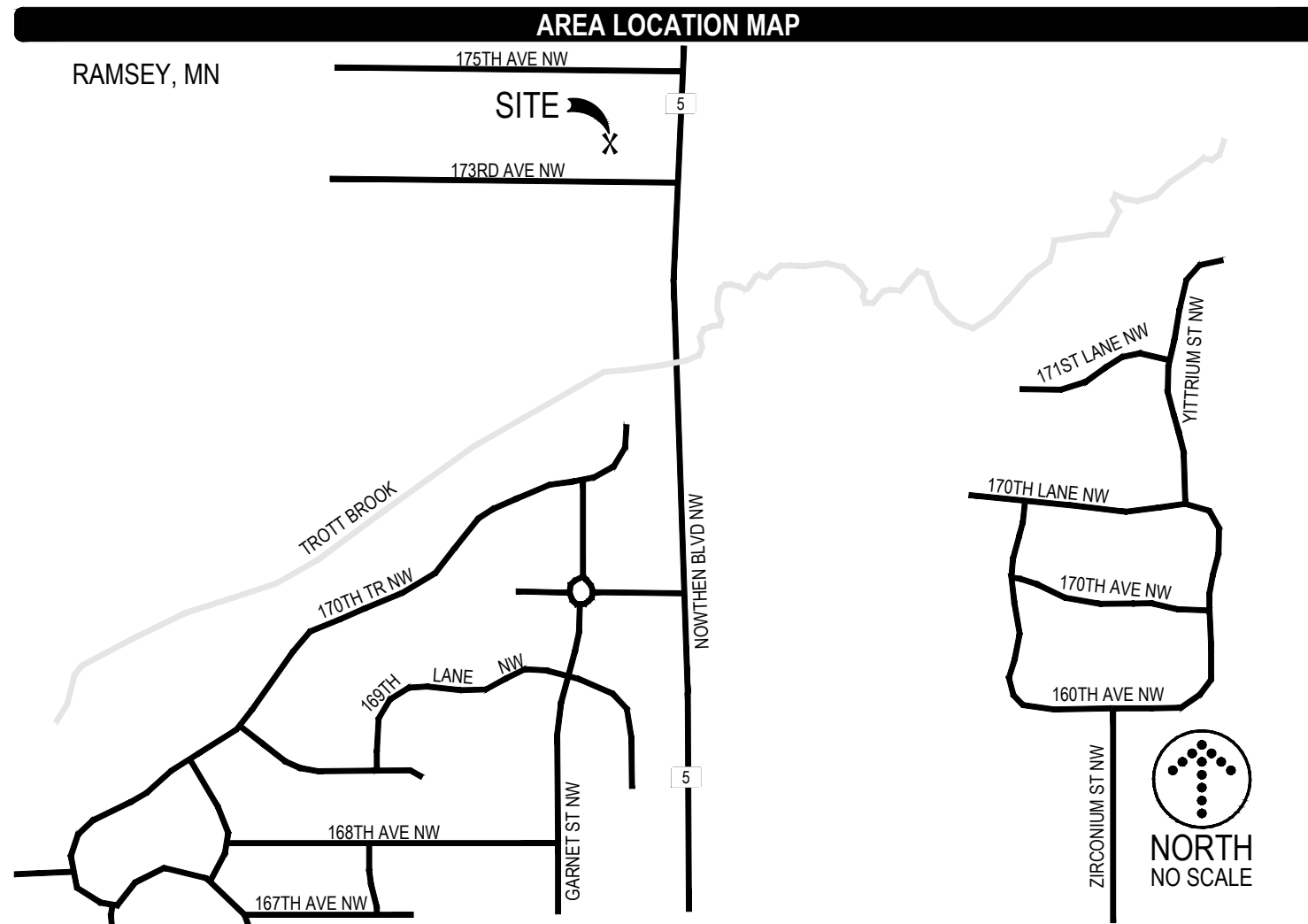


NORTH BROOK MEADOWS

RAMSEY, MINNESOTA



ABBREVIATIONS

D & @	Angle	LB	Pound	177th Ave NW	Local Government Unit
100 YR.	100 Year Flood Elevation	LB	Pound	178th Ave NW	Local Government Unit
A.B.	Anchor Bolt	LT	Longitudinal	179th Ave NW	Light / Lighting
A.D.	Area Drain	MAINT.	Maintenance	180th Ave NW	Maintenace
A/C	Air Conditioning Unit	MAS.	Masonry	181st Ave NW	Masonry
ADD.	Addendum	MATL.	Material	182nd Ave NW	Material
ADDL.	Additional	MAX.	Maximum	183rd Ave NW	Maximum
ADJ.	Adjacent / Adjust	MECH.	Mechanical	184th Ave NW	Mechanical
AHU	Air Handling Unit	MED.	Medium	185th Ave NW	Medium
ALT.	Alternate	MFR.	Manufacturer	186th Ave NW	Manufacturer
ALUM.	Aluminum	MH	Manhole	187th Ave NW	Manhole
ANOD.	Anodized	MIN.	Minimum / Minute	188th Ave NW	Minimum / Minute
APPROX.	Approximate	MISC.	Miscellaneous	189th Ave NW	Miscellaneous
ARCH.	Architect / Architectural	MNDOT	Minnesota Department Of Transportation	190th Ave NW	Minnesota Department Of Transportation
AUTO.	Automatic	MOD.	Module / Modular	191st Ave NW	Module / Modular
AVG.	Average	MUL.	Mulch	192nd Ave NW	Mulch
B.C.	Back of Curb	N.	North	193rd Ave NW	North
B/W	Bottom of Wall	N.I.C.	Not In Contract	194th Ave NW	Not In Contract
BFE	Basement Floor Elevation	NO. OR #	Number	195th Ave NW	Number
BIT	Bituminous (Asphaltic)	NOM	Nominal	196th Ave NW	Nominal
BLDG	Building	NTS	Not to Scale	197th Ave NW	Not to Scale
BM	Benchmark	NWE	Normal Water Elevation	198th Ave NW	Normal Water Elevation
BSMT.	Basement	NWL	Normal Water Level	199th Ave NW	Normal Water Level
C.F.	Cubic Feet	O.F.	On Center	200th Ave NW	On Center
C.F.S.	Cubic Feet Per Second	O.G.	Outside Dimension	201st Ave NW	Outside Dimension
C.G.	Corner Guard	O.H.	Overhead Electric	202nd Ave NW	Overhead Electric
C.J.	Control Joint	OH.	Overhead	203rd Ave NW	Overhead
C.L.	Centerline	OHWL	Ordinary High Water Level	204th Ave NW	Ordinary High Water Level
C.M.U.	Concrete Masonry Unit	OPNG.	Opening	205th Ave NW	Opening
C.D.	Clearcut	ORIG.	Original	206th Ave NW	Original
C.O.E.	U.S. Army Corps Of Engineers	P.C.	Point of Curvature	207th Ave NW	Point of Curvature
C.Y.	Cubic Yards	P.I.	Point of Intersection	208th Ave NW	Point of Intersection
CB	Catch Basin	P/V	Post Indicator Valve	209th Ave NW	Post Indicator Valve
CBMH	Catch Basin Manhole	P.L. OR P.L.	Property Line	210th Ave NW	Property Line
CEM	Cement	P.O.B.	Point of Beginning	211th Ave NW	Point of Beginning
CIP	Cast Iron Pipe	P.S.F.	Pounds Per Square Foot	212th Ave NW	Pounds Per Square Foot
CMP	Corrugated Metal Pipe	P.S.I.	Pounds Per Square Inch	213th Ave NW	Pounds Per Square Inch
CONC.	Concrete (Portland)	P.T.	Point of Tangency	214th Ave NW	Point of Tangency
CONN.	Connection	P.V.C.	Point of Vertical Curvature	215th Ave NW	Point of Vertical Curvature
CONST.	Construction	P.V.L.	Point of Vertical Intersection	216th Ave NW	Point of Vertical Intersection
CONT.	Continuous	P.V.T.	Point of Vertical Tangency	217th Ave NW	Point of Vertical Tangency
CONTR.	Contractor	PE	Polyethylene	218th Ave NW	Polyethylene
COP.	Copper	PED.	Pedestal / Pedestrian	219th Ave NW	Pedestal / Pedestrian
CU	Cubic	PERF.	Perforated	220th Ave NW	Perforated
D.S.	Down Spout	PREP.	Preparation	221st Ave NW	Preparation
DEG.	Degree	PROJ.	Project	222nd Ave NW	Project
DEMO.	Demolition / Demolish	PROP.	Proposed	223rd Ave NW	Proposed
DEPT.	Department	PVC	Poly-Vinyl Chloride (Piping)	224th Ave NW	Poly-Vinyl Chloride (Piping)
DET.	Detail	PVMT.	Pavement	225th Ave NW	Pavement
DIA.	Diameter	QTR.	Quarter	226th Ave NW	Quarter
DIAG.	Diagonal	QTY.	Quantity	227th Ave NW	Quantity
DIM.	Dimension	R	Radius	228th Ave NW	Radius
DIP	Ductile Iron Pipe	RAD.	Radius	229th Ave NW	Radius
DN	Down	RE	Rim Elevation (Casting)	230th Ave NW	Rim Elevation (Casting)
DWG.	Drawing	R.D.	Roof Drain	231st Ave NW	Roof Drain
E	East	R.E.	Remove Existing	232nd Ave NW	Remove Existing
E.J.	Expansion Joint	R.O.	Rough Opening	233rd Ave NW	Rough Opening
E.O.	Emergency Overflow	R.P.	Radius Point	234th Ave NW	Radius Point
E.O.S.	Emergency Overflow Swale	RC	Reinforced Concrete Pipe	235th Ave NW	Reinforced Concrete Pipe
E.W.	Each Way	R.S.	Rough Slab	236th Ave NW	Rough Slab
EA	Elevation	RSD	Roof Storm Drain	237th Ave NW	Roof Storm Drain
ELEC.	Electrical	RE	Regarding	238th Ave NW	Regarding
ELEV.	Elevation	REINF.	Reinforced	239th Ave NW	Reinforced
EMER.	Emergency	REQD.	Required	240th Ave NW	Required
ENGR.	Engineer	REV.	Revision / Revised	241st Ave NW	Revision / Revised
ENTR.	Entrance	RGU	Regulatory Government Unit	242nd Ave NW	Regulatory Government Unit
EQ.	Equal	ROW OR R/W	Right of Way	243rd Ave NW	Right of Way
EQUIP.	Equipment	S.	South	244th Ave NW	South
EQUIV.	Equivalent	S.F.	Square Feet	245th Ave NW	Square Feet
EXIST.	Existing	SAN.	Sanitary Sewer	246th Ave NW	Sanitary Sewer
EXP.	Expansion	SECT.	Section	247th Ave NW	Section
F & I	Furnish and Install	SE	Split Entry / Side Exit	248th Ave NW	Split Entry / Side Exit
F.B.O.	Furnished by Others	SEWO	Split Entry Walk Out / Side Exit Walk Out	249th Ave NW	Split Entry Walk Out / Side Exit Walk Out
F.C.	Face of Curb	SHT.	Sheet	250th Ave NW	Sheet
F.D.	Floor Drain	SIM.	Similar	251st Ave NW	Similar
F.D.C.	Fire Department Connection	SLNT.	Sealant	252nd Ave NW	Sealant
F.V.	Field Verify	SPEC.	Specification	253rd Ave NW	Specification
FB	Full Basement	SQ.	Square	254th Ave NW	Square
FBWO	Full Basement Walk Out	SSD	Subsurface drain	255th Ave NW	Subsurface drain
FBLO	Full Basement Look Out	STMH	Storm Sewer Manhole	256th Ave NW	Storm Sewer Manhole
FDN.	Foundation	STD.	Standard	257th Ave NW	Standard
FES	Flared End Section	STRUCT.	Structural	258th Ave NW	Structural
FFE	Finished Floor Elevation	SYM.	Symmetrical	259th Ave NW	Symmetrical
FLR.	Floor	T	Thickness	260th Ave NW	Thickness
FT. OR (')	Foot	TR	Top of Rim	261st Ave NW	Top of Rim
FUT.	Future	TW	Top of Wall	262nd Ave NW	Top of Wall
G.B.	Grade Break	TEMP.	Temporary	263rd Ave NW	Temporary
G.C.	General Contractor	THK.	Thick / Thickness	264th Ave NW	Thick / Thickness
GAL.	Gallon	T.J.	Tooled Joint	265th Ave NW	Tooled Joint
GALV.	Galvanized	TNH	Top Nut Hydrant	266th Ave NW	Top Nut Hydrant
GFE	Garage Floor Elevation	TYP.	Typical	267th Ave NW	Typical
GL	Glass	U.N.O.	Unless Noted Otherwise	268th Ave NW	Unless Noted Otherwise
GR.	Grade	V.B.	Vapor Barrier	269th Ave NW	Vapor Barrier
H.	Height	V.C.	Vertical Curve	270th Ave NW	Vertical Curve
H.P.	High Point	V.I.F.	Verify In Field	271st Ave NW	Verify In Field
HDPEP	High Density Polyethylene Pipe	VER.	Verify	272nd Ave NW	Verify
HGT.	Height	VER.	Vertical	273rd Ave NW	Vertical
HORIZ.	Horizontal	VEST.	Vestibule	274th Ave NW	Vestibule
HVAC	Heating, Ventilation, Air Conditioning	W	Width	275th Ave NW	Width
HYD	Hydrant	W.P.	Working Point	276th Ave NW	Working Point
I.D.	Inside Dimension OR Identification	W.W.F.	Welded Wire Fabric	277th Ave NW	Welded Wire Fabric
I.E. or IE	Invert Elevation	W	With	278th Ave NW	With
IN. OR (")	Inches	W/O	Without	279th Ave NW	Without
INFO.	Information	W/O	Walk Out	280th Ave NW	Walk Out
INL.	Inlet Elevation	VER.	Welland	281st Ave NW	Welland
INSUL.	Insulation	WP	Waterproof	282nd Ave NW	Waterproof
INV.	Invert Elevation	WETL.	Weight	283rd Ave NW	Weight
JT.	Joint	YD.	Yard	284th Ave NW	Yard
L.F.	Linear Feet	YR.	Year	285th Ave NW	Year
L.P.	Low Point / Liquid Petroleum				

SYMBOLS

EXISTING	DESCRIPTION	NEW	DESCRIPTION
	MAJOR CONTOUR		MAJOR CONTOUR
	MINOR CONTOUR		MINOR CONTOUR
	SPOT ELEVATION		SPOT ELEVATION
	BUILDING		BUILDING
	CANOPY / OVERHANG		CANOPY/OVERHANG
	CONCRETE		CONCRETE
	BITUMINOUS		CONCRETE
	LANDSCAPING		CONCRETE CURB
	GRAVEL		EDGE OF PAVEMENT
	PAVING BLOCK		FENCING
	PAVING BLOCK		GUARD RAIL
	STORM SEWER LINE		CONCRETE RETAINING WALL
	SANITARY SEWER LINE		MODULAR RETAINING WALL
	WATER MAIN		FIELDSTONE RETAINING WALL
	OVERHEAD ELECTRIC		EXIT LOCATION
	UNDERGROUND TELEPHONE		LIGHT STANDARD
	UNDERGROUND FIBER OPTIC		POWER POLE
	UNDERGROUND ELECTRIC		SLOPE DIRECTION
	GAS LINE		CATCH BASIN
	CONCRETE CURB		MANHOLE
	FENCING		STORM SEWER
	RETAINING WALL		SANITARY SEWER/WASTE
	SET 1/2" X 1/4" IRON PIPE		FORCE MAIN
	IRON MONUMENT FOUND		ROOF DRAIN SYSTEM
	POWERPOLE		WATERMAIN
	GUY WIRE		FIRE DEPT. CONNECTION
	GUARD POST		FIRE DEPT. CONNECTION
	GAS METER		FIRE DEPT. CONNECTION
	TRANSFORMER		FIRE DEPT. CONNECTION
	WATER SHUT-OFF VALVE		FIRE DEPT. CONNECTION
	TRAFFIC SIGN		FIRE DEPT. CONNECTION
	FLAG POLE		FIRE DEPT. CONNECTION
	LIGHT POLE		FIRE DEPT. CONNECTION
	TREES		FIRE DEPT. CONNECTION
	TREE LINE		FIRE DEPT. CONNECTION
	MANHOLE		FIRE DEPT. CONNECTION
	CATCH BASIN		FIRE DEPT. CONNECTION
	FIRE HYDRANT		FIRE DEPT. CONNECTION
	WATER VALVE		FIRE DEPT. CONNECTION
	FLARED END SECTION		FIRE DEPT. CONNECTION
	MAILBOX		FIRE DEPT. CONNECTION
	NOTE NUMBER		FIRE DEPT. CONNECTION
	MEASURED DISTANCE		FIRE DEPT. CONNECTION
	DISTANCE PER RECORDED PLAT		FIRE DEPT. CONNECTION
	SOIL BORING		FIRE DEPT. CONNECTION

EROSION CONTROL SYMBOLS

SYMBOL	DESCRIPTION
	INLET PROTECTION
	COMPOST/BIO LOG
	SILT FENCE

DRAWING SYMBOLS

SYMBOL	DESCRIPTION
	NOTE REFERENCE
	PARKING STALL COUNT
	LARGE SHEET DETAIL
	COORDINATE POINT
	REVISION - ADDENDUM, BULLETIN, ETC.
	REVISED AREA (THIS ISSUE)

LEGAL DESCRIPTION

Parcel 1:
The Southeast Quarter of the Southwest Quarter (SE1/4 of SW1/4) of Section 3, Township 32, Range 25, except the East 400 feet of the South 329 feet, when measured by the East and South lines, also excepting those portions taken for County Road No. 5 and No. 63, and also for 173rd Street, Anoka County, Minnesota.

Parcel 2:
The South 329 feet of the East 400 feet of the Southeast Quarter of the Southwest Quarter of Section 3, Township 32, Range 25, excepting that part lying East of State Aid Highway No. 5, Anoka County, Minnesota.

BENCHMARK

Cast Iron Monument,
South Quarter corner of Section 3, Township 32, Range 25.
Elevation = 876.482

OWNER

PLATINUM LAND MN, LLC.
5191 159TH AVE NW
ANDOVER, MN 55304
TEL 763-301-4550
CONTACT: JASON BEBEAU

PROJECT CONTACTS

CIVIL ENGINEER LANDFORM
105 SOUTH FIFTH AVENUE, SUITE 513
MINNEAPOLIS, MN 55401
TEL 612-252-9070
CONTACT: TODD OLIN

SURVEYOR LANDFORM
105 SOUTH FIFTH AVENUE, SUITE 513
MINNEAPOLIS, MN 55401
TEL 612-252-9070
CONTACT: LARRY HUHN

LANDSCAPE ARCHITECT LANDFORM

105 SOUTH FIFTH AVENUE, SUITE 513
MINNEAPOLIS, MN 55401
TEL 612-252-9070
CONTACT: JOSH POPEHN

CIVIL / LANDSCAPE SHEET INDEX & REVISION MATRIX

SHEETS ISSUED BY DATE	REV.
C0.1 CIVIL & LANDSCAPE TITLE SHEET	X
C0.2 PRELIMINARY PLAT	X
C1.1 EXISTING CONDITIONS & DEMOLITION	X
C2.1 PRELIMINARY PLAT	X
C3.0 GRADING DRAINAGE & EROSION CONTROL - OVERALL	X
C3.1 GRADING, DRAINAGE & EROSION CONTROL - SOUTHEAST	X
C3.2 GRADING, DRAINAGE & EROSION CONTROL - SOUTHWEST	X
C3.3 GRADING, DRAINAGE & EROSION CONTROL - NORTHWEST	X
C3.4 GRADING, DRAINAGE & EROSION CONTROL - NORTHEAST	X
C3.5 MINNESOTA SWPPP	X
C4.0 UTILITIES - OVERALL	X
C4.1 UTILITIES - SOUTHEAST	X
C4.2 UTILITIES - SOUTHWEST	X
C4.3 UTILITIES - NORTHWEST	X
C4.4 UTILITIES - NORTHEAST	X
L1.1 TREE PRESERVATION PLAN	X
L1.2 TREE PRESERVATION TABLES	X
L2.1 LANDSCAPE PLAN	X
L2.2 ENLARGED LANDSCAPE PLAN	X
L7.1 LANDSCAPE DETAILS	X

CERTIFICATIONS

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

RANDALL C. HEDLUND, P.E.
LICENSE NUMBER: 19576 DATE: 16 JULY 2021

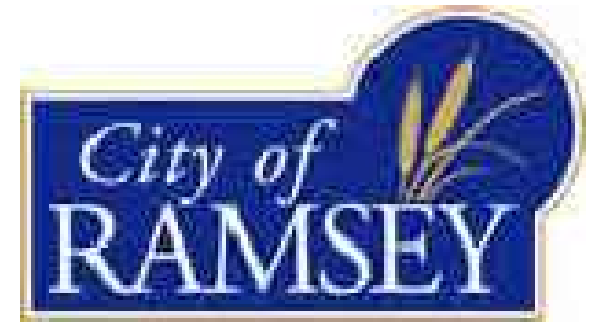
I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

JOSHUA K. POPEHN, RLA
LICENSE NUMBER: 44803 DATE: 16 JULY 2021

DEVELOPER

PLATINUM LAND MN, LLC
5191 159TH AVE NW
ANDOVER, MN 55304
TEL 763-301-4550

MUNICIPALITY



PROJECT

NORTH BROOK MEADOWS
RAMSEY, MINNESOTA

ISSUE / REVISION HISTORY

LAVERN
ESTATES
BLOCK 1

PID: 03-32-25-33-0011
YOU WISH YOU HAD THIS LAND, LLC

PID: 03-32-25-31-0001
JOHN G. WEBORG, TRUSTEE

PID: 03-32-25-31-0008
SHERYL L. SMITH

PID: 03-32-25-31-0001
JOHN G. WEBORG, TRUSTEE

HUNT ADDITION
BLOCK 1

PID: 10-32-25-42-0005
RYAN EVAN HUNT

PID: 10-32-25-43-0006
RONALD E. & JUDITH HUNT

PID: 10-32-25-43-0005
TROTT BROOK HALL

PID: 10-32-25-12-0009
JANICE F. WRIGHT, TRUSTEE

PID: 10-32-25-21-0002
MAKOWSKY FAMILY FARM, LLC

PID: 10-32-25-21-0003
STEPHEN A. & PAMELA A.
GRAUNKE

PID: 03-32-25-33-0004
CARL R. JR. & C. J. BIEDERMAN

PID: 03-32-25-33-0002
LORIN H. SMITH

PID: 03-32-25-33-0003
LORIN H. SMITH

WITH RIBBON FD 0.4 BELOW RD GRADE

APPROXIMATE EDGE OF WETLAND

EDGE OF FIELD LOCATED WETLAND

EDGE OF DELINEATED WETLAND

NORTHERN NATURAL GAS CO. EASEMENT PER DOC. NO. 572199

Ideal clear space for tree buffer, if it can be preserved (not required, but preferred by city)

LEGAL DESCRIPTION

Parcel 1:
The Southeast Quarter of the Southwest Quarter (SE1/4 of SW1/4) of Section 3, Township 32, Range 25, except the East 400 feet of the South 329 feet, when measured by the East and South lines, also excepting those portions taken for County Road No. 5 and No. 63, and also for 173rd Street, Anoka County, Minnesota.

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The South 329 feet of the East 400 feet of the Southeast Quarter of the Southwest Quarter of Section 3, Township 32, Range 25, excepting that part lying East of State Aid Highway No. 5, Anoka County, Minnesota.

BENCHMARK

Cast Iron Monument,
South Quarter corner of Section 3, Township 32, Range 25.
Elevation = 676.482

AREA SUMMARY

TOTAL SITE AREA: 1,787,850.0 SQ. FT. = 41.04 AC.
EXISTING RIGHT OF WAY AREA: 241,164.39 SQ. FT. = 5.54 AC.
WETLAND AREA: 42,235 SQ. FT. = 0.97 AC.
NET AREA: 1,504,450.61 SQ. FT. = 34.54 AC.
TOTAL SINGLE FAMILY LOTS = 77

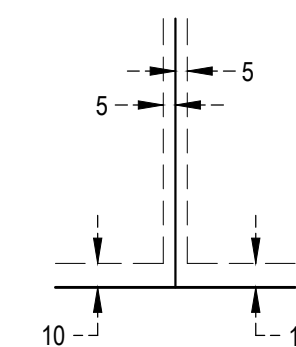
ZONING AND SETBACK SUMMARY

The Property is Zoned R-1 - MUSA
Building Setback Information is as follows:
Front Yard = 30 ft.
Rear = 30 ft.
Side (interior) = 10 ft.
Side (street) = 30 ft.
Welland Setback = 16.5 ft.
Parking Setback Information is as follows:
Driveway setback 5 ft. from side lot line.
Minimum Lot Area: 10,890 S.F. (0.25 AC.)
Minimum Lot Width: 80 ft. (90 ft. for corner lot)
Minimum Lot Depth: 100 ft.

LOT AREA TABLE

Parcel #	Lot/Block	Area	Parcel #	Lot/Block	Area	Parcel #	Lot/Block	Area	Parcel #	Lot/Block	Area
1	1_1	15510	21	21_1	11040	41	7_2	14259	61	2_4	11657
2	2_1	13710	22	22_1	11040	42	8_2	18872	62	3_4	12330
3	3_1	13761	23	23_1	11040	43	9_2	24429	63	4_4	13219
4	4_1	13725	24	24_1	11040	44	10_2	19892	64	5_4	13542
5	5_1	17666	25	25_1	12585	45	11_2	28975	65	6_4	13544
6	6_1	28178	26	26_1	12915	46	12_2	44747	66	7_4	13545
7	7_1	29094	27	27_1	11040	47	13_2	26066	67	8_4	13630
8	8_1	17384	28	28_1	11040	48	14_2	19583	68	9_4	16242
9	9_1	18493	29	29_1	11040	49	15_2	25240	69	10_4	15967
10	10_1	22110	30	30_1	11040	50	1_3	30350	70	11_4	14143
11	11_1	13553	31	31_1	11040	51	2_3	20898	71	12_4	13250
12	12_1	13538	32	32_1	11040	52	3_3	18467	72	13_4	12447
13	13_1	13523	33	33_1	11040	53	4_3	17833	73	14_4	11645
14	14_1	15342	34	34_1	20306	54	5_3	18942	74	15_4	11224
15	15_1	23983	35	1_2	16653	55	6_3	16012	75	16_4	11294
16	16_1	46868	36	2_2	14259	56	7_3	13713	76	17_4	11136
17	17_1	13880	37	3_2	14259	57	8_3	11617	77	18_4	12629
18	18_1	11040	38	4_2	14259	58	9_3	13481			
19	19_1	11040	39	5_2	14259	59	10_3	63926			
20	20_1	11040	40	6_2	14259	60	1_4	12678			

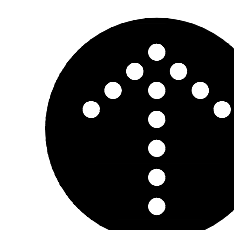
DRAINAGE AND UTILITY EASEMENTS
ARE SHOWN THUS:
(NOT TO SCALE)



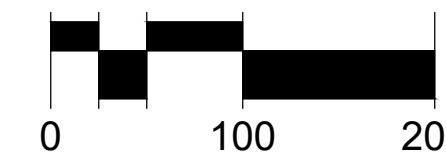
BEING 5 FEET IN WIDTH AND ADJOINING SIDE LOT LINES,
UNLESS OTHERWISE SHOWN AND 10 FEET IN WIDTH AND
ADJOINING REAR LOT LINES UNLESS OTHERWISE SHOWN
AND 10 FEET IN WIDTH AND ADJOINING RIGHT OF WAY LINES
UNLESS OTHERWISE SHOWN



Know what's Below.
Call before you dig.



NORTH

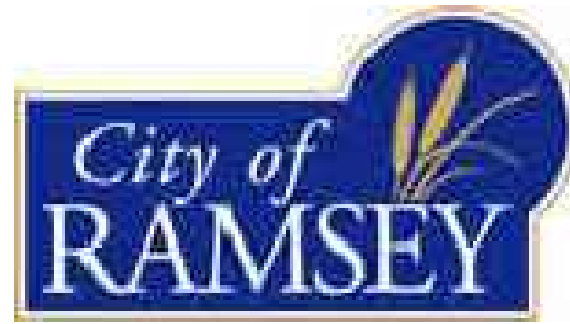


DEVELOPER

PLATINUM LAND MN, LLC

5191 159TH AVE NW
ANDOVER, MN 55304
TEL 763-301-4550

MUNICIPALITY



PROJECT

NORTH BROOK
MEADOWS
RAMSEY, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
16 JUL 2021	PRELIMINARY PLAT SUBMITTAL	CNC

CERTIFICATION

I hereby certify that this plan was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer or Professional Land Surveyor in the State of MINNESOTA.

**PRELIMINARY
NOT FOR
CONSTRUCTION**

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

PRELIMINARY PLAT
07/16/2021



105 South Fifth Avenue Tel: 612-252-9070
Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

FILE NAME C002PLM001.dwg

PROJECT NO. PLM20001

PRELIMINARY PLAT

C0.2

LAVERN
ESTATES
BLOCK 1

HUNT ADDITION
BLOCK 1



GENERAL NOTES

- FOR CONSTRUCTION STAKING AND SURVEYING SERVICES CONTACT LANDFORM AT 612.252.9070.
- OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WITHIN, OR USE OF, PUBLIC RIGHT-OF-WAY.
- THE DIGITAL FILE, WHICH CAN BE OBTAINED FROM THE ENGINEER, SHALL BE USED FOR STAKING. DISCREPANCIES BETWEEN THE DRAWINGS AND THE DIGITAL FILE SHALL BE REPORTED TO THE ENGINEER. THE BUILDING FOOTPRINT, AS SHOWN ON THESE DRAWINGS, AND THE DIGITAL FILE, SHALL BE COMPARED TO THE STRUCTURAL DRAWINGS PRIOR TO STAKING.
- DIMENSIONS SHOWN ARE TO BACK OF CURB AND EXTERIOR FACE OF BUILDING UNLESS NOTED OTHERWISE.

SITE PLAN NOTES

- OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WITHIN, OR USE OF, PUBLIC RIGHT-OF-WAY.
- THE DIGITAL FILE, WHICH CAN BE OBTAINED FROM THE ENGINEER, SHALL BE USED FOR STAKING. DISCREPANCIES BETWEEN THE DRAWINGS AND THE DIGITAL FILE SHALL BE REPORTED TO THE ENGINEER. THE BUILDING FOOTPRINT, AS SHOWN ON THESE DRAWINGS, AND THE DIGITAL FILE, SHALL BE COMPARED TO THE STRUCTURAL DRAWINGS PRIOR TO STAKING.
- DIMENSIONS SHOWN ARE TO BACK OF CURB AND EXTERIOR FACE OF BUILDING UNLESS NOTED OTHERWISE.

ZONING AND SETBACK SUMMARY

THE PROPERTY IS ZONED R-1 MUSA

BUILDING SETBACK INFORMATION IS AS FOLLOWS:
 FRONT YARD = 30 FT.
 FRONT YARD FROM NOWTHEN BOULEVARD = 60 FT. FROM R.O.W. PLUS NORMAL SETBACK
 REAR = 30 FT.
 SIDE INTERIOR = 10 FT. LIVING SIDE. 6 FT. GARAGE SIDE.
 SIDE STREET = 30 FT.
 DRIVEWAY SETBACK = 5 FT. FROM LOT LINE
 WETLAND SETBACK = 16.5 FT.

LOT COVERAGE INFORMATION IS AS FOLLOWS:
 LOT AREA MINIMUM = 10,890 S.F. = 0.25 ACRE
 LOT WIDTH MINIMUM = 80 FT. (90 FT. CORNER)
 LOT DEPTH MINIMUM = 100 FT.

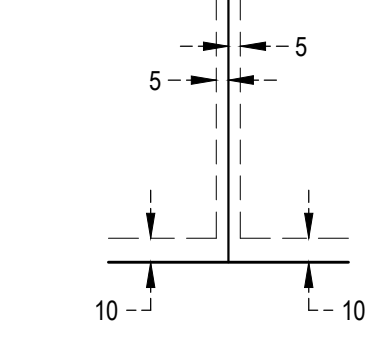
AREA SUMMARY

TOTAL SITE AREA: 1,787,850.0 SQ. FT. = 41.04 AC.
 EXISTING RIGHT OF WAY AREA: 241,164.39 SQ. FT. = 5.54 AC.
 WETLAND AREA: 42,235 SQ. FT. = 0.97 AC.
 NET AREA: 1,504,450.61 SQ. FT. = 34.54 AC.
 TOTAL SINGLE FAMILY LOTS = 77

IMPERVIOUS AREA SUMMARY

EXISTING:				
PERVIOUS	1,541,092	S.F.	35.38	AC.
IMPERVIOUS	5,293	S.F.	0.12	AC.
TOTAL	1,546,385	S.F.	35.5	AC.
				100.0%
PROPOSED:				
PERVIOUS	1,079,534	S.F.	24.78	AC.
IMPERVIOUS	466,851	S.F.	10.72	AC.
TOTAL	1,546,385	S.F.	35.5	AC.
				100.0%

DRAINAGE AND UTILITY EASEMENTS
ARE SHOWN THUS:
(NOT TO SCALE)

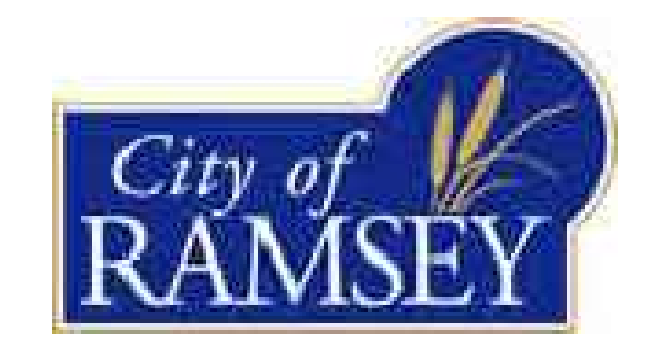


BEING 5 FEET IN WIDTH AND ADJOINING SIDE LOT LINES,
UNLESS OTHERWISE SHOWN AND 10 FEET IN WIDTH AND
ADJOINING REAR LOT LINES UNLESS OTHERWISE SHOWN
AND 10 FEET IN WIDTH AND ADJOINING RIGHT OF WAY LINES
UNLESS OTHERWISE SHOWN

DEVELOPER

PLATINUM LAND MN, LLC
 5191 159TH AVE NW
 ANDOVER, MN 55304
 TEL 763-301-4550

MUNICIPALITY



PROJECT

**NORTH BROOK
MEADOWS**
 RAMSEY, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
16 JUL 2021	PRELIMINARY PLAT SUBMITTAL	CNC

CERTIFICATION

I hereby certify that this plan was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer in the State of MINNESOTA.

Randal Woodford
 License No: 195

Signature shown is a digital representation of the original signed copy of this plan on file at Landform Professional Services, Inc. A hard copy of this plan is available upon request.

PRELIMINARY PLAT
 07/16/2021

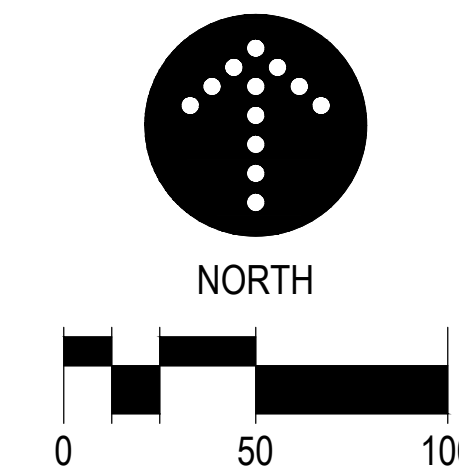


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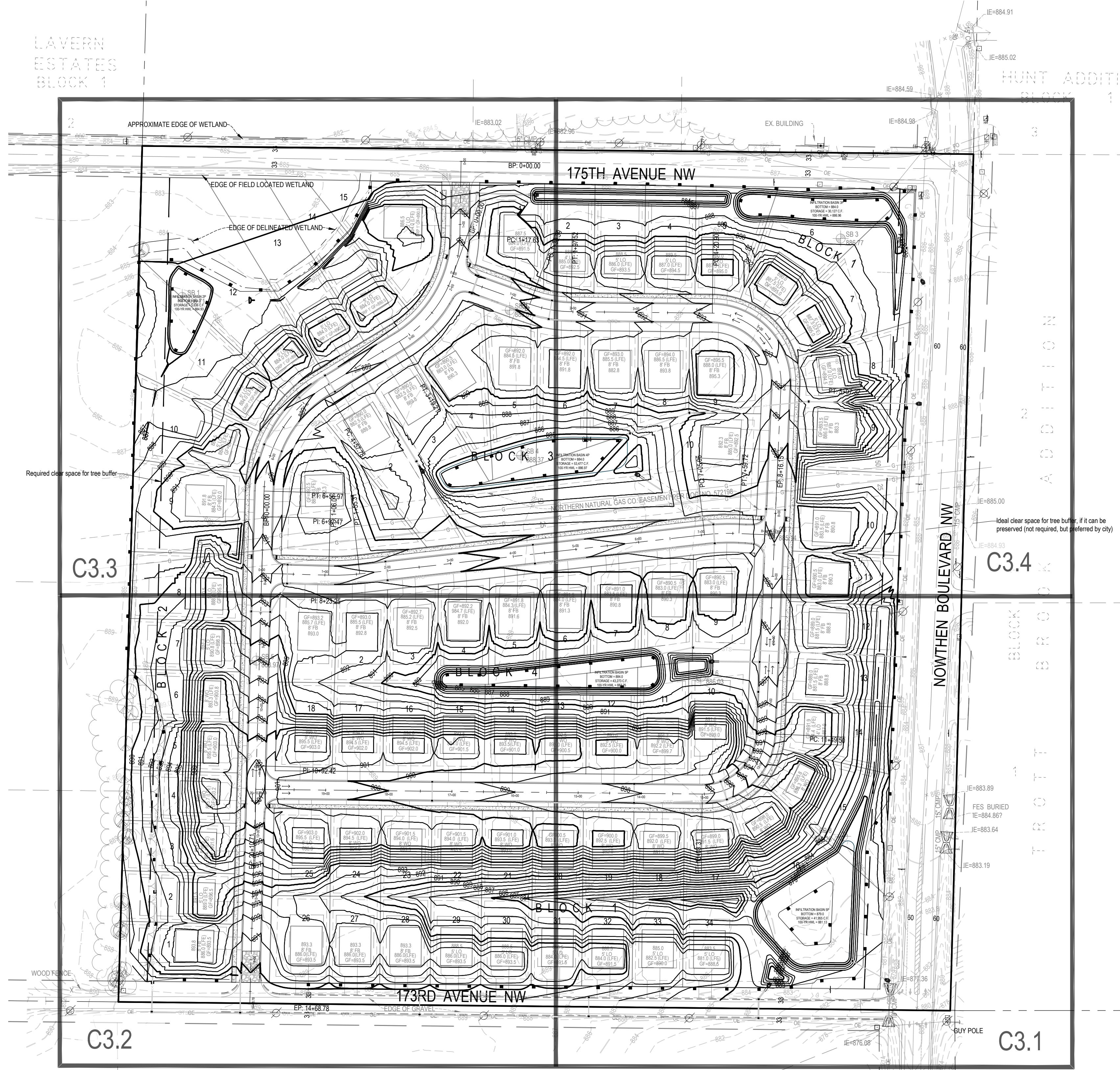
FILE NAME C201PLM001.dwg
 PROJECT NO. PLM20001

SITE PLAN

C2.1



LAVERN
ESTATES
BLOCK 1



GENERAL NOTES

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GRADING NOTES

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EROSION PREVENTION AND SEDIMENT CONTROL NOTES

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Sod	MNDOT 3878
Seed	MNDOT 3876
	MN Type 21-111 @ 100 lb./ac. - Temporary Erosion Control - Temporary Erosion Control, May 1 - Jul 31
	MN Type 21-112 @ 100 lb./ac. - Temporary Erosion Control - Temporary Erosion Control, Aug 1 - Oct 31
	MN Type 25-151 @ 120 lb./ac. - Permanent Turf
Mulch	MNDOT Type 1 @ 2 ton/ac., Disc Anchored
Fertilizer	MNDOT 3881
General Placement	MNDOT 2575
- See Landscape Sheets for permanent turf and landscape establishment.
- Scrape adjacent streets clean daily and sweep clean weekly.
- Silt fence for driveways and homes to be installed at the time of related construction.

LEGEND

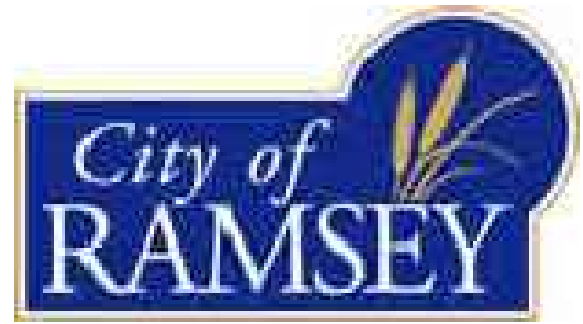
SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	Silt Fence	7,265 ft.
	Vehicle Tracking Pad	2 ea.

DEVELOPER

PLATINUM LAND MN, LLC

5191 159TH AVE NW
ANDOVER, MN 55304
TEL 763-301-4550

MUNICIPALITY



PROJECT

**NORTH BROOK
MEADOWS
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PRELIMINARY PLAT
07/16/2021



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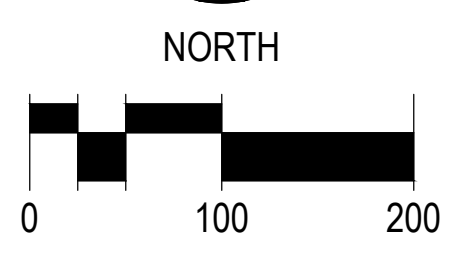
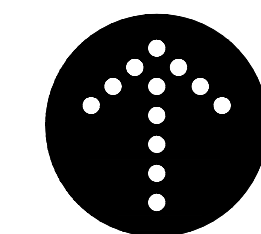
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PROJECT NO. PLM20001

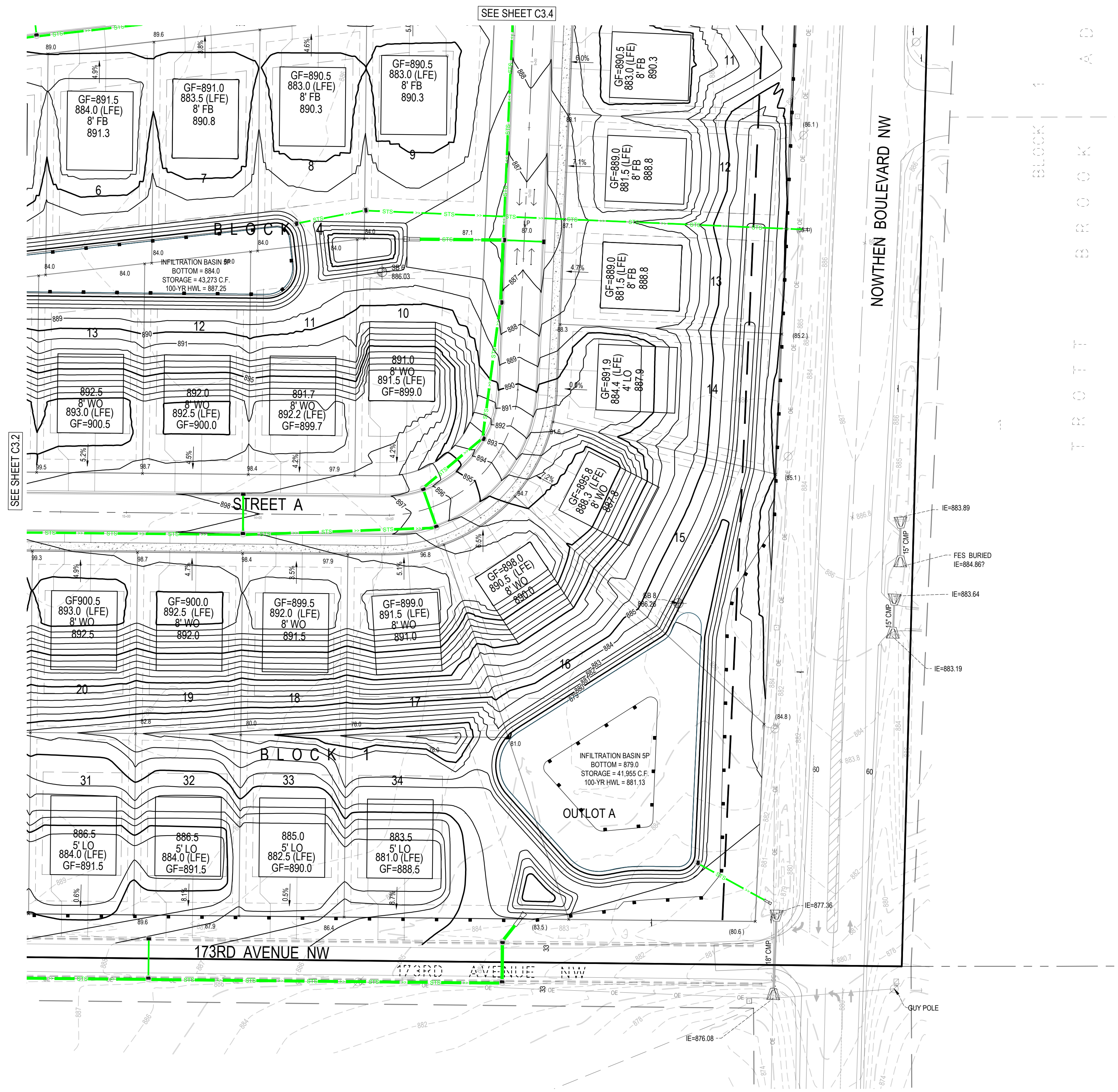
**GRADING, DRAINAGE &
EROSION CONTROL - OVERALL**

C3.0



**Know what's Below.
Call before you dig.**





GENERAL NOTES

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	MN Type 25-151 @ 120 lb./ac. - Permanent Turf
Mulch	MNDOT 3882
Fertilizer	MNDOT 3881
General Placement	MNDOT 2575
- See Landscape Sheets for permanent turf and landscape establishment.
- Scrape adjacent streets clean daily and sweep clean weekly.
- Silt fence for driveways and homes to be installed at the time of related construction.

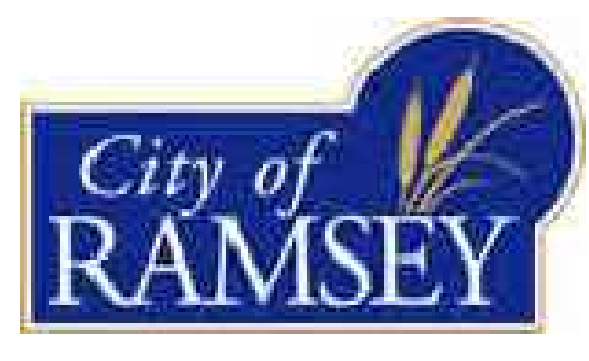
LEGEND

SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	Silt Fence	7,265 ft.
	Vehicle Tracking Pad	2 ea.

DEVELOPER

PLATINUM LAND MN, LLC
 5191 159TH AVE NW
 ANDOVER, MN 55304
 TEL 763-301-4550

MUNICIPALITY



PROJECT

NORTH BROOK MEADOWS
 RAMSEY, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
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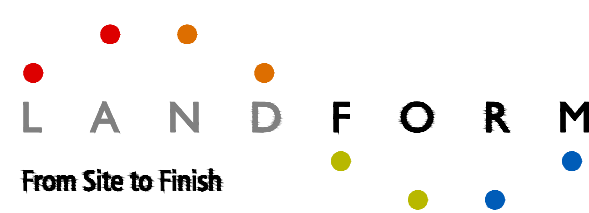
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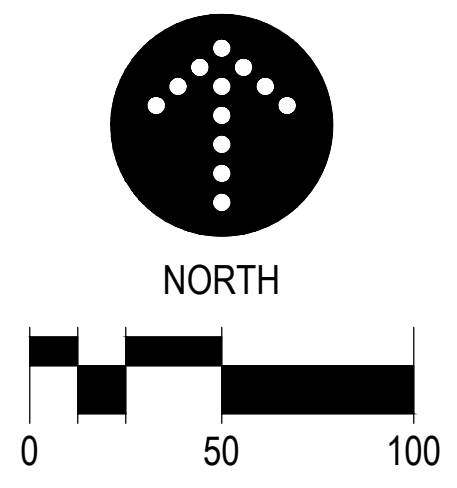
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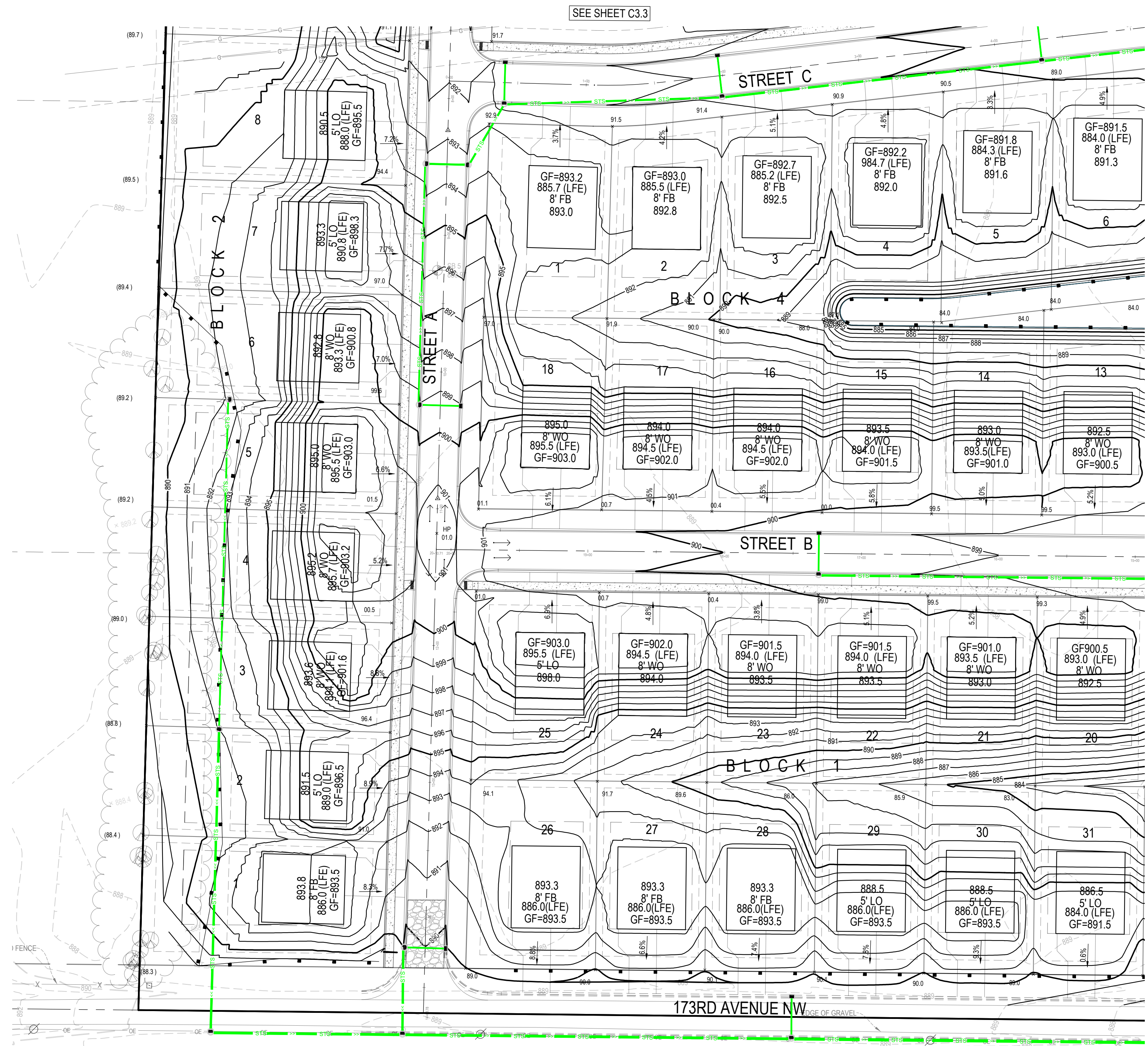
Tel: 612-252-9070
 Fax: 612-252-9077
 Web: landform.net

FILE NAME: C301PLM001.dwg
 PROJECT NO.: PLM20001

GRADING, DRAINAGE & EROSION CONTROL (SOUTHEAST)

C3.1





GENERAL NOTES

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Mulch	MNDOT 3882
	MNDOT Type 1 @ 2 ton/ac., Disc Anchored
Fertilizer	MNDOT 3881
General Placement	MNDOT 2575
- See Landscape Sheets for permanent turf and landscape establishment.
- Scrape adjacent streets clean daily and sweep clean weekly.
- Silt fence for driveways and homes to be installed at the time of related construction

LEGEND

SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	Silt Fence	7,265 ft.
	Vehicle Tracking Pad	2 ea.

DEVELOPER

PLATINUM LAND MN, LLC

5191 159TH AVE NW
ANDOVER, MN 55304
TEL 763-301-4550

MUNICIPALITY



PROJECT

NORTH BROOK MEADOWS
RAMSEY, MINNESOTA

ISSUE / REVISION HISTORY

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16 JUL 2021	PRELIMINARY PLAT SUBMITTAL	CNC

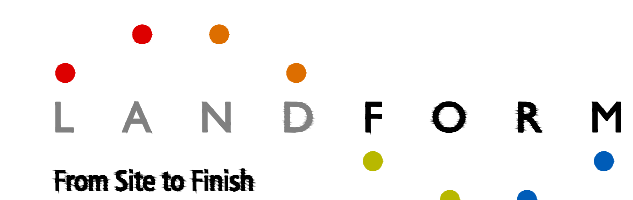
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PRELIMINARY PLAT
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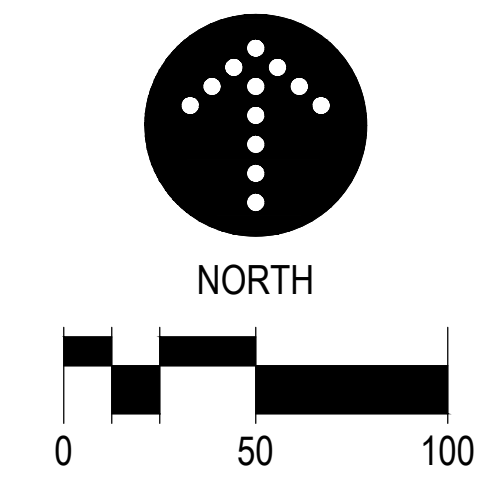
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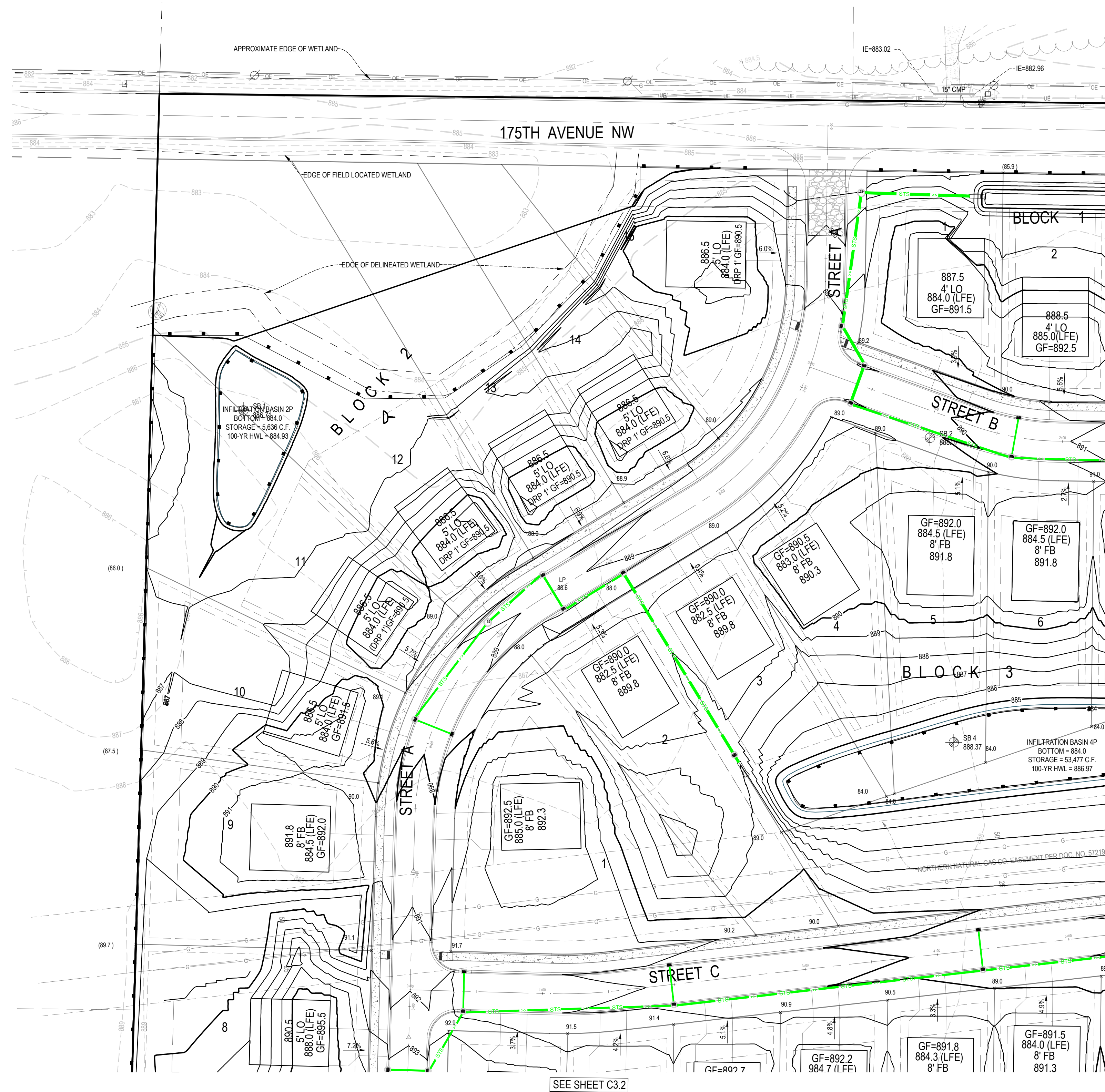
FILE NAME C302PLM001.dwg

PROJECT NO. PLM20001

GRADING, DRAINAGE & EROSION CONTROL (SOUTHWEST)

C3.2





GENERAL NOTES

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Sod	MNDOT 3878
Seed	MNDOT 3876
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	MN Type 21-112 @ 100 lb./ac. - Temporary Erosion Control - Temporary Erosion Control, Aug 1 - Oct 31
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 - Mulch
 MNDOT Type 1 @ 2 ton/ac., Disc Anchored | MNDOT 3882 | - Fertilizer
 General Placement | MNDOT 3881 MNDOT 2575 |
- See Landscape Sheets for permanent turf and landscape establishment.
 - Scrape adjacent streets clean daily and sweep clean weekly.
 - Silt fence for driveways and homes to be installed at the time of related construction.

LEGEND

SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	Silt Fence	7,265 ft.
	Vehicle Tracking Pad	2 ea.

DEVELOPER

PLATINUM LAND MN, LLC

5191 159TH AVE NW
ANDOVER, MN 55304
TEL 763-301-4550

MUNICIPALITY



PROJECT

NORTH BROOK MEADOWS
RAMSEY, MINNESOTA

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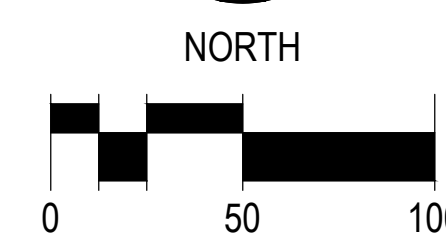
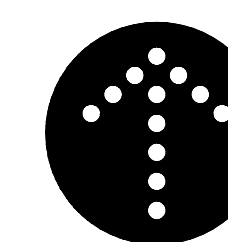
GRADING, DRAINAGE & EROSION CONTROL (NORTHWEST)

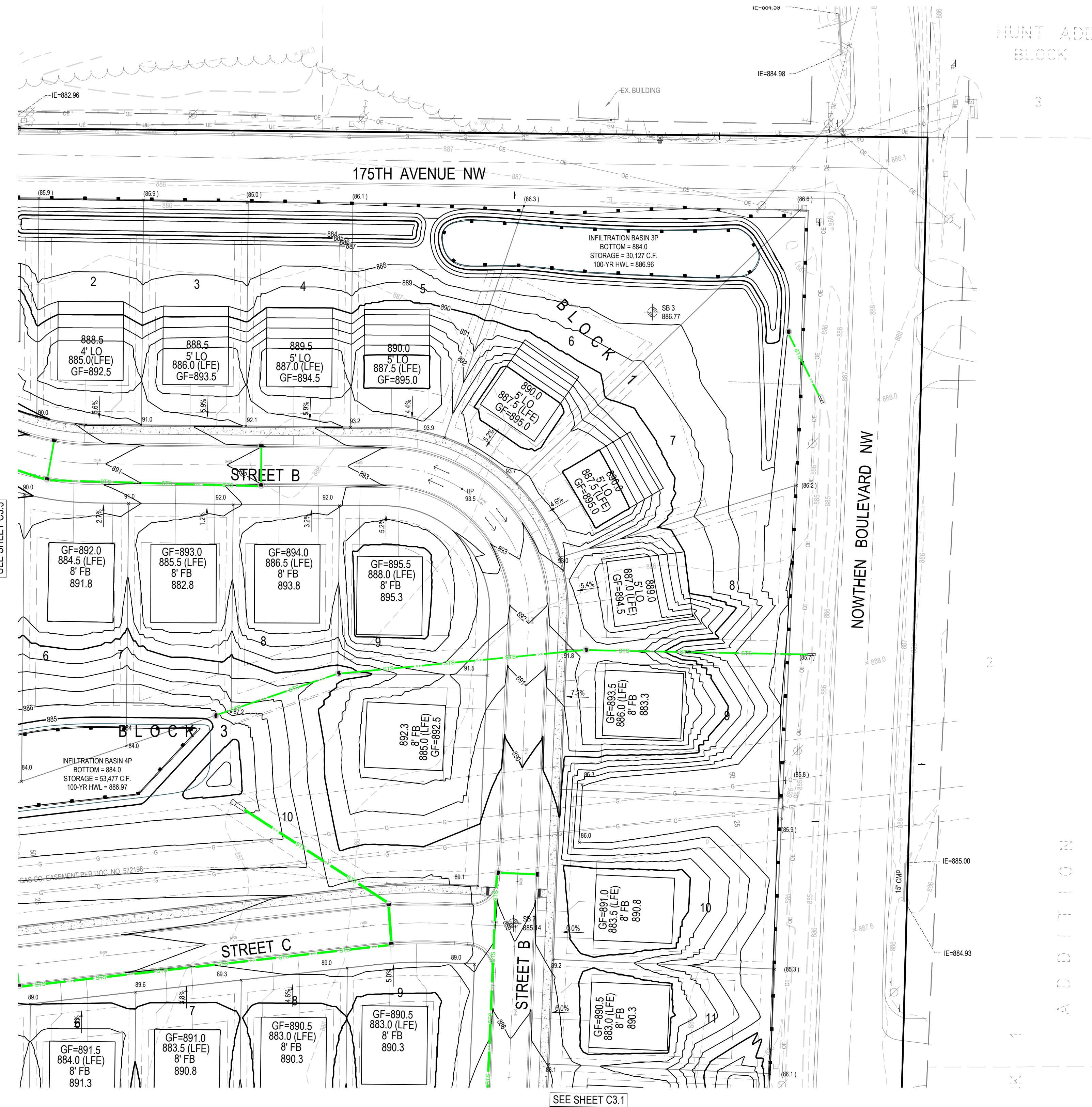
C3.3

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Call before you dig.





HUNT ADDITION
BLOCK

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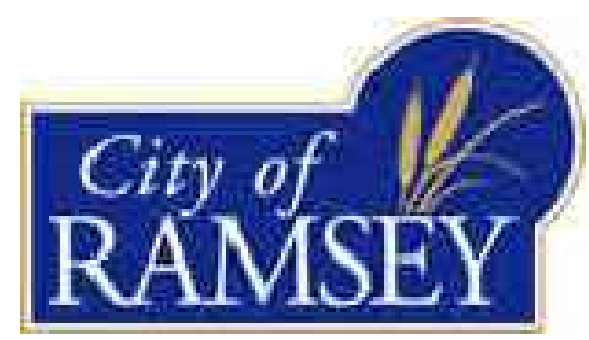
LEGEND

SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
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DEVELOPER

PLATINUM LAND MN, LLC
5191 159TH AVE NW
ANDOVER, MN 55304
TEL 763-301-4550

MUNICIPALITY



PROJECT

NORTH BROOK MEADOWS
RAMSEY, MINNESOTA

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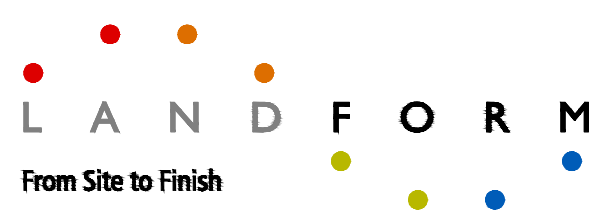
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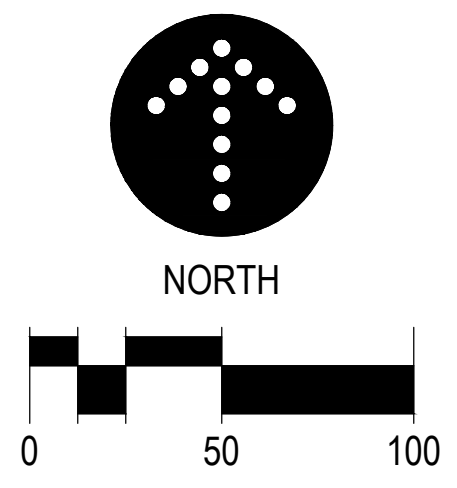


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GRADING, DRAINAGE & EROSION CONTROL (NORTHEAST)

C3.4



NPDES PERMIT AND SWPPP COMPONENTS

- The current Minnesota Construction Stormwater General Permit (Permit) dated August 1, 2018 is referenced in this document as the Permit.

The SWPPP includes the following components:

- Construction Documents prepared by Landform
- Stormwater Management Narrative prepared by Landform
- Maintenance Plan for permanent stormwater BMPs
- Geotechnical Report prepared by Independent Testing Technologies

All components must be kept onsite by the Operator. The Operator shall contact Civil Engineer if they do not have all of the above documents.

SITE INFORMATION

Site location: Latitude: xx.xxxxx, Longitude: -xx.xxxxx

Disturbed area = 34.7 ac.
Pre-construction impervious area within disturbed area = 0.1 ac.
Post-construction impervious area within disturbed area = 10.7 ac.
Net change in impervious area within disturbed area = 10.6 ac.

Type of stormwater management:
• Infiltration

Erosion prevention and sediment control quantities are on sheets C3.0 - C3.4.

SITE EVALUATION / ASSESSMENT / PLANNING

- The Operator shall have primary responsibility and significant authority for the development, implementation, maintenance, inspection and amendments to the approved SWPPP. Duties include but are not limited to:
 - Ensuring full compliance with the SWPPP and the Permit
 - Implementing all elements of the SWPPP, including but not limited to:
 - Implementing prompt and effective erosion and sediment control measures
 - Implementing all non-storm water management, and good housekeeping BMPs ensuring that no materials other than Storm water are discharged in quantities, which will have an adverse effect on receiving waters or storm drain systems, etc.
 - Conducting routine inspections and maintenance
 - Ensuring elimination of all unauthorized discharges
 - Coordinating to ensure all of the necessary corrections / repairs are made immediately, and that the project complies with the SWPPP, the Permit, and approved plans at all times.
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 - Ensuring elimination of all unauthorized discharges
 - Coordinating to ensure all of the necessary corrections / repairs are made immediately, and that the project complies with the SWPPP, the Permit, and approved plans at all times.

STORMWATER POLLUTION PREVENTION MANAGEMENT MEASURES

- Operator must develop pollution prevention management measures, implement good housekeeping BMPs, must follow all applicable federal, state, and local building codes, Occupational Safety and Health Act (OSHA), and the general conditions and general requirements of the construction contract.
- The Operator shall minimize the exposure to stormwater of any of the products, material, or wastes stored on site that may wash downstream or contaminate stormwater.
- Building products that have the potential to leach pollutants must be under cover.
- Chemicals and landscape materials shall be under cover to prevent the discharge of pollutants.
- Operator to track progress of the following items on site maps: portable toilets, material storage areas, vehicle and equipment fueling and maintenance areas, concrete washouts, paint and stucco washouts, dumpsters or other trash and debris containers, spill kits, stockpiles, any other non-structural non-storm water management BMPs, any temporarily removed structural BMPs, any changes to the structural BMPs.
- Solid waste: collected sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction and demolition debris and other wastes must be disposed of properly and must comply with MPCA disposal requirements.
- Hazardous waste: oil, gasoline, paint and any hazardous substances must be properly stored in sealed containers to prevent spills, leaks or other discharge. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal of hazardous waste or materials must be in compliance with Minn. R. Ch. 7045 including secondary containment as applicable.
- Portable toilets must be positioned so that they are secure and will not be tipped or knocked over.
- Concrete and other washout waste: operator must provide effective containment for all liquid and solid wastes generated by washout operations. The liquid and solid wastes must not contact the ground, and the containment must be designed so that it does not result in runoff from the washout operations or areas. Liquid and solid wastes must be disposed of properly and in compliance with MPCA rules. A sign must be installed adjacent to each washout facility that requires site personnel to utilize the proper facilities for disposal of concrete and other washout wastes.
- External vehicle washing: external washing of trucks and other construction vehicles must be limited to a defined area of the site. Runoff must be contained and waste properly disposed of. No engine degreasing is allowed on site.
- Operator shall take reasonable steps to prevent the discharge of spilled or leaked chemicals, including fuel, from any area where they will be loaded or unloaded as detailed in the Permit.

SWPPP CONTACT AND TRAINING INFORMATION

- Owner:
Platinum Land MN, LLC
attn: Jason Bebeau
5191 159th Ave NW
Andover, MN 55304
763-301-4550
platinumlandmn@gmail.com
- Operator:
To Be Determined. Contact Owner until Contractor is Selected.
- Long Term Maintenance And Operation:
To Be Determined. Contact Owner until Contractor is Selected.
- SWPPP Designer:
Randy Hedlund, P.E.
Landform Professional Services
105 South Fifth Avenue, Suite 513
Minneapolis, MN 55401
612-252-9070
rhedlund@landform.net
Certification: U Of MN, Design Of Construction SWPPP, Exp. May 31, 2022
- SWPPP Inspector / Manager:
To Be Determined. Contact Owner until Contractor And SWPPP Inspector / Manager is selected.
Certification: Exp.
- BMP Installation And Repair:
To Be Determined. Contact Owner until BMP Installer And Maintainer is selected.
Certification: Exp.

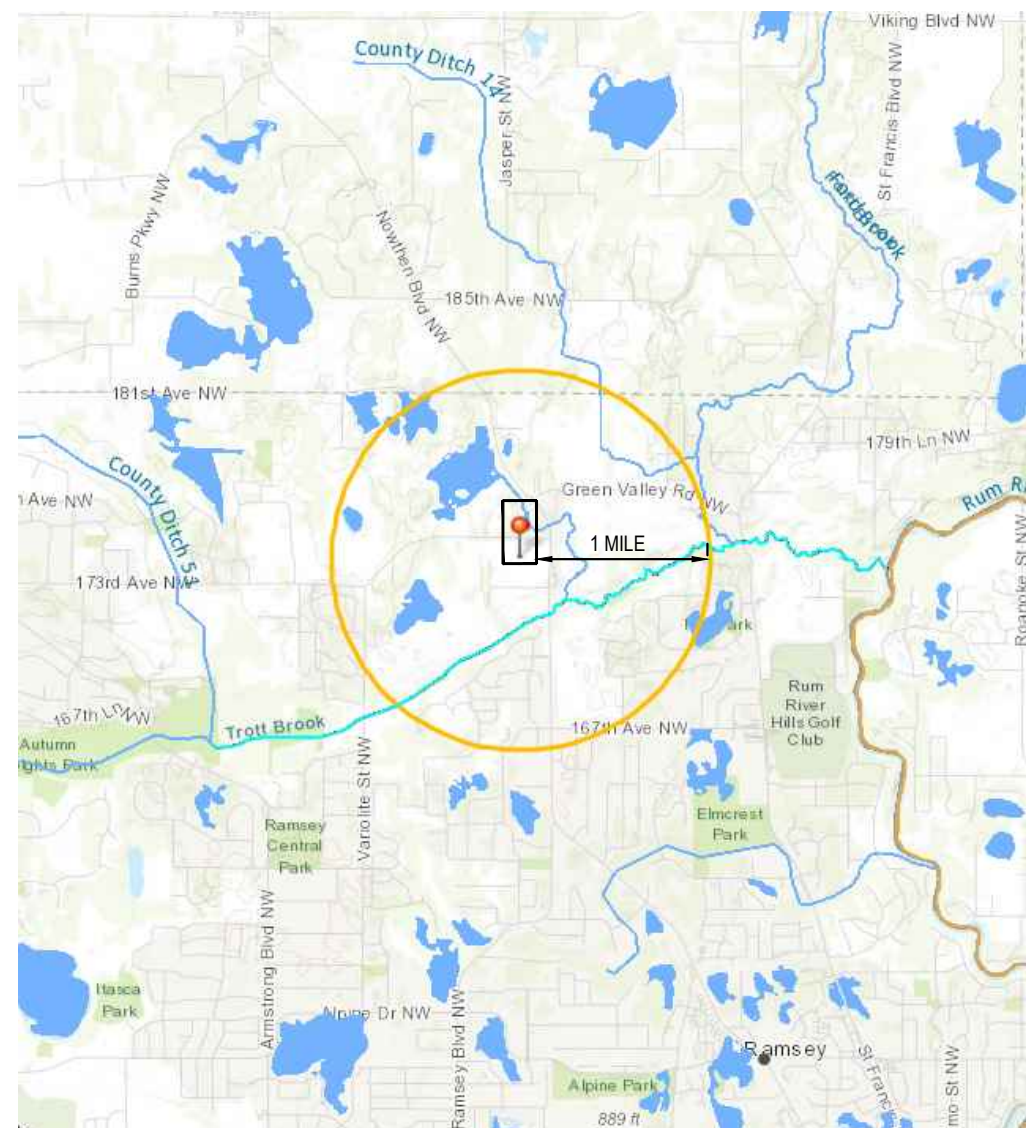
DESCRIPTION OF CONSTRUCTION ACTIVITY

- Construction activity includes erosion and sediment control BMPs installation, clearing and grubbing, site grading, utility installation, building construction, paving, and landscaping.

SCHEDULE OF BMP INSTALLATION AND CONSTRUCTION ACTIVITY

- Install perimeter sediment control BMPs prior to start of other site work. Refer to Grading, Drainage, Paving and Erosion Control sheet(s) for initial locations of BMPs.
- Protect infiltration areas with construction fencing. Install fencing prior to site grading or within 24-hours of excavating an infiltration basin.
- Construct temporary sedimentation basins prior to upland disturbance. Install perimeter sediment control BMPs around normal water levels within 48-hours of completion of basin grading.
- Stabilize outlets from temporary sedimentation basins within 24-hours of outlet construction.
- Perform work in phases to minimize disturbed area at any one time. Operator to develop phasing plan prior to start of work.
- Strip topsoil from areas to be disturbed and stockpile with perimeter sediment control BMPs. Provide stabilization if stockpile is left longer than 14 days.
- Rough grade site.
- Install utilities.
- Install small utilities (gas, electric, communications).
- Final grade pavement areas and compact subgrade.
- Lay down pavement aggregate and compact.
- Install curb and gutter. Backfill after a minimum of three days and provide a minimum of two rolls of sod at the back of curb.
- Construct site walks and patios.
- Provide final stabilization.
- Connect infiltration practices to storm sewer inlets.
- Remove temporary BMPs and dispose of properly.

WATERS WITHIN ONE MILE OF SITE



MN SPECIAL (PROHIBITED, RESTRICTED, OTHER) & IMPAIRED WATERS

- Trott Brook is impaired based on the current USEPA 303(d) clean water act list for Benthic macroinvertebrate bioassessments, dissolved oxygen, fishes bioassessments; is within 1 mile of this site; and stormwater does discharge to it.
 - TMDLs have been established for this impaired water for construction related parameters and require the additional best management practices (BMPs) found it items 23.9 and 23.10.

EROSION PREVENTION AND SEDIMENT CONTROL

- See Grading, Drainage, Paving and Erosion Control sheets for the location and type of temporary erosion prevention and sediment control BMPs. See Grading and Drainage, Utility, and Landscape sheets for the location and type of permanent erosion prevention and sediment control BMPs.
- Minimize Disturbed Areas and Protect Natural Features and Soil

Appropriate construction practices (e.g. construction phasing, vegetative buffer strips, horizontal slope grading) shall be used to minimize erosion.

Areas not to be disturbed (buffers, infiltration basins, etc.) shall be protected with construction or silt fence before work begins.

Operator shall develop methods to minimize soil compaction outside of building pads, pavement areas and utility trenches and shall use tracked equipment wherever practicable.

Topsoil shall be salvaged and reused to the extent practicable.

Phase Construction Activity

Operator must not disturb more land than can be effectively inspected and maintained.

Sediment control practices shall be established on all down gradient perimeters before any upgradient land disturbing activities begin. These practices shall remain in place until final stabilization has been established in accordance with the Permit.

The timing of the installation of sediment control practices may be adjusted to accommodate short-term activities such as clearing or grubbing, or passage of vehicles. Any short-term activity must be completed as quickly as possible and the sediment control practices shall be installed immediately after the activity is completed. However, sediment control practices shall be installed before the next precipitation event even if the activity is not complete.

Control Stormwater Flowing onto and Through the Project

The normal wetted perimeter of any temporary or permanent drainage ditch or swale that drains water from any portion of the construction site, or diverts water around the site, shall be stabilized within 200 linear feet from the property edge, or from the point of discharge into any surface water.

Stabilization of the last 200 linear feet shall be completed within 24 hours after connecting to a surface water.

Stabilization of the remaining portions of any temporary or permanent ditches or swales shall be complete within 14 days after connecting to a surface water and construction in that portion of the ditch has temporarily or permanently ceased.

Temporary or permanent ditches or swales that are being used as a sediment containment system (with properly designed rock ditch checks, bio rolls, silt dikes etc.) do not need to be stabilized. These areas shall be stabilized within 24 hours after no longer being used as a sediment containment system.

Stabilize Soils

All exposed soil areas, including stockpiles, must be stabilized.

Stabilization must be started immediately to limit soil erosion when the construction activity in that portion of the site has temporarily or permanently ceased and will not resume for 14 calendar days. Stabilization must be complete within 7 days of cessation of construction activity.

Temporary soil stockpiles shall have silt fence or other effective sediment controls, and cannot be placed in surface waters, including storm water conveyances such as curb and gutter systems, or conduits and ditches unless there is a bypass in place for the storm water.

Temporary stockpiles without significant silt, clay or organic components (e.g. clean aggregate stockpiles, demolition concrete stockpiles, sand stockpiles) and the constructed base components of roads, parking lots and similar surfaces, are exempt from this requirement.

Protect Slopes

Operator shall avoid work on slopes with a grade of 3:1 or greater when practicable. Grading on slopes with a grade of 3:1 or steeper will require techniques such as phasing and stabilization practices designed for steep slopes (e.g. slope draining and terracing).

Protect Storm Drain Inlets

All storm drain inlets shall be protected by appropriate BMPs during construction until all sources with potential for discharging to the inlet have been stabilized. Inlet protection may be temporarily removed if a specific safety concern has been identified.

Provide Energy Dissipation at all Pipe Outlets within 24 Hours

After connection to a surface water or permanent stormwater treatment system.

Establish Perimeter Controls and Sediment Barriers

Prior to disturbing soils on a project site, establish sediment control BMPs on all down-gradient perimeters and where site discharges to public waters.

Retain Sediment On-site and Control Dewatering Practices

Discharge shall not cause nuisance conditions, erosion in receiving channels, adversely affect receiving water or impact wetlands, or downstream properties. Discharge points shall be adequately protected from erosion and scour by accepted energy dissipation measures.

Discharge water containing oil or grease shall be treated to remove oil or grease prior to discharge to surface waters.

Refer to Permit requirements for temporary or permanent sediment basins.

Establish Stabilized Construction Exits

Vehicle tracking pads shall be established as shown on the Grading, Drainage, Paving and Erosion Control sheet(s) to minimize tracking of sediment from the construction site onto adjacent streets.

Infiltration Basin Protection

Operator must not excavate infiltration systems to final grade or within three (3) feet of final grade until the contributing drainage area has been constructed and fully stabilized unless rigorous erosion prevention and sediment controls have been installed.

When excavating an infiltration system to within three (3) feet of final grade, operator shall mark off and protect the area from heavy construction equipment to prevent compaction of soils.

Dewatering and Basin Draining

Permittees must discharge turbid or sediment-laden waters related to dewatering or basin draining to a temporary or permanent sediment basin. Discharges must not cause erosion or scour near the discharge points.

Remove Sediment from Surface Waters

All sediment deposits and deltas must be removed from surface waters, including drainage ways, catch basins, and other drainage systems, and the removal areas restabilized within seven (7) days.

TEMPORARY SEDIMENTATION BASIN(S)

- This project does have more than five (5) disturbed acres draining to a common location and The site drains to an impaired or special water, therefore a temporary sediment basin is required. Temporary sediment basins will be provided with Construction Documents.
- Temporary sediment basins shall provide treatment to runoff before it leaves the construction site or enters surface waters. The contractor shall comply with the following requirements:
 - Sedimentation basins must provide live storage of runoff resulting from the 2-year 24-hour rainfall event from each acre drained to the basin, with a minimum of 1,800 c.f. face live storage volume. (Where no calculation has been performed, each basin shall provide at least 3,600 c.f. face live storage.) Sedimentation basins must include a stabilized emergency overflow to prevent basin integrity failure.
 - Discharge from temporary sedimentation basins will be withdrawn from the surface in order to minimize the discharge of pollutants.
- Discharge from basin draining shall not adversely affect the receiving water or downstream properties. Contractor will visually check to ensure adequate treatment has been obtained and that nuisance conditions will not result from the discharge.
- Any discharge observed to be occurring during the inspection shall be recorded, described, and photographed.
- If any proposed temporary BMPs are not working as intended refer to the "Stormwater Compliance Assistance Toolkit for Small Construction Operators", MPCA, 2017 for additional information. Operator shall contact the SWPPP Designer for additional requirements and information.

POST CONSTRUCTION / PERMANENT BMPS

- See Grading and Drainage, Utility, and Landscape sheets for post construction and permanent stormwater BMPs.

INSPECTIONS AND MAINTENANCE

- Permittees must ensure that a trained person will inspect the entire construction site at least once every seven (7) days during active construction and within 24 hours after a rainfall event greater than 0.5-inches in 24 hours.
- Inspections shall include stabilized areas, erosion prevention and sediment control BMPs, and infiltration areas.
- Surface waters on or adjacent to the site must be inspected for evidence of erosion or sediment deposition.
- Permittees must record all inspection and maintenance activities within 24 hours of being conducted as detailed in the Permit.
- Inspection Records contain shall include:
 - Date and time of inspections;
 - Name of persons conducting inspections;
 - Findings of inspections, including specific locations where corrective actions are needed;
 - Corrective actions taken including dates, times, and the party taking the corrective action;
 - Dates of all rainfall events greater than 1/2 inch in 24 hours (refer to Permit for measurement requirements);
 - Any discovered discharge must be recorded, including photographs, descriptions of discharge (color, odor, settled or suspended solids, oil sheen, or other obvious indicators of pollution), and specific location of discharge location;
 - Any amendments to the Permit as a result of inspections must be documented within seven calendar days as described in the Permit
- BMP Maintenance:
 - Nonfunctional BMPs must be repaired or replaced by the end of the next business day after discovery unless a different time frame is indicated.
 - Follow the designer's or manufacturer's recommended maintenance procedures for all BMPs.
 - Remove sediment from BMPs when the depth of sediment has reached 1/2 the height of the BMP and properly dispose of sediment into controlled areas to prevent soil from returning to the BMP during subsequent rain events.
 - Remove sediment from paved roadways within one calendar day of discovery.
 - Remove sediment from around BMPs protecting storm drain inlets.
 - Surface waters with evidence of sediment deposition must be stabilized and sediment removed within seven calendar days of discovery, or as stated by the Permit.
 - Ensure that construction support activities, including borrow areas, waste areas, contractor work areas, and material storage areas and dedicated concrete and asphalt batch plants are cleaned and maintained.
 - Replace damaged BMPs that no longer operate effectively.
- Add BMPs as needed during construction to minimize erosion and prevent sediment from leaving the site.

RECORD KEEPING / RECORD RETENTION

- The SWPPP (original or copies), including all changes to it, and inspections and maintenance records, shall be kept at the site during construction by the Owner / Operator who has operational control of that portion of the site. The SWPPP can be kept in either the field office or in an on site vehicle during normal working hours.
- All Owners(s) must keep the SWPPP, along with the following additional records, on file for three (3) years after submittal of the Notice of Termination (NOT). This does not include any records after submittal of the NOT.
 - The following is a list of records that shall be kept at the project site available for inspectors to review:
 - Copy of the SWPPP, with any modifications;
 - Inspection and maintenance records;
 - Permanent operation and maintenance agreements;
 - Calculations for the design of temporary and permanent stormwater management systems;
 - Any other permits required for the project;
 - Records of all inspection and maintenance conducted during construction; and
 - All permanent operation and maintenance agreements that have been implemented, including all right-of-way, contracts, covenants and other binding requirements regarding perpetual maintenance

LOG OF CHANGES TO THE SWPPP / AMENDMENTS

- The Owner / Operator(s) must amend the SWPPP as necessary to include additional requirements, such as additional or modified BMPs, designed to correct problems identified or address situations as detailed in the Permit.

FINAL STABILIZATION

- The Owner / Operator(s) must ensure final stabilization of the site. Final stabilization includes:
 - Ensuring all areas have permanent cover;
 - Vegetative areas must have perennial cover with a density of 70% of expected final growth.

TERMINATION OF COVERAGE

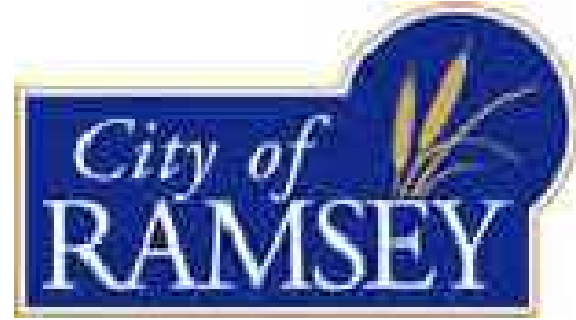
- Owner / Operator(s) wishing to terminate coverage under the Permit must submit a Notice of Termination (NOT) to the MPCA. Compliance with the Permit is required until a NOT is submitted. Refer to the Permit for details. Conditions for submitting a NOT include:
 - Site must have achieved final stabilization (refer to section above).
 - The permanent stormwater treatment and conveyance systems must be clean and all accumulated sediment removed.
 - All temporary synthetic erosion prevention and sediment control BMPs must be removed from the site and disposed of properly.
 - Single Family Residential only - Permit termination on individual lots occurs once building construction is complete, temporary erosion prevention and downgradient perimeter control is complete, the residence sells to the homeowner, and the permittee distributes the MPCA's "Homeowner Fact Sheet" to the homeowner.

DEVELOPER

PLATINUM LAND MN, LLC

5191 159TH AVE NW
ANDOVER, MN 55304
TEL 763-301-4550

MUNICIPALITY



PROJECT

NORTH BROOK MEADOWS RAMSEY, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
16 JUL 2021	PRELIMINARY PLAT SUBMITTAL	CNC

CERTIFICATION

I hereby certify that this plan was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer or Professional Land Surveyor in the State of MINNESOTA.

Randy Hedlund
License No: 195
Signature shown is a digital representation of the original signed copy of this plan on file at Landform Professional Services, Inc. The original signed copy of this plan is available upon request.

**PRELIMINARY
NOT FOR
CONSTRUCTION**

IF THE SIGNATURE, SEAL OR FOUR LINES DIRECTLY ABOVE ARE NOT VISIBLE, THIS SHEET HAS BEEN REPRODUCED BEYOND INTENDED READABILITY AND IS NO LONGER A VALID DOCUMENT. PLEASE CONTACT THE ENGINEER TO REQUEST ADDITIONAL DOCUMENTS.

PRELIMINARY PLAT

07/16/2021

LANDFORM
From Site to Finish

105 South Fifth Avenue Tel: 612-252-9070
Suite 513 Fax: 612-252-9077
Minneapolis, MN 55401 Web: landform.net

FILE NAME C305PLM001.DWG

PROJECT NO. PLM20001

MN SWPPP NOTES

C3.5

GENERAL NOTES

- FOR CONSTRUCTION STAKING AND SURVEYING SERVICES CONTACT LANDFORM PROFESSIONAL SERVICES AT 612.252.9070.
- PIPE MATERIALS

WATERMAIN	DIP CL 53 (6"), DIP CL 52 (8")
WATER SERVICE	1" COPPER TYPE K (ASTM B88)
SANITARY SEWER	8" PVC SUR 35 - 1' to 13' SDR 26 - 13' to 25' (ASTM D3034, D2665, & F891)
SANITARY SEWER SERVICE	4" PVC SCHEDULE 40 (ASTM D1785, D2665, F794, & F1866)
STORM SEWER	RCP 12"-18" CLASS 5 (ASTM C76)
- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL UTILITY POINTS OF CONNECTION PRIOR TO CONSTRUCTION OF ANY PROPOSED UTILITIES. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF THERE IS ANY DISCREPANCY.
- CONTRACTOR TO POTHOLE ALL UTILITY CROSSINGS (INCLUDING PRIVATE UTILITIES) PRIOR TO CONSTRUCTION OF NEW UTILITIES TO VERIFY DEPTHS OF EXISTING LINES. CONTACT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE DISCOVERED.
- PIPE LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE OR END OF END SECTION.
- INSTALL TRACER WIRE WITH ALL NON-CONDUCTIVE UTILITIES.
- CONNECT TO CITY UTILITIES IN ACCORDANCE WITH CITY OF RAMSEY STANDARDS.
- CONTACT THE CITY OF RAMSEY UTILITIES, AT 763.433.9861 FOR FLUSHING AND PRESSURE TEST INSPECTIONS.
- COORDINATE WITH PRIVATE UTILITIES TO PROVIDE ELECTRIC, NATURAL GAS, AND COMMUNICATIONS SERVICES TO EACH PAD.
- ADJUST STRUCTURES TO FINAL GRADE WHERE DISTURBED. COMPLY WITH REQUIREMENTS OF UTILITY. MEET REQUIREMENTS FOR TRAFFIC LOADING IN PAVED AREAS.
- COORDINATE WITH THE CITY ON THE RESTORATION OF THE STREET AFTER ALL PATCHES ARE INSTALLED.

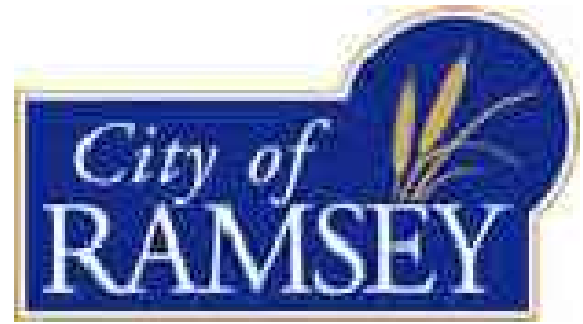
UTILITY NOTES

DEVELOPER

PLATINUM LAND MN, LLC

5191 159TH AVE NW
ANDOVER, MN 55304
TEL 763-301-4550

MUNICIPALITY



PROJECT

NORTH BROOK MEADOWS
RAMSEY, MINNESOTA

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CERTIFICATION

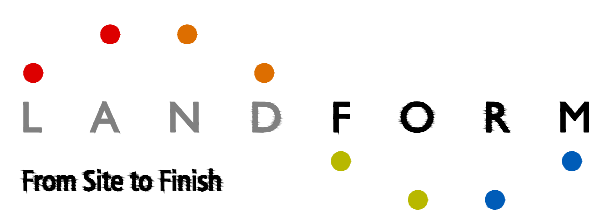
I hereby certify that this plan was prepared by me or under my direct supervision, and that I am a duly Licensed Professional Engineer in the State of Minnesota.

Ramsey, Minnesota
License No: 195

Signature shown is a digital representation of the Engineer's signature. A signed copy of this plan on file at Landform Professional Services, Inc. is available upon request.

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PRELIMINARY PLAT
07/16/2021



105 South Fifth Avenue
Suite 513
Minneapolis, MN 55401

Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

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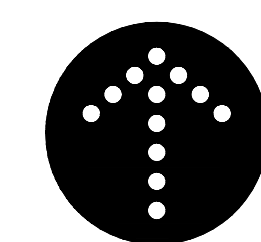
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UTILITIES - OVERALL

C4.0

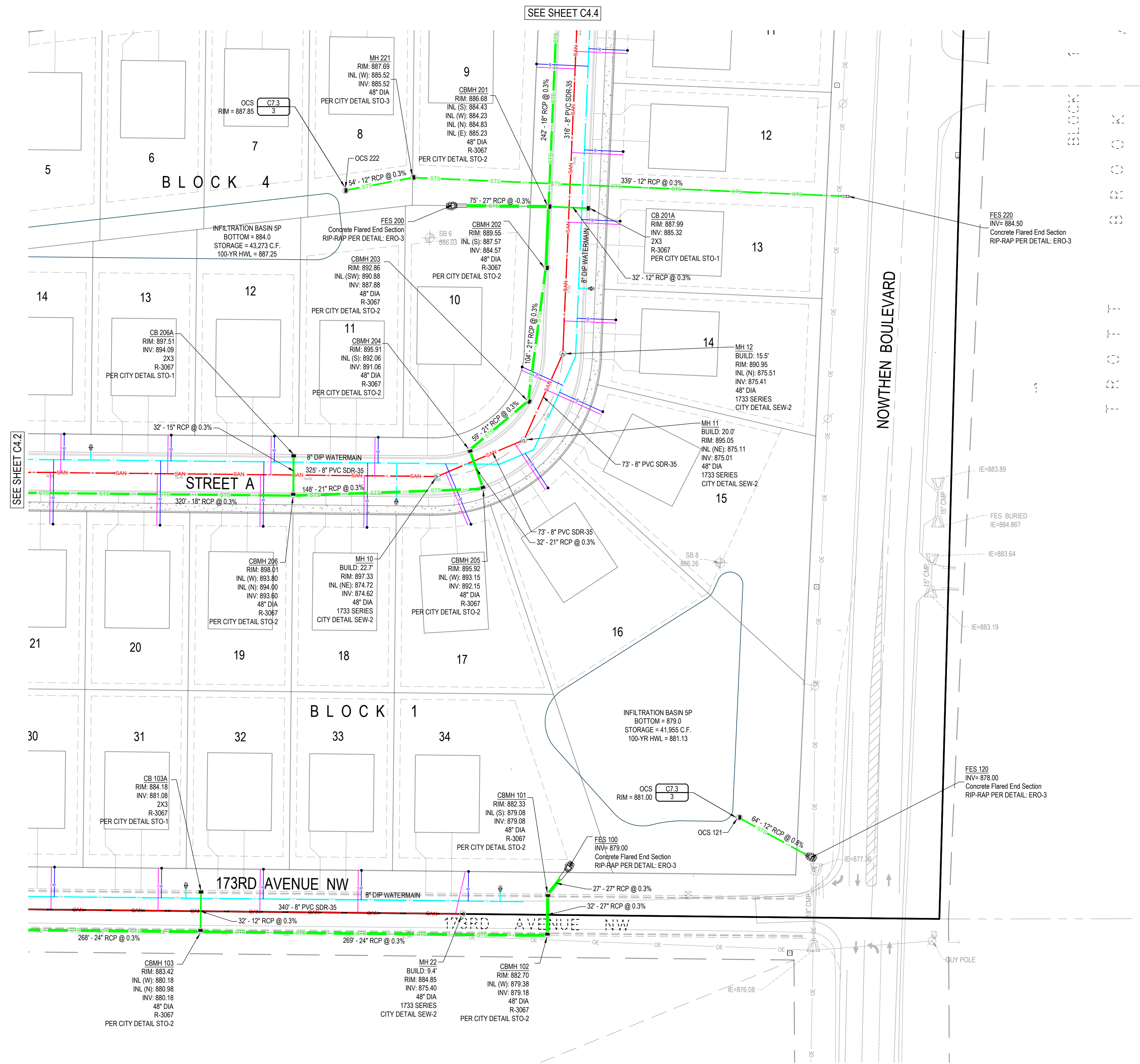


Know what's Below.
Call before you dig.



NORTH





GENERAL NOTES

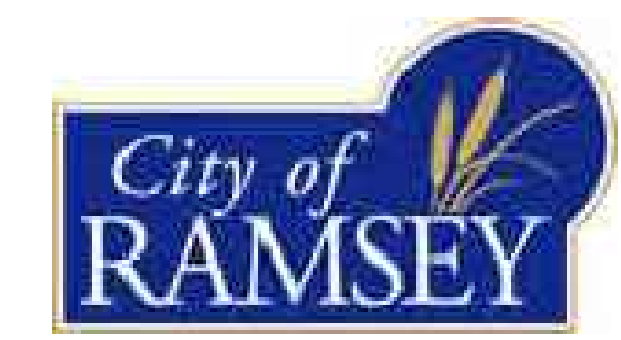
- FOR CONSTRUCTION STAKING AND SURVEYING SERVICES CONTACT LANDFORM PROFESSIONAL SERVICES AT 612.252.9070.
- PIPE MATERIALS
 - WATERMAIN: DIP CL 53 (6"), DIP CL 52 (8")
 - WATER SERVICE: 1" COPPER TYPE K (ASTM 888)
 - SANITARY SEWER: 8" PVC SDR 35 - 10 to 15' SDR 26 - 13' to 25' (ASTM D3034, D2665, & F891)
 - SANITARY SEWER SERVICE: 4" PVC SCHEDULE 40 (ASTM D1785, D2665, F794, & F1866)
 - STORM SEWER: RCP 12"-18" CLASS 5 (ASTM C76)
- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL UTILITY POINTS OF CONNECTION PRIOR TO CONSTRUCTION OF ANY PROPOSED UTILITIES. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF THERE IS ANY DISCREPANCY.
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- COORDINATE WITH THE CITY ON THE RESTORATION OF THE STREET AFTER ALL PATCHES ARE INSTALLED.

UTILITY NOTES

DEVELOPER

PLATINUM LAND MN, LLC
 5191 159TH AVE NW
 ANDOVER, MN 55304
 TEL 763-301-4550

MUNICIPALITY



PROJECT

NORTH BROOK MEADOWS
 RAMSEY, MINNESOTA

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PRELIMINARY PLAT
 07/16/2021



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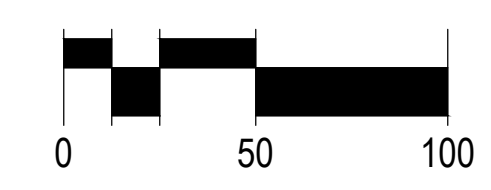
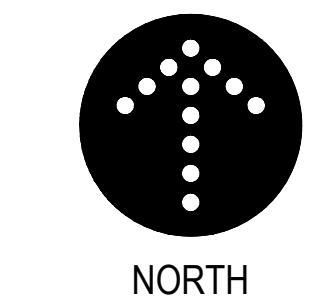
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UTILITIES (SOUTHEAST)

C4.1



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GENERAL NOTES

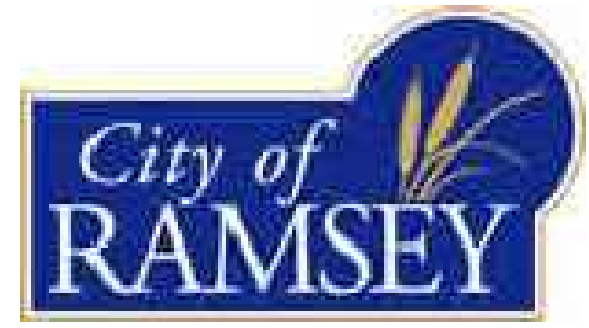
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UTILITY NOTES

DEVELOPER

PLATINUM LAND MN, LLC
 5191 159TH AVE NW
 ANDOVER, MN 55304
 TEL 763-301-4550

MUNICIPALITY



PROJECT

NORTH BROOK MEADOWS
 RAMSEY, MINNESOTA

ISSUE / REVISION HISTORY

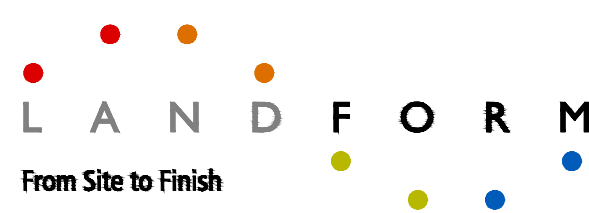
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CERTIFICATION

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 License No: [Redacted]

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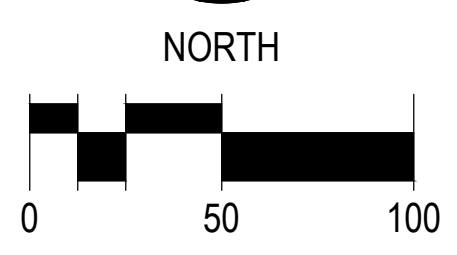
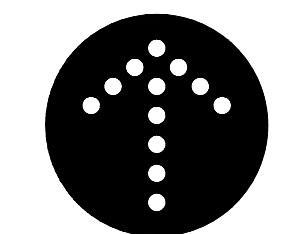
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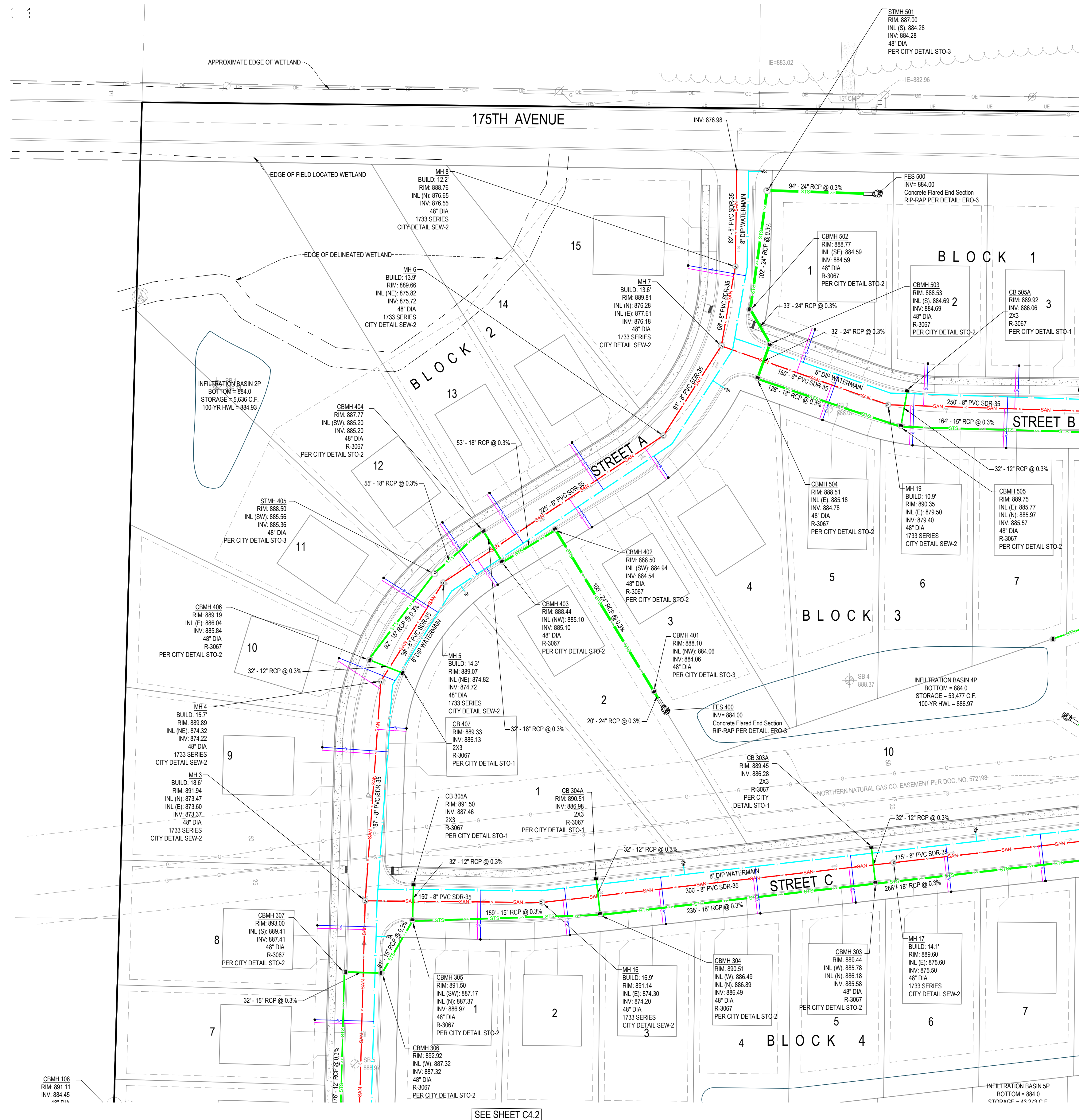
UTILITIES (SOUTHEAST)

C4.2



Know what's Below.
 Call before you dig.





GENERAL NOTES

- FOR CONSTRUCTION STAKING AND SURVEYING SERVICES CONTACT LANDFORM PROFESSIONAL SERVICES AT 612.252.9070.
- PIPE MATERIALS
 - WATERMAIN: DIP CL 53 (6"), DIP CL 52 (8")
 - WATER SERVICE: 1" COPPER TYPE K (ASTM B88)
 - SANITARY SEWER: 8" PVC SDR 35 - 10" 15" SDR 26 - 13" to 25" (ASTM D3034, D2665, & F891)
 - SANITARY SEWER SERVICE: 4" PVC SCHEDULE 40 (ASTM D1785, D2665, F794, & F1866)
 - STORM SEWER: RCP 12"-18" CLASS 5 (ASTM C76)
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UTILITY NOTES

DEVELOPER

PLATINUM LAND MN, LLC

5191 159TH AVE NW
ANDOVER, MN 55304
TEL 763-301-4550

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NORTH BROOK MEADOWS
RAMSEY, MINNESOTA

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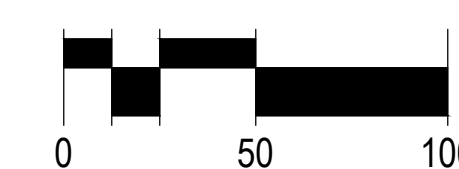
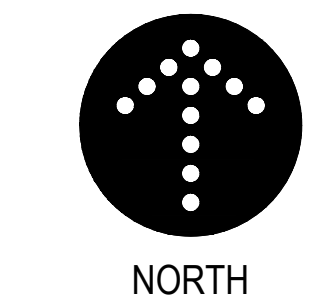
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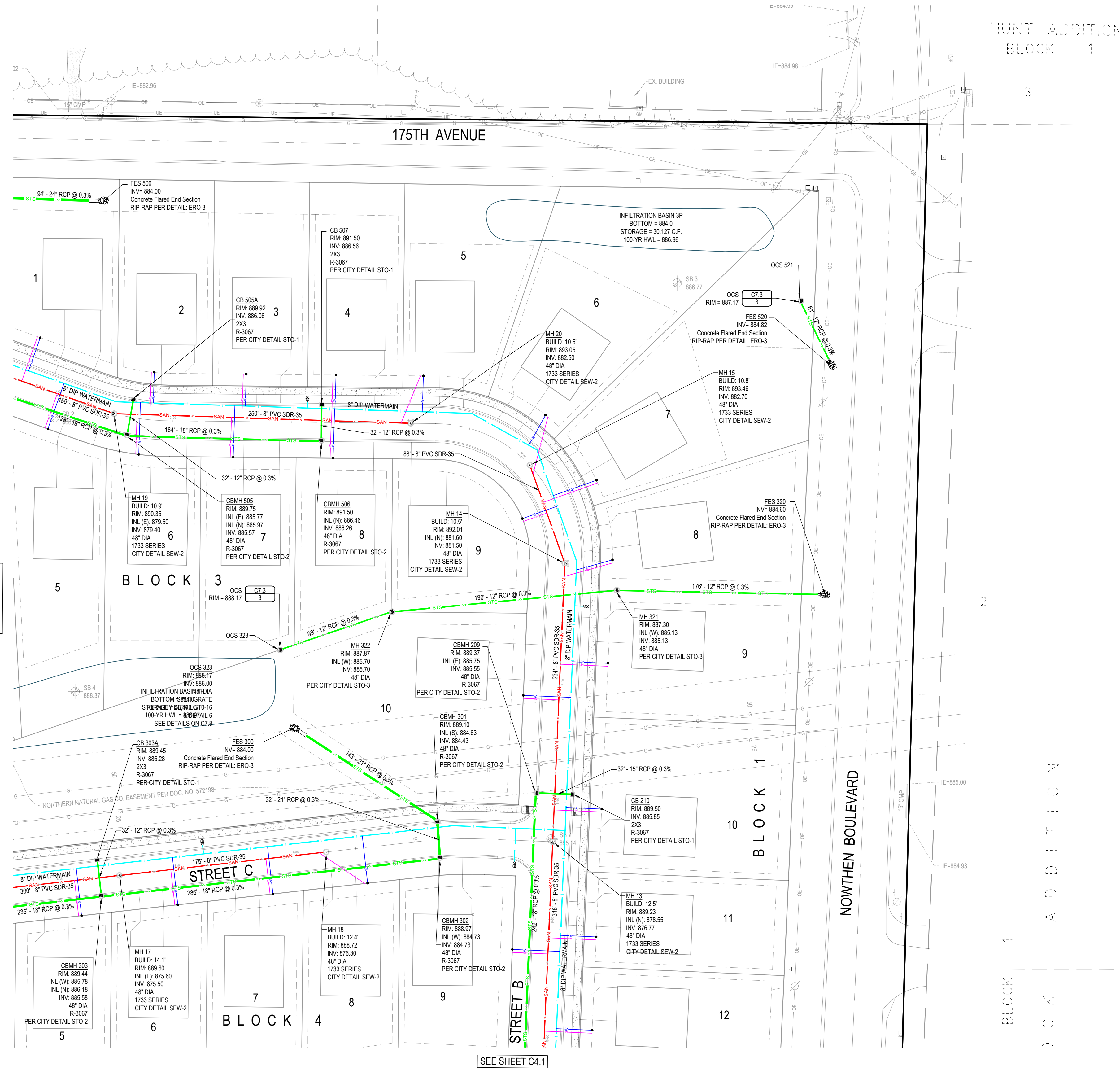
UTILITIES (SOUTHEAST)

C4.3



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HUNT ADDITION
BLOCK 1

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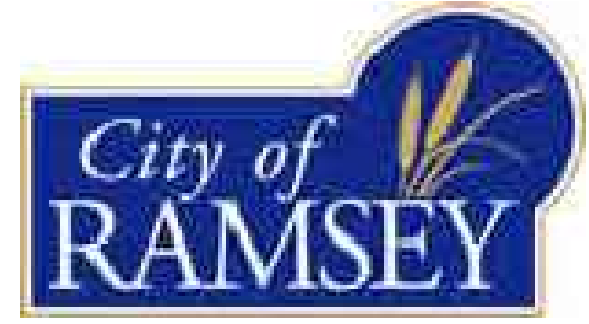
UTILITY NOTES

DEVELOPER

PLATINUM LAND MN, LLC

5191 159TH AVE NW
ANDOVER, MN 55304
TEL 763-301-4550

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PROJECT

NORTH BROOK MEADOWS
RAMSEY, MINNESOTA

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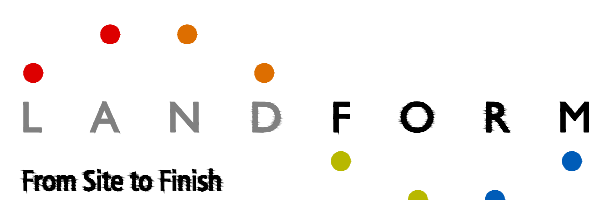
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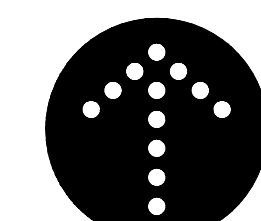
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UTILITIES (SOUTHEAST)

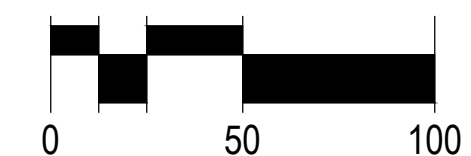
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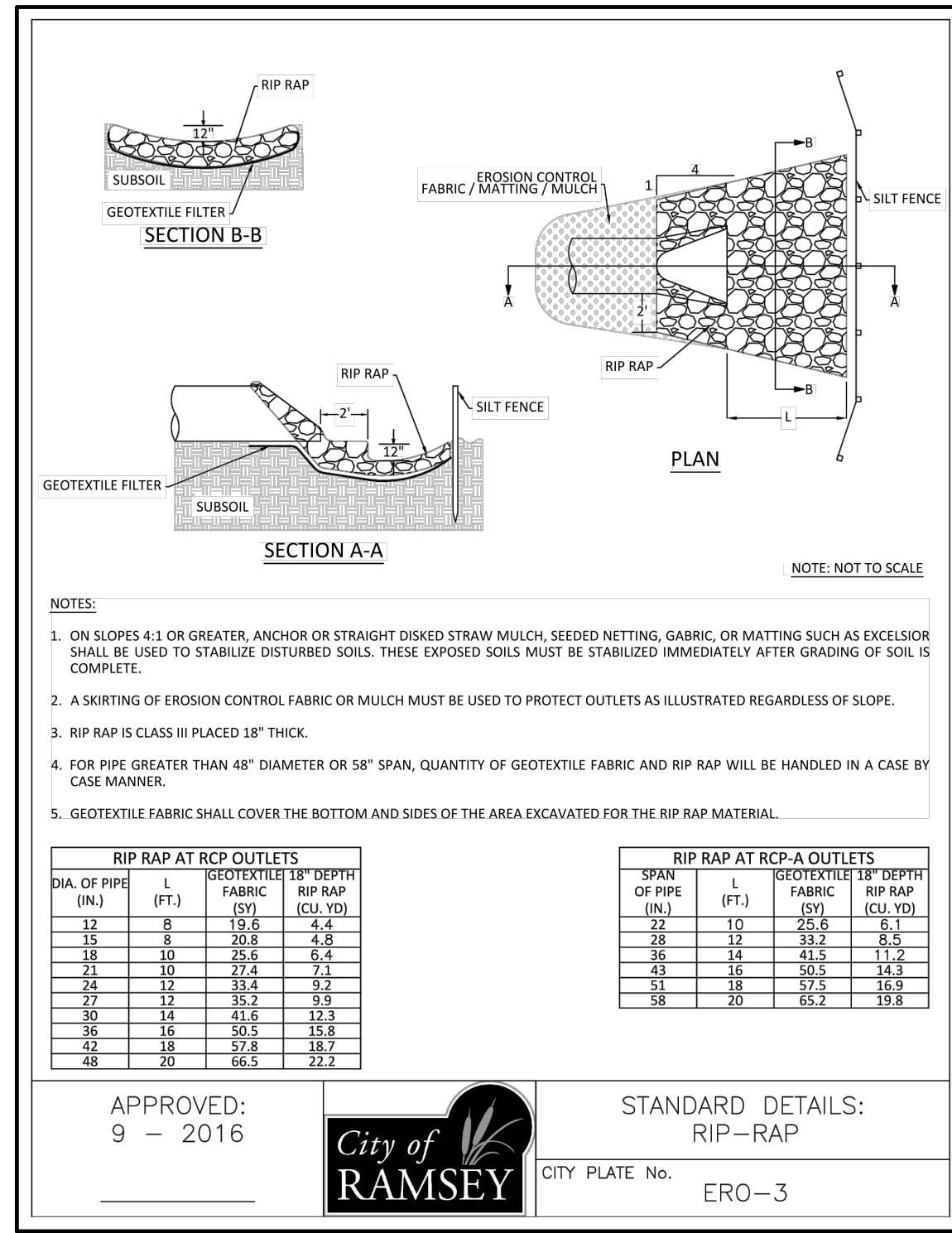


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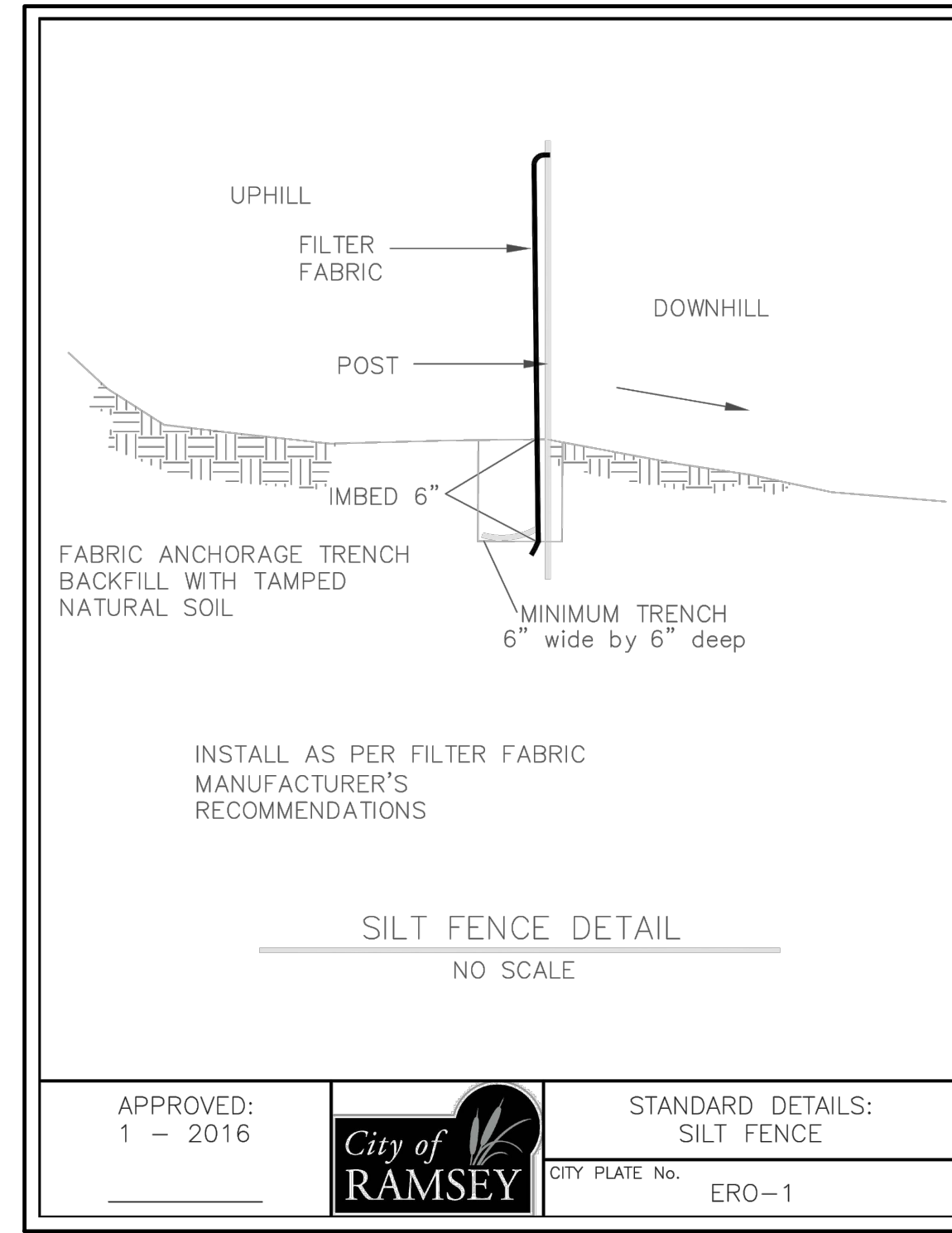


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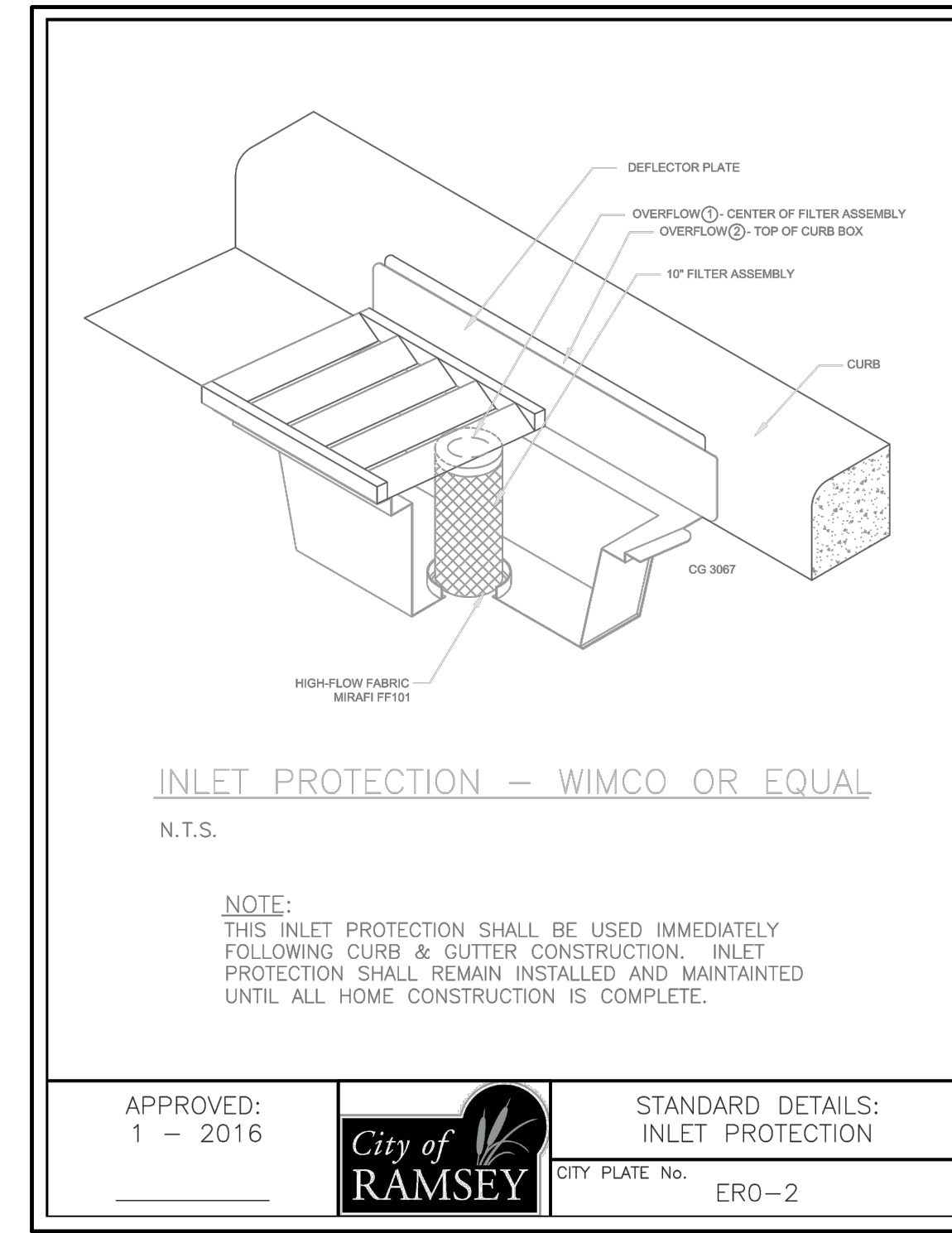




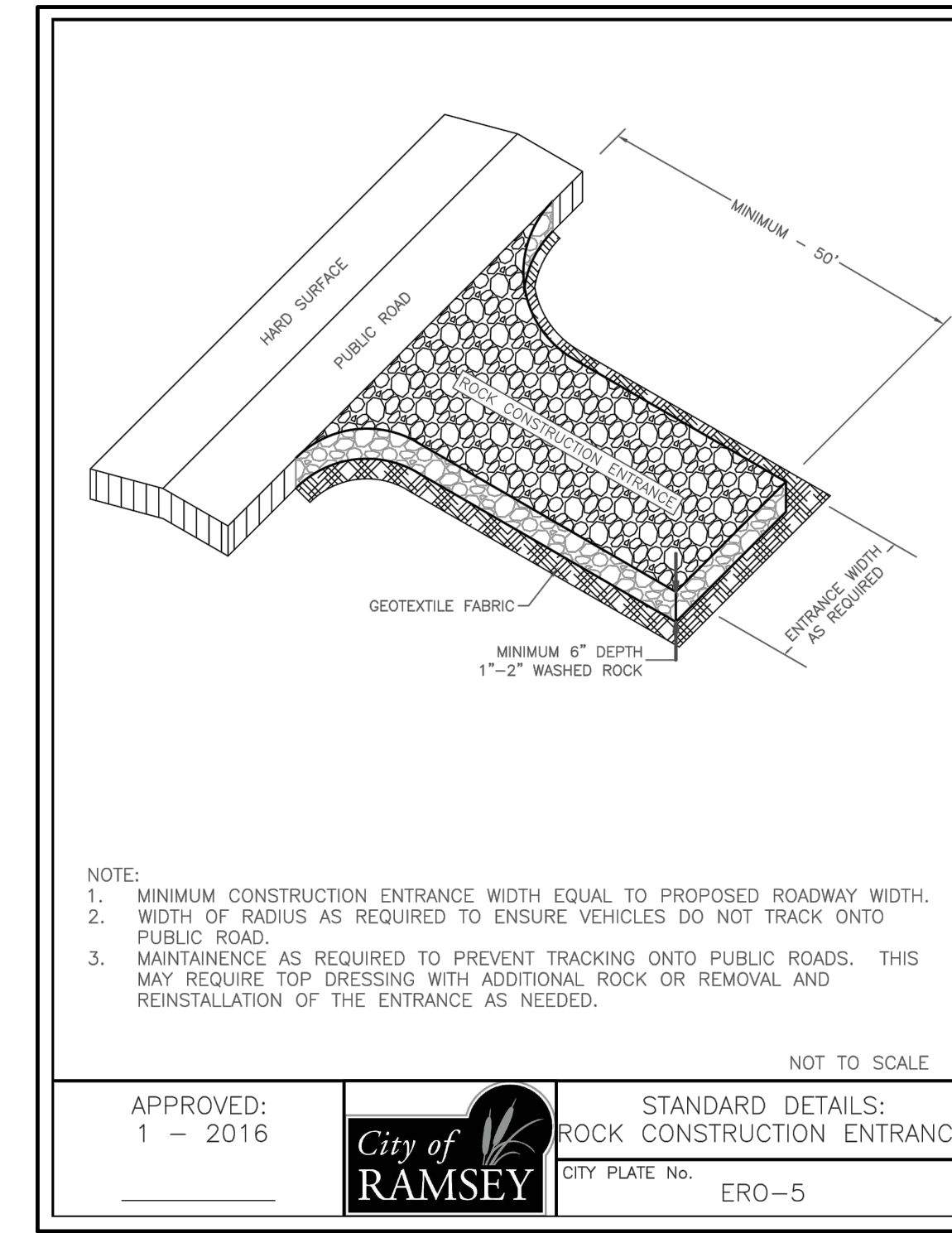
7 RIP RAP DETAILS



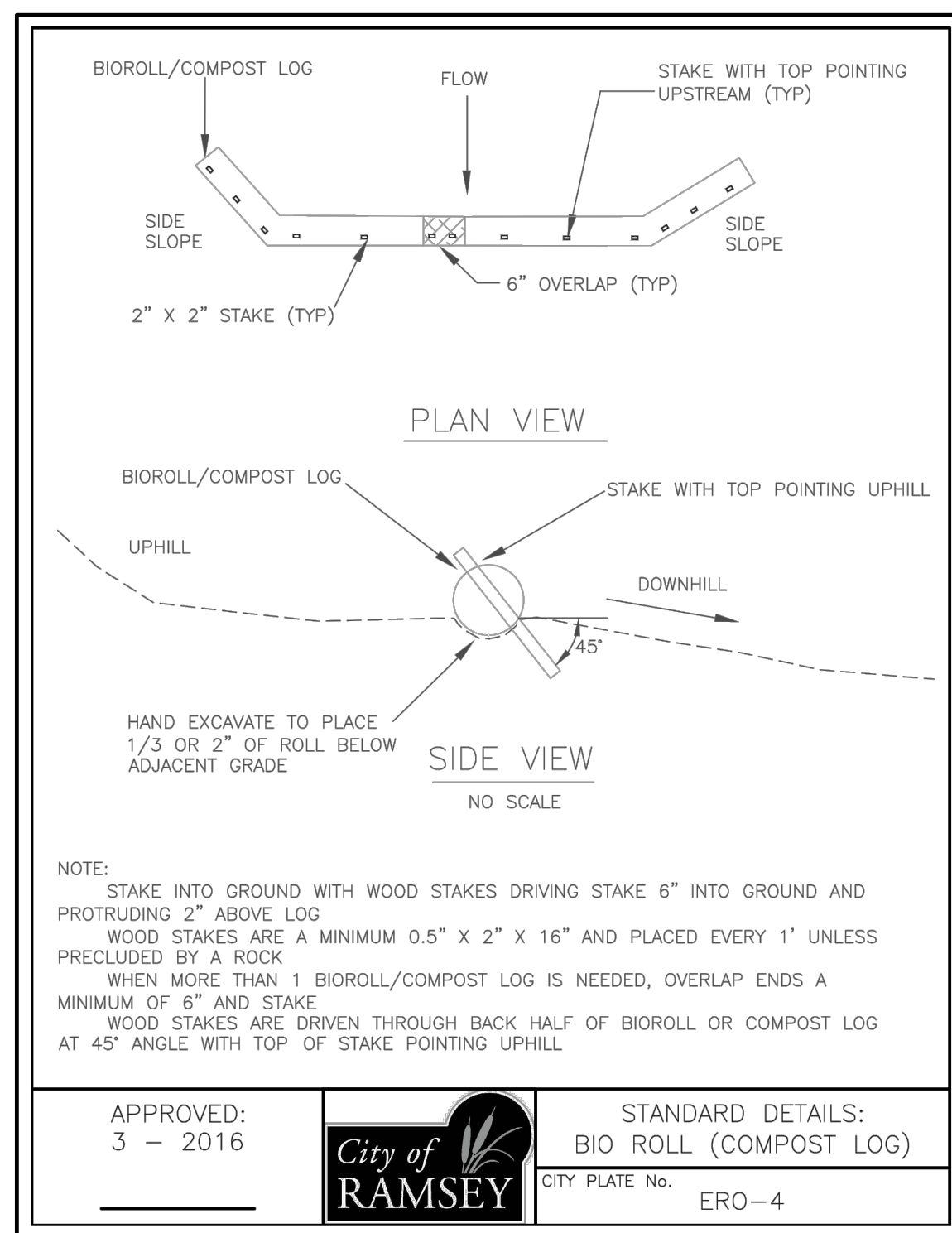
5 SILT FENCE



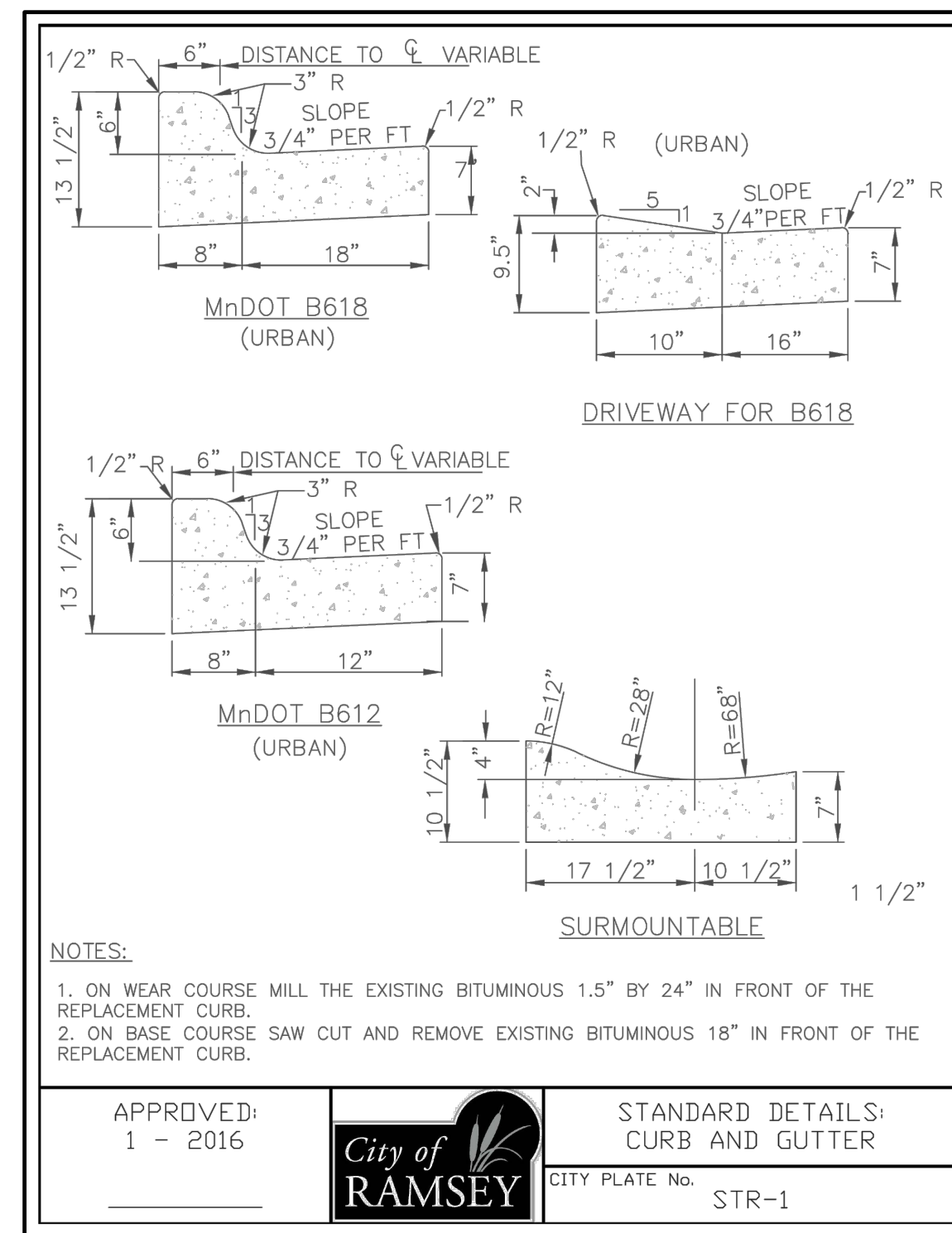
3 INLET PROTECTION



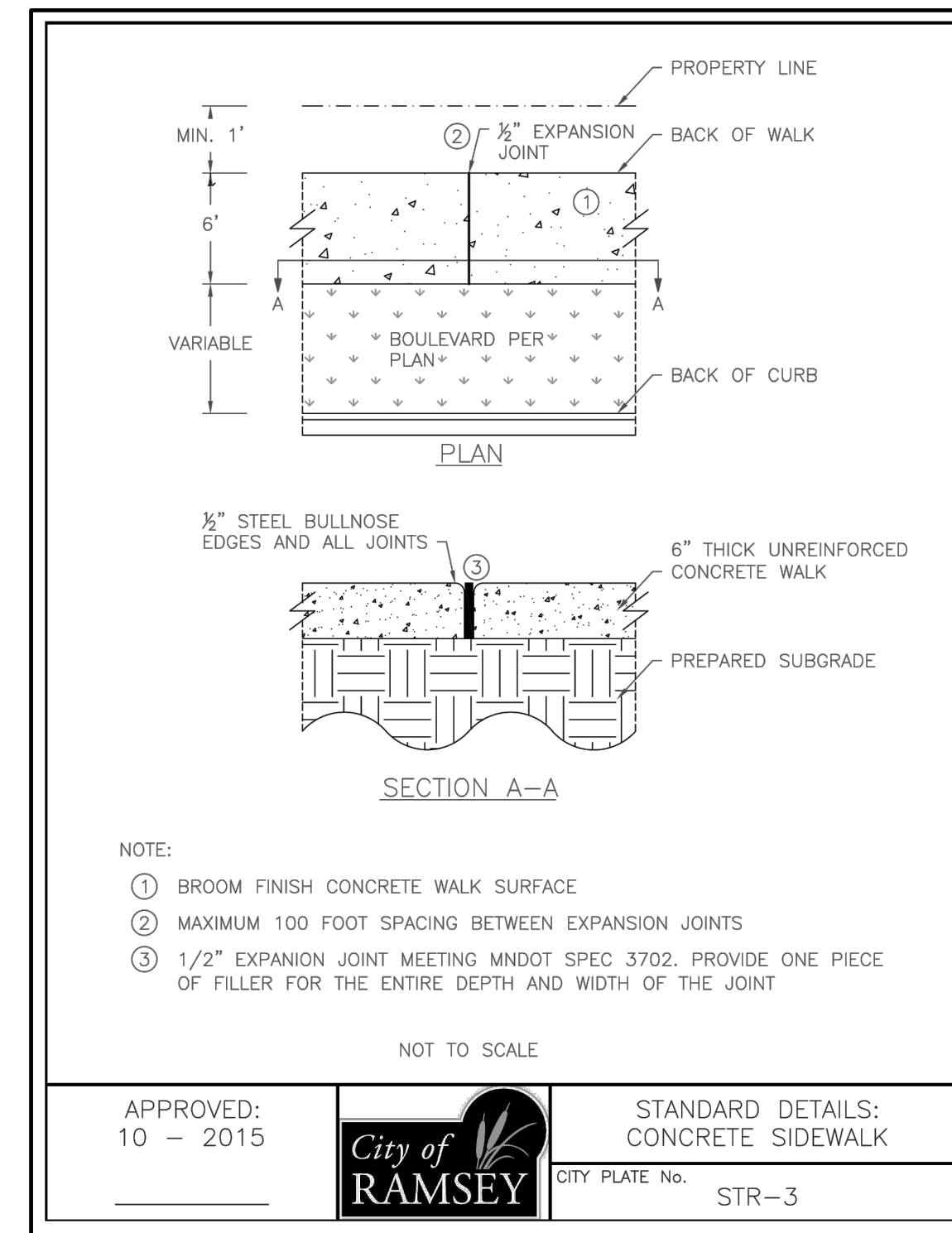
1 ROCK CONSTRUCTION ENTRANCE



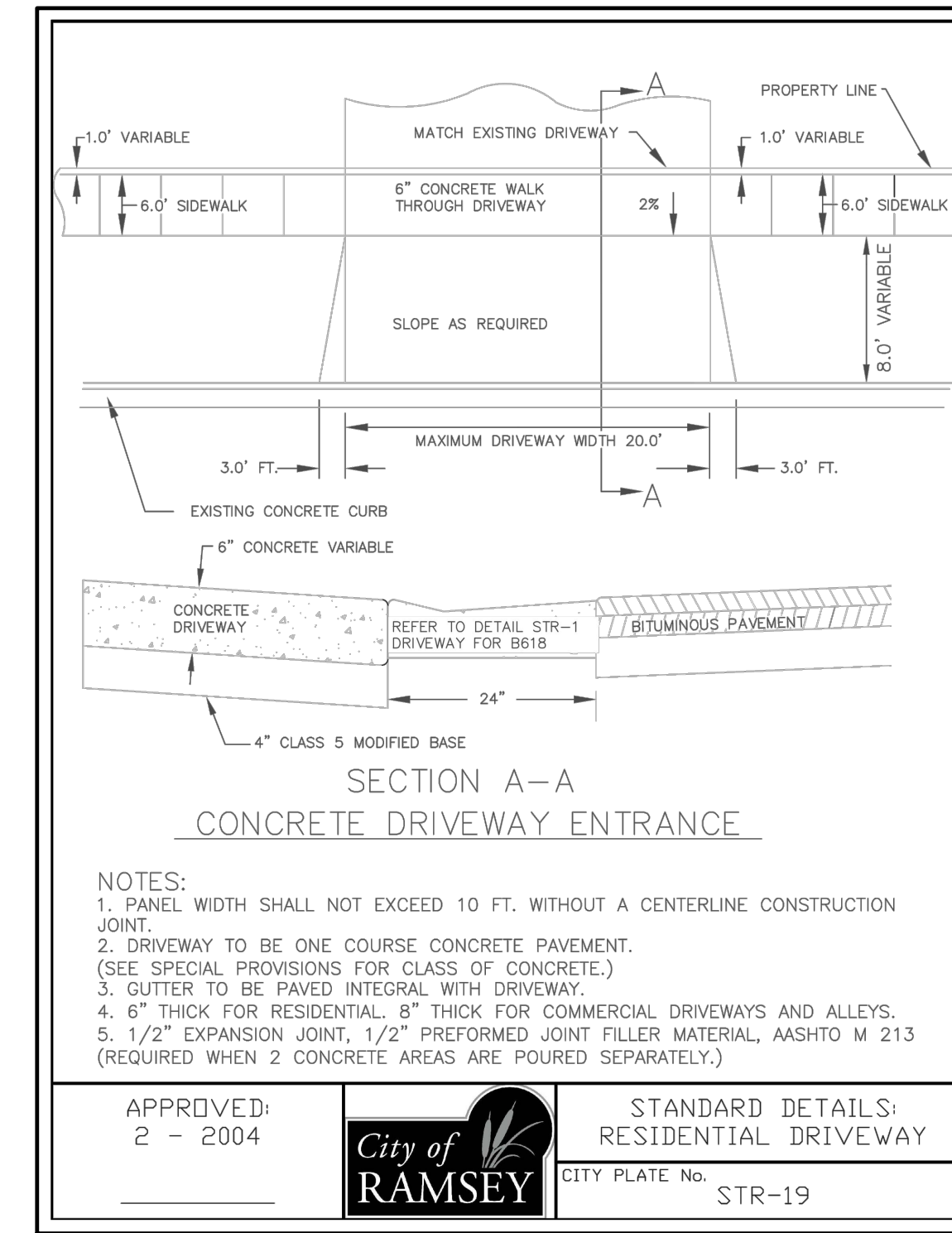
8 BIO ROLL (COMPOST LOG)



6 CURB AND GUTTER



4 SIDEWALK SECTIONS



2 RESIDENTIAL DRIVEWAY

DEVELOPER

PLATINUM LAND MN, LLC

5191 159TH AVE NW
ANDOVER, MN 55304
TEL 763-301-4550

MUNICIPALITY



PROJECT

NORTH BROOK MEADOWS
RAMSEY, MINNESOTA

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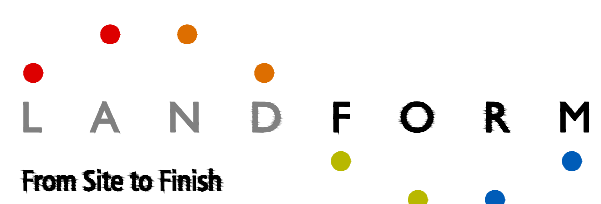
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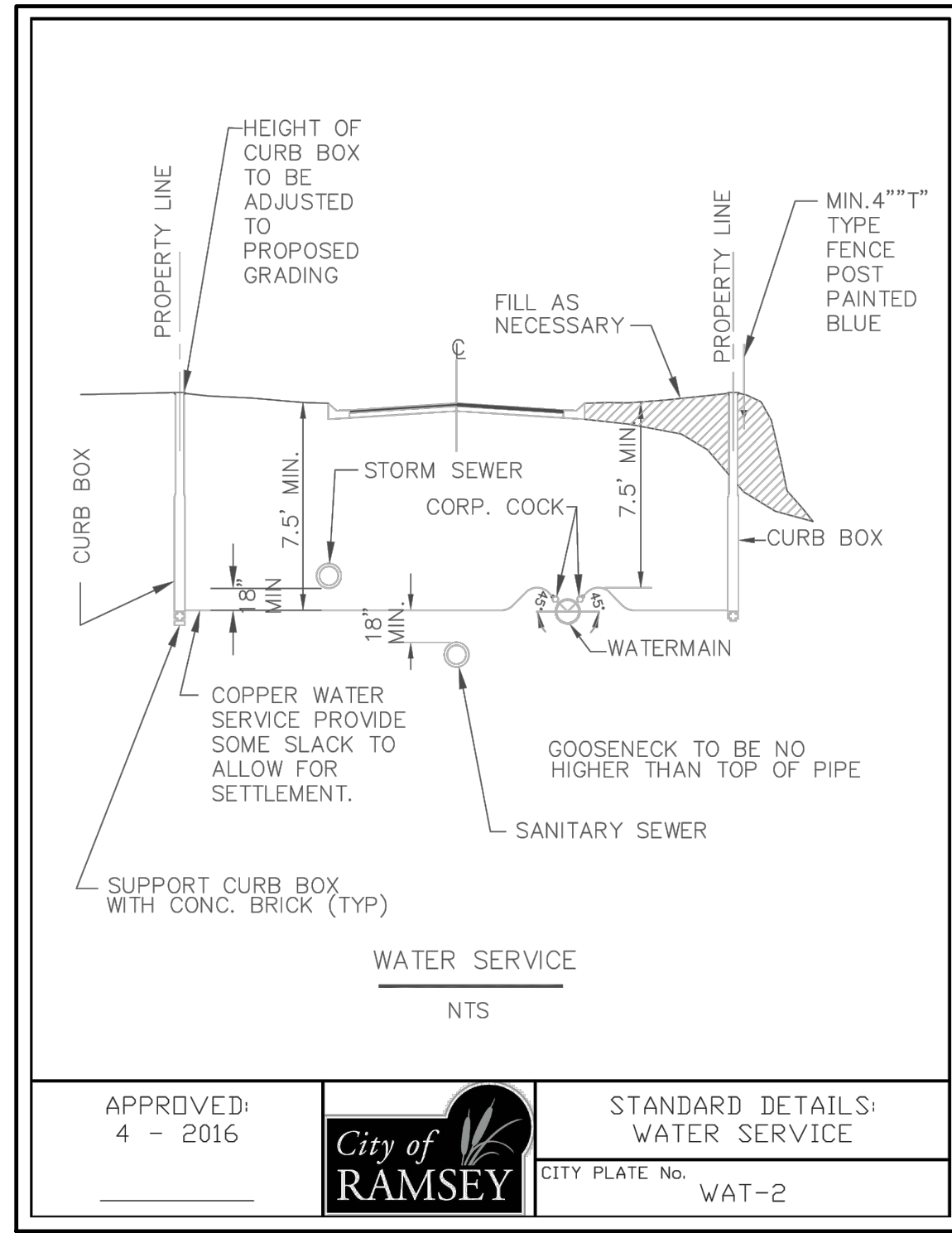
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FILE NAME C701PLM001.dwg

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CIVIL CONSTRUCTION DETAILS

C7.1



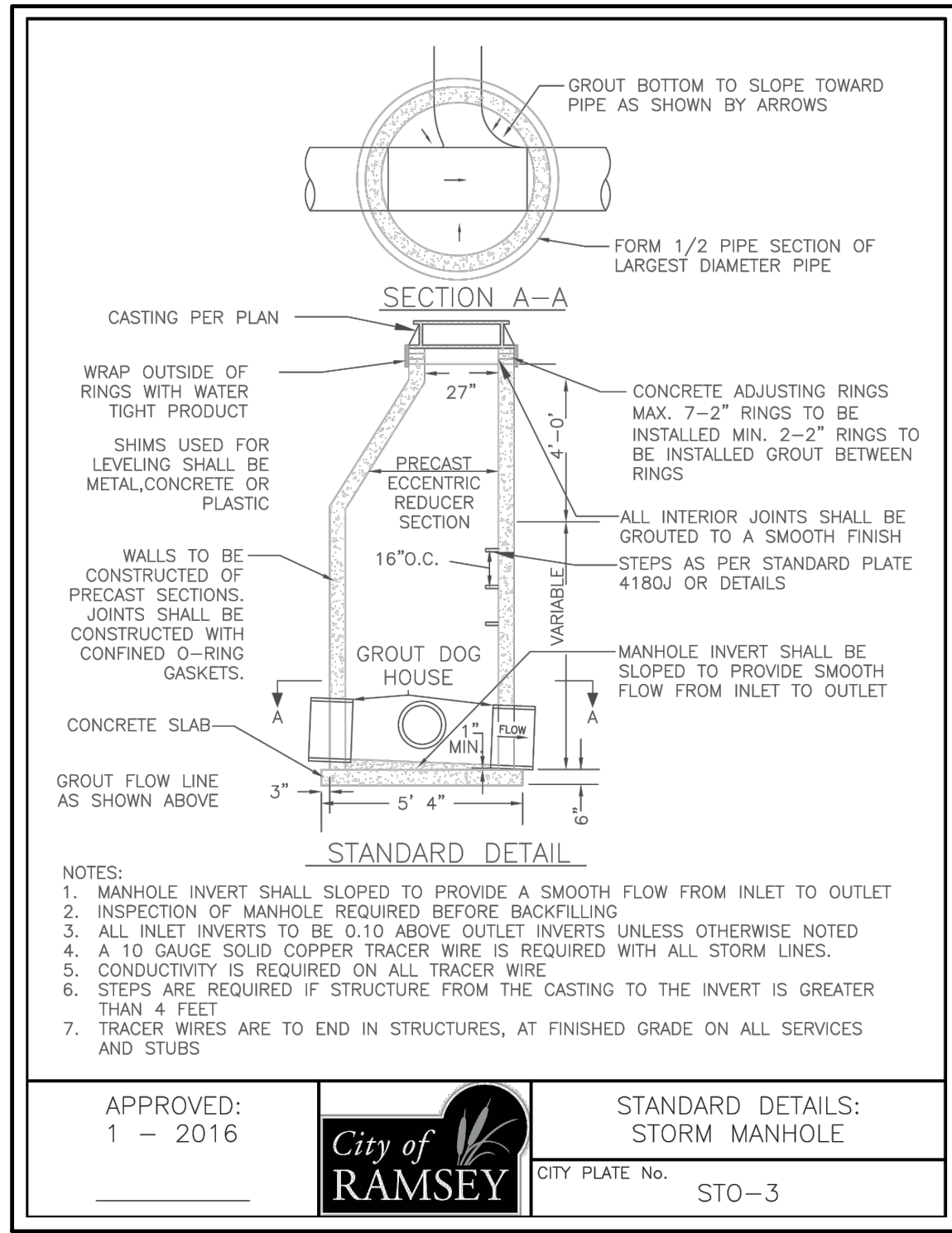
APPROVED: 4 - 2016

City of RAMSEY

STANDARD DETAILS: WATER SERVICE

CITY PLATE No. WAT-2

6 WATER SERVICE DETAIL



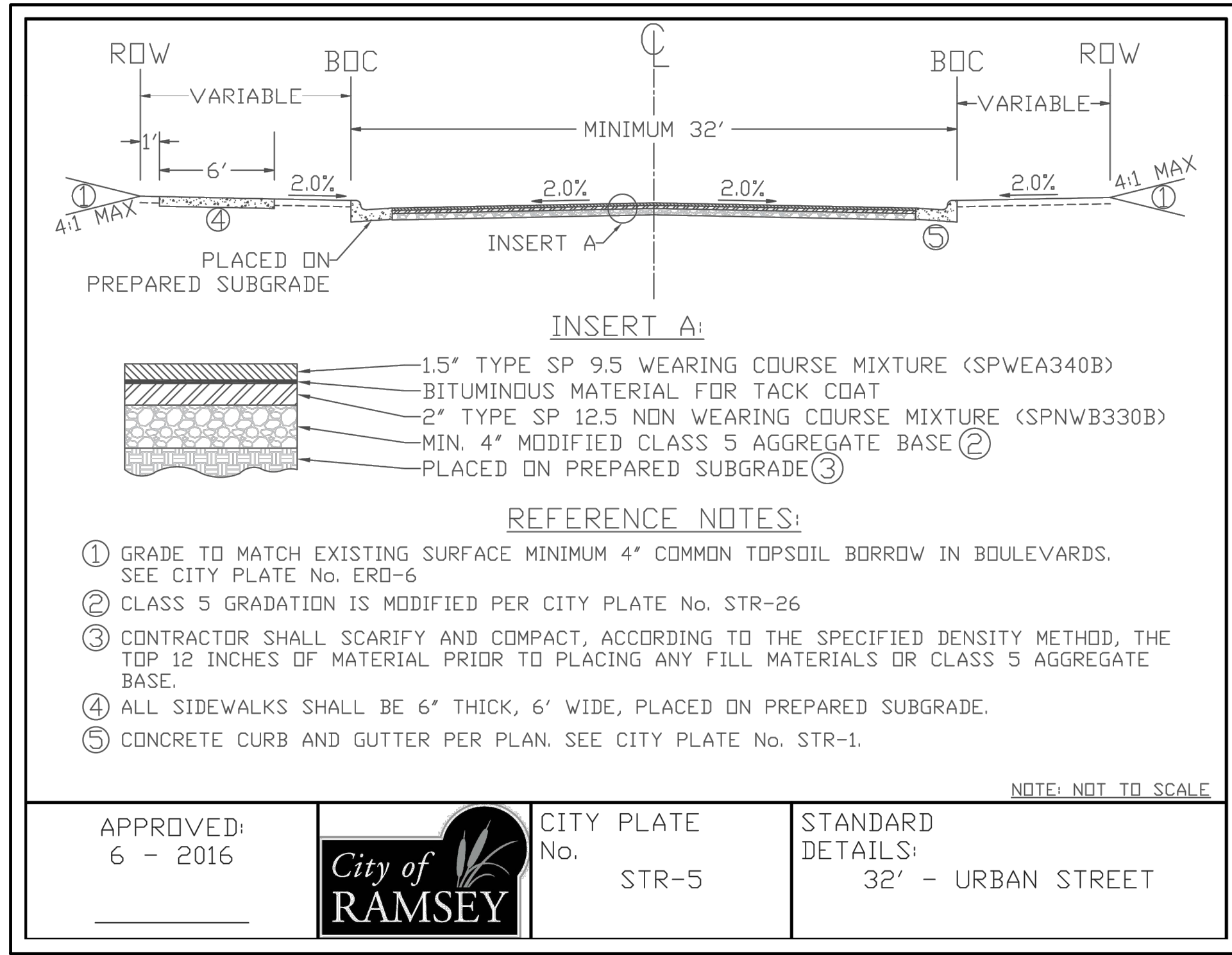
APPROVED: 1 - 2016

City of RAMSEY

STANDARD DETAILS: STORM MANHOLE

CITY PLATE No. STO-3

4 STORMWATER MANHOLE



APPROVED: 6 - 2016

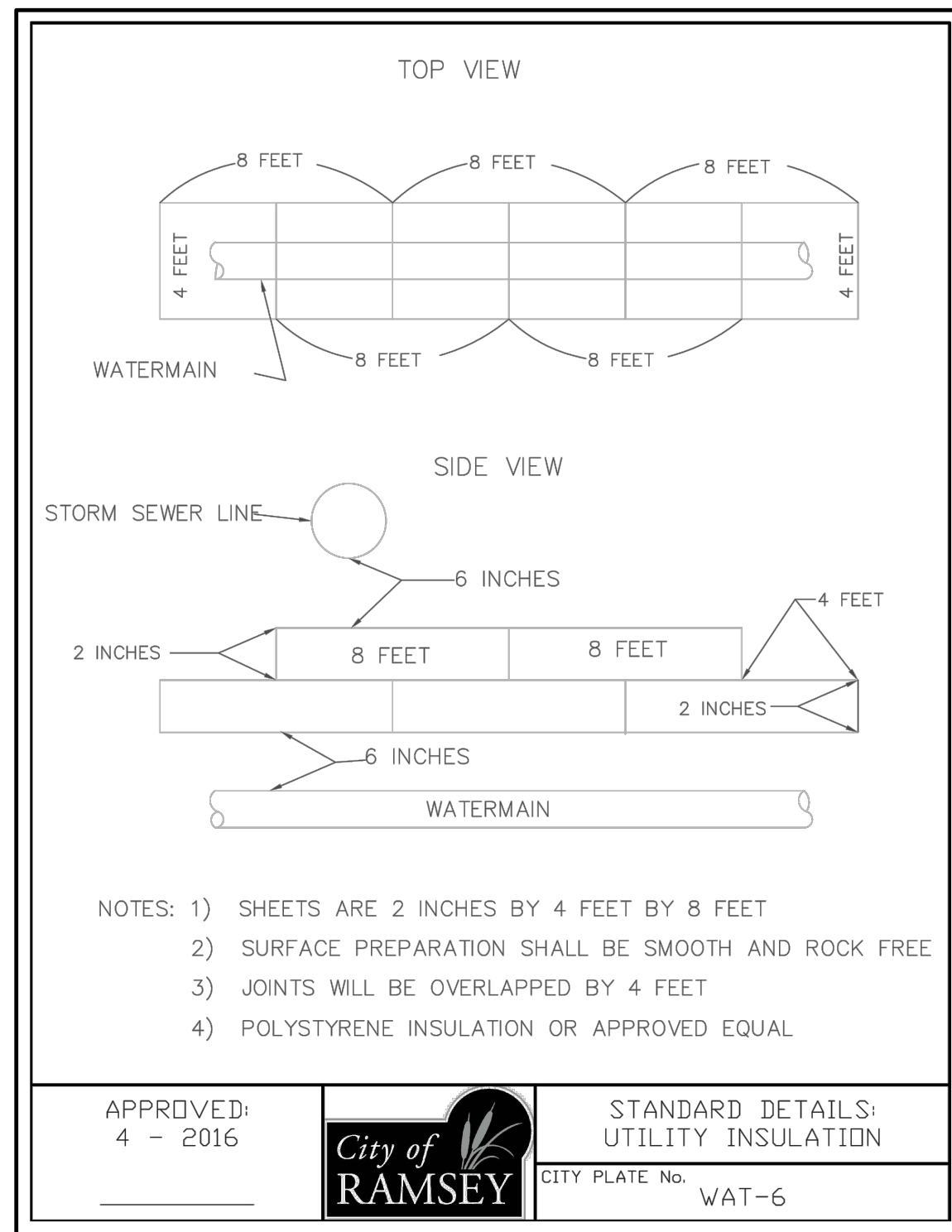
City of RAMSEY

CITY PLATE No. STR-5

STANDARD DETAILS: 32' - URBAN STREET

NOTE: NOT TO SCALE

1 URBAN STREET PROFILE



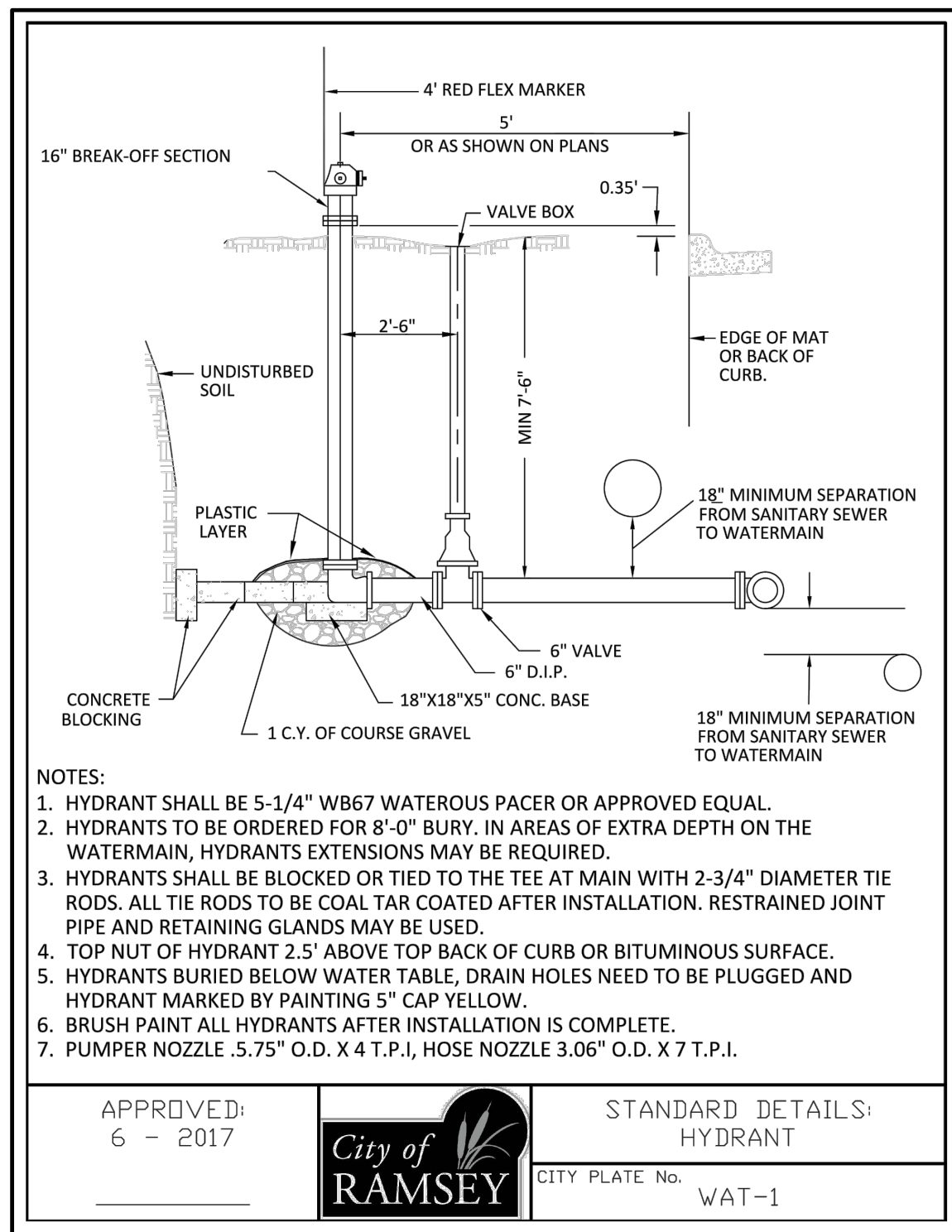
APPROVED: 4 - 2016

City of RAMSEY

STANDARD DETAILS: UTILITY INSULATION

CITY PLATE No. WAT-6

7 WATER & SANITARY SEWER INSULATION DETAIL



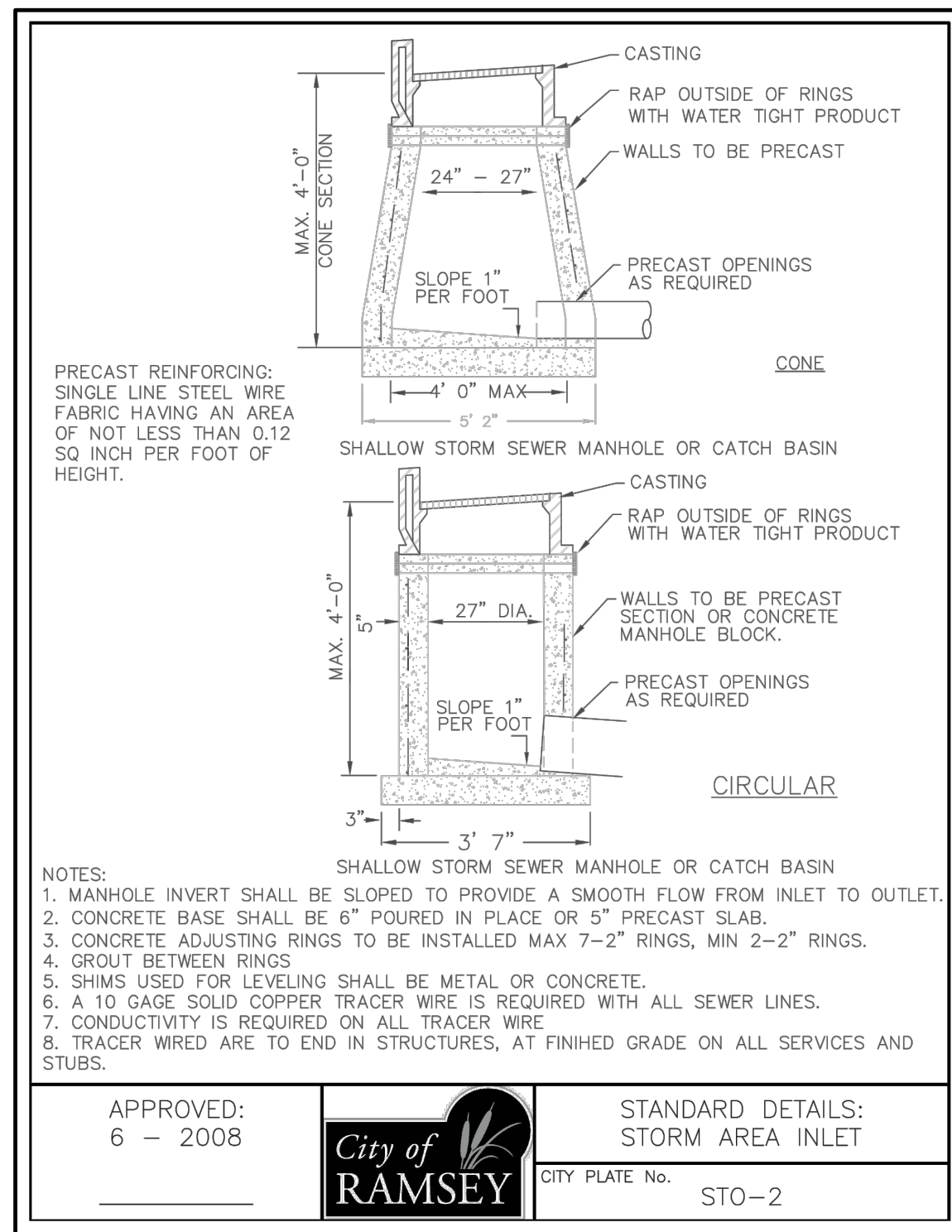
APPROVED: 6 - 2017

City of RAMSEY

STANDARD DETAILS: HYDRANT

CITY PLATE No. WAT-1

5 HYDRANT DETAIL



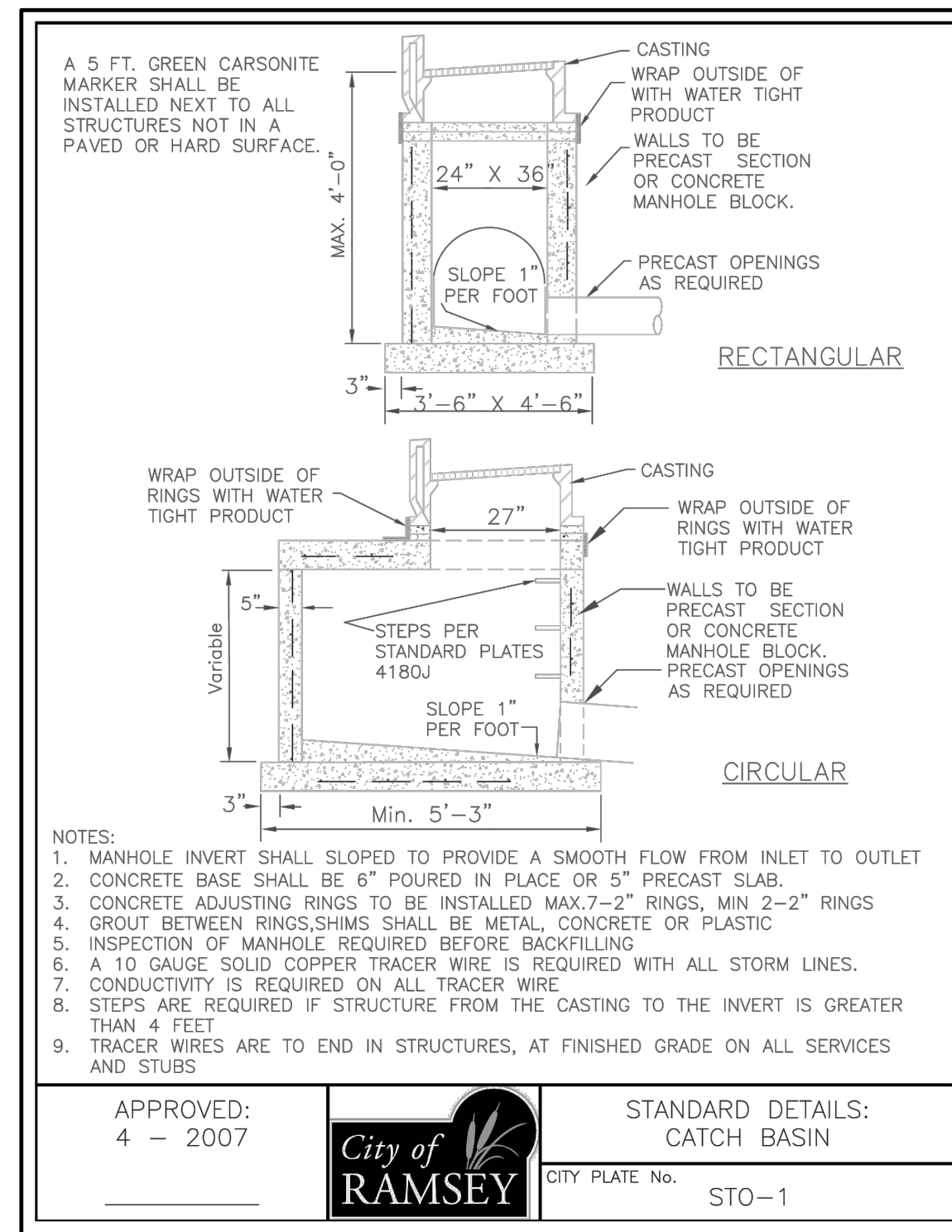
APPROVED: 6 - 2008

City of RAMSEY

STANDARD DETAILS: STORM AREA INLET

CITY PLATE No. STO-2

3 STORMWATER CATCH BASIN



APPROVED: 4 - 2007

City of RAMSEY

STANDARD DETAILS: CATCH BASIN

CITY PLATE No. STO-1

2 STORMWATER CATCH BASIN

DEVELOPER

PLATINUM LAND MN, LLC

5191 159TH AVE NW
ANDOVER, MN 55304
TEL 763-301-4550

MUNICIPALITY

City of RAMSEY

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LANDFORM

From Site to Finish

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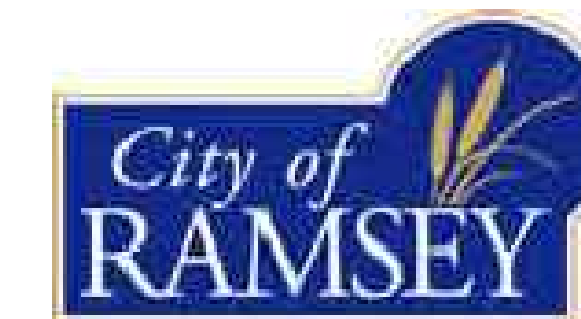
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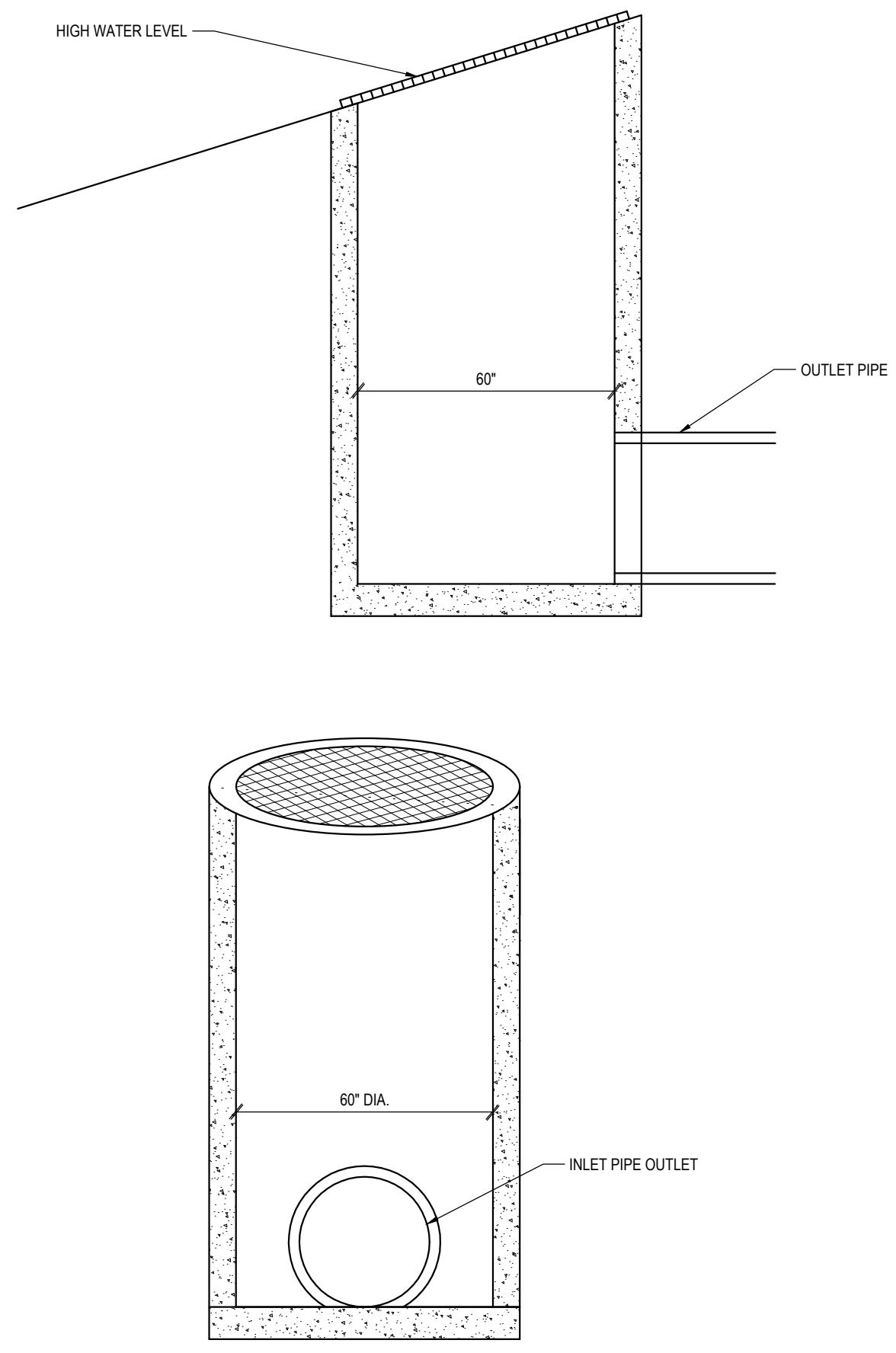
CIVIL CONSTRUCTION DETAILS

C7.2

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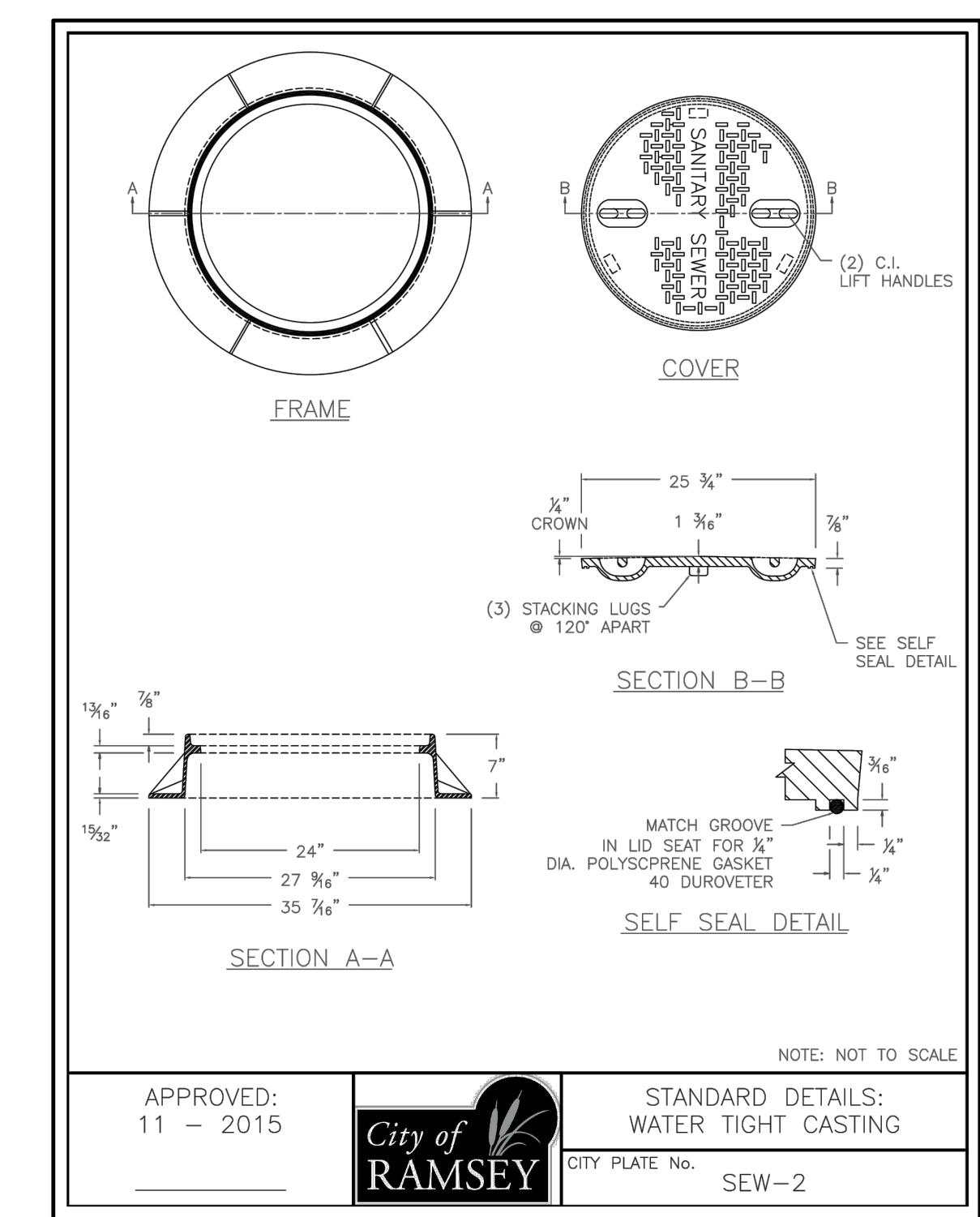


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1 SANITARY MANHOLE

3 RATE CONTROL AND SKIMMING STRUCTURE NO SCALE



2 SANITARY - WATER TIGHT CASTING

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CIVIL CONSTRUCTION DETAILS

C7.3



TREE PRESERVATION NOTES

- Total Significant Trees Inventoried: 158
 Total Significant Trees Removed: 130
 Total Significant Trees Preserved: 28
 Total Caliper Inches Removed: 1,679
 Caliper inches exempt for ponding: 202
 See Sheet L201 for Tree Replacement Requirements and Calculations

LEGEND

- Tree Removal (indicated by an 'X')
- Silt Fence (indicated by a dashed line)

TREE PRESERVATION LIST

See sheet L1.2 for tree preservation table.

DEVELOPER
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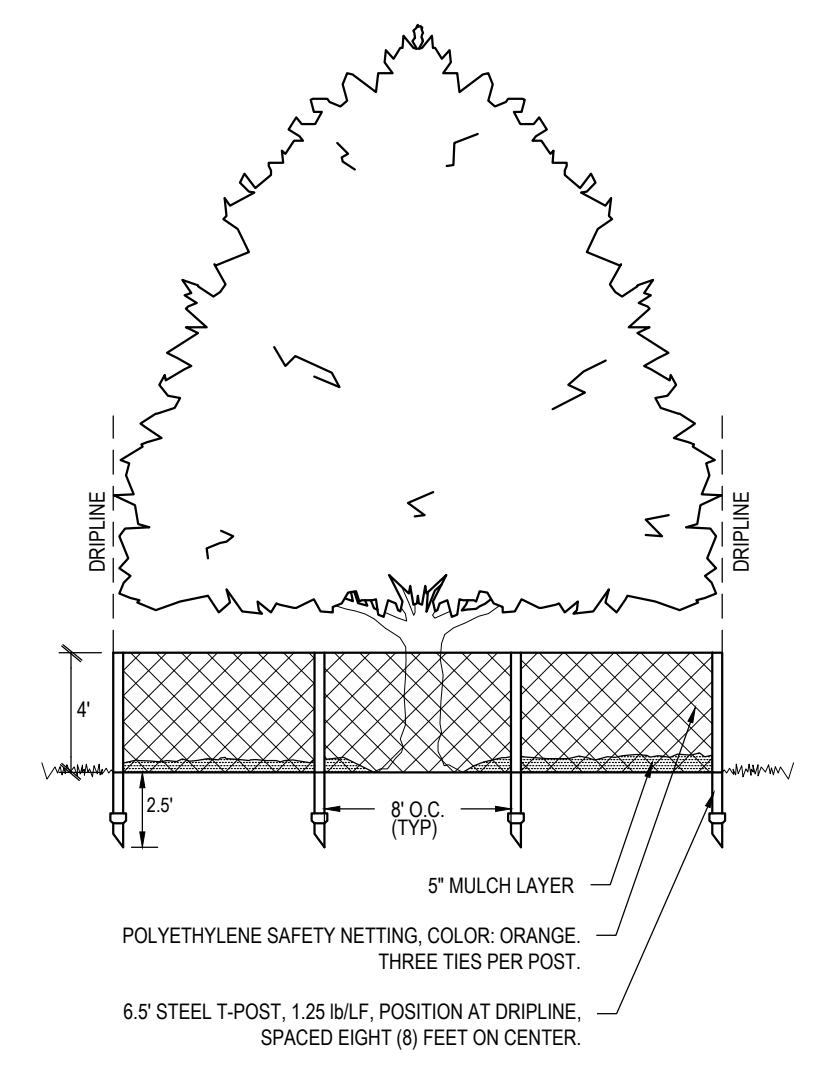
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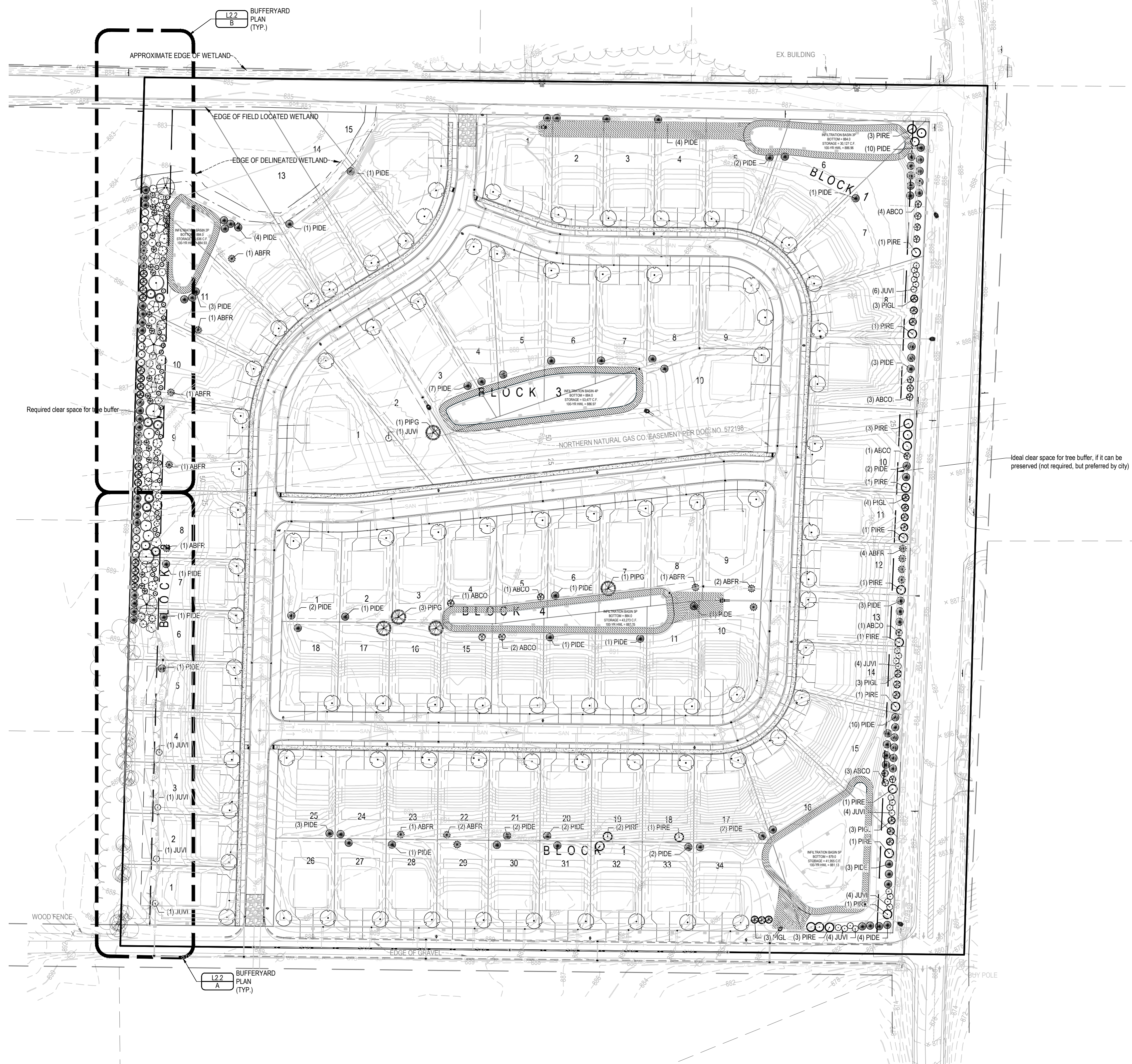
INSTALL TREE PROTECTION DEVICES PRIOR TO START OF LAND DISTURBANCE. MAINTAIN UNTIL FINAL LANDSCAPE IS INSTALLED.

811
 Know what's Below.
 Call before you dig.

NORTH

0 100 200

1 **TREE PROTECTION** NO SCALE



LANDSCAPING NOTES

- Landscape Contractor shall visit the site prior to submitting a bid to become familiar with the site conditions.
- Contact Utility Service providers for field location of services 72 hours prior to beginning.
- Coordinate installation with Contractors performing related work.
- Plant material shall conform to the American Association of Nurserymen Standards and be of hardy stock, free from disease, infestation, damage, and disfiguration. For discrepancy between the number of plants on the Schedule and the number shown on the Drawing, the Drawing shall govern.
- All existing deciduous and coniferous trees are to be trimmed of dead wood and pruned to a natural uniform shape.
- Planting soil shall consist of 4 parts topsoil to 1 part peat humus, with 3 pounds of commercial fertilizer added per cubic yard.
- Spread a minimum of 4 inches of topsoil and sod all turf areas disturbed by Construction.
- See Details for depth of planting soil.
- Follow current MNDOT Seeding Manual for planting instructions for establishment of native seed and provide coordination for required erosion prevention and sediment control.
- Native seeds shall be of Minnesota origin and certified by the Minnesota Crop Improvement Association (MCA). Provide verifying documentation to the Owner 30 days minimum prior to installation.
- Per City Ordinance all dead or injured plant materials must be replaced at the end of the second growing season.
- Quantities are totals for design. If there is a discrepancy between the plan and the plant schedule, the plan shall govern.

LANDSCAPE REQUIREMENTS

Lot Requirements
2 overstory trees per dwelling unit

The compliment of trees fulfilling the landscaping requirements shall not be less than 25 percent deciduous and not less than 25 percent coniferous.

Per city code, minimum tree sizes shall be: 1 caliper inch for deciduous and 5 ft height for coniferous.

Bufferyard Requirements
Minimum 45' width with the following number of trees per 100' of property boundary adjacent to the impacted use:
8 Overstory trees
8 Evergreen trees
8 Understory trees

Tree Replacement Requirements
For every 1.0" caliper lost beyond 40% of total caliper inches of significant trees on site, replace at a rate of 1.25" caliper.
Required caliper inches: 746
Proposed caliper inches: 750

PLANTING SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	MATURE SIZE	PLANTING SIZE	ROOT COND.
DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	MATURE SIZE	PLANTING SIZE	ROOT COND.
	DT	82	Deciduous Tree		30' H x 20' W		
	ACFA	7	Acer x freemanii 'Armstrong'	Armstrong Freeman Maple	60' H x 15' W	2" Cal.	B&B
	ACXJ	3	Acer x freemanii 'Jeffersred'	Autumn Blaze Maple	60' H x 40' W	2" Cal.	B&B
	BENI2	1	Betula nigra 'BNMTF' TM	Dura Heat River Birch	60' H x 50' W	2" Cal.	B&B
	GBPS	5	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	40' H x 30' W	2" Cal.	B&B
	GTID	6	Gleditsia triacanthos inermis 'Draves' TM	Street Keeper Honey Locust	45' H x 20' W	2" Cal.	B&B
	GTSK	3	Gleditsia triacanthos 'Skyline'	Skyline Honeylocust	40' H x 30' W	2" Cal.	B&B
	QUBI	2	Quercus bicolor	Swamp White Oak	55' H x 55' W	2" Cal.	B&B
	QUEL	2	Quercus ellipsoidalis	Northern Pin Oak	60' H x 50' W	2" Cal.	B&B
	QUCS	19	Quercus 'Crimson Spire'	Crimson Spire Oak	50' H x 15' W	2" Cal.	B&B
	ULNH	8	Ulmus x 'New Horizon'	New Horizon Elm	35' H x 25' W	2" Cal.	B&B
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	MATURE SIZE	PLANTING SIZE	ROOT COND.
	ABCO	16	Abies concolor	White Fir	30' H x 20' W	6" Ht.	B&B
	ABFR	23	Abies fraseri	Fraser Fir	30' H x 20' W	6" Ht.	B&B
	JUVI	27	Juniperus virginiana	Eastern Red Cedar	15' H x 10' W	6" Ht.	B&B
	PIGL	32	Picea glauca	White Spruce	50' H x 20' W	6" Ht.	B&B
	PIDE	99	Picea glauca 'Densata'	Black Hills Spruce	45' H x 20' W	6" Ht.	B&B
	PIPG	5	Picea pungens 'Glauca'	Blue Colorado Spruce	80' H x 30' W	6" Ht.	B&B
	PIRE	22	Pinus resinosa	Red Pine	40' H x 25' W	6" Ht.	B&B
	THOC	12	Thuja occidentalis	American Arborvitae	40' H x 15' W	6" Ht.	B&B
UNDERSTORY TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	MATURE SIZE	PLANTING SIZE	ROOT COND.
	AMGR	5	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Apple Serviceberry	25' H x 25' W	2" Cal.	B&B
	COAL	7	Cornus alternifolia	Pagoda Dogwood	20' H x 25' W	1.5" Cal.	B&B
	MAPS	33	Malus x 'Pink Spires'	Pink Spires Crabapple	20' H x 12' W	1.5" Cal.	B&B
	MAXR	5	Malus x 'Royal Raindrops'	Prairiefire Crabapple	20' H x 15' W	1.5" Cal.	B&B
	PRMA	4	Prunus maackii	Amur Chokecherry	25' H x 20' W	1.5" Cal.	B&B
	SYRE	3	Syringa reticulata	Japanese Tree Lilac	20' H x 15' W	2" Cal.	B&B

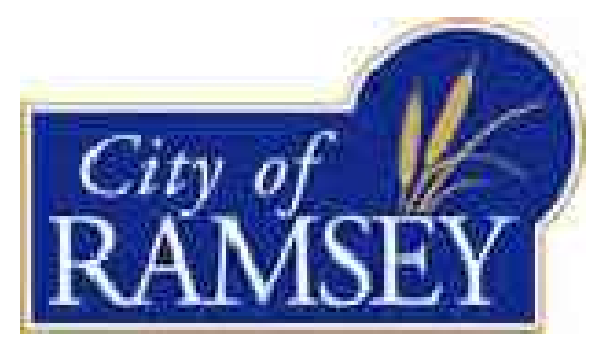
LEGEND



DEVELOPER

PLATINUM LAND MN, LLC
5191 159TH AVE NW
ANDOVER, MN 55304
TEL 763-301-4550

MUNICIPALITY



PROJECT

NORTH BROOK MEADOWS
RAMSEY, MINNESOTA

ISSUE / REVISION HISTORY

DATE	ISSUE / REVISION	REVIEW
16 JUL 2021	PRELIMINARY PLAT SUBMITTAL	CNC

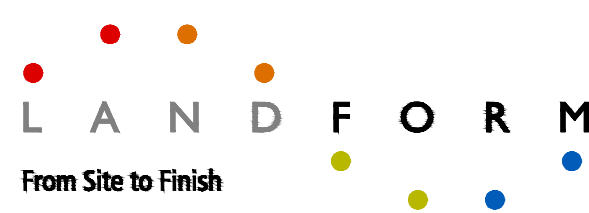
CERTIFICATION

I hereby certify that this plan was prepared by me or under my direct supervision, and that I am a duly Licensed Landscape Architect under the laws of the State of MINNESOTA.

PRELIMINARY NOT FOR CONSTRUCTION

PRELIMINARY PLAT

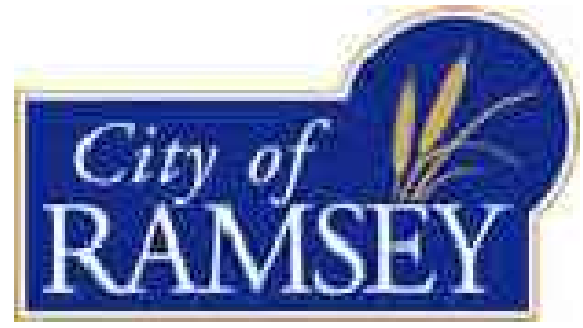
07/16/2021



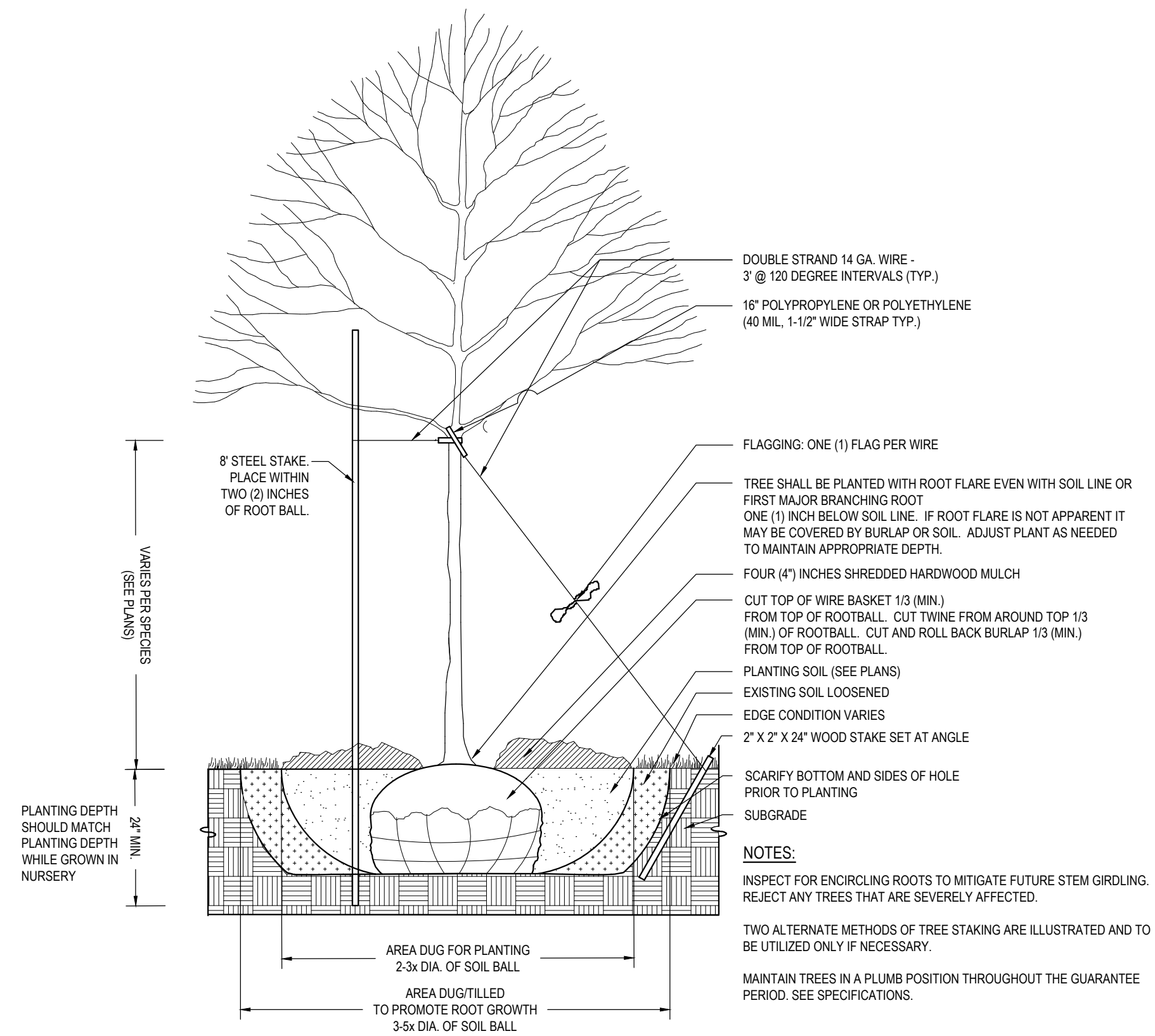
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LANDSCAPE PLAN
L2.1



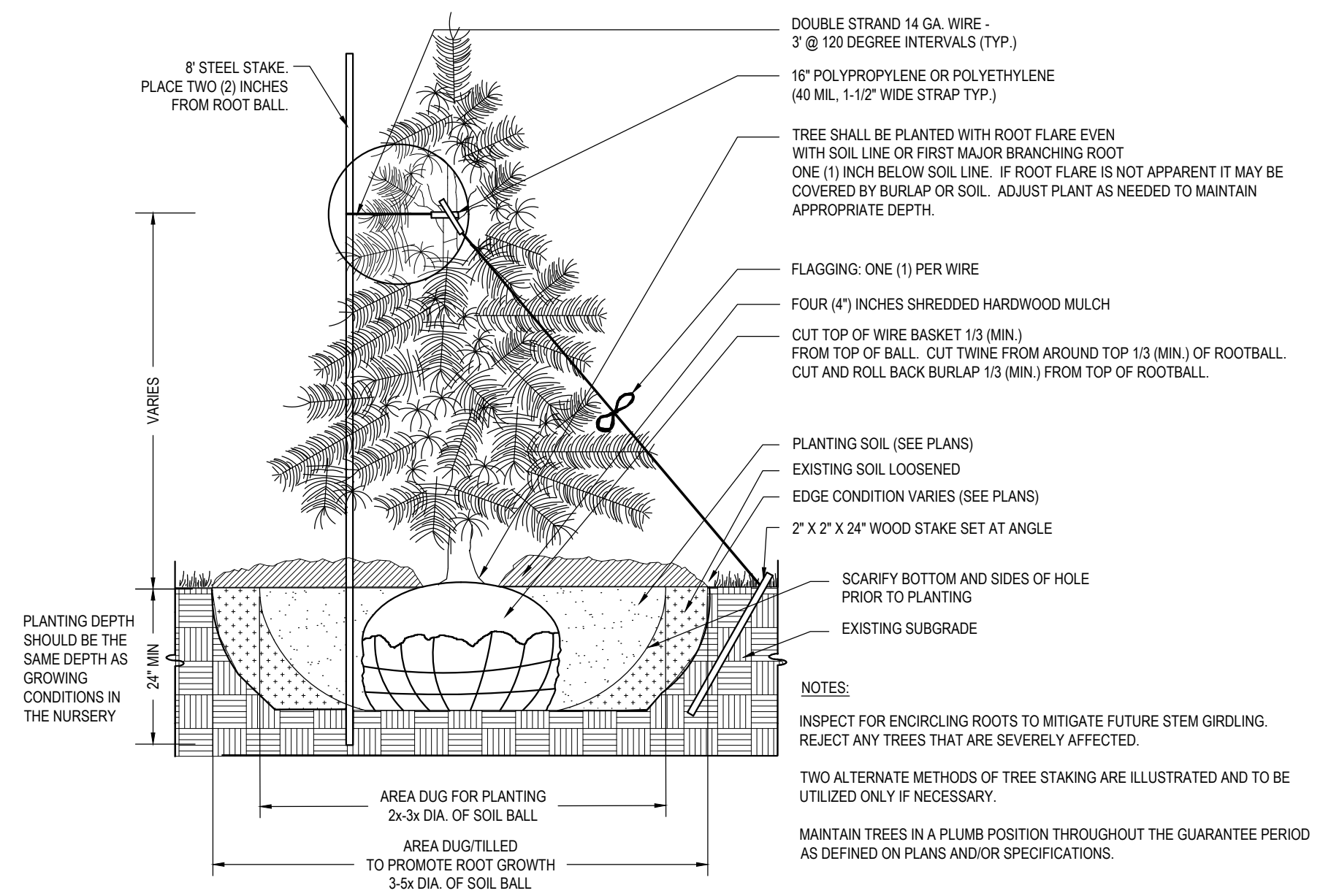
DATE	ISSUE / REVISION	REVIEW
16 JUL 2021	PRELIMINARY PLAT SUBMITTAL	CNC



1

DECIDUOUS TREE PLANTING

NO SCALE



2

CONIFEROUS TREE PLANTING

NO SCALE

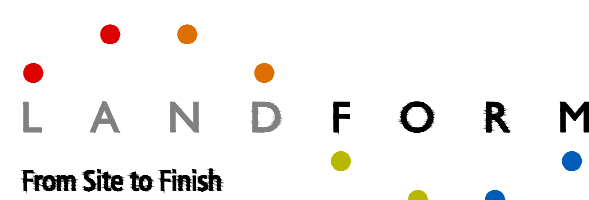
I hereby certify that this plan was prepared by me or under my direct supervision, and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

Joshua M. [Signature]
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LANDSCAPE DETAILS
L7.1