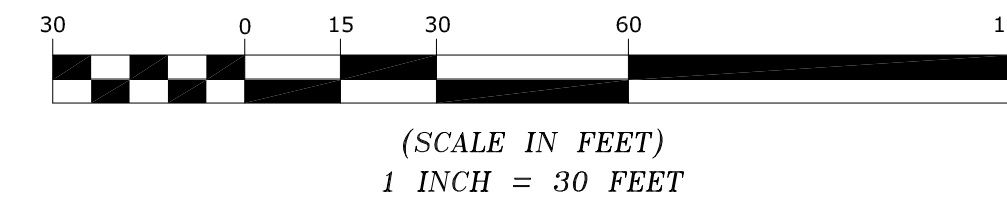


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BROOKSIDE TERRACE

CITY OF RAMSEY
COUNTY OF ANOKA
SEC. 23, T32N, R25W



NORTH

LEGEND

- DENOTES IRON MONUMENT FOUND MARKED RLS NO. 12251 UNLESS OTHERWISE NOTED.
- DENOTES 1/2 INCH BY 14 INCH IRON PIPE SET, MARKED RLS NO. 41578
- △—△—△— DENOTES RIGHT OF ACCESS DEDICATED TO THE COUNTY OF ANOKA.

FOR THE PURPOSES OF THIS PLAT, THE NORTH LINE OF LOT 3, BLOCK 1, HAUBRICH ADDITION IS ASSUMED TO HAVE A BEARING OF NORTH 89 DEGREES 48 MINUTES 52 SECONDS EAST.

KNOW ALL PERSONS BY THESE PRESENTS: That Brookside Construction Inc., a Minnesota Corporation, owner of the following described property situated in the City of Ramsey, County of Anoka, State of Minnesota:

Lot 3, Block 1, HAUBRICH ADDITION, Anoka County, Minnesota.

Has caused the same to be surveyed and platted as BROOKSIDE TERRACE and does hereby dedicate to the public for public use forever the public ways and drainage and utility easements as shown on this plat. Also dedicating to the County of Anoka the right of access onto County Road No. 5 as shown on this plat.

In witness whereof said Brookside Construction Inc., a Minnesota Corporation, has caused these presents to be signed by its proper officer this ____ day of _____, 20__.

Ronald E. Sivigny
President

STATE OF _____
COUNTY OF _____

This instrument was acknowledged before me this ____ day of _____, 20__ by Ronald E. Sivigny, as President of Brookside Construction, Inc., a Minnesota Corporation, on behalf of the corporation.

(Signature)

(Print Name)

Notary Public, _____ County, Minnesota
My Commission Expires _____

I Jason E. Rud do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this ____ day of _____, 20__.

Jason E. Rud, Licensed Land Surveyor
Minnesota License No. 41578

STATE OF MINNESOTA
COUNTY OF _____

This instrument was acknowledged before me this ____ day of _____, 20__ by Jason E. Rud.

(Signature)

(Print Name)

Notary Public, _____ County, Minnesota
My Commission Expires _____

CITY COUNCIL, CITY OF RAMSEY, MINNESOTA

This plat of BROOKSIDE TERRACE was approved and accepted by the City Council of the City of Ramsey, Minnesota at a regular meeting thereof held this ____ day of _____, 20__, and said plat is in compliance with the provisions of Minnesota Statutes, Section 505.03, Subd. 2.

City Council, City of Ramsey, Minnesota

By _____ Mayor By _____ Clerk

COUNTY SURVEYOR

I hereby certify that in accordance with Minnesota Statutes, Section 505.021, Subd. 11, this plat has been reviewed and approved this day of _____, 20__.

David M. Zieglmeier
Anoka County Surveyor

COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20__ on the land hereinbefore described have been paid. Also, pursuant to Minnesota Statutes, Section 272.12, there are no delinquent taxes and transfer entered this ____ day of _____, 20__.

Property Tax Administrator

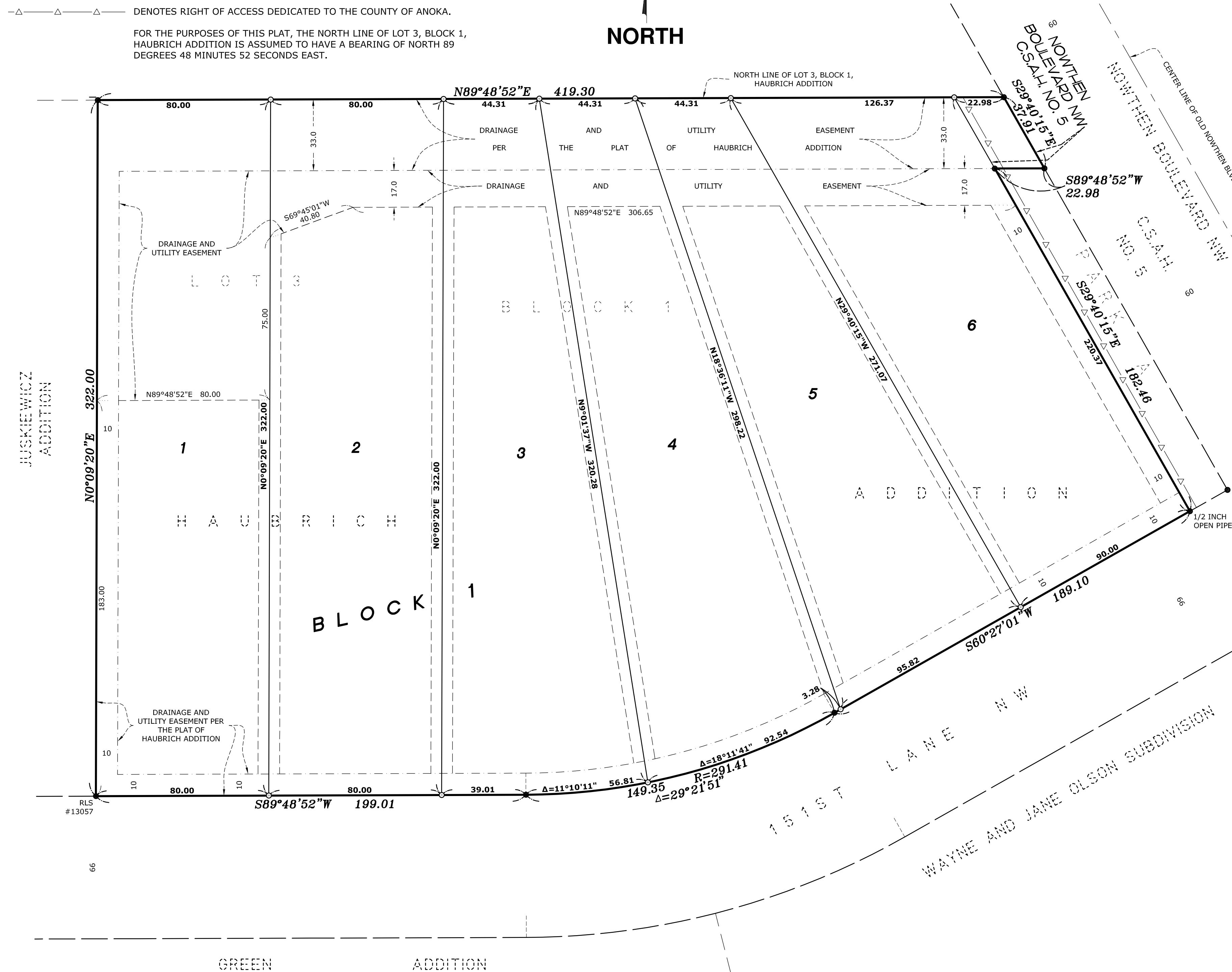
By _____, Deputy

COUNTY RECORDER/REGISTRAR OF TITLES
COUNTY OF ANOKA, STATE OF MINNESOTA

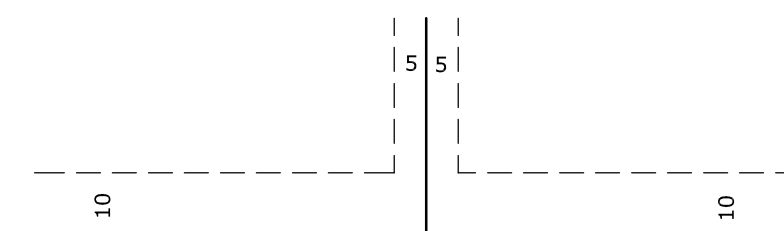
I hereby certify that this plat of BROOKSIDE TERRACE was filed in the office of the County Recorder/Registrar of Titles for public record on this ____ day of _____, 20__, at ____ o'clock ____M. and was duly recorded as Document Number _____.

County Recorder/Registrar of Titles

By _____, Deputy



DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:



BEING 5 FEET IN WIDTH, AND ADJOINING SIDE LOT LINES, AND 10 FEET IN WIDTH AND ADJOINING RIGHT OF WAY LINES, AND REAR LOT LINES, UNLESS OTHERWISE SHOWN ON THIS PLAT.

