

City of Ramsey
Agenda
Regular Planning Commission
Thursday, October 24, 2024

7:00 pm

Council Chambers, 7550 Sunwood Drive NW

Remote Attendance available at www.cityoframsey.com/meetings.
Those joining remotely and requesting to speak are asked to use a webcam when speaking.

1. Call to Order

2. Pledge of Allegiance

3. Citizen Input

4. Approve Agenda

5. Consent Agenda

1. Approve the Planning Commission Meeting Minutes for September 26th, 2024.

6. Public Hearing

1. PUBLIC HEARING: Variance and Lot Line Adjustment - 8310-8324 159th Lane NW
2. PUBLIC HEARING: Adopt Resolution #24-284 Granting a Variance to Height Limitations for a Detached Accessory Building Located at 17646 St. Francis Boulevard NW (Project No. 24-121); Case of Chuck and Angie Lattery
3. PUBLIC HEARING: Consider a Conditional Use Permit for Motor Vehicle Repair for Blanery LLC at 6591 141st Avenue NW
4. PUBLIC HEARING: Consider Ordinance #24-14 Pertaining to Residential Driveways.

7. Commission Business

1. Consider Sketch Plan for Emerald Estates, Located on 181st Avenue NW, West of Xenolith Street (Project No. 24-123): Case of Alan and Joni Greenwaldt

2. Discuss the Sign Code Update pertaining to Wall Signage
3. Adopt 2025 Planning Commission Calendar
8. **Commission/Staff Input**
9. **Adjournment**

Regular Planning Commission

Meeting Date: 10/24/2024

Primary Strategic Plan Initiative: Not Applicable

Information

Title:

Approve the Planning Commission Meeting Minutes for September 26th, 2024.

Purpose/Background:

The purpose of this case is to approve the Planning Commission Meeting Minutes for September 26th, 2024

Recommendation:

Approval

Outcome/Action:

Approval

Attachments

PC September Minutes

Form Review

Inbox

Brian Hagen

Form Started By: Abdi Sahal

Final Approval Date: 10/16/2024

Reviewed By

Brian Hagen

Date

10/16/2024 10:25 AM

Started On: 10/15/2024 09:46 AM

**PLANNING COMMISSION
CITY OF RAMSEY
ANOKA COUNTY
STATE OF MINNESOTA**

The Ramsey Planning Commission conducted a regular meeting on Thursday, September 26, 2024, at the Ramsey Municipal Center, 7550 Sunwood Drive NW, Ramsey, Minnesota.

Members Present: Chairperson Cheri Gengler
 Commissioner Bruce Anderson
 Commissioner Randy Bauer (arrived at 7:03 p.m.)
 Commissioner Ryan Heineman
 Commissioner Tom Hunt
 Commissioner Eric Peters
 Commissioner Gary VanScoy

Members Absent: None

Also Present: Planning Manager Todd Larson
 City Planner Adam Martin
 Senior Planner Chris Anderson
 City Council Liaison Matt Woestehoff

1. CALL TO ORDER

Chairperson Gengler called the regular meeting to order at 7:00 p.m.

2. PLEDGE OF ALLEGIANCE

Chairperson Gengler led the group in the Pledge of Allegiance.

3. CITIZEN INPUT

Tim Tetens, 17390 Baugh Street, stated that he and his wife came to the meeting to preserve their property and privacy. He stated that Mr. McCalister installed a fence on his property on June 2nd which went through the City and after two months the City walked on the property, deemed it an enforceable action on September 16, 2024, and Mr. McCalister is to respond by October 7th. He stated that Mr. McCalister put his home up for sale on Monday as a listing coming soon and has showings starting this weekend. He asked if the City could place a lien on the property to ensure there are no further problems with the fence when the home is sold.

Chair Gengler commented that this item will be on the agenda later tonight and will be discussed.

4. APPROVAL OF AGENDA

Motion by Commissioner Peters, seconded by Commissioner Anderson, to approve the agenda as presented.

Motion Carried. Voting Yes: Chairperson Gengler, Commissioners Peters, Anderson, Heineman, Hunt, and VanScoy. Voting No: None. Absent: Commissioner Bauer.

5. CONSENT AGENDA

5.01: Approve the August 22, 2024 Planning Commission Meeting Minutes

Motion by Commissioner Hunt, seconded by Commissioner Heineman, to approve the consent agenda as presented.

Commissioner Bauer arrived.

Further discussion: Commissioner VanScoy referenced page seven, a statement made by Commissioner Bauer, and stated that it should state, “the neighbor may agree to the setback, but the next ~~neighbor~~ owner may not.” The Commission accepted the change.

Motion Carried. Voting Yes: Chairperson Gengler, Commissioners Hunt, Heineman, Anderson, Bauer, Peters, and VanScoy. Voting No: None. Absent: None.

6. PUBLIC HEARINGS/COMMISSION BUSINESS

6.01: Public Hearing: Consider a Variance to Horse Stable Setbacks at 17400 Baugh St NW

Public Hearing

Chairperson Gengler called the public hearing to order at 7:05 p.m.

Presentation

City Planner Martin presented the staff report stating that staff recommends approval of the variance to the stable setback.

Commissioner Bauer asked if these buildings were in place before City Code and therefore would be grandfathered in.

City Planner Martin commented that the City did not have the information that horses were kept on the property when subdivision of the property took place in 2004 but based on information from a neighbor and aerial imagery horse have been kept on the property since the 1970's and could have predated the incorporation of Ramsey.

Commissioner VanScoy stated that if the activity was there before, would the horses then be grandfathered in as well.

City Planner Martin commented that the legal nonconformity or grandfathering would apply if there was information that horses had been kept consistently. He stated that if the activity ceases for a period of one year, the approval would be needed again. He stated that because there is not that information that the horses had been kept on the property consistently, the approval is needed.

Citizen Input

Troy Richardson, 17450 Baugh Street, stated that he moved to his property four years ago and there are horses two miles up the road in Nowthen. He stated that it would be ridiculous to not allow horses in a barn. He stated that the property owner has agreed to clean up the manure and the horses should be allowed. He stated that people should mind their own business and do what they want on their own property. He commented that there are deer and turkey, and he enjoys seeing the horses as well. He stated that the people are great, and this is a great community, and people should be allowed to have horses if they want.

Commissioner Heineman appreciated the input of the resident and agreed. He clarified that the recommendation from staff is to approve the variance to allow the horses to stay.

John McCalister, 17400 Baugh Street NW, commented that he purchased the property with the intention of having horses and called the City to verify that he could have horses. He was told that he could have two horses. He stated that there was no mention that the stables were too close, but recognized that perhaps the staff person answering the call was not aware the building was a stable. He commented that he did list the property for sale due to some work-related things as he is relocating back to Arizona. He stated that the people that are interested in the property would intend to bring horses with them. He referenced the comments made by his neighbor during the public hearing. He stated that he is on a plane tomorrow morning for Arizona and has not received a letter about the fence. He stated that the fence has been in that position for 15 years and his neighbor has been served by an attorney but refused to secure an attorney and therefore that is the established boundary of the properties under the law of adverse possession.

Commissioner Heineman asked staff for insight on the law of adverse possession as stated.

Planning Manager Larson commented that the adverse possession laws in Minnesota are tough and require certain thresholds of years of ownership, living on the property, etc., and would need to be settled in court. He stated that the City is not a part of that as that is a civil matter between the two property owners.

Susan Ariano, Coon Rapids resident and related to the applicant, referenced the question of whether a fence should be allowed to be built on property that is not his. She stated that the fence existed long before John purchased the home and in review of past imagery of the property, the fence existed before the neighbor lived on his property as well. She stated that the neighbor never had a problem with the fence until John moved in and the neighbor started to tear down the fence. She stated that John put that section of the fence back up that was torn down. She stated that the fence existed prior to the subdivision of the property and if it was an issue, it should have been an issue back then.

Chair Gengler clarified that the Commission is present to discuss the horse stable and not the issue of the fence as that is a matter of civil litigation.

Tim Tetens, 17390 Baugh Street, stated that he is not against the horses and thinks they are great. He stated that Mr. McCalister purchased the property for passive income with the intention of renting the land out for the dog park, noting that home occupation permit has been pulled, and to board two horses. He stated that his problem with this is those actions. He asked that this be approved as a Conditional Use Permit (CUP) with certain conditions that would guide the activity if it is going to be used for income-generating purposes. He stated that if the property is going to be sold, there should be additional questions about the use. He stated that Mr. McCalister was going to use the two boarded horses for therapeutic purposes, which would have people coming and going from the property. He stated that his request would be to shift the approval from a permanent variance to a CUP which would not be transferable and appropriate conditions could be placed upon the use.

Commissioner Bauer asked if the horse therapy mentioned would require a home occupation permit.

City Planner Martin commented that if the horses were being boarded and going to be used for therapy, a home occupation permit would be needed. He stated that the homeowner has provided documentation and proof that these are his horses. He stated that the home occupation permit part of the request has been pulled and the only item before the Commission is for the horses.

Commissioner Bauer clarified that the only approval being considered then is for the keeping of horses and any additional activity would require separate approval.

Mr. Tetens, commented that the horses were removed from the property today and every Saturday and Sunday prior to this, there were ten-plus people on the property. He still requested that this approval be done through a CUP rather than a variance which would allow conditions to be placed upon the next property owners.

Commissioner Bauer clarified that the variance is to allow the horses, and any other activity would require additional approvals, should someone in the future want to do something relating to business.

Mr. Tetens, commented that even if the horses are not being used for therapeutical purposes or a business and masses of people are being brought to the property on the weekends, that would infringe on his way of living.

Commissioner Heineman stated that if the new property owners want to use this for business purposes, they would need to apply as such. He stated that if someone wants to use the property for personal purposes and wants to bring ten friends to their property, that is their right to do so.

Mr. Tetens, referenced the dog park business and noted issues between the two property owners going back to April.

Susan Ariano commented that the statements of the neighbor about people coming to the property are related to her coming to the property with children that she fosters. She commented that it has been disturbing for the neighbor to count the number of children that she has brought to her relative's property. She stated that she brings the children there to help take care of the horses and for picnics.

Motion by Commissioner Bauer, seconded by Commissioner Hunt, to close the public hearing.

Motion Carried. Voting Yes: Chairperson Gengler, Commissioners Bauer, Hunt, Anderson, Heineman, Peters, and VanScoy. Voting No: None. Absent: None.

Chairperson Gengler closed the public hearing at 7:30 p.m.

Commission Business

Motion by Commissioner Bauer, seconded by Commissioner Peters, to adopt Resolution 24-273 Approving a Variance to Horse Stable Setbacks at 17400 Baugh Street NW.

Motion Carried. Voting Yes: Chairperson Gengler, Commissioners Bauer, Peters, Anderson, Heineman, Hunt, and VanScoy. Voting No: None. Absent: None.

6.02: Public Hearing: Amendment to Section 106-105, Definition of Manufacturing

Public Hearing

Chairperson Gengler called the public hearing to order at 7:31 p.m.

Presentation

Planning Manager Larson presented the staff report stating staff recommends approval of Ordinance #24-13 amending Section 106-105 Zoning Code Definitions.

Commissioner VanScoy asked if this is mandated by the State or whether the City has a choice.

Planning Manager Larson confirmed that this is mandated by the State, but cities can limit the number of businesses based on population, similar to liquor licenses. He stated that it is not mandated that someone would need to open a business here, but the City would need to allow for that.

Citizen Input

No comments.

Motion by Commissioner Anderson, seconded by Commissioner Peters, to close the public hearing.

Motion Carried. Voting Yes: Chairperson Gengler, Commissioners Anderson, Peters, Bauer, Heineman, Hunt, and VanScoy. Voting No: None. Absent: None.

Chairperson Gengler closed the public hearing at 7:36 p.m.

Commission Business

Commissioner VanScoy asked if it would make a difference if the City did not approve this.

Planning Manager Larson commented that if the City did not approve this, attorneys would get involved and it would cost the City money in the long run.

Councilmember Woestehoff commented that there is benefit in defining this use as they can be more precise with manufacturing and where it can be located. He confirmed that additional details will be spelled out in the licensing.

Commissioner Bauer asked if the licensing would be done administratively.

Planning Manager Larson commented that staff would ensure that a licensing application meets the City's requirements for that type of business. He stated that the remainder of the regulations would be enforced by the State, with the exception of compliance checks completed by the Police.

Commissioner Bauer asked if this would be an allowed use or conditional use.

Planning Manager Larson commented that this type of operation would be completely indoors and therefore most people would not even know it is there. He stated that manufacturing would be an allowed use in the I-1 and I-2 zoning districts.

Councilmember Woestehoff commented that this case is strictly related to manufacturing and not retail sales.

Motion by Commissioner Anderson, seconded by Commissioner Peters, to recommend that City Council adopt Ordinance #24-13 Amending Section 106-105 Zoning Code Definitions.

Motion Carried. Voting Yes: Chairperson Gengler, Commissioners Anderson, Peters, Bauer, Heineman, Hunt, and VanScoy. Voting No: None. Absent: None.

7. COMMISSION BUSINESS

7.01: Consider a Variance for a Lean-To Structure at 6850 148th Lane NW (Michael Ploumen)

Presentation

Planning Manager Larson presented the Staff Report stating that as it exists today, the structure does not look out of character of a typical residential property. However, the closeness of the

structure to the property line will appear out of place should the applicant or neighbor decide to build a fence along the property line. Granting a variance cannot restrict a neighboring property owner from their right to do something. It is recommended that the structure be removed. Staff is taking no position on the placement of the slab.

Commission Business

Michael Ploumen, applicant, stated that if he were to cut back the concrete slab by one foot four inches, that would make the slab 109 inches. He stated that the boat on the trailer is 102 inches from wheel well to wheel well, which would leave seven inches of space, 3.5 inches on either side of the boat. He stated that while he would think himself skilled at driving and backing up a trailer, he would not be able to maneuver into that space. He stated that would also require him to remove the posts and could potentially hit the side of his home, which would then require him to drive on the grass. He recognized that someone must have complained about this, but he has not received any complaints, and this does not affect anyone else. He stated that the neighbor to the east has submitted a letter that they do not have a problem with this. He stated that if the neighbor does eventually have a problem, he would resolve that as his relationship with his neighbor is far more important than the lean-to.

Commissioner Bauer asked if the posts are four by four or six by six.

Mr. Ploumen replied that the posts are six by six.

Commissioner Bauer asked the current width of the slab.

Mr. Ploumen replied that the slab is currently about 120 inches.

Commissioner Bauer asked if placing the posts on the very edge of the slab would allow enough room to maneuver the boat. He noted that the overhang could be then cut back a bit as well so that it is not right at the property line.

Mr. Ploumen replied that he did not think it would as that would require an extensive amount of construction work. He stated that if the Commission decided that he could try to make it happen.

Commissioner Bauer explained that his questions were related to potentially decreasing the variance.

Commissioner Heineman commented that while he understands the goal is to get as close to compliance as possible, the amount of work that would be needed to remove such a small amount would be so much effort. He stated that the structure is either out of compliance or allowed. He stated that this fits the neighborhood, does not stand out and serves a purpose. He believed that it should be allowed to remain. He stated that would be a lot of work and money to move the edge of the structure nine inches.

Commissioner Bauer commented that he was simply questioning as the Commission had previously requested measurements.

Commissioner Heineman believed that this should be allowed to remain.

Commissioner Anderson received confirmation that the roof material is made of tin. He asked if modifications would be needed to the structure to meet the Fire Code.

Planning Manager Larson commented that this structure was built without a building permit and therefore they will need to ensure that the structure does meet the fire portion of the Building Code. He stated that if the Building Code is not met by the structure, modifications would need to be made to the structure.

Commissioner Anderson commented that at the last City Council meeting there was discussion about how close to the property line a structure should be and asked Councilmember Woestehoff for input.

Councilmember Woestehoff commented that the discussion the City Council had was related to driveway setbacks and not structures. He stated that variance the Planning Commission previously denied was brought forward to the City Council through appeal and the City Council did approve the variance for that property, which had the structure one inch from the property line, contingent upon that structure meeting the Fire Code. He assumed that if that scenario were to repeat in this case, the majority of the City Council would have the same opinion.

Commissioner Anderson asked if these slabs are considered driveways. He stated that he would consider a driveway at the street and not off to the side.

Councilmember Woestehoff replied that if it were the slab alone, he would concur that the majority of the City Council would consider that to be a driveway.

Commissioner Anderson did not think that would be right. He stated that if a driveway were allowed to go to the property line, a developer will figure out a way to butt houses up against each other with very little separation. He stated that for this case, he would be in favor of allowing the slab alone. He stated that the roof will need to be changed to meet Fire Code, which would allow movement of the posts as well. He recognized that there is a lot of expense to redo the structure. He asked if the slab alone would be enough to satisfy the needs of the resident.

Commissioner Hunt referenced the practical difficulties and asked if number two could be the cause.

Planning Manager Larson stated that the State developed these practical difficulties. He provided clarification on the different practical difficulties.

Commissioner Heineman asked if the scenario of the property only having this location for a side slab would be unique to the property, as this would be the only location. He stated that the landowner did not create that problem, the property is the shape it is.

Commissioner Hunt stated that there is a process to go through, that would have identified the issues, which would then be the issue of the landowner.

Commissioner Heineman agreed that this was not done in the right order, but the Commission must now decide what to do.

Commissioner Anderson stated that there is a regulation that provided a maximum width for a driveway compared to a home, noting that if this is considered driveway it would not meet the requirements of that ordinance.

Planning Manager Larson replied that the only violation is that it is too close to the side property line. He confirmed that the slab would be part of the driveway, but the regulation that Commissioner Anderson refers to would not apply in this situation.

Commissioner Hunt asked for input from staff on the ability for a neighbor to build a fence.

Planning Manager Larson commented that a variance cannot restrict what someone else can do on their property. He stated that if a fence were constructed on the property line, by the neighbor, the lean-to may look very odd.

Chair Gengler asked if the letter of support from the neighbor was included in the packet.

Planning Manager Larson replied that it was not attached to the case but confirmed that a letter of support was received from the neighbor.

Commissioner Peters commented that he spoke with the neighbor and can vouch that the applicant and the neighbor are great friends. He stated that he believes the applicant that if the neighbor wanted to put up a fence, he would remove the structure. He stated that this structure is not out of character from the neighborhood and looks nice. He asked if there could be a sunset on the approval, should the neighbor move and the new property owner not approve of the structure.

Planning Manager Larson explained that if this were approved, an encroachment agreement would also be needed for the easement, which would be recorded against the property and such language could be included in that.

Commissioner VanScoy stated that the reason they are here is because the landowner did not follow the regulations the City has to prevent this type of situation from occurring. He empathized with the applicant and provided details on his situation. He recognized that this looks nice, but it does not fit the regulations, and he does not see that as rationale for approving a variance. He stated that the structure is too close to the property line. He stated that the structure would need to be rebuilt to meet the Building Code and recognized there will be cost to that, but it is the results of the applicant's action and therefore he would not support a variance.

Commissioner Hunt recognized that the structure may need to be rebuilt to meet the Fire Code and asked the type of modifications that would be needed.

Planning Manager Larson commented that they do not know yet. He stated that the portion five feet to the property line would require the additional fire suppression measures, but the remainder of the structure would most likely be fine.

Commissioner Anderson referenced the letter from the building consultant related to fire resistant construction, noting that this structure would need to be redone to meet the Fire Code, if it is approved.

Mr. Ploumen stated that he does not yet have the fire-resistant material but could place material over the posts that would make it fire resistant. He noted that the nearest structure is 17 feet away. He apologized that he did not pull a permit noting that he had the funds and assistance with labor and moved forward with his project.

Councilmember Woestehoff asked if there was discussion in one of these cases about metal roofs not falling within design standards for the City.

Planning Manager Larson replied that metal roofs are allowed but he has not yet seen the material. He stated that if it is a designed home roofing material, it would be allowed, but colored metal sheeting would not be allowed.

Motion by Commissioner Heineman, seconded by Commissioner Peters, to direct staff to prepare a resolution approving the variance for a slab and lean-to structure based on the following practical difficulties, citing numbers one and three from the list of practical difficulties.

Further discussion

Commissioner Heineman commented that there are two consulting adults who are neighbors and have no problems with this structure. He hoped that people would recognize that these are two people that own their properties and agree to the structure and a matter of inches. He asked why there would be an exception if it cannot be used. He stated that if this motion does fail, the applicant should appeal to the City Council where it would most likely be approved similar to the last case. Commissioner VanScoy asked if rule of law means anything to those on the Commission and Council. He stated that there are exceptions but those also have standards. He disagreed entirely with the comments of Commissioner Heineman. Commissioner Heineman commented that it is offensive to not use logical deduction, as laws are not always followed using the example of driving one mile over the speed limit. He stated that there are rules of law but also the spirit of law. Commissioner VanScoy commented that it is not a matter of inches, but four feet, ten inches. Commissioner Peters asked and received confirmation that a permit is required to put a water softener in a home, noting that every person on the Commission has a water softener in their home but did not pull a permit for that. He stated that everyone has good points, and the applicant has already paid the money for a variance, will spend money on a permit, and the structure should just be allowed. He stated that most neighborhoods have cars parked on their lawns and no one says anything, but this homeowner built something nicer to house his boat and while it is not perfect, it looks fine.

Motion Carried. Voting Yes: Chairperson Gengler, Commissioners Heineman, Peters, and Bauer. Voting No: Commissioners Anderson, Hunt, and VanScoy. Absent: None.

Planning Manager Larson commented that the similar case the Commission reviewed and denied was appealed to the Council, who then approved the request. He stated that he will use that same resolution of approval as a template to draft this resolution which could then come before the Commission on its next Consent Agenda. He stated that the other option would be to defer that approval to the City Council and the resolution could go forward on the Council Consent Agenda for approval.

Commissioner Bauer commented that the Commission grants variances, so questioned why the action of the City Council would be needed.

Chair Gengler clarified that moving it to the City Council would speed up the process. It was the majority consensus of the Commission that the resolution should go forward to the City Council for approval.

7.02: Sign Code Update – Preliminary Discussion

Presentation

City Planner Martin presented the Staff Report stating that staff is looking for the Planning Commission to provide direction on any areas of interest to explore or discuss. Staff will schedule time over the next several months, keeping mindful of other public hearings and development proposals on each meeting's agenda, to discuss various sign-related topics of interest to the Commission.

Commission Business

Chair Gengler commented that she finds visual examples helpful, noting the use of visual examples within the COR Framework.

Commissioner Bauer stated that increases to height and other elements should be considered for those businesses along Highway 10 to ensure drivers would be able to see those signs. He recognized that Ramsey businesses are hurting during construction.

City Planner Martin commented that there is a current regulation in City Code which allows for increased height around the Highway 10 interchanges. He noted that staff would intend to keep that regulation.

Commissioner Bauer commented that the interchange would be too late for some businesses.

Planning Manager Larson commented that the additional height is allowed from the Anoka border to Llama Street.

Commissioner Heineman suggested looking at regulations from other cities with similar frontage roads. He recognized that sign placement can be a bit awkward for a business that is setback from the Highway by a frontage road.

Commissioner Anderson referenced the pizza establishment off Highway 10, stating that in a recent conversation with that business they are afraid that people will no longer see their business because of the location of the interchange. He referenced the highway wayfinding signs and asked if Ramsey could have those to increase the visibility of its businesses. He agreed that illustrations within the Code would be helpful. He stated that he likes a banner or pole sign posted to the building.

City Planner Martin stated that the highway signs are coordinated through MnDOT and typically businesses that want their sign included would apply through that entity. He believed that the COR Framework allows for banner type signs and could bring more context at a future meeting.

Commissioner Anderson asked if City staff could contact the pizza business to give them the information for MnDOT.

Commissioner Bauer stated that perhaps that same message is provided to all the businesses along Highway 10. He noted that most drivers do look for those wayfinding signs on the highway to ensure they take the right exit.

Commissioner Peters recognized that the restaurants and businesses in that area are mostly frequented by the residents of Ramsey and encouraged Ramsey residents to visit those businesses because they are struggling during construction.

Commissioner Anderson asked and received confirmation that residential yard signs would be included in the discussion.

7.03: 2025 Planning Commission Meeting Schedule Discussion

Presentation

Planning Manager Larson presented the Staff Report stating that staff would like direction from the Commission on the desired night and time for the monthly Commission meeting.

Commission Business

Commissioner Bauer commented that there has only been an issue of quorum once and therefore it seems that the current meeting day and time works. He noted that the November and December meetings would have conflicts because of holidays.

Planning Manager Larson commented that once he has direction on the day and time of the meeting, he would draft the 2025 schedule.

Commissioner Peters asked why the watershed would need to see the case after the Planning Commission.

Planning Manager Larson commented that the watershed would want to see some level of realism for the project.

Commissioner Peters commented that it then sounds like a “want” not a need. He stated that the City would still need to approve the project.

Planning Manager Larson explained that the watershed does not want a project going before them that is not going anywhere and feel that if a project reaches the Planning Commission, there is a good chance the project is moving forward.

Commissioner Peters asked if there have been cases that have come before the Planning Commission but not moved forward to the watershed.

Planning Manager Larson confirmed that has happened. He explained that the watershed reviews the stormwater plan, its related treatment and retention.

Chair Gengler stated that the Commission previously met on the first Thursday but moved to the last Thursday to better align with the City Council schedule. She asked if moving to a different week would impact that schedule with the City Council.

Planning Manager Larson recognized that there will not be a perfect schedule. He explained that all staff reports for the City Council agenda are due to the City Administrator the Wednesday before the City Council meeting.

Chair Gengler commented that if they changed days, she would prefer Monday rather than Wednesday.

Commissioner Heineman commented that people may have a long weekend, relating to Monday meetings. He stated that he still has six months in the military and has a commitment every other month, Thursday through Sunday.

Planning Manager Larson commented that staff would also be fine staying with the current meeting day and time.

It was the consensus of the Commission to keep the meeting at the fourth Thursday of the month.

Planning Manager Larson commented that he will create a draft meeting calendar to bring before the Commission to discuss alternate dates for holiday conflicts.

8. COMMISSION / STAFF INPUT

Planning Manager Larson noted that the October meeting will be busy with the proposed agenda. He noted the upcoming Recycling Day and Fix-It Clinic events.

Commissioner Bauer commented that he will likely not in in attendance for the October meeting.

9. ADJOURNMENT

Motion by Commissioner Anderson, seconded by Commissioner Peters, to adjourn the meeting.

Motion Carried. Voting Yes: Chairperson Gengler, Commissioners Anderson, Peters, Bauer, Heineman, Hunt, and VanScoy. Voting No: None. Absent: None.

The regular meeting of the Planning Commission adjourned at 8:53 p.m.

Respectfully submitted,

Todd Larson
Planning Manager

ATTEST:

Abdi Sahal
Planning Assistant

Drafted by Amanda Staple
TimeSaver Off Site Secretarial, Inc.

Regular Planning Commission**Meeting Date:** 10/24/2024**Primary Strategic Plan Initiative:** Not Applicable**Information****Title:**

PUBLIC HEARING: Variance and Lot Line Adjustment - 8310-8324 159th Lane NW

Purpose/Background:

The City has received an application for lot line adjustment between two platted lots at 8310 and 8324 159th Lane NW. The owners of 8324, the Nelsons, are in the process of selling the house and would like to clean up some title issues before it is sold. It appears that when the house was constructed in the late 1970s and subsequently, when the pool and patio were constructed in the 1990s, the wrong property pin was located to determine the property line. This resulted in the house being very close to the actual property line and the pool/patio crossing the line. A fence was even constructed along this assumed line. The lot line adjustment will bring the house and pool into zoning setback conformance.

Typically, this lot line action is considered administrative. Both lots are zoned RR - Rural Residential, which has a 2.5-acre minimum lot area. The plat of Forest Hideaway was platted prior to the current 2.5-acre standard and those lots are considered to have legal non-conforming lot areas. Shifting the line will make an already-small lot smaller. The lot line cannot be adjusted unless a variance is granted to allow for a reduced lot area. The amount of land the Nelsons are purchasing from their neighbors, the Sandeys, is approximately 0.23 acre.

Variations are deviations from a Zoning Code dimensional standard for a justified reason. Those reasons are called "practical difficulties" which are derived from state law. The following section outlines the practical difficulties:

Sec. 106-220. - Variances.

(c) Variances may be granted when the applicant for the variance establishes that there are practical difficulties in complying with the zoning code. "Practical difficulties," as used in connection with the granting of a variance, means:

- (1) That the property owner proposes to use the property in a reasonable manner not permitted by the zoning code;*
- (2) The plight of the landowner is due to circumstances unique to the property not created by the landowner;*
- (3) The variance, if granted, will not alter the essential character of the locality.*
- (4) Economic considerations alone do not constitute practical difficulties;*
- (5) Practical difficulties include, but are not limited to, inadequate access to direct sunlight for solar energy systems; and*
- (6) Public takings of property due to condemnation.*
- (7) Variances shall be granted for earth sheltered construction as defined in Minn. Stats. § 216C.06, subd. 14, when in harmony with this chapter.*

In this case, the practical difficulties used to justify the reduced lot area is #3 as nothing is being constructed and the character of the neighborhood will not change.

Notification:

Notification was provided in the October 11, 2024, Anoka Union Herald Newspaper. Property owners within 350 feet of the parcels were mailed a public hearing notice.

Time Frame/Observations/Alternatives:

Alternatives to consider:

1. Approve the variance as requested.
2. Deny the variance citing lack of practical difficulties.

Funding Source:

Costs associated with this application are the responsibility of the applicant.

Recommendation:

Staff recommends approval of the variance and lot line adjustment.

Outcome/Action:

Motion to adopt Resolution #24-291 approving a variance to lot area at 8310 and 8324 159th Lane Northwest and a lot line adjustment.

Attachments

Survey
Resolution #24-291

Form Review

Inbox	Reviewed By	Date
Brian Hagen	Brian Hagen	10/16/2024 10:19 AM
Form Started By: Todd Larson		Started On: 10/07/2024 11:45 AM
Final Approval Date: 10/16/2024		

Lot Line Adjustment

EXISTING PROPERTY DESCRIPTIONS:

Lot 1, Block 4, FOREST HIDEAWAY, Anoka County, Minnesota
 Lot 2, Block 4, FOREST HIDEAWAY, Anoka County, Minnesota

PROPOSED PROPERTY DESCRIPTIONS:

PARCEL 1: That part of Lot 2, Block 4, FOREST HIDEAWAY, according to the recorded plat thereof, Anoka County, Minnesota, lying northwesterly of the following described line and its southwesterly and northeasterly extensions:

Beginning at the Northwest corner of said Lot 2; thence South 20 degrees 50 minutes 50 seconds West, assuming the West line of said Lot 2 has a bearing of South 30 degrees 02 minutes 39 seconds West, 344.19 feet to the South line of said Lot 2 and said line there terminating.

PARCEL 2: Lot 1, Block 4, FOREST HIDEAWAY, according to the recorded plat thereof, Anoka County, Minnesota, and that part of Lot 2, Block 4, said FOREST HIDEAWAY, lying northwesterly of the following described line and its southwesterly and northeasterly extensions:

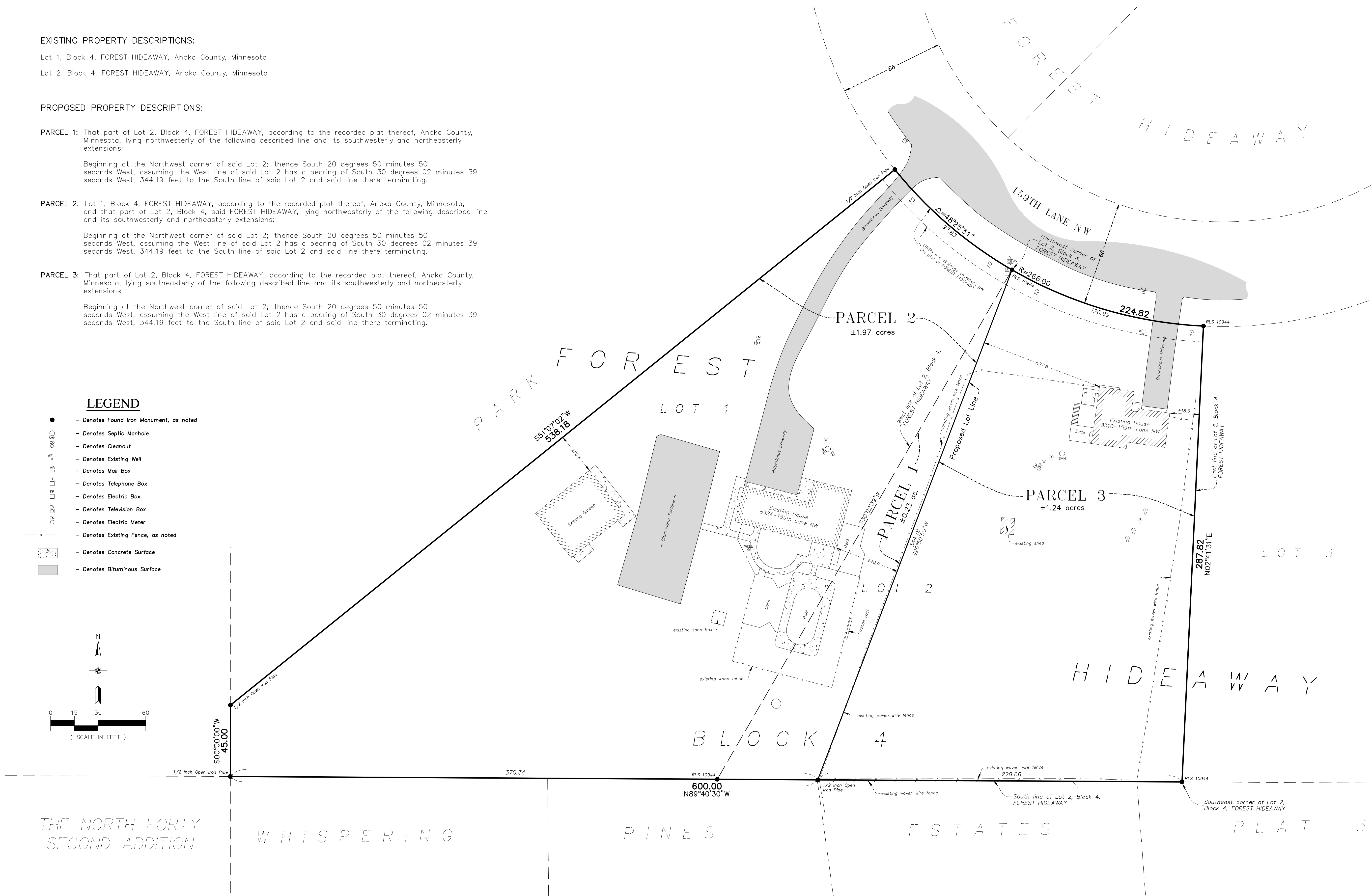
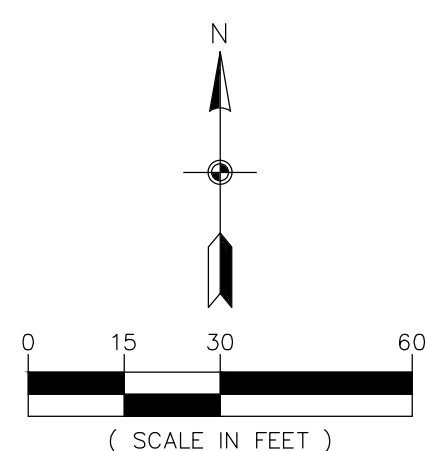
Beginning at the Northwest corner of said Lot 2; thence South 20 degrees 50 minutes 50 seconds West, assuming the West line of said Lot 2 has a bearing of South 30 degrees 02 minutes 39 seconds West, 344.19 feet to the South line of said Lot 2 and said line there terminating.

PARCEL 3: That part of Lot 2, Block 4, FOREST HIDEAWAY, according to the recorded plat thereof, Anoka County, Minnesota, lying southeasterly of the following described line and its southwesterly and northeasterly extensions:

Beginning at the Northwest corner of said Lot 2; thence South 20 degrees 50 minutes 50 seconds West, assuming the West line of said Lot 2 has a bearing of South 30 degrees 02 minutes 39 seconds West, 344.19 feet to the South line of said Lot 2 and said line there terminating.

LEGEND

- - Denotes Found Iron Monument, as noted
- - Denotes Septic Manhole
- - Denotes Cleanout
- - Denotes Existing Well
- - Denotes Mail Box
- - Denotes Telephone Box
- - Denotes Electric Box
- - Denotes Television Box
- - Denotes Electric Meter
- - - - - Denotes Existing Fence, as noted
- ▨ - Denotes Concrete Surface
- ▨ - Denotes Bituminous Surface



CARLSON MCCAIN
 ENGINEERING SURVEYING ENVIRONMENTAL
 3690 PHEASANT RIDGE DRIVE NE, SUITE 100, BLAINE, MN 55449
 TEL: 763.489.7900 \ FAX: 763.489.7959 \ CARLSONMCCAIN.COM

LOT LINE ADJUSTMENT
LOTS 1 and 2, BLOCK 4, FOREST HIDEAWAY
 Ramsey, Minnesota

James & Teresa Nelson
 8324 - 159th Lane NW
 Ramsey, MN 55303

REVISIONS

1.	
2.	
3.	
4.	
5.	
6.	

DRAWN BY: NJS
 ISSUE DATE: 10/03/24
 FILE NO: 2799

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly licensed land surveyor under the laws of the State of Minnesota

Name: Thomas R. Balluff
 Signature: *Thomas R. Balluff*
 Date: 10/03/24 License #: 40361

RESOLUTION #24-291

A RESOLUTION APPROVING A VARIANCE TO LOT AREA AT 8310 AND 8324 159TH LANE NORTHWEST AND A LOT LINE ADJUSTMENT

RECITALS

1. The City of Ramsey received an application requesting a Variance to Section 106-430(a) (Bulk Standards, minimum lot area) of the Ramsey City Code on the properties owned and legally described as follows:

James and Theresa Nelson – 8324 159th Lane NW
Lot 1, Block 4, Forest Hideaway, Anoka County, Minnesota

Charles Sandey – 8310 159th Lane NW
Lot 2, Block 4, Forest Hideaway, Anoka County, Minnesota

(the “Applicants”)
2. That the property areas are approximately 1.97 acres and 1.47 acres, respectively.
3. That the properties are zoned RR – Rural Residential and that zoning district has a 2.5-acre minimum lot area.
4. That the properties were platted prior to the current minimum lot area requirement and are considered legal non-conforming by way of lot area.
5. That the owners of Lot 1 are purchasing a portion of Lot 2 to correct errors from when the house and swimming pool were constructed.
6. That lot line adjustments are administrative actions pursuant to Section 117-590 (Administrative subdivision) provided each of the resulting parcels conform to standards found in the Zoning Code (Chapter 106).
7. That the lot line adjustment would reduce the already non-conforming lot area of Lot 2.
8. That nothing will be constructed as a part of this variance.
9. That the Applicants appeared before the Planning Commission for a public hearing pursuant to Section 106-220 (Variances) of the Ramsey City Code on October 24, 2024, and that said public hearing was properly advertised and that the minutes of said public hearing are available.

FINDINGS OF FACT

1. That the variance will not alter the essential character of the neighborhood in that nothing will appear to have been changed as a result of this variance.
2. The variance is necessary to accomplish a lot line adjustment to correct the setbacks of the house and swimming pool on Lot 1.

NOW THEREFORE, BE IT RESOLVED BY THIS PLANNING COMMISSION OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:

That the Ramsey Planning Commission hereby consents to the administrative subdivision described below by granting approval of a variance to the minimum lot area requirement of Section 106-430(a) permitting lot areas of 1.94 acres for Parcel 2 and 1.24 acres for Parcel 3, as shown on the survey Exhibit A titled "Lot Line Adjustment" dated 10/3/2024 attached to this resolution and as described below:

Parcel 2 (8324 159th Lane NW)

Lot 1, Block 4, Forest Hideaway, according to the recorded plat thereof, Anoka County, Minnesota and that part of Lot 2, Block 4, said Forest Hideaway, lying northwesterly of the following described line and its southwesterly and northeasterly extensions:

Beginning at the Northwest corner of said Lot 2; thence South 20 degrees, 50 minutes, 50 seconds West, assuming the West line of said Lot 2 has a bearing of South 30 degrees, 02 minutes, 39 seconds West, 344.19 feet to the South line of said Lot 2 and said line there terminating.

Parcel 3 (8310 159th Lane NW)

That part of Lot 2, Block 4, Forest Hideaway, according to the recorded plat thereof, Anoka County, Minnesota, lying southeasterly of the following described line and its southwesterly and northeasterly extensions:

Beginning at the Northwest corner of said Lot 2; thence South 20 degrees, 50 minutes, 50 seconds West, assuming the West line of said Lot 2 has a bearing of South 30 degrees, 02 minutes, 39 seconds West, 344.19 feet to the South line of said Lot 2 and said line there terminating.

This Resolution must be recorded against both properties in the Anoka County Recorder's Office.

The motion for the adoption of the foregoing resolution was duly seconded by Commissioner _____, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

whereupon said resolution was declared duly passed and adopted by the Ramsey Planning Commission this the 24th day of October, 2024.

Planning Commission Chairperson

ATTEST:

City Clerk

Regular Planning Commission**Meeting Date:** 10/24/2024**Primary Strategic Plan Initiative:** Create a positive image for residential neighborhoods, business districts and key corridors.**Information****Title:**

PUBLIC HEARING: Adopt Resolution #24-284 Granting a Variance to Height Limitations for a Detached Accessory Building Located at 17646 St. Francis Boulevard NW (Project No. 24-121); Case of Chuck and Angie Lattery

Purpose/Background:

The City has received a Land Use Application from Charles and Angela Lattery (the "Applicant") seeking a variance to the height restriction for a detached accessory building to be located in the side yard on the property generally known as 17646 St. Francis Boulevard NW (the "Subject Property").

Notification:

Notification was provided in the October 11, 2024, Anoka Union Herald Newspaper. Property owners within 350 feet of the parcels were mailed a public hearing notice. A public notice sign was placed on the property.

Time Frame/Observations/Alternatives:

The Applicant previously had a detached garage located north of the home. That garage was dilapidated, with the roof collapsing in on itself, and the Applicant removed it in the summer of 2022, with the intention of constructing a new, detached accessory building in its place. However, construction was delayed until such time that the Applicant was able to secure financing to construct the new building. Since the time of the removal of the old accessory building, the City has rewritten its Zoning Code, which now prohibits an accessory building from being taller than the principal building, unless it is located in the rear yard.

The Subject Property is zoned Rural Residential, is guided as Rural Developing, and is approximately 2.51 acres in size. The surrounding properties are also zoned Rural Residential, guided as Rural Developing, and range in size from about 2.26 acres to about 7.20 acres in size. Based on the size of the Subject Property, the Applicant is eligible for 2,700 square feet of detached accessory building space. There are no permanent accessory buildings currently on the Subject Property (there are a couple of membrane hoop structures presently, but, should the variance be approved, the resolution includes a condition that both of these would need to be removed from the property as they are violations of City Code). Based on the standards for the Rural Residential District, the height of a detached accessory building in the front or side yard shall not exceed the height of the home or twenty-four (24) feet, whichever is less (if the structure were located in the rear yard, the height would be limited to no more than thirty (30) feet).

The Applicant is proposing a 2,688 square foot pole building (42' x 64'), that would be twenty-four feet (24') in height, measured to the peak of the new building. The existing home is a rambler style home that is approximately fifteen (15) feet in height. The exterior finish of the building would consist of ribbed metal paneling that is beige, to match the color of the home, with an emerald green wainscot around the base of the building and emerald green fascia and eaves also to match the home.

The Applicant has stated that the extra height is needed to get a sixteen (16) foot tall ceiling, which will allow multiple, 4-post hoists inside. The hoists will provide additional storage space for the Applicant's various muddling trucks, vehicles, trailer(s) and 5th wheel camper. The Applicant did explore the potential of placing the detached accessory building in the rear of the property. However, there is a significant grade change from the

front to the rear (approximately 18 feet of vertical difference). Furthermore, the Applicant has stated that the soil in the rear yard consists of clay and gets very soft/soupy when wet, and they are concerned that vehicles would get stuck. Finally, power for the detached accessory building is already in place adjacent to where the former accessory building was located.

Three (3) Factor Test

- Reasonableness: It is very common for a property owner to construct a detached accessory building to provide internal storage of vehicles, equipment, etc. All aspects of the proposed accessory building, with the exception of the height, comply with zoning code standards.
- Uniqueness: The Applicant is attempting to beautify their property. This started with removing the dilapidated garage. However, before they had their finances in place to construct a replacement building, the City rewrote its Zoning Code and implemented a new standard that restricts the height of detached accessory buildings in the front or side yard to no more than twenty-four (24) feet or the height of the principal structure, whichever is less. There is also a significant grade change from the proposed location of the accessory building to the rear yard. Additionally, the soil in the rear yard, where it is flatter, consists of clay and the Applicant has stated their concerns with getting vehicles and equipment stuck in wet conditions.
- Essential Character: A number of surrounding properties also have detached accessory buildings, both larger and smaller than what is proposed. The proposed detached accessory building would comply with all required setbacks and will have an exterior finish that will resemble the home (beige siding and green fascia and eaves). The building should not alter the essential character of the neighborhood.

Alternatives:

1. Approve a variance to allow the height of a detached accessory building in the side yard to be taller than the principal structure. When the former garage was removed, the Zoning Code would have allowed the proposed building to be constructed in the same location without the need for a variance. The new building would provide ample space for the Applicant to move vehicles and equipment inside and out of view from the public traveling along Saint Francis Boulevard. There is a significant grade difference leading to the rear yard and there are less desirable soils back there as well. Staff supports this alternative.

2. Do not approve the variance request. Should the variance be denied, the Applicant would have to find an alternative location, presumably in the rear yard (to avoid their septic system and removal of multiple, significant trees) and once again pay to have power buried underground down to the alternative building site (something they had done prior to having to remove the former accessory building). Staff does not support this alternative.

Funding Source:

The Applicant is responsible for all costs associated with this request.

Recommendation:

Staff recommends adopting Resolution #24-284, granting a variance to height restrictions for a detached accessory building in the side yard of the Subject Property.

Outcome/Action:

Motion to adopt Resolution #24-284 granting a variance to height restrictions for a detached accessory building in the side yard of the Subject Property.

Attachments

Site Location Map

Applicant Narrative

Accessory Building Plans

Resolution #24-284

Neighbor Letter

Form Review

Inbox

Brian Hagen

Chris Anderson (Originator)

Brian Hagen

Form Started By: Chris Anderson

Final Approval Date: 10/16/2024

Reviewed By

Chris Anderson

Chris Anderson

Brian Hagen

Date

10/15/2024 03:30 PM

10/15/2024 03:31 PM

10/16/2024 10:18 AM

Started On: 09/26/2024 12:42 PM

02-32-25-0003

17646 St. Francis BLVD, Ramsey, MN 55303

17646 St. Francis BLVD Variance



Print Date: September 16, 2024

0.00 0.01 0.03 0.04 0.06
mi

TO: CITY OF RAMSEY – PLANNING COMMISSION

RE: Land Use Application-Variance Request for

17646 St. Francis Boulevard, Ramsey MN 55303

Dear Commission Members:

We are writing this request in regards to a Variance for our property located at 17646 St. Francis Boulevard, Ramsey MN 55303. We have been consulting with members of Planning and Zoning which have recommended that we obtain a Variance to build the Accessory Structure that we are looking to build to replace the detached garage that we had to tear down in 2022.

The original detached garage (accessory structure) was built with the original primary house. This detached garage was roughly 22 Feet to the peak in Height. As a result of deterioration of the original detached garage-accessory structure we were faced with having to tear down the building. We are looking to rebuild the accessory structure which is taller (24 Feet to the peak of the building in height) than the principal building (our house) which is 15 Feet to the peak of the house in height. Please note that this new proposal is only 2 Feet taller than the pre-existing original detached garage (accessory structure). In addition, we would be designing the building similar to the primary house with the siding being beige in color to match the primary home and the same color roof, soffit and fascia of emerald green to match the primary house as well.

Please note that the primary use of this accessory structure is to store a majority of the items that we currently have stored outside. We will be putting multiple 4 post hoists in the building to ensure extra storage for vehicles. We have a mud truck that is 9 Feet 8 Inches tall and a 36 Ft Gooseneck trailer that we store the mud truck on that will be stored inside the building which requires the 16 Foot tall walls. Also, we will be storing our 5th Wheel Camper inside the building. For the reasons provided on the primary use of this accessory structure is why we need 16 Foot tall ceilings to accommodate a 14 Foot tall garage door.

Due to the nature of our land plot, the top portion of our property (which is where our house and detached garage is located) is the only place that buildings can be built without land erosion taking place. This part of the property is the only flat surface of the property. Directly behind the house the land slopes down at least 22 degrees. In addition, the electrical for the house is located at the proposed location of the accessory structure and would cause great undue hardship to have to relocate it to any lower part of the property.

The accessory building we are proposing to build meets all of the Zoning Code requirements, except for the height of the building. There is significant slopeage directly behind the proposed location of the accessory building and significant trees behind and on the north side of the property (tree preservation is of great importance to the property) as well as our septic system is located on the south side of the property making the proposed location, the most suitable location for the accessory building.

Pursuant to the City of Ramsey Ordinance Code Chapter 106, Section 106-220, it states that a variance may be granted to an applicant where “practical difficulties” exist in complying with the zoning code. As we have described, our land prevents us from reasonably being able to build this accessory structure in any other location on the property than the proposed location.

We are in a unique situation that limits our ability to build accessory structures given the downward slope of the property. Lastly, by granting this variance it will not alter the essential character of the property as the location is the same exact location of the prior accessory structure that we had to tear down.

As we are on 2.83 acres and the way our plot is situated in our area, Green Valley Estates, approving this variance would not restrict any of our neighbors from being able to peaceably enjoy their property and is in harmony with the general purposes and intent of the Ramsey City Code.

As you can see, our property meets all three of the factors for meeting the practical difficulty legal standard, thus we believe our request for a variance to build the proposed building should be granted.

Date: 09/13/2024 - 10:27 AM

Design Name: Post Frame Design42x64

Design ID: 302854831724

System V Estimate ID: 56327

Estimated price: \$32,950.85 *

*Today's estimated price, future pricing may go up or down. Tax, labor, and delivery not included.

MENARDS

Design & Buy™

POST FRAME

How to recall and purchase a saved design at home



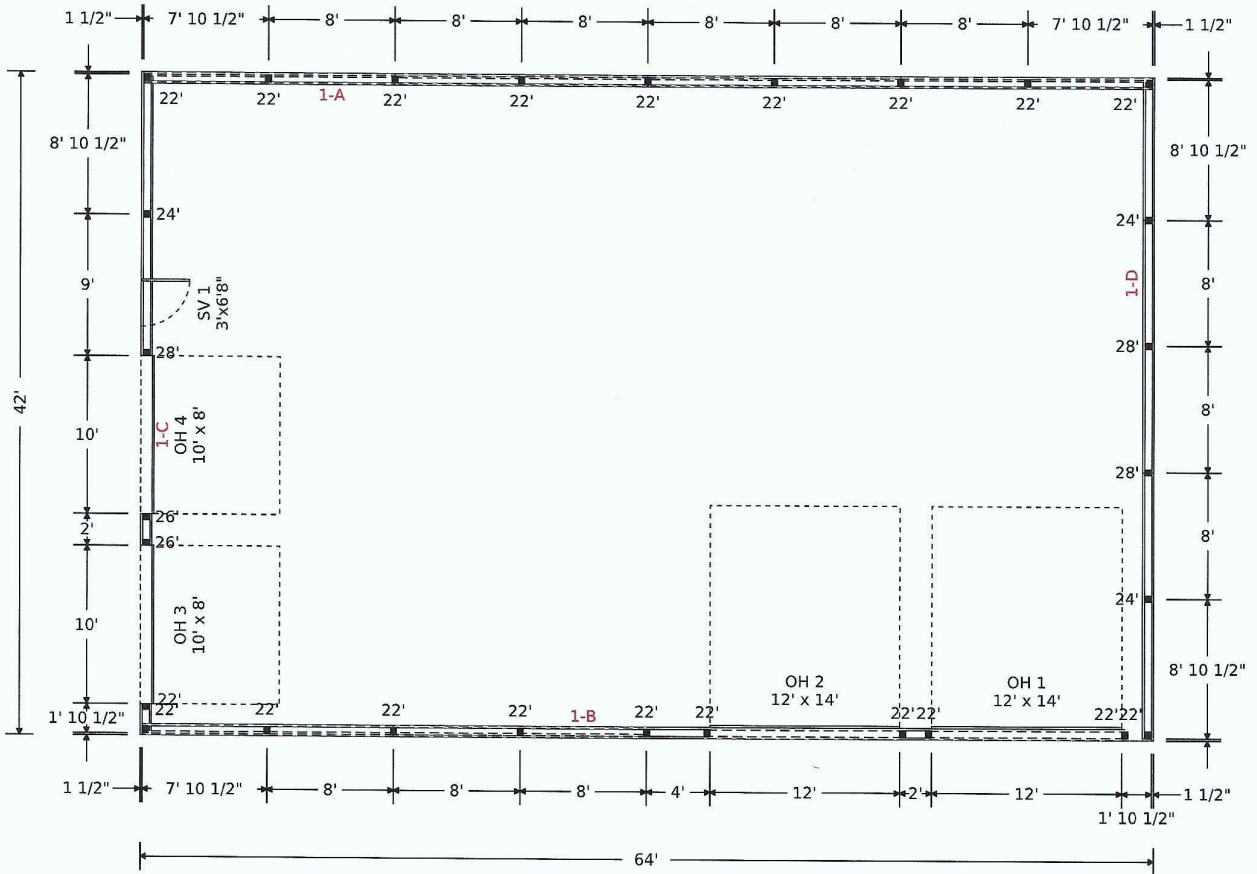
OR

1. On Menards.com, enter "Design & Buy" in the search bar
2. Select the Buildings Designer
3. Recall your design by entering Design ID: 302854831724
4. Follow the on-screen purchasing instructions

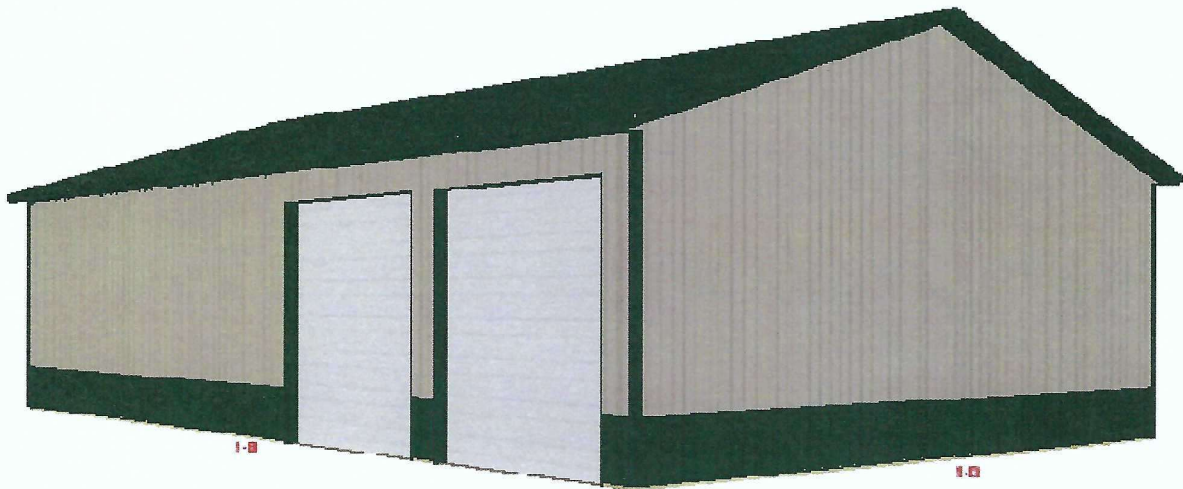
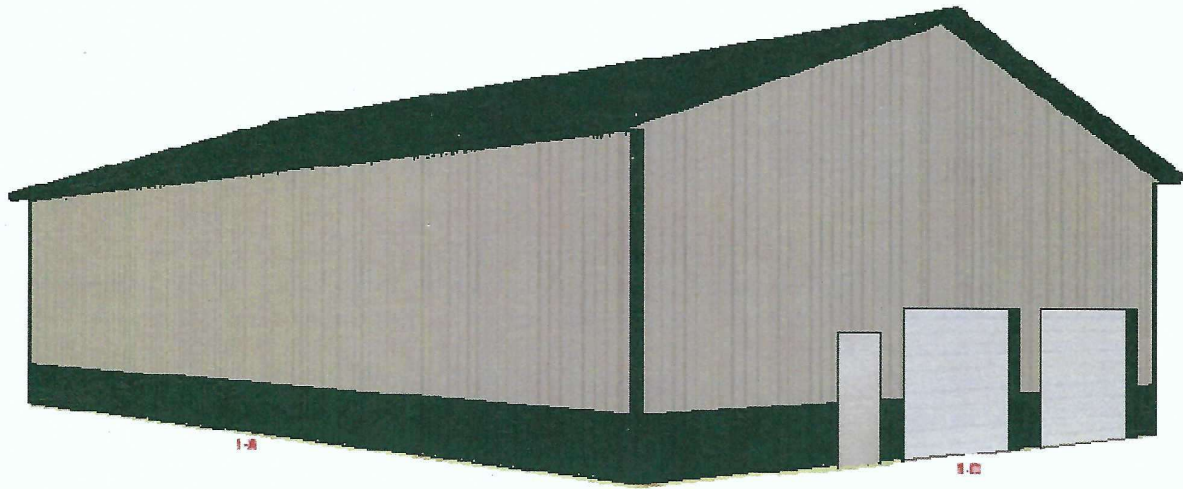
How to purchase at the store

1. Enter Design ID: 302854831724 at the Design-It Center Kiosk in the Building Materials Department
2. Follow the on-screen purchasing instructions.

FLOOR PLAN



Elevation Views



Design #: 302854831724
Estimate #: 56327
Store: COON RAPIDS



Post Frame Building Estimate
Date: Sep 13, 2024, 10:27:05 AM

Congratulations, you have taken the first step towards making your new post frame building a reality!

- You have selected Menards to provide you with superior products produced by Midwest Manufacturing that will meet your needs. For a more detailed look at these premium products visit us on the web at www.midwestmanufacturing.com.

*Delivery charge is not included in price. Items ordered to complete your building from vendors other than Midwest Manufacturing are not available for pickup from the plant.



Building Information

1. Building Use:	Code Exempt
2. Width:	42 ft
3. Length:	64 ft
4. Inside Clear Height:	16 ft
5. Floor Finish:	Dirt / Gravel
6. Post Embedment Depth:	4 ft
7. Footing Pad Size:	14 in x 4 in

Wall Information

1. Post Spacing:	8 ft
2. Post Type:	Columns
3. Girt Type:	Double
4. Exterior Wall Panel:	Pro-Rib
5. Exterior Wall Color:	Beige
6. Trim Color:	Emerald Green
7. Wainscot Size:	36 in
8. Wainscot Color:	Emerald Green
9. Sidewall A Wainscot:	Yes
10. Sidewall B Wainscot:	Yes
11. Endwall D Wainscot:	Yes
12. Endwall C Wainscot:	Yes
13. Gable Accent:	No
14. Sidewall A Eave Light:	None
15. Sidewall B Eave Light:	None
16. Wall Fastener Location:	In the Flat
17. Gradeboard Type:	2x6 Treated Gradeboard

Interior Finish

1. Wall Insulation Type:	None
2. Wall Liner Type:	None
3. Roof Condensation Control:	None

Roof Information

1. Pitch:	4/12
2. Truss Spacing:	4 ft
3. Roof Type:	Pro-Rib
4. Roof Color:	Emerald Green
5. Ridge Options:	Universal Ridge Cap
6. Roof Fastener Location:	On the Rib
7. Endwall Overhangs:	1 ft
8. Sidewall Overhangs:	1 ft
9. Fascia Size:	6 in Fascia
10. Soffit Color:	Emerald Green
11. Skylight Size:	None
12. Ridge Vent Quantity:	None
13. Ceiling Liner Type:	None
14. Purlin Placement:	Flat
15. Ceiling Insulation Type:	None

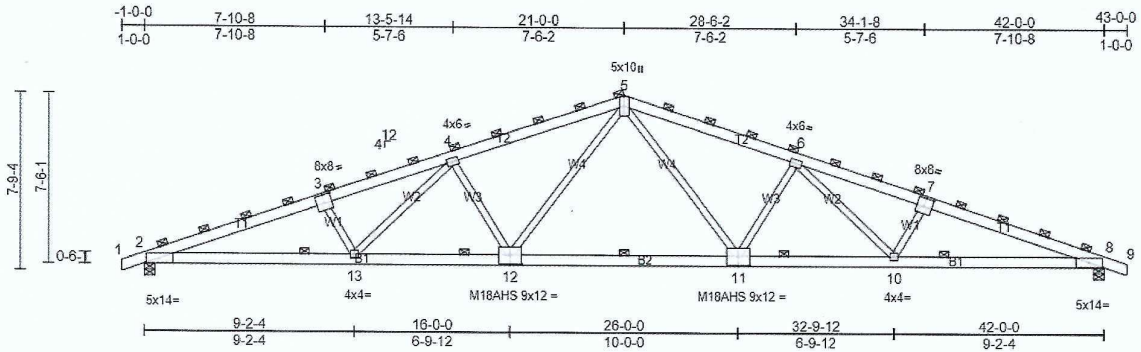
Accessories

1. Outside Closure Strip:	Standard
2. Inside Closure Strip:	Standard
3. Gable Vent Type:	None
4. Cupola Size:	None
5. Gutters:	No
6. End Cap:	No
7. Mini Print:	Email Only

Job	Truss	Truss Type	Qty	Ply	Job Reference (optional)
QTREC0826480	PT1	COMMON	14	1	

Midwest Manufacturing, Eau Claire, WI

Run: 8.72 S Sep 6 2023 Print: 8.720 S Sep 6 2023 MITek Industries, Inc Fri Jan 12 12:31:56 Page 1
 ID:27E\Whr11?NgyTQ7RmMPJzvw5iq-MJUhZ_a3JZykmv3h1afunpA_IKlorW3BAG7LAszw5fX



Scale = 1.74.7

Plate Offsets (X, Y): [3:0-4-0,0-4-8], [7:0-4-0,0-4-8], [11:0-8-0,0-4-12], [12:0-8-0,0-4-12]

Loading	(psf)	Spacing	4-0-0	CSI	DEFL	in	(loc)	I/defl	L/d	PLATES	GRIP	
TCLL (roof)	20.0	Plate Grip DOL	1.15	TC	0.74	Vert(LL)	-0.52	11-12	>976	240	MT20	244/190
Snow (Ps/Pg)	28.4/50.0	Lumber DOL	1.15	BC	1.00	Vert(CT)	-0.73	11-12	>691	180	M18AHS	142/136
TCDL	4.0	Rep Stress Incr	NO	WB	0.99	Horz(CT)	0.20	8	n/a	n/a		
BCLL	0.0	Code	IBC2018/TPI2014	Matrix-MS								
BCDL	5.0											Weight: 251 lb FT = 15%

LUMBER

TOP CHORD 2x6 SP 2400F 2.0E
 BOT CHORD 2x6 SP 2400F 2.0E *Except* B2:2x6 SPF No.2
 WEBS 2x4 SPF Stud *Except* W4:2x4 SPF No.2

BRACING

TOP CHORD 2-0-0 oc purlins (3-1-9 max.).
 BOT CHORD 8-0-0 oc bracing.

REACTIONS

(lb/size) 2=3258/0-5-8, (min. 0-2-11), 8=3258/0-5-8, (min. 0-2-11)
 Max Horiz 2=127 (LC 13)
 Max Uplift 2=729 (LC 8), 8=729 (LC 9)

FORCES

(lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
 TOP CHORD 2-3=-8093/1705, 3-4=-7730/1682, 4-5=-6202/1359, 5-6=-6202/1359, 6-7=-7730/1682, 7-8=-8093/1705
 BOT CHORD 2-13=-1616/7591, 12-13=-1293/6428, 11-12=-823/4713, 10-11=-1195/6428, 8-10=-1519/7591
 WEBS 3-13=-768/254, 4-13=-306/1170, 4-12=-1781/441, 5-12=-447/2131, 5-11=-447/2131, 6-11=-1781/441, 6-10=-306/1170,
 7-10=-768/254

NOTES

- Unbalanced roof live loads have been considered for this design.
- Wind: ASCE 7-16. Vult=105mph (3-second gust) Vasd=83mph; TC DL=2.4psf; BCDL=0.6psf; h=25ft; Cat. I; Exp C, Enclosed; MWFRS (envelope); cantilever left and right exposed, end vertical left and right exposed. Lumber DOL=1.60 plate grip DOL=1.60
- TCLL: ASCE 7-16; Pr=20.0 psf (roof LL); Lum DOL=1.15 Plate DOL=1.15; Pg=50.0 psf; Ps=28.4 psf (Lum DOL=1.15 Plate DOL=1.15); Is=0.8; Rough Cat C; Fully Exp.; Ce=0.9; Cs=0.94; Ct=1.20; Unobstructed slippery surface
- Roof design snow load has been reduced to account for slope.
- Unbalanced snow loads have been considered for this design.
- This truss has been designed for greater of min roof live load of 12.0 psf or 1.00 times flat roof load of 30.2 psf on overhangs non-concurrent with other live loads.
- Dead loads shown include weight of truss. Top chord dead load of 5.0 psf (or less) is not adequate for a shingle roof. Architect to verify adequacy of top chord dead load.
- All plates are MT20 plates unless otherwise indicated.
- This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 729 lb uplift at joint 2 and 729 lb uplift at joint 8.
- This truss is designed in accordance with the 2018 International Building Code section 2306.1 and referenced standard ANSI/TPI 1.
- Graphical purlin representation does not depict the size or the orientation of the purlin along the top and/or bottom chord.

LOAD CASE(S) Standard



Doors & Windows

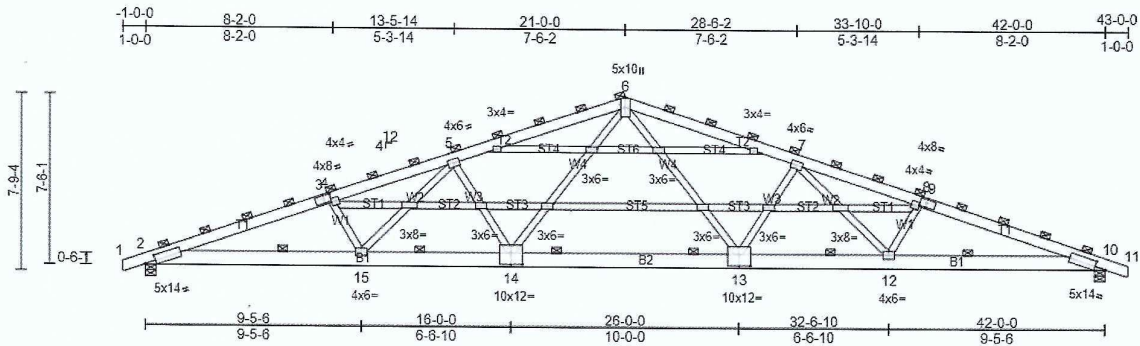
Name	Size	Wall
Overhead Door	12' x 14'	1-B
Overhead Door	12' x 14'	1-B
Overhead Door	10' x 8'	1-C
Overhead Door	10' x 8'	1-C
Service Door	36"x80"	1-C

Floor type (concrete, dirt, gravel) is NOT included in estimated price. The floor type is used in the calculation of materials needed. Labor, foundation, steel beams, paint, electrical, heating, plumbing, and delivery are also NOT included in estimated price. This is an estimate. It is only for general price information. This is not an offer and there can be no legally binding contract between the parties based on this estimate. The prices stated herein are subject to change depending upon the market conditions. The prices stated on this estimate are not firm for any time period unless specifically written otherwise on this form. The availability of materials is subject to inventory conditions. MENARDS IS NOT RESPONSIBLE FOR ANY LOSS INCURRED BY THE GUEST WHO RELIES ON PRICES SET FORTH HEREIN OR ON THE AVAILABILITY OF ANY MATERIALS STATED HEREIN. All information on this form, other than price, has been provided by the guest and Menards is not responsible for any errors in the information on this estimate, including but not limited to quantity, dimension and quality. Please examine this estimate carefully. MENARDS MAKES NO REPRESENTATIONS, ORAL, WRITTEN OR OTHERWISE THAT THE MATERIALS LISTED ARE SUITABLE FOR ANY PURPOSE BEING CONSIDERED BY THE GUEST. BECAUSE OF WIDE VARIATIONS IN CODES, THERE ARE NO REPRESENTATIONS THAT THE MATERIALS LISTED HEREIN MEET YOUR CODE REQUIREMENTS. THE PLANS AND/OR DESIGNS PROVIDED ARE NOT ENGINEERED. LOCAL CODE OR ZONING REGULATIONS MAY REQUIRE SUCH STRUCTURES TO BE PROFESSIONALLY ENGINEERED AND CERTIFIED PRIOR TO CONSTRUCTION.

Job	Truss	Truss Type	Qty	Ply	Job Reference (optional)
QTREC0826480	PT1E	COMMON	1	1	

Midwest Manufacturing, Eau Claire, WI

Run: 8.72 S Sep 6 2023 Print: 8.720 S Sep 6 2023 MTEK Industries, Inc. Fri Jan 12 12:31:56 Page: 1
ID:27EW/hr1?NgyTO7RmMPJzW5lq-4UHz_a3JZykmv3hlfunpA_cKnsrWUBAG7LAszw5fX



Scale = 1.74.7

Plate Offsets (X, Y): [2.0-5-9.0-2-14], [3.0-3-8.0-2-0], [9.0-3-8.0-2-0], [10.0-5-9.0-2-14], [13.0-6-0.0-6-0], [14.0-6-0.0-6-0]

Loading	(psf)	Spacing	4-0-0	CSI	DEFL	in	(loc)	I/defl	L/d	PLATES	GRIP	
TCLL (roof)	20.0	Plate Grip DOL	1.15	TC	0.74	Vert(LL)	-0.50	13-14	>999	240	MT20	244/190
Snow (Ps/Pg)	28.4/50.0	Lumber DOL	1.15	BC	0.87	Vert(CT)	-0.68	13-14	>738	180		
TCDL	4.0	Rep Stress Incr	NO	WB	0.96	Horz(CT)	0.17	10	n/a	n/a		
BCLL	0.0	Code	IBC2018/TPI2014	Matrix-MS								
BCDL	5.0											Weight: 320 lb FT = 15%

LUMBER

TOP CHORD 2x8 SP 2400F 2.0E
 BOT CHORD 2x8 SP 2400F 2.0E *Except* B2:2x8 SPF No.2
 WEBS 2x4 SPF Stud *Except* W4:2x4 SPF No.2
 OTHERS 2x4 SPF Stud

BRACING

TOP CHORD 2.0-0 oc purlins (3-1-7 max.).
 BOT CHORD 7.0-0 oc bracing.

REACTIONS

(lb/size) 2=3258/0-5-8, (min. 0-2-11), 10=3258/0-5-8, (min. 0-2-11)
 Max Horiz 2=-215 (LC 13)
 Max Uplift 2=-1127 (LC 8), 10=-1127 (LC 9)

FORCES

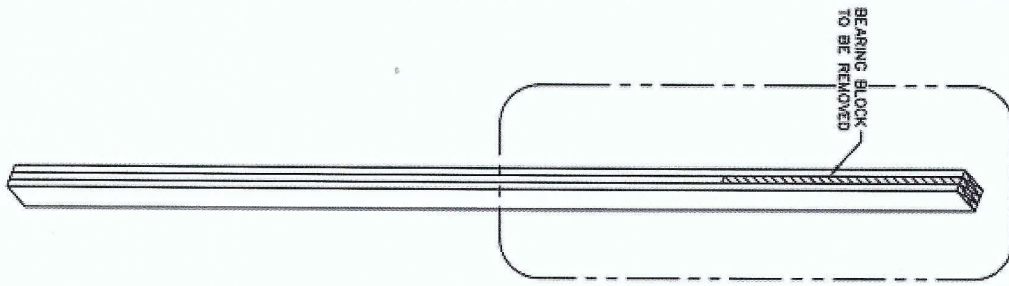
(lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
 TOP CHORD 2-3=-8173/2676, 3-4=-7941/2677, 4-5=-7818/2632, 5-8=-6280/2105, 6-7=-6280/2104, 7-8=-7818/2631, 8-9=-7941/2676,
 9-10=-8173/2675
 BOT CHORD 2-15=-2565/7872, 14-15=-2068/6522, 13-14=-1315/4760, 12-13=-1899/6522, 10-12=-2398/7672
 WEBS 4-15=-744/373, 5-15=-487/1192, 5-14=-1810/691, 6-14=-715/2161, 6-13=-714/2161, 7-13=-1810/691, 7-12=-486/1192,
 8-12=-744/373

NOTES

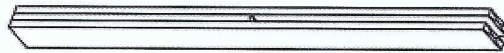
- Unbalanced roof live loads have been considered for this design.
- Wind: ASCE 7-16; Vult=105mph (3-second gust) Vasd=83mph; TCCL=2.4psf; BCDL=0.6psf; h=25ft; Cat. I; Exp C; Enclosed; MWFRS (envelope) exterior zone; cantilever left and right exposed; end vertical left and right exposed; Lumber DOL=1.60 plate grip DOL=1.60
- Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the face), see Standard Industry Gable End Details as applicable, or consult qualified building designer as per ANSI/TPI 1.
- TCLL: ASCE 7-16; P=20.0 psf (roof LL); Lum DOL=1.15 Plate DOL=1.15, Pg=50.0 psf, Ps=28.4 psf (Lum DOL=1.15 Plate DOL=1.15), Is=0.8, Rough Cat C; Fully Exp.; Ce=0.9; Cs=0.94; Ct=1.20; Unobstructed slippery surface
- Roof design snow load has been reduced to account for slope.
- Unbalanced snow loads have been considered for this design.
- This truss has been designed for greater of min roof live load of 12.0 psf or 1.00 times flat roof load of 30.2 psf on overhangs non-concurrent with other live loads.
- Dead loads shown include weight of truss. Top chord dead load of 5.0 psf (or less) is not adequate for a shingle roof. Architect to verify adequacy of top chord dead load.
- Horizontal gable studs spaced at 2'-6" oc.
- This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 1127 lb uplift at joint 2 and 1127 lb uplift at joint 10.
- This truss is designed in accordance with the 2018 International Building Code section 2308.1 and referenced standard ANSI/TPI 1.
- Graphical purlin representation does not depict the size or the orientation of the purlin along the top and/or bottom chord.

LOAD CASE(S) Standard

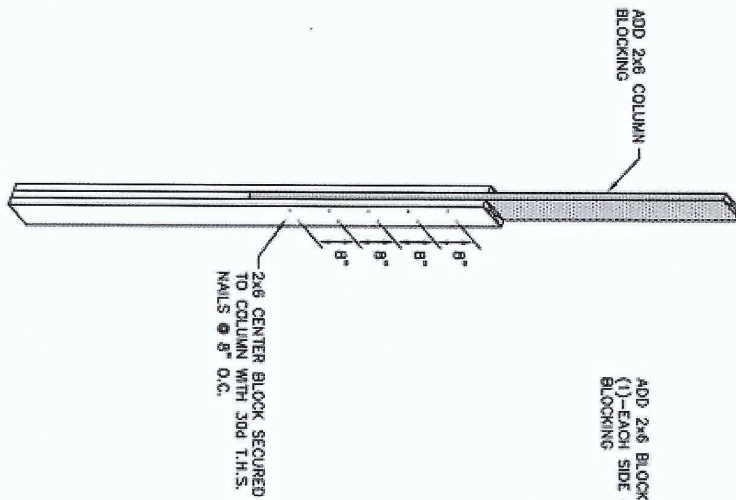
ORIGINAL COLUMN



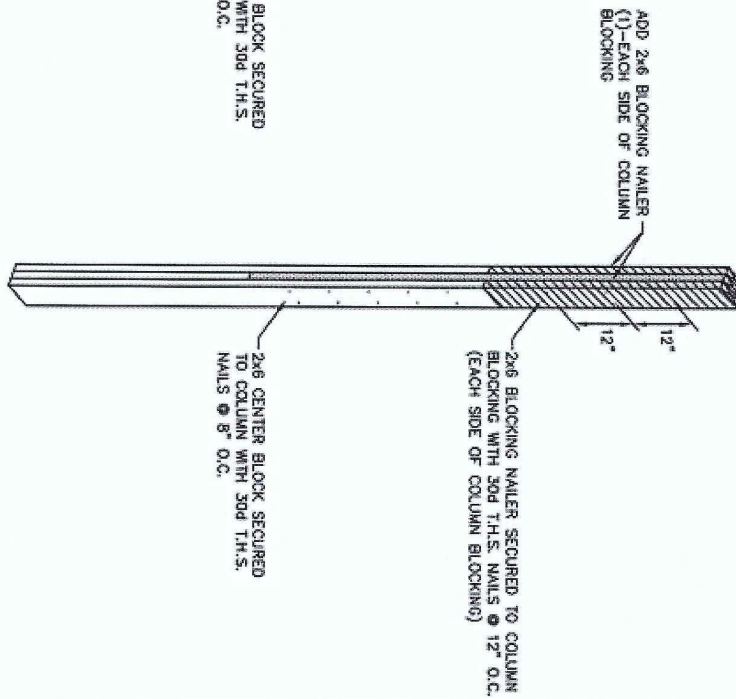
STEP 1
REMOVE CENTER BLOCK



STEP 2
ADD CENTER BLOCK
NAILS @ 8" O.C.



STEP 3
ADD SIDE BLOCKING NAILERS
NAILS @ 12" O.C.

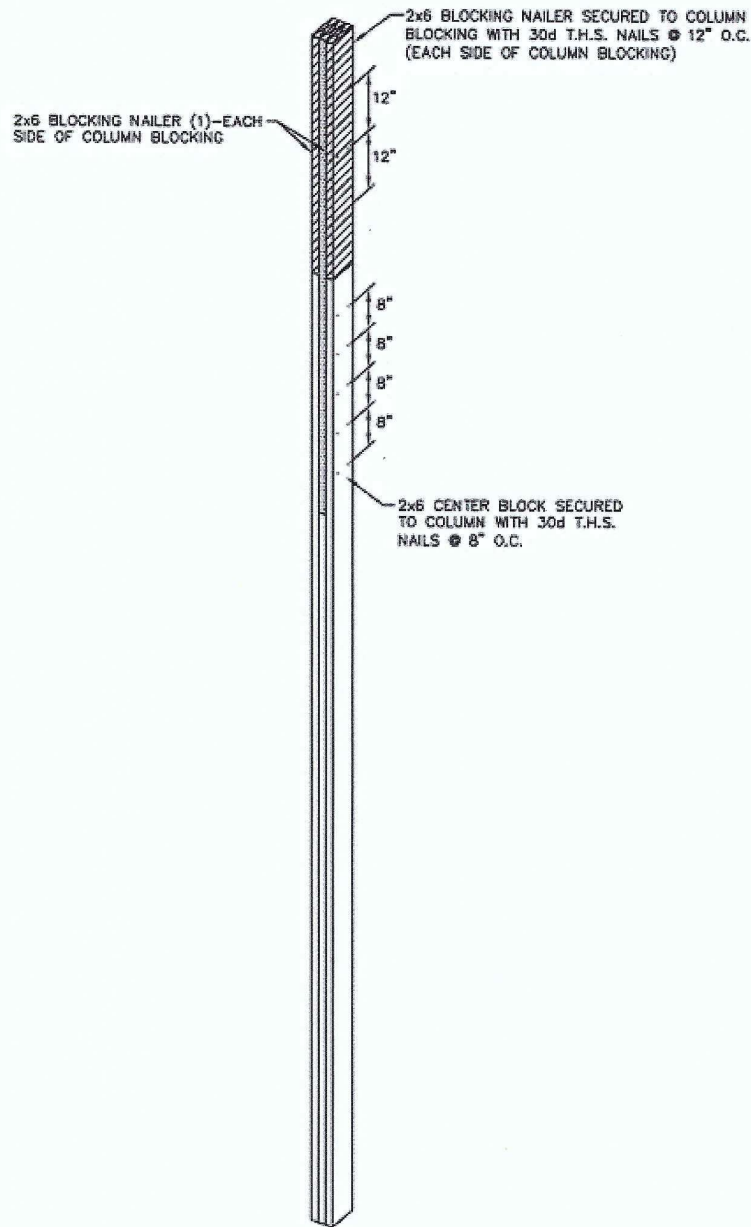


MWM

ENDWALL COLUMN BLOCKING


ENGINEERING SERVICES

5541 STATE RD. 2ND FLOR. VT. 05403 (254) 876-6999

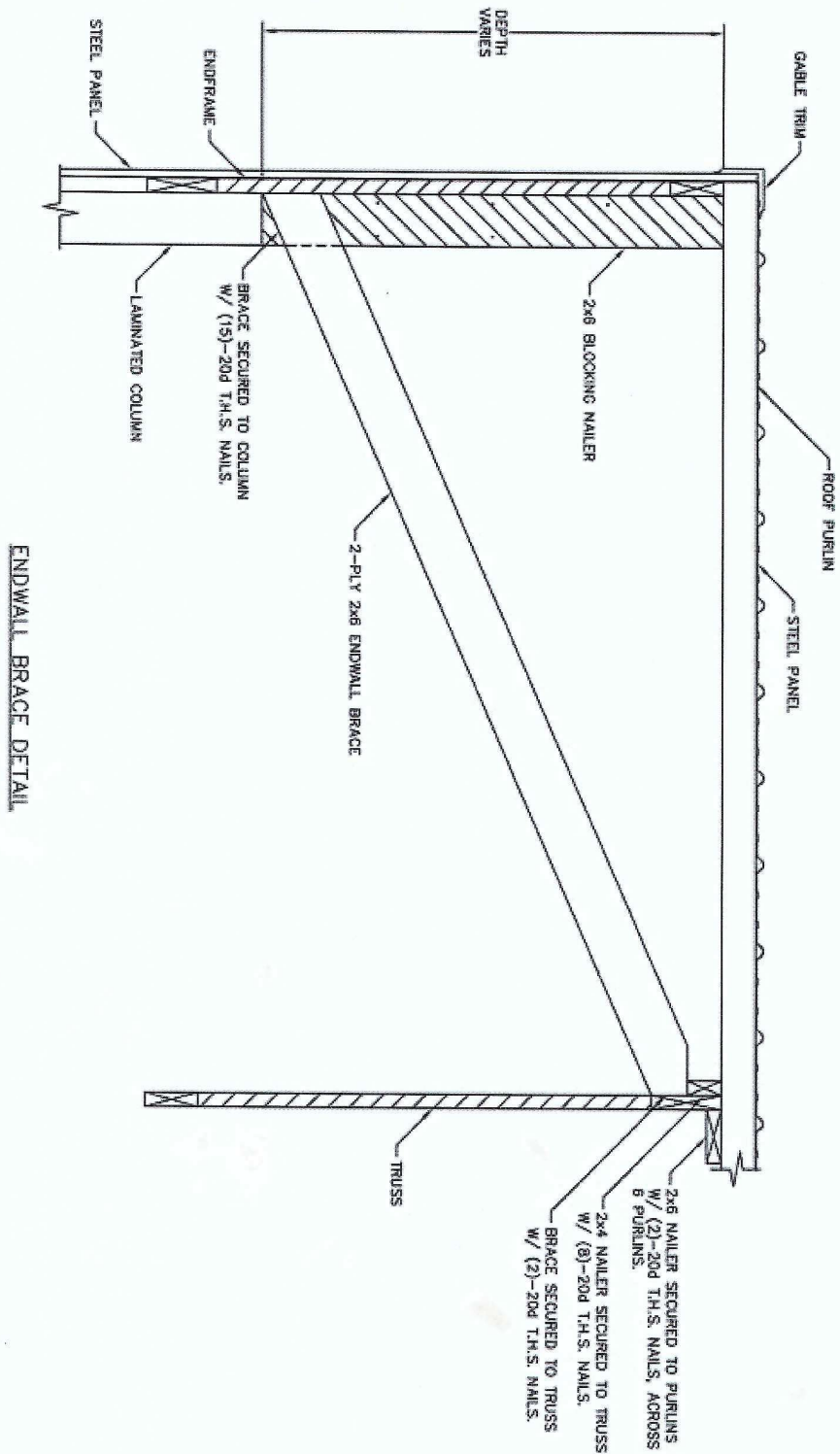


ENDWALL COLUMN BLOCKING DETAIL

ENDWALL COLUMN BLOCKING DETAIL



ENGINEERING SERVICES
6511 KEARF RD. WAU CLAIR, WI 54180 (726) 876-0860



ENDWALL BRACE DETAIL

ENGINEERING SERVICES

5551 KILBURN RD. 2ND FL. CLARK, NJ 07066 (732) 876-8550

Commissioner _____ introduced the following resolution and moved for its adoption:

RESOLUTION #24-108

A RESOLUTION APPROVING A VARIANCE TO HEIGHT RESTRICTIONS FOR A DETACHED ACCESSORY BUILDING LOCATED IN THE SIDE YARD OF THE PROPERTY GENERALLY KNOWN AS 17646 ST. FRANCIS BOULEVARD NW

RECITALS

1. The City of Ramsey received a Land Use Application from Charles and Angela Lattery (the "Applicant") for a Variance to the height restrictions of a detached accessory building located in the side yard of property generally known as 17646 St. Francis Boulevard NW and legally described as follows:

Lot 2, Block 1 Green Valley Estates, Anoka County, Minnesota

(the "Subject Property")

2. That the Subject Property is zoned Rural Residential and is guided as Rural Developing in the 2040 Comprehensive Plan.
3. That the surrounding properties are also zoned Rural Residential and guided as Rural Developing as well.
4. That the Subject Property is approximately 2.51 acres in size.
5. That the Applicant previously had a detached accessory building, which served as the primary garage, just to the north of the home.
6. That the Applicant removed the former detached accessory building in 2022 because it was dilapidated and the roof was collapsing in on itself.
7. That parcels between 2.50 acres and 3.49 acres are eligible for up to 2,700 square feet of detached accessory building space.
8. That, after the rewrite of the Zoning Code, the height of a detached accessory building located in the front or side yard is limited to twenty-four (24) feet or the height of the principal building, whichever is less (prior to the rewrite of Zoning Code, as long as a detached accessory building was in the side or rear yard, the height of the principal structure had no bearing on the height of a detached accessory building).
9. That the Applicant is proposing to construct a 2,688 square foot (42' x 64'), detached accessory building, which will measure twenty-four (24) feet in height from grade to peak, in the side yard of the Subject Property.

10. That the principal building on the Subject Property is a rambler with an approximate height of fifteen (15) feet.
11. That the Applicant has stated that they will have multiple 4-post hoists in the building to assist with additional storage space for their vehicles and equipment.
12. That the Applicant has stated that one of their mudding trucks is nine feet eight inches tall (9' 8") and is stored on a gooseneck trailer, which, combined, requires a sixteen (16) foot tall ceiling.
13. That the Subject Property has a significant grade change of approximately eighteen feet (18') from the front yard to the rear yard.
14. That the Applicant previously had Connexus Energy bury the line that provided power to the former detached garage and has proposed rebuilding in the same location to capitalize on power already being available.

FINDINGS OF FACT

1. That the Detached Accessory Building Height will not impair an adequate supply of light and air to adjacent property.
2. That the Detached Accessory Building Height will not unreasonably increase the congestion on the public street.
3. That the Detached Accessory Building Height will not have the effect of allowing any use prohibited in the Rural Residential District.
4. That the Detached Accessory Building Height will not permit a lesser degree of public health, safety, and general welfare protection than established by Chapters 106 and 117 of the Ramsey City Code, or permit standards which are lower than those required by state law.
5. That the Detached Accessory Building Height will not increase the danger of fire or endanger the public safety.
6. That the Detached Accessory Building Height will not unreasonably diminish or impair established property values within the neighborhood, or in any way be contrary to the intent of Chapters 106 and 117 of the Ramsey City Code.
7. That the Detached Accessory Building Height will be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and such use will not change the essential character of the area.
8. That the Detached Accessory Building Height will not violate the intent and purpose of the Comprehensive Plan.

9. That the Variance will be in accordance with the objectives and intent of Section 106-220 (Variances) of the Ramsey City Code.

NOW THEREFORE, BE IT RESOLVED BY THE PLANNING COMMISSION OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:

That the Ramsey Planning Commission hereby grants approval of a variance (the “**Variance**”) for the height of a detached accessory building, which will be located in the side yard, to exceed the height of the principal building on the **Subject Property**, subject to review and approval as to legal form and contingent upon the following conditions:

CONDITIONS

1. That this **Variance** shall allow a detached accessory building, with a height of twenty-four (24) feet from grade to peak, to be located in the side yard of the Subject Property as shown in **Exhibit 1**.
2. That the **Applicant** agrees that the detached accessory building will comply with all other regulations of both Zoning Code and MN State Building Code.
3. That the **Applicant** agrees the exterior finish of the detached accessory building will consist of beige metal paneling and green fascia, eaves, and wainscot, similar to the principal structure.
4. That the **Applicant** agrees to remove both membrane hoop structures from the Subject Property within thirty (30) days of a passing final building inspection for the detached accessory building.
5. That the **Applicant** agrees to have the two (2) front corner survey ‘pins’ found and exposed so that at the time of the footing inspection, the building inspector can verify the detached accessory building is meeting the minimum required setback of forty (40) feet.
6. That the **Applicant** agrees that no part of the detached accessory building shall be used for a home occupation unless in full compliance with City Code Section 106-425 (2) Home Occupations.
7. That the **Applicant** shall be responsible for all City costs incurred in administering and enforcing this **Variance**.
8. That this **Variance** shall be recorded against the Subject Property with the Anoka County Recorder’s Office prior to receiving a building permit for the detached accessory building.
9. That this **Variance** shall become null and void if the use is not initiated within twelve (12) months of the date of approval, and issuance of a building permit for the detached accessory building shall constitute initiation.

The motion for the adoption of the foregoing resolution was duly seconded by Commissioner _____, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

whereupon said resolution was declared duly passed and adopted by the Ramsey Planning Commission this the 24th day of October, 2024.

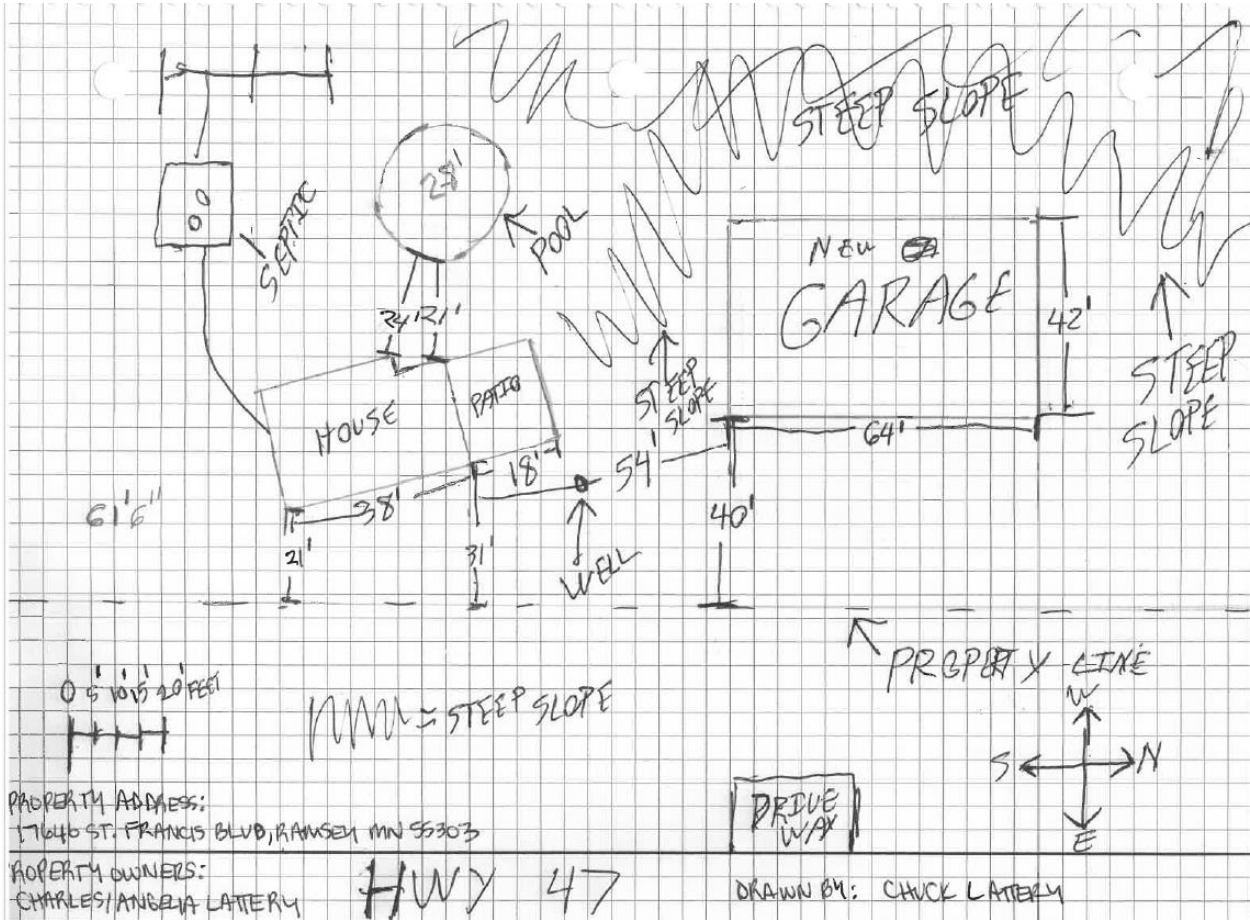
Planning Commission Chairperson

ATTEST:

City Clerk

The document drafted by:
The City of Ramsey
7550 Sunwood Dr NW
Ramsey, Minnesota 55303

**Exhibit 1
Site Plan**



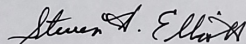
Steve Elliott
17700 St. Francis Blvd. NW
Ramsey, Mn. 55303
September 24, 2024

My next door neighbor came over to ask me if I would have an objection to his plans to build a forty by sixty-four foot pole building near where his garage used to be. The purpose of it is not for business reasons but rather to store items and vehicles that are in the yard on his property according to Chuck.

This neighbor is Chuck Lattery. His address is 17646 St. Francis Blvd.

I told him I did not have an objection to his putting up the above structure.

Steven H. Elliott

A handwritten signature in black ink that reads "Steven H. Elliott". The signature is written in a cursive style with a large, stylized "S" and "E".

Regular Planning Commission**Meeting Date:** 10/24/2024**Primary Strategic Plan Initiative:** Promote economic growth and development.**Information****Title:**

PUBLIC HEARING: Consider a Conditional Use Permit for Motor Vehicle Repair for Blanery LLC at 6591 141st Avenue NW

Purpose/Background:

Aliaksandr Blashchanitsa with Blanery LLC (the "Permittee") has submitted a Land Use Application for the development of a 0.95-acre parcel at 6591 141st Avenue NW (the "Subject Property"). The project will consist of a 9,600 square foot building for the proposed automotive repair business, 35 parking stalls, and driveways onto both 141st Avenue NW and Basalt Street NW. To accommodate the automotive repair use, the Permittee is requesting a Conditional Use Permit for Motor Vehicle Repair in the I-1 Light Industrial Zoning District.

It should be noted that this parcel is City-owned and the Permittee is proposing to purchase the parcel to accommodate the proposed automotive repair business.

Notification:

Staff attempted to notify property owners within 350 feet of the Subject Property, as reflected in the Anoka County Property Records, of the request and the Public Hearing to be held by the Planning Commission. A notice of the Public Hearing was published in the Anoka County Union Herald, the City's official newspaper. A proposed development sign was placed on the property at the intersection of 141st Avenue NW and Basalt Street.

Time Frame/Observations/Alternatives:Subject Property

The Subject Property, 6951 141st Avenue NW, is located in the southeastern part of Ramsey, bounded by 141st Avenue NW to the south, Basalt Street to the west, All Seasons Garage Door to the north, and an office building to the east. The Subject Property is zoned I-1, Light Industrial District, and is guided for Business Park land uses in the City's 2040 Comprehensive Plan. Surrounding properties are also zoned Light Industrial and guided for Business Park land use.

Site Plan

The proposed Site Plan includes a 9,600 square foot building for automotive repair and two parking lots: one for customers dropping off vehicles on the south side of the building accessing 141st Avenue NW and one fenced and gated parking lot accessing Basalt Street on the north side of the building for vehicles awaiting repair. Both driveways are spaced at least 150 feet from the intersection of 141st Avenue NW and Basalt Street. This spacing will help facilitate safer traffic patterns into and out of the Subject Property. The proposed development has 23.2 percent building coverage and 76.5 percent impervious surfacing coverage (which includes the building and all paved surfaces).

Architecture and Building Elevations

The building will be 25 feet tall, as measured from the finished grade to the top of the parapet. A vertical wood composite accent wall near the southwest building entrance will measure 27.5 feet in height. Aside from the accent wall, the rest of the building will be primarily clad in EIFS panels, with aluminum storefront windows and an architectural metal canopy surrounding the office and southwest entrance. There will be ten metal garage doors into the building's repair shop wing - eight on the north side opening into the fenced parking lot and two on the

south side opening into the customer parking lot. No signage was shown on the architectural plans, but any proposed signage will be reviewed administratively in accordance with Chapter 117 of City Code.

Landscape Plan

As noted in the Environmental Policy Board's (EPB) staff report from October 21st, the submittal includes a Landscape Plan for the project. The Landscape Plan includes a combination of deciduous and coniferous trees (a mix of Swamp White Oak and Norway Spruce), as well as some decorative grasses. Species and sizes are all acceptable. There are some trees currently on the Subject Property; however, all but one are proposed for removal. Staff only had a minor comment on the Landscape Plan, and it pertains to the Landscape Summary, which indicates that thirty-five (35) shrubs are proposed. In fact, what is proposed is decorative grasses, not shrubs. While shrubs are not required, Staff has recommended incorporating some into the Landscape Plan. The only open space there will be on the Subject Property is around the perimeter of the site, which is where all trees are proposed.

Lighting Plan

Section 106-310 of City Code provides lighting regulations for all developments in the City. All photometric readings shall measure less than 0.5 footcandles at the property line and shall measure at least 1.0 footcandle throughout the parking lot in compliance with City Code. The lighting plan includes a mix of freestanding and wall-mounted light fixtures to illuminate the site. All lighting must be downcast and shielded. Staff is working with the Applicant to ensure compliance with lighting regulations in City Code.

Utilities

The building will be connected to municipal water and sewer via stubs along 141st Avenue NW. There will also be connections from each parking lot into a storm sewer stub along 141st Avenue NW to manage storm water.

Conditional Use Permit Standards for Motor Vehicle Repair

As is common for most conditional uses in Ramsey, the requested conditional use has a set of specific performance standards that need to be met before that use can be approved. Those conditions are listed below, as stated in City Code Section 106-525 (in italics):

- *All repair operations must be conducted inside a building.* - The Permittee is designing the building to be large enough to accommodate all repair operations.
- *All vehicles must be properly licensed.* - The Permittee is responsible for ensuring compliance with this condition.
- *Parking of any vehicle is prohibited on an adjacent public roadway.* - The Permittee is responsible for ensuring all vehicles are parked on-site and not parked on any adjacent street. If necessary, "No Parking" signs may need to be installed, with installation costs being the responsibility of the Permittee.
- *Visibly damaged vehicles parked outdoors must be screened.* - The Permittee is proposing a fence and gate surrounding the north parking lot. Staff has requested additional information on the fence and gate to ensure compliance with various Zoning and Fire Codes.
- *No vehicle dealer's license may be issued for the property.* - Vehicle dealer's license applications are reviewed by Planning Staff, as regulated by the Minnesota Department of Public Safety, to ensure that a given property is properly zoned for Motor Vehicle Sales. Since Motor Vehicle Sales are a conditional use in the I-1 zoning district, and the Permittee is not seeking a CUP to allow Motor Vehicle Sales, Planning Staff will be able to reject these applications if any are submitted.

Additional Considerations

There are a few minor outstanding review comments, primarily relating to the lighting plan, landscaping, utility specifications, and the fence. Staff is working with the Permittee's team to ensure revised plans are received and reviewed in a timely fashion. The Permittee must address these comments prior to City Council's review and decision upon the Conditional Use Permit on November 12th. The most recent versions of the architectural, civil, and landscape plans do not reflect these outstanding changes, but they are attached to this staff report for reference.

Alternatives

Alternative 1: Recommend approval of the Conditional Use Permit, contingent upon satisfying the conditions

listed in Resolution #24-303.

Alternative 2: Recommend approval of the Conditional Use Permit with modifications, based on supporting findings of fact.

Alternative 3: Recommend denial of the Conditional Use Permit, based on supporting findings of fact.

Funding Source:

All costs associated with this request are the Applicant's responsibility.

Recommendation:

Staff recommends approval of the Conditional Use Permit, contingent upon satisfying the conditions listed in Resolution #24-303 and having updated plans in time for City Council review.

Outcome/Action:

Motion to recommend the City Council approve Resolution #24-303, Approving a Conditional Use Permit for Motor Vehicle Repair at 6591 141st Avenue NW, subject to the conditions specified within the Resolution.

Attachments

Resolution #24-303 Conditional Use Permit

Site Plan

Architectural Plan Set

Civil Plan Set

Landscaping Plan Set

Form Review

Inbox

Brian Hagen

Form Started By: Adam Martin

Final Approval Date: 10/16/2024

Reviewed By

Brian Hagen

Date

10/16/2024 10:25 AM

Started On: 10/15/2024 11:13 AM

Councilmember _____ introduced the following resolution and moved for its adoption:

RESOLUTION #24-303

**A RESOLUTION APPROVING A CONDITIONAL USE PERMIT FOR
MOTOR VEHICLE REPAIR AT 6591 141ST AVENUE NW**

RECITALS

1. Aliaksandr Blashchanitsa, on behalf of Blanery LLC and hereafter referred to as the “Permittee”, has properly applied for a Conditional Use Permit to construct and operate an auto repair business classified as “motor vehicle repair” per City Code Section 106-621 on the property generally known as 6591 141st Avenue NW and legally described as:

All that part of the North 200 feet of the South 233 feet of the South half of the Southeast quarter of Section 27, Range 32, Township 25, Anoka County, Minnesota, lying West of the East 1146 feet thereof and lying East of a line parallel with the East line of said South half of the Southeast quarter drawn Northerly from a point on the South line of said South half of the Southeast quarter a distance of 266.00 feet East of the Northwest corner of Lot 1 of the duly recorded plat of Auditor’s Subdivision Number 30, said Anoka County, said 266 feet being measured at right angles to the West line of said Lot 1 together with an easement for road purposes over the South 33 feet of the East 1146 feet of the South half of the Southeast quarter, Anoka County, Minnesota.

(the ‘Subject Property’);

2. That the Subject Property is zoned I-1, Light Industrial District, and is approximately 0.95 acres in size.
3. That the parcels surrounding the Subject Property in all directions are also zoned I-1, Light Industrial District.
4. That the Subject Property is guided as Business Park in the 2040 Comprehensive Plan.
5. That Motor Vehicle Repair is listed as a Conditional Use per City Code Section 106-621 (Principal Uses).
6. That the Permittee’s proposal is included in the definition of “Motor Vehicle Repair”, as stated in City Code Section 106-105 (Definitions)
7. That the Permittee has submitted a Site Plan designed by Demarc Land Surveying & Engineering and dated October 3, 2024, and architectural plans designed by Negen & Associates and dated October 3, 2024, both depicting the location of the approximately 9,600 square foot building, 35 parking stalls, and other site improvements.

FINDINGS OF FACT

1. That the motor vehicle repair use will not be unduly dangerous or detrimental to persons residing or working in the vicinity of the use or to the public welfare.
2. That the motor vehicle repair building will be designed in such a way that it will not change the essential character of the area.

3. That the motor vehicle repair use will not negatively impact essential public facilities and services, such as highways, streets, police and fire protection.
4. That the motor vehicle repair use will not create excessive additional requirements at public cost for public facilities and services and will not be detrimental to the economic welfare of the community.
5. That the motor vehicle repair use will not involve uses, activities and equipment that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, or odors.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF RAMSEY, ANOKA COUNTY, STATE OF MINNESOTA, as follows:

That the Ramsey City Council hereby grants approval of both the Site Plan and a Conditional Use Permit (the "Permit") for the construction and operation of an auto repair business classified as motor vehicle repair on the Subject Property contingent upon the following conditions:

CONDITIONS

1. That this Conditional Use Permit is valid only for motor vehicle repair and similar vehicle maintenance operations within the definition of "motor vehicle repair." It does not permit the sale of gasoline and other fuels, nor does it permit the sale of vehicles.
2. That the site improvements be constructed in accordance with the approved plans.
3. That the Permittee shall enter into a Development Agreement with the City of Ramsey.
4. That the Permittee agrees to conduct all repair operations inside the building on the Subject Property.
5. That the Permittee agrees that there shall not be any automotive parts, oil, or lubricants stored outside on the Subject Property.
6. That all visibly damaged vehicles parked outdoors must be located within a screened fenced area along the north side of the building.
7. That parking of any vehicle is prohibited on adjacent public roadways.
8. That no customer vehicles may remain outside of the fenced area on site after normal business hours.
9. That the Permittee shall be responsible for all City costs incurred in administering and enforcing this Permit.
10. That the Permittee shall apply for and obtain a building permit and all other necessary permits in accordance with City Staff's review comments, from the City of Ramsey and any other applicable agencies, for the site improvements.
11. That the Permittee shall be responsible for operating in full compliance with all applicable local, county, state and federal regulations and agrees to provide a copy of any other required permits.

12. That this Permit shall automatically expire if the use is not initiated within one (1) year of approval, and issuance of a Building Permit shall constitute initiation.

The motion for the adoption of the foregoing resolution was duly seconded by Councilmember _____, and upon vote being taken thereon, the following voted in favor thereof:

and the following voted against the same:

and the following abstained:

and the following were absent:

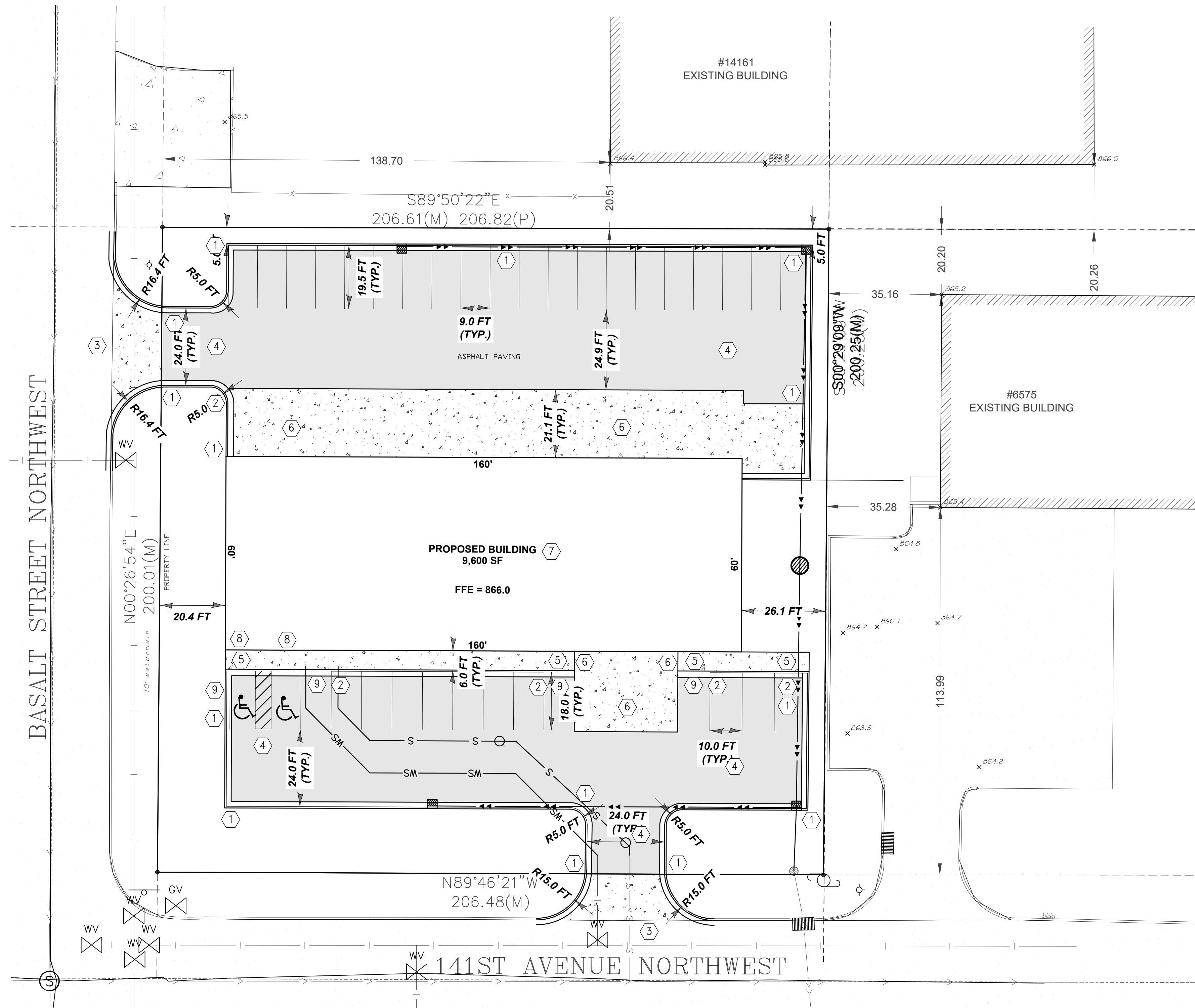
Whereupon said resolution was declared duly passed and adopted by the Ramsey City Council this the 12th day of November, 2024.

Mayor

ATTEST:

City Clerk

F:\survey\27-52-25\6591_141st Ave NW Ramsey\02 Engineering - 90818A\01 CAD\05 Sheet Files\04 Site Plan.dwg



REFERENCE NOTES:

- ① B612 CURB AND GUTTER
- ② B612 TIPOUT CURB AND GUTTER
- ③ COMMERCIAL ENTRANCE PER CITY DETAILS
- ④ BITUMINOUS PAVEMENT PER (4/C2)
- ⑤ CONCRETE SIDEWALK PER DETAILS (1/C3) AND (3/C3)
- ⑥ CONCRETE PAVEMENT PER (2/C3) AND (4/C3)
- ⑦ PROPOSED BUILDING. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DIMENSIONS.
- ⑧ HANDICAP SIGN ON WALL
- ⑨ 10' TRANSITION FROM FULL-HEIGHT CURB TO 0" HEIGHT CURB.

SITE DATA:

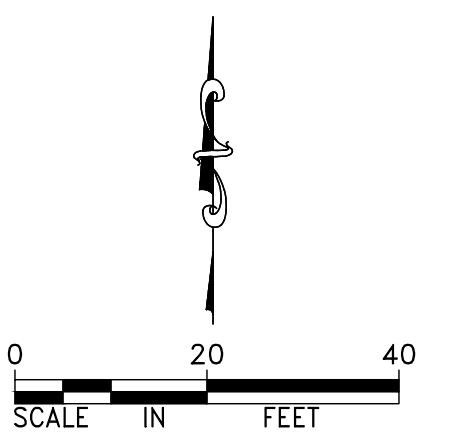
LOT AREA = 0.95 AC
 PROPOSED IMPERVIOUS AREA = 0.73 AC
 PROPOSED HARDCOVER = 76.5%

PARKING DATA:

STANDARD STALLS PROVIDED = 33
 HANDICAP STALLS PROVIDED = 2
 TOTAL PROPOSED PARKING STALLS = 35

LEGEND

- EXISTING BUILDING
- EXISTING CURB & GUTTER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING CONCRETE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED BITUMINOUS PAVEMENT
- EXISTING SIGN
- PROPOSED PARKING STRIPE



DESIGNED BY: JAP	I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA. JEFFREY A. PRASCH, P.E.	REVISIONS
DRAWN BY: ABL		10.03.24 CITY COMMENTS
CHECKED BY: GRP		
DATE: 09.13.24 LIC. NO.: 52706		

DEMARC
 LAND SURVEYING & ENGINEERING
 7601 73RD AVENUE N, BROOKLYN PARK, MN 55428
 PHONE: 763.560.3093 FAX: 763.560.3522
 www.Demarclnc.com

BLANERY LLC
 4764 ERICKSON DRIVE
 NEW HOPE, MINNESOTA 55428

AUTO REPAIR SHOP
 6590 141ST AVENUE NW
 RAMSEY, MINNESOTA

SITE PLAN

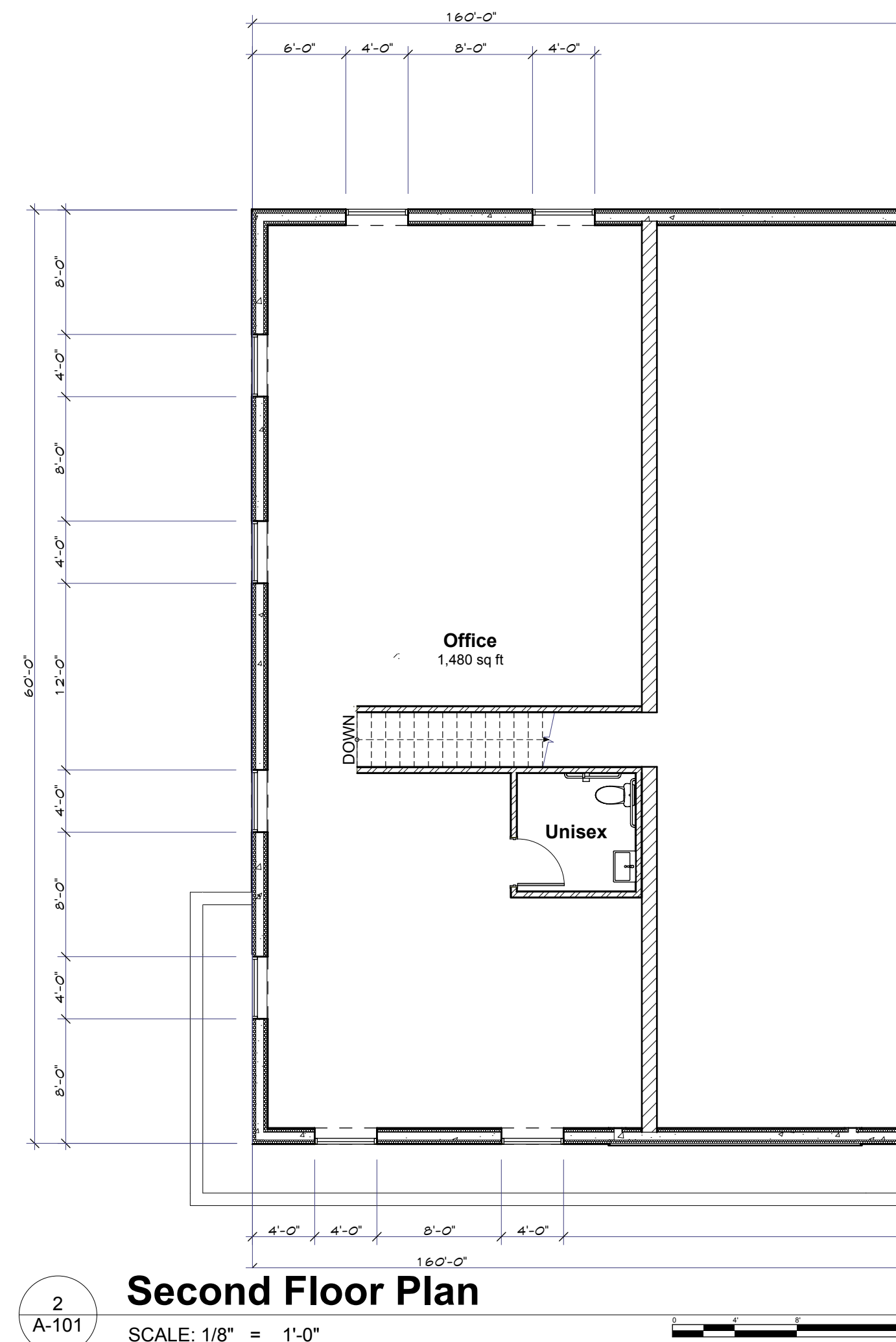
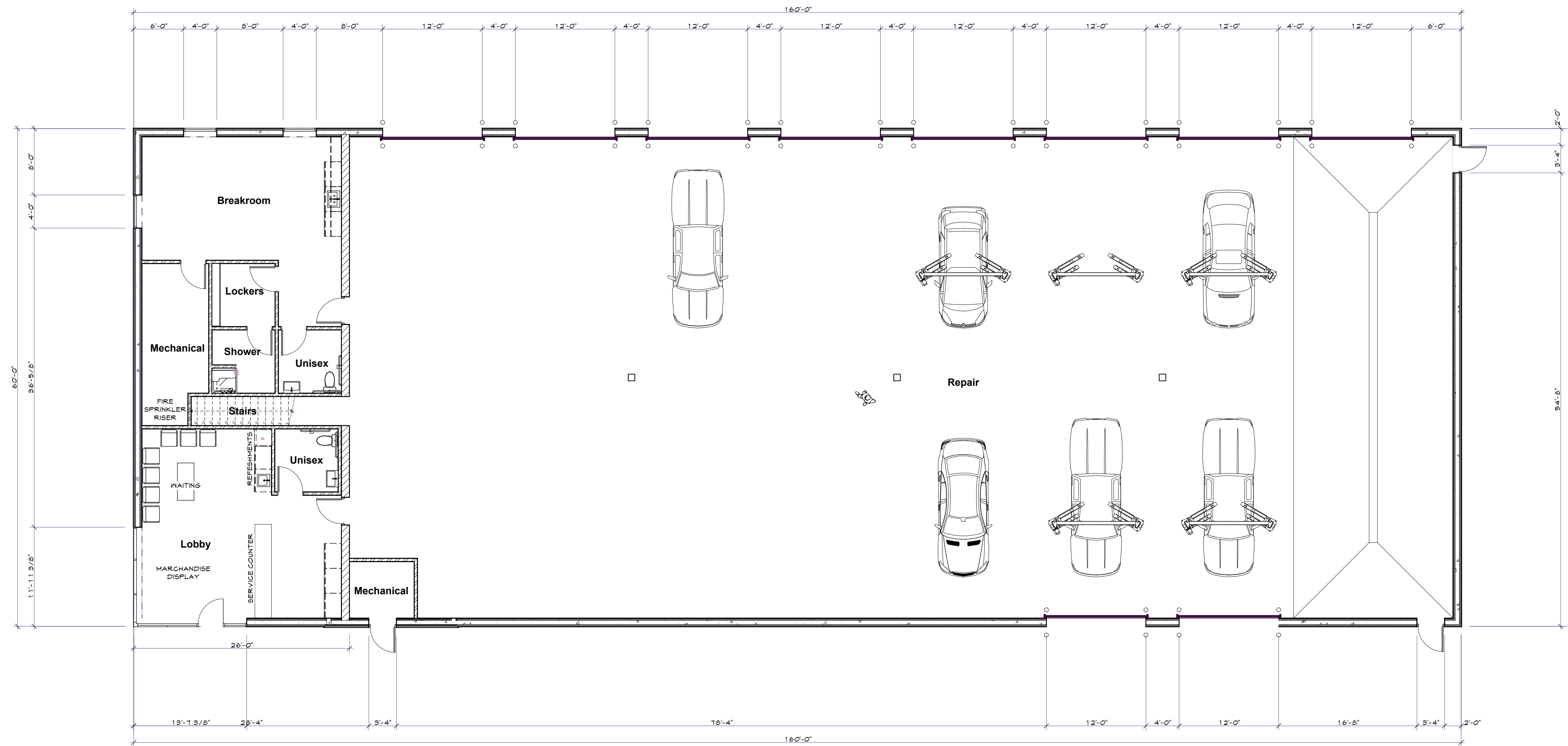
PROJECT: 90818
 SHEET NO.
 C5 of C7

Consultant

Certification
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.
Print Name: Lon Negen
Signature: *Lon Negen*
Date: 10/3/24 License No: 41402

**AUTO
REPAIR
SHOP**

**6590 141st Avenue
NW
Ramsey, MN 55303**



**1
A-101 First Floor Plan**

SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY. CROSS-CHECK DETAILS AND DIMENSIONS SHOWN ON THE ARCHITECTURAL DRAWINGS WITH RELATED REQUIREMENTS ON THE STRUCTURAL, MECHANICAL, CIVIL AND ELECTRICAL DRAWINGS.
2. FLOOR AND WALL OPENINGS, SLEEVES, VARIATION IN THE STRUCTURAL SLAB ELEVATIONS, DEPRESSED AREAS AND ALL OTHER ARCHITECTURAL, MECHANICAL, ELECTRICAL AND CIVIL REQUIREMENTS MUST BE COORDINATED BEFORE THE CONTRACTOR PROCEEDS WITH CONSTRUCTION.
3. IN ALL CASES WHERE A CONFLICT MAY OCCUR SUCH AS BETWEEN ITEMS COVERED BY SPECIFICATIONS AND NOTES ON THE DRAWINGS, OR BETWEEN GENERAL NOTES AND SPECIFIC DETAILS, THE ARCHITECT, AND/OR ENGINEER SHALL BE NOTIFIED AND HE WILL INTERPRET THE INTENT OF THE CONTRACT DOCUMENTS.
4. DETAILS NOTED AS TYPICAL SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE.
5. WHERE NO SPECIFIC DETAIL IS SHOWN, THE FRAMING OR CONSTRUCTION SHALL BE IDENTICAL SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION ON THIS PROJECT.
6. WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE CURRENT MINNESOTA STATE BUILDING CODE.
7. IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS OR DETAILS ON THE DRAWINGS.
8. THE PRECISE DIMENSIONS AND LOCATIONS OF ALL DOORS AND WINDOW OPENINGS SHALL BE DETERMINED FROM ARCHITECTURAL PLANS AND DETAILS, OTHER HALL AND FLOOR OPENINGS AS REQUIRED BY MECHANICAL, ELECTRICAL OR SIMILAR REQUIREMENTS SHALL BE VERIFIED FROM SHOP DRAWINGS, EQUIPMENT DATA, DIMENSIONS, ETC., AS REQUIRED.

**2
A-101 Second Floor Plan**

SCALE: 1/8" = 1'-0"

Revisions	
MARK	DATE

COMM. NO.:	240124
ARCHITECT:	L D N
DATE:	10/3/24

DRAWN BY: ...
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SD2.2 City Submittal

Floor Plans

A-101

Consultant

Certification
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Print Name: Lon Negen

Signature: *Lon Negen*
Date: 10/3/24 License No: 41402

**AUTO
REPAIR
SHOP**

**6590 141st Avenue
NW
Ramsey, MN 55303**

Revisions

MARK	DATE

COMM. NO.: 240124

ARCHITECT: L D N

DATE: 10/3/24

DRAWN BY: ...

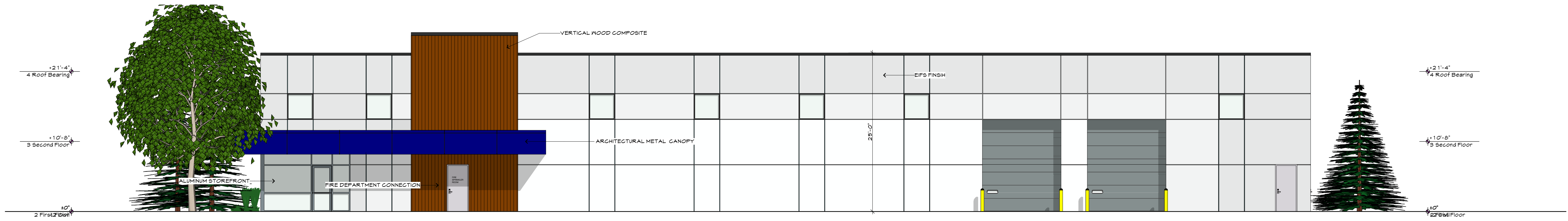
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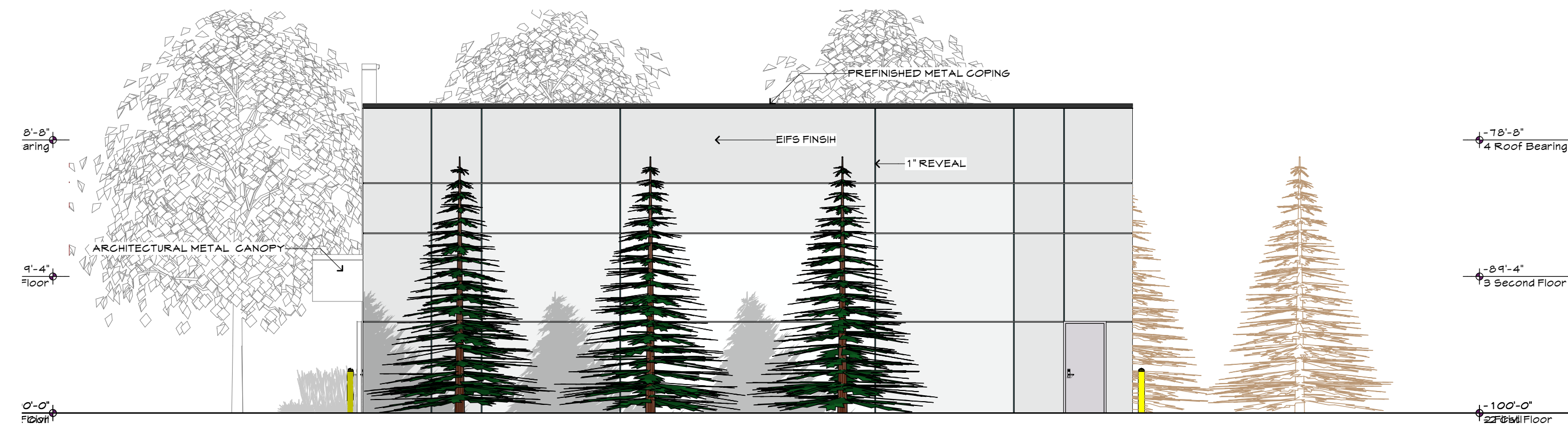
SD2.2 City Submittal

Exterior Elevations

A-201



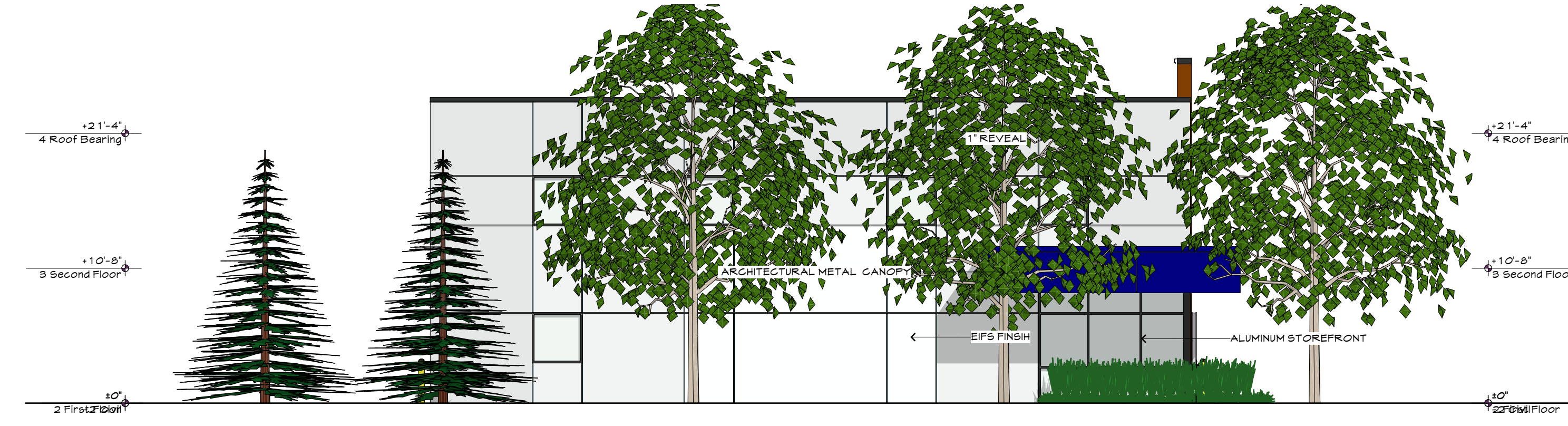
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A-201
South Elevation
SCALE: 1/8" = 1'-0"



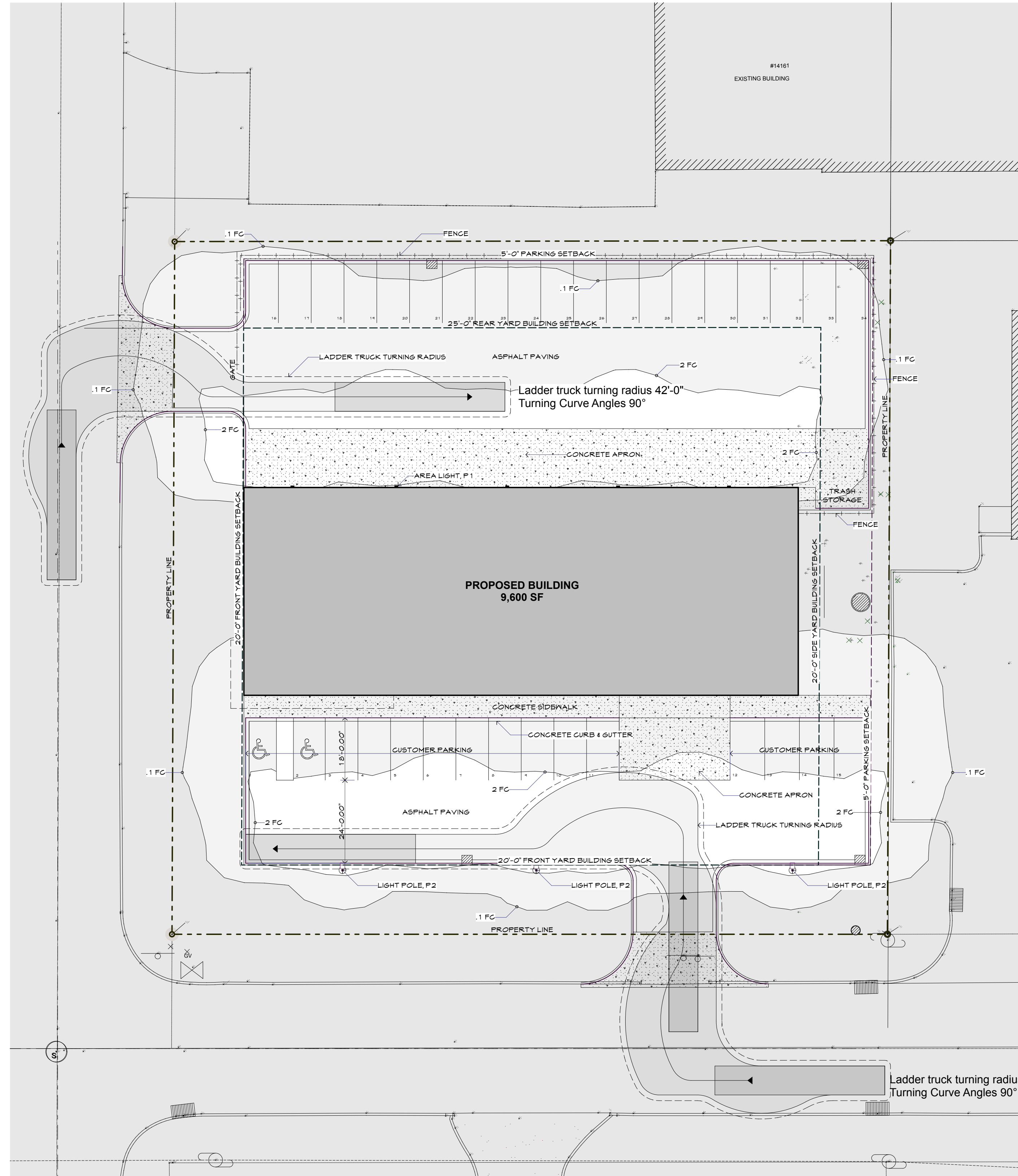
2
A-201
East Elevation
SCALE: 1/8" = 1'-0"



3
A-201
North Elevation
SCALE: 1/8" = 1'-0"



4
A-201
West Elevation
SCALE: 1/8" = 1'-0"



1
AS-001
Architectural Site Plan
SCALE: 1" = 20'

ZONING SUMMARY

ZONING DISTRICT:	I-1 Light Industrial																														
PERMITTED USE:	Motor Vehicle Repair																														
DESIGN AND DEVELOPMENT STANDARDS:	Light Industrial District standards, as required in Section 106-514, shall be observed.																														
	<table border="0"> <tr> <td>Minimum lot size:</td> <td>75 acre (32,670)</td> </tr> <tr> <td>Minimum lot width:</td> <td>200'-0"</td> </tr> <tr> <td>Minimum lot depth:</td> <td>150'-0"</td> </tr> <tr> <td>Maximum building height:</td> <td>50'-0"</td> </tr> <tr> <td>Maximum building footprint:</td> <td>5,000 sf</td> </tr> <tr> <td>Maximum building footprint:</td> <td>50%</td> </tr> <tr> <td>Maximum impervious coverage:</td> <td>80%</td> </tr> <tr> <td>Front yard setback:</td> <td>20'-0"</td> </tr> <tr> <td>Side yard setback:</td> <td>20'-0"</td> </tr> <tr> <td>Rear yard setback:</td> <td>20'-0"</td> </tr> <tr> <td>Minimum parking setback:</td> <td>Public right-of-way: 20'-0"</td> </tr> <tr> <td></td> <td>Side and rear yard: 5'-0"</td> </tr> <tr> <td></td> <td>Adjacent to residential zoning district: 35'-0"</td> </tr> <tr> <td></td> <td>Three spaces for each enclosed bay and one space for each full-time employee</td> </tr> <tr> <td></td> <td>8 (bay) x 30 (24) x 30 stalls</td> </tr> </table>	Minimum lot size:	75 acre (32,670)	Minimum lot width:	200'-0"	Minimum lot depth:	150'-0"	Maximum building height:	50'-0"	Maximum building footprint:	5,000 sf	Maximum building footprint:	50%	Maximum impervious coverage:	80%	Front yard setback:	20'-0"	Side yard setback:	20'-0"	Rear yard setback:	20'-0"	Minimum parking setback:	Public right-of-way: 20'-0"		Side and rear yard: 5'-0"		Adjacent to residential zoning district: 35'-0"		Three spaces for each enclosed bay and one space for each full-time employee		8 (bay) x 30 (24) x 30 stalls
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	Three spaces for each enclosed bay and one space for each full-time employee																														
	8 (bay) x 30 (24) x 30 stalls																														
PROPOSED:	<table border="0"> <tr> <td>Lot area:</td> <td>41,338 sf</td> </tr> <tr> <td>Impervious surface area:</td> <td>31,546 sf</td> </tr> <tr> <td>Proposed impervious surface coverage:</td> <td>76%</td> </tr> <tr> <td>Building height:</td> <td>35'-0" / 27'-0"</td> </tr> <tr> <td>Parking:</td> <td>34</td> </tr> <tr> <td>Outdoor lighting:</td> <td>Per ordinance</td> </tr> </table>	Lot area:	41,338 sf	Impervious surface area:	31,546 sf	Proposed impervious surface coverage:	76%	Building height:	35'-0" / 27'-0"	Parking:	34	Outdoor lighting:	Per ordinance																		
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Building height:	35'-0" / 27'-0"																														
Parking:	34																														
Outdoor lighting:	Per ordinance																														

LIGHTING SUMMARY


- ELECTRICAL PLANS ARE DIAGRAMMATIC AND INDICATE APPROXIMATE LOCATIONS ONLY. CONTRACTOR IS RESPONSIBLE FOR LOGGATOR COORDINATION.
- CALCULATIONS ASSUME A 25'-0" POLE WITH 3' EXTENDED CONCRETE BASE.
- MEDINA CITY CODE: 0.8 FC MAX. SHALL SPILL AT PROPERTY LINE MEASURED 5'-0" ABOVE GRADE.

SYMBOL	MANUFACTURER	LABEL	MOUNTING HEIGHT	LUM. WATTS	LLF	DESCRIPTION
■	NLS LTG	P1	20'	160	0.900	NV-M2-T3-64L-7-40KT-UNV
□	NLS LTG	P2	20'	160	0.900	NV-2-T4-80L-1-40KT-UNV

LABEL	UNITS	AVG.	MAX.	MIN.	AVG. / MIN.	AVG. / MAX.
PROPERTY LINE @ 5'-0" ABOVE GRADE	FC	0.03	0.2	0.0	N.A.	N.A.
PARKING LOT	FC	2.11	4.7	0.4	5.28	11.78

NV-2-T4-80L-1-40KT-HSS

Consultant

Certification
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.
Print Name: Lon Negen
Signature: 
Date: 10/3/24 License No: 41402

AUTO REPAIR SHOP

**6590 141st Avenue NW
Ramsey, MN 55303**

Revisions	
MARK	DATE

COMM. NO.:	240124
ARCHITECT:	L D N
DATE:	10/3/24

DRAWN BY: ...
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SD2.2 City Submittal

Architectural Site Plan

AS-001

SITE DEVELOPMENT PLANS

FOR

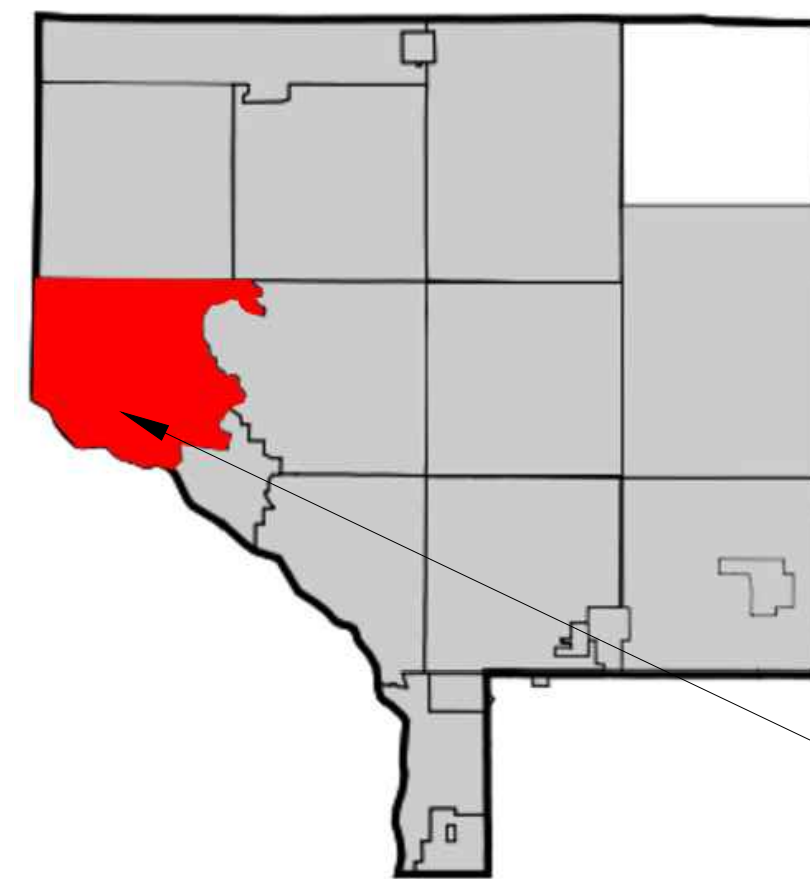
AUTO REPAIR SHOP

6590 141ST AVENUE NW
RAMSEY, MINNESOTA



SITE LOCATION

ANOKA COUNTY, MINNESOTA



SITE LOCATION

CITY OF RAMSEY, ANOKA COUNTY



SHEET INDEX

THIS PLAN CONTAINS 7 SHEETS

SHEET NO.	DESCRIPTION
C1	TITLE SHEET
C2-C3	DETAILS
C4	EXISTING CONDITIONS & REMOVALS PLAN
C5	SITE PLAN
C6	GRADING, DRAINAGE & EROSION CONTROL PLAN
C7	UTILITY PLAN



CALL BEFORE YOU DIG!

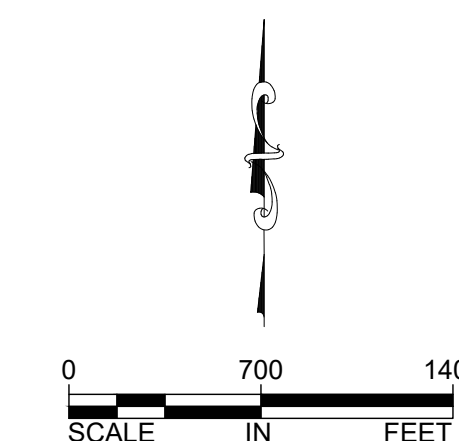
Gopher State One Call

Twin City Area: 651-454-0002
Toll Free: 1-800-252-1166

THE SUBSURFACE UTILITY INFORMATION DEPICTED IN THESE PLANS ARE SHOWN ACCORDING TO CI/ASCE 38-02, "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA," LEVEL D STANDARDS.

LEGEND

IMPAIRED WATERS



BENCHMARK: MNDOT MONUMENT RM1 DISK "FANT" ELEVATION = 870.63 FEET (NAVD 88)

F:\survey\27-32-25\6591_141st Ave NW Ramsey\02_Engineering - 90818A\01 CAD\05 Sheet Files\01 Title Sheet.dwg

DESIGNED BY:	I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.		
JAP	10.03.24	CITY COMMENTS	
DRAWN BY:			
ABL			
CHECKED BY:	JEFFREY A. PRASCH, P.E.		
GRP	DATE: 09.13.24	LIC. NO.:	52706

REVISIONS	

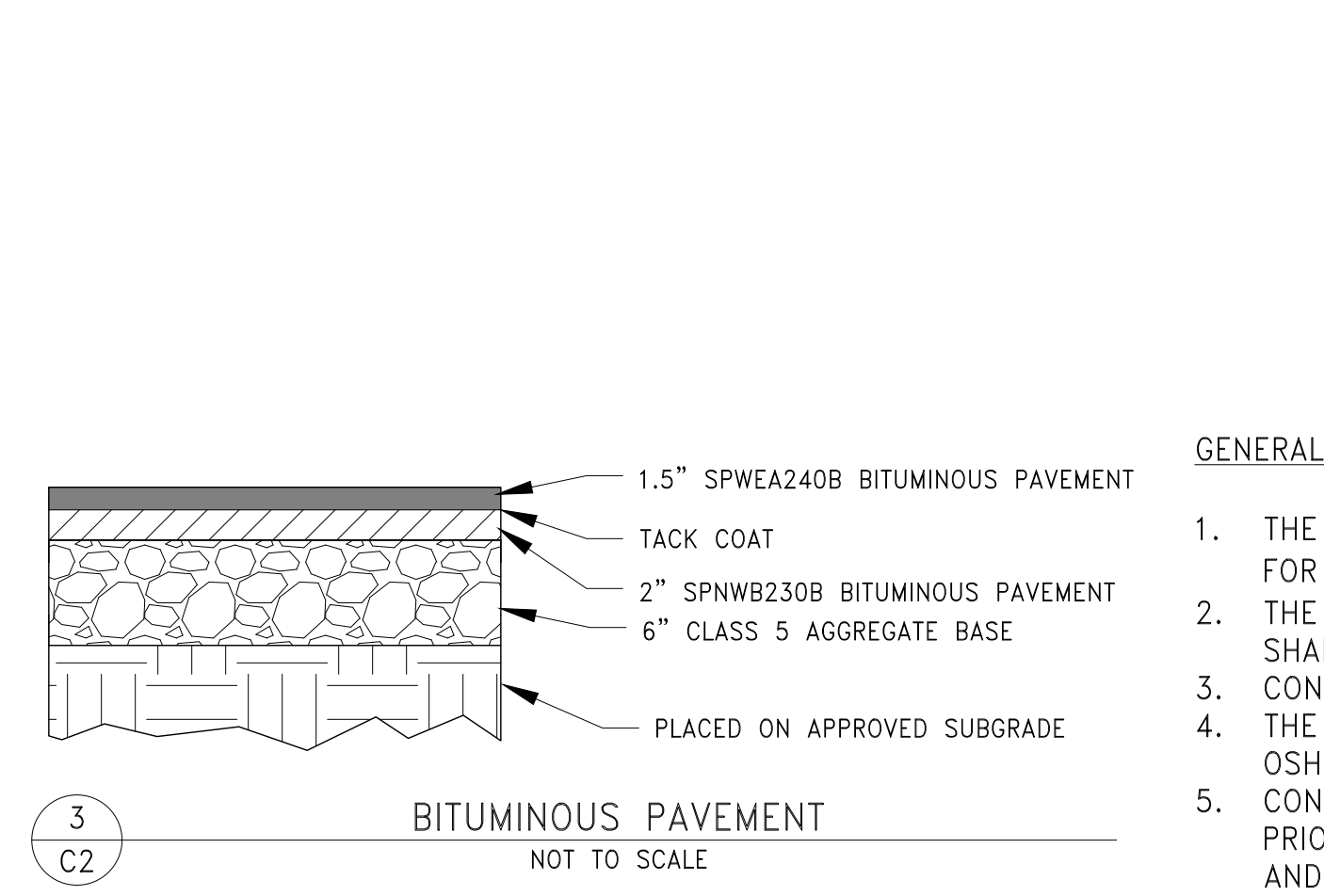
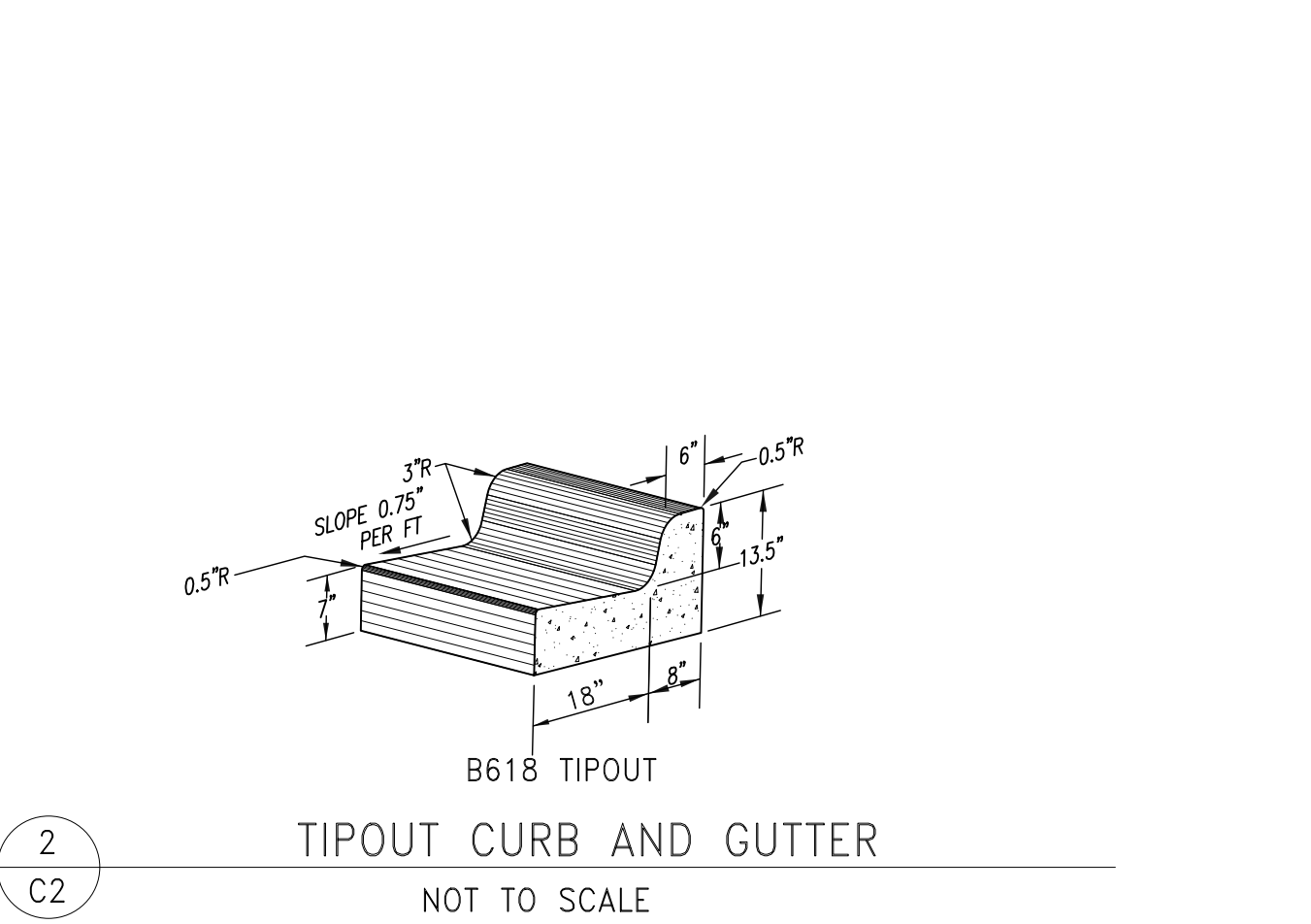
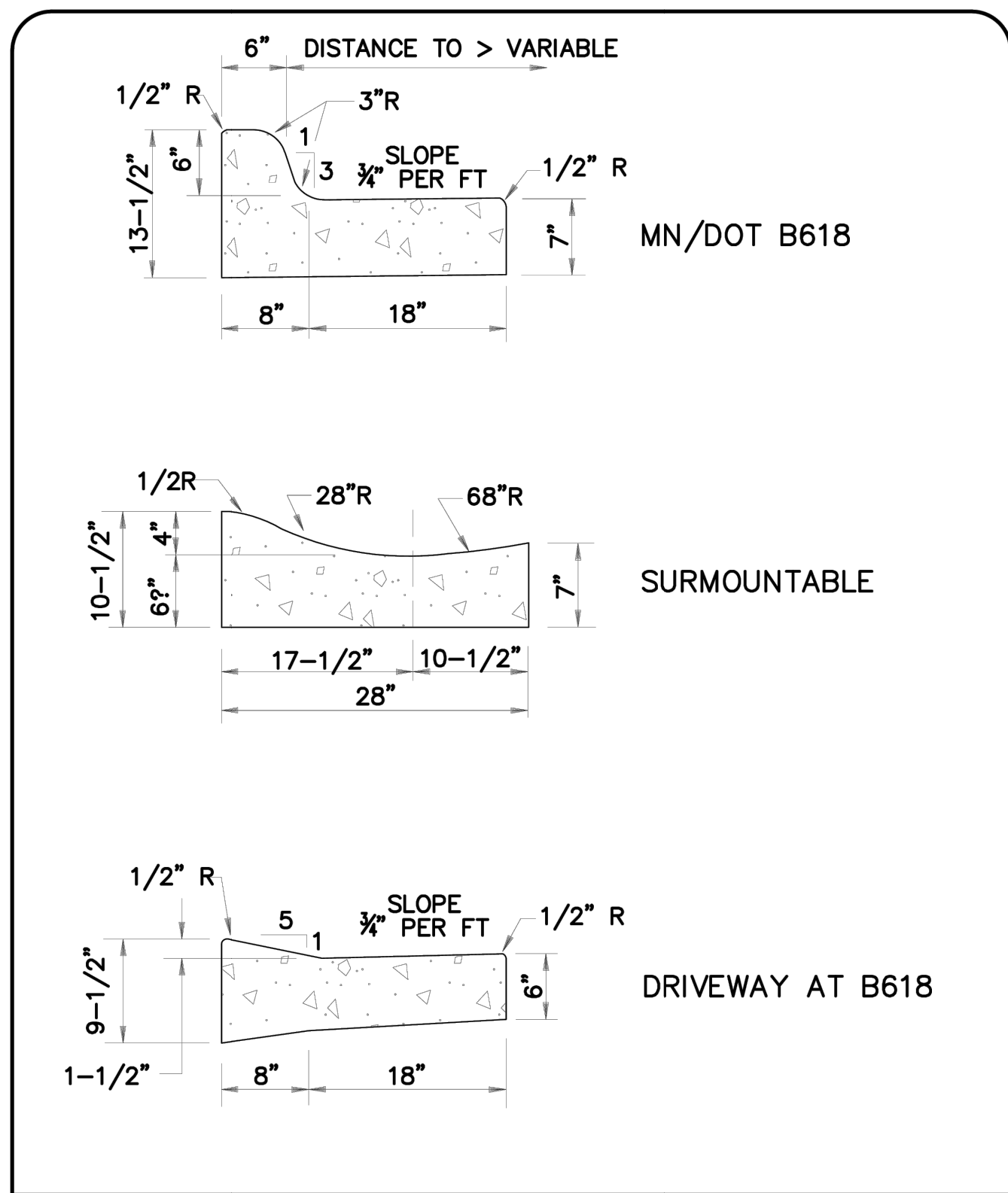
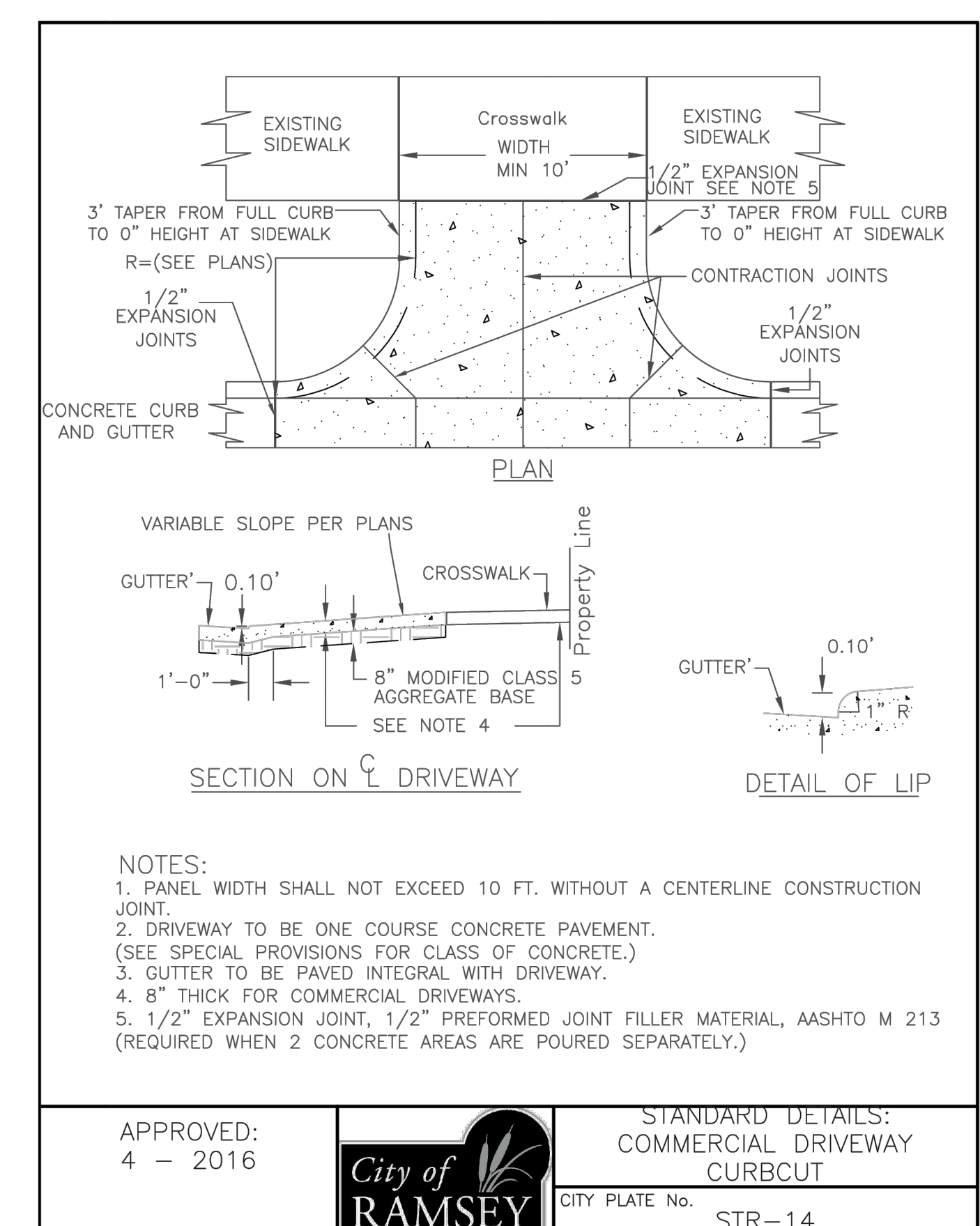
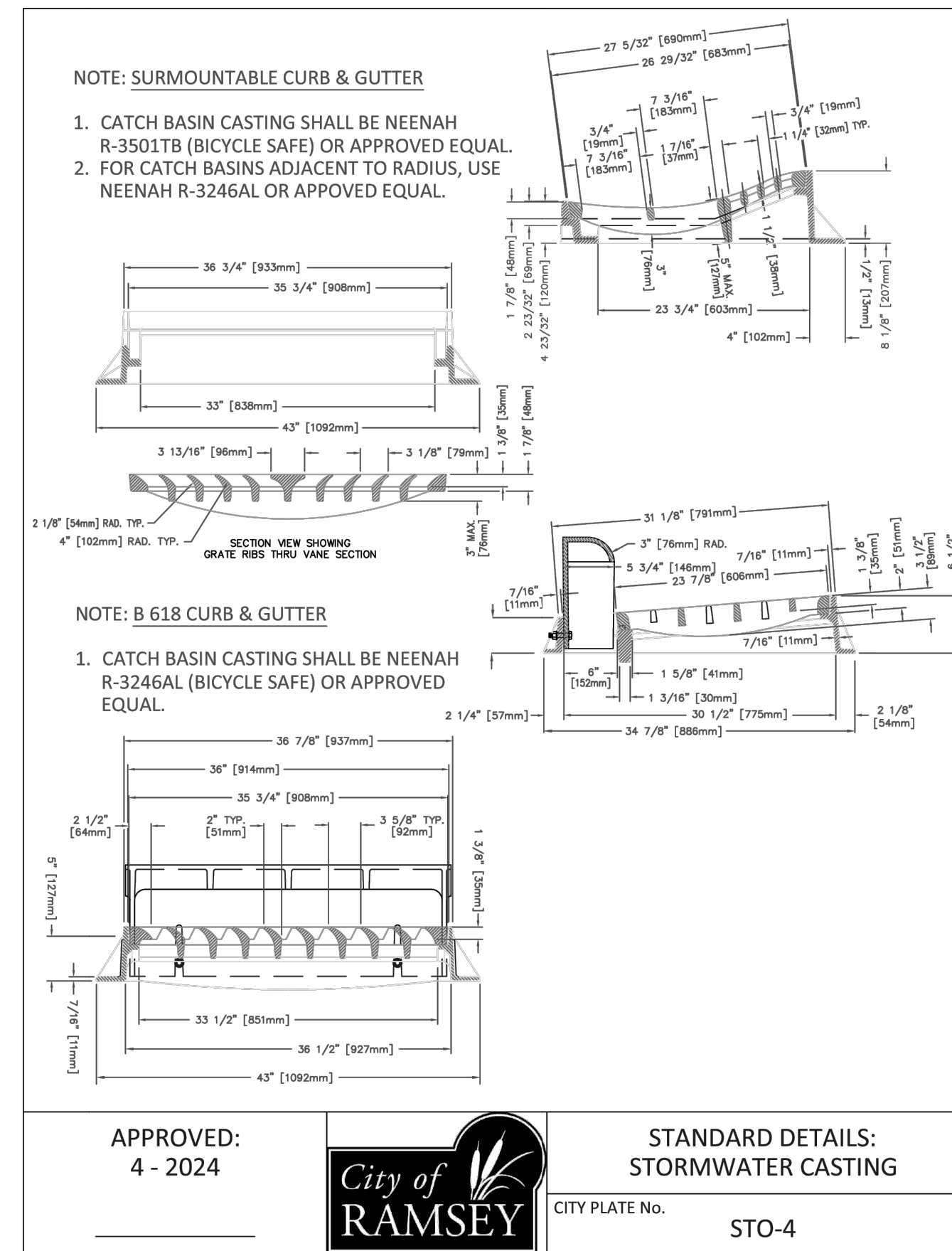
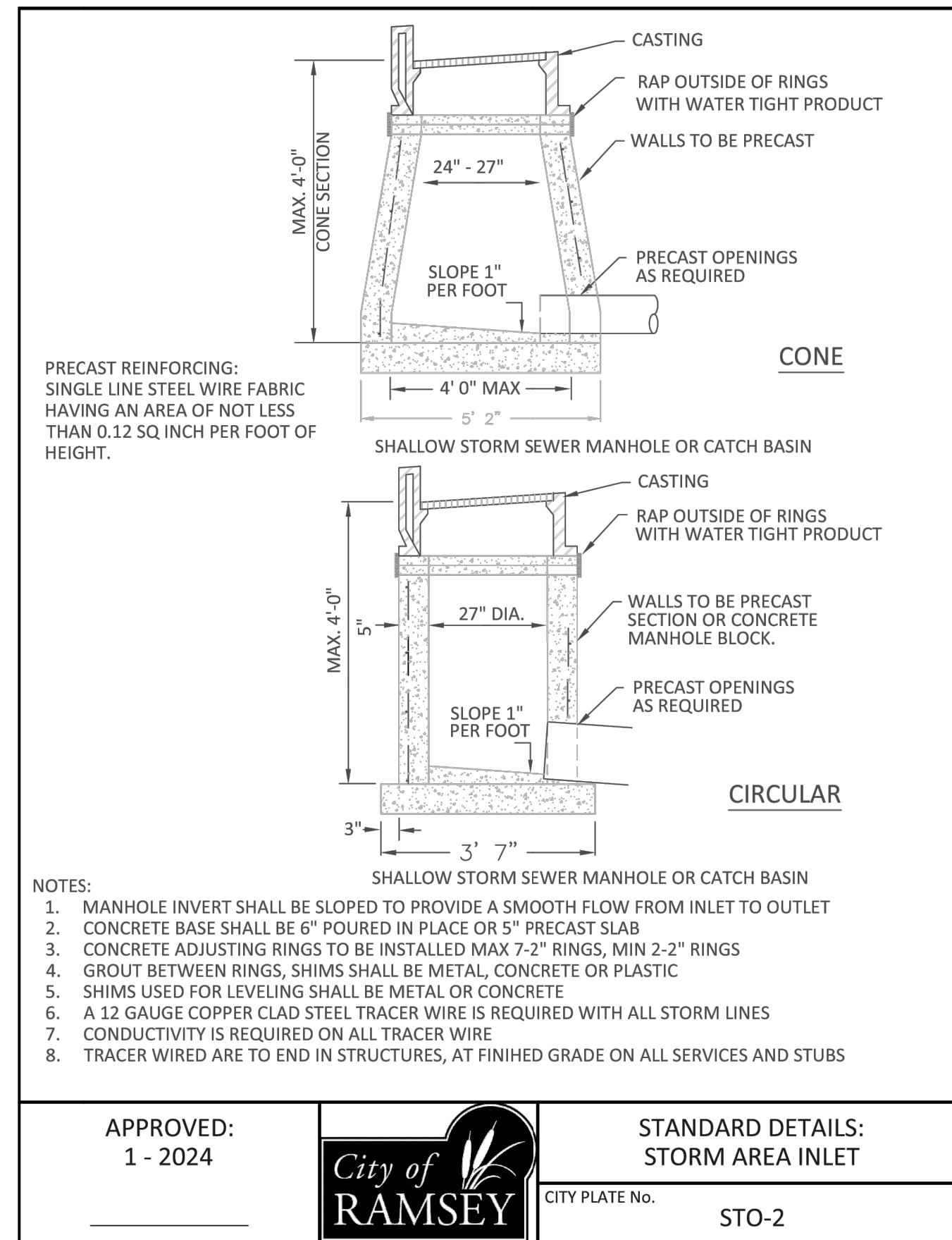
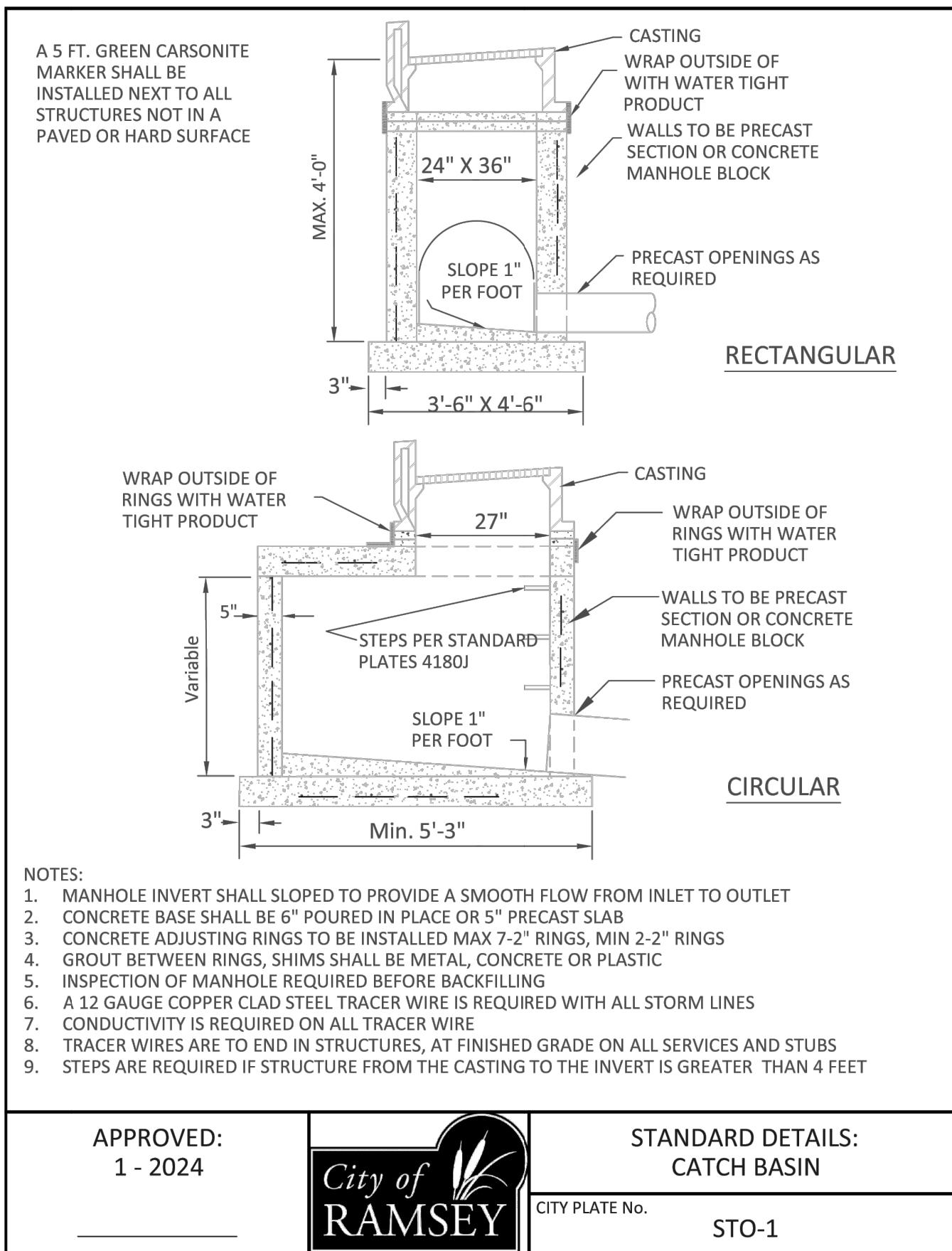
DEMARC
LAND SURVEYING & ENGINEERING
7601 73RD AVENUE N, BROOKLYN PARK, MN 55428
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BLANERY LLC
4764 ERICKSON DRIVE
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AUTO REPAIR SHOP
6590 141ST AVENUE NW
RAMSEY, MINNESOTA

TITLE SHEET

PROJECT: 90818
SHEET NO.
C1 of C7



- GENERAL CONSTRUCTION AND SOILS NOTES:**
1. THE 2020 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" SHALL APPLY.
 2. THE 2020 EDITION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA "STANDARD SPECIFICATIONS" SHALL APPLY.
 3. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES, LAWS AND ORDINANCES.
 4. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR FOLLOWING ALL APPLICABLE OSHA STANDARDS.
 5. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND CALL GOPHER STATE ONE CALL 48 HOURS PRIOR TO CONSTRUCTION WORK. EXISTING UTILITIES SHOWN ON THESE PLANS ARE ONLY APPROXIMATE AND MAY NOT BE RELIED UPON AS EXACT OR COMPLETE.
 6. IF UTILITY RELOCATION IS NECESSARY, THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES.
 7. MATERIAL UNSUITABLE FOR CONSTRUCTION (E.G. TOPSOIL, SILTS, ROOTS, ORGANIC MATERIALS, PEATS, DEBRIS, ETC.) ENCOUNTERED DURING EXCAVATION WITHIN THE PARKING LOT AND BUILDING SHALL BE REMOVED AND PROPERLY DISCARDED UNLESS OTHERWISE APPROVED BY THE SOILS ENGINEER.
 8. FILL WITHIN THE PARKING LOT AND BUILDING SHALL BE SUITABLE MATERIAL AND PLACED IN LOOSE LIFTS NO THICKER THAN TWELVE (12) INCHES. COMPACTION WITHIN THE PARKING LOT AND BUILDING SHALL BE COMPACTED TO 100% OF THE MAXIMUM STANDARD PROCTOR DENSITY WITHIN THE TOP 3 FEET. SUITABLE MATERIAL SHALL CONSIST OF SW, SP, SP-SM, AND SM USCS CLASSIFICATIONS.
 9. TOPSOIL SHALL BE SALVAGED AND STOCKPILED FOR USE AS TOPSOIL IN GREEN SPACES DISTURBED DUE TO CONSTRUCTION.
 10. THE CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF BITUMINOUS AND CONCRETE MATERIALS DISTURBED BY CONSTRUCTION IN ACCORDANCE WITH MNDOT SPEC 2104.3.
 11. ALL EXCESS MATERIAL SHALL BE DISPOSED OF OFFSITE.

F:\survey\27-32-25\6591 141st Ave NW Ramsey\02 Engineering - 90818A\01 CAD\05 Sheet Files\02 Details.dwg

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DRAWN BY:	ABL	
CHECKED BY:	GRP	
DATE:	09.13.24	

JEFFREY A. PRAESCH, P.E.

LIC. NO.: 52706

NO.	REVISIONS

DEMARC

LAND SURVEYING & ENGINEERING

7601 73RD AVENUE N, BROOKLYN PARK, MN 55428

PHONE: 763.560.3093 FAX: 763.560.3522

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BLANERY LLC

4764 ERICKSON DRIVE

NEW HOPE, ARIZONA 55428

AUTO REPAIR SHOP

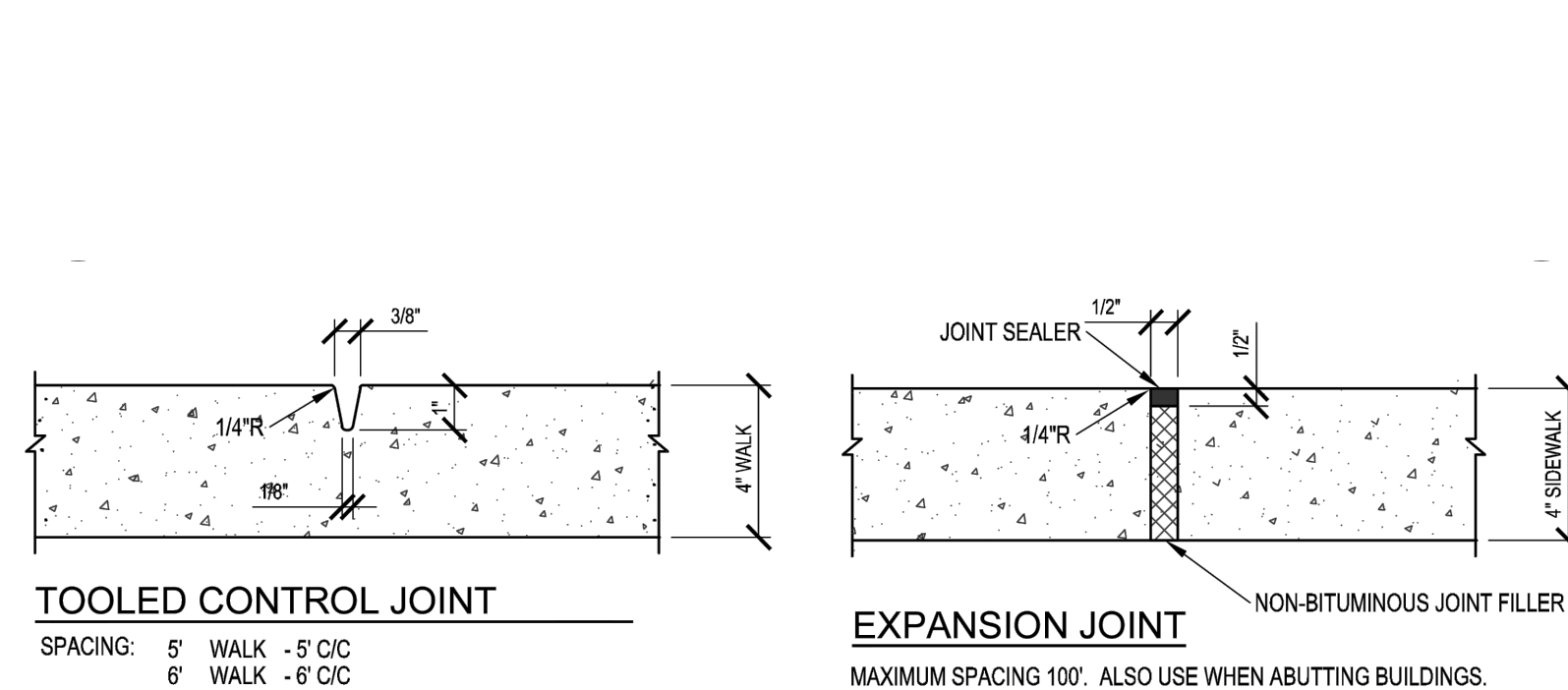
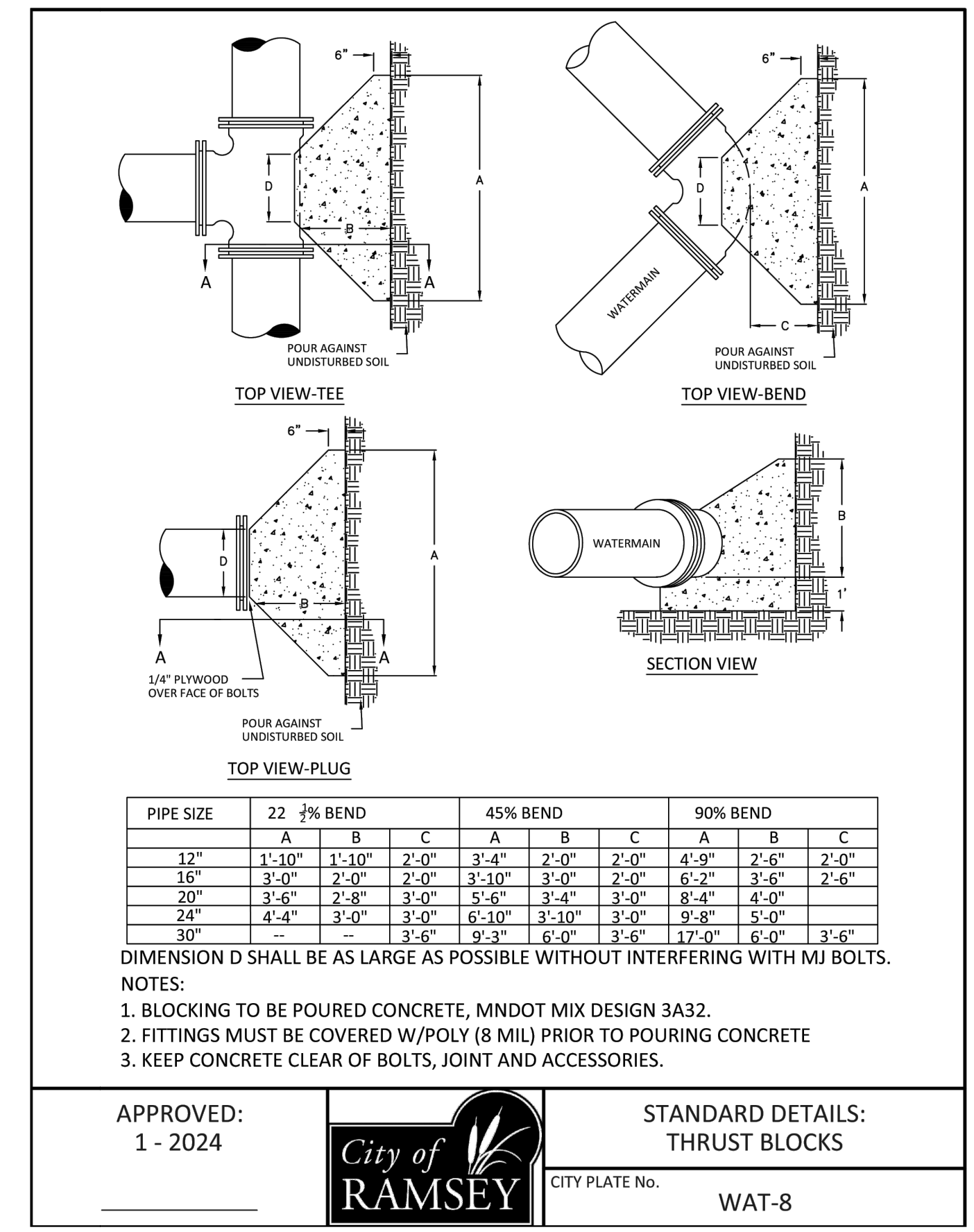
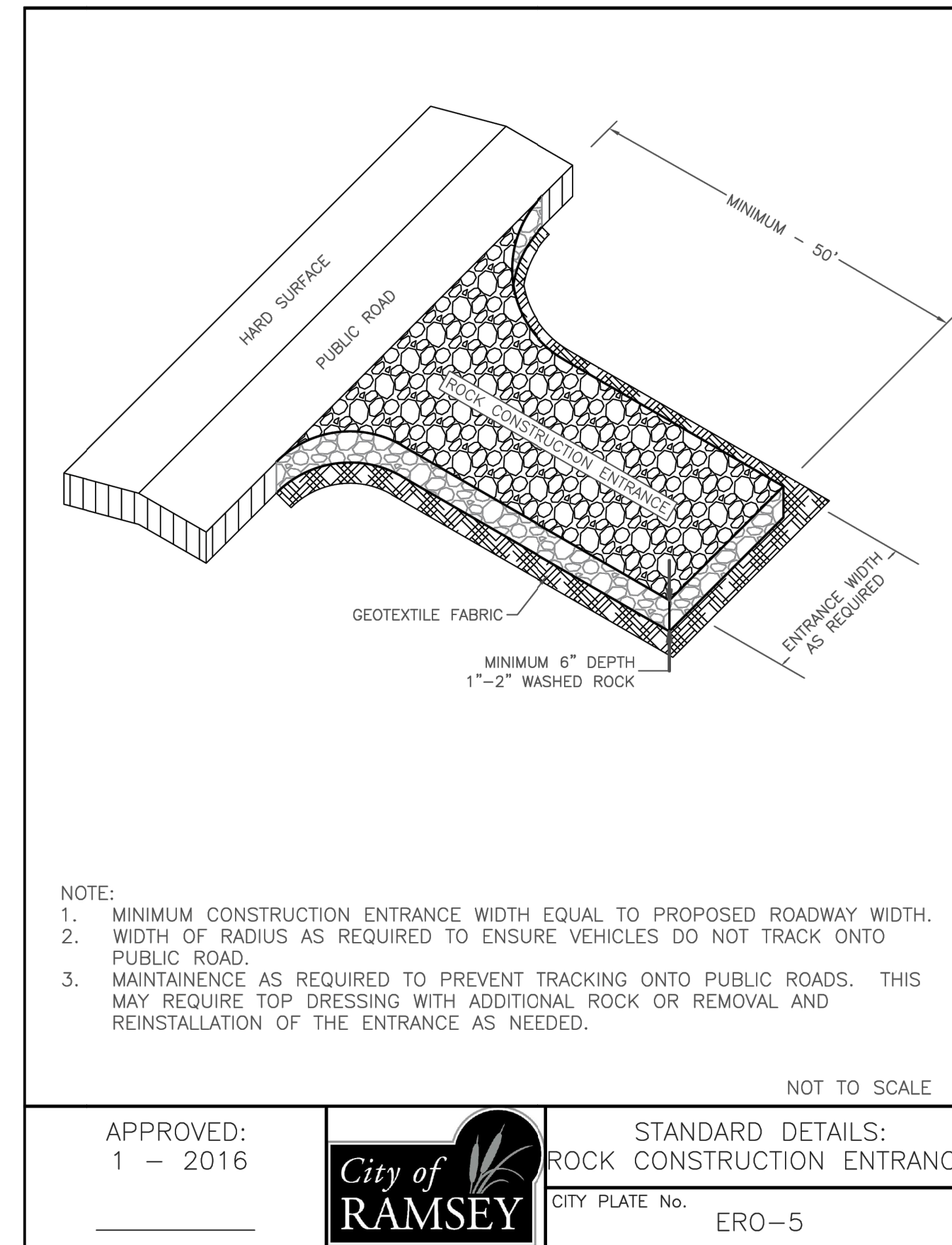
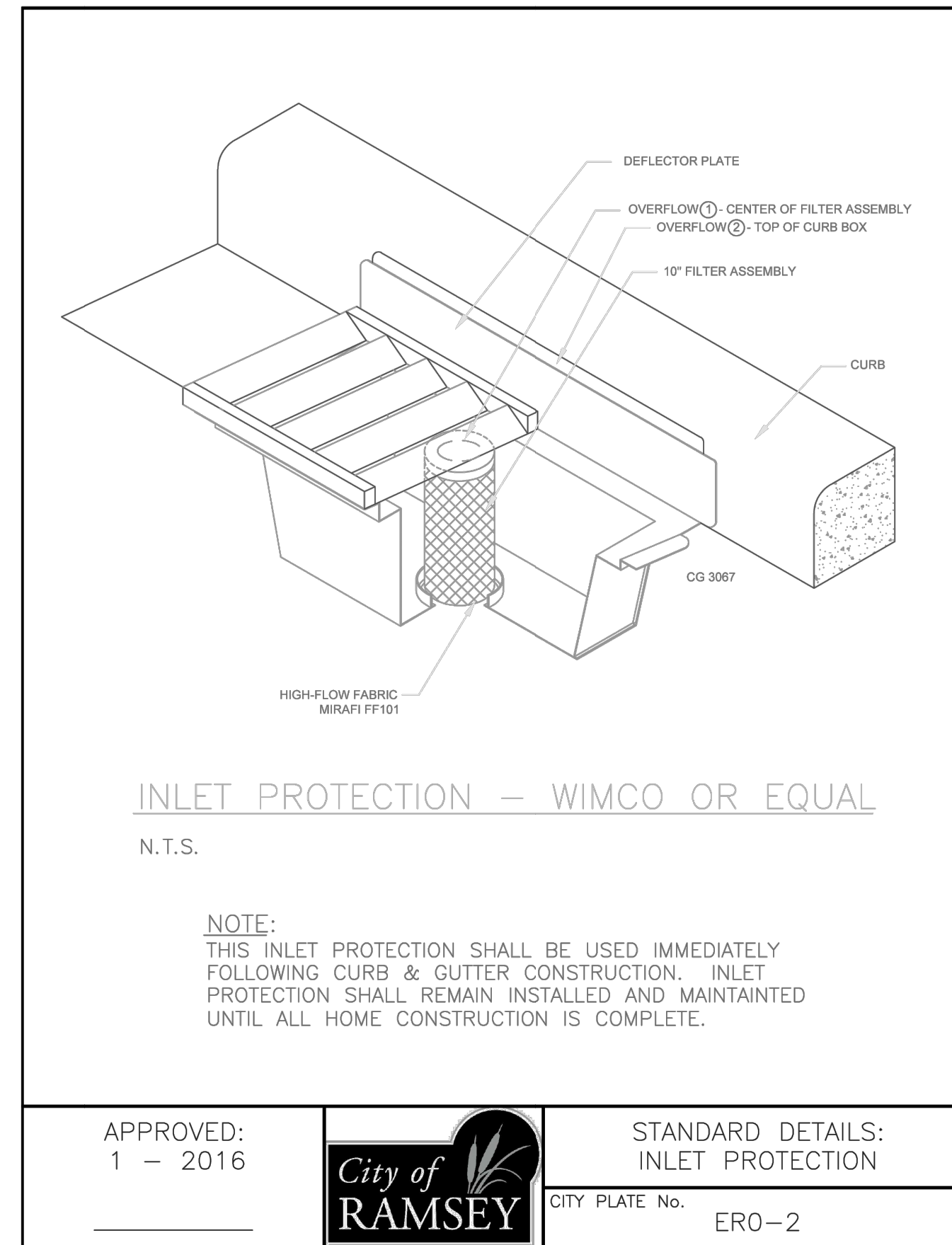
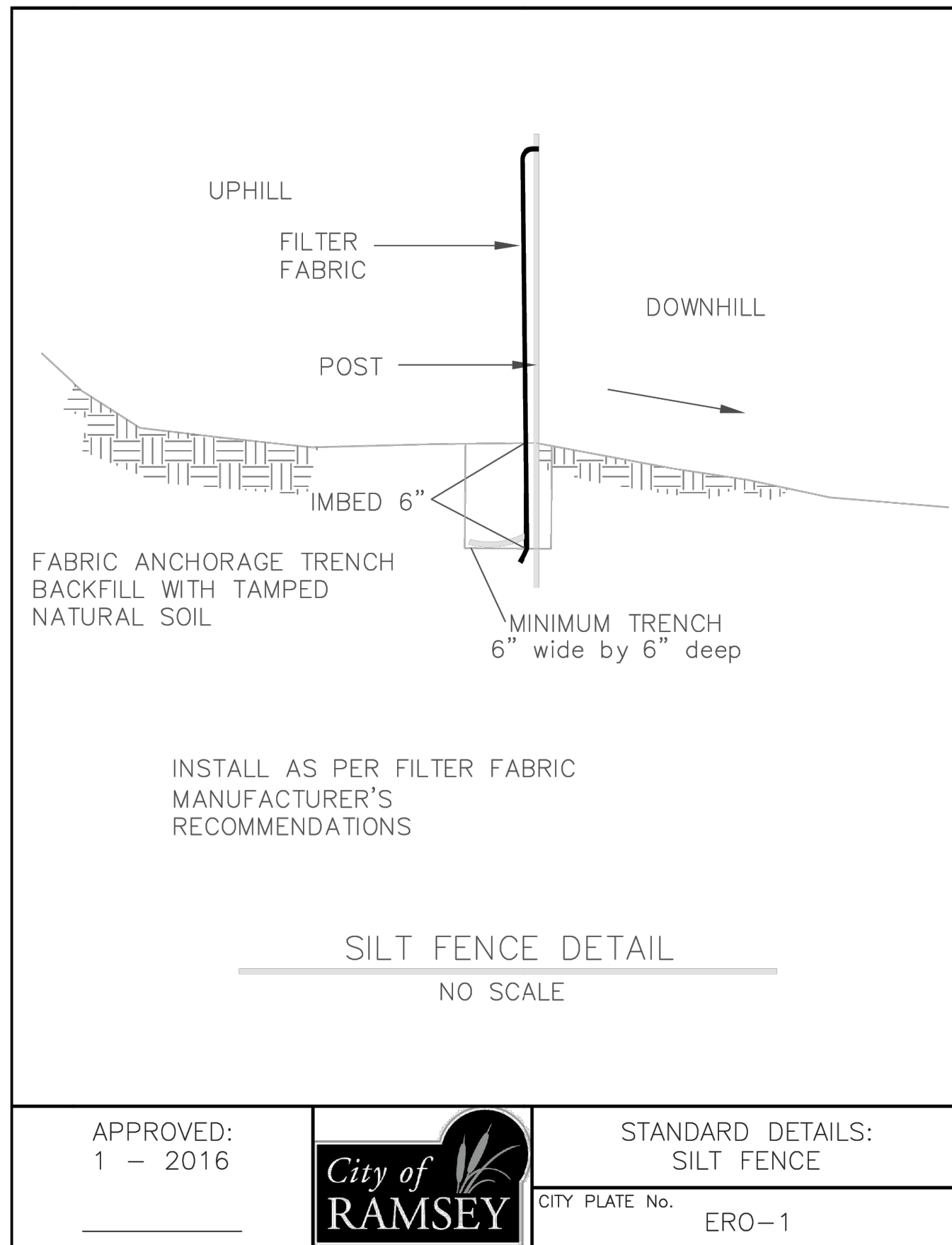
6590 141ST AVENUE NW

RAMSEY, MINNESOTA

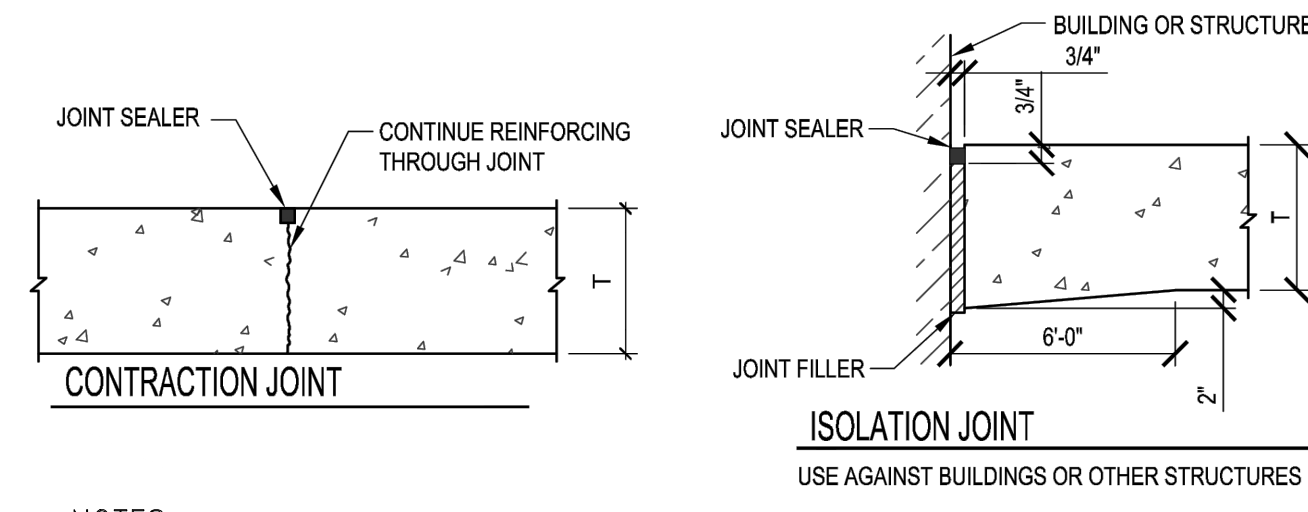
PROJECT: 90818

SHEET NO. C2 OF C7

DETAILS

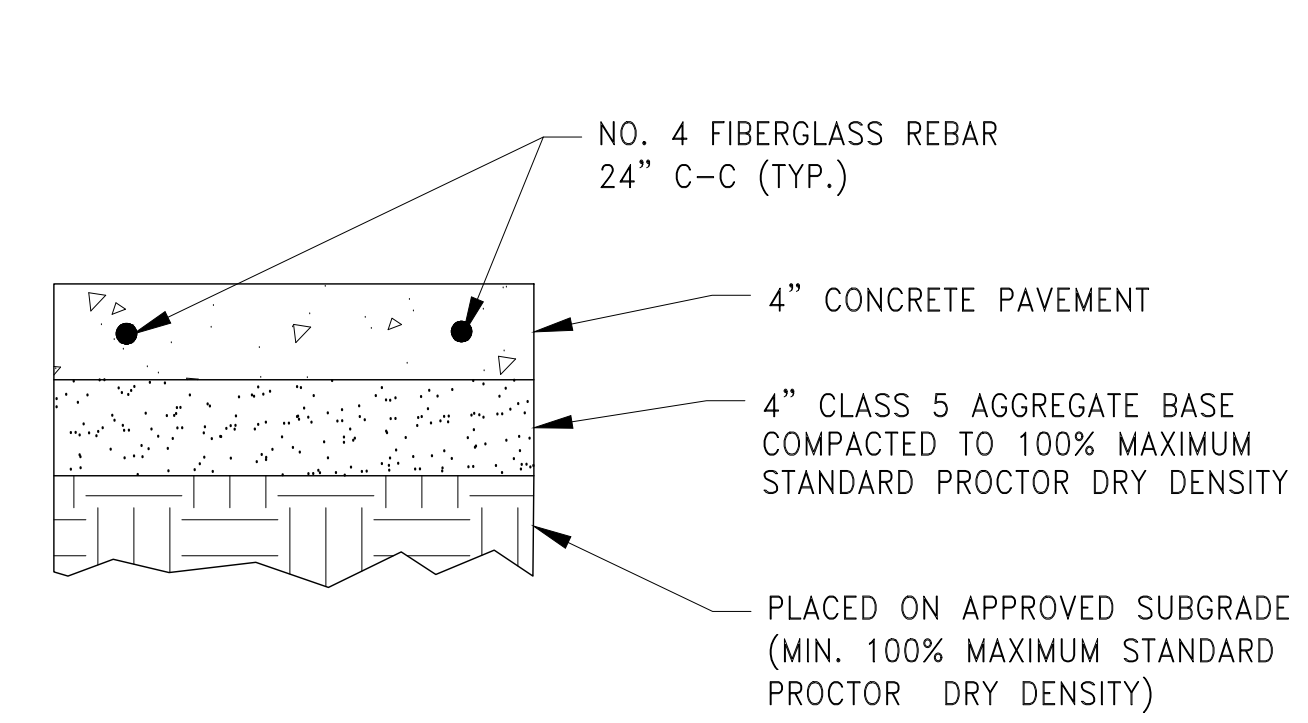


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C3 CONCRETE SIDEWALK JOINT DETAILS
NOT TO SCALE

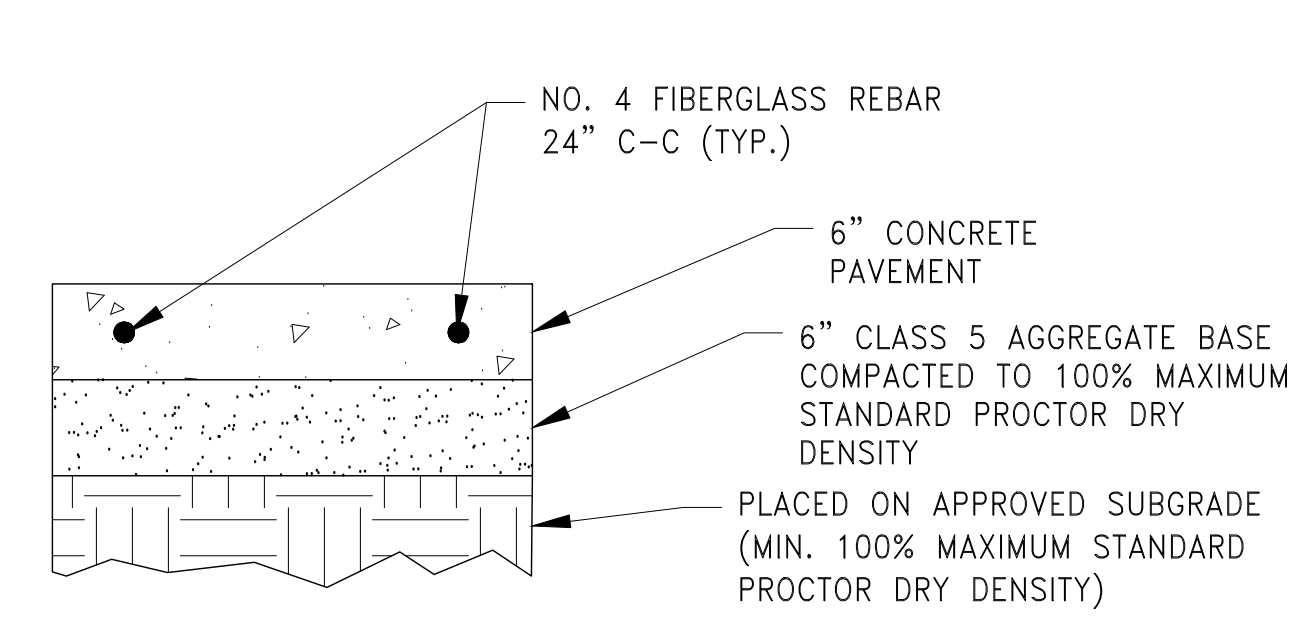


- NOTES:
1. MAXIMUM JOINT SPACING SHALL BE 15 FEET.
2. JOINTS SHALL BE AT CURVE TANGENTS AND CURB JOINTS WHEN FEASIBLE.
3. PROVIDE DOWELS INTO EXISTING CONCRETE PAVEMENT WHEN NEW CONCRETE PAVEMENT ABUTS IT. ALSO PROVIDE AN ISOLATION JOINT BETWEEN EXISTING AND NEW CONCRETE.
4. REBAR SHALL BE FIBERGLASS NO. 4 PLACED 24" C-C.

2
C3 CONCRETE PAVEMENT JOINT DETAILS
NOT TO SCALE



3
C3 CONCRETE SIDEWALK
NOT TO SCALE



- NOTE: CONCRETE COMPRESSIVE STRENGTH SHALL COMPLY WITH ASTM STANDARD C94. MINIMUM 28-DAY STRENGTH = 3,900 PSI

4
C3 CONCRETE VEHICLE PAVEMENT
NOT TO SCALE

F:\survey\27-32-25\90818A\01 CAD\05 Sheet Files\02 Details.dwg

DESIGNED BY: JAP
DRAWN BY: ABL
CHECKED BY: GRP

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

JEFFREY A. PRASCH, P.E.
DATE: 09.13.24 LIC. NO.: 52706

NO.	REVISIONS

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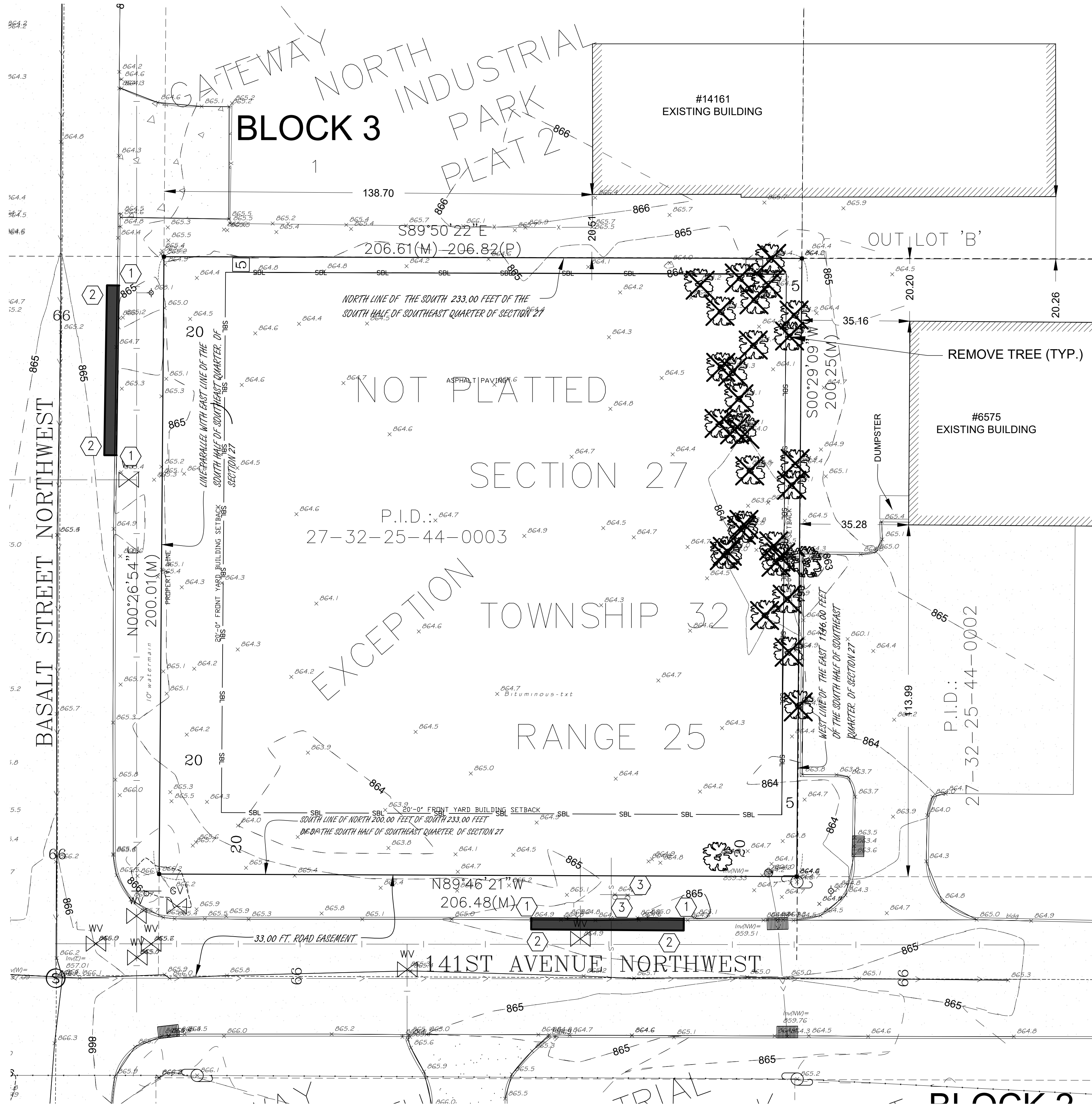
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6590 141ST AVENUE NW
RAMSEY, MINNESOTA

DETAILS

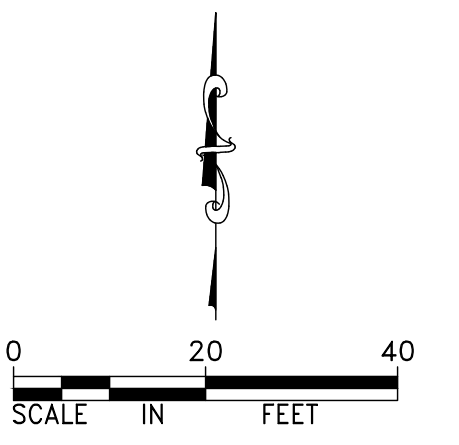
PROJECT: 90818
SHEET NO.
C3 OF C7

F:\survey\27-32-25-44-003\01 CAD\05 Sheet Files\03 Existing Conditions & Removals Plan.dwg



- REFERENCE NOTES:
- ① SAWCUT AND REMOVE CONCRETE CURB & GUTTER (FULL DEPTH)
 - ② SAWCUT BITUMINOUS PAVEMENT AT FACE OF CURB (FULL DEPTH)
 - ③ RELOCATE SIGN

- NOTES:
1. SURVEY INFORMATION PROVIDED BY CLIENT.
 2. IF PATCHING OF BITUMINOUS IS REQUIRED, PATCHING SHALL MEET THE STANDARDS OF CITY DETAIL STR-25 WITH A WEAR COURSE OF 2" AND CLASS 5 BASE OF 6".



DESIGNED BY: JAP
 DRAWN BY: ABL
 CHECKED BY: GRP

DATE: 09.13.24 LIC. NO.: 52706

JEFFREY A. PRASCH, P.E.

REVISIONS	
10.03.24	CITY COMMENTS

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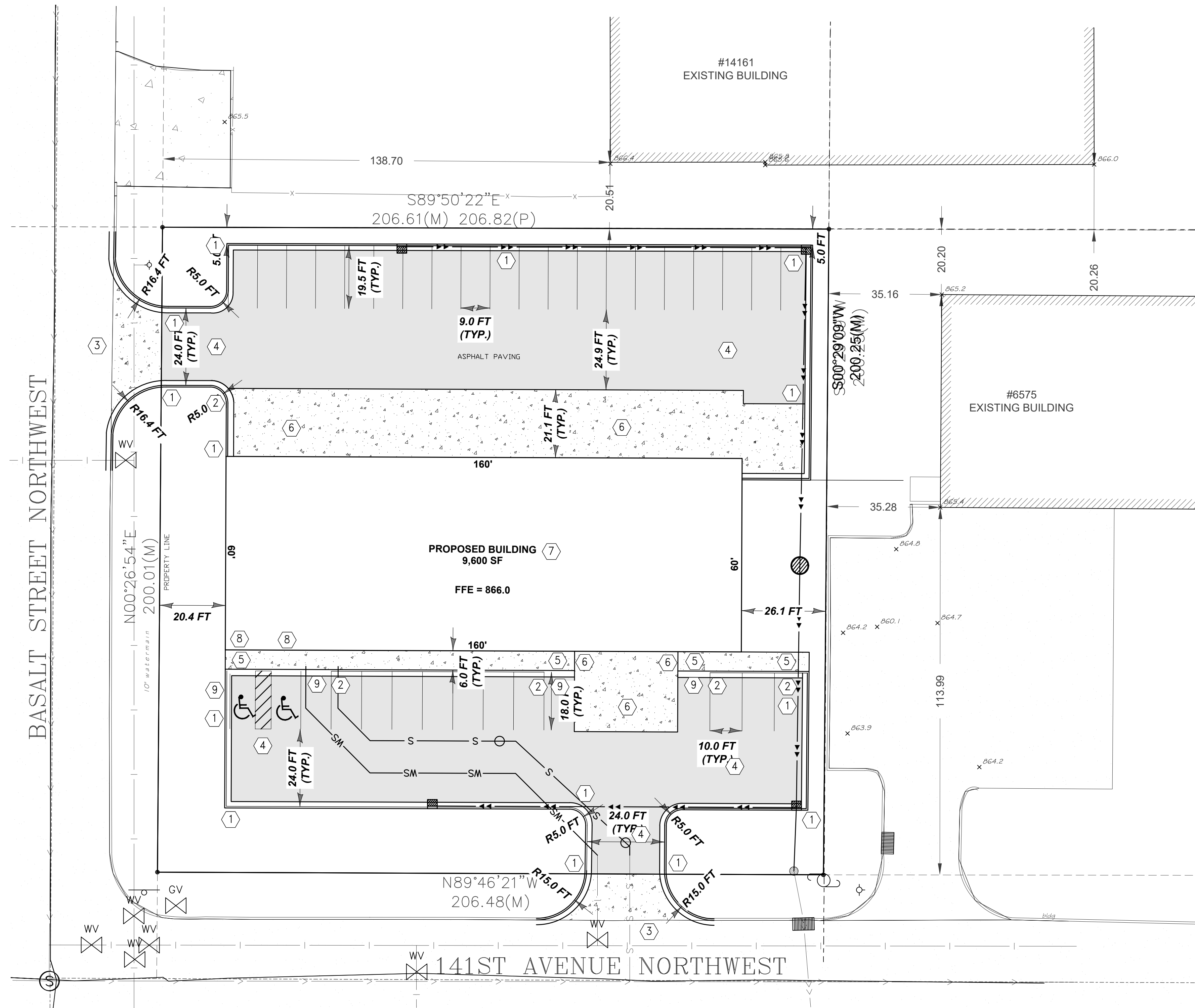
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AUTO REPAIR SHOP
 6590 141ST AVENUE NW
 RAMSEY, MINNESOTA

EXISTING CONDITIONS & REMOVALS PLAN

PROJECT: 90818
 SHEET NO.: C4 OF C7

F:\survey\27-52-25\6591_141st Ave NW Ramsey\02 Engineering - 90818A\01 CAD\05 Sheet Files\04 Site Plan.dwg



REFERENCE NOTES:

- ① B612 CURB AND GUTTER
- ② B612 TIPOUT CURB AND GUTTER
- ③ COMMERCIAL ENTRANCE PER CITY DETAILS
- ④ BITUMINOUS PAVEMENT PER (4/C2)
- ⑤ CONCRETE SIDEWALK PER DETAILS (1/C3) AND (3/C3)
- ⑥ CONCRETE PAVEMENT PER (2/C3) AND (4/C3)
- ⑦ PROPOSED BUILDING. SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DIMENSIONS.
- ⑧ HANDICAP SIGN ON WALL
- ⑨ 10' TRANSITION FROM FULL-HEIGHT CURB TO 0" HEIGHT CURB.

SITE DATA:

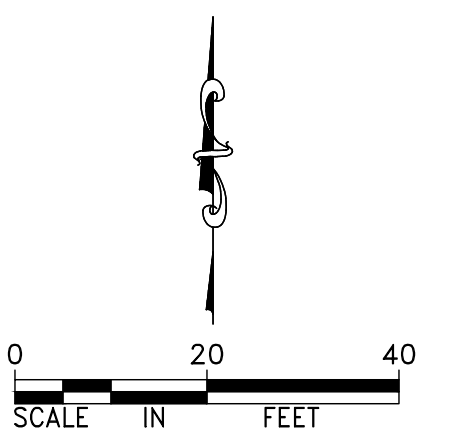
LOT AREA = 0.95 AC
 PROPOSED IMPERVIOUS AREA = 0.73 AC
 PROPOSED HARDCOVER = 76.5%

PARKING DATA:

STANDARD STALLS PROVIDED = 33
 HANDICAP STALLS PROVIDED = 2
 TOTAL PROPOSED PARKING STALLS = 35

LEGEND

- EXISTING BUILDING
- EXISTING CURB & GUTTER
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING CONCRETE
- PROPOSED CONCRETE SIDEWALK
- PROPOSED BITUMINOUS PAVEMENT
- EXISTING SIGN
- PROPOSED PARKING STRIPE



DESIGNED BY: JAP	I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA. JEFFREY A. PRASCH, P.E.	REVISIONS
DRAWN BY: ABL		10.03.24 CITY COMMENTS
CHECKED BY: GRP		
DATE: 09.13.24 LIC. NO.: 52706		

REVISIONS
10.03.24 CITY COMMENTS

DEMARC
 LAND SURVEYING & ENGINEERING
 7601 73RD AVENUE N, BROOKLYN PARK, MN 55428
 PHONE: 763.560.3093 FAX: 763.560.3522
 www.DemarcInc.com

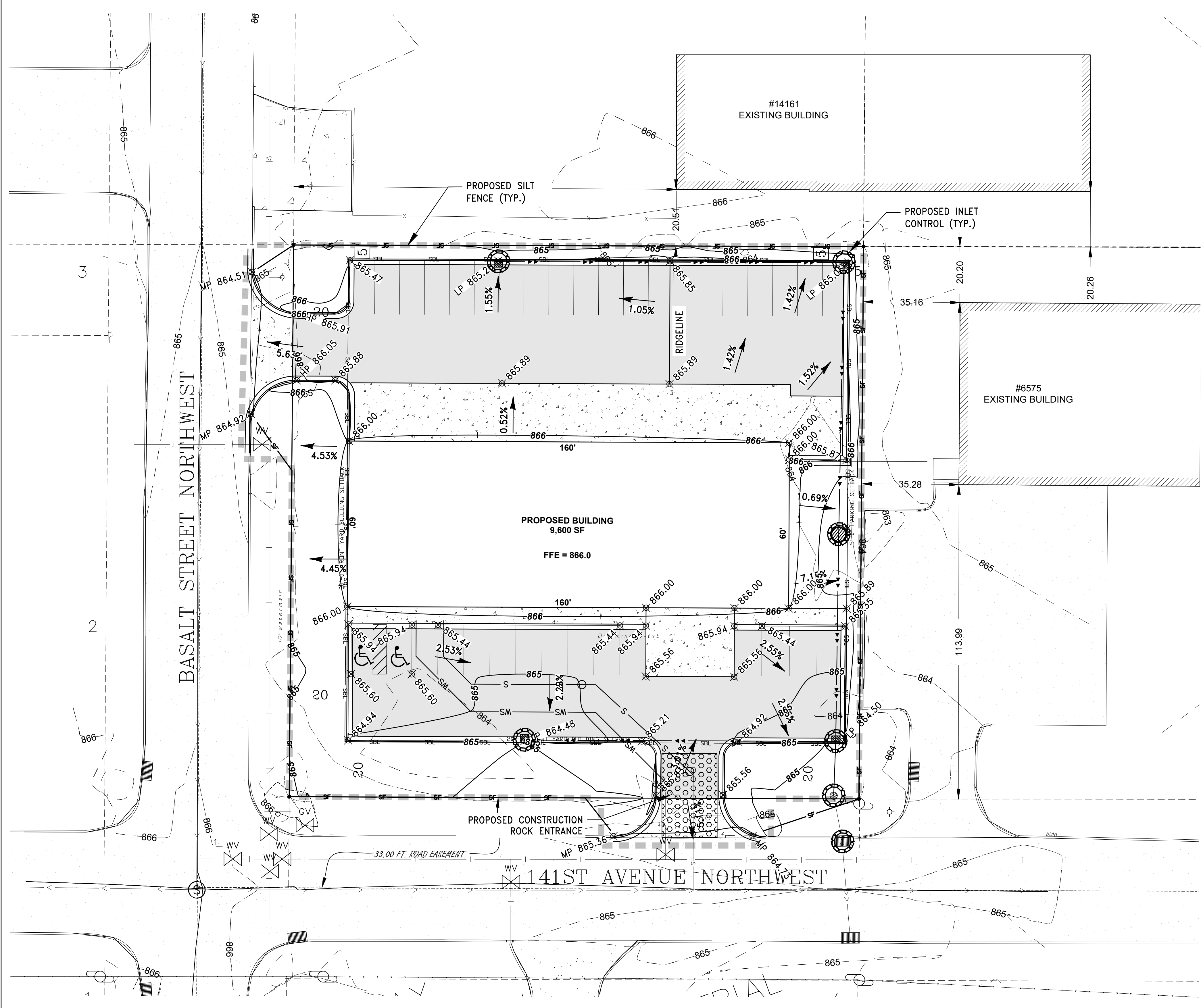
BLANERY LLC
 4764 ERICKSON DRIVE
 NEW HOPE, MINNESOTA 55428

AUTO REPAIR SHOP
 6590 141ST AVENUE NW
 RAMSEY, MINNESOTA

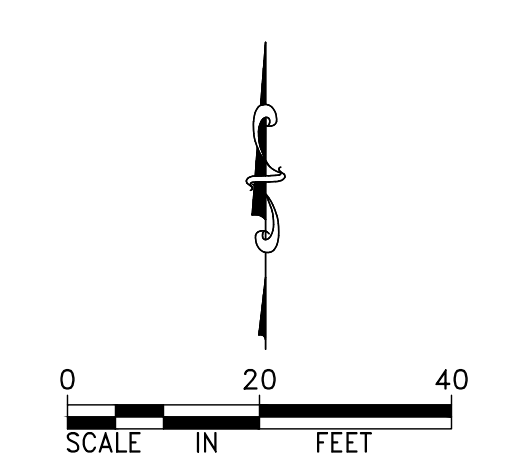
SITE PLAN

PROJECT: 90818
 SHEET NO.
 C5 of C7

F:\survey\27-52-25\6591_141st Ave NW Ramsey\02 Engineering - 90818A\01 CAD\05 Sheet Files\05 Grading & Drainage Plan.dwg



- LEGEND**
- ▬ GRADING LIMITS
 - ▬ EXISTING STORM SEWER
 - ▬ PROPOSED STORM SEWER
 - ▬ PROPOSED SILT FENCE OR BIOROLLS
 - ▬ PROPOSED ROCK STABILIZING EXIT
 - PROPOSED INLET CONTROL
 - ➔ DRAINAGE ARROW
 - EXISTING CATCH BASIN
 - PROPOSED CATCH BASIN
 - ▬ PROPOSED RIPRAP CL III
 - ▬ EXISTING CONTOUR
 - ▬ PROPOSED CONTOUR
 - ▬ EXISTING CURB & GUTTER
 - ▬ PROPOSED SURMOUNTABLE CURB & GUTTER
 - ▬ PROPOSED SURMOUNTABLE TIPOUT CURB & GUTTER
 - ▬ PROPOSED B618 CURB & GUTTER
 - ▬ PROPOSED B618 TIPOUT CURB & GUTTER
 - ▬ EXISTING STORM SEWER
 - ▬ PROPOSED STORM SEWER
 - ▬ EXISTING WATERMAIN
 - ▬ EXISTING FENCE
 - ▬ PROPOSED GRADING LIMITS
 - ▬ PROPOSED SLOPE
 - ⊕ HP 910.00 PROPOSED HIGH POINT
 - ⊕ MP 910.00 PROPOSED MATCH POINT
 - ⊕ LP 910.00 PROPOSED LOW POINT
 - ⊕ TS 910.00 PROPOSED TOP OF SLAB
 - ⊕ 910.00 PROPOSED GUTTER LINE OR FINISHED GROUND ELEVATION



DESIGNED BY: JAP
 DRAWN BY: ABL
 CHECKED BY: GRP

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

JEFFREY A. PRASCH, P.E.
 DATE: 09.13.24 LIC. NO.: 52706

REVISIONS	
10.03.24	CITY COMMENTS

DEMARC
 LAND SURVEYING & ENGINEERING
 7601 73RD AVENUE N, BROOKLYN PARK, MN 55428
 PHONE: 763.560.3093 FAX: 763.560.3522
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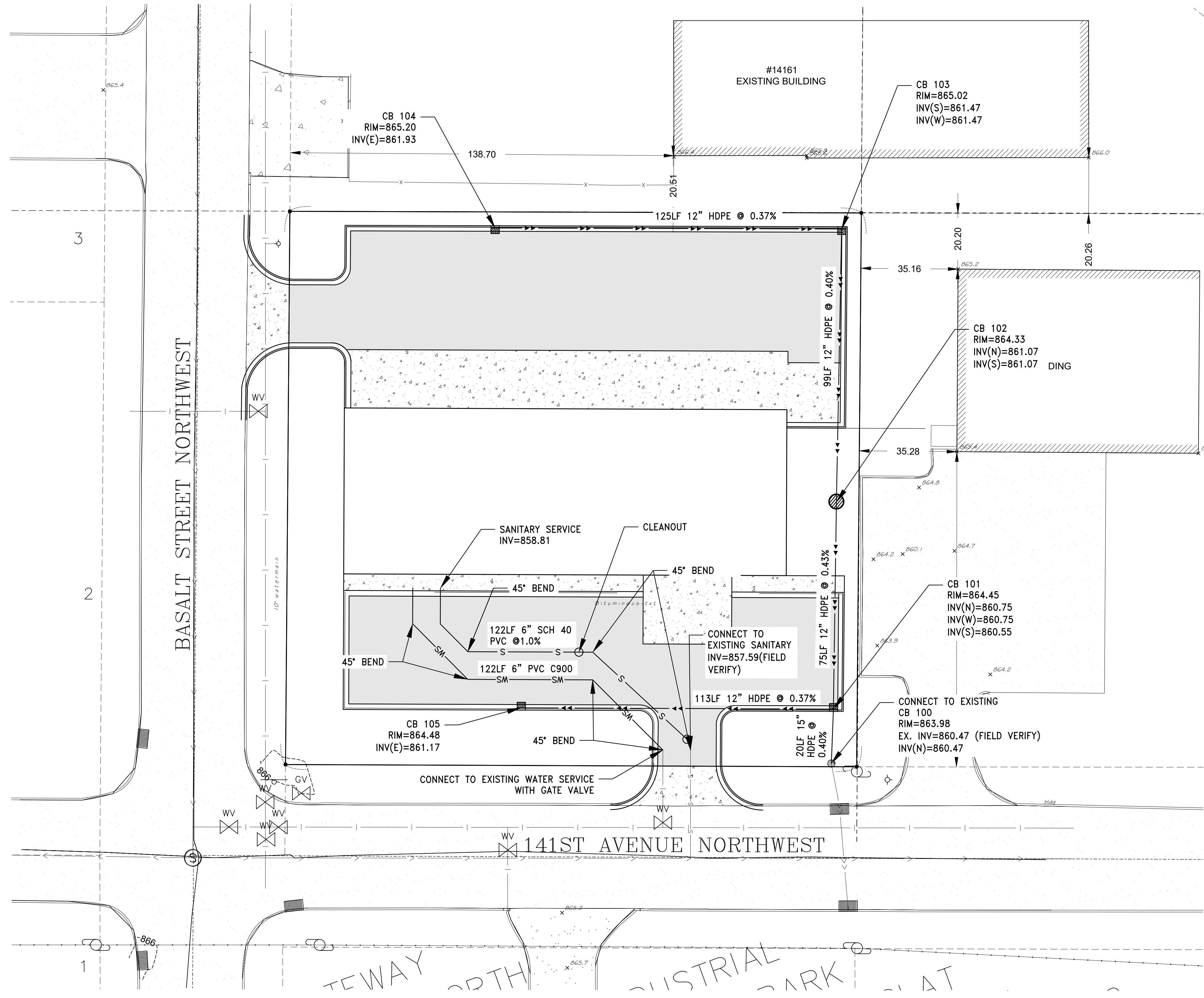
BLANERY LLC
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 RAMSEY, MINNESOTA

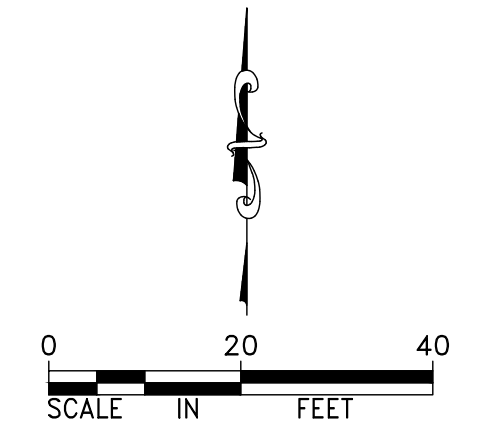
GRADING, DRAINAGE &
 EROSION CONTROL PLAN

PROJECT: 90818
 SHEET NO.
 C6 of C7

F:\survey\27-32-25\6991 141st Ave NW Ramsey\02 Engineering - 90818A\01 CAD\05 Sheet Files\06 Utility Plan.dwg



- LEGEND**
- >>— EXISTING STORM SEWER
 - |— EXISTING WATERMAIN
 - >— EXISTING SANITARY SEWER
 - >>— PROPOSED STORM SEWER
 - s— PROPOSED SANITARY SERVICE
 - ws— PROPOSED WATER SERVICE
 - ⊕ EXISTING HYDRANT
 - ⊕ PROPOSED HYDRANT
 - ⊕ EXISTING STORM MANHOLE
 - ⊕ EXISTING CATCH BASIN
 - ⊕ PROPOSED CATCH BASIN
 - ⊕ EXISTING SANITARY MANHOLE
 - ⊕ EXISTING FES
 - ⊕ PROPOSED FES
 - PROPOSED SANITARY CLEANOUT



DESIGNED BY: JAP
 DRAWN BY: ABL
 CHECKED BY: GRP

HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Jeffrey A. Praszke
 JEFFREY A. PRASCH, P.E.
 DATE: 09.13.24 LIC. NO.: 52706

NO.	DATE	REVISIONS
10.03.24	CITY COMMENTS	

DEMARC
 LAND SURVEYING & ENGINEERING
 7601 73RD AVENUE N, BROOKLYN PARK, MN 55428
 PHONE: 763.560.3093 FAX: 763.560.3522
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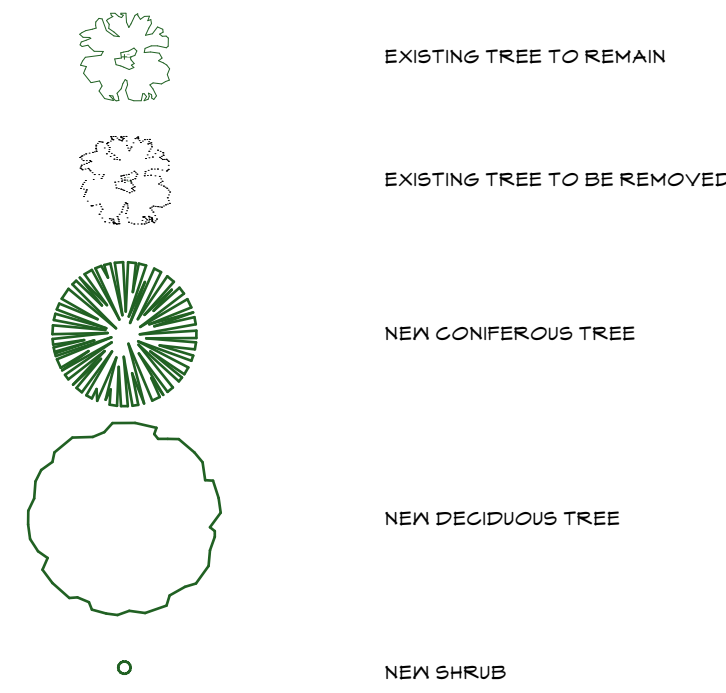
BLANERY LLC
 4764 ERICKSON DRIVE
 NEW HOPE, MINNESOTA 55428

AUTO REPAIR SHOP
 6590 141ST AVENUE NW
 RAMSEY, MINNESOTA

UTILITY PLAN

PROJECT: 90818
 SHEET NO.
 C7 of C7

LANDSCAPE SYMBOL LEGEND



LANDSCAPE SUMMARY

DESIGN AND DEVELOPMENT STANDARDS Section 106-570

Existing tree quantity:	29	292"
Trees to be removed:	18	294"
Trees to remain:	1	8"
Removal threshold:	1	200"
Diameter:	79"	60"
Reforestation requirement (79"x1.25'):	79"	60"
Proposed:	40	40"
Restitution (56x\$125.00):	\$7,375.00	

REQUIRED:

Trees:	18 (800/50)	
Shrubs:	32 (9600/300)	
Road frontage plantings:	12 (400/35)	

PROPOSED:

Trees:	40	
Shrubs:	30	

LANDSCAPING SCHEDULE

KEY	BOTANICAL / COMMON NAME	SIZE	QTY	TOTAL INCHES
DECIDUOUS TREE				
GB	QUERCUS BICOLOR / SWAMP WHITE OAK	2.5" BB	10	25
CONIFEROUS				
AP	PICEA ABIES / NORWAY SPRUCE	Ø/2.5" BB	6	15
SHRUBS / PERENNIALS				
CK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	#1 CONT.	21	
MG	MOLINA CAERULEA 'VARIEGATA' / VARIEGATED MOOR GRASS	#1 CONT.	14	

EXISTING	SIZE	COND.	STATUS	REASON
1	OAK	11"	GOOD	REMOVED MASS GRADING
2	OAK	11"	GOOD	REMOVED MASS GRADING
3	OAK	8"	GOOD	REMOVED MASS GRADING
4	OAK	6"	GOOD	REMOVED MASS GRADING
5	ELM	13"	GOOD	REMOVED MASS GRADING
6	OAK	18"	GOOD	REMOVED MASS GRADING
7	OAK	6"	GOOD	REMOVED MASS GRADING
8	MAPLE	4"	GOOD	REMOVED MASS GRADING
9	MAPLE	7"	GOOD	REMOVED MASS GRADING
10	OAK	20"	GOOD	REMOVED MASS GRADING
11	OAK	18"	GOOD	REMOVED MASS GRADING
12	ELM	6"	GOOD	REMOVED MASS GRADING
13	OAK	18"	GOOD	REMOVED MASS GRADING
14	OAK	18"	GOOD	REMOVED MASS GRADING
15	OAK	7"	GOOD	REMOVED MASS GRADING
16	OAK	7"	GOOD	REMOVED MASS GRADING
17	OAK	7"	GOOD	REMOVED MASS GRADING
18	OAK	7"	GOOD	REMOVED MASS GRADING
19	OAK	6"	GOOD	REMOVED MASS GRADING
20	OAK	8"	GOOD	REMOVED MASS GRADING
21	OAK	6"	GOOD	REMOVED MASS GRADING
22	OAK	6"	GOOD	REMOVED MASS GRADING
23	OAK	6"	GOOD	REMOVED MASS GRADING
24	ASH	6"	GOOD	REMOVED MASS GRADING
25	ASH	4"	GOOD	REMOVED MASS GRADING
26	OAK	6"	GOOD	REMOVED MASS GRADING
27	OAK	8"	GOOD	REMOVED MASS GRADING
28	OAK	15"	GOOD	REMOVED MASS GRADING
29	OAK	18"	GOOD	REMOVED MASS GRADING
30	OAK	8"	GOOD	PRESERVED MASS GRADING
30	OAK	24"	205 (10%)	28" REMOVED 6" PRESERVED

LANDSCAPE PLAN NOTES

- THE CONTRACTOR SHALL CONTACT Gopher 'ONE CALL' TO VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO THE INSTALLATION OF ANY PLANT OR LANDSCAPING.
- THE CONTRACTOR SHALL PROVIDE A TWO-YEAR GUARANTEE OF ALL PLANT MATERIALS. THE GUARANTEE BEGINS ON THE DATE OF THE OWNER'S WRITTEN ACCEPTANCE OF THE INITIAL PLANTINGS. REPLACEMENT PLANT MATERIALS SHALL ALSO HAVE A TWO-YEAR GUARANTEE COMMENCING UPON PLANTING.
- ALL DISTURBED AREAS THAT ARE NOT IMPROVED WITH IMPERVIOUS SURFACE SHALL RECEIVE 4" OF TOPSOIL WITH NOT MORE THAN 95% SAND CONTENT.
- ALL DISTURBED AREAS ARE TO BE SEEDED UNLESS NOTED OTHERWISE.
- SOD TO BE STANDARD MINNESOTA GROWN. ALL SOD AREAS SHALL BE PREPARED WITH 4" OF TOPSOIL AND RAKED TO REMOVE DEBRIS AND ENSURE DRAINAGE. SLOPES OF 3:1 OR GREATER SHALL BE STAKED.
- ALL PLANTS TO BE SPECIMEN GRADE AND SHALL ADHERE TO BUT IS NOT LIMITED BY THE FOLLOWING STANDARDS: ALL PLANTS TO BE MINNESOTA-GROWN AND/OR HARDY; ALL PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, SCARS, ETC.; ALL PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES; ALL PLANTS SHALL HAVE HEAVY, HEALTHY BRANCHING AND LEAFING; CONIFEROUS TREES SHALL HAVE AN ESTABLISHED MAIN LEADER AND A HEIGHT-TO-WIDTH RATIO OF NO LESS THAN 5:3.
- PLANTS MUST MEET AMERICAN STANDARD FOR NURSERY STOCK REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
- PRUNE PLANTS AS NECESSARY - PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING.
- PLANTS TO BE INSTALLED AS PER STANDARD PLANTING PRACTICES.
- USE MINIMUM 12" LOAM PLANTING SOIL ON TREES AND 6" ON SHRUBS (SIDES AND BOTTOM OF HOLE).
- STAKING OF TREES OPTIONAL; REPOSITION IF NOT PLUMB AFTER ONE YEAR.
- WRAP ALL SMOOTH-BARKED TREES - FASTEN TOP AND BOTTOM. REMOVE BY APRIL 1.
- OPEN THE TOP OF THE BURLAP ON BB MATERIALS, REMOVE THE POT ON POTTED PLANTS, SPLIT AND BREAK APART PEAT POTS.
- PLANTS SHALL BE IMMEDIATELY PLANTED UPON ARRIVAL AT SITE. PROPERLY HEEL-IN MATERIALS IF NECESSARY; TEMPORARY ONLY.
- SIX INCHES OF SHREDDED HARDWOOD BARK MULCH SHALL BE USED AROUND ALL TREES WITHIN TURF AREAS.
- ALL SHRUB PLANTING BEDS (WITHIN SODDED AREAS) SHALL HAVE NEED BARRIER FABRIC, 4" OF SHREDDED HARDWOOD BARK MULCH (EXCEPT AS NOTED) AND VALLEY-VIEW BLACK DIAMOND (OR EQUAL) POLY EDGING. THE EDGING SHALL BE PLACED WITH SMOOTH CURVED EDGES AND AT LEAST 4" FROM THE CENTERS OF EVERGREEN TREES. PARKING LOT ISLANDS TO BE SEEDED. UTILIZE CURBS AND SIDEWALKS FOR EDGING WHERE POSSIBLE.
- ROCK MULCH 4" DEEP SHALL BE PROVIDED IN ALL PLANTING BEDS ADJACENT TO SIDEWALKS AND DRIVEWAYS. ROCK MULCH SHALL BE WASHED, 3/4" - 1 1/2".
- ACTUAL LOCATION OF PLANT MATERIAL IS SUBJECT TO FIELD AND SITE CONDITIONS.
- THE CONTRACTOR SHALL CONTACT Gopher STATE 'ONE CALL' (1-800-252-1166) TO VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE NECESSARY WATERING OF PLANT MATERIALS UNTIL THE PLANT IS FULLY ESTABLISHED. THE OWNER WILL NOT PROVIDE WATER FOR THE CONTRACTOR.
- NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVED BY THE ARCHITECT/CITY OF RAMSEY.

NEGEN ASSOCIATES
 Architecture | Interior Design | Planning

STUDIO: 700 41st Avenue North, St. Cloud, Minnesota USA 56303
 TELEPHONE: 320.251.3304
 WEB: www.negenarchitects.com

Consultant

Certification
 I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Architect under the laws of the State of Minnesota.
 Print Name: Lon Negen
 Signature: *Lon Negen*
 Date: 10/3/24 License No: 41402

AUTO REPAIR SHOP

6590 141st Avenue NW
 Ramsey, MN 55303

Revisions

MARK	DATE

COMM. NO.: 240124

ARCHITECT: L D N

DATE: 10/3/24

DRAWN BY: ...

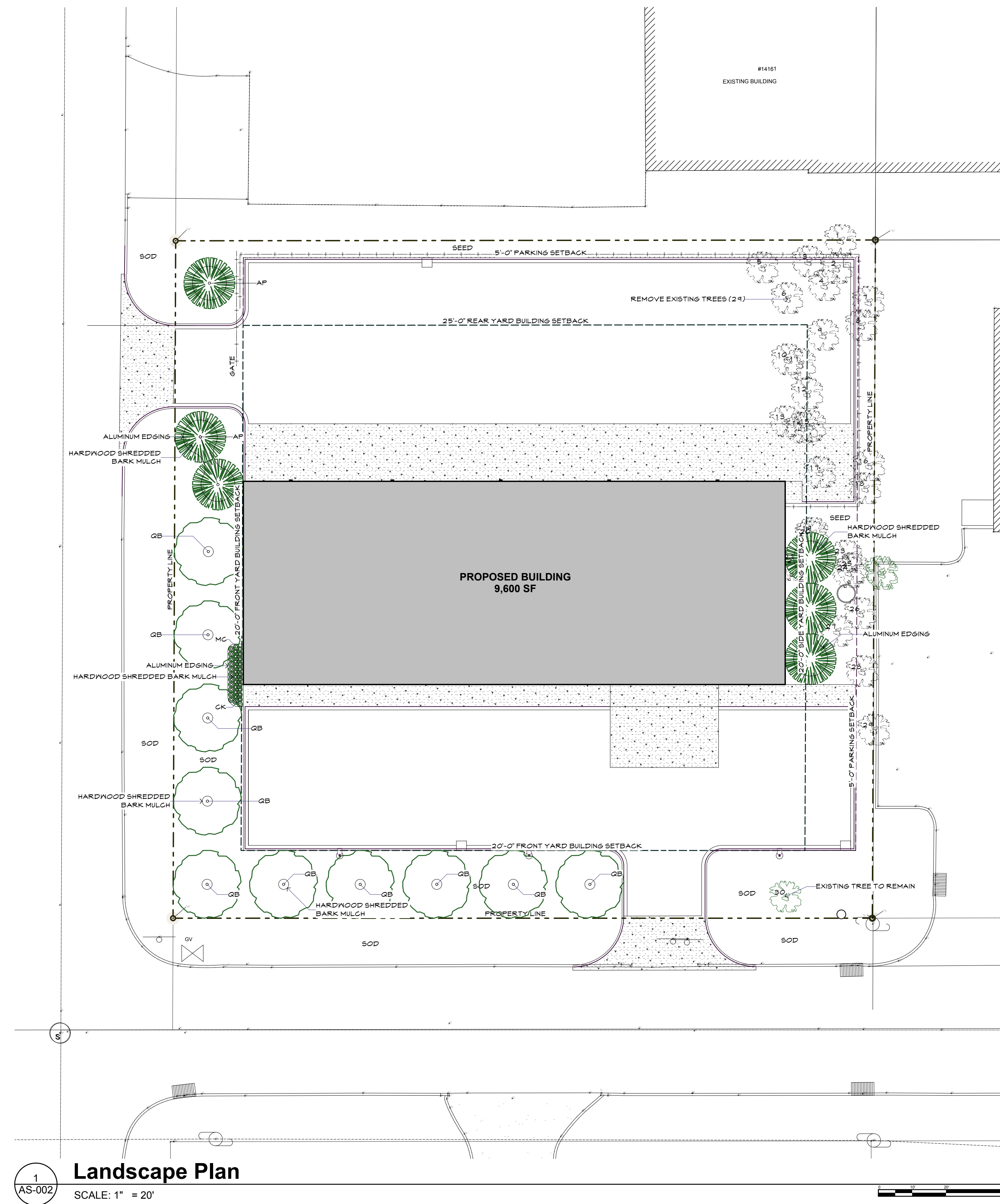
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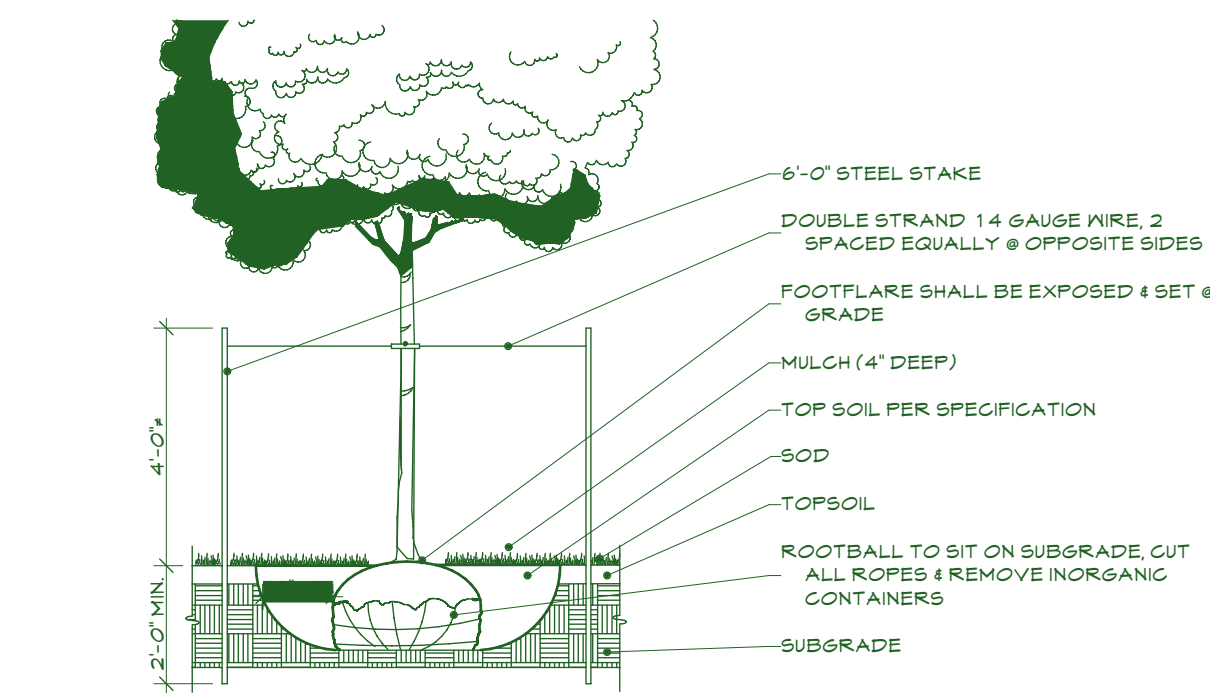
SD2.2 City Submittal

Landscape Plan

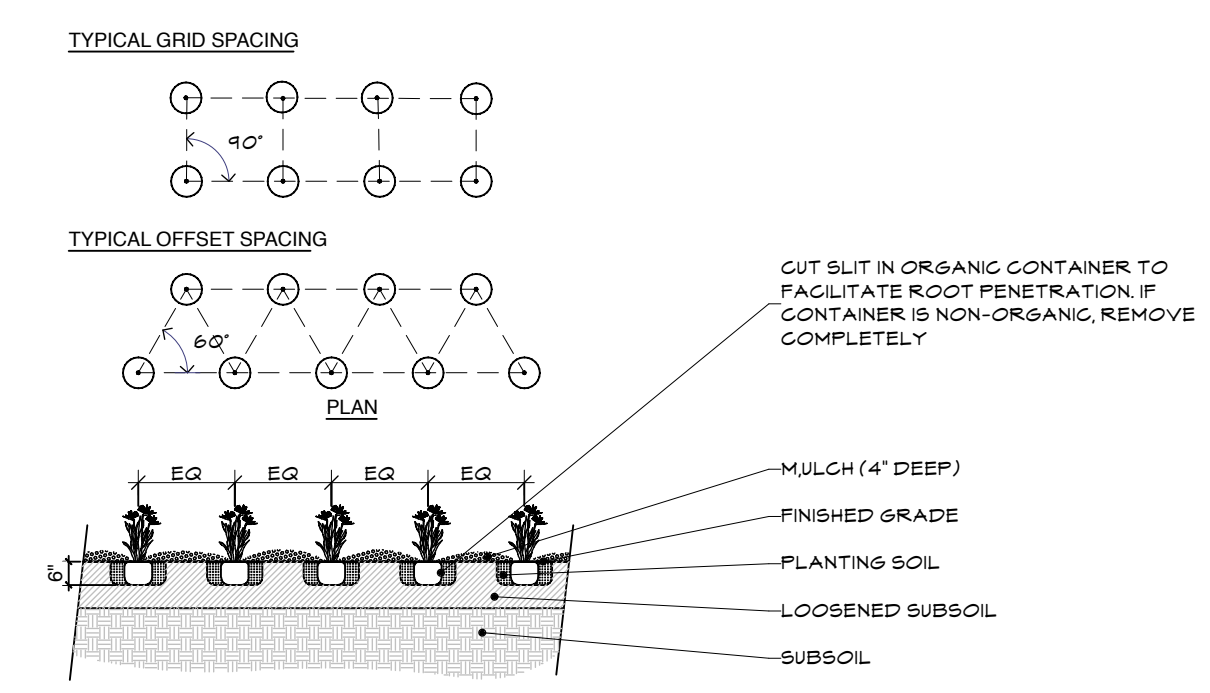
AS-002



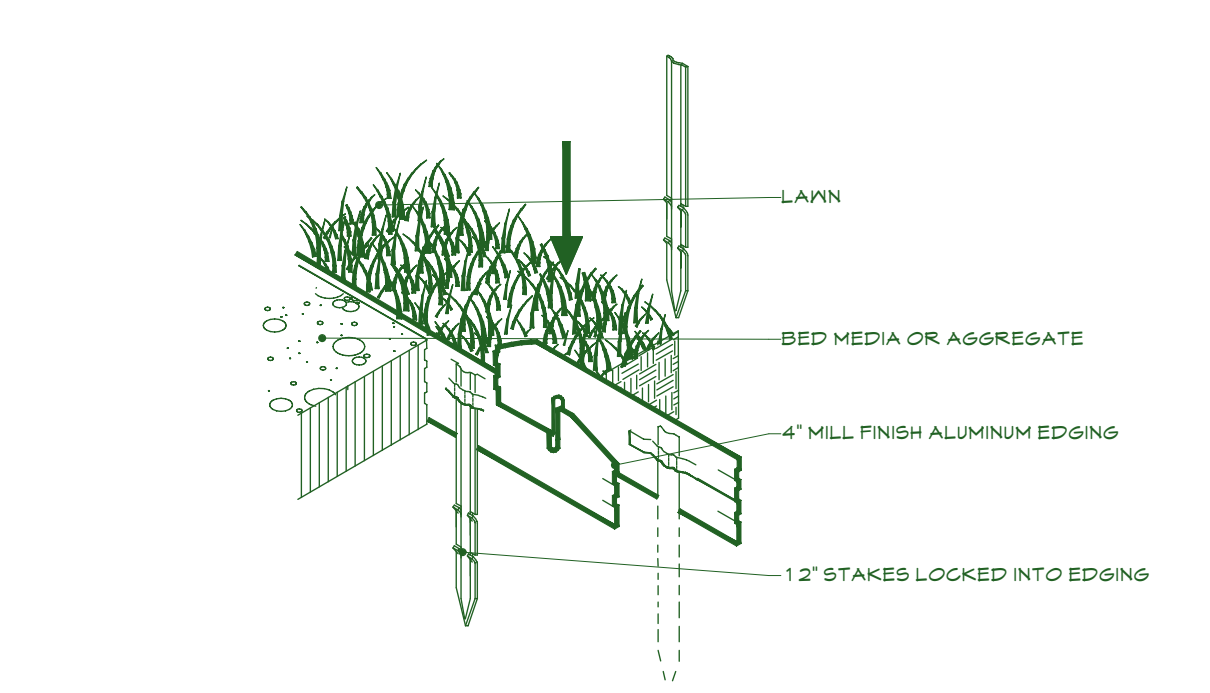
1 Landscape Plan
 SCALE: 1" = 20'



2 Deciduous Tree
 SCALE: 1" = 20'



3 Perennials
 SCALE: 1" = 20'



4 Aluminum Edge
 SCALE: 1" = 20'

Volume:Office\Projects\2024\20241014141st-Auto Repair Shop\Files\01242409_16 to city\24_10_03 to city\AS-002 Landscape Plan.pln Thursday, October 3, 2024 9:41 AM

Regular Planning Commission

Meeting Date: 10/24/2024

Primary Strategic Plan Initiative: Create a positive image for residential neighborhoods, business districts and key corridors.

Information

Title:

PUBLIC HEARING: Consider Ordinance #24-14 Pertaining to Residential Driveways.

Purpose/Background:

After several months of discussion, the City Council has directed an ordinance to change City Code allowing for a single-family residential driveway to be constructed up to a side property line. The attached ordinance amends two sections: Section 106-463 pertaining to the location of the driveway and Section 106-460 pertaining to where a motor vehicle and recreational equipment can be parked. The Council stated their desire to allow property owners to use more of their properties.

Notification:

Notification of the public hearing was provided in the Legal Section of the October 11 Anoka Union Herald Newspaper. An information article will be in the November/December Ramsey Resident.

Funding Source:

Costs associated with this work are part of staff's typical duties.

Recommendation:

Staff is concerned that the proposed regulations would create unpleasant situations between neighbors as well as drainage and snow storage issues.

Outcome/Action:

Motion to recommend to the City Council adoption of Ordinance #24-14 pertaining to residential driveways.

Attachments

Ordinance #24-14

Form Review

Inbox

Brian Hagen

Form Started By: Todd Larson

Final Approval Date: 10/16/2024

Reviewed By

Brian Hagen

Date

10/16/2024 10:18 AM

Started On: 09/25/2024 02:19 PM

ORDINANCE #24-14

**CITY OF RAMSEY
ANOKA COUNTY
STATE OF
MINNESOTA**

**AN ORDINANCE AMENDING SECTIONS 106-460 AND 106-463 PERTAINING TO
RESIDENTIAL DRIVEWAYS**

The City of Ramsey Ordains:

Underlined text is inserted into City Code.

~~Strikethrough~~ text is deleted from City Code.

SECTION 1. AUTHORITY

This ordinance is adopted pursuant to and under the authority of the City Charter of the City of Ramsey.

SECTION 2. AMENDMENTS TO CHAPTER 106 (ZONING CODE).

The following portion of Chapter 106, Section 460, is amended as follows:

Sec. 106-460. – Residential Parking Standards.

(c) In any residential district, outside parking of any motor vehicle(s) and/or recreational equipment is subject to the following standards:

(2) *Location and setbacks.* – No setback requirements.

~~a. — On all residential parcels:~~

~~1. — Motor vehicles stored or parked in a side or rear yard shall maintain a setback of at least five feet from the edge of the parking surface to the lot line(s).~~

~~2. — Equipment parked or stored in the side yard shall maintain a setback of at least five feet from the edge of the parking surface to the lot line(s).~~

~~3. — Equipment parked or stored in the rear yard shall maintain a setback of at least five feet from the lot line(s).~~

The following portion of Chapter 106, Section 463, is amended as follows:

Sec. 106-463. – Residential Driveways.

(a) When required.

(1) A driveway shall be required for all attached accessory buildings with a doorway opening meeting or exceeding eight feet wide by seven feet tall.

- (2) If a detached accessory building serves as the primary garage, a driveway shall be installed.
- (b) Surface materials.
 - (1) *Urbanized districts.* Driveway materials shall consist of concrete, bituminous, or driveway-rated pavers for a continuous hard surface.
 - (2) *Rural residential or MUSA reserve districts.* Driveway materials shall consist of concrete, bituminous, driveway-rated pavers, or a minimum two-inch Class-V gravel.
- (c) ~~Driveways shall be setback at least five feet from interior side or rear property lines.~~ Location and setbacks, – No setback requirements.
- (d) Driveway widths shall not exceed 30 feet at the street, through the public right-of-way, and the first five feet of the adjacent yard to the right-of-way where the driveway is accessing.
- (e) No more than 50 percent of a front yard may be covered by a driveway.

SECTION 4. EFFECTIVE DATE

This ordinance becomes effective 30 days after its passage and publication, subject to City Charter Section 5.04.

PASSED by the City Council of the City of Ramsey, Minnesota the ____ day of November, 2024.

Mayor

ATTEST:

City Clerk

Introduction date: November 12, 2024

Posting dates:

Adoption date:

Publication date:

Effective date:

Regular Planning Commission**Meeting Date:** 10/24/2024**Primary Strategic Plan Initiative:** Promote economic growth and development.**Information****Title:**

Consider Sketch Plan for Emerald Estates, Located on 181st Avenue NW, West of Xenolith Street (Project No. 24-123): Case of Alan and Joni Greenwaldt

Purpose/Background:

The City has received an application for Sketch Plan review from Landform (the "Applicant"), on behalf of Alan and Joni Greenwaldt (the "Property Owner"), for the property located on 181st Avenue, west of Xenolith Street, and known as PID #s 04-32-25-22-0001 & 05-32-25-11-0001 (together, the "Subject Property").

Notification:

City Staff attempted to notify all property owners within 700 feet of the Subject Property, according to Anoka County's property records, via standard U.S. mail, of the Sketch Plan review. A "Proposed Development Action" sign was also placed on the Subject Property.

Time Frame/Observations/Alternatives:

The Subject Property is approximately thirty-eight (38) acres in size. The Property Owner also owns approximately thirty-nine (39) acres that abut the Subject Property to the west, but is not a part of this Land Use Application. The Subject Property is zoned Rural Residential and is guided as Rural Developing in the 20240 Comprehensive Plan. All surrounding properties, at least south of 181st Avenue (north of 181st Avenue is in the City of Nowthen), are zoned and guided the same as the Subject Property. There are two (2), approximately 20-acre, vacant parcels south of the Subject Property, and as previously noted, the approximately 39-acre parcel west of the Subject Property is vacant as well. The parcel to the east, which is approximately 4.80 acres in size, does have an existing single family home on it.

The Applicant is proposing a single family residential development, consisting of thirteen (13) lots. The proposed lots range in size from 2.71 acres to 2.86 acres in size and are each at least 200 feet wide. The minimum lot size required in the Rural Residential District is 2.5 acres and the minimum lot width required is 200 feet. There are no roads proposed for this development. Rather, all lots will have driveways directly onto 181st Avenue (also known as County Road 64). The City did send the Sketch Plan to Anoka County Highway Department (ACHD) for review and comment since it is on a County Highway. ACHD has stated that, while they do not have specific spacing guidelines for driveways or any specific policy or regulation prohibiting the proposed development, they believe a cul-de-sac or frontage road would provide a safer environment rather than having thirteen (13) new driveways added on to a 55 mile per hour road. It is unclear what sort of wetland impacts a cul-de-sac or frontage road may have. City Staff did suggest the potential of shared driveways which could possibly reduce the number of accesses by nearly half. All proposed lots will be served with individual septic systems and private wells.

The primary concern City Staff noted was that the driveway for Lot 7 curves to the east, onto Lot 8, to avoid the wetland and wetland setback area. Alternatives should be explored, including having the driveway cross a small portion of the wetland (depending on the amount of wetland impact, this may not require any wetland replacement if it meets the diminimus exemption rules). This would require a variance to the wetland setback requirement of 16.5 feet.

The Subject Property is heavily wooded and contains significant wetlands and areas of floodplain as well. However, as proposed (again, without any proposed public roads), it does not appear that there would be any wetland impacts. Essentially, the only tree loss would be for the houses, driveways, stormwater management purposes, and septic systems. A tree inventory and preservation plan will be required at the time of the Preliminary Plat submittal. The Sketch Plan does include the required sixteen and a half foot (16.5') setback from the delineated wetland boundary, which is encumbered by drainage and utility easement.

Sketch Plans provide an opportunity for the Planning Commission to provide feedback and direction for the Applicant prior to them investing financially in development of the civil plans.

Funding Source:

The Applicant is responsible for all costs associated with this application.

Recommendation:

Provide feedback and direction to the Applicant on the Sketch Plan.

Outcome/Action:

No formal action is required on a Sketch Plan.

Attachments

Site Location Map

Sketch Plan with Changemarks

Anoka County Highway Department Review Comments

Form Review

Inbox

Brian Hagen

Form Started By: Chris Anderson

Final Approval Date: 10/16/2024

Reviewed By

Brian Hagen

Date

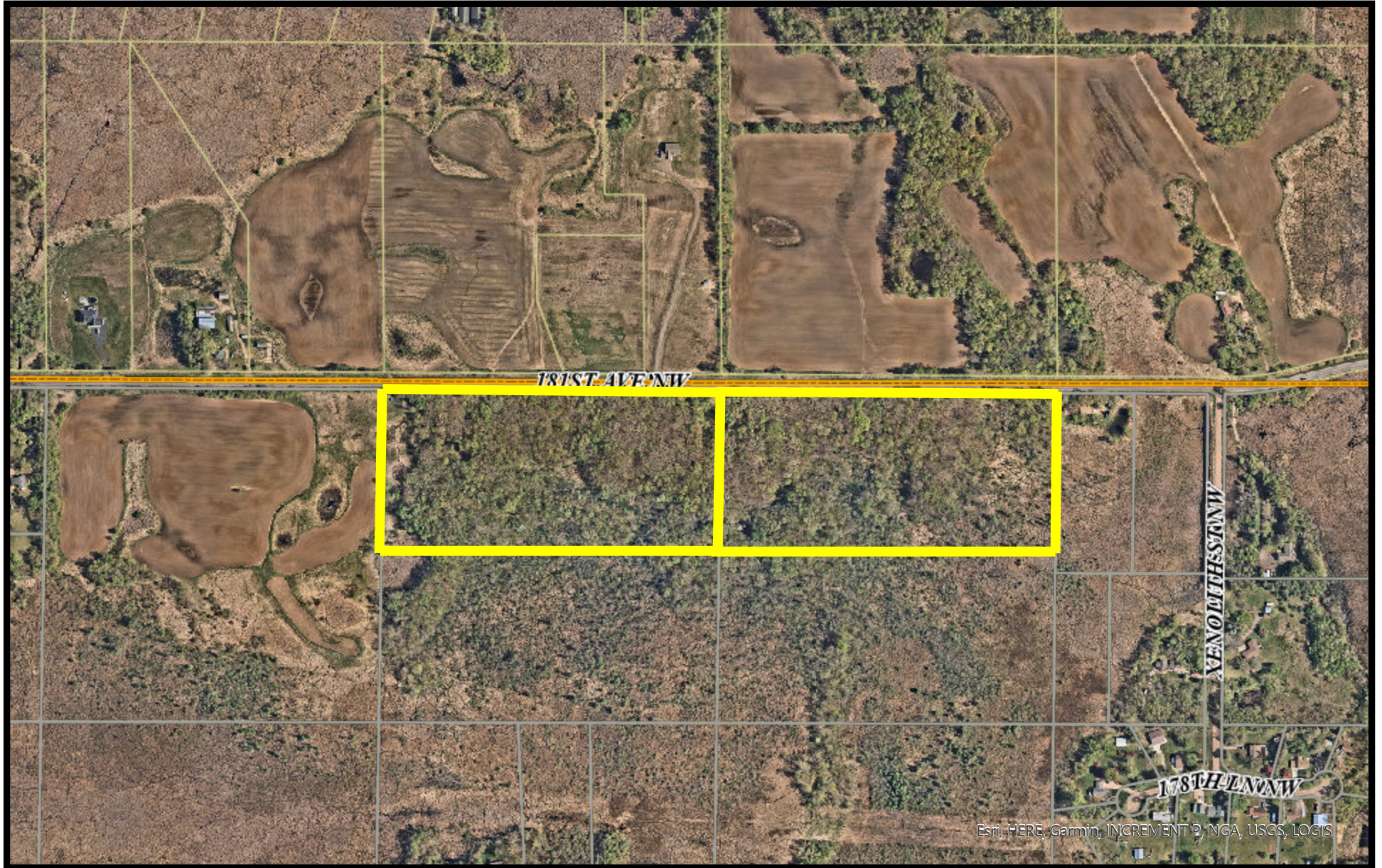
10/16/2024 10:24 AM

Started On: 10/10/2024 10:51 AM

Emerald Estates

05-32-25-11-0001, 04-32-25-22-0001

Sketch Plan



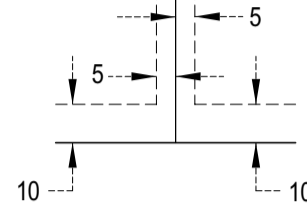
Print Date: September 16, 2024

0 0.04 0.07 0.15 0.22 0.3
mi

LEGEND

	Property Line
	Interior Lot Line
	Underlying Parcel Line
	Existing Easement
	Proposed Easement
	Proposed Setback

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:
(Not to Scale)



Being 5 feet in width and adjoining lot lines, unless otherwise shown and 10 feet in width and adjoining right of way lines as shown on the plat.

AREA SUMMARY

Existing:					
Pervious	1,565,018	s.f.	35.93	ac.	96.8%
Impervious	50,266	s.f.	1.15	ac.	3.2%
Total	1,565,018	s.f.	35.93	ac.	100.0%
Proposed:					
Pervious	1,440,183	s.f.	33.06	ac.	92.0%
Impervious	124,835	s.f.	2.87	ac.	8.0%
Total	1,565,018	s.f.	35.93	ac.	100.0%

LEGAL DESCRIPTION

The North Half of the Northeast Quarter of the Northeast Quarter of Section 5, and the North Half of the Northwest Quarter of the Northwest Quarter of Section 4, all in Township 32, Range 25, Anoka County, Minnesota.

BENCHMARK

Anoka County Benchmark No. 2085
Elevation = 918.258 (NAVD88)
Location: Approximately 50 feet East of the centerline of CSAH No. 5 and 65 feet South of the centerline of 185th Ave NW.

LOT DATA TABLE

Parcel	Area (SF)	Area (Acres)
R.O.W. Dedication 181st Ave NW	159,810	3.67
Block1, Lot1	124,453	2.86
Block1, Lot2	120,073	2.76
Block1, Lot3	120,002	2.75
Block1, Lot4	119,931	2.75
Block1, Lot5	119,861	2.75
Block1, Lot6	119,790	2.75
Block1, Lot7	119,788	2.75
Block1, Lot8	119,613	2.75
Block1, Lot9	119,507	2.74
Block1, Lot10	119,401	2.74
Block1, Lot11	119,295	2.74
Block1, Lot12	125,145	2.87
Block1, Lot13	118,161	2.71

GENERAL NOTES

- For construction staking and surveying services contact Landform at 612.252.9070.
- Obtain all necessary permits for construction within, or use of, public right-of-way.
- The digital file, which can be obtained from the Engineer, shall be used for staking. Discrepancies between the drawings and the digital file shall be reported to the Engineer. The building footprint, as shown on these drawings, and the digital file, shall be compared to the structural drawings prior to staking.

ZONING AND SETBACK SUMMARY

The Property is currently Zoned Rural Developing Zone (RD)
Current Land Use: Rural Undeveloped

Building Setback Information is as follows:
Front Yard = 40 ft.
Rear = 40 ft.
Side (Interior) = 10 ft.
Side (Street) = 40 ft.

Adjacent Properties Zoning:
North: Bordered by 181st Avenue NW
South: ~~Rural Residential~~ Rural Residential
East: ~~Rural Residential~~ Rural Residential
West: ~~Rural Residential~~ Rural Residential

Lot Coverage Information is as follows:
Lot Area Minimum = 108,900 s.f. = 2.5 ac.
Lot Width Minimum = 200 ft.

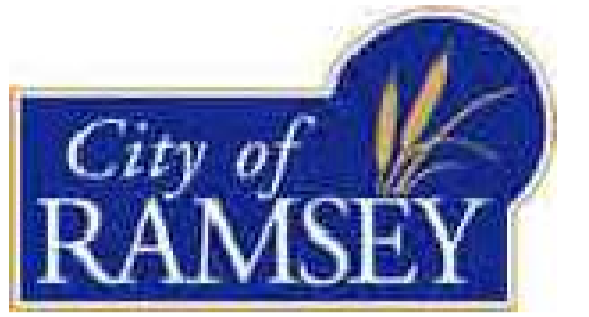
Total Site Area = 1,565,018 s.f. = 35.93 ac.
Wetland and Welland Buffer Area = 662,634 s.f. = 15.21 ac.
Net Developable Area = 902,384 s.f. = 20.72 ac.

Proposed Density: 1 unit per 2.76 ac.

OWNER

ALAN & JONI GREENWALDT
4741 153RD AVENUE NW
RAMSEY, MN 55303
612-202-9421

CITY



PROJECT

EMERALD ESTATES
RAMSEY, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
XX MON 20XX	XXXXXXXXXX	XXX

CERTIFICATION

PRELIMINARY NOT FOR CONSTRUCTION

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

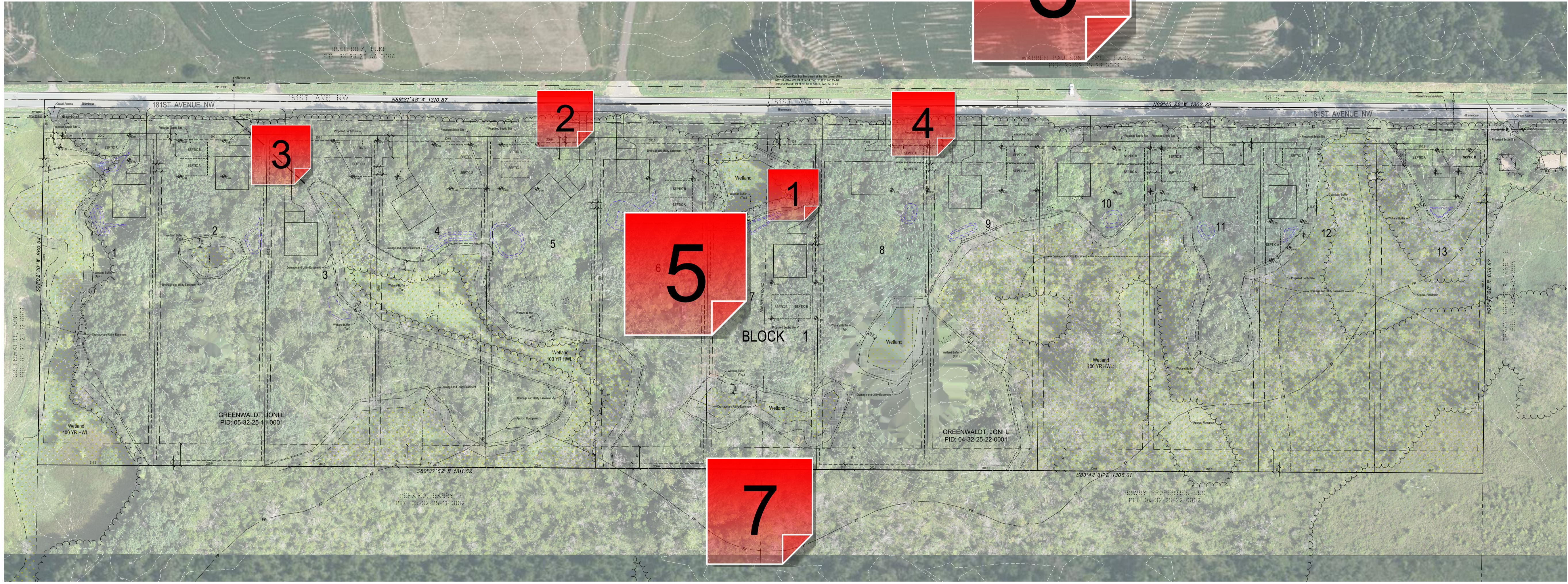
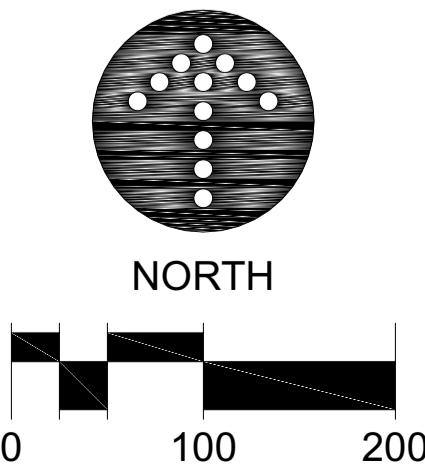
SEPTEMBER 19, 2024



105 South Fifth Avenue Tel: 612-252-9070
Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

FILE NAME 2024-09-19 GREENWALDT PROPERTY SKETCH PLAN.DWG
PROJECT NO. ZZZZ24725

SKETCH PLAN



1 - Driveway

Created by: Chris Anderson
On: 09/20/2024 10:24 AM

The driveway on lot 7 is shown encroaching onto Lot 8. Would it be possible to adjust the widths of Lots 1 and 12, both of which have just slightly more width than required, and then adjust width of Lot 7 to see if that could result in this driveway staying entirely on Lot 7?

----- 0 Replies -----

2 - Driveway Culverts

Created by: Chris Anderson
On: 09/20/2024 10:29 AM

Please make sure to coordinate with Anoka County to ensure the driveway culverts meet their minimum culvert size.

----- 0 Replies -----

3 - Easement Needed

Created by: Chris Anderson
On: 09/20/2024 10:29 AM

The Final Plat will need to include an easement to encumber this stormwater pipe.

----- 0 Replies -----

4 - Well Locations

Created by: Chris Anderson
On: 09/20/2024 10:30 AM

Please add proposed well locations to this sheet. While the lots are 2.5+ acres in size, due to wetlands and floodplain, some have very limited areas for homes, septic, alternate septic location, and well. Showing the proposed well locations now helps to confirm that there is sufficient space between well and septic (including a septic that may be on an adjacent lot).

----- 0 Replies -----

5 - Tree Inventory and Preservation Plan

Created by: Chris Anderson
On: 09/23/2024 10:47 AM

A tree inventory and preservation plan will be required with the Preliminary Plat submittal. All significant trees need to be inventoried. This includes all oaks and evergreens that have a DBH of 4" or greater and all other deciduous trees that have a DBH of 8" or greater. The inventory needs to include species, DBH, condition, status (save or remove), removal description (e.g. mass grading, stormwater pond, etc.), tally of total significant tree DBH inches, tally of DBH inches removed, tally of DBH inches of invasive species (these are exempt from the removal threshold).

----- 0 Replies -----

6 - Anoka County Highway Department

Created by: Chris Anderson
On: 09/26/2024 11:59 AM

Anoka County Highway Department requested a meeting with city staff about this project. We met (virtually) with them on 9.30.24 to discuss the project. They have concerns about the number of direct access points on to a county highway and would prefer if an alternative design could be found to reduce (or eliminate) the number of direct access points. Possible alternatives could include concepts such as a frontage road, maybe a modified right turn lane on 181st, or a cul-de-sac or two so that access could be shifted to a local road. They will be sending over written comments. Once received, we will forward them to you.

----- 0 Replies -----

7 - Access to Parcels to the South

Created by: Chris Anderson
On: 09/26/2024 12:01 PM

It would be wise for the Greenwaldts (or Landform on their behalf) to contact the owners of the two 20-acre parcels to the south. The 2 parcels are landlocked, and it would be beneficial to get their input on potential access routes to their parcels. Should they petition for a 'cartway', the city will be obligated to provide a 33 foot wide access corridor to their parcel(s) and it would likely need to come from the north through high and dry land rather than impacting wetland.

----- 0 Replies -----

From: [Logan Keehr](#)
To: [Chris Anderson](#)
Cc: [Brandon Ulvenes](#)
Subject: RE: Emerald Estates Sketch Plan
Date: Wednesday, October 9, 2024 8:42:45 AM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)

EXTERNAL EMAIL ALERT: This email originated from outside the City of Ramsey email system. Unless you recognize the sender and know the content, DO NOT click any links or open attachments..

Hi Chris,

We have reviewed the proposed residential development on CR 64 (181st Avenue). It is a County standard to consolidate access onto County Roads so this proposal is extremely undesirable from a County perspective. Adding 13 driveways this close together onto a 55mph road can create safety hazards that wouldn't arise if these were to come off a City Street instead. We believe a T-shaped cul-de-sac could capture the western 9ish lots with small wetland impacts. Additionally, these parcels are located on a vertical curve where site distance cannot be met for every proposed driveway. This creates potential hazards for vehicles turning into and out of their driveways. Adding this many access points this close together will create many conflict points along this stretch with turning vehicles being at risk of rear end crashes. We have also received many complaints regarding passing vehicles creating a hazard for vehicles turning out of driveways. They are not expecting vehicles to be traveling in both lanes in the same direction and almost turn onto the County Road potentially causing a crash.

With all of these concerns noted above, we would like to see this proposed development redone to significantly reduce the number of access points being added to the County Road.

Let me know if you have any questions.

Logan Keehr, PE

Traffic Engineer II

Anoka County Transportation Division
Highway-Transit-Fleet-Surveyor-GIS
1440 Bunker Lake Boulevard NW
Andover, MN 55304
www.anokacountymn.gov

-
Office: 763-324-3100
Direct: 763-324-3183
Fax: 763-324-3020

Our passion is your safe way home!

*Anoka County employee emails have changed recently! We are using the protected .gov classification so our residents know when they are working with a government member. We hope this change will aid in serving our residents safely and securely. Please update the contact information you have to my new email: Logan.Keehr@anokacountymn.gov

From: Brandon Ulvenes <Brandon.Ulvenes@anokacountymn.gov>
Sent: Tuesday, September 17, 2024 2:28 PM
To: Logan Keehr <Logan.Keehr@anokacountymn.gov>
Subject: FW: Emerald Estates Sketch Plan

From: Chris Anderson <CAnderson@ci.ramsey.mn.us>
Sent: Tuesday, September 17, 2024 2:15 PM
To: Brandon Ulvenes <Brandon.Ulvenes@anokacountymn.gov>
Cc: Todd Larson <tlarson@ci.ramsey.mn.us>
Subject: Emerald Estates Sketch Plan

EXTERNAL EMAIL ALERT: This message originated from outside the Anoka County email system. **Use Caution** when clicking hyperlinks, downloading pictures or opening attachments.

Good afternoon Brandon,

The City of Ramsey has received a Land Use Application for a proposed residential development on 181st Avenue (aka County Road 64). The proposed subdivision will result in 13 2.5+ acre lots, each having a driveway onto 181st Avenue. This is scheduled to go to our Planning Commission for review on October 24, 2024. Please provide any comments on the proposed subdivision no later than October 11, 2024 so that, if necessary, we can include any review comments from Anoka County in our case for the Planning Commission. Thanks!

Sincerely,



Chris Anderson
Senior Planner
763-433-9817 | Office
CAnderson@cityoframsey.com
www.cityoframsey.com
7550 Sunwood Dr. NW | Ramsey, MN 55303

Click [here](#) to report this email as spam, a phishing email or other suspicious activity.

NOTICE: Unless restricted by law, email correspondence to and from Anoka County government offices may be public data subject to the Minnesota Data Practices Act and/or may be disclosed to third parties.

Regular Planning Commission**Meeting Date:** 10/24/2024**Primary Strategic Plan Initiative:** Create a positive image for residential neighborhoods, business districts and key corridors.**Information****Title:**

Discuss the Sign Code Update pertaining to Wall Signage

Purpose/Background:

Ramsey's Sign Code (currently split between Chapter 117, Article II, Division 8, and the COR Framework) has been updated several times over the years as individual issues or topics have surfaced. Staff have noted several areas, mostly minor items, that need to be cleaned up, clarified, or rearranged. One of the major items that needs to be addressed is how to incorporate the signage regulations in the COR Framework into the rest of the City's Sign Code for consistency in application and administration.

The goals of updating the Code are the ease of use by property owners, developers, businesses, and staff:

- Consistency in terms and definitions
- Clear purpose and intent of the sign code
- Clear distinctions between what sign types and sizes are allowed in each zoning district
- Consistency with how the Sign Code is interpreted and administered
- Reorganization of Chapter 117 and the COR Framework language to eliminate redundancies and contradictions
- Streamline processes
- Create an improved Sign Code that is easier to read and understand for all users.

Tonight, we will examine wall signage regulations in all zoning districts. The purpose of this discussion is to review current procedures and regulations, identify similarities and differences, and develop methods to streamline and simplify the regulations for wall signs in all of Ramsey's zoning districts. Having a consistent and simplified Sign Code sends a clear, transparent, and understandable message of what the expectations are for each sign type.

Both sections of Ramsey's Sign Code are attached to this staff report for reference. Additionally, a PDF copy of the PowerPoint presentation on wall sign regulations is attached for reference.

Notification:

None required at this stage.

Funding Source:

The Sign Code update is being handled through Staff's normal duties.

Recommendation:

Provide direction to Staff to develop clear, consistent, and simplified regulations for wall signage in all zoning districts. If additional time is needed, the discussion of this topic can continue at the November meeting.

Outcome/Action:

Provide direction to Staff to develop clear, consistent, and simplified regulations for wall signage in all zoning districts.

Attachments

Presentation on Wall Signs
Sign Regulations - Chapter 117
Sign Regulations in the COR Framework

Form Review

Inbox

Brian Hagen

Form Started By: Adam Martin

Final Approval Date: 10/16/2024

Reviewed By

Brian Hagen

Date

10/16/2024 10:25 AM

Started On: 10/14/2024 02:25 PM



SIGN CODE UPDATE DISCUSSION #2: WALL SIGNAGE

Planning Commission Meeting
October 24, 2024

GOALS OF UPDATING THE SIGN CODE

- Consistency in terms and definitions
- Clear purpose and intent of the sign code
- Clear distinctions between what sign types and sizes are allowed in each zoning district
- Consistency in interpretation and administration
- Reorganization of regulations from Chapter 117 and the COR Framework
- Streamlining processes
- Easier to read and understand for all users

BUSINESS DISTRICTS (B-1, B-2, B-3)

- Total sign area may not exceed 15% of the front building façade.
- Can be increased by 10% if it's only solid letters and numbers
- Multi-tenant buildings can split up the total wall sign area between each tenant.
- Signage may be distributed on any building façade.
- Sign height cannot exceed the parapet or building height.
- Service bay identification signs count toward wall signage.



EMPLOYMENT DISTRICTS* (I-1, I-2)

- Total sign area may not exceed 15% of the front building façade.
- Can be increased by 10% if it's only solid letters and numbers
- Buildings with 2+ tenants can split up the total wall sign area between each tenant.
- Signage may be distributed on any building façade.
- Sign height cannot exceed the parapet or eave height.

*Employment Districts were renamed to Industrial Districts in the Zoning Code Update.



COR-1 DISTRICT

- 1 sign per wall per street frontage.
- Total sign area may not exceed:
 - 15% of the ground floor building façade for single-tenant buildings.
 - 5% of the building façade for multi-tenant buildings, with each sign not to exceed 50 square feet.
 - 15% of façade along Highway 10 with no maximum square footage.
- Tenant signage must be located on the tenant lease space.
- At least 50% of the allowed signage must be allocated to ground floor tenants and be located on the ground floor, street-side.
- Sign height cannot exceed the parapet or eave height.



COR-2 & COR-2B DISTRICT



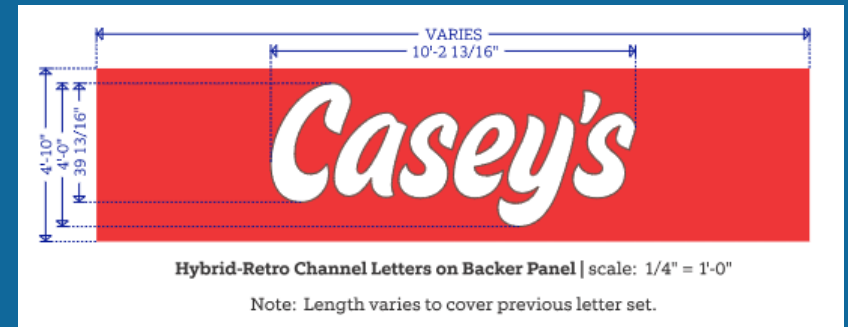
- 1 sign per wall per street frontage.
- Total sign area may not exceed 15% of the front building façade.
- Can be increased by 10% if it's only solid letters and numbers
- At least 50% of signage must be located on the front façade.
- Tenant signage must be located on the tenant lease space.
- Sign height cannot exceed the parapet or eave height.



COR-3 DISTRICT



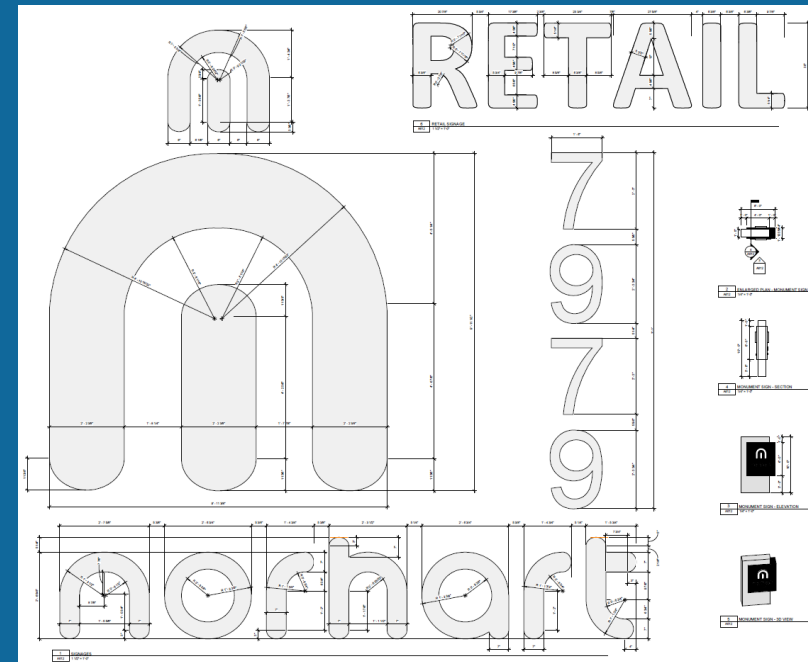
- 1 sign per wall per street frontage.
- Total sign area may not exceed:
 - 15% of the ground floor building façade for single-tenant buildings.
 - 5% of the building façade for multi-tenant buildings, with each sign not to exceed 50 square feet.
 - 15% of façade along Highway 10 with no maximum square footage.
- Tenant signage must be located on the tenant lease space.
- At least 50% of the allowed signage must be allocated to ground floor tenants and be located on the ground floor, street-side.
- Sign height cannot exceed the parapet or eave height.



COR-4A, 4B, & 4C DISTRICTS



- 1 sign per wall per street frontage.
- Total sign area may not exceed:
 - 5% of the ground floor building façade for single-tenant buildings in COR-4.
 - 5% of the building façade for multi-tenant buildings, with each sign not to exceed 50 square feet.
- Tenant signage must be located on the tenant lease space.
- At least 50% of the allowed signage must be allocated to ground floor tenants and be located on the ground floor, street-side.
- Sign height cannot exceed the parapet or eave height.



WHAT ARE THE CURRENT PROCEDURES FOR NEW CONSTRUCTION?

- Signage in the COR is typically approved as a package by Planning Commission and City Council, alongside site plans for new projects.
- Wall signs require separate permits from an overall building permit for new construction.
- Sign permits are required for changing panels on cabinet signs, even if the cabinet size remains the same.

WHAT ARE THE CURRENT SIMILARITIES?

- All zoning districts have a maximum percentage of wall sign area, based on the front façade of a building.
- All multi-tenant buildings are guided to install proportionate wall signage for each tenant.
- Maximum height for wall signs in all zoning districts, usually at a building's roofline.
- 10% bonus area in most districts for applied letters in lieu of box, cabinet, or channelized signage.
- Wall signs in all zoning districts require separate permits from the overall building permit for new construction.

WHAT ARE THE CURRENT DIFFERENCES?

- COR-4a, 4b, & 4c allow less wall signage (5%) than other districts (15%)
- Multi-tenant buildings in COR-1 & COR-3 are also limited to 5% wall signage, while multi-tenant buildings in other districts can have up to 15%, and single-tenant buildings in COR-1 & COR-3 also allow 15%.
- Signage in the COR is usually reviewed and approved by Planning Commission and City Council as a sign package, while signage in other districts is reviewed and approved administratively.
- Minor inconsistencies in wall signage definitions between zoning districts.

WHAT ARE THE CURRENT CHALLENGES?

- Frequent concern from applicants regarding COR signage regulations being too stringent and complicated.
- Channel letter design is more expensive.
- Inconsistent language across zoning districts.
- COR Framework states that comprehensive sign plans shall be approved by the Zoning Administrator (staff).
- Highway 10 frontage rule only applies to Northstar Marketplace.
- The current sign code refers to obsolete zoning districts (E-1, E-2, & COR-5).
- No code language for tenant turnover or rebranding.
- No code language for PUD, PI, P, or CL districts.



TABLE OF CURRENT WALL SIGN REGULATIONS

	B-1, B-2, & B-3	I-1 & I-2 (E-1 & E-2)	COR-1 & COR-3	COR-2 & COR-2b	COR-4a, COR-4b, COR-4c	PUD, PI, P, & CL
Max. # of Wall Signs	None	None	1 per tenant per street frontage**	1 per tenant per street frontage**	1 per tenant per street frontage**	None
Total Sign Area	15% of front façade	15% of front façade	15% of front façade*	15% of front façade	5% of front façade	No specific requirements
Sign Placement	Any building façade	Any building façade	Any façade, with at least 50% on front	Any façade, with at least 50% on front	Any façade, with at least 50% on front	No specific requirements
Height Maximum	Height of parapet/eaves	Height of parapet/eaves	50% at ground floor; all signs at height of parapet/eaves	Height of parapet/eaves	50% at ground floor; all signs at height of parapet/eaves	No specific requirements
Review & Approval***	Staff	Staff	PC, CC, & Staff	PC, CC, & Staff	PC, CC, & Staff	PC, CC, & Staff

* 15% for single-tenant buildings, 5% for multi-tenant buildings.

** Most buildings in the COR have multiple signs per tenant, approved through a sign package.

*** Sign reviews must be content-neutral, with a sole focus on size and placement.

RECOMMENDED ACTION

Provide direction to Staff to develop clear, consistent, and simplified regulations for wall signage in all zoning districts.

DIVISION 8. SIGNS

Subdivision I. In General

Sec. 117-457. Purpose.

The purpose of this division is to protect and promote the general welfare, health, safety and order within the city through the establishment of a comprehensive and impartial series of standards, regulations and procedures governing the erection, use and/or display of devices, signs or symbols serving as a visual communicative media to persons situated within or upon public rights-of-way or properties. The provisions of this division are intended to encourage creativity, a reasonable degree of freedom of choice, an opportunity for effective communication and a sense of concern for the visual amenities on the part of those designing and displaying communicative media for the types regulated by this division, while at the same time assuring that the public health and welfare is not endangered.

(Code 1978, § 9.12.01; Ord. No. 94-02, 2-28-1994; Ord. No. 08-07, § 2, 2-12-2008; Ord. No. 08-25, § 2, 8-12-2008)

Sec. 117-458. Substitution clause.

The owner of any sign that is otherwise allowed by this division may substitute noncommercial speech in lieu of any other commercial speech or noncommercial speech. The owner of any sign that is otherwise allowed by this division may substitute commercial speech in lieu of any other commercial speech or noncommercial speech. This substitution of copy may be made without any additional approval or permitting. The purpose of this division is to prevent any inadvertent favoring of commercial speech over noncommercial speech, favoring of noncommercial speech over commercial speech, favoring any particular commercial speech over any other commercial speech, or favoring of any particular noncommercial speech over any other noncommercial speech. This division prevails over any more specific provision to the contrary.

Sec. 117-459. Variations.

Request for variations from the provisions of this division shall be processed by the applicant applying to the zoning administrator for a conditional use permit, which conditional use permit procedure shall be as prescribed in section 117-50.

(Code 1978, § 9.12.24; Ord. No. 94-02, 2-28-1994; Ord. No. 03-31, 9-15-2003; Ord. No. 08-07, § 2, 2-12-2008; Ord. No. 08-25, § 2, 8-12-2008)

Sec. 117-460. Conflict.

If any portion of this division is found to be in conflict with any other provision of any zoning, building, fire, safety or health ordinance of the city, the provision that establishes the higher standard shall prevail.

(Code 1978, § 9.12.25; Ord. No. 94-02, 2-28-1994; Ord. No. 08-07, § 2, 2-12-2008; Ord. No. 08-25, § 2, 8-12-2008)

Sec. 117-461. Violations.

- (a) When, in the opinion of the zoning administrator, a violation of this Code exists, the zoning administrator shall issue a written order to either the owner of the sign, or the owner of the property, or tenant leasing the property, on which the sign is placed. The order shall specify those sections of this Code involved, describe the violation and shall direct that the violation be corrected within five days from the date of the order, unless otherwise specified by the zoning administrator. If the violation is not corrected, the violation will be penalized through the administrative citation or removal, whichever is appropriate.
- (b) If the zoning administrator or building official finds that a sign is abandoned or is structurally, or electrically defective, or in any way endangers the public, the zoning administrator or building official shall issue a written order to the owner of the sign and occupant of the premises stating the nature of the violation and requiring repair or removal of the sign within 60 days of the date of the order.

(Code 1978, § 9.12.21; Ord. No. 94-02, 2-28-1994; Ord. No. 03-31, 9-15-2003; Ord. No. 08-07, § 2, 2-12-2008; Ord. No. 08-25, § 2, 8-12-2008)

Sec. 117-462. Removal of signs by the zoning administrator.

- (a) The zoning administrator may cause the removal of any illegal sign, any sign remaining after a business permanently closes, or any sign not properly maintained in cases of emergency, or after failure to timely comply with written orders for removal or repair. After removal or demolition of the sign, a notice shall be mailed to the sign owner and owner of the property where the sign was located stating the nature of the work and the date on which it was performed and demanding payment of the costs as certified by the zoning administrator together with an additional 50 percent for inspection and incidental costs.
- (b) If the amount specified in the notice is not paid within 30 days after mailing of the notice, it shall become a lien against the parcel where the sign was located and shall be certified as an assessment against the property together with ten percent interest for collection in the same manner as the real estate taxes.
- (c) The owner of the parcel upon which the sign is located shall be presumed to be the owner of all signs thereon unless facts to the contrary are brought to the attention of the zoning administrator.
- (d) In case of emergency, the zoning administrator or building official may cause the immediate removal of a dangerous or defective sign without notice. Signs removed in this manner must present a hazard to the public safety as defined in the state building code.

(Code 1978, § 9.12.22; Ord. No. 94-02, 2-28-1994; Ord. No. 08-07, § 2, 2-12-2008; Ord. No. 08-25, § 2, 8-12-2008)

Sec. 117-463. General restrictions.

- (a) *Address sign.* One address sign shall be required per main building in all districts.
- (b) *Bench sign.* Bench signs shall be permitted only at bus stops.
- (c) *Ground sign.* A ground sign shall not project higher than 25 feet as measured from base of sign or grade of the nearest adjacent roadway, whichever is lower. Any ground sign within 50 feet of any intersection of street right-of-way lines and/or driveway entrances shall have a minimum vertical clearance of 12 feet above the centerline of the pavement unless it can be shown that it can comply with subsections (e)(2)a and b of this section.

-
- (d) *Canopies or marquees.* Canopies and marquees shall be considered to be an integral part of the structure to which they are an accessory. Signs may be attached to a canopy or marquee, but such structures shall not be considered as part of the wall area and thus shall not warrant additional sign area.
- (e) *Location.*
- (1) No sign other than governmental signs shall be erected or temporarily placed within any street or public right-of-way or upon any public easement.
 - (2) A permit for a sign to be located within 50 feet of any street or highway regulatory or warning sign, or any traffic sign or signal, or of any crossroad or crosswalk, will not be issued unless:
 - a. The sign will not interfere with the ability of drivers and pedestrians to see any street or highway sign, or any traffic sign or signal, or any crossroad or crosswalk; and
 - b. The sign will not distract drivers nor offer any confusion to any street or highway, sign, or any traffic sign or signal.
 - (3) A sign shall not be located so as to extend over any lot line or within 15 feet of any point of vehicular access from a parcel to a public roadway.
- (f) *Dynamic display and illumination.*
- (1) Based on findings conducted by scientific studies, the city finds that dynamic displays should be allowed on signs with appropriate regulation in order to minimize their proliferation and their potential threats to public safety.
 - (2) Regulations. Dynamic displays on signs are subject to the following conditions:
 - a. Size. On-premise signs may include dynamic displays. Dynamic display signs shall not exceed the size allowed by this chapter. Dynamic displays are not in addition to the size allowed for static signs.
 - b. Frequency of display change. A dynamic display may not change more often than once every three seconds, and no part of the display may include flashing or scrolling text. The images display must be static, and the transition from one display to another must be instantaneous without special effects. The dynamic display shall not be allowed to project full-motion video. Subtle transition animations shall be allowed.
 - c. Brightness. No sign may be brighter than is necessary for clear and adequate visibility, or that it interferes with the effectiveness of a traffic sign or signal, or that it distracts a driver from motor vehicle operation.
 - d. Troubleshooting. Dynamic displays must be designed and equipped to freeze the device in one position if a malfunction occurs. The display must also be equipped with a means to immediately discontinue the display if it malfunctions, and the sign owner must immediately stop the dynamic display when notified by the city that it is not complying with the standards of this section.
- (g) *Institutional and recreational identification sign.* One wall and/or ground sign shall be permitted to identify the civic, philanthropic, educational, public or religious organization or recreational use occupying the parcel. There shall not be more than one ground sign for each parcel. The gross surface area of a ground sign shall not exceed 100 square feet for each exposed face nor exceed an aggregate gross surface area of 200 square feet. Such facilities having more than one point of entrance or street frontage may erect secondary identification signs not to exceed 50 square feet for each exposed face at the additional entrance points or street frontages.
- (h) *Institutional attraction boards.* There shall not be more than one institutional attraction board for each principal building and it may be either wall or ground type or constructed as a part of the institutional

identification sign. The gross surface area of an attraction board shall not exceed 50 square feet for each exposed face nor exceed an aggregate gross surface area of 100 square feet. An attraction board shall not be located so as to extend over any lot line or within 15 feet of any point of vehicular access from any parcel to a public roadway. Attraction boards shall not exceed 15 feet in height as measured from the base of the sign or building to which the sign is to be affixed or the grade of the nearest adjacent roadway, whichever is higher.

- (i) *Pennants.* The use of pennants is permitted in any commercial district provided the pennants are securely anchored and maintained in good repair, including replacement or removal when weather damage is evident. The zoning administrator, or his designee, shall have the authority to identify and notify property owners and/or occupants of the parcel on which the pennants have been determined to be in violation of this Code. Failure to remove or replace the pennants within ten days of notification shall be sufficient cause for the zoning administrator or his designee to remove said pennants. The property owner shall be billed for all costs incurred by the city in administering this subdivision.
- (j) *Banners.* The use of banners is permitted in any commercial district as permanent wall signage provided the banner is securely anchored and maintained in good repair, including replacement or removal when weather damage is evident. The square footage dedicated to banners is limited to 50 percent of the total square footage allowance for wall signs. Facilities choosing to utilize wall banners in addition to other permanent wall signage shall be required to obtain a separate sign permit for the maximum square footage allowed for banners and payment of the permanent sign fee.
- (k) *Flags.* The display of flags shall be permitted in all districts. However, the total square footage area of any flags used as advertising copy or as attention getting devices for commercial purposes shall be considered as permanent signage and counted towards the total allowable sign area permitted by this section for the parcel on which the flag is displayed. Flag height is restricted to 25 feet.
- (l) *Directional signs.* Directional or instructional signs are restricted to on-site direction and instruction, with the exception of governmental signs, temporary real estate signs and public event signs, and shall not exceed four square feet in size. Such signs shall only provide direction or instruction to guide persons to facilities intended to serve the public.
- (m) *Maintenance.*
 - (1) The surface and structure of all signs must be kept refinished as necessary to prevent the sign surface from becoming unkempt in appearance. The zoning administrator shall use the following guidelines to determine if the sign is unkempt: evidence of rust, peeling paint, structural damage, message damage, and/or weathering.
 - (2) When any sign for which a permit is required is removed, the zoning administrator shall be notified and the entire sign and its components shall be removed.
 - (3) The permit owner shall be responsible for all of the requirements of this section, including the liability for expense of removal and maintenance incurred by the city.
- (n) *Sign content.* No sign shall contain obscene images or statements in violation of Minn. Stats. § 617.241.

(Code 1978, § 9.12.03; Ord. No. 94-02, 2-28-1994; Ord. No. 03-31, 9-15-2003; Ord. No. 08-07, § 2, 2-12-2008; Ord. No. 08-25, § 2, 8-12-2008; Ord. No. 12-20, § 1, 11-27-2012)

Sec. 117-464. Prohibited signs.

- (a) *"A" frame or sandwich board signs.* "A" frame or sandwich board signs are prohibited.
- (b) *Advertising device signs.* Advertising device signs are prohibited except as provided for in section 117-465.

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- (c) *Whirling devices, searchlights, streamers, balloons and other gas-filled figures.* Whirling devices, searchlights, streamers, balloons, and other gas filled figures, are prohibited except as a temporary sign as provided for in section 117-465.
 - (d) *Flashing or scrolling signs, devices or lights.* Flashing signs, devices, or lights are not permitted in any district except as provided for in section 117-463(f).
 - (e) *Portable signs.* Portable signs are prohibited except as temporary signs as provided for in section 117-465.
 - (f) *Projecting signs.* No projecting sign shall be permitted in any district.
 - (g) *Roof signs.* Roof signs are prohibited in any zoning district.
 - (h) *Signs on parked vehicles.* Signs painted or mounted on or attached to vehicles, trailers or equipment where the apparent primary purpose of the vehicle or equipment is to display said sign are prohibited. However, this is not in any way intended to prohibit signs placed on or affixed to vehicles and trailers, such as lettering on motor vehicles, where the sign is incidental to the primary use of the vehicle, trailer and/or any other type of mobile equipment.
 - (i) *Signs on trees and utility poles.* Signs which are attached or otherwise affixed to trees or other vegetation or utility poles are prohibited.
 - (j) *Signs painted on walls.* Signs painted on an exterior wall, fascia, parapet or a chimney of a building or on a fence are prohibited.
 - (k) *Signs which imitate traffic control devices.* Signs which imitate, interfere with, obstruct the view of, or can be confused with any authorized traffic control sign, signal, or other device are prohibited.
 - (l) *Billboards.* No billboards shall be permitted in any zoning district of the city, except as otherwise provided in this division and except that off-premise signs may be located on adjacent parcels or at shared entrances. Shared entrances shall be encumbered by a recordable easement, filed with the Anoka County Recorder.
- (Code 1978, § 9.12.04; Ord. No. 94-02, 2-28-1994; Ord. No. 03-31, 9-15-2003; Ord. No. 08-07, § 2, 2-12-2008; Ord. No. 08-25, § 2, 8-12-2008; Ord. No. 12-20, § 1, 11-27-2012)

Sec. 117-465. Temporary signs.

- (a) Temporary signs are defined as signs which are erected or displayed for a limited period of time and not affixed to a state building code approved structure. A sign is considered temporary if it is not intended to remain on the property permanently and has not received a permanent sign permit and/or is not intended to be constructed per the state building code.
 - (1) *Duration.* Temporary signs shall be permitted for up to six weeks per year per parcel, or per business on multitenant business parcels. The six-week limit may be extended up to four weeks if there have been no sign violations in the past year by the entity who erects the sign.
 - a. *Temporary Highway 10 construction provision (city-wide).* The timeframes described above shall be permitted up to 12 weeks and may be extended in eight-week periods if there have been no sign violations in the past year by the entity who erects the sign and if the sign is in good repair. This temporary provision expires on December 31, 2025.
 - (2) *Location.* Temporary signs must be located fully on private property, with the permission of the property owner. The city will remove any signs in the public right-of-way, or erected without permission from the property owner.
 - (3) *Number.* All properties are limited to two temporary signs per parcel. In locations where there are multiple businesses on one parcel (a multitenant facility), three signs are permitted.

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- (4) *Size.* Temporary signs shall be limited to 50 square feet in size.
 - (5) *Permits and fees.* All temporary signs shall be required to obtain a temporary sign permit. The temporary sign permit application shall specify the exact times and dates the temporary sign is to be erected, the size of the sign, the location of the sign, contact information, and other information deemed necessary by the zoning administrator to determine that the temporary sign is erected within applicable code. The temporary sign permit shall be clearly displayed on the temporary sign. The fee for the temporary sign permit shall be established by ordinance as part of the rates and charges. The fee shall only be collected for the first permit per parcel or per business in a multi-tenant facility. The provisions of this division apply to all temporary signs, and appropriate penalties for violations will be assessed, as outlined in section 117-461.
 - a. *Exemptions from temporary sign Permit.* Signs less than 15 square feet in size and all temporary signs in residential districts (R-1 Residential, R-2 Residential, R-3 Residential) are exempt from temporary sign permitting requirements.
 - (6) *Dynamic display.* Temporary signs may consist of dynamic display, provided all standards of section 117-463(f) are complied with.
- (b) Balloons, gas filled figures, streamers, whirling devices and revolving searchlights or any such attention-getting device that is not specifically a sign may be permitted up to four weeks per year, for one week at a time.
- (Code 1978, § 9.12.05; Ord. No. 94-02, 2-28-1994; Ord. No. 08-07, § 2, 2-12-2008; Ord. No. 08-25, § 2, 8-12-2008; Ord. No. 10-11, § 2, 7-27-2010; Ord. No. 12-20, § 1, 11-27-2012; Ord. No. 23-19, § 2, 1-9-2024)

Secs. 117-466. Other temporary signs.

- (a) *Real estate signs.* One temporary real estate sign constructed of durable materials located on the premises is permitted for sale or lease of building or vacant lot for each street frontage.
 - (b) *Construction signs.* One temporary construction sign constructed of durable materials located on the premises is permitted on each street frontage of a development under construction.
- (Ord. No. 12-20, § 1, 11-27-2012)

Secs. 117-467. Unified development signs.

- (a) *General provisions.* A unified development is a development that consists of multiple parcels of similar zoning district and bound by major roadways consisting of arterial or collector designation or higher. Signs for multi-tenant commercial and employment developments may be erected to include off-premise copy under the following conditions:
 - (1) The sign must identify the development at the top of the sign and may include provisions for individual users within the development.
 - (2) The sign must be located within 500 feet of the development and may not be separated from the development by an arterial road.
 - (3) The sign must not exceed 250 square feet per face (500 square feet aggregate) and 30 feet in height.
 - (4) The sign may include dynamic display not to exceed 100 square feet per face (200 square feet aggregate).
 - (5) The sign will not be included in the total signage permitted for the property in which it is located.

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- (6) The general location of area identification signs for commercial and employment districts must be approved by the planning commission as part of a master sign plan approved as part of site plan approval.

(Ord. No. 12-20, § 1, 11-27-2012)

Sec. 117-468. Off-premise digital billboard signs.

- (a) *Findings, purpose, and intent.* The city council finds it necessary for the promotion and preservation of the health, safety, welfare, and aesthetics of the community that the construction, location, size, conspicuity, brightness, legibility, operational characteristics, and maintenance of off-premises digital billboard signs be controlled. Off-premises digital billboard signs have a direct and substantial impact on traffic safety, pedestrian safety, community aesthetics and property values. If left uncontrolled, off-premises digital billboard signs, designed to catch the eye of persons in their vicinity and hold it for extended periods of time, including video display signs, constitute a serious traffic safety threat. The city council intends by this subsection to establish a legal framework for off-premises digital billboard sign regulation in the city to facilitate an easy and agreeable communication between people while protecting and promoting the public health, safety, welfare and aesthetics of the community. It is not the purpose or intent of this subsection to prefer or favor commercial messages or speech over noncommercial messages or speech or to discriminate between types of noncommercial speech or the viewpoints represented therein. Rather, the purpose of the off-premises digital billboard sign regulations promulgated in this subsection is:
 - (1) To eliminate potential hazards to motorists and pedestrians using the public streets, sidewalks, and rights-of-way;
 - (2) To safeguard and enhance property values;
 - (3) To control nuisances;
 - (4) To preserve and improve the appearance of the city through adherence to aesthetic principles, in order to create a community that is attractive to residents and to nonresidents who come to live, visit, work, or trade;
 - (5) To eliminate excessive and confusing sign displays;
 - (6) To encourage signs which by their design are integrated with and harmonious to the surrounding environment and the buildings and sites they occupy;
 - (7) To maintain the character of the mainstreet core downtown but allow local businesses the opportunity to reach a wider audience by advertising along Highway 10; and
 - (8) To promote the public health, safety, and general welfare.
- (b) *Location of off-premises digital billboard signs.* Notwithstanding anything to the contrary contained within this Code, off-premises digital billboard signs may be located only within the off-premises digital billboard sign overlay district. Off-premises digital billboard signs are prohibited in all zoning districts of the city other than the off-premises digital billboard sign overlay district. Off-premises digital billboard signs located in the off-premises digital billboard sign overlay district must comply with all Code requirements for permitted off-premises digital billboard signs.
 - (1) *Permitted districts.* The off-premises digital billboard sign overlay district shall commence along Highway 10 within 250 feet of the Highway 10 centerline within the Ramsey city limits. Off-premises digital billboard signs are not allowed in any residential or planned unit development (PUD) zoning district.

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- (2) *Number of off-premises digital billboard signs.* A total of three off-premises digital billboard signs shall be permitted within the entirety of the off-premises digital billboard sign overlay district.
 - (3) *Separation distance between off-premises digital billboard signs.* Off-premises digital billboard signs shall have a separation distance of at least two miles between each site in which they are located.
 - (4) *Size.* Off-premises digital billboard signs shall not exceed 700 square feet in surface area per sign surface.
 - (5) *Number of surfaces.* Off-premises digital billboard signs shall not contain more than two sign surfaces. Said sign surfaces shall face in opposite directions with an interior angle not to exceed 45 degrees.
 - (6) *Height.* Off-premises digital billboard signs shall not exceed 50 feet in height as measured from the established grade of the site upon which the off-premises signs and digital billboards is located.
 - (7) *Conditional use.* Off-premises digital billboard signs shall be processed in accordance with the procedures established for conditional use permits in section 117-51.
- (c) *Off-premises digital billboard sign overlay district performance standards:* The off-premises digital billboard sign overlay district is hereby established as a separate zoning district within the city. Within the off-premises digital billboard sign overlay district, off-premises digital billboard signs are permitted subject to the following conditions:
- (1) No off-premises digital billboard signs shall be erected that, by reason of position, shape, movement, or color, interferes with the proper functioning of a traffic signal or which constitutes a traffic hazard.
 - (2) Off-premises digital billboard signs shall not be located so as to extend over any property line or within a drainage and utility easement, or within 15 feet of any point of vehicular access from a parcel to a public roadway.
 - (3) Off-premises digital billboard signs must have an architecturally enhanced base.
 - (4) Off-premises digital billboard signs must have minimum display duration of seven seconds. Such display shall contain static messages only; change from one static message to another shall be instantaneous without any special effects, through dissolve or fade transitions, or with the use of another subtle transition technique that does not have the appearance of moving text or images.
 - (5) Off-premises digital billboard signs must be rectangular in shape and all messages must be contained within the off-premises digital billboard frame.
 - (6) All off-premises digital billboard signs shall have ambient light monitors installed as part of the off-premises digital billboard sign and shall, at all times, allow such monitors to automatically adjust the brightness level of the electronic sign based on light conditions.
 - (7) Off-premises digital billboard signs shall meet the following brightness standards:
 - a. Off-premises digital billboard signs shall not exceed 7,500 nits (candelas per square meter) between the hours of civil sunrise and civil sunset and shall not exceed 500 nits (candelas per square meter) between the hours of civil sunset and civil sunrise as measured from the face of the sign. The light level shall not exceed 0.3-foot candles above ambient light as measured from a pre-set distance depending on sign size. Measuring distance shall be determined using the following equation: the square root of the message center sign area multiplied by 100. Example: 12 square foot sign $\sqrt{(12 \times 100)} = 34.6$ feet measuring distance.
 - (8) Off-premises digital billboard signs shall have a fully functional monitoring off switch system that shuts the dynamic display off-premises sign off when the display deteriorates, in any fashion, five percent or greater until the dynamic display sign has been repaired to its fully functional factory specifications.
 - (9) Off-premises billboard signs must be part of the State of Minnesota's public safety alert system.

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- (10) Applicants for an off-premises digital billboard signs permit shall enter into an agreement with the city to provide the city no less than 20 hours (provided in 9,000 eight-second spots) per month per dynamic display off-premises sign face in the city for community and public service messages at such times as shall be reasonably determined by the city. This agreement must be approved by the city council before a permit for the construction or conversion of an off-premises signs and digital billboard may be issued by the building official.

(Ord. No. 22-19, § 2, 6-28-2022)

Secs. 117-469—117-483. Reserved.

Subdivision II. Permit

Sec. 117-484. Required; exemptions.

- (a) All permanent signs shall obtain a permit prior to installation. This permit is reviewed by the zoning administrator and the building official, or their assigns, for conformance with the regulations described herein. Temporary signs shall obtain a permit in accordance with section 117-465.
- (b) Exemptions. The exemptions permitted by this section shall apply only to the requirement of a permit and fee and shall not be construed as relieving the installer of the sign, or the owner of the property upon which the sign is located, from conforming with the other provisions of this division.
- (1) A window sign not exceeding 30 percent of the window area.
 - (2) Holiday decorations temporarily displayed on traditionally accepted civic, patriotic, or religious holidays.
 - (3) On-premises address or nameplate identification signs having a sign area of four square feet or less.
 - (4) Memorial plaques or tablets, grave markers, statutory, or other remembrances of persons or events that are noncommercial in nature.
 - (5) Interior signs which are fully located within the interior of any building or stadium, or within an enclosed lobby or court of any building, or in the lobby or entrance of any theater which are intended solely for information relating to the interior operation of the building in which they are located.
 - (6) Pennants.
 - (7) Noncommercial speech signs, as exempted in the Minnesota Statutes.

(Code 1978, §§ 9.12.14, 9.12.16; Ord. No. 94-02, 2-28-1994; Ord. No. 03-31, 9-15-2003; Ord. No. 08-07, § 2, 2-12-2008; Ord. No. 08-25, § 2, 8-12-2008; Ord. No. 10-11, § 2, 7-27-2010)

State law reference(s)—Exemptions for noncommercial signs, Minn. Stats. § 211B.045.

Sec. 117-485. Application.

Application for permits shall be made upon forms provided by the zoning administrator and shall state or have attached thereto the following information:

- (1) The names, addresses, and telephone numbers of the applicant, the owner of the parcel on which the sign is to be erected or affixed, the owner of the sign, and the person to be erecting or affixing the sign.
- (2) Type of sign.

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- (3) Type of construction materials to be used.
 - (4) Location of building, structure or parcel to which, or upon which, the sign is to be attached or erected.
 - (5) Position of the sign or other advertising structures in relation to the nearest buildings, structures, public streets, rights-of-way and property lines, along with location and square footage areas for all existing signs on the same premises. The drawing showing such position shall be prepared "to scale."
 - (6) Blueprint or ink drawing of the plans and specifications, and method of construction or attachment to the building or in the ground, including all dimensions, locating all light sources, wattage, type and color of lights and details of any light shields or shades.
 - (7) Copy of stress sheets and calculations, showing the structure is designated for dead load and wind velocity in the amount required by this division and all other ordinances of the city, if required by the zoning administrator or building official. The zoning administrator or building official may require additional information concerning safety.
 - (8) An agreement with the city which would authorize and direct the city to remove the sign and sign structure, at the expense of the applicant, where maintenance is required and the maintenance is not furnished, but only after a notice of 60 days specifying the maintenance required by the city.

(Code 1978, § 9.12.17; Ord. No. 94-02, 2-28-1994; Ord. No. 08-07, § 2, 2-12-2008; Ord. No. 08-25, § 2, 8-12-2008;)

Sec. 117-486. Administration.

The zoning administrator shall process applications for permits. The building official is empowered, upon presentation of proper credentials, to enter or inspect any building, structure, or parcel in the city for the purpose of inspection of a sign and its structural and electrical connections to ensure compliance with all applicable codes and ordinances.

(Code 1978, § 9.12.20; Ord. No. 94-02, 2-28-1994; Ord. No. 08-07, § 2, 2-12-2008; Ord. No. 08-25, § 2, 8-12-2008)

Sec. 117-487. Permit issuance or denial.

- (a) The zoning administrator shall issue a permit for the erection, alteration, or relocation of a sign within 14 days of receipt of a completed application and nonrefundable application fee provided that the sign complies with all applicable laws and regulations of the city.
- (b) When a permit is denied, written notice shall be provided to the applicant along with a brief statement of the reasons for denial. The zoning administrator or building official may suspend or revoke an issued permit for any false statement or misrepresentation of fact in the application.

(Code 1978, § 9.12.18; Ord. No. 94-02, 2-28-1994; Ord. No. 08-07, § 2, 2-12-2008; Ord. No. 08-25, § 2, 8-12-2008)

Sec. 117-488. Permit fees.

The permit fee for permanent and temporary signs shall be as provided by ordinance.

(Code 1978, § 9.12.15; Ord. No. 94-02, 2-28-1994; Ord. No. 08-07, § 2, 2-12-2008; Ord. No. 08-25, § 2, 8-12-2008)

State law reference(s)—Fees, Minn. Stats. § 462.353, subds. 4, 4a.

Sec. 117-489. Fee refunds and permit expiration; commencing work without permit.

- (a) If an issued permit is withdrawn by the applicant within 90 days of issuance, and if no inspections have been made and no work authorized by the permit has been performed, 50 percent of the permit fee may be refunded to the applicant.
- (b) A permit issued by the zoning administrator becomes null and void if work is suspended or abandoned or not completed within six months of issuance, but may be reinstated with an additional payment of one-half of the original fee.
- (c) Any sign installed or placed on any parcel prior to receipt of a permit, the specified permit fee shall be doubled. However, the payment of the doubled fee shall not relieve any person of any other requirement or penalties prescribed in this section.

(Code 1978, § 9.12.19; Ord. No. 94-02, 2-28-1994; Ord. No. 03-31, 9-15-2003; Ord. No. 08-07, § 2, 2-12-2008; Ord. No. 08-25, § 2, 8-12-2008)

Secs. 117-490—117-516. Reserved.

Subdivision III. District Regulations

Sec. 117-517. District regulations.

In addition to those signs permitted or required in all districts as described in sections 117-463 and 117-465, the following signs are permitted in each specific district and shall be regulated as to size, location and character according to the requirements herein set forth.

(Code 1978, § 9.12.06; Ord. No. 94-02, 2-28-1994; Ord. No. 08-07, § 2, 2-12-2008; Ord. No. 08-25, § 2, 8-12-2008)

Sec. 117-518. Residential type districts.

- (a) *Area identification signs.* One sign per vehicular access to a development, not to exceed 32 square feet in area is permitted.
- (b) *Temporary signs.* Temporary signs are permitted in accordance with section 117-465.
- (c) *Home occupation signs.* Home occupations signs may be permitted in accordance with section 117-351.

(Code 1978, § 9.12.07; Ord. No. 03-31, 9-15-2003; Ord. No. 08-07, § 2, 2-12-2008; Ord. No. 08-25, § 2, 8-12-2008)

Sec. 117-519. Business type districts.

- (a) *Business use signs.*
 - (1) *Wall, canopy or marquee sign.* Total sign area may not exceed 15 percent of the front building facade. Businesses in multitenant buildings shall be allowed the proportionate share of the total wall sign area. The total wall signage permitted may be distributed on any other building facade. Sign height shall not exceed the top of the parapet wall or, if no parapet wall, sign height shall not exceed the height of the eaves. A wall, canopy or marquee sign may be located on the outermost wall of any principal building but shall not project more than 16 inches from the wall to which the sign is to be affixed. The gross surface area of a wall, canopy or marquee sign may be increased by ten percent if such wall sign:

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- a. Consists only of individual, outlined alphabetic, numeric and/or symbolic characters without background except that provided by the building surface to which the sign is to be affixed; and
 - b. Illumination, if any, is achieved through shielded illumination, shielded silhouette lighting, or shielded spot lighting but not any lighting where the light source is visible or exposed on the face or sides of the characters.
- (2) *Ground sign.* There shall not be more than one ground sign for each parcel or per road frontage on parcels with more than one road frontage, not to exceed an aggregate of two ground signs. The gross surface area of a ground sign shall not exceed 100 square feet for each exposed face nor exceed an aggregate gross surface area of 200 square feet. For parcels qualifying for two ground signs, the second ground sign shall not exceed 50 square feet for each exposed face nor exceed an aggregate gross surface area of 100 square feet and may not exceed 12.5 feet in height as measure in section 117-463(c) of this section.
- (3) *Service bay identification signs.* Service bay identification signs providing direction or instruction to persons using the facility and containing no advertising material of any kind shall be subject to the following:
- a. All service bay identification signs shall be wall signs.
 - b. There shall not be more than one service bay identification sign for each service bay located on the parcel.
 - c. A service bay identification sign may be located on the outermost wall of any principal building adjacent to a service bay entrance.
 - d. A service bay identification sign shall not project higher than the parapet line of the wall to which the sign is to be affixed.
- (4) *Fuel pump island identification sign.* Fuel pump island identification signs indicating the type of service offered; the price of gasoline; and other relevant information, within reason, pertaining to the facility; or direction to persons using the facility shall be subject to the following: The gross surface area of a service island identification sign shall be counted against the maximum allowable sign area for the subject parcel.
- (5) *Menu board.* Menu board for drive-up or walk-up lane of a drive-in business are allowed up to a maximum of 50 square feet of total signage. Menu boards are allowed a message on one side only and cannot contain an advertising message.
- (6) *Directional signs.*
- a. Directional or instructional signs are permitted in accordance with section 117-463(l).
 - b. Parking lot directional signs designating parking area entrances and exits are limited to one sign for each entrance and/or exit and shall not exceed four square feet for each exposed face. Parking lot directional signs shall not project higher than five feet in height, as measured from the established grade of the parking area to which such signs are accessory.
 - c. Parking lot instructional signs designating the conditions of use or identifying parking areas shall not exceed eight square feet and shall not project higher than ten feet in height for wall signs and seven feet in height for ground signs, as measured from the established grade of the parking area to which such signs are accessory.
 - d. Window signs are restricted to 30 percent of the area of the window in which the sign is to be displayed.

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- (b) *Shopping center signs.* In accordance with section 117-54, the developer shall submit a sign plan for approval, drawn to scale with elevations, at the time application is made for site plan approval. The sign plan shall include but not be limited to the following information: number of signs, type of signs, sign sizes, type of construction materials, sign messages, and proposed sign locations.
 - (c) *Permitted freestanding signs* under previous section 117-519(a) (business use signs), and located within the Highway 10 Signage Overlay District as defined by this section and not further regulated by the Mississippi River Corridor Critical Area Overlay District, shall be allowed to a height of not more than 75 feet and an area of not greater than 150 square feet (for a single-user sign) or 300 square feet (for a multi-user sign). Signs permitted under this section shall have a monument style base constructed of materials that are consistent with the principal building to a minimum height of six feet.

(Code 1978, § 9.12.08; Ord. No. 94-02, 2-28-1994; Ord. No. 03-31, 9-15-2003; Ord. No. 08-07, § 2, 2-12-2008; Ord. No. 08-25, § 2, 8-12-2008; Ord. No. 10-11, § 2, 7-27-2010; Ord. No. 13-15, § 2, 8-27-2013; Ord. No. 22-20, § 3, 7-26-2022)

Sec. 117-520. E-1 and E-2 Employment Districts.

- (a) *Wall, canopy or marquee sign.* Total sign area may not exceed 15 percent of the front building facade. Sign height shall not exceed the top of the parapet wall or, if no parapet wall, sign height shall not exceed the height of the eaves. A wall, canopy or marquee sign may be located on the outermost wall of any principal building but shall not project more than 16 inches from the wall to which the sign is to be affixed. Where a principal building is devoted to two or more permitted uses, the operator of each such use may install a wall sign upon his proportionate share of the building wall to which the sign is to be affixed. The maximum gross surface area of each such wall sign shall be determined by calculating the proportionate share of the area of the building wall, including doors and windows to which the sign is to be affixed and applying such proportion to the total permitted wall sign aggregate gross surface area for the building. The gross surface area of a wall sign may be increased by ten percent if such wall sign:
 - (1) Consists only of individual, outlined alphabetic, numeric, and/or symbolic characters without background except provided by the building surface to which the sign is to be affixed; and
 - (2) Any illumination, if any, is achieved through shielded illumination, shielded silhouette lighting, or shielded spot lighting but not any lighting where the light source is visible or exposed on the face or sides of the characters.
- (b) *Ground signs.* There shall not be more than one ground sign for each parcel or per road frontage on parcels with more than one road frontage, not to exceed an aggregate of two ground signs. The gross surface area of a ground sign shall not exceed 100 square feet for each exposed face nor exceed an aggregate gross surface area of 200 square feet. For parcels qualifying for two ground signs, the second ground sign shall not exceed 50 square feet for each exposed face nor exceed an aggregate gross surface area of 100 square feet and may not exceed 12.5 feet in height as measured in section 117-463(c) of this section.
- (c) *Directional signs.*
 - (1) Directional or instructional signs are permitted in accordance with section 117-463(l).
 - (2) Parking lot directional signs designating parking area entrances and exits are limited to one sign for each entrance and/or exit and shall not exceed four square feet for each exposed face. Parking lot directional signs shall not project higher than five feet in height, as measured from the established grade of the parking area to which such signs are accessory.
 - (3) Parking lot instructional signs designating the conditions of use or identification of parking areas shall not exceed eight square feet and shall not project higher than ten feet in height for wall signs and

seven feet in height for ground signs, as measured from the established grade of the parking area to which such signs are accessory.

- (d) *Window signs.* Window signs shall not exceed 30 percent of the area of the window in which the sign is proposed to be displayed.

(Code 1978, § 9.12.09; Ord. No. 94-02, 2-28-1994; Ord. No. 03-31, 9-15-2003; Ord. No. 08-07, § 2, 2-12-2008; Ord. No. 08-25, § 2, 8-12-2008; Ord. No. 17-01, § 2, 1-10-2017)

Sec. 117-521. Business and industrial park signs.

- (a) *Park identification signs.* Industrial or business park signs shall be permitted to contain the following information: the name and address of the park, the management or the developer thereof, and the names of the individual businesses located within said park. Park identification signs shall contain no advertising material of any kind, and shall be subject to the following:

- (1) All industrial and business park signs shall be ground or wall signs.
- (2) There shall not be more than one industrial or business park sign for each point of vehicular access to an office or industrial park.
- (3) The gross surface area of an industrial or business park sign shall not exceed 100 square feet in gross surface area for each exposed face nor exceed an aggregate gross surface area of 200 square feet.
- (4) A ground industrial or business park sign shall not project higher than ten feet, as measured from base of sign or grade of the nearest adjacent roadway, whichever is higher.

- (b) *Park member identification signs.*

- (1) There shall not be more than one wall sign for each principal building or tenant or use within a building, except where the building abuts two or more streets, additional such signs, one oriented to each abutting street, shall be permitted.
- (2) There shall not be more than one ground sign for each principal building.
- (3) The gross surface area of a wall sign shall not exceed 15 percent of the occupant's proportionate share of the building wall to which the sign is to be affixed. A wall sign shall not project higher than the parapet line of the wall to which the sign is to be affixed.
- (4) The gross surface area of a ground sign shall not exceed 100 square feet for each exposed face nor exceed an aggregate gross surface area of 200 square feet.
- (5) A ground sign shall not project higher than ten feet, as measured from base of sign or grade of the nearest adjacent roadway, whichever is higher.

(Code 1978, § 9.12.10; Ord. No. 94-02, 2-28-1994; Ord. No. 03-31, 9-15-2003; Ord. No. 08-07, § 2, 2-12-2008; Ord. No. 08-25, § 2, 8-12-2008)

Sec. 117-522. Construction specifications.

- (a) All signs permitted by this division in excess of 16 square feet shall be painted, lettered, or faced to the workmanship standards and best commercial practices of companies normally engaged in the business of providing commercial signs, using materials designed and marketed specifically for use on outdoor signs.

-
- (b) In addition to complying with the provisions of this division, all signs shall be constructed in accordance with the applicable provisions of the 1991 Edition of the Uniform Sign Code and State Electrical Code and as subsequently amended.
 - (c) All signs shall be located in such a way that they maintain horizontal and vertical clearance of all electrical power lines and communication lines.
 - (d) All signs and their supporting structures shall maintain clearance and non-interference with all surface and underground facilities and conduits for water, sewage, gas, electricity, or communications equipment or lines. In addition, the placement of all signs and their supporting structures shall not interfere with natural or artificial drainage or surface or underground water.
 - (e) All signs, except those attached flat against the wall of a building, shall be constructed to withstand minimum wind loads as follows:
 - (1) Solid signs: 30 pounds per square foot per face of the sign.
 - (2) Open signs: 36 pounds per square foot of the total face area of the letters and other sign surfaces, or ten pounds per square foot of the gross surface area of the sign, whichever is greater.

(Code 1978, § 9.12.12; Ord. No. 94-02, 2-28-1994; Ord. No. 03-31, 9-15-2003; Ord. No. 08-07, § 2, 2-12-2008; Ord. No. 08-25, § 2, 8-12-2008)

Secs. 117-523—117-554. Reserved.

Overall Framework - Signage

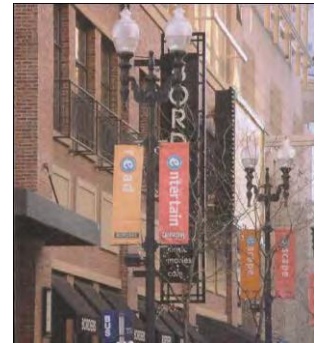
Overview

Signage within The COR should provide a system for clear wayfinding for all modes of transportation and should ensure successful business operation while maintaining the design aesthetic of this unique project. These sign standards are intended to allow flexibility and creativity while maintaining the design concepts of The COR. Due to the distinctive nature of The COR, the sign standards from the City Code are not applicable and signage shall be allowed as prescribed by the Design Framework. A Master Sign Plan identifies the location of key sign locations (see Figure 5: Signage Plan).

Guideline Recommendations

The COR development manager shall prepare a Master Sign Plan for the public elements of the project, which are in compliance with the design framework and will be adopted by reference. The Master Sign Plan will specifically address public signs including:

- The three (3) off-site community signs
- Banner signs on light poles
- Signage for public parks
- Signage for public parking ramps
- Signage for public buildings
- Community kiosks



Objectives

Signage should be used as a tool to help identify businesses and neighborhoods with The COR and should have elements that are focused on the pedestrian nature of The COR as well as the signage needs for businesses.

- Signage and lighting which is integrated into the design of the building is encouraged.

Definitions

Awning Sign means a sign incorporated into or attached to an awning.

Community sign means an off-site sign identifying the development name and key tenants. Community signs may also include public information. Reader boards are allowed to be incorporated into community signs within The COR. Gateway and kiosk signs are part of this category.

Temporary Sign means a sign which is erected or displayed for a limited period of time and not affixed to a Minnesota State Building Code approved structure.

Project sign means a freestanding area identification sign which identifies a single-family or multifamily residential subdivision, a commercial development or an industrial park or office park and which is located on the same site as the development it identifies. A site shall be identified as the block in which the use is located.

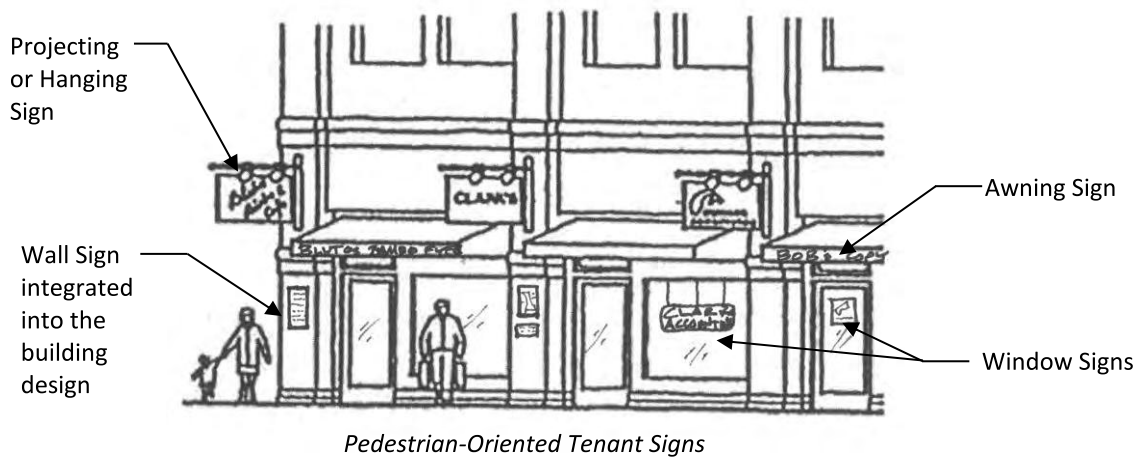
Projecting sign means any sign, all or any part of which extends beyond the surface of the building or wall by more than 16 inches.

Public Realm/Streetscape sign means any sign erected and maintained by public officials or public agencies, or approved and authorized for use by state or local governmental authorities.

Sandwich Board Signs means a self-supporting, freestanding temporary sign with only two (2) sides that are situated adjacent to a business with the intent to attract pedestrian traffic to businesses. Sandwich board signs are not meant to be read by vehicular traffic.

Wall sign means any sign which is affixed to a wall of any building. This definition includes individual letter signs and signs on mansards.

Window sign means a sign installed inside a window, or any sign placed within a building for the purpose of being visible from the public right-of-way. This does not include merchandise on display.



Standards

Public Realm/Streetscape Signs

The pedestrian oriented nature of The COR requires unique signage that will build on the design concepts for The COR. These types of signs include banner signs on the streetlights, kiosks, street signs, wayfinding signs, signage for public parking ramps, etc. As the design concept for The COR has been refined, so has the signage plan. The Master Sign Plan is included as Appendix B. Size, location, and construction specifications of these signs shall be determined by the Master Sign Plan, which must be approved by the City Council, after a recommendation by the Planning Commission. Careful foresight has been given to size of signs based on needs of the adjacent roadways in order to maintain adequate safety standards that may otherwise be compromised by poor design. Roadways with higher speeds warrant larger lettering to maintain safe travel.

Community and Gateway signs

Community signs include are planned to include three (3) signs on Highway 10, as shown on the Signage Plan (see Figure 5: Signage Plan). The signs include the existing Community Sign near the future transit plaza, the sign at the northwest corner of Highway 10 and Ramsey Boulevard and the planned sign at the northwest corner of Highway 10 and Armstrong Boulevard.

Gateway signs are planned at multiple locations at entrances to The COR from major roadways, as shown on the Signage Plan. General gateway signs may identify The COR only. Retail Gateway signs may include provisions for off-premise, tenant sign panels.

These off-site signs, part of a unified development, are allowed as shown on the signage plan and shall have consistent materials and colors. Community and Gateway Signs shall conform to the design of the Master Sign Plan. Tenants within the unified development shall be allowed to utilize tenant panels on the Community and Retail Gateway Signs.

Amendments to the Master Sign Plan and Approved Community Signs. As the Master Sign Plan is adopted as part of the zoning ordinance, and has the effect of being a zoning ordinance, amendments to the Master Sign Plan must be processed by Ordinance and approved by City Council after review and recommendation by the Planning Commission.

Sign Type	Allowable Size	Architecture	Allowable Height
Community Sign	300 Square Feet	Per Appendix B	30 Feet *
Gateway Sign	50 Square Feet	Per Appendix B	10 Feet
Retail Gateway Sign	150 Square Feet	Per Appendix B	12 Feet
Community Kiosk	32 Square Feet	Per Appendix B	10 Feet*
Parking Ramp Signage	100 Square Feet	Per Appendix B	(Wall Signage)

* From highest point of adjacent road centerline



Desirable signs are designed to be architecturally compatible with buildings within the development and other signage within the development

Project Signs

Project signs are permitted within all COR sub-districts.

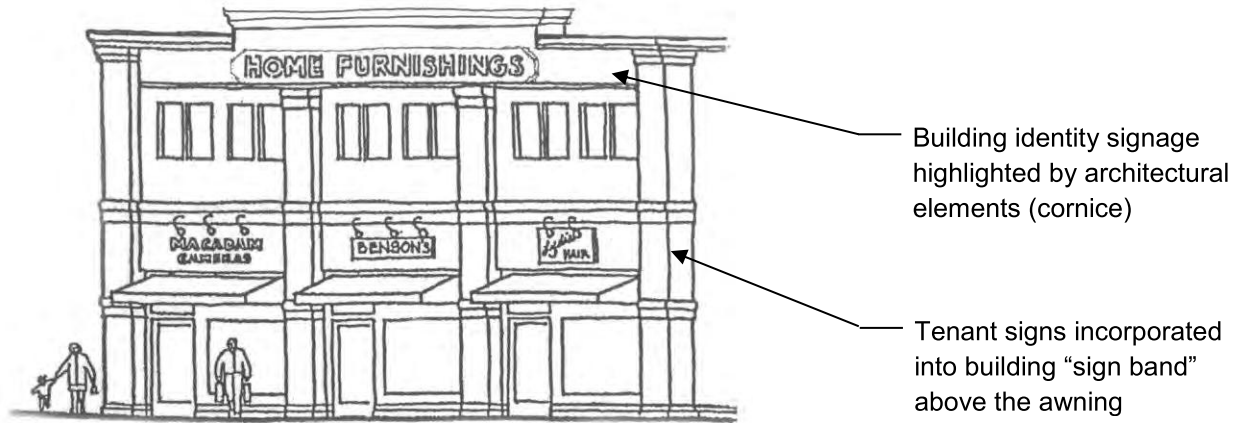
One (1) freestanding sign is allowed per building, provided that the following standards are met:

- A. The building in which the advertising business is located, shall be set back a minimum of six (6) feet from a public street right-of-way.
- B. The area of each face of the signboard shall not exceed six (6) square feet and the signboard shall not have more than two (2) readable faces. The signboard may exceed six (6) square feet, but not more than 32 square feet, provided that the sign consists of individual letters, without internally illuminated box letters. Lighting may be achieved through 'halo' lighting effects.
- C. The height of the top of the signboard, or of any posts, brackets, or other supporting elements shall not exceed six (6') feet from the ground.
- D. The signboard shall be constructed of wood, acrylic, aluminum or metal and shall be architecturally compatible with the style, composition, materials, colors and details of the building.
- E. No part of the sign shall encroach on the right-of-way and its location shall not interfere with pedestrian or vehicular circulation.
- F. Limited to one (1) sign per building and shall not be in addition to wall-mounted, applied letter or projecting signs.

- G. The readable faces of the sign shall be perpendicular to the adjacent street.

In the COR2 District, the following signage shall be allowed:

- A. Ground sign. There shall not be more than one (1) ground sign for each parcel. The gross surface area of a ground sign shall not exceed one hundred (100) square feet for each exposed face nor exceed an aggregate gross surface area of two hundred (200) square feet. Ground signs may be shared and combined at areas of shared entrances for multiple users. Shared ground signs shall not exceed 150 square feet. A shared sign shall be allowed for each entrance to the site (defined as bordered by public streets).
- B. Menu board. One (1) on-site menu board per drive-up or walk-up lane of a drive-in restaurant up to a maximum of thirty-two (32) square feet each and a maximum height of three (3) feet. Menu boards are allowed a message on one (1) side only and cannot contain an advertising message.
- C. Directional signs.
 - 1. Directional or instructional signs are permitted in accordance with Section 117-463(I).
 - 2. Parking lot directional signs designating parking area entrances and exits are limited to one (1) sign for each entrance and/or exit and shall not exceed four (4) square feet for each exposed face. Parking lot directional signs shall not project higher than five feet (5') in height, as measured from the established grade of the parking area to which such signs are accessory.
 - 3. Parking lot instructional signs designating the conditions of use or identification parking areas shall not exceed eight (8) square feet and shall not project higher than ten (10) feet in height for wall signs and seven (7) feet in height for ground signs, as measured from the established grade of the parking area to which such signs are accessory.



Building identity signage highlighted by architectural elements (cornice)

Tenant signs incorporated into building “sign band” above the awning

Wall Signs

Wall signs are permitted within all COR sub-districts.

Wall signs shall be permitted on one (1) wall, except that lots with frontage on more than one (1) street may have signage on one (1) wall per street frontage.

Within the COR1, COR3, COR4 and COR5 districts, the following standards apply:

- A. Wall-mounted or painted signs, provided the following standards are met:
 1. The sign shall be affixed to the front facade of the building, and shall project outward from the wall to which it is attached no more than six inches (6”).
 2. Single Tenant Buildings. Each building shall be allowed one (1) wall sign per street frontage. Signage must be located on the street elevation. The area of the sign shall not exceed fifteen (15%) percent of the ground floor building facade area. Individual signs may not exceed.
 - a. Each building shall be allowed wall signage on the street frontage elevation. For buildings with multiple street frontages, the allowable signage is per street frontage. Signage must be located on the street elevation.
 - b. Each building is allowed wall signage that shall not exceed 5% of the wall area of the building façade adjacent to the street. Individual signs may not exceed 50 square feet.
 - c. Tenant signage must be located on the tenant lease space.
 - d. At least fifty (50%) percent of the allowed signage must be allocated to ground floor tenants and located on the ground floor.
 - e. Signage is limited to a maximum of one (1) sign per business/tenant, except that tenants with frontage on multiple streets may be permitted to have signage on each street frontage.
 - f. Multi-tenant buildings must have wall signs of similar design. Sign permits for
 3. Multi-Tenant Buildings.
 - a. Each building shall be allowed wall signage on the street frontage elevation. For buildings with multiple street frontages, the allowable signage is per street frontage. Signage must be located on the street elevation.
 - b. Each building is allowed wall signage that shall not exceed 5% of the wall area of the building façade adjacent to the street. Individual signs may not exceed 50 square feet.
 - c. Tenant signage must be located on the tenant lease space.
 - d. At least fifty (50%) percent of the allowed signage must be allocated to ground floor tenants and located on the ground floor.
 - e. Signage is limited to a maximum of one (1) sign per business/tenant, except that tenants with frontage on multiple streets may be permitted to have signage on each street frontage.
 - f. Multi-tenant buildings must have wall signs of similar design. Sign permits for

tenants in multi-tenant buildings shall only be permitted by the City after the building owner has submitted a comprehensive sign plan approved by the Zoning Administrator. The comprehensive sign plan for the building shall include similar design standards including sign material, color, style, spacing and size.

4. Signs for buildings facing Highway 10. Single or multi-tenant buildings that have frontage on Highway 10 or are separated from Highway 10 only by other public right-of-way, shall be allowed to have signage on that street elevation that is up to fifteen (15%) percent of the wall area of that building façade with no maximum square footage.
- B. Wall-mounted building directory signs identifying the occupants of a commercial building, including upper story business uses, provided the following standards are met:
1. The sign is located next to the entrance.
 2. The sign shall project outward from the wall to which it is attached no more than six inches (6”).
 3. The sign shall not extend above the parapet, eave, or building facade.
 4. The height of the lettering, numbers, or graphics shall not exceed twelve inches (12”).
 5. One (1) such sign is allowed per public building entrance and is allowed in addition to other permitted wall signage.
- C. Applied letters may substitute for wall-mounted signs, if constructed of painted wood, painted cast metal, bronze, brass, acrylic or black anodized aluminum. The height of applied letters shall not exceed 12 inches.
- D. Logos are considered signs and shall be included in the maximum allowable sign area.
- E. Window or door signs, provided that the following standards are met:
1. The sign shall not exceed ten percent of the window or door area or four (4) square feet, whichever is less.
 2. The sign shall be silk screened, hand painted, applied letters/graphics, neon tubing or other sign technologies that meet these standards.
 3. Limited to one (1) sign per business, applied on either the window or the door, but not on both.
 4. The sign shall not have an opaque backing of any type although smoked glass is allowed.
 5. Window signage (includes graphics) shall be permitted on the same building walls that have, or are allowed to have, wall signage pursuant to Item A above. Window signage

shall be deducted from the allowable wall signage area.

Within the COR2 district, where more conventional suburban development is expected, rather than the neo-traditional development planned for the other COR sub-districts, the following standards apply:

- A. Wall, canopy or marquee sign. Total sign area may not exceed 15 percent of the front building facade. At least 50 percent of the signage area must be placed on the measured wall with remaining signage area, if desired, distributed on any other wall. Sign height shall not exceed the top of the parapet wall or, if no parapet wall, sign height shall not exceed the height of the eaves. The gross surface area of a wall, canopy or marquee sign may be increased by ten percent if such wall sign:
 1. Consists only of individual, outlined alphabetic, numeric and/or symbolic characters without background except that provided by the building surface to which the sign is to be affixed;
 2. Illumination, if any, is achieved through shielded illumination, shielded silhouette lighting, or shielded spot lighting but not any lighting where the light source is visible or exposed on the face or sides of the characters; and
 3. A wall, canopy or marquee sign may be located on the outermost wall of any principle building but shall not project more than 16 inches from the wall to which the sign is to be affixed. A wall sign shall not project higher than the parapet line of the wall to which the sign is to be affixed.
- B. Window signs are restricted to 30 percent of the area of the window in which the sign is to be displayed.

In all COR sub-districts, restaurants and cafes shall be permitted one (1) wall-mounted display featuring the actual menu as used at the dining table, to be contained within a shallow wood or metal case and clearly visible through a glass front. The display case shall be attached to the building wall, next to the main entrance, at a height of approximately five feet (5'), shall not exceed a total area of two square feet, and may be lighted. This signage is allowed in addition to other permitted wall signage.

Projecting Signs

Projecting signs are permitted within all COR sub-districts.

Projecting signs, including graphics or icon signs, mounted perpendicular to the building wall, are encouraged in all sub-districts, provided the following standards are met:

- A. The sign area shall not exceed thirty-two (32) square feet.
- B. The distance from the ground to the lower edge of the signboard shall be ten feet or greater.
- C. The height of the top edge of the signboard shall not exceed the height of the wall from which the sign projects, if attached to a single story building, or the



height of the sill or bottom of any second story window, if attached to a multistory building.

- D. The distance from the building wall to the signboard shall not exceed six inches (6").
- E. The width of the signboard shall not exceed three (3) feet.
- F. Limited to one (1) sign per business. Projecting sign area shall be deducted from the allowable wall signage area.
- G. Granted to ground floor commercial uses only.

Awning Signs

Awning signs are allowed in all COR sub-districts. Awning signs are allowed for ground floor uses only, provided that the following standards are met:

- A. If acting as the main business sign, it shall not exceed 24 square feet in area.
- B. If acting as an auxiliary business sign, it shall be located on the valance only, shall not exceed four (4) square feet in area, and the height of the lettering, numbers, or graphics shall not exceed four inches (4").
- C. Limited to two such signs per business, per frontage.
- D. If acting as the main business sign, it shall not be in addition to a wall-mounted or applied letter sign.

Sandwich Board Signs

Sandwich board signs are permitted within all COR sub-districts.

- A. One (1) sandwich board sign per business is permitted in any business, commercial and mixed use district and shall be located within five feet (5') of the main building entrance to the business it advertises.
- B. Sandwich board signs shall be displayed only during open business hours and must be removed daily.
- C. Sandwich board signs shall be no more than a total of two feet (2') in width and three feet (3') in height
- D. Sandwich board signs must leave a minimum of five feet (5') of clearance for pedestrian access if placed on a public or private sidewalk. Sandwich board signs may not hinder the ability of persons to access vehicles parked at the curb and/or access to a building.



- E. Acceptable materials for sandwich board signs shall include the following: metal, wood synthetic materials such as a chalk board and whiteboard. Sandwich board signs shall not be illuminated, nor shall they contain moving parts, or have balloons, streamers, stringers, pennants or similar adornments attached to them. Sandwich board signs shall be maintained in a good appearance at all times.
- F. No sandwich board sign shall be secured, tethered or installed on traffic devices, utility equipment, street furniture, street lights, or any other public fixture.
- G. Sandwich board signs are temporary signs and shall not be counted towards the total sign area of the site for permanent signage.

Temporary Signs

Temporary signs are allowed per Section 117-465 (Temporary signs) of the Zoning Ordinance, except as noted below:

- A. Freestanding temporary signs shall only be allowed in the COR2 and COR3 Districts.
- B. In all other COR districts, temporary signs shall be limited to temporary sandwich board signs or temporary wall signage, without interchangeable letters.
- C. Real estate and leasing signs shall be exempt from temporary and permanent sign regulations, provided that these signs do not exceed thirty-two (32) square feet.

Off-Site Signs

Off-site signs are prohibited except for wayfinding and community signage specifically allowed by the Design Framework.

Table 2

Sign Standards					
Development Standard	COR1	COR2	COR3	COR4	COR5
Project Signs					
Number of signs allowed	1*	1*	1*	1*	1*
Size of Sign (maximum)	6 sq. ft./6 feet high***	100 sq. ft./6 feet high	6 sq. ft./6 feet high***	6 sq. ft./6 feet high	6 sq. ft./6 feet high
Menu Board**	N/A	1 per drive-through lane/40 sq. ft. max.	N/A	N/A	N/A
Directional Sign	N/A	Per 117-463(l)	N/A	N/A	N/A
Wall Sign					
Number of signs allowed	1*	1*	1*	1*	1*
Size of Sign					
Single Tenant Building	15% of the ground floor façade area, - or- 15% of the front façade area when facing Highway 10.	15% of façade area	15% of the ground floor façade area,	5% of the ground floor façade area,	5% of the ground floor façade area,
Multi-Tenant Buildings	15% of the façade area,	15% of façade area	15% of the façade area,	15% of the façade area,	15% of the façade area,
Building Facing Highway 10	15% of the façade area	15% of façade area	15% of the façade area	15% of the façade area	15% of the façade area
Window Sign					
Number of signs allowed	1	1	1	1	1
Size of Sign	10% of area of window or 4 sq. ft., whichever is less. Deducted from allowable wall sign area.	30% of area of window. Deducted from allowable wall sign area.	10% of area of window or 4 sq. ft., whichever is less. Deducted from allowable wall sign area.	10% of area of window or 4 sq. ft., whichever is less. Deducted from allowable wall sign area.	10% of area of window or 4 sq. ft., whichever is less. Deducted from allowable wall sign area.
Directory Sign					
Number of signs allowed	1 per building entrance	1 per building entrance	1 per building entrance	1 per building entrance	1 per building entrance
Size of Sign	3 sq. ft. maximum	3 sq. ft. maximum	3 sq. ft. maximum	3 sq. ft. maximum	3 sq. ft. maximum
Projecting Sign					
Number of signs allowed	1*	1*	1*	1*	1*
Size of Sign	6 sq. ft./3 feet wide	6 sq. ft./3 feet wide	6 sq. ft./3 feet wide	6 sq. ft./3 feet wide	6 sq. ft./3 feet wide
Awning Sign					
Number of signs allowed	2 per business	2 per business	2 per business	2 per business	2 per business
Size of Sign	24 sq. ft./max. letter height 12-inches for main business sign or 4 sq. ft./max letter height 4-inches if auxiliary. Area is deducted from allowable wall sign area.	24 sq. ft./max. letter height 12-inches for main business sign or 4 sq. ft./max letter height 4-inches if auxiliary. Area is deducted from allowable wall sign area.	24 sq. ft./max. letter height 12-inches for main business sign or 4 sq. ft./max letter height 4-inches if auxiliary. Area is deducted from allowable wall sign area.	24 sq. ft./max. letter height 12-inches for main business sign or 4 sq. ft./max letter height 4-inches if auxiliary. Area is deducted from allowable wall sign area.	24 sq. ft./max. letter height 12-inches for main business sign or 4 sq. ft./max letter height 4-inches if auxiliary. Area is deducted from allowable wall sign area.

*One (1) sign is allowed per street frontage (either wall or project)

**Restaurants and cafes in all districts are allowed one (1) wall mounted menu board not to exceed 2 sq. ft. in addition to other permitted wall signage.

***See Page 32, 'Project Signs' for allowances up to 32 square feet.

Additional standards

- A. Businesses with service entrances may identify these with one (1) wall-mounted or applied letter sign not exceeding two square feet.
- B. One (1) directional sign, facing a rear parking lot. This sign may be any type of permitted sign other than a freestanding sign, but shall be limited to four (4) square feet in area.

Creative Sign Standards

- A. *Purpose.* This section establishes standards and procedures for the design, review, and approval of creative signs. The purposes of this creative sign program are to:
 - 1. Encourage signs of unique design, and that exhibit a high degree of thoughtfulness, imagination, inventiveness, and spirit; and
 - 2. Provide a process for the application of sign regulations in ways that will allow creatively designed signs that make a positive visual contribution to the overall image of the city, while mitigating the impacts of large or unusually designed signs.
- B. *Applicability.* An applicant may request approval of a sign permit for a creative sign to authorize onsite signs that employ standards that differ from the other provisions of this chapter but comply with the provisions of this section.
- C. *Application Requirements.* A sign permit application for a creative sign shall include all information and materials required by the City.
- D. *Procedure.* A sign permit application for a creative sign shall be subject to review and approval by the City as part of the Site Plan review process. When the creative sign is proposed after site plan review is complete, a creative sign may be approved by the Zoning Administrator when the proposed sign is fifty square feet or less, and shall be approved by the City Council when the sign is larger than fifty square feet.
- E. *Design Criteria.* In approving an application for a creative sign, the review authority shall ensure that a proposed sign meets the following design criteria:
 - 1. Design Quality. The sign shall:
 - a. Constitute a substantial aesthetic improvement to the site and shall have a positive visual impact on the surrounding area;
 - b. Be of unique design, and exhibit a high degree of thoughtfulness, imagination, inventiveness, and spirit; and
 - c. Provide strong graphic character through the imaginative use of graphics, color, texture, quality materials, scale, and proportion.
 - 2. Contextual Criteria. The sign shall contain at least one (1) of the following elements:
 - a. Classic historic design style;

- b. Creative image reflecting current or historic character of the City;
 - c. Inventive representation of the use, name, or logo of the structure or business.
3. Architectural Criteria. The sign shall:
- a. Utilize or enhance the architectural elements of the building; and
 - b. Be placed in a logical location in relation to the overall composition of the building's façade and not cover any key architectural features and details of the façade.
4. Neighborhood Impacts. The sign shall be located and designed not to cause light and glare impacts on neighboring residential uses.

Prohibited signs

The following signs are prohibited:

- A. Box signs or cabinet signs, whether on a wall, projecting or on canopies are prohibited except for logo signs permitted as part of an overall sign plan.
- B. Signs employing mercury vapor, low pressure and high pressure sodium and metal halide lighting; plastic panel rear-lighted signs.
- C. Signs on roofs, dormers, and balconies.
- D. Billboards.
- E. Signs painted or mounted upon the exterior side or rear walls on any principle or accessory building or structure, except as otherwise permitted hereunder.
- F. Free standing pylon signs over six (6) feet in height, except community signs.
- G. Back-lit awnings.
- H. Interchangeable letter boards or panels.
- I. Flashing signs.
- J. Off-premises signs, except community signs.

Regular Planning Commission**Meeting Date:** 10/24/2024**Primary Strategic Plan Initiative:** Promote economic growth and development.**Information****Title:**

Adopt 2025 Planning Commission Calendar

Purpose/Background:

Staff prepared a calendar based on the Commission's desire to keep the same fourth-Thursday schedule as in previous years. The schedule works out for most of the year. Come November and December, the proposed Planning Commission meeting dates are the third Thursdays due to the Thanksgiving and Christmas holidays. In 2025, the schedule would not work out if the Planning Commission meetings for those months were pushed back one week as the corresponding Council meetings would be significantly later, or in the case of Christmas, the following Thursday is New Year's Day, also a holiday.

Also of note, the September Planning Commission date (for the applications received in August) would be on the 25th, but staff is proposing to push it back one week due to the Planning Association's State Planning Conference. The proposed meeting date is October 2 and anything heard on this date will still make the October 14 City Council meeting the same as if it were on September 25. There will still be a typical fourth-Thursday meeting on October 23rd for the applications received in September.

Recommendation:

Staff recommends adoption of the 2025 calendar.

Outcome/Action:

Motion to approve the 2025 Planning Commission calendar.

Attachments

Proposed 2025 Public Calendar

Proposed 2025 Internal Calendar

Form Review**Inbox**

Brian Hagen

Form Started By: Todd Larson

Final Approval Date: 10/03/2024

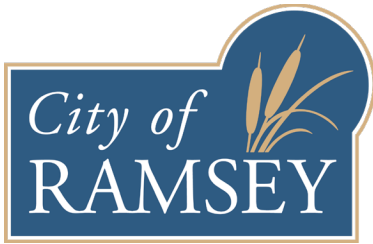
Reviewed By

Brian Hagen

Date

10/03/2024 11:00 AM

Started On: 10/01/2024 10:21 AM



7550 Sunwood Drive NW • Ramsey, MN 55303

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www.cityoframsey.com

2025 Land Use Application Calendar

The Planning Division accepts land use applications for proposed development projects, easement vacations, encroachment agreements, and home occupations. Applications must be submitted during the application window each month. Please do not submit your application early or late, however, we recommend calling the Planning Division (763-433-9824) a few days ahead of submitting to set up an account in our plan review software system. Please consult a separate how-to guide for the application type(s) you are requesting for the complete submittal requirements.

Plans are reviewed by City Staff and comments will be provided to the applicant within 10 days. The applicant will have time to review comments and provide responses or revised plans. Staff will then prepare a staff report for the Planning Commission who meets on the fourth Thursday of every month. The Planning Commission makes a recommendation to the City Council who will generally meet on the second Tuesday of the following month. In most cases, the City Council makes the final determination on approving or denying a proposal.

Application window opens (8:00 am Friday)	Application window closes (4:30 pm)	Planning Commission Date (7:00 pm)	City Council Date (7:00 pm)
December 13, 2024	December 16, 2024	January 23, 2025	February 11, 2025
January 10, 2025	January 13, 2025	February 27, 2025	March 11, 2025
February 14, 2025	February 18, 2025*	March 27, 2025	April 8, 2025
March 14, 2025	March 17, 2025	April 24, 2025	May 13, 2025
April 11, 2025	April 17, 2025	May 22, 2025	June 10, 2025
May 9, 2025	May 12, 2025	June 26, 2025	July 8, 2025
June 13, 2025	June 16, 2025	July 24, 2025	August 12, 2025
July 11, 2025	July 14, 2025	August 28, 2025	September 9, 2025
August 15, 2025	August 18, 2025	October 2, 2025*	October 14, 2025
September 12, 2025	September 15, 2025	October 23, 2025	November 10 or 12, 2025*
October 10, 2025	October 13, 2025	November 20, 2025* (3 rd Thursday)	December 9, 2025
November 14, 2025	November 17, 2025	December 18, 2025* (3 rd Thursday)	January 13, 2026
December 12, 2025	December 15, 2025	January 22, 2026	February 10, 2026

* Date changes due to holiday or other events.

Proposed 2025 Land Use Application Calendar with Various Deadline Dates – For Discussion

Application window opens (Friday)	Deadline 5.5 weeks ahead of PC (4:30 pm Monday)	Development Review Meeting (Thursday)	9-Day Staff Review Due (Friday)	8-Day Applicant Revision Period (Wed)/ Public Hearing Posting Date	PC Packet Posted (Thursday following week)	PC Date (4 th Thursday)	CC Date (2 nd /4 th Tuesday)	Days between Deadline CC
November 15, 2024 <i>Compressed Staff Review</i>	November 18, 2024	November 21, 2024	November 25, 2024 (Monday)	December 4, 2024	December 12, 2024	December 19, 2024 (3 rd Thursday)	January 14, 2025	57
December 13, 2024	December 16, 2024	December 19, 2024	December 27, 2024	January 8, 2025	January 16, 2025	January 23, 2025	February 11, 2025	57
January 10, 2025	January 13, 2025	January 16, 2025	January 31, 2025	February 12, 2025	February 20, 2025	February 27, 2025	March 11, 2025	57
February 14, 2025	February 18, 2025 (Tuesday)	February 20, 2025	February 28, 2025	March 12, 2025	March 20, 2025	March 27, 2025	April 8, 2025	57
March 14, 2025	March 17, 2025	March 20, 2025	March 28, 2025	April 9, 2025	April 17, 2025	April 24, 2025	May 13, 2025	57
April 11, 2025	April 14, 2025	April 17, 2025	April 25, 2025	May 7, 2025	May 15, 2025	May 22, 2025	June 10, 2025	57
May 9, 2025	May 12, 2025	May 15, 2025	May 30, 2025	June 11, 2025	June 19, 2025	June 26, 2025	July 8, 2025	57
June 13, 2025	June 16, 2025	June 18, 2025 (Wednesday)	June 27, 2025	July 9, 2025	July 17, 2025	July 24, 2025	August 12, 2025	57
July 11, 2025	July 14, 2025	July 17, 2025	July 25, 2025	August 13, 2025	August 21, 2025	August 28, 2025	September 9, 2025	57
August 15, 2025	August 18, 2025	August 21, 2025	August 29, 2025	September 10, 2025 September 17, 2025	September 18, 2025 Tuesday, September 23, 2025	September 25, 2025 October 2, 2025	October 14, 2025	57
September 12, 2025	September 15, 2025	September 18, 2025	September 26, 2025	October 8, 2025	October 16, 2025	October 23, 2025	November 10 or 12 Mon or Wed	57
October 10, 2025	October 13, 2025	October 16, 2025	October 24, 2025	November 5, 2025	November 13, 2025	November 20, 2025 (3 rd Thursday)	December 9, 2025	57
November 14, 2025	November 17, 2025	November 20, 2025	November 24, 2025 <i>One week Review</i>	December 3, 2025	December 11, 2025	December 18, 2025 (3 rd Thursday)	December 23, 2025 or January 13, 2026	57 (1/13/26)
December 12, 2025	December 15, 2025	December 18, 2025	December 26, 2025	January 7, 2026	January 15, 2026	January 22, 2026	February 10, 2026	57

Notes:

"Application window opens" is 60 days prior to Council meeting.

The 9-Day Staff and 8-Day Applicant periods should be seen as "no later than..." as comments can always be finalized prior to that date and applicants are welcome to re-submit earlier. In November, it is one week due to earlier PC meeting.

MNAPA State Conference is Sept 24-26

November 11 is a holiday and the reschedule date has not been set.