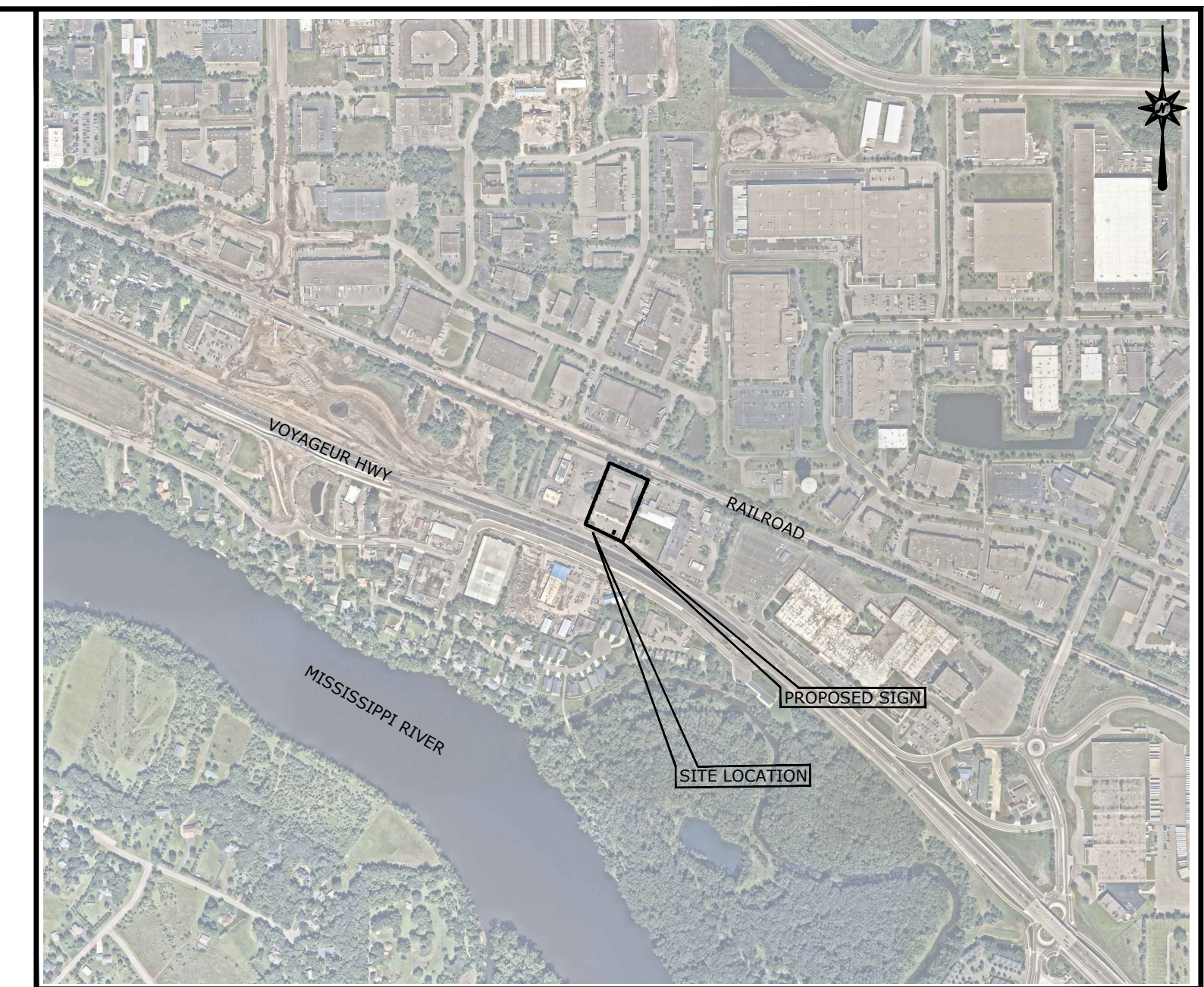


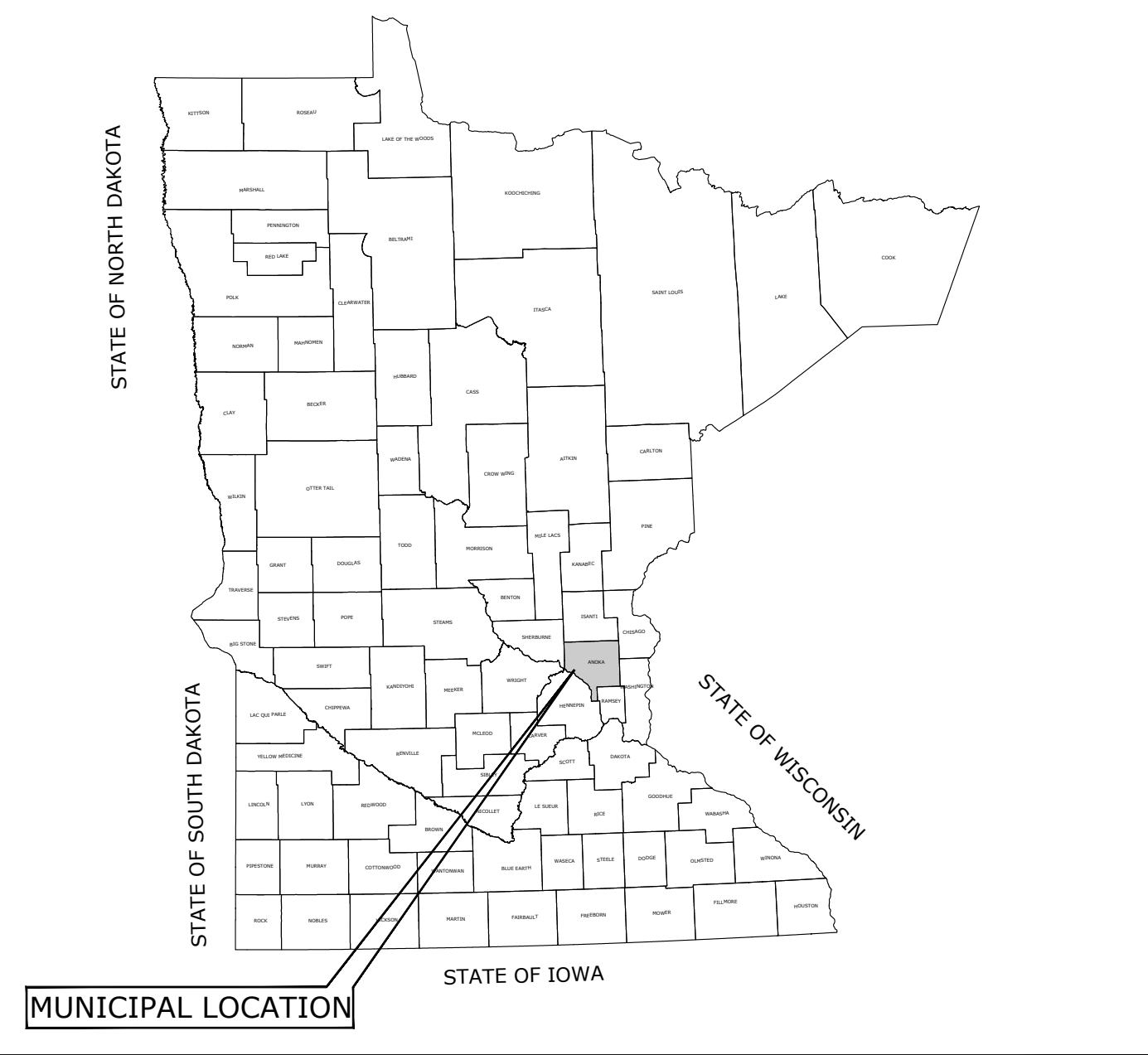
LAND DEVELOPMENT PLANS FOR PROPOSED BILLBOARD ISSUED FOR CONSTRUCTION

PROPOSED BILLBOARD
6111 HIGHWAY 10 SERVICE ROAD
RAMSEY, MINNESOTA 55303



VICINITY MAP

SCALE: 1"=800'



LOCATION MAP

N.T.S.

PREPARED FOR:
KENJOH OUTDOOR ADVERTISING
928 HAVERHILL DRIVE
TROY, OHIO 45373

PREPARED BY:



100 Constitution Plaza
10th Floor
Hartford, CT 06103
(860) 249-2200

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am duly Licensed Professional Engineer under the laws of the State of Minnesota
Printed Name: Michelle M. Carlson
Signature: *Michelle M. Carlson*
Date: 7/20/25 License # 52450

DEVELOPER:
KENJOH OUTDOOR ADVERTISING
928 HAVERHILL DRIVE
TROY, OHIO 45373

OWNER:
6111 RAMSEY PROPERTIES LLC
299 COON RAPIDS BLVD NW STE 200
COON RAPIDS, MINNESOTA 55433

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DATES

ISSUE DATE: 7/09/2025
REVISION: 7/10/2025
7/11/2025
7/29/2025

SITE WORK GENERAL NOTES

- THESE PLANS ARE FOR CONSTRUCTION.
- ALL CONSTRUCTION SHALL COMPLY WITH THE PROJECT SPECIFICATION MANUAL, KENOSH OUTDOOR ADVERTISING CORPORATION STANDARDS, MUNICIPAL STANDARDS AND SPECIFICATIONS, MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS, 2010 ADA STANDARDS, AND STATE BUILDING CODE IN THE ABOVE REFERENCED HIERARCHY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
- REFER TO OTHER PLANS BY OTHER DISCIPLINES, DETAILS AND PROJECT MANUAL FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE AND BUILDING CONDITIONS IN THE FIELD AND CONTACT THE CIVIL ENGINEER AND ARCHITECT IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS, SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH THE OWNER'S CONSTRUCTION MANAGER PRIOR TO BIDDING.
- DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
- THE CONTRACTOR SHALL ABIDE BY ALL OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORD DRAWINGS OF ALL CONSTRUCTION TO THE OWNER AT THE END OF CONSTRUCTION.
- THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
- THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION, TRENCHING, AND TRENCH PROTECTION REQUIREMENTS.
- INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL OR COUNTY OR STATE RECORDED MAPS AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. THE CONTRACTOR SHALL VERIFY THE SIZE LOCATION AND INVERT UPON COMMENCEMENT OF CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR THE RESTORATION OF ANY AND ALL UTILITIES ENCOUNTERED AND DISCONNECTED AS A RESULT OF THE CONSTRUCTION ACTIVITIES.
- PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT GOPHER STATE ONE CALL 72 HOURS BEFORE COMMENCEMENT OF WORK AT (651) 454-0002 OR AT 811 AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS. THE CONTRACTOR SHALL ENFORCE THE USE OF A UTILITY LOCATING COMPANY TO PROVIDE SUBSURFACE UTILITY ENGINEERING CONSISTING OF DESIGNATING UTILITIES AND STORM PIPING ON PRIVATE PROPERTY WITHIN THE CONTRACT, STREET LIGHTING AND TRAFFIC SIGNALS LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY MAY NOT BE MARKED OUT, AND A SEPARATE CONTACT MUST BE MADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY/ALL WORK TO RELOCATE ANY/ALL STREET LIGHTING EQUIPMENT TO MAINTAIN SYSTEM.
- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN OVER SCALED DIMENSIONS.
- SHOULD CONFLICTING INFORMATION BE FOUND WITHIN THE CONTRACT DOCUMENTS, IT IS INCUMBENT UPON THE CONTRACTOR TO REQUEST CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK. FOR BUDGETING PURPOSES, THE CONTRACTOR SHALL CARRY THE COST OF THE HIGHER QUALITY/QUANTITY OF WORK UNTIL SUCH TIME THAT A CLARIFICATION IS RENDERED.
- ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN COMPLETE DRAWING PLAN SETS FOR BIDDING AND CONSTRUCTION. PLAN SETS OR PLAN SET ELECTRONIC POSTINGS SHALL NOT BE DISASSEMBLED INTO PARTIAL PLAN SETS FOR USE BY CONTRACTORS AND SUBCONTRACTORS OF INDIVIDUAL TRADES. IT SHALL BE THE CONTRACTOR'S AND SUBCONTRACTOR'S RESPONSIBILITY TO OBTAIN COMPLETE PLAN SETS OR COMPLETE PLAN SET ELECTRONIC POSTINGS FOR USE IN BIDDING AND CONSTRUCTION.
- ALL NOTES AND DIMENSION DESIGNATED AS "TYPICAL" OR "TYP" APPLY TO ALL LIKE OR SIMILAR CONDITIONS THROUGHOUT THE PROJECT.
- CONTRACTOR(S) TO TAKE AND VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AND BE RESPONSIBLE FOR COORDINATION OF SAME. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF WORK.
- THE CONTRACTOR SHALL NOT PROCEED WITH ANY MODIFICATIONS TO THE DESIGN PLANS UNTIL THE WORK HAS BEEN APPROVED. ANY WORK DONE WITHOUT THE APPROVAL OF THE ENGINEER AND/OR CLIENT MAY BE DEEMED UNACCEPTABLE.
- NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CONTACT AND OBTAIN FROM MUNICIPAL SOURCES ALL CONSTRUCTION PERMITS, INCLUDING ANY STATE DOT PERMITS, SEWER AND WATER CONNECTION PERMITS, AND ROADWAY CONSTRUCTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS AND MATERIALS PER PLANS AND SPECIFICATIONS TO THE OWNER AND CIVIL ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
- THE CONTRACTOR SHALL REFERENCE STRUCTURAL ENGINEERS PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BILLBOARD.
- SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE CIVIL ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING AS APPLICABLE UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TEMPORARY WALKWAYS, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS ORDERED BY THE ENGINEER OR AS REQUIRED BY THE LOCAL GOVERNING AUTHORITIES OR AS REQUIRED BY PERMIT STIPULATIONS OR AS REQUIRED BY THE OWNER. CONTRACTOR SHALL MAINTAIN ALL TRAFFIC LANES AND PEDESTRIAN WALKWAYS FOR USE AT ALL TIMES UNLESS WRITTEN APPROVAL FROM THE APPROPRIATE GOVERNING AGENCY IS GRANTED.
- TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7' VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
- REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
- THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE CONTRACT DRAWINGS.
- THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS, SWALE, PAVEMENT MARKINGS, OR SIGNAGE DISTURBED DURING DEMOLITION AND/OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE CIVIL ENGINEER, AND TO THE SATISFACTION OF THE OWNER AND MUNICIPALITY.
- EXISTING BOUNDARY AND TOPOGRAPHY IS BASED ON DRAWING TITLED "BOUNDARY AND TOPOGRAPHIC SURVEY"; SCALE 1"=30', DATED 7/2/2025, BY WESTWOOD PROFESSIONAL SERVICES, INC.
- ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, CIVIL ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.
- THE SITE IS CURRENTLY SERVICED BY PUBLIC WATER.
- THE SITE IS CURRENTLY SERVICED BY PUBLIC SEWER.
- NO PART OF THE PROJECT PARCEL IS LOCATED WITHIN A FEMA DESIGNATED FLOOD HAZARD AREA.
- THERE ARE NO WETLANDS LOCATED ON THE SITE AS INDICATED BY MINNESOTA NATIONAL WETLAND INVENTORY MAPPING.
- CONSTRUCTION OCCURRING ON THIS SITE SHALL COMPLY WITH NFPA 241 STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS, AND CHAPTER 16 OF NFPA 1 UNIFORM FIRE CODE.
- THE CONTRACTOR IS TO MAINTAIN FIRE DEPARTMENT ACCESS TO THE SITE AT ALL TIMES.
- REMOVE AND DISPOSE OF ANY SIDEWALKS, FENCES, STAIRS, WALLS, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED OFF SITE LANDFILL, BY AN APPROVED HAULER. HAULER SHALL COMPLY WITH ALL REGULATORY REQUIREMENTS.
- THE CONTRACTOR SHALL SECURE ALL PERMITS FOR THE DEMOLITION AND DISPOSAL OF THE DEMOLITION MATERIAL TO BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL POST BONDS AND PAY PERMIT FEES AS REQUIRED. BUILDING DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS AND DISPOSAL OF ALL BUILDING DEMOLITION DEBRIS IN AN APPROVED OFF-SITE LANDFILL.
- THE CONTRACTOR SHALL PREPARE ALL MANIFEST DOCUMENTS AS REQUIRED PRIOR TO COMMENCEMENT OF DEMOLITION.
- THE CONTRACTOR SHALL PROTECT ALL IRON PINS, MONUMENTS AND PROPERTY CORNERS DURING DEMOLITION AND CONSTRUCTION ACTIVITIES. ANY CONTRACTOR DISTURBED PINS, MONUMENTS, AND OR PROPERTY CORNERS, ETC. SHALL BE RESET BY A LICENSED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
- IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL, AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
- BACK FILL DEPRESSIONS, FOUNDATION HOLES AND ACCESS AREAS IN LOCATIONS NOT SUBJECT TO FURTHER EXCAVATION WITH SOIL MATERIAL APPROVED BY THE OWNER'S GEOTECHNICAL ENGINEER AND COMPACT, FERTILIZE, SEED AND MULCH DISTURBED AREAS NOT SUBJECT TO FURTHER SITE CONSTRUCTION. DEMOLISHED BUILDING FOUNDATION AREA AND BASEMENT IF PRESENT TO BE BACKFILLED WITH GRAVEL FILL OR MATERIAL SPECIFIED IN THE PROJECT GEOTECHNICAL REPORT IN LIFT THICKNESS SPECIFIED IN THE GEOTECHNICAL REPORT. CONTACT TO 95% MAX. DRY DENSITY PER ASTM D1557 AT MOISTURE CONTENT SPECIFIED IN GEOTECHNICAL REPORT AND EARTHWORK SPECIFICATION. EMPLOY WATERING EQUIPMENT FOR DUST CONTROL.
- THE CONTRACTOR SHALL REPAIR PAVEMENTS BY INSTALLING TEMPORARY AND PERMANENT PAVEMENTS IN PUBLIC RIGHTS OF WAYS AS REQUIRED BY LOCAL GOVERNING AUTHORITIES AND THE MUNICIPALITY AND PER PERMIT REQUIREMENTS DUE TO DEMOLITION AND PIPE REMOVAL ACTIVITIES.
- NO WORK ON THIS SITE SHALL BE INITIATED BY THE CONTRACTOR UNTIL A PRE-CONSTRUCTION MEETING WITH OWNER AND THE CIVIL ENGINEER IS PERFORMED. THE CONTRACTOR SHOULD BE AWARE OF ANY SITE INFORMATION AVAILABLE SUCH AS GEOTECHNICAL AND ENVIRONMENTAL REPORTS. THE CONTRACTOR SHALL HAVE MA DIG SAFE MARK OUTS OF EXISTING UTILITIES COMPLETED PRIOR TO MEETING.
- THE CONTRACTOR SHALL ARRANGE FOR AND INSTALL TEMPORARY OR PERMANENT UTILITY CONNECTIONS WHERE INDICATED ON PLAN OR AS REQUIRED. MAINTAIN UTILITY SERVICES TO BUILDINGS OR TO SERVICES TO REMAIN. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS FOR INSTALLATION AND PAY UTILITY PROVIDER FEES.
- THE CONTRACTOR OR DEMOLITION CONTRACTOR SHALL INSTALL TEMPORARY SHEETING OR SHORING AS NECESSARY TO PROTECT EXISTING AND NEW BUILDINGS, STRUCTURES AND UTILITIES DURING CONSTRUCTION AND DEMOLITION. SHEETING OR SHORING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER, LICENSED IN THIS STATE AND EVIDENCE OF SUCH SUBMITTED TO THE OWNER PRIOR TO INSTALLATION.
- NO SALVAGE SHALL BE PERMITTED UNLESS PAID TO THE OWNER AS A CREDIT.
- THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED ON SITE FOR USE IN FINAL LANDSCAPING.
- THE CONTRACTOR SHALL COMPACT FILL IN LIFT THICKNESS PER THE GEOTECHNICAL REPORT.
- VERTICAL DATUM IS NAVD 88.
- PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SINKING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE MHDOT AND THE MINNESOTA STORMWATER MANUAL, LATEST EDITION. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
- ALL SITE WORK, MATERIALS OF CONSTRUCTION, AND CONSTRUCTION METHODS FOR EARTHWORK SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE PROJECT SPECIFICATIONS MANUAL. OTHERWISE THIS WORK SHALL CONFORM TO THE MINNESOTA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND

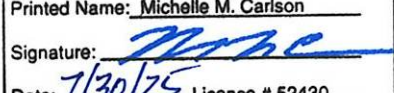
PROJECT GEOTECHNICAL REPORT IF THERE IS NO PROJECT SPECIFICATIONS MANUAL. ALL FILL MATERIAL UNDER STRUCTURES AND PAVED AREAS SHALL BE PER THE ABOVE STATED APPLICABLE SPECIFICATIONS, AND/OR PROJECT GEOTECHNICAL REPORT, AND SHALL BE PLACED IN ACCORDANCE WITH THE APPLICABLE SPECIFICATIONS UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. MATERIAL SHALL BE COMPACTED IN LIFT THICKNESSES PER THE PROJECT GEOTECHNICAL REPORT TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557 AT MOISTURE CONTENT INDICATED IN PROJECT GEOTECHNICAL REPORT.

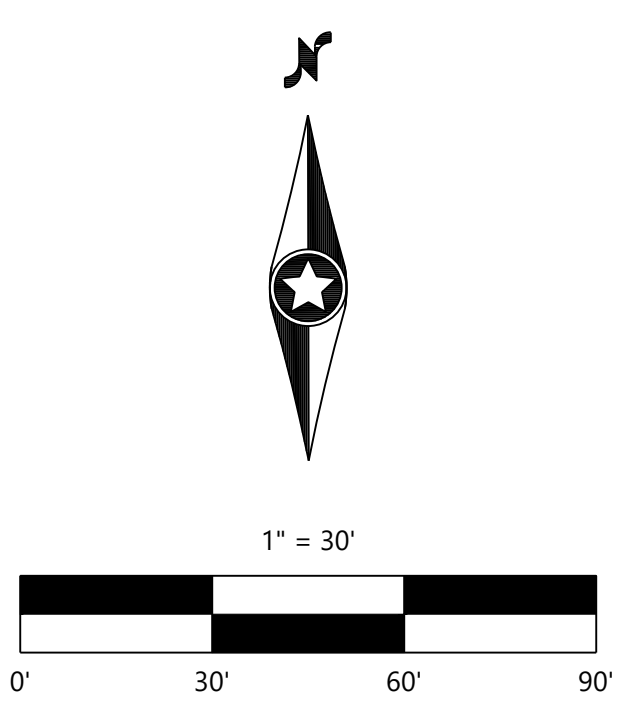
- ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL PROPOSED UTILITY CROSSINGS AND EARTHWORK OVER EXISTING UTILITIES TO REMAIN. TEST PITS SHALL BE USED TO DETERMINE THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES. THE CONTRACTOR SHALL CONTACT THE CIVIL ENGINEER IN THE EVENT OF ANY DISCOVERED OR UNFORESEEN CONFLICTS BETWEEN UTILITIES.
- UTILITY CONNECTION DESIGN AS REFLECTED ON THE PLAN MAY CHANGE SUBJECT TO UTILITY PROVIDER AND GOVERNING AUTHORITY STAFF REVIEW.
- THE CONTRACTOR SHALL ENSURE THAT ALL UTILITY PROVIDERS AND GOVERNING AUTHORITY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET. THE CONTRACTOR SHALL PERFORM PROPER COORDINATION WITH THE RESPECTIVE UTILITY PROVIDER.
- THE CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY PROVIDERS FOR SERVICE INSTALLATIONS AND CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WORK TO BE PERFORMED BY THE VARIOUS UTILITY PROVIDERS AND SHALL PAY ALL FEES FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS, AND DEMOLITION UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATIONS MANUAL AND/OR GENERAL CONDITIONS OF THE CONTRACT.
- ALL EXISTING PAVEMENT WHERE UTILITY PIPING IS TO BE INSTALLED SHALL BE SAW CUT, AFTER UTILITY INSTALLATION IS COMPLETED, THE CONTRACTOR SHALL INSTALL TEMPORARY AND/OR PERMANENT PAVEMENT REPAIR AS DETAILED ON THE DRAWINGS OR AS REQUIRED BY THE OWNER HAVING JURISDICTION.
- ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION FOR APPROVAL PRIOR TO BACKFILLING, IN ACCORDANCE WITH THE APPROPRIATE UTILITY PROVIDER REQUIREMENTS.
- A ONE-FOOT MINIMUM VERTICAL CLEARANCE BETWEEN WATER, GAS, ELECTRICAL, AND TELEPHONE LINES AND STORM PIPING SHALL BE PROVIDED. A SIX-INCH MINIMUM CLEARANCE SHALL BE MAINTAINED BETWEEN STORM PIPING AND SANITARY SEWER WITH A CONCRETE ENCASEMENT. AN 18-INCH TO 6-INCH VERTICAL CLEARANCE BETWEEN SANITARY SEWER PIPING AND STORM PIPING SHALL REQUIRE CONCRETE ENCASEMENT OF THE PROPOSED PIPING.
- SITE CONTRACTOR SHALL COORDINATE INSTALLATION OF ELECTRICAL SERVICES, CONDUIT AND CABLES FOR BILLBOARD WITH THE BUILDING ELECTRICAL CONTRACTOR.
- THE CONTRACTOR SHALL ARRANGE AND COORDINATE WITH UTILITY PROVIDERS FOR WORK TO BE PERFORMED BY UTILITY PROVIDERS. THE CONTRACTOR SHALL PAY ALL UTILITY FEES UNLESS OTHERWISE STATED IN THE PROJECT SPECIFICATION MANUAL AND GENERAL CONDITIONS, AND REPAIR PAVEMENTS AS NECESSARY.
- ELECTRIC SERVICES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH LOCAL UTILITY PROVIDER REGULATIONS. THE CONTRACTOR SHALL PROVIDE AND INSTALL AND BACKFILL (24)-INCH PVC CONDUITS FOR ELECTRIC SERVICE PRIMARY, PVC CONDUITS FOR ELECTRICAL SECONDARY PER BUILDING ELECTRICAL PLANS, (SCHEDULE 80 UNDER PAVEMENT, SCHEDULE 40 IN NON PAVEMENT AREAS). SERVICES MAY BE INSTALLED IN A COMMON TRENCH WITH 12" CLEAR SPACE BETWEEN. MINIMUM COVER IS 36" ON ELECTRIC CONDUITS. SERVICES SHALL BE MARKED WITH MAGNETIC LOCATOR TAPE AND SHALL BE REDDED, INSTALLED, AND BACKFILLED IN ACCORDANCE WITH ELECTRIC UTILITY PROVIDER STANDARDS. INSTALL HANDHOLES AS REQUIRED TO FACILITATE INSTALLATION AND AS REQUIRED BY UTILITY PROVIDER. INSTALL TRAFFIC LOAD QUALIFIED HANDHOLES IN VEHICULAR AREAS. INSTALL CONCRETE ENCASEMENT ON PRIMARY ELECTRIC CONDUITS IF REQUIRED BY ELECTRIC UTILITY PROVIDER.

DEFINITIONS

MUNICIPALITY SHALL MEAN RAMSEY COUNTY SHALL MEAN ANOKA COUNTY STATE SHALL MEAN MINNESOTA ELECTRIC UTILITY PROVIDER SHALL MEAN CONNEXUS ENERGY DOT SHALL MEAN THE MINNESOTA DEPARTMENT OF TRANSPORTATION

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am duly Licensed Professional Engineer under the laws of the State of Minnesota

Printed Name: Michelle M. Carlson
Signature: 
Date: 7/30/25 License # 82430



SURVEYED LEGAL DESCRIPTION

Lot 1, 1A & 2 Block 1, GUY ADDITION, according to the recorded plat thereof, Anoka County, Minnesota per Quit Claim Deed Doc. Numbers 2369074.001 & 602500.001.

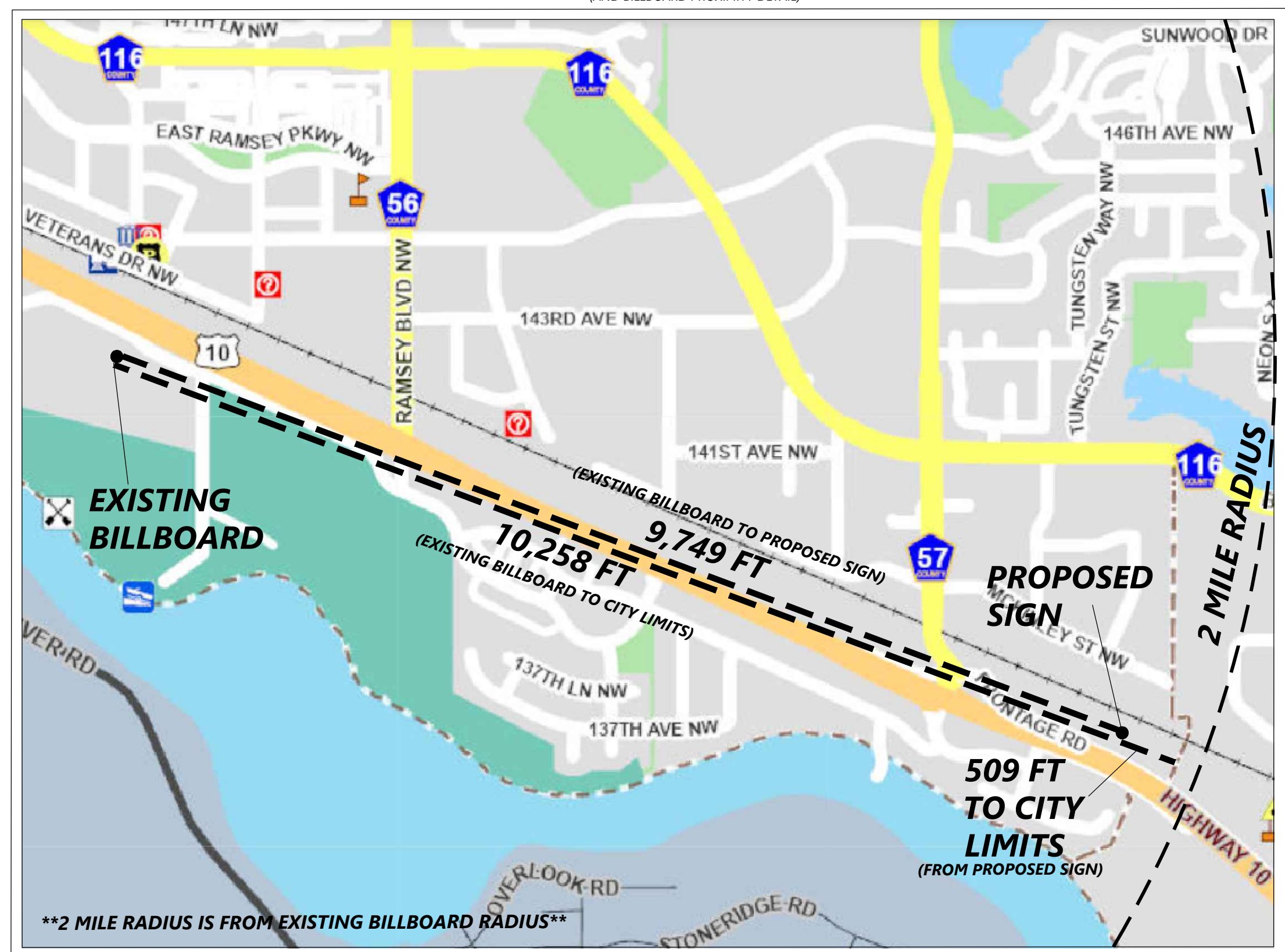
EXCEPT

Parcels 66 & 67 ANOKA COUNTY HIGHWAY RIGHT-OF-WAY PLAT NO. 103, according to the recorded plat thereof, said Anoka County.

LEGEND

	SANITARY MANHOLE		BUSH/SHRUB
	STORM MANHOLE		CONIFEROUS TREE
	CATCH BASIN		DECIDUOUS TREE
	CATCH BASIN MANHOLE		TREE LINE
	DOWNSPOUT		GAS LINE
	HYDRANT		SANITARY SEWER
	GATE VALVE		STORM SEWER
	FIRE DEPARTMENT CONNECTION		WATERMAIN
	ELECTRIC METER		FIBER OPTIC
	LIGHT POLE		WALL
	TRAFFIC SIGNAL-NO ARM		RAILROAD TRACKS
	HAND HOLE/JUNCTION BOX		CURB & GUTTER
	NATURAL GAS METER		CONCRETE SURFACE
	STEEL/WOOD POST		BITUMINOUS SURFACE
	SIGN		RIP RAP
	MAIL BOX		BOUNDARY LINE
	FLAG POLE		ADJACENT LINE
	HANDICAPPED STALL		EASEMENT LINE
			PARCEL LINE

VICINITY MAP
(AND BILLBOARD PROXIMITY DETAIL)



GENERAL NOTES

1. This survey was prepared without the benefit of a title commitment, easements shown are from the plat of GUY ADDITION.
2. West line of Lot 1, Block 1, GUY ADDITION, is assumed to bear North 21°40'49" East.
3. Total Area = 88,811 ± Sq. Ft./ 2.04 ± Acres
4. Elevations shown hereon are relative to the NAVD88 vertical datum local benchmark MNDOT E 257 which has an elevation of 863.67 feet.
5. City limit boundaries were determined from the City of Ramsey Zoning Map.

N:\0069167_00\DWG\0069167V-SURV.DWG

DESIGNED:	INITIAL ISSUE: 7/2/2025
CHECKED: NAS	REVISIONS: 7/9/2025: REVISED LEGAL DESCRIPTION & BOUNDARY
DRAWN: MSC	7/10/2025: CITY LIMIT DETERMINATION
HORIZONTAL SCALE: 30'	7/31/2025: UPDATE VICINITY MAP
VERTICAL SCALE:	

PREPARED FOR:

BL COMPANIES

RAMSEY BILLBOARD
RAMSEY, MN

Westwood

Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
 Fax (952) 937-5822 Minnetonka, MN 55343
 Toll Free (888) 937-5150 www.westwoodps.com
 Westwood Professional Services, Inc.
TITLE ENGINEERING FIRM REGISTRATION NO. 11756
 TBPELS SURVEYING FIRM REGISTRATION NO. 10074301

BOUNDARY AND TOPOGRAPHIC SURVEY

SHEET NUMBER: **1** OF **1**

PROJECT NUMBER: 0069167.00

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am duly Licensed Professional Engineer under the laws of the State of Minnesota

Printed Name: **Michelle M. Carlson**

Signature: *Michelle M. Carlson*

Date: **7/30/25** License # **52430**

ZONING INFORMATION

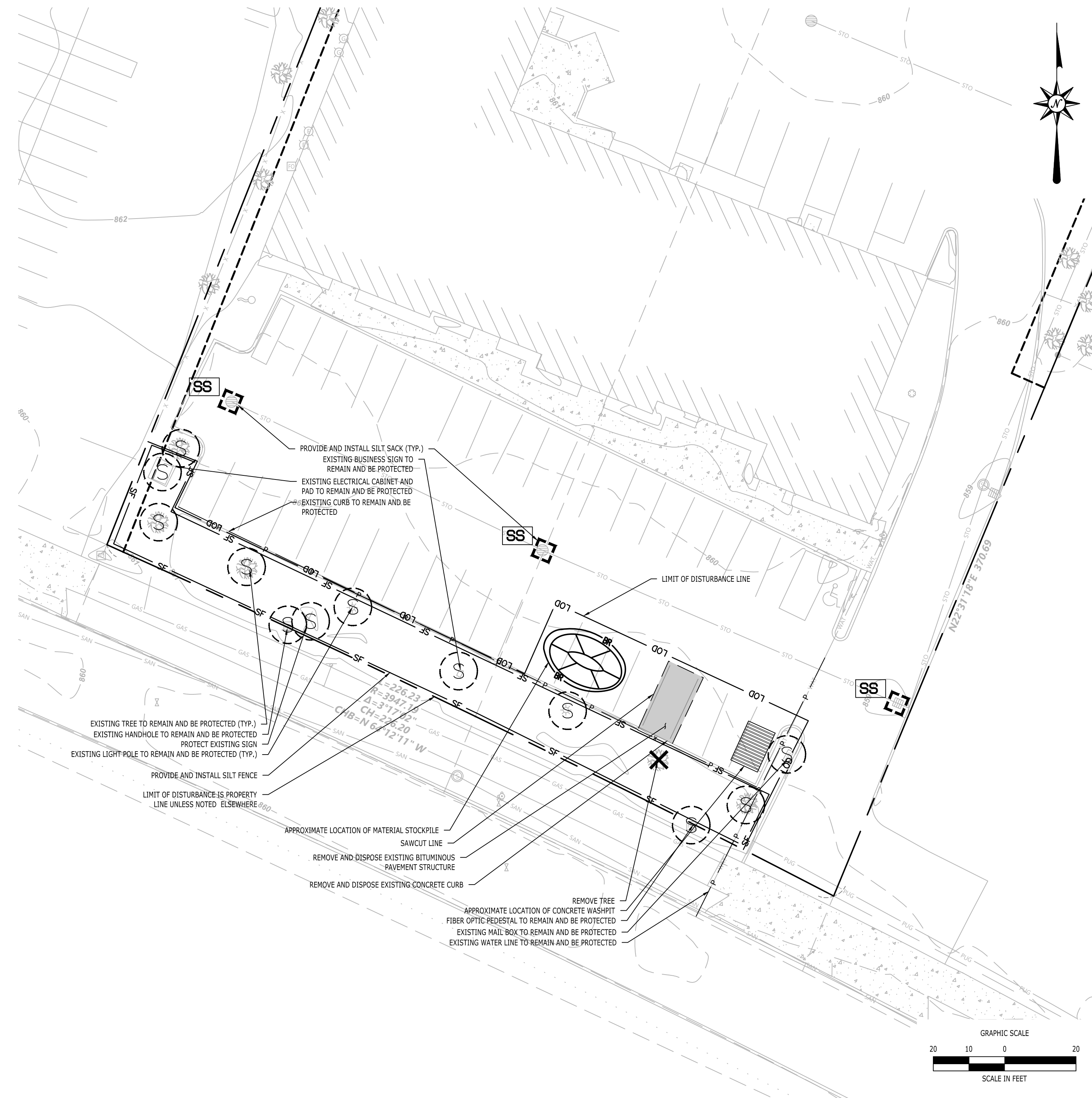
LOCATION: RAMSEY, ANOKA COUNTY			
ZONE: B-2 (BUSINESS DISTRICT)			
USE: OFF-PREMISES DIGITAL BILLBOARD SIGN (BUILDING PERMIT)			
ITEM	REQUIREMENTS	PROPOSED	VARIANCE
MINIMUM SETBACK FROM PROPERTY LINE	0 FEET	5 FEET	NO
MINIMUM SETBACK FROM EASEMENT	0 FEET	5 FEET	NO
MINIMUM SETBACK FROM VEHICULAR ACCESS POINT	15 FEET	20 FEET	NO
MAXIMUM SIGN AREA	700 S.F. PER SIDE	700 S.F. PER SIDE	NO
MAXIMUM SIGN HEIGHT	50 FEET	50 FEET	NO
MINIMUM SIGN SPACING	TWO MILES (10,560 FEET)	1.85 MILES (9,749 FEET)	YES

NOTES

- GRASS ABOVE ELECTRICAL TRENCH TO BE CUT IN SQUARES AND STOCKPILED. REPLACE SQUARES ABOVE TRENCH AND SUPPLEMENT WITH SEED AS NECESSARY TO RESTORE AREA TO GRASS CONDITION.

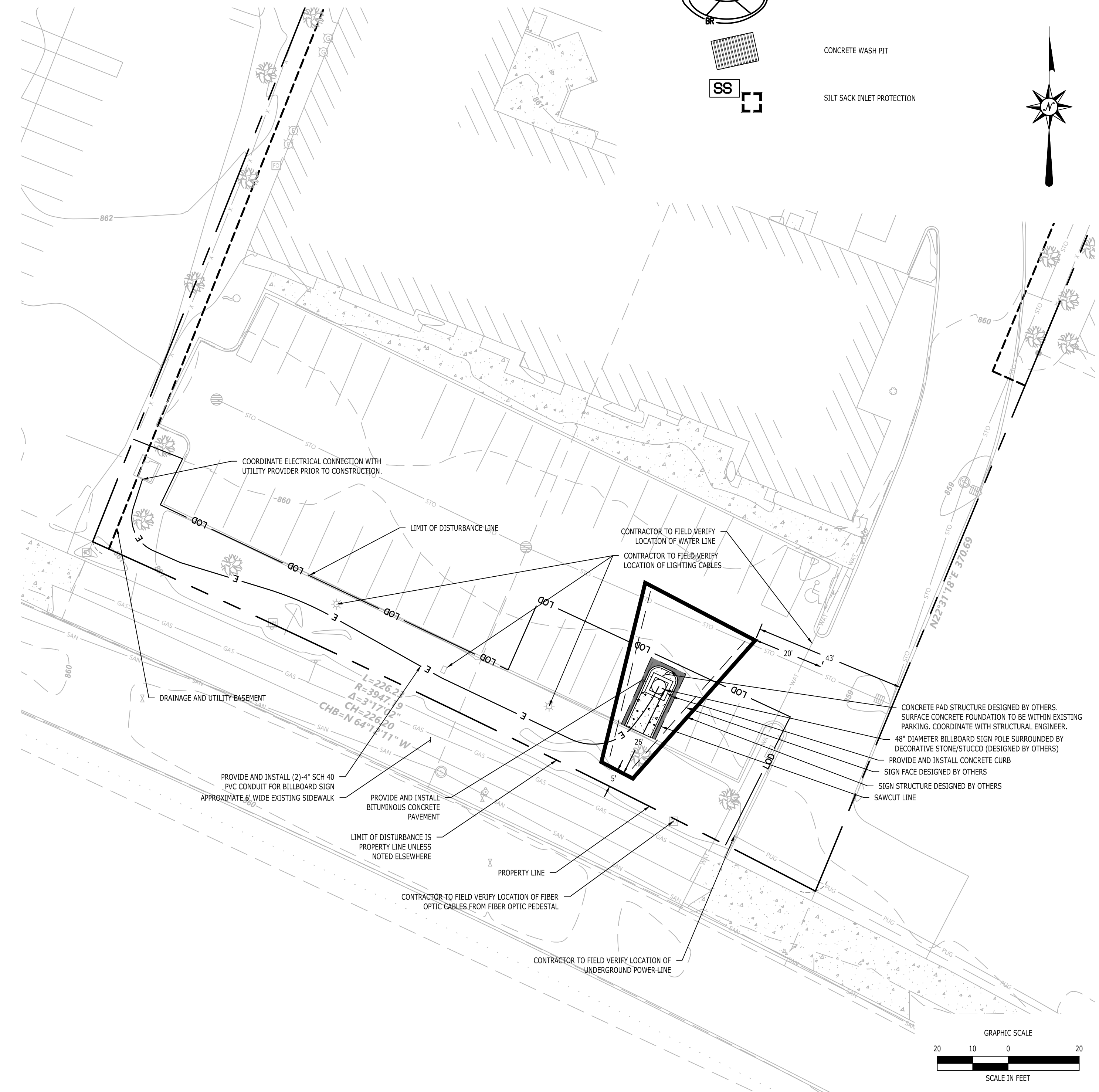
LEGEND

- PROPERTY LINE
- DRAINAGE AND UTILITY EASEMENT LINE
- LIMIT OF DISTURBANCE AND STEWART CONTRACT LIMIT LINE
- LOD
- E
- P
- SF
- BR
- X
- REMOVE AND DISPOSE EXISTING BITUMINOUS CONCRETE PAVEMENT
- PROVIDE AND INSTALL BITUMINOUS CONCRETE PAVEMENT
- PROVIDE AND INSTALL CONCRETE PAD STRUCTURE
- PROTECT EXISTING STRUCTURE OR TREE
- REMOVE EXISTING STRUCTURE OR TREE
- TEMPORARY STOCK PILE
- CONCRETE WASH PIT
- SILT SACK INLET PROTECTION



DEMOLITION AND EROSION CONTROL PLAN

1"=20'



SITE PLAN

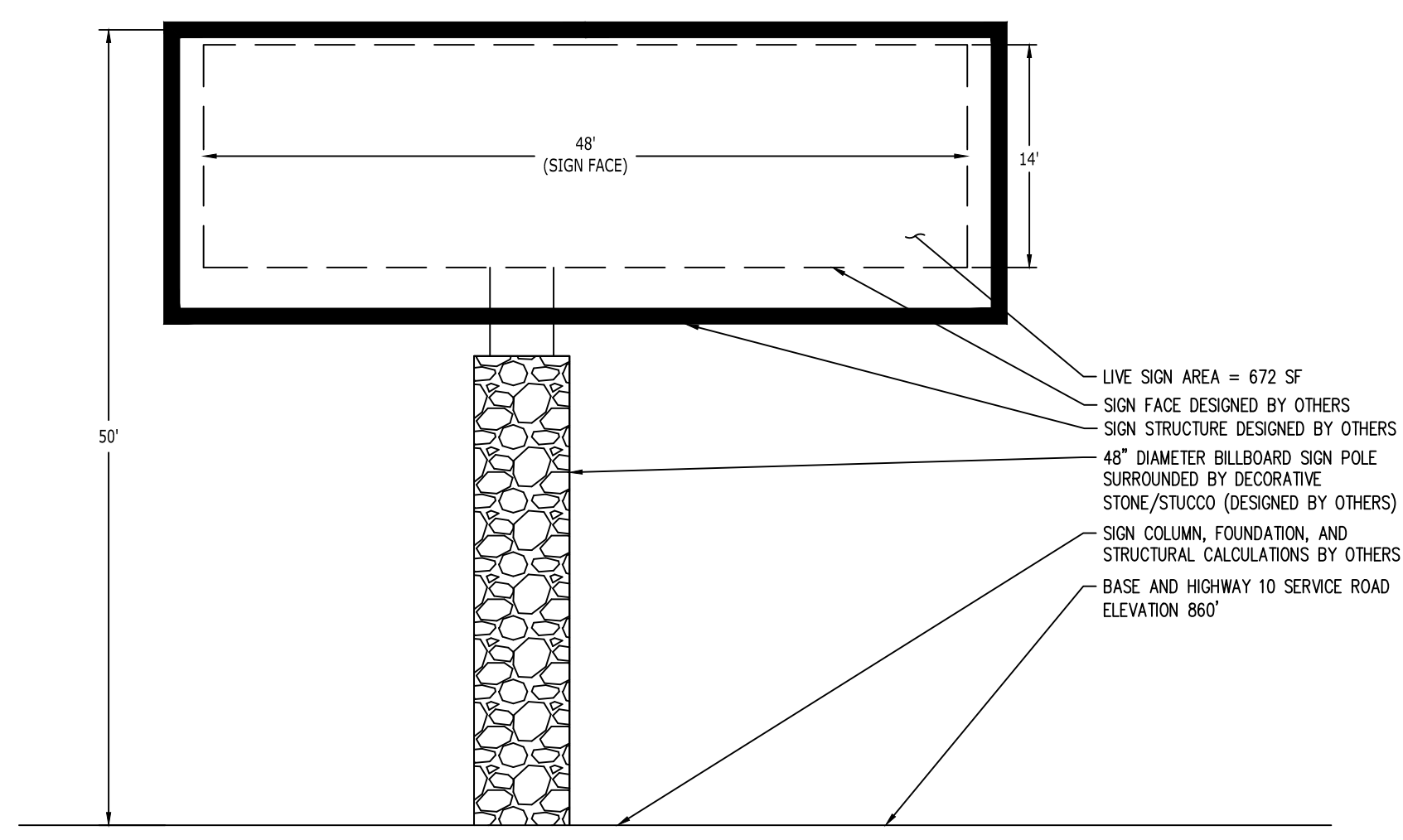
1"=20'

No.	Date	Description
1	7/10/2025	UPDATED PER SURVEY
2	7/11/2025	UPDATED PER CLIENT COMMENTS
3	7/29/2025	RESPONSE TO CITY COMMENTS

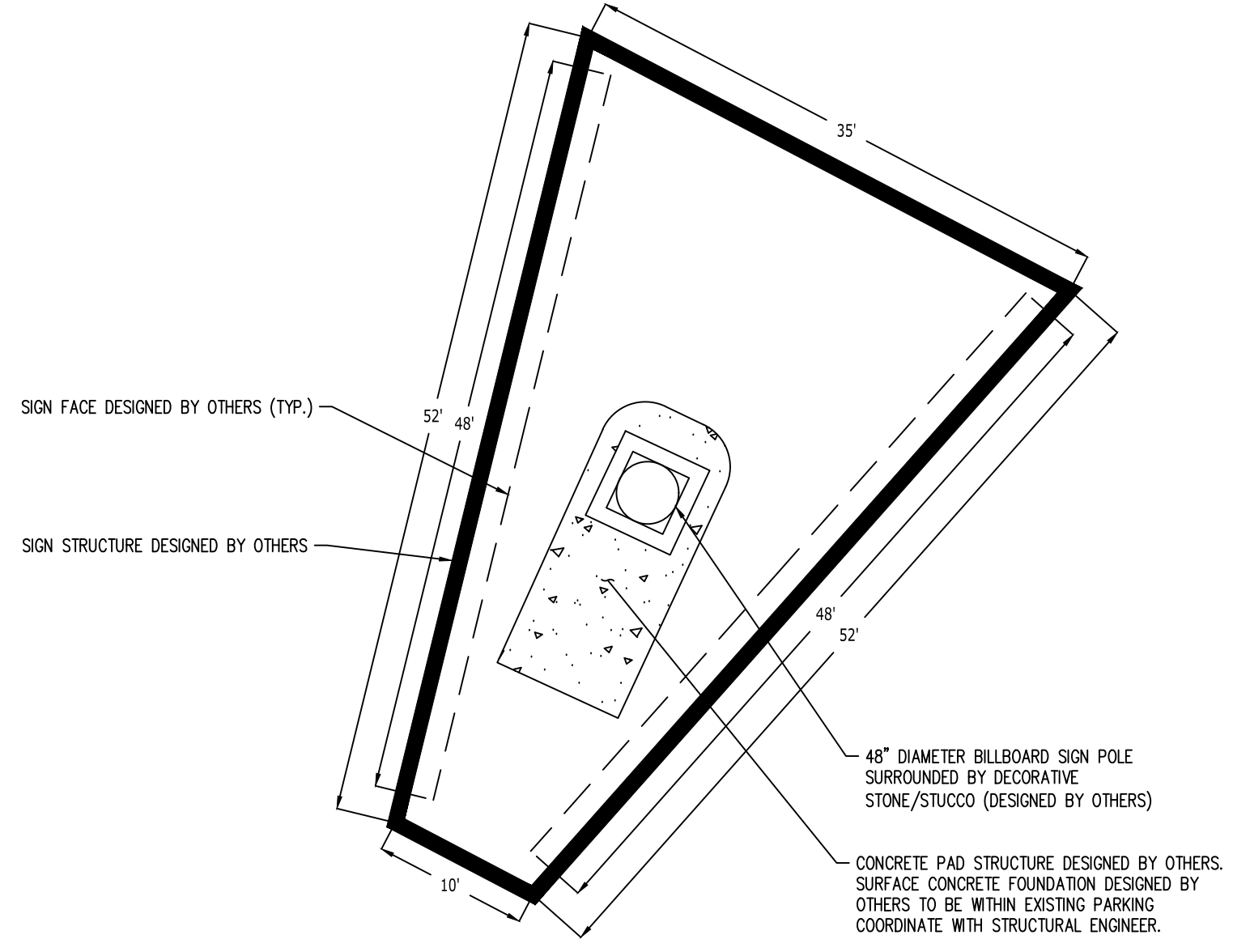
Designed	K.R.
Drawn	K.R.
Reviewed	S.M.K.
Scale	1"=20'
Project No.	2501240
Date	7/09/2025
CAD File:	C2501240-10

Title
SITE PLAN

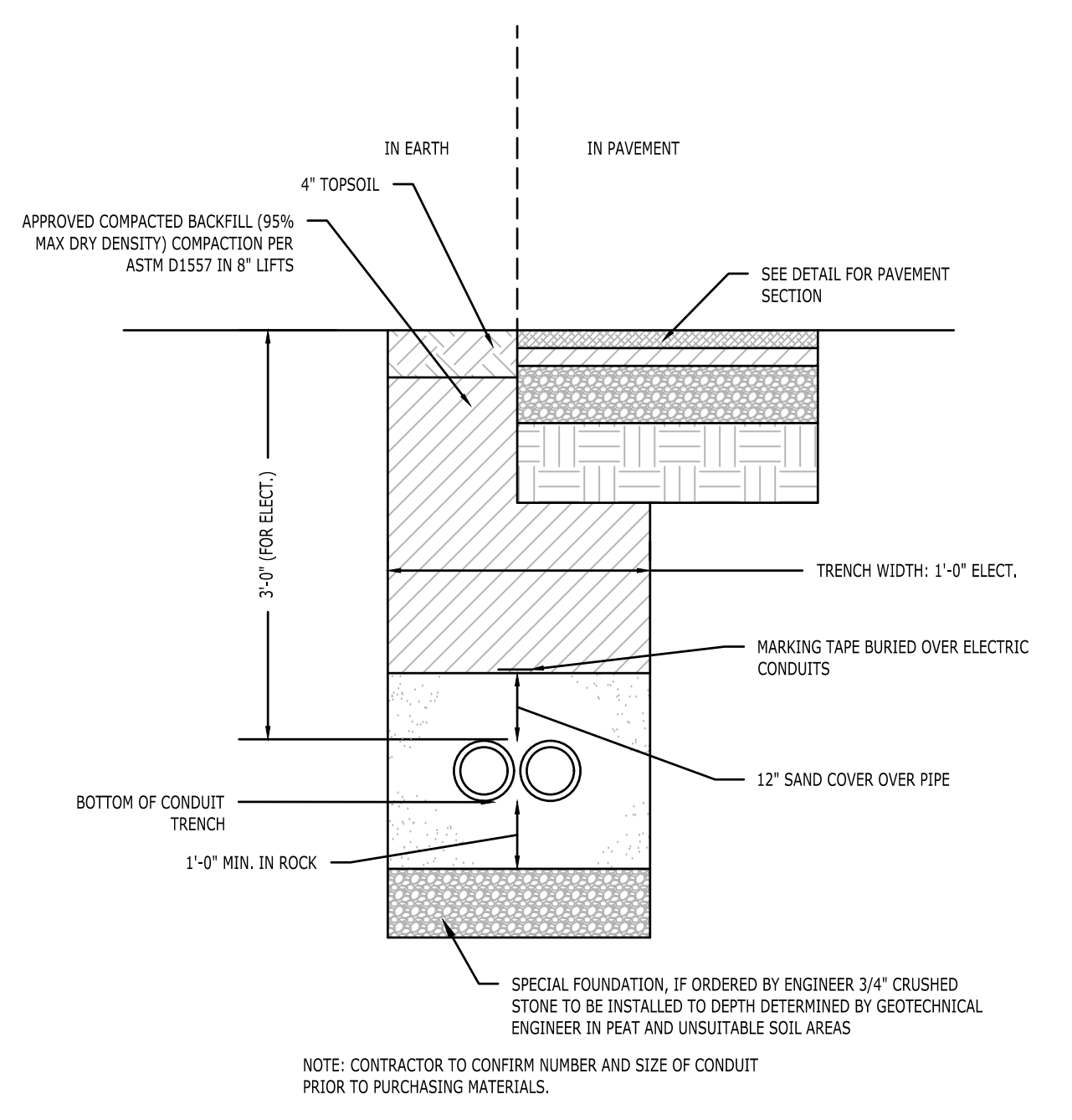
Sheet No.



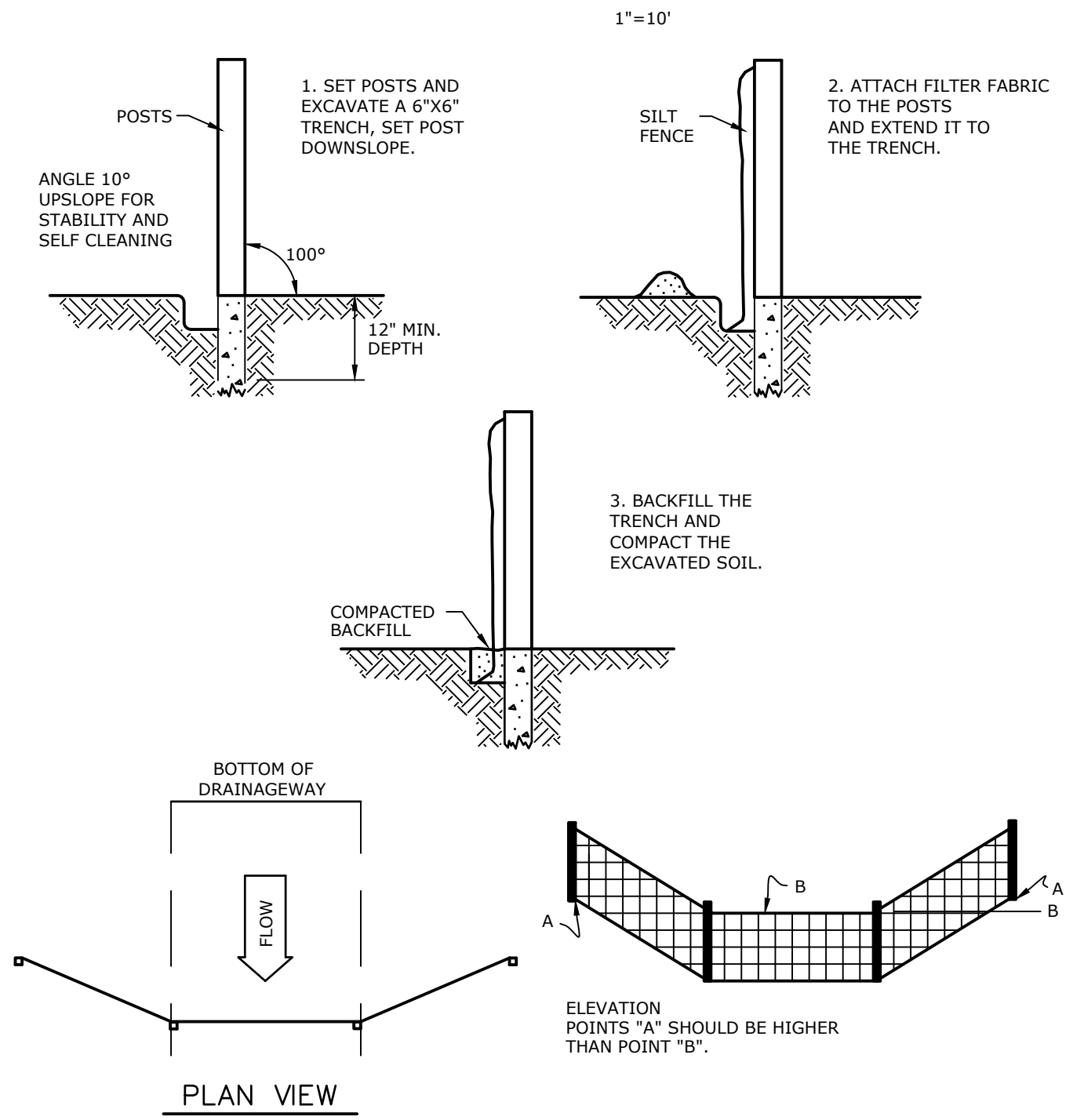
SIGN DETAIL (BY OTHERS)
N.T.S.



SIGN DIMENSIONS (BY OTHERS)
1"=10'

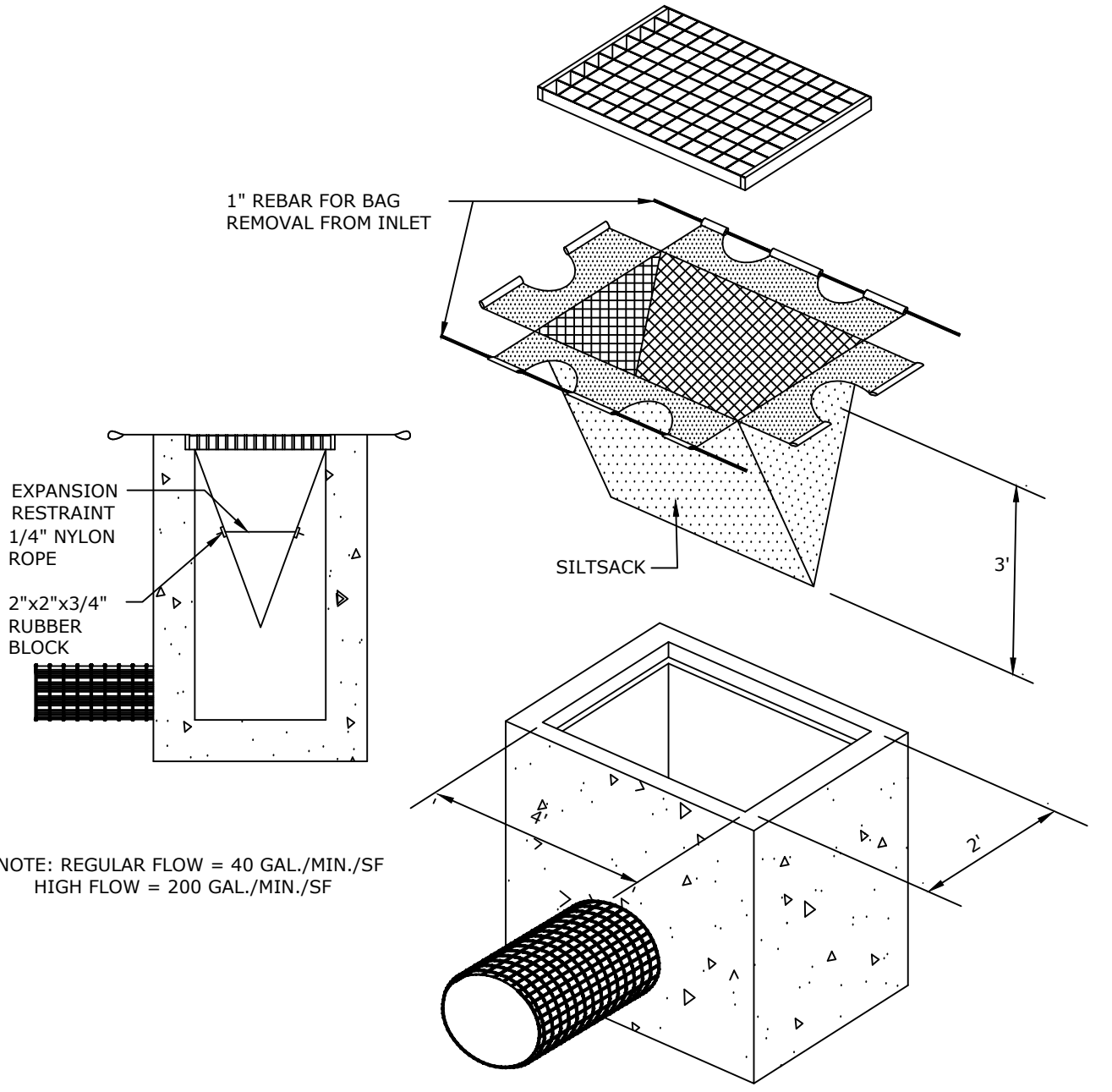


ELECTRICAL TRENCH DETAIL
N.T.S.

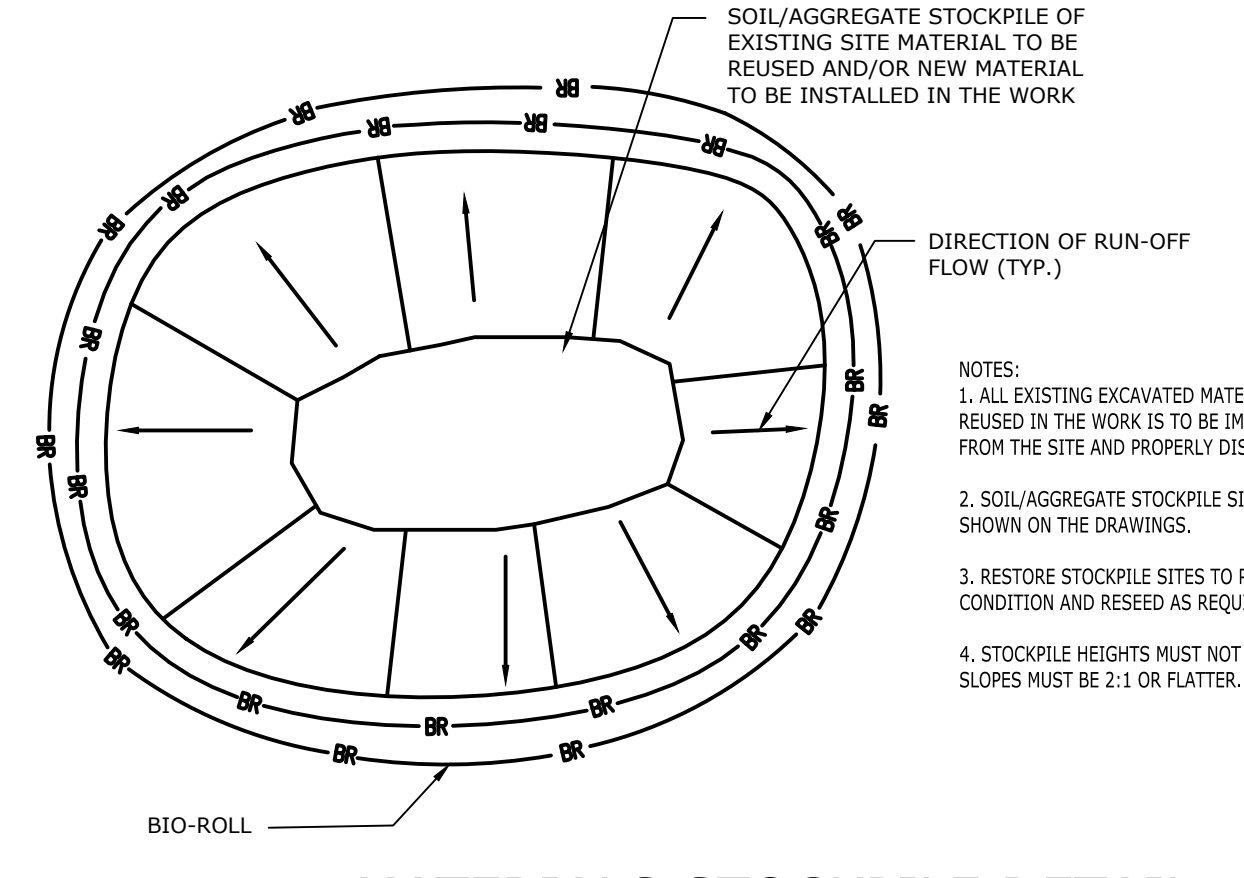


SILT FENCE BARRIER
N.T.S.

- NOTES:
- CONSTRUCTION JOINTS SHALL BE SPACED APPROXIMATELY EVERY 10 FEET BUT NOT LESS THAN 6 FEET. 1/4" THICK PREFORMED EXPANSION JOINT FILLER SHALL BE INSTALLED EVERY OTHER JOINT.
 - FORMWORK SHALL REMAIN INPLACE FOR 24 HOURS FOLLOWING CONCRETE POURING.

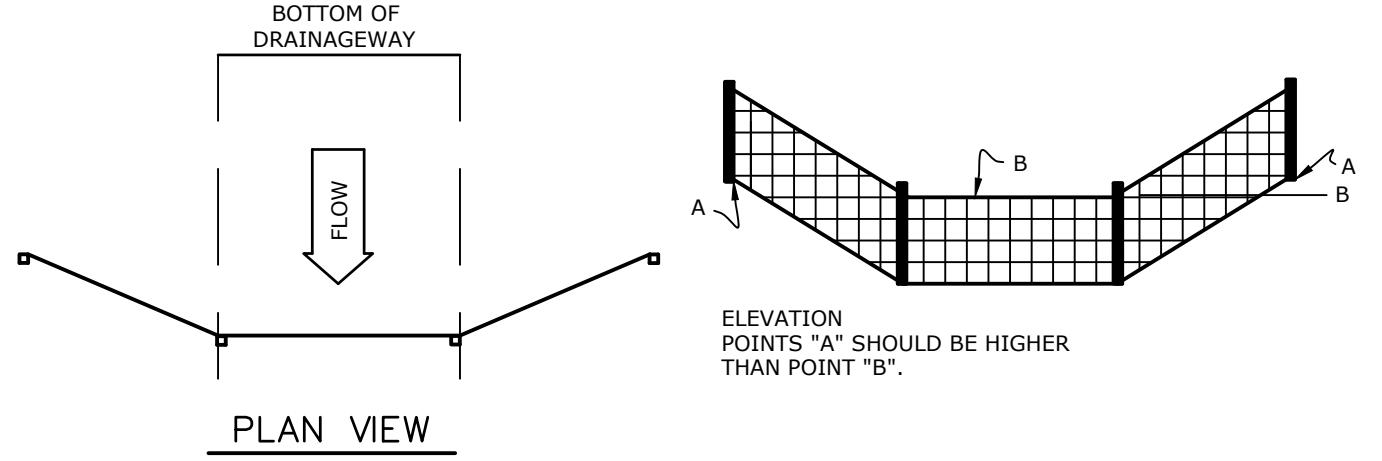


SILT SACK DETAIL
N.T.S.

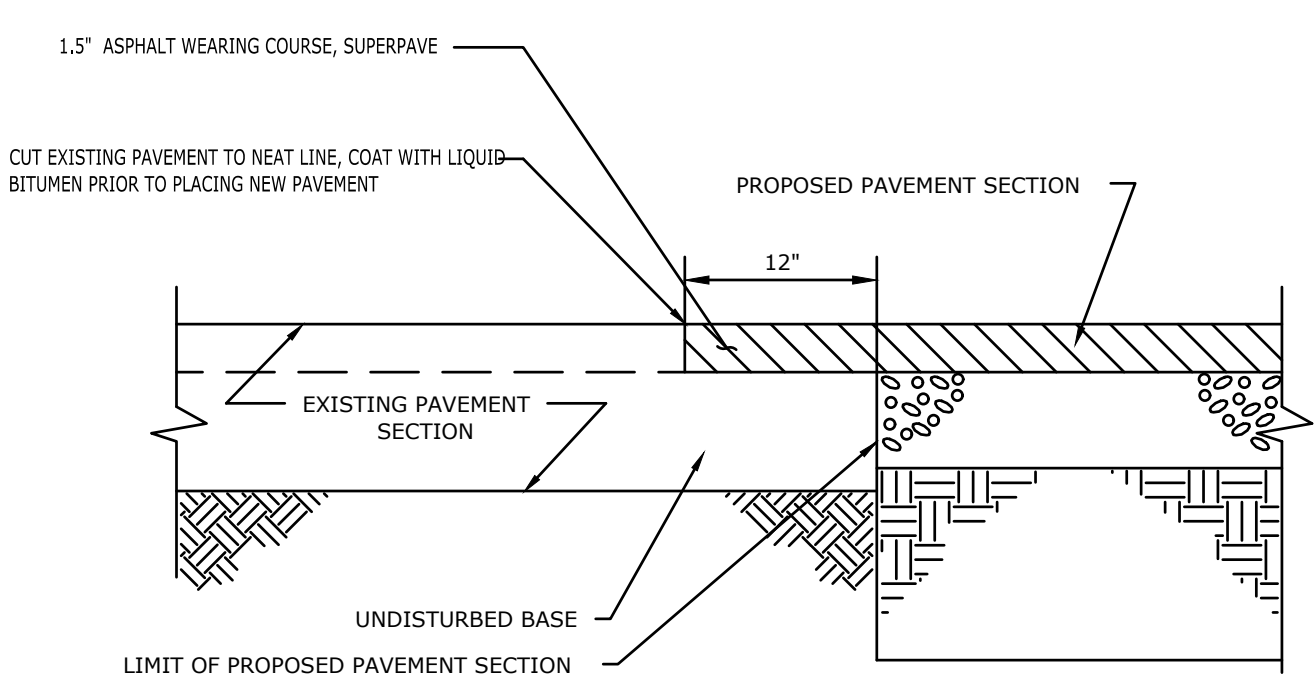


MATERIALS STOCKPILE DETAIL
N.T.S.

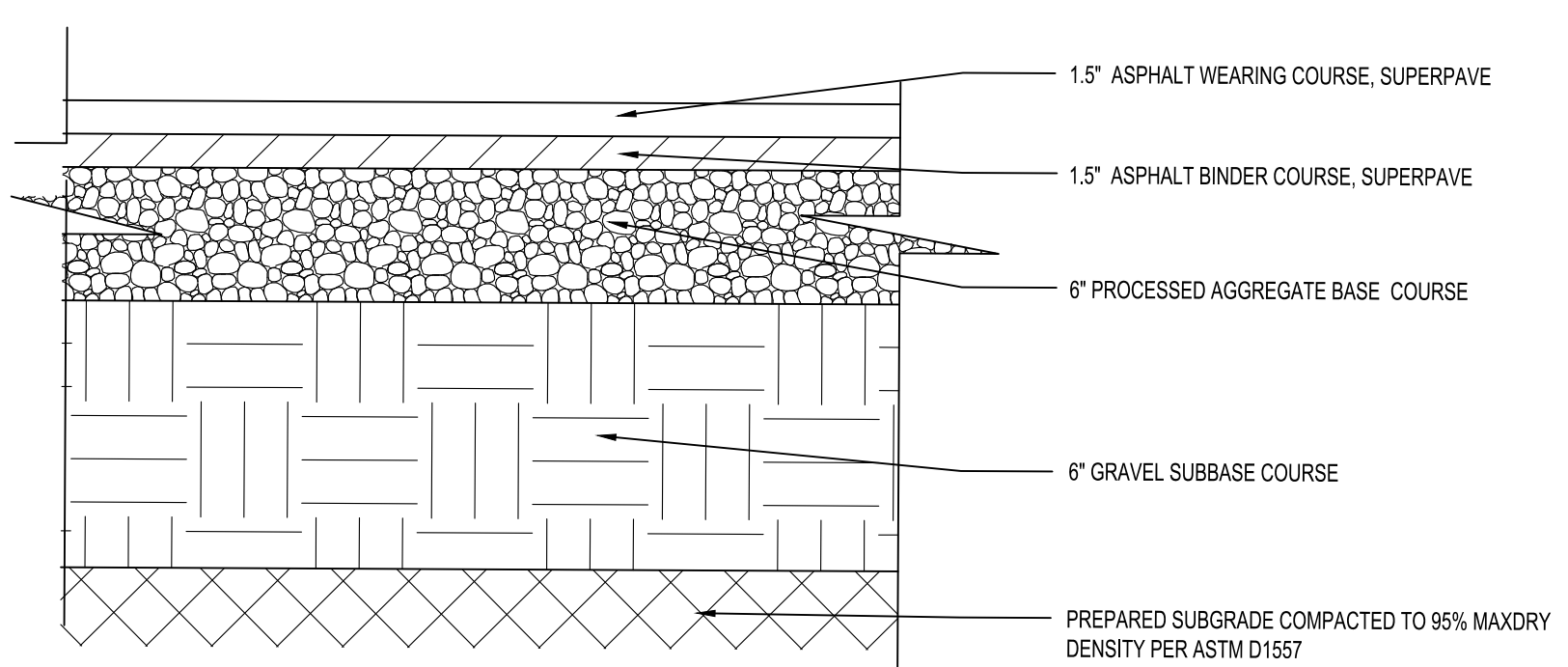
- NOTES:
- ALL EXISTING EXCAVATED MATERIAL THAT IS NOT TO BE REUSED IN THE WORK IS TO BE IMMEDIATELY REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.
 - SOIL/AGGREGATE STOCKPILE SITES TO BE WHERE SHOWN ON THE DRAWINGS.
 - RESTORE STOCKPILE SITES TO PRE-EXISTING PROJECT CONDITION AND RESEED AS REQUIRED.
 - STOCKPILE HEIGHTS MUST NOT EXCEED 35'. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.



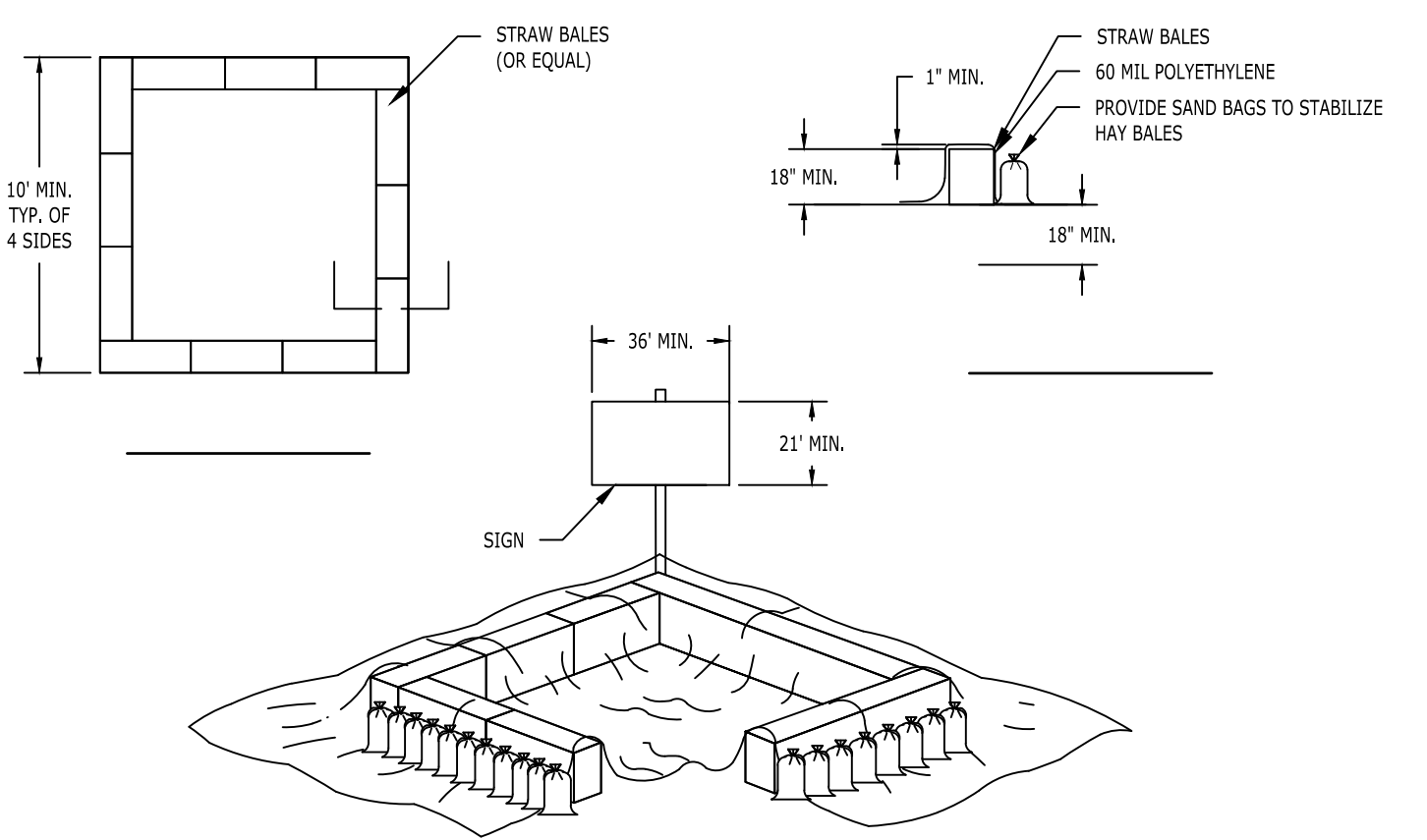
CONCRETE CURB DETAIL
N.T.S.



PAVEMENT TRANSITION
N.T.S.



STANDARD DUTY BITUMINOUS CONCRETE PAVEMENT STRUCTURE DETAIL
N.T.S.



CONCRETE WASH PIT DETAIL
N.T.S.

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am duly Licensed Professional Engineer under the laws of the State of Minnesota
 Printed Name: Michelle M. Carlson
 Signature: *[Signature]*
 Date: 7/30/25 License # 52430

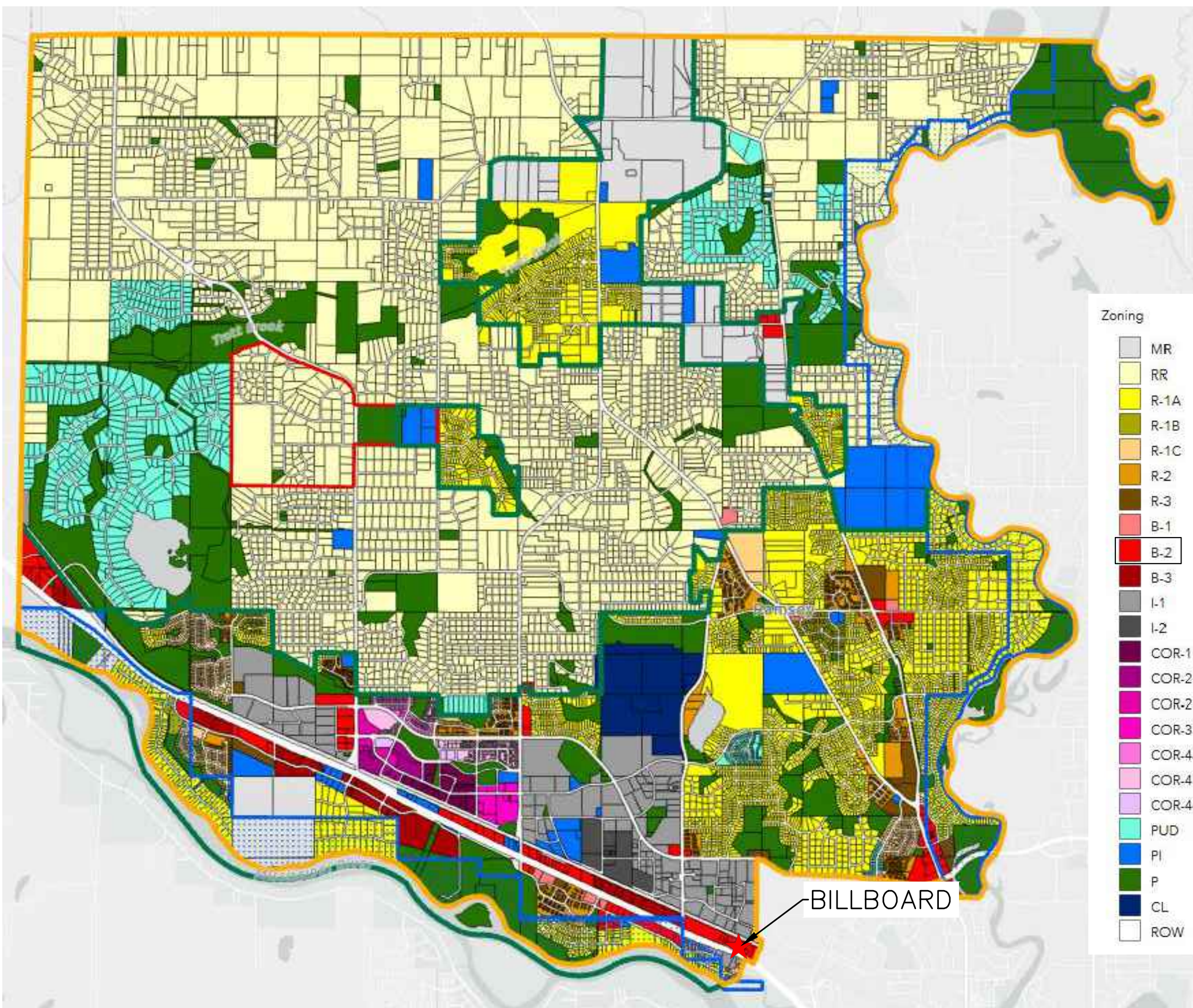
REVISIONS	DATE	DESCRIPTION
1	7/10/2025	DISC. UPDATED PER SURVEY
2	7/11/2025	UPDATED PER CLIENT COMMENTS
3	7/29/2025	RESPONSE TO CITY COMMENTS

Designed: K.R.
 Drawn: K.R.
 Reviewed: S.M.K.
 Scale: N.T.S.
 Project No: 2501240
 Date: 7/09/2025
 CAD File: C2501240-10

Title: **SITE DETAILS**

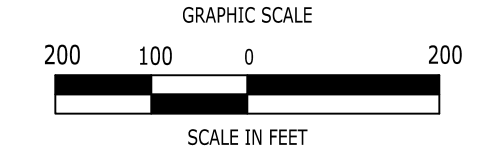
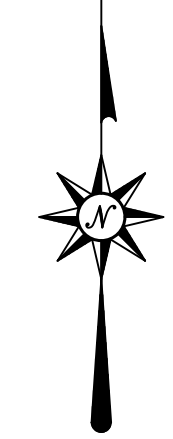
Sheet No.

EXH-2



TOWN ZONING MAP

N.T.S.



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am duly Licensed Professional Engineer under the laws of the State of Minnesota.
 Printed Name: Michelle M. Carlson
 Signature: [Signature]
 Date: 7/30/25 License # 52430

PROPOSED BILLBOARD
 6111 HIGHWAY 10 SERVICE ROAD
 RAMSEY, MINNESOTA 55303

REVISIONS	No.	Date	Description
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Title
LOCATION MAP

Sheet No.
EXH-3