

SITE DEVELOPMENT PLANS

FOR

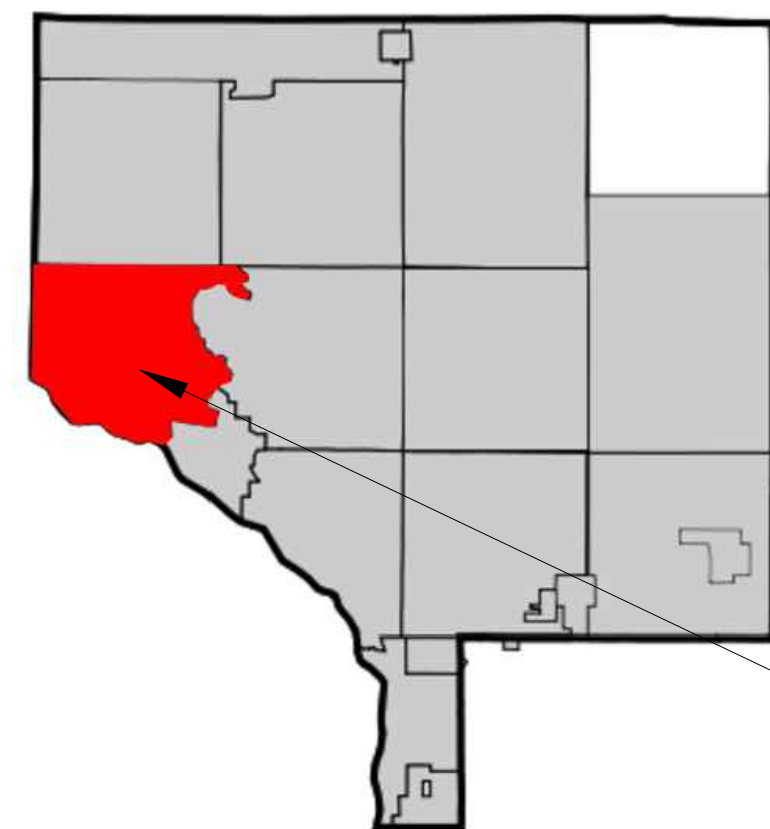
RAMSEY U-HAUL

8725 RIVERDALE DRIVE NW
RAMSEY, MINNESOTA



SITE LOCATION

ANOKA COUNTY, MINNESOTA



SITE LOCATION

CITY OF RAMSEY, ANOKA COUNTY



PROJECT LOCATION

MISSISSIPPI RIVER

SHEET INDEX

THIS PLAN CONTAINS 15 SHEETS

SHEET NO.	DESCRIPTION
C1	TITLE SHEET
C2-C3	DETAILS
C4	DETAILS
C5	EXISTING CONDITIONS & REMOVALS PLAN
C6	SITE PLAN
C7	GRADING & DRAINAGE PLAN
C8	UTILITY PLAN
C9-C10	STORMWATER POLLUTION PREVENTION PLAN
C11	TURNING RADIUS FIGURE
C12	PHOTOMETRIC PLAN
L1.1	LANDSCAPE PLAN
L1.2-1.3	LANDSCAPE DETAILS, NOTES & SCHEDULES



CALL BEFORE YOU DIG!

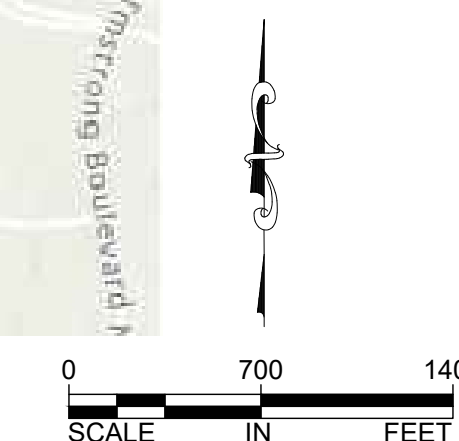
Gopher State One Call

Twin City Area: 651-454-0002
Toll Free: 1-800-252-1166

THE SUBSURFACE UTILITY INFORMATION DEPICTED IN THESE PLANS ARE SHOWN ACCORDING TO CI/ASCE 38-02, "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA," LEVEL D STANDARDS.

LEGEND

IMPAIRED WATERS



BENCHMARK: MNDOT MONUMENT 0202 B
GSID STATION: #93781
ELEVATION = 865.015 FEET (NAVD 88)

F:\survey\riverstone south - anoka\02 Engineering - 90742\01 CAD\05 Sheet Files\01 Title Sheet.dwg

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CHECKED BY:	JEFFREY A. PRASCH, P.E.
GRP	DATE: 07.17.24 LIC. NO.: 52706

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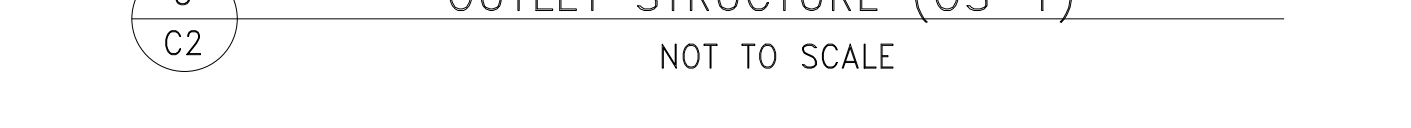
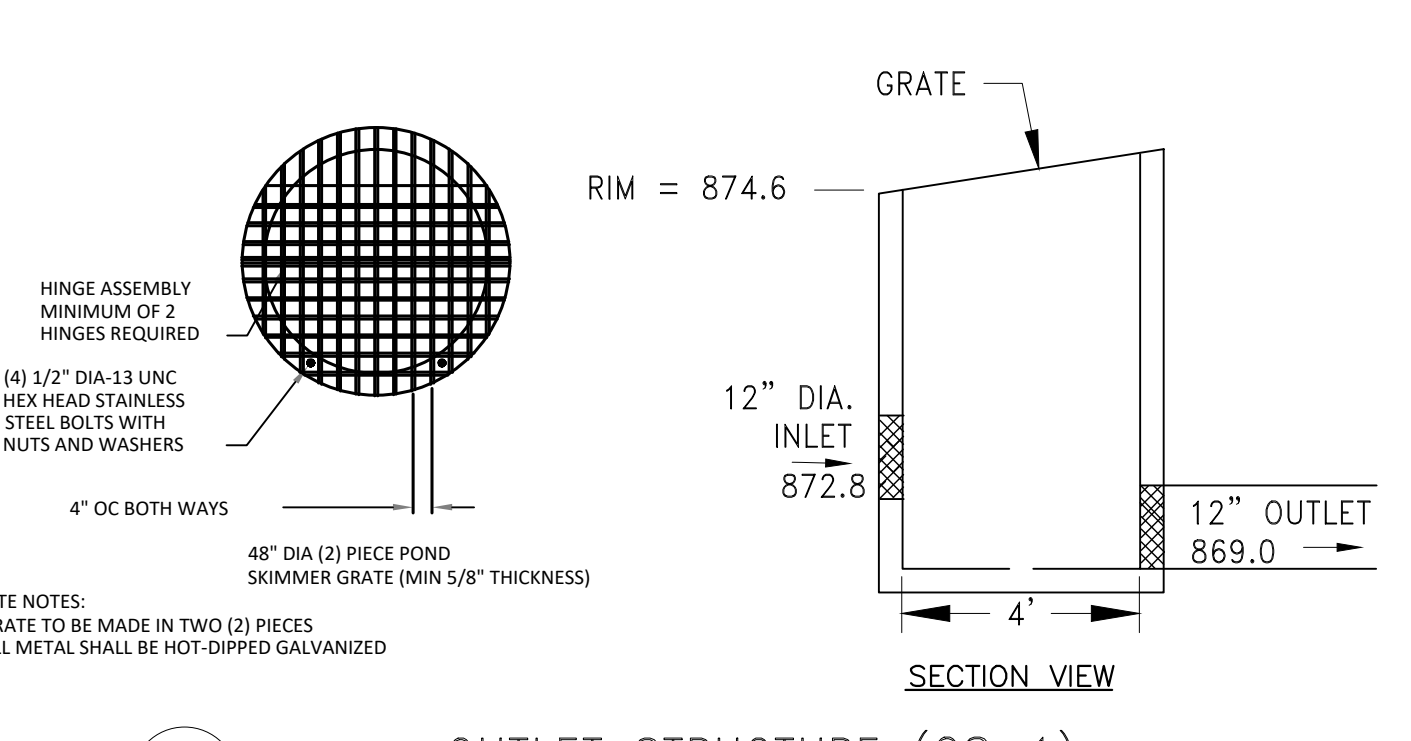
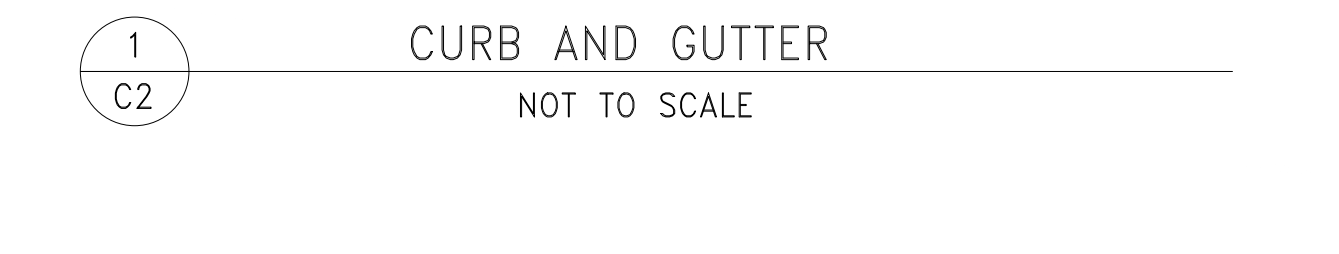
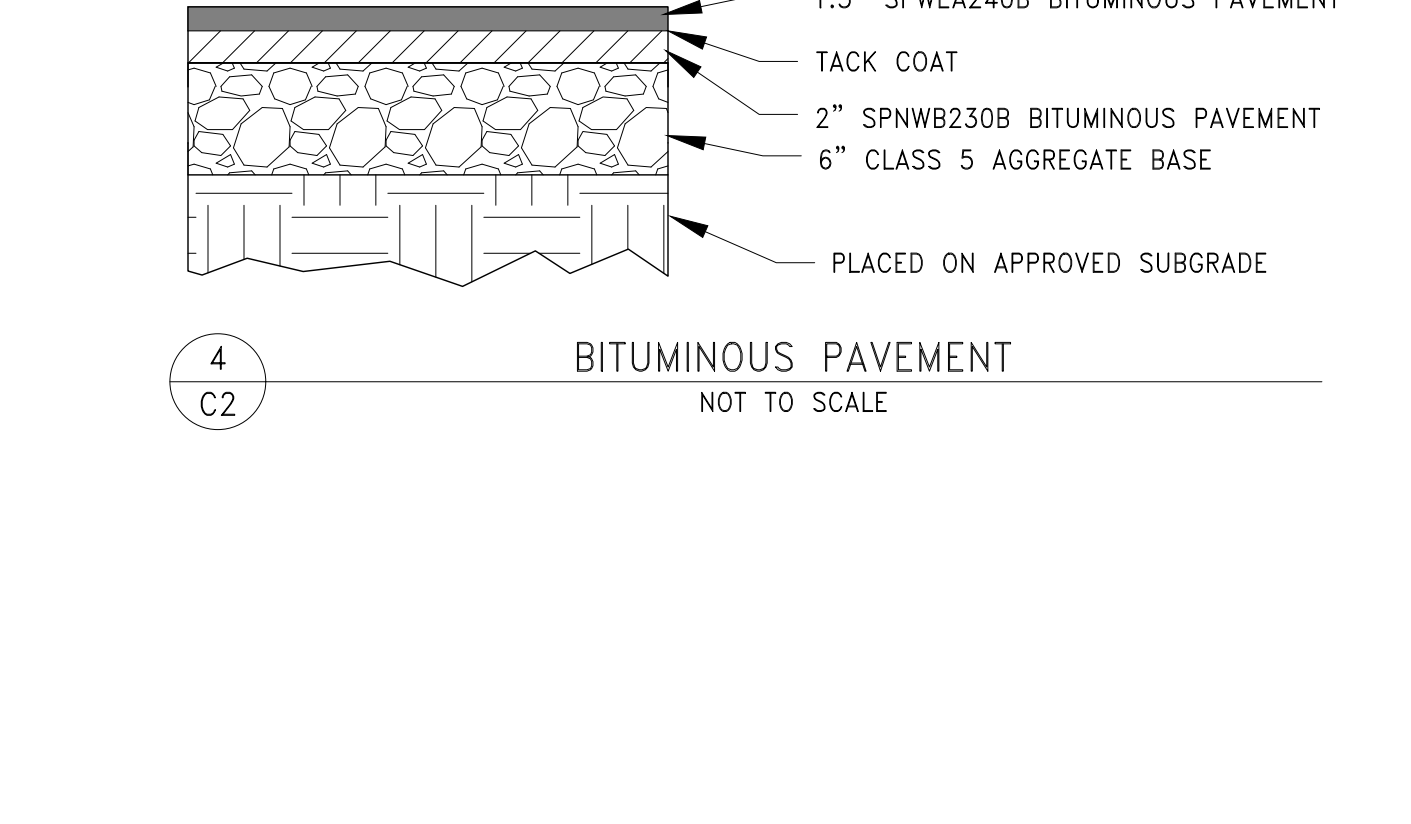
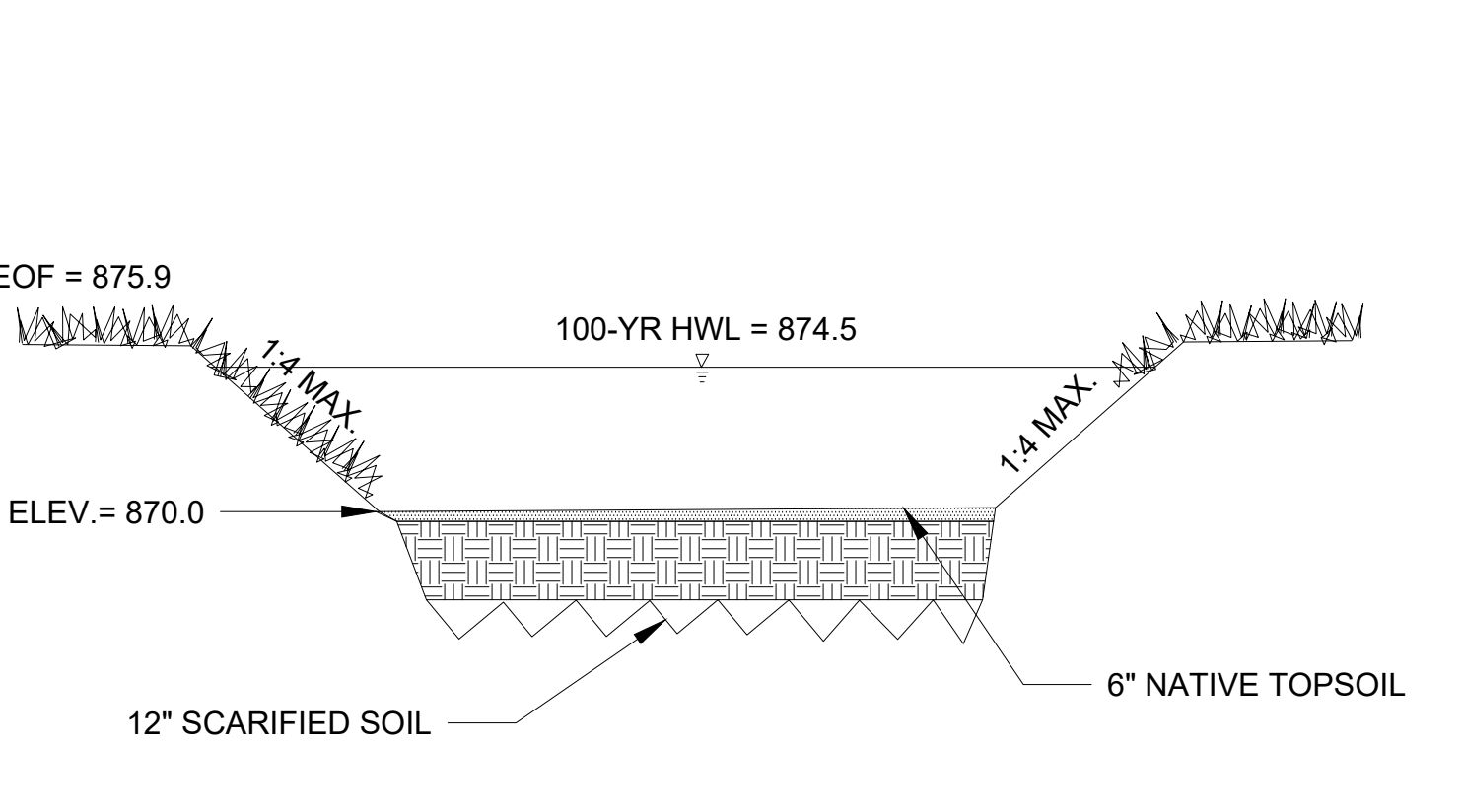
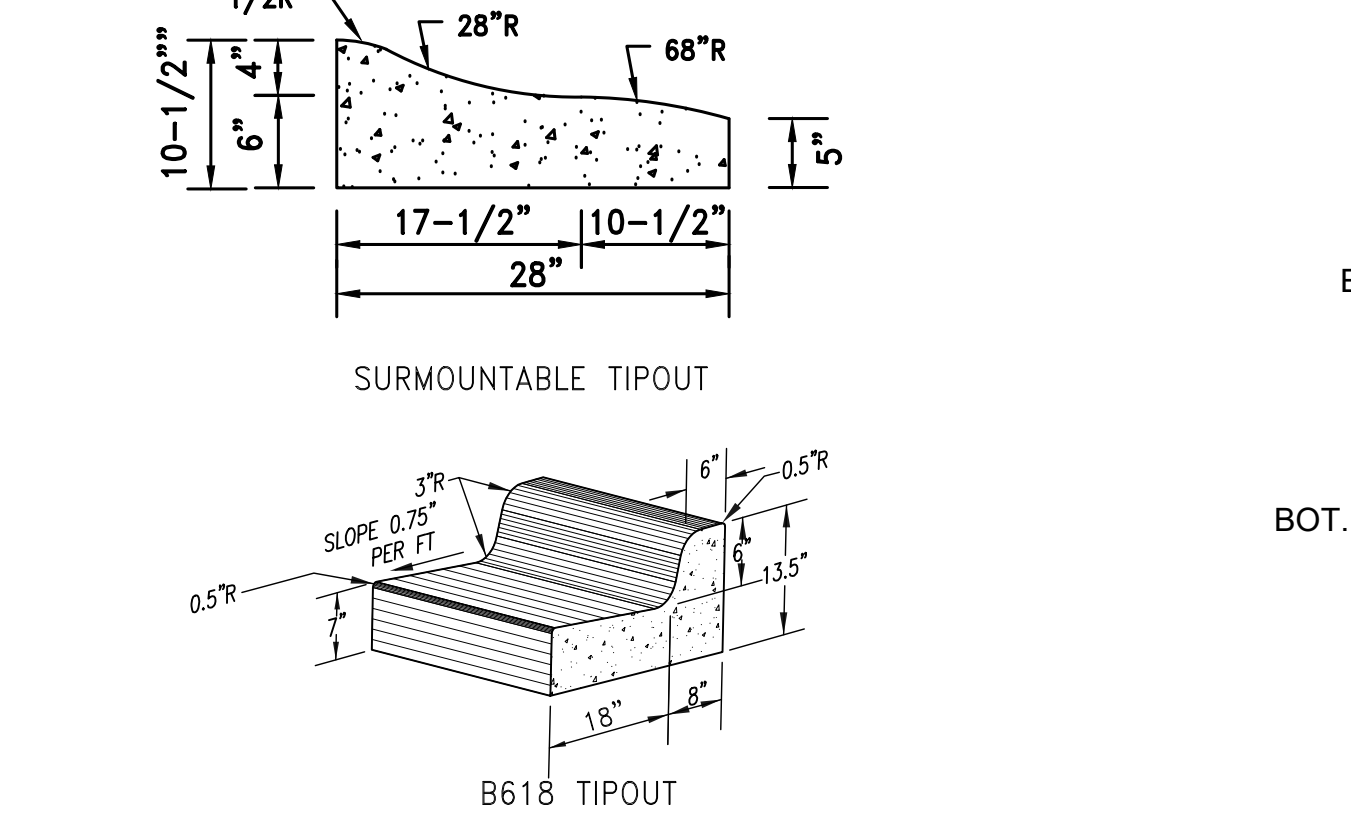
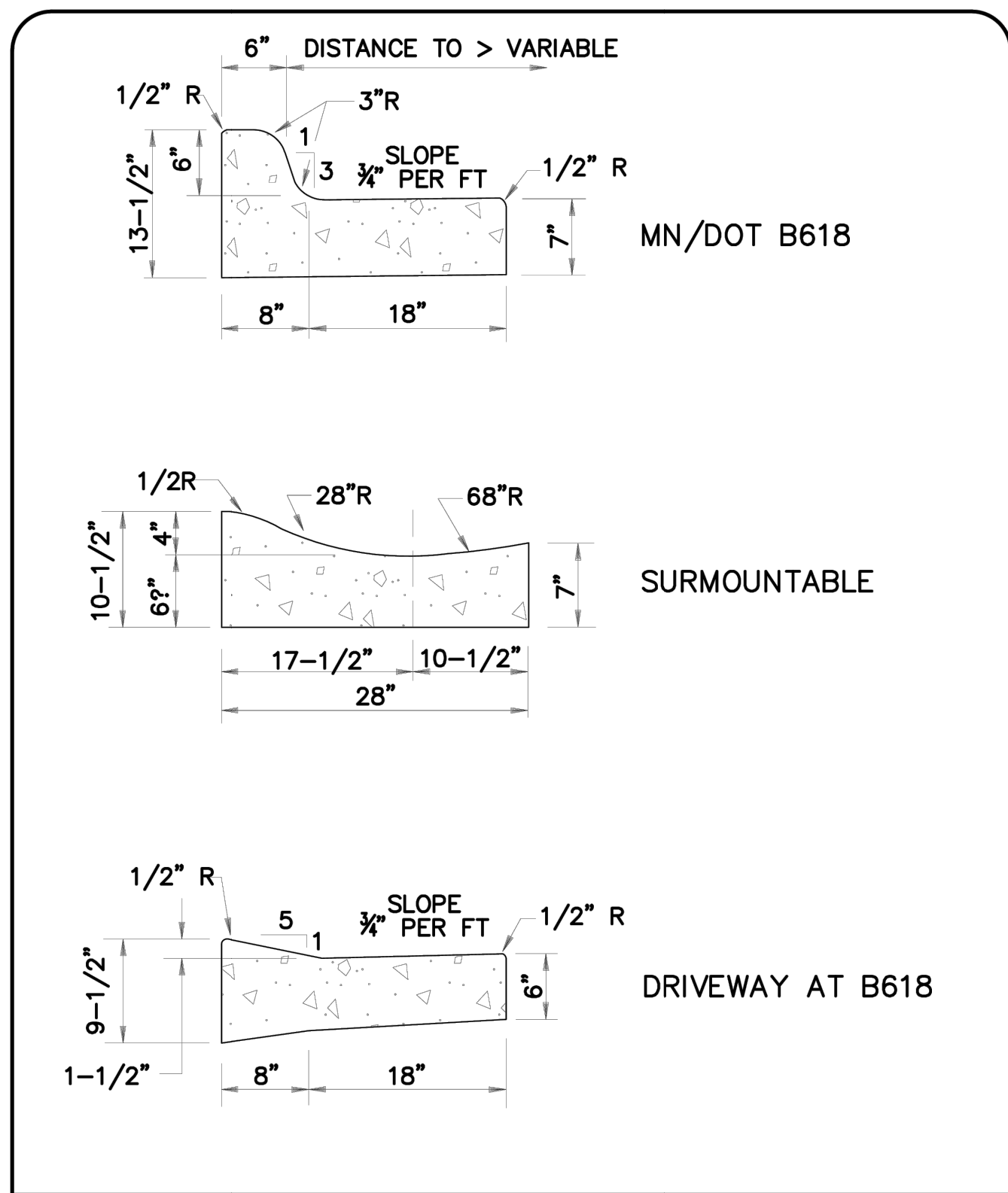
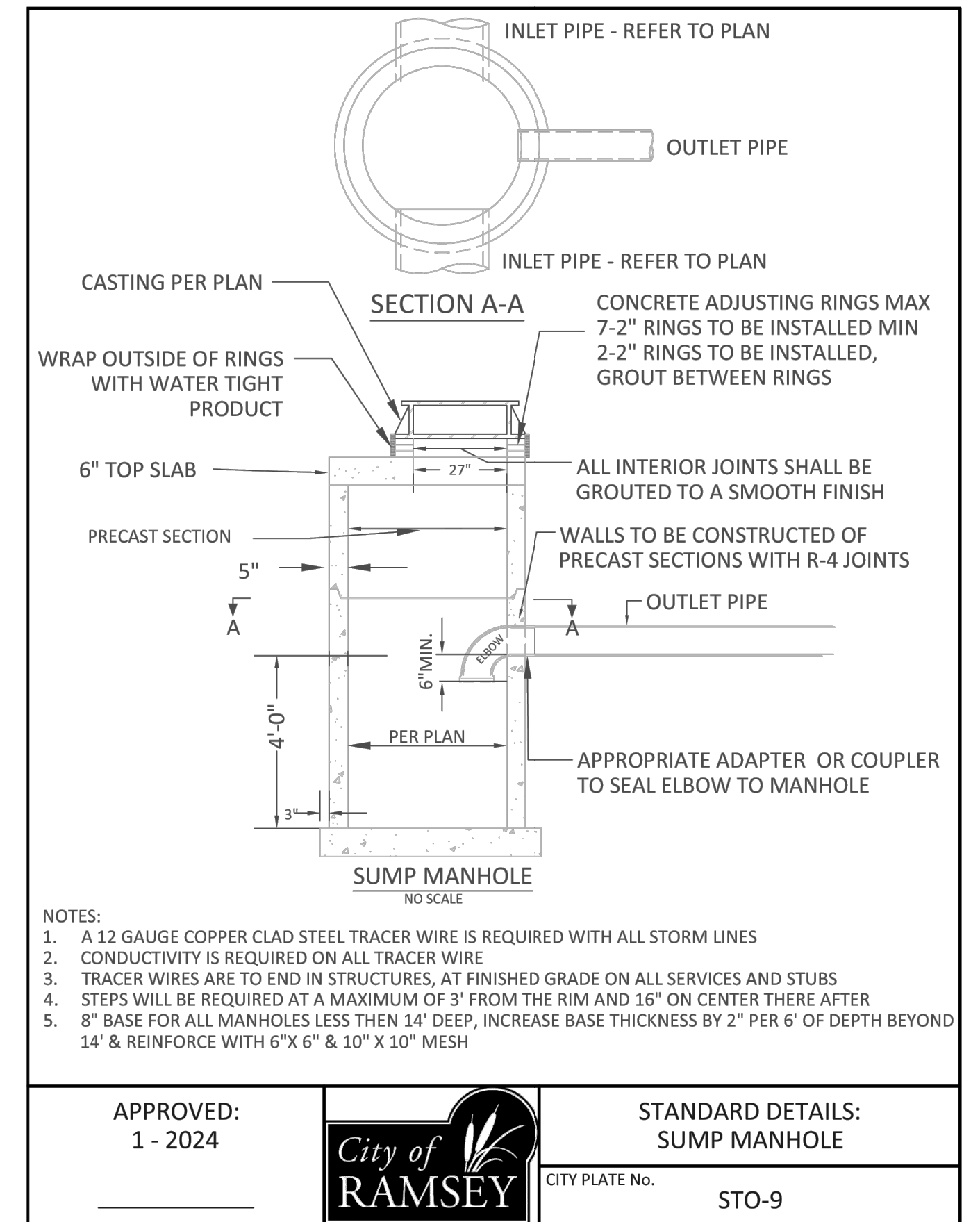
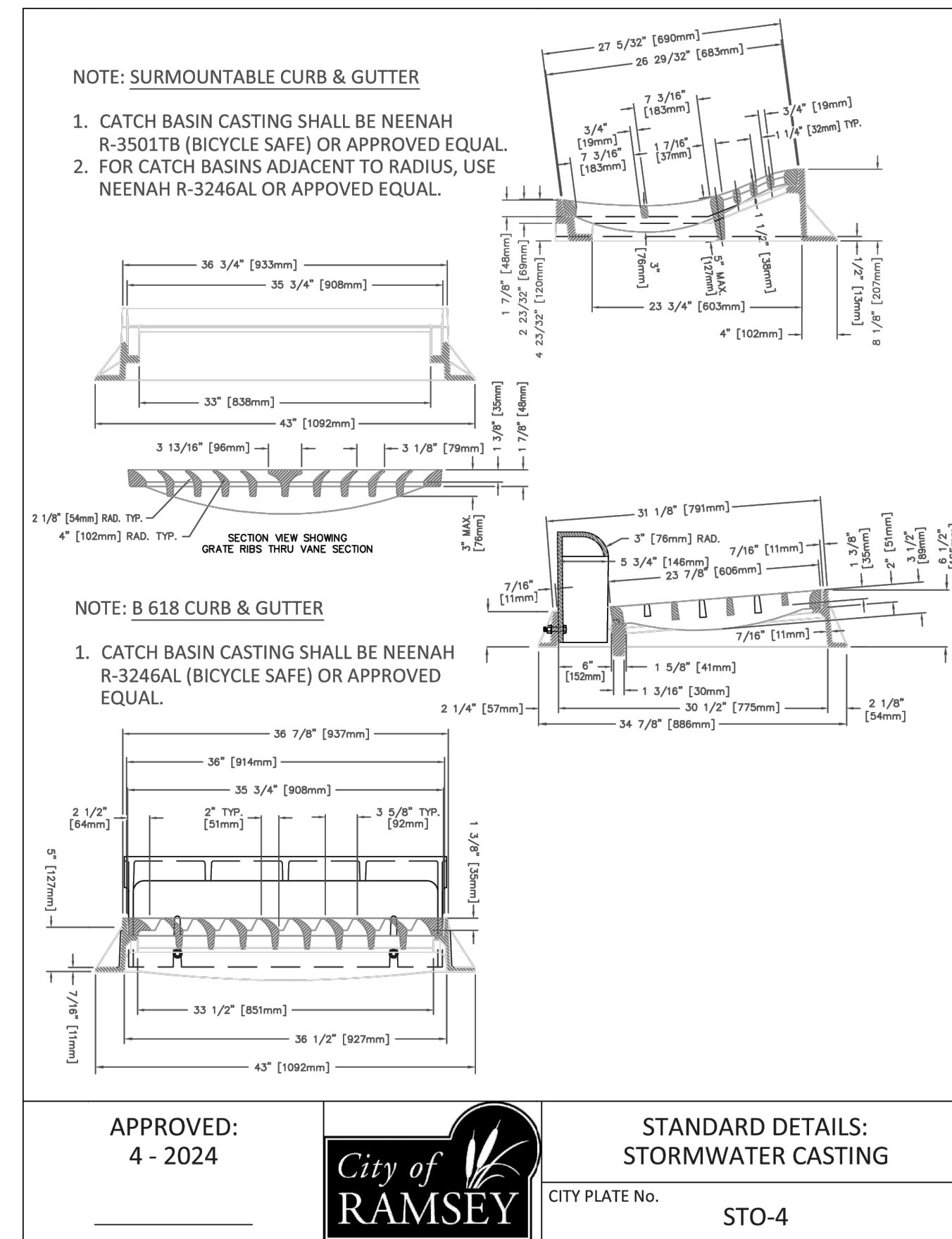
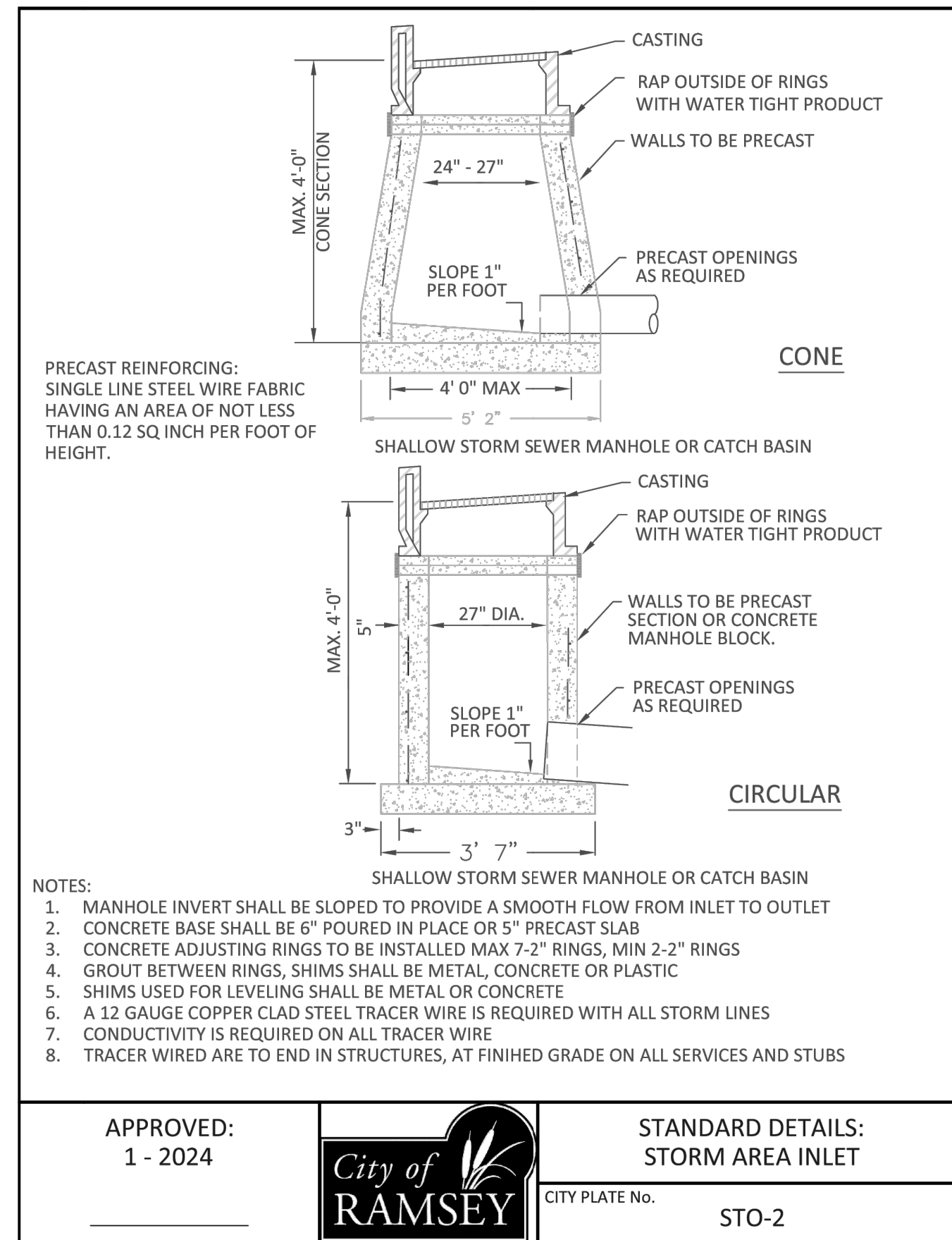
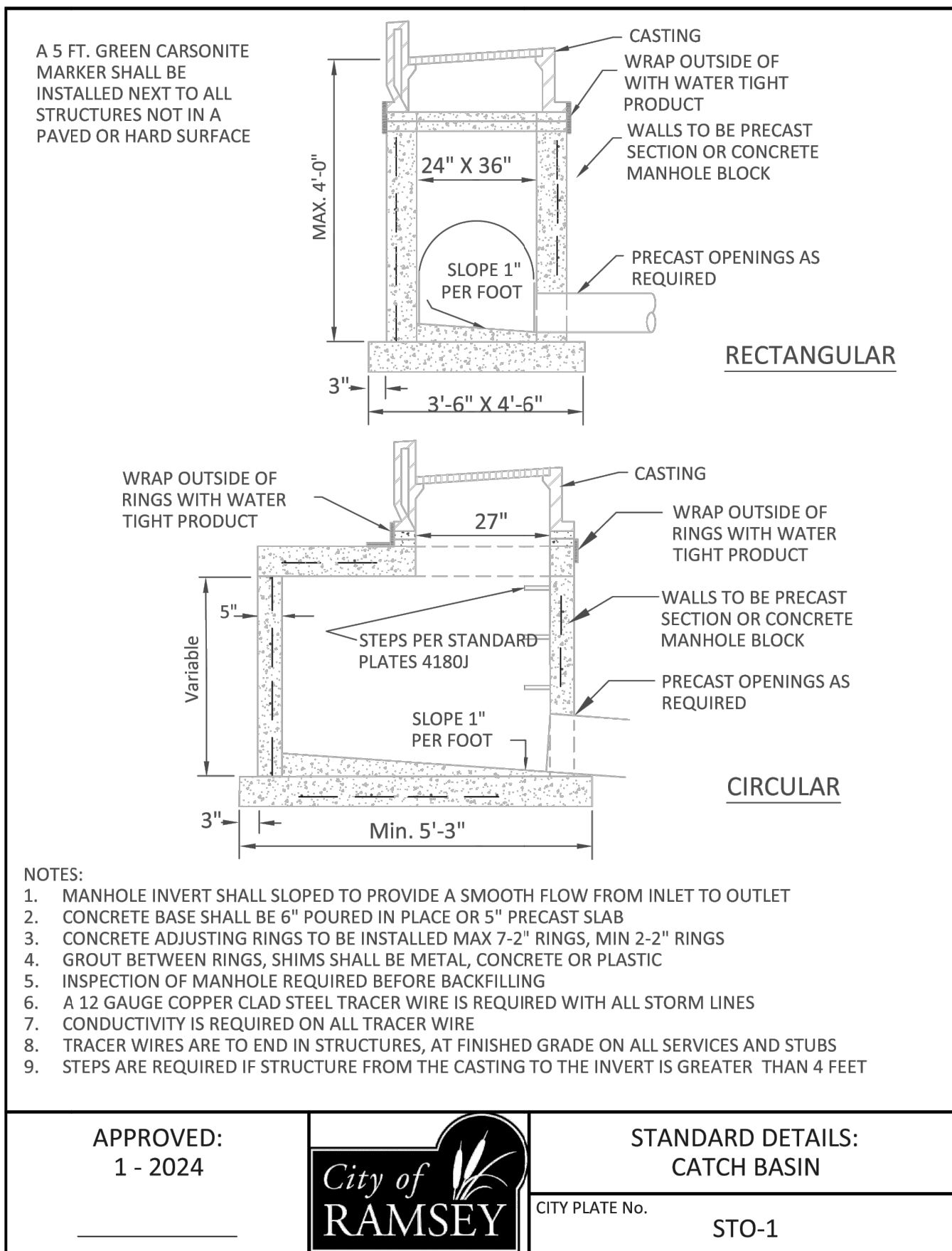
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2727 N. CENTRAL AVENUE
PHOENIX, ARIZONA 85004

RAMSEY U-HAUL
8725 RIVERDALE DRIVE NW
RAMSEY, MINNESOTA

TITLE SHEET

PROJECT: 90742
SHEET NO.
C1 OF C12



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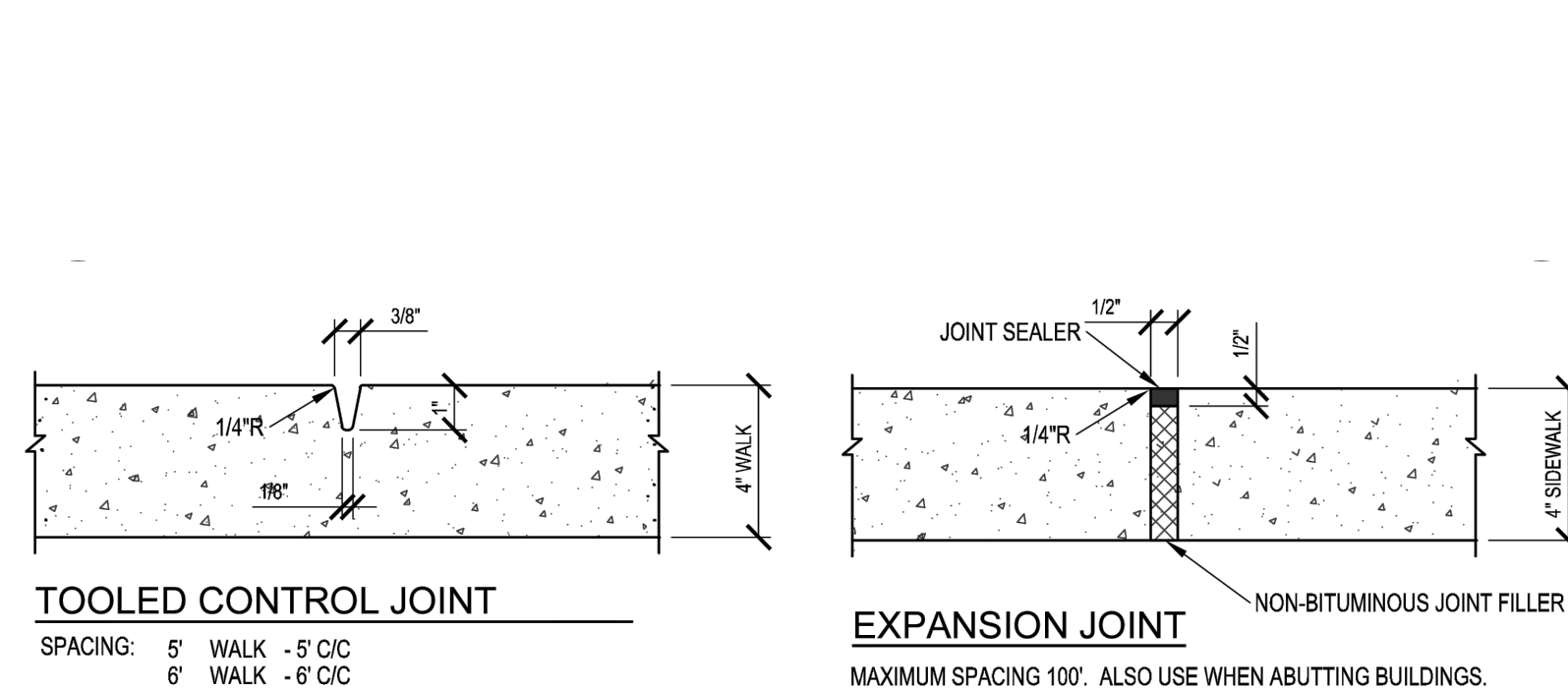
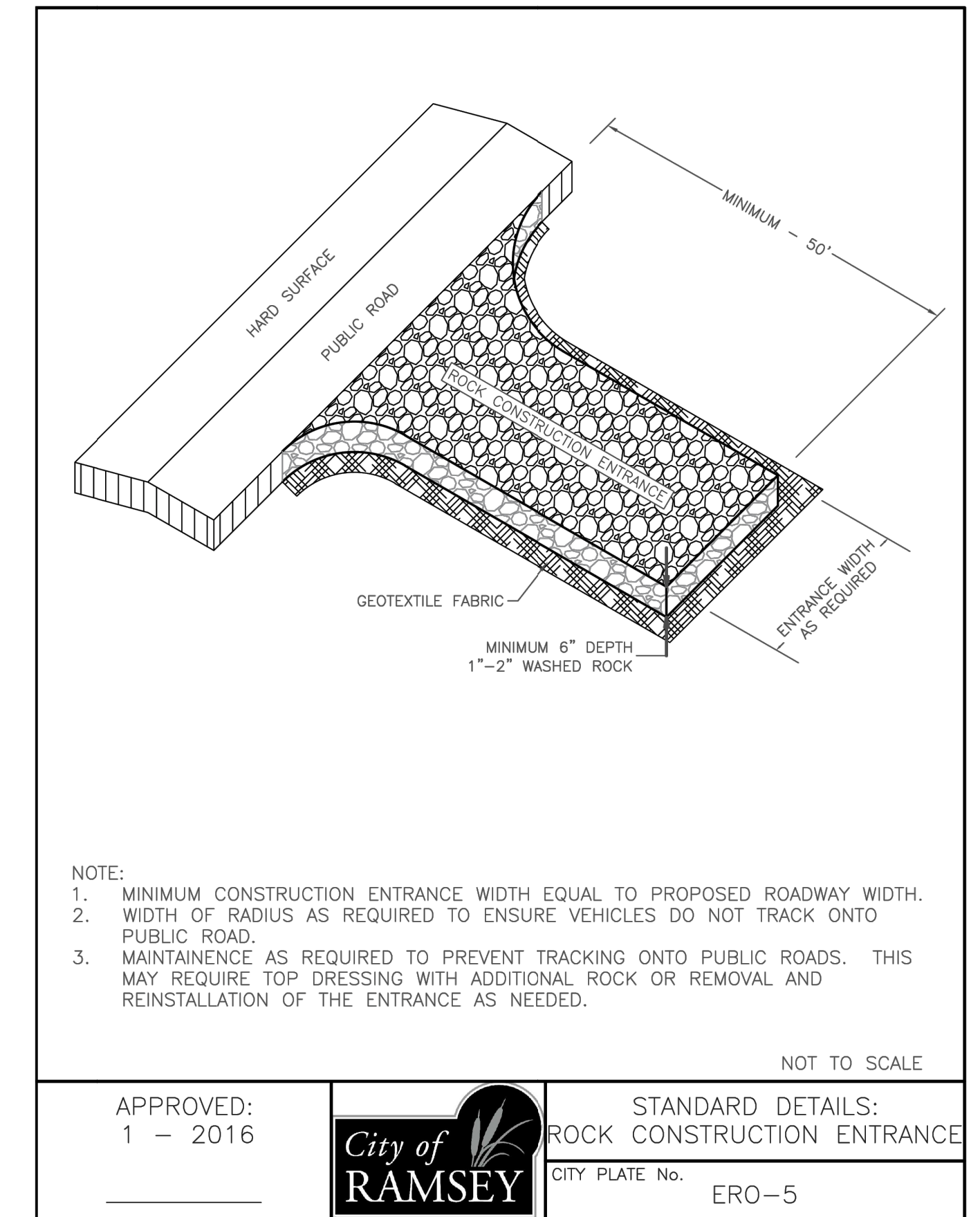
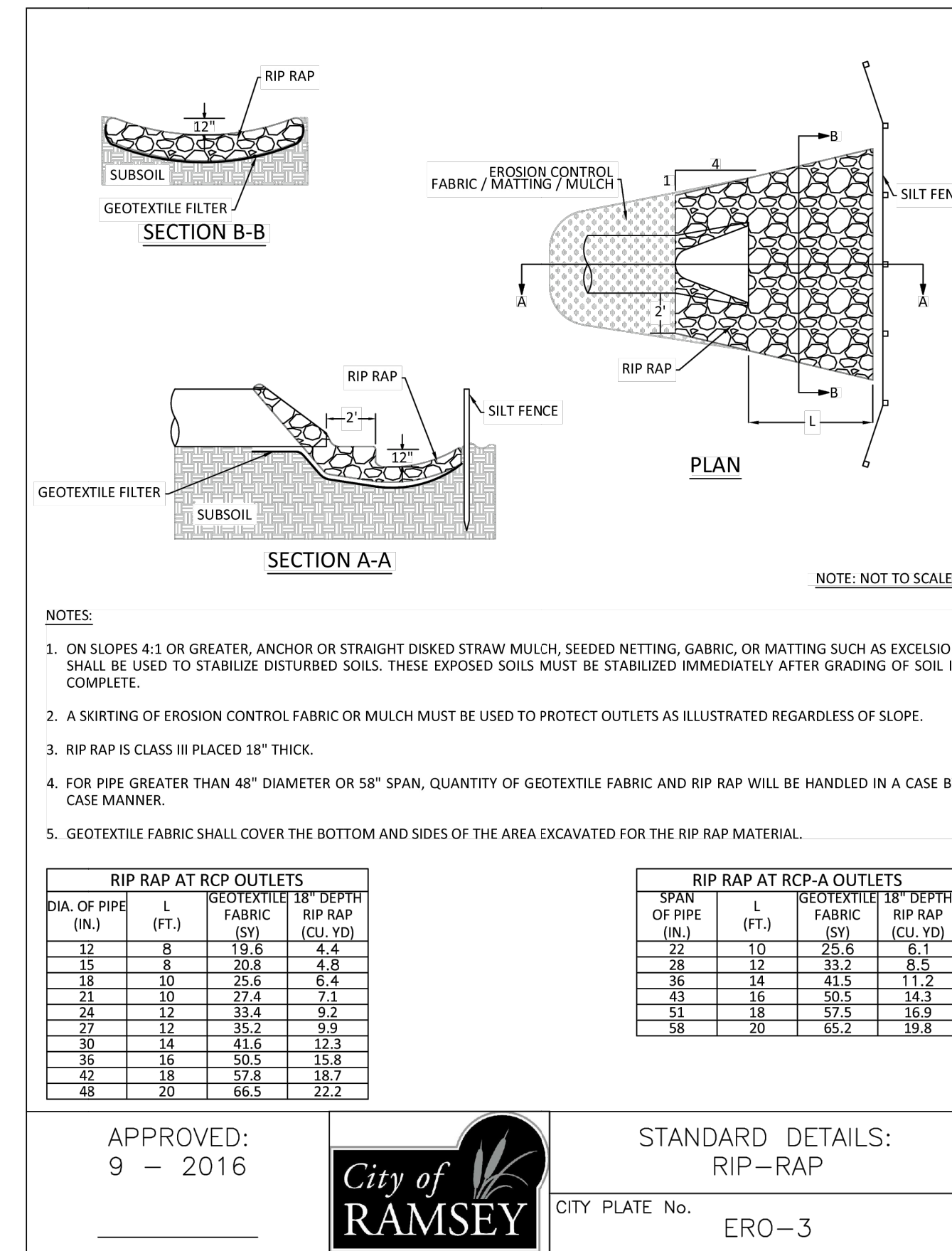
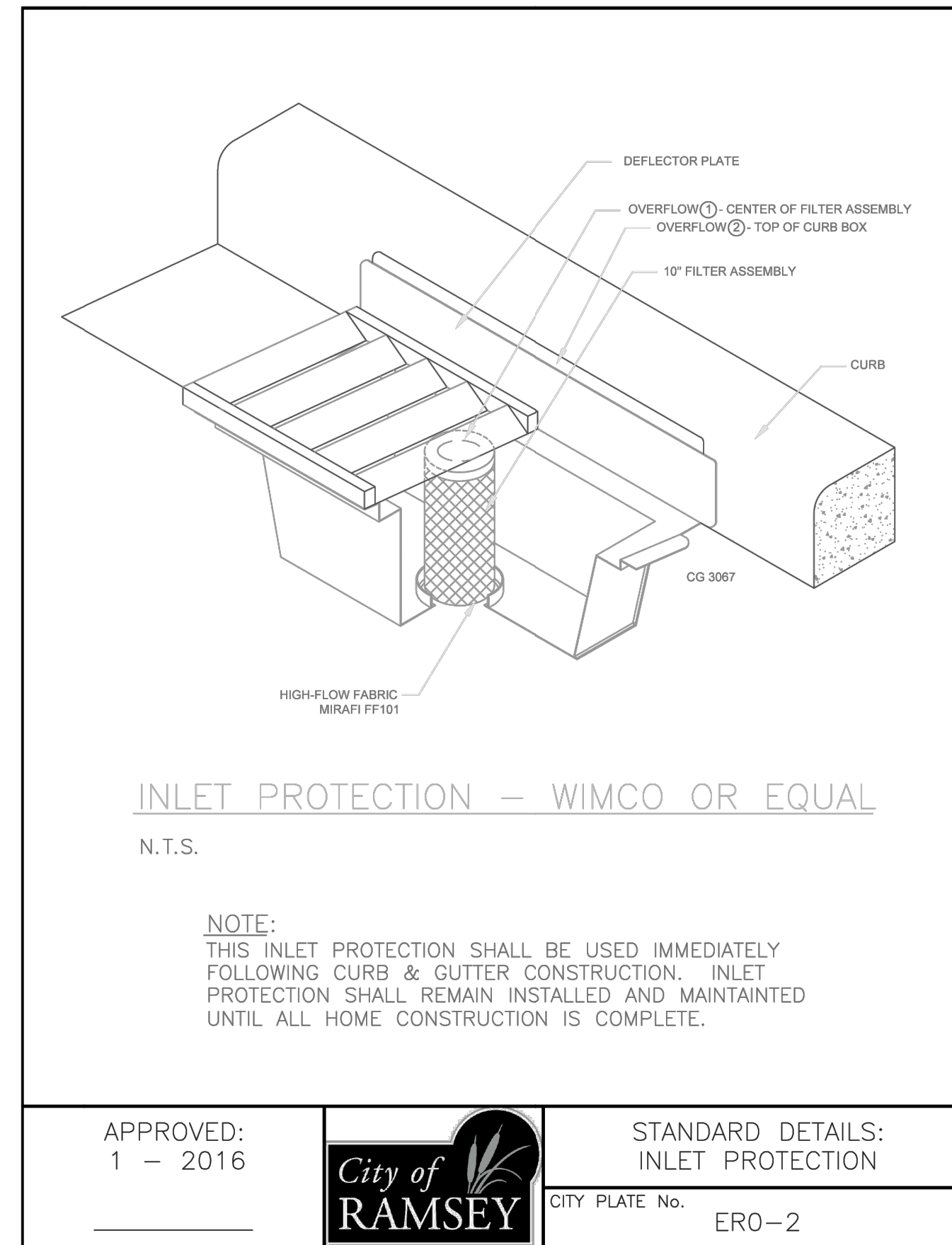
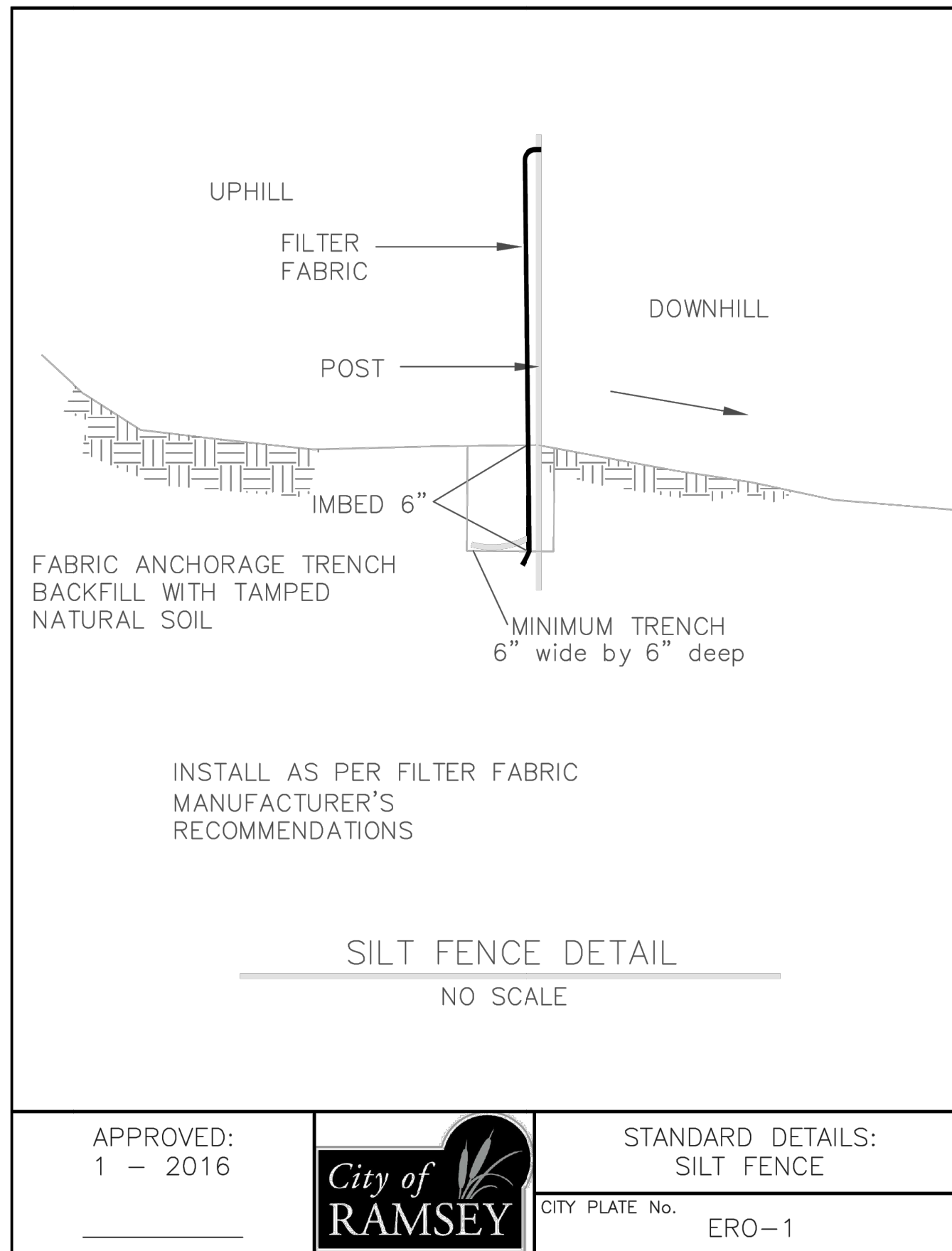
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DATE: 07.08.24 LIC. NO.: 52706		

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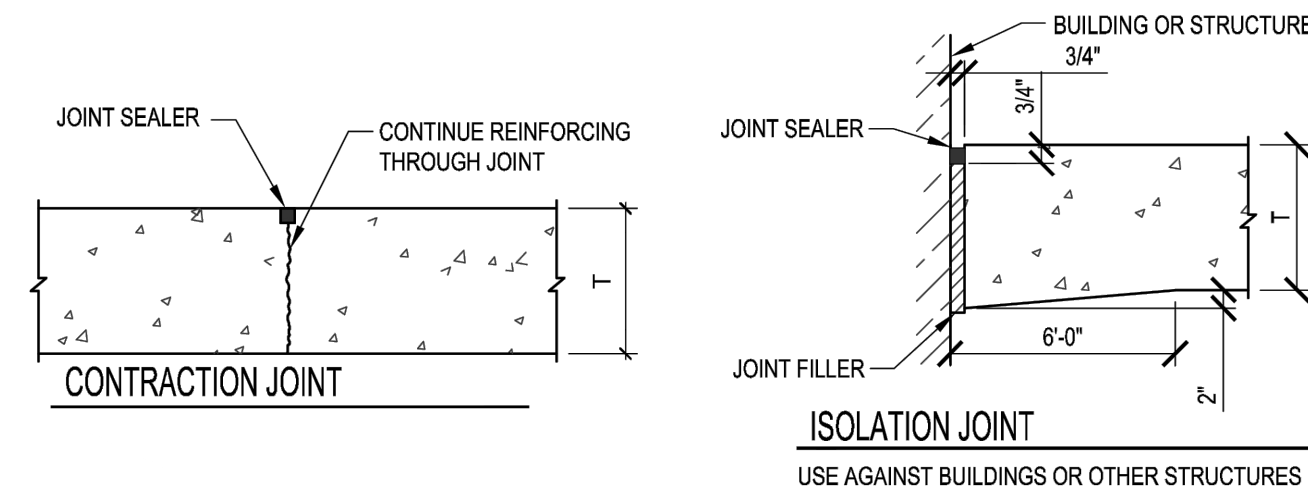
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 RAMSEY, MINNESOTA

PROJECT: 90742
 SHEET NO. C2 of C12
 DETAILS

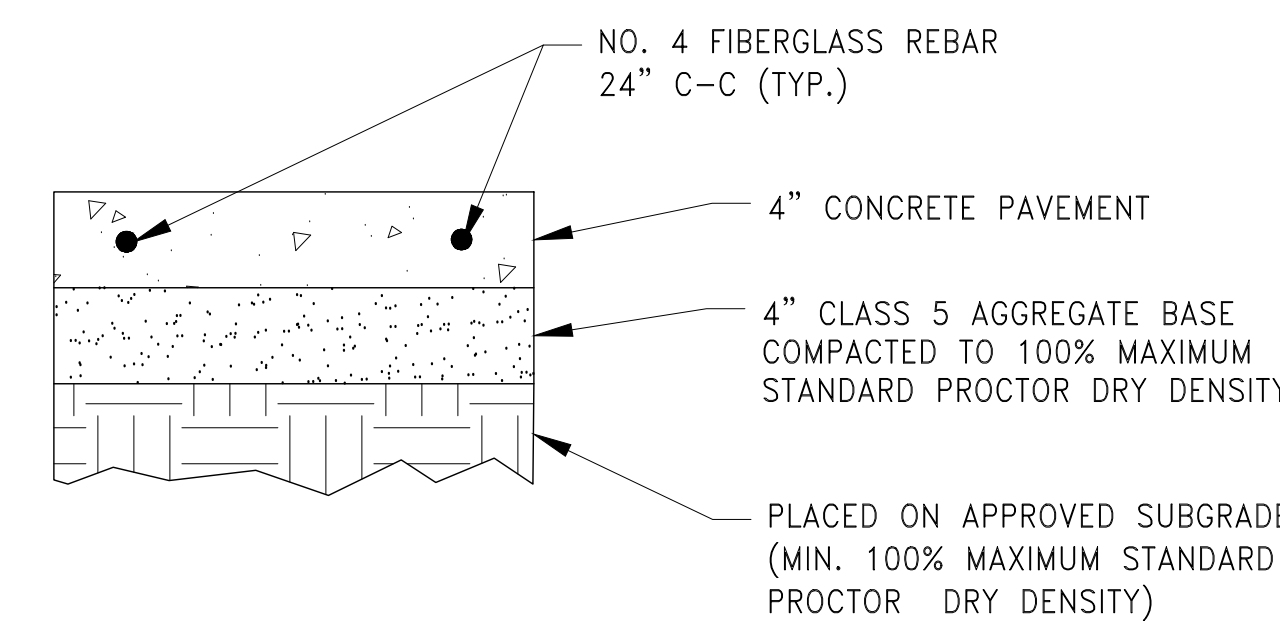


1
C3
CONCRETE SIDEWALK JOINT DETAILS
NOT TO SCALE

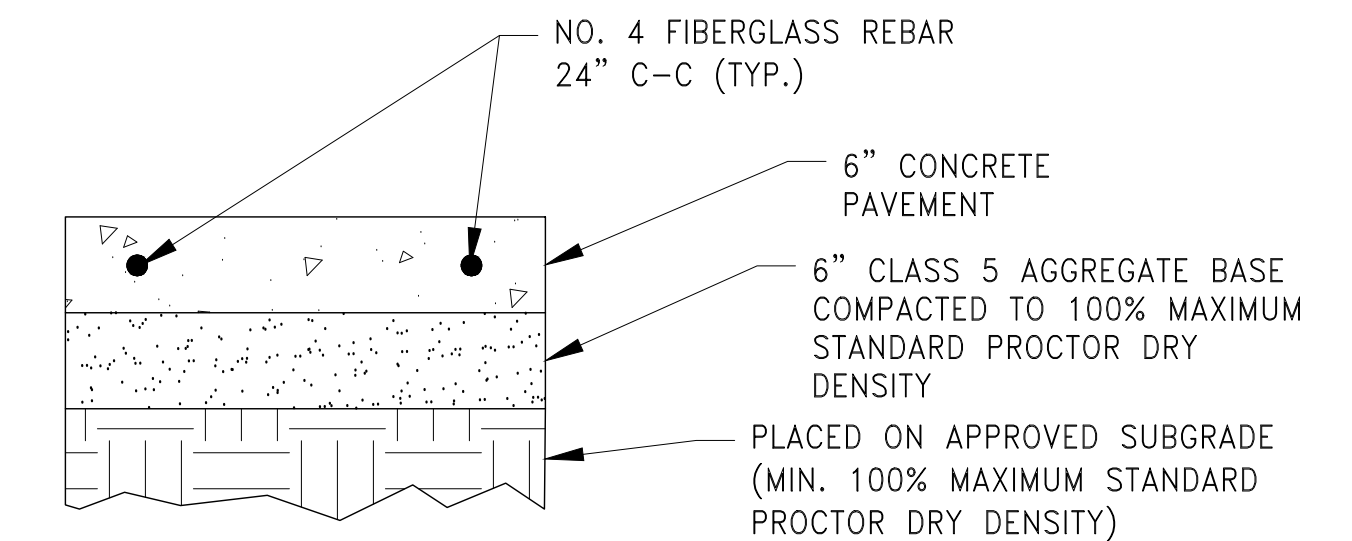


- NOTES:
1. MAXIMUM JOINT SPACING SHALL BE 15 FEET.
2. JOINTS SHALL BE AT CURVE TANGENTS AND CURB JOINTS WHEN FEASIBLE.
3. PROVIDE DOWELS INTO EXISTING CONCRETE PAVEMENT WHEN NEW CONCRETE PAVEMENT ABUTS IT. ALSO PROVIDE AN ISOLATION JOINT BETWEEN EXISTING AND NEW CONCRETE.
4. REBAR SHALL BE FIBERGLASS NO. 4 PLACED 24" C-C.

2
C3
CONCRETE PAVEMENT JOINT DETAILS
NOT TO SCALE



3
C3
CONCRETE SIDEWALK
NOT TO SCALE



- NOTE: CONCRETE COMPRESSIVE STRENGTH SHALL COMPLY WITH ASTM STANDARD C94. MINIMUM 28-DAY STRENGTH = 3,900 PSI

4
C3
CONCRETE VEHICLE PAVEMENT
NOT TO SCALE

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8725 RIVERDALE DRIVE NW
RAMSEY, MINNESOTA

DETAILS

PROJECT: 90742
SHEET NO.
C3 of C12

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PIPE SIZE	22 1/2° BEND			45° BEND			90° BEND		
	A	B	C	A	B	C	A	B	C
12"	1'-10"	1'-10"	2'-0"	3'-4"	2'-0"	2'-0"	4'-9"	2'-6"	2'-0"
16"	3'-0"	2'-0"	2'-0"	3'-10"	3'-0"	2'-0"	6'-2"	3'-6"	2'-6"
20"	3'-6"	2'-8"	3'-0"	5'-6"	3'-4"	3'-0"	8'-4"	4'-0"	2'-6"
24"	4'-4"	3'-0"	3'-0"	6'-10"	3'-10"	3'-0"	9'-8"	5'-0"	
30"	--	--	3'-6"	9'-3"	6'-0"	3'-6"	17'-0"	6'-0"	3'-6"

NOTED FOR CONSTRUCTION

APPROVED: 1 - 2024

City of RAMSEY
CITY PLATE No. WAT-8

STANDARD DETAILS:
THRUST BLOCKS

APPROVED: 4 - 2016

City of RAMSEY
CITY PLATE No. STR-14

STANDARD DETAILS:
COMMERCIAL DRIVEWAY CURBCUT

NOTES:
 1. PANEL WIDTH SHALL NOT EXCEED 10 FT. WITHOUT A CENTERLINE CONSTRUCTION JOINT.
 2. DRIVEWAY TO BE ONE COURSE CONCRETE PAVEMENT. (SEE SPECIAL PROVISIONS FOR CLASS OF CONCRETE.)
 3. GUTTER TO BE PAVED INTEGRAL WITH DRIVEWAY.
 4. 8" THICK FOR COMMERCIAL DRIVEWAYS.
 5. 1/2" EXPANSION JOINT, 1/2" PREFORMED JOINT FILLER MATERIAL, AASHTO M 213 (REQUIRED WHEN 2 CONCRETE AREAS ARE POURED SEPARATELY.)

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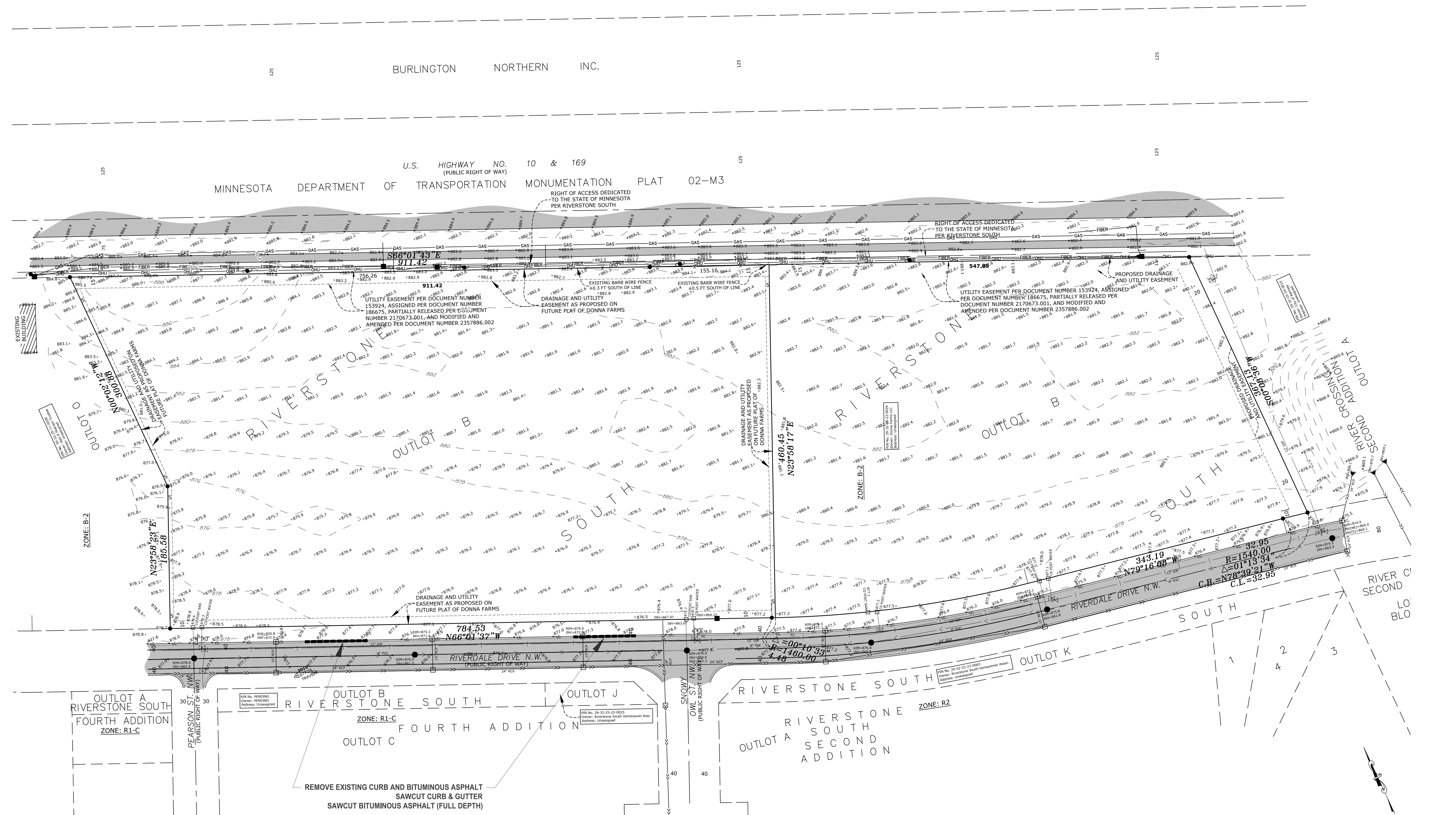
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RAMSEY U-HAUL
8725 RIVERDALE DRIVE NW
RAMSEY, MINNESOTA

DETAILS

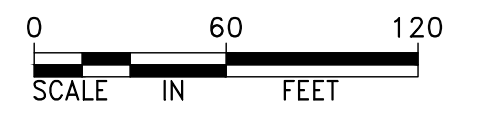
PROJECT: 90742
SHEET NO.
C4 of C12

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REMOVE EXISTING CURB AND BITUMINOUS ASPHALT
SAWCUT CURB & GUTTER
SAWCUT BITUMINOUS ASPHALT (FULL DEPTH)

NOTE: SURVEY INFORMATION PROVIDED BY CLIENT



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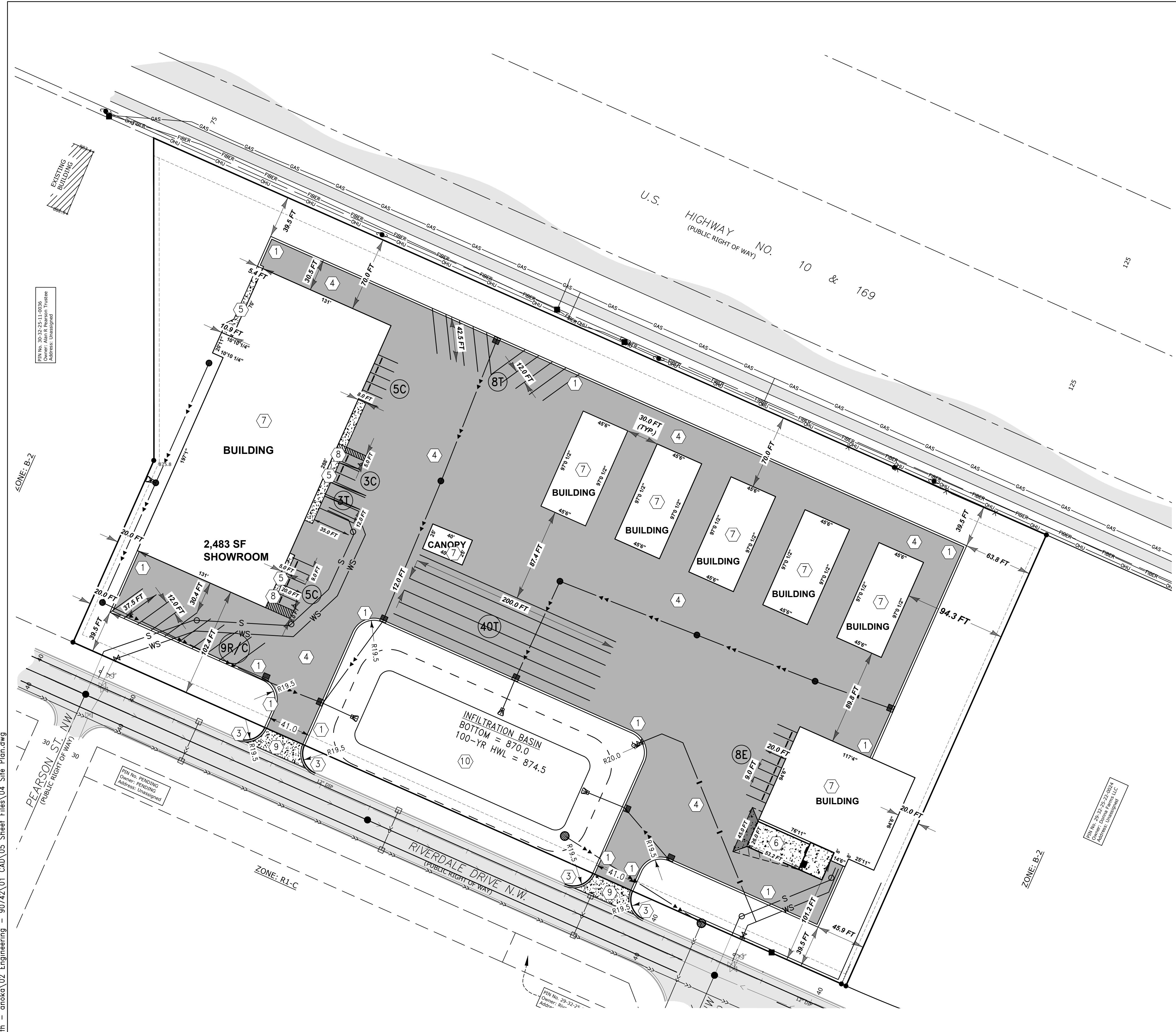
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RAMSEY U-HAUL
8725 RIVERDALE DRIVE NW
RAMSEY, MINNESOTA

EXISTING CONDITIONS & REMOVALS PLAN

PROJECT: 90742
SHEET NO.
C5 OF C12

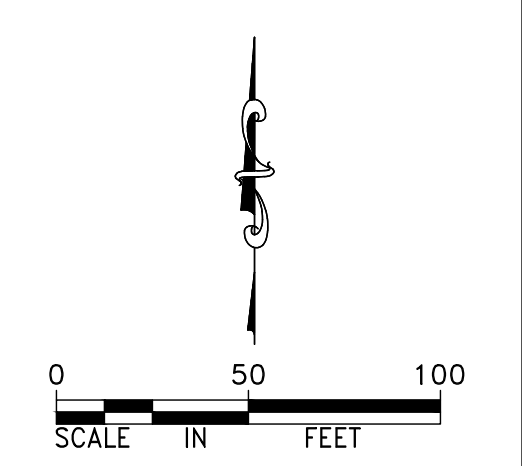


- REFERENCE NOTES:
- ① SURMOUNTABLE CURB AND GUTTER
 - ② NOT USED
 - ③ B618 CURB & GUTTER
 - ④ BITUMINOUS PAVEMENT PER $\frac{4}{C2}$
 - ⑤ CONCRETE SIDEWALK PER DETAILS $\frac{1}{C3}$ AND $\frac{3}{C3}$
 - ⑥ CONCRETE PAVEMENT PER $\frac{2}{C3}$ AND $\frac{4}{C3}$
 - ⑦ PROPOSED BUILDING. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DIMENSIONS.
 - ⑧ HANDICAP SIGN ON WALL
 - ⑨ COMMERCIAL ENTRANCE PER CITY DETAILS
 - ⑩ INFILTRATION BASIN

SITE DATA:
 LOT AREA = 8.73 AC
 EXISTING IMPERVIOUS AREA = 0 AC
 EXISTING HARDCOVER = 0%
 PROPOSED IMPERVIOUS AREA = 5.69 AC
 PROPOSED HARDCOVER = 65.2%
 RETAIL SPACE = 2,483 SF

PARKING DATA:
 STANDARD STALLS PROVIDED = 10
 HANDICAP STALLS PROVIDED = 2
 RENTAL TRUCK STALLS PROVIDED = 17
 TOTAL PROPOSED PARKING STALLS = 29

- LEGEND**
- EXISTING BUILDING
 - EXISTING CURB & GUTTER
 - PROPOSED SURMOUNTABLE CURB & GUTTER
 - PROPOSED SURMOUNTABLE TIPOUT CURB & GUTTER
 - PROPOSED B618 CURB & GUTTER
 - PROPOSED B618 TIPOUT CURB & GUTTER
 - EXISTING STORM SEWER
 - PROPOSED STORM SEWER
 - EXISTING CONCRETE
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED BITUMINOUS PAVEMENT
 - EXISTING FENCE
 - EXISTING SIGN
 - PROPOSED PARKING STRIPE
 - NUMBER OF PARKING STALLS AND DESIGNATION (E-EMPLOYEE, C-CUSTOMER, R-RENTAL, T-TRUCK/TRAILER)
 - PROPOSED LIGHT



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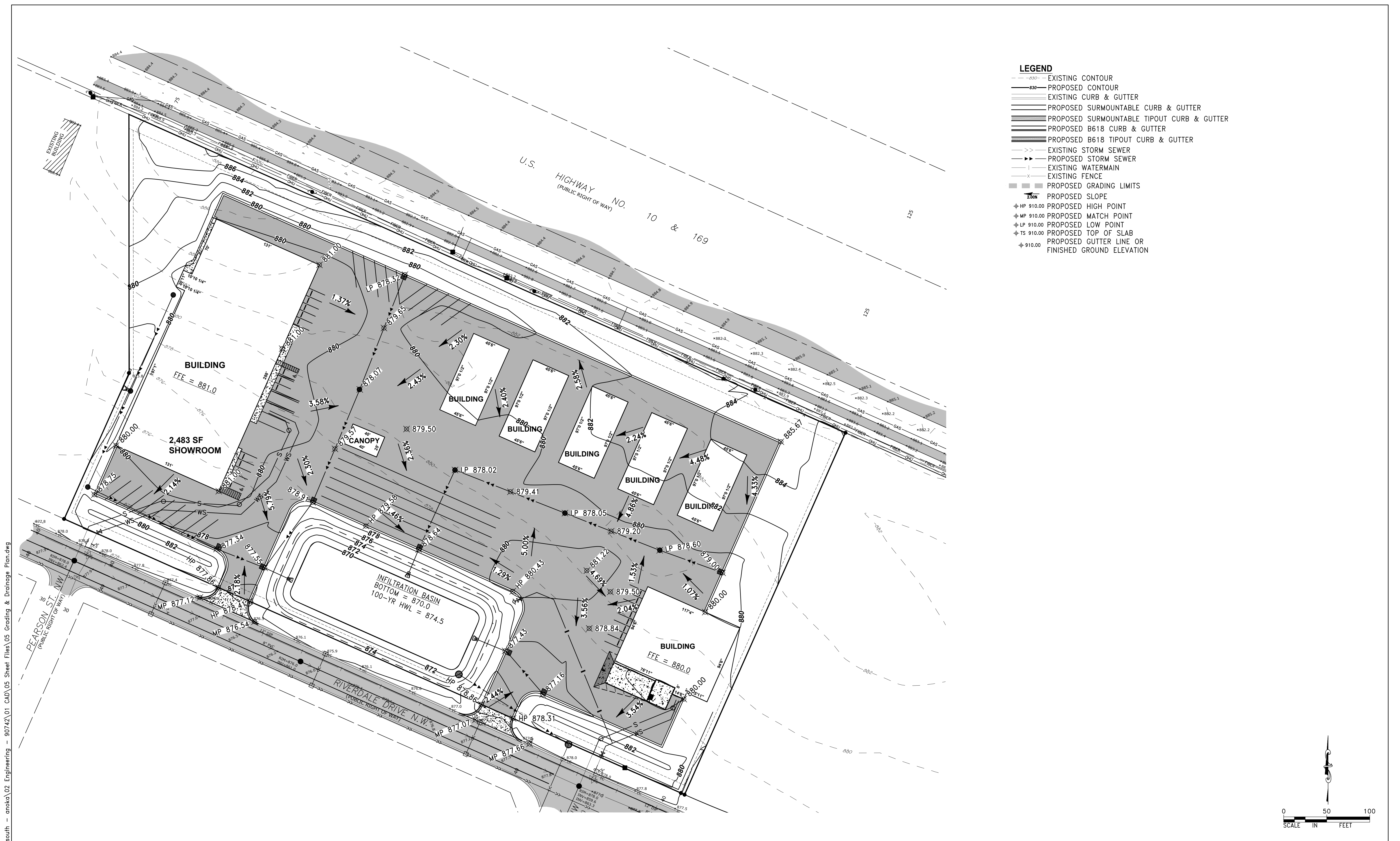
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RAMSEY U-HAUL
 8725 RIVERDALE DRIVE NW
 RAMSEY, MINNESOTA

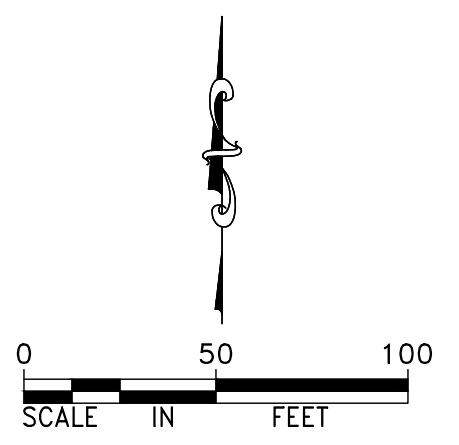
SITE PLAN

PROJECT: 90742
 SHEET NO.
 C6 of C12



- LEGEND**
- - - - - EXISTING CONTOUR
 - 880 — PROPOSED CONTOUR
 - — — — EXISTING CURB & GUTTER
 - — — — PROPOSED SURMOUNTABLE CURB & GUTTER
 - — — — PROPOSED SURMOUNTABLE TIPOUT CURB & GUTTER
 - — — — PROPOSED B618 CURB & GUTTER
 - — — — PROPOSED B618 TIPOUT CURB & GUTTER
 - - - - - EXISTING STORM SEWER
 - — — — PROPOSED STORM SEWER
 - - - - - EXISTING WATERMAIN
 - - - - - EXISTING FENCE
 - — — — PROPOSED GRADING LIMITS
 - 2.00x PROPOSED SLOPE
 - HP 910.00 PROPOSED HIGH POINT
 - MP 910.00 PROPOSED MATCH POINT
 - LP 910.00 PROPOSED LOW POINT
 - TS 910.00 PROPOSED TOP OF SLAB
 - Gutter/FFE PROPOSED GUTTER LINE OR FINISHED GROUND ELEVATION

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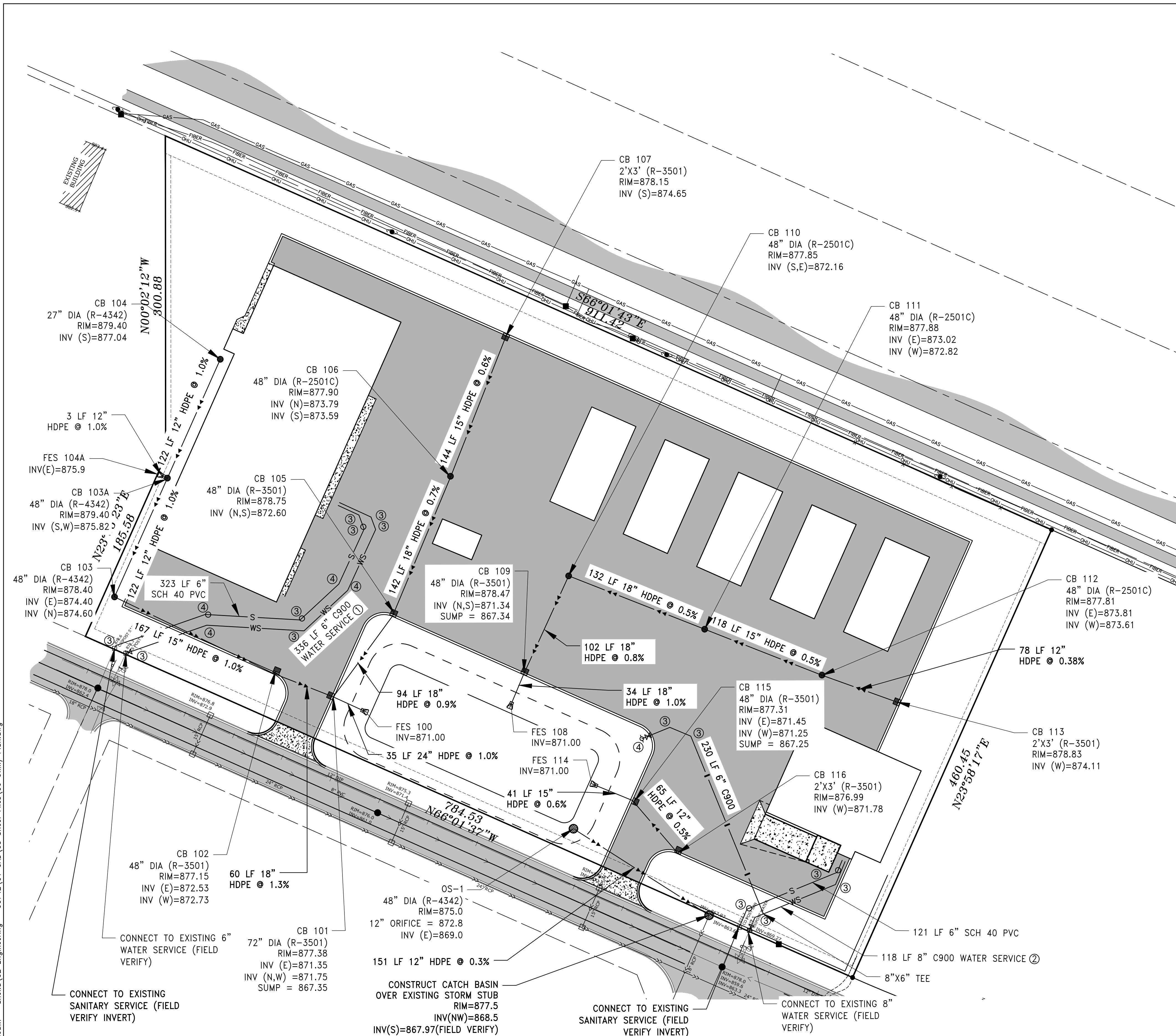
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GRADING & DRAINAGE PLAN

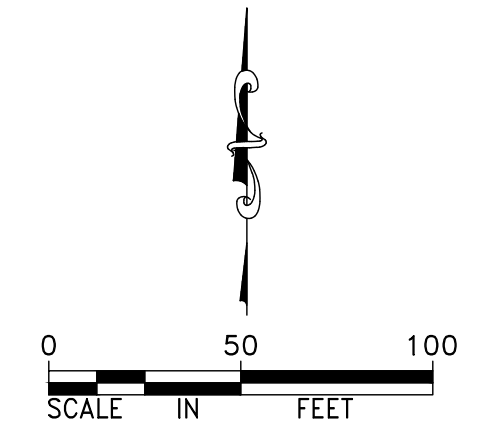
PROJECT: 90742
 SHEET NO.
 C7 of C12

LEGEND

- >>— EXISTING STORM SEWER
- |— EXISTING WATERMAIN
- >— EXISTING SANITARY SEWER
- ▶▶— PROPOSED STORM SEWER
- s— PROPOSED SANITARY SERVICE
- ws— PROPOSED WATER SERVICE
- ⊕ EXISTING HYDRANT
- ⊙ EXISTING STORM MANHOLE
- ⊙ EXISTING CATCH BASIN
- ⊙ EXISTING SANITARY MANHOLE
- ⊕ EXISTING FES
- ⊕ PROPOSED FES
- PROPOSED SANITARY CLEANOUT



- REFERENCE NOTES:**
- ① SPLIT WATER SERVICE PRIOR TO ENTERING BUILDING WITH 1" HDPE DOMESTIC WATER SERVICE AND 6" C900 PVC FIRE SERVICE
 - ② SPLIT WATER SERVICE PRIOR TO ENTERING BUILDING WITH 1" HDPE DOMESTIC WATER SERVICE AND 8" C900 PVC FIRE SERVICE.
 - ③ 45° BEND
 - ④ 22.5° BEND
 - ⑤ HYDRANT AND GATE VALVE



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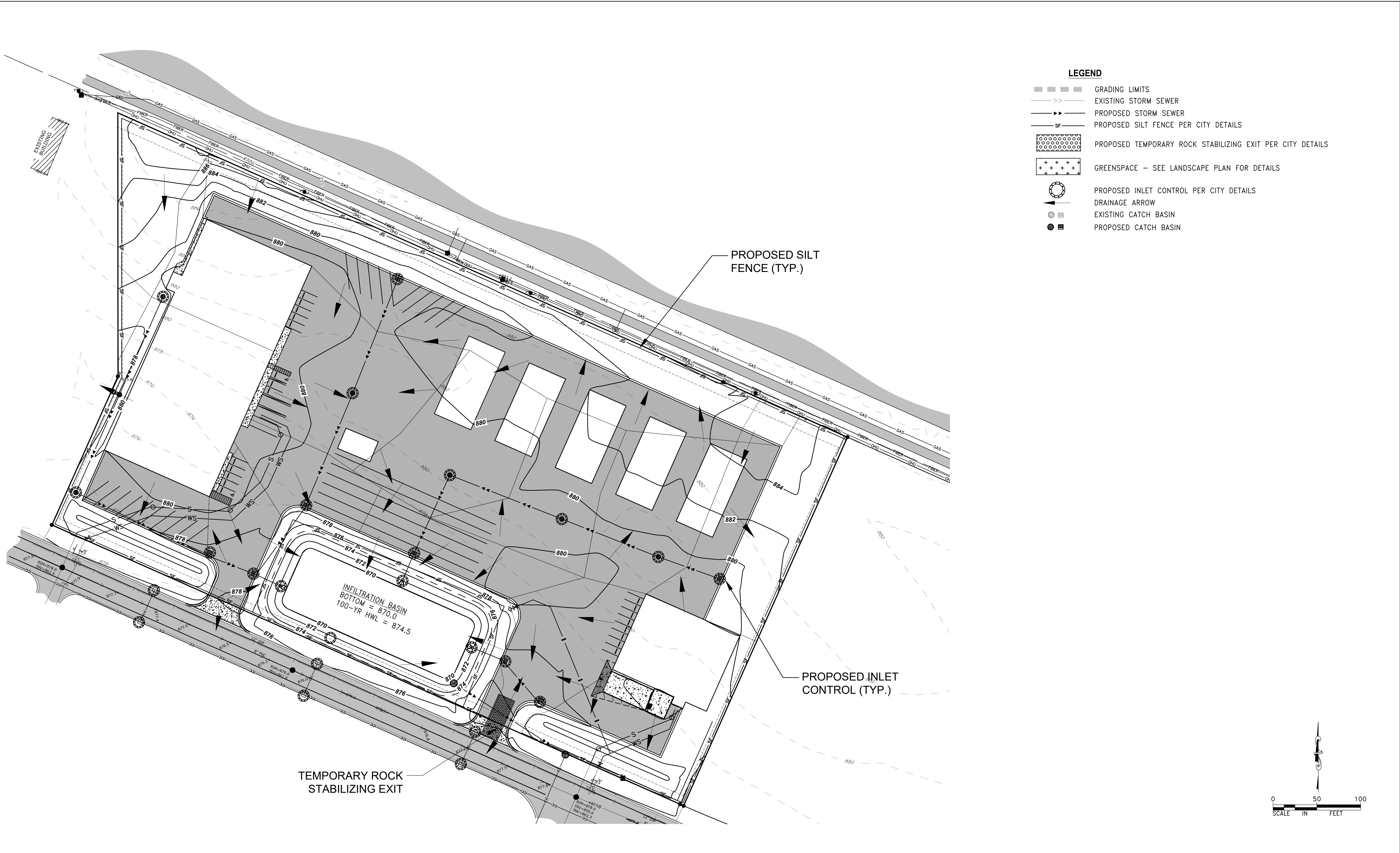
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 RAMSEY, MINNESOTA

UTILITY PLAN

PROJECT: 90742
 SHEET NO.
 C8 of C12

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RAMSEY U-HAUL
 8725 RIVERDALE DRIVE NW
 RAMSEY, MINNESOTA

STORMWATER POLLUTION
 PREVENTION PLAN

PROJECT: 90742
 SHEET NO.
 C9 of C12

PROJECT INFORMATION:

DISTURBED AREA: 9.07 ACRES
 EXISTING IMPERVIOUS AREA: 0 ACRES
 PROPOSED IMPERVIOUS AREA: 5.69 ACRES
 EROSION CONTROL SUPERVISOR CONTACT: TBD
 IMPAIRED WATERS WITHIN ONE (1) MILE THAT SITE DRAINS TO: MISSISSIPPI RIVER
 THE MISSISSIPPI RIVER IS APPROXIMATELY 0.35 MILES AWAY FROM THE SITE.

DWSMA: THE SITE IS NOT WITHIN THE CITY OF RAMSEY DRINKING WATER SUPPLY MANAGEMENT AREA (DWSMA).

A DEVELOPMENT OF AN EXISTING VACANT PROPERTY IS PROPOSED SOUTH OF US-10 AND NORTH OF INTERSECTION OF RIVERDALE DR NW AND SNOWY OWL ST NW IN RAMSEY, MINNESOTA. THERE IS NO EXISTING IMPERVIOUS AREA ON THE SITE. MOST OF THE SITE DRAINS TO STREET OF RIVERDALE DR NW TO THE SOUTH. THE SITE IS NOT WITHIN HIGH VULNERABILITY OF A DRINKING WATER SUPPLY MANAGEMENT AREA. THIS SITE DRAINS TO AN IMPAIRED WATER WATER WITHIN 1 MILE OF THE SITE.

THE PROPOSED SITE IMPROVEMENTS WILL INCLUDE MULTIPLE BUILDINGS AND ASSOCIATED VEHICLE STALLS FOR RENTAL TRUCK VEHICLES. THE PROPOSED SITE IMPROVEMENTS WILL INCLUDE 5.69 ACRES OF IMPERVIOUS AREA. STORMWATER WILL BE CONVEYED FROM ALL BUILDING AREAS AND DIRECTED THROUGH STORM SEWER TO A INFILTRATION BASIN SOUTH OF THE BUILDINGS. THE INFILTRATION BASIN WILL PROVIDE THE REQUIRED VOLUME RETENTION, RATE CONTROL AND WATER QUALITY.

THE PROPOSED STORMWATER IMPROVEMENTS WILL INCLUDE:

INFILTRATION BASIN

KNOWLEDGEABLE PERSON/CHAIN OF RESPONSIBILITY

THE CONTRACTOR SHALL IDENTIFY A PERSON KNOWLEDGEABLE AND EXPERIENCED IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BMPs WHO WILL OVERSEE THE IMPLEMENTATION OF THE SWPPP, INCLUDING: INSTALLATION, INSPECTION AND MAINTENANCE OF THE EROSION PREVENTION AND SEDIMENT CONTROL BMPs. THE GENERAL CONTRACTOR SHALL ATTACH CONTACT INFORMATION TO THE SWPPP PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.

THE CONTRACTOR SHALL ESTABLISH A CHAIN OF RESPONSIBILITY FOR ALL CONTRACTORS AND SUB-CONTRACTORS ON SITE TO ENSURE THE SWPPP IS BEING PROPERLY IMPLEMENTED AND MAINTAINED. THE CONTRACTOR SHALL PROVIDE THE CHAIN OF RESPONSIBILITY TO THE OWNER AND ATTACH TO THE SWPPP PRIOR TO ANY CONSTRUCTION ACTIVITY.

STORMWATER POLLUTION PREVENTION PLAN NOTES:

- PRIOR TO ANY CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL ACQUIRE THE NECESSARY MPCA NPDES CONSTRUCTION STORM WATER PERMIT.
- ALL EROSION AND SEDIMENT CONTROL BMP'S SHALL BE INSTALLED PRIOR TO STARTING ANY CONSTRUCTION ACTIVITIES. BMP'S SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL EROSION PREVENTION AND SEDIMENT CONTROL MEASURES FOR THE PROJECT.
- EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS ARE THE ABSOLUTE MINIMUM REQUIREMENTS. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL MEASURES AS NECESSARY TO PROPERLY MANAGE THE PROJECT AREA.
- THE CONTRACTOR SHALL KEEP THE SWPPP, INCLUDING ALL AMENDMENTS AND INSPECTION AND MAINTENANCE RECORDS ON SITE DURING CONSTRUCTION.
- THE CONTRACTOR SHALL DOCUMENT AMENDMENTS TO THE SWPPP AS A RESULT OF INSPECTION(S) WITHIN 7 DAYS.
- THE CONTRACTOR SHALL FILE A NOTICE OF TERMINATION WITHIN THIRTY (30) DAYS OF RECEIVING SITE APPROVAL FROM THE CITY.
- THE CONTRACTOR SHALL SCHEDULE THEIR OPERATION TO MINIMIZE THE AMOUNT OF DISTURBED AREA AT ANY GIVEN TIME.
- WATER SHALL BE USED, IF NECESSARY, FOR DUST CONTROL.
- ALL EROSION CONTROL SHALL CONFORM TO THE MNDOT EROSION CONTROL HANDBOOK.
- INLET PROTECTION SHALL BE INSTALLED AT ANY INLET THAT MAY RECEIVE RUNOFF FROM THE DISTURBED AREAS OF THE PROJECT. IF A SPECIFIC SAFETY CONCERN HAS BEEN IDENTIFIED, WRITTEN AUTHORIZATION MUST BE RECEIVED BY THE CITY ENGINEER IN ORDER TO REMOVE THAT PARTICULAR INLET CONTROL.
- ALL EXPOSED SOILS, INCLUDING STOCKPILES, SHALL BE TEMPORARILY STABILIZED PER MNDOT SPECIFICATION 2575 WITHIN 7 DAYS AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED. STABILIZATION OF ALL EXPOSED AREAS MUST BE INITIATED IMMEDIATELY.
- STOCKPILES SHALL NOT BE PLACED ON ROADS, DRIVEWAYS, SURFACE WATERS OR SWALES. EFFECTIVE SEDIMENT CONTROL SHALL BE INSTALLED IMMEDIATELY AROUND ALL SOIL STOCKPILES.
- REMOVE ALL SOILS AND SEDIMENT TRACKED OR OTHERWISE DEPOSITED ONTO PUBLIC ROADS OR PRIVATE DRIVEWAYS ON A DAILY BASIS OR AS NEEDED. A SWEEPER MUST BE AVAILABLE TO THE SITE WITHIN 3 HOURS FROM THE CITY THAT SWEEPING IS REQUIRED.
- THE NORMAL WETTED PERIMETER WITHIN 200 LINEAL FEET OF ANY PROJECT DISCHARGE LOCATION SHALL BE STABILIZED WITHIN 24 HOURS OF CONNECTING TO THE DISCHARGE LOCATION.
- IF DEWATERING IS NECESSARY, THE CONTRACTOR IS RESPONSIBLE FOR ADHERING TO ALL DEWATERING AND SURFACE DRAINAGE REGULATIONS. THE APPROPRIATE PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCING DEWATERING ACTIVITIES.
- TURBID AND SEDIMENT-LADEN WATERS SHALL BE DIRECTED TO A TEMPORARY SEDIMENT POND PRIOR TO DISCHARGING. A VISUAL CHECK SHALL BE CONDUCTED PRIOR TO DISCHARGING TREATED WATER FROM THE SEDIMENT POND TO ENSURE NUISANCE CONDITIONS WILL NOT RESULT FROM THE DISCHARGE.
- ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE REMOVED FROM THE SITE WITHIN THIRTY (30) DAYS AFTER PERMANENT STABILIZATION HAS BEEN ACHIEVED.
- THE CORRECTIVE ACTION MUST BE COMPLETED BY THE NEXT BUSINESS DAY AFTER DISCOVERY WHEN PERIMETER CONTROL DEVICES BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES ONE-HALF (1/2) THE HEIGHT OF THE DEVICE.
- PERMITEE MUST MINIMIZE SOIL COMPACTION. METHODS OF MINIMIZING SOIL COMPACTION INCLUDE THE USE OF TRACKED EQUIPMENT AND STAYING OFF AREAS TO BE LEFT UNCOMPACTED. AREAS OF COMPACTED SOIL WILL BE REMOVED OR LOOSENED VIA TILLING TO A DEPTH OF NO LESS THAN 18 INCHES.
- REDUNDANT PERIMETER SEDIMENT CONTROL SHALL BE PROVIDED ALONG WETLAND BOUNDARIES. A 50-FOOT NATURAL BUFFER IS INFEASIBLE DUE TO THE PROXIMITY OF THE IMPROVEMENTS TO THE WETLAND.
- SECTIONS 5.11, 5.13-5.16, 5.18, & 5.22 OF THE 2023 CONSTRUCTION STORMWATER GENERAL PERMIT DO NOT APPLY.

TRAINING DOCUMENTATION:

SWPPP DESIGNER: JEFF PRASCH (DEMARCO LAND SURVEYING & ENGINEERING) – "DESIGN OF CONSTRUCTION SWPPP" TRAINING EXPIRES MAY 31, 2026.

THE CONTRACTOR (OPERATOR) SHALL ADD TO THE SWPPP TRAINING RECORDS FOR THE FOLLOWING PERSONNEL:

- INDIVIDUALS OVERSEEING THE IMPLEMENTATION OF, REVISING, AND AMENDING THE SWPPP
- INDIVIDUALS PERFORMING INSPECTIONS
- INDIVIDUALS PERFORMING OR SUPERVISING THE INSTALLATION, MAINTENANCE AND REPAIR OF BMPs

EXPECTED SEQUENCE OF CONSTRUCTION

- INSTALL ROCK STABILIZING EXIT(S), PERIMETER CONTROL, INLET CONTROL AND STABILIZE DOWN GRADIENT BOUNDARIES.
- RELOCATE PRIVATE UTILITIES (IF NECESSARY).
- INSTALL PROPOSED UTILITIES.
- CONSTRUCT BUILDING FOUNDATION.
- COMPLETE SITE GRADING.
- APPLY EARLY APPLICATION OF BASE COURSE ON PARKING SECTION.
- INSTALL CURB AND GUTTER, AND PAVING.
- CONSTRUCT BUILDING.
- COMPLETE FINAL GRADING AND PERMANENT STABILIZATION.
- REMOVE EROSION AND SEDIMENT CONTROL BMPs AFTER PERMANENT STABILIZATION IS ACHIEVED.

TEMPORARY SEDIMENT BASINS

- THE CONTRACTOR SHALL INSTALL SEDIMENT BASIN(S) REQUIRED BY THE NPDES CONSTRUCTION PERMIT IF FIVE (5) OR MORE DISTURBED ACRES DISCHARGE TO A COMMON LOCATION.
- TEMPORARY SEDIMENT BASIN OUTLETS SHALL BE CONSTRUCTED TO PREVENT SHORT-CIRCUITING AND PREVENT THE DISCHARGE OF FLOATING DEBRIS.
- BASINS MUST HAVE THE ABILITY TO ALLOW COMPLETE DRAWDOWN, INCLUDE A STABILIZED EMERGENCY OVERFLOW, WITHDRAW WATER FROM THE SURFACE, AND PROVIDE ENERGY DISSIPATION AT THE OUTLET.
- TEMPORARY SEDIMENT BASINS SHALL BE PROVIDED WITH ENERGY DISSIPATION AT ANY BASIN OUTLET TO PREVENT SOIL EROSION.
- SEDIMENT BASINS MUST BE SITUATED OUTSIDE OF SURFACE WATERS AND ANY BUFFER ZONES, AND MUST BE DESIGNED TO AVOID THE DRAINING WATER FROM WETLANDS.
- BASINS SHALL BE SIZED ACCORDING TO THE CONSTRUCTION STORMWATER GENERAL PERMIT REQUIREMENTS. CALCULATIONS SHALL BE PROVIDED WITH THE SWPPP.
- SEDIMENT BASINS SHALL NOT BE PLACED IN FUTURE INFILTRATION AREAS.
- SEDIMENT BASINS SHALL BE DRAINED AND SEDIMENT REMOVED WHEN IT REACHES ½ THE STORAGE VOLUME WITHIN 72 HOURS.

INSPECTIONS AND MAINTENANCE

- ALL INSPECTIONS, MAINTENANCE, REPAIRS, REPLACEMENTS AND REMOVAL OF BMPs SHALL BE CONSIDERED INCIDENTAL TO THE BMP BID ITEMS.
- THE CONTRACTOR SHALL COMPLETE SITE INSPECTIONS, AND BMP MAINTENANCE TO ENSURE COMPLIANCE WITH THE PERMIT REQUIREMENTS.
- THE CONTRACTOR SHALL PROVIDE A TRAINED PERSON TO INSPECT THE ENTIRE CONSTRUCTION SITE AT LEAST ONCE EVERY SEVEN (7) DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS. ALL INSPECTIONS MUST BE RECORDED IN WRITING WITHIN 24 HOURS OF CONDUCTING THE INSPECTIONS AND THE RECORDS MUST BE RETAINED WITH THE SWPPP. THE INSPECTION REPORTS SHALL BE SENT TO THE CITY IMMEDIATELY AFTER COMPLETING. IF ANY DISCHARGE FROM THE SITE IS OBSERVED THE DISCHARGE MUST BE DESCRIBED AND PHOTOGRAPHED.
- TEMPORARY AND PERMANENT SEDIMENT BASINS SHALL BE DRAINED AND THE SEDIMENT REMOVED WHEN THE DEPTH OF SEDIMENT COLLECTED IN THE BASIN REACHES ½ THE STORAGE VOLUME. DRAINAGE AND REMOVAL MUST BE COMPLETED WITHIN 72 HOURS OF DISCOVERY.
- IF SEDIMENT ESCAPES THE CONSTRUCTION SITE, OFF-SITE ACCUMULATIONS OF SEDIMENT MUST BE REMOVED IN A MANOR AND AT A FREQUENCY SUFFICIENT TO MINIMIZE OFF-SITE IMPACTS.

POLLUTION PREVENTION MANAGEMENT MEASURES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL POLLUTION PREVENTION MANAGEMENT MEASURES.
- ALL POLLUTION PREVENTION MEASURES ARE CONSIDERED INCIDENTAL TO THE BMP BID ITEMS, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR INFORMING ALL VISITORS AND/OR PERSONNEL ON-SITE OF THE POLLUTION PREVENTION MANAGEMENT MEASURES. POLLUTION PREVENTION MANAGEMENT MEASURES INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - SOLID WASTE SUCH AS COLLECTED SEDIMENT, ASPHALT AND CONCRETE MILLINGS, CEMENT PRODUCT WASTE, FLOATING DEBRIS, PAPER, PLASTIC, CONSTRUCTION DEBRIS AND OTHER WASTES MUST BE DISPOSED OF PROPERLY OFF SITE.
 - HAZARDOUS WASTES SUCH AS OILS, GASOLINE, PAINT, CEMENT BASED PRODUCTS, ETC. SHALL BE PROPERLY STORED WITH SECONDARY CONTAINMENT TO PREVENT SPILLS, LEAKS OR OTHER DISCHARGES. IF STORED ON THE PROJECT SITE, THEY SHALL BE STORED IN RESTRICTED ACCESS AREAS TO PROTECT AGAINST VANDALISM. STORAGE AND DISPOSAL SHALL BE IN COMPLIANCE WITH THE MPCA.
 - CEMENT BASED PRODUCT WASHOUTS ARE NOT PERMITTED ON SITE.
 - THE CONTRACTOR SHALL INCLUDE SPILL KITS WITH ALL FUELING SOURCES AND MAINTENANCE ACTIVITIES. SECONDARY CONTAINMENT MEASURES SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR.
 - THE CONTRACTOR SHALL ENSURE SPILLS ARE CONTAINED AND CLEANED UP IMMEDIATELY UPON DISCOVERY. SPILLS LARGE ENOUGH TO REACH THE STORMWATER CONVEYANCE SYSTEM SHALL BE REPORTED TO THE MINNESOTA DUTY OFFICER AT 1.800.422.0798.

FINAL STABILIZATION

- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING FINAL STABILIZATION OF THE ENTIRE SITE. FINAL STABILIZATION SHALL BE COMPLETED PER THE LANDSCAPE PLAN:
 - COMPLETION OF ALL CONSTRUCTION ACTIVITY.
 - INSTALLATION OF PERMANENT COVER OVER ALL AREAS PRIOR TO SUBMITTING THE NOTICE OF TERMINATION. PERMANENT COVER SHALL FOLLOW THE REQUIREMENTS OF THE LANDSCAPE PLAN.
 - VEGETATIVE COVER MUST CONSIST OF A UNIFORM PERENNIAL VEGETATION WITH A DENSITY OF 70 PERCENT OF ITS EXPECTED FINAL GROWTH. VEGETATION IS NOT REQUIRED WHERE THE FUNCTION OF A SPECIFIC AREA DICTATES NO VEGETATION, SUCH AS IMPERVIOUS SURFACES OR LANDSCAPED AREAS. SEE LANDSCAPE PLAN FOR PERMANENT VEGETATION SCHEDULE.
 - CLEAN THE PERMANENT STORMWATER TREATMENT SYSTEMS OF ANY ACCUMULATED SEDIMENT AND ENSURE THE SYSTEM MEETS ALL APPLICABLE REQUIREMENTS AND IS OPERATING AS DESIGNED.
 - REMOVAL OF ALL SEDIMENT FROM CONVEYANCE SYSTEMS.
 - REMOVAL OF ALL TEMPORARY SYNTHETIC EROSION PREVENTION AND SEDIMENT CONTROL BMPs.
 - FINAL STABILIZATION SHALL BE PERFORMED IN ACCORDANCE WITH MNDOT 2020 SPECIFICATION 2575.

ESTIMATED EROSION CONTROL QUANTITIES	
SILT FENCE	2,600 LF
TEMPORARY STABILIZED ROCK EXIT	1 EACH
STORM DRAIN INLET PROTECTION	17 EACH

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DESIGNED BY: JAP	I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA. NOT FOR CONSTRUCTION JEFFREY A. PRASCH P.E.	REVISIONS _____ _____ _____ _____
DRAWN BY: ABL		
CHECKED BY: GRP		
DATE: 07.08.24 LIC. NO.: 52706		

DEMARC
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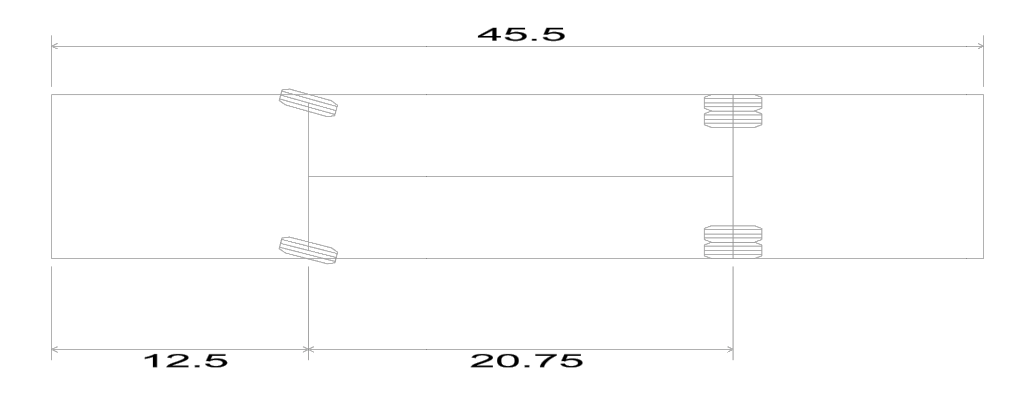
RAMSEY U-HAUL
 8725 RIVERDALE DRIVE NW
 RAMSEY, MINNESOTA

STORMWATER POLLUTION
 PREVENTION NOTES

PROJECT: 90742
 SHEET NO.
 C10 of C12

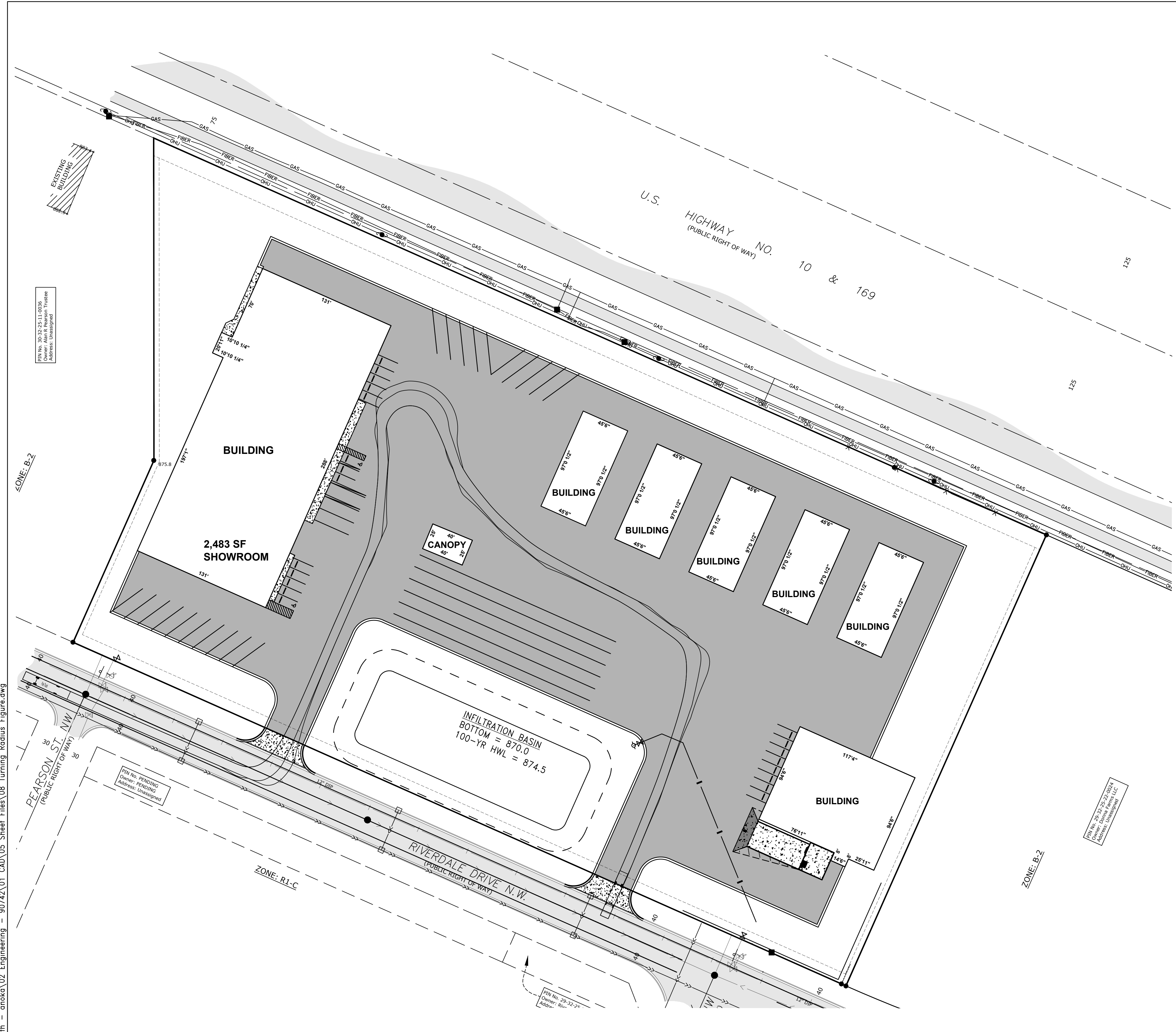
Vehicle Tracking Vehicle Details Ref:

Vehicle Name:	Fire Truck
Type:	Rigid vehicle
Category:	(Unspecified)
Classification:	(Unspecified)
Source:	
Description:	
Notes:	
Unit 1 Name:	Fire Truck Tractor



Fire Truck	
Overall Length	45.500ft
Overall Width	8.000ft
Overall Body Height	1.400ft
Min Body Ground Clearance	1.400ft
Track Width	8.000ft
Lock-to-lock time	4.00s
Curb to Curb Turning Radius	36.000ft

Every Effort Has Been Made To Ensure The Accuracy Of This Information
Please Check Data From Your Own Sources



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DESIGNED BY:	JAP
DRAWN BY:	ABL
CHECKED BY:	GRP
DATE:	07.17.24
LIC. NO.:	52706

REVISIONS

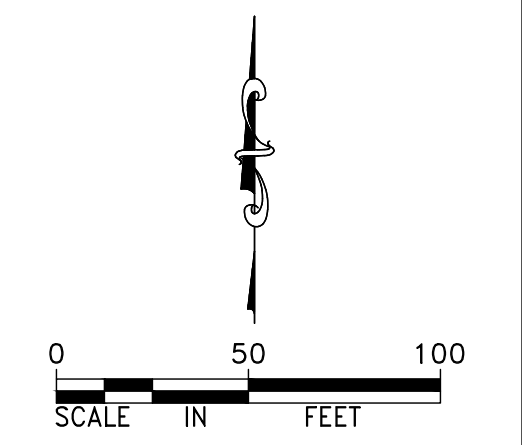
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RAMSEY U-HAUL
8725 RIVERDALE DRIVE NW
RAMSEY, MINNESOTA

TURNING RADIUS FIGURE

PROJECT: 90742
SHEET NO.
C11 of C12



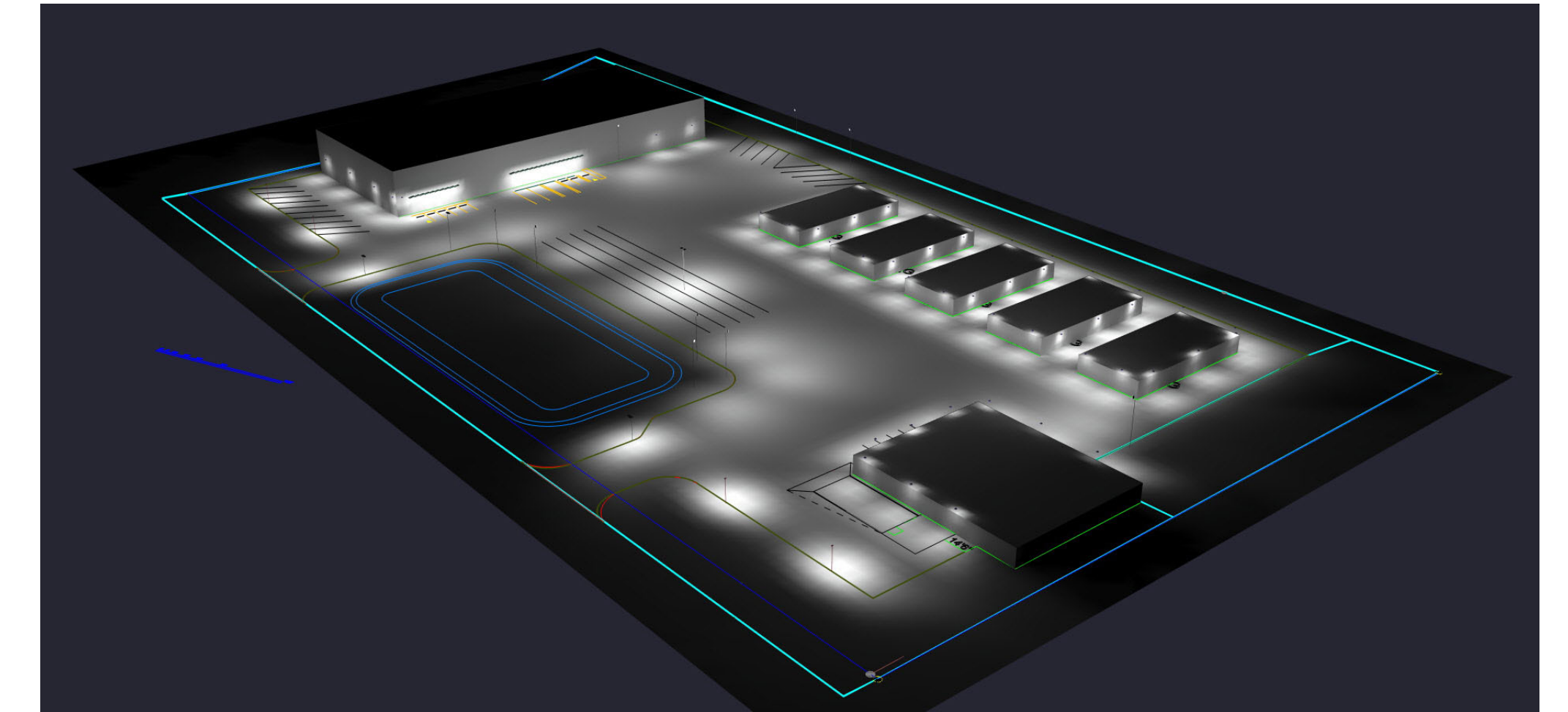
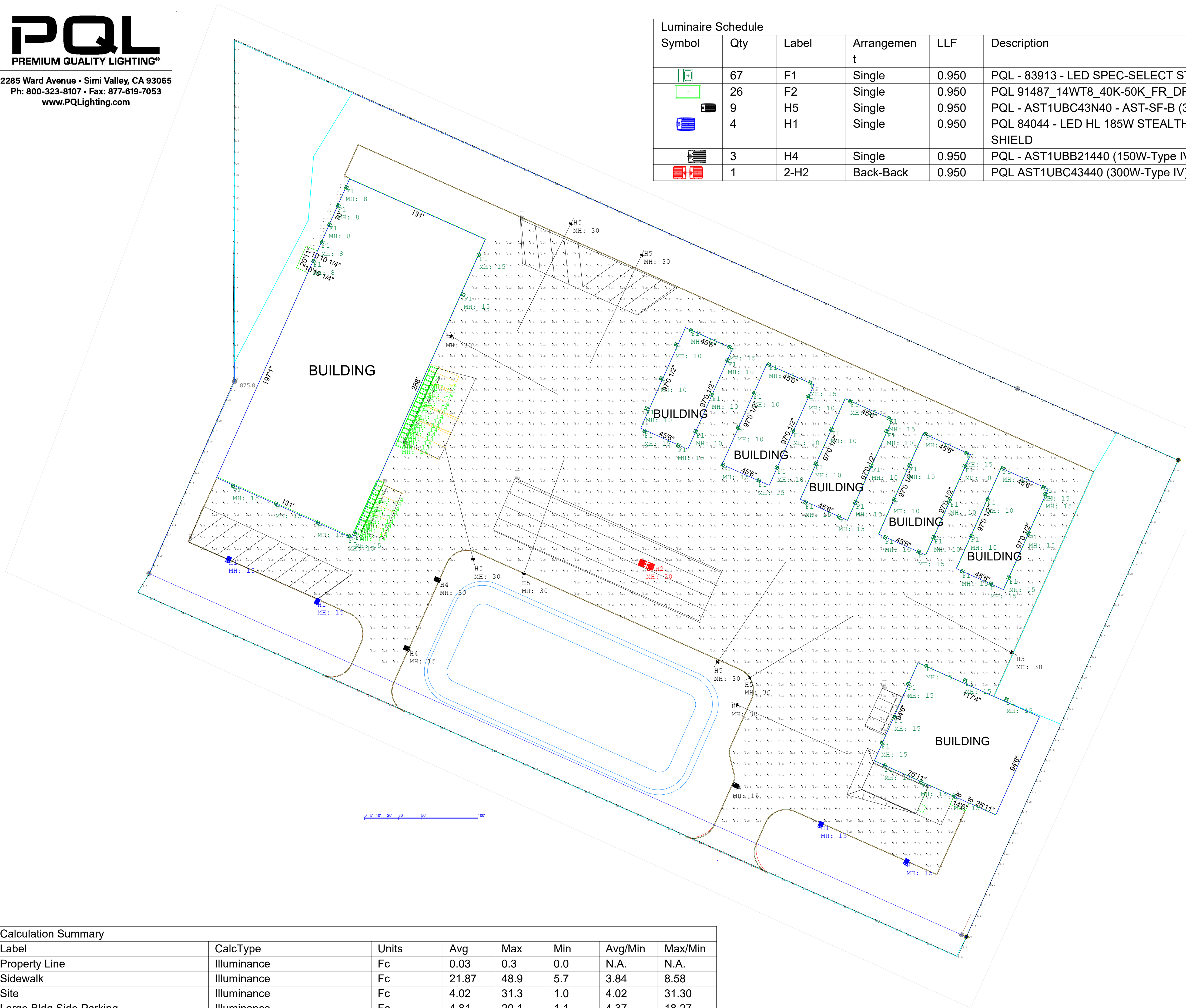
NOT FOR CONSTRUCTION

JEFFREY A. PRASCH, P.E.



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Luminaire Schedule						
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts
	67	F1	Single	0.950	PQL - 83913 - LED SPEC-SELECT STEALTH FULL CUTOFF WALL PACK 50W_30K-50K_120-277V	49.96
	26	F2	Single	0.950	PQL 91487_14WT8_40K-50K_FR_DP_SC_V6 - SL@ 2 Lamp Troffer	28.46
	9	H5	Single	0.950	PQL - AST1UBC43N40 - AST-SF-B (300W-Type 60 DEGREE OPTIC) WITH AST-GS-C GLARE SHIELD	300
	4	H1	Single	0.950	PQL 84044 - LED HL 185W STEALTH/40K/120-277VW ITH AST-GS-AB - BACK LIGHT SHIELD W/GLARE SHIELD	185.93
	3	H4	Single	0.950	PQL - AST1UBB21440 (150W-Type IV) WITH AST-GS-AB - GLARE SHIELD	150
	1	2-H2	Back-Back	0.950	PQL AST1UBC43440 (300W-Type IV) WITH AST-GS-C GLARE SHIELD	300



Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Property Line	Illuminance	Fc	0.03	0.3	0.0	N.A.	N.A.
Sidewalk	Illuminance	Fc	21.87	48.9	5.7	3.84	8.58
Site	Illuminance	Fc	4.02	31.3	1.0	4.02	31.30
Large Bldg Side Parking	Illuminance	Fc	4.81	20.1	1.1	4.37	18.27
Large Building Front Parking-1	Illuminance	Fc	10.33	18.1	4.8	2.15	3.77
Large Building Front Parking-2	Illuminance	Fc	6.30	21.7	1.6	3.94	13.56
Large Truck Parking	Illuminance	Fc	4.69	15.5	1.4	3.35	11.07
Small Building Parking	Illuminance	Fc	7.04	10.3	4.2	1.68	2.45
Storage Parking	Illuminance	Fc	3.55	5.9	1.0	3.55	5.90



PROJECT:	U-HAUL Ramsey MN
DESIGNER EMAIL:	jhernandez@pqlighting.com
PROJECT DATE:	7/17/2024
REVISE DATE:	-
FIRM:	-
NOTE/S:	-

Calculations are at grade

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