

**City of Ramsey**  
**Agenda**  
**Regular Planning Commission**  
**Thursday, August 22, 2024**

**7:00 pm**

**Council Chambers, 7550 Sunwood Drive NW**

Remote Attendance available at [www.cityoframsey.com/meetings](http://www.cityoframsey.com/meetings).  
Those joining remotely and requesting to speak are asked to use a webcam when speaking.

- 1. Call to Order**
- 2. Pledge of Allegiance**
- 3. Citizen Input**
- 4. Approve Agenda**
- 5. Consent Agenda**
  1. Approve the Planning Commission Meeting Minutes for July 25th, 2024
  2. Continue consideration of a variance for a lean-to structure at 6850 148th Lane NW (Michael Ploumen) until September 26, 2024.
- 6. Public Hearing**
  1. PUBLIC HEARING: Consider a Request for a Variance to Setbacks for a Building Addition at 14220 Basalt St NW (Project No. 24-118); Case of Quad Logic
  2. PUBLIC HEARING: Consider Preliminary Plat for Parkside Townhomes (Project No. 24-117) in The COR; Case of COR at Ramsey, LLC
- 7. Commission Business**
  1. Driveway Discussion
- 8. Commission/Staff Input**

**9. Adjournment**

**Regular Planning Commission**

**Meeting Date:** 08/22/2024

**Primary Strategic Plan Initiative:** Not Applicable

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**Information**

**Title:**

Approve the Planning Commission Meeting Minutes for July 25th, 2024

**Purpose/Background:**

The purpose of this case is to approve the Planning Commission Meeting minutes for July 25, 2024.

**Recommendation:**

Approval

**Outcome/Action:**

Approval

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**Attachments**

PC July Minutes

**Form Review**

**Inbox**

Brian Hagen

Form Started By: Abdi Sahal

Final Approval Date: 08/15/2024

**Reviewed By**

Brian Hagen

**Date**

08/15/2024 10:47 AM

Started On: 08/12/2024 03:27 PM

**PLANNING COMMISSION  
CITY OF RAMSEY  
ANOKA COUNTY  
STATE OF MINNESOTA**

The Ramsey Planning Commission conducted a regular meeting on Thursday, July 25, 2024, at the Ramsey Municipal Center, 7550 Sunwood Drive NW, Ramsey, Minnesota.

Members Present:                   Chairperson Cheri Gengler  
  Commissioner Bruce Anderson  
  Commissioner Randy Bauer  
  Commissioner Ryan Heineman (via Zoom)  
  Commissioner Eric Peters  
  Commissioner Gary Van Scoy

Members Absent:                   Commissioner Tom Hunt

Also Present:                       Planning Manager Todd Larson  
  City Planner Adam Martin  
  Building Official Andy Schreder  
  City Council Liaison Matt Woestehoff

**1.     CALL TO ORDER**

Chairperson Gengler called the regular meeting to order at 7:00 p.m.

**2.     PLEDGE OF ALLEGIANCE**

Chairperson Gengler led the group in the Pledge of Allegiance.

**3.     CITIZEN INPUT**

None.

**4.     APPROVAL OF AGENDA**

Motion by Commissioner Peters, seconded by Commissioner Van Scoy, to approve the agenda as presented.

A roll call vote was completed:

Commissioner Anderson	aye
Commissioner Van Scoy	aye
Commissioner Bauer	aye
Commissioner Peters	aye

Commissioner Heineman     aye  
Chairperson Gengler        aye

Motion Carried.

**5.        CONSENT AGENDA**

**5.01:   Approve the June 27, 2024 Planning Commission Meeting Minutes**

Motion by Commissioner Bauer, seconded by Commissioner Peters, to approve the consent agenda as presented.

Further discussion: Commissioner Van Scoy commented that on page seven, there are timestamps listed that appear to be incorrect. Planning Manager Larson commented that staff can verify that.

A roll call vote was performed:

Commissioner Heineman     aye  
Commissioner Peters        aye  
Commissioner Bauer         aye  
Commissioner Van Scoy     aye  
Commissioner Anderson     aye  
Chairperson Gengler        aye

Motion Carried.

**6.        PUBLIC HEARINGS/COMMISSION BUSINESS**

**6.01:   Public Hearing: Consider a Preliminary Plat, Final Plat and Site Plan from Voice of Hope Church at 15620 Armstrong Boulevard NW**

**Public Hearing**

Chairperson Gengler called the public hearing to order at 7:03 p.m.

**Presentation**

City Planner Martin presented the staff report stating that staff recommends approval of the Preliminary Plat, Final Plat, and Site Plan contingent upon the applicant addressing all outstanding review comments.

Commissioner Bauer asked whether the Armstrong access would be eliminated, or restricted, if 157<sup>th</sup> is completed.

City Planner Martin replied that once 157<sup>th</sup> Avenue is extended, the Armstrong access would be the decision of Anoka County.

Commissioner Van Scoy stated that as shown 157<sup>th</sup> would go west about one block and then stop with trail and asked if that would be correct.

City Planner Martin commented that 157<sup>th</sup> Avenue would extend to the west a short distance from Armstrong and would then jog north to connect to the future extension of Eland Street. He stated that the trail would extend to Lake Itasca.

Commissioner Van Scoy asked how the property north and west would be developed if the road stubbed.

City Planner Martin commented that if the road were extended in the future it would jog to the north, acknowledging that there are two properties between that would need to be involved in that extension to Eland Street.

Commissioner Anderson asked why 157<sup>th</sup> could not be constructed now.

City Planner Martin replied that staff discussed that with Anoka County and based on the available room for right-of-way, if the access were put up now it would cause a skewed intersection and the County felt that may cause more accidents than the driveway onto Armstrong. He noted that the right-of-way is only 33 feet, and a street would need a minimum of 60 feet. He stated that because the property to the north is not subdividing at this time, there is not enough right-of-way.

Commissioner Anderson commented that he still sees that as a problem.

Planning Manager Larson commented that the applicant did approach the neighbor to the north in attempt to purchase the additional right-of-way but that party was unwilling at this time.

Commissioner Bauer asked about the current financial arrangement related to cost sharing for construction of a street.

Planning Manager Larson commented that this would be a local street, developer driven, and therefore would be funded in that manner. He noted that the assessment agreement would keep this party 50 percent liable for those costs and the neighbor to the north would pay the other 50 percent if they were to subdivide and the road to be built.

Commissioner Anderson asked the color of the stucco.

### **Citizen Input**

Roman Andriychuk, builder for the applicant, replied that the color will be an off-white, linen color.

Commissioner Anderson asked if that color choice fits within the City allowance.

Planning Manager Larson replied that color is not regulated.

Commissioner Van Scoy congratulated the applicant and commented that this is awesome.

Commissioner Heineman asked the type of material that would be used for the roof.

Mr. Andriychuk replied that they would be using architectural style asphalt shingles.

Commissioner Heineman asked and received confirmation that the turn in would be south of the septic location. He asked if that septic site would be raised, as that could create an issue with visibility. He urged the applicant to ensure that the stormwater basin is sloped properly to manage the runoff.

City Planner Martin commented that stormwater management review is done administratively by engineering staff but invited the project engineer to provide more information.

Scott Dahlke, project engineer, stated that the soils are very granular and therefore they do not anticipate needing a mound. He commented that the grading for the stormwater pond would have reasonable slopes, very typical for stormwater ponding.

Councilmember Woestehoff referenced the tree inventory, noting that many trees were removed in the last year. He asked if the inventory was done before or after that removal.

City Planner Martin was unsure as that review was done by Senior Planner Anderson.

Mr. Andriychuk replied that the tree inventory was done after that removal. He commented that the trees that were removed were in poor condition, pretty much dead, and the live trees were left on the site.

James Bagne, 8077 155<sup>th</sup> Lane, commented that a lot of trees were removed from the east side of the property and asked if additional trees would be removed. He explained that they were attempting to determine if there would still be trees left as a buffer between the church and the homes. He asked if the church would remain in the same area that it currently is.

Mr. Andriychuk replied that they are attempting to keep the perimeter of the site as natural as possible and do not have plans in the future to remove trees around the outside of the property. He stated that they left the area to the north mostly as it is as the neighbor did not even want the dead trees removed in that area.

Brandon McDowal, 15673 Hedgehog Street NW, asked if the parking lot lights would be on all the time, or regulated. He noted that the area is mostly dark sky as it currently exists.

Mr. Andriychuk replied that was something they discussed with staff, noting that they are trying to keep all the light on the parking lot so it would not extend into the neighboring properties.

City Planner Martin commented that the City has strict guidelines on the maximum height for light poles, which is 20 feet maximum when adjacent to residential. He noted that there are also requirements that light must stay on the site to prevent light pollution onto neighboring properties.

Commissioner Van Scoy asked if there were any unresolved issues or changes that staff would be recommending.

City Planner Martin commented that the remainder of the outstanding issues are minor in nature and fall outside the purview of the Planning Commission.

Motion by Commissioner Bauer, seconded by Commissioner Van Scoy, to close the public hearing.

A roll call vote was performed:

Commissioner Anderson	aye
Commissioner Van Scoy	aye
Commissioner Bauer	aye
Commissioner Peters	aye
Commissioner Heineman	aye
Chairperson Gengler	aye

Motion Carried.

Chairperson Gengler closed the public hearing at 7:28 p.m.

### **Commission Business**

Motion by Commissioner Bauer, seconded by Commissioner Van Scoy, to recommend that City Council adopt Resolution #24-201 Approving a Preliminary Plat, Final Plat and Site Plan for Voice of Hope Church at 15620 Armstrong Boulevard NW.

A roll call vote was performed:

Commissioner Heineman	aye
Commissioner Peters	aye
Commissioner Bauer	aye
Commissioner Van Scoy	aye
Commissioner Anderson	aye
Chairperson Gengler	aye

Motion Carried.

**6.02: Public Hearing: Consider a Variance for a Lean-To Structure at 6960 148<sup>th</sup> Lane NW (Curtis Forster)**

## **Public Hearing**

Chairperson Gengler called the public hearing to order at 7:29 p.m.

## **Presentation**

Planning Manager Larson presented the staff report stating that staff's recommendation is that the supplied practical difficulties used to justify the variance for the lean-to structure are not reasonable and the variance should be denied. The siding material is not consistent with the applicant's siding nor other siding in the neighborhood. It is not an approved architectural material for homes. It can be found as deck and fencing material. Should the walls be removed, an open-aired lean-to would appear more in character of a residential property. However, if the property owner or the adjacent neighbor chose to build a fence along the property line, the structure would immediately look out of place. Variances cannot restrict what neighboring property owners do, therefore the variance should be denied. Staff is taking no position on the concrete slab.

Commissioner Bauer recognized that the lean-to and concrete slab were built without City involvement. He asked if the concrete slab would still require a variance, even if the lean-to were never considered as part of the project.

Planning Manager Larson confirmed that the slab would still require a variance.

Commissioner Bauer noted that there were several aspects of the lean-to that did not meet City Code. He asked if the slab would also need to be removed if the variance were denied.

Planning Manager Larson confirmed that if the variance were denied, that would be correct. He stated that staff did not provide an opinion on either of these variances on the agenda tonight and if the Commission supported the variance request(s) they would need to specify the practical difficulties upon which they made the decision. He stated that another option would be to allow the slab to remain on its own. He stated that the Commission would provide the direction tonight and staff would then prepare the appropriate resolution.

Commissioner Bauer asked if the variance is related to the lean-to or related only to the side yard setback.

Planning Manager Larson commented that the variance requested is for the entire structure (lean-to and slab), but staff also provided the option of allowing only the slab to remain. He noted that staff did not provide an opinion on the slab only option as that was not the request of the applicant.

Commissioner Bauer stated that if the variance request is denied, the slab itself is too close to the property line.

Commissioner Heineman asked what the roof is composed of. He commented that it sounds like regardless of the decision the siding material would need to be replaced.

Planning Manager Larson replied that the roof is a metal roof, which does not match the home. He stated that accessory structures do need to be composed of the same material and colors as the home and therefore the roof would also need to be replaced.

### **Citizen Input**

Curtis Forster, applicant, stated that he built the structure to house his trailer and camper and protect them from the large tree. He stated that he is aware of Building Code and the structure is built to Code. He stated that the Building Official did come to the site before he built the structure, and he has been told that it could be brought up to Code. He stated that the footing size exceeds the minimum standards. He stated that he has been told that the cedar could remain, but a fire barrier could be added by framing the walls and installing drywall. He recognized that there are two parts to the request, which would be the variance and then bringing the structure up to Code with the fire barrier. He stated that he chose the steel roof for the reasons of weight and fire protection, as steel does not burn. He stated that nothing flammable is kept under the structure as he does not use this as a shed. He stated that last fall he was working with the City to put a garage on the east side of his property but was told that he could not because of the curve, the corner of the garage would be within the easement. He stated that he needed something to protect his trailer. He stated that the grass between the two properties always dies because it gets so hot and when he placed his camper in that location, the aluminum on the camper warped as well. He stated that the lean-to provides the protection that is needed. He stated that he spoke with his direct neighbor before constructing the structure, as well as the other neighbors on their dead-end street. He stated that the structure is actually six inches from the property line, not one inch.

Commissioner Peters asked why a permit was not pulled.

Mr. Forster stated that he did not have the time and therefore constructed it up to Code and realized that he would be before the City at some time.

Commissioner Peters commented that the permitting process would have told the resident that this was not an option.

Mr. Forster replied that he would have applied for a variance the same as he is now.

Commissioner Peters commented that this is an after the fact variance. He stated that those setbacks prevent people from being homeless because their neighbor's house burns down. He stated that he is troubled by how close this is to the neighbor's house. He stated that he watched a fire spread and drywall does not prevent a fire from spreading. He stated that he is troubled by the steps that were skipped in this process, especially when the resident is in construction and should be aware of the process required.

Mr. Forster stated that he is willing to work with the Building Official to make the structure up to Code. He stated that he can take down the cedar as well and just have the posts and roof.

Commissioner Van Scoy referenced the statement that drywall could be used as a fire barrier and recognized that this is open to the weather. He asked how that would hold up over time.

Mr. Forster stated that was a concern that he had as well. He stated that if drywall is used there is waterproof barrier that could be added, as he also did not believe that drywall alone would hold up.

Chairperson Gengler asked if the wall sits directly on the concrete slab or whether there would be space between.

Mr. Forster replied that there is a space. He confirmed that the slab is six inches from the property line and the cedar is at the edge of the slab and therefore the same distance from the property line.

Brian Nagel, 6940 148<sup>th</sup> Lane, commented that he is the neighbor to the east. He recognized that there is a due process that should be followed but there are a lot of people that park things next to their homes in Ramsey. He commented that this is a nice structure, along with the other structure constructed by another neighbor to house those things. He appreciated that the residents are investing in their properties to contain some of those things. He agreed that fire is scary but noted that there are many examples in Ramsey where things are constructed even closer to one another. He believed that there would be other ways to combat and find a balance to allow this structure on the street.

Commissioner Bauer asked the Building Official to respond to the comments from the applicant.

Building Official Schreder stated that recommendations and referrals are not something they can typically do, but he did speak with the applicant about ways to encapsulate the interior walls. He stated that the Building Code requires five feet of separation between unprotected elements and anything within that setback would need to meet a one-hour fire resistance of construction. He stated that something like this would need to have fire resistant sheet rock. He stated that typically zero lot line setbacks are reserved for commercial or multi-family residential and not single-family. He stated that this could possible meet Building Code, but the steps necessary are not well defined in the Building Code because that five foot setback is violated.

Commissioner Anderson asked if there is a utility easement between the homes.

Planning Manager Larson confirmed that there is a utility easement and therefore if the variance were approved, the Council would also need to approve a utility easement encroachment agreement. He stated that through the Zoning Code update, a few exemptions were added such as driveways. He stated that if it were just the slab, an encroachment agreement would not be necessary.

Commissioner Anderson asked how much of the slab would need to be cut to meet the five-foot setback.

Mr. Forster replied that would be five feet.

Commissioner Anderson asked how much room would be left if five feet were removed.

Mr. Forster replied that would leave around 15 feet. He stated that the trailer cannot be placed under the hangover from the garage because it is too high.

Commissioner Anderson stated that he is concerned with the easement location and there is a reason that five feet is required from the property line.

Mr. Forster stated that all his utilities are located on the other side of the home and therefore he would find it unlikely that there are any utilities within that easement.

Planning Manager Larson commented that it is a platted drainage and utility easement, explaining that those are generally low spots that allow drainage from the roofs of the homes/garages and driveways to flow to the street or other drainage area.

Mr. Forster commented that the concrete does slope with the elevation of the ground to allow for drainage.

Commissioner Anderson commented that he has been to the property and the metal roof is nice because it does shed snow. He stated that his concern would be that this would encumber on the neighbor's property and potentially cause damage to that siding.

Mr. Forster commented that there are two rows of snow breaks on the roof.

Commissioner Anderson commented that would not slow the rainwater.

Mr. Forster commented that he does have gutters as well. He stated that he has worked with his neighbor on the design and the neighbor helped him construct the structure. He stated that they worked together to address those concerns with the snow breaks and gutters. He noted that he actually has additional snow breaks that could be installed if necessary.

Commissioner Anderson stated that his other concern was with fire protection, as that is a State regulation.

Mr. Forster stated that the only reason he is there tonight is because when he spoke with the Building Official, he was told that the structure could pass Code with improvements. He stated that he is committed to making the structure pass Code.

Commissioner Heineman asked if the applicant would find the structure acceptable if the variance were granted but required the sides and the back to be removed and the posts to be wrapped.

Mr. Forster replied that if that is what he has to do to keep this and have his items covered, he would be willing to do that.

Motion by Commissioner Anderson, seconded by Commissioner Van Scoy, to close the public hearing.

A roll call vote was performed:

Commissioner Anderson     aye  
Commissioner Van Scoy     aye  
Commissioner Bauer         aye  
Commissioner Peters        aye  
Commissioner Heineman     aye  
Chairperson Gengler        aye

Chairperson Gengler closed the public hearing at 8:00 p.m.

**Commission Business**

Commissioner Heineman stated that he would be okay with approving the variance for the slab and roof only, insisting that attempts be made to fireproof the posts. He understood that there were a lot of steps missed, but it is also the job of the Commission to consider all aspects.

Commissioner Van Scoy stated that he attempted to do research on why the setbacks were required, noting the main aspects he found were safety, privacy and aesthetics. He stated that his main concern is safety, and the applicant knows the process for building things and chose not to follow that process. He stated that he does not support the variance as this was built to the property line and impacts the neighbor and neighborhood.

Commissioner Peters stated that he does see people park their fifth wheels on grass throughout the community and appreciates that the applicant wanted to do something more to park on a surface. He stated that there were some big steps that were missed that would have prevented this situation and he leans towards the side of Commissioner Heineman that if the sides were removed, he would be open to letting the posts and roof remain.

Commissioner Van Scoy stated that he does not see any practical difficulties. He stated that his garage being ten feet from another garage is not a practical difficulty as that is Code and there are hundreds and hundreds of homes in the same situation. He stated that regardless of the lack of process he could not find a practical difficulty in this situation.

Motion by Commissioner Bauer, seconded by Commissioner Anderson, to deny the variance request for the slab and lean-to structure.

**Further discussion**

Commissioner Heineman stated that the practical difficulty in this situation is that there is not another spot on the property where a structure of this nature could be constructed. He stated that if someone wants to invest in their property, reduce blight and improve the land, this would be the logical location. Commissioner Anderson stated that the lean-to could be removed, the slab could be reduced by five feet and the structure could be rebuilt and used without a variance. Commissioner Heineman commented that the trailer would not fit in that scenario. He asked City staff to provide the resident with his options, should this variance be denied. Planning Manager Larson replied that if the Commission denied the variance, the applicant could appeal to the City

Council. He stated that the same option would be available to a neighbor, explaining that if the Commission approved the variance and a neighbor did not agree, a neighbor could then appeal the decision and the City Council would hear the request. Commissioner Van Scoy stated that it would appear that there would be room for a structure on the east side of the home. Planning Manager Larson stated that he spoke with the applicant last year about potentially constructing a structure in that location, but the structure needs to have the same setback as the home and there would be some sloping as well. He noted that may also require a variance. Commissioner Heineman asked if the utilities are located on that side of the home. Planning Manager Larson stated that typically utilities run direct from the street to the home. Mr. Nagel stated that he looked into building an accessory structure on his property and there is not enough room between the front setback and wetland buffer to have a structure that would house a trailer or anything of similar size. He explained that is why there is space between his home and the applicant's home, as there was not enough buildable area to construct a home. He noted that there is also a large slope. Planning Manager Larson commented that reasons for denial would need to be articulated. Commissioner Bauer commented that there are no practical difficulties to support the variance.

A roll call vote was performed:

Commissioner Heineman	nay
Commissioner Peters	nay
Commissioner Bauer	aye
Commissioner Van Scoy	aye
Commissioner Anderson	aye
Chairperson Gengler	aye

Motion Carried.

**6.03: Public Hearing: Consider a Variance for a Lean-To Structure at 6850 148<sup>th</sup> Lane NW  
(Michael Ploumen)**

**Public Hearing**

Chairperson Gengler called the public hearing to order at 8:12 p.m.

**Presentation**

Planning Manager Larson presented the staff report stating that staff's recommendation is that, as it exists today, does not look out of character of a typical residential property. However, the closeness of the structure to the property line will appear out of place should the applicant or the neighbor decide to build a fence along the property line. Granting a variance cannot restrict a neighboring property owner from their right to do something. It is recommended that the structure be removed. Staff is taking no position on the placement of the slab.

Commissioner Peters asked if the front stake was ever located.

Planning Manager Larson confirmed that the surveyor did find that stake.

## **Citizen Input**

Michael Ploumen, applicant, stated that this spring he received a Code violation on his garage relating to the concrete pad and the lean-to that was recently constructed. He stated that he questioned it because when he moved in there was a metal stake in the woodland area and his neighbor is an original homeowner and stated that was the property line, therefore he based his decisions on that knowledge. He stated that he measured from the stake to the mailboxes and believed that he was therefore not within the setback. He stated that he reached out to a land surveying company that surveyed his lot for \$800, and he was frustrated with those results as his structures are now within that setback. He commented that there are gutters on the lean-to to ensure there is not a water issue for his neighbor. He stated that his neighbor directly to the east does not have an issue with the structure. He stated that he did not get a permit and does not have an excuse for that. He stated that he had the funds and assistance with labor and went forward with the project. He stated that he would be responsible for any fines or penalties associate with that as he did overlook the permit. He commented that he is a reasonable and simple person, as is his variance. He commented that this does not impact anyone else as the neighbor adjacent has submitted a letter in support. He believed that this fits with the character of the neighborhood and does not stick out at all. He stated that he has received many compliments, and the structure serves a purpose. He stated that if his neighbor wanted to put up a fence or install a fence, he would be willing to make alterations or take the lean-to down, as his relationship with his neighbor is more important than the structure.

Commissioner Anderson asked if the boat would still fit if the concrete was cut by 1.5 feet and the posts moved in.

Mr. Ploumen replied that he was unsure as that would be a very tight fit. He stated that he recently bought a trailer dolly to maneuver the boat into the structure as he cannot back it up in there with his truck.

Commissioner Van Scoy asked if the setback from the property line is to the base of the structure or furthest extension of the structure.

Planning Manager Larson commented that setback is generally measured to the wall of the structure with overhangs generally allowed. He stated that Building Code setbacks are to the closest point, not necessarily the wall, therefore the measurements for the slab, posts, and overhang would be included in the variance if approved.

Commissioner Van Scoy commented that this looks like a nice structure. He stated that if the posts were moved onto the edge of the slab, the setback to the wall would be 3 feet eight inches and would be a smaller variance. He asked if that would be a possibility.

Mr. Ploumen replied that he is unsure, but could try to work with that if that is the decision of the Commission, but noted that would also make things more difficult in terms of space.

Commissioner Bauer asked if this could be requested, providing the applicant with additional time to determine if that adjustment would still fit the boat.

Planning Manager Larson replied that would be an option, noting the 60-day review timeline.

Mr. Ploumen asked if the Commission wanted him to get the exact measurements of the boat compared to the slab.

Commissioner Bauer stated that he would be more open to the smaller variance request, if that worked for the applicant as well.

Councilmember Woestehoff stated that the case does not list a resolution and the direction would be for staff to prepare a resolution, therefore this would come back to the next meeting anyway.

Planning Manager Larson commented that staff could prepare the resolution with the larger setback if that is desired.

Commissioner Anderson referenced the statement in the staff report that variances to Building Code are not allowed and asked staff for assistance in understanding this request.

Planning Manager Larson replied that the Commission could not approve this as is because the structure would need to be modified to meet the Building Code. He stated that the variance could be approved for the setback and then the applicant would need to work with the Building Official to make the structure meet the requirements for fire protection.

Mr. Ploumen stated that he has been in conversation with the Building Official to discuss some things that could be done to bring the structure up to Code. He stated that if alterations are required to get the structure to Code, he would be willing to do that.

Councilmember Woestehoff stated that if the Commission decides to approve the variance, the City Council would still need to approve an encroachment agreement because this would be within the easement.

Commissioner Anderson commented that because there is an easement, if that needs to be dug up, they would bulldoze that structure down. He stated that they are trying to figure out how this could work.

Commissioner Peters asked what could be done to the structure for it to meet Code.

Building Official Schreder commented that this is not unlike the other structure where the elements within that five-foot setback would need to meet the one-hour fire resistance requirement. He stated that one hour fire rating would need to be designed by the applicant through an architectural plan for the posts and under side of the roof.

Commissioner Van Scoy asked if the practical difficulties section has been identified for this request.

Commissioner Anderson asked if everything were brought back to the five-foot mark, would that address the fire protection issue.

Building Official Schreder replied that would satisfy the Building Code and no other modifications would be needed.

Commissioner Van Scoy asked if gypsum is appropriate for that type of protection.

Building Official Schreder commented that could be part of the fire resistance but that would be vulnerable to the elements and therefore would need a water-resistant barrier and exterior covering.

Planning Manager Larson referenced statements within the applicant letter that would address the variance criteria. He explained that only one practical difficulty needs to be met, although the more that are met, the higher the request would rank.

Commissioner Van Scoy commented that with the width of the lot, there would not be any additional space to place this type of structure and would think that could be a difficulty in this case.

Brian Nagel, 6920 148<sup>th</sup> Lane, referenced the discussion from the Commission about whether the structure should be reduced in size, as that would still be within the five foot area. He asked why one would be better than the other as they would both be variance requests. He stated that from his perspective the only downside would be for the property owner that would need to cut concrete and move footings to only gain a one-foot difference essentially on paper.

Commissioner Van Scoy replied that in his opinion the difference would be that he would prefer to limit the scope of a variance to the least degree.

Motion by Commissioner Bauer, seconded by Commissioner Anderson, to close the public hearing.

A roll call vote was performed:

Commissioner Anderson	aye
Commissioner Van Scoy	aye
Commissioner Bauer	aye
Commissioner Peters	aye
Commissioner Heineman	aye
Chairperson Gengler	aye

Motion Carried.

Chairperson Gengler closed the public hearing at 8:39 p.m.

### **Commission Business**

Commissioner Anderson stated that he would like to table this to the next month, to provide the applicant with time to determine if the structure could be reduced to the five-foot mark, as that would eliminate the issue with the Building Code.

Commissioner Peters commented that would also provide the applicant with time to determine what would need to be done to modify the structure to meet the one-hour fire rating if it were to stay in the same location.

Motion by Commissioner Anderson, seconded by Commissioner Bauer, to table consideration of this item to the next meeting to allow the applicant additional time to investigate whether the five-foot setback could be reached or bring back a plan to fireproof the structure to the one-hour rating.

### **Further discussion**

Mr. Nagel asked for clarification on whether the roofline would need to come into the five-foot mark as well. He stated that if that needs to come in five feet the boat would not fit. Commissioner Peters commented that is why he suggested that the applicant also determine the plan to meet the one-hour fire rating, in the case that it would not be feasible to modify the size of the structure. Mr. Ploumen asked for clarification on which element would need to be at the five-foot mark, whether that is the posts, roof, or slab. He commented that if the overhang needs to come in five feet the structure would be useless. Planning Manager Larson stated that perhaps the applicant provides some measurements on what could be modified and to what degree, noting that if the five-foot mark could be met, the Commission would not need to see this again. Mr. Ploumen stated that he obviously would like the structure to remain as is, but respects the opinions of the Commission and will attempt to work out some math. Commissioner Van Scoy asked if the applicant has considered purchasing 2.5 feet from the neighbor. Mr. Ploumen stated that he has thought about that, but was unsure how that would work out. Commissioner Van Scoy noted that is an option that could also be looked into. Commissioner Anderson asked for clarification and confirmed that the five-foot mark would be to the post. Commissioner Heineman stated that if a variance were given today, the applicant would have the option to fireproof to the one-hour fire rating or move the posts to meet the five-foot mark. He stated that there is a reason for Code but there also is a reason for variances and this resident made his best attempt, created something that looks nice and fits with the neighborhood. He did not see a reason to spend thousands of dollars to reduce the structure by one foot and believed a variance is acceptable in this situation. Commissioner Anderson stated that the applicant has the option to come back with his plan to fireproof as well. Commissioner Heineman stated that the variance should just be given now.

A roll call vote was performed:

Commissioner Heineman	aye
Commissioner Peters	aye
Commissioner Bauer	aye
Commissioner Van Scoy	aye
Commissioner Anderson	aye
Chairperson Gengler	aye

Motion Carried.

**6.04: Public Hearing: Consider a Conditional Use Permit for Motor Vehicle Rental and Self-Storage Facilities for U-Haul at 8725 Riverdale Dr NW**

**Public Hearing**

Chairperson Gengler called the public hearing to order at 8:49 p.m.

**Presentation**

City Planner Martin presented the staff report stating that staff recommends approval of the Conditional Use Permit, contingent upon satisfying the conditions listed in Resolution #24-202 and having updated plans in time for City Council review.

Commissioner Bauer asked for more information on access using Riverdale from both directions of Highway 10 and whether that would change following the highway project.

Planning Manager Larson replied that there would be no changes at this time but recognized that once this project is completed there would be pressure to extend the freeway west towards Elk River. He stated that most likely that intersection would be eliminated and become a frontage road.

Commissioner Van Scoy asked if the change marks noted in the staff presentation are reflected in the draft resolution.

City Planner Martin commented that the draft resolution includes all the change marks, but staff reviewed those this morning and has been in conversation with the applicant. He confirmed that the draft resolution includes all change marks identified thus far.

Commissioner Anderson asked when this would go before the City Council.

City Planner Martin replied that the intent would be for the Planning Commission recommendation to go to the City Council on Monday, August 12<sup>th</sup>.

**Citizen Input**

Lucy Aveen-West, representing the applicant, thanked the Commission for considering the request and for the cooperation of staff throughout this process.

Commissioner Anderson asked where motor vehicles would be repaired.

Ms. Aveen-West replied that repair would not be completed at this location as that is handled at their shop in Coon Rapids.

Commissioner Anderson asked if the plantings near Highway 10 would be trees or shrubs.

City Planner Martin replied that it would be a mix of trees and shrubs. He stated that the plantings were reviewed by the Environmental Policy Board and that group deemed the planting plan to be sufficient.

Chairperson Gengler asked how the entrances to this property would align with the entrances to Riverstone South.

City Planner Martin replied that engineering and planning staff worked with the applicant to find a proposal that would best align the driveways. He stated that the first concept aligned the driveways, but there was appropriate spacing and therefore the entrances are offset. He noted that would also provide Riverstone residents with a view of a buffer rather than direct into the U-Haul site.

Commissioner Bauer referenced the three-story climate-controlled building and asked if there is a through path to drive in and out for loading and unloading.

Ms. Aveen-West replied that vehicles would pull into the building and then come back out through the same entrance. She confirmed that there is room inside for more than one vehicle at a time.

City Planner Martin explained that there are three garage doors for the climate-controlled building use with an additional entrance for the back of house activities.

Chairperson Gengler asked the height of the berms facing Riverdale.

City Planner Martin replied that the berms would be about two to three feet with a combination of trees and shrubs planted on the top. He confirmed that there is also berming across the street.

Commissioner Van Scoy commented that this will be a great addition.

Motion by Commissioner Peters, seconded by Commissioner Van Scoy, to close the public hearing.

A roll call vote was performed:

Commissioner Anderson	aye
Commissioner Van Scoy	aye
Commissioner Bauer	aye
Commissioner Peters	aye
Commissioner Heineman	aye
Chairperson Gengler	aye

Motion Carried.

Chairperson Gengler closed the public hearing at 9:15 p.m.

**Commission Business**

Motion by Commissioner Anderson, seconded by Commissioner Van Scoy, to recommend that City Council adopt Resolution #24-202, Approving a Conditional Use Permit for Equipment Rental and Self-Storage Facilities at 8725 Riverdale Drive NW, subject to the conditions specified within the resolution.

A roll call vote was performed:

Commissioner Heineman	aye
Commissioner Peters	aye
Commissioner Bauer	aye
Commissioner Van Scoy	aye
Commissioner Anderson	aye
Chairperson Gengler	aye

Motion Carried.

**6.05: Public Hearing: Comprehensive Plan Text Amendment Pertaining to Low Density Residential**

**Public Hearing**

Chairperson Gengler called the public hearing to order at 9:16 p.m.

**Presentation**

Planning Manager Larson presented the staff report stating that staff recommends approval of the Comprehensive Plan text amendment.

Commissioner Van Scoy asked if the Metropolitan Council accepts the overall density, but is concerned that the City did not meet its own definition of residential density. He asked how the City is measuring density per acre.

Planning Manager Larson confirmed that to be the case. He explained how the City calculates residential density and the items that are taken out of the calculation, such as arterial roadways and wetlands.

Commissioner Van Scoy recalled that many years ago the City did not exempt the local streets, and when they began doing that there were problems with the calculations.

Planning Manager Larson confirmed that the Metropolitan Council would be satisfied with the definition change. He noted that the density range was quite high when compared to other communities for low density residential. He stated that dropping that range would fix the issue and make the City comparable to other communities.

Commissioner Heineman commented that he has heard from many residents that they do not like as many houses in a small area, but noted that this change would lower the minimum number of lots required and therefore would grow the minimum lot size for this land use.

**Citizen Input**

No comments.

Motion by Commissioner Van Scoy, seconded by Commissioner Anderson, to close the public hearing.

A roll call vote was performed:

Commissioner Anderson	aye
Commissioner Van Scoy	aye
Commissioner Bauer	aye
Commissioner Peters	aye
Commissioner Heineman	aye
Chairperson Gengler	aye

Motion Carried.

Chairperson Gengler closed the public hearing at 9:28 p.m.

**Commission Business**

Motion by Commissioner Van Scoy, seconded by Commissioner Bauer, to recommend that City Council adopt Resolution #24-186, a Comprehensive Plan amendment pertaining to Low Density Residential.

A roll call vote was performed:

Commissioner Heineman	aye
Commissioner Peters	aye
Commissioner Bauer	aye
Commissioner Van Scoy	aye
Commissioner Anderson	aye
Chairperson Gengler	aye

Motion Carried.

**7. COMMISSION BUSINESS**

**8. COMMISSION / STAFF INPUT**

Commissioner Anderson commented that he would not be at the August meeting.

Planning Manager Larson reviewed his staff update noting the upcoming Council meeting date and recent City Council activity. He also noted some upcoming items that will come before the Planning Commission.

Commissioner Van Scoy commended the public works department for assistance in a recent event he experienced with a downed tree.

## 9. ADJOURNMENT

Motion by Commissioner Bauer, seconded by Commissioner Peters, to adjourn the meeting.

A roll call vote was performed:

Commissioner Heineman	aye
Commissioner Peters	aye
Commissioner Bauer	aye
Commissioner Van Scoy	aye
Commissioner Anderson	aye
Chairperson Gengler	aye

Motion Carried.

The regular meeting of the Planning Commission adjourned at 9:34 p.m.

Respectfully submitted,

---

Todd Larson  
Planning Manager

ATTEST:

---

Abdihafid Sahal  
Planning Assistant

Drafted by Amanda Staple  
*TimeSaver Off Site Secretarial, Inc.*

**Regular Planning Commission****Meeting Date:** 08/22/2024**Primary Strategic Plan Initiative:** Create a positive image for residential neighborhoods, business districts and key corridors.**Information****Title:**

Continue consideration of a variance for a lean-to structure at 6850 148th Lane NW (Michael Ploumen) until September 26, 2024.

**Purpose/Background:**

At its meeting on July 25, the Planning Commission continued the consideration of a variance for an existing parking pad and lean-to structure until its next meeting. The continuation was to allow the applicant time to measure his boat and explore ways to reduce the size of the encroachment. The applicant has requested to go to the Commission's next meeting instead. The September 26, 2024, Planning Commission meeting falls within the extended 60-day time frame required by Minnesota Statutes 15.99.

**Recommendation:**

No recommendation required.

**Outcome/Action:**

Motion to continue consideration of a variance for a lean-to structure at 6850 148th Lane NW (Michael Ploumen) until the September 26, 2024, meeting.

**Attachments**

*No file(s) attached.*

**Form Review****Inbox**

Brian Hagen

Form Started By: Todd Larson

Final Approval Date: 08/15/2024

**Reviewed By**

Brian Hagen

**Date**

08/15/2024 10:45 AM

Started On: 08/05/2024 01:59 PM

**Regular Planning Commission****Meeting Date:** 08/22/2024**Primary Strategic Plan Initiative:** Promote economic growth and development.**Information****Title:**

PUBLIC HEARING: Consider a Request for a Variance to Setbacks for a Building Addition at 14220 Basalt St NW (Project No. 24-118); Case of Quad Logic

**Purpose/Background:**

The City has received an application from Quad Logic (the "Applicant") requesting both a variance and a partial easement vacation to accommodate a proposed addition to their existing building at 14220 Basalt St NW (the "Subject Property"). The City Council will be conducting a separate public hearing regarding the requested easement vacation.

**Notification:**

Mailed notifications were sent to property owners within 350 feet of the Subject Property. A "proposed development" sign was also placed on the Subject Property. A legal notice was placed in the Anoka Union Herald Newspaper as well.

**Time Frame/Observations/Alternatives:**

The Applicant is seeking to construct a small addition (3,440 square feet) to their existing building on the Subject Property. The addition is needed for additional cold storage space to keep with the increased demand for their products. The building addition would consist of the same materials and colors and the existing building, which includes a combination of rockface block and smooth block bands. The height of the addition will match the existing building height, which is approximately twenty-eight (28) feet. Due to the constraints of the Subject Property, which will be addressed below, the proposed addition will be to the west side of the building and will result in a setback of approximately five (5) feet from the western property line. If not for the need of a variance, review of this project would have qualified for an Administrative Site Plan, meaning review would have been done as part of the building permit application.

The Subject Property is triangular-shaped and has very limited frontage along a local road (Basalt Street). Due to the current location of loading docks (north side of building), minimum parking and maneuverability standards, expanding the building to the east or north will not work. Expansion to the north would eliminate the necessary maneuvering space for semi-trucks to back up to the loading docks. Expansion to the east would result in the loss of parking spaces and would reduce the drive aisle width to something less than twenty-four (24) feet. Furthermore, the Subject Property also abuts Bunker Lake Boulevard, which is a County Highway. It is very unlikely that the Anoka County Highway Department would approve a new access onto Bunker Lake Boulevard. Even if that were approved, it would be undesirable due to the existing center median, meaning the only access to the Subject Property would become a right-in, right-out only. Thus, the only feasible location for the addition is to the west.

The building is currently about thirty-five (35) feet from the western property line. City Code Section 106-530 requires a minimum setback of twenty-five (25) feet. The proposed expansion will be approximately twenty-nine (29) feet in width, resulting in a setback of approximately six (6) feet from the western lot line. All but five (5) feet of this area is currently paved. There is also a ten (10) foot wide drainage and utility easement along the western lot line of the Subject Property. The Applicant is also seeking a vacation of five (5) feet of this easement to accommodate the building expansion. The City Council will conduct a Public Hearing on the Easement

Vacation at their August 27, 2024, meeting.

Per State Statute, a variance can be issued if zoning provisions result in practical difficulties for a property owner. This includes reasonableness, uniqueness, and essential character.

- Reasonableness: The building addition is reasonable in size and is for a permitted use (warehousing) in the zoning district.
- Uniqueness: The Subject Property is triangular in shape and abuts a County Highway, both of which create practical difficulties in terms of adding on to the existing building.
- Essential Character: The building addition would consist of materials and colors that match the existing building and therefore, would not alter the essential character of the existing neighborhood.

**Funding Source:**

All costs associated with this request are the Applicant's responsibility.

**Recommendation:**

Staff recommends approval of the variance to deviate from the minimum rear yard setback.

**Outcome/Action:**

Motion to adopt Resolution #24-227 approving a variance to the minimum rear yard setback on the Subject Property.

---

**Attachments**

- Site Location Map
- Certificate of Survey (Existing Conditions)
- Site Plan
- Building Elevations
- Easement Vacation Exhibit (for reference only)
- Resolution #24-227: Variance

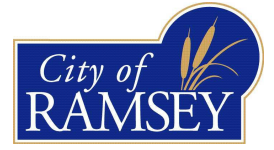
**Form Review**

Inbox	Reviewed By	Date
Brian Hagen	Brian Hagen	08/15/2024 10:48 AM
Form Started By: Chris Anderson		Started On: 08/13/2024 10:11 AM
Final Approval Date: 08/15/2024		

27-32-25-43-0034  
14220 Basalt St NW

# QUAD LOGIC

Variance/Easement Vacation



LOGIS, Three Rivers Park District, Esri, HERE, Garmin, INCREMENT P, NGA, USGS

Print Date: July 17, 2024

0 0.00 0.01 0.03 0.04 0.06  
mi

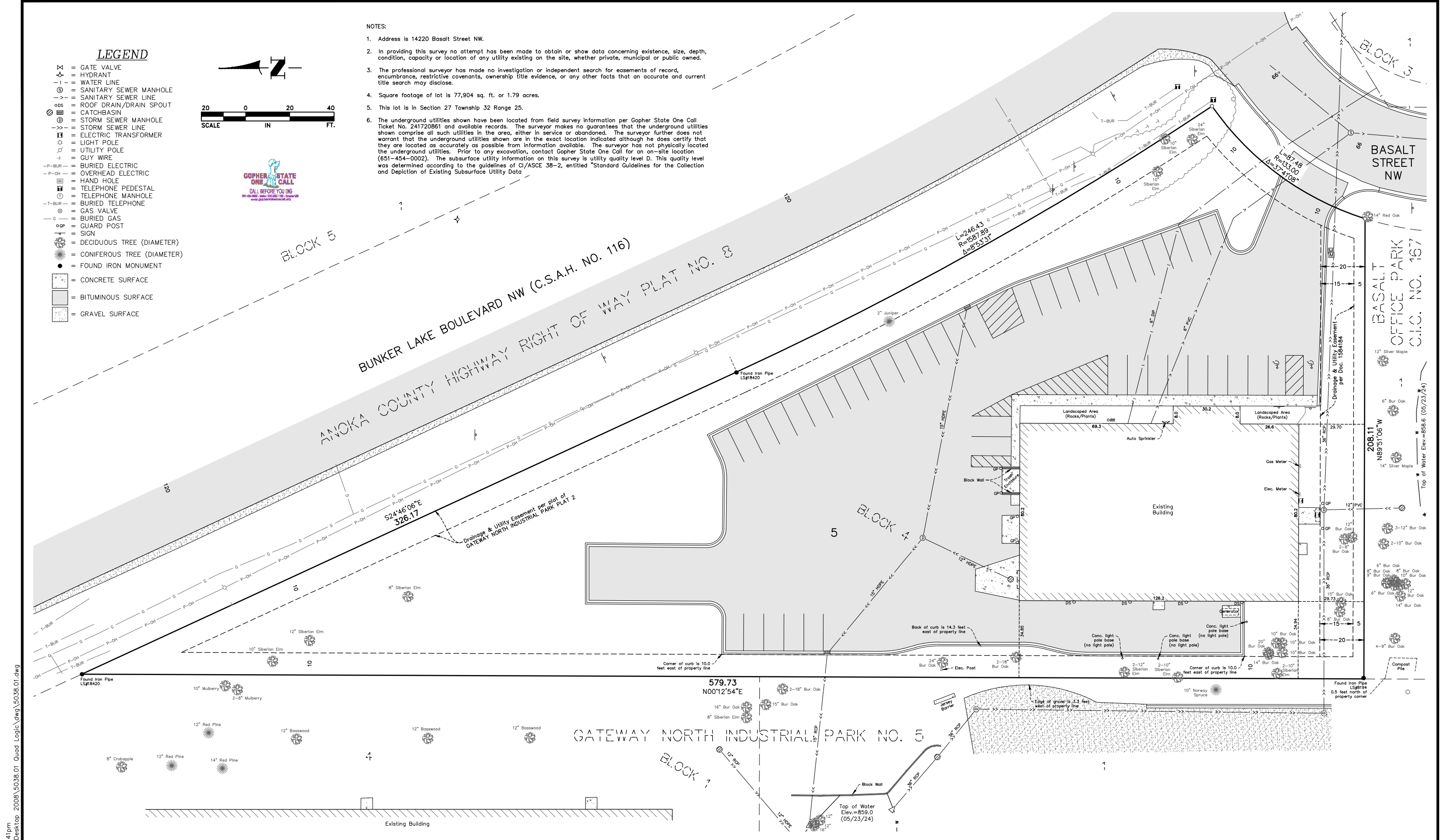
**LEGEND**

- ⊗ = GATE VALVE
- ⊕ = HYDRANT
- |- = WATER LINE
- ⊙ = SANITARY SEWER MANHOLE
- ⊖ = SANITARY SEWER LINE
- ⊕ = ROOF DRAIN/DRAIN SPOUT
- ⊕ = CATCHBASIN
- ⊕ = STORM SEWER MANHOLE
- |- = STORM SEWER LINE
- ⊕ = ELECTRIC TRANSFORMER
- ⊕ = LIGHT POLE
- ⊕ = UTILITY POLE
- |- = GUY WIRE
- P-BUR = BURIED ELECTRIC
- P-OH = OVERHEAD ELECTRIC
- ⊕ = HAND HOLE
- ⊕ = TELEPHONE PEDESTAL
- ⊕ = TELEPHONE MANHOLE
- T-BUR = BURIED TELEPHONE
- ⊕ = GAS VALVE
- G = BURIED GAS
- ⊕ = GUARD POST
- ⊕ = SIGN
- ⊕ = DECIDUOUS TREE (DIAMETER)
- ⊕ = CONIFEROUS TREE (DIAMETER)
- = FOUND IRON MONUMENT
- ▭ = CONCRETE SURFACE
- ▭ = BITUMINOUS SURFACE
- ▭ = GRAVEL SURFACE



**NOTES:**

1. Address is 14220 Basalt Street NW.
2. In providing this survey no attempt has been made to obtain or show data concerning existence, size, depth, condition, capacity or location of any utility existing on the site, whether private, municipal or public owned.
3. The professional surveyor has made no investigation or independent search for easements of record, encumbrance, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
4. Square footage of lot is 77,904 sq. ft. or 1.79 acres.
5. This lot is in Section 27 Township 32 Range 25.
6. The underground utilities shown have been located from field survey information per Gopher State One Call Ticket No. 241720861 and available records. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities. Prior to any excavation, contact Gopher State One Call for an on-site location (651-454-0002). The subsurface utility information on this survey is utility quality level D. This quality level was determined according to the guidelines of CI/ASCE 38-2, entitled "Standard Guidelines for the Collection and Depiction of Existing Subsurface Utility Data"



Jul 12, 2024 1:41pm  
 K:\lead\_sur\land Desktop 2008\5038.01 Quad Logic.dwg\5038.01.dwg

DATE	REVISION

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Land Surveyor under the laws of the State of Minnesota.

*Brian Person*  
 BRIAN PERSON  
 Date 7/12/24 Lic. No. 49138

DESIGNED BY: BP  
 DRAWN BY: MSS  
 CHECKED BY: BP



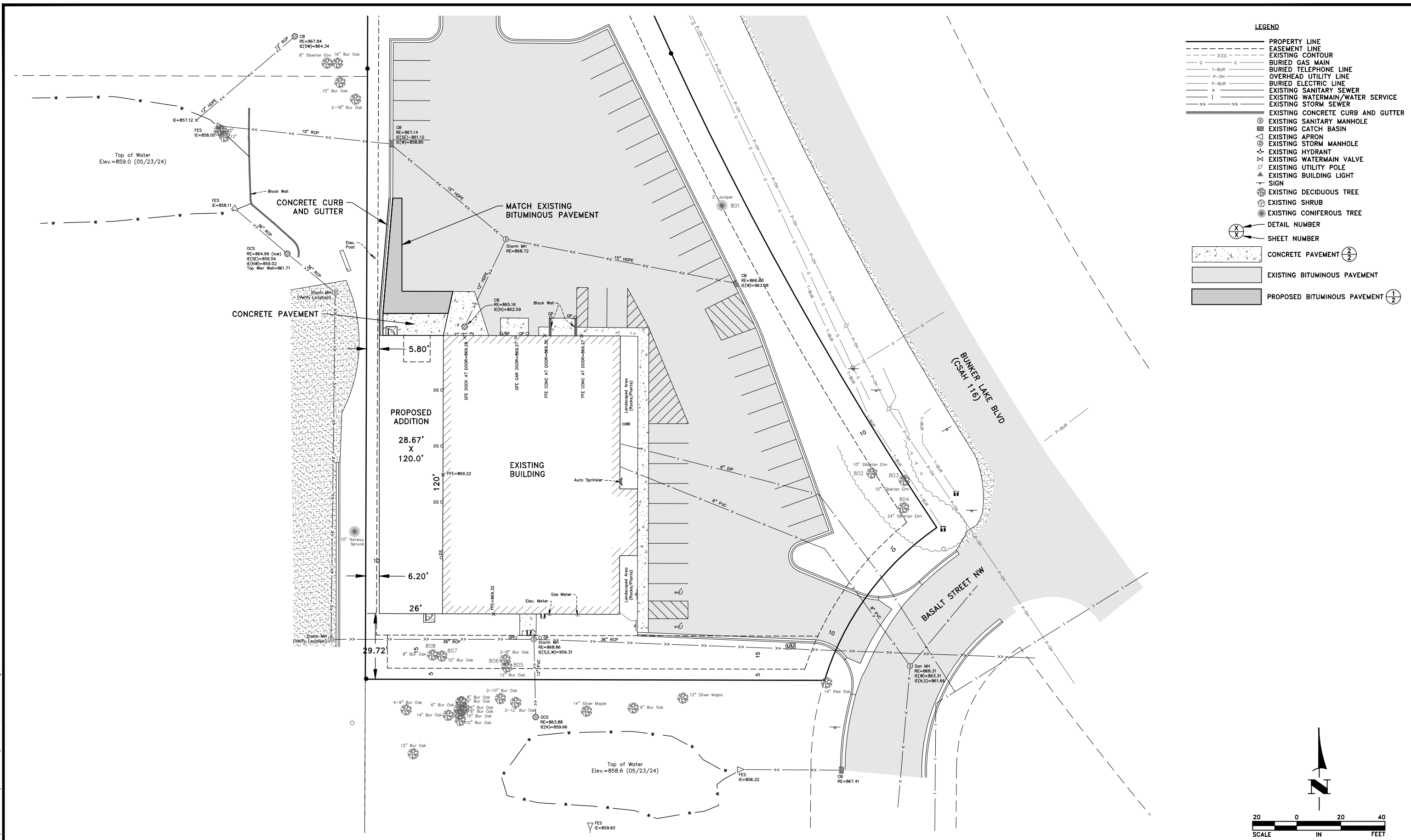
**Hakanson Anderson**  
 Civil Engineers and Land Surveyors  
 3601 Thurston Ave., Anoka, Minnesota 55303  
 763-427-5860 FAX 763-427-0520  
 www.hakanson-anderson.com

**LOT 5, BLOCK 4,  
 GATEWAY NORTH INDUSTRIAL PARK PLAT 2  
 ANOKA COUNTY, MINNESOTA**

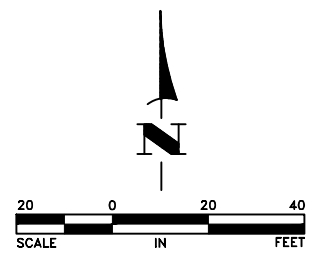
**CERTIFICATE OF SURVEY  
 QUAD LOGIC ADDITION  
 CITY OF RAMSEY, MINNESOTA**

SHEET 4 OF 7 SHEETS

Aug 13, 2024 - 12:43pm K:\PRIVATE\5038.01\ENGINEERING\PLAN DWG\5038.01\_SITE\_PLAN.gwg



- LEGEND**
- PROPERTY LINE
  - - - EASEMENT LINE
  - - - XXX - - - EXISTING CONTOUR
  - G - G BURIED GAS MAIN
  - T-BUR BURIED TELEPHONE LINE
  - P-OH OVERHEAD UTILITY LINE
  - P-BUR BURIED ELECTRIC LINE
  - > - - - EXISTING SANITARY SEWER
  - > - - - EXISTING WATERMAIN/WATER SERVICE
  - >> - - - EXISTING STORM SEWER
  - ⊕ EXISTING CONCRETE CURB AND GUTTER
  - ⊕ EXISTING SANITARY MANHOLE
  - ⊕ EXISTING CATCH BASIN
  - ⊕ EXISTING APRON
  - ⊕ EXISTING STORM MANHOLE
  - ⊕ EXISTING HYDRANT
  - ⊕ EXISTING WATERMAIN VALVE
  - ⊕ EXISTING UTILITY POLE
  - ⊕ EXISTING BUILDING LIGHT SIGN
  - ⊕ EXISTING DECIDUOUS TREE
  - ⊕ EXISTING SHRUB
  - ⊕ EXISTING CONIFEROUS TREE
  - ⊕ DETAIL NUMBER
  - ⊕ SHEET NUMBER
  - CONCRETE PAVEMENT 2/2
  - EXISTING BITUMINOUS PAVEMENT
  - PROPOSED BITUMINOUS PAVEMENT 1/2



DATE	REVISION
8/13/24	REVISE DOOR LOCATION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

*Shane Nelson*  
**SHANE NELSON, P.E.**  
 Date 7/12/24 Lic. No. 43381

DESIGNED BY: SN  
 DRAWN BY: AW  
 CHECKED BY: SN

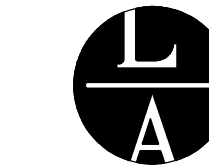


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**LOT 5, BLOCK 4,  
 GATEWAY NORTH INDUSTRIAL PARK PLAT 2  
 ANOKA COUNTY, MINNESOTA**

**CIVIL SITE PLAN**  
**QUAD LOGIC ADDITION  
 CITY OF RAMSEY, MINNESOTA**

SHEET 6 OF 7 SHEETS  
 5038.01



LAMPERT ARCHITECTS

420 Summit Avenue  
St. Paul, MN 55102  
Phone: 763.755.1211 Fax: 763.757.2849  
lampert@lampert-arch.com

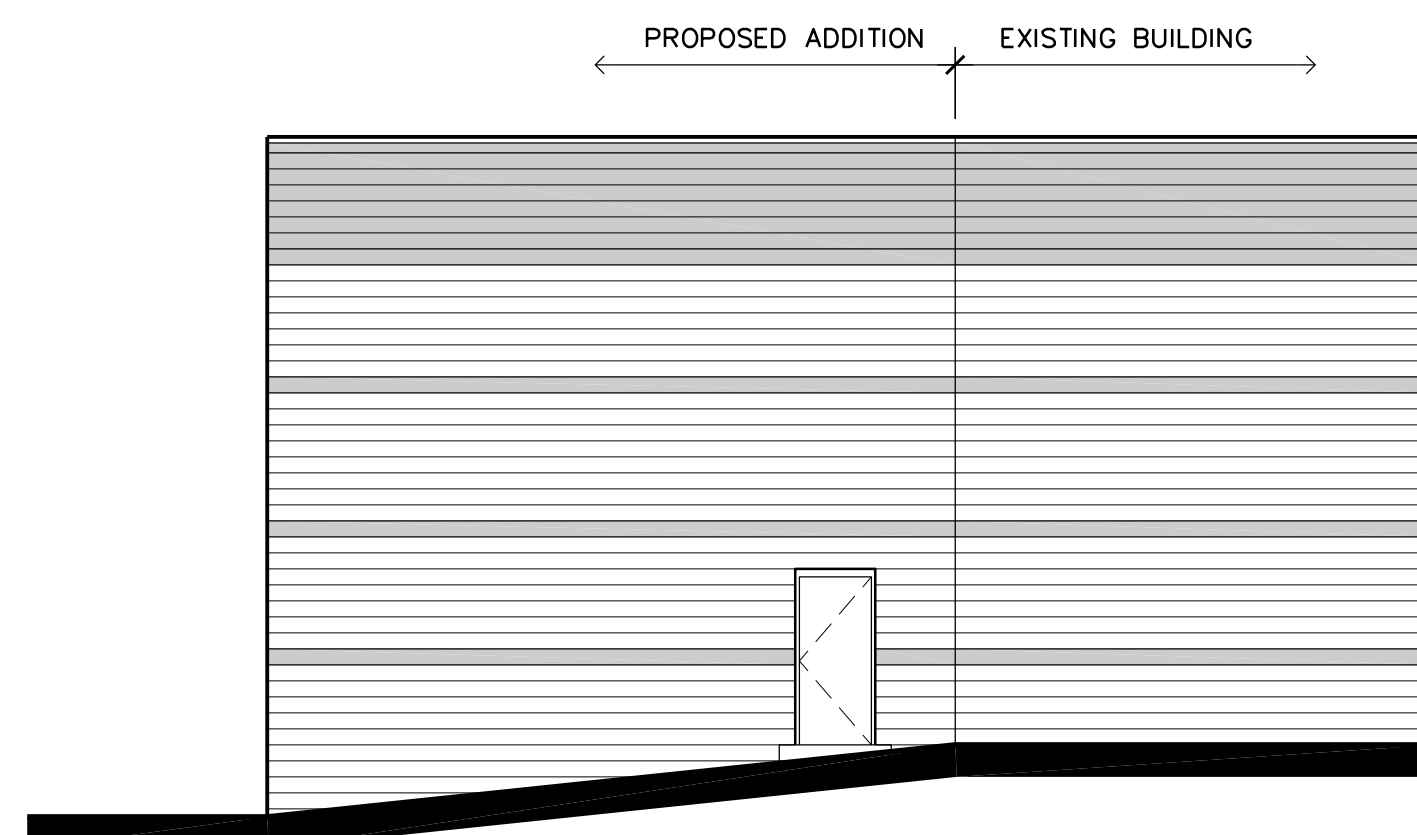
ARCHITECT CERTIFICATION:  
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRELIMINARY  
NOT FOR CONSTRUCTION

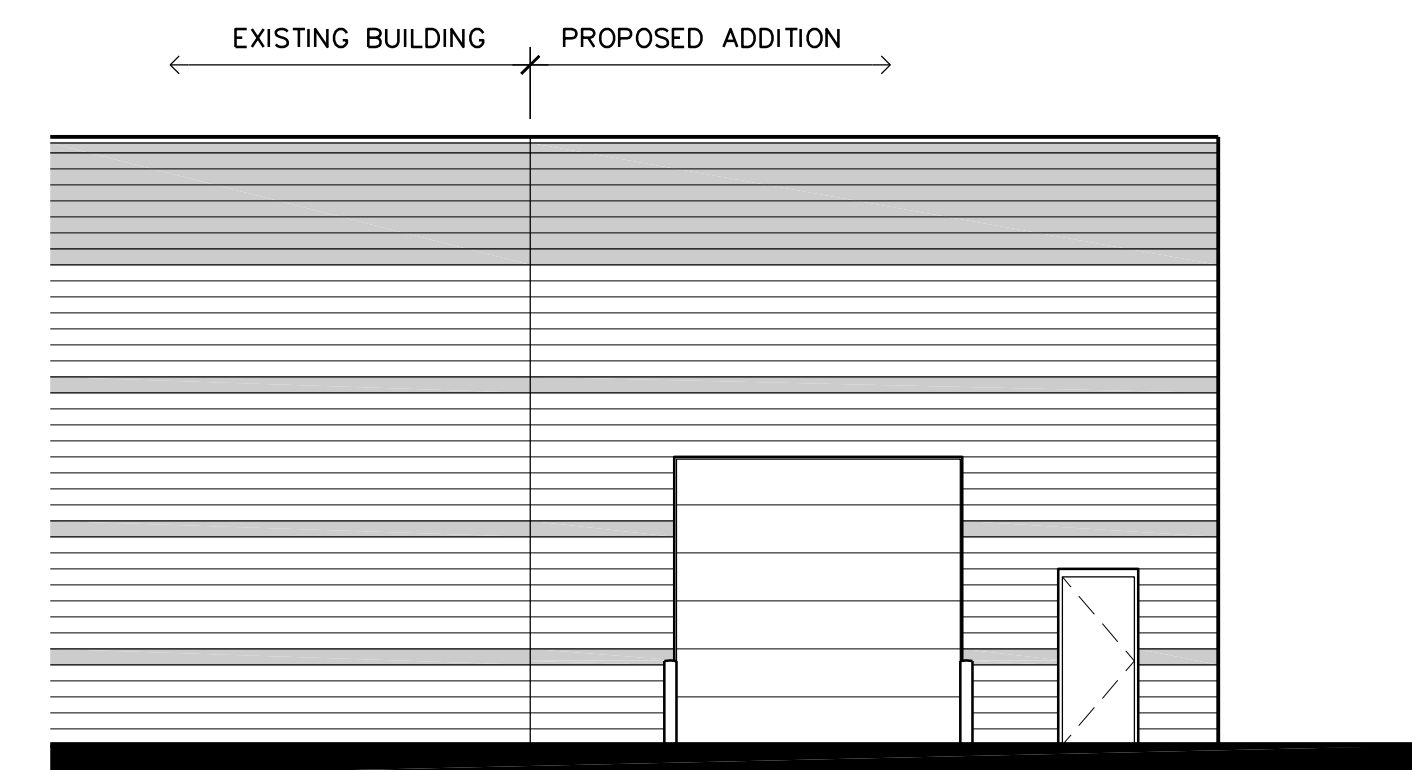
Sharp & Associates, LLC



500 Bunker Lake Blvd  
Anoka, MN 55303  
Ph (763) 425-2002  
Fax (763) 425-6428



3 SOUTH ELEVATION  
A3 SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION  
A3 SCALE: 1/8" = 1'-0"

T.O. PARPAET  
EL. 125'-4" (VERIFY)

NOTE: FIELD VERIFY ALL  
BANDING HEIGHTS

FINISHED FLOOR  
EL. 100'-0"

1 WEST ELEVATION  
A3 SCALE: 1/8" = 1'-0"

- ← PREFINISHED METAL CAP FLASHING  
COLOR #3 TO MATCH EXISTING
- ← SMOOTH BLOCK BAND  
COLOR #2 TO MATCH EXISTING
- ← ROCKFACE BLOCK  
COLOR #2 TO MATCH EXISTING
- ← SMOOTH BLOCK BAND  
COLOR #2 TO MATCH EXISTING
- ← SMOOTH BLOCK BAND  
COLOR #2 TO MATCH EXISTING
- ← ROCKFACE BLOCK  
COLOR #1 TO MATCH EXISTING

QUAD LOGIC  
14220 Basalt St NW, Ramsey, Minnesota

Copyright 2024  
Leonard Lampert Architects Inc.

Project Designer: JAMES B

Drawn By: ALE

Checked By: LL

Revisions

NO.	DATE	DESCRIPTION
1	8/13/24	PRELIMINARY

BUILDING ELEVATIONS

Sheet Number

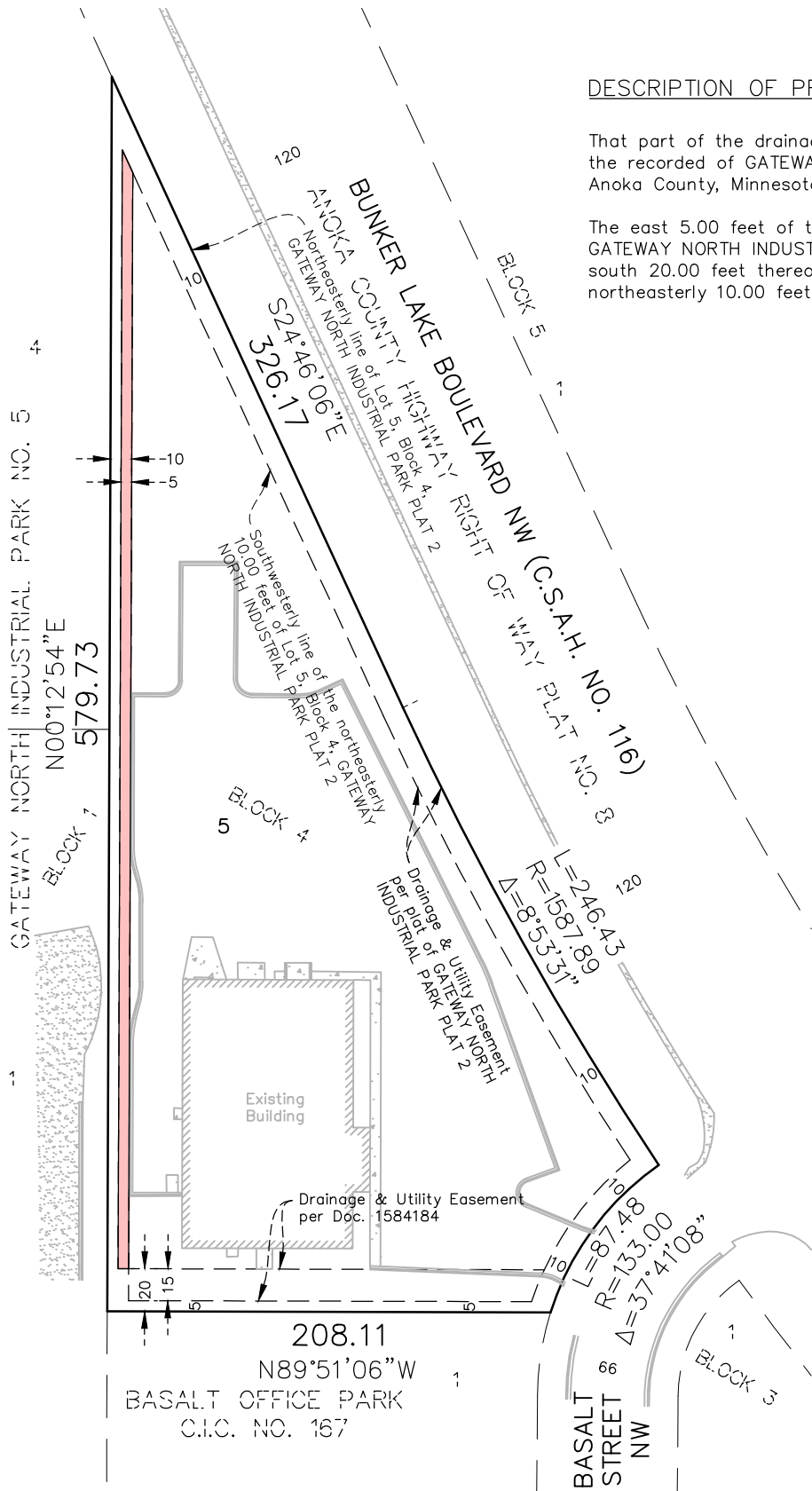
A3

Project No. 231220-1

DESCRIPTION OF PROPOSED EASEMENT VACATION:

That part of the drainage and utility easement dedicated on the recorded of GATEWAY NORTH INDUSTRIAL PARK PLAT 2, Anoka County, Minnesota described as follows:

The east 5.00 feet of the west 10.00 of Lot 5, Block 4, said GATEWAY NORTH INDUSTRIAL PARK PLAT 2, lying north of the south 20.00 feet thereof and lying southwesterly of the northeasterly 10.00 feet thereof.



1 INCH = 80 FEET

DENOTES PROPOSED EASEMENT VACATION

Area of Easement Vacation is 2,600 Sq.Ft. = 0.06 Acres

DATE	REVISION

DESIGNED BY: BP
DRAWN BY: MSS
CHECKED BY: BP

  
**Hakanson Anderson**  
 Civil Engineers and Land Surveyors  
 3601 Thurston Ave., Anoka, Minnesota 55303  
 763-427-5860 FAX 763-427-0520

Easement Vacation Exhibit		SHEET 1 OF 1 SHEETS
for		
QUAD LOGIC		
DATE	07/12/2024	FILE NO. 5038.01

Commissioner \_\_\_\_\_ introduced the following resolution and moved for its adoption:

**RESOLUTION #24-227**

**A RESOLUTION APPROVING A VARIANCE TO BUILDING SETBACKS  
AT 14220 BASALT STREET NW**

**RECITALS**

1. **WHEREAS**, The City of Ramsey received an application from Quad Logic (the "**Applicant**") requesting a **Variance** to the rear yard setback to accommodate a building addition located at the property generally known as 14220 Basalt Street NW and legally described as follows:

Lot 5, Block 4 Gateway North Industrial Park Plat 2

(the "**Subject Property**")

2. **WHEREAS**, the **Applicant** appeared before the Planning Commission for a public hearing pursuant to Section 106-220 (**Variances**) of the Ramsey City Code on August 22, 2024, and that said public hearing was properly advertised and that the minutes of said public hearing are available.
3. **WHEREAS**, the **Subject Property** is approximately 1.79 acres in size, which is similar, if not slightly smaller, than other properties in the immediate surrounding area.
4. **WHEREAS**, the **Subject Property** is zoned I-1 – Light Industrial.
5. **WHEREAS**, the parcels surrounding the **Subject Property** to the northwest, east, and south are also zoned I-1 – Light Industrial and the parcel to the southwest is zoned I-2 – General Industrial.
6. **WHEREAS**, the **Subject Property**, and all surrounding parcels, is guided as Business Park in the 2040 Comprehensive Plan.
7. **WHEREAS**, City Code Section 106-530 (Bulk Standards) states that the minimum rear yard setback for parcels in the I-1 – Light Industrial District is twenty-five (25) feet.
8. **WHEREAS**, the **Applicant** is proposing a building addition of approximately 3,440 square feet for additional cold storage space due to increased product demand.
9. **WHEREAS**, the **Subject Property** is triangular shaped and abuts Bunker Lake Boulevard, a County Highway.
10. **WHEREAS**, a building addition to the east is not feasible as it would disrupt the existing access to the **Subject Property** (currently off of Basalt Street) and it is very unlikely that an access onto Bunker Lake Boulevard would be approved by Anoka County Highway

Department (this would likely be undesirable to the **Applicant** as well due to the center median now in place adjacent to the **Subject Property**, meaning an access onto Bunker Lake Boulevard, if approved, could only be a right-in, right-out). Furthermore, this would also result in loss of parking spaces and a reduction in the drive-aisle width to something less than twenty-four (24) feet, which is the minimum required by City Code.

11. **WHEREAS**, a building addition to the north is not feasible as that is where the existing loading docks are located and it would eliminate the necessary maneuvering areas that the semi-trucks need to back up to them.
12. **WHEREAS**, there is currently a ten (10) foot wide drainage and utility easement along the western property line of the Subject Property, which the Applicant has requested a vacation of five (5) feet to accommodate the building addition.
13. **WHEREAS**, the City’s Engineering Department has reviewed the requested partial easement vacation and has no objections.

### **FINDINGS OF FACT**

1. That the **Variance** will be in accordance with the objectives of the intent of Section 106-220 (**Variances**) of the Ramsey City Code.
2. That the **Variance** will allow the property owner to use the property in a reasonable manner not otherwise permitted by the zoning code.
3. That the **Variance** will not alter the essential character of the locality.
4. That the **Variance** is not intended to solely satisfy economic considerations.

**NOW THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:**

That the Ramsey Planning Commission hereby grants approval of a variance (the “**Variance**”) to deviate from the required building setbacks set forth in Section 106-530 to accommodate a building addition that is approximately 3,440 square feet in area on the **Subject Property**, subject to review and approval as to legal form and contingent upon the following conditions:

### **CONDITIONS**

1. That this **Variance** allows for construction of a building addition of approximately 3,440 square feet to be located no closer than five (5) feet from the western property boundary of the **Subject Property**, as shown in Exhibit 1.
2. That approval of this **Variance** is contingent upon successfully vacating five (5) feet of the existing drainage and utility easement along the western boundary of the Subject Property.

The Ramsey City Council will consider the requested easement vacation at their regular meeting on August 27, 2024.

3. That the **Applicant** shall obtain the necessary building permit(s) to construct the building addition.
4. That all other design requirements of the Zoning Code and Building Code are met.
5. That this resolution shall be recorded against the property with the Anoka County Recorder's Office prior to receiving a building permit.
6. That the **Applicant** shall be responsible for all City costs incurred in administering and enforcing this **Variance**.
7. That this **Variance** shall automatically expire if the use is not initiated by August 22, 2025, and initiation shall be considered issuance of a Building Permit for the building addition.

The motion for the adoption of the foregoing resolution was duly seconded by Commissioner \_\_\_\_\_, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

whereupon said resolution was declared duly passed and adopted by the Ramsey Planning Commission this the 22<sup>nd</sup> day of August, 2024.

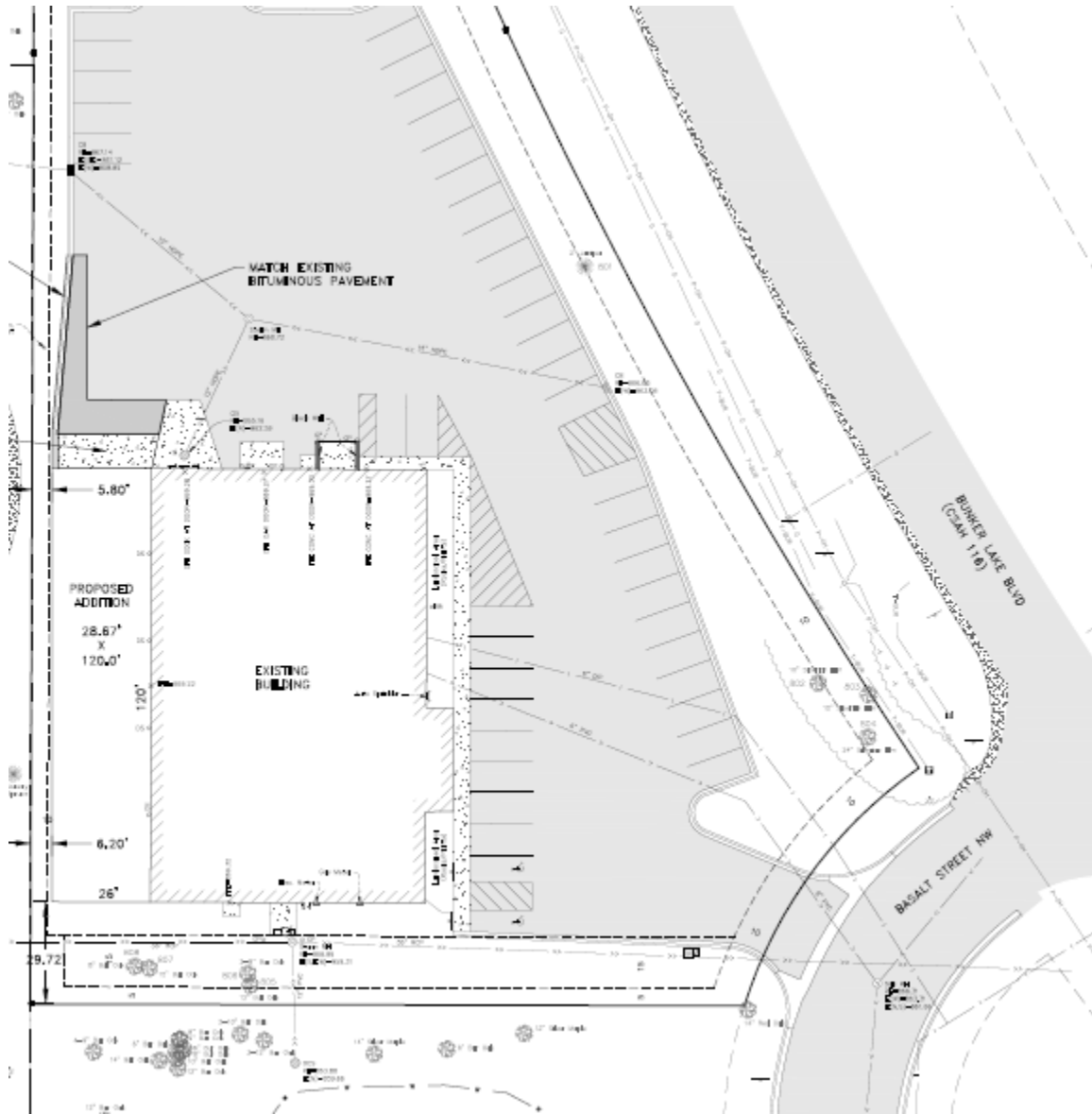
\_\_\_\_\_  
Planning Commission Chairperson

**ATTEST:**

\_\_\_\_\_  
City Clerk

The document drafted by:  
The City of Ramsey  
7550 Sunwood Dr NW  
Ramsey, Minnesota 55303

**Exhibit 1**



**Regular Planning Commission****Meeting Date:** 08/22/2024**Primary Strategic Plan Initiative:** Promote economic growth and development.**Information****Title:**

PUBLIC HEARING: Consider Preliminary Plat for Parkside Townhomes (Project No. 24-117) in The COR; Case of COR at Ramsey, LLC

**Purpose/Background:**

The City has received an application from COR at Ramsey LLC (the "Applicant") for review of a proposed Preliminary Plat and Final Plat on the property generally located west of Rhinestone Street, east of Traprock Street, south of 146th Avenue, and north of Ramsey Parkway (the "Subject Property"). The Applicant is proposing a total of sixty-eight (68) attached townhome units, which will be built in two (2) phases. The first phase would include thirty (30) units and the second phase would include the remaining thirty-eight (38) units. Ultimately, there will eventually be a third phase of this project, which would be on the north side of 146th Avenue (east of Center Street), but that is not included in this Preliminary Plat.

Most, if not all, of the Planning Commission may recall this project. The Planning Commission reviewed the Sketch Plan for this project in December of 2022, and the Preliminary Plat in February of 2023. The City Council approved the Preliminary Plat in March of 2023. However, by the time the Applicant was ready to apply for Final Plat, the Preliminary Plat approval had expired. Therefore, the Applicant had to reapply for Preliminary Plat consideration. The Preliminary Plat essentially mirrors what had previously been approved, except for how many units will be constructed with each phase and the elimination of the center median on Sapphire Lane).

**Notification:**

Staff attempted to notify property owners within 700 feet of the Subject Property, as reflected in the Anoka County Property Records, of the request for Preliminary Plat review by the Planning Commission on August 22, 2024. A proposed development sign was placed on the Subject Property and a notice was also published in the Anoka County Union Herald Newspaper.

**Time Frame/Observations/Alternatives:****General Project Overview**

The majority of the Subject Property was originally platted as Ramsey Town Center 7th Addition. However, due to the great recession of the mid- to late-2000s, much of it was never actually built. The proposed Preliminary Plat layout is very similar to the existing parcel boundaries, with just minor adjustments. At the time of Final Plat consideration, the Applicant will be requesting an Easement Vacation to eliminate all existing drainage and utility easements dedicated on the Town Center 7th Addition plat. New drainage and utility easements will be dedicated with the recording of the Final Plat.

The Applicant is proposing twelve (12) buildings, consisting of a mix of 4-, 5-, and 6-unit buildings. The Subject Property is located in the COR-4b subdistrict, which allows up to fifteen (15) units per acre. The Preliminary Plat has a density of approximately 13.5 units per acre. All units will be served by municipal sanitary sewer and water.

Revised plans have been submitted and Staff are currently reviewing them. It does appear that many of the initial comments have been addressed.

**Streets/Access/Sidewalks**

Access will be from 146th Avenue on the north and Ramsey Parkway on the south, both of which are existing public roads. All proposed interior roads will be private. There is an existing sidewalk along Rhinestone Street. The Applicant will be responsible for constructing a six (6) foot wide sidewalk along the other three (3) public roads, as well as providing a six (6) foot wide boulevard. Both of these meet the standards outlined in the Design Framework.

### **Landscaping**

The project includes both boulevard plantings (along all four public streets) and internal site plantings as well. Additionally, each building will have foundation plantings with a mix of shrubs, perennials, and ornamental grasses. The Environmental Policy Board will be reviewing the Landscape Plan at their August 22, 2024, meeting. The Landscape Plan does meet the standards of the Design Framework.

### **Architecture**

As the Planning Commission may recall, there was considerable discussion regarding the architecture for this project. Discussion primarily focused on the proposed front entryways and the architecture of the fronts and sides of the buildings that will face public roads. The revised building elevations and color rendering now include stone on both the front and sides of each building (the rear of all units are internal to the site, facing private roads), which was previously recommended by the Planning Commission. Furthermore, the look of the buildings has been updated to be more of a mix between contemporary and traditional styles. Finally, they do include a thirty-six (36) square foot front patio area directly abutting the covered entryway for each unit.

### **Revised Plans**

Staff has attached the Changemark Report, dated August 14, 2024. Revised plans have been submitted, but a second round of plan review has not been completed yet (based on when the revised plans were received). While it may appear there are a number of unresolved comments, it is likely that many, if not all, comments have been addressed. Staff will try and give a verbal update on the status of the revised plans during the meeting.

### **Alternatives**

Alternative 1: Recommend approval of the Preliminary Plat, contingent upon compliance with Staff's review comments. Staff supports this alternative.

Alternative 2: Recommend approval of the Preliminary Plat with modifications, which would be based on discussion and supporting findings of fact.

Alternative 3: Recommend denial of the Preliminary Plat, based on supporting findings of fact. Staff does not support this alternative.

### **Funding Source:**

All costs associated with this application are the Applicant's responsibility.

### **Recommendation:**

Staff recommends approval of the Preliminary Plat, contingent on compliance with Staff's review comments (Alternative 1).

### **Outcome/Action:**

Motion to recommend City Council approve the Preliminary Plat, contingent upon compliance with Staff's review comments.

---

### **Attachments**

Site Location Map

Site Plan and Overall Layout

Preliminary Plat

Color Rendering

Building Elevations

Lower Level Floor Plan

Planning Commission Meeting Minutes Dated February 23, 2023 (Review of Previous Preliminary Plat)

Changemark Report (Corrections Required by Staff)

**Form Review**

**Inbox**

Chris Anderson (Originator)

Brian Hagen

Form Started By: Chris Anderson

Final Approval Date: 08/15/2024

**Reviewed By**

Chris Anderson

Brian Hagen

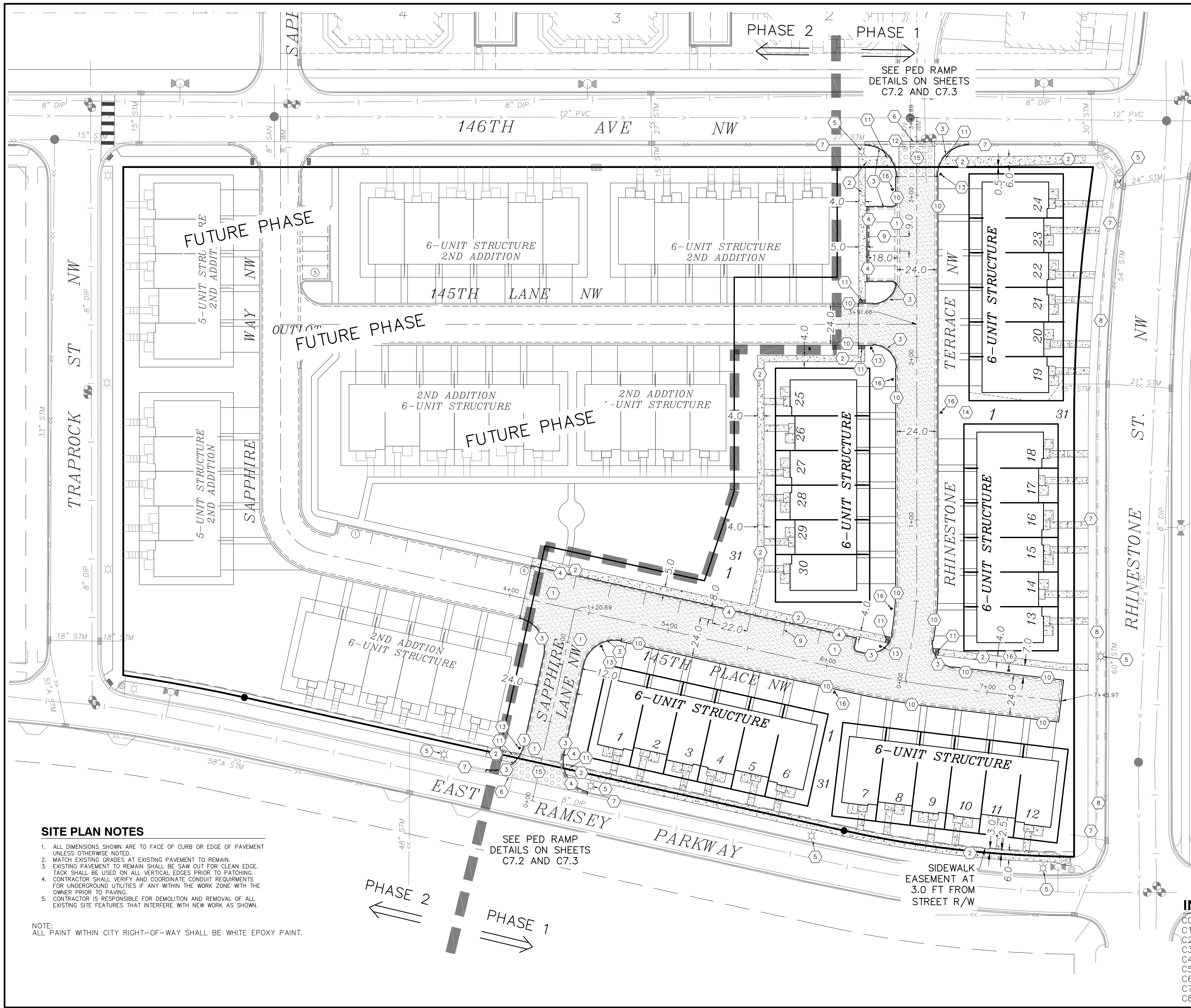
**Date**

08/14/2024 12:46 PM

08/15/2024 10:48 AM

Started On: 08/13/2024 01:16 PM





**LEGEND:**

- 908 — Existing Contours
- >> — Existing Storm Sewer
- × 908.2 Existing Spot Elevation
- << — Existing Storm Sewer
- < — Existing Sanitary Sewer
- W W — Existing Watermain Sewer
- T — Existing Underground Telephone
- E — Existing Underground Electric
- — Existing Tree Line
- — Existing R/W Line
- — Existing Boundary Line
- Existing Catch Basin
- Existing Manhole
- ▲ Existing Hydrant
- ▽ Existing Flared end Section
- — PROPOSED CURB AND GUTTER STANDARD
- — PROPOSED CURB AND GUTTER TIP-OUT
- — PROPOSED CONCRETE LIGHT DUTY
- — PROPOSED CONCRETE HEAVY DUTY
- — PROPOSED BITUMINOUS
- ☼ PROPOSED STREET LIGHT LOCATIONS

**SURVEY DATA**

SURVEY INFORMATION PROVIDED BY:  
 LANDFORM  
 105 SOUTH FIFTH AVE.  
 MINNEAPOLIS, MN 55401

BENCHMARK: Top Nut Hydrant, East side Rhinestone Street NW, 2nd Hydrant South of County Road 116 = 873.42

- KEY NOTES:**
- 1 3 FT CONCRETE VALLEY GUTTER (SEE DETAIL)
  - 2 CONCRETE PAVEMENT LIGHT DUTY; 4,500 PSI MIX; SEE SECTION ON DETAIL SHEET
  - 3 B612 (6") CONCRETE CURB & GUTTER MIX 3F32 FOR MACHINE PLACEMENT (MnDOT 2461) MIX 3F52 FOR MANUAL PLACEMENT (MnDOT 2461)
  - 4 B612 (6") CONCRETE OUTFLOW CURB & GUTTER (TIP-OUT FLOWLINE) MIX 3F32 FOR MACHINE PLACEMENT (MnDOT 2461) MIX 3F52 FOR MANUAL PLACEMENT (MnDOT 2461)
  - 5 STREET LIGHT PER CITY REQUIREMENTS; SEE PLAN SHEET C8.1
  - 6 SAWCUT AND REMOVE EXISTING BITUMINOUS FOR CLEAN EDGE (REPLACE BITUMINOUS IN-KIND)
  - 7 EXISTING CURB, SIDEWALK & PAVEMENT TO REMAIN
  - 8 EXISTING UTILITIES TO REMAIN IN PLACE. CONTRACTOR TO PROTECT
  - 9 PAINT 4" SOLID STRIPE - WHITE LATEX PAINT
  - 10 D412 MODIFY (3") CONCRETE CURB & GUTTER MIX 3F32 FOR MACHINE PLACEMENT (MnDOT 2461) MIX 3F52 FOR MANUAL PLACEMENT (MnDOT 2461)
  - 11 PED RAMP TO COMPLY WITH AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS. REFERENCE MNDOT STANDARD PLAN 5-297.250 INCLUDING CONTRASTING DETECTABLE WARNING DEVICES. DEPRESS BACK OF CURB AT RAMP. CONTRACTOR TO RESTORE SIDEWALK TO MATCH EXISTING PAVEMENT SECTION.
  - 12 CROSS GUTTER (SEE DETAIL)
  - 13 STOP SIGN AND STREET NAME SIGN PER CITY REQUIREMENTS; SEE PLAN SHEET 8.1
  - 14 LANDSCAPE IRRIGATION SERVICE AND CONTROL LOCATION
  - 15 HEAVY DUTY CONCRETE
  - 16 NO PARKING SIGN PER CITY REQUIREMENTS; SEE PLAN SHEET C8.1

**INDEX OF CIVIL SITE DRAWINGS:**

C0	PROJECT LOCATION PLAN
C1.1-1.2	OVERALL LAYOUT, NOTES, SERVICE DATA
C2.1-2.2	SANITARY AND WATER UTILITY PLANS
C3.1-3.2	STORM SEWER AND STREET PLANS
C4.1	GRADING AND DRAINAGE PLAN
C5.1	STORM WATER POLLUTION PREVENTION PLAN
C6.1	EXISTING CONDITIONS AND REMOVAL PLAN
C7.1-C7.4	DETAILS
C8.1	LIGHTING AND SIGN PLAN

- SITE PLAN NOTES**
1. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
  2. MATCH EXISTING GRADES AT EXISTING PAVEMENT TO REMAIN.
  3. EXISTING PAVEMENT TO REMAIN SHALL BE SAW CUT FOR CLEAN EDGE. TACK SHALL BE USED ON ALL VERTICAL EDGES PRIOR TO PATCHING.
  4. CONTRACTOR SHALL VERIFY AND COORDINATE CONDUIT REQUIREMENTS FOR UNDERGROUND UTILITIES IF ANY WITHIN THE WORK ZONE WITH THE OWNER PRIOR TO PAVING.
  5. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL EXISTING SITE FEATURES THAT INTERFERE WITH NEW WORK AS SHOWN.

NOTE:  
 ALL PAINT WITHIN CITY RIGHT-OF-WAY SHALL BE WHITE EPOXY PAINT.

OWNER:  
**COR AT RAMSEY LLC**  
 PO Box 302  
 Excelsior, MN 55331

Jason Palmby  
 612-220-6641  
 jason@palmby.com

**PARKSIDE TOWNHOMES (PHASE 1) DEVELOPMENT PROJECT**

145th Lane NE  
 Ramsey, Minnesota 55903

**OVERALL LAYOUT & SITE PLAN**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Date: 08/11/24 Reg. No. 24348

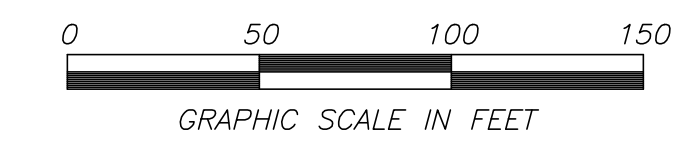
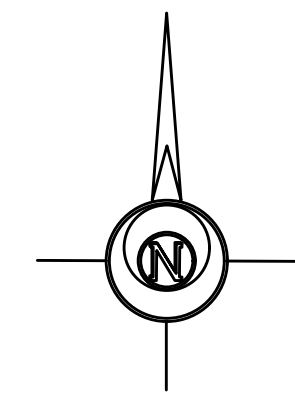
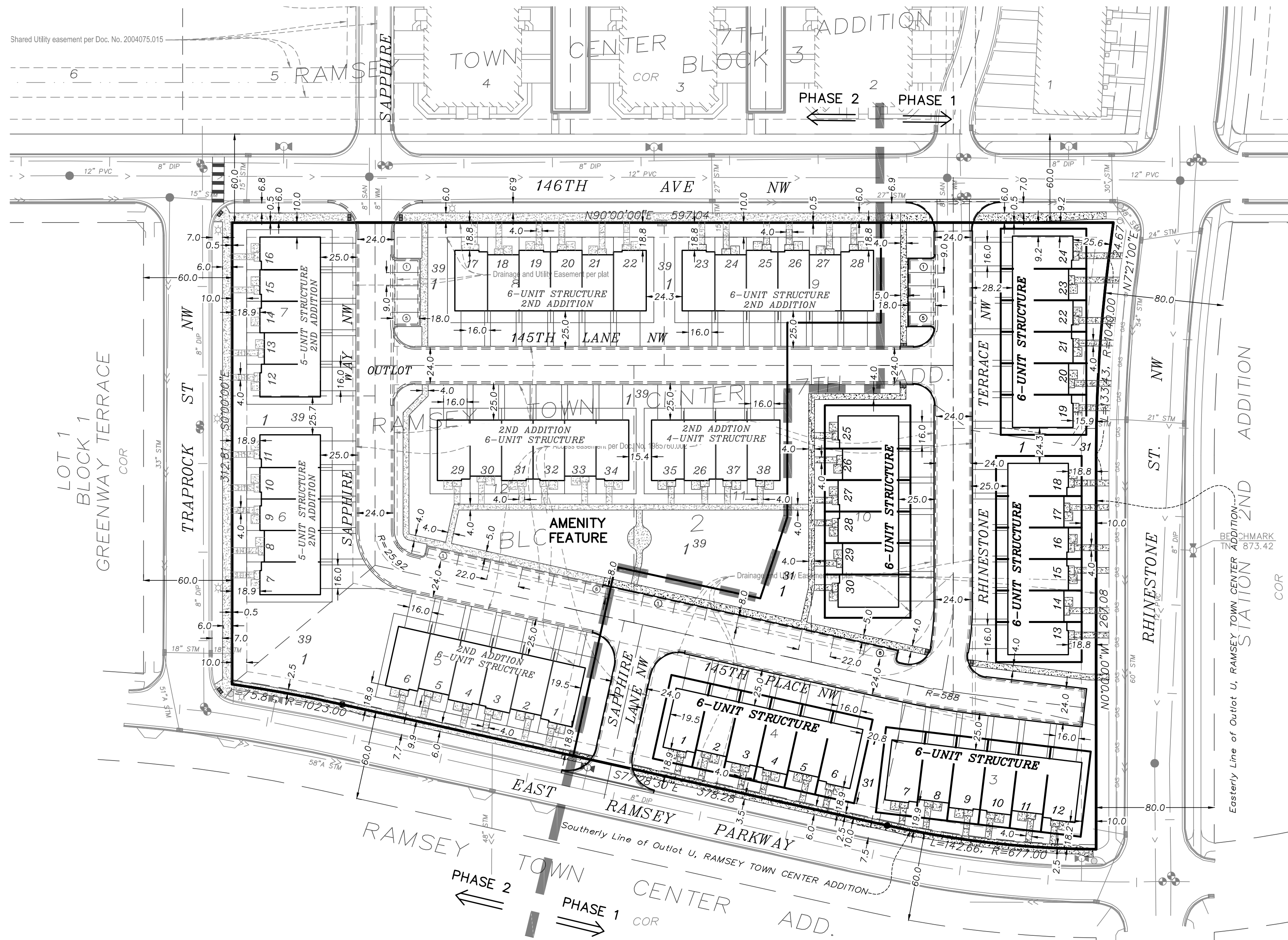
PREPARED BY: **CIVIL ENGINEERING SITE DESIGN**  
 116 East Broadway St.  
 Monticello, Mn 55362  
 Phone: 763-314-0929  
 www.civilse.com

REVISIONS	DATE	BY	DESCRIPTION
04/20/23	04/20/23	SD	CITY COMMENTS
04/27/23	04/27/23	SD	ADD LIGHTING AND SIGN PLAN C8.1
06/13/24	06/13/24	SD	REVISED BUILDING PER OWNER
07/15/24	07/15/24	SD	REVISED PHASE LINE
08/11/24	08/11/24	SD	CITY COMMENTS

DATE	04/06/23	DRAWN BY	SD	DESIGNED BY	SD	CHECKED BY	SD
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FILE NO. 00866

**C1.1**  
 Overall Layout & Site Plan



**LEGEND:**

- 908 — Existing Contours
- >> Existing Storm Sewer
- x 908.2 Existing Spot Elevation
- << Existing Storm Sewer
- < Existing Sanitary Sewer
- W — Existing Watermain Sewer
- T — Existing Underground Telephone
- E — Existing Underground Electric
- ~ Existing Tree Line
- - - Existing Easement Line
- - - Existing R/w Line
- - - Existing Boundary Line
- Existing Catch Basin
- Existing Manhole
- Existing Hydrant
- Existing Flared End Section
- Proposed Curb And Gutter Standard
- Proposed Curb And Gutter Tip-out
- Proposed Concrete Valley Gutter
- Proposed Concrete Light Duty Sidewalk
- Propose Lot Line
- Proposed Project Phase Line

**SURVEY DATA**

SURVEY INFORMATION PROVIDED BY:  
 LANDFORM  
 105 SOUTH FIFTH AVE. S  
 MINNEAPOLIS, MN 55401

DATED: 08/09/2021

BENCHMARK: EAST SIDE RHINESTONE STREET NW 2ND  
 HYDRANT SOUTH OF COUNTY ROAD #116  
 ELEVATION=873.42

**EXISTING LEGAL DESCRIPTION**

LOTS 1-12, BLOCK 2,  
 RAMSEY TOWN CENTER 7TH ADDITION  
 ANOKA COUNTY, MINNESOTA.

**EXISTING ZONING**

COR, THE COR

**SITE DATA**

TOTAL AREA = 219,440 SF = 5.04 AC  
 EXISTING TOTAL IMPERVIOUS AREA: 0.00%  
 PROPOSED NEW IMPERVIOUS AREA: 140,316 SF (3.22 AC)  
 PERCENT NEW IMPERVIOUS AREA: 63.9%  
 (140,316 SF / 219,440 SF)  
 PERCENT TOTAL IMPERVIOUS AREA: 63.9%  
 (140,316 SF / 219,440 SF)

**NOTE:**

- 1) EXISTING DRAINAGE AND UTILITY EASEMENTS PER EXISTING PLAT TO BE VACATED.
- 2) PROPOSED LOT 31, BLOCK 1 (PHASE 1), AND LOT 39, BLOCK 1 (PHASE 2) ARE TO BE DRAINAGE AND UTILITY EASEMENT OVER ENTIRE LOT.

**MINIMUM LOT REQUIREMENTS**

LOT DEPTH 58 FT  
 LOT WIDTH 20 FT

**BUILD TO REQUIREMENT**

BUILDINGS MUST BE WITHIN 20' OF RIGHT OF WAY

**DRIVEWAYS**

MINIMUM LENGTH 25 FT  
 MAX. WIDTH 20 FT

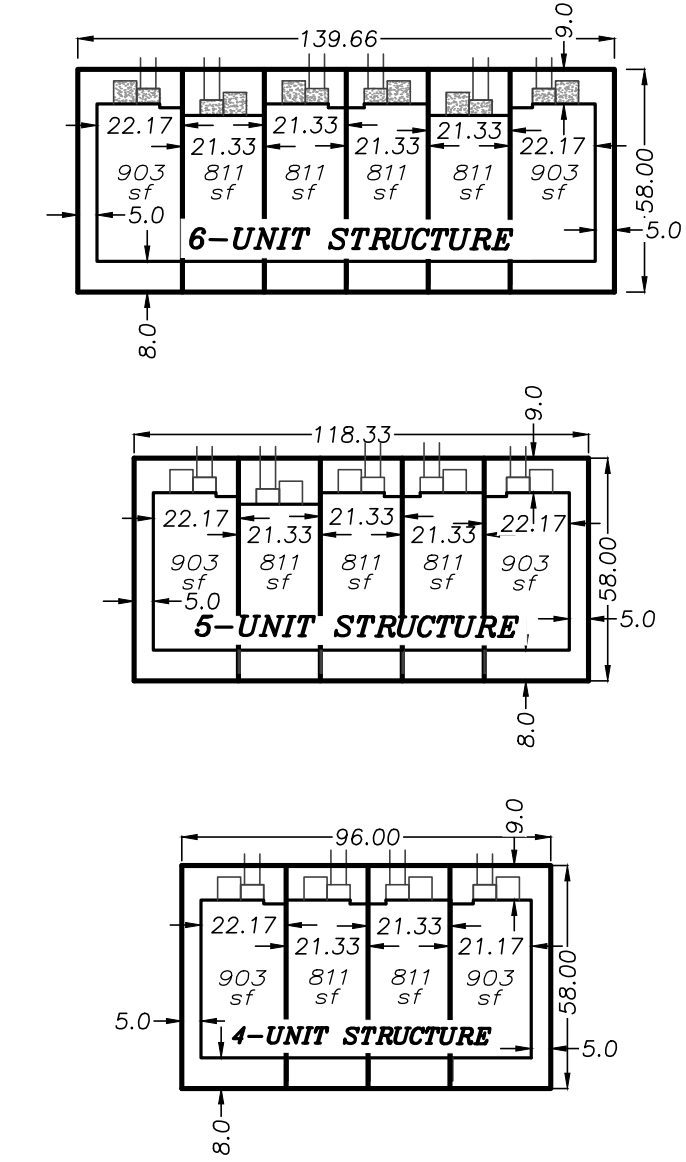
**PROPOSED DENSITY**

68 UNITS / 5.04 AC = 13.5 UNITS/AC

**PROPOSED PHASE SCHEDULE**

PHASE 1:	YEARS:
UNITS 1-30 (30 UNITS)	2024-2025
PHASE 2:	YEARS:
UNITS 1-38 (38 UNITS)	2025-2026

**TYPICAL LOT DIMENSION LAYOUT**



**INDEX OF CIVIL SITE DRAWINGS:**

- C0 PROJECT LOCATION PLAN
- C1 PRELIMINARY PLAT
- C2 GRADING & DRAINAGE PLAN
- C3 SANITARY & WATER UTILITY PLAN
- C4 STORM SEWER UTILITY PLAN
- C5 SWPPP
- C6 EXISTING CONDITIONS & REMOVAL PLAN
- C7.1-7.2 PROFILES
- C8.1-C8.3 DETAILS

OWNER/DEVELOPER:  
**COR AT RAMSEY LLC**  
 PO Box 302  
 Excelsior, MN 55331

Jason Palmby  
 612-220-6641  
 jason@palmby.com

**PARKSIDE TOWNHOMES**  
 Development Project

145th Lane NE  
 Ramsey, Minnesota 55303

**PRELIMINARY PLAT**

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

Date: 08/11/24 Reg. No. 24348

PREPARED BY: **CIVIL ENGINEERING SITE DESIGN**  
 116 East Broadway St.  
 Monticello, Mn 55362  
 Phone: 763-314-0929  
 www.civilesso.com

REVISIONS	DATE	BY	DESCRIPTION
02/10/23 CITY COMMENTS	02/10/23	SD	
5/13/24 REUSE BUILDING PER OWNER	5/13/24	SD	
22/05/24 REUSE PHASE LINE	05/22/24	SD	
08/11/24 CITY COMMENTS	08/11/24	SD	

DATE	01/16/23
DRAWN BY	SD
DESIGNED BY	SD
CHECKED BY	SD

FILE NO. 00866

**C1**  
 Preliminary Plat



Plan Name:

**City Collection Townhomes**

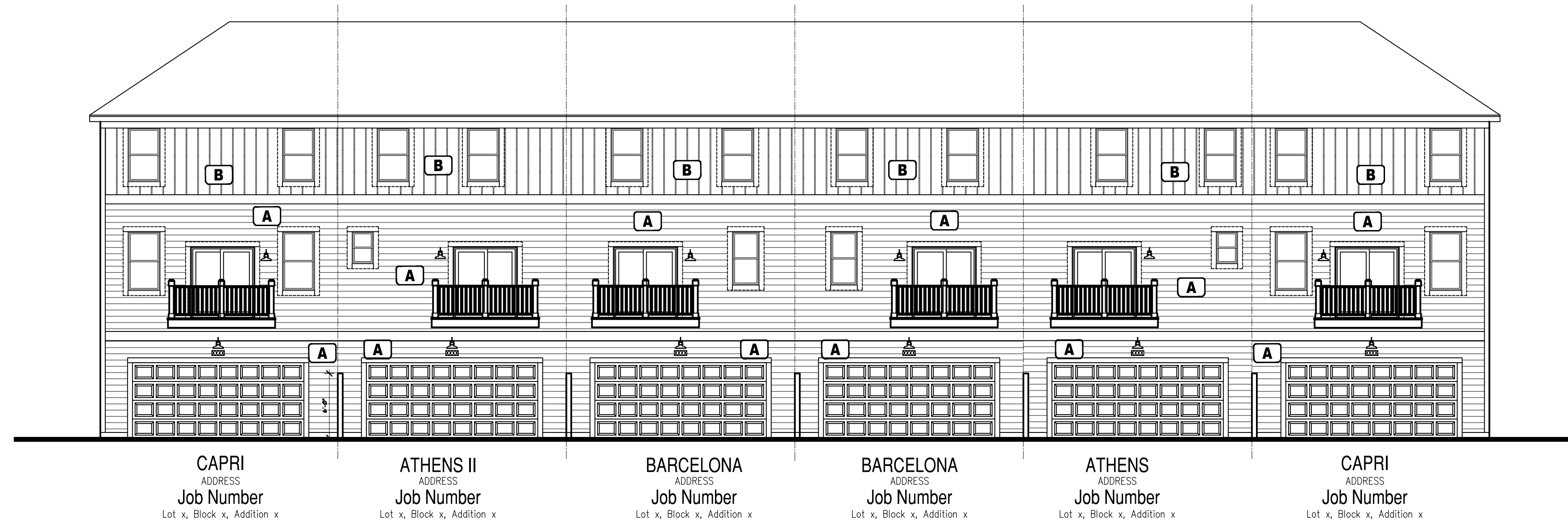
Sheet Title:

**City of Ramsey**

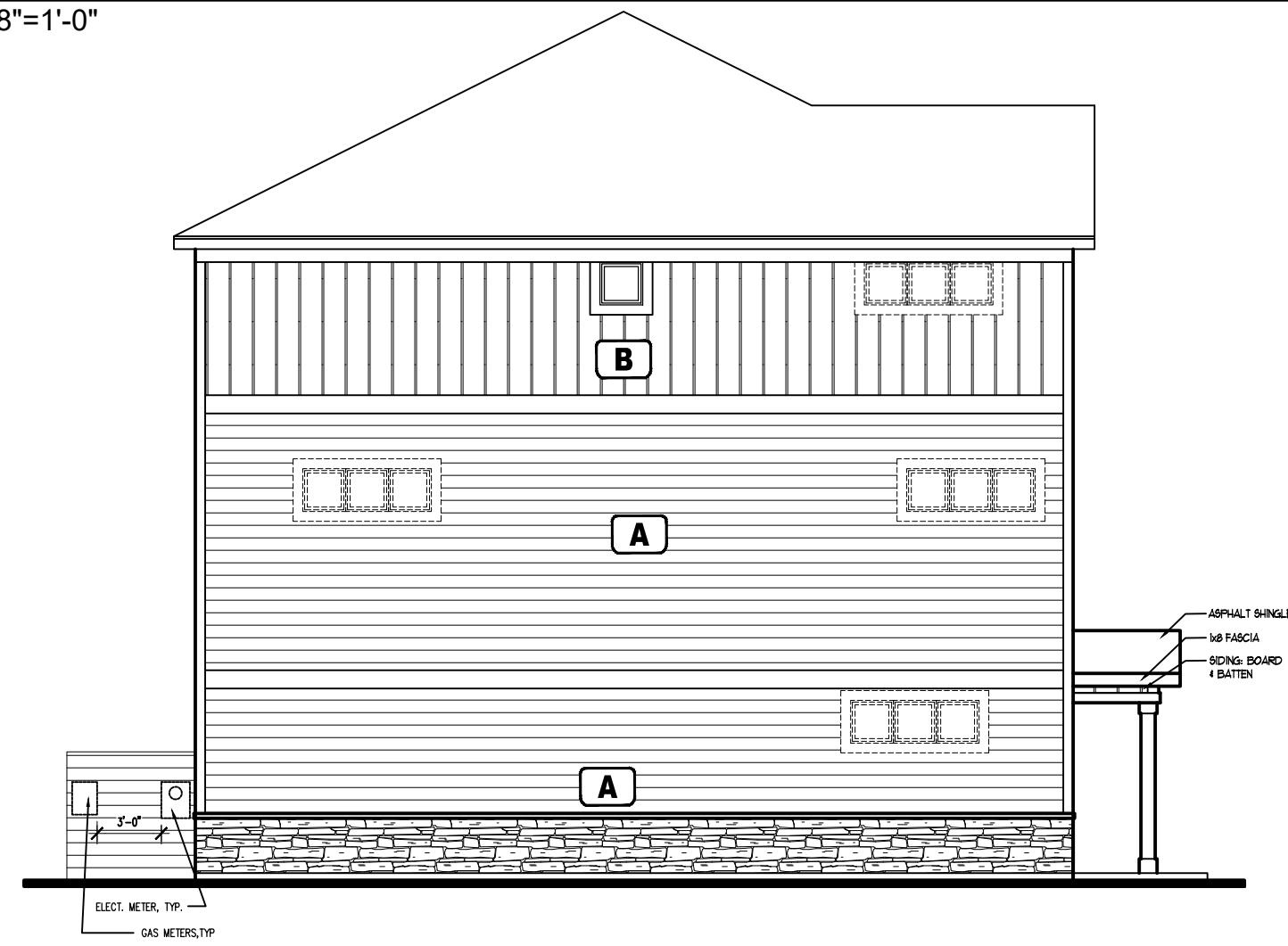


**M/I HOMES**

Buyer understands cabinet elevation renderings are for illustration purpose only. Buyer acknowledges that actual selections and details regarding styles and colors of cabinets, hardware, crown molding, appliances, countertops, sinks, faucets, flooring, backsplashes, lighting, and mirrors will be governed by buyers Selection Sheets



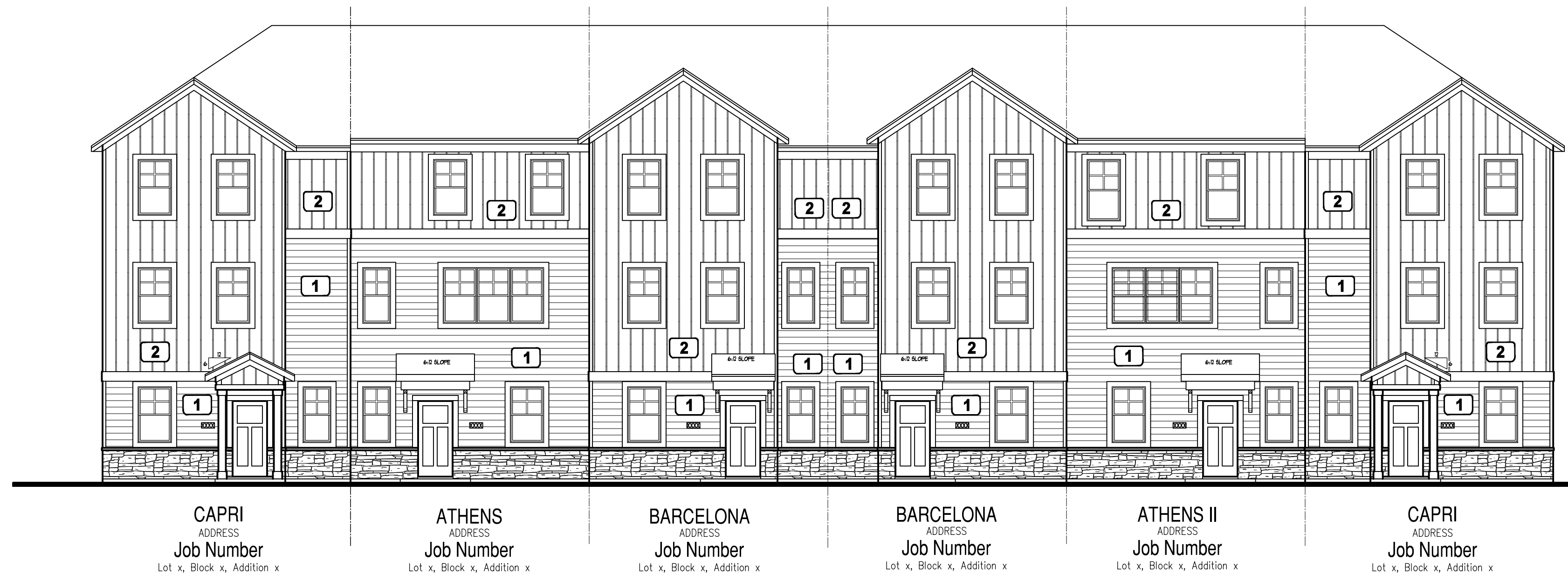
**4** Rear Elevation  
1/8"=1'-0"



**3** Left Elevation - Opt. Stone Loc. B  
1/8"=1'-0"



**2** Right Elevation - Opt Stone Loc. B  
1/8"=1'-0"



**1** Front Elevation - Opt. Stone Loc. A  
1/8"=1'-0"

Revisions / Custom Options	Date	By

**M/I HOMES**  
5354 Parkdale Dr. #100  
St. Louis Park, MN 55416  
763.586.7200  
minneapolispermits@MIHOMES.com

Community:	<b>COMMUNITY</b>
Address:	<b>STREET ADDRESS</b>
City:	<b>CITY, MN</b>
Elevation:	<b>A</b>
Client:	<b>CUSTOMER</b>

Sheet Title: **Exterior Elevations**

Model: **City Collection**

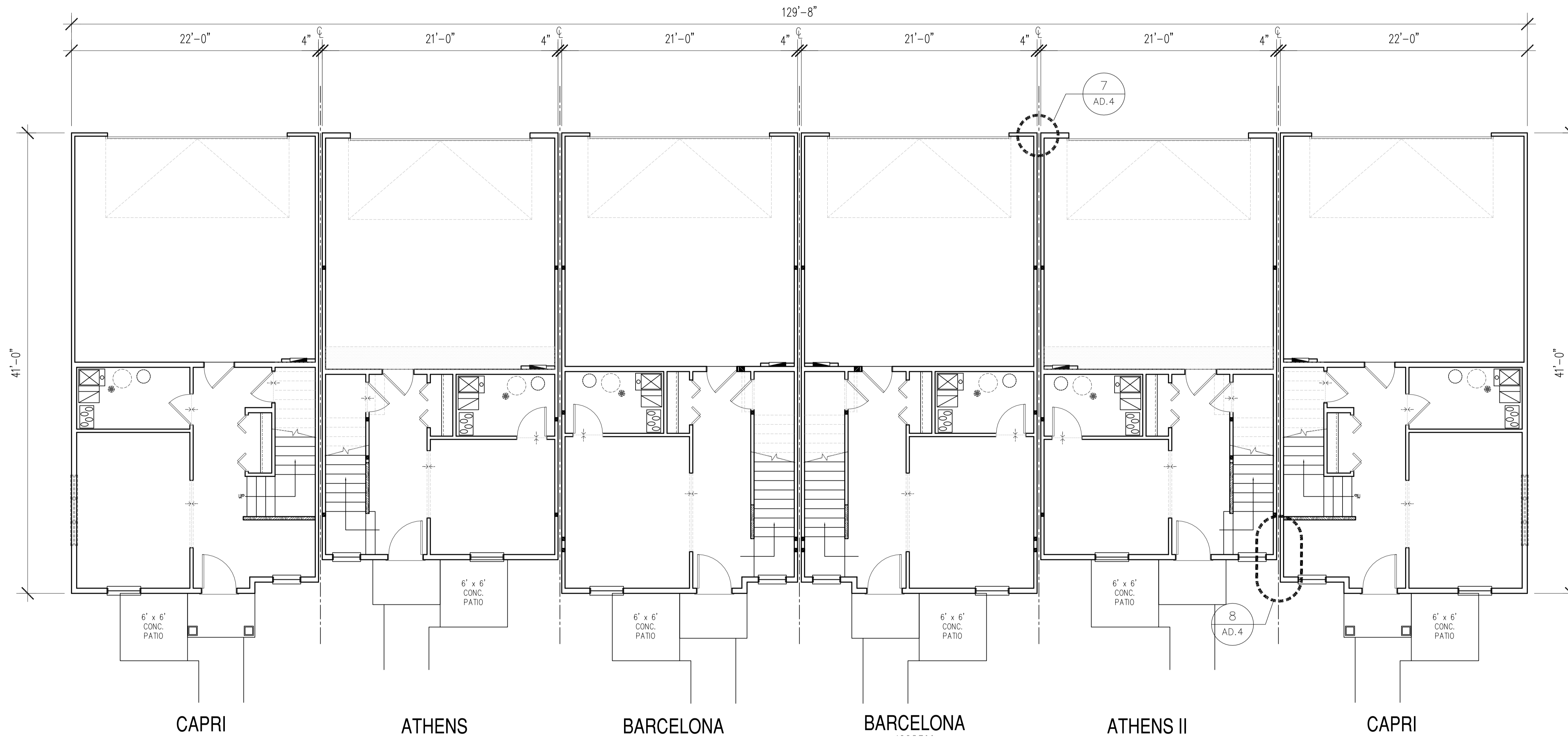
Drawn By: PFG

Date: 05/17/2022

Job #: BUILDING --

Drawing No. **AAS1**

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**1** Lower Level Assembly Plan  
3/16"=1'-0"

<b>Lower Level Assembly Plans</b> Model: <b>City Collection</b> Drawn By: PFG Date: 05/17/2022 Job #: BUILDING -- Drawing No. <b>AA7</b>		Community: <b>COMMUNITY</b> Address: <b>STREET ADDRESS</b> City: <b>CITY, MN</b> Elevation: <b>A</b>	Lot: -- Block: -- Addition: -- Client: <b>CUSTOMER</b>	<b>M/I HOMES</b> 5354 Parkdale Dr. #100 St. Louis Park, MN 55416 763.586.7200 minneapolispermits@MIHOMES.com	Revisions / Custom Options <table border="1"> <tr> <th>Date</th> <th>By</th> </tr> <tr> <td> </td> <td> </td> </tr> </table>	Date	By			Final Approval <table border="1"> <tr> <td> </td> <td>Date</td> </tr> <tr> <td>X</td> <td> </td> </tr> <tr> <td>X</td> <td> </td> </tr> </table>		Date	X		X		These plans are exclusive property of M/I Homes. All rights are reserved. No part of these plans may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of M/I Homes, Inc. and must be returned upon request. These plans are for construction purposes only. These plans may vary from model homes and marketing materials. These plans are exclusive property of M/I Homes.
Date	By																
	Date																
X																	
X																	

## **6.01: Public Hearing: Request for Consider Preliminary Plat for Parkside Townhomes (Project No. 22-143)**

### **Public Hearing**

Acting Chairperson Gengler called the public hearing to order at 7:03 p.m.

### **Presentation**

Senior Planner Anderson presented the staff report stating that staff recommends approval of the Preliminary Plat, contingent upon enhancing the architectural finishes on the fronts and sides of the buildings facing a public road.

Acting Chairperson Gengler referenced the extra plantings proposed by the developer in lieu of the architectural additions and asked if those were the plantings marked as too close to the boulevard plantings.

Senior Planner Anderson replied that there is an individual row of additional trees, which is what staff recommends eliminating or reposition within the site. He stated that to offset the architectural features, there were some plantings around the base of the homes.

Acting Chair Gengler asked where the guest parking would be located, noting that she could only find 10 spots.

Senior Planner Anderson noted the locations proposed for guest parking.

Councilmember Woestehoff asked, and received confirmation, that the current land does not have the boulevard trees in place. He asked if the boulevard trees could not be planted, and the developer trees planted instead.

Senior Planner Anderson replied that with the design framework there is a heavy emphasis on streetscape specifically and there is a requirement for the boulevard trees. He noted that they have offered to eliminate that row of trees on the interior. He stated that if the applicant still wants those trees, they could plant them but there could be space constraints in the future.

Councilmember Woestehoff stated that his thought was that this could potentially save the City some money. He stated that if the row of developer trees is eliminated, perhaps the developer take on half the cost of the boulevard trees.

Senior Planner Anderson clarified that the developer is responsible for the installation of the boulevard trees.

### **Citizen Input**

Jason Palmby, applicant, commented that his intention would be to start construction on the first phase this spring/summer if all approvals are gained.

John Rask, M/I Homes, commented that they can look to relocate some of the trees within the site once they have the utility plans. He stated that they do not disagree with the staff recommendation on the stone but were hoping for some flexibility. He stated that they were trying to keep the cost of the homes down but would still move forward with stone if that is required. He noted that once they begin construction, they would most likely market homes for sale in one year.

Commissioner Peters asked if the interior roads would be fully constructed with phase one, or with each phase.

Mr. Rask commented that the roads would be phased with each phase of the homes.

Senior Planner Anderson commented that there would be multiple points of access as part of phase one.

Commissioner VanScoy asked if the contingencies need to be defined or whether that could be worked out with staff.

Senior Planner Anderson replied that standard contingencies are included in the draft resolution and provided more details. He stated that if there were additional contingencies, the Commission should specify what that may be.

Commissioner VanScoy commented that he had no additional contingencies but wanted to ensure that the comments of staff would be met.

Councilmember Woestehoff noted that there is a sidewalk on the east, along Rhinestone and asked if that would be the only sidewalk proposed.

Senior Planner Anderson replied that the sidewalk is in place along Rhinestone and the developer would be installing sidewalk along the other three public roads.

Motion by Commissioner Peters, seconded by Commissioner VanScoy, to close the public hearing.

A roll call vote was performed:

Commissioner Peters	aye
Commissioner VanScoy	aye
Commissioner Anderson	aye
Commissioner Bauer	aye
Acting Chairperson Gengler	aye

Motion Carried.

Acting Chairperson Gengler closed the public hearing closed at 7:23 p.m.

**Commission Business**

Motion by Commissioner VanScoy, seconded by Commissioner Bauer, to recommend that City Council approve the Preliminary Plat contingent upon compliance with Staff's review comments, including enhancing the architecture on the fronts and sides of the buildings facing a public road with stone, brick, or a similar material.

**Further discussion**

Commissioner Anderson stated that as before, he will not be supporting this proposal noting that he does not believe the porches proposed fit the character of the neighborhood. He stated that he was pleased to see the requirement for brick on the front but still does not believe that this would meet the requirement for a front porch.

A roll call vote was performed:

Commissioner Bauer	aye
Commissioner Anderson	nay
Commissioner VanScoy	aye
Commissioner Peters	aye
Acting Chairperson Gengler	aye

Motion Carried.








# ProjectDox<sup>®</sup>

## Changemarks Report





**Project Name:** Parkside Townhomes 2024

**Workflow Started:** 07/12/2024 12:20 PM






**Report Generated:** 08/14/2024 12:39 PM

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	1	22	False	Unresolved	Lead Engineering Tech		Civil C7.1 Details.pdf	Aaron Madsen	Tracer wire	All pipe types need tracer wire, use Rural water association . for specs	08/05/2024 2:48 PM	Aaron Madsen	Tracer wire details added.
		21	False	Unresolved	Lead Engineering Tech		Civil C2.1 Sanitary and Water Plan.pdf	Aaron Madsen	2" curb stop	2" curb stop not allowed, use 4" gate valve.	08/05/2024 2:46 PM	Aaron Madsen	Irrigation service updated to 4" pipe size and 4" gate valve.
		20	False	Unresolved	Engineering Tech		Civil C7.3 Details.pdf	Logan Czech	Gutter Slope	Gutter slope is greater than 2%, so cross slope of ped ramp/landing does not meet ADA standards.	07/31/2024 9:26 AM	Logan Czech	Gutter slope revised.
		18	False	Unresolved	Engineering Tech		Civil C7.2 Details.pdf	Logan Czech	STO-1	This detail is also on the last sheet. New version created in 2024, available on city website.	07/31/2024 9:22 AM	Logan Czech	Extra detail removed.
		19	False	Unresolved	Engineering Tech		Civil C7.2 Details.pdf	Logan Czech	Ped Ramp Details	MnDOT ped ramps details were updated in 2021, now 6 sheets.	07/31/2024 9:22 AM	Logan Czech	MnDOT ramp details updated.
		17	False	Unresolved	Engineering Tech		Civil C7.1 Details.pdf	Logan Czech	Updated Details	SEW 1,3, WAT 1,2, STO 1,2,3,4 were updated in 2024, available on City website.	07/31/2024 9:19 AM	Logan Czech	Details updated.
		15	False	Unresolved	Engineering Tech		Civil C2.1 Sanitary and Water Plan.pdf	Logan Czech	Existing Sanitary stub	It looks like this sanitary stub exits existing manhole >13' below grade. Technically this should be SDR26. For this run, match existing pipe material.	07/31/2024 8:49 AM	Logan Czech	Sanitary pipe revised to SDR26.




**ProjectDox**  
**Changemarks Report**

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	1	16	False	Unresolved	Engineering Tech		Civil C2.1 Sanitary and Water Plan.pdf	Logan Czech	Irrigation Service	City doesn't allow 2" curb stops. Use 4" DIP with gate valve. City has non-standard detail for this service. Email lczech@cityoframsey.com and I will send over the detail.	07/31/2024 8:49 AM	Logan Czech	Irrigation service updated to 4" pipe size and 4" gate valve.
		13	True	Resolved	City Planner		Civil C1.1 Overall Layout.pdf	CA	Center Median	The center median could be eliminated if so desired. That would not only reduce costs somewhat but may provide some additional space to shift the western most building along Ramsey Parkway slightly to the east which could help to separate the 2 driveways of the end units of buildings 5 and 6.	07/23/2024 12:05 PM	Chris Anderson	Center median removed and site design revised accordingly.
		14	True	Resolved	City Planner		Civil C1.1 Overall Layout.pdf	CA	Street Light Locations	Why are these 2 street lights behind the sidewalk instead of in the boulevard?	07/23/2024 12:05 PM	Chris Anderson	Street lights moved to front of sidewalk.
		12	True	Resolved	City Planner		Parkside Townhomes Sidewalk Easement Exhibit.pdf	CA	Update Easement Exhibit	The Preliminary Plat indicates that building 5 will now be part of the 2nd Addition. This exhibit should be updated to reflect the new alignment of Outlot A.  Also, the Pre Plat now appears to identify the open space as Lot 31, not 43, this needs to be updated also.	07/23/2024 12:12 PM	Chris Anderson	Exhibit graphic updated accordingly.





**ProjectDox**  
**Changemarks Report**

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	1	11	True	Resolved	City Planner		Narrative MI Homes.pdf	CA	Update Needed	The townhome paragraph doesn't mesh with the color renderings and the building elevations. This references patios, which was what ultimately was supported by the Planning Commission and City Council back in 2022/2023.	07/23/2024 11:41 AM	Chris Anderson	Narrative updated to indicate patios will be provided consistent with previous approvals.
		10	True	Resolved	City Planner		Pre Plat Lighting Plan.pdf	CA	Street Light Locations	Why are the street lights along Rhinestone St proposed to be on the back side of the sidewalk instead of in the boulevard?	07/23/2024 9:43 AM	Chris Anderson	Street lights moved to front of sidewalk.
		9	False	Unresolved	City Planner		Pre Plat C3 Sanitary & Water Utility Plan.pdf	CA	Hydrant	If a hydrant is placed here, please make sure the plat encumbers this area with drainage and utility easement.	07/23/2024 9:39 AM	Chris Anderson	All common lot area is drainage and utility easement. The hydrant is within the common lot.
		7	True	Resolved	City Planner		Pre Plat C1 Prel Plat.pdf	CA	Shift Buildings North	Could buildings 6 & 7 be shifted north slightly so that the driveway for unit 7 can be straightened out and not connect with the driveway for unit 6.	07/23/2024 9:36 AM	Chris Anderson	Building shifted to accommodate driveway separation.
		8	True	Resolved	City Planner		Pre Plat C1 Prel Plat.pdf	CA	Sapphire Lane	Please confirm that Sapphire Lane is a private road. Also, the center median could be eliminated, which would not only provide some cost savings but also could allow building 5 to shift slightly east, helping to separate the driveways between units 6 and 7.	07/23/2024 9:36 AM	Chris Anderson	Sapphire Lane is a private road. Center median removed and site design revised accordingly.

**ProjectDox**  
**Changemarks Report**

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	1	5	True	Resolved	City Planner		Architect Elev AAS1.pdf	CA	Patio	Need to add back in a patio, that is 'connected' to the front entryway, similar to what was ultimately supported by Planning Commission and City Council in 2023. This modification shall be reflected on all color renderings and the Building Elevations sheet.	07/23/2024 9:26 AM	Chris Anderson	An updated architectural rendering has been provided indicating patios will be provided consistent with previous approvals.
		4	True	Resolved	City Planner		Architect Elev 1 color.pdf	CA	Patio	Need to add back in a patio, that is 'connected' to the front entryway, similar to what was ultimately supported by Planning Commission and City Council in 2023. This modification shall be reflected on all color renderings and the Building Elevations sheet.	07/23/2024 9:24 AM	Chris Anderson	An updated architectural rendering has been provided indicating patios will be provided consistent with previous approvals.
		2	True	Resolved	Environmental Review		Landscape L1.3.pdf	CA	Water Efficient Technology	Irrigation system must include some form of water efficient technology, such as a smart controller and/or soil moisture sensors. Please add a note specifying that system must include some form of water efficient technology in addition to the state required rain sensor.	07/23/2024 8:58 AM	Chris Anderson	Irrigation Note #8, Sheet L1.3 has been updated for both smart-water controller and 2 soil moisture sensors.

**ProjectDox**  
**Changemarks Report**

Grouping	Cycle	Ref #	Complete?	Status	Department	Snapshot	File	Markup Name	Changemark Subject	Changemark Details	Markup Date	Updated By	Applicant Response
Main Workflow	1	3	True	Resolved	Environmental Review		Landscape L1.2.pdf	CA	River Birch	River Birch is acceptable in boulevard areas but it MUST be single stem. No clump plantings in the boulevard will be permitted. The clump form is acceptable for any plantings internal to the site. Please add note to Plant Schedule.	07/23/2024 9:03 AM	Chris Anderson	River Birch changed to Single Stem.
		1	False	Unresolved	Fire		Civil C2.1 Sanitary and Water Plan.pdf	Fire	Changemark note #01	This might be a better location for hydrant. Concerned hydrant #2 will get buried by snowplows.	07/19/2024 9:52 AM	Chris Weiss	Hydrant #2 location modified accordingly.
		6	True	Resolved	City Planner		Civil C8.1 Lighting & Sign Plan.pdf	CA	Street Light Locations	Why are the two street lights along Rhinestone St shown on the back side of sidewalk instead of in the boulevard?	07/23/2024 9:29 AM	Chris Anderson	Street lights moved to front of sidewalk.
	2	23	False	Unresolved	Police		Pre Plat Lighting Plan.pdf	PD - Frankfurth	Changemark #01	Are all of these roads private?  If so, are they allowed to park on them or are these the only additional parking for the development?	08/14/2024 11:48 AM	Tim Frankfurth	

**Regular Planning Commission****Meeting Date:** 08/22/2024**Primary Strategic Plan Initiative:** Create a positive image for residential neighborhoods, business districts and key corridors.**Information****Title:**

Driveway Discussion

**Purpose/Background:**

At its meeting on July 23, the City Council discussed the side yard setback requirements of residential driveways and the process for applying for a variance should a property owner request one. The City Council requested the Planning Commission review the regulations and determine if a variance process could be simplified.

**Notification:**

None at this time. Should the Planning Commission determine that a Code Amendment is desired, staff will prepare a public hearing notice for a future meeting.

**Time Frame/Observations/Alternatives:**

The requested discussion stemmed from two pending variance cases where parking spaces were constructed as extensions of existing driveways on the sides of the garages closer than the required 5 feet. The current regulations for driveways are:

**Sec. 106-463. - Residential driveways.***(a) When required.*

*(1) A driveway shall be required for all attached accessory buildings with a doorway opening meeting or exceeding eight feet wide by seven feet tall.*

*(2) If a detached accessory building serves as the primary garage, a driveway shall be installed.*

*(b) Surface materials.*

*(1) Urbanized districts. Driveway materials shall consist of concrete, bituminous, or driveway-rated pavers for a continuous hard surface.*

*(2) Rural residential or MUSA reserve districts. Driveway materials shall consist of concrete, bituminous, driveway-rated pavers, or a minimum two-inch Class-V gravel.*

*(c) Driveways shall be setback at least five feet from interior side or rear property lines.*

*(d) Driveway widths shall not exceed 30 feet at the street, through the public right-of-way, and the first five feet of the adjacent yard to the right-of-way where the driveway is accessing.*

*(e) No more than 50 percent of a front yard may be covered by a driveway.*

The 5-foot side yard setback rule has been in place since the 1990s. This 5-foot rule is common in many suburban communities, though narrower setbacks can be found, especially in older established communities and the central cities. There are generally three practical reasons for requiring some setback distance between driveways and property lines:

1. Drainage. Commonly found in residential subdivisions going back to the 1980s, platted side-yard drainage and utility easements are present to protect swales where water can run off a property's impervious surfaces and be channeled between homes to the street or a storm basin.

2. Tresspass. If a driveway is constructed close to a property line and a car is parked close to the edge of the driveway, is the car accessible without having to walk onto the neighboring property?

3. Snow storage. Homeowners tend to plow snow to both sides of the driveway. The driveway setback area can be used as snow storage without encroaching onto the neighbor's property.

A fourth aesthetics-based reason is the premise that the suburbs are places that are supposed to be less crowded and a driveway setback gives elbow room between neighbors.

Counter-arguments can be made for each of the three practical reasons:

1. Drainage can still be accommodated by carefully sloping the driveway so that it does not impede the proper flow of water. Generally, the point where the driveway meets the garage is at the high point of the yard.

2. If a neighbor builds a fence, the person parking will need to park well enough away to give themselves enough room to get out of the vehicle.

3. People can be courteous and try to plow their snow only to the side of the driveway that is on the interior side.

With the Zoning Code update in 2023, Section 106-303 was created allowing driveways to be constructed in those platted drainage and utility easements, provided they do not impede the flow of water. This provision was intended, primarily, to address the standard practice of a driveway crossing the front platted easements though applies throughout the entire property.

*Question:*

*1. Does the Planning Commission support maintaining the 5-foot side-yard setback or would the Commission support a reduced setback to any distance down to the property line?*

### **Variance Requests**

A variance is a deviation from the Zoning Code site design standards for a good reason. These reasons are based around no other practical reasonable place to construct something. State Law authorizes a set of "practical difficulties" in justifying a variance. Typically, a variance is requested before construction. During the review process, consideration of various options, impacts, and potential mitigation are discussed to come up with the best possible outcome.

The City Council expressed concern that the standard process may be burdensome financially and procedurally for requesting a driveway variance. The land use application fee is \$500 and is used to cover the administrative costs of setting up the application. A \$500 review escrow is also required. The escrow covers the variable costs such as public hearing publication costs, mailing costs to surrounding property owners and residents, staff time to prepare the report (including Public Works' crew time to place the public notice signs), and recording costs (should a variance resolution be approved). Other applications types have greater escrow requirements ranging between \$1,000 and \$3,000.

Staff believes the current costs and procedures are justified in the case of a driveway. The newspaper publishing costs are approximately \$90 with mailed notices approximately \$20. Total staff time on most variances can be 3-5 hours. A driveway variance can be more impactful to a neighboring residents than if a shed were constructed closer to a property line. Additionally, the variance process is supposed to be public and transparent in the event that the modification of a rule is being requested. If the desired outcome is that the rule is seen as burdensome, the rule should be changed.

### **Funding Source:**

The cost of this work is being done through the normal course of staff's duties.

### **Recommendation:**

Staff recommends leaving the existing driveway rules and variance procedures in place.

### **Outcome/Action:**

Please direct staff on what the Commission would like to do. If the Commission feels the existing rules and procedures are appropriate, please articulate the reasons in order to report back to the City Council. If the Commission would like any of the rules changed, please direct staff how to prepare a draft text amendment ordinance and advertise for a public hearing for the September Planning Commission meeting.

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### Attachments

*No file(s) attached.*

### Form Review

**Inbox**

Brian Hagen

Form Started By: Todd Larson

Final Approval Date: 08/15/2024

**Reviewed By**

Abdi Sahal

**Date**

08/15/2024 12:34 PM

Started On: 08/05/2024 02:08 PM