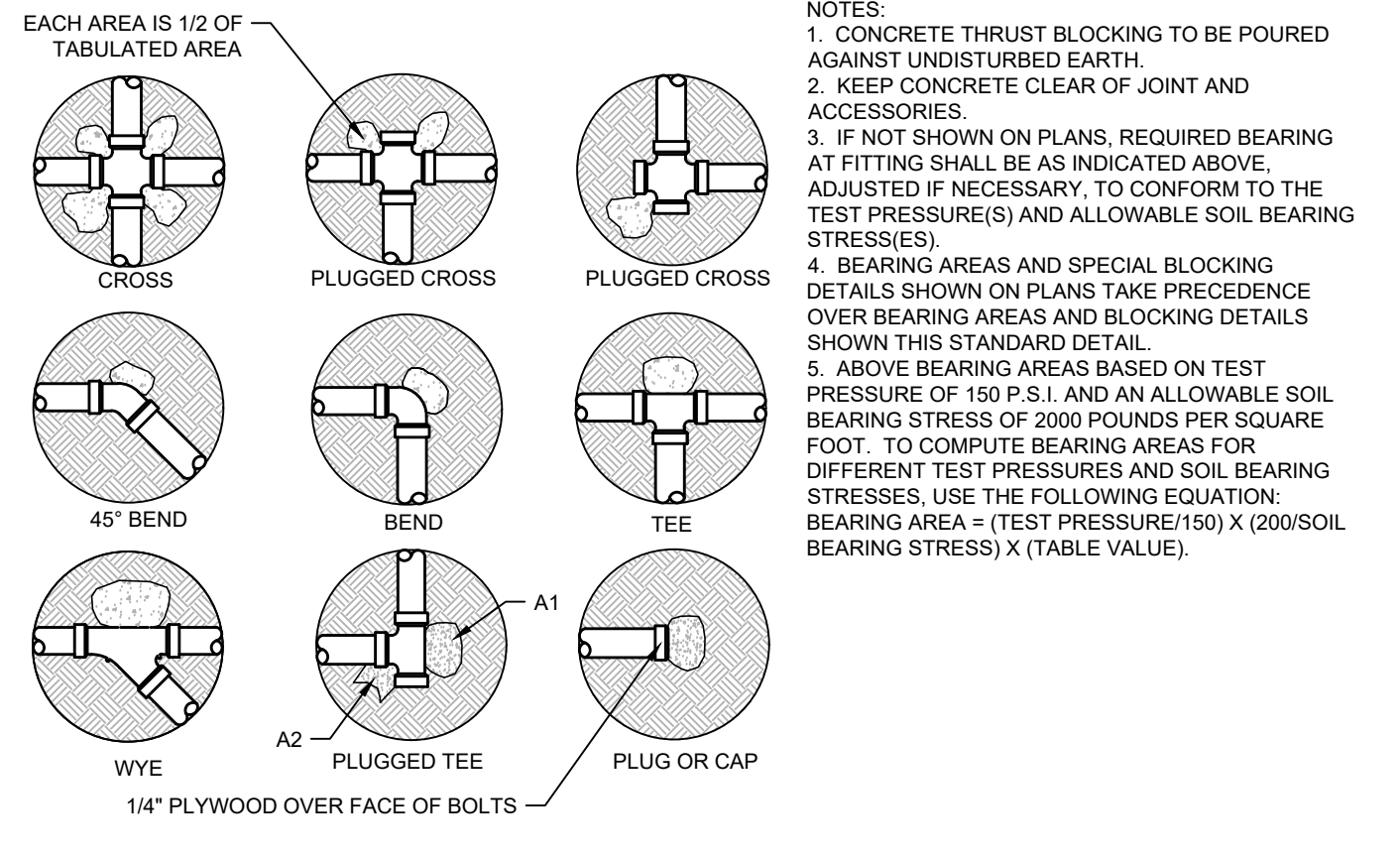
7 ACCESSIBLE SIGN & CHANNEL POST - LOT LOCATION
N T S



8 ACCESSIBLE PARKING PAVEMENT MARKING
N T S

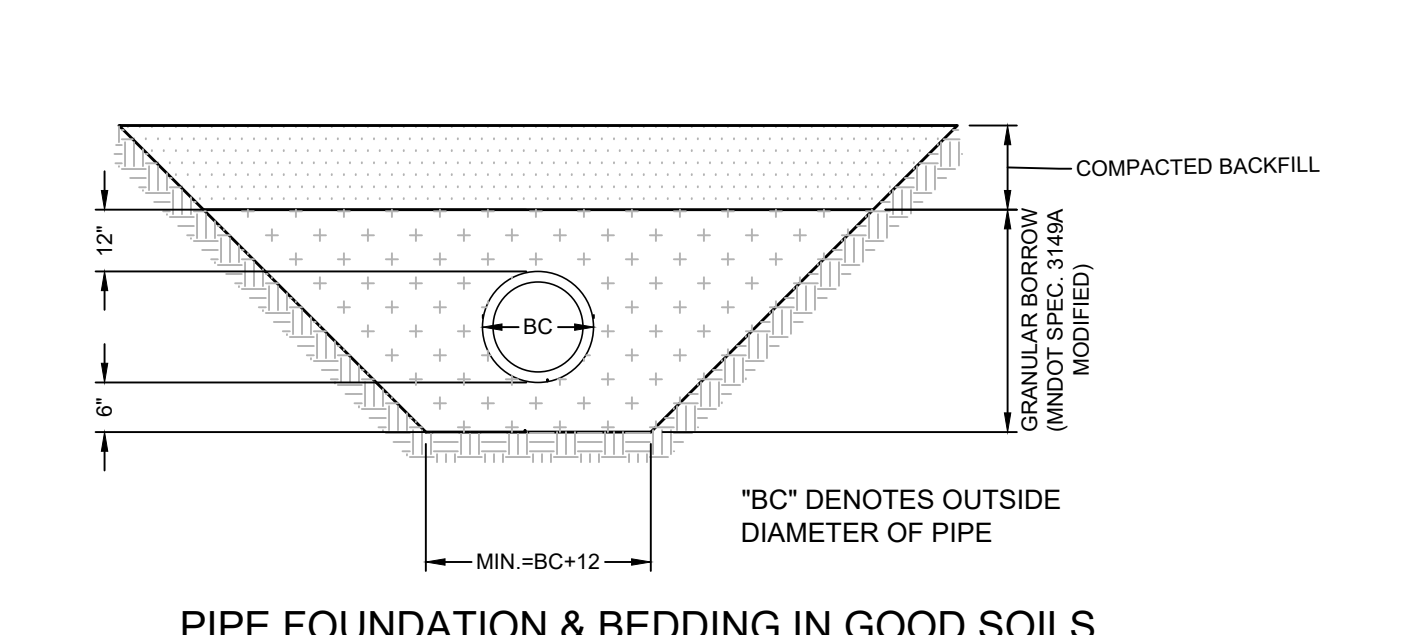


9 EXTERIOR SITE STEP - 2-3 STEP DESIGN
N T S USE ONLY WITH IRC BUILDING TYPES

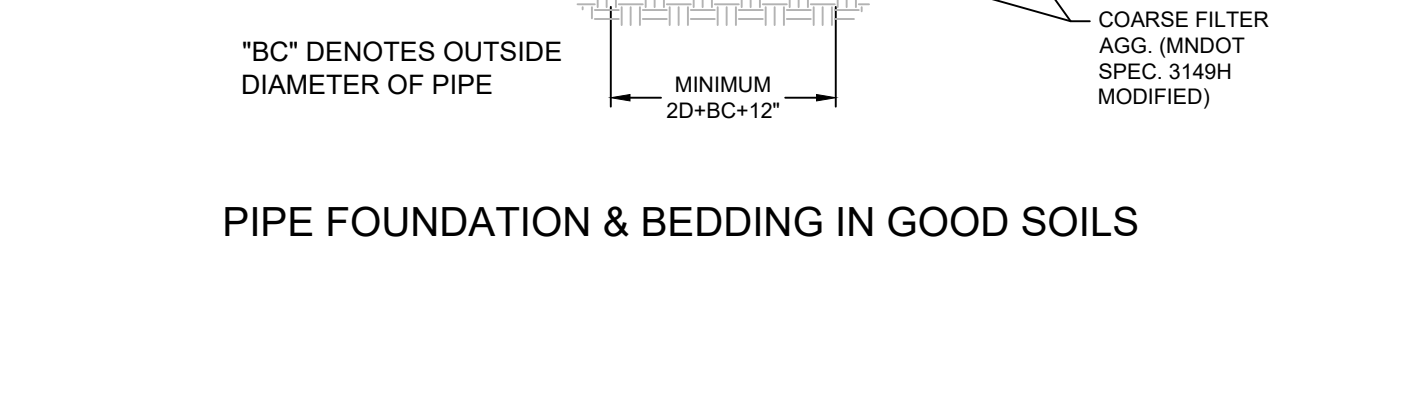
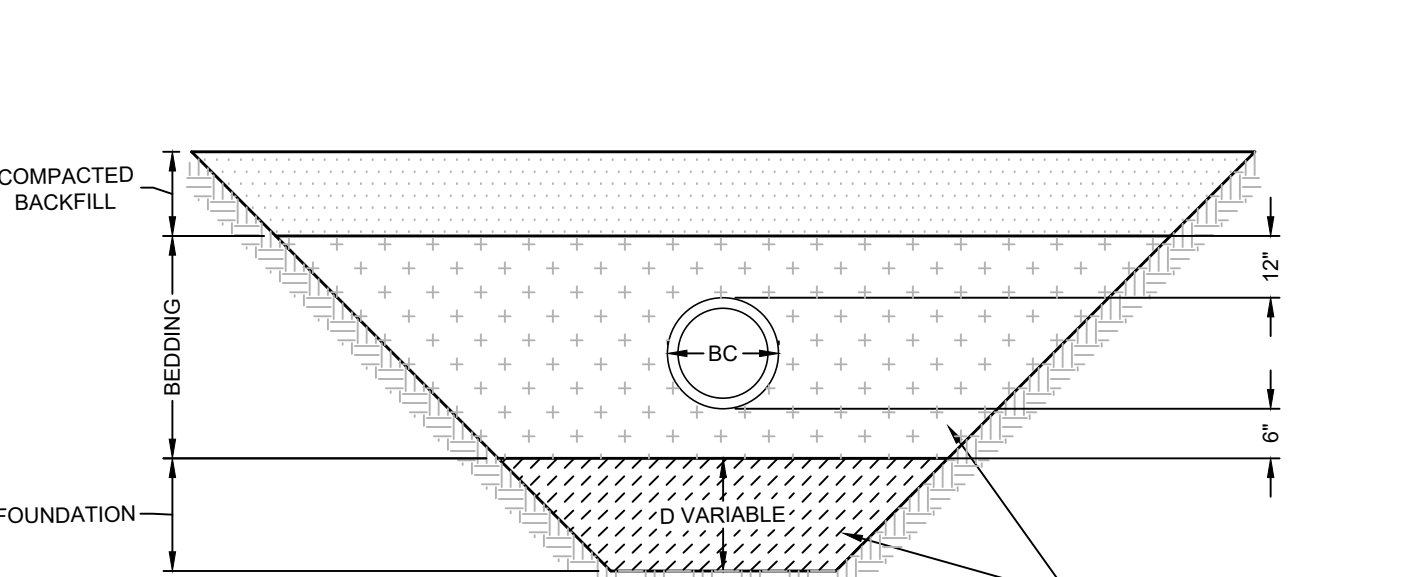


NOMINAL FITTING SIZE (IN.)	TEE, WYE, PLUG OR CAP	90° BEND, PLUGGED CROSS	TEE PLUGGED ON	45° BEND	22.5° BEND	11.25° BEND
4	1.0	1.4	1.9	1.4	1.0	-
6	2.1	3	4.3	3	1.8	-
8	3.8	5.3	7.6	5.4	2.9	1.5
10	5.9	8.4	11.9	8.4	4.6	2.4
12	8.5	12.0	17.0	12.0	6.6	2.4
14	11.5	16.3	23.0	16.3	8.9	4.6
16	15.0	21.3	30.0	21.3	11.6	6.0
18	19.0	27.0	38.0	27.0	14.6	7.6
20	23.5	33.3	47.0	33.3	18.1	8.4
24	34.0	48.0	66.0	48.0	26.2	13.6

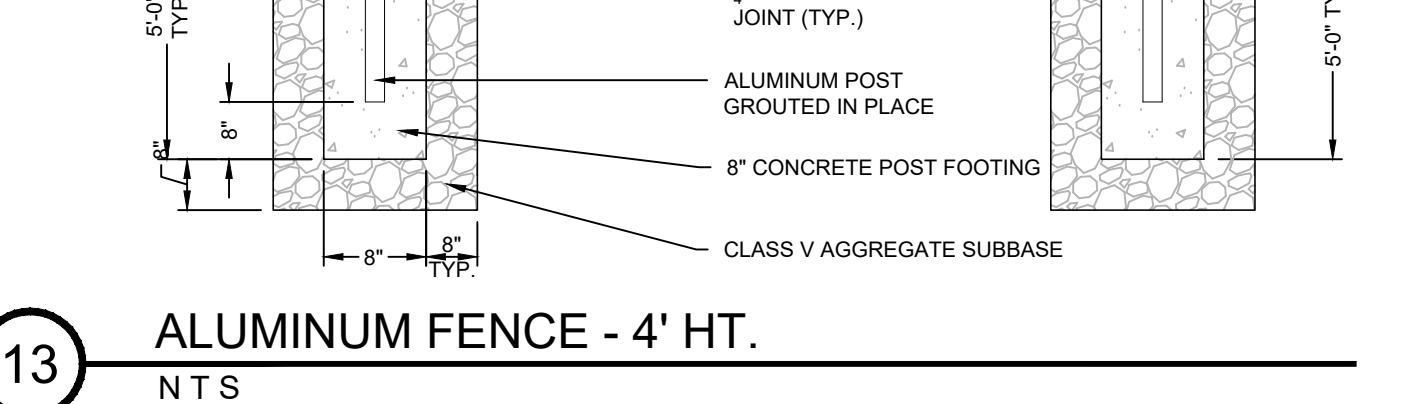
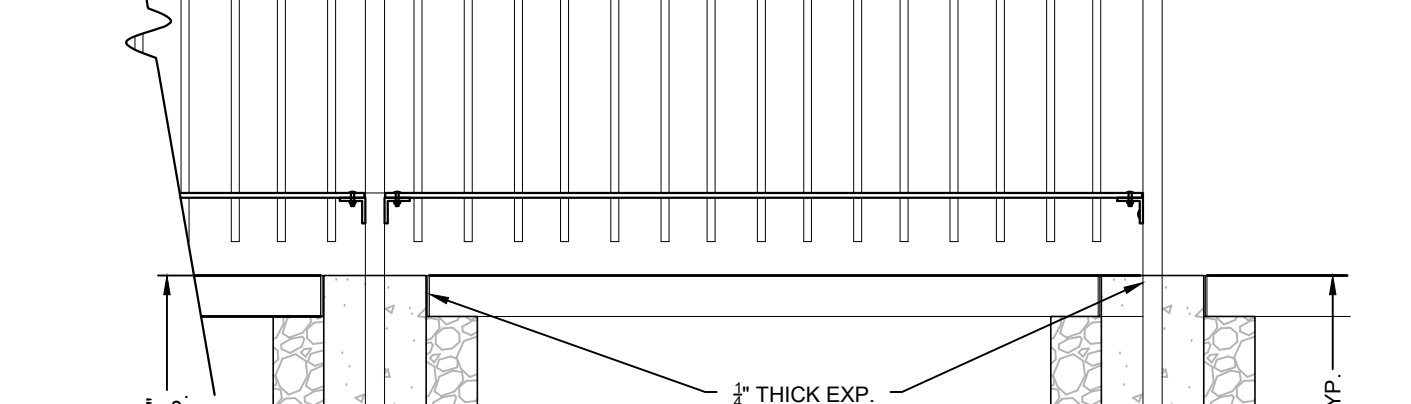
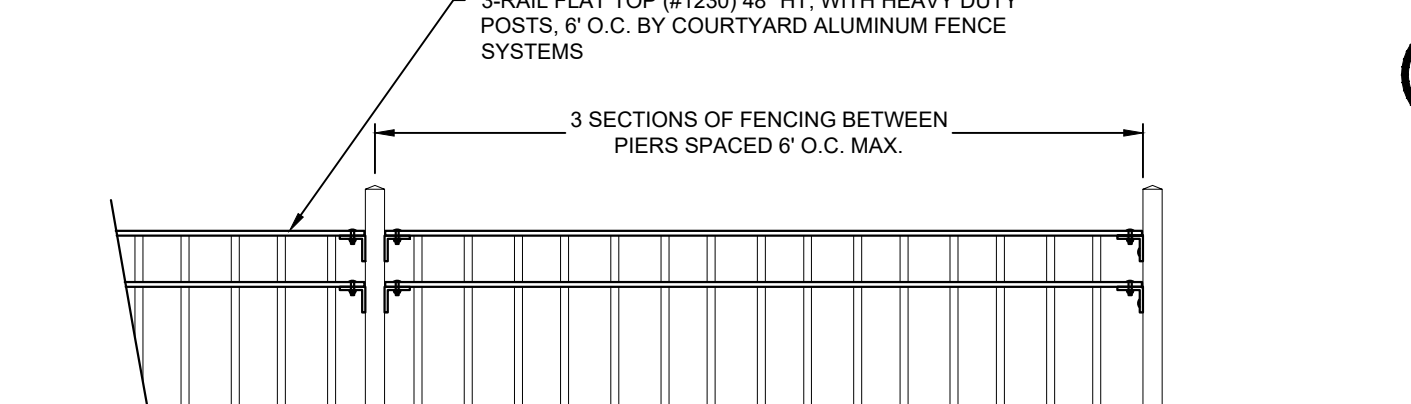
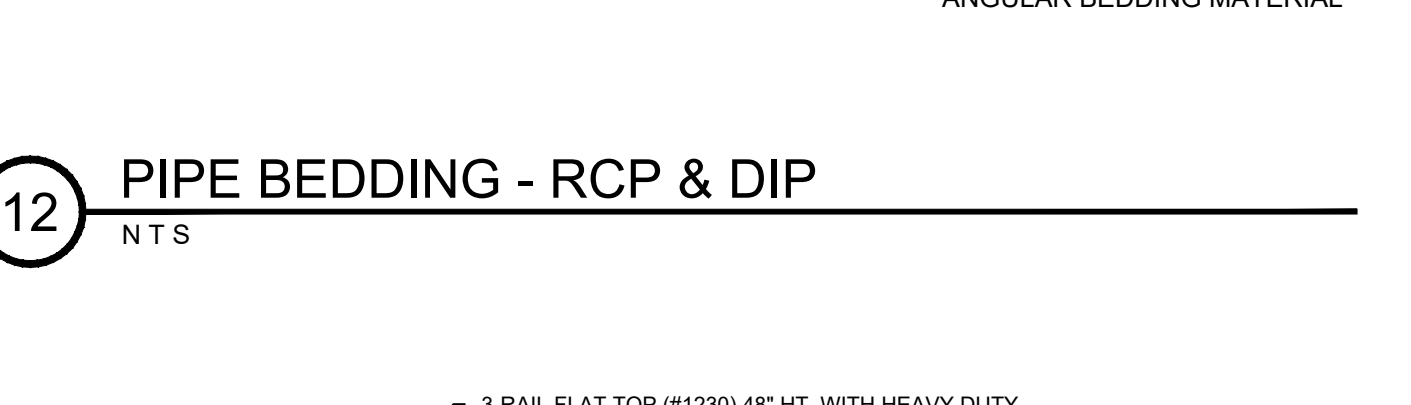
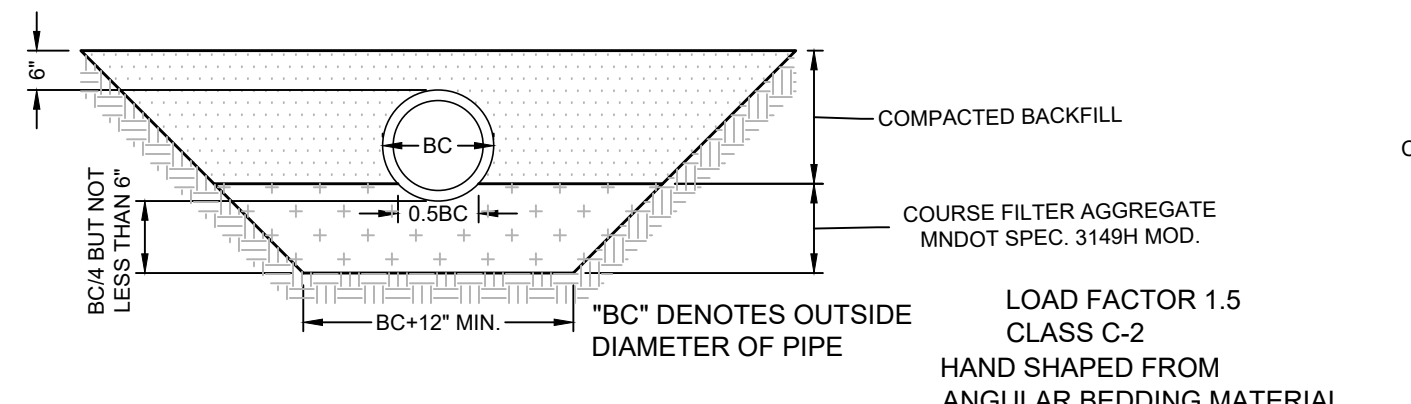
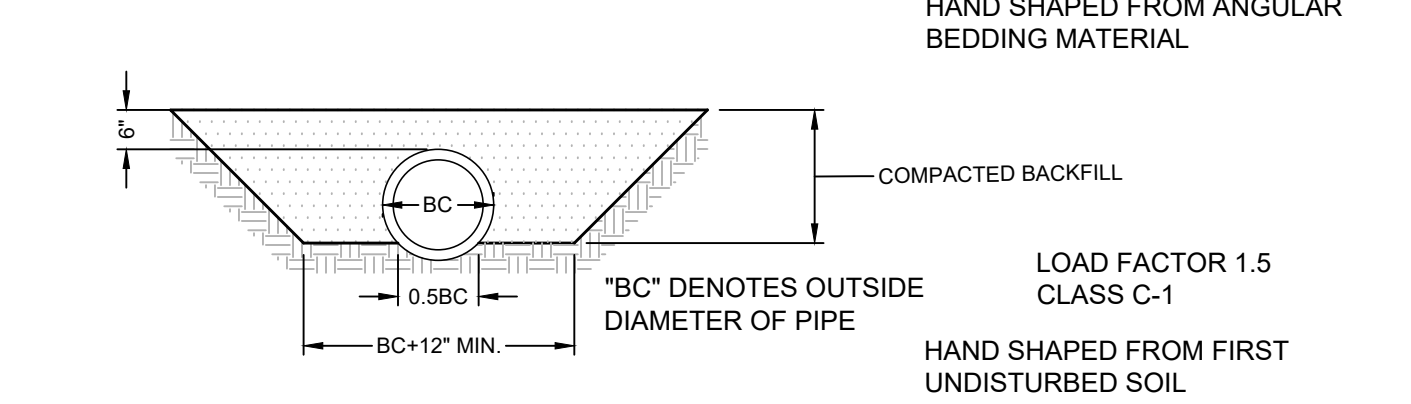
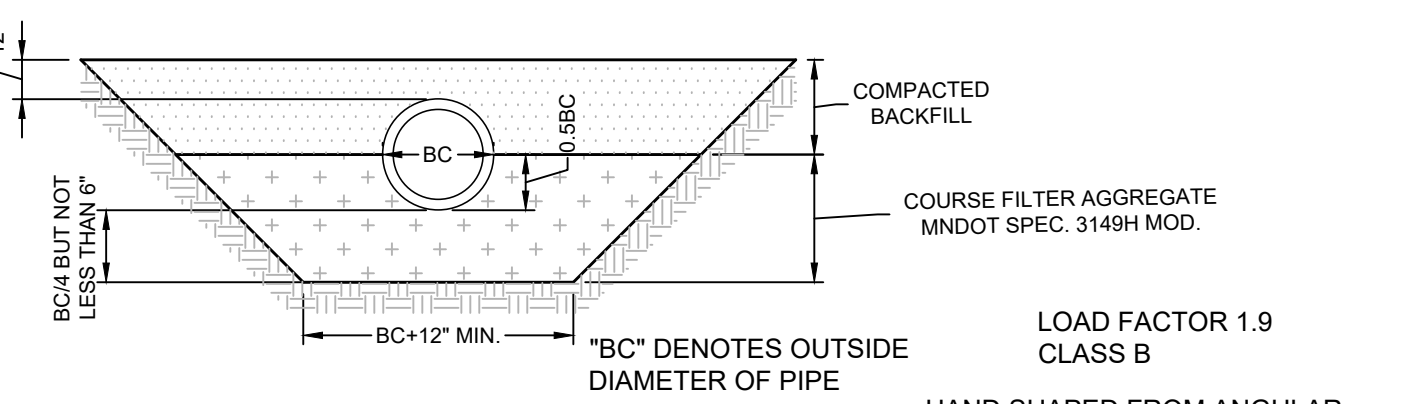
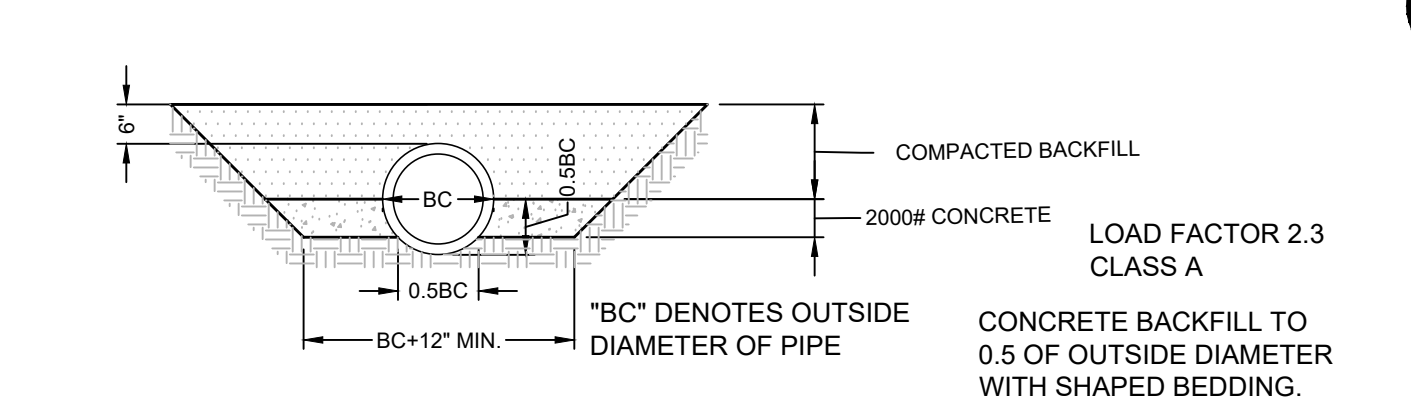
10 THRUST BLOCK
N T S



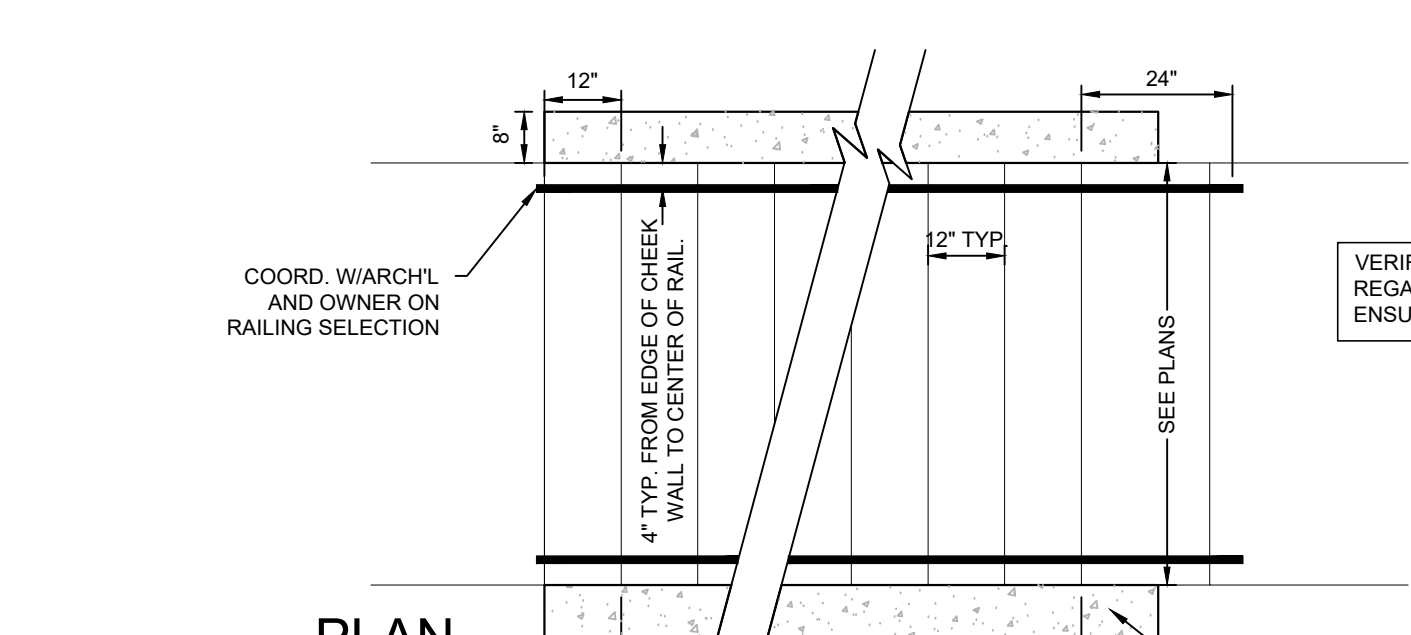
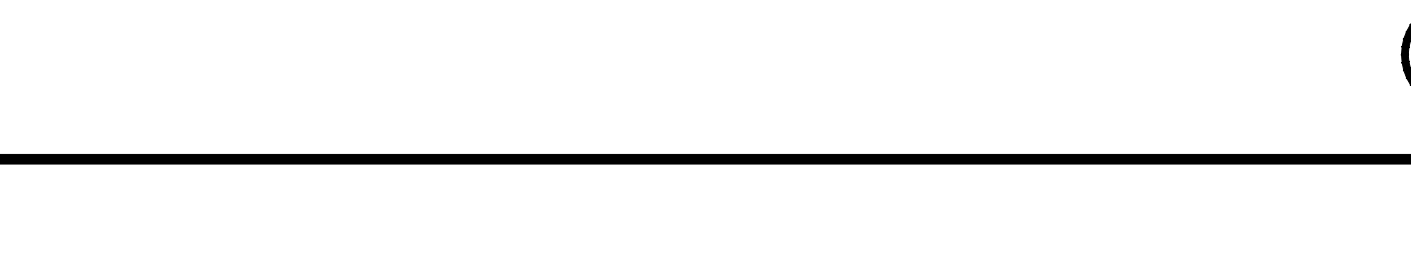
11 PIPE BEDDING - PVC
N T S



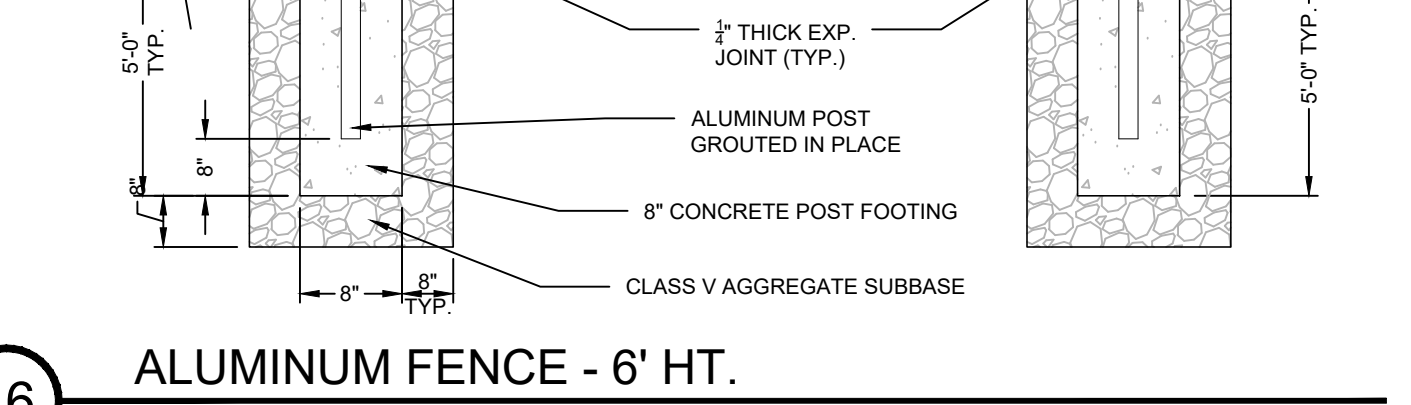
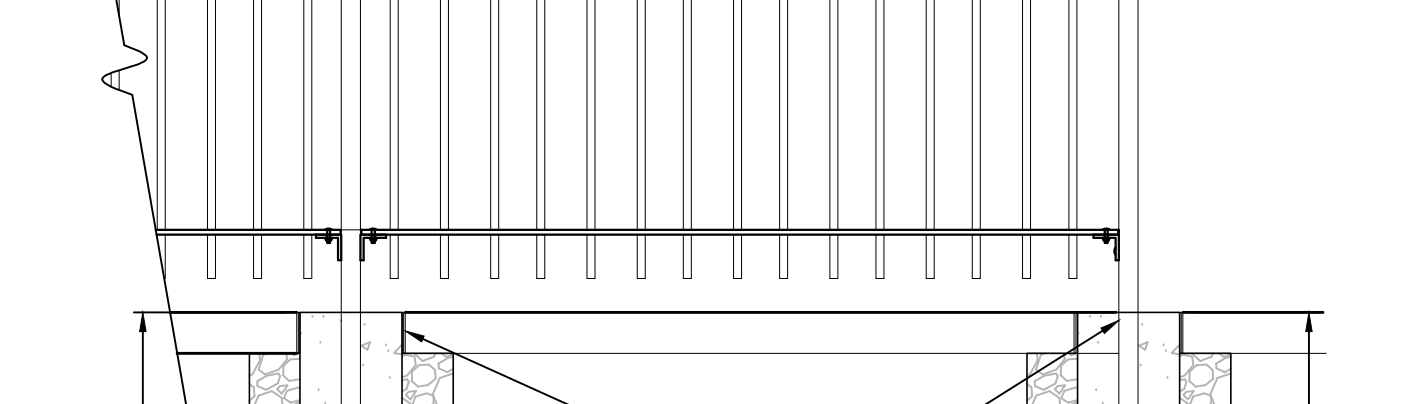
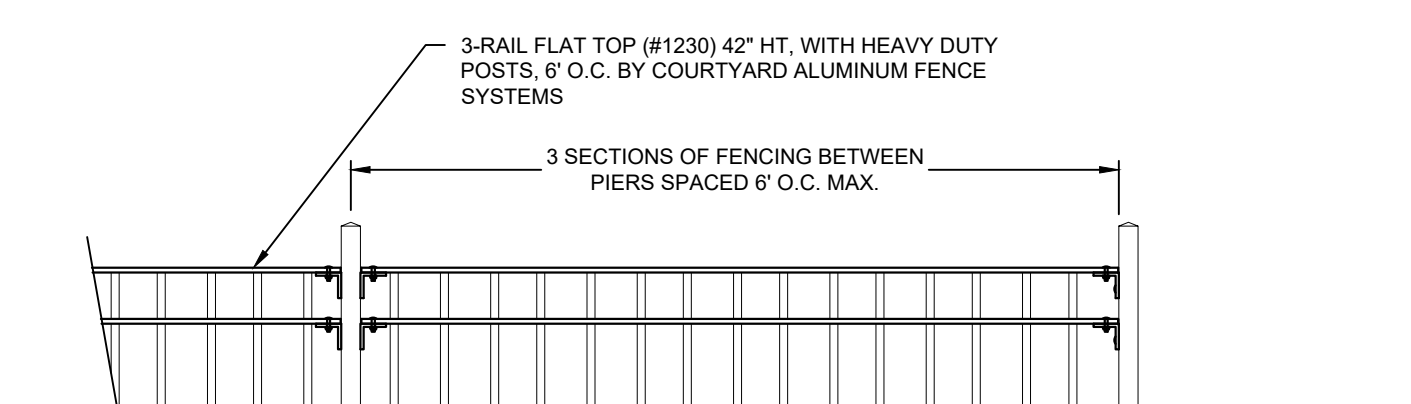
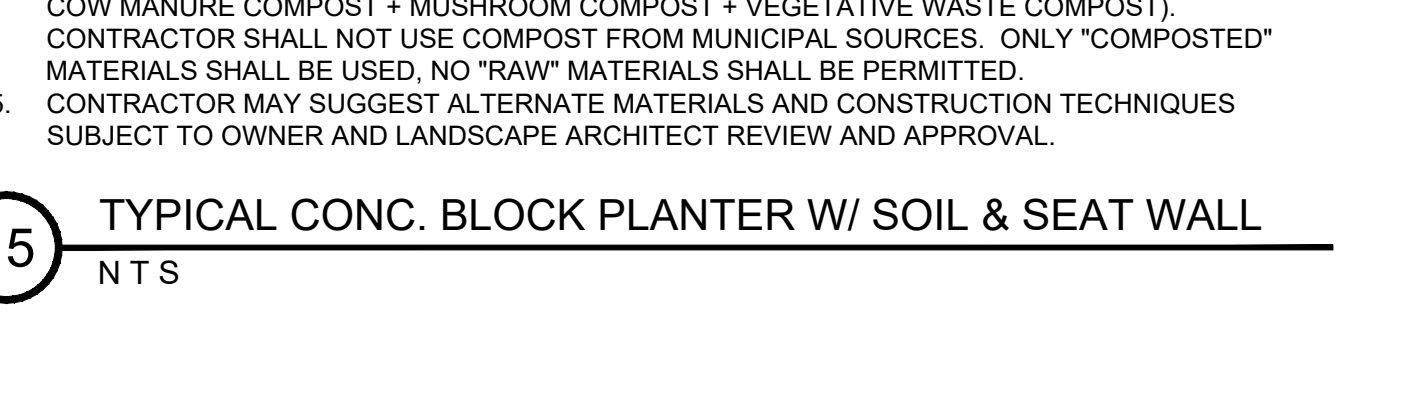
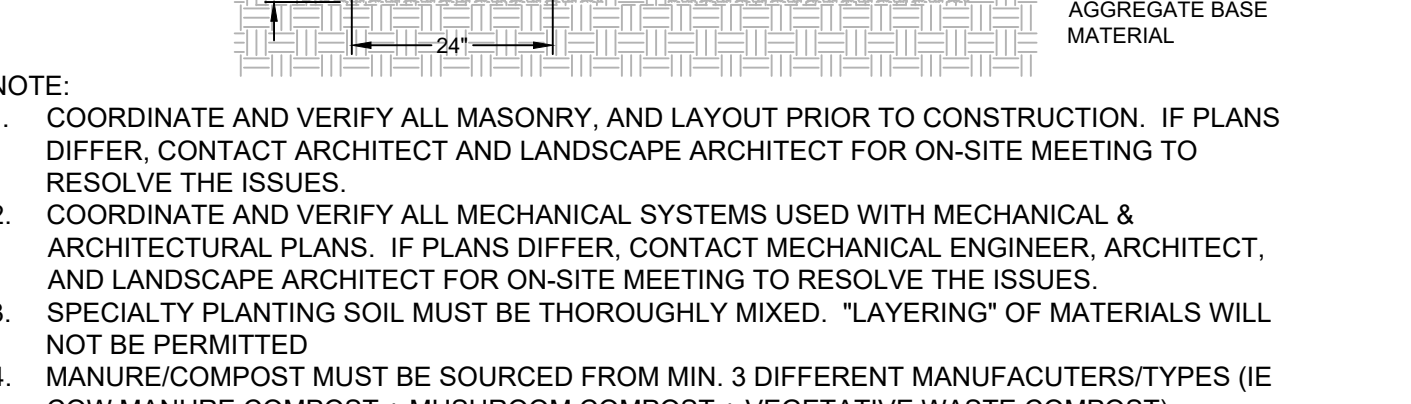
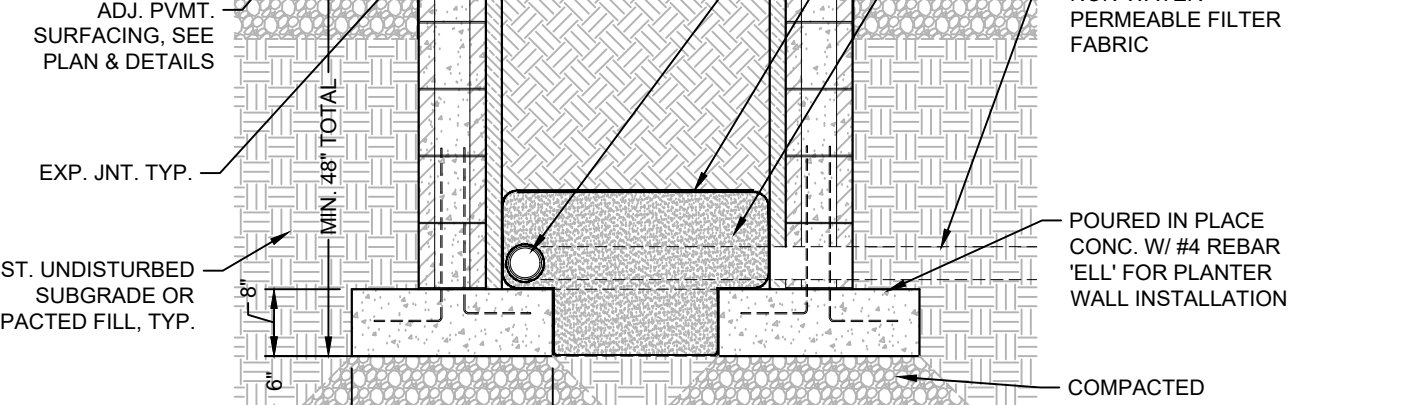
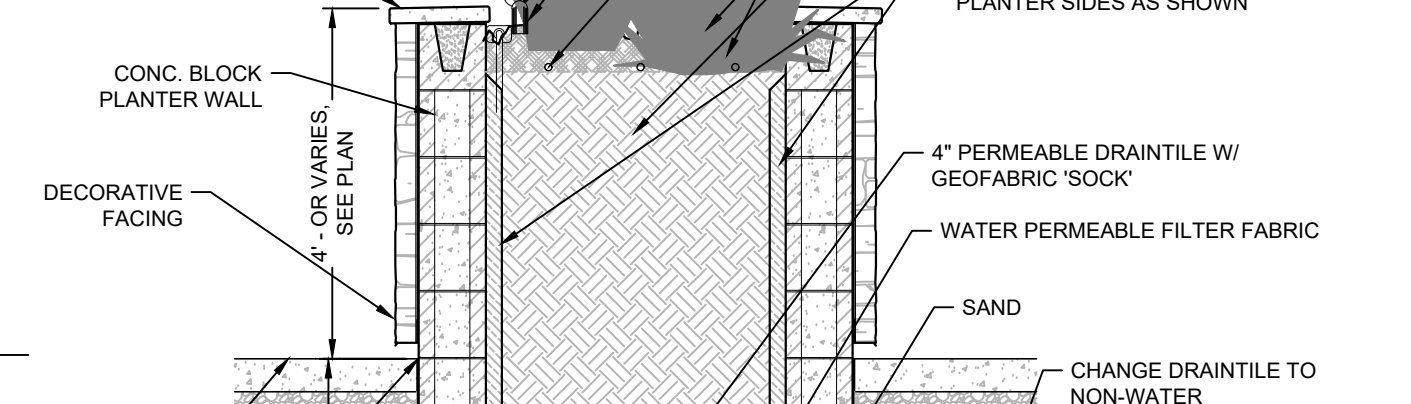
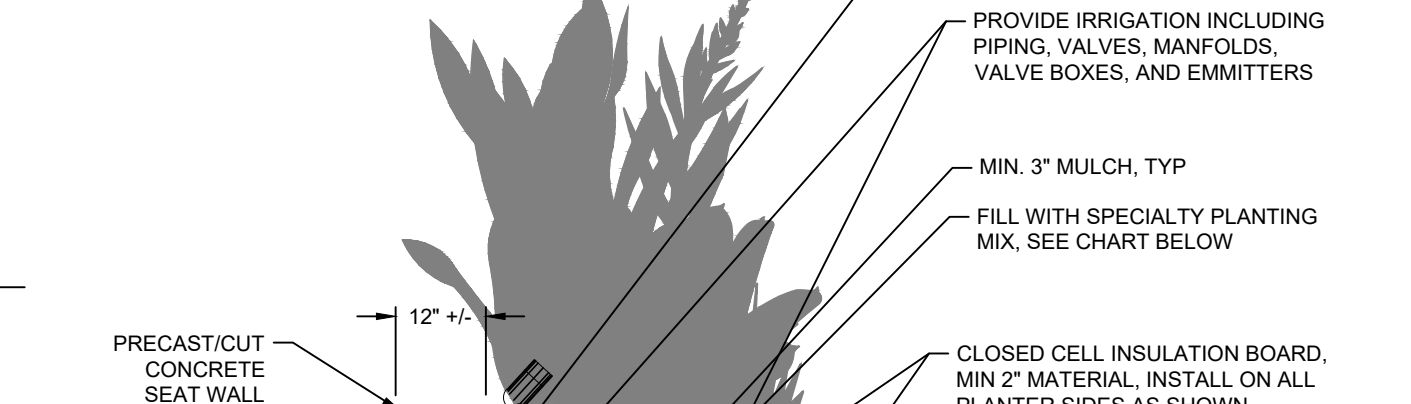
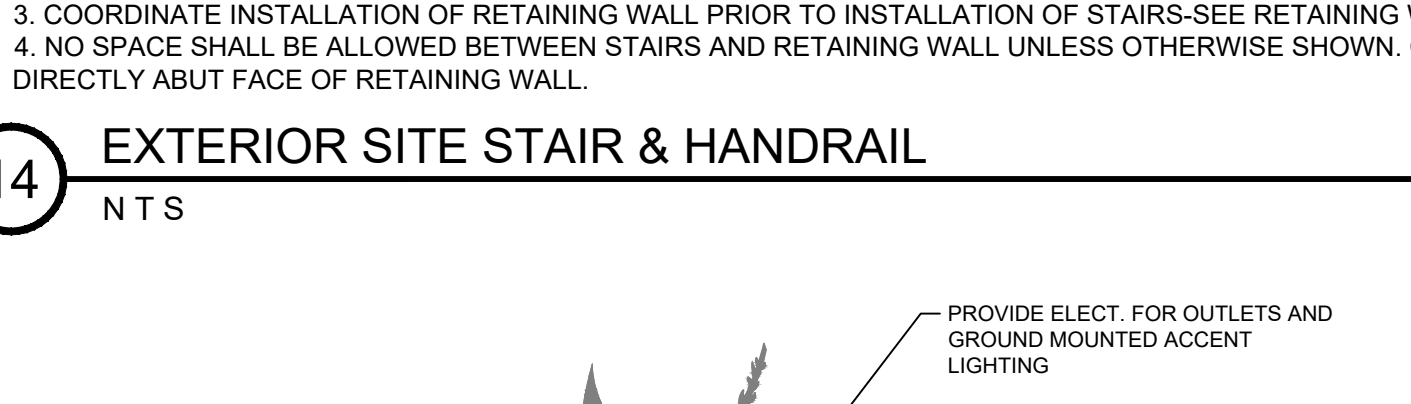
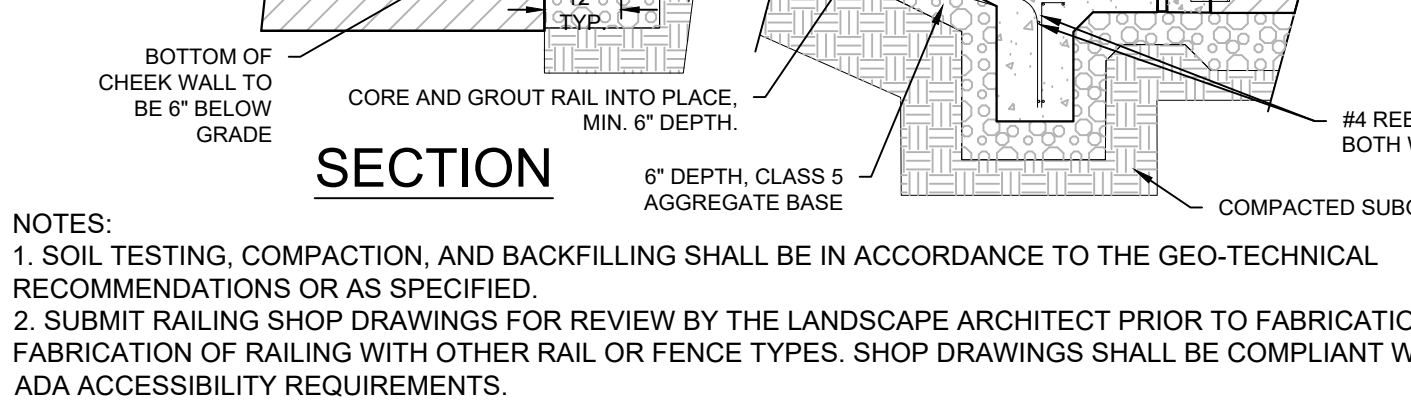
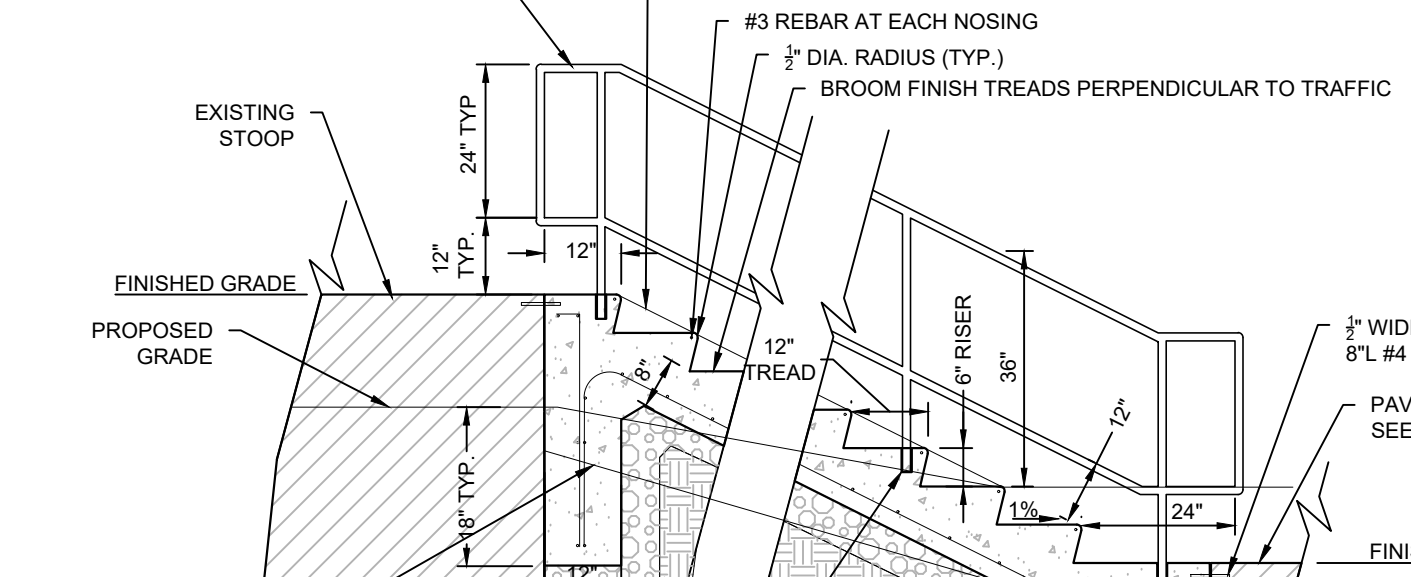
12 PIPE BEDDING - RCP & DIP
N T S



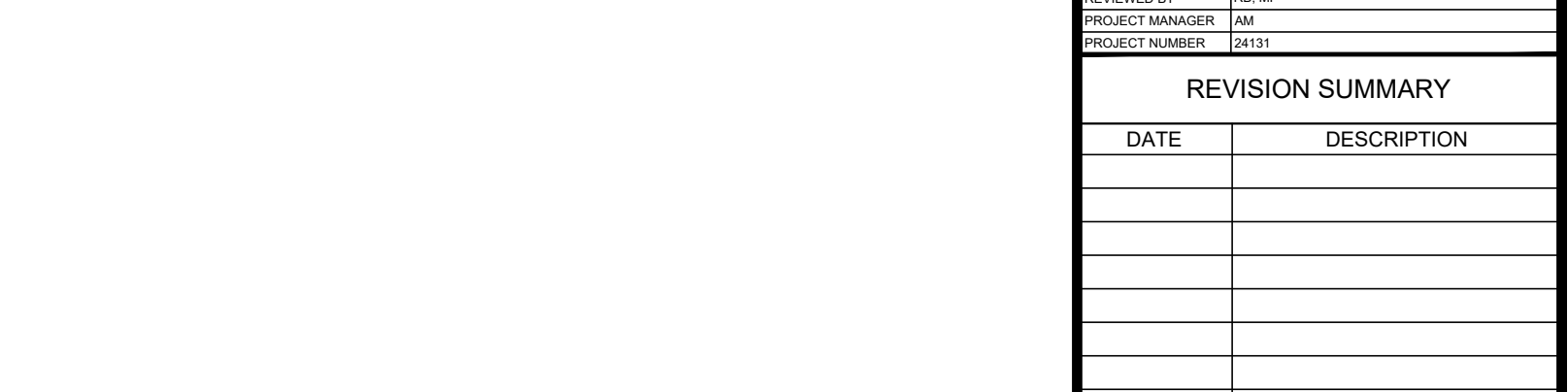
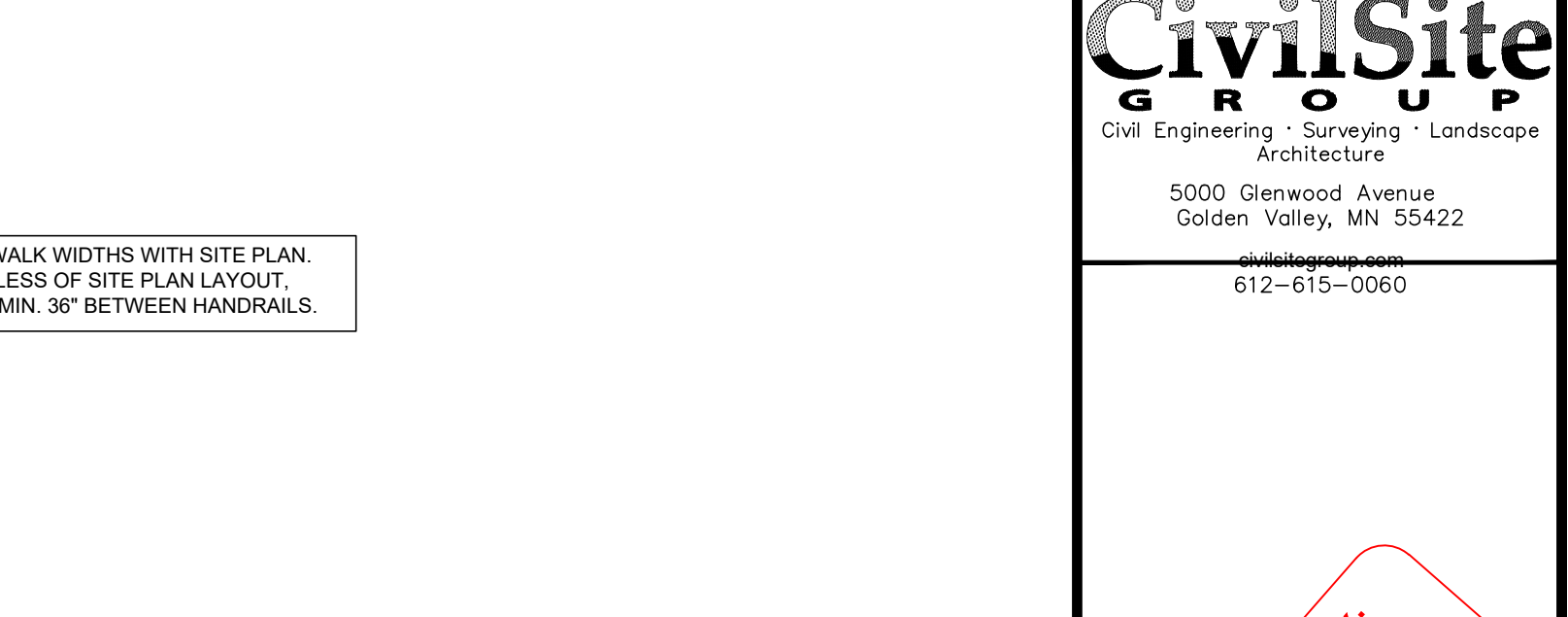
13 ALUMINUM FENCE - 4' HT.
N T S



14 EXTERIOR SITE STAIR & HANDRAIL
N T S



15 TYPICAL CONC. BLOCK PLANTER W/ SOIL & SEAT WALL
N T S



16 ALUMINUM FENCE - 6' HT.
N T S

NORHART RAMSEY
ZEOLITE ST NW & RAMSEY PKWY, RAMSEY, MN 55303
NORHART
1081 4TH ST SW, FOREST LAKE, MN 55025

I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

ANDERS S. MELBY
DATE: 04/03/24 LICENSE NO. 58960

DATE	DESCRIPTION
03/20/24	CITY SUBMITTAL

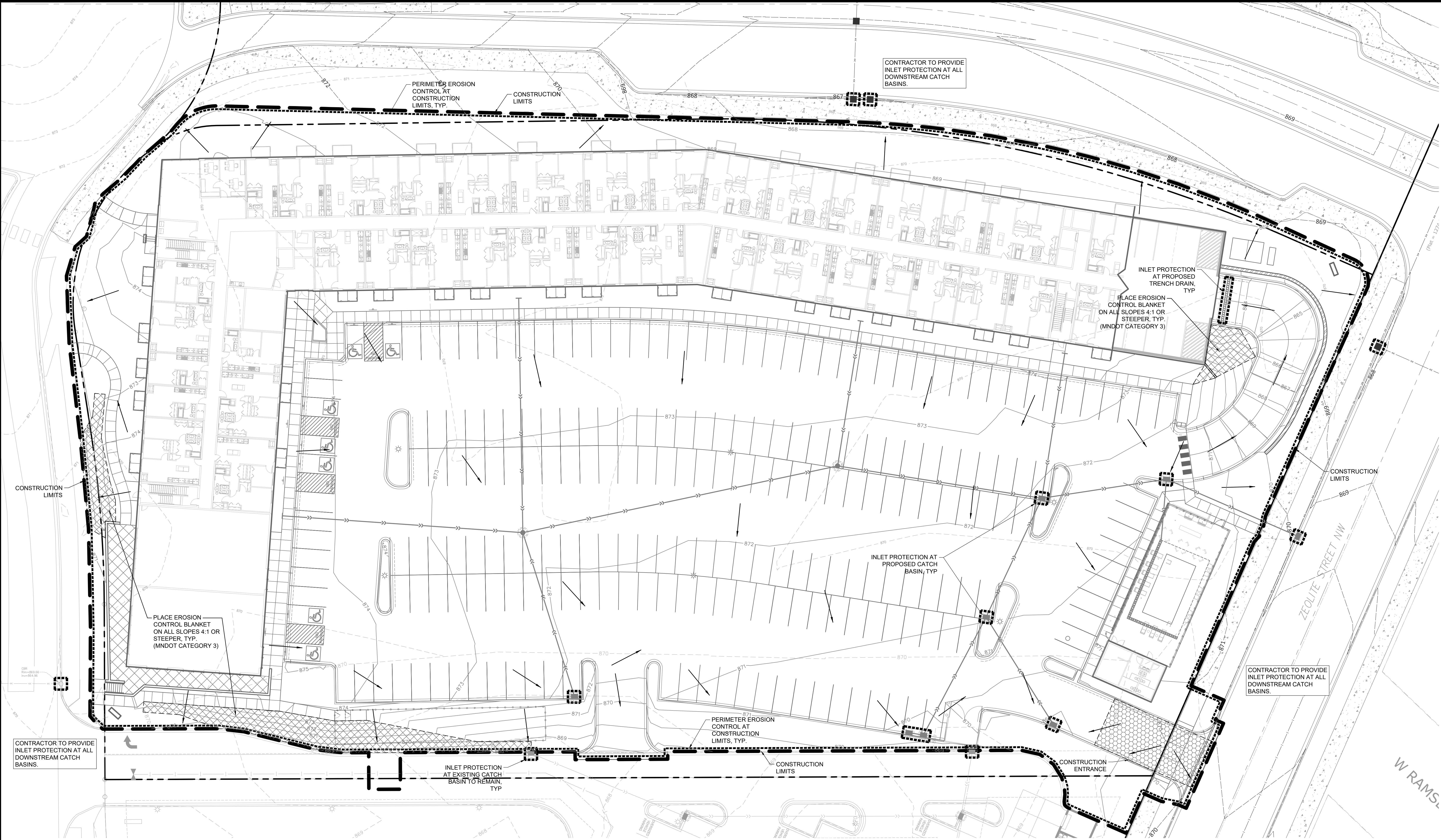
REVISION SUMMARY

DATE	DESCRIPTION
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CIVIL DETAILS

C5.2
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**PRELIMINARY:
NOT FOR
CONSTRUCTION**



- LOWER RUM RIVER WMO SITE SPECIFIC NOTES:**
1. EROSION CONTROL MEASURES MUST BE INSTALLED AT THE INITIAL STAGE OF SITE GRADING OPERATIONS.
 2. UPON COMPLETION OF CONSTRUCTION AND RESTORATION OF DISTURBED AREAS, THE PERMIT APPLICANT IS RESPONSIBLE FOR THE REMOVAL OF ALL EROSION CONTROL MEASURES INSTALLED THROUGHOUT THE CONSTRUCTION SITE.
 3. STREET SWEEPING MUST BE UNDERTAKEN AND COMPLETED ON AN AS NEEDED BASIS.
 4. COMPLIANCE WITH THE STORM WATER MANAGEMENT REQUIREMENTS OF THE LOWER RUM RIVER WATERSHED MANAGEMENT ORGANIZATION IS TO BE ADMINISTERED FOR THIS PROJECT BY THE CITY OF RAMSEY.
 5. IN ALL CASES WHERE DOING BY THE PERMITTEE OF ANYTHING AUTHORIZED BY THIS PERMIT SHALL INVOLVE THE TAKING, USING, OR DAMAGING OF ANY PROPERTY, RIGHT OR INTERESTS OF ANY OTHER PERSON OR PERSONS, OR OF ANY PUBLICLY OWNED LANDS OR IMPROVEMENTS OR INTERESTS, THE PERMITTEE, BEFORE PROCEEDING, SHALL OBTAIN THE WRITTEN CONSENT OF ALL PERSONS, AGENCIES, OR AUTHORITIES CONCERNED, AND SHALL ACQUIRE ALL NECESSARY PROPERTY RIGHTS AND INTEREST.

- CITY OF RAMSEY SITE SPECIFIC NOTES:**
1. A COPY OF EVERY WEEKLY AND RAINFALL EVENT INSPECTION MUST BE SENT TO CITY INSPECTOR AT END OF PROJECT. INSPECTION HISTORY MUST BE FORWARDED TO CITY.

ALL SPECIFIED EROSION AND SEDIMENT CONTROL PRACTICES, AND MEASURES CONTAINED IN THIS SWPPP ARE THE MINIMUM REQUIREMENTS. ADDITIONAL PRACTICES MAY BE REQUIRED DURING THE COURSE OF CONSTRUCTION.

- SWPPP NOTES:**
1. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "OPHER STATE ONE CALL" (651-454-0002 OR 800-252-1166) FOR UTILITY LOCATIONS. 48 HOURS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
 2. THIS PROJECT IS GREATER THAN ONE ACRE AND WILL REQUIRE AN MPCA NPDES PERMIT. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY EROSION CONTROL PERMITS REQUIRED BY THE CITY.
 3. SEE SHEETS SW1.0 - SW1.3 FOR ALL EROSION CONTROL NOTES, DESCRIPTIONS, AND PRACTICES.
 4. SEE GRADING PLAN FOR ADDITIONAL GRADING AND EROSION CONTROL NOTES.
 5. CONTRACTOR IS RESPONSIBLE FOR SWPPP IMPLEMENTATION, INSPECTIONS, AND COMPLIANCE WITH NPDES PERMIT.

LEGEND:

--- 1125 ---	EX. 1' CONTOUR ELEVATION INTERVAL
--- 1137 ---	1.0' CONTOUR ELEVATION INTERVAL
→	DRAINAGE ARROW
-----	SILT FENCE / BIOROLL - GRADING LIMIT
□	INLET PROTECTION
▨	STABILIZED CONSTRUCTION ENTRANCE
▩	EROSION CONTROL BLANKET

NORHART RAMSEY
ZEOLITE ST NW & RAMSEY PKWY, RAMSEY, MN 55303
NORHART
1081 4TH ST SW, FOREST LAKE, MN 55025

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

ANDERS S. MELBY
DATE 04/03/24 LICENSE NO. 58960

ISSUE/SUBMITTAL SUMMARY	
DATE	DESCRIPTION
4/3/2024	CITY SUBMITTAL

REVISION SUMMARY	
DATE	DESCRIPTION

SWPPP - PROPOSED CONDITIONS	

THE CONTRACTOR AND ALL SUBCONTRACTORS INVOLVED WITH A CONSTRUCTION ACTIVITY THAT DISTURBS SITE SOIL OR WHO IMPLEMENT A POLLUTANT CONTROL MEASURE IDENTIFIED IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MUST COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT (DATED AUGUST 1, 2018 # MNR100001) AND ANY LOCAL GOVERNING AGENCY HAVING JURISDICTION CONCERNING EROSION AND SEDIMENTATION CONTROL.

STORMWATER DISCHARGE DESIGN REQUIREMENTS

SWPPP

THE NATURE OF THIS PROJECT WILL BE CONSISTENT WITH WHAT IS REPRESENTED IN THIS SET OF CONSTRUCTION PLANS AND SPECIFICATIONS. SEE THE SWPPP PLAN SHEETS AND SWPPP NARRATIVE ATTACHMENT A. CONSTRUCTION SWPPP MUST COMPLY WITH THE REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) GENERAL PERMIT (DATED AUGUST 1, 2018 # MNR100001) AND ANY LOCAL GOVERNING AGENCY HAVING JURISDICTION CONCERNING EROSION AND SEDIMENTATION CONTROL. BMPs: STANDARD DETAILS ARE ATTACHED TO THIS SWPPP DOCUMENT.

THE INTENDED SEQUENCING OF MAJOR CONSTRUCTION ACTIVITIES IS AS FOLLOWS:

1. INSTALL STABILIZED ROCK CONSTRUCTION ENTRANCE
2. INSTALLATION OF SILT FENCE AROUND SITE
3. INSTALL ORANGE CONSTRUCTION FENCING AROUND INFILTRATION AREAS
4. INSTALL INLET PROTECTION AT ALL ADJACENT AND DOWNSTREAM CATCH BASINS
5. CLEAR AND GRUB FOR TEMPORARY SEDIMENT BASIN / POND INSTALL
6. CONSTRUCT TEMPORARY SEDIMENT BASIN / POND (SECTION 14)
7. CLEAR AND GRUB REMAINDER OF SITE
8. STRIP AND STOCKPILE TOPSOIL
9. ROUGH GRADING OF SITE
10. STABILIZE DENUDEED AREAS AND STOCKPILES
11. INSTALL SANITARY SEWER, WATER MAIN STORM SEWER AND SERVICES
12. INSTALL SILT FENCE, INLET PROTECTION AROUND CFS
13. INSTALL STREET SECTION
14. INSTALL CURB AND GUTTER
15. BITUMINOUS ON STREETS
16. FINAL GRADE BOULEVARD, INSTALL SEED AND MULCH
17. REMOVE ACCUMULATED SEDIMENT FROM BASIN / POND
18. FINAL GRADE POND / INFILTRATION BASINS (DO NOT COMPACT SOILS IN INFILTRATION AREAS.)
19. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED BY EITHER SEED OR SOILLANDSCAPING, REMOVE SILT FENCE AND RESEED ANY AREAS DISTURBED BY THE REMOVAL.

RECORDS RETENTION:

THE SWPPP (ORIGINAL OR COPIES) INCLUDING, ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS MUST BE KEPT AT THE SITE DURING CONSTRUCTION BY THE PERMITTEE WHO HAS OPERATIONAL CONTROL OF THAT PORTION OF THE SITE. THE SWPPP CAN BE KEPT IN EITHER THE FIELD OFFICE OR IN AN ON-SITE BUILDING DURING NORMAL WORKING HOURS.

ALL OWNERS MUST KEEP THE SWPPP, ALONG WITH THE FOLLOWING ADDITIONAL RECORDS, ON FILE FOR THREE (3) YEARS AFTER SUBMITTAL OF THE NOT AS OUTLINED IN SECTION 4. THIS DOES NOT INCLUDE ANY RECORDS AFTER SUBMITTAL OF THE NOT.

1. THE FINAL SWPPP.
2. ANY OTHER STORMWATER RELATED PERMITS REQUIRED FOR THE PROJECT.
3. RECORDS OF ALL INSPECTION AND MAINTENANCE CONDUCTED DURING CONSTRUCTION (SEE SECTION 11, INSPECTIONS AND MAINTENANCE).
4. ALL PERMANENT OPERATION AND MAINTENANCE AGREEMENTS THAT HAVE BEEN IMPLEMENTED, INCLUDING ALL RIGHT OF WAY, CONTRACTS, COVENANTS AND OTHER BINDING REQUIREMENTS REGARDING PERPETUAL MAINTENANCE AND
5. ALL REQUIRED CALCULATIONS FOR DESIGN OF THE TEMPORARY AND PERMANENT STORMWATER MANAGEMENT SYSTEMS.

SWPPP IMPLEMENTATION RESPONSIBILITIES:

1. THE OWNER AND CONTRACTOR ARE PERMITTEE(S) AS IDENTIFIED BY THE NPDES PERMIT.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE IMPLEMENTATION OF THE SWPPP, INCLUDING THE ACTIVITIES OF ALL OF THE CONTRACTOR'S SUBCONTRACTORS.
3. CONTRACTOR SHALL PROVIDE PERSONNEL KNOWLEDGEABLE AND EXPERIENCED IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BMPs TO OVERSEE ALL INSTALLATION AND MAINTENANCE OF BMPs AND IMPLEMENTATION OF THE SWPPP.
4. CONTRACTOR SHALL PROVIDE PERSONNEL MEETING THE TRAINING REQUIREMENTS OF THE NPDES PERMIT TO CONDUCT INSPECTION AND MAINTENANCE OF ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPs IN ACCORDANCE WITH THE REQUIREMENTS OF THE PERMIT. ONE OF THESE INDIVIDUALS(S) MUST BE AVAILABLE FOR AN ON-SITE INSPECTION WITHIN 72 HOURS UPON REQUEST BY MPCA. CONTRACTOR SHALL PROVIDE TRAINING DOCUMENTATION FOR THESE INDIVIDUAL(S) AS REQUIRED BY THE NPDES PERMIT. THIS TRAINING DOCUMENTATION SHALL BE SUBMITTED WITH THE SWPPP. WHERE APPROPRIATE, CONTRACTOR SHALL AS SOON AS THE PERSONNEL FOR THE PROJECT HAVE BEEN DETERMINED, DOCUMENTATION SHALL INCLUDE:
 - 4.1. NAMES OF THE PERSONNEL ASSOCIATED WITH THE PROJECT THAT ARE REQUIRED TO BE TRAINED PER SECTION 21 OF THE PERMIT.
 - 4.2. DATES OF TRAINING AND NAME OF INSTRUCTOR AND ENTITY PROVIDING TRAINING.
 - 4.3. CONTENT OF TRAINING COURSE OR WORKSHOP INCLUDING THE NUMBER OF HOURS OF TRAINING.
 - 4.4. FOLLOWING FINAL ACCEPTANCE AND THE TERMINATION OF COVERAGE FOR THE NPDES PERMIT, THE OWNER IS EXPECTED TO FURNISH LONG TERM OPERATION AND MAINTENANCE (O & M) OF THE PERMANENT STORM WATER MANAGEMENT SYSTEM.

CONSTRUCTION ACTIVITY REQUIREMENTS

SWPPP AMENDMENTS (SECTION 6):

1. ONE OF THE INDIVIDUALS DESCRIBED IN ITEM 21.2.A OR ITEM 21.2.B OR ANOTHER QUALIFIED INDIVIDUAL MUST COMPLETE ALL SWPPP CHANGES. CHANGES INVOLVING THE USE OF A LESS STRINGENT BMP MUST INCLUDE A JUSTIFICATION DESCRIBING HOW THE REPLACEMENT BMP IS EFFECTIVE FOR THE SITE CHARACTERISTICS.
2. PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMPs AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE, WEATHER, OR OTHER SITE CONDITIONS HAVING A SIGNIFICANT EFFECT ON THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER.
3. PERMITTEES MUST AMEND THE SWPPP TO INCLUDE ADDITIONAL OR MODIFIED BMPs AS NECESSARY TO CORRECT PROBLEMS IDENTIFIED OR ADDRESS SITUATIONS WHENEVER INSPECTIONS OR INVESTIGATIONS BY THE SITE OWNER OR OPERATOR, USEPA OR MPCA OFFICIALS INDICATE THE SWPPP IS NOT EFFECTIVE IN ELIMINATING OR SIGNIFICANTLY MINIMIZING THE DISCHARGE OF POLLUTANTS TO SURFACE WATERS OR GROUNDWATER OR THE DISCHARGES ARE CAUSING WATER QUALITY STANDARD EXCEEDANCES (E.G., NUISANCE CONDITIONS AS DEFINED IN MINN. R. 7050.0210, SUBP. 2) OR THE SWPPP IS NOT CONSISTENT WITH THE OBJECTIVES OF A USEPA APPROVED TMDL.

BMP SELECTION AND INSTALLATION (SECTION 7):

1. PERMITTEES MUST SELECT, INSTALL, AND MAINTAIN THE BMPs IDENTIFIED IN THE SWPPP AND IN THIS PERMIT IN AN APPROPRIATE AND FUNCTIONAL MANNER AND IN ACCORDANCE WITH RELEVANT MANUFACTURER SPECIFICATIONS AND ACCEPTED ENGINEERING PRACTICES.

EROSION PREVENTION (SECTION 8):

1. BEFORE WORK BEGINS, PERMITTEES MUST DELINEATE THE LOCATION OF AREAS NOT TO BE DISTURBED.
2. PERMITTEES MUST MINIMIZE THE NEED FOR DISTURBANCE OF PORTIONS OF THE PROJECT WITH STEEP SLOPES. WHEN STEEP SLOPES MUST BE DISTURBED, PERMITTEES MUST USE TECHNIQUES SUCH AS PHASING AND STABILIZATION PRACTICES DESIGNED FOR STEEP SLOPES (E.G., SLOPE DRAINAGE AND TERRACING).
3. PERMITTEES MUST STABILIZE ALL EXPOSED SOIL AREAS, INCLUDING STOCKPILES. STABILIZATION MUST BE INITIATED IMMEDIATELY TO LIMIT SOIL EROSION WHEN CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. STABILIZATION MUST BE COMPLETED NO LATER THAN 14 CALENDAR DAYS AFTER THE CONSTRUCTION ACTIVITY HAS CEASED. STABILIZATION ON CONSTRUCTION EQUIPMENT SHALL BE COMPLETED ON COMPONENTS OF TRUCKS, PARKING LOTS AND SIMILAR SURFACES. STABILIZATION IS NOT REQUIRED ON TEMPORARY STOCKPILES WITHOUT SIGNIFICANT SILT, CLAY OR ORGANIC COMPONENTS (E.G., CLEAN AGGREGATE STOCKPILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES) BUT PERMITTEES MUST PROVIDE SEDIMENT CONTROLS AT THE BASE OF THE STOCKPILE.
4. FOR PUBLIC WATERS THAT THE MINNESOTA DNR HAS PROMULGATED "WORK IN WATER RESTRICTIONS" DURING SPECIFIED FISH SPawning PERIODS, PERMITTEES MUST COMPLETE STABILIZATION OF ALL EXPOSED SOIL AREAS WITHIN 200 FEET OF THE WATERS EDGE, AND THAT DRAIN TO THESE WATERS, WITHIN 24 HOURS.
5. PERMITTEES MUST STABILIZE THE NORMAL WETTED PERIMETER OF THE LAST 200 LINEAR FEET OF TEMPORARY OR PERMANENT DRAINAGE DITCHES OR SWALES THAT DRAIN WATER FROM THE SITE WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER OR PROPERTY EDGE. PERMITTEES MUST COMPLETE STABILIZATION OF REMAINING PORTIONS OF TEMPORARY OR PERMANENT DITCHES OR SWALES WITHIN 14 CALENDAR DAYS AFTER CONNECTING TO A SURFACE WATER OR PROPERTY EDGE AND CONSTRUCTION IN THAT PORTION OF THE PERMITS AREA OR SHALL BE COMPLETED WITHIN 24 HOURS AFTER THEIR USE AS A SEDIMENT CONTAINMENT SYSTEM CEASES.
6. PERMITTEES MUST USE MULCH, HYDROMULCH, TACKIFIER, POLYACRYLAMIDE OR SIMILAR EROSION PREVENTION PRACTICES WITHIN ANY PORTION OF THE NORMAL WETTED PERIMETER OF A TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE SECTION WITH A CONTINUOUS SLOPE OF GREATER THAN 2 PERCENT.
7. PERMITTEES MUST PROVIDE TEMPORARY EROSION PREVENTION AND SEDIMENT CONTROL BMPs WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER OR PERMANENT STORMWATER TREATMENT SYSTEM.
8. PERMITTEES MUST NOT DISTURB MORE LAND (I.E., PHASING) THAN CAN BE EFFECTIVELY INSPECTED AND MAINTAINED IN ACCORDANCE WITH SECTION 11.

SEDIMENT CONTROL (SECTION 9):

1. PERMITTEES MUST ESTABLISH SEDIMENT CONTROL BMPs ON ALL DOWNGRADIENT PERIMETERS OF THE SITE AND DOWNGRADIENT AREAS OF THE SITE THAT DRAIN TO ANY SURFACE WATER, INCLUDING CURBS AND GUTTER SYSTEMS. PERMITTEES MUST LOCATE SEDIMENT CONTROL PRACTICES UPGRADIENT OF ANY BUFFER ZONES. PERMITTEES MUST INSTALL SEDIMENT CONTROL PRACTICES BEFORE ANY UPGRADE LAND-DISTURBING ACTIVITIES BEGIN AND MUST KEEP THE SEDIMENT CONTROL PRACTICES IN PLACE UNTIL THEY ESTABLISH PERMANENT COVER.
2. IF DOWNGRADIENT SEDIMENT CONTROLS ARE OVERLOADED, BASED ON FREQUENT FAILURE OR EXCESSIVE MAINTENANCE REQUIREMENTS, PERMITTEES MUST INSTALL ADDITIONAL UPGRADE SEDIMENT CONTROL PRACTICES OR REDUNDANT BMPs TO ELIMINATE THE OVERLOADING AND AMEND THE SWPPP TO IDENTIFY THESE ADDITIONAL PRACTICES AS REQUIRED IN ITEM 6.3.
3. TEMPORARY OR PERMANENT DRAINAGE DITCHES AND SEDIMENT BASINS DESIGNED AS PART OF A SEDIMENT CONTAINMENT SYSTEM (E.G., DITCHES WITH ROCK-CHECK DAMS) REQUIRE SEDIMENT CONTROL PRACTICES ONLY AS APPROPRIATE FOR SITE CONDITIONS.
4. A FLOATING SILT CURTAIN PLACED IN THE WATER IS NOT A SEDIMENT CONTROL BMP TO SATISFY ITEM 9.2 EXCEPT WHEN WORKING ON A SHORELINE OR BELOW THE WATERLINE. IMMEDIATELY AFTER THE SHORT TERM CONSTRUCTION ACTIVITY (E.G., INSTALLATION OF RIP RAP ALONG THE SHORELINE) IN THAT AREA IS COMPLETE, PERMITTEES MUST INSTALL AN UPWARD PERIMETER CONTROL PRACTICE IF EXPOSED SOILS STILL DRAIN TO A SURFACE WATER.
5. PERMITTEES MUST RE-INSTALL ALL SEDIMENT CONTROL PRACTICES ADJUSTED OR REMOVED TO ACCOMMODATE SHORT-TERM ACTIVITIES SUCH AS CLEARING OR GRUBBING, OR PASSAGE OF VEHICLES, IMMEDIATELY AFTER THE SHORT-TERM ACTIVITY IS COMPLETED. PERMITTEES MUST RE-INSTALL SEDIMENT CONTROL PRACTICES BEFORE THE NEXT PRECIPITATION EVENT EVEN IF THE SHORT-TERM ACTIVITY IS NOT COMPLETE.
6. PERMITTEES MUST PROTECT ALL STORM DRAIN INLETS USING APPROPRIATE BMPs DURING CONSTRUCTION UNTIL THEY ESTABLISH PERMANENT COVER ON ALL AREAS WITH POTENTIAL FOR DISCHARGING TO THE INLET.
7. PERMITTEES MAY REMOVE INLET PROTECTION FOR A PARTICULAR INLET IF A SPECIFIC SAFETY CONCERN (E.G., STREET FLOODING/RISINGS) IS IDENTIFIED BY THE PERMITTEES OR THE JURISDICTIONAL AUTHORITY (E.G., CITY/COUNTY/TOWNSHIP/MINNESOTA DEPARTMENT OF TRANSPORTATION ENGINEER). PERMITTEES MUST DOCUMENT THE NEED FOR REMOVAL IN THE SWPPP.
8. PERMITTEES MUST PROVIDE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS AT THE BASE OF STOCKPILES ON THE DOWNGRADIENT PERIMETER.
9. PERMITTEES MUST LOCATE STOCKPILES OUTSIDE OF NATURAL, BUFFER OR SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS CURBS AND GUTTER SYSTEMS UNLESS THERE IS A BYPASS IN PLACE FOR THE STORMWATER.
10. PERMITTEES MUST INSTALL A VEHICLE TRACKING BMP TO MINIMIZE THE TRACK OUT OF SEDIMENT FROM THE CONSTRUCTION SITE OR ON PAVED ROADS WITHIN THE SITE.
11. PERMITTEES MUST USE STREET SWEEPING IF VEHICLE TRACKING BMPs ARE NOT ADEQUATE TO PREVENT SEDIMENT TRACKING ONTO THE STREET.
12. PERMITTEES MUST INSTALL TEMPORARY SEDIMENT BASINS AS REQUIRED IN SECTION 14.
13. IN ANY AREAS OF THE SITE WHERE FINAL VEGETATIVE STABILIZATION WILL OCCUR, PERMITTEES MUST RESTRICT VEHICLE AND EQUIPMENT USE TO MINIMIZE SOIL COMPACTION.
14. PERMITTEES MUST PRESERVE TOPSOIL ON THE SITE, UNLESS INFEASIBLE.
15. PERMITTEES MUST DIRECT DISCHARGES FROM BMPs TO VEGETATED AREAS UNLESS INFEASIBLE.
16. PERMITTEES MUST PRESERVE A 50 FOOT NATURAL BUFFER OR, IF A BUFFER IS INFEASIBLE ON THE SITE, PROVIDE REDUNDANT (DOUBLE) PERIMETER SEDIMENT CONTROLS WHEN A SURFACE WATER IS LOCATED WITHIN 50 FEET OF THE PROJECTS EARTH DISTURBANCES AND STORMWATER FLOWS TO THE SURFACE WATER. PERMITTEES MUST INSTALL PERIMETER SEDIMENT CONTROLS AT LEAST 5 FEET APART UNLESS LIMITED BY LACK OF AVAILABLE SPACE. NATURAL BUFFERS ARE NOT REQUIRED ADJACENT TO ROAD DITCHES, JUDICIAL DITCHES, COUNTY DITCHES, STORMWATER CONVEYANCE CHANNELS, STORM DRAIN INLETS, AND SEDIMENT BASINS, IF PRESERVING THE BUFFER IS INFEASIBLE, PERMITTEES MUST DOCUMENT THE REASONS

IN THE SWPPP, SHEET PILING IS A REDUNDANT PERIMETER CONTROL, IF INSTALLED IN A MANNER THAT RETAINS ALL STORMWATER.

17. PERMITTEES MUST USE POLYMERS, FLOCCULANTS, OR OTHER SEDIMENTATION TREATMENT CHEMICALS IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES, DOSING SPECIFICATIONS AND SEDIMENT REMOVAL DESIGN SPECIFICATIONS PROVIDED BY THE MANUFACTURER OR SUPPLIER. THE PERMITTEES MUST USE CONVENTIONAL EROSION AND SEDIMENT CONTROLS PRIOR TO CHEMICAL ADDITION AND MUST DIRECT TREATED STORMWATER TO A SEDIMENT CONTROL SYSTEM FOR FILTRATION OR SETTLEMENT OF THE FLOC PRIOR TO DISCHARGE.

DEWATERING AND BASIN DRAINING (SECTION 10):

1. PERMITTEES MUST DISCHARGE TURBID OR SEDIMENT-LADEN WATERS RELATED TO DEWATERING OR BASIN DRAINING (E.G., PUMPED DISCHARGES, TRENCH/DITCH CUTS FOR DRAINAGE) TO A TEMPORARY OR PERMANENT SEDIMENT BASIN ON THE PROJECT SITE UNLESS INFEASIBLE. PERMITTEES MAY DEWATER TO SURFACE WATERS IF THEY VISUALLY CHECK TO ENSURE ADEQUATE TREATMENT HAS BEEN OBTAINED AND NUISANCE CONDITIONS (SEE MINN. R. 7050.0210, SUBP. 2) WILL NOT RESULT FROM THE DISCHARGE. IF PERMITTEES CANNOT DISCHARGE WATERS TO A SEDIMENTATION BASIN PRIOR TO ENTERING A SURFACE WATER, PERMITTEES MUST TREAT IT WITH APPROPRIATE BMPs SUCH THAT THE DISCHARGE DOES NOT ADVERSELY AFFECT THE SURFACE WATER OR DOWNSTREAM PROPERTIES.
2. IF PERMITTEES MUST DISCHARGE WATER CONTAINING OIL OR GREASE, THEY MUST USE AN OIL-WATER SEPARATOR OR SUITABLE FILTRATION DEVICE (E.G., CARTRIDGE FILTERS, ABSORBENTS PADS) PRIOR TO DISCHARGE.
3. PERMITTEES MUST DISCHARGE ALL WATER FROM DEWATERING OR BASIN-DRAINING ACTIVITIES IN A MANNER THAT DOES NOT CAUSE EROSION OR SCOUR IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS OR INUNDATION OF WETLANDS IN THE IMMEDIATE VICINITY OF DISCHARGE POINTS THAT COULDS SIGNIFICANT ADVERSE IMPACT TO THE WETLAND.
4. IF PERMITTEES USE FILTERS WITH BACKWASH WATER, THEY MUST HAUL THE BACKWASH WATER AWAY FOR DISPOSAL, RETURN THE BACKWASH WATER TO THE BEGINNING OF THE TREATMENT PROCESS, OR INCORPORATE THE BACKWASH WATER INTO THE SITE IN A MANNER THAT DOES NOT CAUSE EROSION.

INSPECTIONS AND MAINTENANCE (SECTION 11):

1. PERMITTEES MUST ENSURE A TRAINED PERSON, AS IDENTIFIED IN ITEM 21.2.B, WILL INSPECT THE ENTIRE CONSTRUCTION SITE AT LEAST EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 1/2 INCH IN 24 HOURS.
2. PERMITTEES MUST INSPECT AND MAINTAIN ALL PERMANENT STORMWATER TREATMENT BMPs.
3. PERMITTEES MUST INSPECT ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPs AND POLLUTION PREVENTION MANAGEMENT MEASURES TO ENSURE INTEGRITY AND EFFECTIVENESS. PERMITTEES MUST REPAIR, REPLACE OR SUPPLEMENT ALL NON-FUNCTIONAL BMPs WITH FUNCTIONAL BMPs BY THE END OF THE NEXT BUSINESS DAY AFTER DISCOVERY UNLESS ANOTHER TIME FRAME IS SPECIFIED IN ITEM 11.5 OR 11.6. PERMITTEES MAY TAKE ADDITIONAL TIME IF FIELD CONDITIONS PREVENT ACCESS TO THE AREA.
4. DURING EACH INSPECTION, PERMITTEES MUST INSPECT SURFACES INCLUDING DRAINAGE DITCHES AND CONVEYANCE SYSTEMS BUT NOT CURB AND GUTTER SYSTEMS, FOR EVIDENCE OF EROSION AND SEDIMENT DEPOSITION. PERMITTEES MUST REMOVE ALL DEBRIS AND SEDIMENT DEPOSITED ON SURFACE WATERS, INCLUDING DRAINAGEWAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS AND RESTABILIZE THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED SOIL. PERMITTEES MUST COMPLETE REMOVAL AND STABILIZATION WITHIN SEVEN (7) CALENDAR DAYS OF DISCOVERY UNLESS PRECULLED BY LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS. PERMITTEES MUST USE ALL REASONABLE EFFORTS TO OBTAIN ACCESS. IF PRECULDED, REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN SEVEN (7) DAYS OF DISCOVERY. PERMITTEES SHALL BE RESPONSIBLE FOR CONTRACTING ALL LOCAL, REGIONAL, STATE AND FEDERAL AUTHORITIES AND RECEIVING ANY APPLICABLE PERMITS, PRIOR TO CONDUCTING ANY WORK IN SURFACE WATERS.
5. PERMITTEES MUST INSPECT CONSTRUCTION SITE VEHICLE EXIT LOCATIONS, STREETS AND CURB AND GUTTER SYSTEMS WITHIN AND ADJACENT TO THE PROJECT FOR SEDIMENTATION FROM EROSION OR TRACKED SEDIMENT FROM VEHICLES. PERMITTEES MUST REMOVE SEDIMENT FROM ALL PAVED SURFACES WITHIN ONE (1) CALENDAR DAY OF DISCOVERY OR, IF APPLICABLE, WITHIN A SHORTER TIME TO AVOID A SAFETY HAZARD TO USERS OF PUBLIC STREETS.
6. PERMITTEES MUST REPAIR, REPLACE OR SUPPLEMENT ALL PERIMETER CONTROL DEVICES WHEN THEY BECOME NON-FUNCTIONAL OR THE SEDIMENT REACHES 1/2 OF THE HEIGHT OF THE DEVICE.
7. PERMITTEES MUST DRAIN TEMPORARY AND PERMANENT SEDIMENTATION BASINS AND REMOVE THE SEDIMENT WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES 1/2 THE STORAGE VOLUME.
8. PERMITTEES MUST ENSURE THAT AT LEAST ONE INDIVIDUAL PRESENT ON THE SITE (OR AVAILABLE TO THE PROJECT SITE IN THREE (3) CALENDAR DAYS) IS TRAINED IN THE JOB DUTIES DESCRIBED IN ITEM 21.2.B.
9. PERMITTEES MAY ADJUST THE INSPECTION SCHEDULE DESCRIBED IN ITEM 11.2 AS FOLLOWS:
 - a. INSPECTIONS OF AREAS WITH PERMANENT COVER CAN BE REDUCED TO ONCE PER MONTH, EVEN IF PORTIONS OF THE SITE OR BUFFER ZONES ARE UNDER CONSTRUCTION.
 - b. WHERE SITES HAVE PERMANENT COVER ON ALL EXPOSED SOIL AND NO CONSTRUCTION ACTIVITY IS OCCURRING ANYWHERE ON THE SITE, INSPECTIONS CAN BE REDUCED TO ONCE PER MONTH AND, AFTER 12 MONTHS, MAY BE SUSPENDED COMPLETELY. PERMITTEES MUST MAINTAIN INSPECTION RECORDS. THE MPCA MAY REQUIRE INSPECTIONS TO RESUME IF CONDITIONS WARRANT.
 - c. WHERE CONSTRUCTION ACTIVITY HAS BEEN SUSPENDED DUE TO FROZEN DRAINAGE CONDITIONS, INSPECTIONS MAY BE SUSPENDED WITH THE SWPPP THROUGH 24 HOURS OF RUNOFF OCCURRING, OR UPON RESUMING CONSTRUCTION, WHICHEVER COMES FIRST.
10. PERMITTEES MUST RECORD ALL INSPECTIONS AND MAINTENANCE ACTIVITIES WITHIN 24 HOURS OF BEING CONDUCTED AND THESE RECORDS MUST BE RETAINED WITH THE SWPPP. THESE RECORDS MUST INCLUDE:
 - a. DATE AND TIME OF INSPECTIONS; AND
 - b. NAME OF PERSONS CONDUCTING INSPECTIONS; AND
 - c. ACCURATE FINDINGS OF INSPECTIONS, INCLUDING THE SPECIFIC LOCATION WHERE CORRECTIVE ACTIONS ARE NEEDED; AND
 - d. CORRECTIVE ACTIONS TAKEN INCLUDING DATES, TIMES, AND PARTY COMPLETING MAINTENANCE ACTIVITIES; AND
 - e. DATE OF ALL RAINFALL EVENTS GREATER THAN 1/2 INCHES IN 24 HOURS, AND THE AMOUNT OF RAINFALL FOR EACH EVENT. PERMITTEES MUST OBTAIN RAINFALL AMOUNTS BY EITHER A PROPERLY MAINTAINED RAIN GAUGE INSTALLED ON-SITE, A WEATHER STATION THAT IS WITHIN ONE (1) MILE OF YOUR LOCATION, OR A WEATHER REPORTING SYSTEM THAT PROVIDES SITE SPECIFIC RAINFALL DATA FROM RADAR SUMMARIES, AND
 - f. IF PERMITTEES OBSERVE A DISCHARGE DURING THE INSPECTION, THEY MUST RECORD AND SHOULD ATTEMPT TO IDENTIFY THE SOURCE OF THE DISCHARGE. THIS SHOULD INCLUDE, BUT NOT BE LIMITED TO, OR SUSPENDED SOLIDS, OIL SHEEN, AND OTHER OBVIOUS INDICATORS OF POLLUTANTS; AND
 - g. ANY AMENDMENTS TO THE SWPPP PROPOSED AS A RESULT OF THE INSPECTION MUST BE DOCUMENTED AS REQUIRED BY SECTION 6 WITHIN SEVEN (7) CALENDAR DAYS.

POLLUTION PREVENTION MANAGEMENT (SECTION 12):

1. PERMITTEES MUST PLACE BUILDING PRODUCTS AND LANDSCAPE MATERIALS UNDER COVER (E.G., PLASTIC SHEETING OR TEMPORARY ROOFS) OR PROTECT THEM BY SIMILARLY EFFECTIVE MEANS DESIGNED TO MINIMIZE CONTACT WITH STORMWATER AND TOXIC WASTE, INCLUDING OIL, DIESEL FUEL, GASOLINE, HYDRAULIC FLUIDS, PAINT SOLVENTS, PETROLEUM-BASED PRODUCTS, WOOD PRESERVATIVES, ADDITIVES, CURING COMPOUNDS, AND ACIDS) IN SEALED CONTAINERS TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. STORAGE AND DISPOSAL OF HAZARDOUS WASTE MATERIALS MUST BE IN COMPLIANCE WITH MINN. R. CH. 7045 INCLUDING SECONDARY CONTAINMENT AS APPLICABLE.
2. PERMITTEES MUST PROPERLY STORE, COLLECT AND DISPOSE SOLID WASTE IN COMPLIANCE WITH MINN. R. CH. 7050.
3. PERMITTEES MUST POSITION PORTABLE TOILETS SO THEY ARE SECURE AND WILL NOT TIP OR BE KNOCKED OVER. PERMITTEES MUST PROPERLY DISPOSE SANITARY WASTE IN ACCORDANCE WITH MINN. R. CH. 7041.
4. PERMITTEES MUST STORE HAZARDOUS MATERIALS AND TOXIC WASTE, INCLUDING OIL, DIESEL FUEL, GASOLINE, HYDRAULIC FLUIDS, PAINT SOLVENTS, PETROLEUM-BASED PRODUCTS, WOOD PRESERVATIVES, ADDITIVES, CURING COMPOUNDS, AND ACIDS) IN SEALED CONTAINERS TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGE. STORAGE AND DISPOSAL OF HAZARDOUS WASTE MATERIALS MUST BE IN COMPLIANCE WITH MINN. R. CH. 7045 INCLUDING SECONDARY CONTAINMENT AS APPLICABLE.
4. PERMITTEES MUST PROPERLY STORE, COLLECT AND DISPOSE SOLID WASTE IN COMPLIANCE WITH MINN. R. CH. 7050.
5. PERMITTEES MUST POSITION PORTABLE TOILETS SO THEY ARE SECURE AND WILL NOT TIP OR BE KNOCKED OVER. PERMITTEES MUST PROPERLY DISPOSE SANITARY WASTE IN ACCORDANCE WITH MINN. R. CH. 7041.
6. PERMITTEES MUST STORE HAZARDOUS MATERIALS AND TOXIC WASTE, INCLUDING OIL, DIESEL FUEL, GASOLINE, HYDRAULIC FLUIDS, PAINT SOLVENTS, PETROLEUM-BASED PRODUCTS, WOOD PRESERVATIVES, ADDITIVES, CURING COMPOUNDS, AND ACIDS) IN SEALED CONTAINERS TO PREVENT SPILLS OR LEAKED CHEMICALS, INCLUDING FUEL, FROM ANY AREA WHERE CHEMICALS OR FUEL WILL BE LOADED OR UNLOADED INCLUDING THE USE OF DRIP PANS OR ABSORBENTS UNLESS INFEASIBLE. PERMITTEES MUST ENSURE ADEQUATE SUPPLIES ARE AVAILABLE AT ALL TIMES TO CLEAN UP DISCHARGED MATERIALS AND THAT AN APPROPRIATE DISPOSAL METHOD IS AVAILABLE FOR RECOVERED SPILLED MATERIALS. PERMITTEES MUST REPORT AND CLEAN UP SPILLS IMMEDIATELY AS REQUIRED BY MINN. STAT. 115.061, USING DRY CLEAN UP MEASURES WHERE POSSIBLE.
7. PERMITTEES MUST LIMIT VEHICLE EXTERIOR WASHING AND EQUIPMENT TO A DEFINED AREA OF THE SITE. PERMITTEES MUST CONTAIN RUNOFF FROM THE WASHING AREA IN A SEDIMENT BASIN OR OTHER SIMILARLY EFFECTIVE CONTROL AND MUST DISPOSE WASTE FROM THE WASHING AREA. PERMITTEES MUST PROPERLY USE AND STORE SOAPS, DETERGENTS, OR SOLVENTS.
8. PERMITTEES MUST PROVIDE EFFECTIVE CONTAINMENT FOR ALL LIQUID AND SOLID WASTES GENERATED BY WASHING ACTIVITIES (E.G., CONCRETE, STEEL, CEMENT, POLYMER RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS) RELATED TO THE CONSTRUCTION ACTIVITY. PERMITTEES MUST PREVENT LIQUID AND SOLID WASHOUT WASTES FROM CONTACTING THE GROUND AND MUST DESIGN THE CONTAINMENT SO IT DOES NOT RESULT IN RUNOFF FROM THE WASHOUT OPERATIONS OR AREAS. PERMITTEES MUST PROPERLY DISPOSE LIQUID AND SOLID WASTES IN COMPLIANCE WITH MPCA RULES. PERMITTEES MUST INSTALL A SIGN INDICATING THE LOCATION OF THE WASHOUT FACILITY.

PERMIT TERMINATION (SECTION 4 AND SECTION 13):

1. PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER ALL TERMINATION CONDITIONS LISTED IN SECTION 13 ARE COMPLETE.
2. PERMITTEES MUST SUBMIT A NOT WITHIN 30 DAYS AFTER SELLING OR OTHERWISE LEGALLY TRANSFERRING THE ENTIRE SITE, INCLUDING PERMIT RESPONSIBILITY FOR ROADS (E.G., STREET SWEEPING) AND STORMWATER INFRASTRUCTURE FINAL CLEAN OUT, OR TRANSFERRING PORTIONS OF A SITE TO ANOTHER PARTY. THE PERMITTEES' COVERAGE UNDER THIS PERMIT TERMINATES AT MIDNIGHT ON THE SUBMISSION DATE OF THE NOT.
3. PERMITTEES MUST COMPLETE ALL CONSTRUCTION ACTIVITY AND MUST INSTALL PERMANENT COVER OVER ALL AREAS PRIOR TO SUBMITTING THE NOT. VEGETATIVE COVER MUST CONSIST OF A UNIFORM PERENNIAL VEGETATION WITH A DENSITY OF 70 PERCENT OF ITS EXPECTED FINAL GROUND VEGETATION IS NOT REQUIRED WHERE THE FUNCTION OF A SPECIFIC AREA DICTATES NO VEGETATION, SUCH AS IMPERVIOUS SURFACES OR THE BASE OF A SAND FILTER.
4. PERMITTEES MUST CLEAN THE PERMANENT STORMWATER TREATMENT SYSTEM OF ANY ACCUMULATED SEDIMENT AND MUST ENSURE THE SYSTEM MEETS ALL APPLICABLE REQUIREMENTS IN SECTION 15 THROUGH 19 AND IS OPERATING AS DESIGNED.
5. PERMITTEES MUST REMOVE ALL SEDIMENT FROM CONVEYANCE SYSTEMS PRIOR TO SUBMITTING THE NOT.
6. PERMITTEES MUST REMOVE ALL TEMPORARY SYNTHETIC EROSION PREVENTION AND SEDIMENT CONTROL BMPs PRIOR TO SUBMITTING THE NOT. PERMITTEES MAY LEAVE BMPs DESIGNED TO DECOMPOSE ON-SITE IN PLACE.
7. FOR RESIDENTIAL CONSTRUCTION ONLY, PERMIT COVERAGE TERMINATES ON INDIVIDUAL LOTS IF THE STRUCTURES ARE FINISHED AND TEMPORARY EROSION PREVENTION AND DOWNGRADIENT PERIMETER CONTROL IS COMPLETE, THE RESIDENCE SELLS TO THE HOMEOWNER, AND THE PERMITTEE DISTRIBUTES THE MPCA'S "HOMEOWNER FACT SHEET" TO THE HOMEOWNER.
8. FOR CONSTRUCTION PROJECTS ON AGRICULTURAL LAND (E.G., PIPELINES ACROSS CROPLAND), PERMITTEES MUST RETURN THE DISTURBED LAND TO ITS PRECONSTRUCTION AGRICULTURAL USE PRIOR TO SUBMITTING THE NOT.

SEED NOTES:

ALL SEED MIXES AND APPLICATION SHALL BE IN ACCORDANCE WITH THE MNDOT SEEDING MANUAL.

GENERAL RECOMMENDATIONS:

THE CONTRACTOR IS RESPONSIBLE TO SALVAGE AND PRESERVE EXISTING TOPSOIL NECESSARY FOR FINAL STABILIZATION AND TO ALSO MINIMIZE COMPACTION IN ALL LANDSCAPE AREAS. IMMEDIATELY BEFORE SEEDING THE SOIL SHALL BE TILLED TO A MINIMUM DEPTH OF 3 INCHES.

TEMPORARY EROSION CONTROL SEEDING, MULCHING & BLANKET.

- SEED**
- TEMPORARY SEED SHALL BE MNDOT SEED MIX 21-112 (WINTER WHEAT COVER CROP) FOR WINTER AND 21-111 (OATS COVER CROP) FOR SPRING/SUMMER APPLICATIONS. BOTH SEED MIXES SHALL BE APPLIED AT A SEEDING RATE OF 10 LBS/ACRE.
- MULCH**
- IMMEDIATELY AFTER SEEDING, WITHIN 24 HOURS, MNDOT TYPE 1 MULCH SHOULD BE APPLIED TO PROTECT AND ENHANCE SEED GERMINATION. MULCH SHALL BE APPLIED AT 100% COVERAGE (2 TONS PER ACRE OF STRAW MULCH).
- SLOPES**
- 3:1 (HORIZONTAL) OR FLATTER MUCH SHALL BE COVERED WITH MULCH
 - SLOPES STEEPER THAN 3:1 OR DITCH BOTTOMS SHALL BE COVERED WITH EROSION CONTROL BLANKET.
 - SEE PLAN FOR MORE DETAIL DITCH AND STEEP SLOPE EROSION CONTROL TREATMENTS.

TRAINING SESSION 21

DESIGN ENGINEER: DAVID J. KNAEBLE P.E.
 TRAINING COURSE: DESIGN OF SWPPP
 TRAINING ENTITY: UNIVERSITY OF MINNESOTA
 INSTRUCTOR: JOHN CHAPMAN
 DATES OF TRAINING COURSE: 8/22/2012- 8/23/2012
 TOTAL TRAINING HOURS: 12
 DATE OF RECERTIFICATION: 4/22/22
 EXPIRATION: 5/31/2025

OWNER INFORMATION

NORHART
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 FOREST LAKE, MN 55025
 MARYBETH WISE
 651-228-5526
 MARYBETH.WISE@NORHART.COM

CivilSite GROUP
 Civil Engineering · Surveying · Landscape Architecture
 5000 Glenwood Avenue
 Golden Valley, MN 55422
 612-615-0060

AREAS AND QUANTITIES:

SITE AREA CALCULATIONS	EXISTING CONDITION	PROPOSED CONDITION
IMPERVIOUS SURFACES		
BUILDING COVERAGE	0 SF	44,475 SF
PAVEMENT	6,510 SF	92,393 SF
TOTAL	6,510 SF	136,868 SF
	0.0%	26.3%
	3.9%	54.7%
	3.9%	81.1%
	0.0 AC	3.1 AC
PERVIOUS SURFACES		
TOTAL	162,285 SF	31,927 SF
	96.1%	18.9%
	3.7 AC	0.7 AC
TOTAL SITE AREA	168,795 SF	168,795 SF
	100.0%	100.0%
	3.9 AC	3.9 AC
DIFFERENCE (EX. VS PROP.)	130,358 SF	77.2%
DISTURBED AREA	168,060 SF	3.9 AC
EROSION CONTROL QUANTITIES		
DISTURBED AREA	168,060 SF	
SILT FENCE/BIO-ROLL		11,750 LF
EROSION CONTROL BLANKET		3,000 SF
INLET PROTECTION DEVICES		115 EA

NOTE: QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL DETERMINE FOR THEMSELVES THE EXACT QUANTITIES FOR BIDDING AND CONSTRUCTION.

SWPPP CONTACT PERSON

CONTRACTOR: SWPPP INSPECTOR TRAINING: ALL SWPPP INSPECTIONS MUST BE PERFORMED BY A PERSON THAT MEETS THE TRAINING REQUIREMENTS OF THE NPDES CONSTRUCTION SITE PERMIT. TRAINING CREDENTIALS SHALL BE PROVIDED BY THE CONTRACTOR AND KEPT ON SITE WITH THE SWPPP.

PARTY RESPONSIBLE FOR LONG TERM OPERATION AND MAINTENANCE OF PERMANENT STORM WATER MANAGEMENT SYSTEM

PERMANENT STORMWATER MANAGEMENT IS REQUIRED AS PART OF THIS PROJECT TO MEET NPDES PERMIT REQUIREMENTS. THE PROPERTY OWNER IS RESPONSIBLE FOR THE LONG TERM OPERATION AND MAINTENANCE OF THE PROPOSED STORMWATER SYSTEM.

SWPPP ATTACHMENTS (ONLY APPLICABLE IF SITE IS 1 ACRE OR GREATER):

- CONTRACTOR SHALL OBTAIN A COPY OF THE FOLLOWING SWPPP ATTACHMENTS WHICH ARE A PART OF THE OVERALL SWPPP PACKAGE:
 - ATTACHMENT A: CONSTRUCTION SWPPP TEMPLATE - SITE SPECIFIC SWPPP DOCUMENT
 - ATTACHMENT B: CONSTRUCTION STORMWATER INSPECTION CHECKLIST
 - ATTACHMENT C: MAINTENANCE PLAN FOR PERMANENT STORM WATER TREATMENT SYSTEMS
 - ATTACHMENT D: STORMWATER MANAGEMENT REPORT - ON FILE AT THE OFFICE OF PROJECT ENGINEER, AVAILABLE UPON REQUEST
 - ATTACHMENT E: GEOTECHNICAL EVALUATION REPORT - ON FILE AT THE OFFICE OF PROJECT ENGINEER, AVAILABLE UPON REQUEST

SUPPLEMENTARY SITE SPECIFIC EROSION CONTROL NOTES:

THESE NOTES SUPERCEDE ANY GENERAL SWPPP NOTES.

PROJECT NARRATIVE:

PROJECT IS A REDEVELOPMENT OF AN EXISTING UNDEVELOPED PROPERTY INTO A MULTI-FAMILY APARTMENT BUILDING WITH RETAIL SPACE. SITE, GRADING, UTILITY AND LANDSCAPE IMPROVEMENTS WILL OCCUR.

NATIVE BUFFER NARRATIVE:

PRESERVING A 50 FOOT NATURAL BUFFER AROUND WATER BODIES IS NOT PROVIDED IN THESE PLANS BECAUSE WATER BODIES ARE NOT LOCATED ON SITE.

INFILTRATION NARRATIVE:

FILTRATION IS NOT REQUIRED AS PART OF THIS PROJECT BECAUSE PERMANENT STORMWATER MANAGEMENT IS TO BE PROVIDED OFFSITE BY A REGIONAL STORMWATER TREATMENT SYSTEM.

SOIL CONTAMINATION NARRATIVE:

SOILS ON-SITE HAVE NOT BEEN

ATTACHMENT A: SITE SPECIFIC SWPPP DOCUMENT

PROJECT LOCATION table with columns: ADDRESS, STATE, ZIP CODE, LATTITUDE/LONGITUDE OF APPROX. CENTROID OF PROJECT, METHOD OF LAT/LONG COLLECTION, PROJECT TYPE, IMPERVIOUS SURFACES (ACRES), EXISTING, PROPOSED, DIFFERENCE, ESTIMATED CONSTRUCTION TIMELINE, START, CONSTRUCTION ACTIVITY, SOIL TYPES.

SOILS INFORMATION



MAP UNIT SYMBOL table with columns: MAP UNIT SYMBOL, MAP UNIT NAME. Includes D20A, D67A, and Dp.

DEWATERING AND BASIN DRAINING (SECTION 10.1)

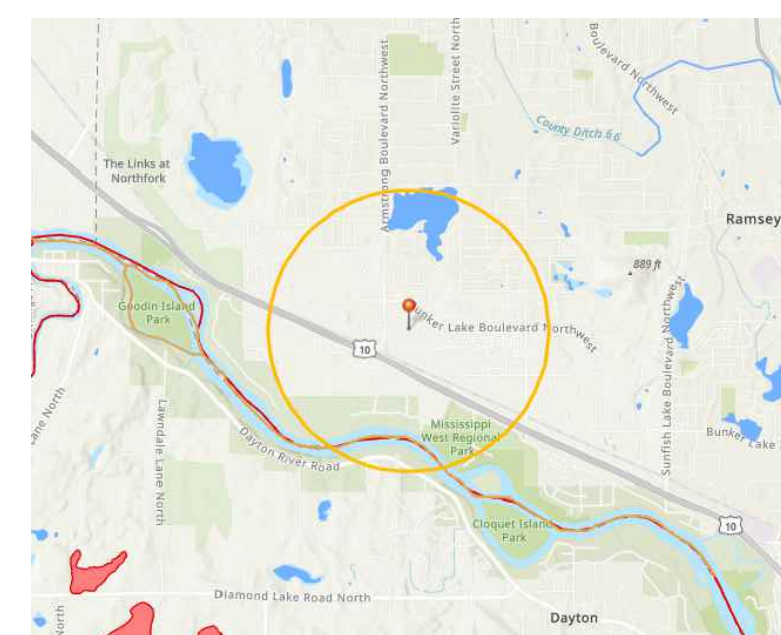
1. WILL THE PROJECT INCLUDE DEWATERING OR BASIN DRAINING? NO
IF YES, DESCRIBE MEASURES TO BE USED TO TREAT/DISPOSE OF TURBID OR SEDIMENT-LADEN WATER AND METHOD TO PREVENT EROSION OR SCOUR OF DISCHARGE POINTS (SEE 10.2 THROUGH 10.5 OF THE PERMIT).

INSPECTIONS AND MAINTENANCE (SECTION 11.1)

DESCRIBE PROCEDURES TO ROUTINELY INSPECT THE CONSTRUCTION SITE:
ONCE EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS, AND WITHIN (7) DAYS AFTER THAT.

RECEIVING WATER BODIES table with columns: WATER BODY ID, NAME OF WATER BODY, WATER BODY TYPE, SPECIAL WATER (Y/N), IMPAIRED WATER (Y/N). Includes Mississippi River.

SITE LOCATION MAP



GENERAL SITE INFORMATION (5.1)

DESCRIBE THE LOCATION AND TYPE OF ALL TEMPORARY AND PERMANENT EROSION PREVENTION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs), INCLUDE THE TIMING FOR INSTALLATION AND PROCEDURES USED TO ESTABLISH ADDITIONAL TEMPORARY BMPs AS NECESSARY.

SELECTION OF A PERMANENT STORMWATER MANAGEMENT SYSTEM (SECTION 15)

1. WILL THE PROJECT CREATE A NEW CUMULATIVE IMPERVIOUS SURFACE GREATER THAN OR EQUAL TO ONE ACRE? YES
IF YES, A WATER QUALITY VOLUME OF ONE INCH OF RUNOFF FROM THE CUMULATIVE NEW IMPERVIOUS SURFACES MUST BE RETAINED ON SITE (SEE 16.7 OF THE PERMIT) THROUGH INFILTRATION UNLESS PROHIBITED DUE TO ONE OF THE REASONS IN ITEMS 16.4 THROUGH 16.21.

REGIONAL TREATMENT

CALCULATIONS ARE WITHIN THE SITE STORM WATER MANAGEMENT REPORT AND PART OF THIS SWPPP AS ATTACHMENT D.
IF IT IS NOT FEASIBLE TO MEET THE TREATMENT REQUIREMENT FOR THE WATER QUALITY VOLUME, DESCRIBE WHY. THIS CAN INCLUDE PROXIMITY TO BEDROCK OR ROAD PROJECTS WHERE THE LACK OF RIGHT OF WAY PRECLUDES THE INSTALLATION OF ANY PERMANENT STORMWATER MANAGEMENT PRACTICES.

EROSION PREVENTION PRACTICES (SECTION 8.1)

DESCRIBE THE TYPES OF TEMPORARY EROSION PREVENTION BMPs EXPECTED TO BE IMPLEMENTED ON THIS SITE DURING CONSTRUCTION.
1. DESCRIBE CONSTRUCTION PHASING, VEGETATIVE BUFFER STRIPS, HORIZONTAL SLOPE GRADING, AND OTHER CONSTRUCTION PRACTICES TO MINIMIZE EROSION. DELINEATE AREAS NOT TO BE DISTURBED (E.G., WITH FLAGS, STAKES, SIGNS, SILT FENCE, ETC.) BEFORE WORK BEGINS.

SEDIMENT CONTROL PRACTICES (SECTION 9.1)

DESCRIBE THE METHODS OF SEDIMENT CONTROL BMPs TO BE IMPLEMENTED AT THIS SITE DURING CONSTRUCTION TO MINIMIZE SEDIMENT IMPACTS TO SURFACE WATERS, INCLUDING CURB AND GUTTER SYSTEMS.
1. DESCRIBE METHODS TO BE USED FOR DOWN GRADIENT PERIMETER CONTROL: SILT FENCE WILL BE INSTALLED AROUND THE ENTIRE PERIMETER OF THE SITE.

ATTACHMENT B: SWPPP INSPECTION FORM

NOTE: THIS INSPECTION REPORT DOES NOT ADDRESS ALL ASPECTS OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM/STATE DISPOSAL SYSTEM (NPDES/S) CONSTRUCTION STORMWATER PERMIT (PERMIT) ISSUED ON AUGUST 1, 2018. THE COMPLETION OF THIS CHECKLIST DOES NOT GUARANTEE THAT ALL PERMIT REQUIREMENTS ARE IN COMPLIANCE.

FACILITY INFORMATION

SITE NAME:
SITE ADDRESS:
CITY:
STATE:
PERMIT NUMBER:
ZIP CODE:

INSPECTION INFORMATION

INSPECTOR NAME:
PHONE NUMBER:
ORGANIZATION/COMPANY NAME:
DATE (MM/DD/YYYY):
TIME:
AM / PM
IS THE INSPECTOR CERTIFIED IN SEDIMENT AND EROSION CONTROL AND IS IT DOCUMENTED IN THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP)?

EROSION CONTROL REQUIREMENT (SECTION 8.1)

Table with 4 columns: Y, N, N/A. Rows include: ARE SOILS STABILIZED WHERE NO CONSTRUCTION ACTIVITY HAS OCCURRED FOR 14 DAYS, HAS THE NEED TO DISTURB STEEP SLOPES BEEN MINIMIZED?, IF STEEP SLOPES ARE DISTURBED, ARE STABILIZATION PRACTICES DESIGNED FOR STEEP SLOPES USED?

COMMENTS:

SEDIMENT CONTROL REQUIREMENTS (SECTION 9.1)

Table with 4 columns: Y, N, N/A. Rows include: ARE PERIMETER SEDIMENT CONTROLS INSTALLED PROPERLY ON ALL DOWN GRADIENT PERIMETERS?, ARE APPROPRIATE BMPs INSTALLED PROTECTING INLETS, CATCH BASINS, AND CULVERT INLETS?, IS A 50 FOOT NATURAL BUFFER PRESERVED AROUND ALL SURFACE WATERS DURING CONSTRUCTION?

COMMENTS:

MAINTENANCE AND INSPECTIONS (SECTION 11)

Table with 4 columns: Y, N, N/A. Rows include: ARE ALL PREVIOUSLY STABILIZED AREAS MAINTAINING GROUND COVER?, ARE PERIMETER CONTROLS MAINTAINED AND FUNCTIONING PROPERLY?, ARE INLET PROTECTION DEVICES MAINTAINED AND ADEQUATELY PROTECTING INLETS?

IF YES, RECORD THE LOCATION OF ALL POINTS OF DISCHARGE, PHOTOGRAPH AND DESCRIBE THE DISCHARGE (SIZE, COLOR, ODOR, FOAM, OIL SHEEN, TIME, ETC.). DESCRIBE HOW THE DISCHARGE WILL BE ADDRESSED, WAS THE DISCHARGE A SEDIMENT DELTA? IF YES, WILL THE DELTA BE RECOVERED WITHIN SEVEN DAYS AND IN ACCORDANCE WITH ITEM 11.5 OF THE PERMIT?

COMMENTS:

POLLUTION PREVENTION (SECTION 12)

Table with 4 columns: Y, N, N/A. Rows include: ARE ALL CONSTRUCTION MATERIALS THAT CAN LEACH POLLUTANTS UNDER COVER OR PROTECTED?, ARE HAZARDOUS MATERIALS BEING PROPERLY STORED?, ARE APPROPRIATE BMPs BEING USED TO PREVENT DISCHARGES ASSOCIATED WITH FUELING AND MAINTENANCE OF EQUIPMENT OR VEHICLES?

COMMENTS:

OTHER

Table with 4 columns: Y, N, N/A. Rows include: IS A COPY OF THE SWPPP, INSPECTION RECORDS, AND TRAINING DOCUMENTATION LOCATED ON THE CONSTRUCTION SITE, OR CAN IT BE MADE AVAILABLE WITHIN 72 HOURS?, WILL A PERMANENT STORMWATER MANAGEMENT SYSTEM BE CREATED FOR THIS PROJECT IF REQUIRED AND IN ACCORDANCE WITH SECTION 15 OF THE PERMIT (IF ADDING AN ACRE OR MORE OF NEW IMPERVIOUS SURFACE)?

DISCLOSURES:

AFTER DISCOVERY, THE PERMIT REQUIRES MANY OF THE DEFICIENCIES THAT MAY BE FOUND ON SITE BE CORRECTED WITHIN A SPECIFIED PERIOD OF TIME. SEE PERMIT FOR MORE DETAILS.

PRELIMINARY: NOT FOR CONSTRUCTION

NORHART RAMSEY
ZEOLITE ST NW & RAMSEY PKWY, RAMSEY, MN 55303
NORHART
1081 4TH ST SW, FOREST LAKE, MN 55023

I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

ANDERS S. MELBY
DATE: 04/03/24 LICENSE NO. 58960

ISSUE/SUBMITTAL SUMMARY

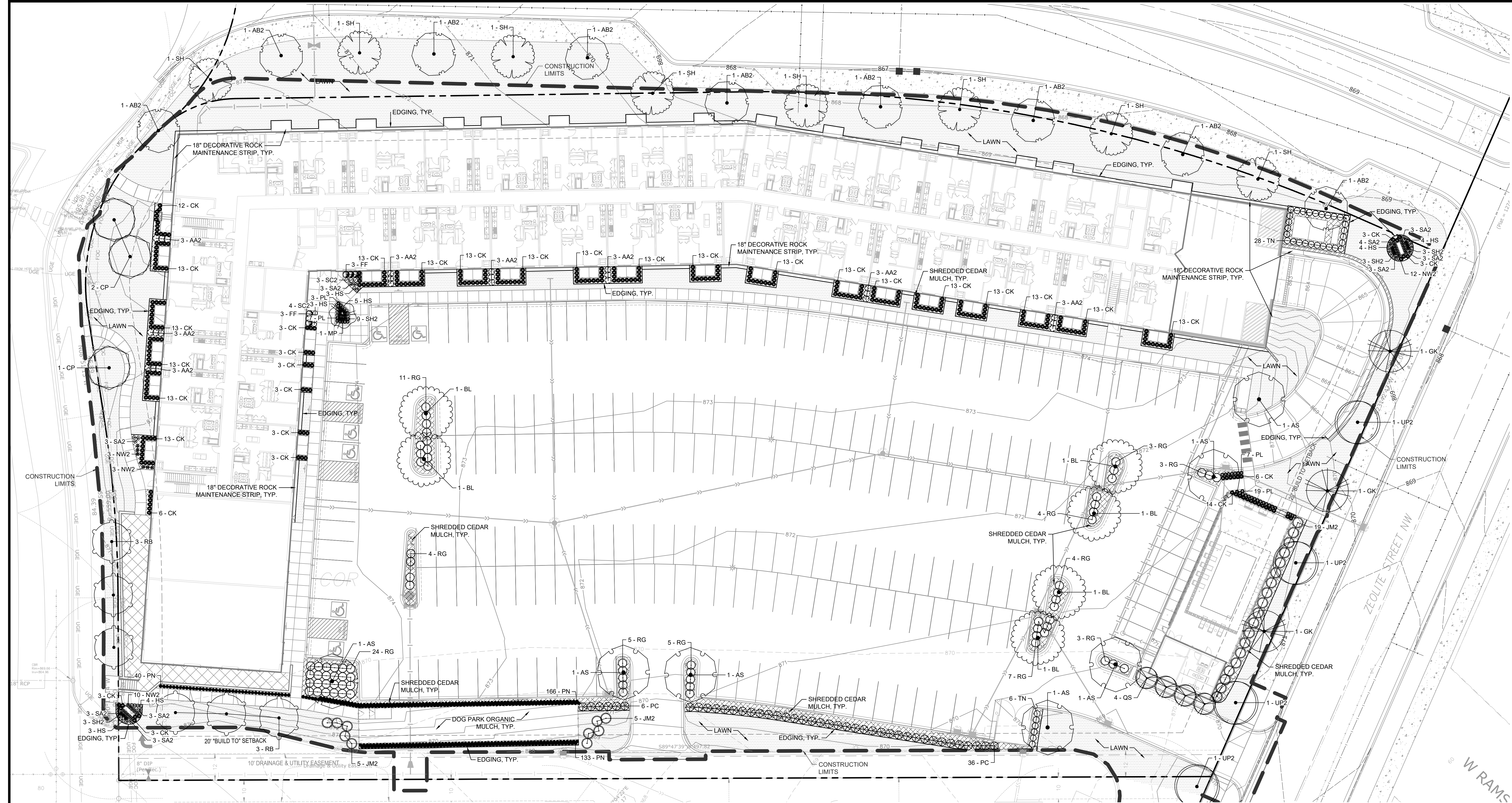
Table with columns: DATE, DESCRIPTION. Includes a revision summary table with columns: DATE, DESCRIPTION.

REVISION SUMMARY

SWPPP - ATTACHMENTS

SW1.3

**PRELIMINARY:
NOT FOR
CONSTRUCTION**



NORHART RAMSEY
ZEOLITE ST NW & RAMSEY PKWY, RAMSEY, MN 55303
NORHART
1081 4TH ST SW, FOREST LAKE, MN 55025

PROJECT: NORHART RAMSEY
ISSUE/SUBMITTAL SUMMARY
DATE: 04/03/24
DESCRIPTION: CITY SUBMITTAL
REVISION SUMMARY
DATE: DESCRIPTION
LANDSCAPE PLAN
L1.0

CODE	COMMON / BOTANICAL NAME	QTY	CONT	NATIVE PLANTS	POLLINATOR FRIENDLY
DECIDUOUS TREES					
AS	Sugar Maple / <i>Acer saccharum</i>	7	2.5' Cal. B&B	NATIVE	Y
AB2	Autumn Blaze Maple / <i>Acer x freemanii</i> 'Jeffersred' TM	9	2.5' Cal. B&B	NATIVE CULTIVAR	Y
RB	River Birch / <i>Betula nigra</i>	6	2.5' Cal. B&B	NATIVE	N
CP	Prairie Sentinel Hackberry / <i>Celtis occidentalis</i> 'JFS-KSU1' TM	3	2.5' Cal. B&B	NATIVE CULTIVAR	Y
SH	Skyline Thornless Honey Locust / <i>Gleditsia triacanthos inermis</i> 'Skycole' TM	8	2.5' Cal. B&B	NATIVE CULTIVAR	N
GK	Kentucky Coffeetree / <i>Gymnocladus dioica</i>	3	2.5' CAL. B&B	NATIVE CULTIVAR	Y
QS	Crimson Spire Oak / <i>Quercus robur x alba</i> 'Crimschmidt' TM	4	2.5' Cal. B&B	NOT NATIVE	Y
BL	Boulevard Linden / <i>Tilia americana</i> 'Boulevard'	6	2.5' Cal. B&B	NATIVE CULTIVAR	Y
UP2	Princeton American Elm / <i>Ulmus americana</i> 'Princeton'	4	2.5' CAL. B&B	NATIVE CULTIVAR	Y
ORNAMENTAL TREES					
MP	Prairiefire Crabapple / <i>Malus x</i> 'Prairiefire'	1	1.5' Cal. B&B	NATIVE CULTIVAR	Y
SHRUBS					
AA2	Autumn Magic Black Chokeberry / <i>Aronia melanocarpa</i> 'Autumn Magic'	24	24" HT.	NATIVE	Y
FF	Gold Cluster™ Forsythia / <i>Forsythia x intermedia</i> 'Courtaneur'	6	24" HT.	NATIVE	Y
JM2	Medora Juniper / <i>Juniperus scopulorum</i> 'Medora'	29	#5 CONT	NOT NATIVE	N
PC	Dwarf Norway Spruce / <i>Picea abies</i> 'Nana'	42	24" HT.	NATIVE	Y
RG	Gro-Low Fragrant Sumac / <i>Rhus aromatica</i> 'Gro-Low'	73	24" HT.	NATIVE	Y
TN	Nova Japanese Yew / <i>Taxus cuspidata</i> 'Nova'	34	#5 CONT	NATIVE	Y
GRASSES					
CK	Feather Reed Grass / <i>Calamagrostis x acutiflora</i> 'Karl Foerster'	328	#1 CONT	NOT NATIVE	N
PN	Northwind Switch Grass / <i>Panicum virgatum</i> 'Northwind'	339	#1 CONT	NOT NATIVE	N
SH2	Prairie Dropseed / <i>Sporobolus heterolepis</i>	18	#1 CONT	NATIVE	Y
PERENNIALS					
HS	Stella Supreme Daylily / <i>Hemerocallis x</i> 'Stella Supreme'	27	#1 CONT	NATIVE	Y
NW2	Walkers Low Catmint / <i>Nepeta x faassenii</i> 'Walkers Low'	28	#1 CONT	NOT NATIVE	Y
PL	Little Spire Russian Sage / <i>Perovskia atriplicifolia</i> 'Little Spire'	36	#1 CONT	NOT NATIVE	Y
SC2	Cardonna Salvia / <i>Salvia x superba</i> 'Cardonna'	7	#1 CONT	NOT NATIVE	Y
SA2	Showy Stonecrop / <i>Sedum spectabile</i> 'Autumn Fire'	27	#1 CONT	NOT NATIVE	Y

Planting Type	Required Numbers
Deciduous/ coniferous trees	1 tree per 50 lineal feet of site perimeter, or 1 tree per 1,000 square feet of building footprint, whichever is greater. For building expansions, 1 additional tree is required for each 1,000 square feet of new building footprint area.
Shrubs	1 shrub per 30 lineal feet of site perimeter or 1 shrub per 300 square feet of building footprint area, whichever is greater.

BUSINESS OR COMMERCIAL LANDSCAPE REQUIREMENTS	
1 TREE / 50 LF OF SITE PERIMETER	1,665 LF / 50 = 33 TREES REQUIRED SEE PLANT SCHEDULE
1 TREE / 1,000 SF OF BUILDING FOOTPRINT	43,905 SF / 1,000 = 44 TREES REQUIRED SEE PLANT SCHEDULE
1 SHRUB / 30 LF OF SITE PERIMETER	1,665 SF / 30 = 56 SHRUBS REQUIRED SEE PLANT SCHEDULE
1 SHRUB / 300 SF OF BUILDING FOOTPRINT	43,905 SF / 300 = 146 SHRUBS REQUIRED SEE PLANT SCHEDULE

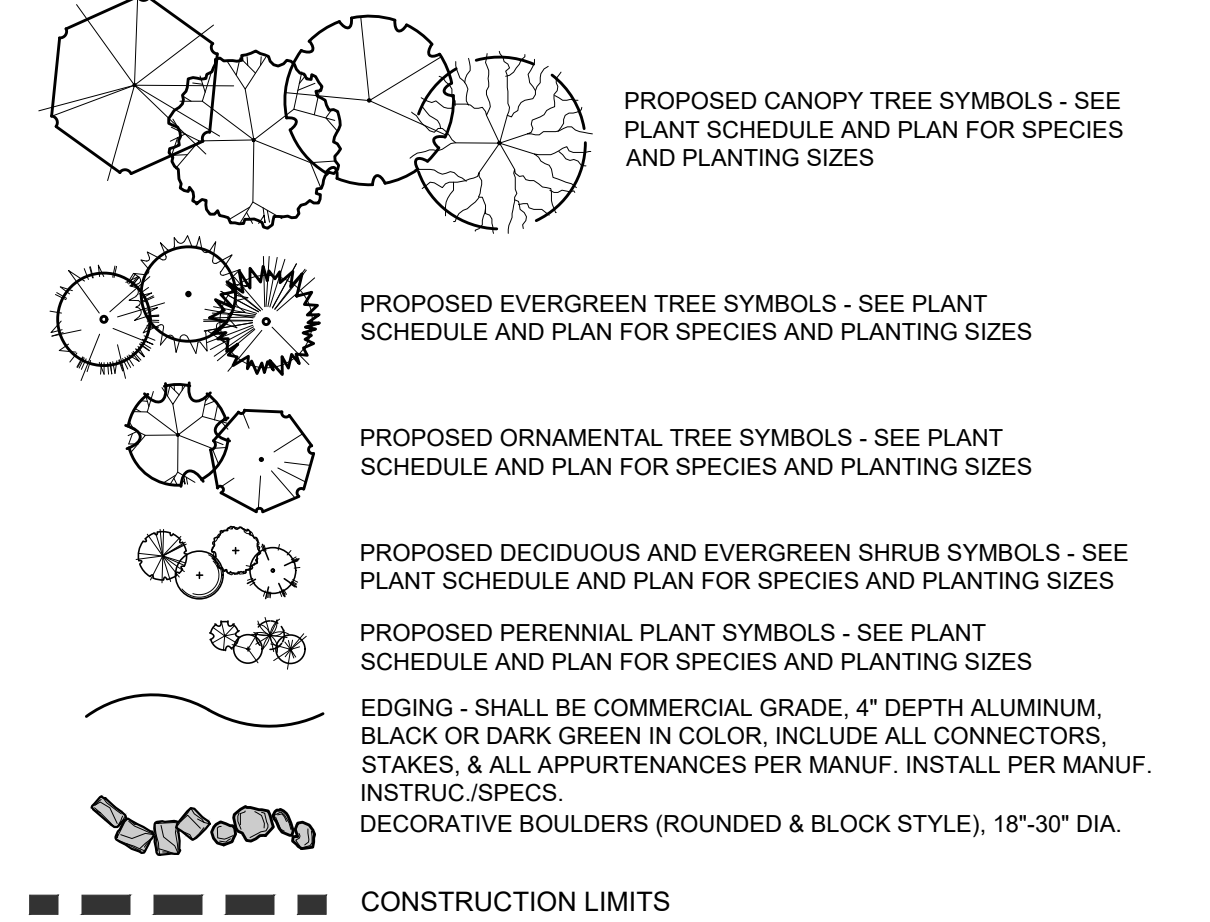
AREA	MULCH TYPE		EDGING	FABRIC	REMARKS
	MULCH TYPE	EDGING			
TREE RINGS	4" DEPTH, SHREDDED CEDAR	YES	NO		SEE DETAIL SHT. L1.1
PLANTING BEDS	4" DEPTH, SHREDDED CEDAR	YES	NO		
MAINT. STRIP AT BUILDING FOUNDATION	NA	NA	NA	NA	
PLAYGROUND MULCH	12" DEPTH ENGINEERED PLAYGROUND MULCH. SEE REMARKS. DEPTH AS SPECIFIED BY PLAYGROUND EQUIPMENT MANUFACTURER.	SEE SITE PLAN	YES		ORGANIC MULCH DESIGNED SPECIFICALLY FOR USE ON PLAYGROUNDS (CERTIFIED BY ANSI/ASTM FOR PLAYGROUND USE. (I.E. SYLVIA SOFTSTEP, SET, INC. PLAYGROUND, OR EQUIVALENT). PROVIDE SHOP DRAWINGS/DATA SHEETS FOR REVIEW.
DOG PARK MULCH	4" DEPTH, SHREDDED WOOD. SEE REMARKS	YES	YES		ORGANIC MULCH SPECIFICALLY FOR USE IN DOG PARKS OR PLAYGROUNDS. SHALL KNOT TOGETHER TO FORM MATTED, ACCESSIBLE SURFACE. (I.E. SYLVIA SOFTSTEP, SET, INC. PLAYGROUND, OR EQUIVALENT). PROVIDE SHOP DRAWINGS/DATA SHEETS FOR REVIEW.
NATIVE SEED AREAS	NA	NA	NA	NA	

NOTE: COORDINATE ALL MULCH AND PLANTING BED MATERIAL PRIOR TO INSTALLATION. PROVIDE SAMPLES AND SHOP DRAWINGS/PHOTOS/DATA SHEETS OF ALL MATERIALS.

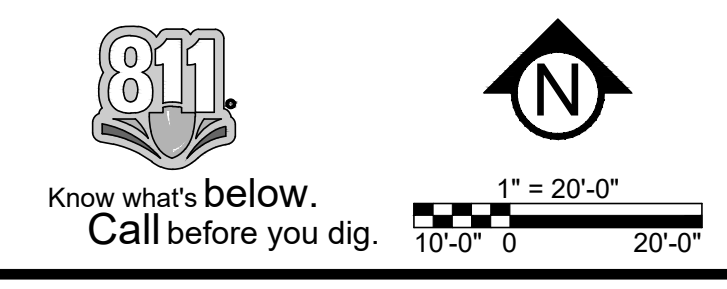
SEASON	PLANTING SEASON SCHEDULE		REMARKS
	CONIFEROUS	DECIDUOUS	
SPRING PLANTING	APRIL 15 - JUNE 15	APRIL 15 - JUNE 15	
FALL PLANTING	AUGUST 21 - SEPTEMBER 30	AUGUST 15 - NOVEMBER 15	

NOTE: ADJUSTMENTS TO PLANTING DATES MUST BE APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.

LEGEND	
	Dog Park Organic Mulch / Dog Park Mulch
	Rock Maintenance Strip / Rock Maintenance Strip
	Shredded Cedar Mulch / Shredded Hardwood Mulch
	Blue Grass Based / Sod



SEE SHEET C0.1 FOR GENERAL LANDSCAPE NOTES



811
Call before you dig.
1" = 20'-0"
10'-0" 0 20'-0"



INTRODUCTION

Norhart is pleased to submit application for approval of a 218 unit, mixed use, market rate multifamily development. This development will play a significant role in fulfilling the City of Ramsey's COR housing and retail needs. The building offers luxury amenities and housing options for a variety of lifestyles and includes a vertically integrated retail component. With 64% of the building within the site's build to line, Norhart Ramsey apartment will contribute to the city's walkable, urban feel enhancing the streetscape look and feel of the community.

APPLICATION

1. Site Plan Review

We respectfully request a review of the proposed mix-use multifamily development in the COR of Ramsey.

2. Zoning Amendment

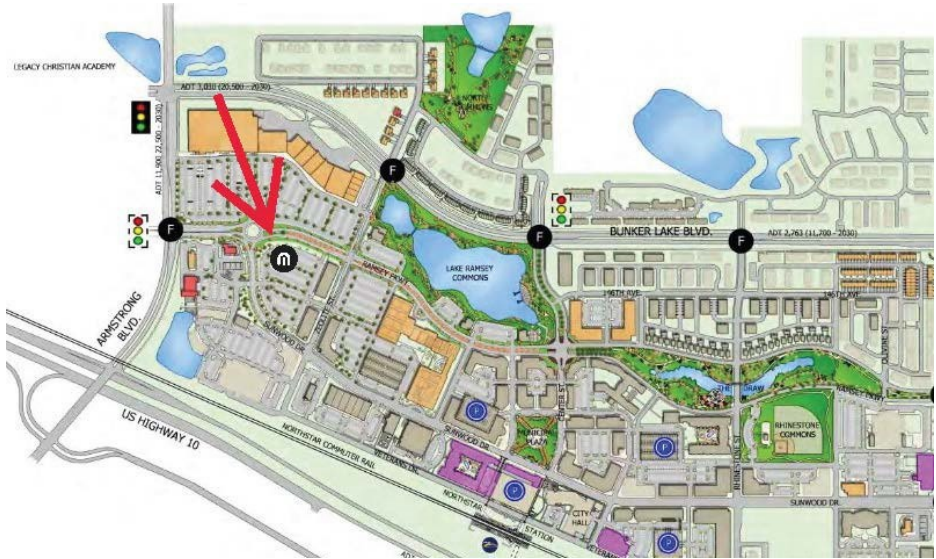
We respectfully request an amendment to the zoning from COR-4b to COR-4c to accommodate the higher proposed density of 56 units per acre. The COR-4b zoning district allows 4 to 15 units per acre while the COR-4c zoning district allows 15 or more units per acre. The development proposes 218 dwelling units on approximately 3.875 acres which is 56 units per acre.

3. Variance Requests - Maximum Building Floors

If the above zoning request is approved, we respectfully request a variance for the maximum floors allowed in COR-4c from 4 stories to 5 stories. Complying with the COR-4c zoning code causes practical difficulties for the project as it does not allow the development to reach the required number of units to financially proceed. If the development utilizes 4 stores it will yield 172 units. For the project to be financially viable, the development needs to achieve 200+ units.

SITE DESCRIPTION

The proposed development is located on the northern corner of Sunwood Drive NW, Ramsey Parkway and Zeolite Street NW. The parcel totals approximately 3.875 acres and will share an entrance access point from Sunwood Drive NW with the Hilton Home2Suites development with a second access point on Zeolite Street NW.



PROJECT DESCRIPTION

The development includes a 5 story apartment building over 1 story of sunken parking. The site will also include a surface parking lot for 224 vehicles, a pool with pool house, fenced dog run and a rich variety of trees and shrubbery. The building offers a mix of studio, one-, two- and three-bedroom units. A grand glass corner houses tenant amenities spanning five floors. Ample building amenities enhance the way residents work, live and interact with each other. Co-working space, a community lounge, game room and fitness facility provide areas where they can connect and elevate their living experience. 5000 SF of retail space is vertically incorporated into the building while bike racks and benches are positioned throughout the development and lead to connecting streets enhancing the urban COR framework.



DEVELOPMENT TIMELINE

Norhart anticipates breaking ground summer 2025. Phase one will open Spring 2026 and a final completion date of winter 2026.

BUILDING FEATURES

The proposed multifamily project stands 60' tall and is on an approximately 3.875 acre parcel. Tenant amenities are located throughout the building and residential units are on floors 1-5. Sub-grade parking will span the entire building footprint. The building footprint is 43,866 SF and the total SF of the building is 263,196.

Underground parking	43,866 SF
First Floor	43,866 SF (Retail, tenant amenities and residential units)
Second Floor	43,866 SF (Tenant amenities and residential units)
Third Floor	43,866 SF (Tenant amenities and residential units)
Fourth Floor	43,866 SF (Tenant amenities and residential units)
Fifth Floor	43,866 SF (Tenant amenities and residential units)

Unit Details

The building consists of a variety of unit layouts and bedroom configurations. Below is an outline of the unit types and proposed rental rates.

	Unit Count	Square Feet	Rental Rate/SF	Cost/Unit
Studio	21	389 SF	\$2.35 - \$2.50	\$914 - \$973
Studio+ Alcove	20	512 SF	\$2.55 - \$2.75	\$1,306 - \$1,408
One Bedroom	91	567 SF & 621 SF	\$2.25 - \$2.50	\$1,276 - \$1,553
Two Bedrooms	70	812 SF & 992 SF	\$2.08 - \$2.30	\$1,689 - \$2,282
Three Bedrooms	16	1,041 SF	\$2.00 - \$2.15	\$2,082 - \$2,238
Number of Units	218 TOTAL			

Parking

Underground parking is a desired amenity with tenants. A geotechnical consultant has been engaged in research to determine the water table level for various points around the site. The preliminary data from the geotechnical site investigation aligns with the historic data for the site, allowing us to establish an estimated water table elevation. This water table elevation was used as the controlling variable to establish the acceptable building elevations. The parking level will be roughly 7' below the surrounding grade, while the first floor will be roughly 5' above surrounding grade. Building perimeter grade manipulation, creative uses of raised patios and ramps, and site landscaping are being utilized to minimize the visual impact of this elevation.

Parking Spaces

Tenants	Retail
328 Total	16 Total surface
<ul style="list-style-type: none">• Underground 120• Surface 208• 1.50 spaces per unit	

Amenities

Norhart Ramsey amenities offer something for everyone. The building boasts a feature for each lifestyle and age group. Whether you are a fitness buff, movie fanatic or pet lover, the building caters to you!

Outside, a feature pool is situated slightly away from the building to minimize noise for the residents and maximize splashing enjoyment. The area includes lounge chairs, grilling stations, cabana bar, table and chairs and fire pits. An additional building is located within the pool area housing bathrooms and pool equipment.

Four-legged tenants are catered to with multiple doggy bag stations throughout the development, a dog run and a pet spa to keep them looking their best.

Approximately 5000 SF of retail space is conveniently located on the Southeast corner of the development along Sunwood Drive NW. Dedicated parking spaces will be provided. Desired retail tenants include restaurants and services and products that cater to the needs of the residents, i.e., Jimmy Johns, Jamba Juice, coffee shop, health food store, salon/spa, etc. Entry points to the retail space will be located off the parking lot and along Sunwood Drive NW via the patio. For tenant safety, there will not be an entry point from inside the building. Retail signage will be visible from Sunwood Drive NW.

Building Amenities

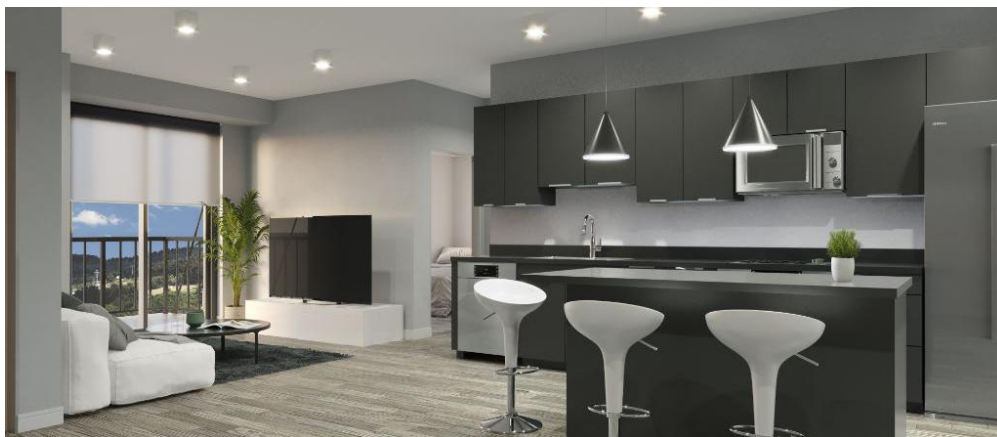
- On-site staffing office
- Community room
- Game room
- Lobby area with coffee station
- Movie room
- Fitness & yoga center
- Pet spa
- Micro market
- Co-working space
- Mail room
- Secure package room
- Bike repair station
- Heated, sunken parking
- Storage

Unit Amenities

- Granite countertops
- Luxury vinyl plank flooring
- Central heat & A/C
- Fiber optic internet
- In unit washer & dryer
- Private balcony
- Stainless steel appliances
- Master walk-in closet

Exterior Amenities

- Heated pool
- Lounge seating
- BBQs
- Fire pits
- Table and chairs
- Dog run
- Pet stations
- Bike racks
- Benches



Norhart unit



Norhart pool

DEVELOPMENT FEATURES

Our obsessive care and attention to design details, fit and finish, and relentless dedication to providing our residents with a refined and sophisticated living environment are all evident in our design-build development of Norhart Ramsey.

Architectural Design

The architectural design of Norhart Ramsey is defined by its modern and minimalist look and feel. We highlight this incredible design with a prominent expansive glass corner with state-of-the-art amenities to enhance and enrich our resident's living experience.



Norhart glass corner

Our design language is simple and thoughtful, featuring expansive walls with architectural panels that creates a visually appealing facade with dynamic elevations designed to impress from all angles. The design is further enhanced by metal balconies, large windows and doors, providing a simple, clean, and timeless look and feel.

Exterior Materials

A combination of architectural panels (composite or flex tile), glass and EIFS will be incorporated into the exterior of the building façade. The Norhart corner and retail façade will be glass and composite or flex tile. The remaining residential façade is EIFS.

Enclosures

A trash enclosure will be located on the South end of the parking lot along the shared driveway and will be screened with similar materials as the building façade. Trash enclosure will be used by building maintenance and retail tenants.

Entry Points

Residents have several entry points to the building. The main entrance is through the Norhart Corner in the parking lot. Two secondary building entrances are available on Sunwood Drive NW. The first is located next to the Norhart Corner stairwell near the roundabout and the other next to the retail tenant's patio. The third secondary entrance is located near the pool on the East side of the building. Secondary access doors will be controlled with key cards to ensure the safety of the apartment community.

Signage

The development incorporates several signs throughout the site. The Norhart logo and Norhart name will utilize a Wall Sign on the front of the building facing Sunwood Drive NW and Project Signs (monuments) will be at the main entrance near Sunwood Drive NW and on the corner of Ramsey Parkway and Zeolite Street NW. An additional Wall Sign will be on the back side of the building facing the parking lot.

Retail tenant signage will be Wall Signs placed on the building near the entrance(s) of the user as well as on the building by the patio along Sunwood Drive NW. All signs will conform with city requirements and measurements.

Photometric Plan

The parking lot will not exceed 0.5 foot candle measured at any point in the property line. This ensures the lighting is adequate for safety and visibility along the parking lot edges. Low illuminance level in the perimeter around the building (5 feet around the building) will help to prevent intrusive lighting to tenant units which can be disruptive to tenants.

RAMSEY COR DESIGN

The COR district of Ramsey boasts a walkable, urban downtown that promotes vibrant living, community engagement and pedestrian activity. Norhart is pleased to join this thriving and growing community. We understand the importance of building a development that is attractive and inviting to the community. We kept the surrounding neighborhood and COR design framework in mind when designing the building and landscape. The framework was carefully considered, and the following elements are an example of what was incorporated:

- Prominent street frontage
- Parking screened from major streets, away from view
- ‘4-Sided’ architectural design along public street frontage
- Bike racks and benches accessible to community inviting bicycle and pedestrian traffic
- Shady trees and appropriately placed shrubbery landscaping
- Retail space accessible from sidewalks with large, inviting patio encouraging outdoor dining



NORHART HISTORY

Norhart has been family owned and based in Forest Lake since 1995. Named one of the “Top Work Places,” our employees are problem solvers, achievers, optimists, and leaders. We do not just construct apartment buildings - we create communities where people can build their families and live their lives. We aspire to give people a safe, clean, and comfortable place to live.

When we build an apartment building, we aim to change the entire neighborhood for the better. Bringing new people into the community increases business for local shops, markets and restaurants. As a result, often new businesses are established to serve the growing community as well. We are proud to be part of this growth.

NORHART COMMUNITIES

Each Norhart building is designed with the community in mind and the resident experience foremost including luxury amenities, attractive aesthetics and well-designed units. Below are two recent Norhart projects depicting this style.



NORHART OAKDALE



NORHART COTTAGE GROVE