

Sustainable Revitalization in Arizona: The Downtown Tolleson Redevelopment Project



Presenting Today:

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J2 Engineering & Environmental Design



San Luis City Council Presentation
April 10, 2019



DOWNTOWN

TOLLESON

REDEVELOPMENT

HONORING OUR PAST, POSITIONING OUR FUTURE



Est. 1912



GRADE A • GROWN IN ARIZONA

Develop a True Sense of Place and Build on Tolleson's Proud Community



Define The Vision:

Transition to a Vibrant Downtown that is a Long-term Economic Engine

- Outstanding Opportunity to “Set the Table” for Downtown
- Develop a Destination Environment with a True Sense of Place
- Pay Tribute to Tolleson’s Community, Heritage and Culture
- Develop a multi-modal Downtown that balances vehicular, pedestrian, bicycle and mass transit traffic



Elements of the Van Buren Streetscape

Seeing Cities & Streets as Solutions Not Problems

- Existing Conditions Looking East



Downtown Tolleson Redevelopment Project
Tolleson, Arizona



Elements of the Van Buren Streetscape

Seeing Cities & Streets as Solutions, Not Problems

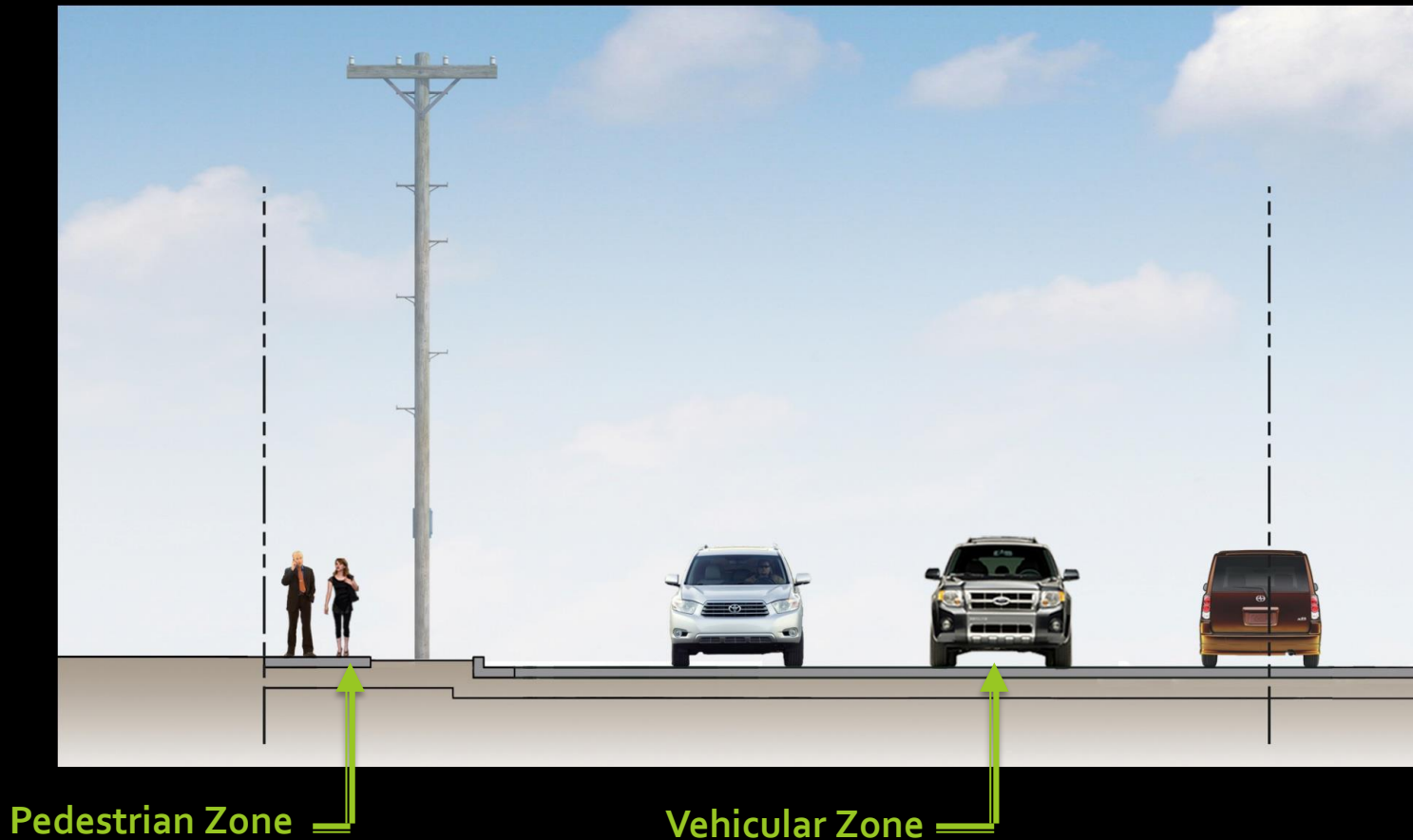
- Existing Conditions Looking West



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Van Buren Streetscape – Existing Cross Section



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Van Buren Streetscape – Potential Improvements Cross Section



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Van Buren Street

Proposed Cross Section

- 15' to 18' Pedestrian Zone
- Shade Trees, Seating Opportunities, & Planting Buffer
- Successful Mix of Vehicular, Pedestrian, Bicycle, & Mass Transit Traffic
- Provide Outstanding Opportunity for Private Development to Invest in Downtown



Aesthetic Lighting, Banners, Signage/Wayfinding, Art & Cultural Amenities, and On-Street Dining



Project Overview

“Build Upon Existing Downtown Assets”

- Street Width / Right-of-Way / Speed Limit (25 mph)
- Available Open Space
- Community Ownership: Residents, Stakeholders & Businesses
- “Activity on the Street”: City Hall, Arizona Desert Elementary, Tolleson Union High School, and Post Office
- Existing Buildings on the Right-of-Way / Urban Flavor



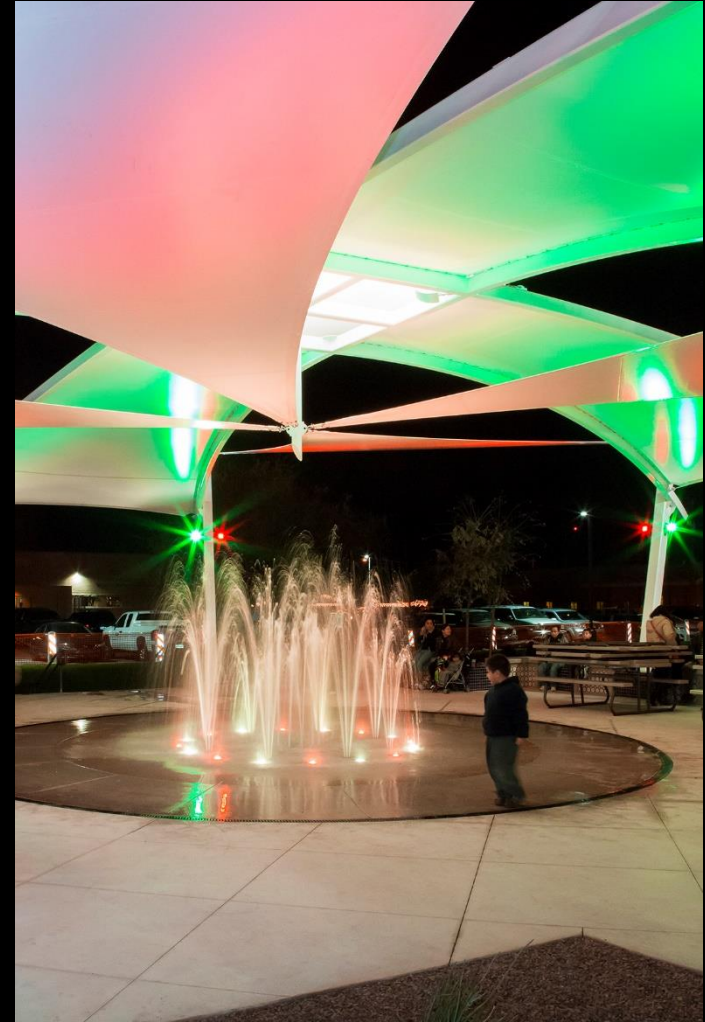
Downtown Open Space Assets



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Downtown Open Space Assets



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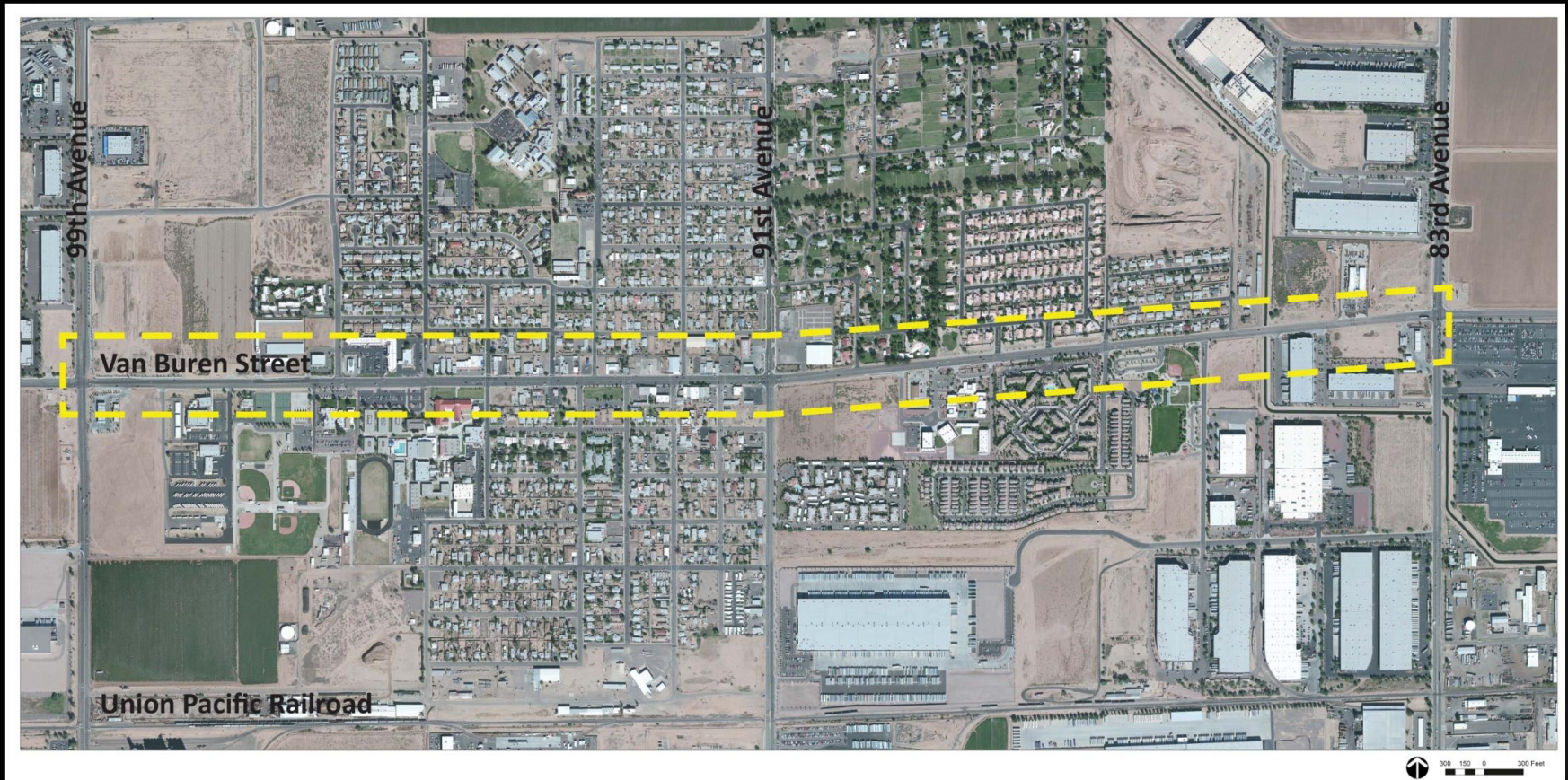
Stakeholder Meetings



Branding and Logo



Project Limits for Conceptual Planning



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Development Zones

1st Stage Improvement Project

91st to 99th Avenue



Zone 3

Zone 2

Zone 1

Zone 4

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Van Buren Street Components

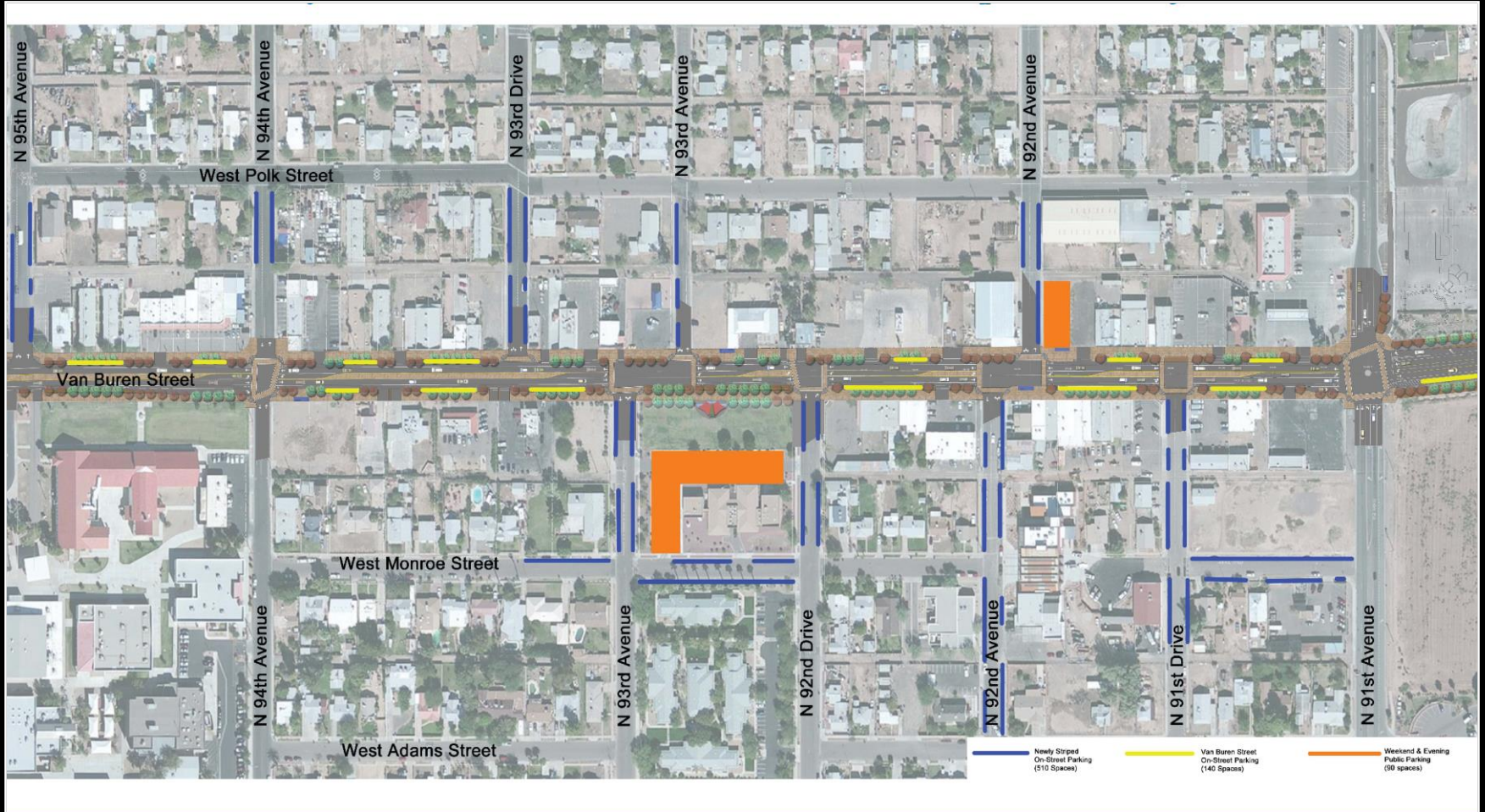
- New Curb & Gutter Reconstruction
- Striping to Include Bike Lanes & On-street Parking
- Pedestrian Zone Improvements
- Lighting Improvement
- Landscape Improvements
- Art Elements
- Signage & Wayfinding Elements

Zone 1: 91st to 94th Avenue



Schematic Parking Plan

Intent: to Provide Approximately 300 Clearly Marked Parking Spaces in the Downtown Area



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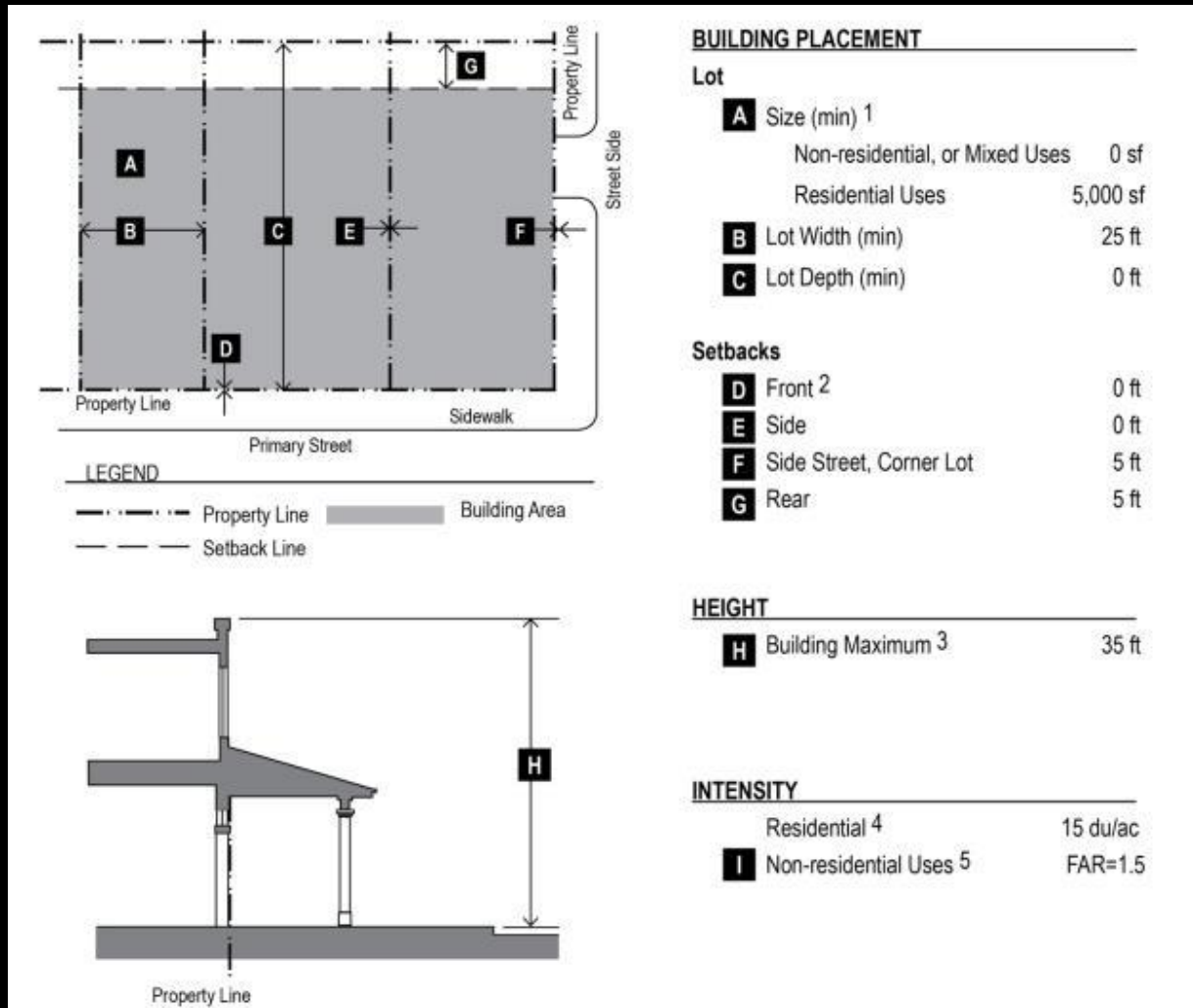


Establishing A Zoning Code: Why establish the CORE District?

- Create the guiding oversight that is necessary to ensure that future development follows the intent and design of the City's substantial investment.
- The Commercial, Office, Residential, and Entertainment (CORE) Zoning District will implement the City's vision by encouraging a pedestrian-oriented, mixed-use environment that promotes a range of compatible uses in Downtown Tolleson.



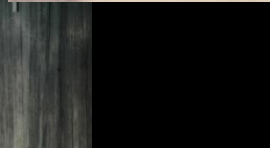
Building Development Standards



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Cultural, Economic, & Environmental Sustainability



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Design and Operate Entire Right-of-Way



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Economic Revitalization



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Economic Revitalization



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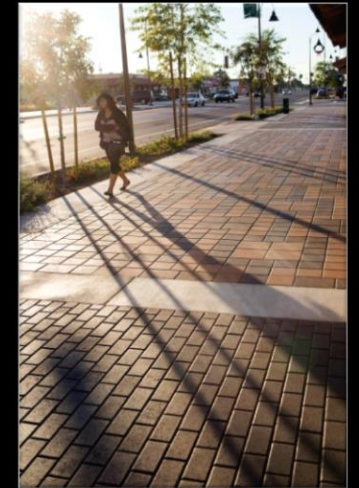
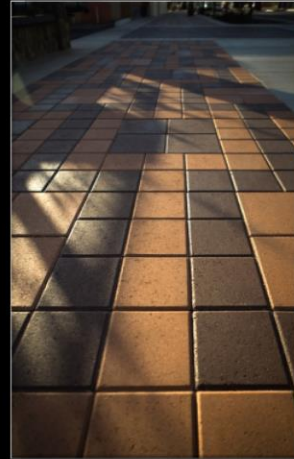
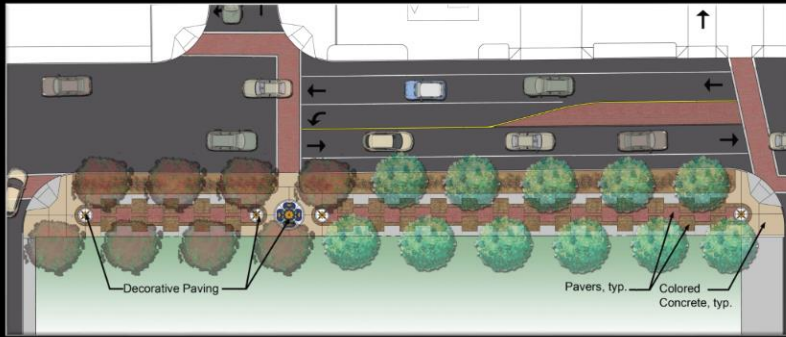
Economic Revitalization



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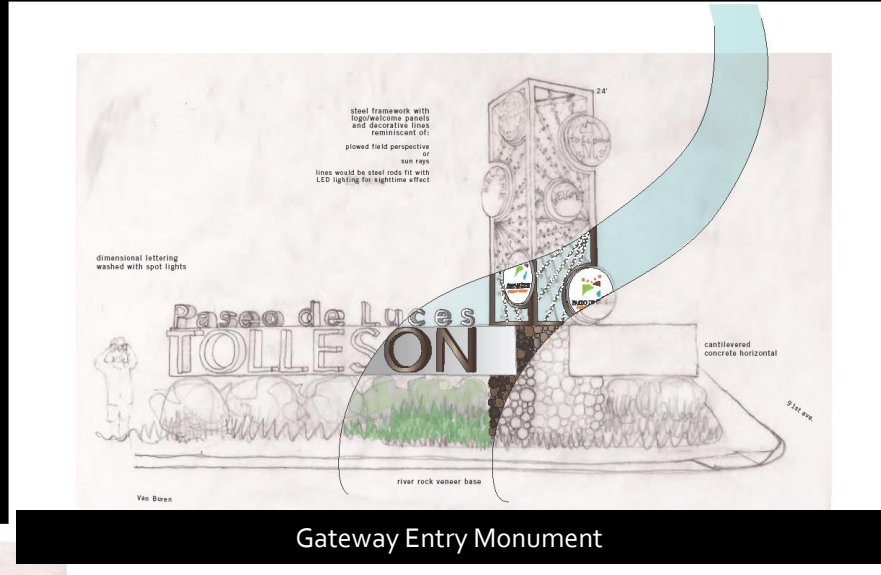
Pedestrian & Crosswalk Paving



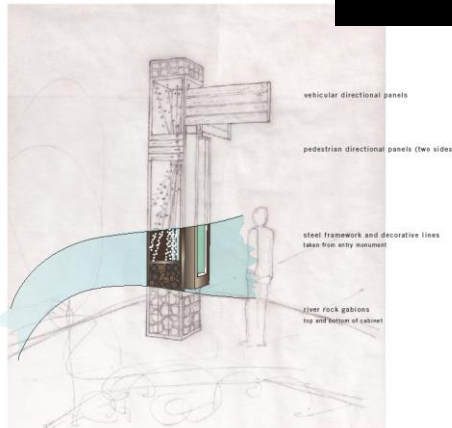
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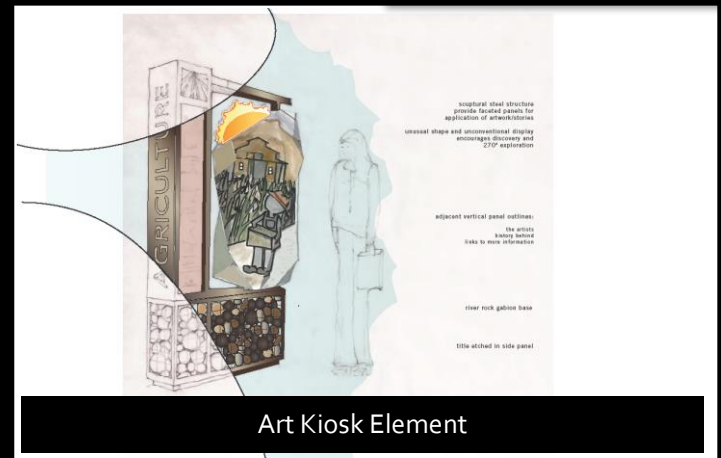
Gateway Entry Monuments and Pedestrian Wayfinding Opportunities



Gateway Entry Monument



Wayfinding Element



Art Kiosk Element

Art Opportunities





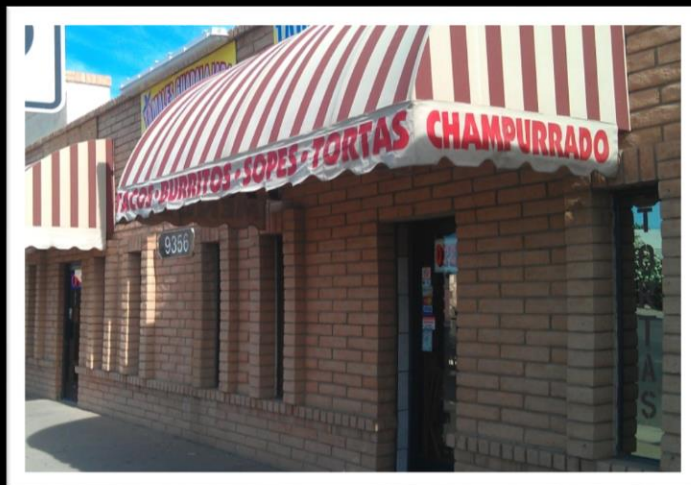
Façade Improvements



Before



After



Before



After



Façade Improvements



Before



After

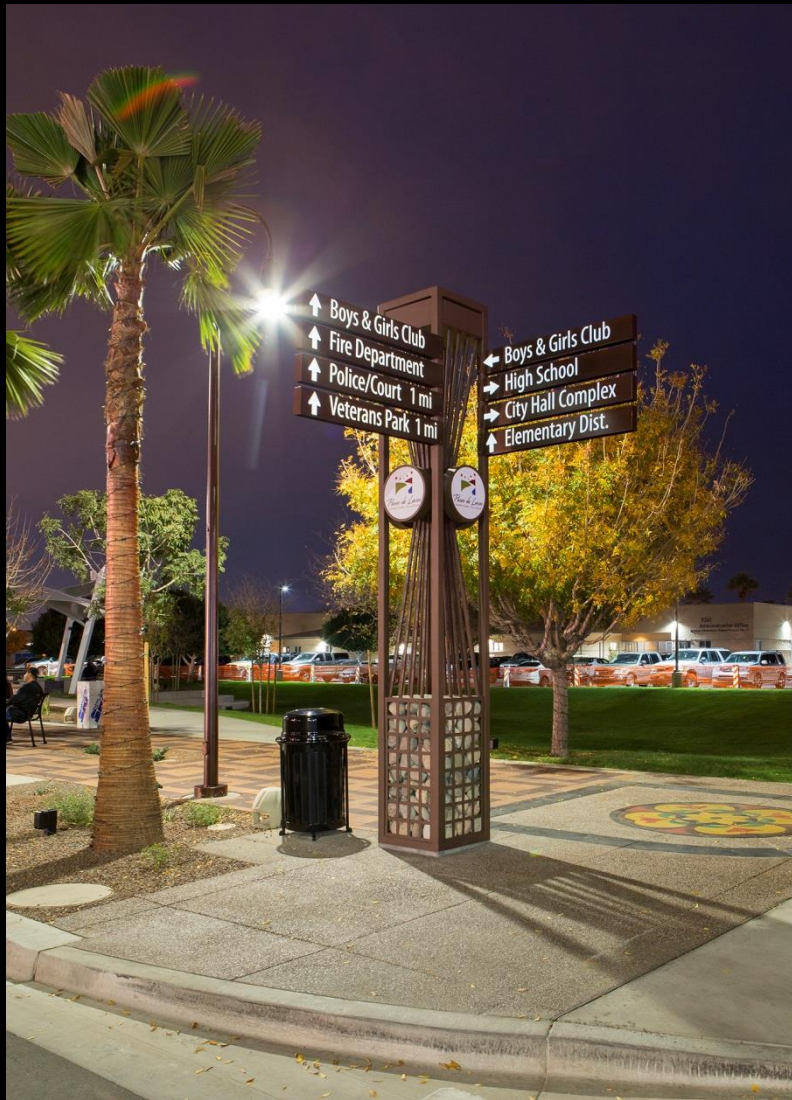
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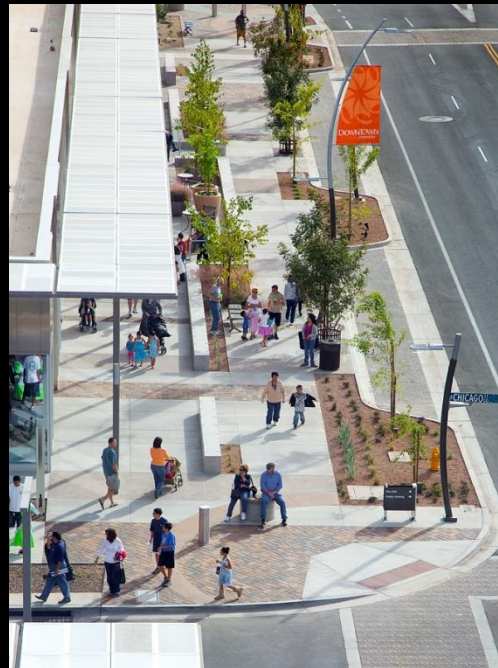
Thank You Questions & Answers



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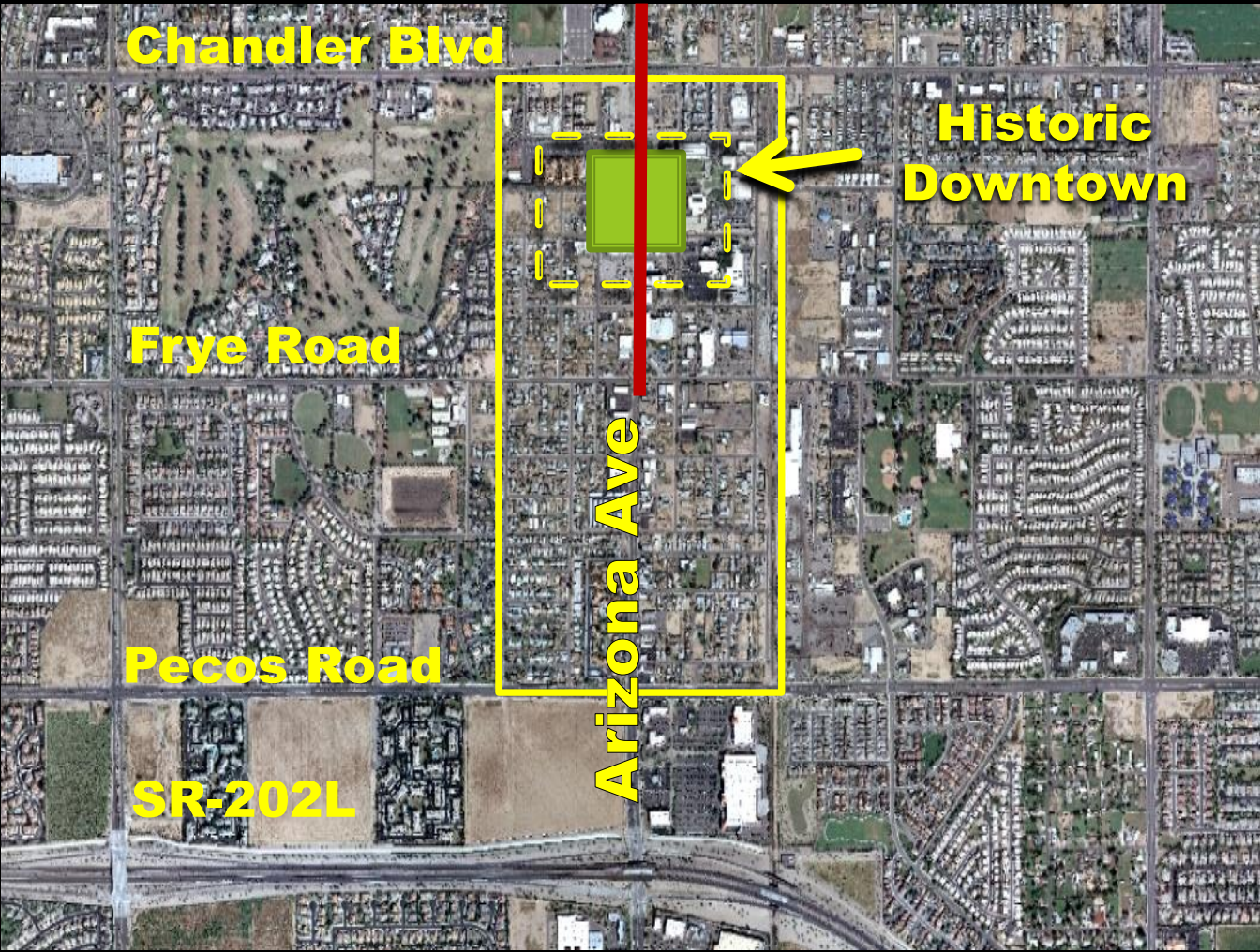
Building More than 'Just a Road' Designing for Economic Development The Arizona Avenue Improvement Project



Downtown Chandler, Arizona

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Downtown Chandler



State Route
87

1941 AZ Ave
Relocation

Strip
Commercial
and Industrial
Development
Follows



Arizona Avenue Improvement Project
Chandler, Arizona



Arizona Avenue



Arizona Avenue Improvement Project
Chandler, Arizona



Declining



Why Worry About Downtown?

A Business Decision.

- Public safety costs.
- Neighborhoods and housing stock.
- Sales and property taxes.
- Private sector investment.



A Multi-Pronged Approach

- ❧ Grants/ Loans
- ❧ Planning Assistance
- ❧ Development Agreements
- ❧ Park improvements
- ❧ Land assembly
- ❧ Arts



Arizona Avenue Improvement Project
Chandler, Arizona

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Lesson: Thorough Vetting is Critical



Concept 'A' Bird's-Eye View



Concept 'B' Bird's-Eye View



Concept 'C' Bird's-Eye View



Concept 'D' Bird's-Eye View



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Arizona Avenue Before



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Arizona Avenue After



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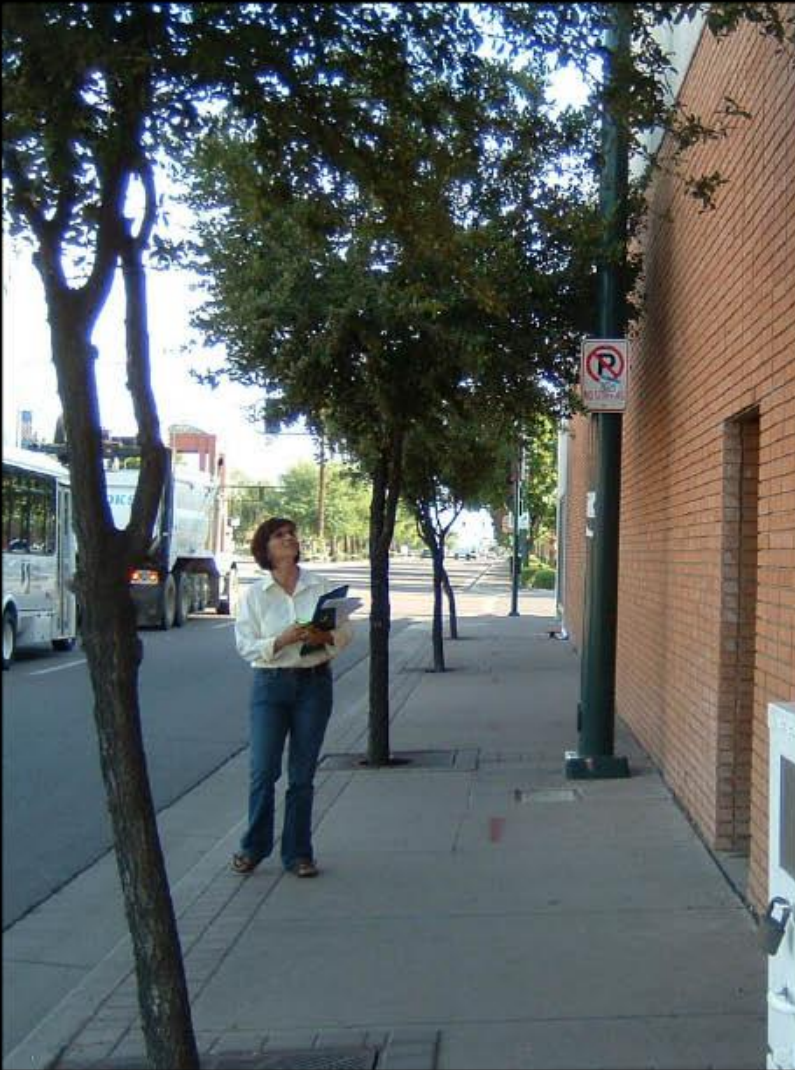


Arizona Avenue Future



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Before



After



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Lesson: A Road in Balance is a Place



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Dimensions: “Metrics” of the Streetscape

Designing for Pedestrian Scale as Well as Vehicular Scale



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Custom Lighting



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Integration of Art



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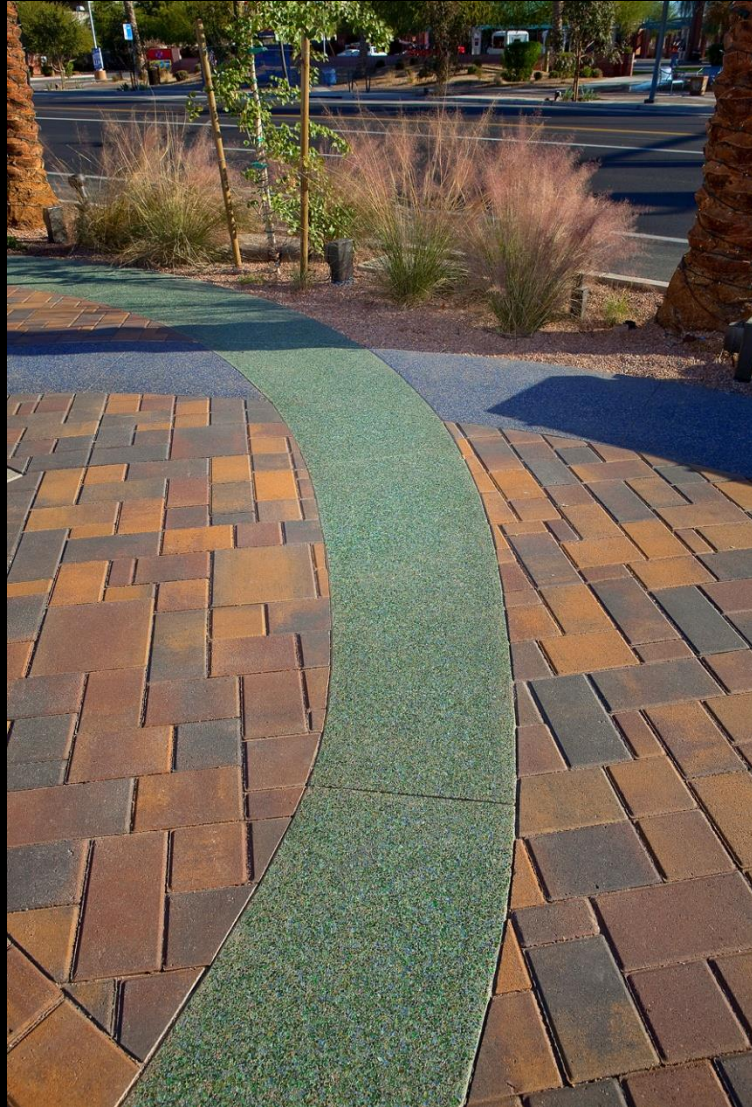
Integration of Art



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Paving



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Chandler, Arizona



Variety of Seating Options



Building More Than “Just a Road”



Arizona Avenue Improvement Project
Chandler, Arizona



Design Affects Speed

Date	Average Speed	85th Percentile
June 2008	36.7	40.4
February 2011	29.2	33.6



Lesson: Constructed Mock-Ups were Critical

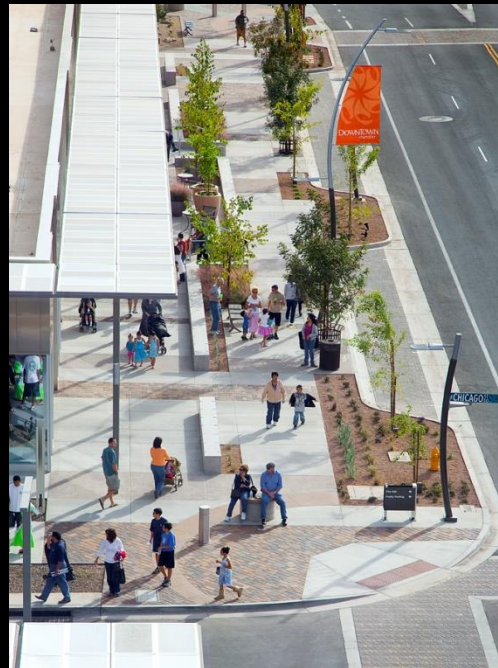


Conceptual Pedestrian View
South Arizona Avenue Entry Corridor Improvements
December 2008



Thank You

Questions & Answers



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Chandler, Arizona

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