



## **NOTICE OF REGULAR PLANNING AND ZONING COMMISSION MEETING**

In accordance with Section 38-431.01 of the Arizona Revised Statutes of the State of Arizona, notice is hereby given to the Members of the Planning and Zoning Commission and to the general public that the Planning and Zoning Commission of the City of San Luis, Arizona will hold a Regular Planning & Zoning Commission Meeting at 7:00 p.m., Tuesday, October 11, 2016. The meeting will take place at the City Council Chambers, located at 1090 E. Union Street, San Luis, Arizona, 85349. Everyone from the public is invited to attend the open meeting.

In accordance with the Americans with Disabilities Act (ADA) and Section 504 of the Rehabilitation Act of 1973, the City of San Luis does not discriminate on the basis of disability in the admission of or access to, or treatment of employment in its programs, activities, or services. For information regarding rights and provisions of the ADA or Section 504, or to request reasonable accommodations for participation in City programs, activities or services contact: ADA/Section 504 Coordinator, City of San Luis Human Resources Department, 1090 East Union Street, San Luis, Arizona 85349; (928) 341-8520.

Notice is hereby given that pursuant to A.R.S. §1-602.A.9, subject to certain specified statutory exceptions, parents have a right to consent before the State or any of its political subdivisions make a video or audio recording of a minor child. Meetings of the City Council are audio and/or video recorded, and, as a result, proceedings in which children are present may be subject to such recordings. Parents in order to exercise their rights may either file written consent with the City Clerk to such recordings, or take personal action to ensure that their child or children are not present when a recording may be made. If a child is present at the time a recording is made, the City will assume that the rights afforded parents pursuant to A.R.S. §1-602.A.9 have been waived.

THIS NOTICE IS GIVEN BY:

/s/ Roman Pacheco, Planning Technician

## **AVISO DE JUNTA REGULAR DE LA COMISIÓN DE PLANEACIÓN Y ZONAMIENTO**

De acuerdo a la Sección 38-431.01 de los Estatutos Revisados del Estado de Arizona, se les informa a los Miembros de la Comisión de Planeación y Zonamiento y al público en general que la Comisión de Planeación y Zonamiento de San Luis, Arizona, tendrán una junta regular a las 7:00 p.m., el día Martes, Octubre 11 del 2016. La junta se llevará a cabo en la Cámara del Consejo de la ciudad, ubicado en el 1090 East Union Street, San Luis, Arizona, 85349. El público esta cordialmente invitado.

De acuerdo con el Acta de Americanos con Discapacidades y la Sección 504 del Acta de Rehabilitación de 1973, la Ciudad de San Luis no discrimina por causa de discapacidad la admisión y acceso a sus programas, actividades, servicios o en el trato en cuanto a empleo. Para más información referente a derechos y provisiones del Acta de Americanos con Discapacidades o Sección 504, o para solicitar adaptaciones que sean razonables para la participación en programas, actividades o servicios de la ciudad, contactar a: Coordinador del Acta de Americanos con Discapacidades/Sección 504, Departamento de Recursos Humanos de la Ciudad de San Luis, 1090 Este Calle Unión, San Luis, Arizona, 85349; (928) 341-8520.

Por medio de éste aviso y de acuerdo con los Estatutos Revisados del Estado de Arizona, sujeto a ciertas excepciones reglamentarias, los padres de familia tienen el derecho de dar o no dar el consentimiento ante el Estado o alguna subdivisión política grabe a un menor de edad, ya sea en audio o video. Las juntas del Concilio se graban en audio y/o video y como resultado, el hecho de que haya menores presentes puede ser sujeto a que sean grabados. Para que los padres de familia puedan ejercer sus derechos pueden solicitar por escrito a la Secretaria de la Ciudad dicha grabación, o tomar acción personal para asegurarse que su hijo/hija menor no esté presente cuando la grabación se lleve a cabo. Si un menor de edad está presente en el momento de la grabación, la Ciudad asumirá que los padres de familia están cediendo los derechos sobre una posible grabación de acuerdo con el Estatuto Revisado del Estado de Arizona §1-602.A.9.

ESTE AVISO ES DADO POR:

/f/ Roman Pacheco, Técnico en Planeación



**AGENDA  
PLANNING & ZONING COMMISSION  
REGULAR MEETING  
San Luis Council Chambers  
1090 E. Union Street  
San Luis, AZ 85349  
Tuesday, October 11, 2016  
7:00 P.M.**

**MEMBERS OF THE SAN LUIS PLANNING & ZONING COMMISSION WILL ATTEND EITHER IN PERSON, TELEPHONE, OR VIDEO CONFERENCE COMMUNICATION.**

**1. CALL TO ORDER/ROLL CALL**

**2. PLEDGE OF ALLEGIANCE**

**3. CONSENT AGENDA**

All matters are considered to be routine by the Planning & Zoning Commission and will be enacted by one motion. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

**3. A. MINUTES OF**

- Regular Planning & Zoning Commission Meeting held May 10, 2016
- Regular Planning & Zoning Commission Meeting held June 14, 2016

**4. PUBLIC HEARINGS** – the Planning & Zoning Commission will be considering a vote or action on the following cases. Any vote or action will be considered separately for each case.

**4. A.** Public Hearing followed by discussion and possible action on any and all matters regarding Conditional Use Permit Case No. 2016-0493. A request by Kevin Burge of Core Engineering Group, PLLC, on behalf of Page Misenhimer, Trustee of RL Jones Properties, LLC, property owner, for approval of a Conditional Use Permit to allow a warehouse and transfer facility for general freight to be located on 4832 E. Vaughan Street, San Luis, Arizona.

- A. Open public hearing
  - 1. Staff Presentation
  - 2. Call to the Public on this item
- B. Close public hearing
- C. Action on Conditional Use Permit Case No. 2016-0493

**5. ITEMS REQUIRING DISCUSSION AND/OR ACTION** – the Planning & Zoning Commission will be considering a vote or action on the following cases. Any vote or action will be considered separately for each case.

**5. A.** Discussion and possible action on any and all matters regarding Subdivision Case No. 2016-0423P&F. This is a request by Edais Engineering, Inc., on behalf of Riedel Holdings, LLC, property owner, for the Preliminary & Final approval for Las Quintas de San Luis II Subdivision located south of County 22nd Street between the East Main Canal and Las Quintas Subdivision.

**6. NEW ITEMS OF BUSINESS FOR FUTURE AGENDAS**

**7. CALL TO THE PUBLIC** - This is the time for the public to comment. Members of the Commission may not discuss items that are not specifically identified on the agenda. Therefore, pursuant to Arizona Revised Statute §38-431.01(G), action taken as a result of comment will be limited to directing staff to study the matter, or scheduling the matter for further discussion and decision at a future date. All Planning & Zoning Commission meetings are recorded.

**8. ADJOURNMENT**



## PLANNING & ZONING AGENDA ITEM REVIEW FORM

### Planning & Zoning Commission Meeting

3. A.

**Meeting Date:** 10/11/2016

**Submitted By:** Roman Pacheco, Planning Technician, Planning & Zoning Department

---

#### ITEM:

#### MINUTES OF

- Regular Planning & Zoning Commission Meeting held May 10, 2016
- Regular Planning & Zoning Commission Meeting held June 14, 2016

#### SUMMARY:

#### RECOMMENDED MOTION:

---

#### Attachments

Minutes May 10, 2016

Minutes June 14, 2016

---

## **MINUTES**

REGULAR MEETING  
PLANNING AND ZONING COMMISSION  
SAN LUIS COUNCIL CHAMBERS  
1090 E. UNION STREET  
MAY 10, 2016  
7:00 PM

**CALL TO THE ORDER /ROLL CALL.** The meeting was called to order at approximately 7:01 PM., by Chairman Bill Cordova.

**PLEDGE OF ALLEGIANCE:** Pledge of Allegiance was led by Chairman Bill Cordova.

### **PRESENT:**

Chairman Bill Cordova  
Vice Chairman Javier Barraza  
Commission Member Maria G. Guzman  
Commission Member Guillermina Fuentes  
Commission Member Jose A. Ponce

### **ABSENT:**

Commission Member Daniel Bazua  
Commission Member Hugo Garcia

### **OTHER PRESENT:**

John Starkey, Zoning Administrator  
Jose A. Guzman, Assistant Planner  
Roman Pacheco, Planning Technician  
Richard Bauermann, Fire Inspector  
Vianey Vega, Vega & Vega Engineering, PLC.  
Gary Black, Comite De Bien Estar, Inc.

## **PUBLIC HEARINGS**

### **AGENDA ITEM 3.A.**

**Public hearing followed by discussion and possible action regarding Text Amendment Case No. 2016-0204. A request by the City of San Luis for a text amendment to the San Luis City Code, Chapter 152 Zoning Regulations Sections 152.259 (B) and 152.260 relating to Temporary Signs and Political Signs.**

### **Open Public Hearing**

**MOTION: Javier Barraza / Maria G. Guzman** to open public hearing. Motion passed unanimously with 6-0 votes.

**John Starkey, Zoning Administrator**, summarized staff report recommending approval of Text Amendment Case No. 2016-0204.

**Vice Chairman Barraza** asked if there is a temporary sign in the right-of-way the City of San Luis is going to remove it. **Starkey** responded that we will call the person who owns the sign and asked them to remove it and if they said it is a temporary sign. Then they will have to find a place that is not in a right-of-way to put it up. If they do not take it down then we will take it down because it is in the public right-of-way. **Starkey** furthermore explained that signs for people that are running for office, there is a whole state law about where they can put them or what can they do with them and we cannot touch them. Unless, they are blocking an intersection and causing a traffic hazard. If the police department decides it is a traffic hazard then we can call the candidate and have them relocate the sign or if the candidate does not listen to us. Then, we can remove it ourselves, and put it in our Public Works yard, call them and then they come and get it and put it somewhere else. We cannot dispose of it but we can remove the hazard.

## **CLOSE PUBLIC HEARING**

**MOTION:** **Maria G. Guzman / Jose A. Ponce** to close public hearing. Motion passed unanimously with 5-0 votes.

**MOTION:** **Javier Barraza / Maria G. Guzman** to recommend APPROVAL of Text Amendment Case No. 2016-0204 to the City Council as presented by staff. Motion passed unanimously with 5-0 votes.

## **ITEMS REQUIRING DISCUSSION AND/OR ACTION**

### **AGENDA ITEM NO. 4. A.**

**Discussion and possible action regarding Subdivision Case No. 2016-0158P. A request by Vega & Vega Engineering, PLC, on behalf of Comite De Bienestar Inc., for the preliminary plat approval for Bienestar Estates 9A Phase 2. The property is located on the southwest corner of Avenue E ½ & County 23 ½ Street, Assessor Parcel ID # 777-54-243, San Luis, Arizona.**

**John Starkey, Zoning Administrator**, summarized staff report recommending to continue preliminary plat for subdivision case no. 2016-0158P until staff comments are addressed.

**Commission member Javier Barraza**, asked Mr. Vega if there were any more residents approved him with any concerns.

**Vianey Vega, Vega & Vega Engineering** 1846 S. 8<sup>th</sup> Avenue, Yuma, AZ, responded that no, that the only comments they received was those comments addressed at the last meeting. There were no additional concerns. Furthermore, Mr. Vega mentioned that he had received the comments yesterday and we had the opportunity to go over the comments. I fell that we can addressed those comments in the final plat. If it possible we can get the preliminary plat approval contingent to meeting the comments we received yesterday.

**MOTION:** **Guillermina Fuentes / Maria G. Guzman** to recommend APPROVAL of Preliminary Plat Case No. 2016-0158P subject to the recommendation reference from the letters received from James Davey (5-4-16); Public Works Department (5-5-16), and Development Services Department (5-5-16). Motion passed unanimously with 5-0 votes.

**INFORMATION AND DISCUSSION ITEMS**

None

**NEW ITEMS OF BUSINESS FOR FUTURE AGENDAS**

**Starkey** informed members of the Planning & Zoning Commission that there was going to be a Preliminary Plat from the Las Quintas Subdivision. Rezoning of a lot from (R-3) to (MH) located in Rancho San Luis Mobile Home Subdivision.

**CALL TO THE PUBLIC**

There were no public comments.

**ADJOURNMENT**

**Chairman Bill Cordova** adjourned the meeting at approximately 7:32 PM.

## **MINUTES**

REGULAR MEETING  
PLANNING AND ZONING COMMISSION  
SAN LUIS COUNCIL CHAMBERS  
1090 E. UNION STREET  
JUNE 14, 2016  
7:00 PM

**CALL TO THE ORDER /ROLL CALL.** The meeting was called to order at approximately 7:05 PM., by Chairman Bill Cordova.

**PLEDGE OF ALLEGIANCE:** Pledge of Allegiance was led by Chairman Bill Cordova.

**PRESENT:**

Chairman Bill Cordova  
Vice Chairman Javier Barraza  
Commission Member Daniel Bazua  
Commission Member Maria G. Guzman  
Commission Member Guillermina Fuentes

**ABSENT:**

Commission Member Hugo Garcia  
Commission Member Jose A. Ponce

**OTHER PRESENT:**

John Starkey, Zoning Administrator  
Roman Pacheco, Planning Technician  
Richard Bauermann, Fire Inspector  
Jose Fimbres, San Luis Resident

**CONSENT AGENDA:**

1. **Approval of Minutes**
  - **Regular Planning & Zoning Commission Meeting held April 12, 2016**
2. **Withdrawals by Applicant - None**
3. **Time Extensions – None**
4. **Continuances --None**
5. **Approvals – None**

**MOTION:** **Javier Barraza / Daniel Bazua** to APPROVE the Consent Agenda as presented with correction in the Adjournment section. Motion passed unanimously (5-0).

**PUBLIC HEARINGS**

**AGENDA ITEM 4.B.**

**Public hearing followed by discussion and possible action regarding Rezoning Case No. 2016-0198. A request by Jose Fimbres, owner, to rezone 6,958 square feet lot from High Density (R-3) to Manufacture Home (MH) zoning district. Assessor Parcel ID # 777-28-050 located at 315 E. Cuauhtemoc Street, San Luis, Arizona.**

**Open Public Hearing**

**MOTION:** **Maria Guzman / Javier Barraza** to open public hearing. Motion passed unanimously (5-0).

**John Starkey, Zoning Administrator,** summarized staff report recommending APPROVAL of Rezoning Case No. 2016-0198.

**Vice Chairman Barraza** stated that a grandfather clause would not apply here since there use is being non-conforming use all these years. **Starkey** stated that a grandfather clause that you talked about only refer to the existing unit. They can continued to use their existing unit, they have used it for several years. Now, the applicant wants to removed it and replace it with a new unit that is expansion of the non-conforming use. Furthermore, Starkey stated that if the owner in fact wanted to move the manufacture home and build apartments there he could do that without rezoning.

**Commission Member Guillermina Fuentes**, asked if that would be the same that if the owner wanted to build a house he would not be able to do so. Starkey responded that he believed a house is a permitted use in the manufacture home district.

**Jose Fimbres, 1256 D Street**, property owner stated that he wants to rezone his lot from high density (R-3) to manufacture home in order for him to replace his existing mobile home to a newer one.

**Commissioner Fuentes**, asked the applicant if he knew that he can build a home there. **Mr. Fimbres** responded that he did.

#### **CLOSE PUBLIC HEARING**

**MOTION:** **Javier Barraza / Daniel Bazua** to close public hearing. Motion passed unanimously with 5-0 votes.

**MOTION:** **Guillermina Fuentes / Maria G. Guzman** to recommend APPROVAL of Rezoning Case No. 2016-0198 to the City Council as presented by staff. Motion passed unanimously with 5-0 votes.

#### **NEW ITEMS OF BUSINESS FOR FUTURE AGENDAS**

None

**CALL TO THE PUBLIC**

There were no public comments.

**ADJOURNMENT**

**MOTION:** **Commission Member** Guillermina Fuentes / **Commission Member Maria G. Guzman** to adjourn the Regular Planning & Zoning Meeting at approximately 7:25 p.m. Motion passed unanimously.



## PLANNING & ZONING AGENDA ITEM REVIEW FORM

### Planning & Zoning Commission Meeting

4. A.

**Meeting Date:** 10/11/2016

**Submitted By:** Jose A. Guzman, Assistant Planner, Planning & Zoning Department

---

#### ITEM:

Public Hearing followed by discussion and possible action on any and all matters regarding Conditional Use Permit Case No. 2016-0493. A request by Kevin Burge of Core Engineering Group, PLLC, on behalf of Page Misenhimer, Trustee of RL Jones Properties, LLC, property owner, for approval of a Conditional Use Permit to allow a warehouse and transfer facility for general freight to be located on 4832 E. Vaughan Street, San Luis, Arizona.

- A. Open public hearing
  - 1. Staff Presentation
  - 2. Call to the Public on this item
- B. Close public hearing
- C. Action on Conditional Use Permit Case No. 2016-0493

#### BACKGROUND:

The applicant is requesting a Conditional Use Permit to allow a warehouse and transfer facility for general freight, to establish in a Light Industrial (L-1) zoning district, Assessor's Parcel No. 227-23-029. The Conditional Use Permit is required as per Article 2-6 Chapter 8 Section 8.1-C.3 of the City of San Luis Zoning Ordinance.

This is the first proposed development in the Magrino Industrial Park Unit 2 Subdivision. All lots adjacent to this development are zoned Light Industrial and are undeveloped. The nearest development to this proposed project are the Port of Entry II and the ADOT Facility.

#### ANALYSIS:

The proposed building is approximately 49,800 sq. ft. and is planned to be a warehouse transfer/custody and inspection facility. The building will house an approximately 13,000 sq. ft. cooler/freezer space and a 3,000 sq. ft. office with the balance being a warehouse/transfer facility which is contained within a fenced/secured site.

There would also be a customs inspection office to allow the review of imported products from Mexico. The project will have appropriate drainage facilities, landscaping, parking and utility connections.

#### GENERAL PLAN:

This area is designated as "Business" in the City of San Luis 2020 General Plan. The Business Land Use designation includes all types of higher intensity commercial, office, employment and appropriate industrial uses. The property is zoned as Light Industrial (L-1) which is one of the appropriate zoning districts in the "Business" category.

#### AGENCY REVIEW:

As part of the review process, all land use cases are reviewed by various City and outside agencies. As required by State Statute, staff sent notification letters to property owners within 300 feet of the proposed project ( 3 letters).

The City has not received any significant concerns or objections from the various review agencies or adjacent property owners.

**SUMMARY:**

The applicant has provided the information and materials necessary for review of the Conditional Use Permit.

The Conditional Use Permit is to allow a warehouse and transfer facility for general freight on property located at 4832 E. Vaughan Street. It will still be required to comply with all applicable regulations adopted by the City.

Staff recommends approval of Conditional Use Permit Case No. 2016-0493.

The reason for approval is that the request meets the criteria of the City of San Luis Zoning Ordinance and is consistent with the City of San Luis 2020 General Plan.

**RECOMMENDED MOTION:**

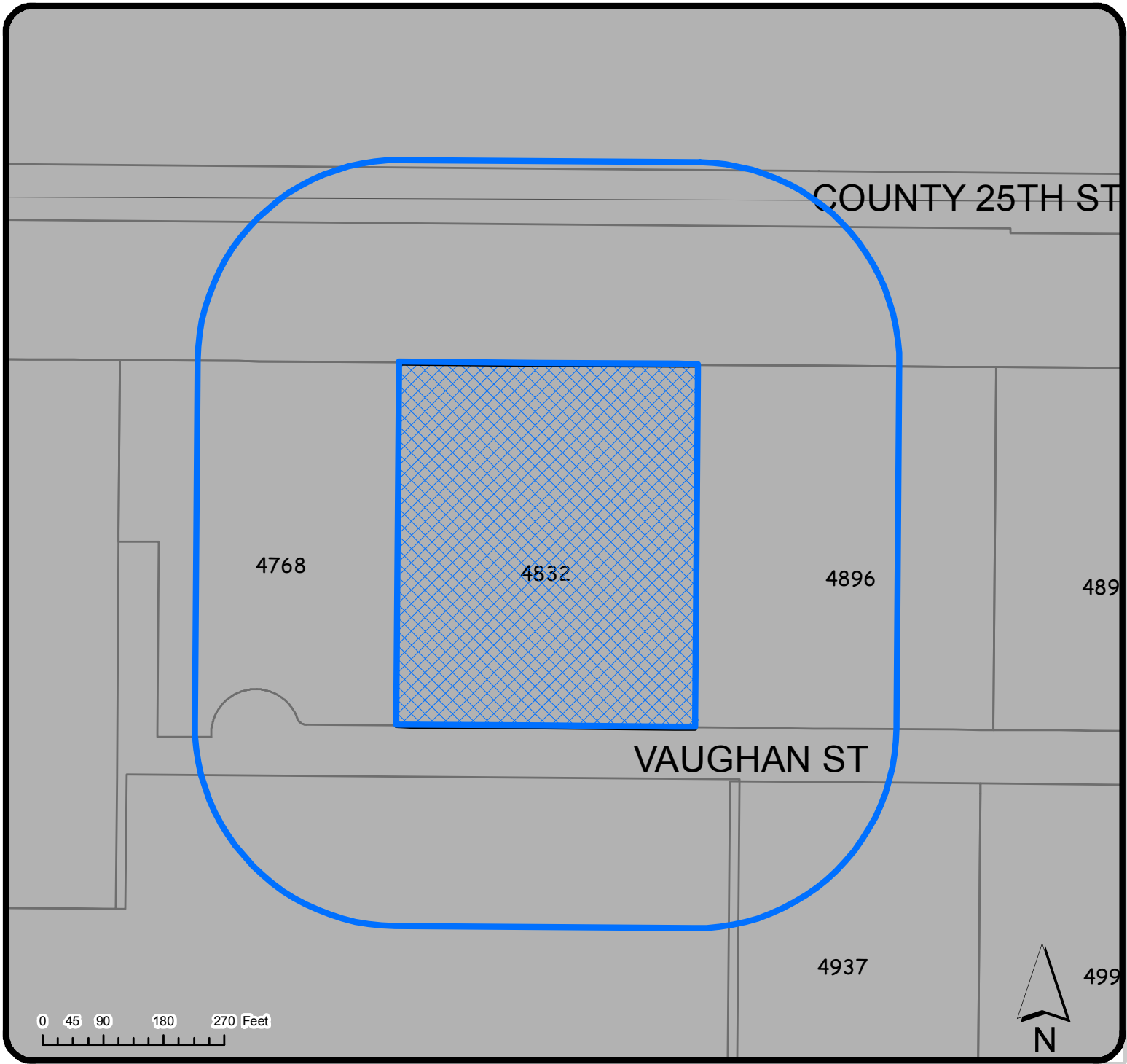
**I move to recommend APPROVAL of Conditional Use Permit Case No. 2016-0493 to the City Council as presented by staff.**

---

**Attachments**

Location Map  
Site Plan  
Picture of Location  
Letter of Request

---



# Location Map **CONDITIONAL USE PERMIT**

**PROPOSED LOCATION**



**PARCEL: 227-23-029  
4832 E VAUGHAN ST**

**ZONING LEGEND**



**Date:**  
8/21/2016

**Checked By:**  
JG

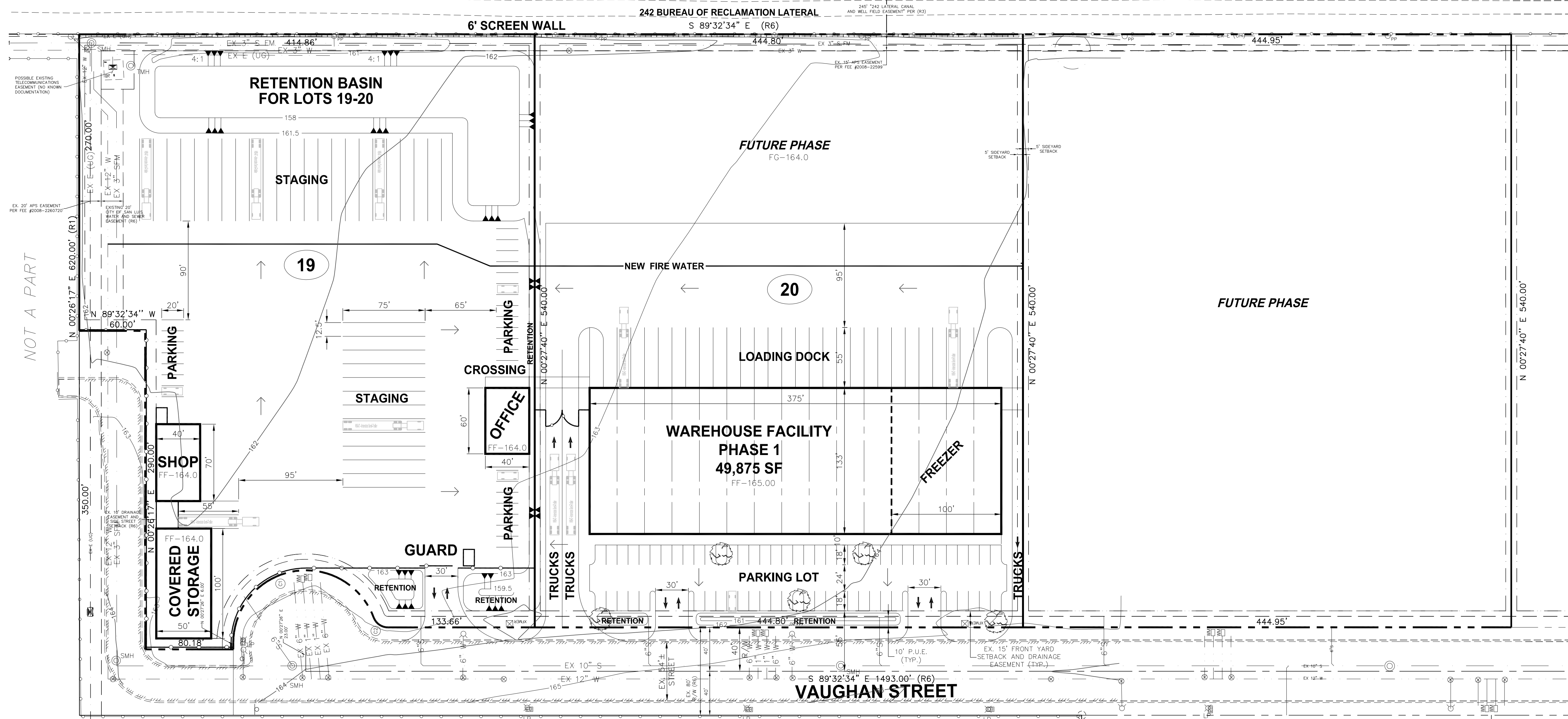
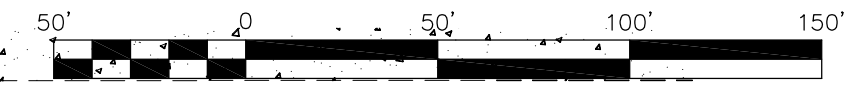
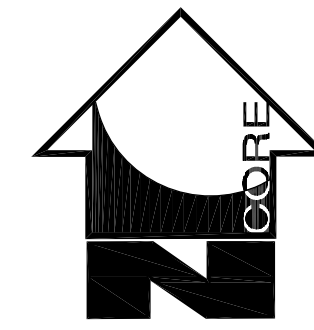


**Prepared By:**  
IG

**APPROVED BY:**  
JS

**Case No.**  
2016-0493  
RL JONES  
PHASE 1

# RL JONES PHASE 1 AT SAN LUIS II POE CONCEPTUAL SITE LAYOUT MAGRINO INDUSTRIAL PARK UNIT NO. 2 LOTS 19 and 20



NOT A PART

NOT A PART  
LOT 21  
LOT SPLIT/LOT TIE FOR  
MAGRINO INDUSTRIAL PARK UNIT NO. 2 LOTS 1-8  
BOOK 28, PAGE 16, YCR

### LEGEND

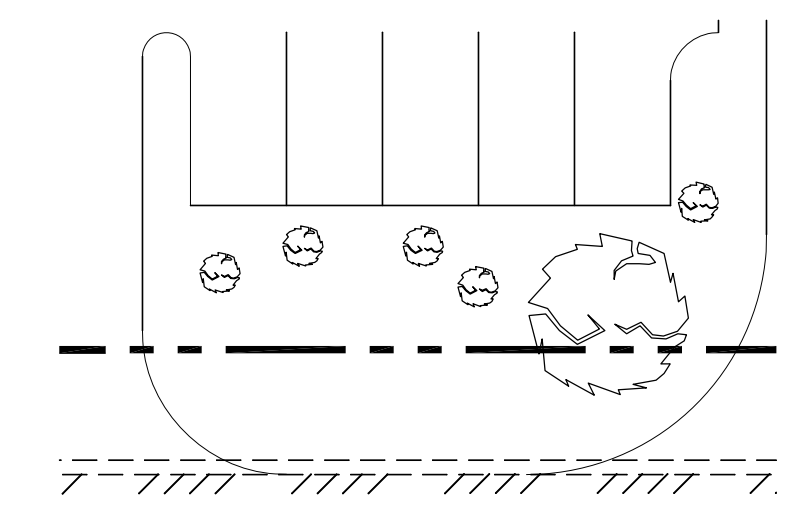
---	CENTERLINE	○	EX. MANHOLE
- - -	RIGHT-OF-WAY	○	EX. CLEAN OUT
- - -	EX. WATER LINE	○	EX. WATER METER
- - -	EX. SEWER LINE	□	EX. GAS METER
- - -	EX. OVERHEAD ELECTRIC LINE	□	EX. MAIL BOX
- - -	EX. UNDERGROUND ELECTRIC LINE		
- - -	EX. UNDERGROUND FIBER OPTIC LINE		
- - -	EX. GAS LINE		
- - -	EX. BLOCK WALL		
- - -	EX. CURB AND GUTTER		
- - -	EX. CONCRETE		
- - -	EX. EDGE OF PAVEMENT		
- - -	EX. CHAINLINK FENCE		
- - -	EX. WOOD FENCE		
- - -	EX. POWER POLE		
- - -	EX. TELEPHONE POLE		
- - -	EX. LIGHT POLE		
- - -	EX. ELECTRIC BOX		
- - -	EX. GUY WIRE		
○	LOT NUMBER		
○	RETENTION		
○	CONTOUR		
○	TREE		
→	DRAINAGE FLOW ARROW		

### DISCLAIMER

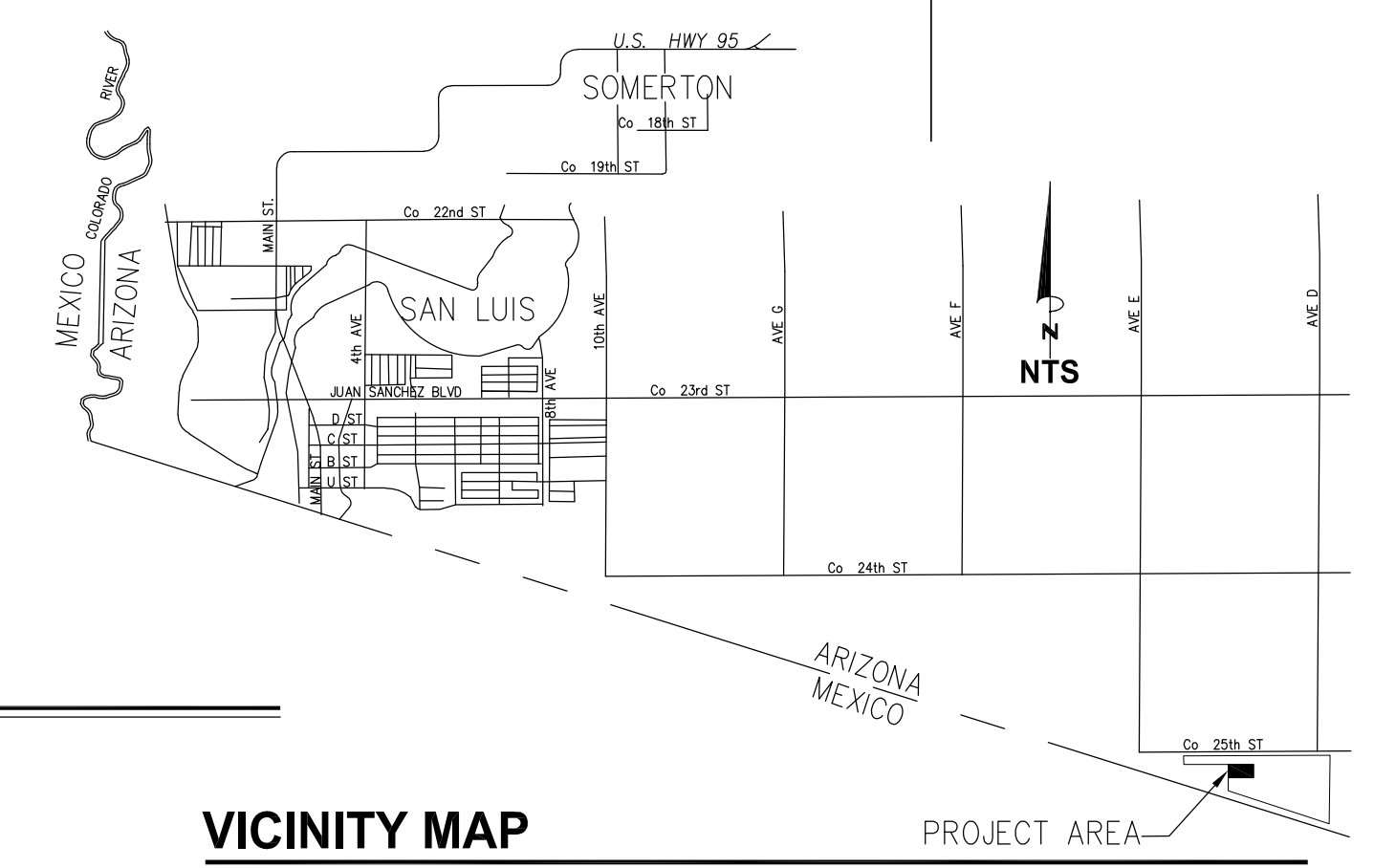
THE SITE PLAN PRESENTED IN THIS EXHIBIT IS PRELIMINARY AND ELEMENTS MAY CHANGE OR BE MODIFIED DURING FINAL DESIGN. THE PURPOSE OF THE EXHIBIT IS TO DEMONSTRATE THE PROPOSED SITE USE AND SURROUNDING FACILITIES THAT WILL SUPPORT THE FUNCTION OF THE PROPOSED USE.

### NOTE

EASEMENTS FOR PARKING, ACCESS, DRAINAGE AND FIRE LINE WILL BE PROVIDED IN PROJECT DEVELOPMENT.



**TYPICAL LANDSCAPE ISLAND**  
BY CITY OF SAN LUIS STANDARD



**VICINITY MAP**

**CORE ENGINEERING GROUP, PLLC**  
200 East 16th Street, Suite 150  
Yuma, AZ 85364  
V - 928.344.5931 F - 928.344.5932  
www.CoreEngineeringGroup.com  
Core@core-e-g.com

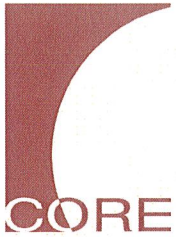
**RL Jones Phase 1 at San Luis II POE**  
MAGRINO INDUSTRIAL PARK UNIT NO. 2 - LOTS 19 & 20  
SAN LUIS, AZ  
**CUP - CONCEPTUAL SITE PLAN**

PRELIMINARY  
NOT FOR CONSTRUCTION

Date: SEP 2016  
Designed: K.L.B.  
Drawn: J.M.G.  
Checked: D.J.N.  
Proj. No.: 16-043

Wed, 21 Sep 2016 8:07am 2:\2016\16-043\dwg\CUP\16-043\_CUP\_Site Plan Lots 19 and 20.dwg Core Engineering Group, PLLC





Core Engineering Group, PLLC

200 E. 16<sup>th</sup> Street, Suite # 150  
Yuma, Arizona 85364

voice 928-344-5931

fax 928-344-5932

www.CoreEngineeringGroup.com

## MEMORANDUM

**Date:** September 20, 2016

**To:** Jose A. Guzman,  
Assistant Planner

**From:** Kevin L. Burge, P.E.

**Re:** Conditional Use Permit Application Narrative  
R.L. Jones Phase 1 at Magrino Industrial Park Unit 2  
Warehouse, Transfer/Custody Facility

The developer is developing a 49,800+ SF Warehousing Transfer/Custody and Inspection Facility in Magrino Industrial Park Unit 2. This facility will be sited on Lot 20 of the subdivision (formerly Lots 3 and 4) which is zoned Light Industrial. The building will house an approximately 13,000 SF cooler/freezer space and a 3,000 SF office with the balance being a warehouse/transfer facility which is contained within a fenced/secured site. There will be also be a customs inspection office to allow the review of imported products from Mexico. The project will have appropriate drainage facilities, landscaping, parking and utility connections.

Per Article 2-6, Section 8.1, Subsection C.3 a permitted "Conditional Use" is "Warehouse and transfer facilities for general freight." This classification is what the developer wishes construct so to that end we are filing the attached Conditional Use Permit application.

Finally, please note that the layout is schematic in nature and the design may be modified at some point going forward, but the site use in this application will remain unchanged.



## PLANNING & ZONING AGENDA ITEM REVIEW FORM

### Planning & Zoning Commission Meeting

5. A.

**Meeting Date:** 10/11/2016

**Submitted By:** Jose A. Guzman, Assistant Planner, Planning & Zoning Department

---

#### ITEM:

Discussion and possible action on any and all matters regarding Subdivision Case No. 2016-0423P&F. This is a request by Edais Engineering, Inc., on behalf of Riedel Holdings, LLC, property owner, for the Preliminary & Final approval for Las Quintas de San Luis II Subdivision located south of County 22nd Street between the East Main Canal and Las Quintas Subdivision.

#### BACKGROUND:

This subdivision will contain approximately 27.58 acres and is proposed to be divided into 113 lots, ranging in size from approximately 6,000 to 16,833.33 square feet. The property is located south of County 22nd Street between the East Main Canal and Las Quintas Subdivision. Assessor's Parcel No. 776-11-001 and 776-03-003, San Luis, Arizona. This property has a General Plan land use designation of Neighborhood.

The area is zoned Medium Density Residential (R1-6) and is currently undeveloped. The areas to the west, north and south are zoned as Rural Area Residential (RA-10) and are undeveloped land and only the property to the west is being used for agricultural purposes. The area to the east is zoned as Medium-High Density Residential (R-2) and is developed as single family homes (Las Quintas de San Luis and Bienestar Estates No. 7A Subdivisions).

#### GENERAL PLAN:

This area is designated as Neighborhood in the City of San Luis 2020 General Plan. The activities proposed will be consistent with that designation (Chapter 2, Page 19-20). The Neighborhood Land Use designation allows all types of residential development.

#### ANALYSIS:

Improvement District are required for all new subdivisions:

- Street Light Improvement District (Subdivision Regulations Section 3.17-5)
- Community Facilities District (Subdivision Regulations Section 3.17-6)
- Enhanced Municipal Services District (Subdivision Regulations Section 3.17-7)

These three documents are required at the time of the Final Plat. The Improvement Districts shall be written to incorporate the entire subdivision as shown in the Preliminary Plat and will be recorded in conjunction with the Final Plat. The various Improvement Districts will not be activated until needed but they must be put into place at the time of recording the Final Plat.

As part of the review process, all land use cases are reviewed by various City and outside agencies. We have received comments from the following agencies:

1. Planning and Zoning Department
2. Public Works Department
3. James Davey and Associates
4. Core Engineering Group, PLLC

## 5. Yuma County Water Users' Association

The City has not received any other significant concerns or objections from the various review agencies.

City staff and engineers reviewed the preliminary plat and sent correction comments to the developer. The applicant met with City staff to go over the comments and submitted other plans with some of the comments addressed.

### **SUMMARY:**

The applicant has substantially provided the information and materials necessary for review of the Preliminary and Final Plat for Las Quintas de San Luis II Subdivision.

Staff recommends APPROVAL of the Preliminary Plat and Final subject to the following conditions:

1. Improvement Districts are required for all new subdivisions:
  - a) Street Light Improvement District
  - b) Community Facilities District
  - c) Enhanced Municipal Services District
2. Applicant must correct, as noted, the comments attached prior to presenting the Final Plat before the City Council.
3. All conditions of the Development Agreement must be met (Resolution No. 1145)

### **RECOMMENDED MOTION:**

**I move to approved Preliminary and Final Plat subject to the attached Conditions of Approval for Las Quintas de San Luis II Subdivision.**

---

### **Attachments**

Conditions of Approval

Location Map

Picture of Location

Preliminary Plat

Final Plat

Yuma County Water User's Association comments

---

### **CONDITIONS OF APPROVAL**

The Final Plat shall be presented to City Council when all conditions of approval have been met. The property-owner shall provide the City Department of Planning and Zoning with check made out to the Yuma County Recorder for the appropriate amount.

1. Improvement Districts are required for all new subdivisions:
  - a) Street Light Improvement District (Subdivision Regulations Section 3.17-5)
  - b) Community Facilities District (Subdivision Regulation Section 3.17.6)
  - c) Enhanced Municipal Services District (Subdivision Regulations Section 3.17-7)
2. The applicant must correct, as noted, the comments attached prior to presenting the Final Plat before the City Council.
3. All conditions of the Development Agreement must be met (Resolution No. 1145)



# City of San Luis

## Development Services

---

September 22, 2016

Najeh Edais  
Edais Engineering, Inc.  
3075 South Avenue 4 East  
Yuma, AZ 85365

Re: Subdivision Case No. 2016-0423P&F/ Las Quintas de San Luis II

City staff have reviewed the plans for Las Quintas de San Luis II and have the following comments:

### **Development Services:**

1. Development Agreement-
  - A. Improvements must be shown on the south side of County 22nd Street between Las Quintas De San Luis II subdivision and 10th Avenue as agreed on Article 3- Section 3.5 of the Development Agreement.
  - B. Development Agreement- Exhibit B- Lots 1-16 were previously shown to be located on the west side. In order to provide complete information on the report presented to the Commission; is there a specific reason why they are proposed on the east side now?
2. Subdivision Regulations Section 3.27-2, Driveway for corner lots must be clearly shown.
3. Subdivision Regulations Section 3.28, Lot dimensions shall comply with the minimum standards of the Zoning Ordinance. As per Chapter 5-Table No. 3 of the Zoning Ordinance- R1-6:
  - A. Minimum Lot Width- 60 feet and 65 feet on corner lots.
  - B. For width on the inside of the curve lots refer to Section 1.12-B.112 (B) of the Zoning Ordinance.
4. Subdivision Regulations 3.22 Protective Fence along the Canal and County 22nd Street.
5. Are the slopes on lots 1-40 the sole responsibility of the individual property owner or is the developer installing a retaining wall?
6. As per Section 18.2 of the Zoning Ordinance, Required landscaping for a subdivision development shall include... retention or detention basins, ... and the adjacent public right-of-way as required in Section 18.3-B.2.

**City Engineer:**

## Tentative Plat –

1. Ensure all lots have minimum lot width of 60 feet, in particular check lots 46, 47, 48 and 98.
2. All corner triangles at street intersections shall have chamfers with 25 foot legs, per Yuma County standards.
3. Add 1' non-access easements for side lot lines that are adjacent to streets and for corner triangles.
4. The subdivision boundary at lots 46 through about 54 appears to encroach on the East Main Canal operation and maintenance road as it is constructed. Please verify with the Yuma County Water Users' Association that they agree with the subdivision boundary as shown and submit documentation of their concurrence with the subdivision boundary.
5. Provide street names on the plat.

## Preliminary Improvement Plans –

1. For Tentative Plat Approval, the Preliminary Improvement Plans appear to provide the overall infrastructure needed for the Subdivision. Many of the comments below can be addressed after Tentative Plat Approval.
2. Paving and Grading Plans –
  - Provide better details, including profile views, of the retaining wall along the south subdivision boundary. The top of the wall appears to be at or even below the adjacent ground to the south. This should be extended to 6' above the adjacent grades per Section 3.22 of the Subdivision Ordinance.
  - The retaining wall along the west boundary between retention basins 1 and 2 is substantially below the adjacent sidewalk grades in areas. Revise to match sidewalk elevation.
  - Submit engineering designs for walls around individual lots if walls exceed 6 feet in height as measured from lowest adjacent grade.
  - Detail K-6 – Local Residential Street shows roll curb and gutter instead of vertical curb and gutter. Revise to vertical curb and gutter.
  - Note calling out subdivision boundary monuments is shown as Note 9 – should be Note 14.
  - Drainage Report –
    - Rainfall/Runoff Calculations – Runoff volume calculations appear to be correct. Rainfall intensity and peak runoff rates are incorrect – calculate time of concentration and use the Rainfall Intensity – Duration – Frequency curves from YCPW Standards Volume III and recalculate peak runoff rates.
    - Provide peak runoff rates for individual streets and ensure hydraulic capacities of streets are adequate.

- Provide peak runoff rates for each concrete spillway and ensure hydraulic capacities of spillways are adequate.
- Include offsite flows from County 22<sup>nd</sup> Street right-of-way to the east of the subdivision in the drainage report and in the volume for Retention Basin 2
- Retention basins should have 25% additional volume and should have 1' freeboard per YCPW Standards Volume III, Section 3.6.
- Retention Basin 2 (north retention basin) – add an additional concrete spillway along north-south subdivision road to keep majority of subdivision runoff off of County 22<sup>nd</sup> Street.
- County 22<sup>nd</sup> Street –
  - Provide signing and striping plan
  - Provide means of handling stormwater runoff from the north half of County 22<sup>nd</sup> Street (either separate retention area to the north or collection system and storage in Retention Basin No. 2.)
  - Show grading details between roadway and adjacent right-of-way lines.

3. Water and Sewer Plans –

- Water line adjacent to lots 45 through 49 should be 8-inch if this line has potential to be extended in the future.
- Replace sewer cleanout adjacent to lots 45-46-47 with a sewer manhole.
- Show water line crossings in sewer profiles.
- Change detail T-6 – Typical Water and Sewer Crossings – to show C909 PVC pipe instead of ductile iron pipe.


**Public Works Department:**

1. Include Street Lighting Plan.
2. Assure NAE are used to allow safest location for future driveways.
3. Assure all retaining walls are within property limits. Add notes to details.
4. Provide safety barrier for pedestrians and vehicles next to retention wall (in front of lots 3 to 12).
4. Provide delineated drainage areas that correlate with drainage report.
5. Show calculations demonstrating stormwater on the downstream end of drainage areas is contained within the curbs.
6. Show calculation showing spillways have adequate capacity.
7. Assure retention basins have proper free board.
8. Water and Sewer Main on Co. 22nd are not connected to the east. Provide plans with all necessary infrastructure to have a functional system.
9. Show improvements along Co. 22nd as agreed to on DA.

As previously requested, is profile data of Co. 22nd available east of STA 8+00. Need to verify vertical curve does not extend limits of profile provided.

If you have any questions on these comments, please contact John Starkey, Planning and Zoning Director at 928-341-8563 or Eulogio Vera, Public Works Director at 928-341-8577.

Thank you,



John Starkey  
Planning and Zoning Director

## Jose A. Guzman

---

**From:** Jose A. Guzman  
**Sent:** Monday, September 26, 2016 6:05 PM  
**To:** 'Nieves G Riedel'; najeh@edaisgroup.com  
**Cc:** Eulogio Vera; John Starkey  
**Subject:** RE: Las Quintas 2  
**Attachments:** Las Quintas II Core Engineering Comments.pdf

Good afternoon Ms. Riedel,

Please find attached the comments from Core Engineering regarding Las Quintas de San Luis II Subdivision-Tentative Plat Improvement Plans.

In addition to the review comments for the tentative plat, the following comments shall also be addressed for Final Plat Improvement Plans.

- Coordinate proposed improvements with final traffic impact analysis prepared by Core Engineering Group. (Core should be supplying final TIA soon)
- Update sewer manhole details to resin based (non-cement polymer manholes. The two latest subdivisions have been constructed with non-corrosive polymer manholes.

Please submit Final Plat Plans at your earliest convenience.

Let me know if you have any questions. Thank you,

### JOSE ANTONIO GUZMAN

ASSISTANT PLANNER

#### CITY OF SAN LUIS

1090 East Union Street | P.O. Box 3750 | San Luis, AZ 85349

P: (928) 341-8563 Ext. 2014 | Direct Line: (928) 314-9114

[jaguzman@cityofsanluis.org](mailto:jaguzman@cityofsanluis.org) | [www.cityofsanluis.org](http://www.cityofsanluis.org)



---

**From:** Nieves G Riedel [<mailto:ngriedel@hotmail.com>]  
**Sent:** Monday, September 26, 2016 11:54 AM  
**To:** Jose A. Guzman  
**Subject:** Re: Las Quintas 2

THANKS

---

**From:** Jose A. Guzman <[jaguzman@cityofsanluis.org](mailto:jaguzman@cityofsanluis.org)>  
**Sent:** Monday, September 26, 2016 12:52 PM  
**To:** Nieves G Riedel; [najeh@edaisgroup.com](mailto:najeh@edaisgroup.com)

**Cc:** John Starkey; Eulogio Vera

**Subject:** RE: Las Quintas 2

Hello Ms. Riedel,

The Public Works Director is reviewing the comments from Core and the Traffic Study. As soon as this is done, I will email you the comments.

Let me know if you have any questions. Thank you,

Jose A. Guzman

-----Original Message-----

From: Nieves G Riedel [<mailto:ngriedel@hotmail.com>]

Sent: Monday, September 26, 2016 9:52 AM

To: Jose A. Guzman; Roman Pacheco; Tadeo A. DeLaHoya; John Starkey; Najeh Edais

Subject: Las Quintas 2

Hello Jose any news on Core questions we are weighting for them so we can finish with the answers .

Sent from my iPad. Gracias Nieves



**Core Engineering Group, PLLC**

200 E. 16<sup>th</sup> Street, Suite # 150  
Yuma, Arizona 85364

voice 928-344-5931

fax 928-344-5932

[www.CoreEngineeringGroup.com](http://www.CoreEngineeringGroup.com)

September 23, 2016

John Starkey  
Director of Building Safety  
1090 E. Union Street  
PO Box 3750  
San Luis, AZ 85349

Re: Las Quintas de San Luis 2 Subdivision – Tentative Plat  
Edias Engineering Job No. 14-015

Dear Mr. Starkey:

The below comments on the Las Quintas de San Luis 2 subdivision tentative plat submittal are based on the Subdivisions Regulations of the City of San Luis. The review of the submittal was limited to the plat and the paving and grading plans to include sheet 00 to 7.

**Tentative Plat – Sheets 1 and 2**

- 1) Section 4.3 (30): List owner's name of the adjoining property. This would pertain to the lots to the east and the property to the south.
- 2) Some curve lengths are listed twice, once on the plan and then in the curve table.
- 3) The basis of bearing listed on page 1 of the plat doesn't match what is shown on page 2 for County 23<sup>rd</sup> Street.
- 4) Corner lots are to be a minimum of 65' wide per Table No. 3 of the Zoning code. See footnote (a). This affects Lots 26, 45, 86, 93, 94, 97, 99, 102, 103, 107, and 109.

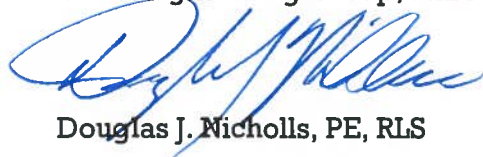
**Tentative Paving & Grading Plan – Sheets 3 and 4**

- 1) Vertical Datum is not listed.
- 2) Cross Section B/2: Slopes no steeper than 3:1 are required unless specified in a Geotechnical report. While the detail demonstrates this, the plan indicates a 2:1 slope at lots 46 through 68. Please revise or provide Geotechnical report allowing steeper slopes.
- 3) Please show building setback line. There are areas of slopes which reduce the buildable area of lots, particularly for lots 1-8 and 17-25. Missing information to construct the slope on either the plan or detail (i.e. top elevation, bottom elevation, etc.). It isn't clear whether a reasonably sized house can be placed on these lots.
- 4) Cross Section B/2 and plans: Is it the intent to drain the west side of lots 46 – 68 to Tract A? If so, please provide an easement and plan information to show flow to Tract A. If not, demonstrate that the Lot can self-retain along the interface at the retaining wall. Missing information to construct the slope on either the plan or detail (i.e. top elevation, bottom elevation, etc.).
- 5) Section 3.25: While the San Luis subdivision regulations allow a 4' minimum sidewalk width, the 2010 ADA Standards for Accessible Design (Section 403.5.3) and 2011 Proposed Accessibility Guidelines for Pedestrian Facilities in the Public Right-of-Way (Section R302.4) require a minimum 5' x 5' passing space at intervals of 200' maximum. Provide passing spaces as required.
- 6) Provide existing grades of the east adjoining properties to allow grading analysis.

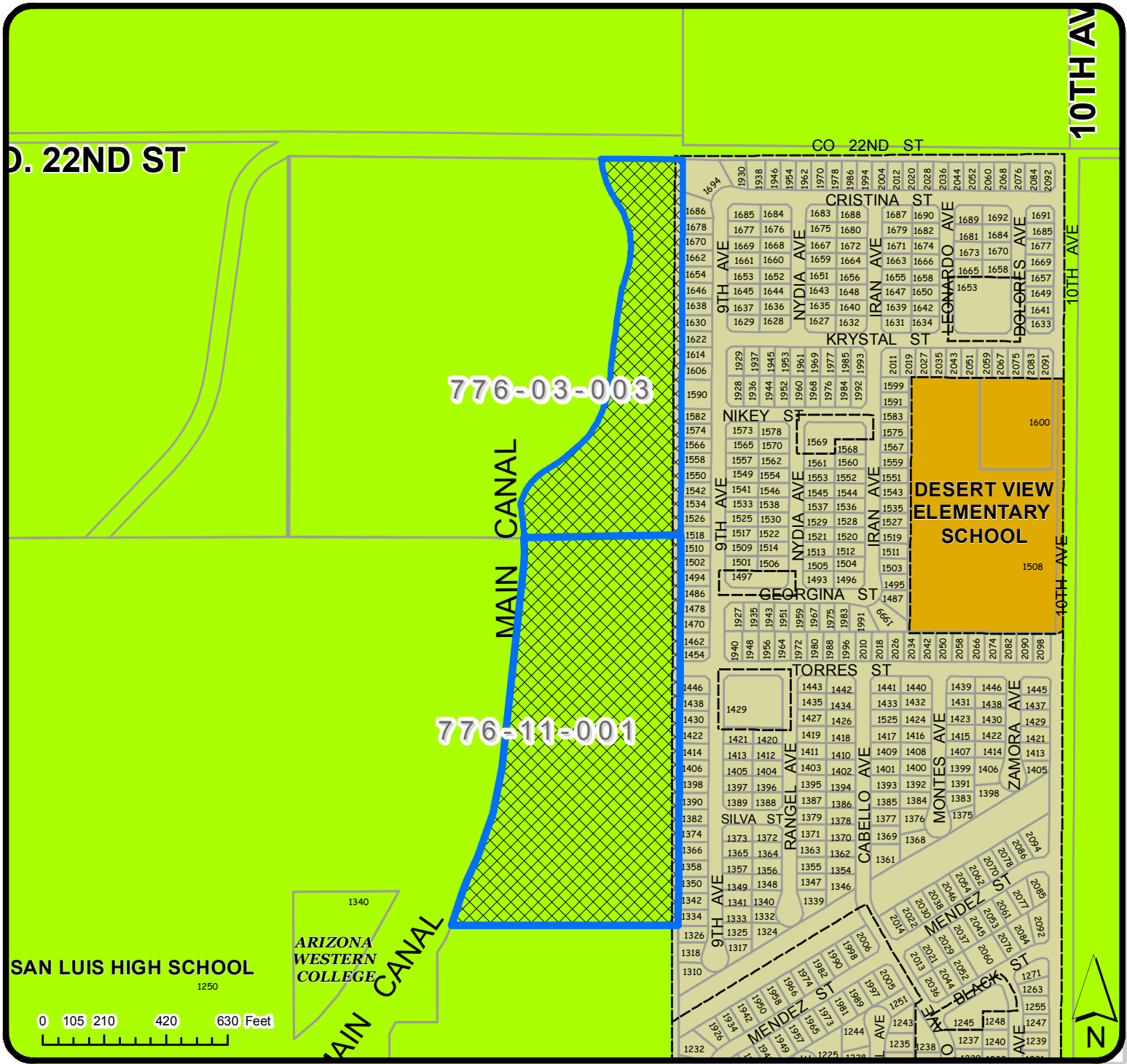
- 7) Provide calculations for the retaining walls sealed by a civil or structural engineer. Retaining wall design should be supported by an appropriate geotechnical report listing the active and passive pressures, soil weights, etc.
- 8) Retention basin #2 does not meet Yuma County Standards for the required factor of safety of 1.25. Reference Public Works Standards for Yuma County Volume III: Storm Drainage Facilities.
- 9) Where they differ from the identified standard, details should be listed as (Modified).
- 10) Keynote 7 lists crown transitions at 50 feet, however no crowns are at 50 foot. Revise to have all crown lengths to 50 foot minimum.
- 11) Keynote 9 appears at each PC and PT of the wall, but does not match the keynote description for 9. Revise keynote number.
- 12) On Page 3, a dimension of 157' is not tied to any item.
- 13) A portion of the drainage appears to leave the site at the north end of Beall Avenue and turn west along County 22<sup>nd</sup> Avenue. Some of this drainage would likely bypass the depressed sidewalk drainage scupper. Add a drainage intercept along Beall Avenue at the corner and adjust the grading of the south approach to prevent drainage from leaving the subdivision.
- 14) Provide signing and striping sheet for Co. 22<sup>nd</sup> Street.
- 15) On vertical profile of Co. 22<sup>nd</sup> Street, provide vertical curve information for each curve to include actual sight distance provided and required.
- 16) For Detail N/6, a 6:1 minimum side slope is required as it is considered "recoverable" by AASHTO in the event of a run off the road event.

Please contact us if you have any questions.

Sincerely,  
Core Engineering Group, PLLC



Douglas J. Nicholls, PE, RLS



**PROPOSED LOCATION**

**PARCEL: 776-03-003 & 776-11-001**

# Location Map

**SUBDIVISION**

**ZONING LEGEND**

MULTIPLE RESIDENCE ZONING DISTRICTS

R-2

R-3

SINGLE RESIDENCE ZONING DISTRICTS

RA-10

**Date:**

8/16/2016

**Checked By:**

JG



GIS DIVISION

**Prepared By:**

IG

**APPROVED BY:**

JS

**Case No.**

2016-0423P  
LAS QUINTAS  
DE SAN LUIS II

County 22nd Street



Project Area

Sidewinder Road



# LAS QUINTAS DE SAN LUIS 2 SUBDIVISION

## WATER LINE GENERAL NOTES

- ALL WATER LINE CONSTRUCTION HEREON TO BE IN ACCORDANCE WITH YUMA COUNTY STANDARDS AND SPECIFICATIONS AND THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FURNISHING TO THE ENGINEER OF "AS-BUILT" RECORD DRAWINGS. THE CONTRACTOR SHALL OBTAIN ONE SET OF PLANS FROM THE ENGINEER AND SHALL RECORD IN RED COLORED PENCIL ALL CASES WHERE ACTUAL FIELD CONSTRUCTION DIFFERS FROM WORK SHOWN ON THE PLANS, TO INCLUDE SERVICE LOCATIONS.
- ALL WATERLINES WILL BE PRESSURE AND LEAKAGE TESTED TO 150 PSI FOR 2 HOURS. SEE THIS SHEET FOR TEST PROCEDURE.
- WATER CONTRACTOR SHALL PROVIDE THE ENGINEER WITH A COPY OF THE BACTERIOLOGICAL TEST RESULTS TAKEN ON THE SYSTEM.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE BLUE STAKE CENTER TO LOCATE ALL UNDERGROUND EQUIPMENT WITHIN THE CONSTRUCTION AREA 48 HOURS PRIOR TO THE START OF ANY EXCAVATION. CALL THE BLUE STAKE CENTER AT 1-800-782-5348. CONTRACTOR SHALL VERIFY LOCATION AN ELEVATIONS OF ALL EXISTING UTILITIES. PRIOR TO ANY CONSTRUCTION LOCATION OF UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE AND INFORMATION ONLY.
- THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO HIS OPERATIONS. ANY DAMAGE TO THE UTILITIES SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
- DEFLECT 8" WATER LINE AS SHOWN. MAX. EXCEPTABLE DEFLECTION OF 8" PIPE PER STANDARD 20' LENGTH TO BE 9". NO DEFLECTION TO OCCUR AT JOINT.
- THE ENGINEER SHALL REVIEW ALL PIPE (WATER) MATERIAL SUBMITTALS TO ENSURE CONFORMANCE TO REQUIREMENTS BEFORE THE START OF CONSTRUCTION.
- ALL WATER LINES (MAINS AND SERVICES) SHALL INCLUDE THE INSTALLATION OF TRACER WIRE IN ACCORDANCE WITH STANDARD DETAIL No. 5-210.
- THE END OF EACH WATER LINE TO HAVE A TEMPORARY OR PERMANENT BLOWOFF VALVE, AS SHOWN IN PLANS.
- THE CONTRACTOR MUST COORDINATE CONSTRUCTION INSPECTION WITH THE ENGINEER.
- WATER/ SEWER LINES SEPARATION NEEDS TO BE IN ACCORDANCE WITH A.A.C.R18-4-502.C.

## WATER LINE TESTING PROCEDURE

- ALL VISIBLE LEAKS SHALL BE REPAIRED REGARDLESS OF THE AMOUNT OF LEAKAGE AND REGARDLESS OF WHETHER THE LEAK DEVELOPS UNDER TEST PRESSURE OR LINE PRESSURE.
- INITIAL PRESSURES FOR BOTH THE PRESSURE TEST AND ALLOWABLE LEAKAGE TEST SHALL BE A MINIMUM OF 150 PSI
- A PRESSURE TEST WILL BE DEEMED AS SUCCESSFUL IF IT PASSES THE CRITERIA SET FORTH BY AWWA C-600, SEC. 94 (CURRENT EDITION) AND THAT CRITERIA NOTED ABOVE.
- SHOULD THE PRESSURE TEST BE UNSUCCESSFUL, THE CONTRACTOR HAS THE OPTION OF ATTEMPTING THE ALLOWABLE LEAKAGE TEST. THIS TEST WILL BE DEEMED SUCCESSFUL IF IT PASSES THE CRITERIA SET FORTH IN AWWA C-600, SECTION 94 (CURRENT EDITION) OR AWWA M-23 (CURRENT EDITION) WHICHEVER IS MORE RESTRICTIVE AND THAT CRITERIA NOTED ABOVE.
- DISINFECTION PROCEDURES FOR WATER LINES TO BE DONE AS PER AWWA C-605-94

## ROAD CONSTRUCTION NOTES:

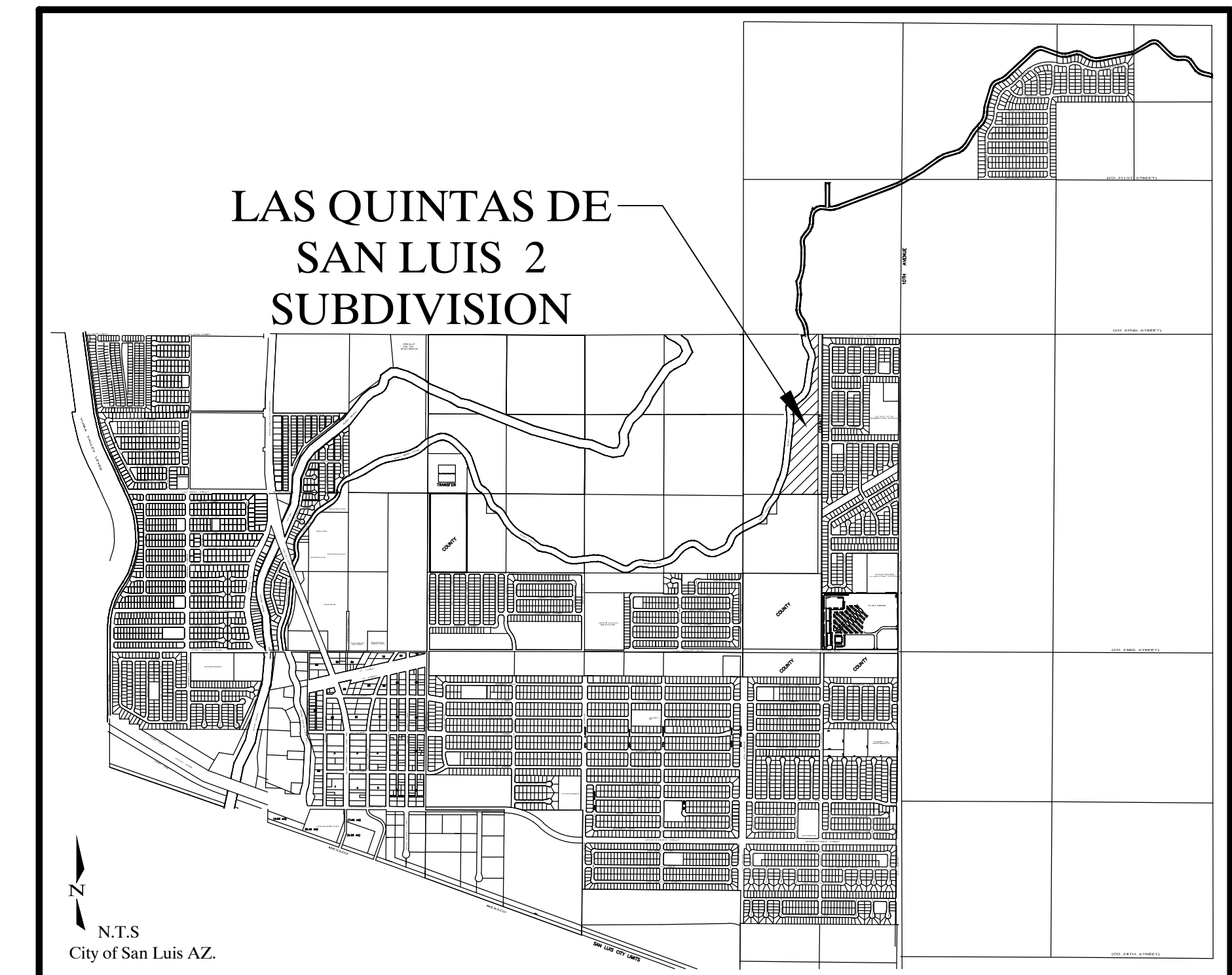
- ALL MATERIALS AND CONSTRUCTION HEREON SHALL CONFORM TO YUMA COUNTY, AS ADOPTED BY THE CITY OF SAN LUIS, STANDARD SPECIFICATIONS AND CONSTRUCTION STANDARDS UNLESS OTHERWISE SHOWN ON THESE PLANS.
- ALL CITY OF SAN LUIS REQUIRED COMPACTION AND LABORATORY TESTS SHALL BE FURNISHED BY THE CONTRACTOR TO THE CITY OF SAN LUIS PRIOR TO ACCEPTANCE OF THE PROJECT.
- ALL DIMENSIONS HEREON ARE TO THE BACK OF CURB.
- CONTRACTOR TO MAINTAIN DUST ABATEMENT AT ALL TIMES DURING CONSTRUCTION.
- REFER TO SHEET 2 OF 3 AND 3 OF 3 OF FINAL PLAT FOR ALL CORRECT DIMENSIONS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE BLUE STAKE CENTER TO LOCATE ALL UNDERGROUND EQUIPMENT WITHIN THE CONSTRUCTION AREA 48 HOURS PRIOR TO THE START OF ANY EXCAVATION. CALL THE BLUE STAKE CENTER AT 1-800-782-5348. CONTRACTOR SHALL VERIFY LOCATION AN ELEVATIONS OF ALL EXISTING UTILITIES. PRIOR TO ANY CONSTRUCTION LOCATION OF UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE AND INFORMATION ONLY.
- ALL CURB CORNER RADIUS TO BE 25.0' TO BACK OF CURB UNLESS OTHERWISE NOTED.
- SEE SUBDIVISION PLAT FOR ALL BOUNDARY INFORMATION AND DIMENSIONS; DO NOT SCALE.

## LEGEND

	BOUNDARY LINE
	CENTER LINE
	PROPERTY LINE
	LOT LINE
	SET MONUMENT (TYPE AS SHOWN)
	SET MONUMENT (TYPE AS SHOWN)
	EXISTING AC PAVEMENT
	NEW AC PAVEMENT
	NEW CONCRETE
	NEW CURB & GUTTER
	NEW SLOPED AREA
	LOT NUMBERS
	EXISTING ELEVATION
	EXISTING ASPHALT ELEVATION
	EXISTING CURB & GUTTER ELEVATION
	NEW CURB AND GUTTER ELEVATION
	NEW ASPHALT ELEVATION
	EXISTING SEWER LINE
	EXISTING WATER MAIN
	NEW SEWER LINE
	NEW WATER MAIN
	NEW MANHOLE
	EXISTING MANHOLE
	INDICATES INVERT ELEVATION
	NEW DUAL WATER SERVICE
	NEW SINGLE WATER SERVICE
	NEW FIRE HYDRANT
	NEW GATE VALVE
	NEW TEMPORARY BLOWOFF
	NEW SEWER SERVICE
	NEW DUCTILE IRON PIPE

## SHEET INDEX

COVER SHEET	----	00
PLAT COVER	-----	1 OF 3
PLAT	-----	2 OF 3
PLAT	-----	3 OF 3
PAVING AND GRADING PLAN	-----	1
PAVING AND GRADING PLAN	-----	2
PAVING AND GRADING PLAN	-----	3
PAVING AND GRADING PLAN	-----	4
COUNTY 22ND STREET IMPROVEMENT	-----	5
PAVING AND GRADING DETAILS	-----	6
PAVING AND GRADING DETAILS	-----	7
WATER AND SEWER PLAN	-----	8
WATER AND SEWER PLAN	-----	9
SEWER PLAN & PROFILES	-----	10
SEWER PLAN & PROFILES	-----	11
SEWER PLAN & PROFILES	-----	12
SEWER PLAN & PROFILES	-----	13
WATER AND SEWER DETAILS	-----	14
WATER AND SEWER DETAILS	-----	15
WATER AND SEWER DETAILS	-----	16

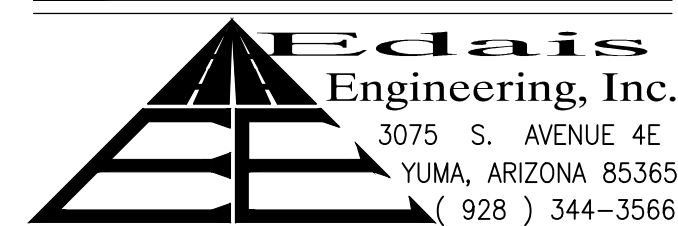


## VICINITY MAP

## OWNER/SUBDIVIDER

**RIEDEL HOLDINGS, L.L.C.**  
P.O. BOX 1649  
SAN LUIS, ARIZONA 85349

## ENGINEER



## BENCHMARK

TOP OF BRASS CAP LOCATED AT THE INTERSECTION OF CRISTINA STREET AND 10th AVENUE (LAS QUINTAS DE DE SAN LUIS SUBDIVISION) ASSUMED ELEVATION: 136.32

CALL TWO WORKING DAYS BEFORE YOU DIG  
263-1100  
1-800-STAKE-IT  
(OUTSIDE MARICOPA COUNTY)

THESE PLANS NOT TO BE USED FOR CONSTRUCTION UNTIL APPROVED BY THE CITY, ADEQ, AND OTHER AGENCIES HAVING JURISDICTION ON THIS PROJECT

Naheh K. Edais  
26844  
NAJEH K. ED AIS  
ARIZONA, U.S.A.

COPYING, REPRODUCTION, OR PUBLICATION OF THESE PLANS BY ANY METHOD, IN WHOLE OR IN PART IS PROHIBITED

**LAS QUINTAS DE SAN LUIS 2 SUBDIVISION**  
**COVER SHEET**

SCALE: AS SHOWN	DESIGNED BY: N.K.E.	CHECKED BY: N.K.E.
DATE: AUG 2016	DRAWN BY: STAFF	JOB No. 14-015

SHEET 00

**ED AIS Engineering, Inc.**  
3075 S. Ave. 4E Yuma, Arizona 85365  
(928) 344-3566 FAX (928) 341-1075  
EMAIL: EE@Edaisengineering.com



BOOK \_\_\_\_\_ OF PLATS,  
PAGE \_\_\_\_\_

# LAS QUINTAS DE SAN LUIS 2 SUBDIVISION

A SUBDIVISION OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER LYING EAST MAIN CANAL AND PARCEL B OF THE BARKLEY LOT SPLIT No.2 AS RECORDED IN BOOK 67 OF PLATS, PAGE 27, Y.C.R., BEING A PORTION OF GOVERNMENT LOT 2, ALSO BEING A PORTION OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER, TOGETHER IN SECTION 6, TOWNSHIP 11 SOUTH, RANGE 24 WEST, GILA AND SALT RIVER BASE AND MERIDIAN, YUMA COUNTY, ARIZONA

DATE: JULY 2016 ACREAGE - 28.75 AC

## TENTATIVE PLAT

### APPROVED

STATE OF ARIZONA )  
                                  ) ss  
CITY OF SAN LUIS )

THIS SUBDIVISION AS PLATTED HEREON HAS BEEN APPROVED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF SAN LUIS, ARIZONA.

MAYOR \_\_\_\_\_ DATE \_\_\_\_\_

CITY MANAGER \_\_\_\_\_ DATE \_\_\_\_\_

CITY PLANNING & ZONING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

CITY PUBLIC WORKS DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

### BASIS OF BEARING

THE SOUTH LINE OF THE SW<sup>1</sup>/<sub>4</sub> OF SECTION 6, T11S, R24W NAMELY N 89°40'11" W AS SHOWN ON STATE PLAT No. 17 COMITE DE BIENESTAR AS RECORDED IN BOOK 11 OF PLATS, PAGES 86-88, YCR

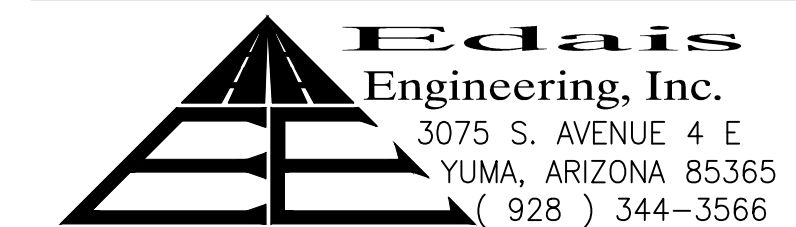
### RESTRICTIVE COVENANTS

HAVE BEEN RECORDED CONCURRENTLY AND ARE A PART OF THIS PLAT

### SUBDIVIDER/OWNER

**RIEDEL HOLDINGS, L.L.C.**  
P.O. BOX 1649  
SAN LUIS, ARIZONA 85349

### PREPARED BY:



### SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE SUBDIVISION SHOWN HEREON WAS MADE UNDER MY DIRECTION DURING JULY OF 2016, AND THAT THIS SUBDIVISION CONFORMS TO ALL REGULATIONS AND REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF SAN LUIS, ARIZONA.

SCOTT A. KOEHLER

L.S. No. 45275

### DEDICATION

KNOW ALL MEN BY THESE PRESENTS: THAT RIEDEL HOLDINGS, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY, AS OWNER HAS THIS THE \_\_\_\_ DAY OF \_\_\_\_\_ 2016, CAUSED A PORTION OF THE W<sup>1</sup>/<sub>2</sub> OF THE NE<sup>1</sup>/<sub>4</sub> OF SECTION 6, TOWNSHIP 11 SOUTH, RANGE 24 WEST, G.&S.R.B.&M., YUMA COUNTY, ARIZONA, AS PLATTED HEREON, TO BE SUBDIVIDED INTO LOTS, TRACTS & STREETS UNDER THE NAME OF "LAS QUINTAS DE SAN LUIS 2 SUBDIVISION" AND HEREBY DECLARES THAT THE ACCOMPANYING PLAT SETS FORTH THE LOCATION AND GIVES THE DIMENSIONS OF THE LOTS AND STREETS, CONSTITUTING SAID "LAS QUINTAS DE SAN LUIS 2 SUBDIVISION" AND THAT EACH LOT SHALL BE KNOWN BY THE NUMBER, THE TRACTS BY THE LETTER AND THE STREETS BY THE NAME GIVEN EACH RESPECTIVELY ON SAID PLAT;

AND THAT RIEDEL HOLDINGS, L.L.C., AS OWNER, HEREBY DEDICATES THE STREETS SHOWN HEREON TO THE PUBLIC FOR ITS USE AND BENEFIT, AND THAT THE EASEMENTS ARE DEDICATED FOR THE USES SHOWN AND DEFINED ON SAID PLAT AND AS SET FORTH IN THE DECLARATION OF RESERVATIONS, COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED CONCURRENTLY HEREWITH. TRACT "A" IS DEDICATED TO THE PUBLIC FOR USE AS STORM WATER RETENTION BASIN AND COMPATIBLE RECREATIONAL USES

IN WITNESS WHEREOF: RIEDEL HOLDINGS, L.L.C., HAS CAUSED ITS CORPORATE NAME TO BE SIGNED AND ITS CORPORATE SEAL TO BE AFFIXED BY THE SIGNATURE OF NIEVES GARCIA RIEDEL, AS MEMBER, THEREUNTO DULY AUTHORIZED ON THIS THE \_\_\_\_ DAY OF \_\_\_\_\_ 2016.

BY: \_\_\_\_\_  
NIEVES GARCIA RIEDEL, MEMBER  
RIEDEL HOLDINGS, L.L.C.

### ACKNOWLEDGMENT

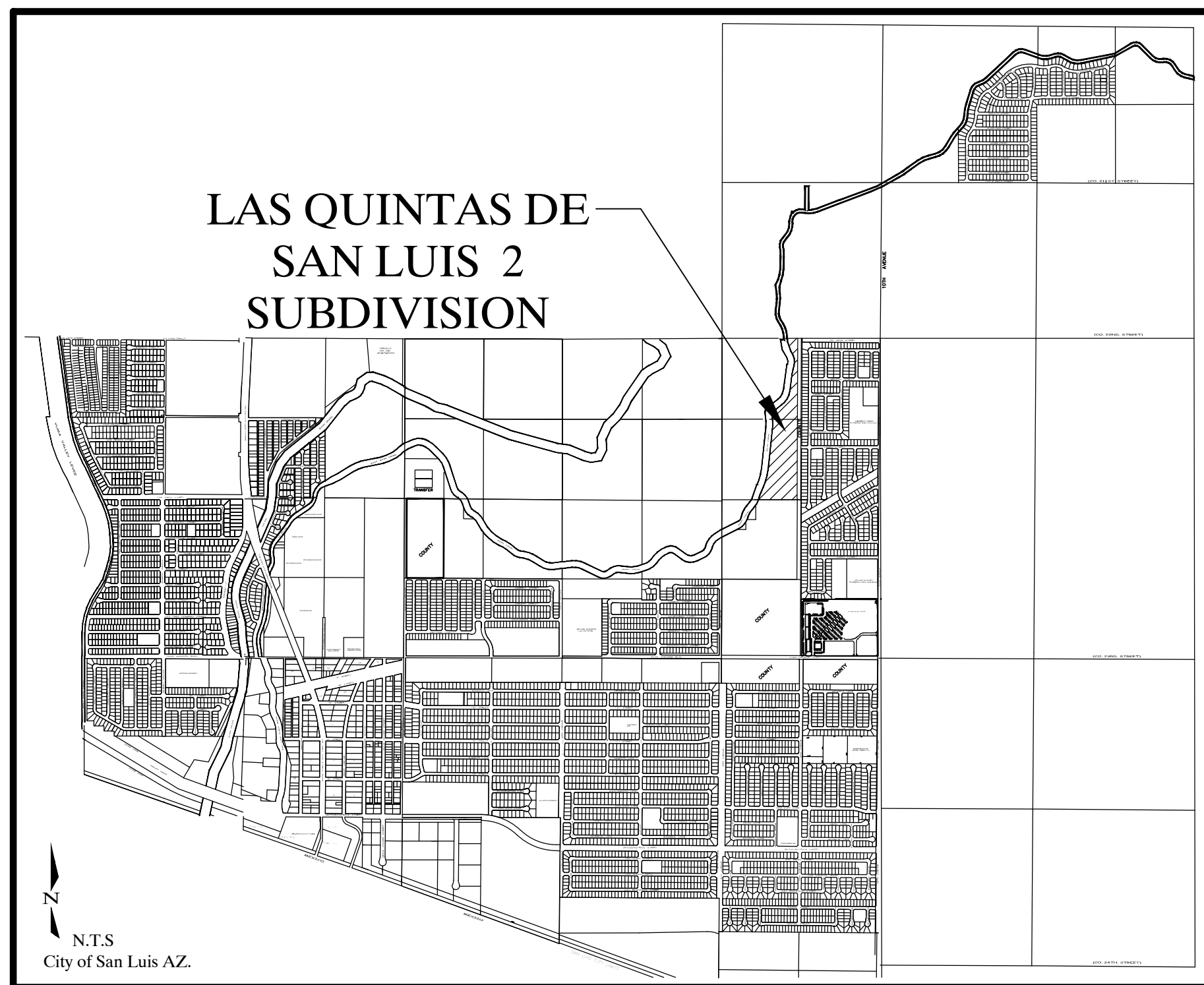
STATE OF ARIZONA )  
                                  ) ss  
COUNTY OF YUMA )

ON THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 2016 BEFORE ME, THE UNDERSIGNED OFFICER PERSONALLY APPEARED, NIEVES GARCIA RIEDEL, WHO ACKNOWLEDGED HERSELF TO BE MEMBER OF RIEDEL HOLDINGS, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY, AND SHE AS SUCH OFFICER BEING AUTHORIZED TO DO SO, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED, BY SIGNING THE NAME OF THE LIMITED LIABILITY COMPANY BY HERSELF, AS SUCH OFFICER.

IN WITNESS WHEREOF, I HAVE SET MY HAND AND OFFICIAL SEAL.

BY: \_\_\_\_\_  
NOTARY PUBLIC

MY COMMISSION EXPIRES: \_\_\_\_\_



VICINITY MAP

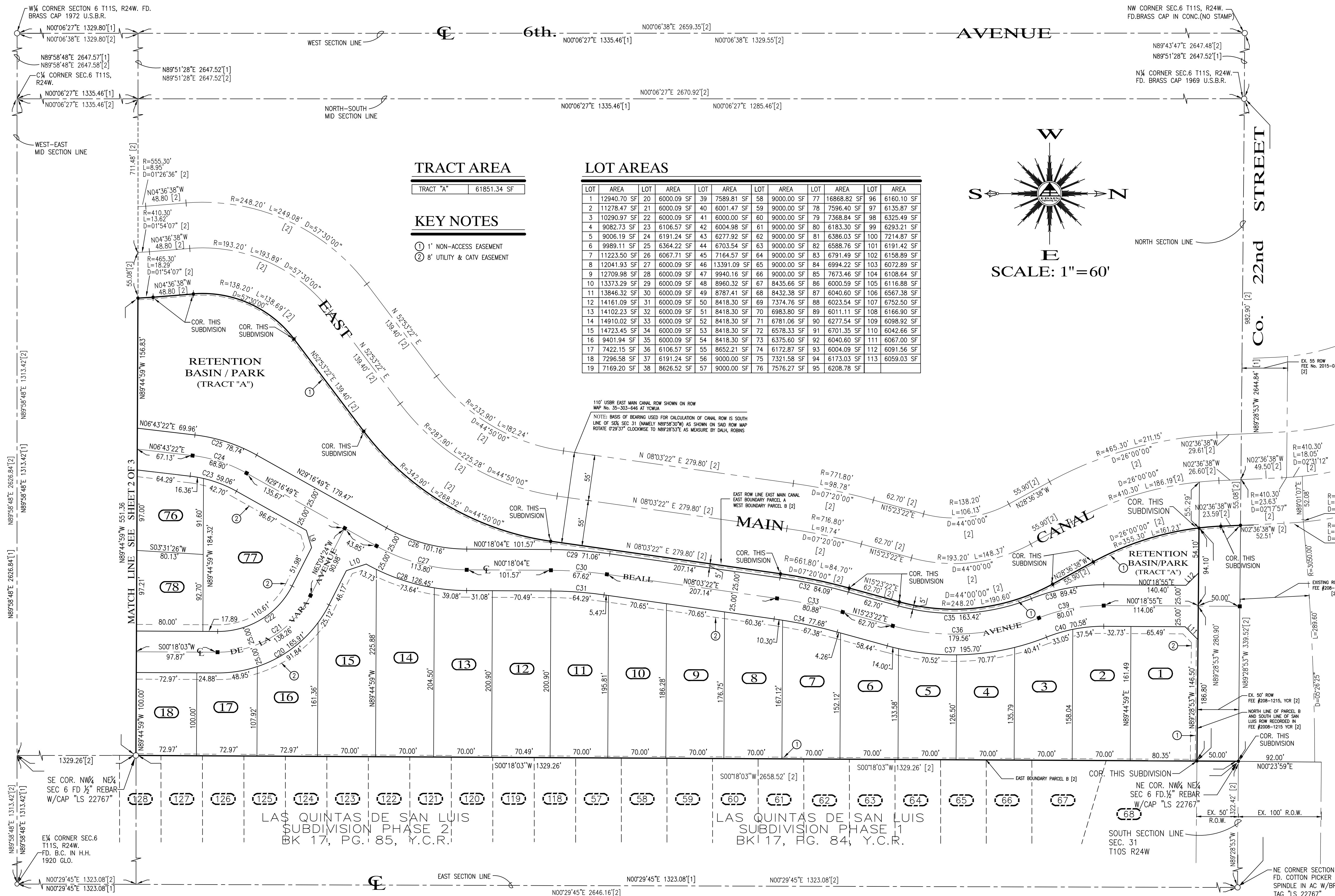


# LAS QUINTAS DE SAN LUIS 2 SUBDIVISION

A SUBDIVISION OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER LYING EAST MAIN CANAL AND PARCEL B OF THE BARKLEY LOT SPLIT No.2 AS RECORDED IN BOOK 67 OF PLATS, PAGE 27, Y.C.R., BEING A PORTION OF GOVERNMENT LOT 2, ALSO BEING A PORTION OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER, TOGETHER IN SECTION 6, TOWNSHIP 11 SOUTH, RANGE 24 WEST, GILA AND SALT RIVER BASE AND MERIDIAN, YUMA COUNTY, ARIZONA

DATE: JULY 2016 ACREAGE - 28.75 AC

## TENTATIVE PLAT



### TRACT AREA

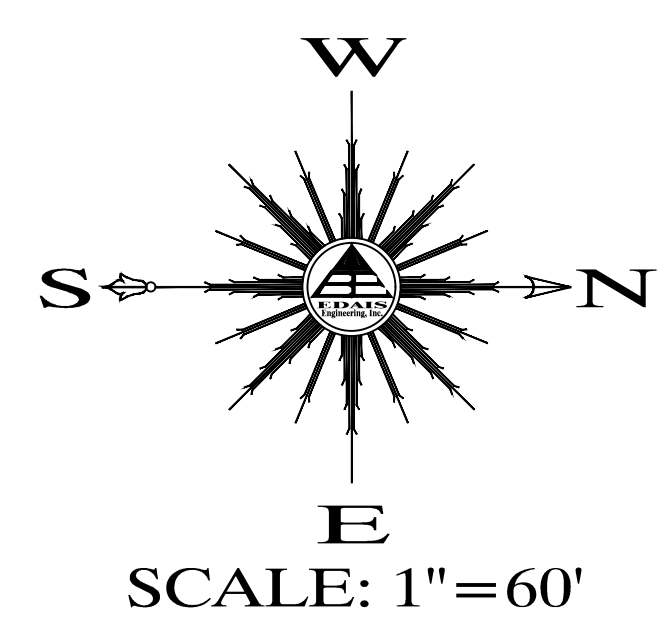
TRACT "A"	61851.34 SF
-----------	-------------

### KEY NOTES

- ① 1' NON-ACCESS EASEMENT
- ② 8' UTILITY & CATV EASEMENT

### LOT AREAS

LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA
1	12940.70 SF	20	6000.09 SF	39	7589.81 SF	58	9000.00 SF	77	16688.82 SF	96	8160.10 SF		
2	11278.47 SF	21	6000.09 SF	40	6001.47 SF	59	9000.00 SF	78	7596.40 SF	97	8135.87 SF		
3	10290.97 SF	22	6000.09 SF	41	6000.00 SF	60	9000.00 SF	79	7368.84 SF	98	8325.49 SF		
4	9082.73 SF	23	6106.57 SF	42	6004.98 SF	61	9000.00 SF	80	6183.30 SF	99	8293.21 SF		
5	9006.19 SF	24	6191.24 SF	43	6277.92 SF	62	9000.00 SF	81	6386.03 SF	100	7214.87 SF		
6	9989.11 SF	25	6364.22 SF	44	6703.54 SF	63	9000.00 SF	82	6588.76 SF	101	6191.42 SF		
7	11223.50 SF	26	6067.71 SF	45	7164.57 SF	64	9000.00 SF	83	6791.49 SF	102	6158.89 SF		
8	12041.93 SF	27	6000.09 SF	46	13391.09 SF	65	9000.00 SF	84	6994.22 SF	103	8072.89 SF		
9	12709.98 SF	28	6000.09 SF	47	9940.16 SF	66	9000.00 SF	85	7673.46 SF	104	6108.64 SF		
10	13373.29 SF	29	6000.09 SF	48	8960.32 SF	67	8435.66 SF	86	6000.59 SF	105	6116.88 SF		
11	13846.32 SF	30	6000.09 SF	49	8787.41 SF	68	8432.38 SF	87	6040.60 SF	106	6567.38 SF		
12	14161.09 SF	31	6000.09 SF	50	8418.30 SF	69	7374.76 SF	88	6023.54 SF	107	6752.50 SF		
13	14102.23 SF	32	6000.09 SF	51	8418.30 SF	70	6983.80 SF	89	6011.11 SF	108	6166.90 SF		
14	14910.02 SF	33	6000.09 SF	52	8418.30 SF	71	6781.06 SF	90	6277.54 SF	109	6098.92 SF		
15	14723.45 SF	34	6000.09 SF	53	8418.30 SF	72	6578.33 SF	91	6701.35 SF	110	6042.66 SF		
16	9401.94 SF	35	6000.09 SF	54	8418.30 SF	73	6375.60 SF	92	6040.60 SF	111	6067.00 SF		
17	7422.15 SF	36	6106.57 SF	55	8652.21 SF	74	6172.87 SF	93	6004.09 SF	112	6091.56 SF		
18	7296.58 SF	37	6191.24 SF	56	9000.00 SF	75	7321.58 SF	94	6173.03 SF	113	6059.03 SF		
19	7169.20 SF	38	8626.52 SF	57	9000.00 SF	76	7576.27 SF	95	6208.78 SF				



### LEGEND

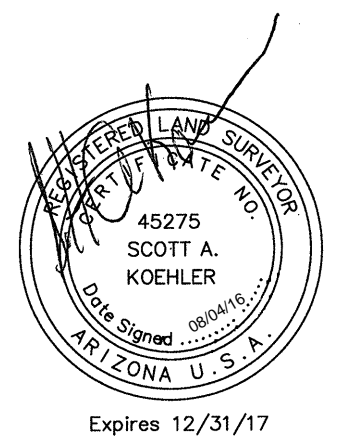
- CENTERLINE
- BOUNDARY LINE
- RIGHT OF WAY LINE
- EXISTING LOTS
- NEW PROPERTY LINE
- FOUND MONUMENT (TYPE AS SHOWN)
- NEW STREET MONUMENT AS PER YUMA COUNTY STD. No. 4-080
- NEW SUBDIVISION BOUNDARY MONUMENT PER YUMA COUNTY STD. No. 4-030
- B.C. INDICATES BRASS CAP
- H.H. INDICATE HAND HOLE
- ( [1] ) DATA REFER TO BARKLEY PROPERTY - SAN LUIS, BOUNDARY SURVEY CONDUCTED BY DAHL, ROBINS & ASSOCIATES, INC. PROJECT No. 07076 SIGNED BY JUAN N. LOMELI DATED JULY 24, 2007.
- ( [2] ) DATA REFER TO BARKLEY LOT SPLIT No. 2 AS RECORDED IN BOOK 67 OF PLATS, PAGE 27, Y.C.R., YUMA COUNTY, ARIZONA.
- NEW LOT NUMBER
- EXISTING LOT NUMBER
- A.P.N. ASSESSOR PARCEL NUMBER
- Y.C.R.O. YUMA COUNTY RECORDER'S OFFICE

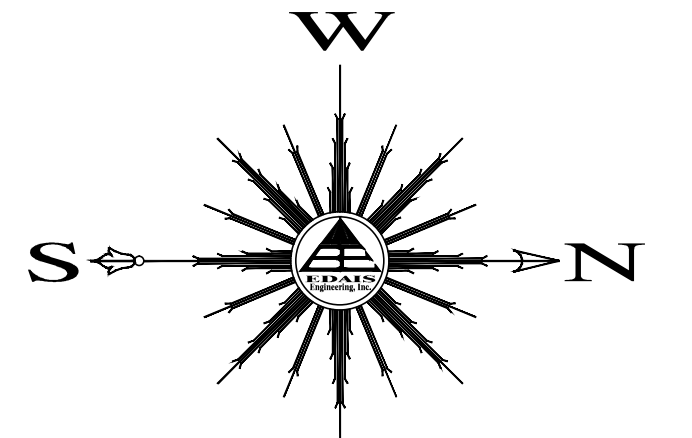
PREPARED BY:

**Edais Engineering, Inc.**  
 3075 S. AVENUE 4 E  
 YUMA, ARIZONA 85365  
 (928) 344-3566

### SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I AM A LAND SURVEYOR LISTED ON THE ROSTER OF ACTIVE REGISTRANTS BY THE STATE BOARD OF TECHNICAL REGISTRATION OF ARIZONA AND THAT THIS PROJECT CONSISTING OF FOURTEEN (14) SHEETS CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION DURING JULY 2016. THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN.





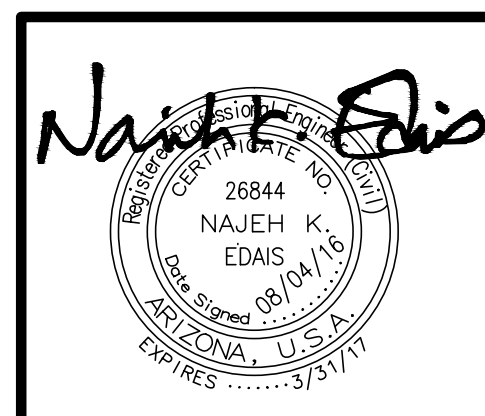
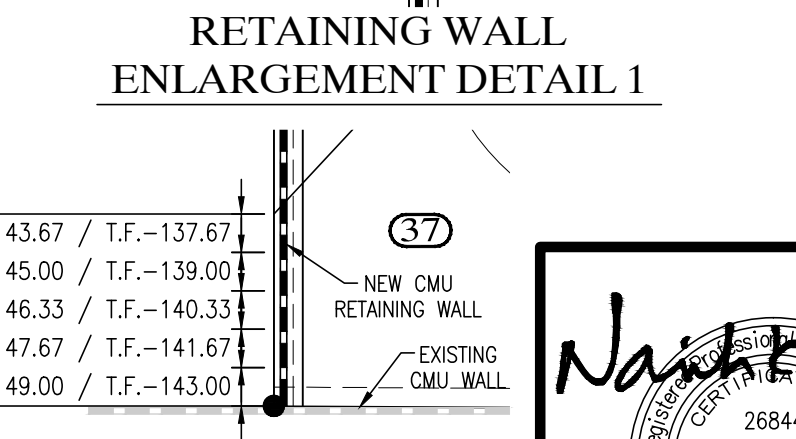
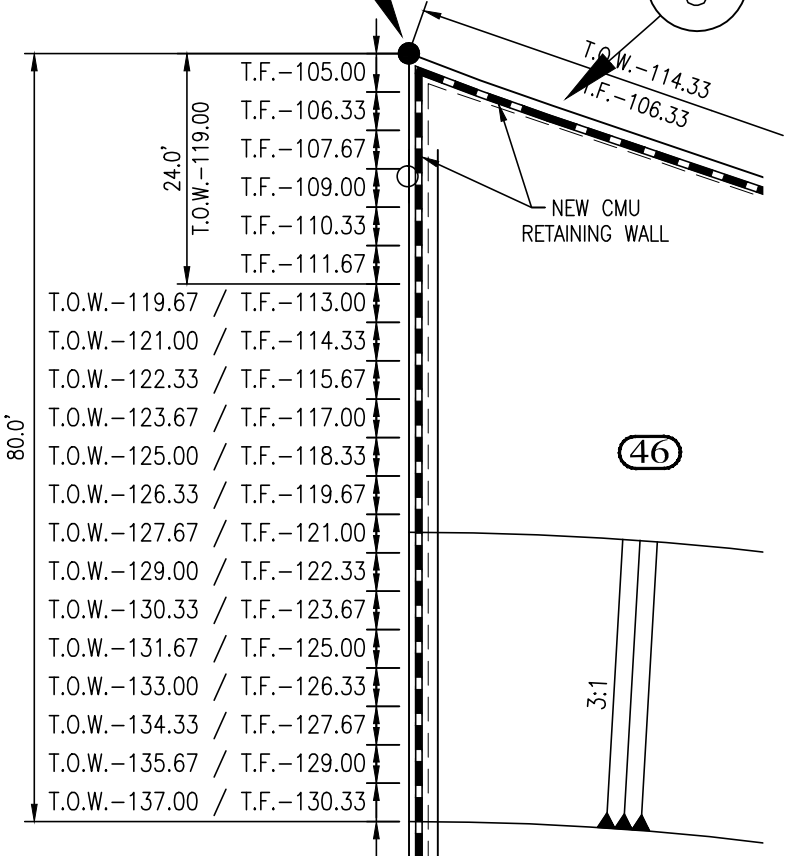
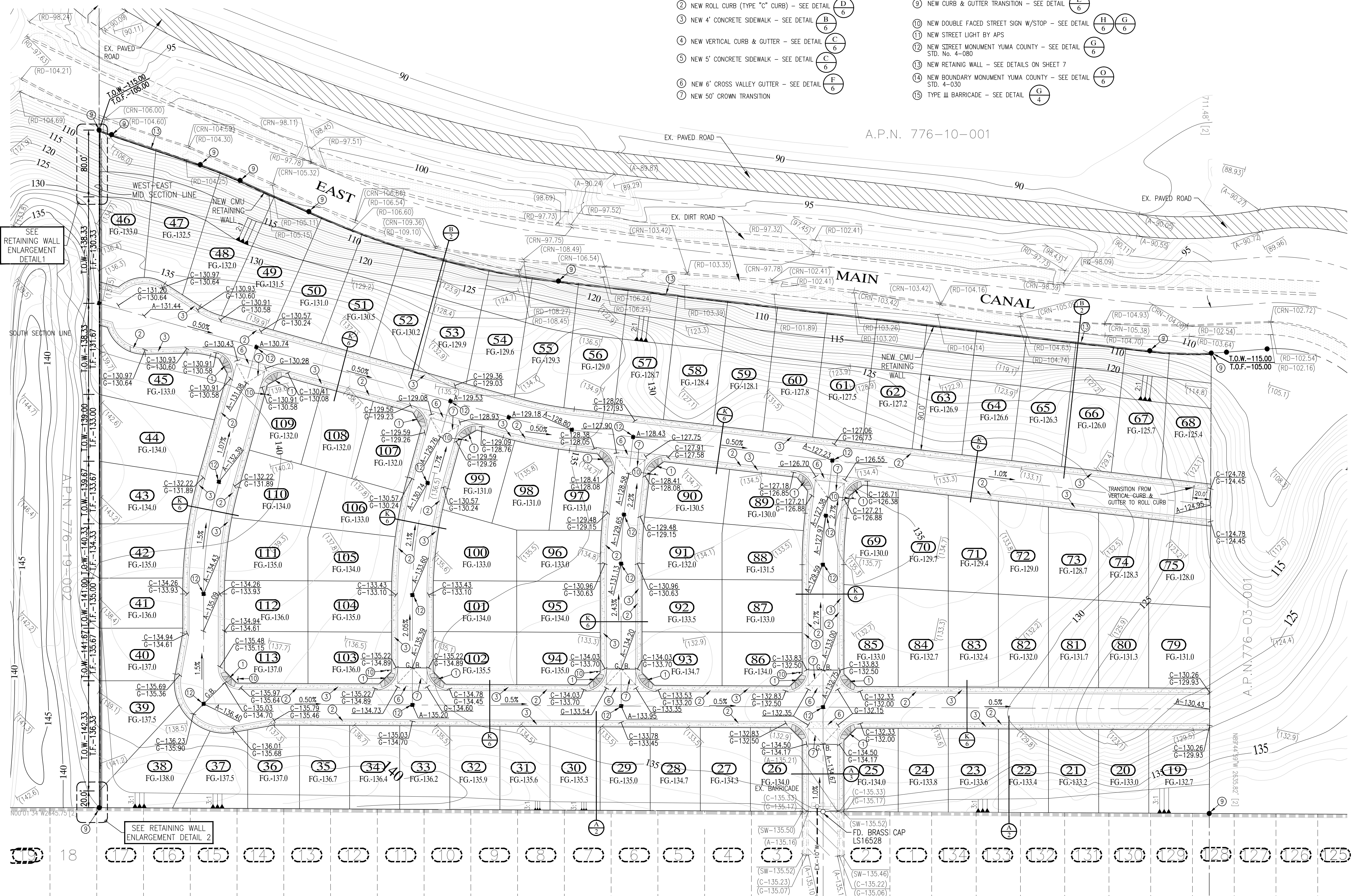
SCALE: 1"=60'

KEYNOTES:

- ① NEW CONCRETE SIDEWALK RAMP - SEE DETAIL (A/6)
- ② NEW ROLL CURB (TYPE "C" CURB) - SEE DETAIL (D/6)
- ③ NEW 4' CONCRETE SIDEWALK - SEE DETAIL (B/6)
- ④ NEW VERTICAL CURB & GUTTER - SEE DETAIL (C/6)
- ⑤ NEW 5' CONCRETE SIDEWALK - SEE DETAIL (C/6)
- ⑥ NEW 6' CROSS VALLEY GUTTER - SEE DETAIL (E/6)
- ⑦ NEW 50' CROWN TRANSITION
- ⑧ NEW 6' HIGH (AS MEASURED FROM THE HIGHER GROUND ELEVATION SIDE OF WALL) CMU WALL - SEE DETAIL (E/7)
- ⑨ NEW CURB & GUTTER TRANSITION - SEE DETAIL (E/6)
- ⑩ NEW DOUBLE FACED STREET SIGN W/STOP - SEE DETAIL (H/6) (G/6)
- ⑪ NEW STREET LIGHT BY APS
- ⑫ NEW STREET MONUMENT YUMA COUNTY - SEE DETAIL (G/6) STD. No. 4-080
- ⑬ NEW RETAINING WALL - SEE DETAILS ON SHEET 7
- ⑭ NEW BOUNDARY MONUMENT YUMA COUNTY - SEE DETAIL (O/6) STD. 4-030
- ⑮ TYPE III BARRICADE - SEE DETAIL (G/4)

LEGEND

- CENTERLINE
- BOUNDARY LINE
- EXISTING LOTS
- EXISTING CMU WALL
- EXISTING DIRT ROAD
- EXISTING ASPHALT
- NEW CMU WALL
- FOUND MONUMENT (TYPE AS SHOWN)
- B.C. INDICATES BRASS CAP
- H.H. INDICATE HAND HOLE
- T.O.W. INDICATE TOP OF WALL ELEVATION
- T.F. INDICATE TOP OF FOOTING ELEVATION
- ( [1] ) DATA REFER TO BARKLEY PROPERTY - SAN LUIS, BOUNDARY SURVEY CONDUCTED BY DAHL, ROBINS & ASSOCIATES, INC. PROJECT No. 07076 SIGNED BY JUAN N. LOMELI DATED JULY 24, 2007.
- ( [2] ) DATA REFER TO BARKLEY LOT SPLIT No. 2 AS RECORDED IN BOOK \_\_\_ OF PLATS, PAGE \_\_\_, Y.C.R.O., YUMA COUNTY, ARIZONA.
- (133.0) EXISTING NATURAL SOIL ELEVATION
- (A-90.00) EXISTING ASPHALT ELEVATION
- (RD-103.20) EXISTING ROAD ELEVATION
- (C-135.50) EXISTING CURB & GUTTER ELEVATION
- (SW-135.57) EXISTING SIDEWALK ELEVATION
- (CRN-106.86) EXISTING CROWN ELEVATION
- 120 CONTOUR LINE
- EXISTING LOT NUMBER
- A.P.N. ASSESSOR PARCEL NUMBER
- Y.C.R. YUMA COUNTY RECORDER



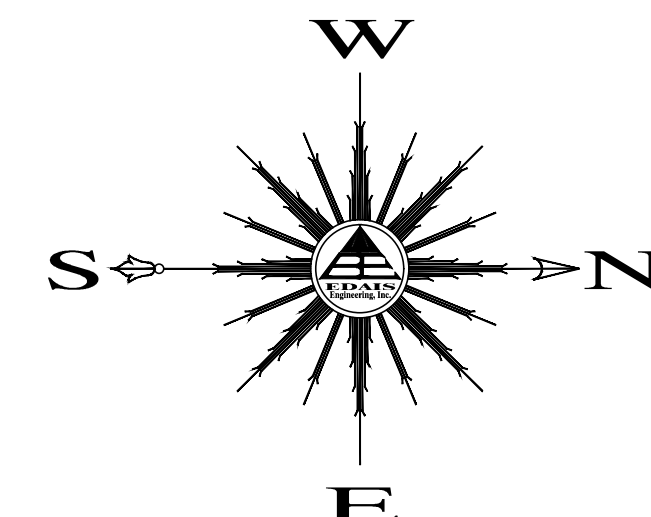
OWNER  
**BARKLEY LIMITED AZ PARTNERSHIP**  
 101 E. SECOND STREET  
 YUMA, ARIZONA 85364

**LAS QUINTAS DE SAN LUIS 2 SUBDIVISION**  
**TENTATIVE PAVING & GRADING PLAN**  
 SCALE: AS SHOWN DESIGNED BY: NKE CHECKED BY: NKE  
 DATE: AUG '16" DRAWN BY: STAFF JOB No. 14-015

**Edais Engineering, Inc.**  
 263-1100  
 1-800-STAKE-IT  
 (OUTSIDE MARICOPA COUNTY)  
 30775 S. AVE. 4E Yuma, Arizona 85365  
 (928) 344-3566 FAX (928) 341-1075  
 EMAIL: najeh@Edaisgroup.com

BIENESTAR ESTATES No. 7A BOOK 18, PAGE 11, Y.C.R.  
 LAS QUINTAS DE SAN LUIS SUBDIVISION PHASE 2 BK 17, PG. 85, Y.C.R.



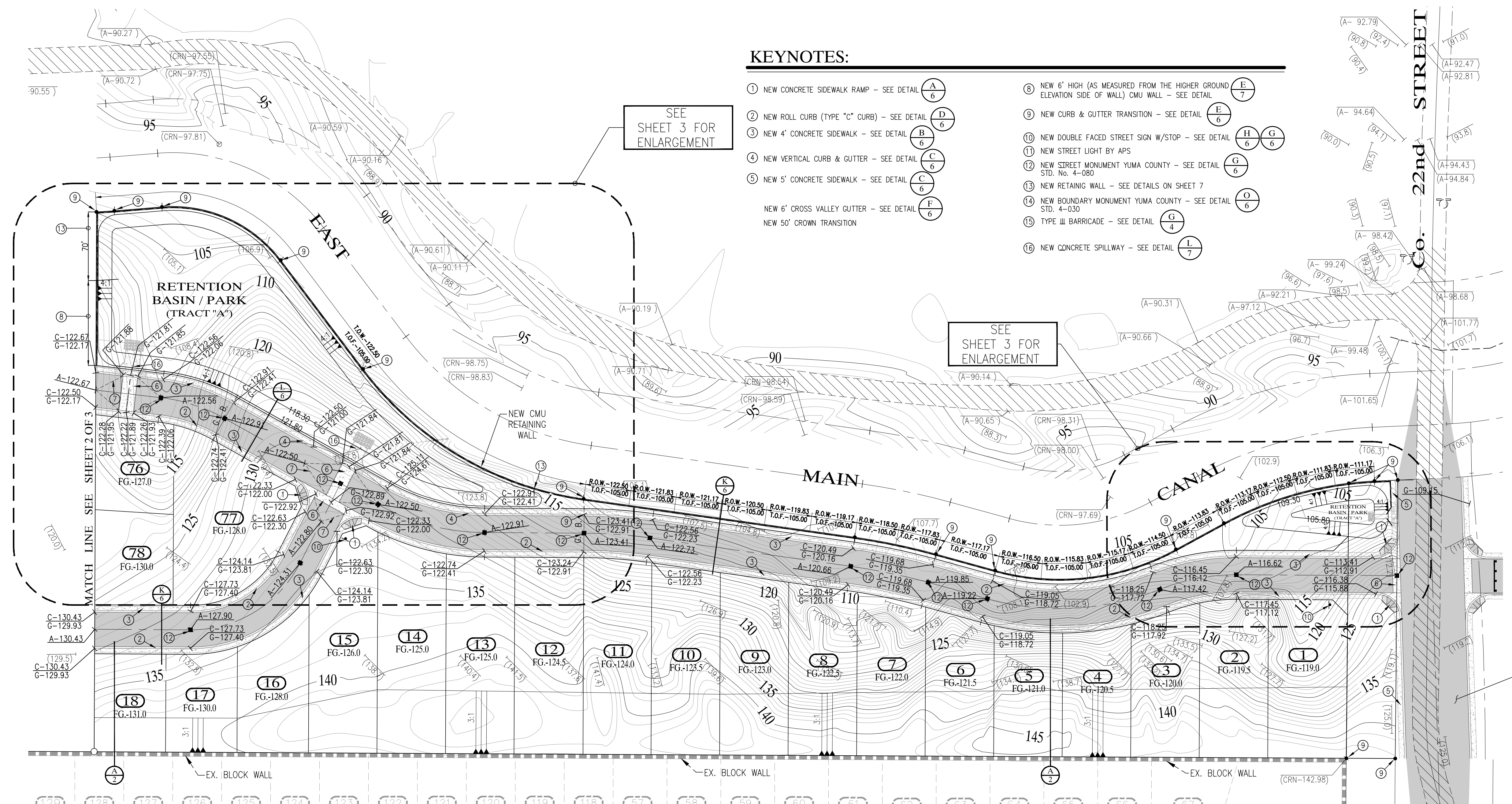


LEGEND SCALE: 1"=60'

- CENTERLINE
- BOUNDARY LINE
- EXISTING LOTS
- EXISTING CMU WALL
- EXISTING DIRT ROAD
- EXISTING ASPHALT
- NEW CMU WALL
- FOUND MONUMENT (TYPE AS SHOWN)
- B.C. INDICATES BRASS CAP
- H.H. INDICATE HAND HOLE
- T.O.W. INDICATE TOP OF WALL ELEVATION
- T.F. INDICATE TOP OF FOOTING ELEVATION
- ( [1] ) DATA REFER TO BARKLEY PROPERTY - SAN LUIS, BOUNDARY SURVEY CONDUCTED BY DAHL, ROBINS & ASSOCIATES, INC. PROJECT No. 07076 SIGNED BY JUAN N. LOMELI DATED JULY 24, 2007.
- ( [2] ) DATA REFER TO BARKLEY LOT SPLIT No. 2 AS RECORDED IN BOOK \_\_\_ OF PLATS, PAGE \_\_\_ Y.C.R.O., YUMA COUNTY, ARIZONA.
- (133.0) EXISTING NATURAL SOIL ELEVATION
- (A-90.00) EXISTING ASPHALT ELEVATION
- (RD-103.20) EXISTING ROAD ELEVATION
- (C-135.50) EXISTING CURB & GUTTER ELEVATION
- (G-135.17) EXISTING SIDEWALK ELEVATION
- (SW-135.52) EXISTING CROWN ELEVATION
- (CRN-106.80) EXISTING CONTOUR LINE
- 120 EXISTING LOT NUMBER
- A.P.N. ASSESSOR PARCEL NUMBER
- Y.C.R. YUMA COUNTY RECORDER
- A-122.50 NEW ASPHALT ELEVATION
- C-135.50 NEW CURB & GUTTER ELEVATION
- G-135.17
- 0.2% NEW SLOPE

**KEYNOTES:**

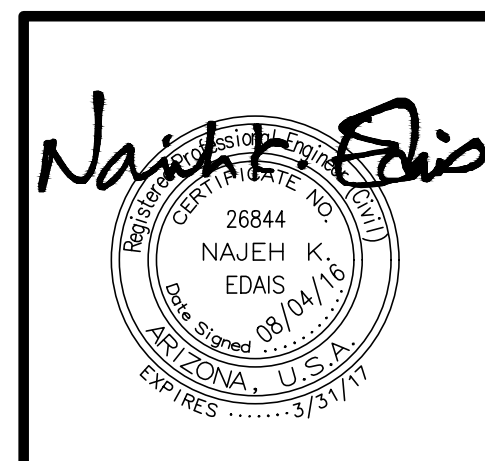
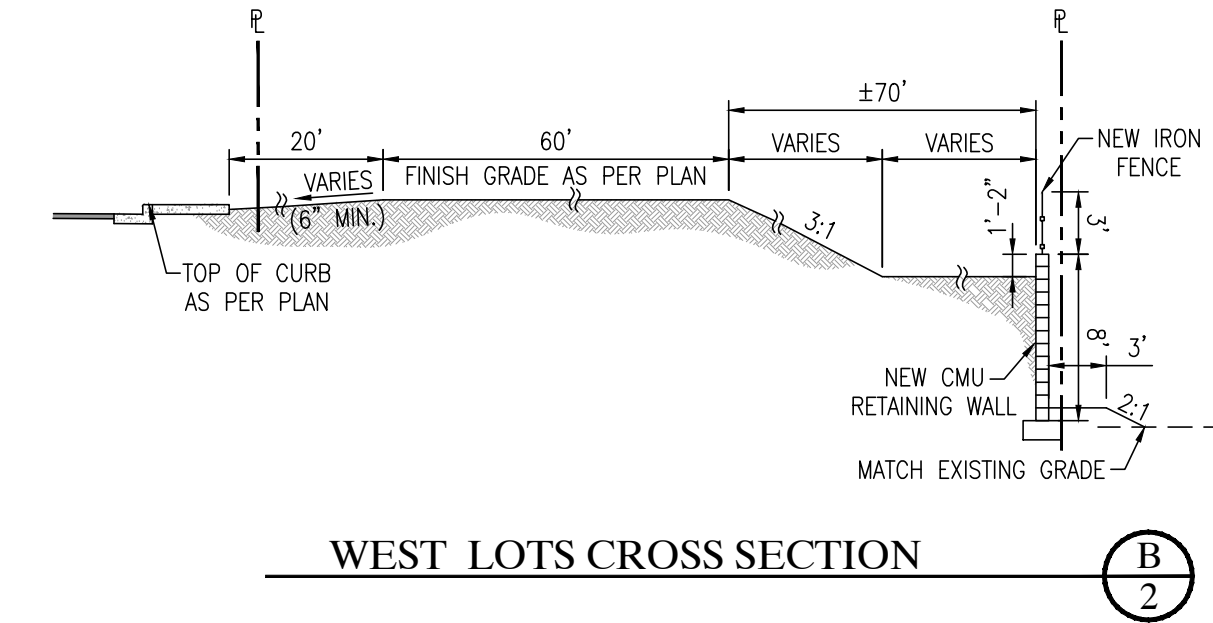
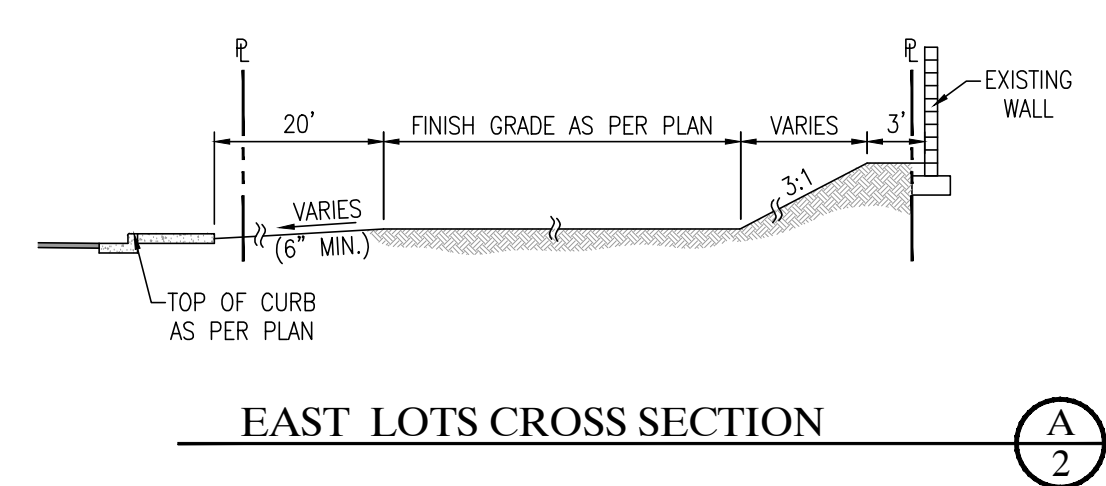
- ① NEW CONCRETE SIDEWALK RAMP - SEE DETAIL (A/6)
- ② NEW ROLL CURB (TYPE "C" CURB) - SEE DETAIL (D/6)
- ③ NEW 4' CONCRETE SIDEWALK - SEE DETAIL (B/6)
- ④ NEW VERTICAL CURB & GUTTER - SEE DETAIL (C/6)
- ⑤ NEW 5' CONCRETE SIDEWALK - SEE DETAIL (E/6)
- ⑥ NEW 6" HIGH (AS MEASURED FROM THE HIGHER GROUND ELEVATION SIDE OF WALL) CMU WALL - SEE DETAIL (F/7)
- ⑦ NEW CURB & GUTTER TRANSITION - SEE DETAIL (E/6)
- ⑧ NEW DOUBLE FACED STREET SIGN W/STOP - SEE DETAIL (H/6) (G/6)
- ⑨ NEW STREET LIGHT BY APS (I/6)
- ⑩ NEW STREET MONUMENT YUMA COUNTY - SEE DETAIL (G/6)
- ⑪ NEW STREET MONUMENT STD. No. 4-080 (J/6)
- ⑫ NEW RETAINING WALL - SEE DETAILS ON SHEET 7 (O/6)
- ⑬ NEW BOUNDARY MONUMENT YUMA COUNTY - SEE DETAIL (K/6)
- ⑭ TYPE III BARRICADE - SEE DETAIL (L/6)
- ⑮ NEW CONCRETE SPILLWAY - SEE DETAIL (I/6)
- NEW 6' CROSS VALLEY GUTTER - SEE DETAIL (F/6)
- NEW 50' CROWN TRANSITION



SEE SHEET 3 FOR ENLARGEMENT

SEE SHEET 3 FOR ENLARGEMENT

SEE SHEET 5 COUNTY 22ND STREET IMPROVEMENT



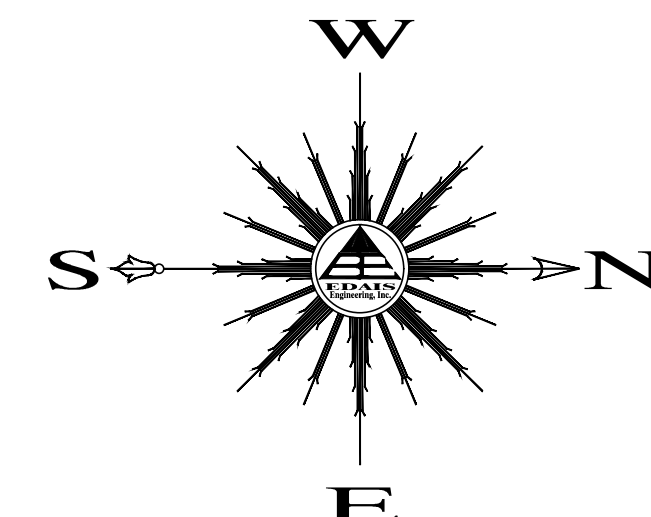
COPYING, REPRODUCTION, OR PUBLICATION OF THESE PLANS BY ANY METHOD, IN WHOLE OR IN PART IS PROHIBITED.

**LAS QUINTAS DE SAN LUIS II SUBDIVISION**  
**PAVING & GRADING PLAN**

SCALE: AS SHOWN	DESIGNED BY: NKE	CHECKED BY: NKE
DATE: JUL. 16	DRAWN BY: STAFF	JOB No. 14-015

**Edais Engineering, Inc.**  
 3072 S. AVE. 4E Yuma, Arizona 85365  
 (928) 344-3566 FAX (928) 341-1075  
 EMAIL: najeh@edaisgroup.com

SHEET 2



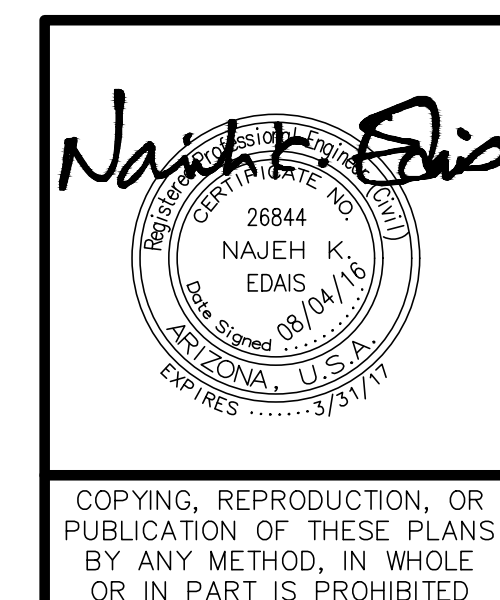
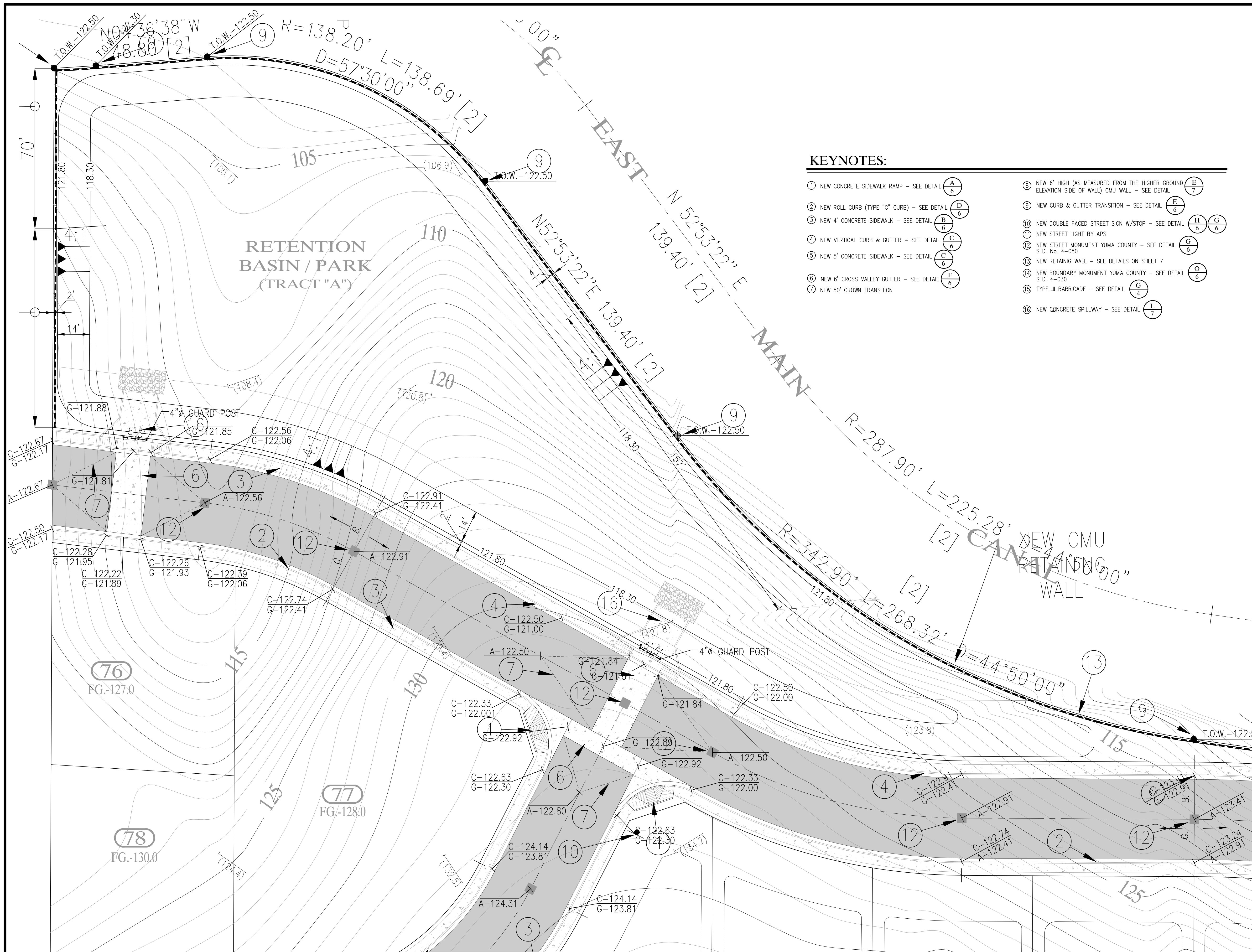
SCALE: 1"=20'

**LEGEND**

	CENTERLINE
	BOUNDARY LINE
	EXISTING CMU WALL
	EXISTING DIRT ROAD
	EXISTING ASPHALT
	NEW CMU WALL
	FOUND MONUMENT (TYPE AS SHOWN)
	INDICATES BRASS CAP
	H.H. INDICATES HAND HOLE
	T.O.W. INDICATE TOP OF WALL ELEVATION
	T.F. INDICATE TOP OF FOOTING ELEVATION
( [1] )	DATA REFER TO BARKLEY PROPERTY - SAN LUIS, BOUNDARY SURVEY CONDUCTED BY DAHL, ROBINS & ASSOCIATES, INC. PROJECT No. 07076 SIGNED BY JUAN N. LOMELI DATED JULY 24, 2007.
( [2] )	DATA REFER TO BARKLEY LOT SPLIT No. 2 AS RECORDED IN BOOK ___ OF PLATS, PAGE ___, Y.C.R.O., YUMA COUNTY, ARIZONA.
	EXISTING NATURAL SOIL ELEVATION
	EXISTING ASPHALT ELEVATION
	EXISTING ROAD ELEVATION
	EXISTING CURB & GUTTER ELEVATION
	EXISTING SIDEWALK ELEVATION
	EXISTING SIDEWALK ELEVATION
	EXISTING CROWN ELEVATION
	EXISTING CONTOUR LINE
	EXISTING LOT NUMBER
	ASSESSOR PARCEL NUMBER
	YUMA COUNTY RECORDER
	NEW ASPHALT ELEVATION
	NEW CURB & GUTTER ELEVATION
	NEW SLOPE

**KEYNOTES:**

- |  |   |
|--|---|
| ① NEW CONCRETE SIDEWALK RAMP - SEE DETAIL    | ⑧ NEW 6' HIGH (AS MEASURED FROM THE HIGHER GROUND ELEVATION SIDE OF WALL) CMU WALL - SEE DETAIL |
| ② NEW ROLL CURB (TYPE "C" CURB) - SEE DETAIL | ⑨ NEW CURB & GUTTER TRANSITION - SEE DETAIL   |
| ③ NEW 4' CONCRETE SIDEWALK - SEE DETAIL      | ⑩ NEW DOUBLE FACED STREET SIGN W/STOP - SEE DETAIL  |
| ④ NEW VERTICAL CURB & GUTTER - SEE DETAIL    | ⑪ NEW STREET LIGHT BY APS   |
| ⑤ NEW 5' CONCRETE SIDEWALK - SEE DETAIL      | ⑫ NEW STREET MONUMENT YUMA COUNTY - SEE DETAIL STD. No. 4-080                                   |
| ⑥ NEW 6' CROSS VALLEY GUTTER - SEE DETAIL    | ⑬ NEW RETAINING WALL - SEE DETAILS ON SHEET 7   |
| ⑦ NEW 50' CROWN TRANSITION                   | ⑭ NEW BOUNDARY MONUMENT YUMA COUNTY - SEE DETAIL STD. 4-030                                     |
|  | ⑮ TYPE III BARRICADE - SEE DETAIL   |
|  | ⑯ NEW CONCRETE SPILLWAY - SEE DETAIL  |



COPYING, REPRODUCTION, OR PUBLICATION OF THESE PLANS BY ANY METHOD, IN WHOLE OR IN PART IS PROHIBITED

**LAS QUINTAS DE SAN LUIS II SUBDIVISION**

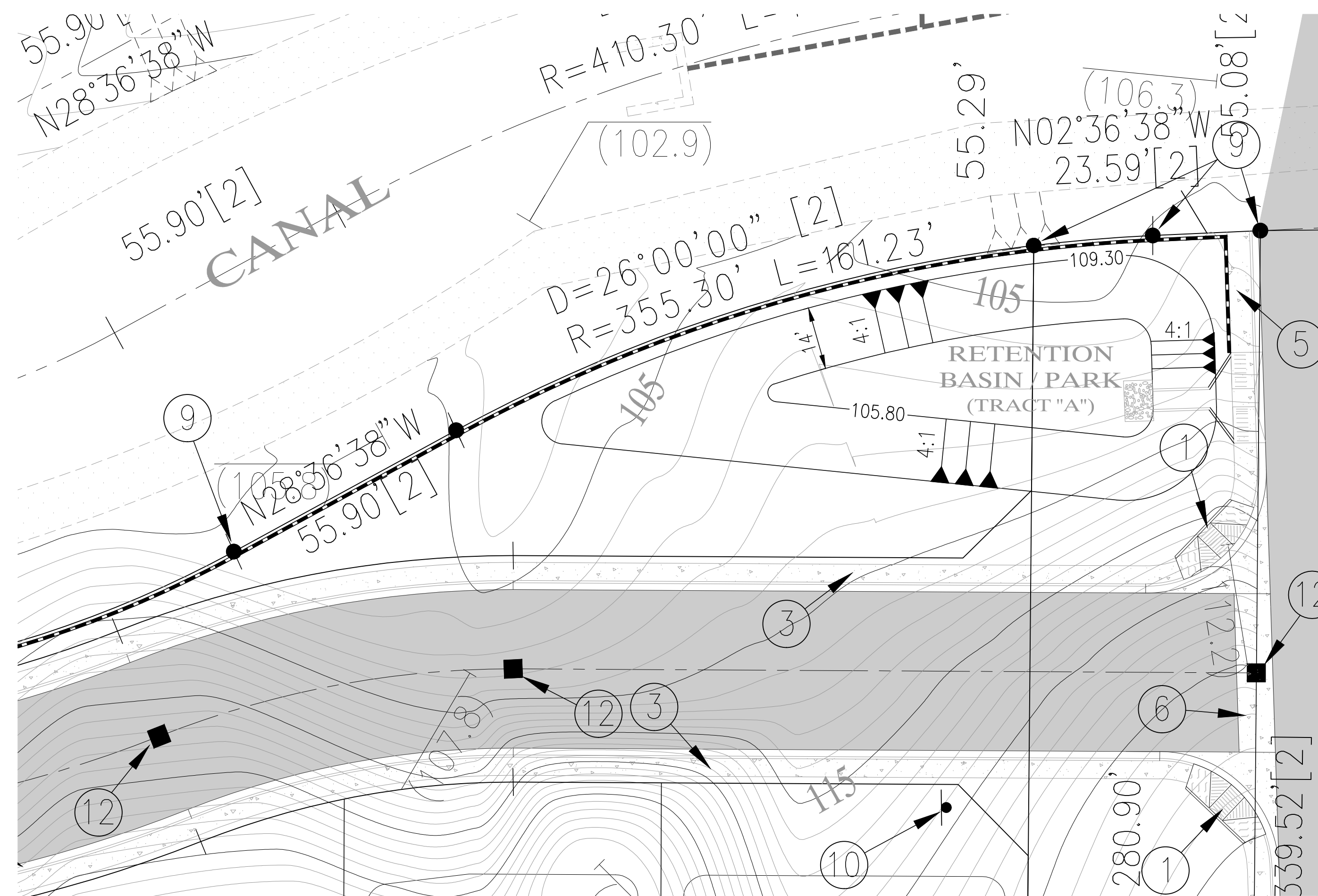
**PAVING & GRADING PLAN**

SCALE: AS SHOWN	DESIGNED BY: NKE	CHECKED BY: NKE
DATE: JUL. 16	DRAWN BY: STAFF	JOB No. 14-015

**EDAIS Engineering, Inc.**

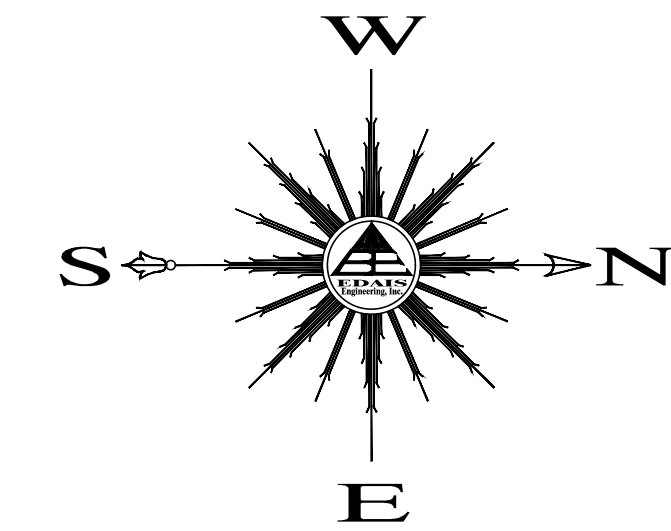
3072 S. Ave. 42 Yuma, Arizona 85365  
 (928) 344-3566 FAX (928) 341-1075  
 EMAIL: najeh@edaisgroup.com

CALL TWO WORKING DAYS BEFORE YOU DIG  
 263-1100  
**1-800-STAKE-IT**  
 (OUTSIDE MARICOPA COUNTY)



### DRAINAGE REPORT

- I. RAINFALL CALCULATIONS**  
**DRAINAGE AREA (AREA 1)**  
 DRAINAGE AREA = 24.43 AC  
 RAINFALL INTENSITY (I) = 1.22 IN 1 HR.  
 PEAK RATE RUNOFF (C) = 0.43  
 $Q = (24.43)(0.43)(1.22) = 12.82$  CFS  
 TOTAL RAINFALL = (7200)(12.82) = 92,275 CF
- DRAINAGE AREA (AREA 2)**  
 DRAINAGE AREA = 4.32 AC  
 RAINFALL INTENSITY (I) = 1.22 IN 1 HR.  
 PEAK RATE RUNOFF (C) = 0.43  
 $Q = (4.32)(0.43)(1.22) = 2.26$  CFS  
 TOTAL RAINFALL = (7200)(2.26) = 16,317 CF
- II. STORAGE VOLUME PROVIDED:**  
**RETENTION BASIN #1:**  
 TOP AREA : 49,909 SF  
 BOTTOM AREA : 33,949 SF  
 DEPTH = 3.5 FT  
 STORAGE VOLUME PROVIDED =  
 $(49,909 + 33,949) 3.5 / 2 = 146,752$  CF  
 FACTOR OF SAFETY =  $146,752 / 92,275 = 1.59$  .OK
- RETENTION BASIN #2:**  
 TOP AREA : 5,954 SF  
 BOTTOM AREA : 4,212 SF  
 DEPTH = 3.5 FT  
 STORAGE VOLUME PROVIDED =  
 $(5,954 + 4,212) 3.5 / 2 = 17,790$  CF  
 FACTOR OF SAFETY =  $17,790 / 16,317 = 1.09$  .OK
- 1.- THERE IS NO OFF SITE STORMWATER ENTERING THE SITE AND ALL STORMWATER GENERATED BY THE SITE WILL BE STORED ON SITE.  
 2.- THIS PROJECT IS LOCATED IN FLOOD ZONE "B" AS DETERMINED BY THE FIRM MAPS.  
 3.- THE ON-SITE SOIL AS CLASSIFIED AS SUPERSTITION SAND AS DETERMINED BY THE SOIL CONSERVATION SERVICE MAPS FOR YUMA-WELTON AREA WITH HIGH PERCOLATION RATE. NO PONDING OF WATER IS ANTICIPATED DUE TO THE SOIL CONDITION. CONSERVATION SERVICE MAPS FOR YUMA-WELTON AREA WITH HIGH PERCOLATION RATE.

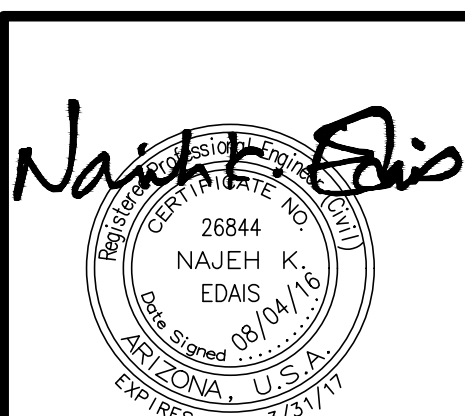


LEGEND SCALE: 1"=20'

- CENTERLINE
- BOUNDARY LINE
- EXISTING LOTS
- EXISTING CMU WALL
- EXISTING DIRT ROAD
- EXISTING ASPHALT
- NEW CMU WALL
- o FOUND MONUMENT (TYPE AS SHOWN)
- B.C. INDICATES BRASS CAP
- H.H. INDICATE HAND HOLE
- T.O.W. INDICATE TOP OF WALL ELEVATION
- T.F. INDICATE TOP OF FOOTING ELEVATION
- ( [1] ) DATA REFER TO BARKLEY PROPERTY - SAN LUIS, BOUNDARY SURVEY CONDUCTED BY DAHL, ROBINS & ASSOCIATES, INC. PROJECT No. 07076 SIGNED BY JUAN N. LOMELI DATED JULY 24, 2007.
- ( [2] ) DATA REFER TO BARKLEY LOT SPLIT No. 2 AS RECORDED IN BOOK \_\_\_ OF PLATS, PAGE \_\_\_. Y.C.R.O., YUMA COUNTY, ARIZONA.
- (133.0) EXISTING NATURAL SOIL ELEVATION
- (A-90.00) EXISTING ASPHALT ELEVATION
- (RD-103.20) EXISTING ROAD ELEVATION
- (C-135.50) EXISTING CURB & GUTTER ELEVATION
- (G-135.17) EXISTING SIDEWALK ELEVATION
- (SW-135.52) EXISTING CROWN ELEVATION
- (CRN-106.66) EXISTING CONTOUR LINE
- 120 EXISTING LOT NUMBER
- A.P.N. ASSESSOR PARCEL NUMBER
- Y.C.R. YUMA COUNTY RECORDER
- A-122.50 NEW ASPHALT ELEVATION
- C-135.50 NEW CURB & GUTTER ELEVATION
- G-135.17
- 0.2% NEW SLOPE

### KEYNOTES:

- ① NEW CONCRETE SIDEWALK RAMP - SEE DETAIL  $\frac{A}{6}$
- ② NEW ROLL CURB (TYPE "C" CURB) - SEE DETAIL  $\frac{D}{6}$
- ③ NEW 4' CONCRETE SIDEWALK - SEE DETAIL  $\frac{B}{6}$
- ④ NEW VERTICAL CURB & GUTTER - SEE DETAIL  $\frac{C}{6}$
- ⑤ NEW 5' CONCRETE SIDEWALK - SEE DETAIL  $\frac{C}{6}$
- ⑥ NEW 6' CROSS VALLEY GUTTER - SEE DETAIL  $\frac{F}{6}$
- ⑦ NEW 50' CROWN TRANSITION
- ⑧ NEW 6' HIGH (AS MEASURED FROM THE HIGHER GROUND ELEVATION SIDE OF WALL) CMU WALL - SEE DETAIL  $\frac{E}{7}$
- ⑨ NEW CURB & GUTTER TRANSITION - SEE DETAIL  $\frac{E}{6}$
- ⑩ NEW DOUBLE FACED STREET SIGN W/STOP - SEE DETAIL  $\frac{H}{6}$   $\frac{G}{6}$
- ⑪ NEW STREET LIGHT BY APS
- ⑫ NEW STREET MONUMENT YUMA COUNTY - SEE DETAIL STD. No. 4-080  $\frac{G}{6}$
- ⑬ NEW RETAINING WALL - SEE DETAILS ON SHEET 7
- ⑭ NEW BOUNDARY MONUMENT YUMA COUNTY - SEE DETAIL STD. 4-030  $\frac{O}{6}$
- ⑮ TYPE III BARRICADE - SEE DETAIL  $\frac{G}{4}$
- ⑯ NEW CONCRETE SPILLWAY - SEE DETAIL  $\frac{L}{7}$



COPYING, REPRODUCTION, OR PUBLICATION OF THESE PLANS BY ANY METHOD, IN WHOLE OR IN PART IS PROHIBITED

**LAS QUINTAS DE SAN LUIS II SUBDIVISION**  
**PAVING & GRADING PLAN**

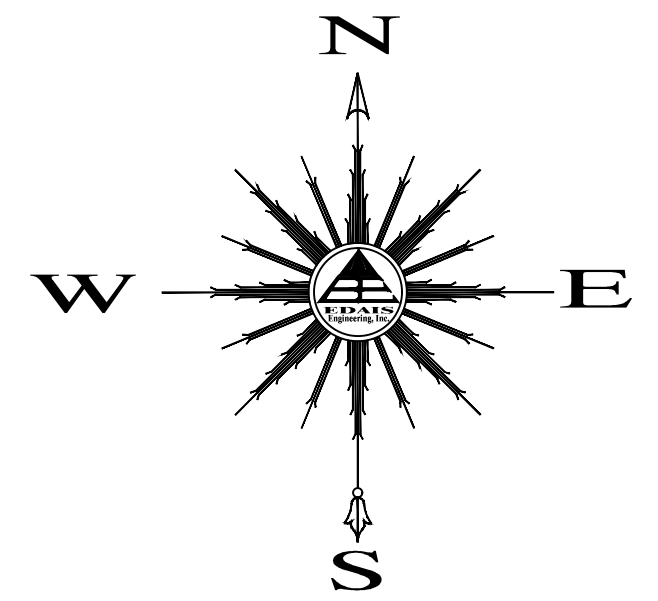
SCALE: AS SHOWN	DESIGNED BY: NKE	CHECKED BY: NKE
DATE: JUL. 16	DRAWN BY: STAFF	JOB No. 14-015

**EDAIS Engineering, Inc.**  
 3075 S. AVE. 4E Yuma, Arizona 85365  
 (928) 344-3566 FAX (928) 341-1075  
 EMAIL: najeh@edaisgroup.com

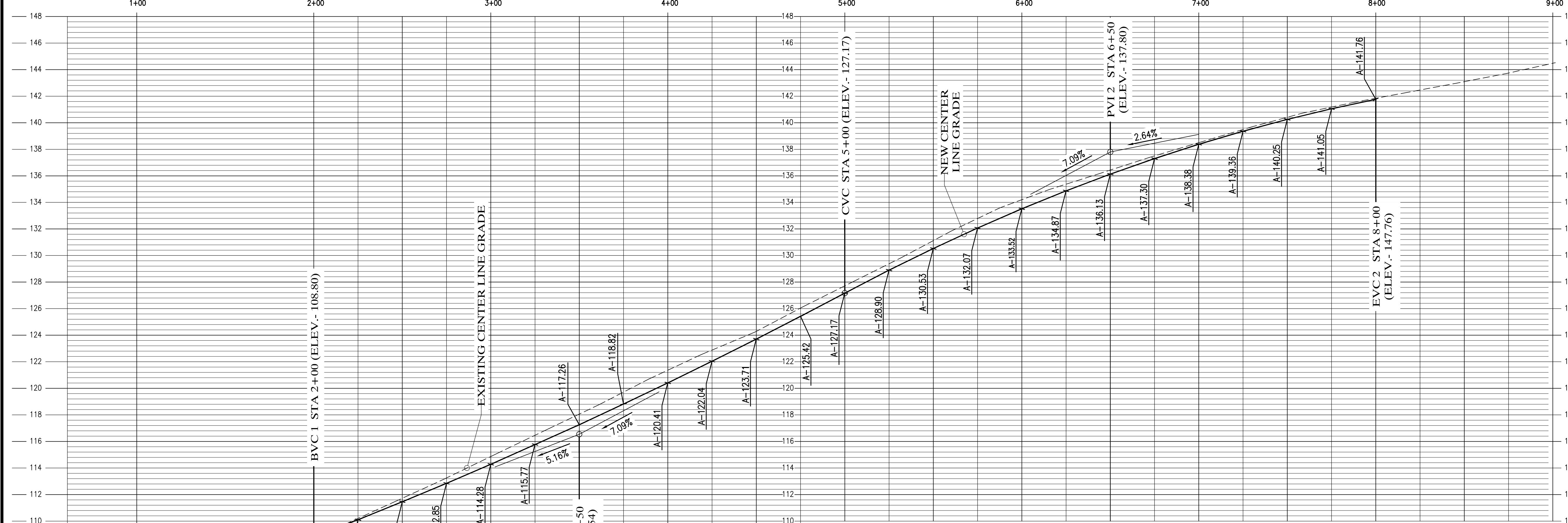
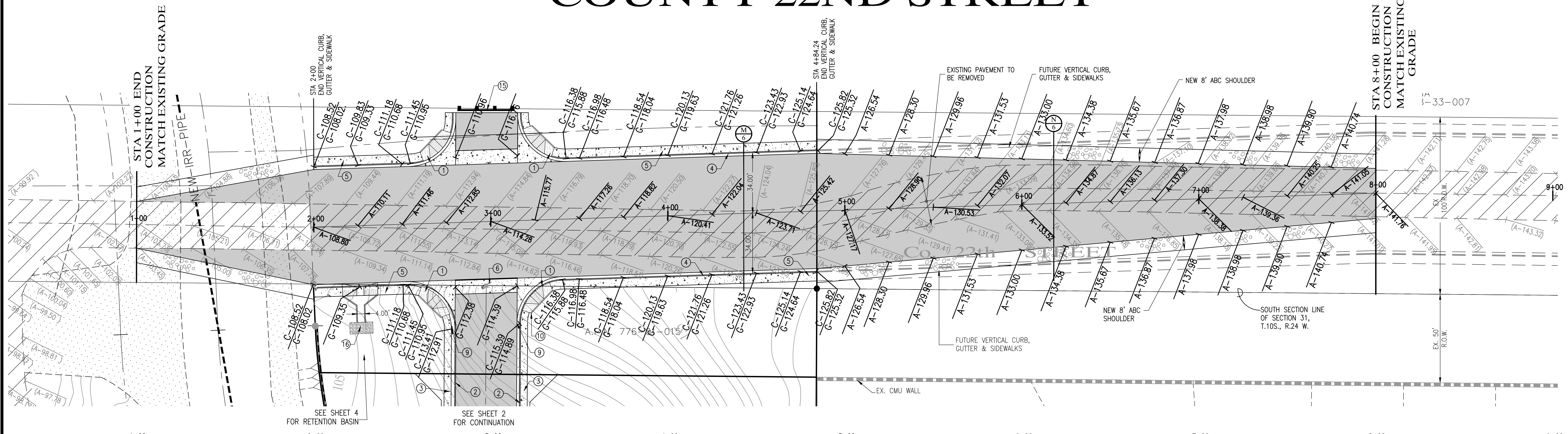
4

CALL TWO WORKING DAYS BEFORE YOU DIG  
 263-1100  
 1-800-STAKE-IT  
 (OUTSIDE MARICOPA COUNTY)

# COUNTY 22ND STREET

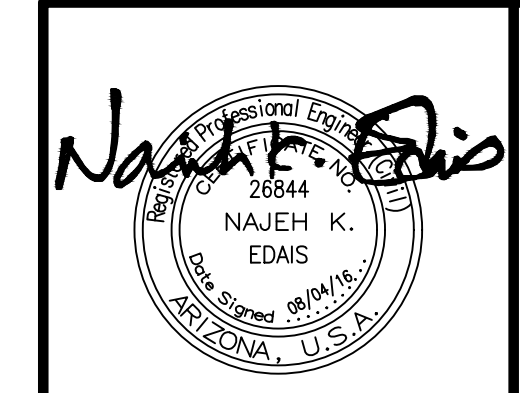


SCALE HORIZ: 1" = 30'  
SCALE VERT: 1" = 4'



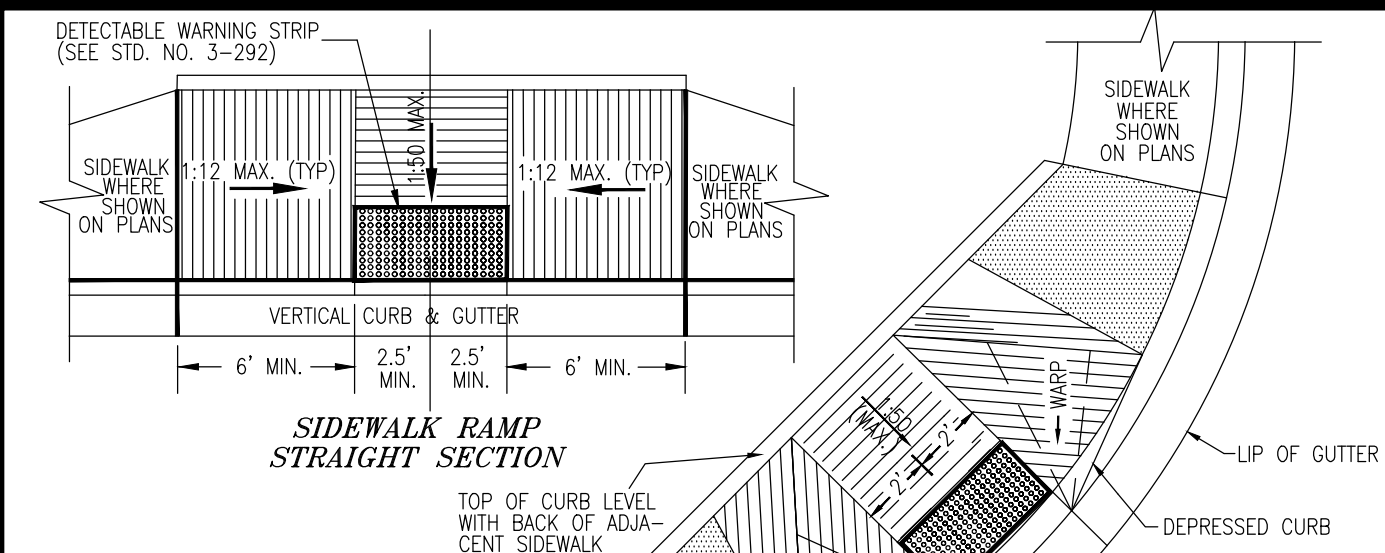
### KEYNOTES:

- ① NEW CONCRETE SIDEWALK RAMP - SEE DETAIL (A/6)
- ② NEW ROLL CURB (TYPE "C" CURB) - SEE DETAIL (D/6)
- ③ NEW 4' CONCRETE SIDEWALK - SEE DETAIL (B/6)
- ④ NEW VERTICAL CURB & GUTTER - SEE DETAIL (C/6)
- ⑤ NEW 5' CONCRETE SIDEWALK - SEE DETAIL (C/6)
- ⑥ NEW 6' CROSS VALLEY GUTTER - SEE DETAIL (E/6)
- ⑦ NEW 50' CROWN TRANSITION
- ⑧ NEW 6' HIGH (AS MEASURED FROM THE HIGHER GROUND ELEVATION SIDE OF WALL) CMU WALL - SEE DETAIL (E/7)
- ⑨ NEW CURB & GUTTER TRANSITION - SEE DETAIL (E/6)
- ⑩ NEW DOUBLE FACED STREET SIGN W/STOP - SEE DETAIL (H/6) (G/6)
- ⑪ NEW STREET LIGHT BY APS
- ⑫ NEW STREET MONUMENT YUMA COUNTY - SEE DETAIL (G/6)
- ⑬ NEW RETAINING WALL - SEE DETAILS ON SHEET 7
- ⑭ NEW BOUNDARY MONUMENT YUMA COUNTY - SEE DETAIL STD. 4-030
- ⑮ TYPE III BARRICADE - SEE DETAIL (G/4)
- ⑯ NEW CONCRETE SPILLWAY

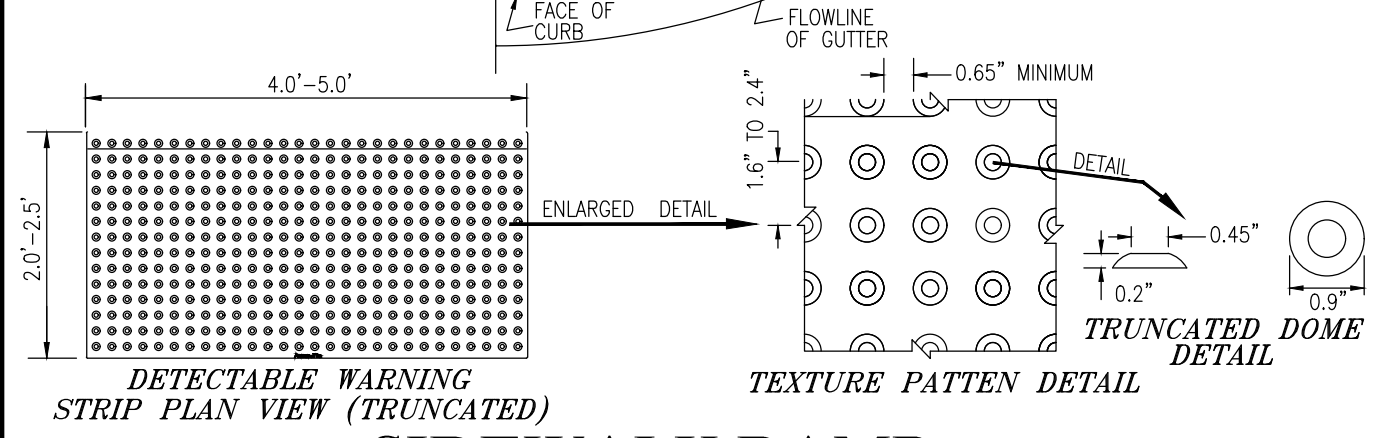


<b>LAS QUINTAS DE SAN LUIS II SUBDIVISION</b>		
<b>COUNTY 22nd STREET IMPROVEMENT</b>		
SCALE: AS SHOWN	DESIGNED BY: N.K.E.	CHECKED BY: N.K.E.
DATE: AUG 2016	DRAWN BY: STAFF	JOB No. 14-015
<b>EDAIS Engineering, Inc.</b>		SHEET <b>5</b>
3075 S. Ave. 4E Yuma, Arizona 85365 (928) 344-3566 FAX (928) 341-1075 EMAIL: EE@Edaisengineering.com		

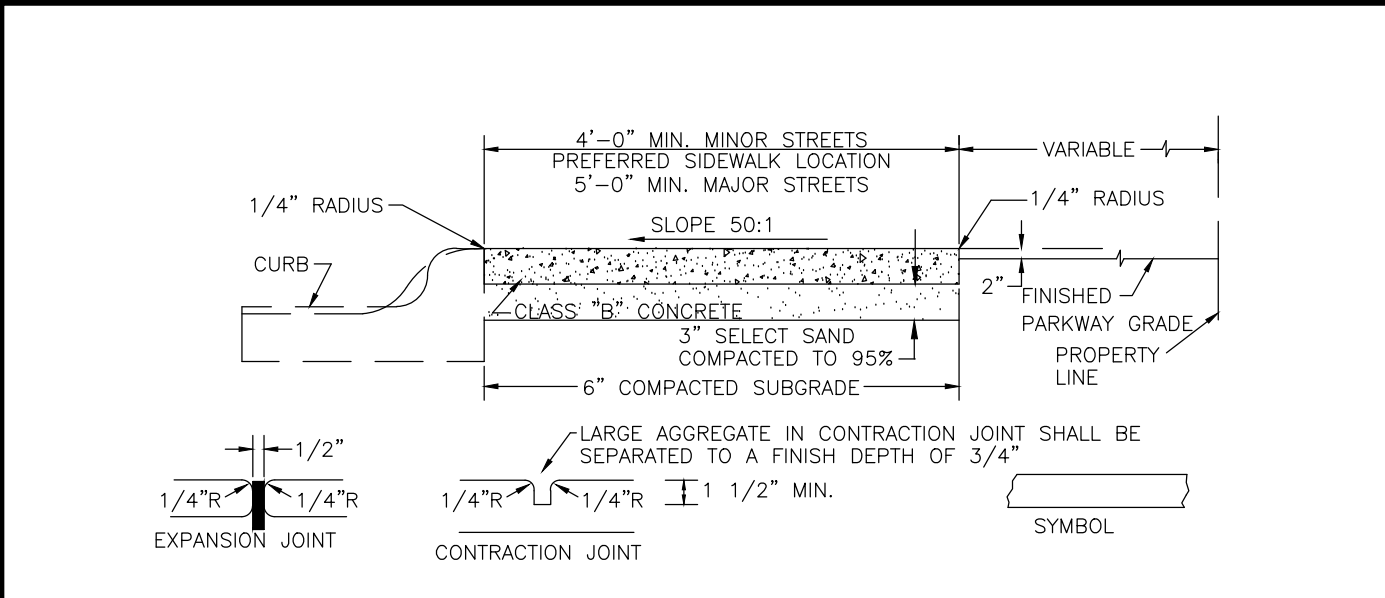
COPYING, REPRODUCTION, OR PUBLICATION OF THESE PLANS BY ANY METHOD, IN WHOLE OR IN PART IS PROHIBITED.



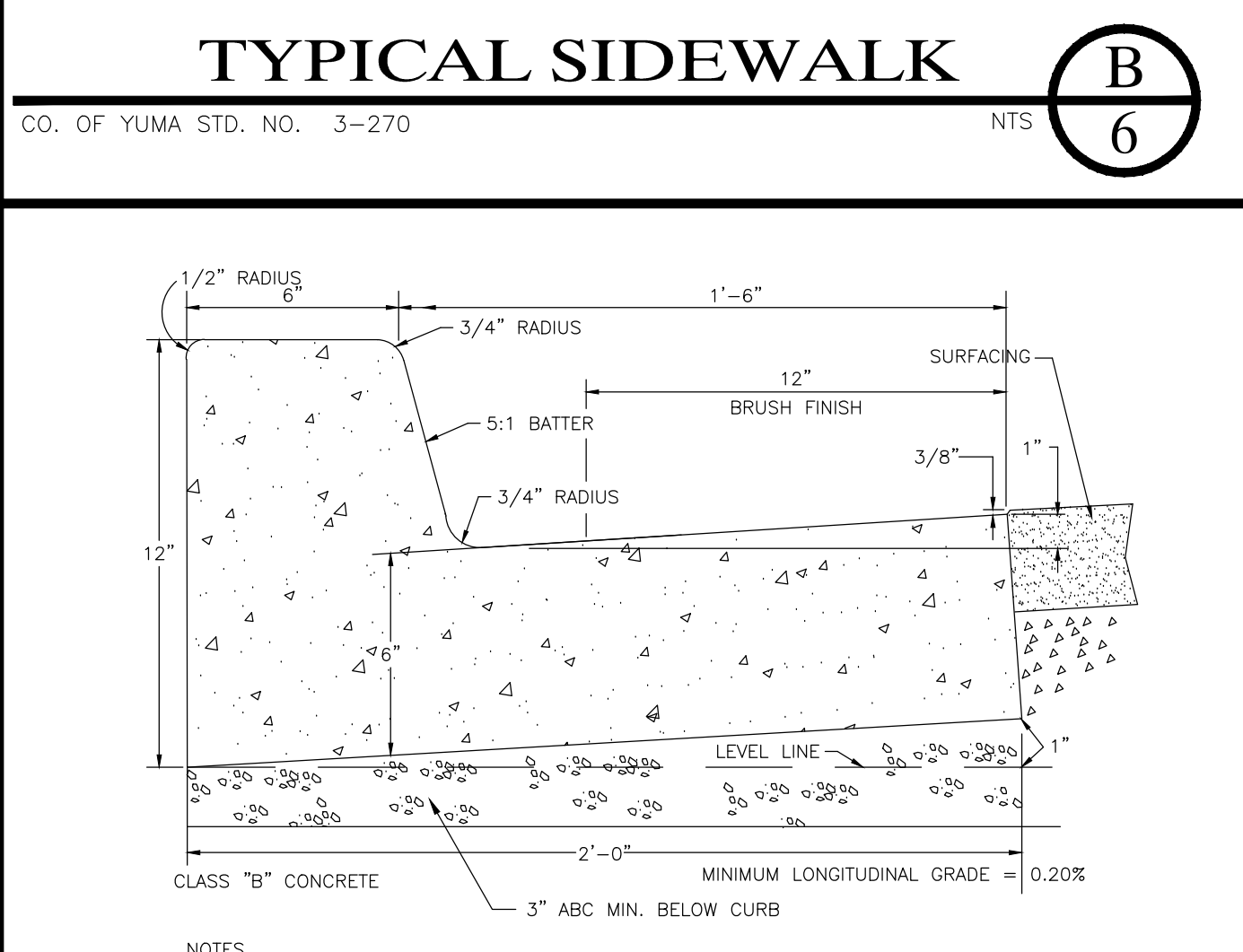
**NOTE:**  
 1. SEE STD. DETAIL NO. 3-291 SHEET 2 OF 2 FOR ADDITIONAL DETAILS ON DETECTABLE WARNING STRIP.  
 2. DETECTABLE WARNING STRIP (SEE STD. NO. 3-291 Sh. 2 of 2)



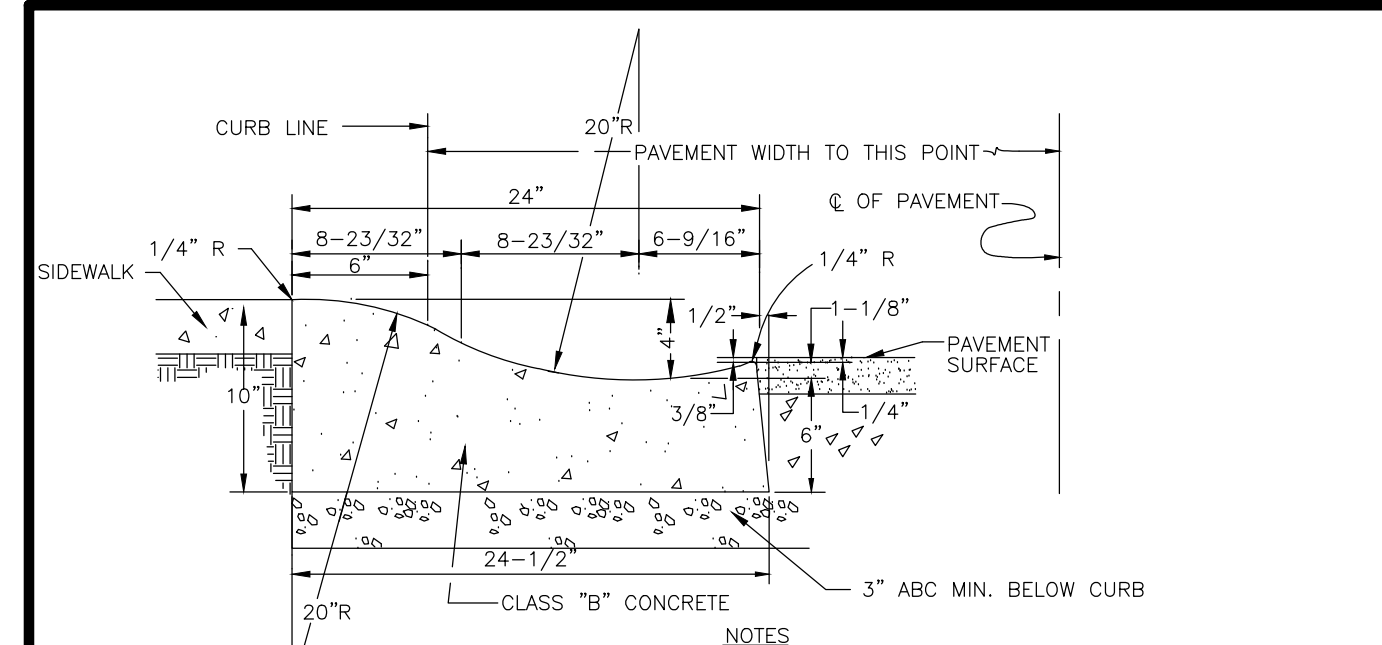
**SIDWALK RAMP DETECTABLE WARNING STRIP**  
 CO. OF YUMA STD. NO. 3-280 (MODIFIED) NTS 6



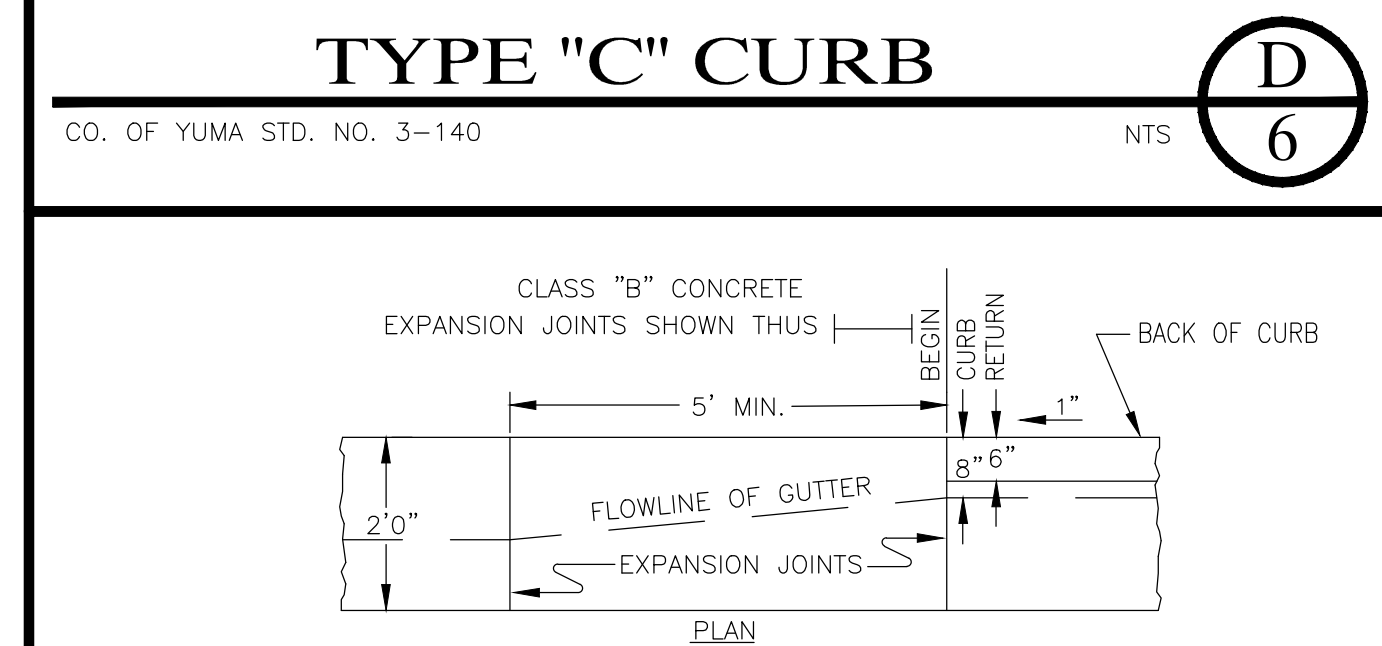
**TYPICAL SIDEWALK**  
 CO. OF YUMA STD. NO. 3-270 NTS 6



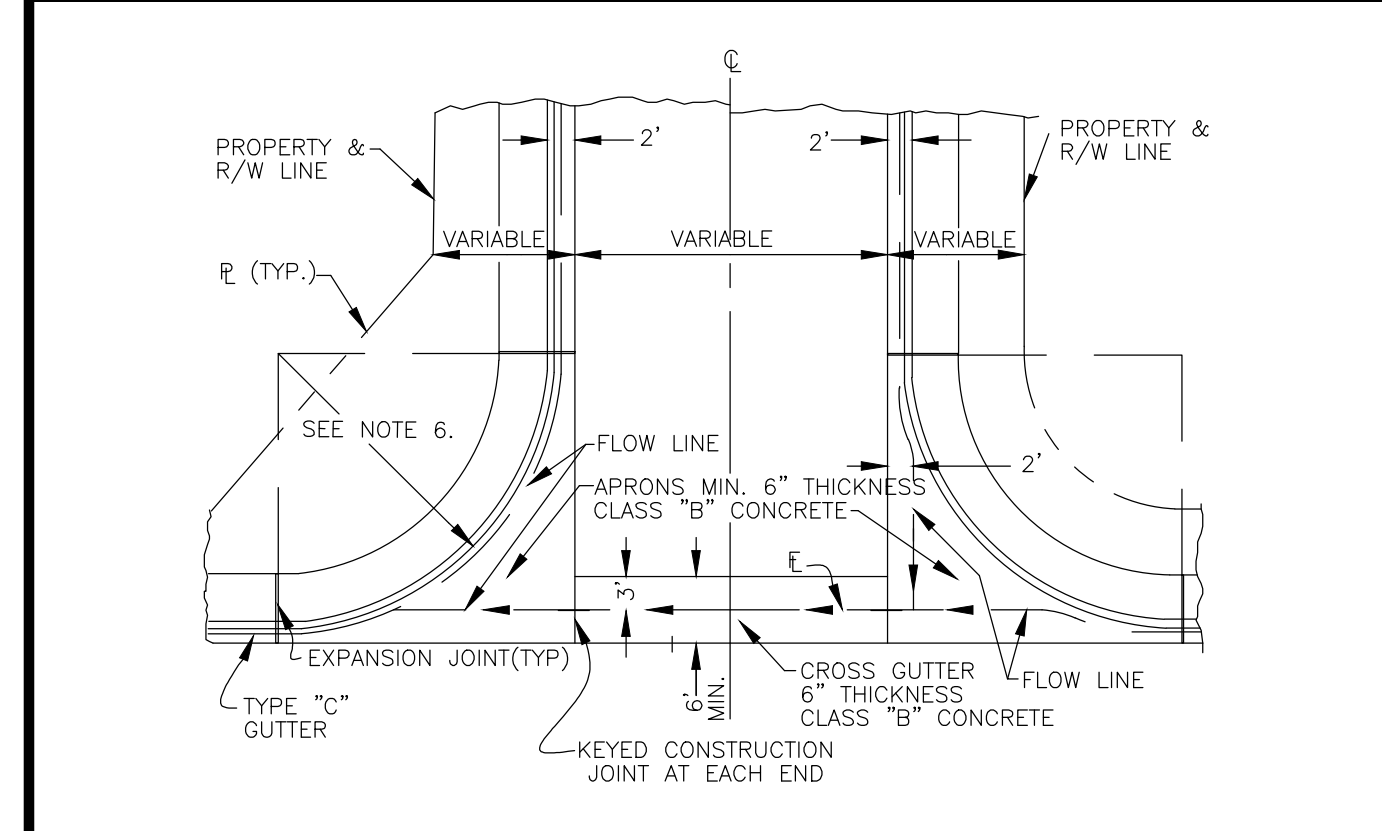
**TYPE "A" CURB**  
 CO. OF YUMA STD. NO. 3-120 NTS 6



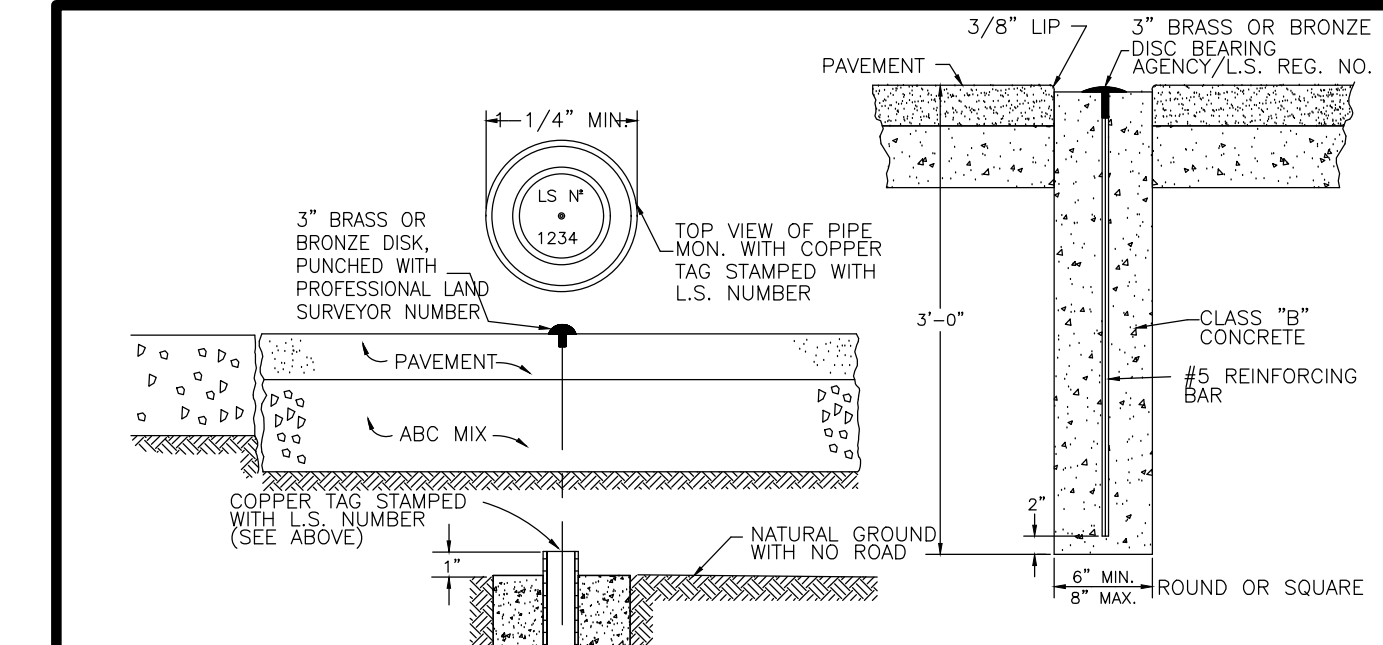
**TYPE "C" CURB**  
 CO. OF YUMA STD. NO. 3-140 NTS 6



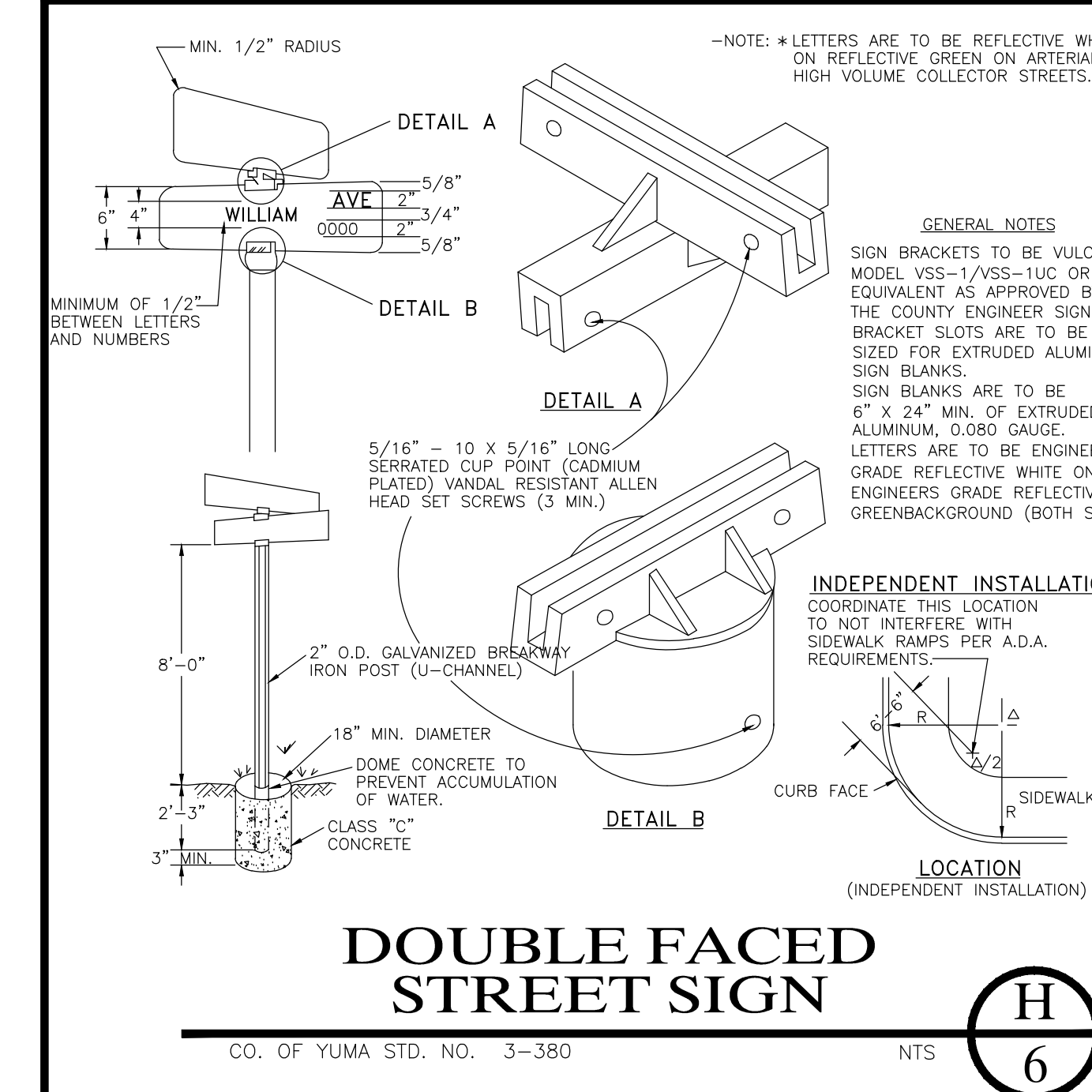
**CURB AND TRANSITION**  
 CO. OF YUMA STD. NO. 3-200 NTS 6



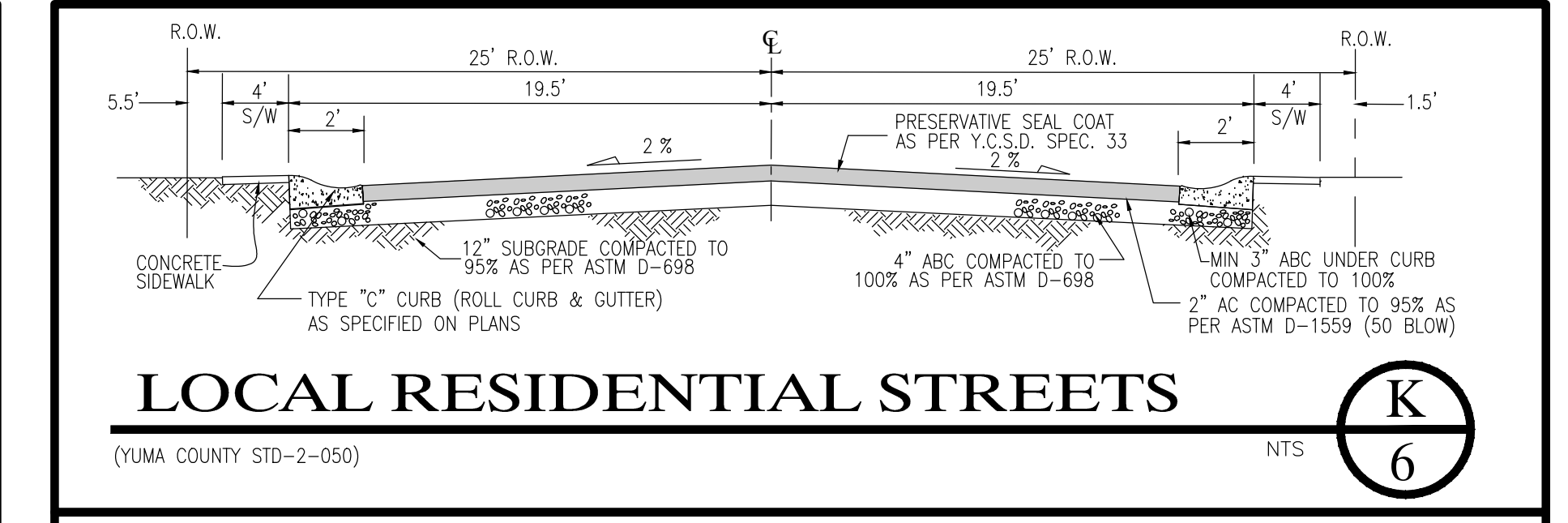
**CONCRETE VALLEY GUTTER**  
 CO. OF YUMA STD. NO. 3-170 AND 3-180 NTS 6



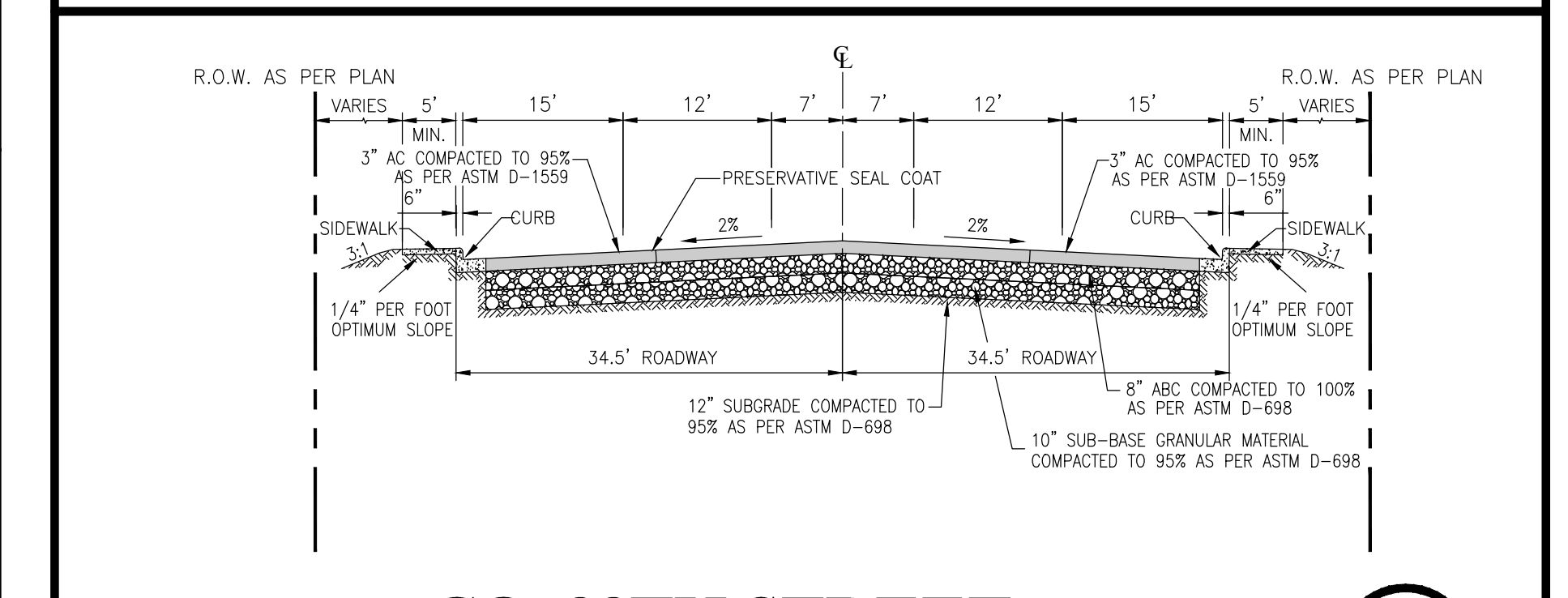
**SURVEY MONUMENT**  
 CO. OF YUMA STD. NO. 4-030 AND 4-080 NTS 6



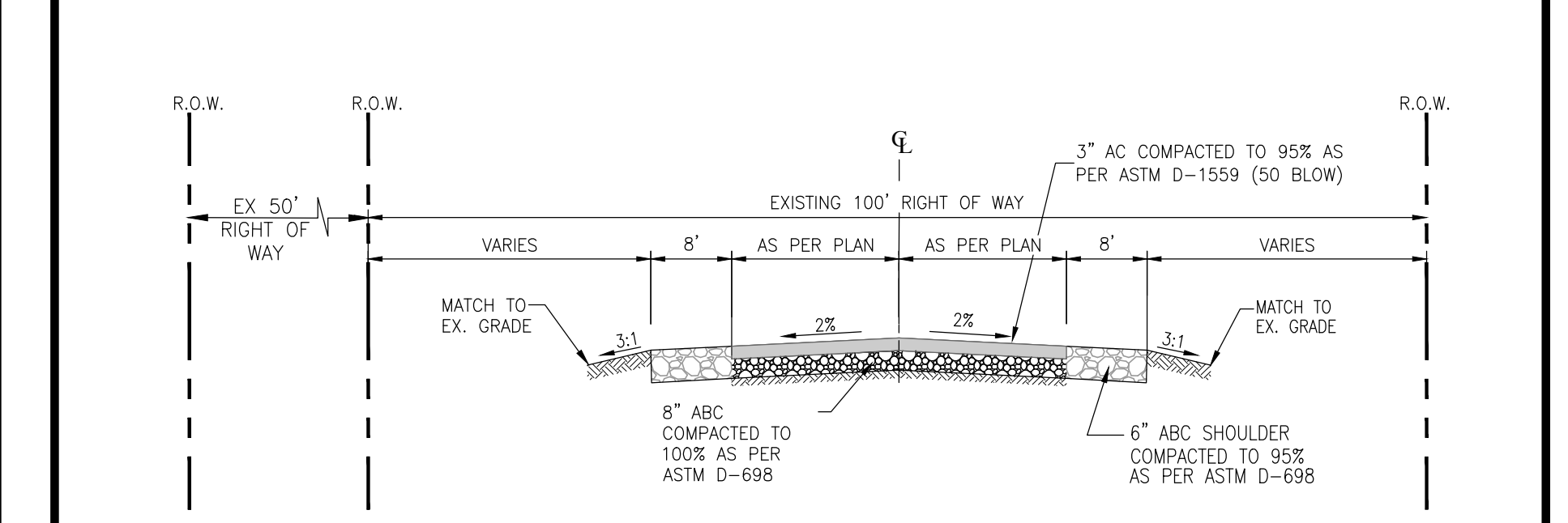
**DOUBLE FACED STREET SIGN WITH STOP SIGN**  
 CO. OF YUMA STD. NO. 3-380 NTS 6



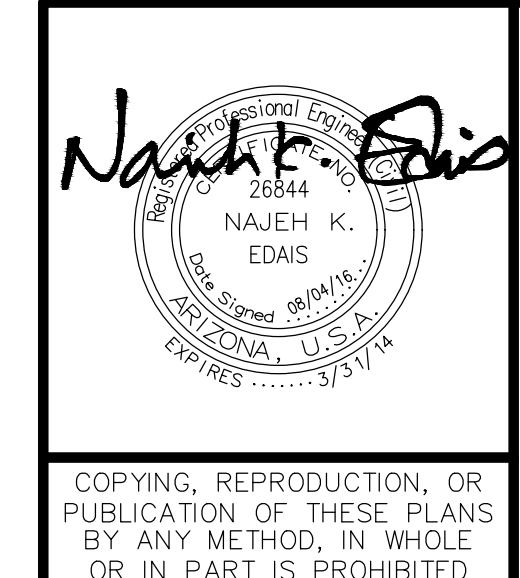
**LOCAL RESIDENTIAL STREETS**  
 (YUMA COUNTY STD-2-050) NTS 6



**CO. 22TH STREET**  
 (YUMA COUNTY STD-2-020 MODIFIED) NTS 6



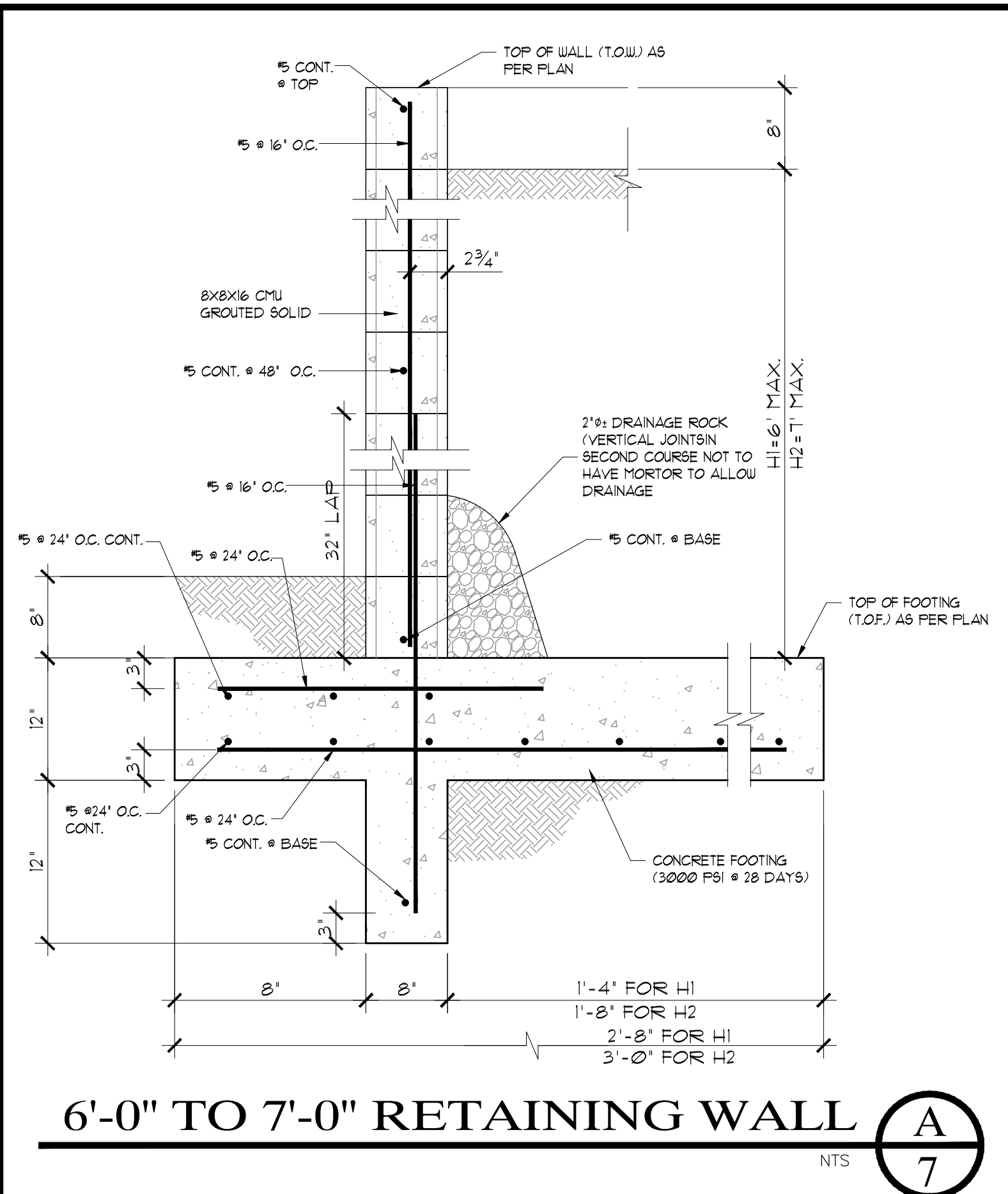
**CO. 22nd STREET CROSS-SECTION**  
 (COUNTY OF YUMA STD-2-020) MODIFIED NTS 6



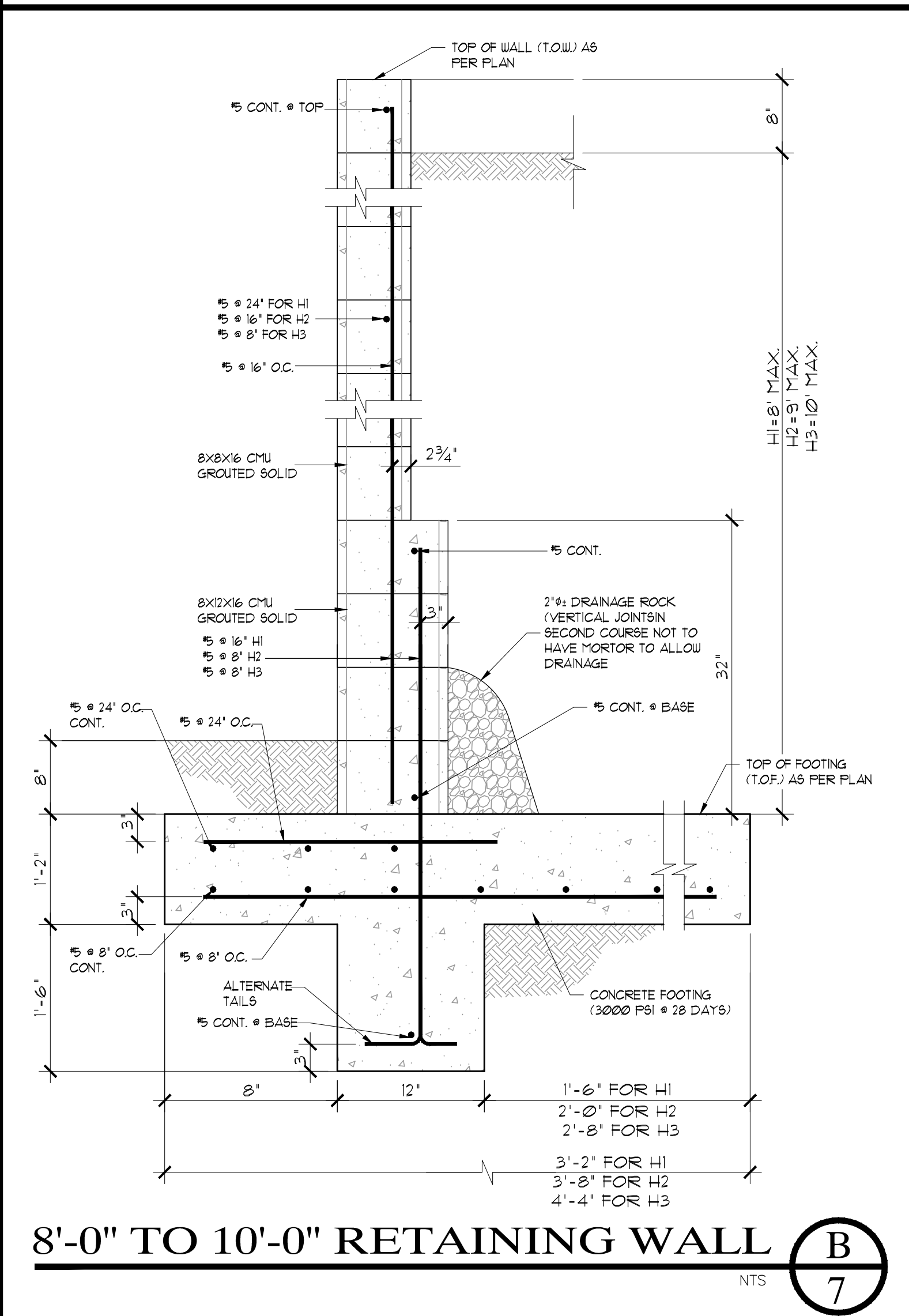
**LAS QUINTAS DE SAN LUIS II SUBDIVISION**  
**PAVING & GRADING DETAILS**

SCALE: AS SHOWN DESIGNED BY: N.K.E. CHECKED BY: N.K.E.  
 DATE: JUL. 16 DRAWN BY: STAFF JOB No. 14-015

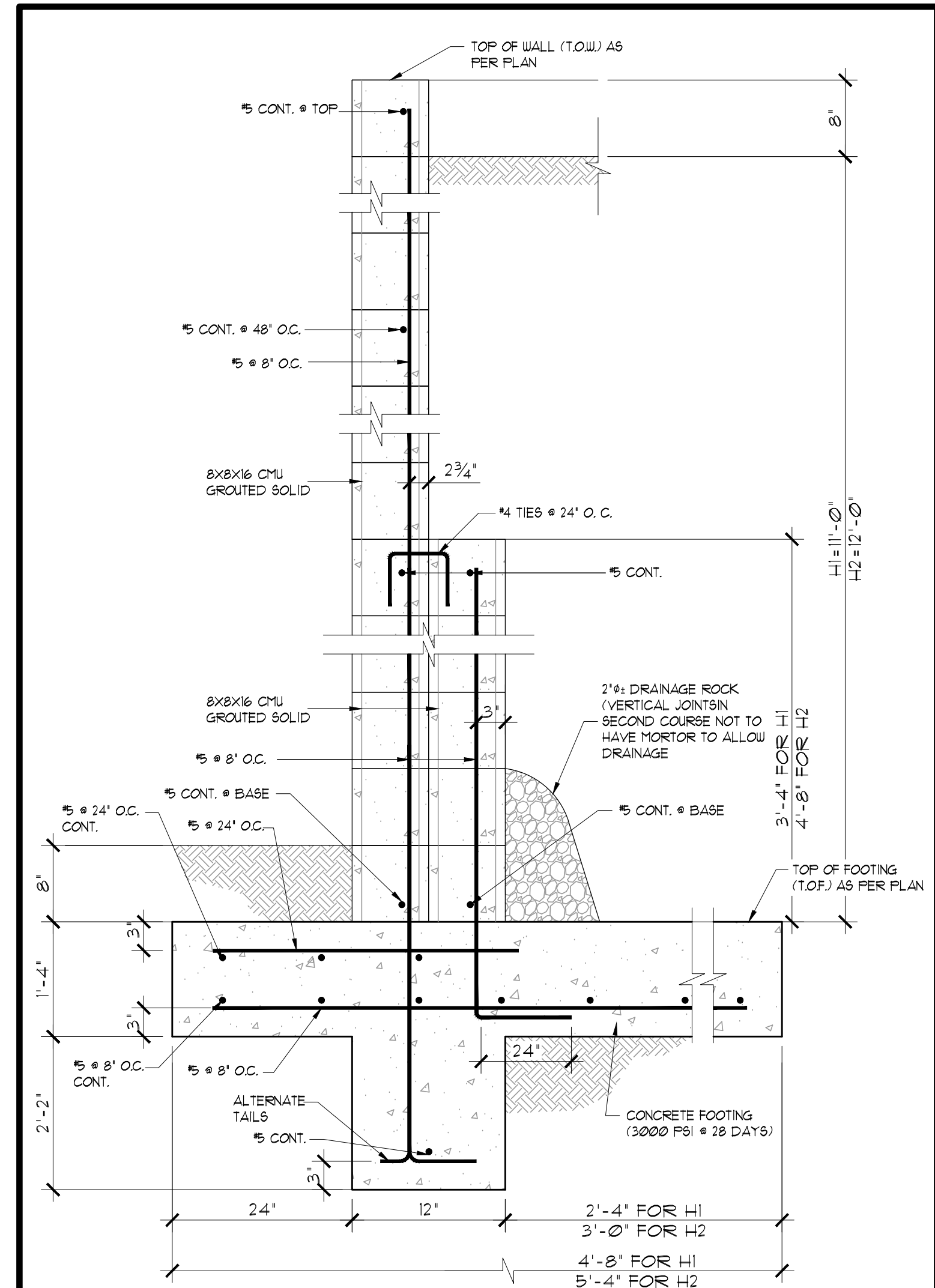
**EDAIS Engineering, Inc.**  
 3075 S. Ave. 4E Yuma, Arizona 85365  
 (928) 344-3566 FAX (928) 341-1075  
 EMAIL: EE@Edaisengineering.com



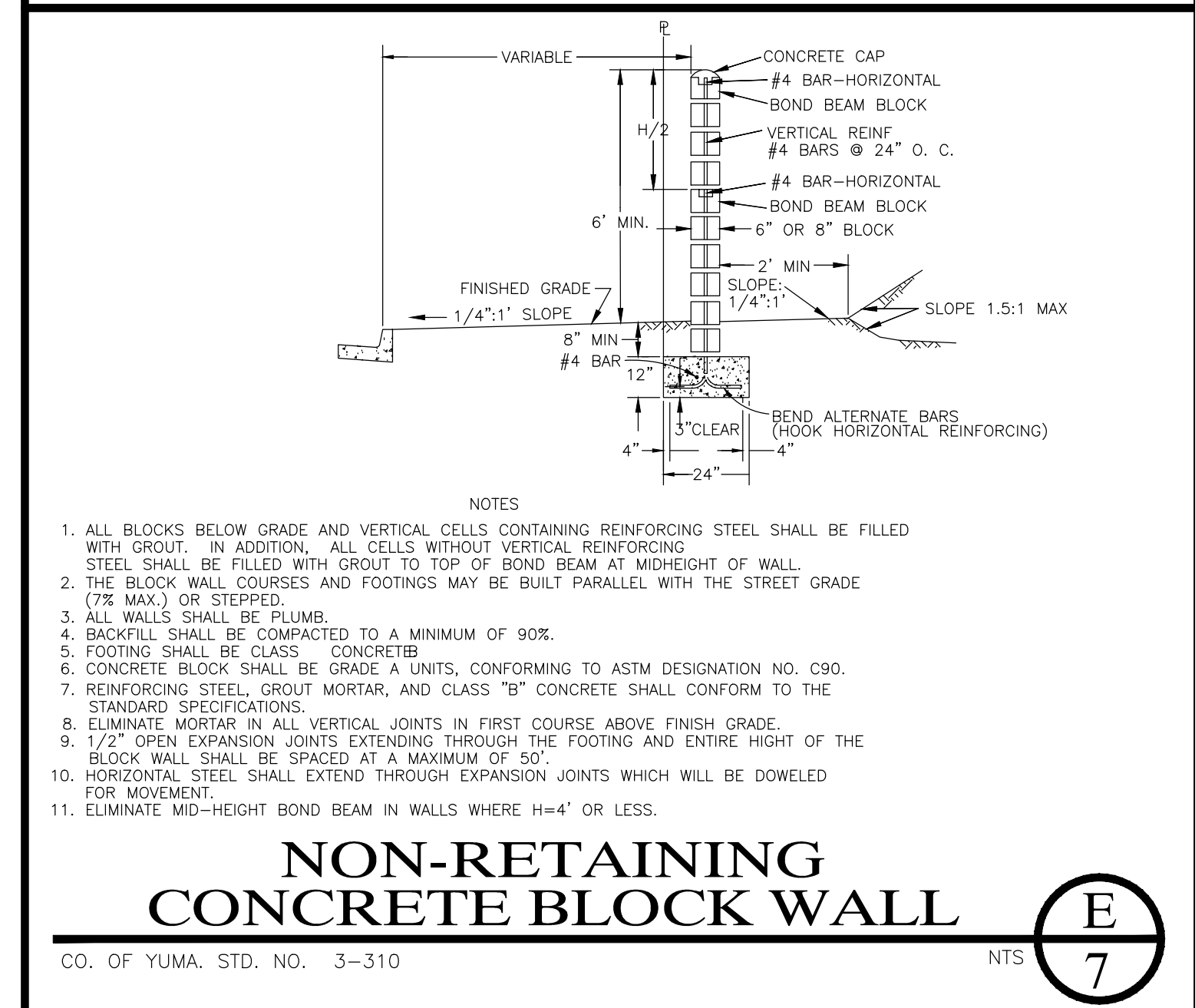
**6'-0" TO 7'-0" RETAINING WALL** (A) 7



**8'-0" TO 10'-0" RETAINING WALL** (B) 7

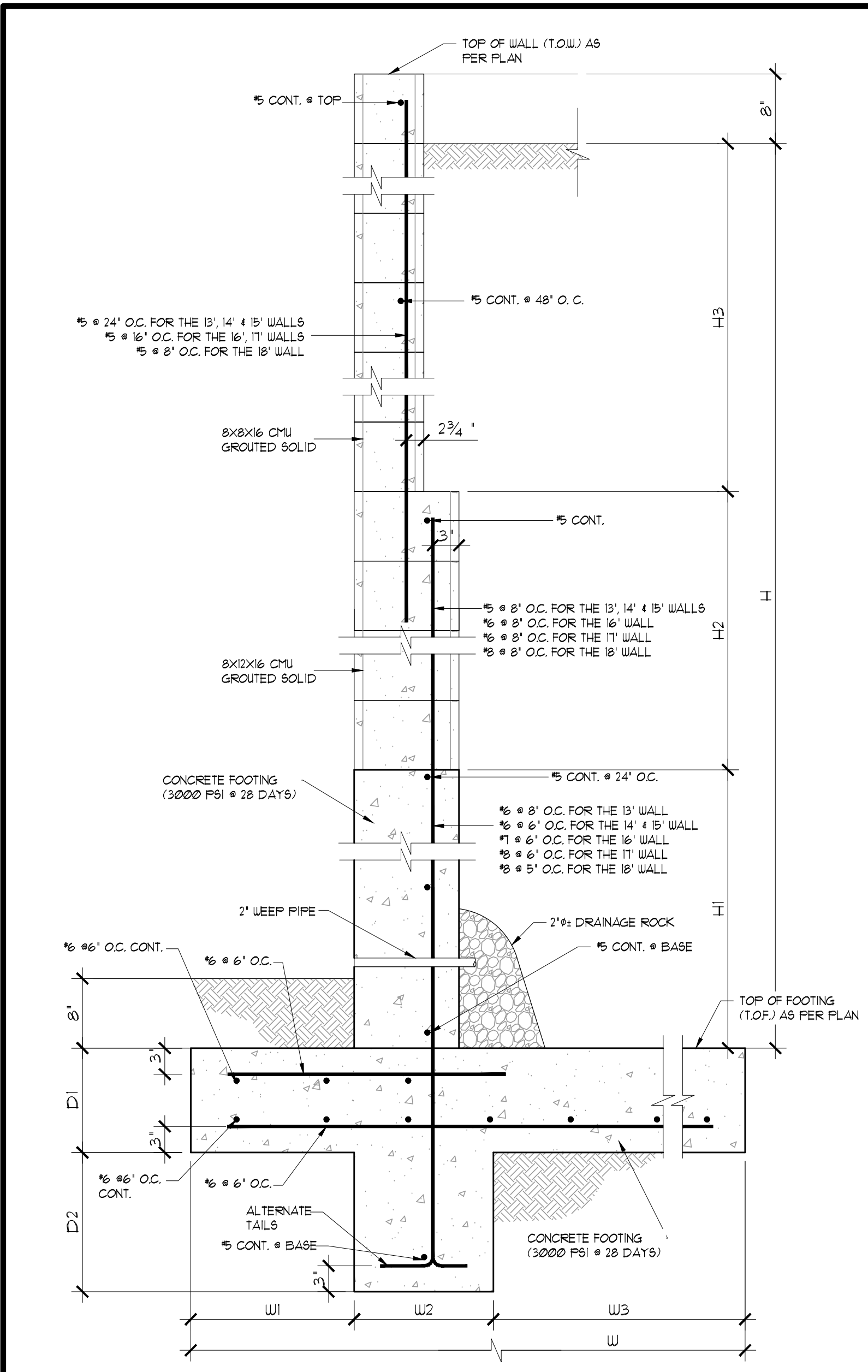


**11'-0" TO 12'-0" RETAINING WALL** (C) 7



**NON-RETAINING CONCRETE BLOCK WALL** (E) 7

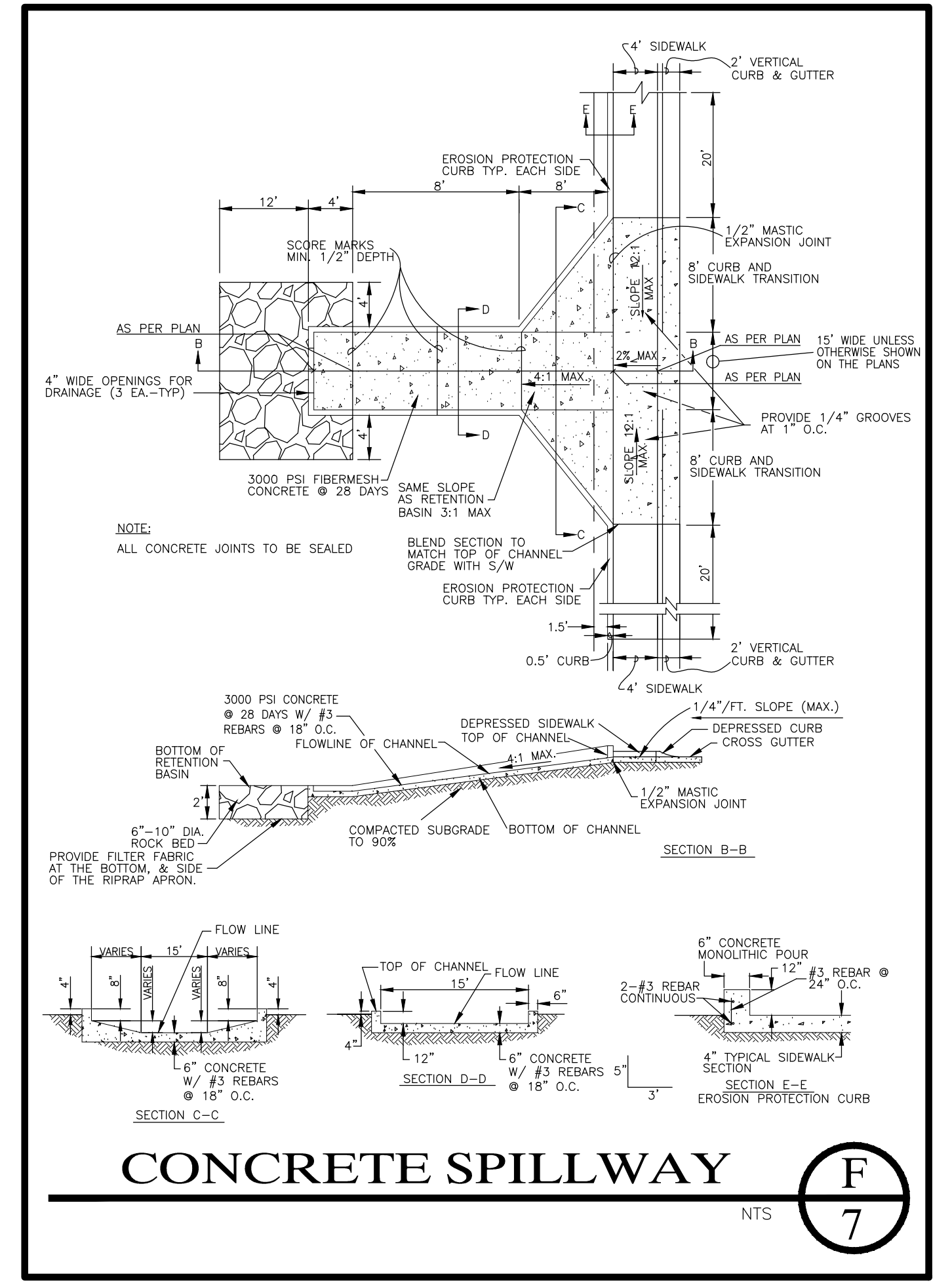
- NOTES:
1. ALL BLOCKS BELOW GRADE AND VERTICAL CELLS CONTAINING REINFORCING STEEL SHALL BE FILLED WITH GROUT. IN ADDITION, ALL CELLS WITHOUT VERTICAL REINFORCING STEEL SHALL BE FILLED WITH GROUT TO TOP OF BOND BEAM AT MIDHEIGHT OF WALL.
  2. THE BLOCK WALL COURSES AND FOOTINGS MAY BE BUILT PARALLEL WITH THE STREET GRADE (7% MAX.) OR STEPPED.
  3. ALL WALLS SHALL BE PLUMB.
  4. BACKFILL SHALL BE COMPACTED TO A MINIMUM OF 90%.
  5. FOOTING SHALL BE CLASS "C" CONCRETE.
  6. CONCRETE BLOCK SHALL BE GRADE A UNITS, CONFORMING TO ASTM DESIGNATION NO. C90.
  7. REINFORCING STEEL, GROUT MORTAR, AND CLASS "B" CONCRETE SHALL CONFORM TO THE STANDARD SPECIFICATIONS.
  8. ELIMINATE MORTAR IN ALL VERTICAL JOINTS IN FIRST COURSE ABOVE FINISH GRADE.
  9. 1/2" OPEN EXPANSION JOINTS EXTENDING THROUGH THE FOOTING AND ENTIRE HEIGHT OF THE BLOCK WALL SHALL BE SPACED AT A MAXIMUM OF 50'.
  10. HORIZONTAL STEEL SHALL EXTEND THROUGH EXPANSION JOINTS WHICH WILL BE DOWELED FOR MOVEMENT.
  11. ELIMINATE MID-HEIGHT BOND BEAM IN WALLS WHERE H=4' OR LESS.



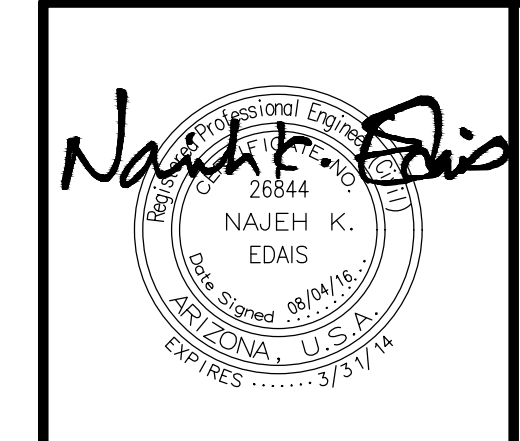
**RETAINING WALL SCHEDULE**

WALL	H1	H2	H3	W	W1	W2	W3	D1	D2
13'-0"	4'-0"	4'-0"	5'-8"	5'-9"	2'-0"	1'-0"	2'-9"	1'-6"	2'-6"
14'-0"	4'-0"	4'-0"	6'-8"	7'-0"	2'-6"	1'-0"	3'-6"	1'-6"	2'-6"
15'-0"	4'-8"	4'-8"	6'-4"	7'-0"	2'-6"	1'-0"	3'-6"	1'-8"	3'-0"
16'-0"	5'-4"	4'-0"	7'-4"	8'-0"	2'-6"	1'-0"	4'-6"	1'-8"	3'-0"
17'-0"	6'-0"	4'-0"	7'-8"	8'-4"	3'-6"	1'-0"	3'-10"	2'-0"	3'-6"
18'-0"	6'-8"	6'-0"	6'-0"	8'-10"	3'-6"	1'-0"	4'-4"	2'-0"	3'-8"

**13'-0" TO 18'-0" RETAINING WALL** (D) 7



**CONCRETE SPILLWAY** (F) 7



**LAS QUINTAS DE SAN LUIS II SUBDIVISION**

**PAVING & GRADING DETAILS**

SCALE: AS SHOWN    DESIGNED BY: N.K.E.    CHECKED BY: N.K.E.  
 DATE: JUL. 16    DRAWN BY: STAFF    JOB No. 14-015

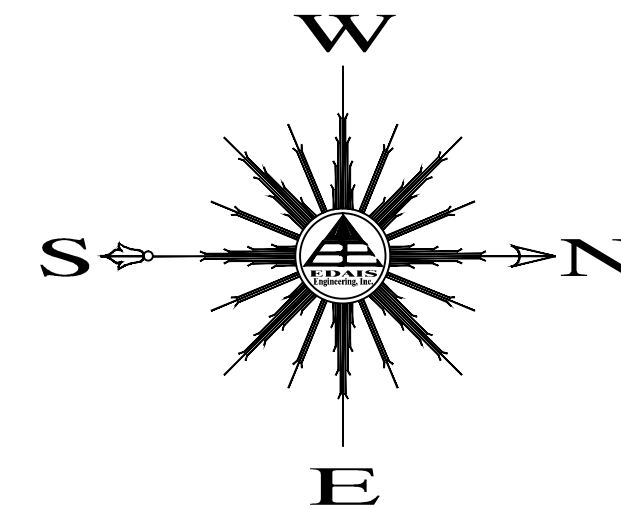
**EDAIS Engineering, Inc.**  
 3075 S. Ave. 4E    Yuma, Arizona 85365  
 (928) 344-3566    FAX (928) 341-1075  
 EMAIL: EE@Edaisengineering.com

COPYING, REPRODUCTION, OR PUBLICATION OF THESE PLANS BY ANY METHOD, IN WHOLE OR IN PART IS PROHIBITED.

SHEET 7

**LEGEND**

- CENTERLINE
- PROPERTY LINE
- BOUNDARY LINE
- W — NEW PVC WATER MAIN
- S — NEW PVC SEWER LINE
- ②0 NEW LOT NUMBER
- ①88 FUTURE LOT NUMBER
- NEW SEWER SERVICE
- NEW SINGLE WATER SERVICE
- NEW DUAL WATER SERVICE
- NEW 2" BACKFLOW PREVENTOR
- NEW THRUST BLOCK
- NEW WATER VALVE
- NEW MANHOLE
- NEW TEMPORARY BLOWOFF VALVE
- NEW FIRE HYDRANT
- NEW MANHOLE
- RIM. NEW RIM ELEVATION
- INV. NEW INVERT ELEVATION
- NEW STREET MONUMENT AS PER YUMA COUNTY STD. No. 4-080
- EXISTING WATER VALVE



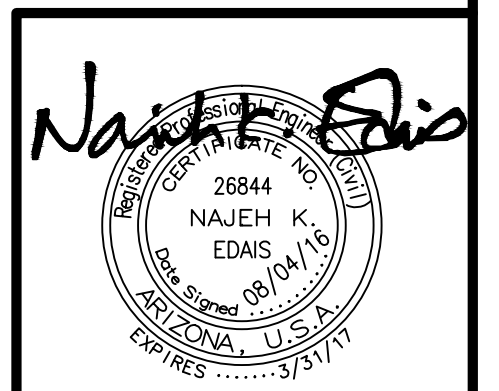
SCALE: 1"=60'

**WATER / SEWER CONSTRUCTION KEYNOTES**

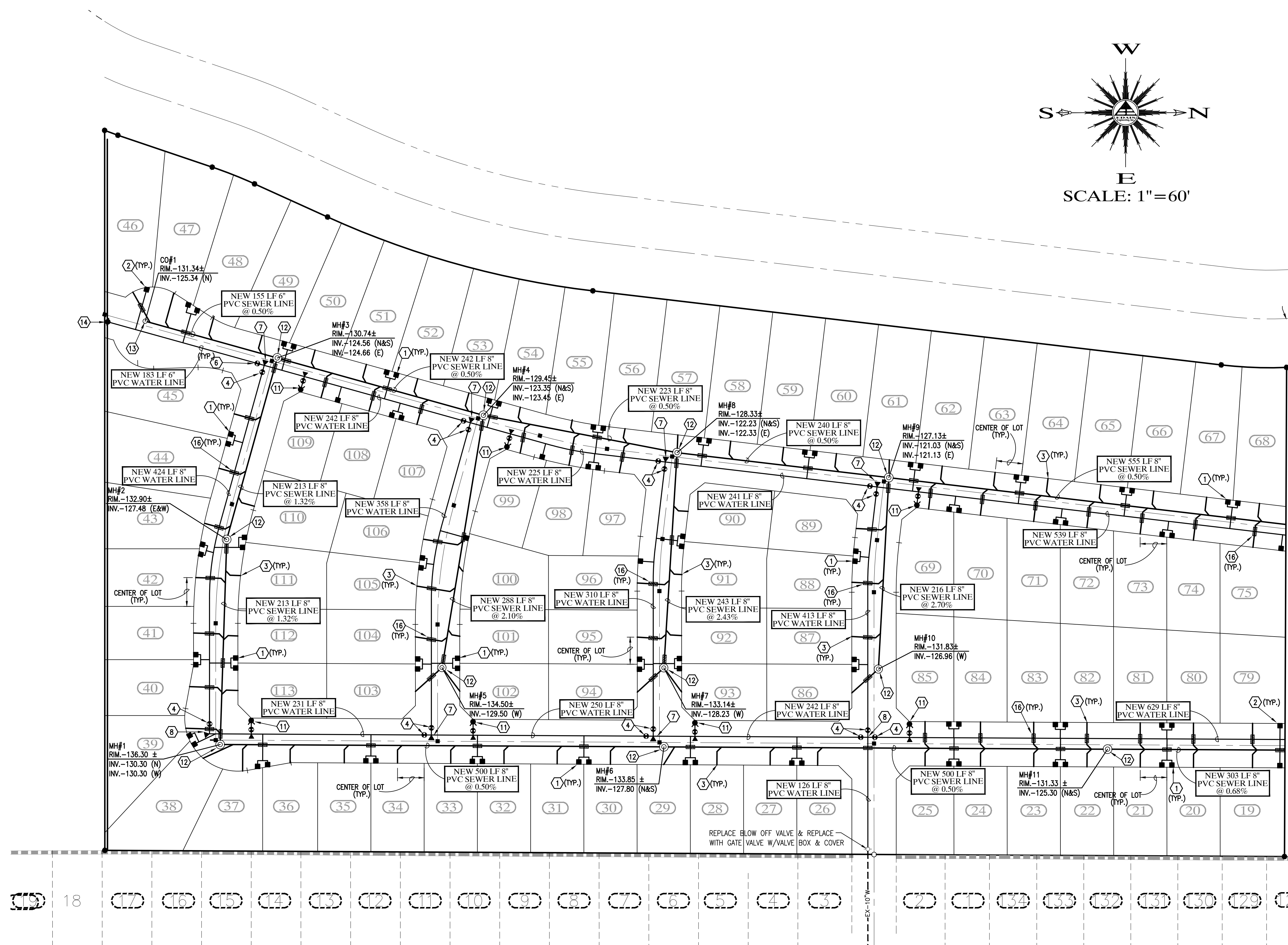
- ① INSTALL 1" DUAL WATER SERVICE (TYP.) - SEE DETAILS (A/14), (B/14), (C/14)
- ② INSTALL 1" SINGLE WATER SERVICE (TYP.) - SEE DETAILS (A/14), (B/14), (C/14)
- ③ INSTALL 4" SEWER SERVICE (TYP.) - SEE DETAIL (H/14)
- ④ INSTALL 8" GATE VALVE W/ V.B.&C. - SEE DETAILS (P/15), (Q/16)
- ⑤ INSTALL 10" GATE VALVE W/ V.B.&C. - SEE DETAILS (P/15), (Q/16)
- ⑥ INSTALL 6" GATE VALVE W/ V.B.&C. - SEE DETAILS (P/15), (Q/16)
- ⑦ INSTALL 8" X 8" PVC TEE W/ THRUST BLOCK - SEE DETAILS (O/15)
- ⑧ INSTALL 90° ELL W/ THRUST BLOCK - SEE DETAILS (O/15)
- ⑨ INSTALL 45° ELL W/ THRUST BLOCK - SEE DETAILS (O/15)
- ⑩ INSTALL 12" X 8" TAPPING SLEEVE TEE W/ THRUST BLOCK - SEE DETAILS (O/15)
- ⑪ INSTALL 6" FIRE HYDRANT COMPLETE - SEE DETAIL (I/15)
- ⑫ CONSTRUCT NEW SANITARY SEWER MANHOLE - SEE DETAILS (L/15)
- ⑬ CONSTRUCT NEW SANITARY SEWER CLEANOUT - SEE DETAIL (M/15)
- ⑭ INSTALL TEMPORARY WATER BLOWOFF VALVE - SEE DETAIL (L/15)
- ⑮ INSTALL 2" BACKFLOW PREVENTOR W/ CAGE - SEE DETAIL (G/15)
- ⑯ INSTALL 14" MIN. DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT EACH END - SEE DETAIL (I/16)
- ⑰ INSTALL TYPE "A" DROP SEWER CONNECTION - SEE DETAIL (S/16)
- ⑱ INSTALL 8" X 8" PVC CROSS W/ THRUST BLOCK - SEE DETAILS (O/15)
- ⑲ INSTALL 10" X 10" PVC CROSS W/ THRUST BLOCK - SEE DETAILS (O/15)
- ⑳ CONSTRUCT ALL SEWER SERVICES TO CENTER OF THE LOT UNLESS NOTED OTHERWISE
- ㉑ INSTALL 2" WATER SERVICE (TYP.) - SEE DETAILS (P/14)

**UTILITY WARNING**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



COPYING, REPRODUCTION, OR PUBLICATION OF THESE PLANS BY ANY METHOD, IN WHOLE OR IN PART IS PROHIBITED.



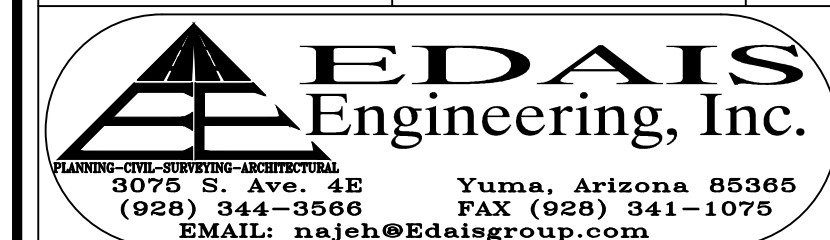
BIENESTAR ESTATES No. 7A  
BOOK 18, PAGE 11, Y.C.R.

LAS QUINTAS DE SAN LUIS  
SUBDIVISION PHASE 2  
BK 17, PG. 85, Y.C.R.

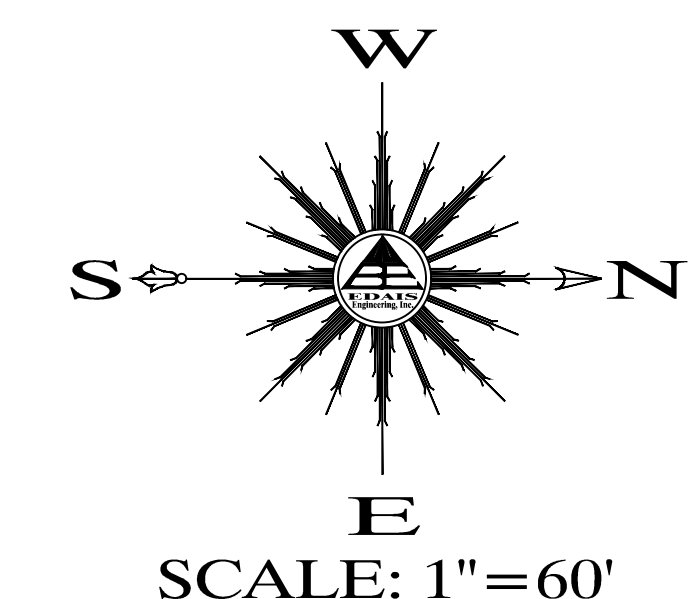
**LAS QUINTAS DE SAN LUIS 2  
SUBDIVISION**

**WATER & SEWER PLAN**

SCALE: AS SHOWN    DESIGNED BY: NKE    CHECKED BY: NKE  
DATE: AUG '16"    DRAWN BY: STAFF    JOB No. 14-015



SHEET



**LEGEND**

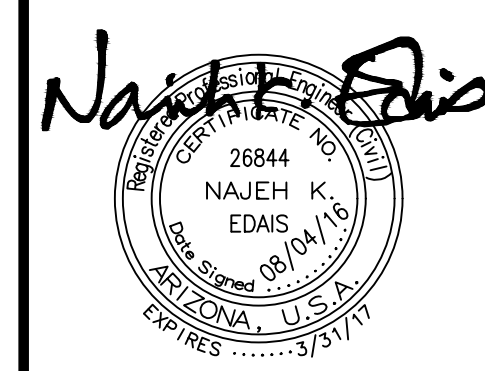
- CENTERLINE
- PROPERTY LINE
- BOUNDARY LINE
- NEW PVC WATER MAIN
- NEW PVC SEWER LINE
- ⓪ NEW LOT NUMBER
- Ⓜ FUTURE LOT NUMBER
- NEW SEWER SERVICE
- NEW SINGLE WATER SERVICE
- NEW DUAL WATER SERVICE
- NEW 2" BACKFLOW PREVENTOR
- NEW THRUST BLOCK
- NEW WATER VALVE
- ⊙ NEW MANHOLE
- NEW TEMPORARY BLOWOFF VALVE
- NEW FIRE HYDRANT
- MH NEW MANHOLE
- RIM. NEW RIM ELEVATION
- INV. NEW INVERT ELEVATION
- NEW STREET MONUMENT AS PER YUMA COUNTY STD. No. 4-080
- ⊗ EXISTING WATER VALVE

**WATER / SEWER CONSTRUCTION KEYNOTES**

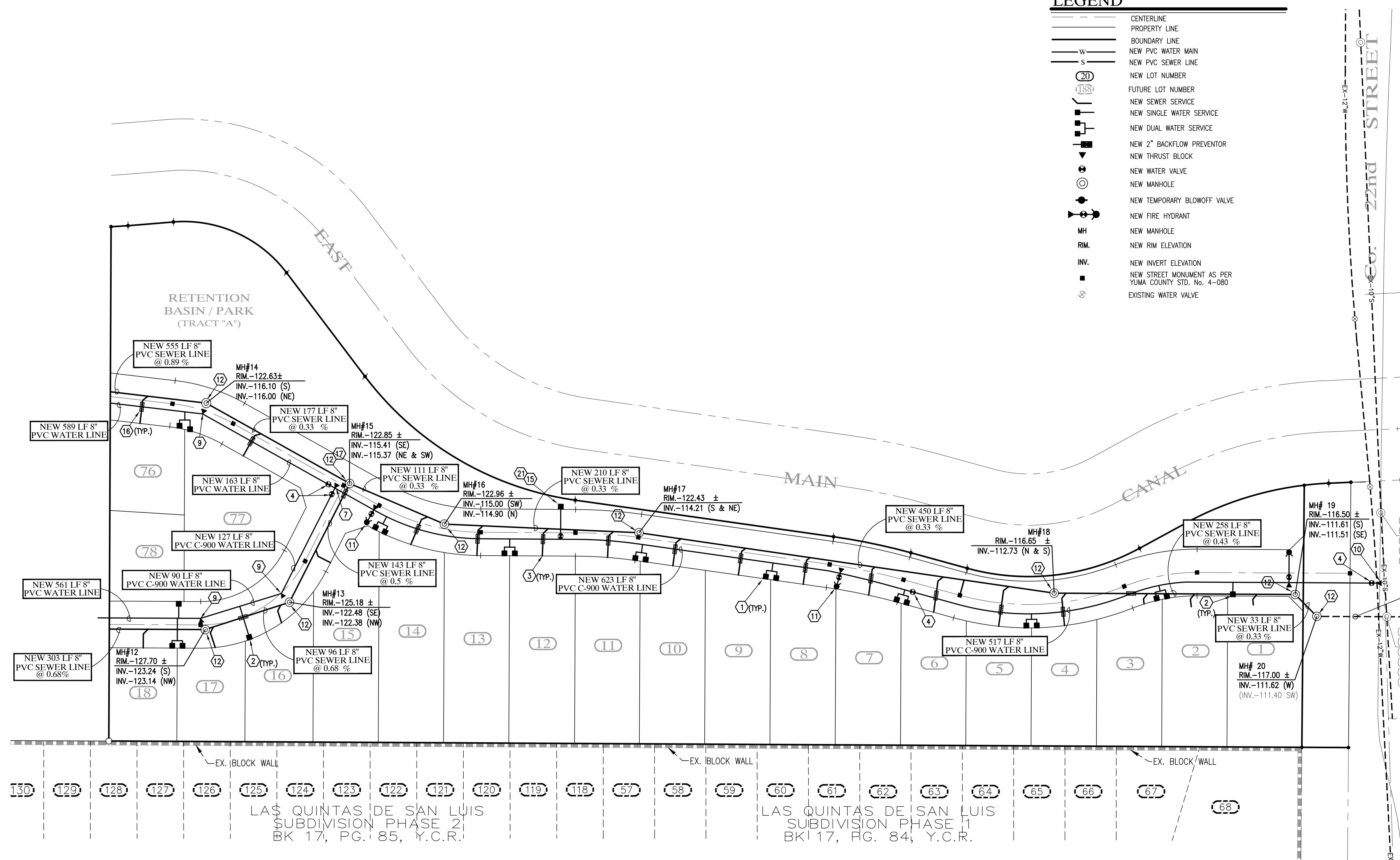
- 1) INSTALL 1" DUAL WATER SERVICE (TYP.) - SEE DETAILS (A) (B) (C)
- 2) INSTALL 1" SINGLE WATER SERVICE (TYP.) - SEE DETAILS (A) (B) (C)
- 3) INSTALL 4" SEWER SERVICE (TYP.) - SEE DETAIL (A)
- 4) INSTALL 8" GATE VALVE W/ V.B.&C. - SEE DETAILS (A) (B)
- 5) INSTALL 10" GATE VALVE W/ V.B.&C. - SEE DETAILS (A) (B)
- 6) INSTALL 6" GATE VALVE W/ V.B.&C. - SEE DETAILS (A) (B)
- 7) INSTALL 8" X 8" PVC TEE W/ THRUST BLOCK - SEE DETAILS (A) (B)
- 8) INSTALL 90° ELL W/ THRUST BLOCK - SEE DETAILS (A) (B)
- 9) INSTALL 45° ELL W/ THRUST BLOCK - SEE DETAILS (A) (B)
- 10) INSTALL 12" X 8" TAPPING SLEEVE TEE W/ THRUST BLOCK - SEE DETAILS (A) (B)
- 11) INSTALL 6" FIRE HYDRANT COMPLETE - SEE DETAIL (A)
- 12) CONSTRUCT NEW SANITARY SEWER MANHOLE - SEE DETAILS (A) (B)
- 13) CONSTRUCT NEW SANITARY SEWER CLEANOUT - SEE DETAIL (A)
- 14) INSTALL TEMPORARY WATER BLOWOFF VALVE - SEE DETAIL (A)
- 15) INSTALL 2" BACKFLOW PREVENTOR W/ CAGE - SEE DETAIL (A)
- 16) INSTALL 14" MIN. DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT EACH END - SEE DETAIL (A)
- 17) INSTALL TYPE "A" DROP SEWER CONNECTION - SEE DETAIL (A)
- 18) INSTALL 8" X 8" PVC CROSS W/ THRUST BLOCK - SEE DETAILS (A) (B)
- 19) INSTALL 10" X 10" PVC CROSS W/ THRUST BLOCK - SEE DETAILS (A) (B)
- 20) CONSTRUCT ALL SEWER SERVICES TO CENTER OF THE LOT UNLESS NOTED OTHERWISE
- 21) INSTALL 2" WATER SERVICE (TYP.) - SEE DETAILS (A)

**UTILITY WARNING**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



COPYING, REPRODUCTION, OR PUBLICATION OF THESE PLANS BY ANY METHOD, IN WHOLE OR IN PART IS PROHIBITED.



LAS QUINTAS DE SAN LUIS SUBDIVISION PHASE 2 BK 17, PG. 85, Y.C.R.

LAS QUINTAS DE SAN LUIS SUBDIVISION PHASE 1 BK 17, PG. 84, Y.C.R.

**LAS QUINTAS DE SAN LUIS II SUBDIVISION**  
**WATER & SEWER PLAN**

SCALE: AS SHOWN	DESIGNED BY: NKE	CHECKED BY: NKE
DATE: JUL 16	DRAWN BY: STAFF	JOB No. 14-015

**Edais Engineering, Inc.**  
 3075 S. AVE. 4E Yuma, Arizona 85365  
 (928) 344-3566 FAX (928) 341-1075  
 EMAIL: najeh@edaisgroup.com

**WATER / SEWER CONSTRUCTION KEYNOTES**

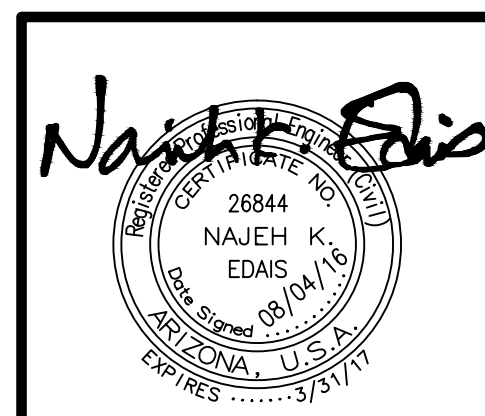
- 1 INSTALL 1" DUAL WATER SERVICE (TYP.) - SEE DETAILS (A14) (B14) (E14)
- 2 INSTALL 1" SINGLE WATER SERVICE (TYP.) - SEE DETAILS (A14) (B14) (E14)
- 3 INSTALL 4" SEWER SERVICE (TYP.) - SEE DETAIL (H14)
- 4 INSTALL 8" GATE VALVE W/ V.B.&C. - SEE DETAILS (P15) (O16)
- 5 INSTALL 10" GATE VALVE W/ V.B.&C. - SEE DETAILS (P15) (O16)
- 6 INSTALL 6" GATE VALVE W/ V.B.&C. - SEE DETAILS (P15) (O16)
- 7 INSTALL 8" X 8" PVC TEE W/ THRUST BLOCK - SEE DETAILS (O15)
- 8 INSTALL 90° ELL W/ THRUST BLOCK - SEE DETAILS (O15)
- 9 INSTALL 45° ELL W/ THRUST BLOCK - SEE DETAILS (O15)
- 10 INSTALL 12" X 8" TAPPING SLEEVE TEE W/ THRUST BLOCK - SEE DETAILS (O15)
- 11 INSTALL 6" FIRE HYDRANT COMPLETE - SEE DETAIL (I15)
- 12 CONSTRUCT NEW SANITARY SEWER MANHOLE - SEE DETAILS (J15)
- 13 CONSTRUCT NEW SANITARY SEWER CLEANOUT - SEE DETAIL (M15)
- 14 INSTALL TEMPORARY WATER BLOWOFF VALVE - SEE DETAIL (N15)
- 15 INSTALL 2" BACKFLOW PREVENTOR W/ CAGE - SEE DETAIL (G15)
- 16 INSTALL 14" MIN. DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT EACH END - SEE DETAIL (T16)
- 17 INSTALL TYPE "A" DROP SEWER CONNECTION - SEE DETAIL (S16)
- 18 INSTALL 8" X 8" PVC CROSS W/ THRUST BLOCK - SEE DETAILS (O15)
- 19 INSTALL 10" X 10" PVC CROSS W/ THRUST BLOCK - SEE DETAILS (O15)
- 20 CONSTRUCT ALL SEWER SERVICES TO CENTER OF THE LOT UNLESS NOTED OTHERWISE
- 21 INSTALL 2" WATER SERVICE (TYP.) - SEE DETAILS (I14)

**SEWER CONSTRUCTION KEYNOTES**

- 3 INSTALL 4" SEWER SERVICE (TYP.) - SEE DETAIL (H14)
- 12 CONSTRUCT NEW SANITARY SEWER MANHOLE - SEE DETAILS (J15)
- 13 CONSTRUCT NEW SANITARY SEWER CLEANOUT - SEE DETAIL (M15)
- 16 INSTALL 14" MIN. DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT EACH END - SEE DETAIL (T16)
- 20 CONSTRUCT ALL SEWER SERVICES TO CENTER OF THE LOT UNLESS NOTED OTHERWISE

**LEGEND**

- CENTERLINE
- PROPERTY LINE
- BOUNDARY LINE
- NEW PVC WATER MAIN
- W — NEW PVC SEWER LINE
- S — NEW LOT NUMBER
- (20) — FUTURE LOT NUMBER
- (18S) — NEW SEWER SERVICE
- NEW SINGLE WATER SERVICE
- NEW DUAL WATER SERVICE
- NEW 2" BACKFLOW PREVENTOR
- NEW THRUST BLOCK
- NEW WATER VALVE
- NEW MANHOLE
- NEW TEMPORARY BLOWOFF VALVE
- NEW FIRE HYDRANT
- MH — NEW MANHOLE
- RIM. — NEW RIM ELEVATION
- INV. — NEW INVERT ELEVATION
- NEW STREET MONUMENT AS PER YUMA COUNTY STD. No. 4-080
- EXISTING WATER VALVE



COPYING, REPRODUCTION, OR PUBLICATION OF THESE PLANS BY ANY METHOD, IN WHOLE OR IN PART IS PROHIBITED

**LAS QUINTAS DE SAN LUIS 2 SUBDIVISION**

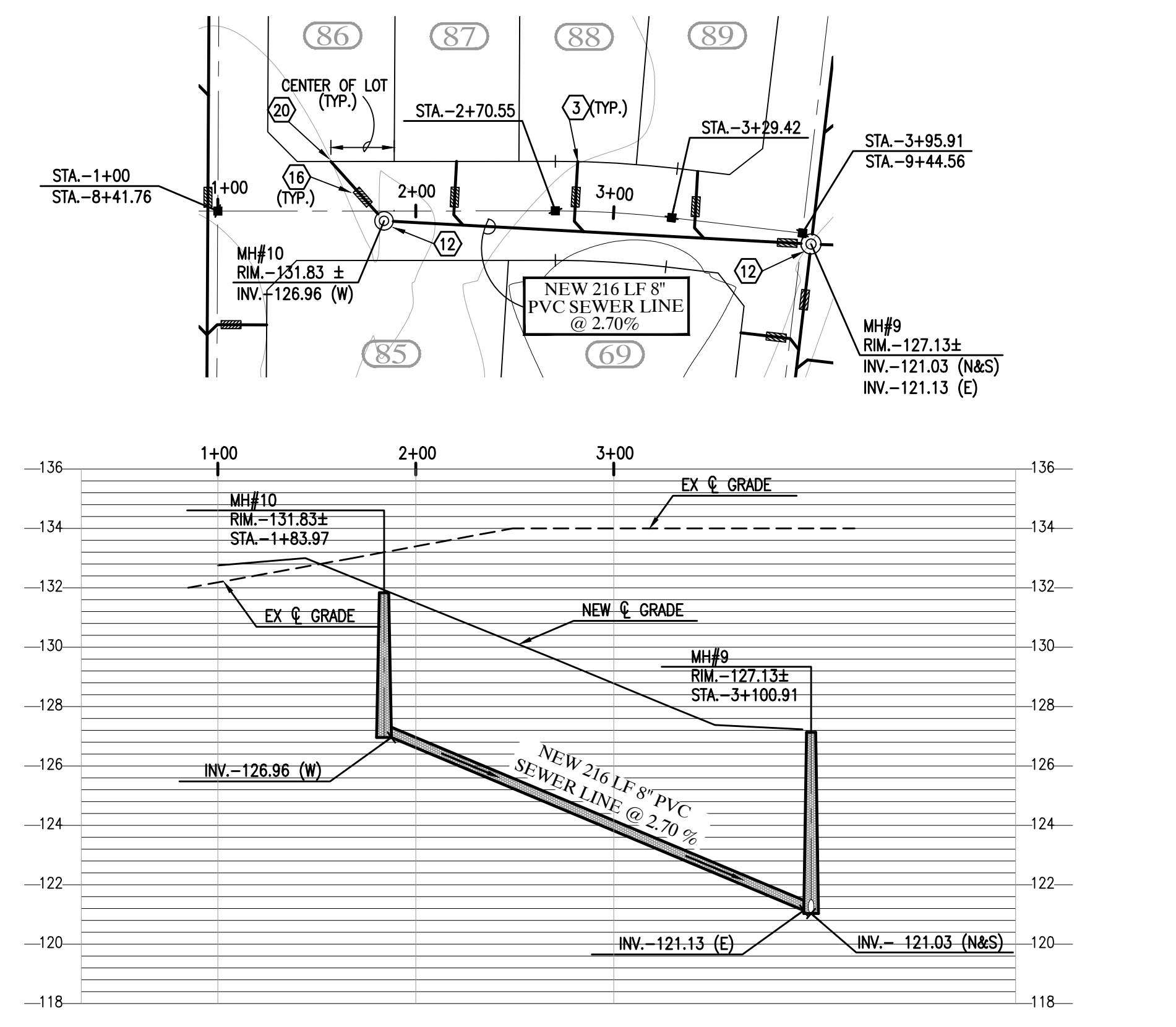
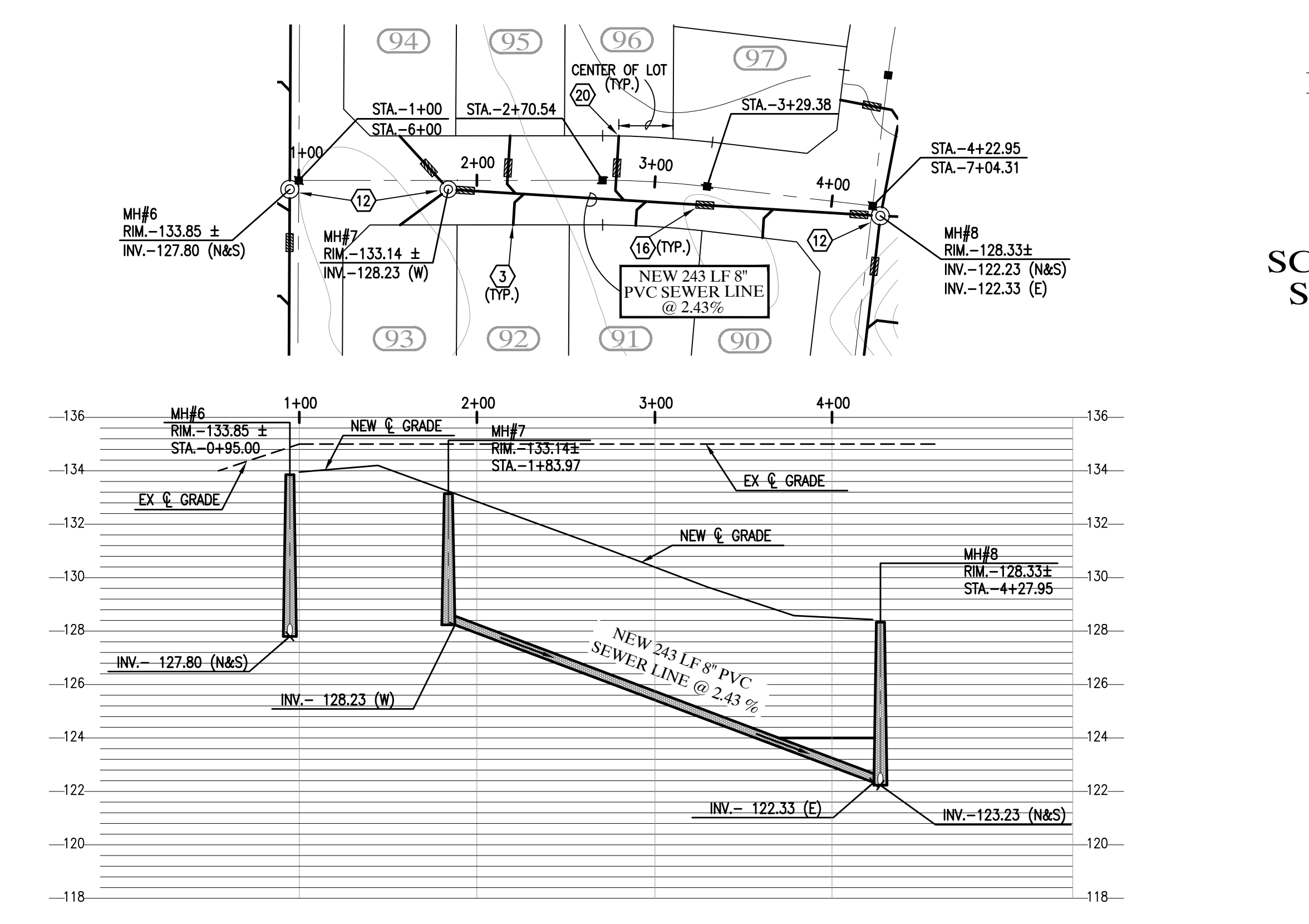
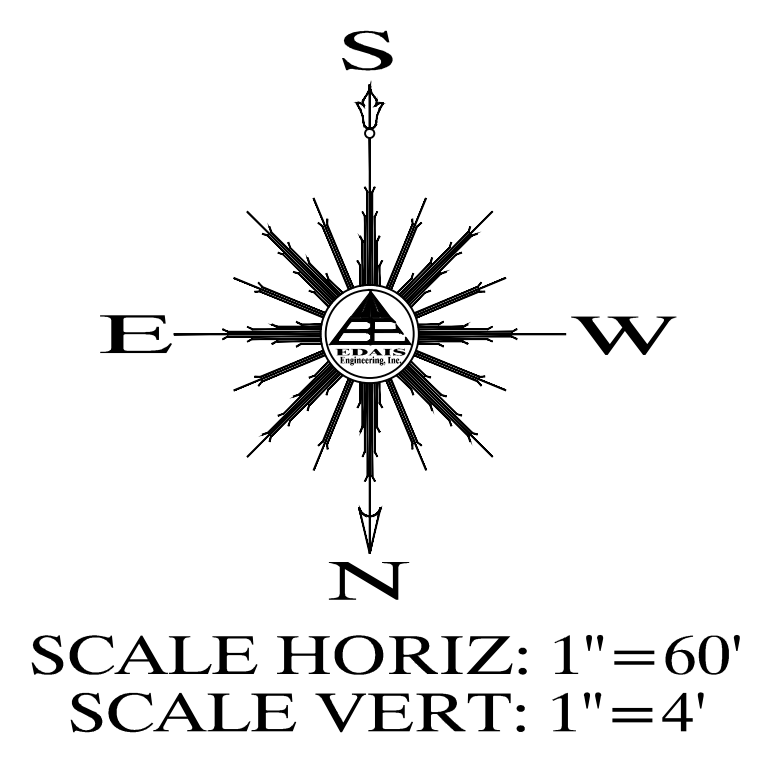
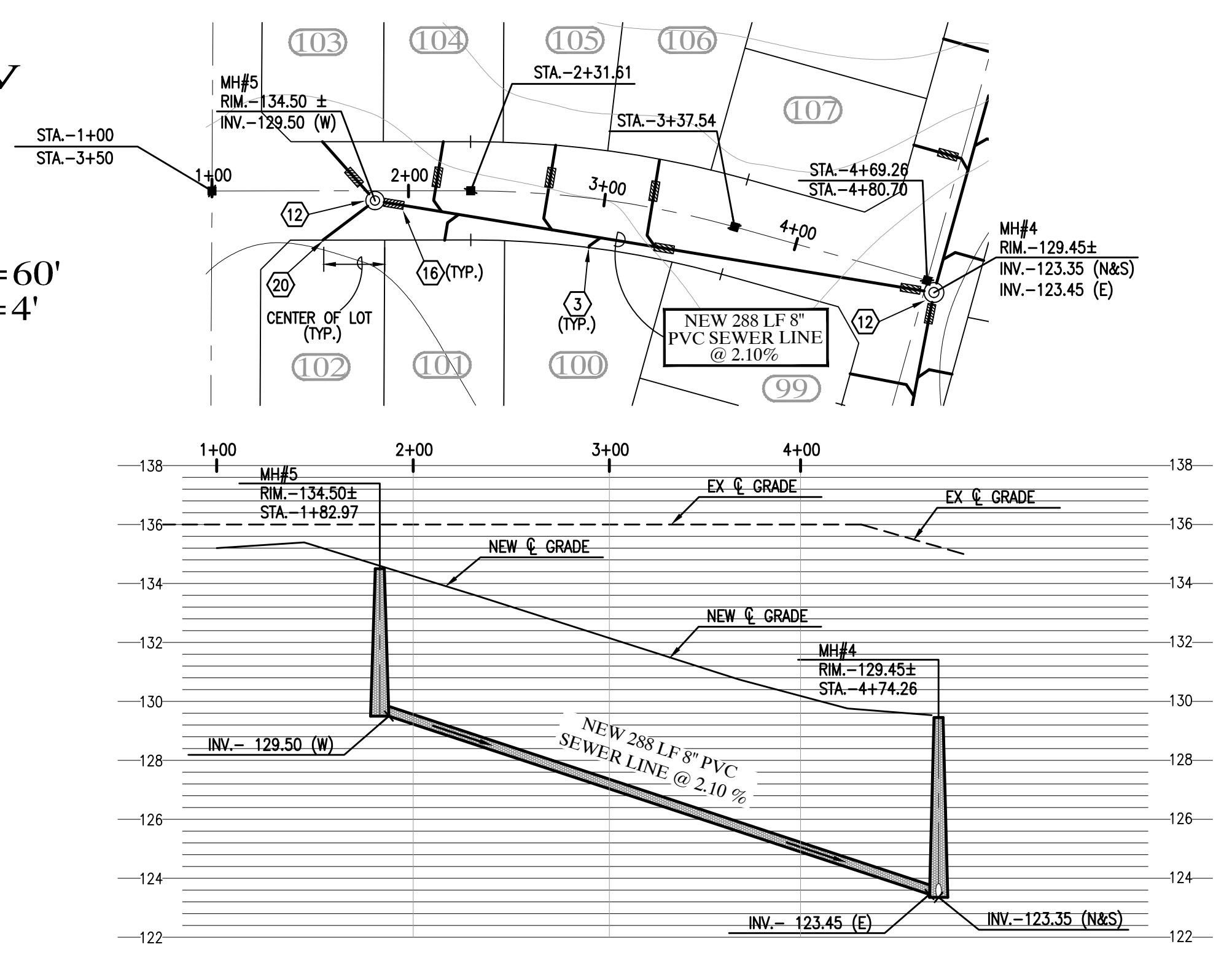
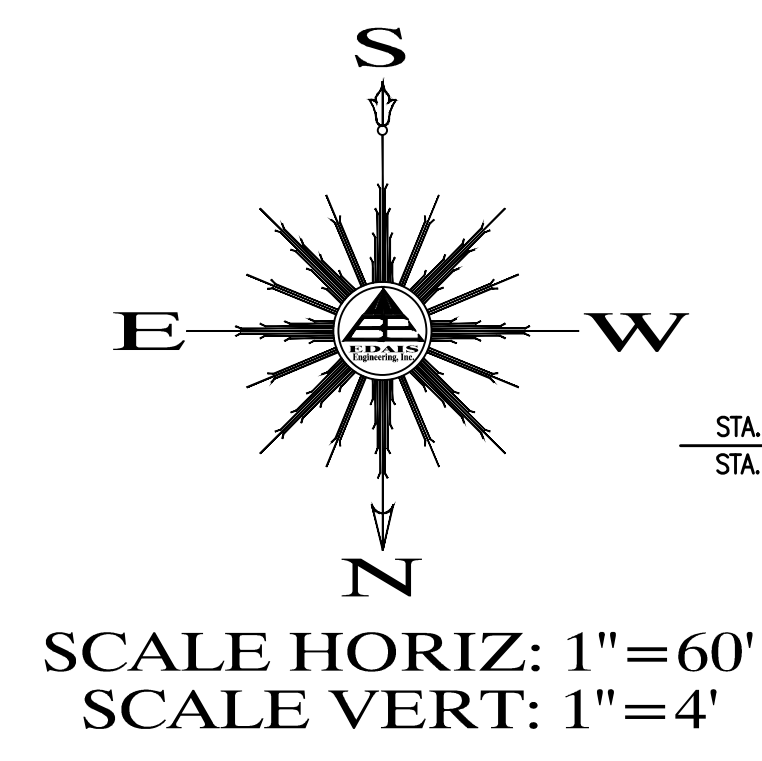
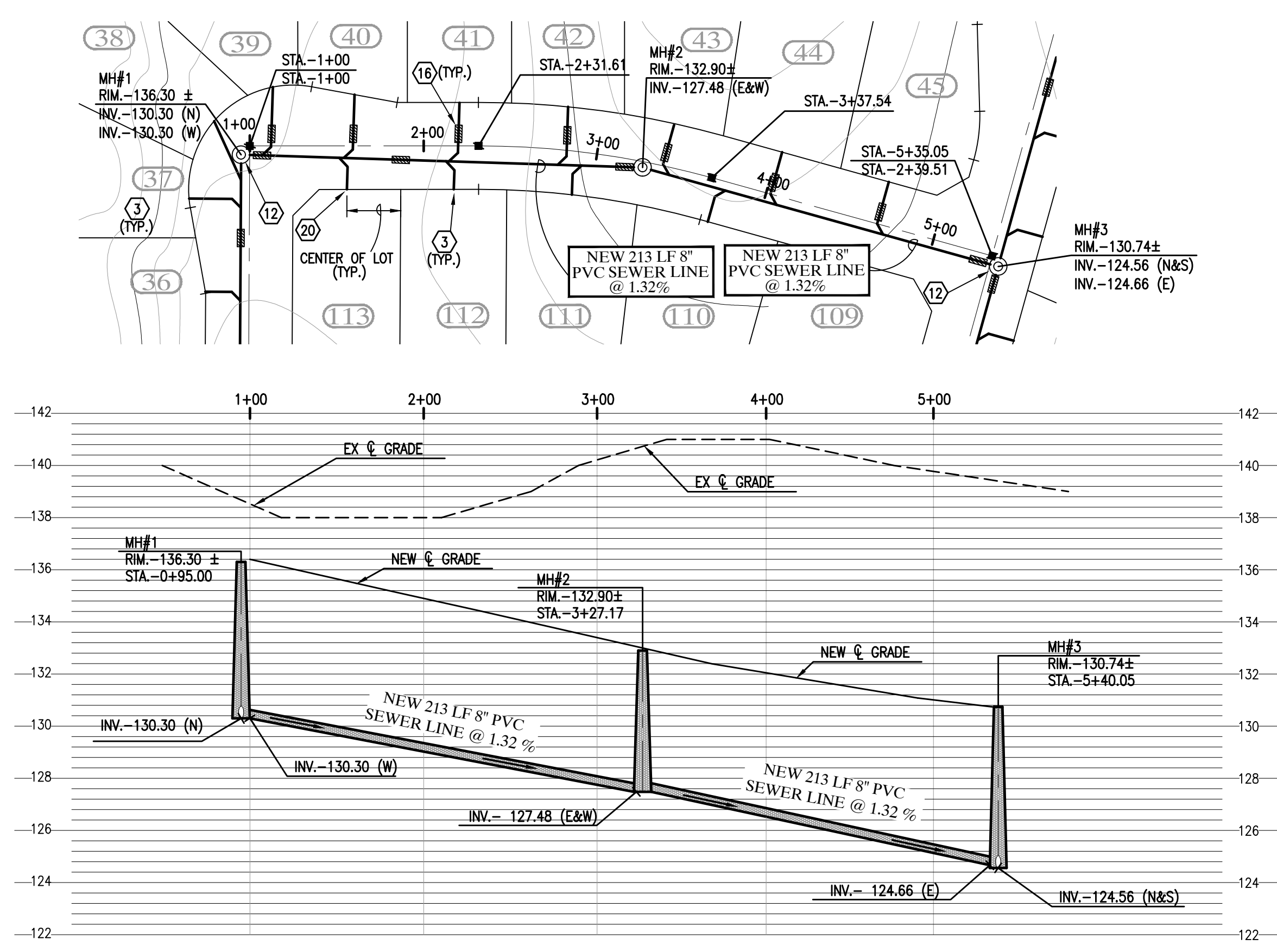
**SEWER PLAN & PROFILES**

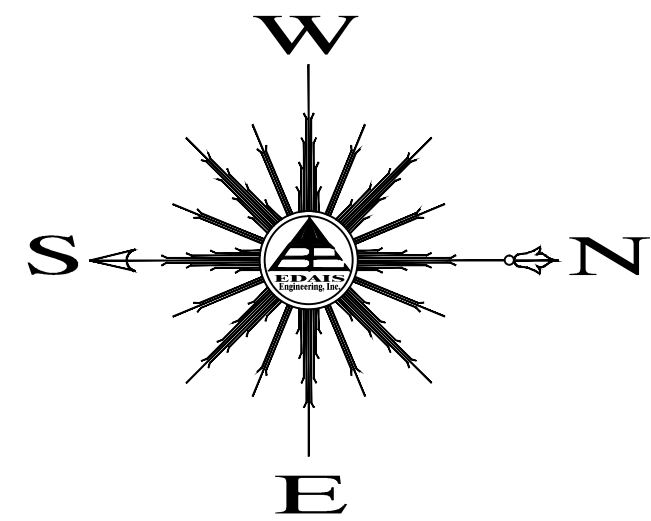
SCALE: AS SHOWN	DESIGNED BY: NKE	CHECKED BY: NKE
DATE: JUN. '16	DRAWN BY: LPR	JOB No. 14-015

**Edais Engineering, Inc.**

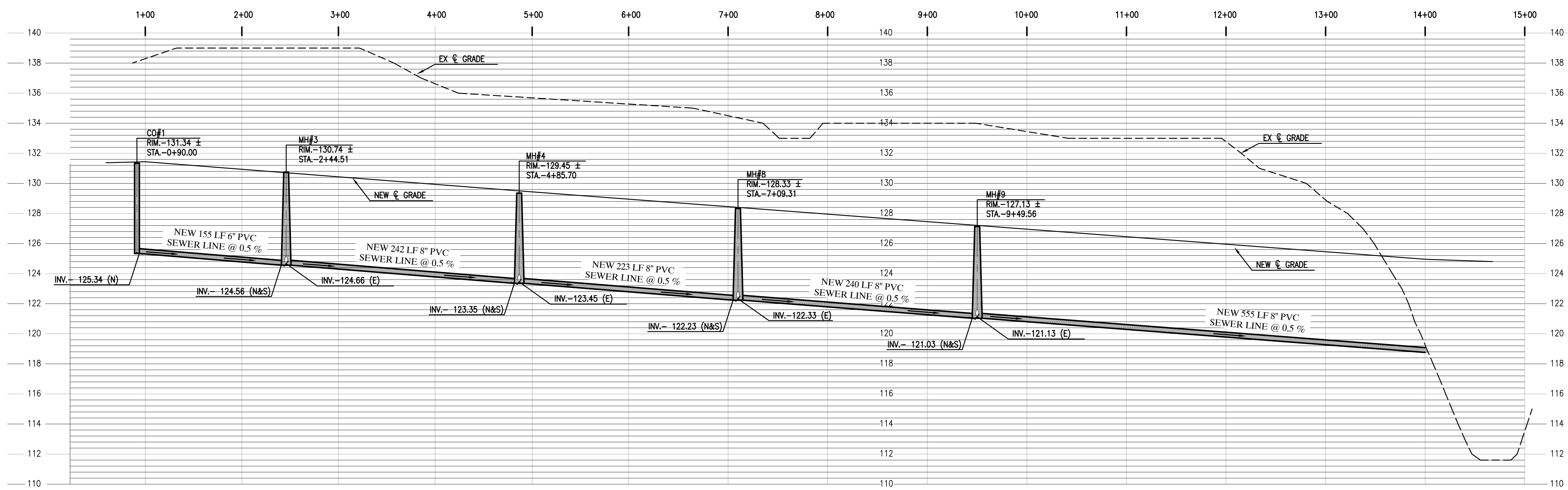
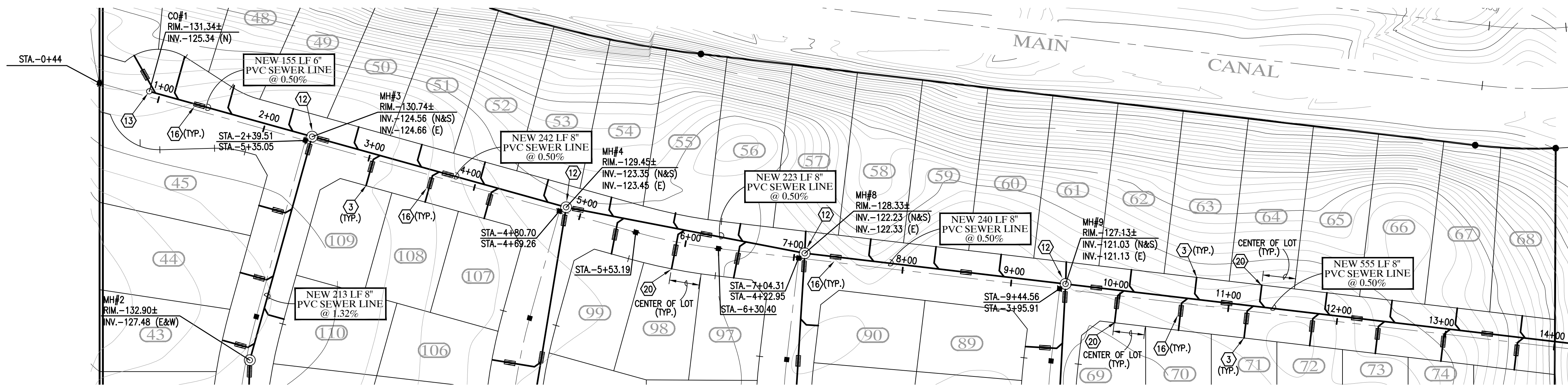
PLANNING - CIVIL - SURVEYING - ARCHITECTURAL  
3075 S. AVE. 4E Yuma, Arizona 85365  
(928) 344-3566 FAX (928) 341-1075  
EMAIL: najeh@Edaisgroup.com

SHEET 10





SCALE HORIZ: 1"=60'  
SCALE VERT: 1"=4'



**WATER / SEWER CONSTRUCTION KEYNOTES**

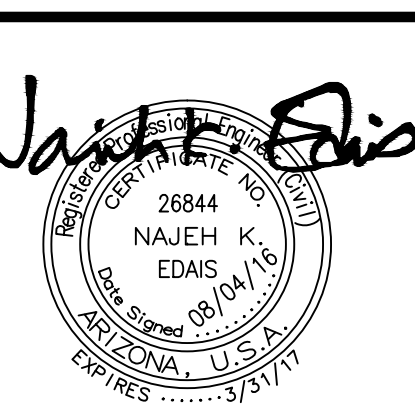
- 1 INSTALL 1" DUAL WATER SERVICE (TYP.) - SEE DETAILS (A14) (B14) (E14)
- 2 INSTALL 1" SINGLE WATER SERVICE (TYP.) - SEE DETAILS (A14) (B14) (E14)
- 3 INSTALL 4" SEWER SERVICE (TYP.) - SEE DETAIL (H14)
- 4 INSTALL 8" GATE VALVE W/ V.B.&C. - SEE DETAILS (P15) (O16)
- 5 INSTALL 10" GATE VALVE W/ V.B.&C. - SEE DETAILS (P15) (O16)
- 6 INSTALL 6" GATE VALVE W/ V.B.&C. - SEE DETAILS (P15) (O16)
- 7 INSTALL 8" X 8" PVC TEE W/ THRUST BLOCK - SEE DETAILS (O15)
- 8 INSTALL 90° ELL W/ THRUST BLOCK - SEE DETAILS (O15)
- 9 INSTALL 45° ELL W/ THRUST BLOCK - SEE DETAILS (O15)
- 10 INSTALL 12" X 8" TAPPING SLEEVE TEE W/ THRUST BLOCK - SEE DETAILS (O15)
- 11 INSTALL 6" FIRE HYDRANT COMPLETE - SEE DETAIL (I15)
- 12 CONSTRUCT NEW SANITARY SEWER MANHOLE - SEE DETAILS (J15)
- 13 CONSTRUCT NEW SANITARY SEWER CLEANOUT - SEE DETAIL (M15)
- 14 INSTALL TEMPORARY WATER BLOWOFF VALVE - SEE DETAIL (N15)
- 15 INSTALL 2" BACKFLOW PREVENTOR W/ CAGE - SEE DETAIL (G15)
- 16 INSTALL 14" MIN. DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT EACH END - SEE DETAIL (I16)
- 17 INSTALL TYPE "A" DROP SEWER CONNECTION - SEE DETAIL (S16)
- 18 INSTALL 8" X 8" PVC CROSS W/ THRUST BLOCK - SEE DETAILS (O15)
- 19 INSTALL 10" X 10" PVC CROSS W/ THRUST BLOCK - SEE DETAILS (O15)
- 20 CONSTRUCT ALL SEWER SERVICES TO CENTER OF THE LOT UNLESS NOTED OTHERWISE
- 21 INSTALL 2" WATER SERVICE (TYP.) - SEE DETAILS (I17)

**SEWER CONSTRUCTION KEYNOTES**

- 3 INSTALL 4" SEWER SERVICE (TYP.) - SEE DETAIL (H14)
- 12 CONSTRUCT NEW SANITARY SEWER MANHOLE - SEE DETAILS (J15)
- 13 CONSTRUCT NEW SANITARY SEWER CLEANOUT - SEE DETAIL (M15)
- 16 INSTALL 14" MIN. DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT EACH END - SEE DETAIL (I16)
- 20 CONSTRUCT ALL SEWER SERVICES TO CENTER OF THE LOT UNLESS NOTED OTHERWISE

**LEGEND**

- CENTERLINE
- PROPERTY LINE
- BOUNDARY LINE
- W — NEW PVC WATER MAIN
- S — NEW PVC SEWER LINE
- (20) NEW LOT NUMBER
- (188) FUTURE LOT NUMBER
- NEW SEWER SERVICE
- NEW SINGLE WATER SERVICE
- NEW DUAL WATER SERVICE
- NEW 2" BACKFLOW PREVENTOR
- NEW THRUST BLOCK
- NEW WATER VALVE
- NEW MANHOLE
- NEW TEMPORARY BLOWOFF VALVE
- NEW FIRE HYDRANT
- MH — NEW MANHOLE
- RIM — NEW RIM ELEVATION
- INV. — NEW INVERT ELEVATION
- NEW STREET MONUMENT AS PER YUMA COUNTY STD. No. 4-080
- EXISTING WATER VALVE



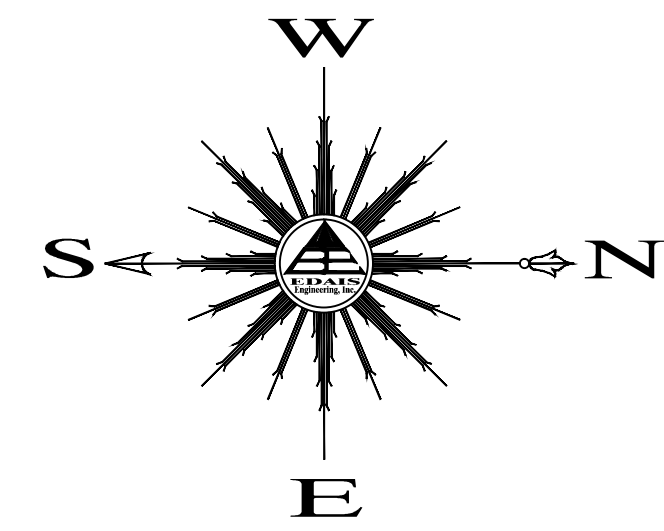
COPYING, REPRODUCTION, OR PUBLICATION OF THESE PLANS BY ANY METHOD, IN WHOLE OR IN PART IS PROHIBITED

**LAS QUINTAS DE SAN LUIS 2 SUBDIVISION**  
**SEWER PLAN & PROFILES**

SCALE: AS SHOWN    DESIGNED BY: NKE    CHECKED BY: NKE  
DATE: JUN. '16    DRAWN BY: LPR    JOB No. 14-015

**EDAIS Engineering, Inc.**  
3075 S. AVE. 4E    Yuma, Arizona 85365  
(928) 344-3566    FAX (928) 341-1075  
EMAIL: najeh@Edaisgroup.com

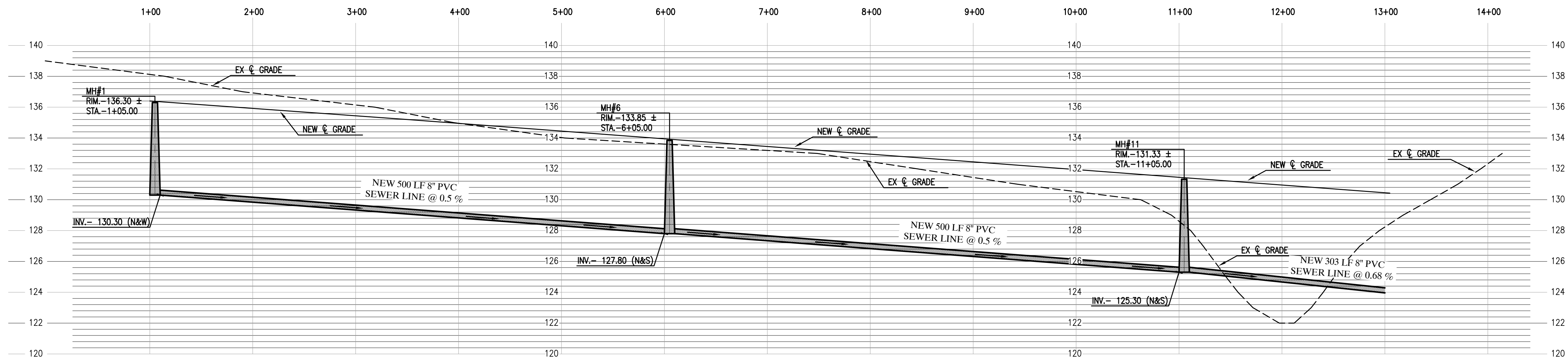
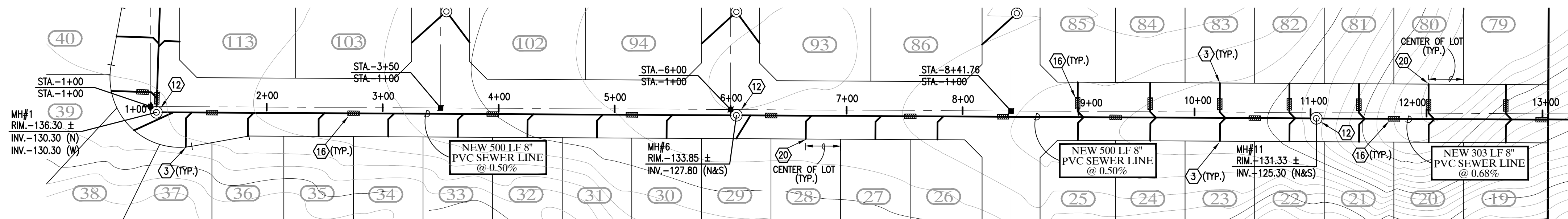
SHEET 11



SCALE HORIZ: 1"=60'  
SCALE VERT: 1"=4'

**WATER / SEWER CONSTRUCTION KEYNOTES**

- 1 INSTALL 1" DUAL WATER SERVICE (TYP.) - SEE DETAILS (A14) (B14) (E14)
- 2 INSTALL 1" SINGLE WATER SERVICE (TYP.) - SEE DETAILS (A14) (B14) (E14)
- 3 INSTALL 4" SEWER SERVICE (TYP.) - SEE DETAIL (H14)
- 4 INSTALL 8" GATE VALVE W/ V.B.&C. - SEE DETAILS (P15) (O16)
- 5 INSTALL 10" GATE VALVE W/ V.B.&C. - SEE DETAILS (P15) (O16)
- 6 INSTALL 6" GATE VALVE W/ V.B.&C. - SEE DETAILS (P15) (O16)
- 7 INSTALL 8" X 8" PVC TEE W/ THRUST BLOCK - SEE DETAILS (O15)
- 8 INSTALL 90° ELL W/ THRUST BLOCK - SEE DETAILS (O15)
- 9 INSTALL 45° ELL W/ THRUST BLOCK - SEE DETAILS (O15)
- 10 INSTALL 12" X 8" TAPPING SLEEVE TEE W/ THRUST BLOCK - SEE DETAILS (O15)
- 11 INSTALL 6" FIRE HYDRANT COMPLETE - SEE DETAIL (I15)
- 12 CONSTRUCT NEW SANITARY SEWER MANHOLE - SEE DETAILS (J15)
- 13 CONSTRUCT NEW SANITARY SEWER CLEANOUT - SEE DETAIL (M15)
- 14 INSTALL TEMPORARY WATER BLOWOFF VALVE - SEE DETAIL (N15)
- 15 INSTALL 2" BACKFLOW PREVENTOR W/ CAGE - SEE DETAIL (G15)
- 16 INSTALL 14" MIN. DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT EACH END - SEE DETAIL (T16)
- 17 INSTALL TYPE "A" DROP SEWER CONNECTION - SEE DETAIL (S16)
- 18 INSTALL 8" X 8" PVC CROSS W/ THRUST BLOCK - SEE DETAILS (O15)
- 19 INSTALL 10" X 10" PVC CROSS W/ THRUST BLOCK - SEE DETAILS (O15)
- 20 CONSTRUCT ALL SEWER SERVICES TO CENTER OF THE LOT UNLESS NOTED OTHERWISE
- 21 INSTALL 2" WATER SERVICE (TYP.) - SEE DETAILS (I14)

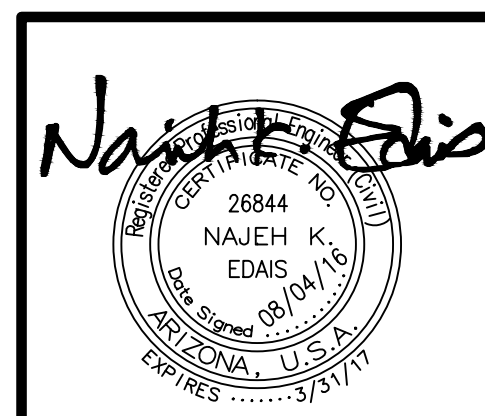


**SEWER CONSTRUCTION KEYNOTES**

- 3 INSTALL 4" SEWER SERVICE (TYP.) - SEE DETAIL (H14)
- 12 CONSTRUCT NEW SANITARY SEWER MANHOLE - SEE DETAILS (J15)
- 13 CONSTRUCT NEW SANITARY SEWER CLEANOUT - SEE DETAIL (M15)
- 16 INSTALL 14" MIN. DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT EACH END - SEE DETAIL (T16)
- 20 CONSTRUCT ALL SEWER SERVICES TO CENTER OF THE LOT UNLESS NOTED OTHERWISE

**LEGEND**

- CENTERLINE
- PROPERTY LINE
- BOUNDARY LINE
- W — NEW PVC WATER MAIN
- S — NEW PVC SEWER LINE
- (20) NEW LOT NUMBER
- (188) FUTURE LOT NUMBER
- NEW SEWER SERVICE
- NEW SINGLE WATER SERVICE
- NEW DUAL WATER SERVICE
- NEW 2" BACKFLOW PREVENTOR
- NEW THRUST BLOCK
- NEW WATER VALVE
- NEW MANHOLE
- NEW TEMPORARY BLOWOFF VALVE
- NEW FIRE HYDRANT
- MH — NEW MANHOLE
- RIM — NEW RIM ELEVATION
- INV. — NEW INVERT ELEVATION
- NEW STREET MONUMENT AS PER YUMA COUNTY STD. No. 4-080
- EXISTING WATER VALVE



COPYING, REPRODUCTION, OR PUBLICATION OF THESE PLANS BY ANY METHOD, IN WHOLE OR IN PART IS PROHIBITED

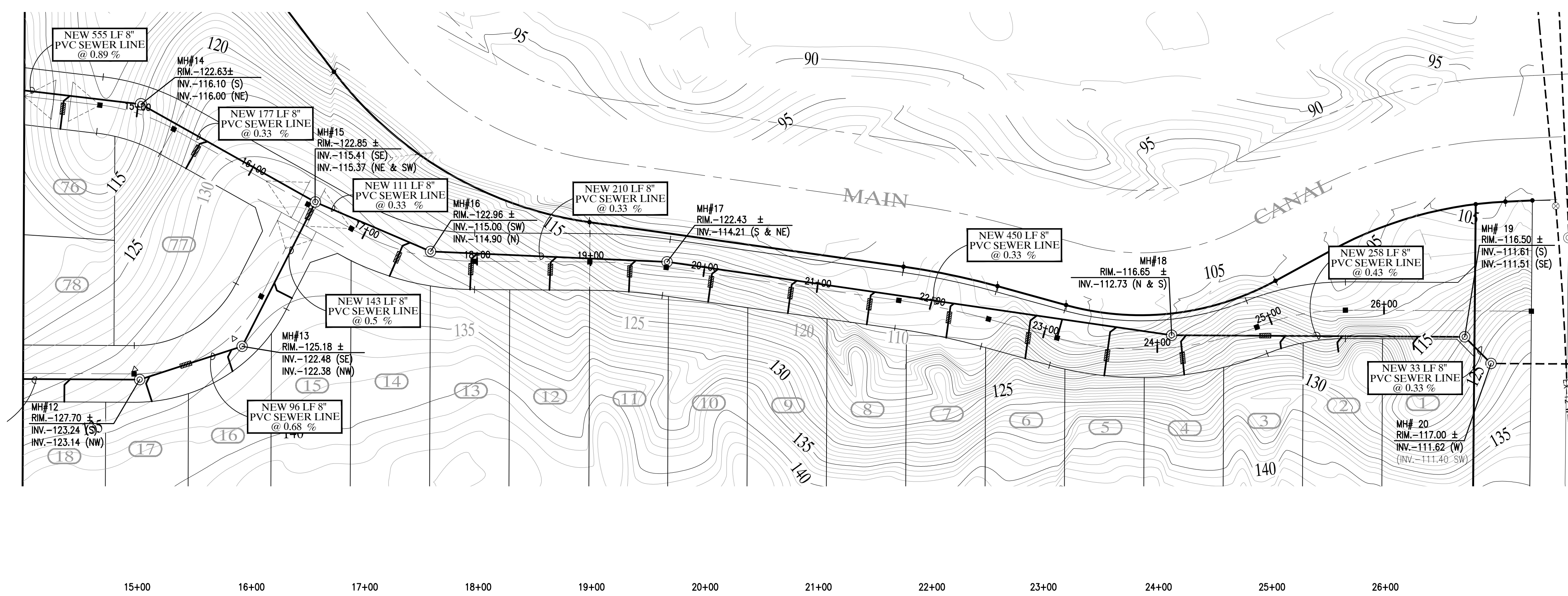
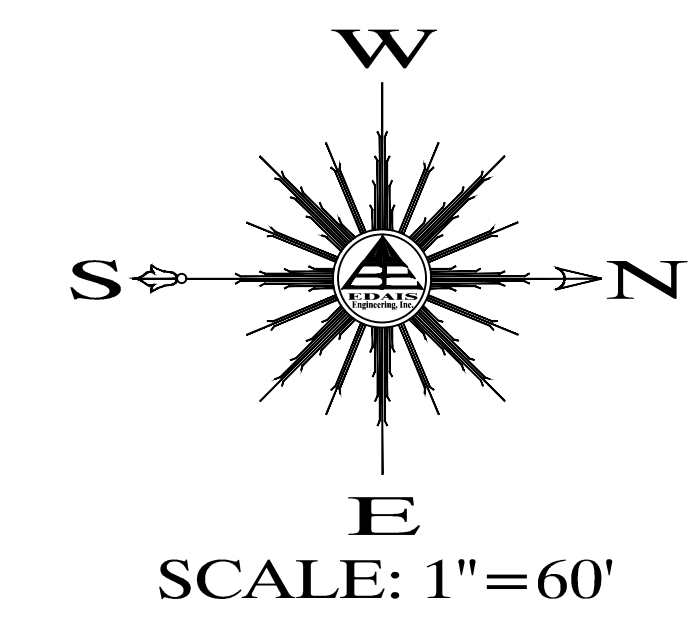
**LAS QUINTAS DE SAN LUIS 2 SUBDIVISION**

**SEWER PLAN & PROFILES**

SCALE: AS SHOWN	DESIGNED BY: NKE	CHECKED BY: NKE
DATE: JUN. '16	DRAWN BY: LPR	JOB No. 14-015

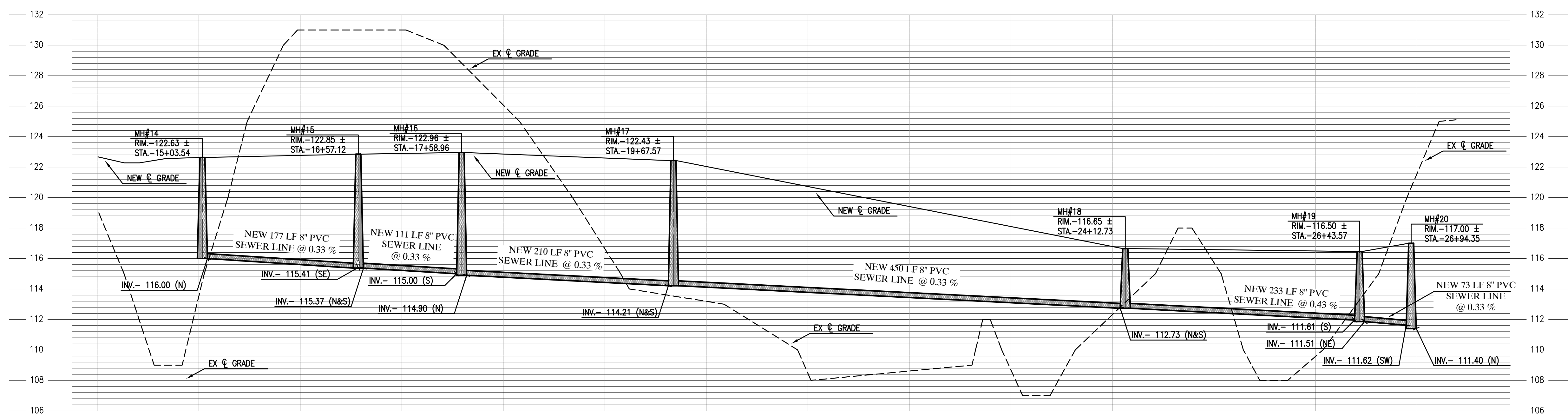
12

Edais Engineering, Inc. 26844 NAJEH K. EDAIS 06/16/16  
 3075 S. AVE. 4E Yuma, Arizona 85365  
 (928) 344-3566 FAX (928) 341-1075  
 EMAIL: najeh@Edaisgroup.com



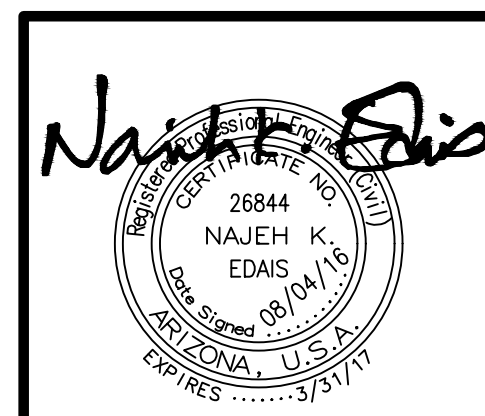
**WATER / SEWER CONSTRUCTION KEYNOTES**

- 1) INSTALL 1" DUAL WATER SERVICE (TYP.) - SEE DETAILS (A) (B) (P)
- 2) INSTALL 1" SINGLE WATER SERVICE (TYP.) - SEE DETAILS (A) (B) (P)
- 3) INSTALL 4" SEWER SERVICE (TYP.) - SEE DETAIL (T)
- 4) INSTALL 8" GATE VALVE W/ V.B.&C. - SEE DETAILS (P) (S)
- 5) INSTALL 10" GATE VALVE W/ V.B.&C. - SEE DETAILS (P) (S)
- 6) INSTALL 6" GATE VALVE W/ V.B.&C. - SEE DETAILS (P) (S)
- 7) INSTALL 8" X 8" PVC TEE W/ THRUST BLOCK - SEE DETAILS (O) (S)
- 8) INSTALL 90° ELL W/ THRUST BLOCK - SEE DETAILS (O) (S)
- 9) INSTALL 45° ELL W/ THRUST BLOCK - SEE DETAILS (O) (S)
- 10) INSTALL 12" X 8" TAPPING SLEEVE TEE W/ THRUST BLOCK - SEE DETAILS (O) (S)
- 11) INSTALL 6" FIRE HYDRANT COMPLETE - SEE DETAIL (L) (S)
- 12) CONSTRUCT NEW SANITARY SEWER MANHOLE - SEE DETAILS (L) (S)
- 13) CONSTRUCT NEW SANITARY SEWER CLEANOUT - SEE DETAIL (M) (S)
- 14) INSTALL TEMPORARY WATER BLOWOFF VALVE - SEE DETAIL (N) (S)
- 15) INSTALL 2" BACKFLOW PREVENTOR W/ CAGE - SEE DETAIL (O) (S)
- 16) INSTALL 14' MIN. DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT EACH END - SEE DETAIL (T) (S)
- 17) INSTALL TYPE "A" DROP SEWER CONNECTION - SEE DETAIL (S) (S)
- 18) INSTALL 8" X 8" PVC CROSS W/ THRUST BLOCK - SEE DETAILS (O) (S)
- 19) INSTALL 10" X 10" PVC CROSS W/ THRUST BLOCK - SEE DETAILS (O) (S)
- 20) CONSTRUCT ALL SEWER SERVICES TO CENTER OF THE LOT UNLESS NOTED OTHERWISE
- 21) INSTALL 2" WATER SERVICE (TYP.) - SEE DETAILS (P) (S)



**UTILITY WARNING**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



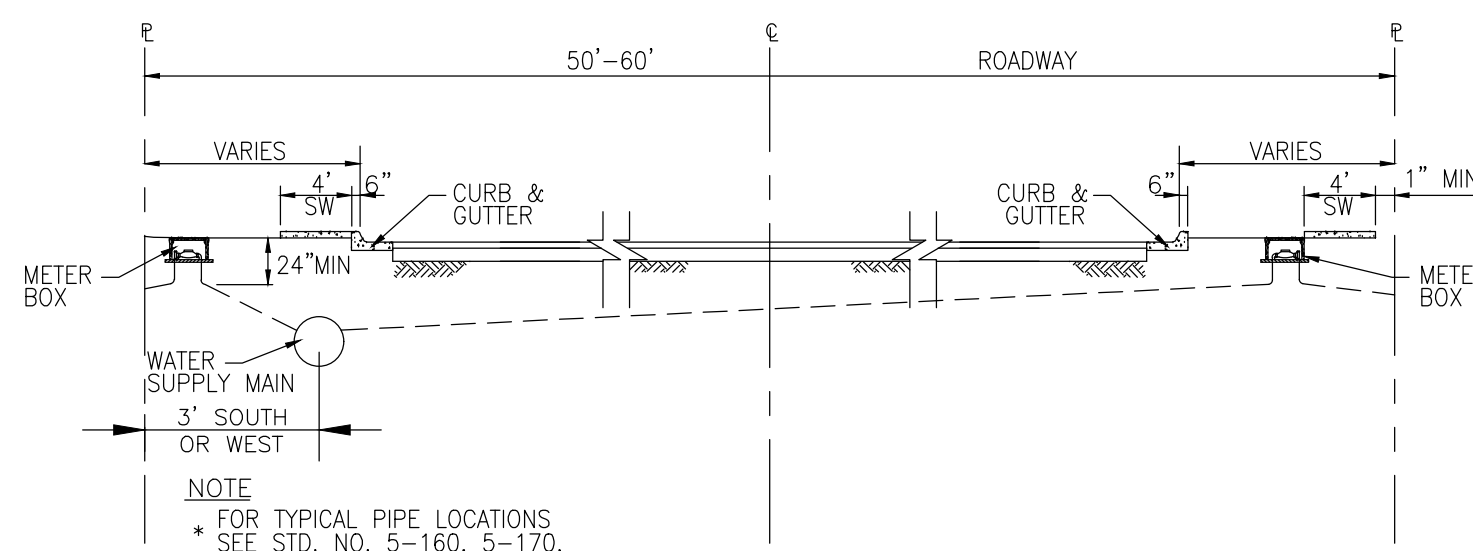
COPYING, REPRODUCTION, OR PUBLICATION OF THESE PLANS BY ANY METHOD, IN WHOLE OR IN PART IS PROHIBITED

**LAS QUINTAS DE SAN LUIS II SUBDIVISION**  
**SEWER PLAN & PROFILES**

SCALE: AS SHOWN    DESIGNED BY: NKE    CHECKED BY: NKE  
 DATE: JUL. 16    DRAWN BY: STAFF    JOB No. 14-015

**EDAIS Engineering, Inc.**  
 3075 S. AVE. 4E    Yuma, Arizona 85365  
 (928) 344-3566    FAX (928) 341-1075  
 EMAIL: najeh@edaisgroup.com

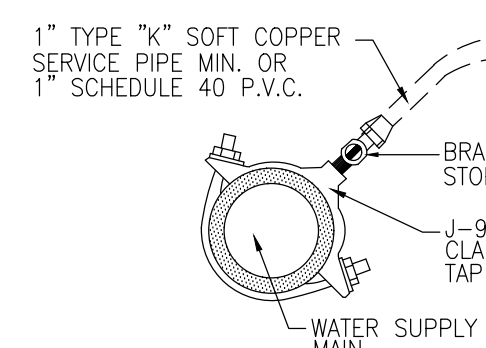
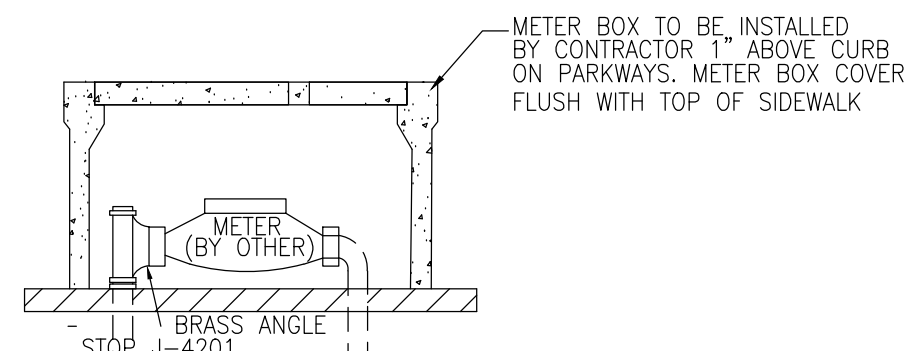
SHEET 13



TYPICAL METER BOX LOCATIONS AND SERVICE CONNECTION

NOTE:  
 • FOR TYPICAL PIPE LOCATIONS SEE STD. NO. 5-160, 5-170, 5-180 & 5-190  
 • COPPER SERVICE LATERAL OR AS SHOWN ON PLANS

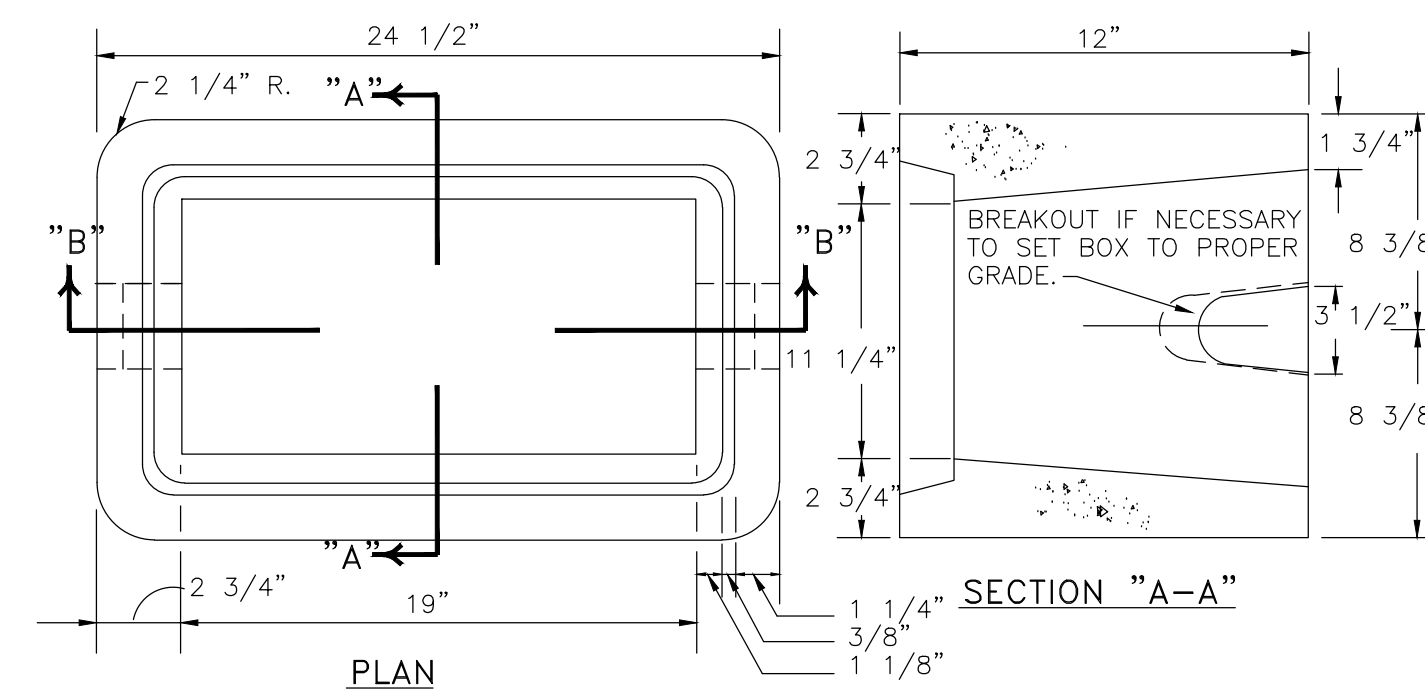
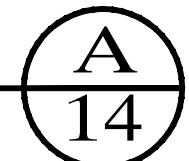
NOTE:  
 • ALL LOT SERVICE LATERALS SHALL BE INSTALLED PRIOR TO PAVING OF STREET



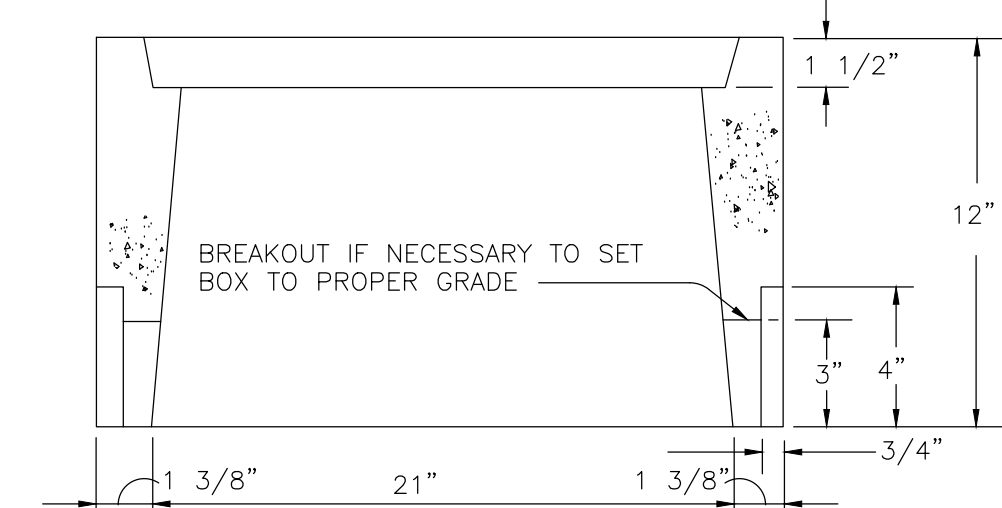
### 1" SERVICE INSTALLATION

C.O.Y. STD. NO. 5-150

NTS



PLAN



SECTION "B-B"

THE METER BOXES SHALL CONFORM TO THE DIMENSIONS OF THE ABOVE DRAWING AND SHALL BE MADE OF PORTLAND CEMENT CONCRETE POURED AND TAMPED (OR VIBRATED) IN TRUE FORM.  
 THE PORTLAND CEMENT CONCRETE SHALL BE BATCHED IN THE PROPER PROPORTIONS, BY WEIGHT, OF WATER, CEMENT, FINE AGGREGATE (A.S.T.M. NO. C-33), AND COARSE AGGREGATE (3/8" ROCK). THIS MIX SHALL BE DESIGNED TO OBTAIN A MINIMUM OF 4000 P.S.I. AT 28 DAYS WHEN TESTED IN ACCORDANCE WITH A.S.T.M. C-39. THIS MIX SHALL BE POURED AT A SLUMP NOT IN EXCESS OF 6".  
 UPON REMOVAL OF THE FORMS, THE METER BOXES SHALL BE WATER CURED FOR 7 DAYS, OR SPRAYED WITH A MEMBRANE CURING COMPOUND SUCH AS HUNTS PROCESS OR EQUAL.  
 THE METHOD OF SAMPLING AND TESTING OF THESE BOXES SHALL CONFORM TO A.S.T.M. NO. C-129 & 140, EXCEPT THAT THE MINIMUM REQUIRED STRENGTH SHALL BE 4000 P.S.I. AT 28 DAYS.  
 METER BOX LIDS SHALL BE CAST IRON OR STEEL AND FIT FLUSH WITH TOP OF BOX AND HAVE ADEQUATE BEARING ON SEAT. WHEN WATER METER BOXES ARE IN PAVED AREAS SUBJECT TO VEHICLE TRAFFIC, A TRAFFIC RATED LID WILL BE USED.

### CONC. WATER METER BOX FOR 1" METER AND SMALLER

C.O.Y. NO. 5-152

NTS



### NOTES:

- SEWER CONSTRUCTION STAKING SHALL BE DONE UNDER THE SUPERVISION OF A REGISTERED ENGINEER OR SURVEYOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF SITE AND SOIL CONDITION AND SHALL NOTIFY ALL UTILITY AGENCIES PRIOR TO EXCAVATION.
- CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY CONDITIONS REQUIRING CHANGE TO THE PLANS.
- CONTRACTOR SHALL NOTIFY FARWEST WATER & SEWER, INC. PRIOR TO START OF CONSTRUCTION.
- STANDARD SPECIFICATIONS AND ARIZONA STATE HEALTH DEPARTMENT BUL. NO. 11 SHALL APPLY TO THIS PROJECT.
- A MINIMUM OF 7' SHALL BE MAINTAINED BETWEEN PARALLEL WATER AND SEWER LINES AND WATER AND SEWER MAINS.
- SEWER MAINS AND SERVICES SHALL BE CONSTRUCTED OF CLASS 50 CEMENT OR EPOXY LINED DUCTILE IRON PIPE FOR A DISTANCE OF 7' IN BOTH DIRECTIONS FROM A WATERMAIN OR SERVICE WHEN:
  - SEWER MAIN OR SERVICE CROSSES LESS THAN 2' BELOW A WATER MAIN
  - WATER MAIN OR SERVICE CROSSES BELOW A SEWER MAIN OR SERVICE (A MINIMUM OF 24" SEPARATION SHALL BE MAINTAINED VERTICALLY BETWEEN WATER AND SEWER MAINS AND SERVICES).
- NO STREET, WATER AND SEWER IMPROVEMENTS WILL BE ACCEPTED BY FARWEST WATER & SEWER, INC. FOR MAINTENANCE UNTIL "AS BUILT" CERTIFIED PLANS ARE FILED WITH AND ACCEPTED BY FARWEST WATER & SEWER, INC.
- SEWER PIPE SHALL BE PVC, HAVE N.S.F. SEAL OF APPROVAL, AND MEET ASTM D-3034, SDR 35.
- SEWER MAINS SHALL BE PRESSURE AND LEAKAGE TESTED WITH 4 FEET OF HEAD UPSTREAM. ALLOWABLE LEAKAGE NOT TO EXCEED 200 GAL./IN. DIA./MILE OF PIPE/DAY.
- EXFILTRATION FROM MANHOLES SHALL BE LIMITED TO 0.1 GALS./HR./VERTICAL FOOT.
- DEFLECTION TEST OF AT LEAST 20% OF PLASTIC SEWER PIPE SHALL BE PERFORMED. SHORT TERM DEFLECTION IN EXCESS OF 5% SHALL BE CONSIDERED UNSERVICEABLE AND SHALL BE REPAIRED AND RETESTED.
- IN AREAS WHERE THE GROUNDWATER IS AT PIPE SPRING LINE OR ABOVE INFILTRATION TESTS SHALL BE PERFORMED. ALLOWABLE INFILTRATION FOR SEWER MAINS NOT TO EXCEED 200 GAL./IN DIA./MILE OF PIPE/DAY. ALLOWABLE INFILTRATION FOR MANHOLES SHALL BE LIMITED TO 0.1 GALS./HR./VERTICAL FOOT.

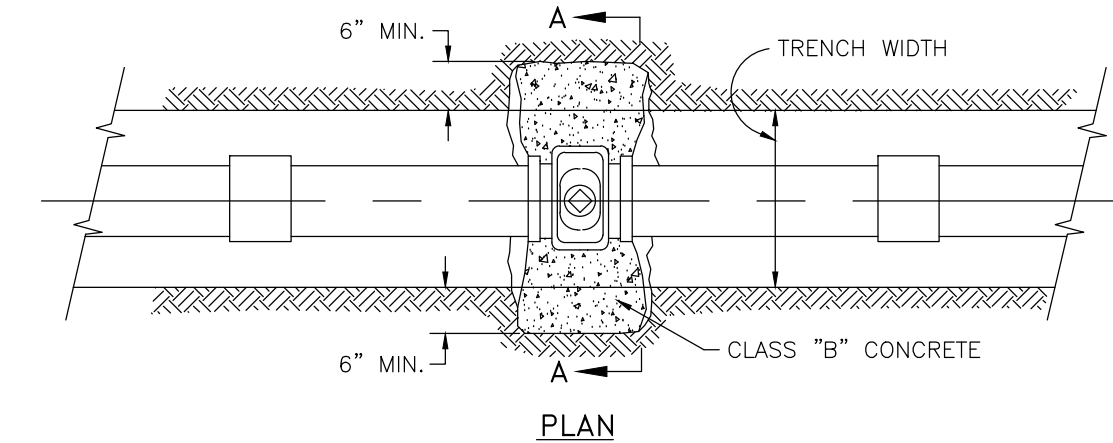
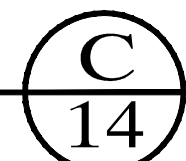
### NOTES:

- THE METER BOXES SHALL CONFORM TO THE DIMENSIONS OF THE ABOVE DRAWING AND SHALL BE MADE OF PORTLAND CEMENT CONCRETE POURED AND TAMPED (OR VIBRATED) IN TRUE FORM.
- THE PORTLAND CEMENT CONCRETE SHALL BE BATCHED IN THE PROPER PROPORTIONS, BY WEIGHT, OF WATER, CEMENT, FINE AGGREGATE (A.S.T.M. NO. C-33), AND COARSE AGGREGATE (3/8" ROCK). THIS MIX SHALL BE DESIGNED TO OBTAIN A MINIMUM OF 4000 P.S.I. AT 28 DAYS WHEN TESTED IN ACCORDANCE WITH A.S.T.M. C-39. THIS MIX SHALL BE POURED AT A SLUMP NOT IN EXCESS OF 6".
- UPON REMOVAL OF THE FORMS, THE METER BOXES SHALL BE WATER CURED FOR 7 DAYS, OR SPRAYED WITH A MEMBRANE CURING COMPOUND SUCH AS HUNTS PROCESS OR EQUAL.
- THE METHOD OF SAMPLING AND TESTING OF THESE BOXES SHALL CONFORM TO A.S.T.M. NO. C-129 & 140, EXCEPT THAT THE MINIMUM REQUIRED STRENGTH SHALL BE 4000 P.S.I. AT 28 DAYS.
- METER BOX LIDS SHALL BE CAST IRON AND FIT FLUSH WITH TOP OF BOX AND HAVE ADEQUATE BEARING ON SEAT. WHEN WATER METER BOXES ARE IN PAVED AREAS SUBJECT TO VEHICLE TRAFFIC, A TRAFFIC RATED LID WILL BE USED.

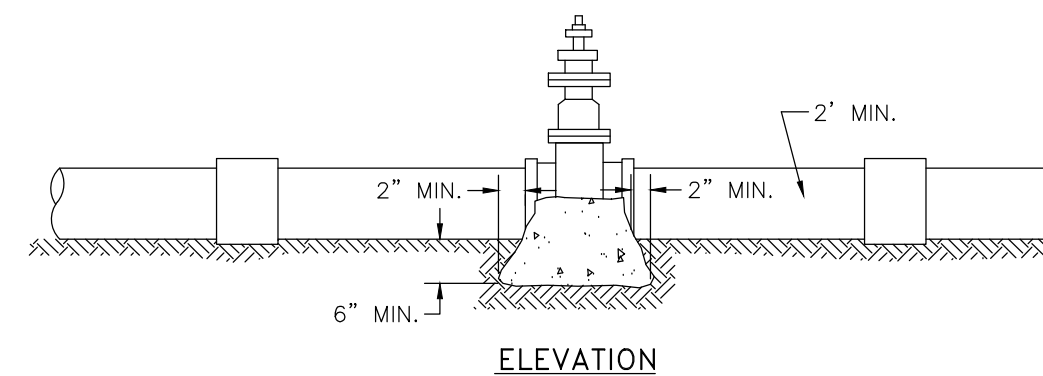
### CONCRETE METER BOX FOR 1 1/2" AND 2" METERS

C.O.Y. NO. 5-153

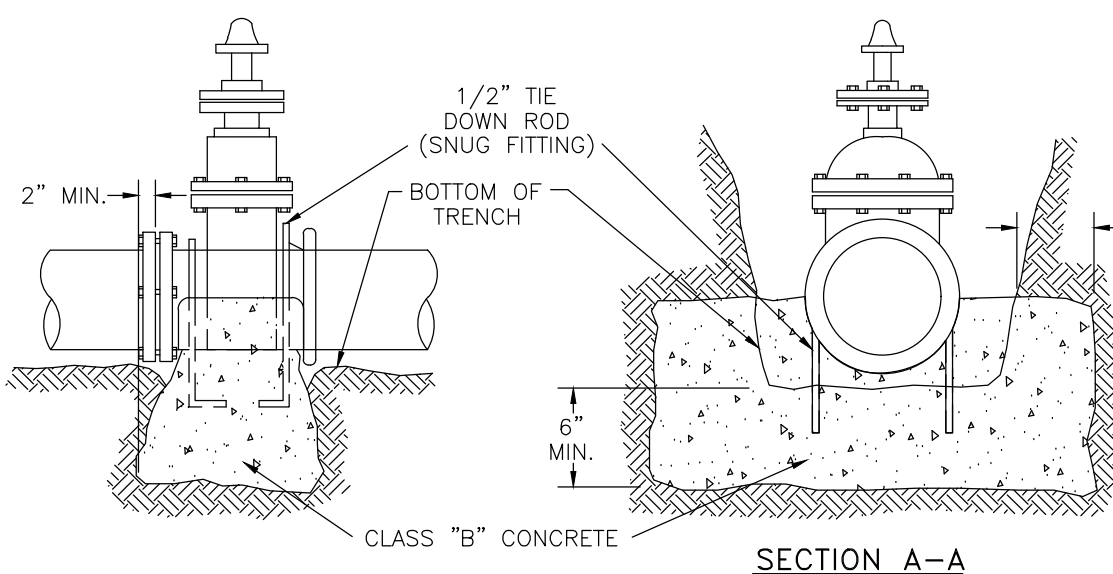
NTS



PLAN



ELEVATION



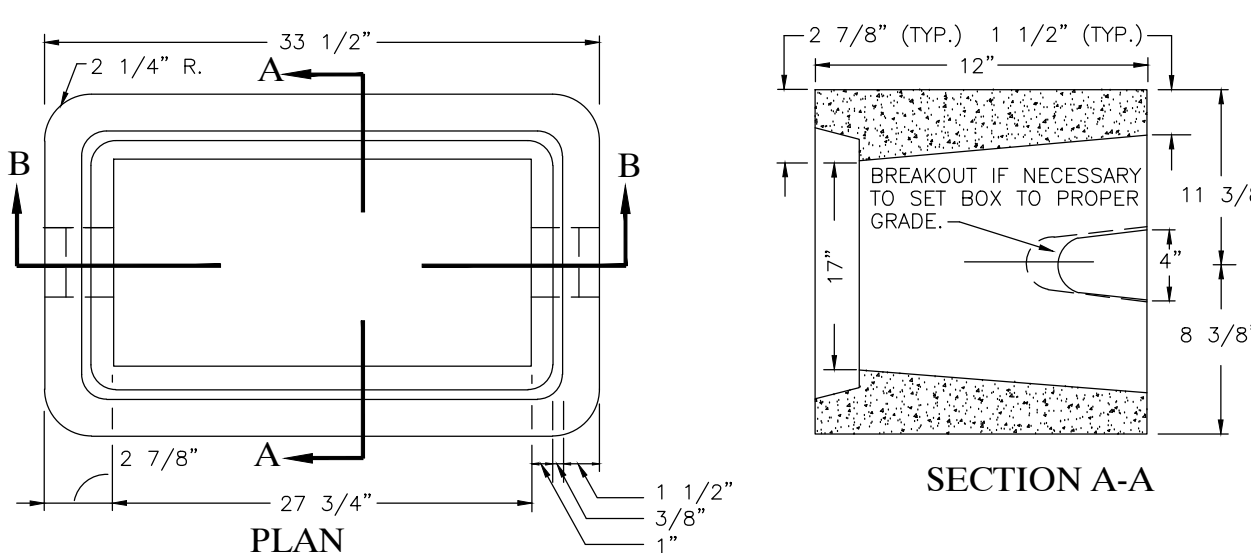
SECTION A-A

NOTE:  
 THIS DETAIL COVERS WATER VALVES 4" OR LARGER

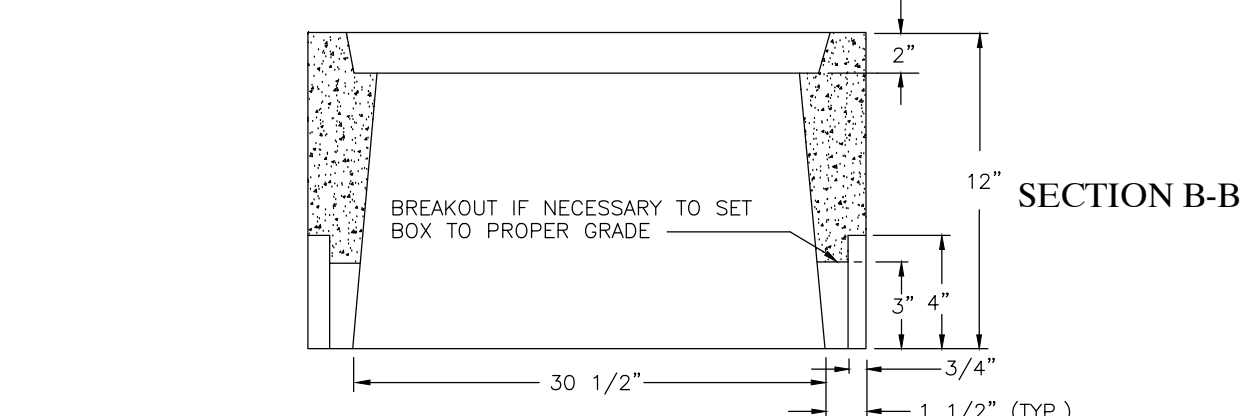
ALL BURIED IRON SURFACES SHALL BE WRAPPED WITH MIN. 10 MIL. POLYETHYLENE. TIE DOWN RODS REQUIRED FOR PIPE LARGER THAN 8" CONCRETE NOT TO BE PLACED IN CONTACT WITH PIPE.

### VALVE ANCHOR

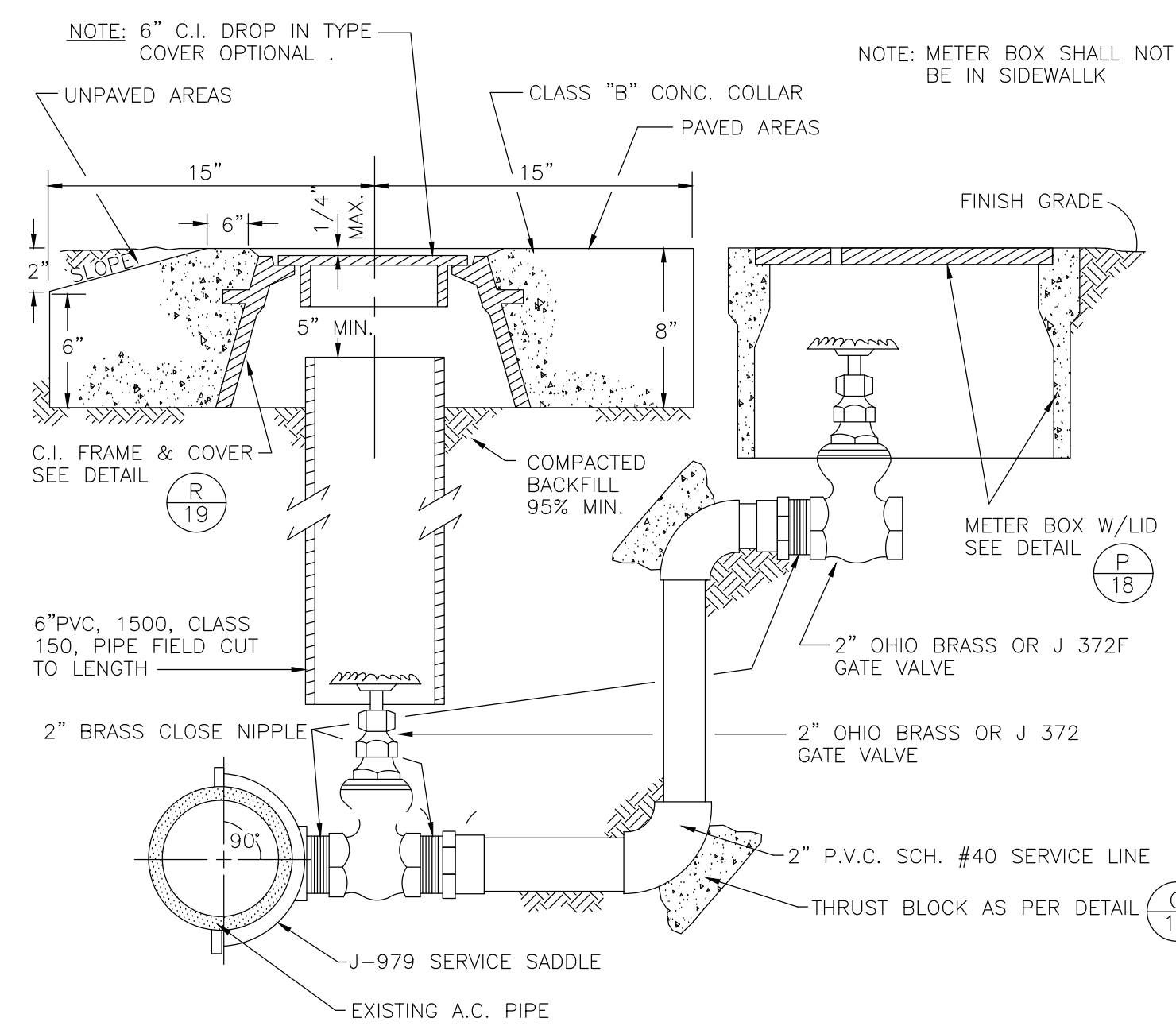
C.O.Y. STD. NO. 5-110



SECTION A-A



SECTION B-B



NOTE: 6" C.I. DROP IN TYPE COVER OPTIONAL

NOTE: METER BOX SHALL NOT BE IN SIDEWALK

C.I. FRAME & COVER SEE DETAIL

6" PVC, 1500, CLASS 150, PIPE FIELD CUT TO LENGTH

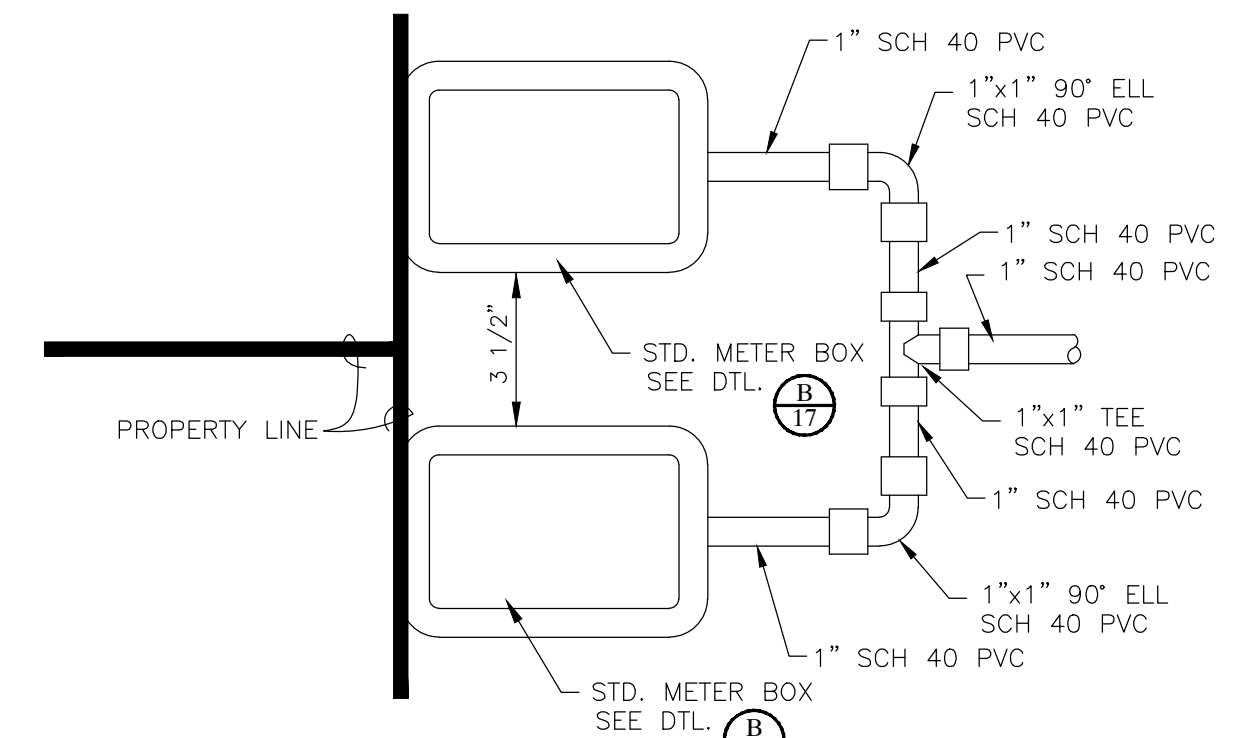
2" BRASS CLOSE NIPPLE

J-979 SERVICE SADDLE

EXISTING A.C. PIPE

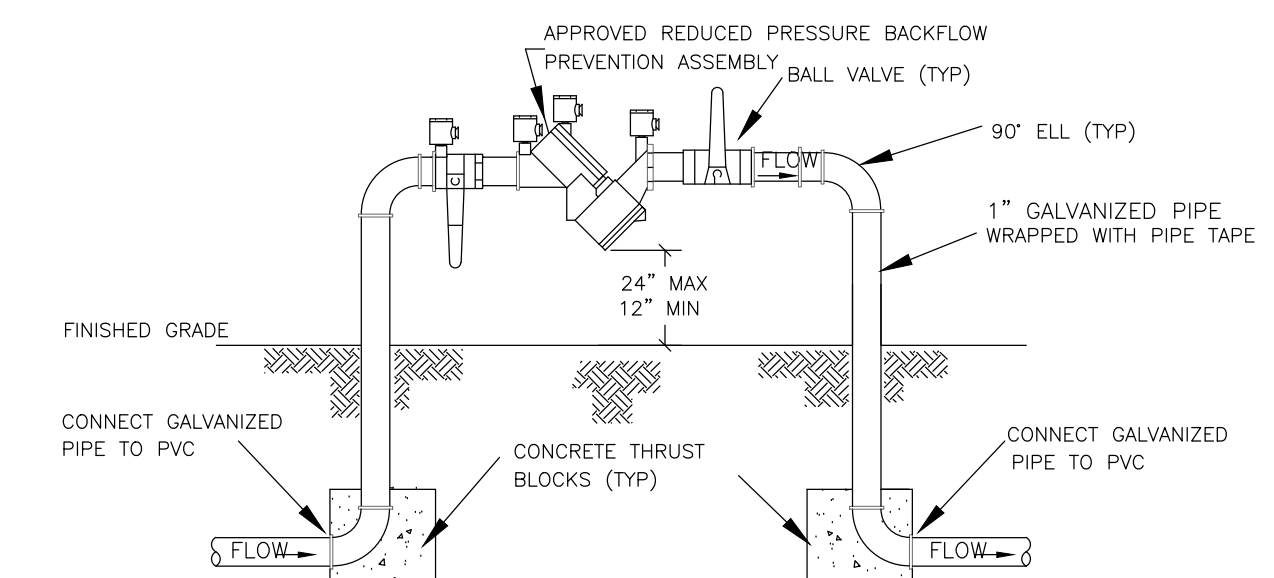
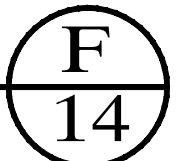
### 2" SERVICE INSTALLATION

NTS



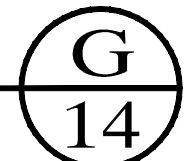
### TYPICAL DUAL MANIFOLD STUB SERVICE

NTS



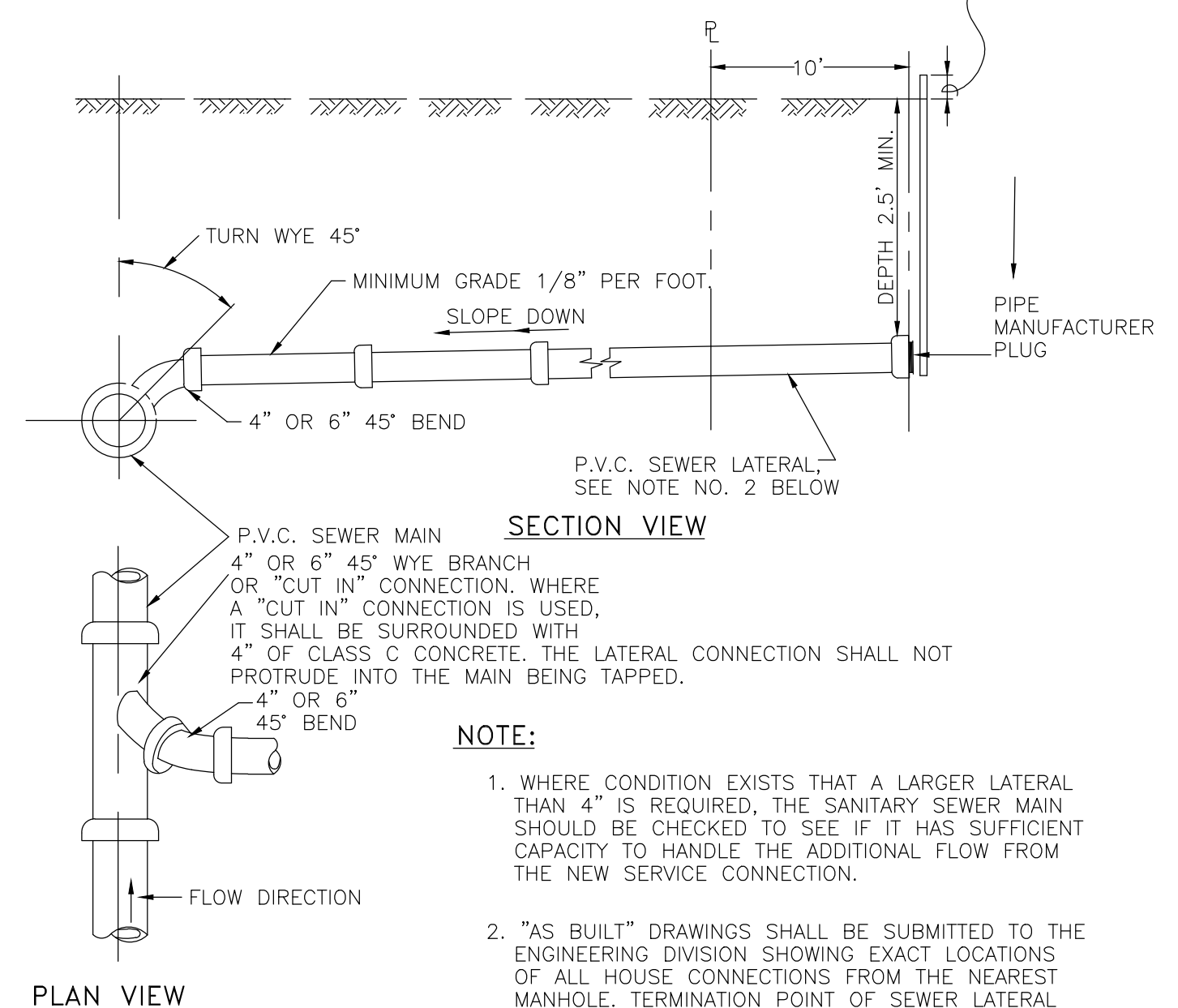
### REDUCED PRESSURE BACKFLOW ASSEMBLY

NTS



BACKFILL IN DITCH SHALL BE COMPACTED TO 95% OF THE MAX. DENSITY OF THE SOIL SEE STD. NO. 5-080

2" X 4" STAKE 2 1/2 FT. MIN. 8" TO 12" ABOVE SURFACE PAINT TOP GREEN

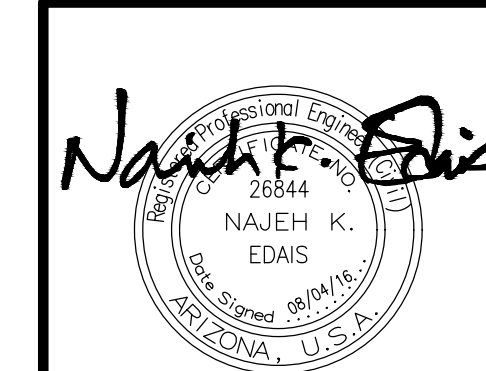


PLAN VIEW

### SANITARY SEWER SERVICE DETAIL

C.O.Y. STD. NO. 5-020

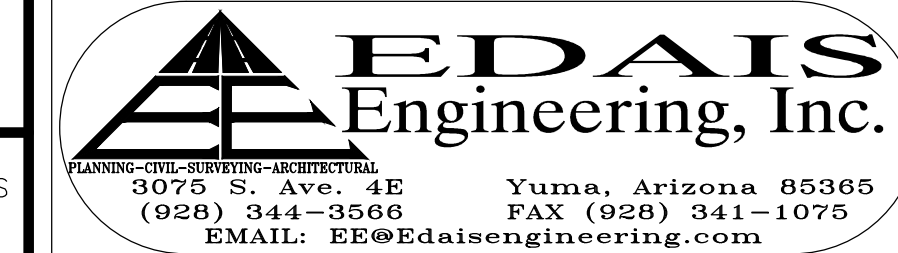
NTS



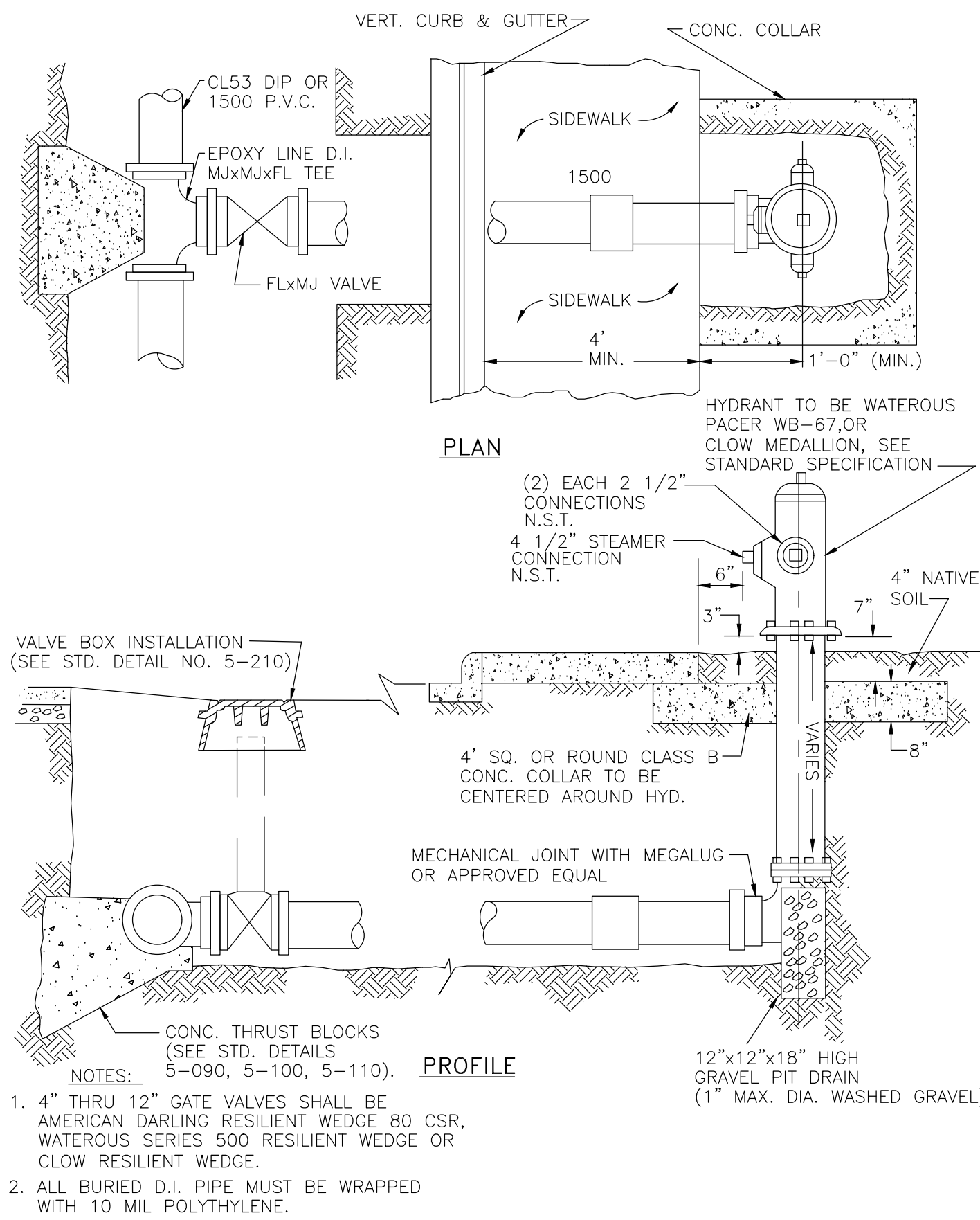
### LAS QUINTAS DE SAN LUIS II SUBDIVISION

#### WATER & SEWER DETAILS

SCALE: AS SHOWN	DESIGNED BY: N.K.E.	CHECKED BY: N.K.E.
DATE: JUL. 16	DRAWN BY: STAFF	JOB No. 14-015



COPYING, REPRODUCTION, OR PUBLICATION OF THESE PLANS BY ANY METHOD, IN WHOLE OR IN PART IS PROHIBITED

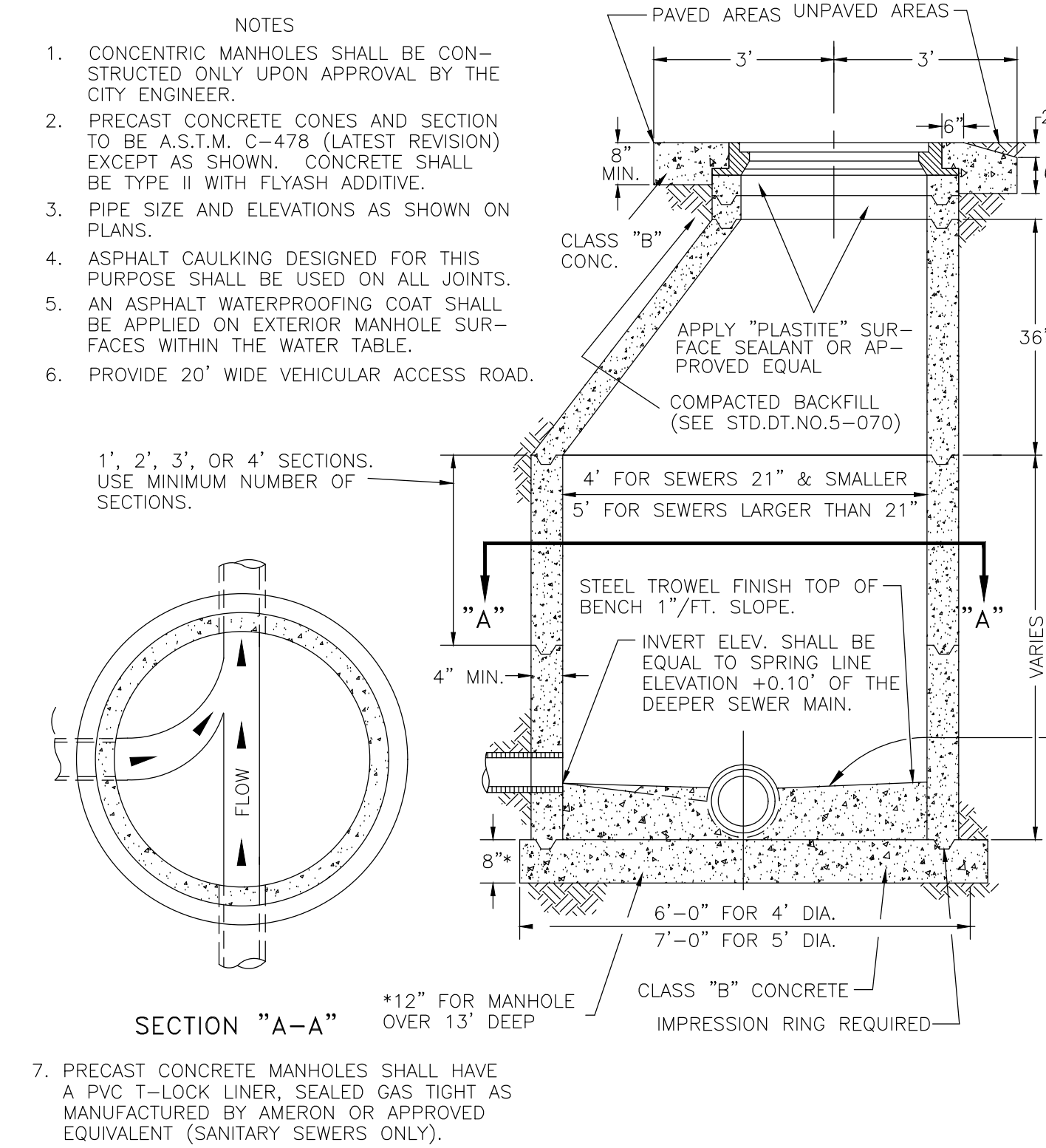


**FIRE HYDRANT DETAIL**

**I**  
15

C.O.Y. STD. NO. 5-120

NTS

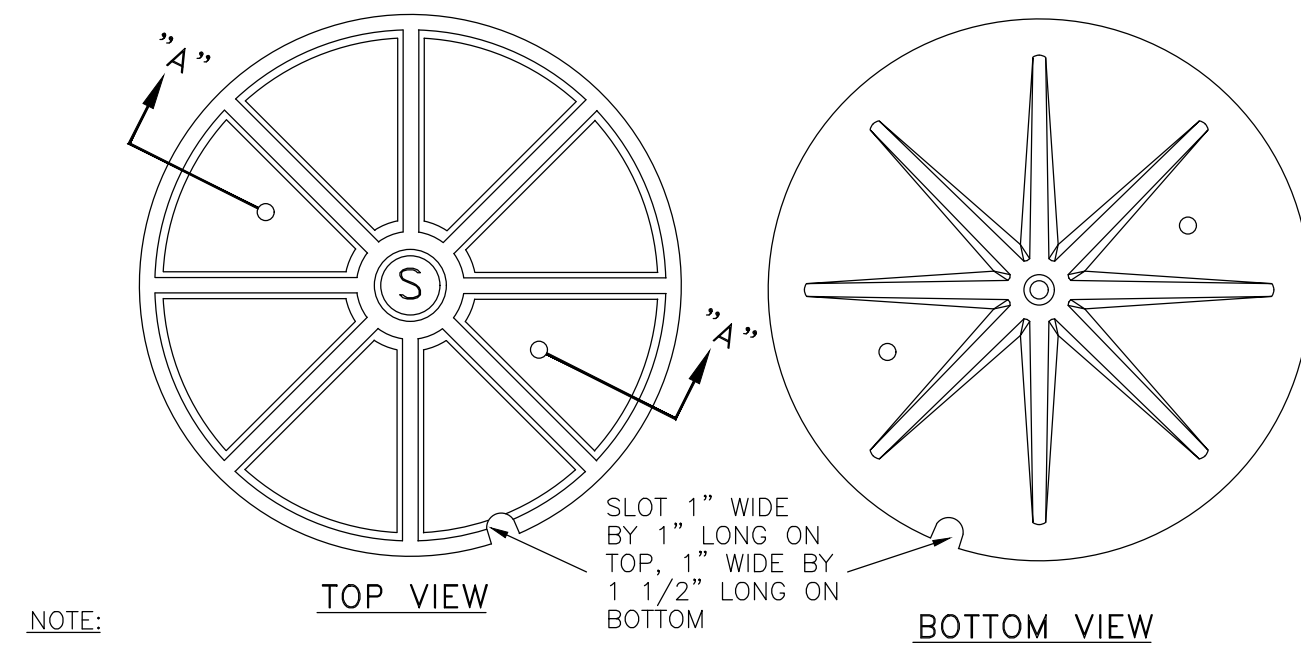


**SANITARY SEWER MANHOLE**

**J**  
15

MOD. C.O.Y. STD. NO. 5-030

NTS



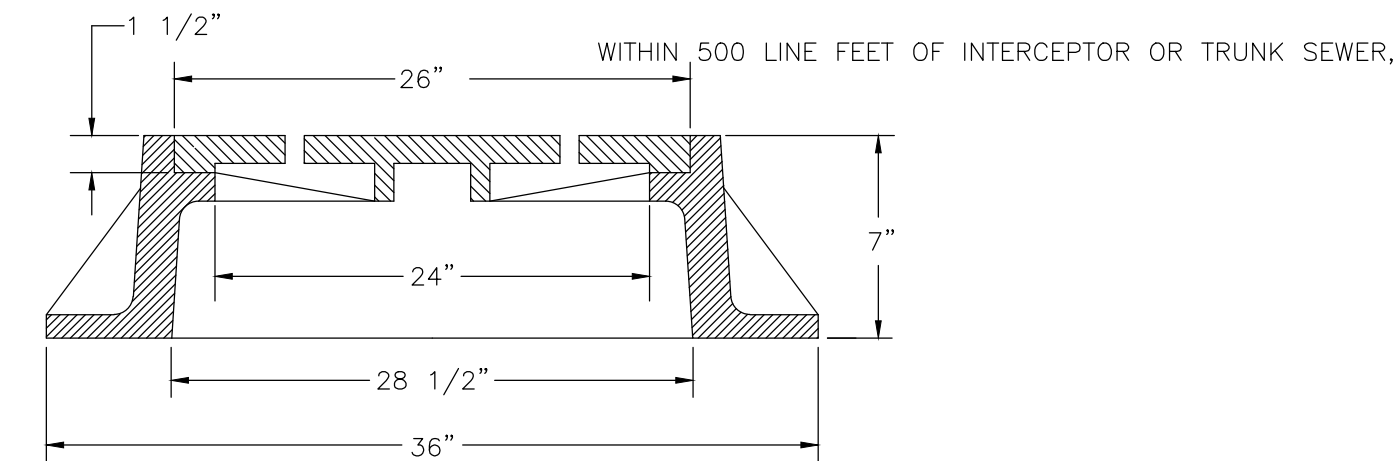
NOTE:

STANDARD MANHOLE COVERS SUCH AS NEENAH R-1642 OR EQUAL CAN BE USED WITH APPROVAL OF CITY ENGINEER.

**SECTION OF FRAME**

NOTE:

THE TOP OF THE COVER AND FRAME SHALL BE FLUSH, AND THERE SHALL BE 1/8" HORIZONTAL CLEARANCE ALL AROUND BETWEEN FRAME AND COVER. ALL COVERS TO HAVE THE LETTER "S". LETTERS TO BE RAISED 5/16" AND HEIGHT OF LETTERS NOT LESS THAN 2 1/2". COVER SHALL HAVE MIN. (2) 3/4" VENT HOLES EXCEPT THAT WHEN MANHOLES ARE THERE WILL BE NOT VENT HOLES.



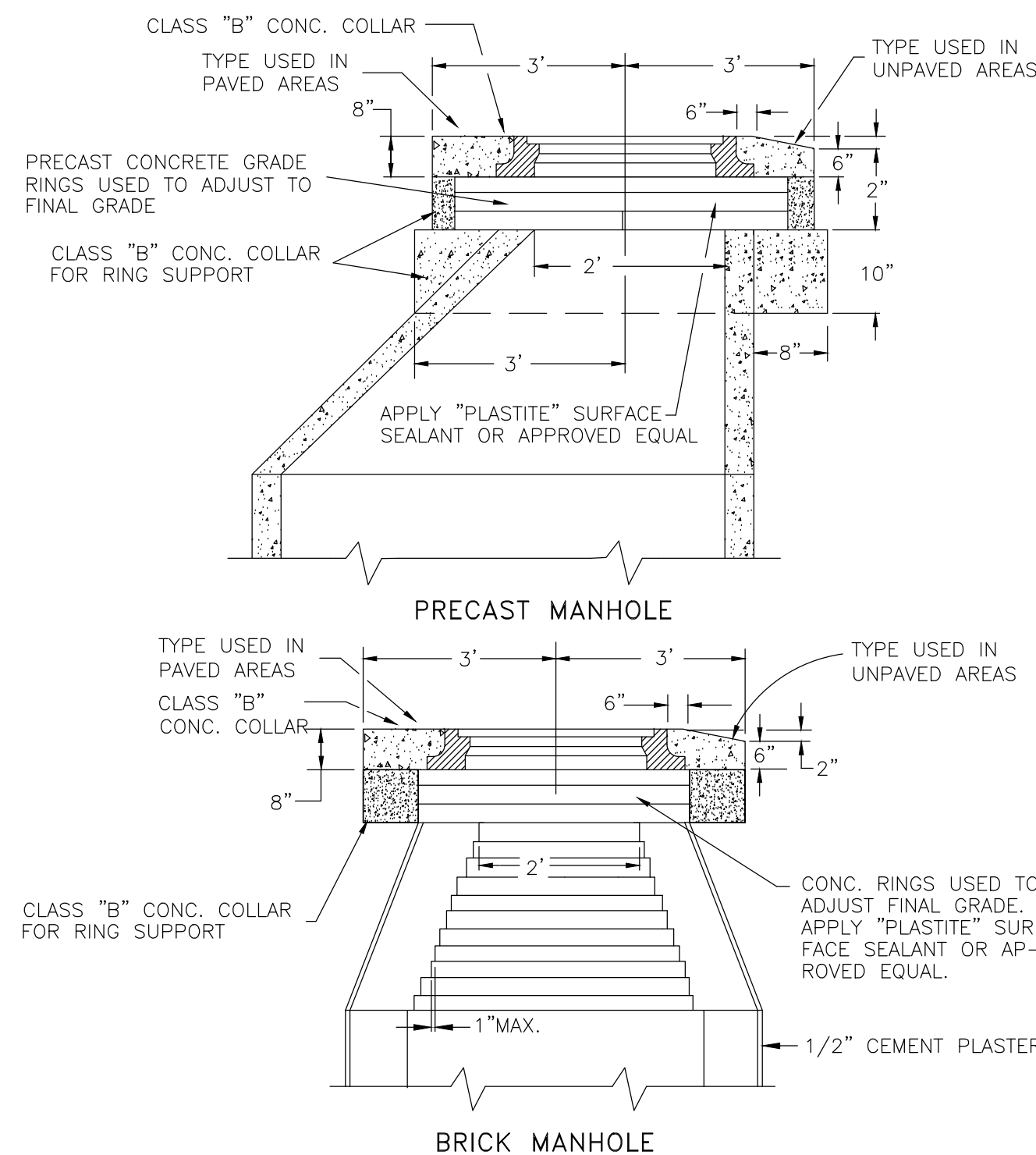
**SECTION "A-A"**  
(INCLUDING FRAME)

**STANDARD MANHOLE COVER**

**K**  
15

C.O.Y. STD. NO. 5-040

NTS

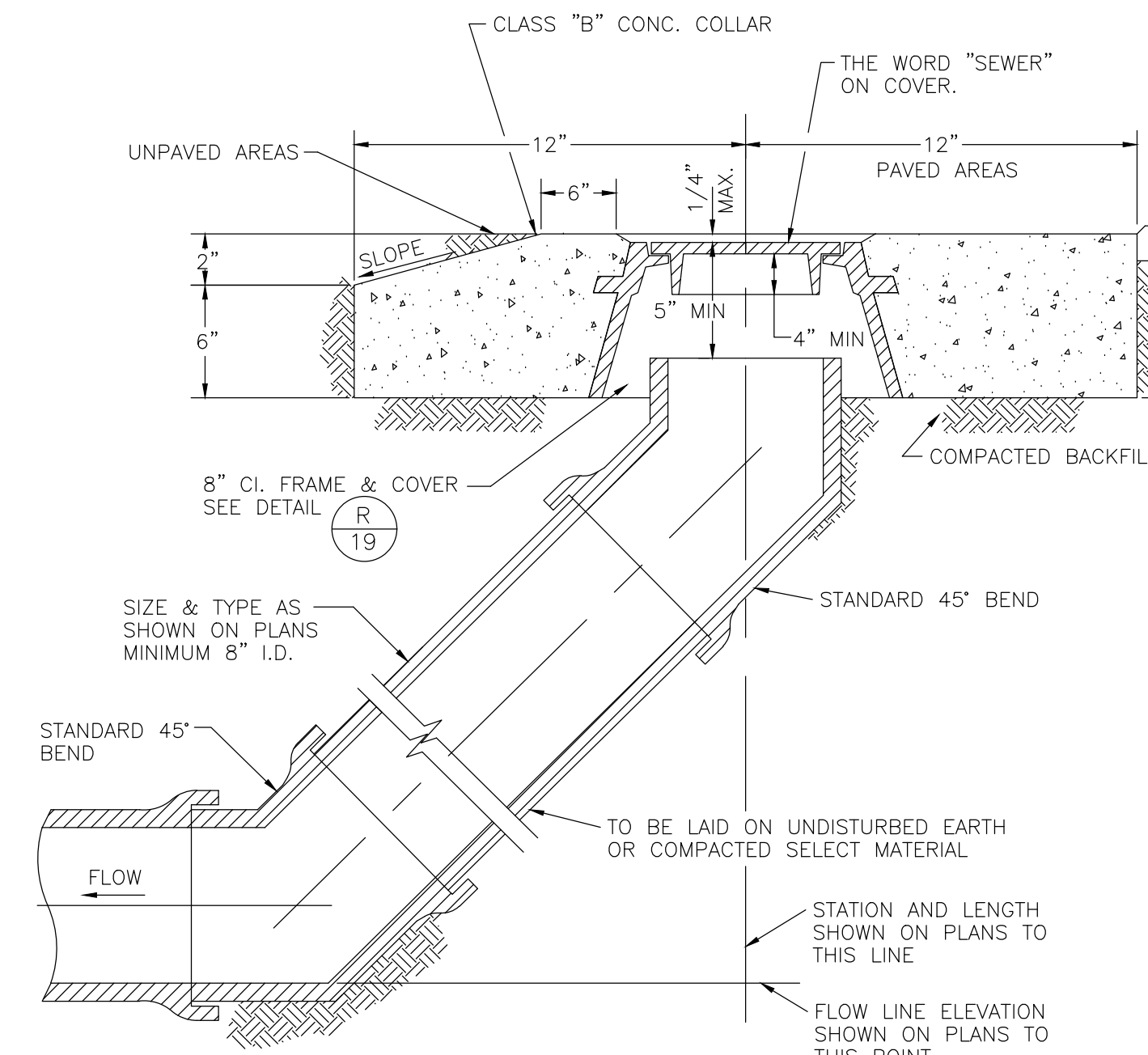


**ADJUST MANHOLE TO FINAL GRADE**

**L**  
15

C.O.Y. STD. NO. 5-040

NTS

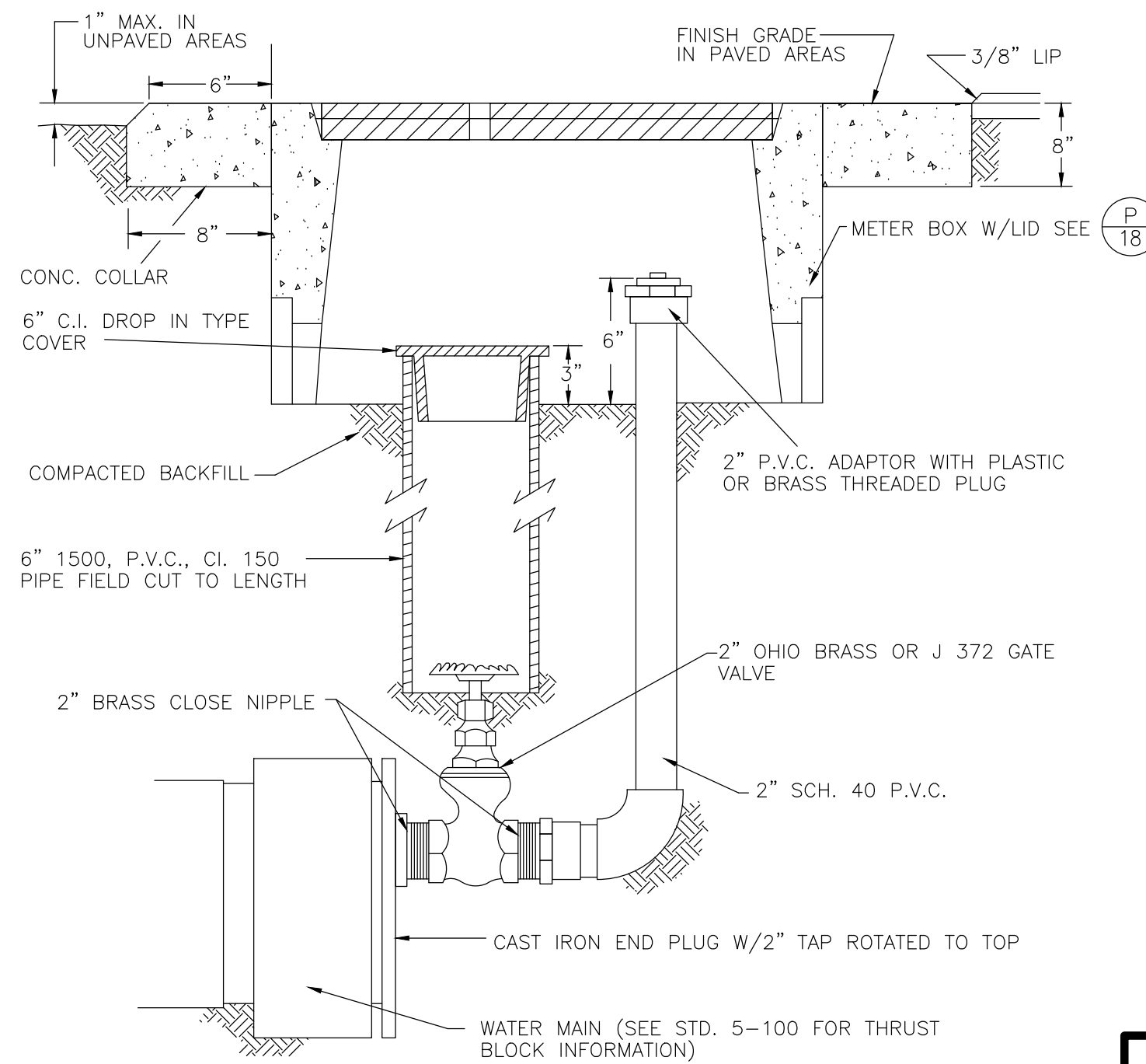


**SANITARY SEWER CLEANOUT CLEANOUT**

**M**  
15

MOD. C.O.Y. STD. NO. 5-010

NTS

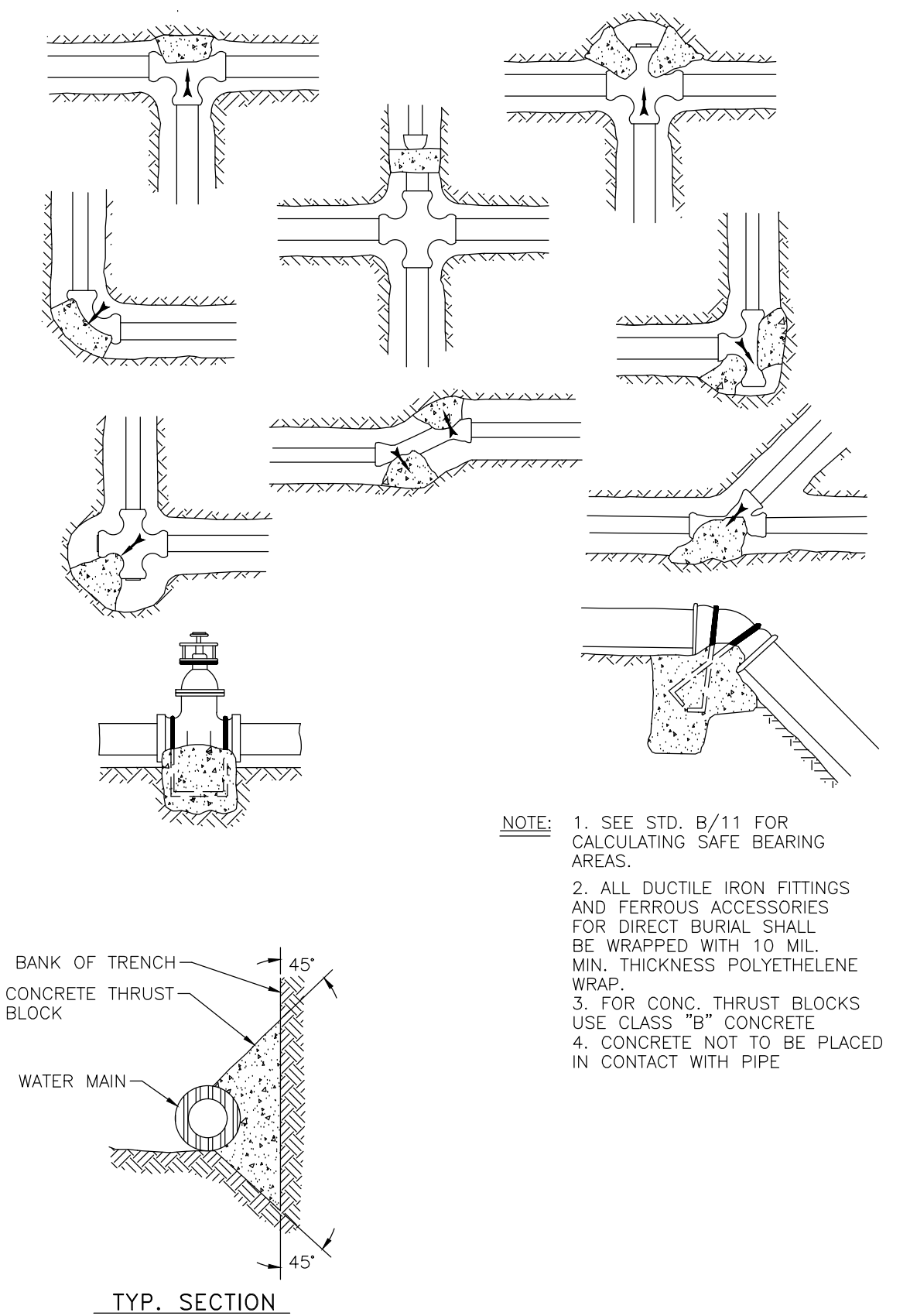


**TEMPORARY BLOWOFF**

**N**  
15

MOD. C.O.Y. STD. NO. 5-010

NTS



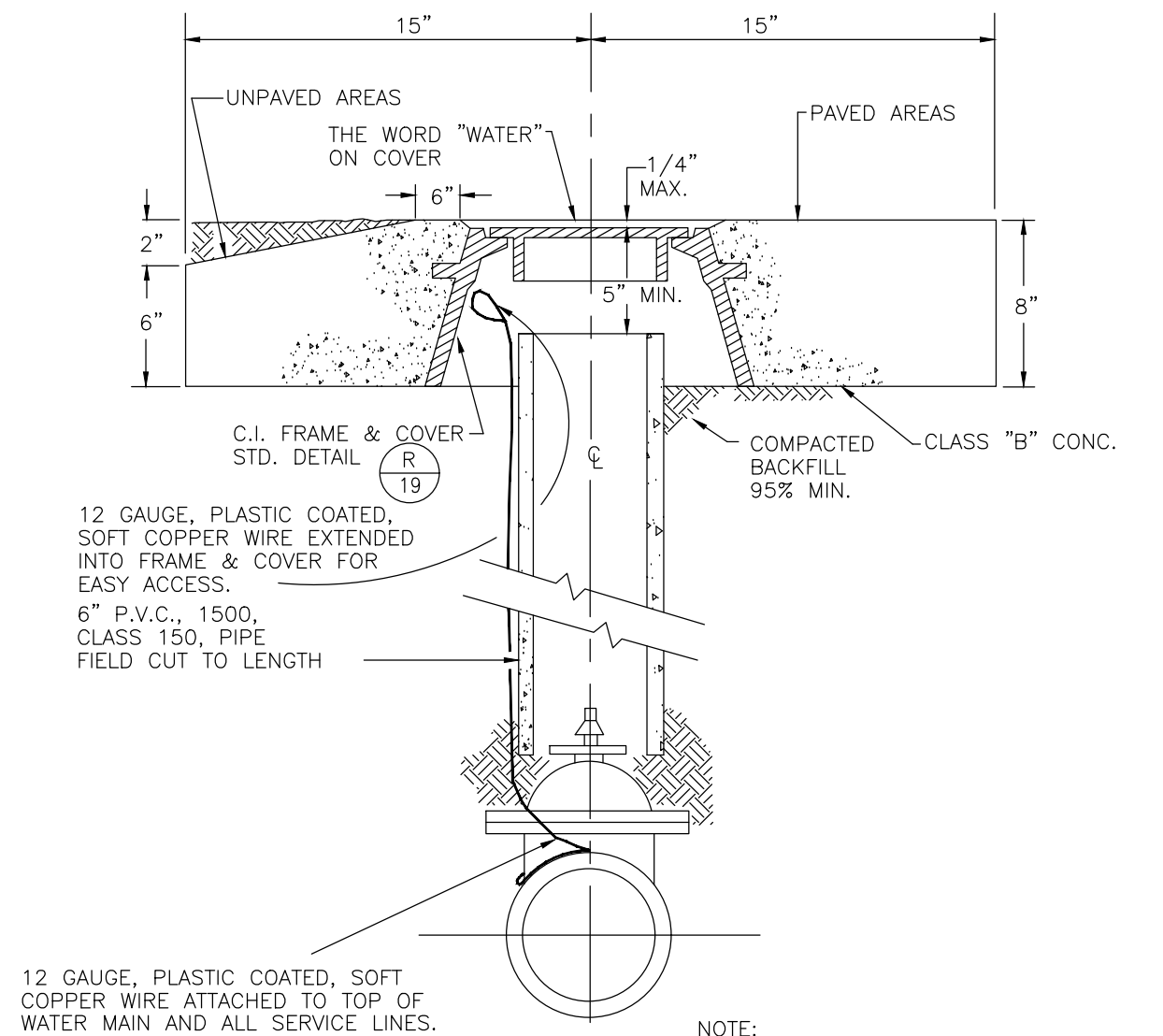
**TYP. SECTION**

**TYP. THRUST BLOCK INSTALLATION**

**O**  
15

MOD. C.O.Y. STD. NO. 5-100

NTS



**VALVE BOX INSTALLATION**

**P**  
15

MOD. C.O.Y. STD. NO. 5-210

NTS

**LAS QUINTAS DE SAN LUIS II SUBDIVISION**

**WATER & SEWER DETAILS**

SCALE: AS SHOWN    DESIGNED BY: N.K.E.    CHECKED BY: N.K.E.  
 DATE: JUL. 16    DRAWN BY: STAFF    JOB No. 14-015

**EDAIS Engineering, Inc.**

3075 S. Ave. 4E    Yuma, Arizona 85365  
 (928) 344-3566    FAX (928) 341-1075  
 EMAIL: EE@Edaisengineering.com

SHEET **15**

COPYING, REPRODUCTION, OR PUBLICATION OF THESE PLANS BY ANY METHOD, IN WHOLE OR IN PART IS PROHIBITED.



# LAS QUINTAS DE SAN LUIS 2 SUBDIVISION

A SUBDIVISION OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER LYING EAST MAIN CANAL AND PARCEL B OF THE BARKLEY LOT SPLIT No.2 AS RECORDED IN BOOK 67 OF PLATS, PAGE 27, Y.C.R., BEING A PORTION OF GOVERNMENT LOT 2, ALSO BEING A PORTION OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER, TOGETHER IN SECTION 6, TOWNSHIP 11 SOUTH, RANGE 24 WEST, GILA AND SALT RIVER BASE AND MERIDIAN, YUMA COUNTY, ARIZONA

DATE: OCTOBER 2016    ACREAGE - 28.75 AC



BOOK \_\_\_\_\_ OF PLATS,  
PAGE \_\_\_\_\_

## APPROVED

STATE OF ARIZONA )  
                          ) SS  
CITY OF SAN LUIS )

THIS SUBDIVISION AS PLATTED HEREON HAS BEEN APPROVED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF SAN LUIS, ARIZONA.

MAYOR \_\_\_\_\_ DATE \_\_\_\_\_  
CITY MANAGER \_\_\_\_\_ DATE \_\_\_\_\_  
CITY PLANNING & ZONING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_  
CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
CITY PUBLIC WORKS DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

## BASIS OF BEARING

THE SOUTH LINE OF THE SW¼ OF SECTION 6, T11S, R24W, NAMED N 89°40'11" W AS SHOWN ON STATE PLAT No. 17 COMITE DE BIENESTAR AS RECORDED IN BOOK 11 OF PLATS, PAGES 86-88, YCR

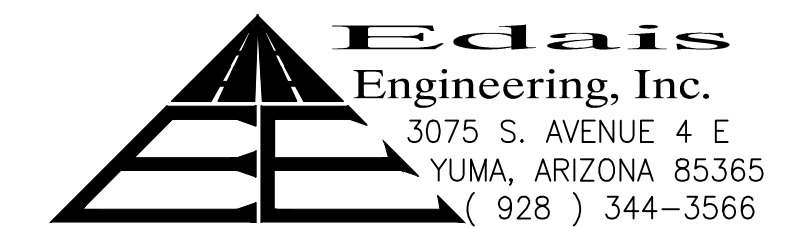
## RESTRICTIVE COVENANTS

HAVE BEEN RECORDED CONCURRENTLY AND ARE A PART OF THIS PLAT

## SUBDIVIDER/OWNER

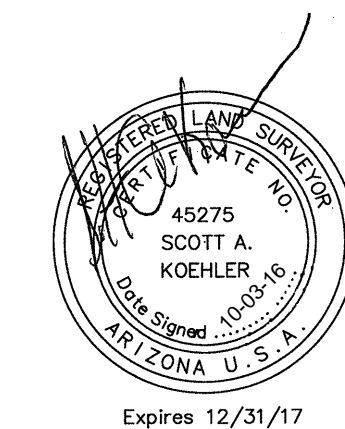
**RIEDEL HOLDINGS, L.L.C.**  
P.O. BOX 1649  
SAN LUIS, ARIZONA 85349

## PREPARED BY:



## SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE SUBDIVISION SHOWN HEREON WAS MADE UNDER MY DIRECTION DURING JULY OF 2016, AND THAT THIS SUBDIVISION CONFORMS TO ALL REGULATIONS AND REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF SAN LUIS, ARIZONA.



## DEDICATION

KNOW ALL MEN BY THESE PRESENTS: THAT RIEDEL HOLDINGS, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY, AS OWNER HAS THIS THE \_\_\_\_ DAY OF \_\_\_\_\_ 2016, CAUSED A PORTION OF THE W¼ OF THE NE¼ OF SECTION 6, TOWNSHIP 11 SOUTH, RANGE 24 WEST, G.&S.R.B.&M., YUMA COUNTY, ARIZONA, AS PLATTED HEREON, TO BE SUBDIVIDED INTO LOTS, TRACTS & STREETS UNDER THE NAME OF "LAS QUINTAS DE SAN LUIS 2 SUBDIVISION" AND HEREBY DECLARES THAT THE ACCOMPANYING PLAT SETS FORTH THE LOCATION AND GIVES THE DIMENSIONS OF THE LOTS AND STREETS, CONSTITUTING SAID "LAS QUINTAS DE SAN LUIS 2 SUBDIVISION" AND THAT EACH LOT SHALL BE KNOWN BY THE NUMBER, THE TRACTS BY THE LETTER AND THE STREETS BY THE NAME GIVEN EACH RESPECTIVELY ON SAID PLAT;

AND THAT RIEDEL HOLDINGS, L.L.C., AS OWNER, HEREBY DEDICATES THE STREETS SHOWN HEREON TO THE PUBLIC FOR ITS USE AND BENEFIT, AND THAT THE EASEMENTS ARE DEDICATED FOR THE USES SHOWN AND DEFINED ON SAID PLAT AND AS SET FORTH IN THE DECLARATION OF RESERVATIONS, COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED CONCURRENTLY HEREWITH. TRACT "A" IS DEDICATED TO THE PUBLIC FOR USE AS STORM WATER RETENTION BASIN AND COMPATIBLE RECREATIONAL USES

IN WITNESS WHEREOF: RIEDEL HOLDINGS, L.L.C., HAS CAUSED ITS CORPORATE NAME TO BE SIGNED AND ITS CORPORATE SEAL TO BE AFFIXED BY THE SIGNATURE OF NIEVES GARCIA RIEDEL, AS MEMBER, THEREUNTO DULY AUTHORIZED ON THIS THE \_\_\_\_ DAY OF \_\_\_\_\_ 2016.

BY: \_\_\_\_\_  
NIEVES GARCIA RIEDEL, MEMBER  
RIEDEL HOLDINGS, L.L.C.

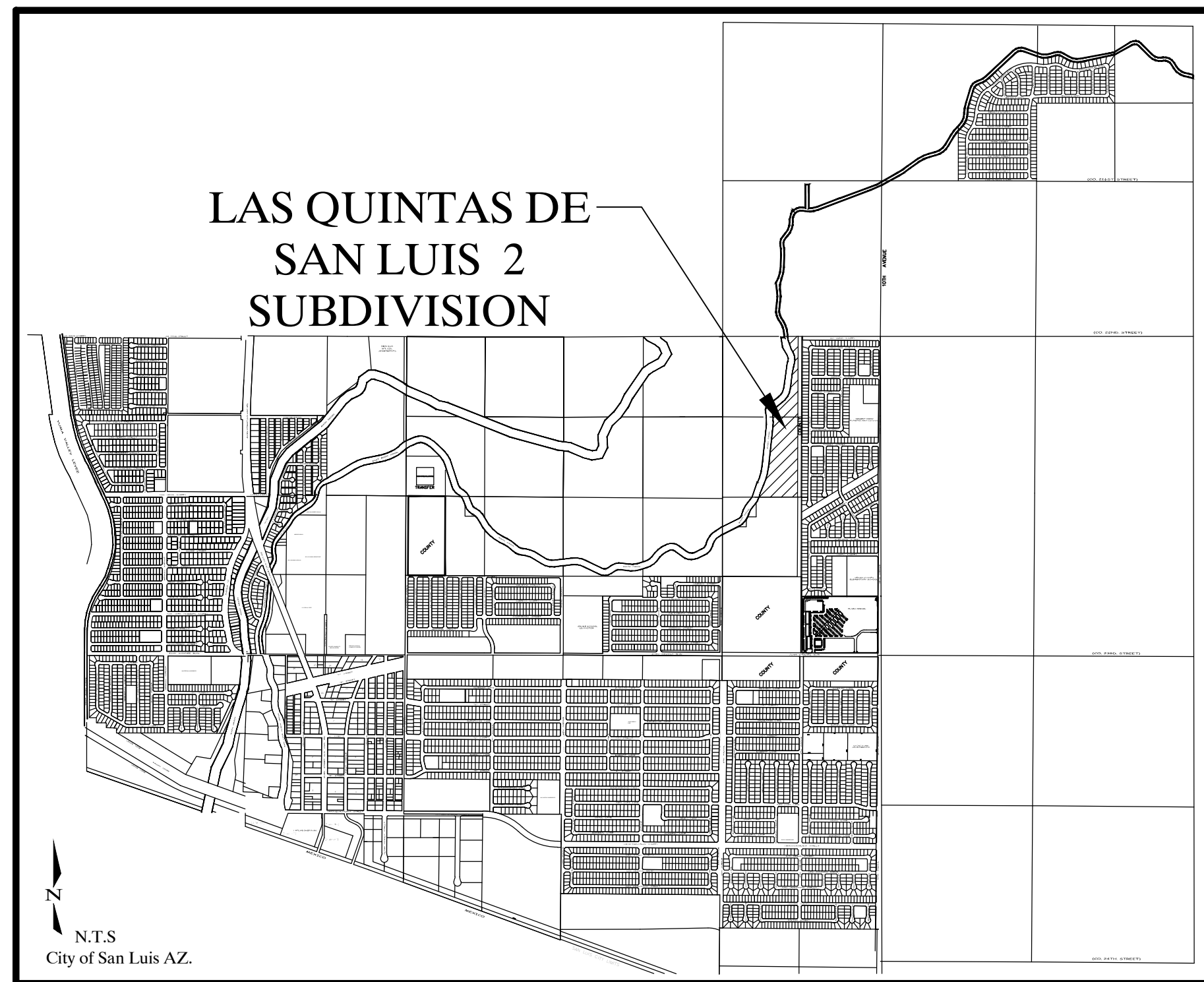
## ACKNOWLEDGMENT

STATE OF ARIZONA )  
                          ) SS  
COUNTY OF YUMA )

ON THIS THE \_\_\_\_ DAY OF \_\_\_\_\_, 2016 BEFORE ME, THE UNDERSIGNED OFFICER PERSONALLY APPEARED, NIEVES GARCIA RIEDEL, WHO ACKNOWLEDGED HERSELF TO BE MEMBER OF RIEDEL HOLDINGS, L.L.C., AN ARIZONA LIMITED LIABILITY COMPANY, AND SHE AS SUCH OFFICER BEING AUTHORIZED TO DO SO, EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSES THEREIN CONTAINED, BY SIGNING THE NAME OF THE LIMITED LIABILITY COMPANY BY HERSELF, AS SUCH OFFICER.

IN WITNESS WHEREOF, I HAVE SET MY HAND AND OFFICIAL SEAL.

BY: \_\_\_\_\_  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: \_\_\_\_\_



VICINITY MAP

# LAS QUINTAS DE SAN LUIS 2 SUBDIVISION

A SUBDIVISION OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER LYING EAST MAIN CANAL AND PARCEL B OF THE BARKLEY LOT SPLIT No.2 AS RECORDED IN BOOK 67 OF PLATS, PAGE 27, Y.C.R., BEING A PORTION OF GOVERNMENT LOT 2, ALSO BEING A PORTION OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER, TOGETHER IN SECTION 6, TOWNSHIP 11 SOUTH, RANGE 24 WEST, GILA AND SALT RIVER BASE AND MERIDIAN, YUMA COUNTY, ARIZONA

DATE: OCTOBER 2016    ACREAGE - 28.75 AC

### LEGEND

- CENTERLINE
- BOUNDARY LINE
- RIGHT OF WAY LINE
- EXISTING LOTS
- NEW PROPERTY LINE
- FOUND MONUMENT (TYPE AS SHOWN)
- NEW STREET MONUMENT AS PER YUMA COUNTY STD. No. 4-080
- NEW SUBDIVISION BOUNDARY MONUMENT PER YUMA COUNTY STD. No. 4-030
- B.C. INDICATES BRASS CAP
- H.H. INDICATE HAND HOLE
- ( [1] ) DATA REFER TO BARKLEY PROPERTY - SAN LUIS, BOUNDARY SURVEY CONDUCTED BY DAHL, ROBINS & ASSOCIATES, INC. PROJECT No. 07076 SIGNED BY JUAN N. LOMELI DATED JULY 24, 2007.
- ( [2] ) DATA REFER TO BARKLEY LOT SPLIT No. 2 AS RECORDED IN BOOK 67 OF PLATS, PAGE 27, Y.C.R., YUMA COUNTY, ARIZONA.
- NEW LOT NUMBER
- EXISTING LOT NUMBER
- A.P.N. ASSESSOR PARCEL NUMBER
- Y.C.R.O. YUMA COUNTY RECORDER'S OFFICE

### CURVE DATA

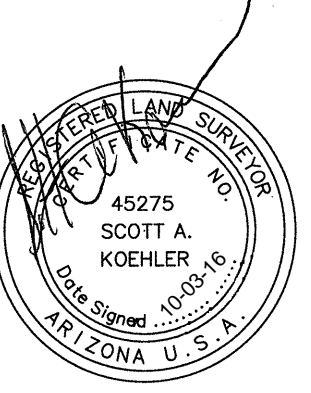
CURVE	DELTA	CHORD DIRECTION	CHORD	TANGENT	RADIUS	LENGTH
C1	41°31'24"	N20°45'42"W	32.61'	17.44'	46.00'	33.34'
C1A	74°15'08"	N35°30'10"E	55.52'	34.82'	46.00'	59.61'
C2	17°10'14"	N06°58'15"E	28.07'	14.19'	94.00'	28.17'
C3	17°10'14"	N23°54'6"E	28.07'	14.19'	94.00'	28.17'
C4	19°33'22"	N82°13'19"W	142.10'	71.71'	525.00'	142.54'
C5	19°33'22"	N82°13'19"W	135.51'	68.39'	500.00'	135.93'
C6	19°33'22"	N82°13'19"W	128.73'	64.97'	475.00'	129.13'
C7	11°02'27"	N45°8'26"E	98.57'	86.42'	60.00'	115.67'
C8	15°34'34"	S82°13'19"E	142.28'	71.80'	525.00'	142.72'
C9	15°34'34"	S82°13'19"E	135.51'	68.39'	500.00'	135.93'
C10	15°34'34"	S82°13'19"E	128.77'	64.97'	475.00'	129.13'
C11	08°50'00"	N11°08'22"E	80.86'	40.55'	525.00'	80.94'
C12	08°50'00"	N11°08'22"E	77.01'	38.62'	500.00'	77.01'
C13	08°50'00"	N11°08'22"E	73.16'	36.69'	475.00'	73.23'
C14	06°44'34"	S86°38'55"E	61.75'	30.93'	525.00'	61.78'
C15	06°44'34"	S86°38'55"E	58.81'	29.46'	500.00'	58.84'
C16	06°44'34"	S86°38'55"E	55.87'	27.98'	475.00'	55.90'
C17	06°44'34"	S86°38'55"E	61.75'	30.93'	525.00'	61.78'
C18	06°44'34"	S86°38'55"E	58.81'	29.46'	500.00'	58.84'
C19	06°44'34"	S86°38'55"E	55.70'	27.90'	475.00'	55.73'
C20	63°22'27"	N31°23'11"W	157.58'	92.60'	150.00'	165.91'
C21	63°22'27"	N31°23'11"W	131.32'	77.16'	125.00'	138.26'
C22	63°22'27"	N31°23'11"W	105.06'	61.73'	100.00'	110.61'
C23	22°33'27"	N18°00'05"E	58.68'	29.92'	150.00'	59.06'
C24	22°33'27"	N18°00'05"E	68.45'	34.90'	175.00'	68.90'
C25	22°33'27"	N18°00'05"E	78.23'	39.90'	200.00'	78.74'
C26	28°58'44"	N14°47'26"E	100.08'	51.68'	200.00'	101.16'
C27	28°58'44"	N14°47'26"E	112.59'	58.15'	225.00'	113.80'
C28	28°58'44"	N14°47'26"E	125.10'	64.60'	250.00'	126.45'
C29	07°45'18"	N04°10'43"E	71.00'	35.58'	525.00'	71.06'
C30	07°45'18"	N04°10'43"E	67.62'	33.89'	500.00'	67.62'
C31	07°45'18"	N04°10'43"E	64.24'	32.20'	475.00'	64.29'
C32	07°20'06"	N11°43'19"E	84.03'	42.10'	656.80'	84.09'
C33	07°20'06"	N11°43'19"E	80.83'	40.50'	631.80'	80.88'
C34	07°20'06"	N11°43'19"E	77.63'	38.90'	606.80'	77.68'
C35	36°58'51"	N03°06'04"W	160.60'	84.67'	253.20'	163.43'
C36	36°58'51"	N03°06'04"W	176.46'	93.03'	278.20'	179.56'
C37	36°58'51"	N03°06'04"W	192.32'	101.39'	303.20'	195.70'
C38	21°37'05"	N10°47'45"W	88.92'	45.26'	237.06'	89.45'
C39	21°37'05"	N10°47'45"W	79.54'	40.49'	212.06'	80.01'
C40	21°37'05"	N10°47'45"W	70.16'	35.71'	187.06'	70.58'

PREPARED BY:

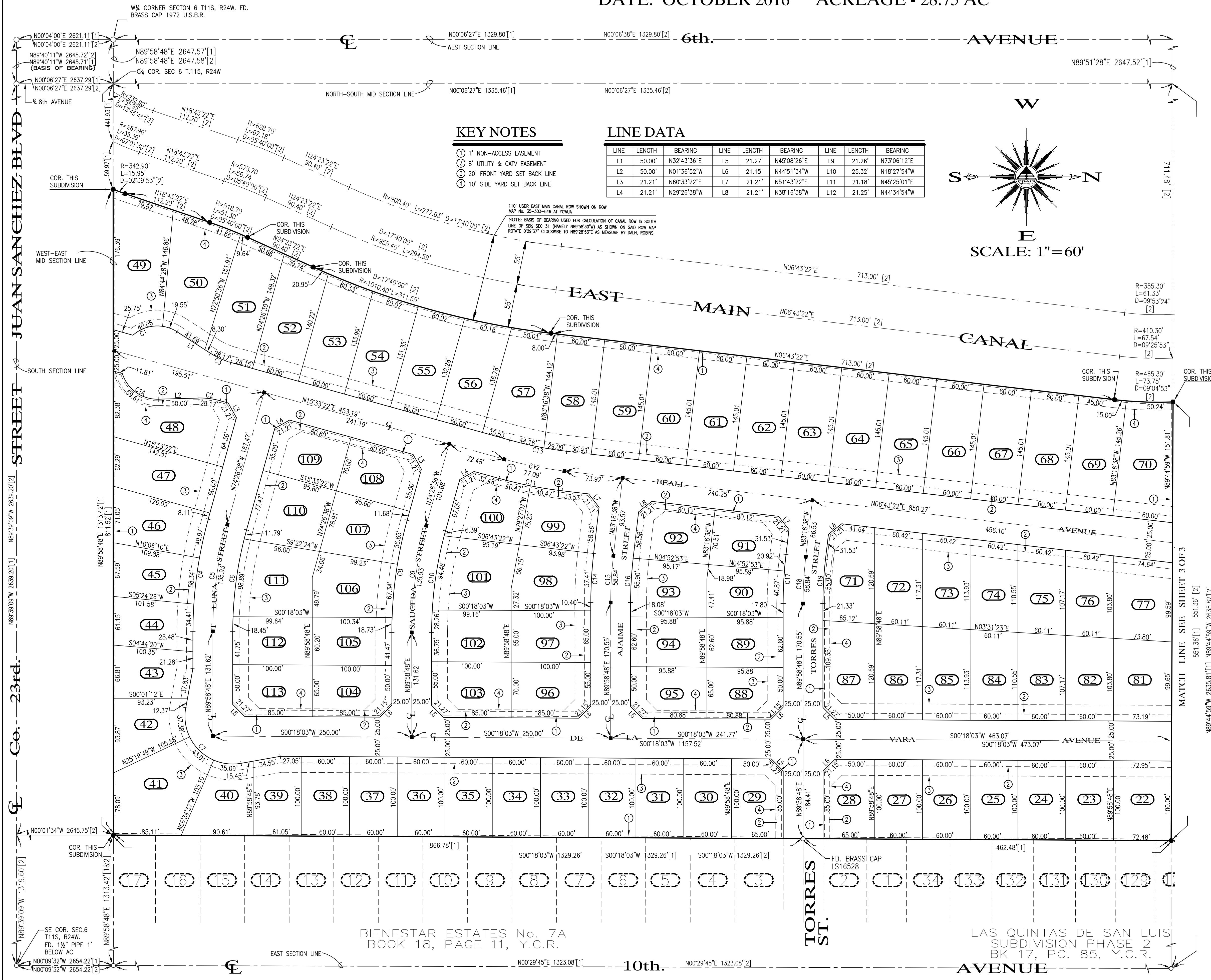
**Edais Engineering, Inc.**  
 3075 S. AVENUE 4 E  
 YUMA, ARIZONA 85365  
 (928) 344-3566

### SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I AM A LAND SURVEYOR LISTED ON THE ROSTER OF ACTIVE REGISTRANTS BY THE STATE BOARD OF TECHNICAL REGISTRATION OF ARIZONA AND THAT THIS PROJECT CONSISTING OF FOURTEEN (14) SHEETS CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION DURING JULY 2016. THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN.



Expires 12/31/17



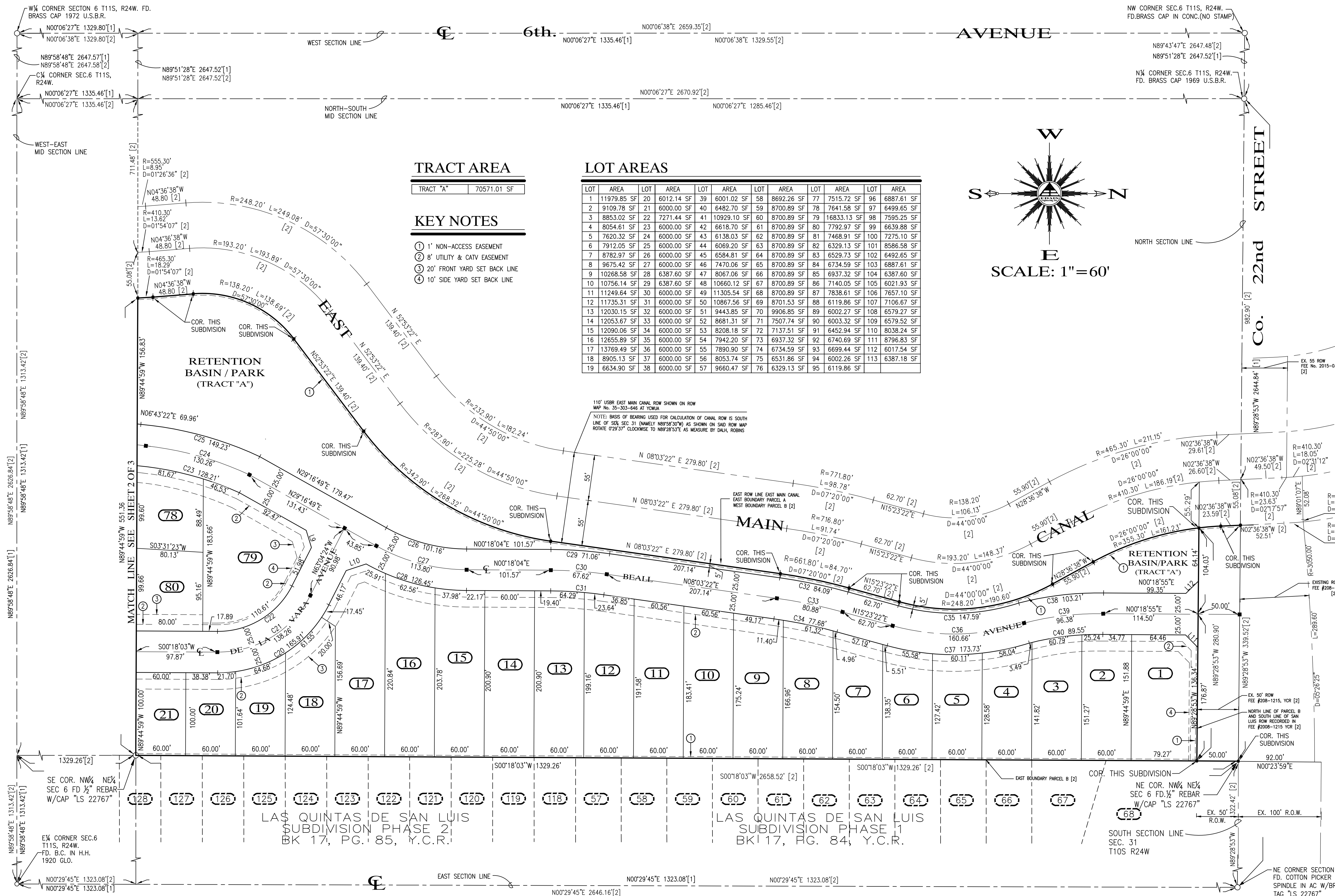
BIENESTAR ESTATES No. 7A  
 BOOK 18, PAGE 11, Y.C.R.

LAS QUINTAS DE SAN LUIS  
 SUBDIVISION PHASE 2  
 BK 17, PG. 85, Y.C.R.

# LAS QUINTAS DE SAN LUIS 2 SUBDIVISION

A SUBDIVISION OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER LYING EAST MAIN CANAL AND PARCEL B OF THE BARKLEY LOT SPLIT No.2 AS RECORDED IN BOOK 67 OF PLATS, PAGE 27, Y.C.R., BEING A PORTION OF GOVERNMENT LOT 2, ALSO BEING A PORTION OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER, TOGETHER IN SECTION 6, TOWNSHIP 11 SOUTH, RANGE 24 WEST, GILA AND SALT RIVER BASE AND MERIDIAN, YUMA COUNTY, ARIZONA

DATE: OCTOBER 2016 ACREAGE - 28.75 AC



### TRACT AREA

TRACT "A"	70571.01 SF
-----------	-------------

### KEY NOTES

- ① 1' NON-ACCESS EASEMENT
- ② 8' UTILITY & CATV EASEMENT
- ③ 20' FRONT YARD SET BACK LINE
- ④ 10' SIDE YARD SET BACK LINE

### LOT AREAS

LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA
1	11579.85 SF	20	6012.14 SF	39	6001.02 SF	58	8692.26 SF	77	7515.72 SF	96	8887.61 SF		
2	9109.78 SF	21	6000.00 SF	40	6482.70 SF	59	8700.89 SF	78	7641.58 SF	97	8499.65 SF		
3	8853.02 SF	22	7271.44 SF	41	10929.10 SF	60	8700.89 SF	79	16833.13 SF	98	7595.25 SF		
4	8054.61 SF	23	6000.00 SF	42	6618.70 SF	61	8700.89 SF	80	7792.97 SF	99	6639.88 SF		
5	7620.32 SF	24	6000.00 SF	43	6138.03 SF	62	8700.89 SF	81	7468.91 SF	100	7275.10 SF		
6	7912.05 SF	25	6000.00 SF	44	6069.20 SF	63	8700.89 SF	82	6329.13 SF	101	8586.58 SF		
7	8782.97 SF	26	6000.00 SF	45	6584.81 SF	64	8700.89 SF	83	6529.73 SF	102	6492.65 SF		
8	9675.42 SF	27	6000.00 SF	46	7470.06 SF	65	8700.89 SF	84	6734.59 SF	103	6887.61 SF		
9	10268.58 SF	28	6387.60 SF	47	8067.06 SF	66	8700.89 SF	85	6937.32 SF	104	6387.60 SF		
10	10756.14 SF	29	6387.60 SF	48	10660.12 SF	67	8700.89 SF	86	7140.05 SF	105	6021.93 SF		
11	11249.64 SF	30	6000.00 SF	49	11305.54 SF	68	8700.89 SF	87	7838.61 SF	106	7657.10 SF		
12	11735.31 SF	31	6000.00 SF	50	10867.56 SF	69	8701.53 SF	88	6119.86 SF	107	7106.67 SF		
13	12030.15 SF	32	6000.00 SF	51	9443.85 SF	70	9906.85 SF	89	6002.27 SF	108	6579.27 SF		
14	12053.67 SF	33	6000.00 SF	52	8681.31 SF	71	7507.74 SF	90	6003.32 SF	109	6579.52 SF		
15	12090.06 SF	34	6000.00 SF	53	8208.18 SF	72	7137.51 SF	91	6452.94 SF	110	8038.24 SF		
16	12655.89 SF	35	6000.00 SF	54	7942.20 SF	73	6937.32 SF	92	6740.69 SF	111	8796.83 SF		
17	13769.49 SF	36	6000.00 SF	55	7890.90 SF	74	6734.59 SF	93	6699.44 SF	112	6017.54 SF		
18	8905.13 SF	37	6000.00 SF	56	8053.74 SF	75	6531.86 SF	94	6002.26 SF	113	6387.18 SF		
19	6634.90 SF	38	6000.00 SF	57	9660.47 SF	76	6329.13 SF	95	6119.86 SF				

### LEGEND

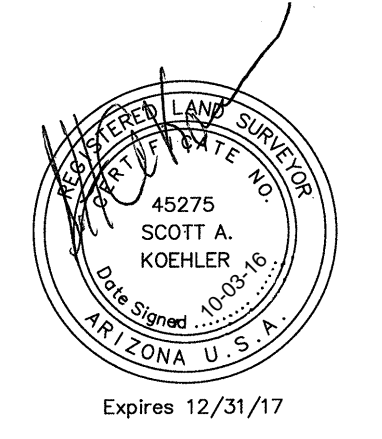
- CENTERLINE
- BOUNDARY LINE
- RIGHT OF WAY LINE
- EXISTING LOTS
- NEW PROPERTY LINE
- FOUND MONUMENT (TYPE AS SHOWN)
- NEW STREET MONUMENT AS PER YUMA COUNTY STD. No. 4-080
- NEW SUBDIVISION BOUNDARY MONUMENT PER YUMA COUNTY STD. No. 4-030
- B.C. INDICATES BRASS CAP
- H.H. INDICATE HAND HOLE
- ( [1] ) DATA REFER TO BARKLEY PROPERTY - SAN LUIS, BOUNDARY SURVEY CONDUCTED BY DAHL, ROBINS & ASSOCIATES, INC. PROJECT No. 07076 SIGNED BY JUAN N. LOWELI DATED JULY 24, 2007.
- ( [2] ) DATA REFER TO BARKLEY LOT SPLIT No. 2 AS RECORDED IN BOOK 67 OF PLATS, PAGE 27, Y.C.R., YUMA COUNTY, ARIZONA.
- NEW LOT NUMBER
- EXISTING LOT NUMBER
- A.P.N. ASSESSOR PARCEL NUMBER
- Y.C.R.O. YUMA COUNTY RECORDER'S OFFICE

### PREPARED BY:

**Edais Engineering, Inc.**  
 3075 S. AVENUE 4 E  
 YUMA, ARIZONA 85365  
 (928) 344-3566

### SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I AM A LAND SURVEYOR LISTED ON THE ROSTER OF ACTIVE REGISTRANTS BY THE STATE BOARD OF TECHNICAL REGISTRATION OF ARIZONA AND THAT THIS PROJECT CONSISTING OF FOURTEEN (14) SHEETS CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION DURING JULY 2016. THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN.





March 3, 2016

**REZONING CASE NUMBER: 2016-065**

**CASE SUMMARY:** A request by Edais Engineering, Inc., on behalf of (Nieves Riedel) Riedel Construction, Inc., owner, to rezone 27.58 acres, more or less, from Rural Area Residential (RA-10) to Medium Density Residential (R1-6) zoning district. Assessor parcel ID # 776-11-001 and Assessor parcel ID #776-03-003 located South of County 22<sup>nd</sup> Street between the Main Canal and Las Quintas Subdivision. The purpose of the zone change is to allow for the building of a future subdivision to be called Las Quintas de San Luis II.

A Citizen Review Meeting has been scheduled on the 5<sup>th</sup> day of April, 2016 at 6:00 p.m. at the San Luis City Hall Council Chambers, 1090 E. Union Street, San Luis, Arizona, in order to give interested parties an opportunity to meet with the applicant to have questions answered and express any issues or concerns prior to any public hearing.

**PUBLIC HEARING: April 12, 2016**

**COMMENTS DUE: [March 21, 2016](#)**

Your comments on this case will help us prepare an accurate and timely staff report. Your comments on this case will be inserted “as is” into the staff report with your name, department, and telephone number, should the applicant have any questions. Your comments are a public record and will be available to the public, media, and the applicant, in addition to the Commission hearing this case. Please complete the section below and return via e-mail. For additional information please contact me at 341-8563, extension 2012, or at [Jstarkey@cityofsanluis.org](mailto:Jstarkey@cityofsanluis.org)

Thank you,

John Starkey  
Zoning Administrator

Attachment:                   Location Map, Picture of Project Area and Site Plan

**Enter Comments *below*:**

1' Non-Access Easement needs to be added to lots 1-12 & 45 - 67 including Tract “A” to the side adjacent to the East Main Canal rights-of-way. Also, Masonry fencing should be added to separate between the canal and the development, no gates allowed.

Please, provide a full set of plans for further review.

**Date:**3/7/16

**Agency:**Yuma County Water Users' Association

**Phone:** 928-627-8824

**Return to:** [Jstarkey@cityofsanluis.org](mailto:Jstarkey@cityofsanluis.org)