



NOTICE OF REGULAR PLANNING AND ZONING COMMISSION MEETING

In accordance with Section 38-431.01 of the Arizona Revised Statutes of the State of Arizona, notice is hereby given to the Members of the Planning and Zoning Commission and to the general public that the Planning and Zoning Commission of the City of San Luis, Arizona will hold a Regular Planning & Zoning Commission Meeting at 7:00 p.m., Tuesday, October 9, 2018. The meeting will take place at the City Council Chambers, located at 1090 E. Union Street, San Luis, Arizona, 85349. Everyone from the public is invited to attend the open meeting.

In accordance with the Americans with Disabilities Act (ADA) and Section 504 of the Rehabilitation Act of 1973, the City of San Luis does not discriminate on the basis of disability in the admission of or access to, or treatment of employment in its programs, activities, or services. For information regarding rights and provisions of the ADA or Section 504, or to request reasonable accommodations for participation in City programs, activities or services contact: ADA/Section 504 Coordinator, City of San Luis Human Resources Department, 1090 East Union Street, San Luis, Arizona 85349; (928) 341-8520.

Notice is hereby given that pursuant to A.R.S. §1-602.A.9, subject to certain specified statutory exceptions, parents have a right to consent before the State or any of its political subdivisions make a video or audio recording of a minor child. Meetings of the City Council are audio and/or video recorded, and, as a result, proceedings in which children are present may be subject to such recordings. Parents in order to exercise their rights may either file written consent with the City Clerk to such recordings, or take personal action to ensure that their child or children are not present when a recording may be made. If a child is present at the time a recording is made, the City will assume that the rights afforded parents pursuant to A.R.S. §1-602.A.9 have been waived.

THIS NOTICE IS GIVEN BY:

/s/ Roman Pacheco, Planning Technician

AVISO DE JUNTA REGULAR DE LA COMISIÓN DE PLANEACIÓN Y ZONAMIENTO

De acuerdo a la Sección 38-431.01 de los Estatutos Revisados del Estado de Arizona, se les informa a los Miembros de la Comisión de Planeación y Zonamiento y al público en general que la Comisión de Planeación y Zonamiento de San Luis, Arizona, tendrán una junta regular a las 7:00 p.m., el día Martes, 9 de Octubre del 2018. La junta se llevará a cabo en la Cámara del Consejo de la ciudad, ubicado en el 1090 East Union Street, San Luis, Arizona, 85349. El público esta cordialmente invitado.

De acuerdo con el Acta de Americanos con Discapacidades y la Sección 504 del Acta de Rehabilitación de 1973, la Ciudad de San Luis no discrimina por causa de discapacidad la admisión y acceso a sus programas, actividades, servicios o en el trato en cuanto a empleo. Para más información referente a derechos y provisiones del Acta de Americanos con Discapacidades o Sección 504, o para solicitar adaptaciones que sean razonables para la participación en programas, actividades o servicios de la ciudad, contactar a: Coordinador del Acta de Americanos con Discapacidades/Sección 504, Departamento de Recursos Humanos de la Ciudad de San Luis, 1090 Este Calle Unión, San Luis, Arizona, 85349; (928) 341-8520.

Por medio de éste aviso y de acuerdo con los Estatutos Revisados del Estado de Arizona, sujeto a ciertas excepciones reglamentarias, los padres de familia tienen el derecho de dar o no dar el consentimiento ante el Estado o alguna subdivisión política grabe a un menor de edad, ya sea en audio o video. Las juntas del Concilio se graban en audio y/o video y como resultado, el hecho de que haya menores presentes puede ser sujeto a que sean grabados. Para que los padres de familia puedan ejercer sus derechos pueden solicitar por escrito a la Secretaria de la Ciudad dicha grabación, o tomar acción personal para asegurarse que su hijo/hija menor no esté presente cuando la grabación se lleve a cabo. Si un menor de edad está presente en el momento de la grabación, la Ciudad asumirá que los padres de familia están cediendo los derechos sobre una posible grabación de acuerdo con el Estatuto Revisado del Estado de Arizona §1-602.A.9.

ESTE AVISO ES DADO POR:

/f/ Roman Pacheco, Técnico en Planeación



AGENDA
Planning & Zoning Commission
Regular Meeting
San Luis Council Chambers
1090 E. Union Street
San Luis, AZ 85349
Tuesday, October 9, 2018
7:00 P.M.

MEMBERS OF THE SAN LUIS PLANNING & ZONING COMMISSION WILL ATTEND EITHER IN PERSON, TELEPHONE, OR VIDEO CONFERENCE COMMUNICATION.

1. **CALL TO ORDER/ROLL CALL 7:00 p.m.**
2. **PLEDGE OF ALLEGIANCE**
3. **CONSENT AGENDA**
All matters are considered to be routine by the Planning & Zoning Commission and will be enacted by one motion. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.
3. A. **APPROVAL OF MINUTES** **Approved**
-Regular Planning and Zoning Commission meeting held September 11, 2018
4. **PUBLIC HEARINGS** – the Planning & Zoning Commission will be considering a vote or action on the following cases. Any vote or action will be considered separately for each case.
4. A. Public hearing followed by discussion and possible action on any and all matters regarding Text Amendment Case No. 2018-0299. A request by the City of San Luis for a text amendment to the San Luis City Code, Chapter 152 Zoning Regulations by amending and adding regulations to Section 152.121 Light Industrial (L-1) Zoning District. (CONTINUED ITEM FROM REGULAR PLANNING AND ZONING MEETING HELD SEPTEMBER 11, 2018) **Public Hearing Held/Approved**
 - A. Open public hearing
 1. Staff presentation
 2. Call to the Public on this item
 - B. Close public hearing
 - C. Action on Text Amendment Case No. 2018-0299
4. B. Public hearing followed by discussion and possible action on any and all matters regarding Text Amendment Case No. 2018-0385. A request by the City of San Luis for a text amendment to the San Luis City Code, Chapter 152 Zoning Regulations by amending and adding regulations to Section 152.106(C) relating to conditional uses in the Neighborhood Commercial (C-1) Zoning District. (CONTINUED ITEM FROM REGULAR PLANNING AND ZONING **Withdraw**

MEETING HELD SEPTEMBER 11, 2018)

- A. Open public hearing
 - 1. Staff presentation
 - 2. Call to the Public on this item
- B. Close public hearing
- C. Action on Text Amendment Case No. 2018-0385

- 4. C.** Public hearing followed by discussion and possible action on any and all matters regarding Rezoning Case No. 2018-0321. A request by Riedel Holdings LLC on behalf of Border Ranches AZ LLC, owner, to rezone 67.06 acres, located on the northeast corner of County 24th Street and 20th Avenue, from Medium-High Density Residential (R-2) to Medium Density Residential (R1-6).

**Public
Hearing
Held/Approved**

- A. Open public hearing
 - 1. Staff presentation
 - 2. Call to the Public on this item
- B. Close public hearing
- C. Action on Rezoning Case No. 2018-0321

- 5. ITEMS REQUIRING DISCUSSION AND/OR ACTION** – the Planning & Zoning Commission will be considering a vote or action on the following cases. Any vote or action will be considered separately for each case.

- 5. A.** Discussion and possible action on any and all matters regarding Subdivision Case No. 2018-0440P. A request by Vega and Vega Engineering PLC on behalf of Comite de Bienestar Inc., property owner, for the preliminary plat approval for Bienestar Estates Condos. The property is located at 495 N. Janet Napolitano Boulevard, San Luis, Arizona.

**Approved
with
Corrections**

- A. Staff presentation
- B. Action on Subdivision Case No. 2018-0345P

- 6. CALL TO THE PUBLIC** - This is the time for the public to comment. Members of the Commission may not discuss items that are not specifically identified on the agenda. Therefore, pursuant to Arizona Revised Statute §38-431.01(G), action taken as a result of comment will be limited to directing staff to study the matter, or scheduling the matter for further discussion and decision at a future date. All Planning & Zoning Commission meetings are recorded.

- 7. ADJOURNMENT 8:01 p.m.**



AGENDA ITEM REVIEW FORM

Planning & Zoning Commission Meeting

3.A.

Meeting Date: 10/09/2018

Summary

APPROVAL OF MINUTES

-Regular Planning and Zoning Commission meeting held September 11, 2018

Attachments

Minutes September 11, 2018

MINUTES

REGULAR MEETING
PLANNING AND ZONING COMMISSION
SAN LUIS COUNCIL CHAMBERS
1090 E. UNION STREET
SEPTEMBER 11, 2018
7:00 PM

1. CALL TO THE ORDER /ROL CALL: The meeting was called to order at approximately 7:05 PM., by Commission Member Daniel Bazua.

2. PLEDGE OF ALLEGIANCE: Pledge of Allegiance was led by Commission Member Jose A. Ponce.

PRESENT: Commission Member Daniel Bazua
Commission Member Hugo Garcia
Commission Member Jose A. Ponce
Commission Member Veronica Zavala

Absent: Chairman Javier Barraza
Vice Chairman Marco A. Pinzon
Commission Member Guillermina Fuentes

Others Present: Jose A. Guzman, Director of Planning and Zoning
Roman Pacheco, Planning Technician
Kay Macuil, City Attorney
Ric Bauermann, Fire Department
Eulogio Vera, Public Works Director
Najeh K. Edais, Edais Engineering
Vianey Vega, Vega & Vega Engineering
Gary Black, Comite de Bienestar

3. CONSENT AGENDA

3. A. APPROVAL OF MINUTES

-Regular Planning and Zoning Commission meeting held August 14, 2018

MOTION: Commission Member Jose A. Ponce/Commission Member Hugo Garcia to approve the consent agenda as presented. Motion passed unanimously (4-0).

4. PUBLIC HEARINGS – the Planning & Zoning Commission will be considering a vote or action on the following cases. Any vote or action will be considered separately for each case.

4. A. Public hearing followed by discussion and possible action on any and all matters regarding Text Amendment Case No. 2018-0299. A request by the City of San Luis for a text amendment to the San Luis City Code, Chapter 152 Zoning Regulations by amending and adding regulations to Section 152.121 Light Industrial (L-1) Zoning District.

A. Open public hearing

MOTION: Commission Member Jose A. Ponce/Commission Member Hugo Garcia to open public hearing. Motion passed unanimously (4-0).

1. Staff presentation

Mr. Jose A. Guzman, Director of Planning and Zoning requested the item to be moved to the next Regular Planning and Zoning Meeting, due to having received comments from stake holders. He added that he will be scheduling a meeting to address the comments, and present this item at the next meeting.

2. Call to the Public on this item

There was no comment from the public.

B. Close public hearing

MOTION: Commission Member Jose A. Ponce/Commission Member Hugo Garcia to close public hearing. Motion passed unanimously (4-0).

C. Action on Text Amendment Case No. 2018-0299

MOTION: Commission Member Hugo Garcia/Commission Member Jose A. Ponce to continue Text Amendment Case No. 2018-0299 to the next Regular Planning and Zoning Commission. Motion passed unanimously. (4-0)

4. B. Public hearing followed by discussion and possible action on any and all matters regarding Text Amendment Case No. 2018-0385. A request by the City of San Luis for a text amendment to the San Luis City Code, Chapter 152 Zoning Regulations by amending and adding regulations to Section 152.106(C) relating to conditional uses in the Neighborhood Commercial (C-1) Zoning District.

A. Open public hearing

MOTION: Commission Member Hugo Garcia/Commission Member Jose A. Ponce to open public hearing. Motion passed unanimously. (4-0)

1. Staff presentation

Mr. Jose A. Guzman, Director of planning and Zoning requested the item to be moved to the next Regular Planning and Zoning Meeting due to this being a new state law that limits the cities to food regulations in food trucks. **Mr. Guzman** added that he will be revising the amendment and he will bring it back at the next meeting.

2. Call to the Public on this item

There was no comment from the public.

B. Close public hearing

MOTION: Commission Member Hugo Garcia/Commission Member Jose A. Ponce to close public hearing. Motion passed unanimously. (4-0)

C. Action on Text Amendment Case No. 2018-0385

MOTION: Commission Member Hugo Garcia/Commission Member Jose A. Ponce to continue Text Amendment Case No. 2018-0385 to the next Regular Planning and Zoning Commission Meeting. Motion passed unanimously. (4-0)

4. C. Public hearing followed by discussion and possible action on any and all matters regarding Rezoning Case No. 2018-0321. A request by Edais Engineering Inc. on behalf of Riedel Holdings LLC, owner, to rezone approximately 10 acres, located north of County 22nd Street and east of the East Main Canal from R1-6 to R1-12 Medium Density Residential.

A. Open public hearing

MOTION: Commission Member Hugo Garcia/Commission Member Jose A. Ponce to open public hearing. Motion passed unanimously. (4-0)

1. Staff presentation

Mr. Jose A. Guzman, Director of Planning and Zoning, stated that this item was rezoned in 2016 from Rural Area Residential RA-10 to R1-6 which allowed 6,000 square foot lots. He added that the city requested a secondary access based on the number of lots that will be able to be built there, and the developer is requesting a zoning for R1-12. **Mr. Guzman** stated that this will only allow lots no less than 12,000 square feet, it would only be about 16 or 19 lots. He mentioned that the Fire Department stated that a secondary access was not needed as long as the developer provided a wider street and more fire hydrants. **Mr. Guzman** added that the other conditions that were previously impose to this rezoning, he will still need to address it to the developer.

2. Call to the Public on this item

There was no comment from the public.

B. Close public hearing

MOTION: Commission Member Hugo Garcia/Commission Member Jose A. Ponce to close public hearing. Motion passed unanimously. (4-0)

C. Action on Text Amendment Case No. 2018-0321

MOTION: Commission Member Jose A. Ponce/Commission Member Hugo Garcia to forward with Rezoning Case No. 2018-0321 to the City Council with recommendation of approval as presented by staff. Motion passed unanimously. (4-0)

5. ITEMS REQUIRING DISCUSSION AND/OR ACTION – the Planning & Zoning Commission will be considering a vote or action on the following cases. Any vote or action will be considered separately for each case.

5. A. Discussion and possible action on any and all matters regarding Subdivision Case No. 2018-0345P. A request by Vega and Vega Engineering PLC on behalf of Comite de Bienestar, property owner, for the preliminary plat approval for Bienestar Estates 9C Subdivision. The property is located at 3415 E. Janet Napolitano Boulevard (Tract "A" of Bienestar 9B), San Luis, Arizona.

A. Staff presentation

Mr. Jose A. Guzman, Director of Planning and Zoning, stated that this was to allow the subdivision on Tract A of Comite de Bienestar 9B. He added that the proposed subdivision will consist of 16 lots. **Mr. Guzman** stated that the applicant is requesting deviation from the standards on the alignment of the street.

Mr. Eulogio Vera, Public Works Director, stated that the City of San Luis has a standard regarding intersecting streets, they are proposing to modify that standard. He added that they want to formally propose that modification.

Mr. Vianey Vega, Vega and Vega Engineering, stated that they have been in communication with staff in reference to the comment that Public Works had and comply with the city's standard. **Mr. Vega** stated that he will request a subdivision modification by standard 3550. He added that the standard calls for an offset and that the street is a cul-de-sac only servicing about 11 lots. **Mr. Vega** added that with those modifications he does not feel it would be a problem generating the traffic only from 11 houses.

Commission Member Hugo Garcia asked if they were going to modify lot 16.

Mr. Vega stated that all of the lots from lot 10 to lot 16 will be modified, since their street is going to angle. He added that although they will be modified, they will still meet the minimum requirements.

B. Action on Subdivision Case No. 2018-0345P

MOTION: Commission Member Hugo Garcia/Commission Member Jose A. Ponce to approve Subdivision Case No. 2018-0345P for Bienestar Estates 9C preliminary plat. Motion passed unanimously. (4-0)

6. CALL TO THE PUBLIC

There was no comment from the public.

7. ADJOURNMENT

MOTION: Commission Member Hugo Garcia/Commission Member Jose A. Ponce to adjourn the meeting at approximately 7:26 p.m. Motion passed unanimously. (4-0)



PLANNING & ZONING AGENDA ITEM REVIEW FORM

Planning & Zoning Commission Meeting

4.A.

Meeting Date: 10/09/2018

Submitted By: Jose A. Guzman, Director of Planning & Zoning, Planning & Zoning Department

ITEM:

Public hearing followed by discussion and possible action on any and all matters regarding Text Amendment Case No. 2018-0299. A request by the City of San Luis for a text amendment to the San Luis City Code, Chapter 152 Zoning Regulations by amending and adding regulations to Section 152.121 Light Industrial (L-1) Zoning District. (CONTINUED ITEM FROM REGULAR PLANNING AND ZONING MEETING HELD SEPTEMBER 11, 2018)

- A. Open public hearing
 - 1. Staff presentation
 - 2. Call to the Public on this item
- B. Close public hearing
- C. Action on Text Amendment Case No. 2018-0299

BACKGROUND:

The purpose of the Light Industrial Zoning District is to provide for a mix of light manufacturing uses, offices, and limited open land uses in an attractive business park setting with proper screening and landscaping; all compatible with adjoining uses. It is intended that this district allow for employment bases through the establishment of high quality, planned industrial centers for corporate offices and indoor manufacturing uses.

SUMMARY:

Staff have received several requests for uses that seem appropriate and meet the purpose for this zoning district but are not listed as permitted uses or are too restrictive. The intent of this amendment is to make positive changes to the Light Industrial Zoning District and make it more compatible with the needs of our Community based on the existing uses and requests received.

RECOMMENDED MOTION:

I MOVE TO FORWARD TEXT AMENDMENT CASE NO. 2018-0299 TO THE CITY COUNCIL WITH RECOMMENDATION OF APPROVAL AS PRESENTED BY STAFF.

Attachments

Proposed Amendments

**TEXT AMENDMENT CASE NO. 2018-0299
LIGHT INDUSTRIAL ZONING DISTRICT
CITY OF SAN LUIS CODE- CHAPTER 152: ZONING REGULATIONS
PROPOSED AMENDMENTS BY STAFF**

Subsection 152.121 (B) of the San Luis City Code entitled “Permitted uses- “L-I” Zoning District” is proposed to read as follows:

(B) *Permitted uses - “L-I” Zoning District.*

- (1) Laboratories for research and product development.
- (2) Corporate offices/headquarters.
- (3) Broadcasting stations and studios and publishing facilities.
- (4) Assembling, fabrication, handling and packaging, treating, and renovating goods, merchandise, products and equipment, excluding agricultural products, provided that such uses shall conform to the following requirements:
 - (a) The primary use of the property is not the basic processing and compounding of raw materials;
 - (b) All activities pertaining to the actual manufacture or processing of the product involved shall be conducted entirely within an enclosed building(s);
 - (c) All outdoor storage of material or equipment, as ancillary to the primary use, shall occupy the rear one-half of the lot; and
 - (d) A masonry wall shall screen all outdoor storage of materials or equipment.
- (5) Limited retail commercial provided the product(s) sold at retail are the product(s) which are assembled, fabricated, handled, packaged, treated, or renovated as the primary use and the retail area does not exceed 10% of the total gross floor area.
- (6) Hospitals and outpatient clinics.
- (7) Public or private substance abuse, detoxification and treatment centers, and recovery centers.
- (8) Agri-business and aquaculture business provided such businesses are conducted within a completely enclosed building or under a roofed structure that is screened from all adjacent properties and public view.
- (9) Mini-storage facility except that no outdoor open storage will be allowed. A night watchman quarters, as a security provision, may be an accessory use.
- (10) RV and boat storage facility provided any outdoor storage area is enclosed on all sides by a solid fence or wall at least six feet in height.
- (11) Welding shops, contractors offices and contractors equipment yards provided the yard area is enclosed on all sides by a solid fence or wall at least six feet in height and no supplies, products, materials or equipment are stacked higher than the fence or wall.
- (12) Product distributorships, wholesale and warehouse facilities; excluding transfer facilities for general freight.
- (13) Equipment sales and rental, farm equipment and supplies stores.
- (14) Outdoor display areas for the sale of new manufactured homes provided all units

within public view and for public display shall be ground mounted, anchored and finished in a manner representative of the actual finished product.

(15) Retail sales conducted outdoors as a primary use, such as but not limited to; swap meets, flea markets and auctions.

(16) On-site child care center as an accessory use for the permitted industrial business. The facility shall comply with the State of Arizona Department of Health Services regulations for licensing.

(17) Mobile food vendors provided that such uses may not be located within any portion of the public right-of-way (including sidewalks).

(18) Mobile vendors provided that such uses may not be located within any portion of the public right-of-way (including sidewalks).

(19) Religious institutions.

(20) Towing and impound facilities provided any outdoor storage area is enclosed on all sides by a solid fence or wall at least six feet in height.

(21) Facility of storage yard for the transport of operable over the road vehicles into Mexico provided any outdoor storage area is enclosed on all sides by a solid fence or wall at least six feet in height and vehicles should not be store for a period longer than 30 days.

(22) Parking lot/terminal for farm worker buses and/or trucks in general.

Subsection 152.121(B) of the San Luis City Code entitled “Conditional uses – “L-I” Zoning District” is proposed to read as follows:

(C) *Conditional uses - “L-I” Zoning District.*

(1) Travel plazas or truck stops subject to the following:

~~(a) The lot or parcel for the travel plaza/truck stop use shall be no more than 500 feet from a state or federal highway interchange or right-of-way;~~

~~(b)~~(a) The minimum lot or parcel size shall be **205** acres;

~~(c)~~(b) All off-site public roadway improvements, including but not limited to: 1) right and left turn lanes and; 2) driveway and access points shall be in compliance with the American Association State Transportation and Highway Officials standards (AASTHO);

~~(d)~~(c) On-site improvements, including but not limited to: 1) turning radius; 2) drive aisle dimensions and; 3) parking stall dimensional standards shall be in compliance with the AASTHO standards;

~~(e)~~(d) Any fuel dispenser, perimeter of underground storage tanks or pumps shall be a minimum of one hundred (100') feet from any residential zoning district and at least forty (40') feet from any property line or public right-of-way line;

~~(f)~~(e) All vehicular parking along with the necessary maneuvering areas, drive aisles and driveways shall be contained on the same parcel or lot and shall be paved with asphalt or concrete to a sufficient thickness to withstand repeated vehicular traffic;

~~(s)~~(f) A 15 foot wide landscaped buffer area shall be provided along all property lines. There shall be no parking permitted within this buffer area;

~~(h)~~(g) Outdoor lighting standards shall be fully shielded, shall not exceed a height of 30 feet, and shall be in compliance with the regulations of §§ 152.275 through 152.282;

~~(H)~~(h) A masonry sound attenuation wall of at least six feet shall be installed along all property lines that abut or are adjacent to a residential zoning district or use;

~~(H)~~(i) Semi-truck washes and/or semi-truck polishing, semi-truck servicing, or semi-truck tires only when ancillary to an approved travel plaza/truck stop. All truck washing and/or polishing shall be under a canopied bay and all truck engine repairs shall be under a roofed structure if such amenities are provided;

~~(H)~~(j) A minimum of one toilet, one sink, and one hot shower provided for men and one toilet, one sink, and one hot shower provided for women, each designed for complete privacy, for each 20 truck parking spaces provided or fraction thereof;

~~(H)~~(k) A common use laundry facility shall be provided at a ratio of one washer and one dryer for each 20 truck parking spaces provided or fraction thereof; and

~~(m)~~(l) Parking stalls shall be in accordance to the parking standards in §§ 152.240 through 152.244.

- (2) Social health related services such as plasma centers, charity dining services, homeless shelters, day labor hiring centers, rescue missions, and other similar social service uses.
- (3) Warehouse and transfer facilities for general freight.
- (4) Public or private detention and correctional facilities and only after it has been found to be in compliance with all applicable federal and state regulations.
- (5) Wireless communication towers and antennas in accordance with the requirements of §§ 152.315 through 152.322.
- (6) Sexually oriented business. Subject to Chapter 113 Sexually Oriented Businesses of the City of San Luis City Code.
- (7) Medical marijuana dispensary, subject to the requirements found in § 152.225 Medical Marijuana Uses.
- (8) Medical marijuana dispensary offsite cultivation location, subject to the requirements found in § 152.225 Medical Marijuana Uses.
- (9) Refining, processing, or packaging of agricultural or edible food products.
- (10) Commercial uses compatible with the purpose of this district.**
- (11) Any use allowed in the Community Commercial(C-2) District which meets the purpose of this district.**



PLANNING & ZONING AGENDA ITEM REVIEW FORM

Planning & Zoning Commission Meeting

4.B.

Meeting Date: 10/09/2018

Submitted By: Jose A. Guzman, Director of Planning & Zoning, Planning & Zoning Department

ITEM:

Public hearing followed by discussion and possible action on any and all matters regarding Text Amendment Case No. 2018-0385. A request by the City of San Luis for a text amendment to the San Luis City Code, Chapter 152 Zoning Regulations by amending and adding regulations to Section 152.106(C) relating to conditional uses in the Neighborhood Commercial (C-1) Zoning District. (CONTINUED ITEM FROM REGULAR PLANNING AND ZONING MEETING HELD SEPTEMBER 11, 2018)

- A. Open public hearing
 - 1. Staff presentation
 - 2. Call to the Public on this item
- B. Close public hearing
- C. Action on Text Amendment Case No. 2018-0385

SUMMARY:

This text amendment is to allow outdoor mobile food “parks” or “courts” as a primary use of a property zoned as Neighborhood Commercial (C-1) as a conditional use. Outdoor food courts would allow for the congregation of multiple mobile food units at a single location. Property owners seeking to create an outdoor food court would be required to provide for the necessary site amenities as any other commercial business such as the provision of off-street parking, landscaping, restrooms, and building permits for any permanent structures on the property.

City staff has received many inquiries from citizens regarding the ability to allow food trucks to be established in the C-1 district, prompting staff to review the current regulations. Currently mobile food vendors are not allowed in the C-1 district. Rather than listing it as a permitted use and allowing mobile food vendors to be established dispersed around in the C-1 district, staff is proposing to allow outdoor food courts as a conditional use. This will allow the mobile vendors to be located within this district in a place with necessary improvements.

RECOMMENDED MOTION:

I MOVE TO ACCEPT APPLICANT'S REQUEST TO WITHDRAW TEXT AMENDMENT CASE NO. 2018-0385.

Attachments

Request to withdraw application



City of San Luis
MEMORANDUM

TO: Honorable Chairman Javier Barraza and Members of the San Luis Planning & Zoning Commission.

FROM: Jose A. Guzman, Director of Planning and Zoning Department

SUBJECT: Text Amendment Case No. 2018-0385

DATE: 10/09/2018

This memorandum requests that the board members of the Planning and Zoning Commission accept withdraw item Number 4.B of the regular Planning and Zoning Commission meeting scheduled for October 9, 2018. The reason is that city staff is currently reviewing new state law regulations among other cities. We will resubmit this item once we have the final draft if any necessary changes are required.

Thank You.



PLANNING & ZONING AGENDA ITEM REVIEW FORM

Planning & Zoning Commission Meeting

4.C.

Meeting Date: 10/09/2018

Submitted By: Jose A. Guzman, Director of Planning & Zoning, Planning & Zoning Department

ITEM:

Public hearing followed by discussion and possible action on any and all matters regarding Rezoning Case No. 2018-0321. A request by Riedel Holdings LLC on behalf of Border Ranches AZ LLC, owner, to rezone 67.06 acres, located on the northeast corner of County 24th Street and 20th Avenue, from Medium-High Density Residential (R-2) to Medium Density Residential (R1-6).

- A. Open public hearing
 - 1. Staff presentation
 - 2. Call to the Public on this item
- B. Close public hearing
- C. Action on Rezoning Case No. 2018-0321

BACKGROUND:

The subject property is located in the east mesa of the City of San Luis; at the northeast corner of County 24th and 20th Avenue (Assessor Parcel ID No. 227-10-009). Bienestar 9A and Santa Cecilia 2 subdivisions are located to the west and are zoned Medium Density Residential (R1-6). Property to the east are zoned Medium-High Density Residential (R-2) and High Density Residential (R-3) and is undeveloped land. Property to the south is zoned as Medium Density Residential (R-2) and Light Industrial (L-1) further south. Property to the north is part of Yuma County and is undeveloped land.

GENERAL PLAN:

This area is designated as Neighborhood in the City of San Luis 2020 General Plan. The activities proposed will be consistent with that designation (Chapter 2, Page 19-20). The Neighborhood Land Use designation allows all types of residential development.

AGENCY REVIEW:

As part of the review process, all land use cases are reviewed by various City and outside agencies. We have received comments from the following agencies:

- 1. City of San Luis Fire Department
- 2. Yuma County Airport Authority

As required by State Statute staff sent notification letters to property owners within 300 feet of the proposed project(61 letters). The City has not received any other significant concern or objection from the various review agencies or adjacent property owners.

CITIZEN REVIEW MEETING:

As required by State Statute (A.R.S. §9-462.03) and City Code (§152.040(C)), a Citizen Review meeting was held at City Hall on October 2, 2018.

The purpose of the Citizen Review Meeting is to provide adjacent landowners and other potentially affected citizens an opportunity to ask questions and express any issues or concerns that they may have

with the proposed rezoning or specific plan application prior to the public hearing. There were no people from the public present.

ANALYSIS:

As an effort to alleviate the demand for bigger houses the City Council approved Ordinance No. 347, an ordinance to set up the minimum lot size to 6,000 sq. ft. for new subdivisions.

The reason for the rezoning request is that the property is zoned as Medium-High Density (R-2) which does not allow construction of single detached dwellings. The appropriate zoning for the construction of this subdivision is the requested, Medium Density Residential (R1-6) zoning district.

SUMMARY:

As mentioned above, the current zoning is Medium-High Density Residential (R-2) and was approved by Ordinance No. 250 back in 2007. The rezoning was approved with conditions, one of the conditions was to have land dedicated and developed for parks and recreation purposes, at no cost to the City.

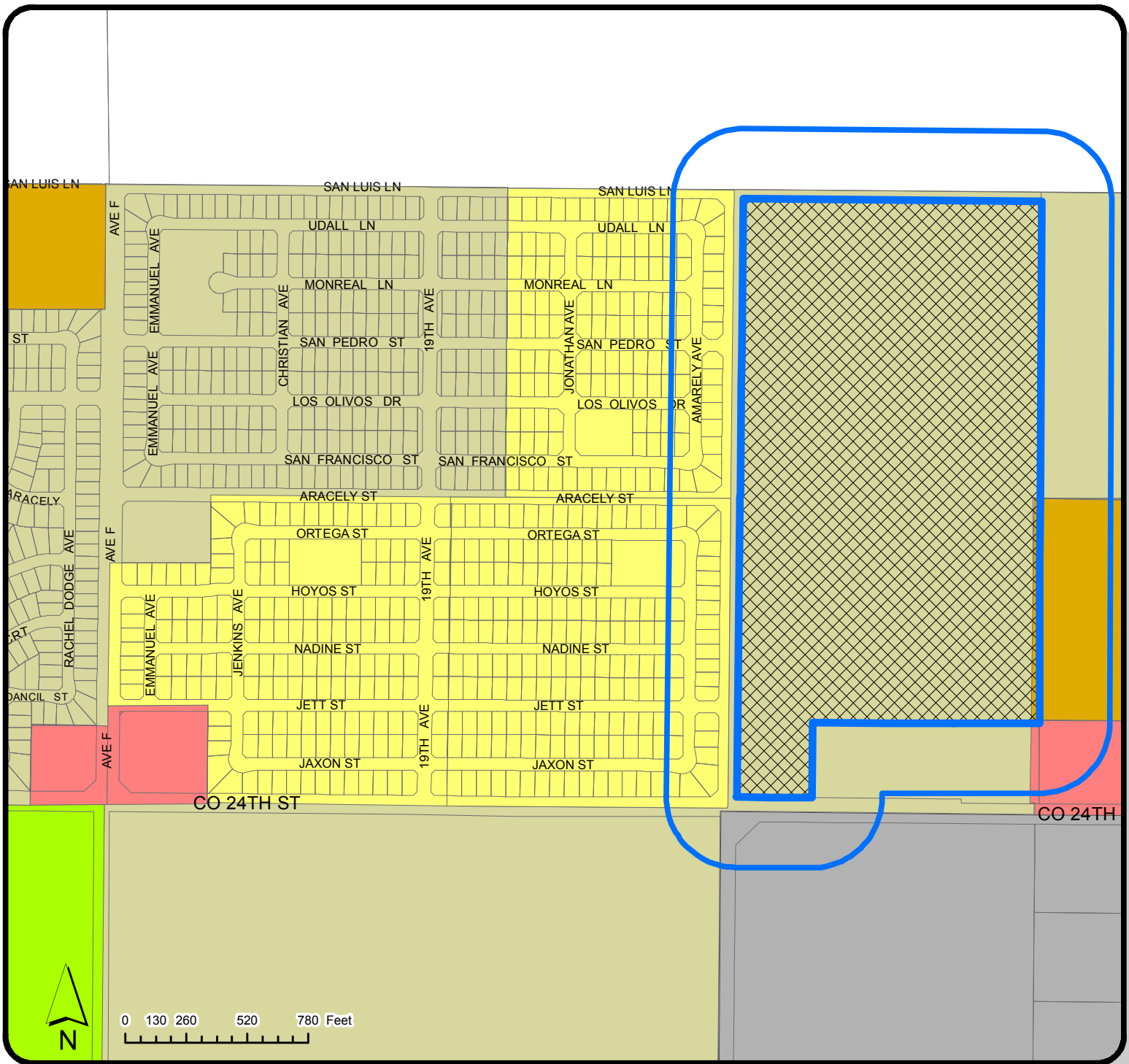
Staff recommendation is to recommend approval of the request with the condition that the developer negotiates a development agreement with staff to address conditions of Ordinance No. 250.

RECOMMENDED MOTION:

I MOVE TO FORWARD REZONING CASE NO. 2018-0321 TO THE CITY COUNCIL, WITH AN APPROVAL RECOMMENDATION SUBJECT TO THE CONDITION THAT THE DEVELOPER NEGOTIATES A DEVELOPMENT AGREEMENT WITH STAFF.

Attachments

Location Map
Aerial Picture
Conceptual Plan
Ordinance No. 250
San Luis Fire Department comments
Yuma County Airport Authority



Location Map

REZONING

REZONE FROM R-2 to R1-6



The subject property address/location: North-west corner of County 24th and 20th Avenue; Assessor's Parcel No. 227-10-009 (approximately 67.06 acres). This is a request to rezone 67.06 acres from R -2 to R1-6.

Legend

- MULTIPLE RESIDENCE ZONING DISTRICTS
 - R-2
 - R-3
- INDUSTRIAL ZONING DISTRICTS
 - I
- COMMERCIAL ZONING DISTRICTS
 - C-2
- SINGLE RESIDENCE ZONING DISTRICTS
 - RA-10



300ft Notification Area

Date:

9/13/2018

Checked By:

ROMAN PACHECO



GIS DIVISION

Prepared By:

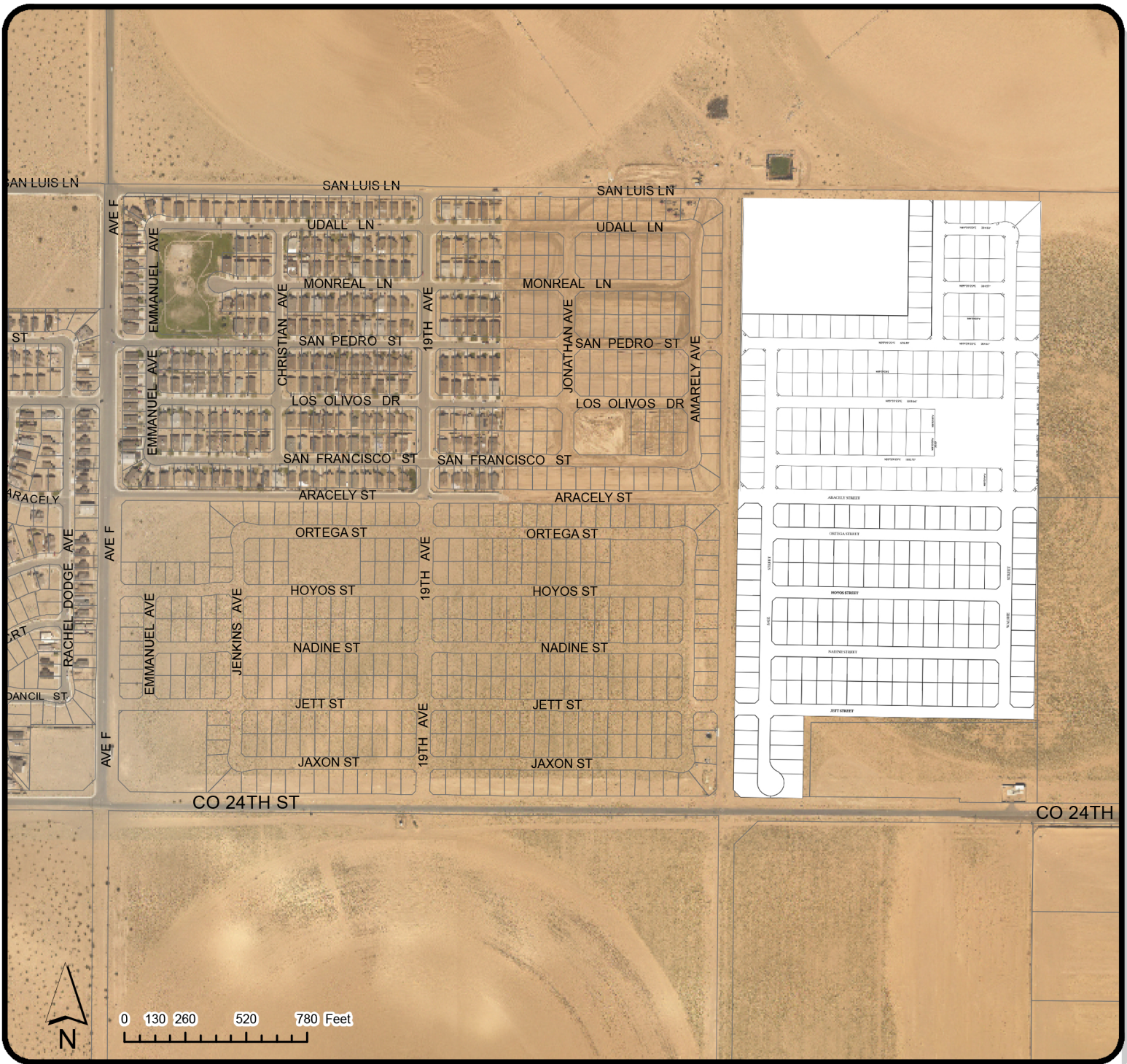
IG

APPROVED BY:

JOSE A. GUZMAN

Case No.

2018-0458



Location Map

REZONING



The subject property address/location: North-west corner of County 24th and 20th Avenue; Assessor's Parcel No. 227-10-009 (approximately 67.06 acres). This is a request to rezone 67.06 acres from R-2 to R1-6. Please include location of subject property, zoning legend, north arrow, scale on map, case #, 300 ft. buffer, and all necessary details.



300ft Notification Area

Date:

9/13/2018

Checked By:

ROMAN PACHECO



GIS DIVISION

Prepared By:

IG

APPROVED BY:

JOSE A. GUZMAN

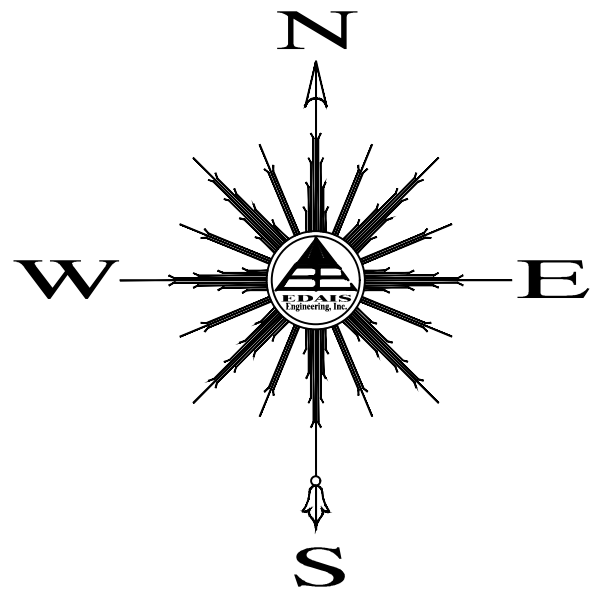
Case No.

2018-0458

SANTA CECILIA No. 3 SUBDIVISION

LOT 3 OF BORDER RANCHES SUBDIVISION AS RECORDED IN BOOK 27 OF PLATS, PAGES 9-10,
YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, ARIZONA

DATE OF PREPARATION: AUGUST 2018 NUMBER OF LOTS: 141 ACREAGE: 30.30 ACRES



SCALE: 1" = 100'

LINE DATA

LINE	LENGTH	BEARING
L1	21.20'	N44°58'01"E
L2	21.22'	N45°01'59"W
L3	21.22'	S45°01'59"E
L4	21.20'	S44°57'45"W
L5	21.22'	S45°02'15"E
L6	42.44'	S45°02'03"E
L7	42.41'	S44°58'01"W

CURVE DATA

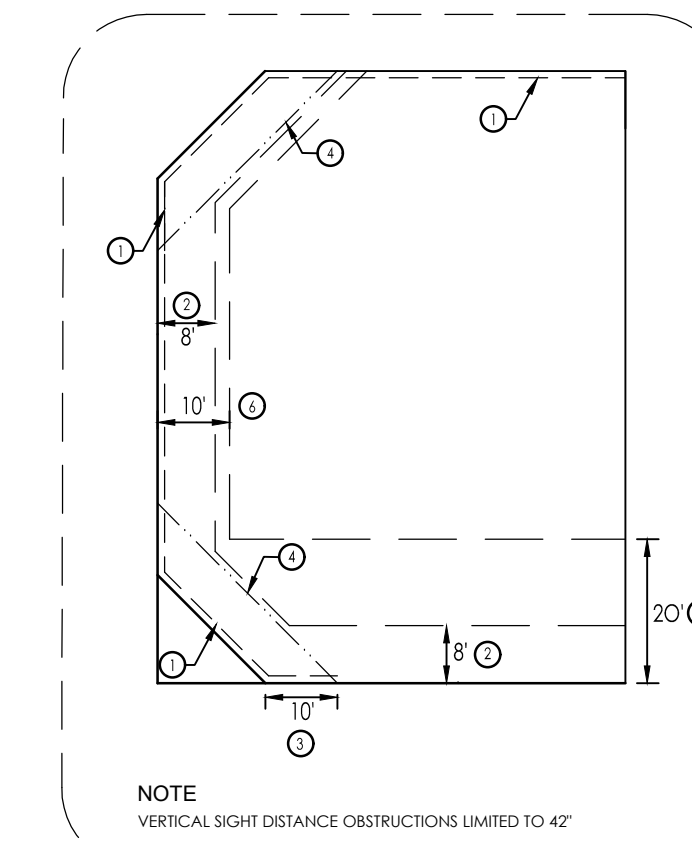
CURVE	DELTA	CHORD DIRECTION	CHORD	TANGENT	RADIUS	LENGTH
C1	062°44'13"	S31°54'52"E	57.78'	33.84'	55.50'	60.77'
C2	134°03'09"	N22°55'06"E	102.20'	130.92'	55.50'	129.85'
C3	090°00'00"	S45°03'20"E	78.49'	55.50'	55.50'	87.18'

AREAS

LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA
332	5937.50 SF	352	8413.19 SF	372	6253.39 SF	392	6253.39 SF	412	6253.39 SF	432	6253.39 SF	452	6255.90 SF
333	6491.98 SF	353	8413.03 SF	373	6253.39 SF	393	6253.39 SF	413	6253.39 SF	433	6253.39 SF	453	6255.90 SF
334	6484.00 SF	354	9001.44 SF	374	6253.39 SF	394	6253.39 SF	414	6325.10 SF	434	6253.39 SF	454	6255.90 SF
335	6484.00 SF	355	6325.10 SF	375	6253.39 SF	395	6253.39 SF	415	6325.10 SF	435	6253.39 SF	455	6255.90 SF
336	6484.00 SF	356	6253.39 SF	376	6253.39 SF	396	6253.39 SF	416	6253.39 SF	436	6253.39 SF	456	6255.90 SF
337	6484.00 SF	357	6253.39 SF	377	6253.39 SF	397	6253.39 SF	417	6253.39 SF	437	6253.39 SF	457	6255.90 SF
338	6484.00 SF	358	6253.39 SF	378	6253.39 SF	398	6252.97 SF	418	6253.39 SF	438	6253.39 SF	458	6247.44 SF
339	6484.00 SF	359	6253.39 SF	379	6253.39 SF	399	6325.10 SF	419	6253.39 SF	439	6253.39 SF	459	6215.19 SF
340	6484.00 SF	360	6253.39 SF	380	6253.39 SF	400	6325.10 SF	420	6253.39 SF	440	6253.39 SF	460	6275.00 SF
341	6484.00 SF	361	6253.38 SF	381	6253.39 SF	401	6251.37 SF	421	6253.39 SF	441	6253.39 SF	461	6481.98 SF
342	6484.00 SF	362	6253.38 SF	382	6253.39 SF	402	6253.39 SF	422	6253.39 SF	442	6253.39 SF	462	6485.00 SF
343	6484.00 SF	363	6253.38 SF	383	6253.39 SF	403	6253.39 SF	423	6253.39 SF	443	6253.39 SF	463	6485.00 SF
344	6275.00 SF	364	6253.38 SF	384	6325.10 SF	404	6253.39 SF	424	6253.39 SF	444	6325.10 SF	464	6485.00 SF
345	6274.94 SF	365	6253.38 SF	385	6325.10 SF	405	6253.39 SF	425	6253.39 SF	445	6215.19 SF	465	6485.00 SF
346	5999.77 SF	366	6253.38 SF	386	6253.39 SF	406	6253.39 SF	426	6253.39 SF	446	6253.39 SF	466	6485.00 SF
347	5999.60 SF	367	6253.38 SF	387	6253.39 SF	407	6253.39 SF	427	6253.39 SF	447	6253.39 SF	467	6485.00 SF
348	5999.42 SF	368	6256.99 SF	388	6253.39 SF	408	6253.39 SF	428	6248.95 SF	448	6255.90 SF	468	6485.00 SF
349	10865.42 SF	369	6325.10 SF	389	6253.39 SF	409	6253.39 SF	429	6325.10 SF	449	6255.90 SF	469	6485.00 SF
350	9384.52 SF	370	6325.11 SF	390	6253.39 SF	410	6253.39 SF	430	6325.10 SF	450	6255.90 SF	470	6485.00 SF
351	7557.60 SF	371	6255.40 SF	391	6253.39 SF	411	6253.39 SF	431	6247.35 SF	451	6255.90 SF	471	6485.00 SF

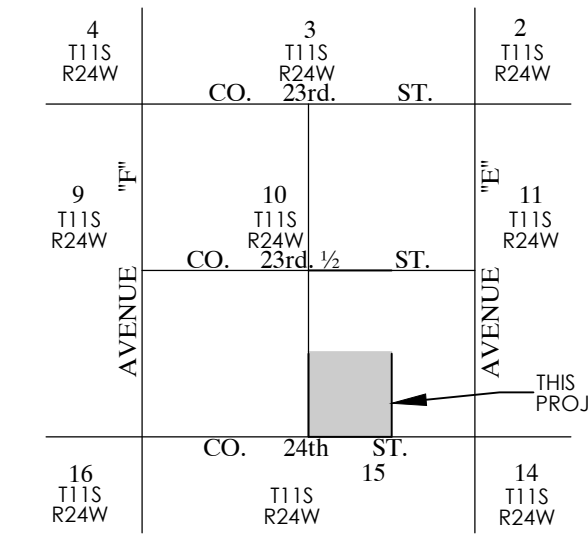
LEGEND

- CENTERLINE
- RIGHT-OF-WAY (ROW) LINE
- NEW PROPERTY LINE
- EASEMENT (TYPE AS NOTED)
- BOUNDARY LINE
- NEW STREET MONUMENT AS PER YUMA COUNTY STD. DETAIL No. 4-080
- NEW SUBDIVISION BOUNDARY MONUMENT AS PER YUMA COUNTY STD. DETAIL No. 04-030
- EXISTING MONUMENT (TYPE AS SHOWN)
- ① NEW LOT NUMBER
- ④7 EXISTING LOT NUMBER
- A . P . N ASSESSOR PARCEL NUMBER
- B.C. BRASS CAP
- H.H. HAND HOLE
- Y.C.R. YUMA COUNTY RECORDS
- G. & S.R.B. & M. GILA AND SALT RIVER BASE AND MERIDIAN



TYPICAL CORNER LOT DETAIL

LOCATION MAP



TRACT AREAS OWNER

TRACT	AREA	OWNER
"A"	1.47 ACRES	R&G ASSOCIATES LLC. P.O. BOX 1649 SAN LUIS, AZ 85349 (928) 627-9385

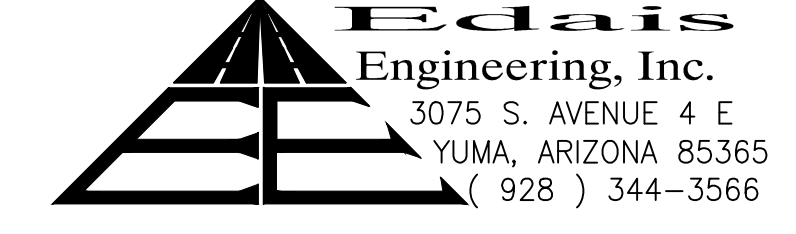
BASIS OF BEARING

THE WEST LINE OF THE SW 1/4 OF SECTION 10, T11S, R24W, G.S.R.B.&M., YUMA COUNTY, ARIZONA (BEING THE CENTERLINE OF AVENUE "F"), AS SHOWN ON BORDER RANCHES SUBDIVISION, AS RECORDED IN BOOK 27 OF PLATS, PAGES 9&10, YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, ARIZONA, NAMELY BEARING N00°02'42"W

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I AM A LAND SURVEYOR LISTED ON THE ROSTER OF ACTIVE REGISTRANTS BY THE STATE BOARD OF TECHNICAL REGISTRATION OF ARIZONA AND THAT THIS MAP CONSISTING OF ONE (1) SHEET CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN.

PREPARED BY:



**PRELIMINARY
NOT FOR
CONSTRUCTION**

SANTA CECILIA No. 4 SUBDIVISION

LOT 3 OF BORDER RANCHES SUBDIVISION AS RECORDED IN BOOK 27 OF PLATS, PAGES 9-10,
YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, ARIZONA

DATE OF PREPARATION: AUGUST 2018 NUMBER OF LOTS: 134 ACREAGE: 36.76 ACRES

A.P.N. 227-10-001
STATE OF ARIZONA
(UNDEVELOPED LAND)
ZONING: R1-40

LINE DATA

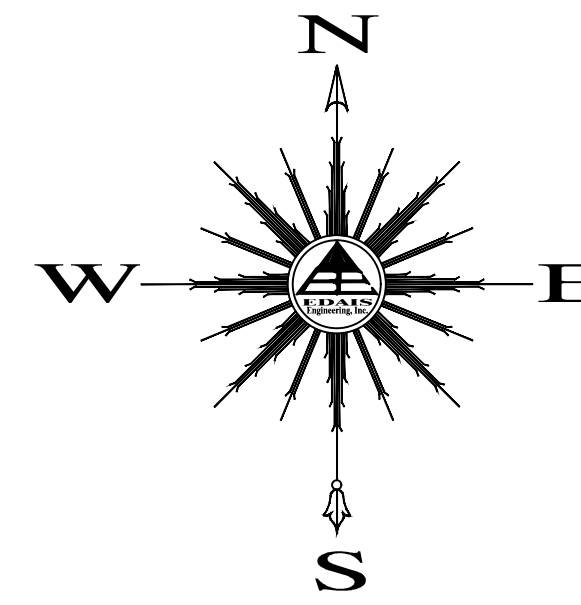
LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L1	21.20'	N44°58'01"E	L8	42.44'	N45°01'59"W
L2	21.22'	N45°01'59"W	L9	42.41'	N44°58'01"W
L3	21.22'	S45°01'59"E	L10	42.41'	S44°57'45"W
L4	21.20'	S44°57'45"W	L11	42.45'	S45°02'15"E
L5	21.22'	S45°02'15"E			
L6	50.00'	S10°19'26"W			
L7	49.84'	N79°34'51"E			

CURVE DATA

CURVE	DELTA	CHORD DIRECTION	CHORD	TANGENT	RADIUS	LENGTH
C4	110°44'35"	N45°02'51"W	98.74'	86.88'	60.00'	115.97'

AREAS

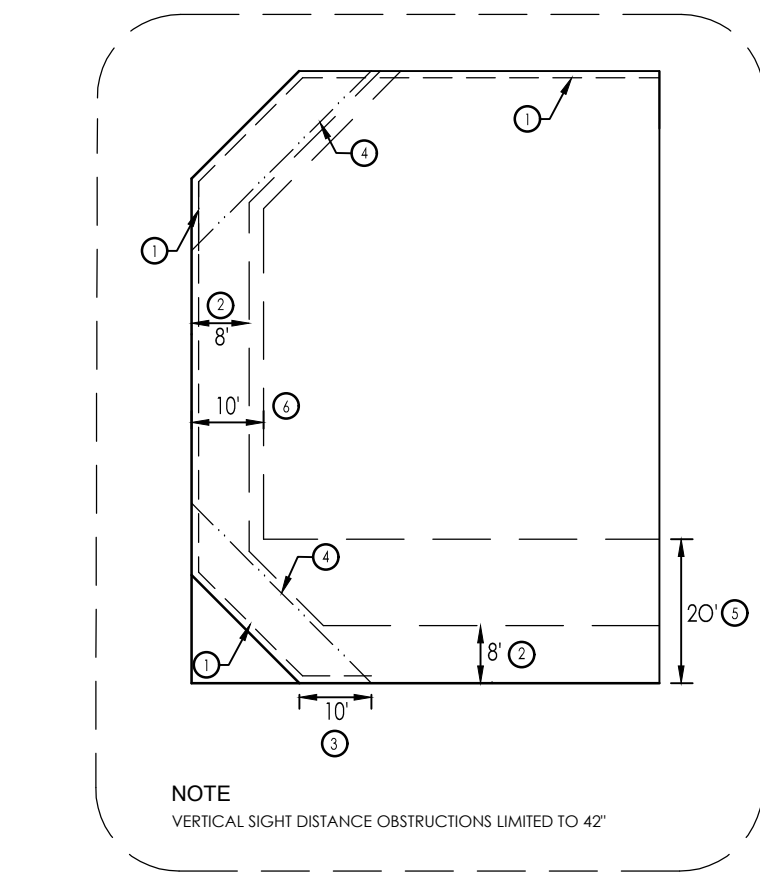
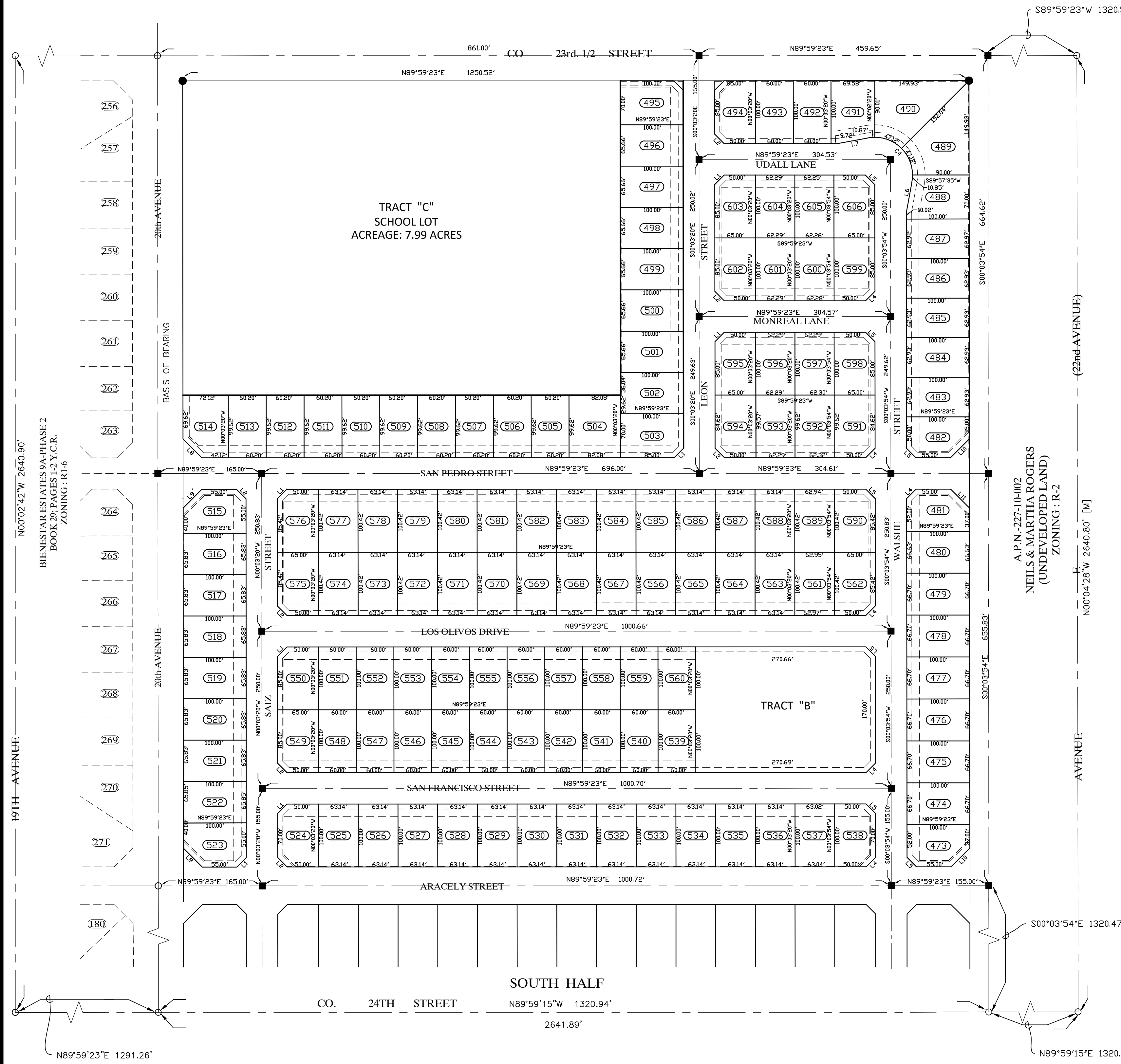
LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA
473	6137.50 SF	493	6000.00 SF	513	5997.17 SF	533	6314.00 SF	553	5999.99 SF	573	6340.21 SF	593	6205.42 SF
474	6670.00 SF	494	6387.50 SF	514	6734.65 SF	534	6314.00 SF	554	6000.01 SF	574	6340.21 SF	594	6362.89 SF
475	6670.00 SF	495	6887.51 SF	515	6437.50 SF	535	6314.00 SF	555	5999.98 SF	575	6414.48 SF	595	6387.50 SF
476	6670.00 SF	496	6566.01 SF	516	6583.00 SF	536	6314.00 SF	556	6000.00 SF	576	6414.48 SF	596	6229.00 SF
477	6670.00 SF	497	6566.02 SF	517	6583.00 SF	537	6302.85 SF	557	6000.02 SF	577	6340.21 SF	597	6229.56 SF
478	6670.00 SF	498	6566.03 SF	518	6583.00 SF	538	6275.00 SF	558	6000.00 SF	578	6340.21 SF	598	6387.50 SF
479	6670.00 SF	499	6566.03 SF	519	6583.00 SF	539	6000.00 SF	559	6000.00 SF	579	6340.21 SF	599	6387.50 SF
480	6663.00 SF	500	6566.04 SF	520	6583.00 SF	540	6000.00 SF	560	6000.00 SF	580	6340.21 SF	600	6227.11 SF
481	6137.50 SF	501	6566.05 SF	521	6583.00 SF	541	6000.00 SF	561	6322.43 SF	581	6340.21 SF	601	6229.00 SF
482	5937.50 SF	502	6566.18 SF	522	6585.00 SF	542	6000.01 SF	562	6414.48 SF	582	6340.21 SF	602	6387.50 SF
483	6293.00 SF	503	6888.20 SF	523	6437.50 SF	543	6000.00 SF	563	6340.21 SF	583	6340.21 SF	603	6387.50 SF
484	6293.00 SF	504	8176.83 SF	524	6275.00 SF	544	6000.00 SF	564	6340.21 SF	584	6340.21 SF	604	6229.00 SF
485	6293.00 SF	505	5997.20 SF	525	6314.00 SF	545	6000.00 SF	565	6340.21 SF	585	6340.21 SF	605	6225.47 SF
486	6293.00 SF	506	5997.19 SF	526	6314.00 SF	546	6000.00 SF	566	6340.21 SF	586	6340.21 SF	606	6387.50 SF
487	6294.55 SF	507	5997.19 SF	527	6314.00 SF	547	6000.00 SF	567	6340.21 SF	587	6340.21 SF		
488	6673.86 SF	508	5997.19 SF	528	6314.00 SF	548	6000.00 SF	568	6340.21 SF	588	6340.21 SF		
489	9831.07 SF	509	5997.18 SF	529	6314.00 SF	549	6387.50 SF	569	6340.21 SF	589	6320.78 SF		
490	9831.82 SF	510	5997.18 SF	530	6314.00 SF	550	6387.50 SF	570	6340.21 SF	590	6414.48 SF		
491	6631.43 SF	511	5997.18 SF	531	6314.00 SF	551	6000.00 SF	571	6340.21 SF	591	6362.91 SF		
492	6000.00 SF	512	5997.18 SF	532	6314.00 SF	552	6000.00 SF	572	6340.21 SF	592	6207.61 SF		



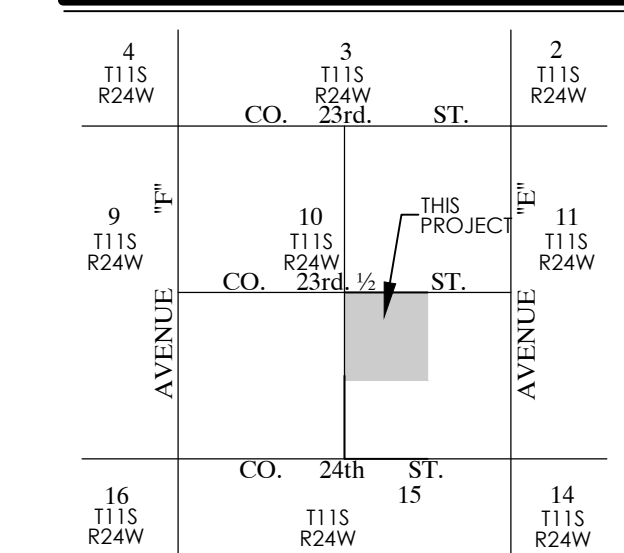
SCALE: 1" = 100'

LEGEND

- CENTERLINE
- RIGHT-OF-WAY (ROW) LINE
- NEW PROPERTY LINE
- EASEMENT (TYPE AS NOTED)
- BOUNDARY LINE
- NEW STREET MONUMENT AS PER YUMA COUNTY STD. DETAIL No. 4-080
- NEW SUBDIVISION BOUNDARY MONUMENT AS PER YUMA COUNTY STD. DETAIL No. 04-030
- EXISTING MONUMENT (TYPE AS SHOWN)
- ① NEW LOT NUMBER
- ④ EXISTING LOT NUMBER
- A.P.N. ASSESSOR PARCEL NUMBER
- B.C. BRASS CAP
- H.H. HAND HOLE
- (M) MEASURED DATA
- (R1) REFERS TO BORDER RANCHES SUBDIVISION RECORDED IN BOOK 27 OF PLATS, PAGE 9 YUMA COUNTY RECORDS
- (I1) DATA REFER TO GENERAL LAND OFFICE PLAT OF SECTION 10, T11S, R24, OFFICIALLY FILED ON 3-12-1922, YUMA COUNTY RECORDS, YUMA COUNTY, AZ. YUMA COUNTY RECORDS
- Y.C.R. YUMA COUNTY RECORDS
- G.&S.R.B.&M. GILA AND SALT RIVER BASE AND MERIDIAN



LOCATION MAP



TRACT AREAS OWNER

TRACT	AREA	OWNER
"A"	1.91 ACRES	RIEDEL HOLDINGS, LLC P.O. BOX 1649 SAN LUIS, AZ 85349 (928) 627-8593
"B"	7.99 ACRES	
"C"	7.99 ACRES	

BASIS OF BEARING

THE WEST LINE OF THE SW 1/4 OF SECTION 10, T11S, R24W, G.&S.R.B.&M., YUMA COUNTY, ARIZONA (BEING THE CENTERLINE OF AVENUE "T"), AS SHOWN ON BORDER RANCHES SUBDIVISION, AS RECORDED IN BOOK 27 OF PLATS, PAGES 9&10, YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, ARIZONA, NAMELY BEARING N00°02'42"W

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I AM A LAND SURVEYOR LISTED ON THE ROSTER OF ACTIVE REGISTRANTS BY THE STATE BOARD OF TECHNICAL REGISTRATION OF ARIZONA AND THAT THIS MAP CONSISTING OF ONE (1) SHEET CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION, THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN.

PREPARED BY:

Edais
Engineering, Inc.
3075 S. AVENUE 4 E
YUMA, ARIZONA 85365
(928) 344-3566

**PRELIMINARY
NOT FOR
CONSTRUCTION**

WHEN RECORDED MAIL TO:
CITY OF SAN LUIS
P.O. BOX 1170
SAN LUIS, AZ 85349
ATTN: CITY CLERK

OFFICIAL RECORDS OF
YUMA COUNTY RECORDER
SUSAN MARLER



FEE #: 2007 – 16715

05/07/2007 10:08 PAGES: 0004
FEES: 3.00 4.00 1.00 .00 .00
REQ BY: CITY OF SAN LUIS
REC BY: PATTY MAGANA

COPY
AS TO FILING DATA ONLY

The above area is to be reserved for recording information

C A P T I O N H E A D I N G :

Ordinance No. 250



Ordinance

ORDINANCE NO. 250

OFFICE OF THE
MAYOR
CITY OF SAN LUIS

AN ORDINANCE OF THE MAYOR AND CITY COUNCIL OF THE CITY OF SAN LUIS, ARIZONA, AMENDING ORDINANCE NO. 13, AS AMENDED, REZONING 280 ACRES LOCATED AT THE NORTH-EAST CORNER OF AVENUE 'F' AND COUNTY 24TH STREET FROM COUNTY RURAL AREA TEN (10) ACRE PARCELS (RA-10) TO INTERMEDIATE DENSITY RESIDENTIAL (R-2) ON 257.5 ACRES, TO HIGH DENSITY RESIDENTIAL (R-3) ON 10 ACRES AND TO GENERAL COMMERCIAL (C-2) ON 12.5 ACRES, AND AMENDING THE ZONING MAP TO CONFORM THERETO.

BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF SAN LUIS, ARIZONA, AS FOLLOWS:

Section 1: That Ordinance #13, as amended, be further amended that the real property described as follows:

The southwest quarter of section 10 except the south 330 feet of the west 330 feet.

The southeast quarter of section 10 except the southeast quarter of the southeast quarter and except the east half of the north-east quarter of the southeast quarter of said section 10.

Said section 10 being in Township 11 South, Range 24 West of the Gila and Salt River Base and Meridian. Yuma County, Arizona.

Be rezoned from County RA-10 to Intermediate Density Residential (R-2) as defined in Ordinance #13, as amended, and upon this ordinance taking effect, shall be subject to all rules, regulations and requirements of the R-2 Zoning District of Ordinance #13, as amended.

Section 2: That Ordinance #13, as amended, be further amended that the real property described as follows:

The west half of the east half of the northeast quarter of the southeast quarter of Section 10, Township 11 South, Range 24 West of the Gila and Salt River Base and Meridian. Yuma County, Arizona.

Be rezoned from County RA-10 to High Density Residential (R-3) as defined in Ordinance #13, as amended, and upon this ordinance taking effect, shall be subject to all rules, regulations and requirements of the R-3 Zoning District of Ordinance #13, as amended.

Section 3: That Ordinance #13, as amended, be further amended that the real property described as follows:

The south 330 feet of the west 330 feet of the southwest quarter and the east half of the east half of the northeast quarter of the southeast quarter of Section 10, Township 11 South, Range 24 West of the Gila and Salt River Base and Meridian. Yuma County, Arizona.

Be rezoned from County RA-10 to General Commercial (C-2) as defined in Ordinance #13, as amended, and upon this ordinance taking effect, shall be subject to all rules, regulations, and requirements of the C-2 Zoning District of Ordinance #13, as amended.

Section 4: Adoption of this ordinance will include the following conditions:


1. Dedication of an additional seventeen feet of street right-of-way along County 24th Street.
2. Dedication of an additional seventeen feet of street right-of-way along Avenue 'F'
3. Dedication of forty (40) feet of street right-of-way along County 23 ½ Street.
4. All off-site improvements noted in the "Joint Development Agreement" made on the 16th day of March 2007 between the Comite de Bienestar, Border Ranches LLC and Sam Group to be constructed.
5. That land be dedicated and developed throughout the property being rezoned for parks and recreation purposes, at no cost to the City. These dedications shall be made at the discretion of the city and approved at the time of subdivision plat approval. The amount acreage dedicated shall not be less than a total of 12 nor more than 15 acres. Said land may be used for water/drainage retention purposes.
6. That the property be developed and all of the conditions met within 5 years of the effective date of this ordinance or the zoning will revert to the present previous zoning classification.

Section 5: That the zoning map adopted under said Ordinance #13, as amended is hereby ordered to be changed so as to show that said real property described in this ordinance is located within the zoning district herein provided.

PASSED AND ADOPTED by the Mayor and City Council of the City of San Luis,
Arizona, this 25th day of April, 2007.

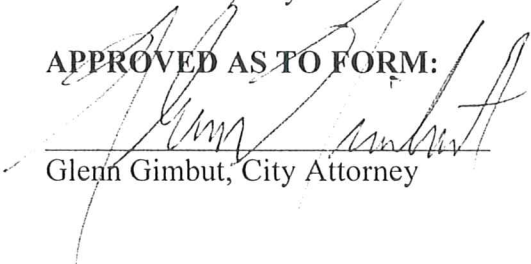

Juan Carlos Escamilla, Mayor

ATTEST:

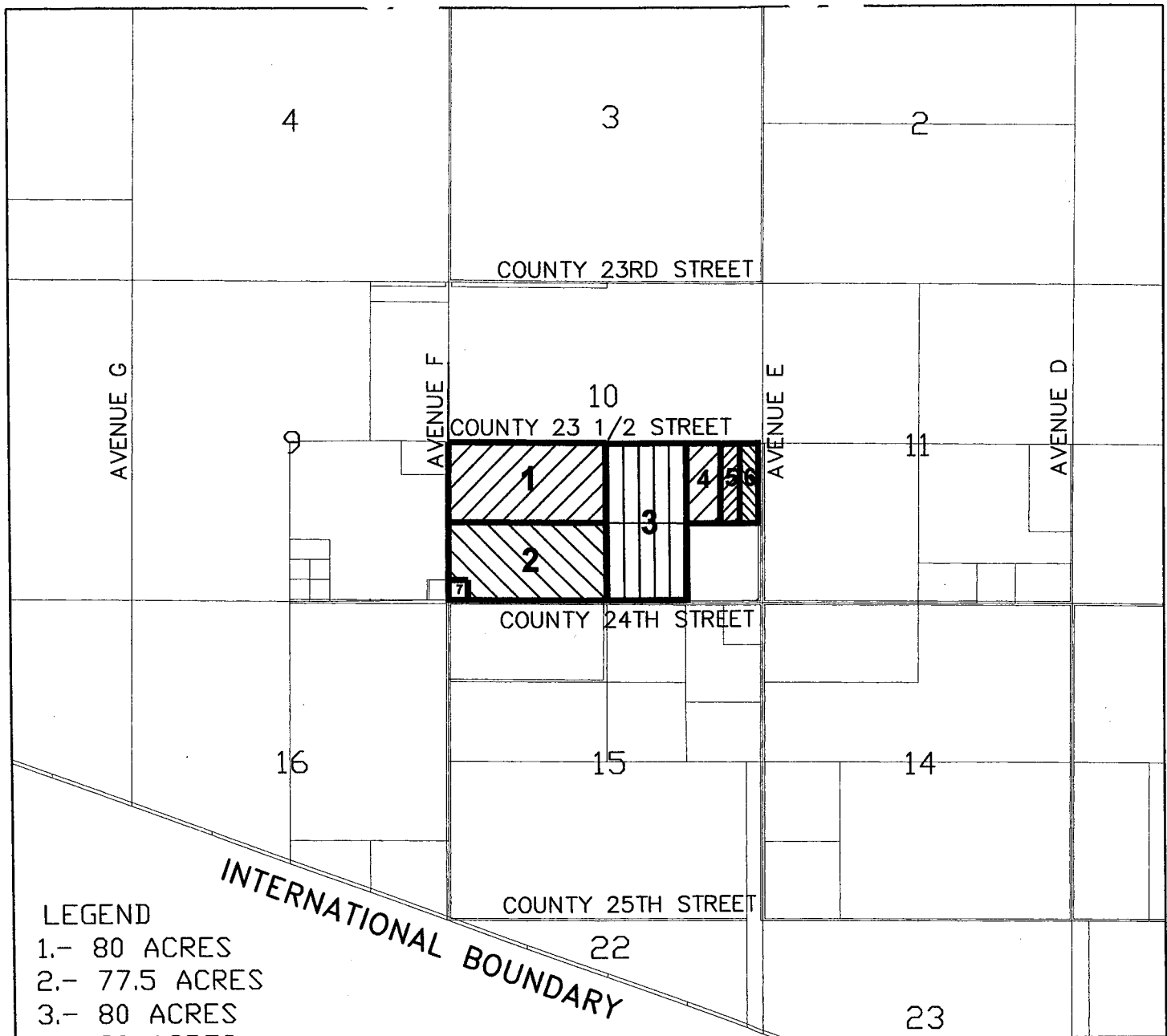


Sonia Sanchez, City Clerk

APPROVED AS TO FORM:



Glenn Gimbut, City Attorney



LEGEND

- 1.- 80 ACRES
- 2.- 77.5 ACRES
- 3.- 80 ACRES
- 4.- 20 ACRES
- 5.- 10 ACRES
- 6.- 10 ACRES
- 7.- 2.5 ACRES

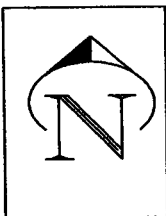
LOCATION MAP

LOCATION OF SUBJECT PROPERTY



Rezoning 07-04

ORDINANCE NO.



Prepared By: DMS

Checked By:

Planning & Zoning
GIS Work



Date: 12/10/07

Revised:

250



September 14, 2018

REZONING CASE NUMBER: 2018-0458

CASE SUMMARY: A request by Riedel Holdings LLC, applicant, on behalf of Border Ranches, LLC, owner, to rezone 67.06 acres from Medium-High Density Residential (R-2) to Medium Density Residential (R1-6) zoning district. Assessor parcel ID # 227-10-009 located at North-west corner of County 24th and 20th Avenue, San Luis, Arizona. The purpose of the zone change is to allow for the building of a future subdivisions to be called Santa Cecilia No. 3 and 4.

A Citizen Review Meeting has been scheduled on the 2nd day of October, 2018 at 6:00 p.m. at the San Luis City Hall Council Chambers, 1090 E. Union Street, San Luis, Arizona, in order to give interested parties an opportunity to meet with the applicant to have questions answered and express any issues or concerns prior to any public hearing.

PUBLIC HEARING: October 9, 2018

COMMENTS DUE: September 20, 2018

Your comments on this case will help us prepare an accurate and timely staff report. Your comments on this case will be inserted "as is" into the staff report with your name, department, and telephone number, should the applicant have any questions. Your comments are a public record and will be available to the public, media, and the applicant, in addition to the Commission hearing this case. Please complete the section below and return via e-mail. For additional information please contact me at 341-8563, extension 2014, or at Jaguzman@cityofsanluis.org

Thank you,

Jose A. Guzman
Director of Planning & Zoning
Attachment: Location Map and Conceptual Plan

.....
 COMMENTS NO COMMENTS

Enter Comments below:

The City of San Luis Fire Department has no comments at this time, but reserves the right to comment upon subsequent submittals. Final decisions regarding this request are best made by the Planning and Zoning Department

Date:

09/17/18

Agency:

The City of San Luis Fire Department

Phone:

928/341-8550

Return to: P&Z@cityofsanluis.org



September 14, 2018

REZONING CASE NUMBER: 2018-0458

CASE SUMMARY: A request by Riedel Holdings LLC, applicant, on behalf of Border Ranches, LLC, owner, to rezone 67.06 acres from Medium-High Density Residential (R-2) to Medium Density Residential (R1-6) zoning district. Assessor parcel ID # 227-10-009 located at North-west corner of County 24th and 20th Avenue, San Luis, Arizona. The purpose of the zone change is to allow for the building of a future subdivisions to be called Santa Cecilia No. 3 and 4.

A Citizen Review Meeting has been scheduled on the 2nd day of October, 2018 at 6:00 p.m. at the San Luis City Hall Council Chambers, 1090 E. Union Street, San Luis, Arizona, in order to give interested parties an opportunity to meet with the applicant to have questions answered and express any issues or concerns prior to any public hearing.

PUBLIC HEARING: October 9, 2018

COMMENTS DUE: September 20, 2018

Your comments on this case will help us prepare an accurate and timely staff report. Your comments on this case will be inserted “as is” into the staff report with your name, department, and telephone number, should the applicant have any questions. Your comments are a public record and will be available to the public, media, and the applicant, in addition to the Commission hearing this case. Please complete the section below and return via e-mail. For additional information please contact me at 341-8563, extension 2014, or at Jaguzman@cityofsanluis.org

Thank you,

Jose A. Guzman
Director of Planning & Zoning
Attachment: Location Map and Conceptual Plan

.....
 COMMENTS NO COMMENTS

Enter Comments below:

The property is located near Rolle Airfield where aviation activity is expected to increase in the near future. It is recommended to submit an Avigation Easement acknowledging aviation activities. Thank you for the opportunity to comment.

Date:

9/15/18

Agency:

Yuma County Airport Authority

Phone:

928-726-5882

Return to: P&Z@cityofsanluis.org



PLANNING & ZONING AGENDA ITEM REVIEW FORM

Planning & Zoning Commission Meeting

5.A.

Meeting Date: 10/09/2018

Submitted By: Jose A. Guzman, Director of Planning & Zoning, Planning & Zoning Department

ITEM:

Discussion and possible action on any and all matters regarding Subdivision Case No. 2018-0440P. A request by Vega and Vega Engineering PLC on behalf of Comite de Bienestar Inc., property owner, for the preliminary plat approval for Bienestar Estates Condos. The property is located at 495 N. Janet Napolitano Boulevard, San Luis, Arizona.

A. Staff presentation

B. Action on Subdivision Case No. 2018-0345P

BACKGROUND:

The subject property is located on the east mesa of the City of San Luis. It is located within Bienestar Estates 9B Subdivision. Bienestar Estates 9B is a single-family residential subdivision zoned as Medium-High Density Residential (R-2).

This property was originally designated as Tract B, usually tracts are intended for public purpose such as parks or retention basins. This particular tract was not designated with a specific public use in the recorded plat and may be developed.

This proposed project is to develop the land as a condominium complex with 12 units.

GENERAL PLAN:

This area is designated as Neighborhood in the City of San Luis 2020 General Plan. The activities proposed will be consistent with that designation (Chapter 2, Page 19-20). The Neighborhood Land Use designation allows all types of residential development.

SUMMARY:

In 2007, the Arizona Legislature adopted legislation that required municipalities to certify that all new subdivision had an assured 100-year water supply. On February 11, 2011 the City of San Luis was designated by the Arizona Department of Water Resources(ADWR) as having a 100-year adequate water supply. Consequently, individual subdivisions do not have to submit additional certification.

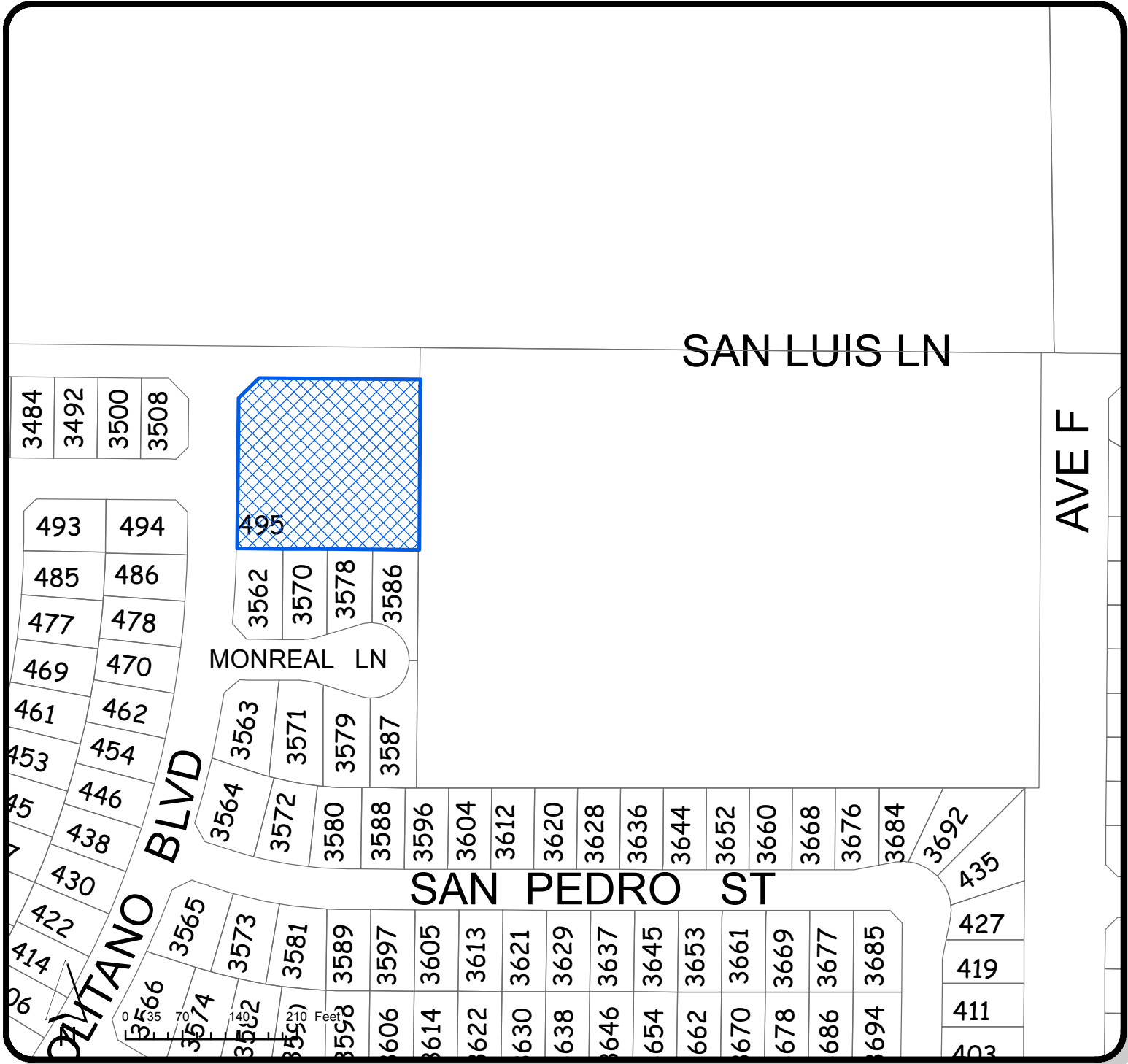
RECOMMENDED MOTION:

I MOVE TO APPROVE SUBDIVISION CASE NO. 2018-0440P- PRELIMINARY PLAT FOR BIENESTAR ESTATES CONDOS AND DIRECT STAFF TO NOTIFY ADJECENT PROPERTY OWNERS OF THE PROPOSED PROJECT.

Attachments

Location Map

Aerial Picture



LOCATION OF SUBJECT PROPERTY

Location Map

SUBDIVISION

 495 N JANET NAPOLITANO BLVD
 Subdivision: BIENESTAR ESTATE 9B TRACT B Section: 09 Township: 11S Range: 24W
 Parcel: 77752900

Date:
 9/20/2018

Checked By:
 ROMAN PACHECO



Prepared By:
 IG

APPROVED BY:
 JOSE A. GUZMAN

Case No.:
 2018-0440P



LOCATION OF SUBJECT PROPERTY

Location Map

SUBDIVISION



495 N JANET NAPOLITANO BLVD

Subdivision: BIENESTAR ESTATE 9B TRACT B Section: 09 Township: 11S Range: 24W

Parcel: 77752900

Date:

9/20/2018

Checked By:

ROMAN PACHECO

DEVELOPMENT SERVICES



GIS DIVISION

Prepared By:

IG

APPROVED BY:

JOSE A. GUZMAN

Case No.

2018-0440P

BIENESTAR ESTATES CONDOS

INDEX:

Cover Sheet	-----	0
Preliminary Plat	-----	1 OF 1
Preliminary Paving and Grading Plan	-----	1
Preliminary Water and Sewer Plan	-----	2

GENERAL CONSTRUCTION NOTES:

1. THE LOCATION OF UTILITIES IS APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. UTILITIES SHOWN HERE ARE FOR THE PURPOSE OF ASSISTING THE CONTRACTOR IN LOCATING SAID UTILITIES. THE CONTRACTOR IN ACCORDANCE WITH ARIZONA STATUTES SHALL CONTACT THE ARIZONA BLUE STAKE CENTER (1-800-782-3348) AT LEAST 48 HOURS MIN. PRIOR TO THE BEGINNING OF CONSTRUCTION AND OBTAIN ON-SITE UTILITIES LOCATIONS. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND SHALL BE RESOLVED PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DAMAGED TO A UTILITY SHALL BE REPAIRED AT THE CONTRACTOR EXPENSE.
2. ALL CITY REQUIRED COMPACTION AND LABORATORY TESTS SHALL BE FURNISHED BY THE CONTRACTOR TO THE CITY PRIOR TO ACCEPTANCE OF THE PROJECT.
3. THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR TWO YEARS AFTER THE FINAL ACCEPTANCE. ANY DEFECTIVE MATERIAL OR WORKMANSHIP SHALL BE REPLACED AND/OR REPAIRED PRIOR TO FINAL ACCEPTANCE.
4. ALL ROAD SURFACES, EASEMENTS OR RIGHT OF WAYS DISTURBED BY CONSTRUCTION OF ANY PART OF THIS IMPROVEMENTS ARE TO BE RESTORED COMPLETELY BY THE CONTRACTOR TO THE BEFORE CONSTRUCTION CONDITION OR BETTER.
5. DURING CONSTRUCTION, THE DEVELOPER/OWNER IS SOLELY RESPONSIBLE FOR INSURING THE PROPER FUNCTIONING OF THE EROSION AND SEDIMENT CONTROL MEASURES. THE DEVELOPER/OWNER SHALL TAKE WHATEVER MEASURES ARE REQUIRED TO INSURE THAT NO SEDIMENT LEAVES THE SITE.
6. REFER TO SHEETS 1 OF 1 OF FINAL PLAT FOR ALL CORRECT DIMENSIONS.
7. SEE SUBDIVISION PLAT FOR ALL BOUNDARY INFORMATION AND DIMENSIONS; DO NOT SCALE.
8. ALL MATERIALS AND CONSTRUCTION HEREON SHALL CONFORM TO YUMA COUNTY, AS ADOPTED BY THE CITY, STANDARD SPECIFICATIONS AND CONSTRUCTION STANDARDS UNLESS OTHERWISE SHOWN ON THESE PLANS.
9. THE ENGINEER MAKES NO REPRESENTATION OR GUARANTEE REGARDING EARTHWORK QUANTITIES OR THAT THE EARTHWORK FOR THIS PROJECT WILL BALANCE DUE TO VARIOUS FIELD CONDITIONS, CHANGING SOIL TYPES, ALLOWABLE CONSTRUCTION TOLERANCES AND CONSTRUCTION METHODS THAT ARE BEYOND THE CONTROL OF THE ENGINEER.
10. NO STREET, WATER, SEWER AND IMPROVEMENTS TO BE ACCEPTED BY THE CITY OF SAN LUIS. FOR MAINTENANCE UNTIL "AS-BUILT", CERTIFIED. REPRODUCIBLE PLANS ARE FILED WITH AND ACCEPTED BY THE CITY OF SAN LUIS PUBLIC WORKS DEPARTMENT.

OWNER OF RECORD:

COMITE DE BIENESTAR INC. AZ CORP.
963 E. "B" STREET
PO BOX 7170
SAN LUIS, AZ. 85349

BENCHMARK

TOP OF FOUND BRASS CAP LOCATED AT THE INTERSECTION
OF JANET NAPOLITANO BLVD. AND HARRIS AVE.
ELEVATION: 100.00 FEET

BASIS OF BEARING


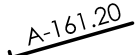

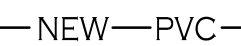





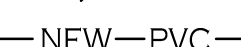

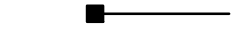




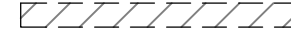

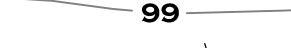

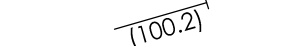
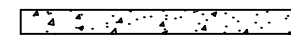

THE NORTH-SOUTH MIDSECTION LINE OF SEC. 9 T11 S, R24 W,
G. & S. R.B.M., YUMA COUNTY, ARIZONA (BEING THE LINE THE
CENTERLINE OF AVENUE "B"), AS SHOWN ON BIENESTAR
ESTATES 98 SUBDIVISION, AS RECORDED IN BOOK 24
OF PLATS, PAGES 14-16, YUMA COUNTY RECORDERS
OFFICE, YUMA COUNTY, AZ
BEARING N00°01'49"W

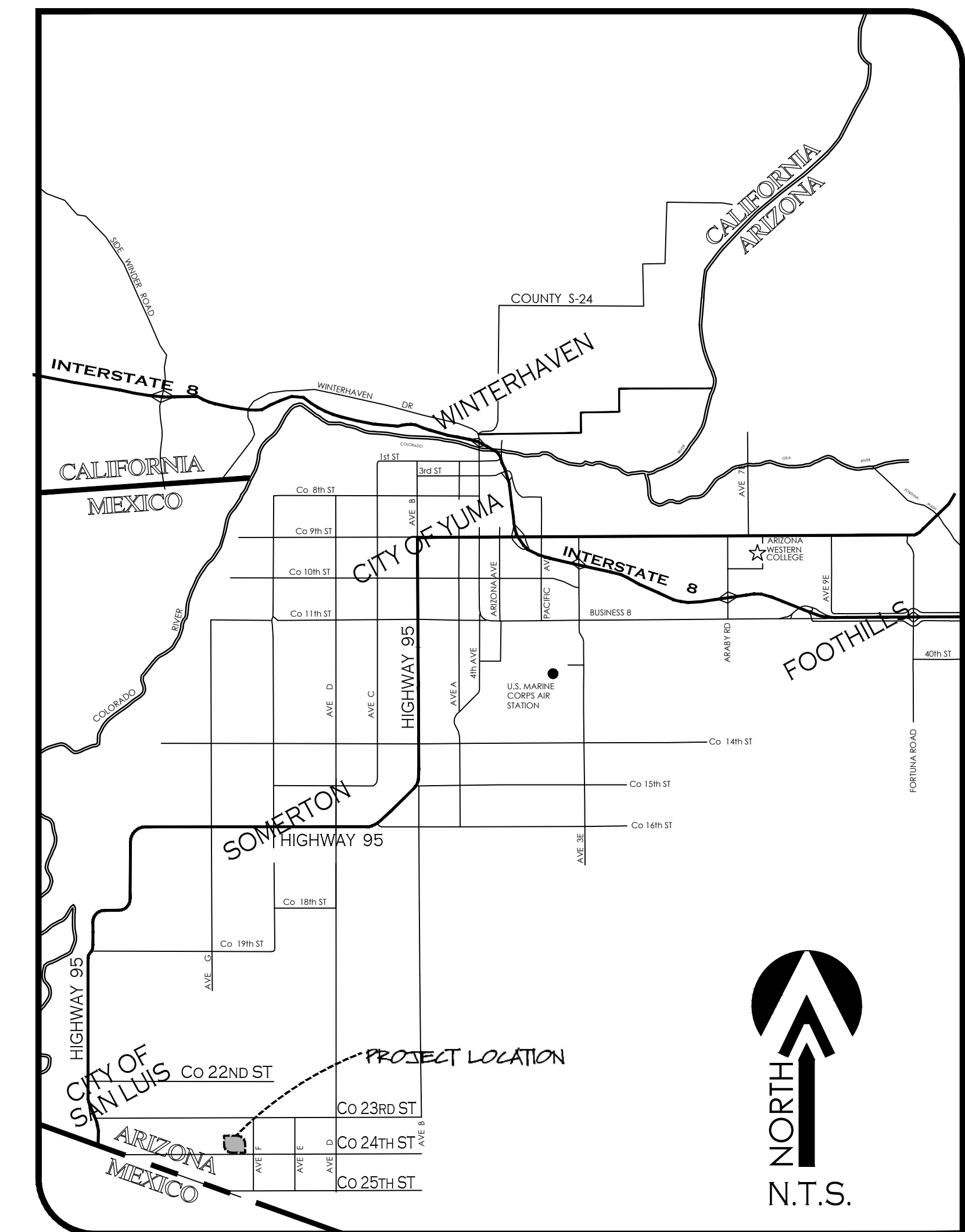
ENGINEER:

VV18-700

1846 S. 8th Avenue 928-329-0000 Tel
Yuma, Az. 85364 928-247-6232 Fax
www.vegaNvega.com

LEGEND

	INDICATES BOUNDARY LINE		INDICATES NEW ASPHALT ELEVATION
	INDICATES CENTERLINE		INDICATES NEW SANITARY SEWER LINE
	INDICATES EASEMENT LINE		NEW SEWER STUB
	INDICATES RIGHT-OF-WAY LINE		NEW SEWER MANHOLE
	NEW LOT NUMBER		NEW 4" PVC SEWER SERVICE
	NEW YUMA COUNTY STD. DETAIL No. 4-030 SUB'D BOUNDARY MONUMENT		INDICATES NEW WATER LINE
	NEW YUMA COUNTY STD. DETAIL No. 4-080 STREET MONUMENT		NEW SINGLE WATER SERVICE
	EXISTING MONUMENT (TYPE AS SHOWN)		NEW WATER VALVE
	INDICATES EX. ASPHALT PAVEMENT		NEW FIRE HYDRANT
	INDICATES CONTOURS ELEVATION		NEW TEMPORARY BLOWOFF VALVE
	INDICATES EX. NATURAL SOIL ELEVATION		
	INDICATES NEW SIDE WALK		
	INDICATES NEW ASPHALT PAVEMENT		



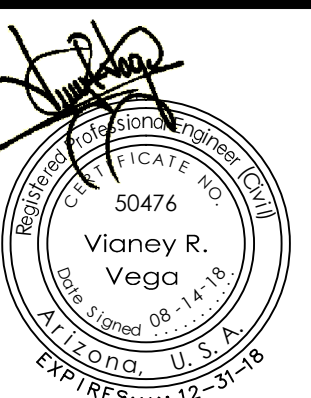
VICINITY MAP

N.T.S.

1846 S. 8th AVENUE 928-329-0000 TEL
YUMA, AZ. 85364 928-247-6232 FAX
Vn Y@vegaNvega.com



Cover Sheet
BIENESTAR ESTATES CONDOS



Notes:

Scale: N.T.S. Date: AUG. 2018
Drawn: staff Job #: VV18-700
Checked: Vno

Sheet

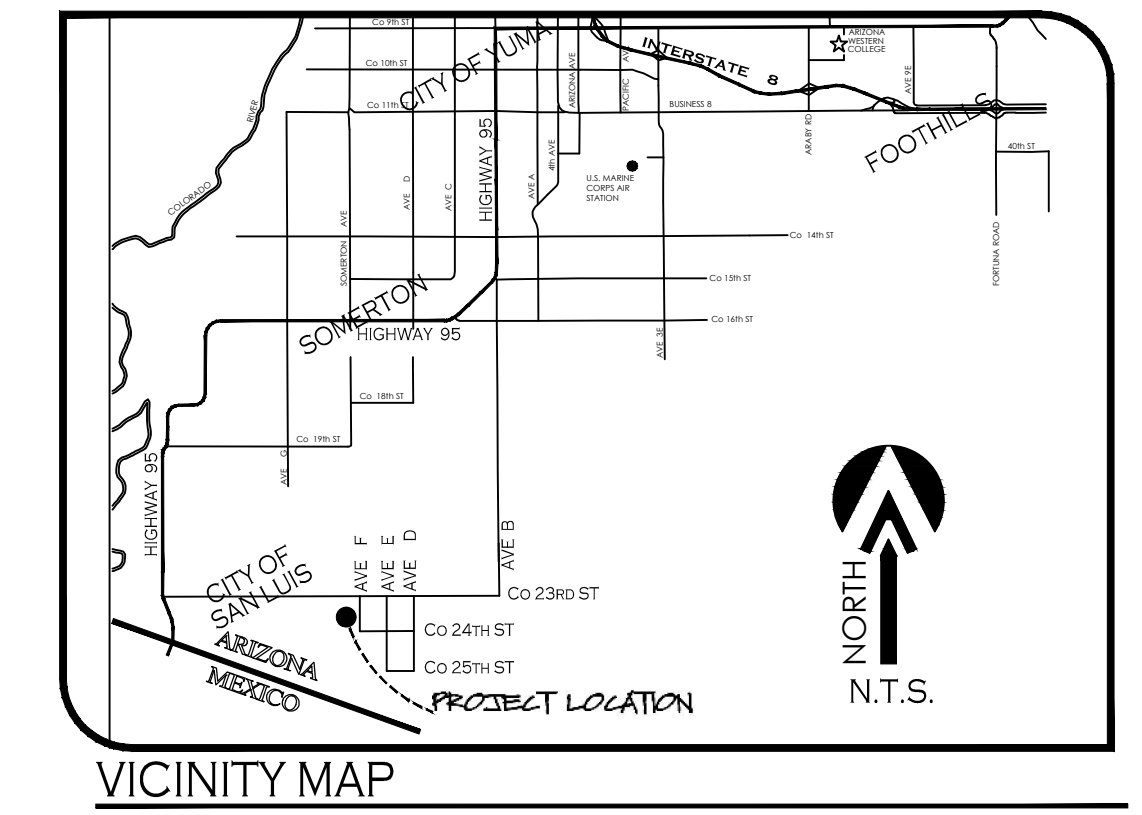
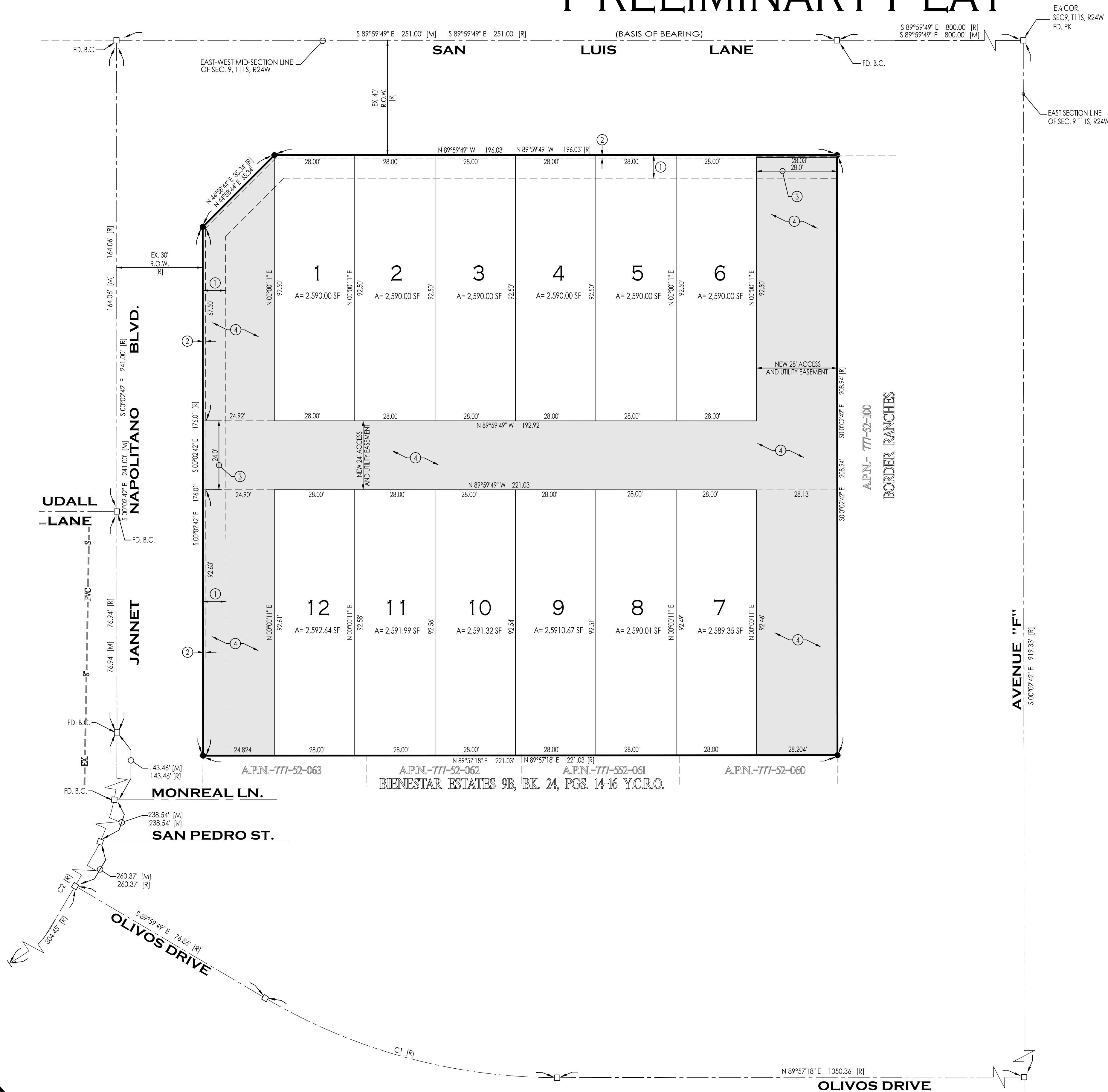
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BIENESTAR ESTATES CONDOS

A SUBDIVISION OF TRACT "B" OF BIENESTAR ESTATES 9B SUBDIVISION, AS RECORDED IN BOOK 24 OF PLATS, PAGES 14 - 16, YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, AZ AUGUST OF 2018 ACREAGE: 1.05 AC (GROSS)

PRELIMINARY PLAT



OWNER OF RECORD:

COMITE DE BIENESTAR INC. AZ CORP.
963 E. 9TH STREET
PO BOX 7170
SAN LUIS, AZ, 85349

BASIS OF BEARING

THE EAST-WEST MID-SECTION LINE OF SEC. 9, T11S, R24W, G.A.S.R.B.&M., YUMA COUNTY, ARIZONA (BEING THIS LINE THE CENTERLINE OF SAN LUIS LANE AS SHOWN ON BIENESTAR ESTATES 9B SUBDIVISION, AS RECORDED IN BOOK 24 OF PLATS, PAGES 14 - 16, YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, AZ
BEARING S 89°59'49" E

KEYNOTES

- ① EXISTING 8' UTILITY EASEMENT (R1)
- ② EXISTING 1' NON-ACCESS EASEMENT
- ③ EXISTING 1' NON-ACCESS EASEMENT TO BE ABANDONED UPON FINAL PLAT RECORDATION
- ④ NEW UTILITY, ACCESS & LANDSCAPING EASEMENT AND COMMUNITY POOL AREA

LEGEND

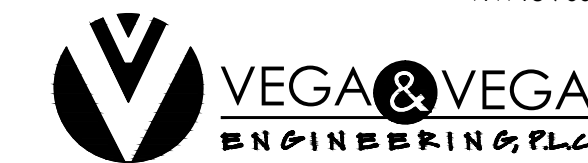
- INDICATES BOUNDARY LINE
- - - - - INDICATES CENTERLINE
- · - · - INDICATES EASEMENT LINE
- 11 NEW LOT NUMBER
- SET PROPERTY CORNERS TO BE MARKED BY 1/2" DIA. REBAR TAGGED WITH CAP L.S. 16528 (UNLESS NOTED OTHERWISE)
- NEW YUMA COUNTY STD. DETAIL No. 4-080 STREET MONUMENT
- EXISTING MONUMENT (TYPE AS SHOWN)
- B.C. INDICATES BRASS CAP
- Y.C.R. INDICATES YUMA COUNTY RECORDERS
- G.L.O. INDICATES GENERAL LAND OFFICER
- N.A.E. INDICATES NON ACCESS EASEMENT
- [M] INDICATES MEASURED DATA
- [R] DATA REFERS TO BIENESTAR ESTATES 9B SUBDIVISION, AS RECORDED IN BOOK 24, PAGES 14 - 16, Y.C.R., YUMA COUNTY, AZ.

NOTE

- ◆ PROPERTY CORNERS TO BE MARKED BY 1/2" DIAMETER REBAR TAGGED WITH CAP L.S. 16528
- ◆ PROJECT ZONING: R-1-G

ELABORATED BY:

VNV18-700



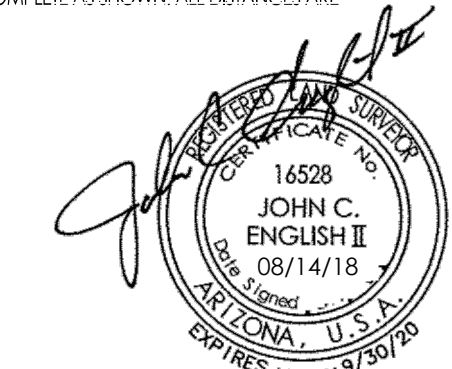
1846 S. 8th Avenue 928-329-0000 Tel
Yuma, Az. 85364 928-247-6232 Fax
www.vega-engineering.com

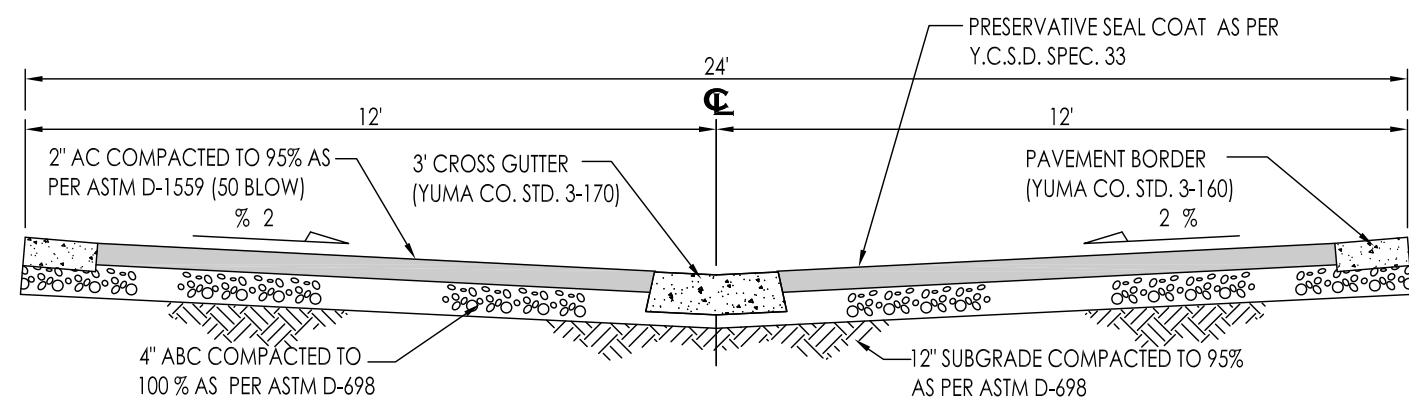
CURVE DATA

NUMBER	DELTA ANGLE	CHORD DIRECTION	CHORD LENGTH	TANGENT	RADIUS	ARC LENGTH
C1 [R]	30°32'36"	S 74°46'24" E	105.36'	54.61'	200.00'	106.62'
C2 [R]	45°01'10"	N 22°27'53" E	922.65'	499.37'	1205.00'	946.82'

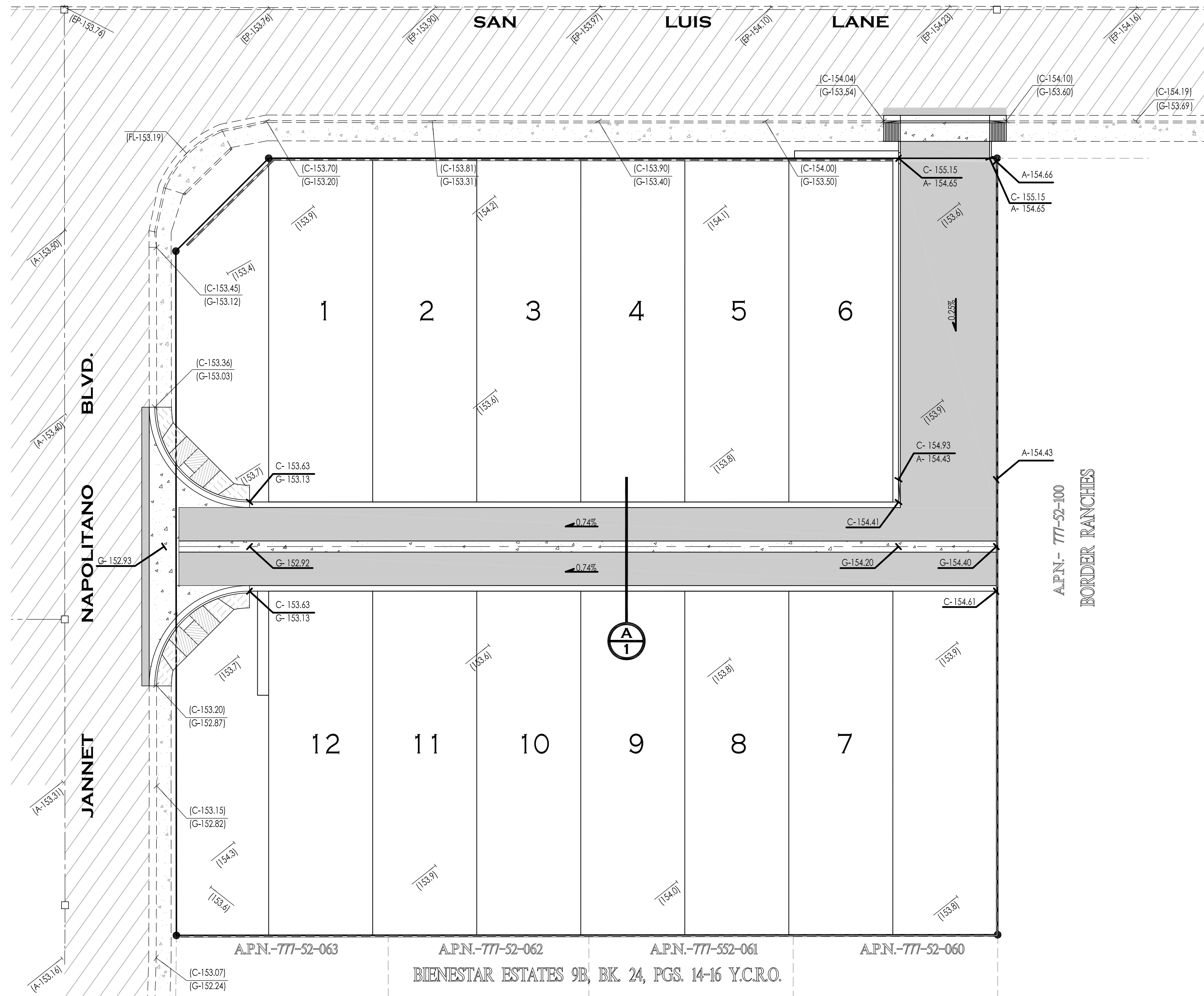
LAND SURVEYOR'S CERTIFICATE:

HEREBY CERTIFY THAT I AM A LAND SURVEYOR LISTED ON THE ROSTER OF ACTIVE REGISTRANTS BY THE STATE BOARD OF TECHNICAL REGISTRATION OF ARIZONA AND THAT THE MAP, CONSISTING OF ONE (1) SHEET CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION DURING JUNE OF 2018 THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN, OR WILL BE IN PLACE WITHIN ONE YEAR FROM RECORDATION OF THIS MAP. THE MONUMENTS WILL BE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED. THE SURVEY IS TRUE AND COMPLETE AS SHOWN. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS PARTS.





TYPICAL CROSS SECTION



LEGEND

- INDICATES EX. ASPHALT PAVEMENT
- INDICATES EX. CONCRETE
- INDICATES BOUNDARY LINE
- INDICATES CENTERLINE
- INDICATES RIGHT-OF-WAY LINE
- INDICATES EX. FENCE
- INDICATES EX. CMU WALL
- INDICATES EX. ELECTRICAL OVERHEAD LINE
- EX- 6" PVC -W- INDICATES EX. WATER LINE
- EX- 8" PVC -S- INDICATES EX. SEWER LINE
- GAS- INDICATES EX. GAS LINE
- INDICATES NEW ASPHALT PAVEMENT
- INDICATES NEW CONCRETE
- INDICATES NEW CMU WALL
- INDICATES EXISTING CMU WALL
- NEW YUMA COUNTY STD. DETAIL No. 4-030 SUBD. BOUNDARY MONUMENT
- NEW YUMA COUNTY STD. DETAIL No. 4-080 STREET MONUMENT
- EXISTING MONUMENT (TYPE AS SHOWN)
- B.C. INDICATES BRASS CAP
- Y.C.R. INDICATES YUMA COUNTY RECORDERS
- PP INDICATES EXISTING POWER POLE
- [C] INDICATES CALCULATED DATA
- [M] INDICATES MEASURED DATA
- [E] INDICATES EXISTING ELECTRICAL BOX
- [J] INDICATES EXISTING JUNCTION BOX
- [T] INDICATES EXISTING TRANSFORMER
- POLE INDICATES EXISTING POLE
- GM INDICATES EXISTING GAS METER
- Pp INDICATES EXISTING POWER POLE
- GW INDICATES EXISTING GUY WIRE
- INDICATES EXISTING STREET SIGN
- MH INDICATES EXISTING MANHOLE
- FH INDICATES EXISTING FIRE HYDRANT
- WM INDICATES EXISTING WATER METER
- WV INDICATES EXISTING WATER VALVE
- [C-180.35] INDICATES EX. CURB ELEVATION
- [S-180.56] INDICATES EX. SIDEWALK ELEVATION
- [A-180.50] INDICATES EX. ASPHALT ELEVATION
- [N-180.5] INDICATES EX. NATURAL SOIL ELEVATION
- [A-161.02] INDICATES NEW ASPHALT ELEVATION

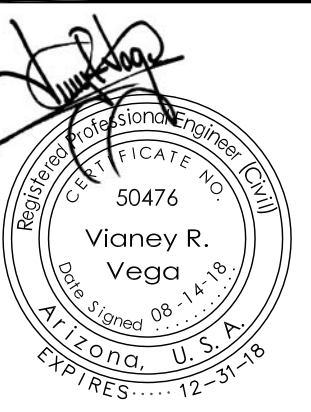
DRAINAGE NOTE

DRAINAGE STORMWATER RUNOFF WILL BE STORED IN EXISTING MASTER RETENTION BASIN LOCATED IN BIENESTAR ESTATES 9B AS SHOWN IN DRAINAGE REPORT FOR SUBDIVISION BIENESTAR ESTATES 9B SUBDIVISION PLAT RECORDED IN BK. 24 PGS. 14-16 Y.C.R.

BENCHMARK

TOP OF FOUND BRASS CAP LOCATED AT THE INTERSECTION OF JANET NAPOLITANO BLVD. AND HARRIS AVE. ELEVATION: 100.00 FEET

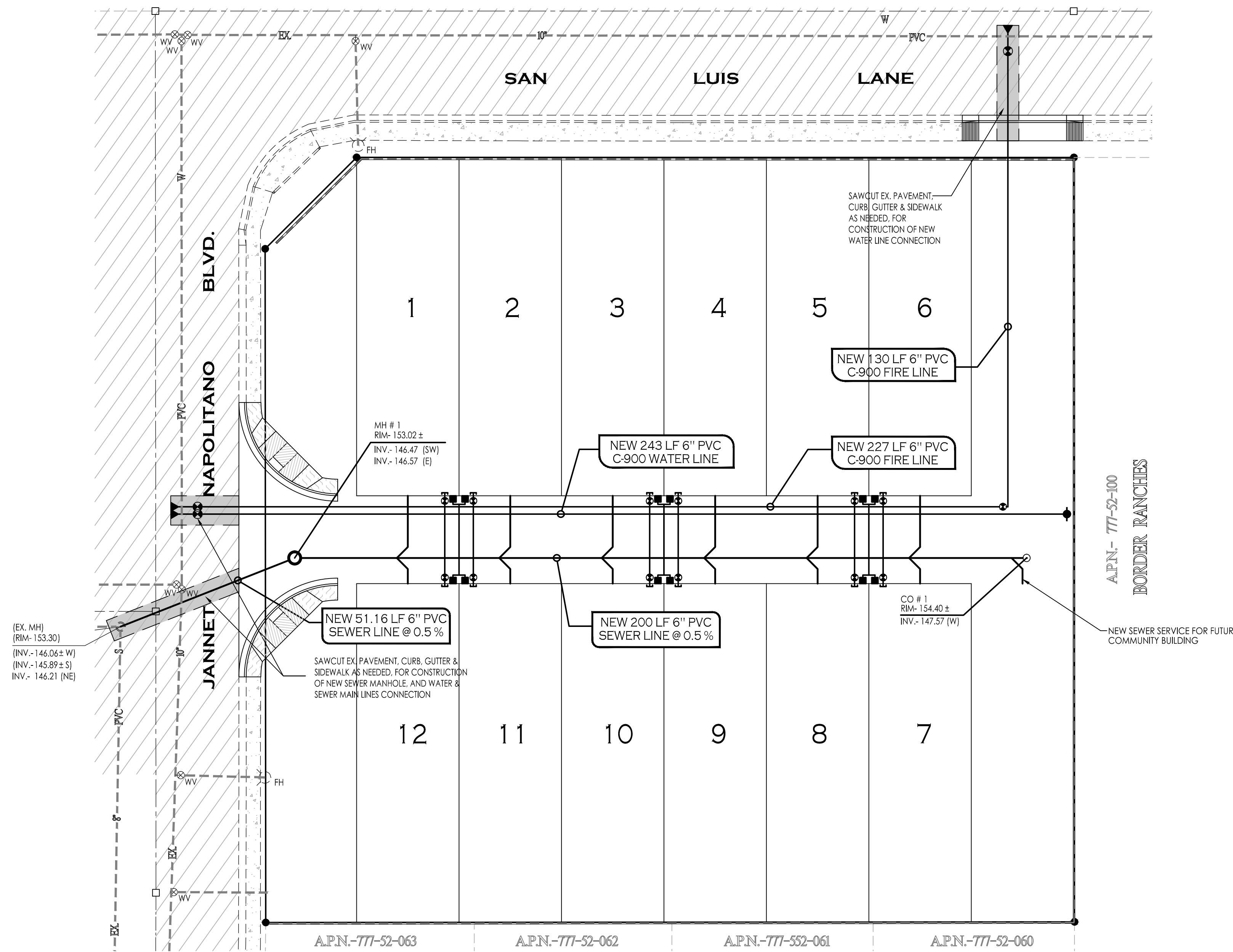
Preliminary Paving & Grading Plan
BIENESTAR ESTATES CONDOS



Scale: 1/2" = 1' Date: AUG. 2018
 Drawn: staff Job #: vrv18-700
 Checked: vna

Sheet



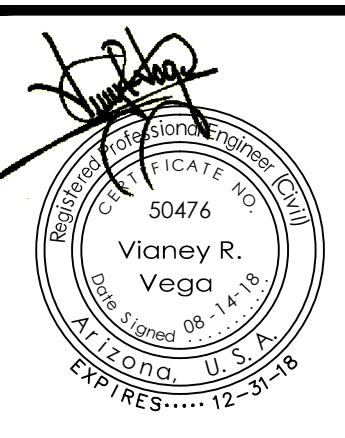


LEGEND

- 163 INDICATES EX. CONTOURS ELEVATION
- INDICATES EX. 10" WATER LINE
- INDICATES EX. 8" SEWER LINE
- INDICATES EXISTING ELECTRICAL BOX
- INDICATES EXISTING MANHOLE
- ⊕ INDICATES EXISTING FIRE HYDRANT
- ⊗ INDICATES EXISTING WATER VALVE
- INDICATES NEW 6" SANITARY SEWER LINE
- INDICATES NEW SEWER MANHOLE
- INDICATES NEW 4" PVC SEWER SERVICE
- INDICATES NEW 4" WATER LINE
- INDICATES DUAL WATER SERVICE
- INDICATES NEW WATER VALVE
- INDICATES NEW TEMPORARY BLOWOFF VALVE
- 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12 INDICATES LOT NUMBERS
- ⊕ INDICATES NEW 6" FIRE LINE W/ WATER TIGHT END PLUG AND THRUST BLOCK

BIENESTAR ESTATES 9B, BK. 24, PGS. 14-16 Y.C.R.O.

Preliminary Water & Sewer Plan
BIENESTAR ESTATES CONDOS



Notes:

Scale: N.T.S. Date: AUG. 2018
 Drawn: staff Job #: vrv18-700
 Checked: vna

Sheet





September 20, 2018

SUBDIVISION CASE NUMBER: 2018-0440P

CASE SUMMARY: A request by Vianey Vega, Vega and Vega Engineering, P.L.C., on behalf of Comite de Bienestar Inc., property owner, for the Preliminary Plat approval for Bienestar Estates Condos. This subdivision will contain approximately 1.05 acres and is proposed to be divided into 12 condominiums in one common area. The lots ranging in size from approximately 2,590 square feet to 2,592.64 square feet, Assessor's Parcel No. 777-52-900 located at 495 N. Janet Napolitano Boulevard, San Luis, Arizona (Tract "B" – Bienestar Estates 9B).

PUBLIC MEETING: October 9, 2018

COMMENTS DUE: September 27, 2018

Your comments on this case will help us prepare an accurate and timely staff report. Your comments on this case will be inserted "as is" into the staff report with your name, department, and telephone number, should the applicant have any questions. Your comments are a public record and will be available to the public, media, and the applicant, in addition to the Commission hearing this case. Please complete the section below and return via e-mail. For additional information please contact me at 341-8563, extension 2014, or at jaguzman@cityofsanluis.org.

Thank you,

Jose A. Guzman
Director of Planning and Zoning
Attachment: Location Map, & Preliminary Plat

COMMENTS NO COMMENTS

Enter Comments *below*:

The property is located near Rolle Airfield where aviation activity is expected to increase in the near future. It is recommended to submit an Avigation Easement acknowledging aviation activities. Thank you for the opportunity to comment.

Date:

9/24/18

Agency:

Yuma County Airport Authority

Phone:

928-726-5882

Return to: P&Z@cityofsanluis.org