



## **NOTICE OF REGULAR PLANNING AND ZONING COMMISSION MEETING**

In accordance with Section 38-431.01 of the Arizona Revised Statutes of the State of Arizona, notice is hereby given to the Members of the Planning and Zoning Commission and to the general public that the Planning and Zoning Commission of the City of San Luis, Arizona will hold a Regular Planning & Zoning Commission Meeting at 7:00 p.m., Tuesday, February 12, 2019. The meeting will take place at the City Council Chambers, located at 1090 E. Union Street, San Luis, Arizona, 85349. Everyone from the public is invited to attend the open meeting.

In accordance with the Americans with Disabilities Act (ADA) and Section 504 of the Rehabilitation Act of 1973, the City of San Luis does not discriminate on the basis of disability in the admission of or access to, or treatment of employment in its programs, activities, or services. For information regarding rights and provisions of the ADA or Section 504, or to request reasonable accommodations for participation in City programs, activities or services contact: ADA/Section 504 Coordinator, City of San Luis Human Resources Department, 1090 East Union Street, San Luis, Arizona 85349; (928) 341-8520.

Notice is hereby given that pursuant to A.R.S. §1-602.A.9, subject to certain specified statutory exceptions, parents have a right to consent before the State or any of its political subdivisions make a video or audio recording of a minor child. Meetings of the City Council are audio and/or video recorded, and, as a result, proceedings in which children are present may be subject to such recordings. Parents in order to exercise their rights may either file written consent with the City Clerk to such recordings, or take personal action to ensure that their child or children are not present when a recording may be made. If a child is present at the time a recording is made, the City will assume that the rights afforded parents pursuant to A.R.S. §1-602.A.9 have been waived.

THIS NOTICE IS GIVEN BY:

/s/ Roman Pacheco, Planning Technician

## **AVISO DE JUNTA REGULAR DE LA COMISIÓN DE PLANEACIÓN Y ZONAMIENTO**

De acuerdo a la Sección 38-431.01 de los Estatutos Revisados del Estado de Arizona, se les informa a los Miembros de la Comisión de Planeación y Zonamiento y al público en general que la Comisión de Planeación y Zonamiento de San Luis, Arizona, tendrán una junta regular a las 7:00 p.m., el día Martes, 12 de Febrero del 2019. La junta se llevará a cabo en la Cámara del Consejo de la ciudad, ubicado en el 1090 East Union Street, San Luis, Arizona, 85349. El público esta cordialmente invitado.

De acuerdo con el Acta de Americanos con Discapacidades y la Sección 504 del Acta de Rehabilitación de 1973, la Ciudad de San Luis no discrimina por causa de discapacidad la admisión y acceso a sus programas, actividades, servicios o en el trato en cuanto a empleo. Para más información referente a derechos y provisiones del Acta de Americanos con Discapacidades o Sección 504, o para solicitar adaptaciones que sean razonables para la participación en programas, actividades o servicios de la ciudad, contactar a: Coordinador del Acta de Americanos con Discapacidades/Sección 504, Departamento de Recursos Humanos de la Ciudad de San Luis, 1090 Este Calle Unión, San Luis, Arizona, 85349; (928) 341-8520.

Por medio de éste aviso y de acuerdo con los Estatutos Revisados del Estado de Arizona, sujeto a ciertas excepciones reglamentarias, los padres de familia tienen el derecho de dar o no dar el consentimiento ante el Estado o alguna subdivisión política grabe a un menor de edad, ya sea en audio o video. Las juntas del Concilio se graban en audio y/o video y como resultado, el hecho de que haya menores presentes puede ser sujeto a que sean grabados. Para que los padres de familia puedan ejercer sus derechos pueden solicitar por escrito a la Secretaria de la Ciudad dicha grabación, o tomar acción personal para asegurarse que su hijo/hija menor no esté presente cuando la grabación se lleve a cabo. Si un menor de edad está presente en el momento de la grabación, la Ciudad asumirá que los padres de familia están cediendo los derechos sobre una posible grabación de acuerdo con el Estatuto Revisado del Estado de Arizona §1-602.A.9.

ESTE AVISO ES DADO POR:

/f/ Roman Pacheco, Técnico en Planeación



**AMENDED ON FEBRUARY 11, 2019**

**AGENDA**

**Planning & Zoning Commission  
Regular Meeting  
San Luis Council Chambers  
1090 E. Union Street  
San Luis, AZ 85349  
Tuesday, February 12, 2019  
7:00 P.M.**

**MEMBERS OF THE SAN LUIS PLANNING & ZONING COMMISSION WILL ATTEND EITHER IN PERSON, TELEPHONE, OR VIDEO CONFERENCE COMMUNICATION.**

**1. CALL TO ORDER/ROLL CALL**

**2. PLEDGE OF ALLEGIANCE**

**3. CONSENT AGENDA**

All matters are considered to be routine by the Planning & Zoning Commission and will be enacted by one motion. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

**3. A. APPROVAL OF MINUTES**

-Regular Planning and Zoning Commission meeting held January 8, 2019

**4. ITEMS REQUIRING DISCUSSION AND/OR ACTION** – the Planning & Zoning Commission will be considering a vote or action on the following cases. Any vote or action will be considered separately for each case.

**4. A.** Discussion and possible action on any and all matters regarding a request to accept application for property concerning Rezoning Case No. 2018-0321 in accordance with City Code Section 152.042(I). (Item continued from January 8, 2019 Regular Commission Meeting)

- A. Staff presentation
- B. Action on Application Acceptance Request.

**4. B.** Discussion and possible action on any and all matters regarding Subdivision Case No. 2019-030P. A request by Vega and Vega Engineering, P.L.C., on behalf of Comite de Bienestar Inc., property owner, for the preliminary plat approval for Bienestar Estates 10 Subdivision. The property is located at the southeast corner of Avenue F and County 24th Street, Assessor's Parcel No. 227-15-001, San Luis, Arizona.

- A. Staff presentation
- B. Action on Subdivision Case No. 2019-030P

**4. C.** Discussion and possible action on any and all matters regarding the request to authorize the roadway name change of Juan Sanchez Boulevard to Cesar Chavez Boulevard.

4. D. Discussion and possible action on any and all matters regarding the request to authorize the roadway name change of Industrial Avenue to Henry Chaves Court.

4. E. Discussion and possible action on any and all matters regarding the roadway name change of Bradley Holcom Place.

5. **CALL TO THE PUBLIC** - This is the time for the public to comment. Members of the Commission may not discuss items that are not specifically identified on the agenda. Therefore, pursuant to Arizona Revised Statute §38-431.01(G), action taken as a result of comment will be limited to directing staff to study the matter, or scheduling the matter for further discussion and decision at a future date. All Planning & Zoning Commission meetings are recorded.

6. **ADJOURNMENT**



## AGENDA ITEM REVIEW FORM

### Planning & Zoning Commission Meeting

3.A.

Meeting Date: 02/12/2019

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#### Summary

#### **APPROVAL OF MINUTES**

-Regular Planning and Zoning Commission meeting held January 8, 2019

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#### Attachments

Minutes January 8, 2019

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## **MINUTES**

REGULAR MEETING  
PLANNING AND ZONING COMMISSION  
SAN LUIS COUNCIL CHAMBERS  
1090 E. UNION STREET  
JANUARY 8, 2019  
7:00 PM

**1. CALL TO THE ORDER /ROL CALL:** The meeting was called to order at approximately 7:02 PM., by Chairman Javier Barraza.

**2. PLEDGE OF ALLEGIANCE:** Pledge of Allegiance was led by Commission Member Daniel Bazua.

**PRESENT:**

- Chairman Javier Barraza
- Vice Chairman Marco A. Pinzon
- Commission Member Daniel Bazua
- Commission Member Hugo Garcia
- Commission Member Guillermina Fuentes
- Commission Member Veronica Zavala

**Others Present:**

- Jose A. Guzman, Director of Planning and Zoning
- Roman Pacheco, Planning Technician
- Kay Macuil, City Attorney
- Ric Bauermann, Fire Department
- Concepcion R. Ulloa, San Luis Resident
- Gary Black, Comite de Bienestar
- Vianey Vega, Vega & Vega Engineering, PLC.
- Elizabeth Carpenter, Sam Group
- Council Member Matias Rosales
- Council Member Jose A. Ponce

### **3. PRESENTATIONS**

**Presentation of plaque to Jose A. Ponce in recognition of his years of service to the Planning and Zoning Commission.**

A plaque was presented to **Mr. Jose A. Ponce** by **Mr. Jose A. Guzman, Director of Planning and Zoning** to thank him for his years of service to Planning and Zoning Commission Meeting and to wish him good luck as a Council Member.

### **4. CONSENT AGENDA**

#### **4. B. APPROVAL OF MINUTES**

-Regular Planning and Zoning Commission meeting held October 9, 2018

**MOTION: Vice Chairman Marco A. Pinzon/Commission Member Daniel Bazua** to approve the consent agenda as presented. Motion passed unanimously (6-0).

**5. PUBLIC HEARINGS** – the Planning & Zoning Commission will be considering a vote or action on the following cases. Any vote or action will be considered separately for each case.

**5. A. Public hearing followed by discussion and possible action on any and all matters regarding Minor General Plan Amendment Case No. 2018-0682. A request by Vega and Vega Engineering PLC, on behalf of Sam Group Investment Company LTD Partnership, property owner, to amend the 2020 General Plan by changing the Land Use Designation of 18.76 acres from Business to Neighborhood.**

#### **A. Open public hearing**

**Chairman Javier Barraza** to open public hearing.

## **1. Staff presentation**

**Mr. Jose A. Guzman, Director of Planning and Zoning** stated that this request that is being made by Vega and Vega Engineering in which the main purpose of the Minor General Plan Amendment is to change the land use from business to neighborhood. He further explained that the current zoning of the 18.76 acres is Light Industrial (L-I) to be changed to Medium Density Residential (R1-6). He added that in order to do so the land designation of the general plan had to be changed, therefore needing a minor amendment.

**Chairman Javier Barraza** addressed some of the concerns staff had regarding the difference between a Minor and a Major General Plan Amendment. He added that the threshold is 20 acres therefore in the future if the remainder come back it has to be a Major General Plan Amendment.

**Mr. Guzman** certified that the applicant was made aware of the case and agreed to submit an application for this coming year.

**Chairman Barraza** had a concern of if there were to be a change of ownership, if that would affect the Major General Plan Amendment.

**Ms. Kay Macuil, City Attorney** assured him that a change of ownership would not affect the requirements.

## **2. Call to the Public on this item**

**Mr. Vianey Vega, Vega & Vega Engineering** stated that he is aware that the remainder of the land will be handled through a Major General Plan Amendment. He added that the purpose of the Minor General Plan Amendment is to allow them to be able to get started on the first phase of the project.

**Chairman Barraza** asked what the area of the parcel was, to which **Mr. Vega** replied was 40 acres including some right-of-way dedication.

## **B. Close public hearing**

**Chairman Javier Barraza** to close public hearing.

## **C. Action on Minor General Plan Amendment Case No. 2018-0682**

**MOTION: Commission Member Guillermina Fuentes/Commission Member Daniel Bazua** to forward Minor Amendment request to City Council with approval recommendation. Motion passed unanimously. (6-0)

**5. B. Public hearing followed by discussion and possible action on any and all matters regarding Rezoning Case No. 2018-0683. A request by Vega and Vega Engineering PLC, on behalf of Sam Group Investment Company LTD Partnership, property owner, to rezone 18.74 acres from Light Industrial (L-I) to Medium Density Residential (R1-6).**

## **A. Open public hearing**

**Chairman Javier Barraza** to open public hearing.

### **1. Staff presentation**

**Mr. Jose A. Guzman, Director of Planning and Zoning** stated that this item is the same as the previous item. He added that this is the change of Light Industrial (L-I) to be changed to Medium Density Residential (R1-6) after the Minor General Plan Amendment is in place making it compatible with the general plan.

## **2. Call to the Public on this item**

There was no comment from the public.

## **B. Close public hearing**

**Chairman Javier Barraza** to close public hearing.

## **C. Action on Rezoning Case No. 2018-0683**

**MOTION: Commission Member Guillermina Fuentes/Vice Chairman Marco A. Pinzon** to forward Rezoning Case to City Council with approval recommendation. Motion passed unanimously. (6-0)

**6. ITEMS REQUIRING DISCUSSION AND/OR ACTION** – the Planning & Zoning Commission will be considering a vote or action on the following cases. Any vote or action will be considered separately for each case.

**6. A. Discussion and possible action on any all matter regarding request to accept application for property concerning Rezoning Case No. 2018-0321 in accordance with City Code Section 152.042(I).**

### **A. Staff presentation**

**Mr. Jose A. Guzman, Director of Planning and Zoning** stated that this item was presented to the Commission back in October 18, 2018, and was requested to be withdrawn by the applicant. He added that according to the City Code whenever a Rezoning application is withdrawn after a public hearing, there has to be a waiting period of 12 months in order for it to be resubmitted or have the commission accept the application by majority vote. **Mr. Guzman** stated that this was a request to accept the application before the 12 month waiting period.

**Commission Member Guillermina Fuentes** asked how many times an item has been presented and pulled back and been presented again.

**Mr. Guzman** stated that this was the first time someone was reapplying before the 12 month waiting period.

**Commission Member Fuentes** stated that for the record she abstains from voting on this item.

**Commission Member Marco A. Pinzon** asked since we are missing a member should it be better to table this item until we have the position filled.

**Kay Macuil, City Attorney**, responded I have not seen case law on our situation as to whether we vote now with one remaining vacant seat or we still consider it a commission of seven, so if you like to move this to another meeting so I can look into that or until we get another member.

After further discussion between the commission members it was decided that a vote would take place once the Commission Board was complete, therefore moving this item to the next Regular Planning and Zoning Commission Meeting.

#### **B. Action on Application Acceptance Request.**

**MOTION: Vice Chairman Marco A. Pinzon /Commission Member Hugo Garcia** to continue this item to the next Regular Planning and Zoning Commission Meeting. Motion passed unanimously. (6-0)

**6. B. Discussion and possible action on any and all matters regarding Subdivision Case No. 2018-0633F. A request by Vega and Vega Engineering PLC on behalf of Comite de Bienestar Inc., property owner, for the final plat approval for Bienestar Estates 9C Subdivision to be located at 3415 E. Janet Napolitano Boulevard, San Luis, Arizona.**

#### **A. Staff presentation**

**Mr. Jose A. Guzman, Director of Planning and Zoning** stated that this Subdivision is proposed to be in one of the tracts in Bienestar 9B, and to be divided into 16 lots with a minimum lot size of 6,000 square feet. He further added that review comments have been sent to the engineer and there were some comments that had to be more proactive and development friendly. Therefore recommendation of the approval of the request is with the condition that they need all of the comments before taking this item to council.

**Chairman Javier Barraza** asked if this would be part of the new improvement district of part of the existing one for 9B.

**Mr. Guzman** stated that after further research he did not find something regarding changing the specific number of lots within the district.

#### **B. Action on Subdivision Case No. 2018-0633F**

**MOTION: Vice Chairman Marco A. Pinzon /Commission Member Hugo Garcia** to forward Subdivision Case No. 2018-0633F with an approval recommendation to the City Council. Recommendation subject to the attached conditions of approval. Motion passed unanimously. (6-0)

**6. C. Discussion and possible action on any and all matters regarding Subdivision Case No. 2018-0634F. A request by Vega and Vega Engineering PLC, on behalf of Comite de Bienestar Inc., property owner, for the final plat approval for Bienestar Estates Condominiums to be located at 495 N. Janet Napolitano Boulevard, San Luis, Arizona.**

#### **A. Staff presentation**

**Mr. Jose A. Guzman, Director of Planning and Zoning** stated that this proposed Subdivision will be for 12 condominiums and within the same Subdivision as the previous item. He further showed a site plan showing the way lots are going to be divided. **Mr. Guzman** added that there are a few comments that still need to be addressed before going to council, therefore recommendation of this request is for approval with the condition that they need to address all comments before

taking this item to Council. He added that since they are governed by a State Law they will be following different regulations.

**Mr. Vianey Vega, Vega & Vega Engineering** state that the project was going to be handled as condominiums at the beginning, but has been changed to town homes since. He further explained the exact measurements of the lots. **Mr. Vega** mentioned that he will be working on addressing the comments before going to council.

#### **B. Action on Subdivision Case No. 2018-0634F**

**MOTION: Commission Member Hugo Garcia/Vice Chairman Marco A. Pinzon** to forward Subdivision Case No. 2018-0634F with an approval recommendation to the City Council. Recommendation subject to the attached conditions of approval. Motion passed unanimously. (6-0)

#### **6. D. Election of Officers.**

**MOTION: Chairman Javier Barraza/Commission Member Guillermina Fuentes** to appoint **Marco A. Pinzon** to serve as Chairperson of the Planning and Zoning Commission. Motion passed unanimously. (6-0)

**MOTION: Commission Member Guillermina Fuentes/Vice Chairman Marco A. Pinzon** to appoint **Daniel Bazua** to serve as Vice-Chair-Person of the Planning and Zoning Commission. Motion passed unanimously. (6-0)

#### **7. CALL TO THE PUBLIC**

**Vice Chairman Marco A. Pinzon** thanked Jose A. Ponce for his time serving the commission and wished him luck in his time serving the city.

#### **8. ADJOURNMENT**

**MOTION: Vice Chairman Marco A. Pinzon/Commission Member Guillermina Fuentes** to adjourn the meeting at approximately 7:31 p.m. Motion passed unanimously. (6-0)



## PLANNING & ZONING AGENDA ITEM REVIEW FORM

### Planning & Zoning Commission Meeting

4.A.

**Meeting Date:** 02/12/2019

**Submitted By:** Jose A. Guzman, Director of Planning & Zoning, Planning & Zoning Department

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#### ITEM:

Discussion and possible action on any and all matters regarding a request to accept application for property concerning Rezoning Case No. 2018-0321 in accordance with City Code Section 152.042(I). (Item continued from January 8, 2019 Regular Commission Meeting)

- A. Staff presentation
- B. Action on Application Acceptance Request.

#### BACKGROUND:

The rezoning request was made by Riedel Holdings LLC on behalf of Border Ranches AZ LLC, owner, to rezone 67.06 acres from Medium-High Density Residential (R-2) to Medium Density Residential (R1-6). The subject property is located in the east mesa of the City of San Luis on the northeast corner of County 24th Street and 20th Avenue (Assessor Parcel ID No. 227-10-009).

This property was rezoned to the current zoning (R-2) back in 2007 by Ordinance No. 250 with conditions, one of the conditions was to have land dedicated and developed for parks and recreation purposes, at no cost to the City.

The new application to rezone to R1-6 was presented to the Commission and the public hearing was held during their regular meeting of October 9, 2018. The Staff Report, Attachments and Meeting Minutes are attached to this report for reference.

During the public hearing, staff recommendation was for the Commission to forward this case to the City Council with an approval recommendation subject to the condition that the developer negotiated a development agreement with staff before presenting it to City Council.

The Planning and Zoning Commission forwarded this item to the City Council with approval recommendation subject to conditions as suggested by staff.

Staff received a request from the applicant to withdraw the application on October 18, 2018.

#### ANALYSIS:

In accordance with City Code Section 152.042(I) Subsequent applications, *"In the event that an application for amendment is denied by the City Council or that the application is withdrawn after the Commission hearing, the Commission shall not accept another application for the same amendment within 12 months of the original hearing unless agreed to by a super majority three-fourths vote of the Commission."*

In this case the application for rezoning was withdrawn by the applicant after the public hearing of the Commission. Therefore the applicant has to wait 12 months (October 8, 2019) to resubmit the application, unless the Commission agrees to accept the application before said date.

**SUMMARY:**

The applicant is requesting the acceptance of a subsequent application submittal before the 12 months required in order to continue with this project.

This request is for the acceptance of the application only, not the actual rezoning. If the Commission accepts the application, the rezoning request will be presented to the Commission in another meeting for recommendation to City Council.

**RECOMMENDED MOTION:**

**I MOVE TO ACCEPT SUBSEQUENT APPLICATION SUBMITTAL FOR PROPERTY REGARDING REZONING CASE NO. 2018-0321 IN ACCORDANCE WITH CITY CODE SECTION 152.042(I).**

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**Attachments**

Planning and Zoning Commission Meeting Staff Report and Attachments (10-9-18)

Planning and Zoning Commission Meeting Minutes (10-9-18)

Request to Withdraw Application (10-18-18)

Request to Accept Application (11-29-18)

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## PLANNING & ZONING AGENDA ITEM REVIEW FORM

### Planning & Zoning Commission Meeting

4.C.

**Meeting Date:** 10/09/2018

**Submitted By:** Jose A. Guzman, Director of Planning & Zoning, Planning & Zoning Department

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#### ITEM:

Public hearing followed by discussion and possible action on any and all matters regarding Rezoning Case No. 2018-0321. A request by Riedel Holdings LLC on behalf of Border Ranches AZ LLC, owner, to rezone 67.06 acres, located on the northeast corner of County 24th Street and 20th Avenue, from Medium-High Density Residential (R-2) to Medium Density Residential (R1-6).

- A. Open public hearing
  - 1. Staff presentation
  - 2. Call to the Public on this item
- B. Close public hearing
- C. Action on Rezoning Case No. 2018-0321

#### BACKGROUND:

The subject property is located in the east mesa of the City of San Luis; at the northeast corner of County 24th and 20th Avenue (Assessor Parcel ID No. 227-10-009). Bienestar 9A and Santa Cecilia 2 subdivisions are located to the west and are zoned Medium Density Residential (R1-6). Property to the east are zoned Medium-High Density Residential (R-2) and High Density Residential (R-3) and is undeveloped land. Property to the south is zoned as Medium Density Residential (R-2) and Light Industrial (L-1) further south. Property to the north is part of Yuma County and is undeveloped land.

#### GENERAL PLAN:

This area is designated as Neighborhood in the City of San Luis 2020 General Plan. The activities proposed will be consistent with that designation (Chapter 2, Page 19-20). The Neighborhood Land Use designation allows all types of residential development.

#### AGENCY REVIEW:

As part of the review process, all land use cases are reviewed by various City and outside agencies. We have received comments from the following agencies:

- 1. City of San Luis Fire Department
- 2. Yuma County Airport Authority

As required by State Statute staff sent notification letters to property owners within 300 feet of the proposed project(61 letters). The City has not received any other significant concern or objection from the various review agencies or adjacent property owners.

#### CITIZEN REVIEW MEETING:

As required by State Statute (A.R.S. §9-462.03) and City Code (§152.040(C)), a Citizen Review meeting was held at City Hall on October 2, 2018.

The purpose of the Citizen Review Meeting is to provide adjacent landowners and other potentially affected citizens an opportunity to ask questions and express any issues or concerns that they may have

with the proposed rezoning or specific plan application prior to the public hearing. There were no people from the public present.

**ANALYSIS:**

As an effort to alleviate the demand for bigger houses the City Council approved Ordinance No. 347, an ordinance to set up the minimum lot size to 6,000 sq. ft. for new subdivisions.

The reason for the rezoning request is that the property is zoned as Medium-High Density (R-2) which does not allow construction of single detached dwellings. The appropriate zoning for the construction of this subdivision is the requested, Medium Density Residential (R1-6) zoning district.

**SUMMARY:**

As mentioned above, the current zoning is Medium-High Density Residential (R-2) and was approved by Ordinance No. 250 back in 2007. The rezoning was approved with conditions, one of the conditions was to have land dedicated and developed for parks and recreation purposes, at no cost to the City.

Staff recommendation is to recommend approval of the request with the condition that the developer negotiates a development agreement with staff to address conditions of Ordinance No. 250.

**RECOMMENDED MOTION:**

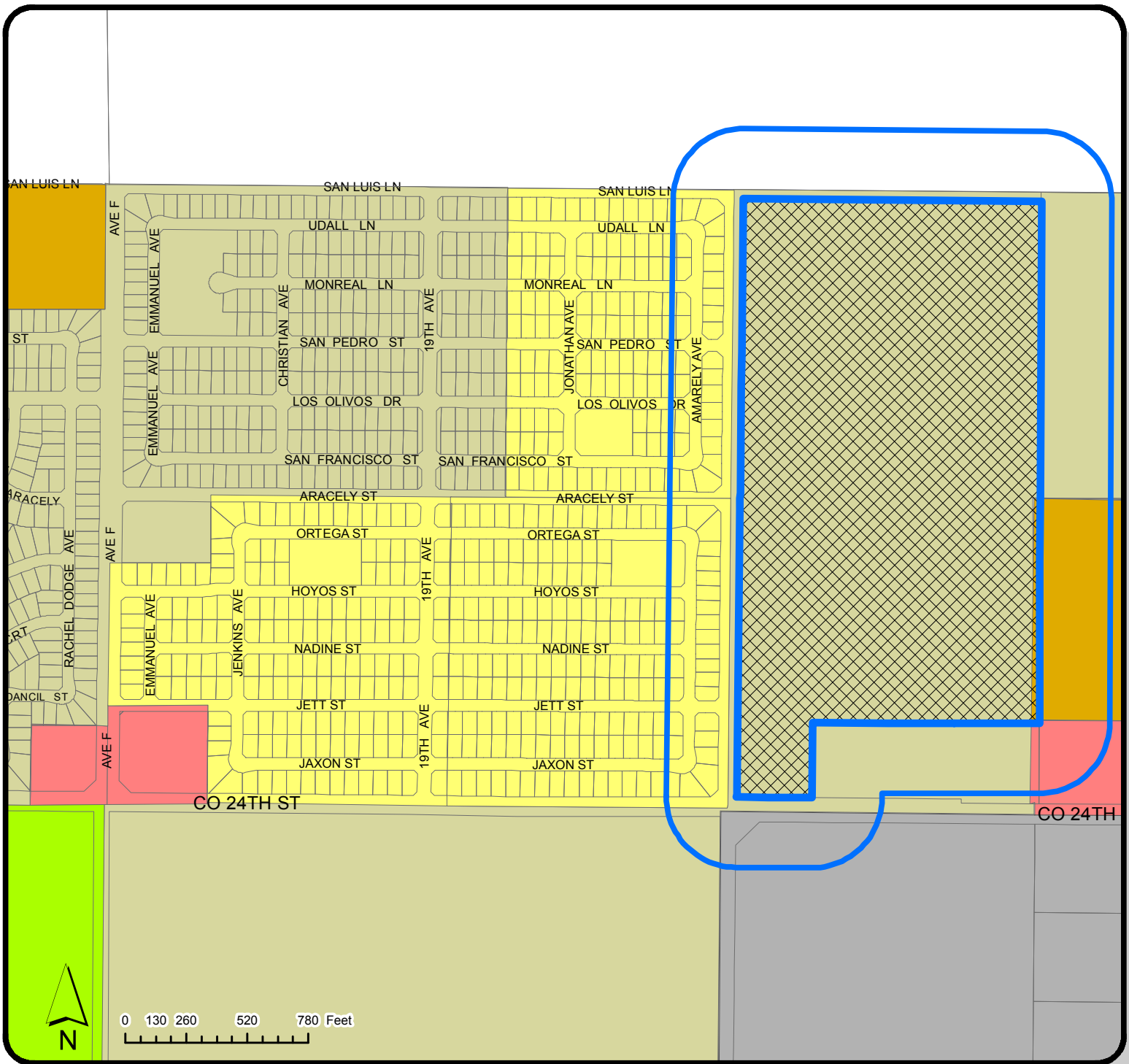
**I MOVE TO FORWARD REZONING CASE NO. 2018-0321 TO THE CITY COUNCIL, WITH AN APPROVAL RECOMMENDATION SUBJECT TO THE CONDITION THAT THE DEVELOPER NEGOTIATES A DEVELOPMENT AGREEMENT WITH STAFF.**

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**Attachments**

Location Map  
Aerial Picture  
Conceptual Plan  
Ordinance No. 250  
San Luis Fire Department comments  
Yuma County Airport Authority

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# Location Map

**REZONING**

**REZONE FROM R-2 to R1-6**



The subject property address/location: North-west corner of County 24th and 20th Avenue; Assessor's Parcel No. 227-10-009 ( approximately 67.06 acres). This is a request to rezone 67.06 acres from R -2 to R1-6.

**Legend**

- MULTIPLE RESIDENCE ZONING DISTRICTS
  - R-2
  - R-3
- INDUSTRIAL ZONING DISTRICTS
  - I
- COMMERCIAL ZONING DISTRICTS
  - C-2
- SINGLE RESIDENCE ZONING DISTRICTS
  - RA-10



**300ft Notification Area**

**Date:**  
9/13/2018

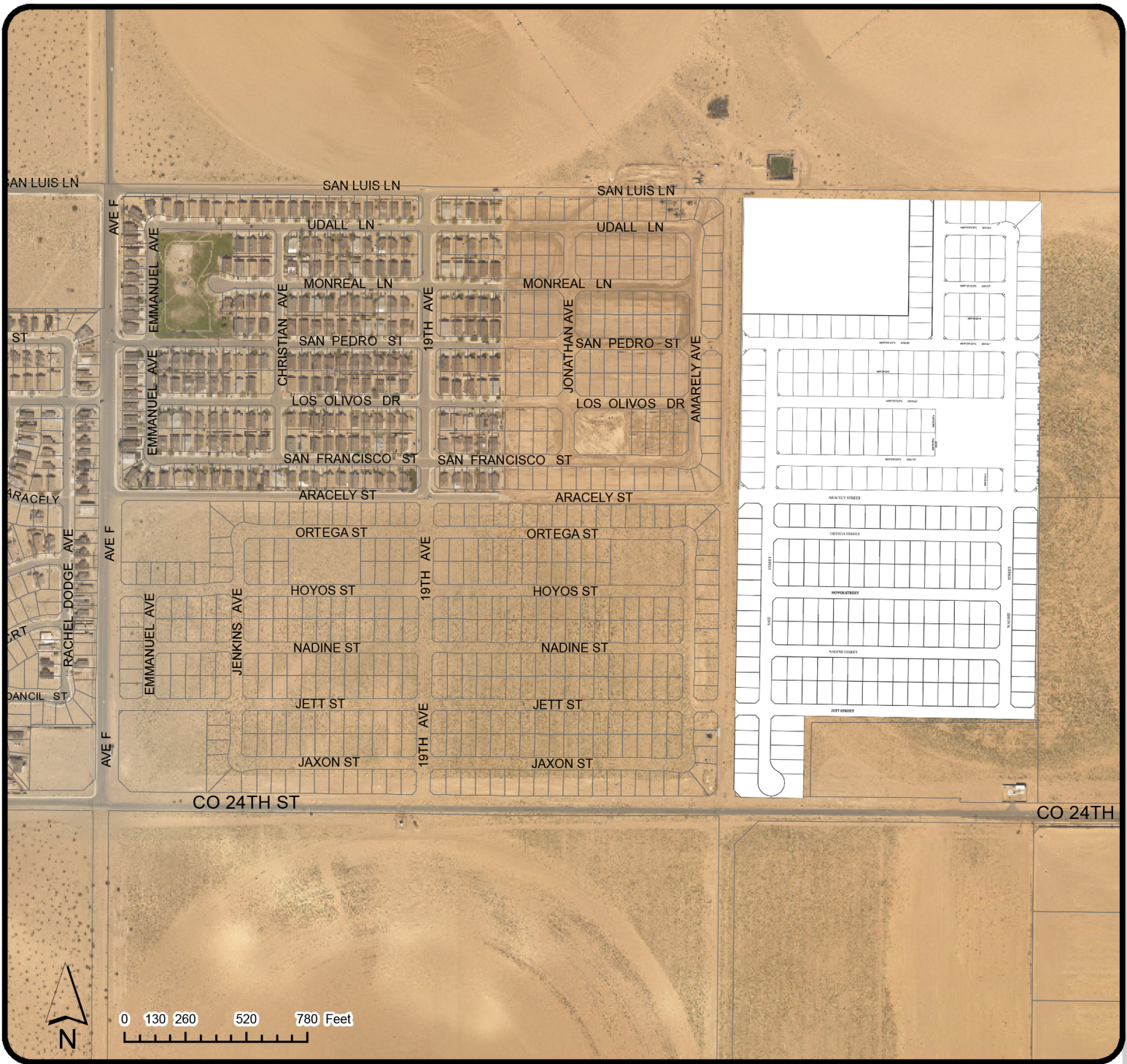
**Checked By:**  
ROMAN PACHECO



**Prepared By:**  
IG

**APPROVED BY:**  
JOSE A. GUZMAN

**Case No.**  
2018-0458



# Location Map

REZONING



The subject property address/location: North-west corner of County 24th and 20th Avenue; Assessor's Parcel No. 227-10-009 ( approximately 67.06 acres). This is a request to rezone 67.06 acres from R-2 to R1-6. Please include location of subject property, zoning legend, north arrow, scale on map, case #, 300 ft. buffer, and all necessary details.



300ft Notification Area

**Date:**

9/13/2018

**Checked By:**

ROMAN PACHECO



GIS DIVISION

**Prepared By:**

IG

**APPROVED BY:**

JOSE A. GUZMAN

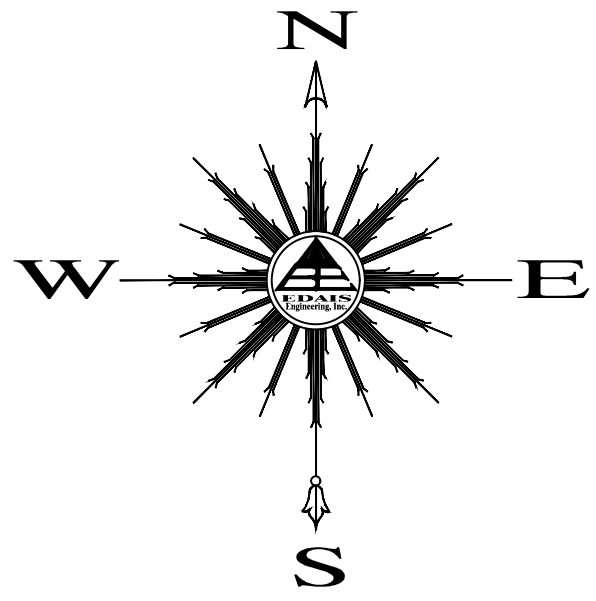
**Case No.**

2018-0458

# SANTA CECILIA No. 3 SUBDIVISION

LOT 3 OF BORDER RANCHES SUBDIVISION AS RECORDED IN BOOK 27 OF PLATS, PAGES 9-10,  
YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, ARIZONA

DATE OF PREPARATION: AUGUST 2018 NUMBER OF LOTS: 141 ACREAGE: 30.30 ACRES



SCALE: 1" = 100'

### LINE DATA

LINE	LENGTH	BEARING
L1	21.20'	N44°58'01"E
L2	21.22'	N45°01'59"W
L3	21.22'	S45°01'59"E
L4	21.20'	S44°57'45"W
L5	21.22'	S45°02'15"E
L6	42.44'	S45°02'03"E
L7	42.41'	S44°58'01"W

### CURVE DATA

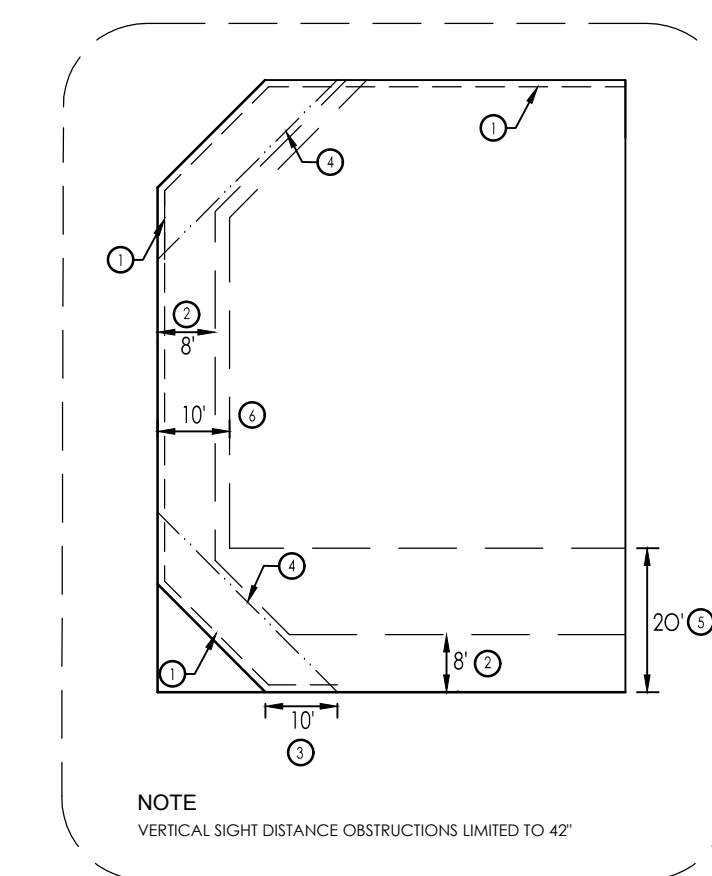
CURVE	DELTA	CHORD DIRECTION	CHORD	TANGENT	RADIUS	LENGTH
C1	062°44'13"	S31°54'52"E	57.78'	33.84'	55.50'	60.77'
C2	134°03'09"	N22°55'06"E	102.20'	130.92'	55.50'	129.85'
C3	090°00'00"	S45°03'20"E	78.49'	55.50'	55.50'	87.18'

### AREAS

LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA
332	5937.50 SF	352	8413.19 SF	372	6253.39 SF	392	6253.39 SF	412	6253.39 SF	432	6253.39 SF	452	6255.90 SF
333	6491.98 SF	353	8413.03 SF	373	6253.39 SF	393	6253.39 SF	413	6253.39 SF	433	6253.39 SF	453	6255.90 SF
334	6484.00 SF	354	9001.44 SF	374	6253.39 SF	394	6253.39 SF	414	6325.10 SF	434	6253.39 SF	454	6255.90 SF
335	6484.00 SF	355	6325.10 SF	375	6253.39 SF	395	6253.39 SF	415	6325.10 SF	435	6253.39 SF	455	6255.90 SF
336	6484.00 SF	356	6253.39 SF	376	6253.39 SF	396	6253.39 SF	416	6253.39 SF	436	6253.39 SF	456	6255.90 SF
337	6484.00 SF	357	6253.39 SF	377	6253.39 SF	397	6253.39 SF	417	6253.39 SF	437	6253.39 SF	457	6255.90 SF
338	6484.00 SF	358	6253.39 SF	378	6253.39 SF	398	6252.97 SF	418	6253.39 SF	438	6253.39 SF	458	6247.44 SF
339	6484.00 SF	359	6253.39 SF	379	6253.39 SF	399	6325.10 SF	419	6253.39 SF	439	6253.39 SF	459	6215.19 SF
340	6484.00 SF	360	6253.39 SF	380	6253.39 SF	400	6325.10 SF	420	6253.39 SF	440	6253.39 SF	460	6275.00 SF
341	6484.00 SF	361	6253.38 SF	381	6253.39 SF	401	6251.37 SF	421	6253.39 SF	441	6253.39 SF	461	6481.98 SF
342	6484.00 SF	362	6253.38 SF	382	6253.39 SF	402	6253.39 SF	422	6253.39 SF	442	6253.39 SF	462	6485.00 SF
343	6484.00 SF	363	6253.38 SF	383	6253.39 SF	403	6253.39 SF	423	6253.39 SF	443	6253.39 SF	463	6485.00 SF
344	6275.00 SF	364	6253.38 SF	384	6325.10 SF	404	6253.39 SF	424	6253.39 SF	444	6325.10 SF	464	6485.00 SF
345	6274.94 SF	365	6253.38 SF	385	6325.10 SF	405	6253.39 SF	425	6253.39 SF	445	6215.19 SF	465	6485.00 SF
346	5999.77 SF	366	6253.38 SF	386	6253.39 SF	406	6253.39 SF	426	6253.39 SF	446	6253.39 SF	466	6485.00 SF
347	5999.60 SF	367	6253.38 SF	387	6253.39 SF	407	6253.39 SF	427	6253.39 SF	447	6253.39 SF	467	6485.00 SF
348	5999.42 SF	368	6256.99 SF	388	6253.39 SF	408	6253.39 SF	428	6248.95 SF	448	6255.90 SF	468	6485.00 SF
349	10865.42 SF	369	6325.10 SF	389	6253.39 SF	409	6253.39 SF	429	6325.10 SF	449	6255.90 SF	469	6485.00 SF
350	9384.52 SF	370	6325.11 SF	390	6253.39 SF	410	6253.39 SF	430	6325.10 SF	450	6255.90 SF	470	6485.00 SF
351	7557.60 SF	371	6255.40 SF	391	6253.39 SF	411	6253.39 SF	431	6247.35 SF	451	6255.90 SF	471	6485.00 SF

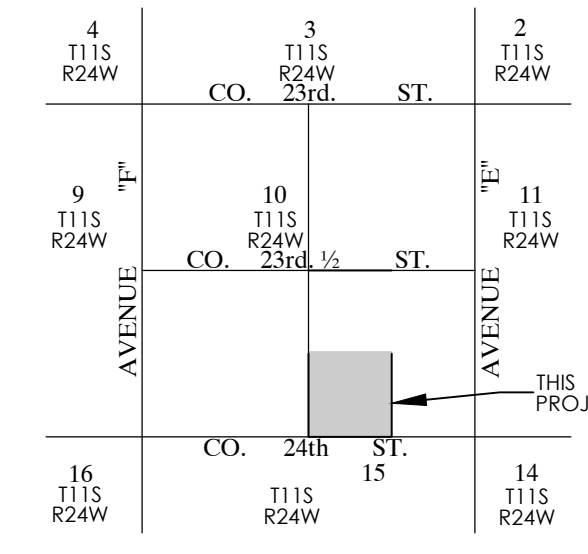
### LEGEND

- CENTERLINE
- RIGHT-OF-WAY (ROW) LINE
- NEW PROPERTY LINE
- EASEMENT (TYPE AS NOTED)
- BOUNDARY LINE
- NEW STREET MONUMENT AS PER YUMA COUNTY STD. DETAIL No. 4-080
- NEW SUBDIVISION BOUNDARY MONUMENT AS PER YUMA COUNTY STD. DETAIL No. 04-030
- EXISTING MONUMENT (TYPE AS SHOWN)
- ① NEW LOT NUMBER
- ④7 EXISTING LOT NUMBER
- A . P . N ASSESSOR PARCEL NUMBER
- B.C. BRASS CAP
- H.H. HAND HOLE
- Y.C.R. YUMA COUNTY RECORDS
- G. & S.R.B. & M. GILA AND SALT RIVER BASE AND MERIDIAN



TYPICAL CORNER LOT DETAIL

### LOCATION MAP



### TRACT AREAS OWNER

TRACT	AREA	OWNER
"A"	1.47 ACRES	R&G ASSOCIATES LLC. P.O. BOX 1649 SAN LUIS, AZ 85349 (928) 627-9385

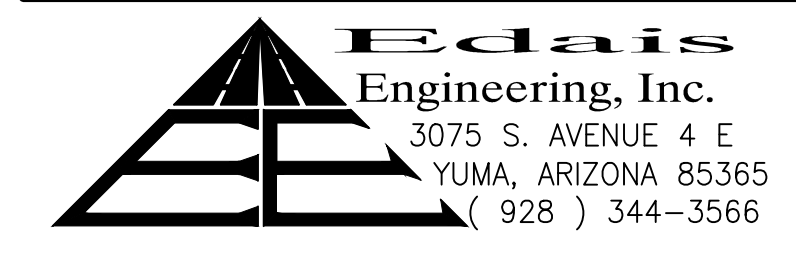
### BASIS OF BEARING

THE WEST LINE OF THE SW 1/4 OF SECTION 10, T11S, R24W, G.S.R.B.&M., YUMA COUNTY, ARIZONA (BEING THE CENTERLINE OF AVENUE "F"), AS SHOWN ON BORDER RANCHES SUBDIVISION, AS RECORDED IN BOOK 27 OF PLATS, PAGES 9&10, YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, ARIZONA, NAMELY BEARING N00°02'42"W

### SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I AM A LAND SURVEYOR LISTED ON THE ROSTER OF ACTIVE REGISTRANTS BY THE STATE BOARD OF TECHNICAL REGISTRATION OF ARIZONA AND THAT THIS MAP CONSISTING OF ONE (1) SHEET CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN.

### PREPARED BY:



**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

# SANTA CECILIA No. 4 SUBDIVISION

LOT 3 OF BORDER RANCHES SUBDIVISION AS RECORDED IN BOOK 27 OF PLATS, PAGES 9-10,  
YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, ARIZONA

DATE OF PREPARATION: AUGUST 2018 NUMBER OF LOTS: 134 ACREAGE: 36.76 ACRES

A.P.N. 227-10-001  
STATE OF ARIZONA  
(UNDEVELOPED LAND)  
ZONING: R1-40

### LINE DATA

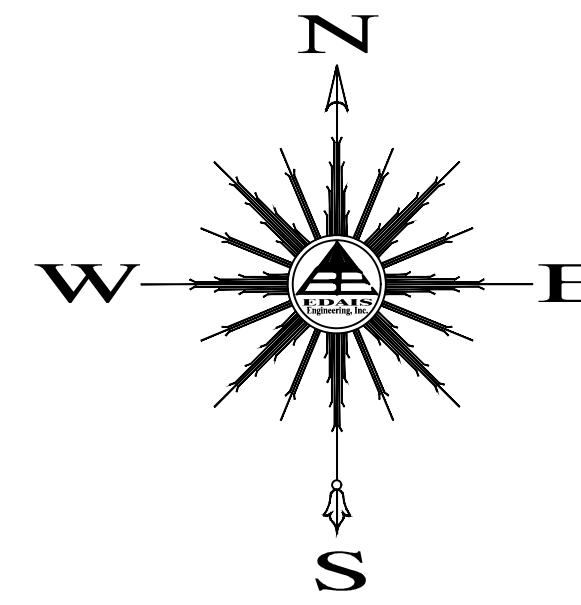
LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L1	21.20'	N44°58'01"E	L8	42.44'	N45°01'59"W
L2	21.22'	N45°01'59"W	L9	42.41'	N44°58'01"W
L3	21.22'	S45°01'59"E	L10	42.41'	S44°57'45"W
L4	21.20'	S44°57'45"W	L11	42.45'	S45°02'15"E
L5	21.22'	S45°02'15"E			
L6	50.00'	S10°19'26"W			
L7	49.84'	N79°34'51"E			

### CURVE DATA

CURVE	DELTA	CHORD DIRECTION	CHORD	TANGENT	RADIUS	LENGTH
C4	110°44'35"	N45°02'51"W	98.74'	86.88'	60.00'	115.97'

### AREAS

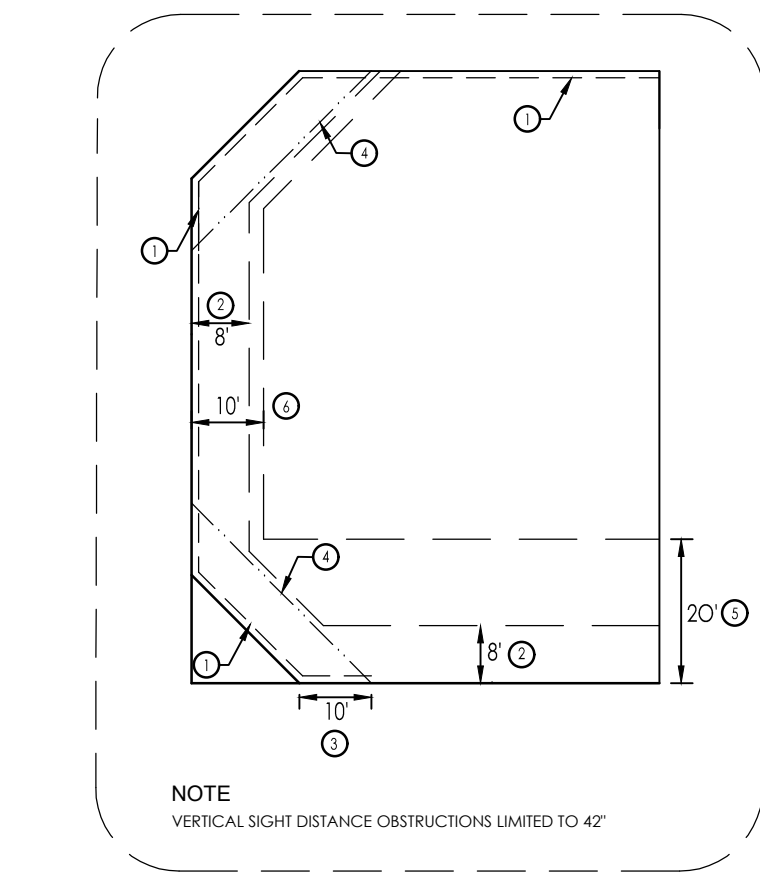
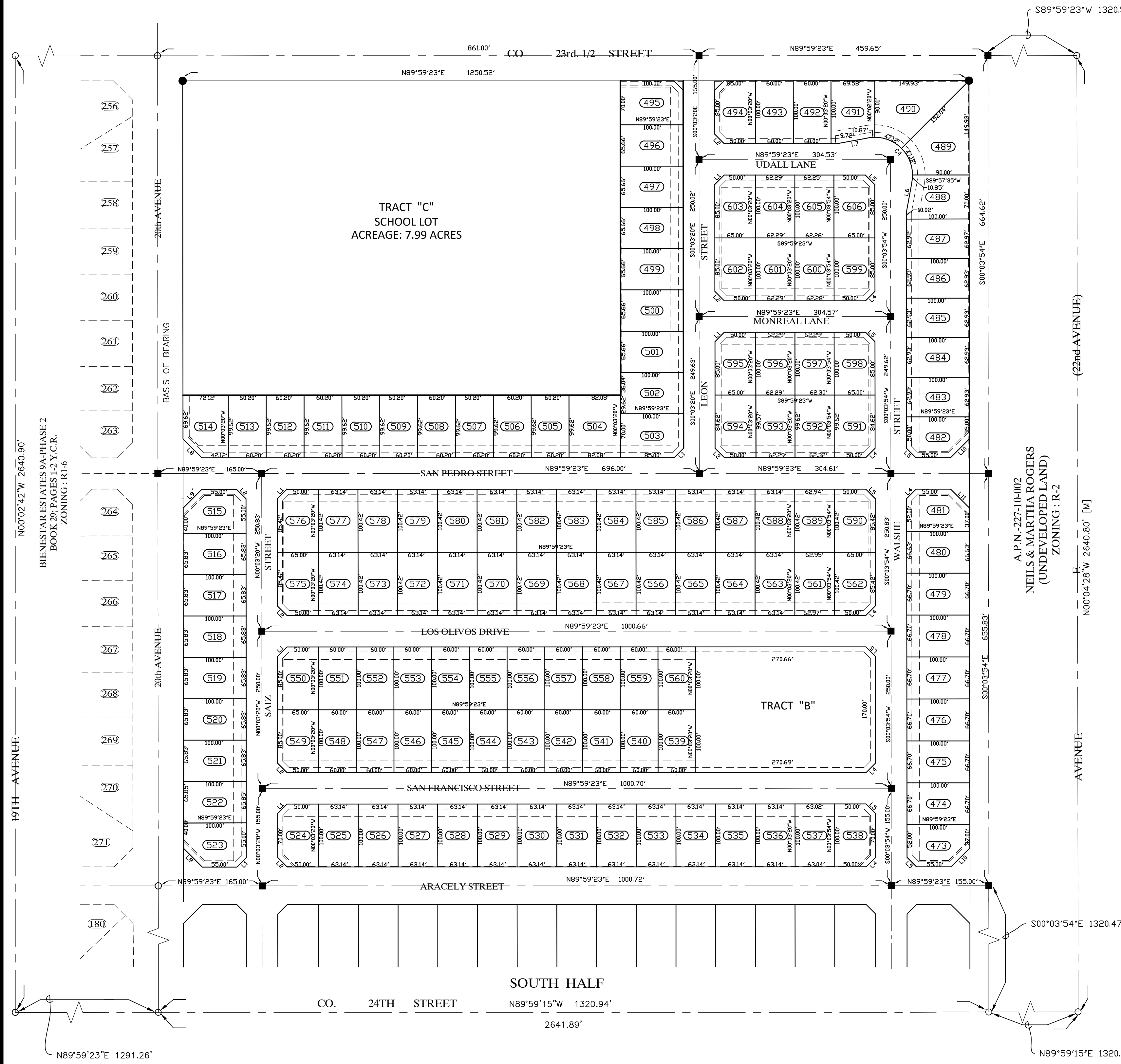
LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA
473	6137.50 SF	493	6000.00 SF	513	5997.17 SF	533	6314.00 SF	553	5999.99 SF	573	6340.21 SF	593	6205.42 SF
474	6670.00 SF	494	6387.50 SF	514	6734.65 SF	534	6314.00 SF	554	6000.01 SF	574	6340.21 SF	594	6362.89 SF
475	6670.00 SF	495	6887.51 SF	515	6437.50 SF	535	6314.00 SF	555	5999.98 SF	575	6414.48 SF	595	6387.50 SF
476	6670.00 SF	496	6566.01 SF	516	6583.00 SF	536	6314.00 SF	556	6000.00 SF	576	6414.48 SF	596	6229.00 SF
477	6670.00 SF	497	6566.02 SF	517	6583.00 SF	537	6302.85 SF	557	6000.02 SF	577	6340.21 SF	597	6229.56 SF
478	6670.00 SF	498	6566.03 SF	518	6583.00 SF	538	6275.00 SF	558	6000.00 SF	578	6340.21 SF	598	6387.50 SF
479	6670.00 SF	499	6566.03 SF	519	6583.00 SF	539	6000.00 SF	559	6000.00 SF	579	6340.21 SF	599	6387.50 SF
480	6663.00 SF	500	6566.04 SF	520	6583.00 SF	540	6000.00 SF	560	6000.00 SF	580	6340.21 SF	600	6227.11 SF
481	6137.50 SF	501	6566.05 SF	521	6583.00 SF	541	6000.00 SF	561	6322.43 SF	581	6340.21 SF	601	6229.00 SF
482	5937.50 SF	502	6566.18 SF	522	6585.00 SF	542	6000.01 SF	562	6414.48 SF	582	6340.21 SF	602	6387.50 SF
483	6293.00 SF	503	6888.20 SF	523	6437.50 SF	543	6000.00 SF	563	6340.21 SF	583	6340.21 SF	603	6387.50 SF
484	6293.00 SF	504	8176.83 SF	524	6275.00 SF	544	6000.00 SF	564	6340.21 SF	584	6340.21 SF	604	6229.00 SF
485	6293.00 SF	505	5997.20 SF	525	6314.00 SF	545	6000.00 SF	565	6340.21 SF	585	6340.21 SF	605	6225.47 SF
486	6293.00 SF	506	5997.19 SF	526	6314.00 SF	546	6000.00 SF	566	6340.21 SF	586	6340.21 SF	606	6387.50 SF
487	6294.55 SF	507	5997.19 SF	527	6314.00 SF	547	6000.00 SF	567	6340.21 SF	587	6340.21 SF		
488	6673.86 SF	508	5997.19 SF	528	6314.00 SF	548	6000.00 SF	568	6340.21 SF	588	6340.21 SF		
489	9831.07 SF	509	5997.18 SF	529	6314.00 SF	549	6387.50 SF	569	6340.21 SF	589	6320.78 SF		
490	9831.82 SF	510	5997.18 SF	530	6314.00 SF	550	6387.50 SF	570	6340.21 SF	590	6414.48 SF		
491	6631.43 SF	511	5997.18 SF	531	6314.00 SF	551	6000.00 SF	571	6340.21 SF	591	6362.91 SF		
492	6000.00 SF	512	5997.18 SF	532	6314.00 SF	552	6000.00 SF	572	6340.21 SF	592	6207.61 SF		



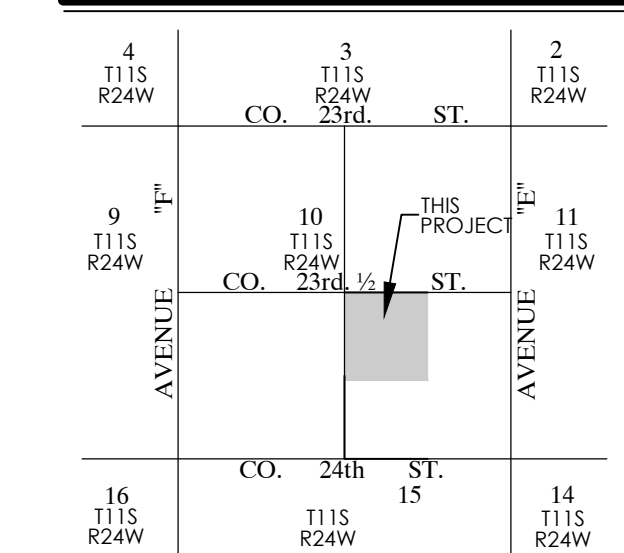
SCALE: 1" = 100'

### LEGEND

- CENTERLINE
- RIGHT-OF-WAY (ROW) LINE
- NEW PROPERTY LINE
- EASEMENT (TYPE AS NOTED)
- BOUNDARY LINE
- NEW STREET MONUMENT AS PER YUMA COUNTY STD. DETAIL No. 4-080
- NEW SUBDIVISION BOUNDARY MONUMENT AS PER YUMA COUNTY STD. DETAIL No. 04-030
- EXISTING MONUMENT (TYPE AS SHOWN)
- ① NEW LOT NUMBER
- ④ EXISTING LOT NUMBER
- A.P.N. ASSESSOR PARCEL NUMBER
- B.C. BRASS CAP
- H.H. HAND HOLE
- (M) MEASURED DATA
- (R1) REFERS TO BORDER RANCHES SUBDIVISION RECORDED IN BOOK 27 OF PLATS, PAGE 9 YUMA COUNTY RECORDS
- (I1) DATA REFER TO GENERAL LAND OFFICE PLAT OF SECTION 10, T11S, R24, OFFICIALLY FILED ON 3-12-1922, YUMA COUNTY RECORDS, YUMA COUNTY, AZ. YUMA COUNTY RECORDS
- Y.C.R. YUMA COUNTY RECORDS
- G.&S.R.B.&M. GILA AND SALT RIVER BASE AND MERIDIAN



### LOCATION MAP



### TRACT AREAS OWNER

TRACT	AREA	OWNER
"A"	1.91 ACRES	RIEDEL HOLDINGS, LLC
"B"	7.99 ACRES	P.O. BOX 1649 SAN LUIS, AZ 85349 (928) 627-8593

### BASIS OF BEARING

THE WEST LINE OF THE SW 1/4 OF SECTION 10, T11S, R24W, G.&S.R.B.&M., YUMA COUNTY, ARIZONA (BEING THE CENTERLINE OF AVENUE "T"), AS SHOWN ON BORDER RANCHES SUBDIVISION, AS RECORDED IN BOOK 27 OF PLATS, PAGES 9&10, YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, ARIZONA, NAMELY BEARING N00°02'42"W

### SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I AM A LAND SURVEYOR LISTED ON THE ROSTER OF ACTIVE REGISTRANTS BY THE STATE BOARD OF TECHNICAL REGISTRATION OF ARIZONA AND THAT THIS MAP CONSISTING OF ONE (1) SHEET CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION, THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN.

### PREPARED BY:

**Edais**  
Engineering, Inc.  
3075 S. AVENUE 4 E  
YUMA, ARIZONA 85365  
(928) 344-3566

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

WHEN RECORDED MAIL TO:  
CITY OF SAN LUIS  
P.O. BOX 1170  
SAN LUIS, AZ 85349  
ATTN: CITY CLERK

OFFICIAL RECORDS OF  
YUMA COUNTY RECORDER  
SUSAN MARLER



**FEE #: 2007 – 16715**

05/07/2007 10:08 PAGES: 0004  
FEES: 3.00 4.00 1.00 .00 .00  
REQ BY: CITY OF SAN LUIS  
REC BY: PATTY MAGANA

COPY  
AS TO FILING DATA ONLY

The above area is to be reserved for recording information

\*\*\*\*\*

**C A P T I O N   H E A D I N G :**

**Ordinance No. 250**



# *Ordinance*

## ORDINANCE NO. 250

OFFICE OF THE  
MAYOR  
CITY OF SAN LUIS

AN ORDINANCE OF THE MAYOR AND CITY COUNCIL OF THE CITY OF SAN LUIS, ARIZONA, AMENDING ORDINANCE NO. 13, AS AMENDED, REZONING 280 ACRES LOCATED AT THE NORTH-EAST CORNER OF AVENUE 'F' AND COUNTY 24<sup>TH</sup> STREET FROM COUNTY RURAL AREA TEN (10) ACRE PARCELS (RA-10) TO INTERMEDIATE DENSITY RESIDENTIAL (R-2) ON 257.5 ACRES, TO HIGH DENSITY RESIDENTIAL (R-3) ON 10 ACRES AND TO GENERAL COMMERCIAL (C-2) ON 12.5 ACRES, AND AMENDING THE ZONING MAP TO CONFORM THERETO.

BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF SAN LUIS, ARIZONA, AS FOLLOWS:

**Section 1:** That Ordinance #13, as amended, be further amended that the real property described as follows:

The southwest quarter of section 10 except the south 330 feet of the west 330 feet.

The southeast quarter of section 10 except the southeast quarter of the southeast quarter and except the east half of the north-east quarter of the southeast quarter of said section 10.

Said section 10 being in Township 11 South, Range 24 West of the Gila and Salt River Base and Meridian. Yuma County, Arizona.

Be rezoned from County RA-10 to Intermediate Density Residential (R-2) as defined in Ordinance #13, as amended, and upon this ordinance taking effect, shall be subject to all rules, regulations and requirements of the R-2 Zoning District of Ordinance #13, as amended.

**Section 2:** That Ordinance #13, as amended, be further amended that the real property described as follows:

The west half of the east half of the northeast quarter of the southeast quarter of Section 10, Township 11 South, Range 24 West of the Gila and Salt River Base and Meridian. Yuma County, Arizona.

Be rezoned from County RA-10 to High Density Residential (R-3) as defined in Ordinance #13, as amended, and upon this ordinance taking effect, shall be subject to all rules, regulations and requirements of the R-3 Zoning District of Ordinance #13, as amended.

**Section 3:** That Ordinance #13, as amended, be further amended that the real property described as follows:

The south 330 feet of the west 330 feet of the southwest quarter and the east half of the east half of the northeast quarter of the southeast quarter of Section 10, Township 11 South, Range 24 West of the Gila and Salt River Base and Meridian. Yuma County, Arizona.

Be rezoned from County RA-10 to General Commercial (C-2) as defined in Ordinance #13, as amended, and upon this ordinance taking effect, shall be subject to all rules, regulations, and requirements of the C-2 Zoning District of Ordinance #13, as amended.

**Section 4:** Adoption of this ordinance will include the following conditions:


1. Dedication of an additional seventeen feet of street right-of-way along County 24<sup>th</sup> Street.
2. Dedication of an additional seventeen feet of street right-of-way along Avenue 'F'
3. Dedication of forty (40) feet of street right-of-way along County 23 ½ Street.
4. All off-site improvements noted in the "Joint Development Agreement" made on the 16<sup>th</sup> day of March 2007 between the Comite de Bienestar, Border Ranches LLC and Sam Group to be constructed.
5. That land be dedicated and developed throughout the property being rezoned for parks and recreation purposes, at no cost to the City. These dedications shall be made at the discretion of the city and approved at the time of subdivision plat approval. The amount acreage dedicated shall not be less than a total of 12 nor more than 15 acres. Said land may be used for water/drainage retention purposes.
6. That the property be developed and all of the conditions met within 5 years of the effective date of this ordinance or the zoning will revert to the present previous zoning classification.

**Section 5:** That the zoning map adopted under said Ordinance #13, as amended is hereby ordered to be changed so as to show that said real property described in this ordinance is located within the zoning district herein provided.

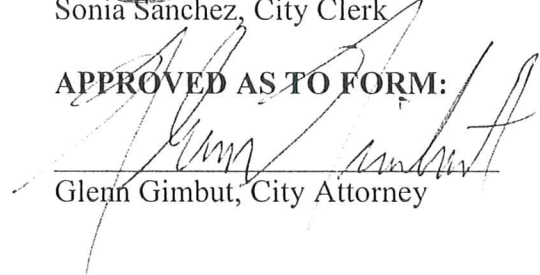
**PASSED AND ADOPTED** by the Mayor and City Council of the City of San Luis,  
Arizona, this 25<sup>th</sup> day of April, 2007.

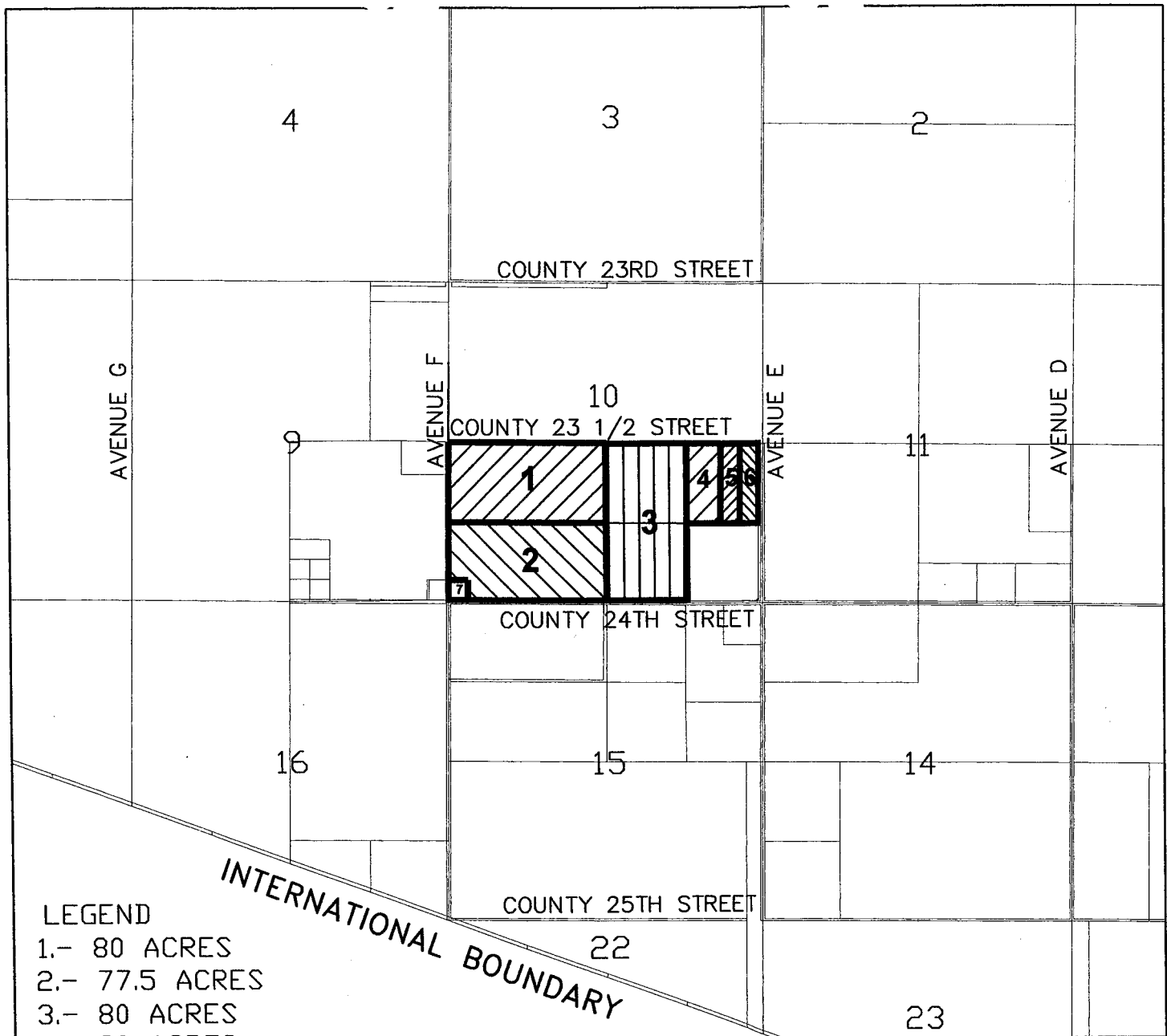
  
Juan Carlos Escamilla, Mayor

**ATTEST:**

  
\_\_\_\_\_  
Sonia Sanchez, City Clerk

**APPROVED AS TO FORM:**

  
\_\_\_\_\_  
Glenn Gimbut, City Attorney



**LEGEND**

- 1.- 80 ACRES
- 2.- 77.5 ACRES
- 3.- 80 ACRES
- 4.- 20 ACRES
- 5.- 10 ACRES
- 6.- 10 ACRES
- 7.- 2.5 ACRES

LOCATION MAP

LOCATION OF SUBJECT PROPERTY



*Rezoning 07-04*

**ORDINANCE NO.**



Prepared By: DMS

Checked By:

Planning & Zoning  
GIS Work



Date: 12/10/07

Revised:

**250**



September 14, 2018

**REZONING CASE NUMBER: 2018-0458**

**CASE SUMMARY:** A request by Riedel Holdings LLC, applicant, on behalf of Border Ranches, LLC, owner, to rezone 67.06 acres from Medium-High Density Residential (R-2) to Medium Density Residential (R1-6) zoning district. Assessor parcel ID # 227-10-009 located at North-west corner of County 24<sup>th</sup> and 20<sup>th</sup> Avenue, San Luis, Arizona. The purpose of the zone change is to allow for the building of a future subdivisions to be called Santa Cecilia No. 3 and 4.

A Citizen Review Meeting has been scheduled on the 2<sup>nd</sup> day of October, 2018 at 6:00 p.m. at the San Luis City Hall Council Chambers, 1090 E. Union Street, San Luis, Arizona, in order to give interested parties an opportunity to meet with the applicant to have questions answered and express any issues or concerns prior to any public hearing.

**PUBLIC HEARING: October 9, 2018**

**COMMENTS DUE: September 20, 2018**

Your comments on this case will help us prepare an accurate and timely staff report. Your comments on this case will be inserted "as is" into the staff report with your name, department, and telephone number, should the applicant have any questions. Your comments are a public record and will be available to the public, media, and the applicant, in addition to the Commission hearing this case. Please complete the section below and return via e-mail. For additional information please contact me at 341-8563, extension 2014, or at [Jaguzman@cityofsanluis.org](mailto:Jaguzman@cityofsanluis.org)

Thank you,

Jose A. Guzman  
Director of Planning & Zoning  
Attachment: Location Map and Conceptual Plan

.....  
 COMMENTS       NO COMMENTS

**Enter Comments below:**

The City of San Luis Fire Department has no comments at this time, but reserves the right to comment upon subsequent submittals. Final decisions regarding this request are best made by the Planning and Zoning Department

**Date:**

09/17/18

**Agency:**

The City of San Luis Fire Department

**Phone:**

928/341-8550

**Return to:** [P&Z@cityofsanluis.org](mailto:P&Z@cityofsanluis.org)



September 14, 2018

**REZONING CASE NUMBER: 2018-0458**

**CASE SUMMARY:** A request by Riedel Holdings LLC, applicant, on behalf of Border Ranches, LLC, owner, to rezone 67.06 acres from Medium-High Density Residential (R-2) to Medium Density Residential (R1-6) zoning district. Assessor parcel ID # 227-10-009 located at North-west corner of County 24<sup>th</sup> and 20<sup>th</sup> Avenue, San Luis, Arizona. The purpose of the zone change is to allow for the building of a future subdivisions to be called Santa Cecilia No. 3 and 4.

A Citizen Review Meeting has been scheduled on the 2<sup>nd</sup> day of October, 2018 at 6:00 p.m. at the San Luis City Hall Council Chambers, 1090 E. Union Street, San Luis, Arizona, in order to give interested parties an opportunity to meet with the applicant to have questions answered and express any issues or concerns prior to any public hearing.

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**COMMENTS DUE: September 20, 2018**

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Thank you,

Jose A. Guzman  
Director of Planning & Zoning  
Attachment: Location Map and Conceptual Plan

.....  
 COMMENTS       NO COMMENTS     

**Enter Comments below:**

The property is located near Rolle Airfield where aviation activity is expected to increase in the near future. It is recommended to submit an Avigation Easement acknowledging aviation activities. Thank you for the opportunity to comment.

**Date:**

9/15/18

**Agency:**

Yuma County Airport Authority

**Phone:**

928-726-5882

**Return to:** [P&Z@cityofsanluis.org](mailto:P&Z@cityofsanluis.org)

**4. C. Public hearing followed by discussion and possible action on any and all matters regarding Rezoning Case No. 2018-0321. A request by Riedel Holdings LLC on behalf of Border Ranches AZ LLC, owner, to rezone 67.06 acres, located on the northeast corner of County 24th Street and 20th Avenue, from Medium-High Density Residential (R-2) to Medium Density Residential (R1-6).**

**A. Open public hearing**

**Chairman Javier Barraza** to open public hearing.

**1. Staff presentation**

**Mr. Jose A. Guzman, Director of Planning and Zoning**, stated that this request was to rezone 67 acres from R-2 to R1-6 located in the east mesa of the City of San Luis. He added that the current zoning is R-2, which was approved by Ordinance No. 250 in 2007. **Mr. Guzman** mentioned that it included some conditions, one of them being to have land dedicated to the city for parks, and recreational purposes at no cost to the city. He added that approval of this item had the condition that the applicant negotiates the development agreement, before taking it to council.

**Commission Member Guillermina Fuentes** asked how many houses could fit in 67 acres.

**Mr. Guzman** stated that anywhere between 270-275 lots. He added that they are also proposing a lot for a school.

**Commission Member Guillermina Fuentes** asked if the city has enough services to serve the subdivision.

**Mr. Guzman** stated that the city has enough facilities to serve the subdivision.

**Vice Chairman Marco A. Pinzon** asked if we were complete on the piping.

**Mr. Guzman** stated that the sewer diversion project was completed years ago, which gave more capacity to the east.

**Commission Member Guillermina Fuentes** asked why developers are always subject to negotiate conditions, and why is it that they do not do it first, but rather come to the Commission.

**Ms. Kay Macuil, City Attorney** stated that the contracts are approved by Council, and do not need the recommendation from the Planning and Zoning Commission.

**Commission Member Guillermina Fuentes** added that developers should be negotiating with the City. She added that with builders it is done like that, so it should be like that for developers as well.

**Mr. Guzman** stated that the purpose is to have the approval of the Commission, and also for them to ask questions, or add any conditions if they want. He added that once the rezoning goes to the City Council they take the development agreement and the rezoning at the same time.

## **2. Call to the Public on this item**

There was no comment from the public.

### **B. Close public hearing**

**Chairman Javier Barraza** to close public hearing.

### **C. Action on Rezoning Case No. 2018-0321**

**MOTION: Commission Member Hugo Garcia/Vice Chairman Marco A. Pinzon** to forward Rezoning Case No. 2018-0321 to the City Council, with an approval recommendation subject to the condition that the developer negotiates a development agreement with staff. Motion passed unanimously with 4 ayes and 1 nay from Commission Member Guillermina Fuentes. (4-1)

## Jose A. Guzman

---

**From:** Nieves G Riedel <ngriedel@hotmail.com>  
**Sent:** Thursday, October 18, 2018 8:05 AM  
**To:** Jose A. Guzman; Roman Pacheco  
**Subject:** Rezoning Santa Cecilia # 3

Good morning everyone.

Roman I am requesting a withdrawal of the Rezoning application for santa Cecilia # 3 Consider these a formal request.  
If you have any questions please call me.

Sent from my iPad. Thanks Nieves

## Jose A. Guzman

---

**From:** Nieves G Riedel <ngriedel@hotmail.com>  
**Sent:** Thursday, November 29, 2018 3:10 PM  
**To:** Jose A. Guzman; Roman Pacheco  
**Subject:** Santa Cecilia 3 - 4 Rezoning application.

Good afternoon Jose .

I am writing these letter concerning the Rezoning application form that we submitted to the city of San Luis on 8-21-18 for Santa Cecilia 3-4- in this particular matter on 10-18-18- I submitted a request to hold on the process.

Please consider this letter a petition to continue with the zoning request we will like for you to consider my request if there are s any questions please call me.

Sent from my iPad thanks Nieves Riedel



## PLANNING & ZONING AGENDA ITEM REVIEW FORM

### Planning & Zoning Commission Meeting

4.B.

**Meeting Date:** 02/12/2019

**Submitted By:** Jose A. Guzman, Director of Planning & Zoning, Planning & Zoning Department

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#### ITEM:

Discussion and possible action on any and all matters regarding Subdivision Case No. 2019-030P. A request by Vega and Vega Engineering, P.L.C., on behalf of Comite de Bienestar Inc., property owner, for the preliminary plat approval for Bienestar Estates 10 Subdivision. The property is located at the southeast corner of Avenue F and County 24th Street, Assessor's Parcel No. 227-15-001, San Luis, Arizona.

A. Staff presentation

B. Action on Subdivision Case No. 2019-030P

#### BACKGROUND:

This item is a request by Vianey R. Vega P.E. of Vega & Vega Engineering, PLC, on behalf of Comite de Bienestar Inc., owner, for approval of the preliminary plat for construction of residential subdivision to be called Bienestar Estates 10.

The subject property is located on the east mesa of the City of San Luis on the southeast corner of Avenue F and County 24th Street. Santa Cecilia No. 1 and Santa Cecilia No. 2, single-family residential subdivisions under construction, are located north of the proposed rezoning. To the west and south is undeveloped land zoned as Rural Area Residential (RA-10). Adjacent to the east is vacant land recently rezoned from Light Industrial to Residential.

The proposed subdivision consist of approximately 40.91 acres and is proposed to be divided into 163 lots and 2 tracks. The lots ranging in size from approximately 6,022.96 square feet to 10,150.51 square feet.

#### GENERAL PLAN:

This area is designated as Neighborhood and Activity Center in the City of San Luis 2020 General Plan. The activities proposed will be consistent with those designations (Chapter 2, Page 19-21). The Neighborhood designation allows all types of residential development and the Activity Center Designation allows for residential and commercial development.

#### REVIEW:

As part of the review process, all land use cases are reviewed by various City and outside agencies. We have received comments from the following agencies:

1. Yuma County Airport Authority (1-31-19)

The applicant submitted the Preliminary Plat and Improvement Plans for Bienestar Estates 10 Subdivision. The Preliminary Plat is to give a general idea of the layout of the proposed subdivision. The Improvement Plans are usually submitted at the final review process and they require a more extensive review.

In an effort to be proactive, staff reviewed all submittals and sent out review comments to the applicant on letter dated February 11, 2019. Most of these comments address details of the improvement plans and as such many of the comments can be addressed during the final plat submittal.

**SUMMARY:**

The applicant has provided the information and materials necessary for review of the preliminary plat for Bienestar Estates 10 Subdivision.

Staff recommends conditional approval of preliminary plat for Subdivision Case No. 2019-030P. Approval subject to the following condition:

1. Comments, on review letter dated February 11, 2019, pertaining to the preliminary plat must be addressed before submitting the final plat. All other comments can be addressed during the final plat review process.

As per Section 4.10(3) of the Subdivision Regulations, "Conditional approval of a preliminary plat shall not constitute approval of the final plat. Rather, it shall be deemed an expression of approval to the layout submitted on the preliminary plat as a guide to the preparation of the final plat, which will be submitted for approval of the Commission and the City Council upon fulfillment of the requirements of these regulations and the conditions of the conditional approval.

**RECOMMENDED MOTION:**

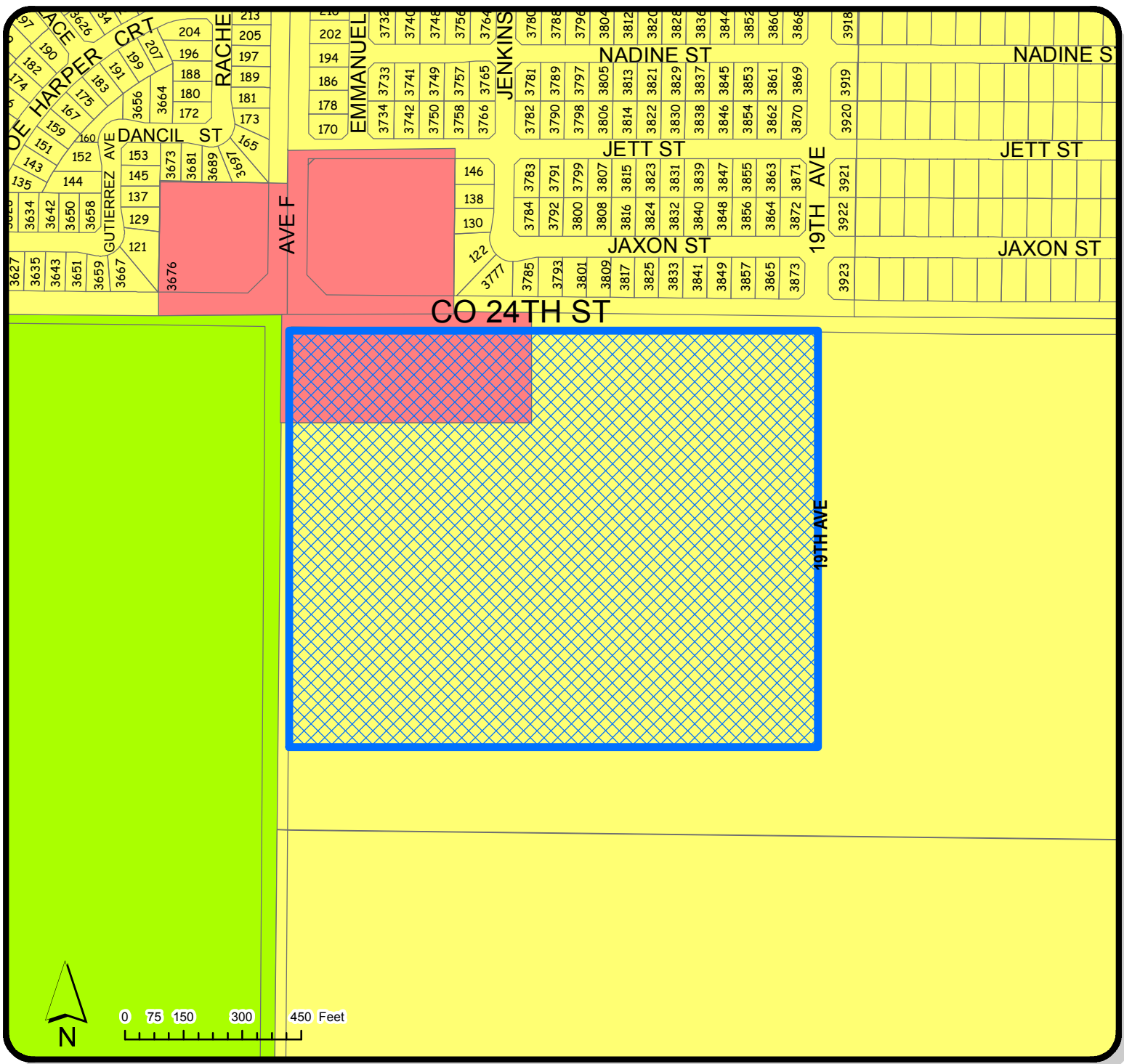
**I MOVE TO APPROVE SUBDIVISION CASE NO. 2019-030P PRELIMINARY PLAT WITH CONDITIONS AS PRESENTED BY STAFF.**

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**Attachments**

Location Map  
Aerial Picture  
Preliminary Plat  
Review Comments Letter-February 11, 2019  
Yuma County Airport Authority Comments (1-31-19)

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**LOCATION OF SUBJECT PROPERTY**



Southeast of intersection of Avenue F and County 24th Street; Assessor's Parcel No. 227-15-001

# Location Map

**Zoning Legend**

- COMMERCIAL ZONING DISTRICTS
- C-2
- SINGLE RESIDENCE ZONING DISTRICTS
- R1-8
- RA-10

## SUBDIVISION

BIENESTAR ESTATES 10

**Date:**

1/23/2019

PLANNING & ZONING



GIS

**Prepared By:**

ISAAC GUTIERREZ

**APPROVED BY:**

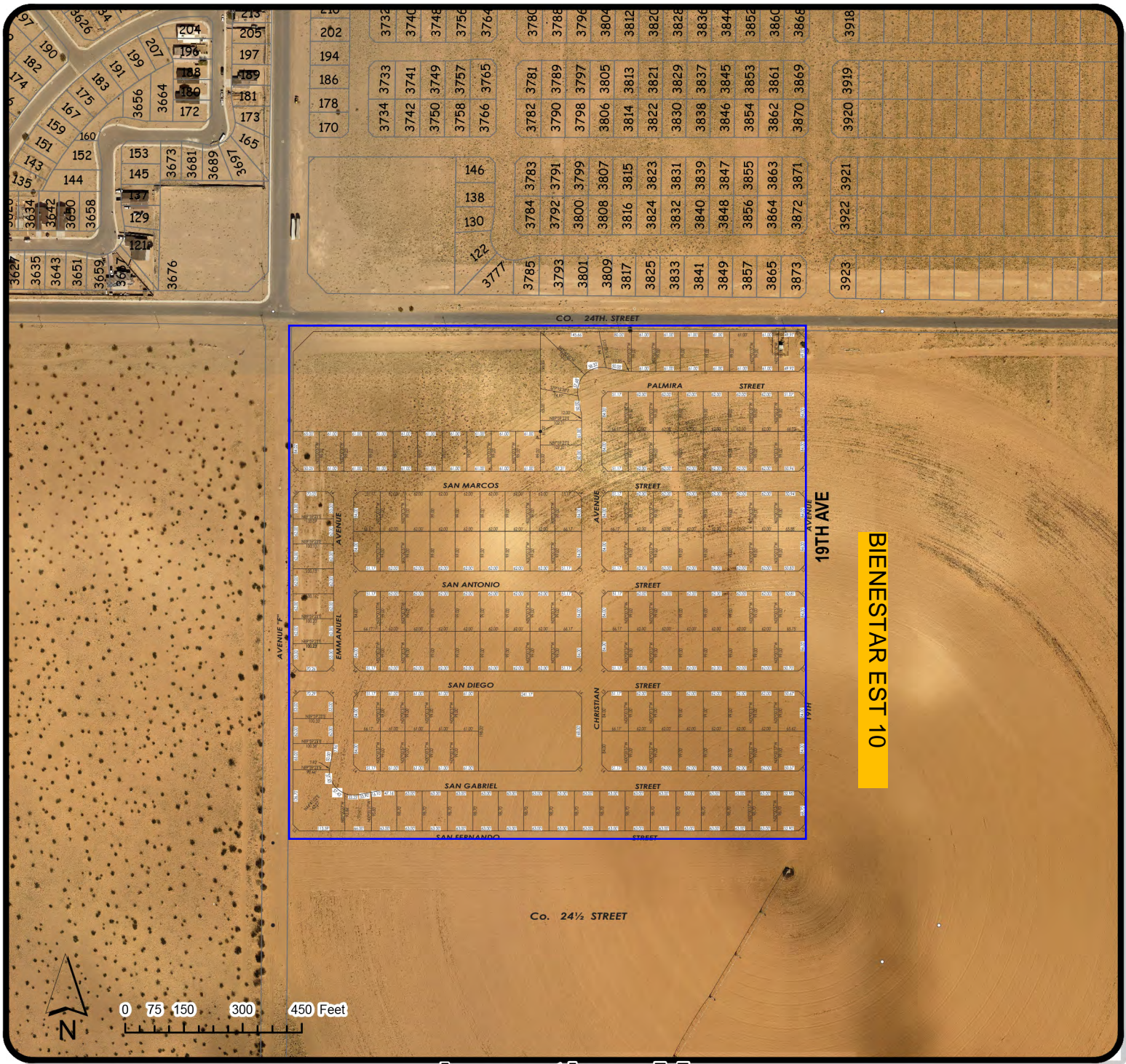
JOSE A. GUZMAN

**Case No.**

2019-030

**Checked By:**

ROMAN PACHECO



**LOCATION OF SUBJECT PROPERTY**

# Location Map

**SUBDIVISION  
BIENESTAR ESTATES 10**



Southeast of intersection of  
Avenue F and County 24th Street;  
Assessor's Parcel No. 227-15-001

**Date:**  
1/23/2019

**Checked By:**  
ROMAN PACHECO



**Prepared By:**  
ISAAC GUTIERREZ

**APPROVED BY:**  
JOSE A. GUZMAN

**Case No.**  
2019-030

# BIENESTAR ESTATES 10

## INDEX:

Cover Sheet	-----0
Preliminary Plat	-----1 OF 1
Preliminary Paving and Grading Plan	-----1
Preliminary Paving and Grading Plan	-----2
Preliminary Water and Sewer Plan	-----3
Preliminary Water and Sewer Plan	-----4

## GENERAL CONSTRUCTION NOTES:

- THE LOCATION OF UTILITIES IS APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. UTILITIES SHOWN HERE ARE FOR THE PURPOSE OF ASSISTING THE CONTRACTOR IN LOCATING SAID UTILITIES. THE CONTRACTOR IN ACCORDANCE WITH ARIZONA STATUTES SHALL CONTACT THE ARIZONA BLUE STAKE CENTER (1-800-782-5348) AT LEAST 48 HOURS MIN. PRIOR TO THE BEGINNING OF CONSTRUCTION AND OBTAIN ON-SITE UTILITIES LOCATIONS. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND SHALL BE RESOLVED PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DAMAGED TO A UTILITY SHALL BE REPAIRED AT THE CONTRACTOR EXPENSE.
- ALL CITY REQUIRED COMPACTION AND LABORATORY TESTS SHALL BE FURNISHED BY THE CONTRACTOR TO THE CITY PRIOR TO ACCEPTANCE OF THE PROJECT.
- THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR TWO YEARS AFTER THE FINAL ACCEPTANCE. ANY DEFECTIVE MATERIAL OR WORKMANSHIP SHALL BE REPLACED AND/OR REPAIRED PRIOR TO FINAL ACCEPTANCE.
- ALL ROAD SURFACES, EASEMENTS OR RIGHT OF WAYS DISTURBED BY CONSTRUCTION OF ANY PART OF THIS IMPROVEMENTS ARE TO BE RESTORED COMPLETELY BY THE CONTRACTOR TO THE BEFORE CONSTRUCTION CONDITION OR BETTER.
- DURING CONSTRUCTION, THE DEVELOPER/OWNER IS SOLELY RESPONSIBLE FOR INSURING THE PROPER FUNCTIONING OF THE EROSION AND SEDIMENT CONTROL MEASURES. THE DEVELOPER/OWNER SHALL TAKE WHATEVER MEASURES ARE REQUIRED TO INSURE THAT NO SEDIMENT LEAVES THE SITE.
- REFER TO SHEETS 1 OF 1 OF FINAL PLAT FOR ALL CORRECT DIMENSIONS.
- SEE SUBDIVISION PLAT FOR ALL BOUNDARY INFORMATION AND DIMENSIONS; DO NOT SCALE.
- ALL MATERIALS AND CONSTRUCTION HEREON SHALL CONFORM TO YUMA COUNTY, AS ADOPTED BY THE CITY, STANDARD SPECIFICATIONS AND CONSTRUCTION STANDARDS UNLESS OTHERWISE SHOWN ON THESE PLANS.
- THE ENGINEER MAKES NO REPRESENTATION OR GUARANTEE REGARDING EARTHWORK QUANTITIES OR THAT THE EARTHWORK FOR THIS PROJECT WILL BALANCE DUE TO VARIOUS FIELD CONDITIONS, CHANGING SOIL TYPES, ALLOWABLE CONSTRUCTION TOLERANCES AND CONSTRUCTION METHODS THAT ARE BEYOND THE CONTROL OF THE ENGINEER.
- NO STREET, WATER, SEWER AND IMPROVEMENTS TO BE ACCEPTED BY THE CITY OF SAN LUIS. FOR MAINTENANCE UNTIL "AS-BUILT", CERTIFIED. REPRODUCIBLE PLANS ARE FILED WITH AND ACCEPTED BY THE CITY OF SAN LUIS PUBLIC WORKS DEPARTMENT.

### OWNER OF RECORD:

COMITE DE BIENESTAR INC. AZ CORP.  
963 E. 8<sup>th</sup> STREET  
PO BOX 7170  
SAN LUIS, AZ. 85349

### BASIS OF BEARING

THE NORTH SECTION LINE OF SECTION 15, T11S, R24W, G.A.S.P. & A.M., YUMA COUNTY, ARIZONA (BEING THE LINE THE CENTERLINE OF Co. 24th STREET), AS SHOWN ON BORDER RANCHES SUBDIVISION, AS RECORDED IN BOOK 27 OF PLATS, PAGES 9 & 10, YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY ARIZONA,  
BEARING S89°59'23"W

### BENCHMARK

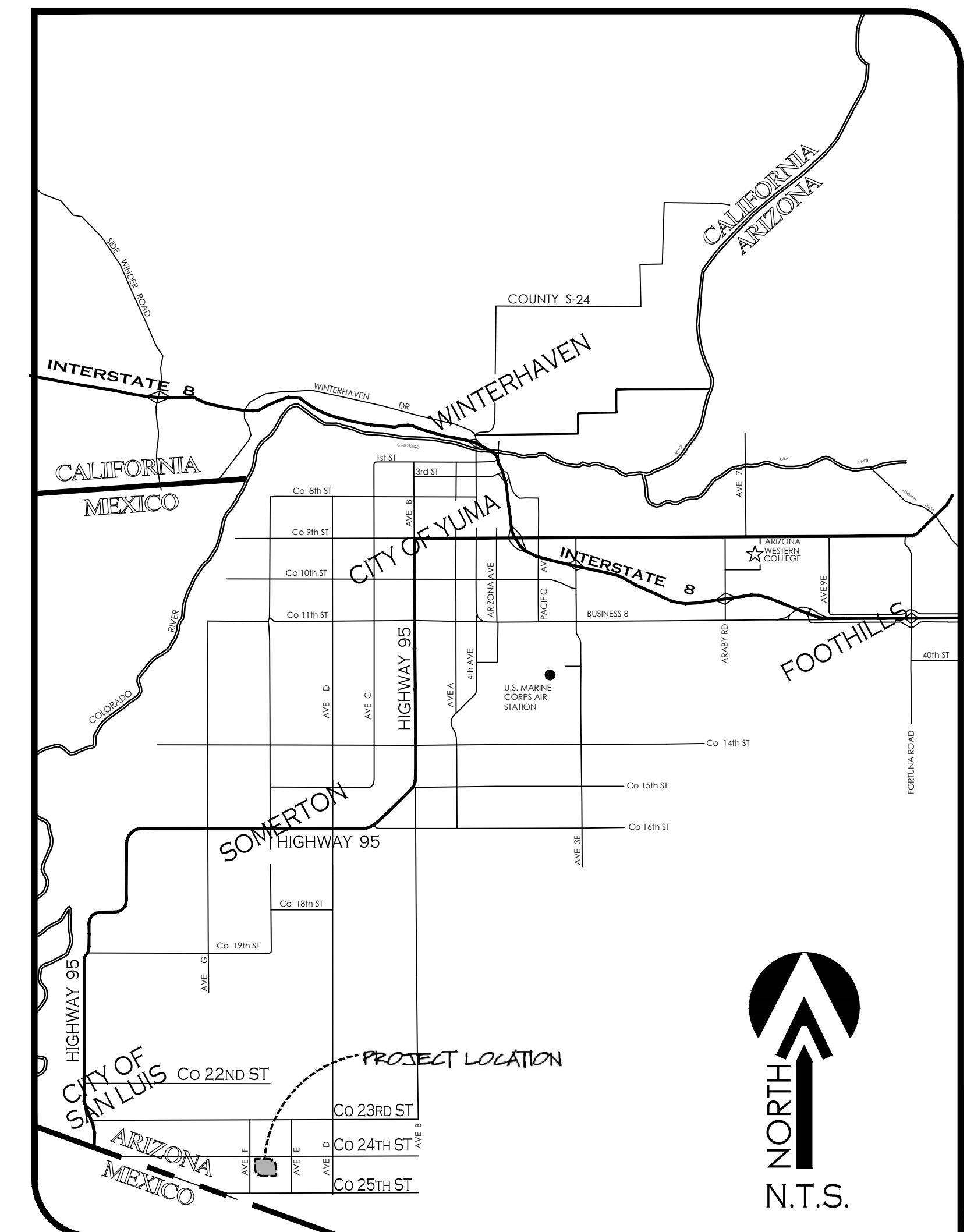
TOP OF PK NAIL LOCATED AT THE INTERSECTION OF AVENUE "F" AND COUNTY 24TH STREET  
ELEVATION: 158.95 FEET

### ENGINEER:

**VEGA & VEGA**  
ENGINEERING, PLLC  
1846 S. 8th Avenue 928-329-0000 Tel  
Yuma, Az. 85364 928-247-6232 Fax  
www.veganvega.com

## LEGEND

	INDICATES BOUNDARY LINE		INDICATES NEW ASPHALT ELEVATION
	INDICATES CENTERLINE		INDICATES NEW SANITARY SEWER LINE
	INDICATES EASEMENT LINE		NEW SEWER STUB
	INDICATES RIGHT-OF-WAY LINE		NEW SEWER MANHOLE
	NEW LOT NUMBER		NEW 4" PVC SEWER SERVICE
	NEW YUMA COUNTY STD. DETAIL No. 4-030 SUBD BOUNDARY MONUMENT		INDICATES NEW WATER LINE
	NEW YUMA COUNTY STD. DETAIL No. 4-080 STREET MONUMENT		NEW SINGLE WATER SERVICE
	EXISTING MONUMENT (TYPE AS SHOWN)		NEW WATER VALVE
	INDICATES EX. ASPHALT PAVEMENT		NEW FIRE HYDRANT
	INDICATES CONTOURS ELEVATION		NEW TEMPORARY BLOWOFF VALVE
	INDICATES EX. NATURAL SOIL ELEVATION		INDICATES NEW CMU WALL
	INDICATES NEW SIDE WALK		
	INDICATES NEW ASPHALT PAVEMENT		



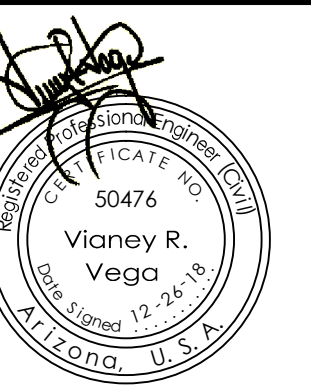
VICINITY MAP

N.T.S.

1846 S. 8th AVENUE 928-329-0000 TEL  
YUMA, AZ. 85364 928-247-6232 FAX  
Vn@veganvega.com



Cover Sheet  
**BIENESTAR ESTATES 10**

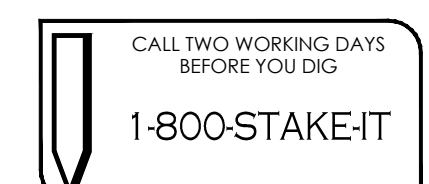


Notes:

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Checked: vno

Sheet

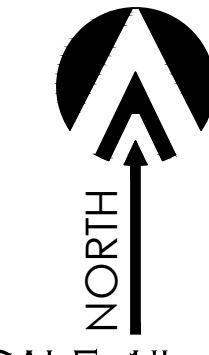
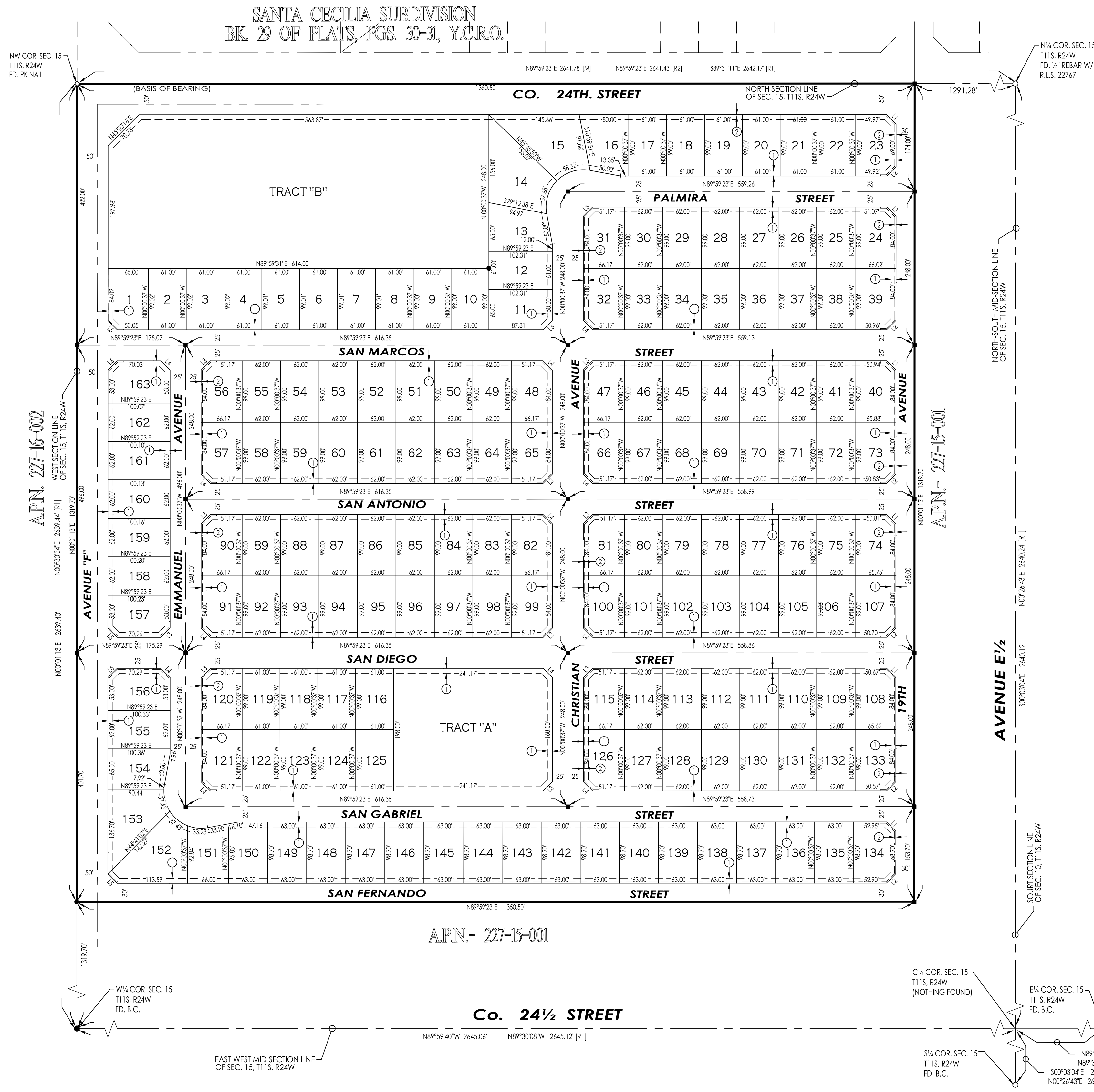
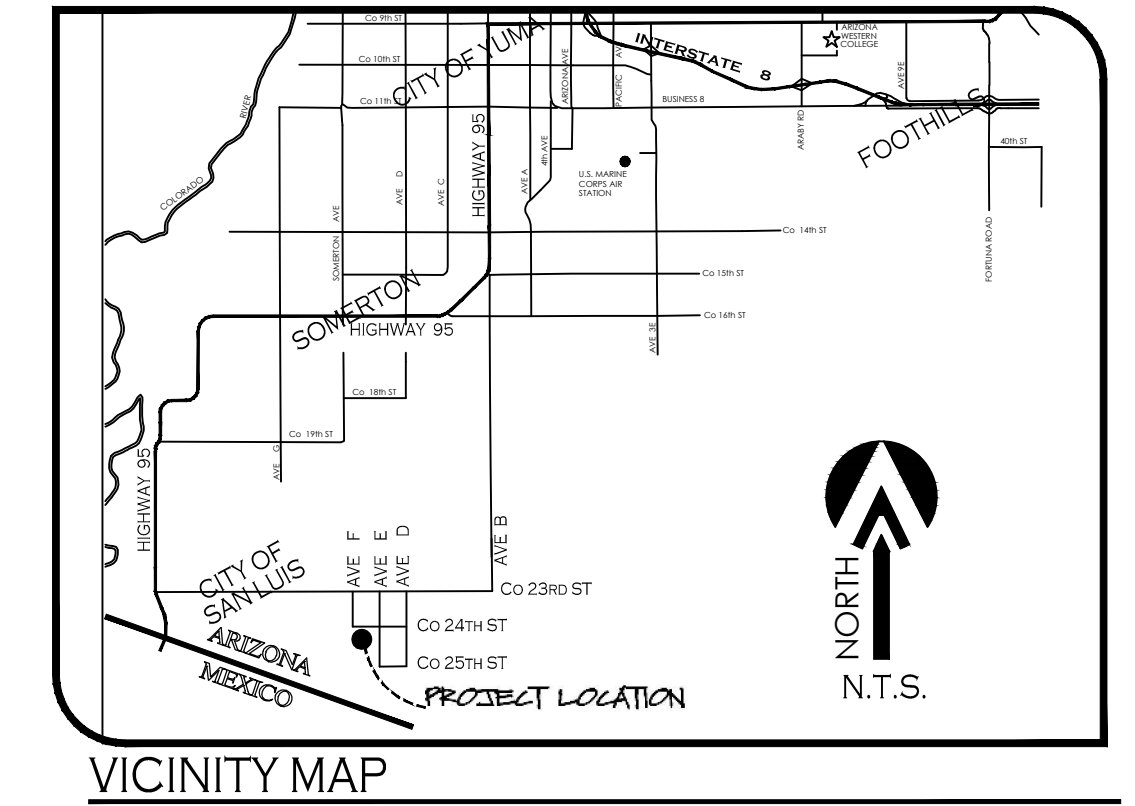
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# BIENESTAR ESTATES 10

A SUBDIVISION OF THE N<sup>1</sup>/<sub>2</sub> OF THE NW<sup>1</sup>/<sub>4</sub> OF SECTION 15, T11S, R24W,  
G.&S.R.B.&M., YUMA COUNTY, ARIZONA.  
DECEMBER OF 2018 ACREAGE: 40.91 AC (GROSS)

## PRELIMINARY PLAT



SCALE: 1"=100'

**OWNER OF RECORD:**  
COMITE DE BIENESTAR INC. AZ CORP.  
943 E. 3<sup>RD</sup> STREET  
PO BOX 7170  
SAN LUIS, AZ, 85349

**BASIS OF BEARING**  
THE NORTH SECTION LINE OF SECTION 15, T11S, R24W, G.&S.R.B.&M., YUMA COUNTY, ARIZONA, (BEING THIS LINE THE CENTERLINE OF CO. 24TH STREET), AS SHOWN ON BORDER RANCHES SUBDIVISION, AS RECORDED IN BOOK 27 OF PLATS, PAGES 9 & 10, YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, ARIZONA.

**BEARING S89°59'23"W**

**LEGEND**

- INDICATES BOUNDARY LINE
- - - - - INDICATES CENTERLINE
- - - - - INDICATES EASEMENT LINE
- 11 NEW LOT NUMBER
- EXISTING MONUMENT (TYPE AS SHOWN)
- NEW YUMA COUNTY STD. DETAIL NO. 4-030 SUB'D BOUNDARY MONUMENT
- EXISTING MONUMENT (TYPE AS SHOWN)
- B.C. INDICATES BRASS CAP
- Y.C.R. INDICATES YUMA COUNTY RECORDERS
- G.L.O. INDICATES GENERAL LAND OFFICE
- N.A.E. INDICATES NON ACCESS EASEMENT
- [M] INDICATES MEASURED DATA
- [R1] DATA REFERS TO U.S.B.R. BALANCED SECTION OF SECTION 15, T11S, R24W, DATED: JUNE 1977
- [R2] DATA REFERS TO BORDER RANCHES SUBDIVISION, AS RECORDED IN BOOK 27, PAGES 9 & 10, Y.C.R.

**KEYNOTES**

- ① NEW 8" UTILITY EASEMENT
- ② EX. 1" NON-ACCESS EASEMENT TO BE ABANDONED UPON RECORDATION OF THIS PLAT

**NOTE**

- ♦ PROPERTY CORNERS TO BE MARKED BY 1/2" DIAMETER REBAR TAGGED WITH CAP I.S. 16528
- ♦ PROJECT ZONING: R-1-6

**ELABORATED BY:**  
VNV18-400

**VEGA & VEGA ENGINEERING, PLLC**  
1846 S. 8th Avenue 928-329-0000 Tel  
Yuma, Az. 85364 928-247-6232 Fax  
www.vega-engineering.com

**LAND SURVEYOR'S CERTIFICATE:**

I HEREBY CERTIFY THAT I AM A LAND SURVEYOR LISTED ON THE ROSTER OF ACTIVE REGISTRARS BY THE STATE BOARD OF TECHNICAL REGISTRATION OF ARIZONA AND THAT THIS MAP CONSISTING OF ONE (1) SHEET CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION DURING SEPTEMBER OF 2018 THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN, OR WILL BE IN PLACE WITHIN ONE YEAR FROM RECORDATION OF THIS MAP. THE MONUMENTS WILL BE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED. THE SURVEY IS TRUE AND COMPLETE AS SHOWN. ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS.

**LINE DATA**

LINE NUMBER	BEARING	LENGTH (FEET)
L1	N44°59'42"W	21.21'
L2	N45°00'16"E	21.22'
L3	N44°59'23"E	21.21'
L4	N45°00'37"W	21.21'
L5	N44°59'44"W	21.21'
L6	N45°00'16"E	21.22'

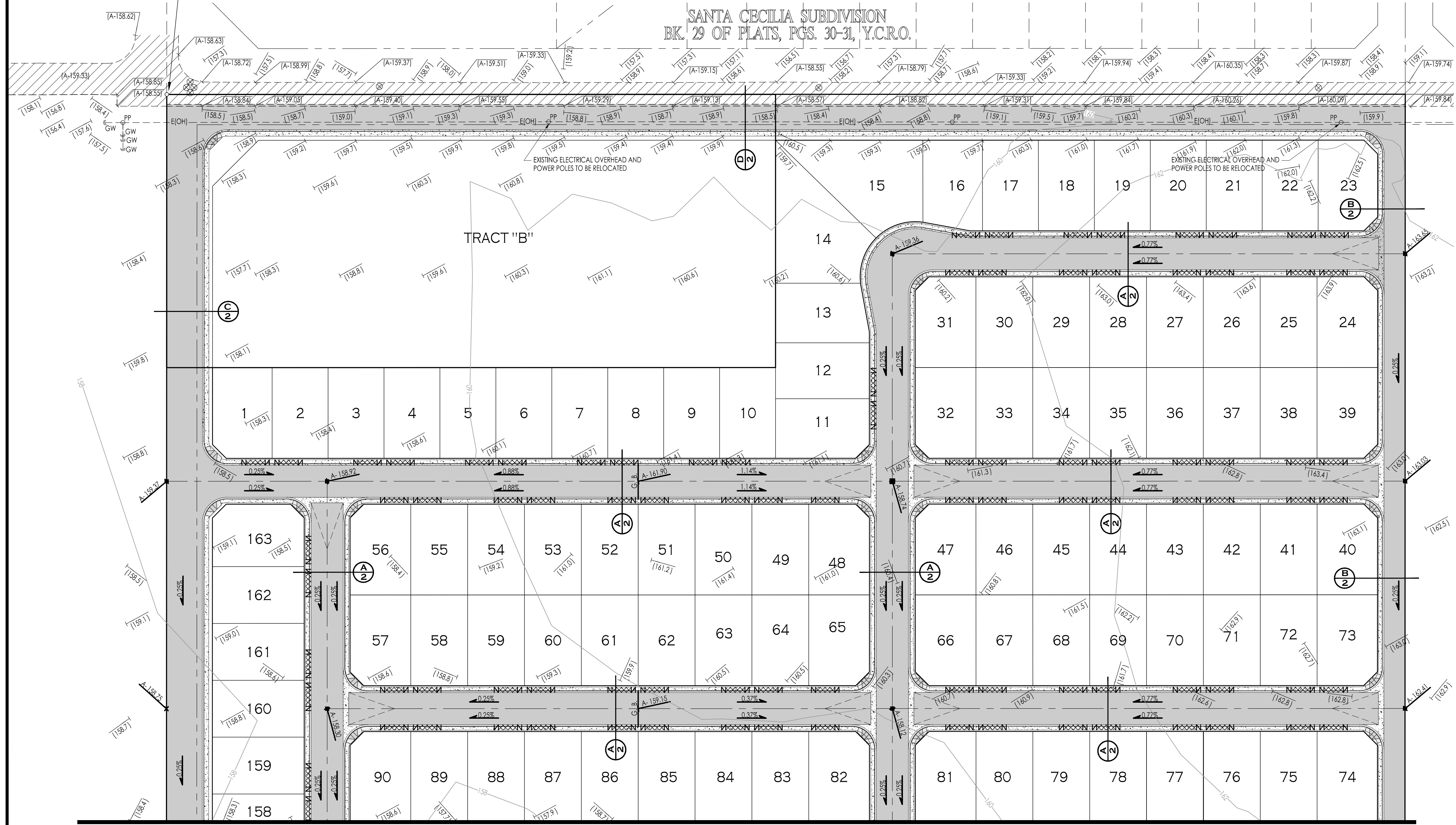
**LOT AREAS TABLE:**

LOT #	AREA (SF)	LOT #	AREA (SF)	LOT #	AREA (SF)	LOT #	AREA (SF)	LOT #	AREA (SF)	LOT #	AREA (SF)	LOT #	AREA (SF)
1	4324.52	21	4039.00	41	6138.00	61	6138.00	81	6438.80	101	6138.00	121	6438.80
2	4040.23	22	4039.00	42	6138.00	62	6138.00	82	6438.80	102	6138.00	122	6039.00
3	4040.09	23	4204.74	43	6138.00	63	6138.00	83	6138.00	103	6138.00	123	6039.00
4	4039.94	24	4425.72	44	6138.00	64	6138.00	84	6138.00	104	6138.00	124	6039.00
5	6039.80	25	6138.00	45	6138.00	65	6438.80	85	6138.00	105	6138.00	125	6039.00
6	6039.65	26	6138.00	46	6138.00	66	6438.80	86	6138.00	106	6138.00	126	6438.80
7	6039.51	27	6138.00	47	6438.80	67	6138.00	87	6138.00	107	6392.42	127	6138.00
8	6039.36	28	6138.00	48	6438.80	68	6138.00	88	6138.00	108	6386.58	128	6138.00
9	6039.22	29	6138.00	49	6138.00	69	6138.00	89	6138.00	109	6138.00	129	6138.00
10	6039.07	30	6138.00	50	6138.00	70	6138.00	90	6438.80	110	6138.00	130	6138.00
11	6537.33	31	6438.80	51	6138.00	71	6138.00	91	6438.80	111	6138.00	131	6138.00
12	6240.61	32	6438.80	52	6138.00	72	6138.00	92	6138.00	112	6138.00	132	6138.00
13	6867.39	33	6138.00	53	6138.00	73	6407.46	93	6138.00	113	6138.00	133	6381.37
14	10150.51	34	6138.00	54	6138.00	74	6399.63	94	6138.00	114	6138.00	134	6478.65
15	10068.17	35	6138.00	55	6138.00	75	6138.00	95	6138.00	115	6438.80	135	6217.94
16	6754.75	36	6138.00	56	6438.80	76	6138.00	96	6138.00	116	6039.00	136	6217.94
17	6039.00	37	6138.00	57	6438.80	77	6138.00	97	6138.00	117	6039.00	137	6217.94
18	6039.00	38	6138.00	58	6138.00	78	6138.00	98	6138.00	118	6039.00	138	6217.94
19	6039.00	39	6420.51	59	6138.00	79	6138.00	99	6438.80	119	6039.00	139	6217.94
20	6039.00	40	6412.67	60	6138.00	80	6138.00	100	6438.80	120	6438.80	140	6207.20

NORTH  
SCALE: 1"=60'

**BENCHMARK**  
TOP OF PK NAIL LOCATED AT THE  
INTERSECTION OF AVENUE "F" AND  
COUNTY 24TH STREET  
ELEVATION: 158.95 FEET

SANTA CECILIA SUBDIVISION  
BK. 29 OF PLATS, PGS. 30-31, Y.C.R.O.



- LEGEND**
- INDICATES EX. ASPHALT PAVEMENT
  - INDICATES EX. CONCRETE
  - INDICATES BOUNDARY LINE
  - INDICATES CENTERLINE
  - INDICATES RIGHT-OF-WAY LINE
  - INDICATES NEW CMU WALL
  - EX. 6" PVC = W INDICATES EX. WATER LINE
  - EX. 8" PVC = S INDICATES EX. SEWER LINE
  - GAS = INDICATES EX. GAS LINE
  - INDICATES NEW ASPHALT PAVEMENT
  - INDICATES NEW CONCRETE
  - NEW YUMA COUNTY STD. DETAIL No. 4-030 SUBD BOUNDARY MONUMENT
  - NEW YUMA COUNTY STD. DETAIL No. 4-080 STREET MONUMENT
  - EXISTING MONUMENT (TYPE AS SHOWN)
  - INDICATES BRASS CAP
  - INDICATES YUMA COUNTY RECORDERS
  - INDICATES EXISTING POWER POLE
  - INDICATES CALCULATED DATA
  - INDICATES MEASURED DATA
  - INDICATES EXISTING ELECTRICAL BOX
  - INDICATES EXISTING GAS PADDLE
  - INDICATES EXISTING MANHOLE
  - INDICATES EXISTING FIRE HYDRANT
  - INDICATES EXISTING WATER METER
  - INDICATES EXISTING WATER VALVE
  - INDICATES EX. CURB ELEVATION
  - INDICATES EX. SIDEWALK ELEVATION
  - INDICATES EX. ASPHALT ELEVATION
  - INDICATES EX. NATURAL SOIL ELEVATION
  - INDICATES NEW ASPHALT ELEVATION
  - INDICATES NEW CURB ELEVATION
  - INDICATES NEW GUTTER ELEVATION
  - INDICATES LOT NUMBERS

MATCH LINE SEE SHEET 2 OF 4

**BENCHMARK**  
TOP OF PK NAIL LOCATED AT THE  
INTERSECTION OF AVENUE "F" AND  
COUNTY 24TH STREET  
ELEVATION: 158.95 FEET

Preliminary Paving & Grading Plan  
**BIENESTAR ESTATES 10**

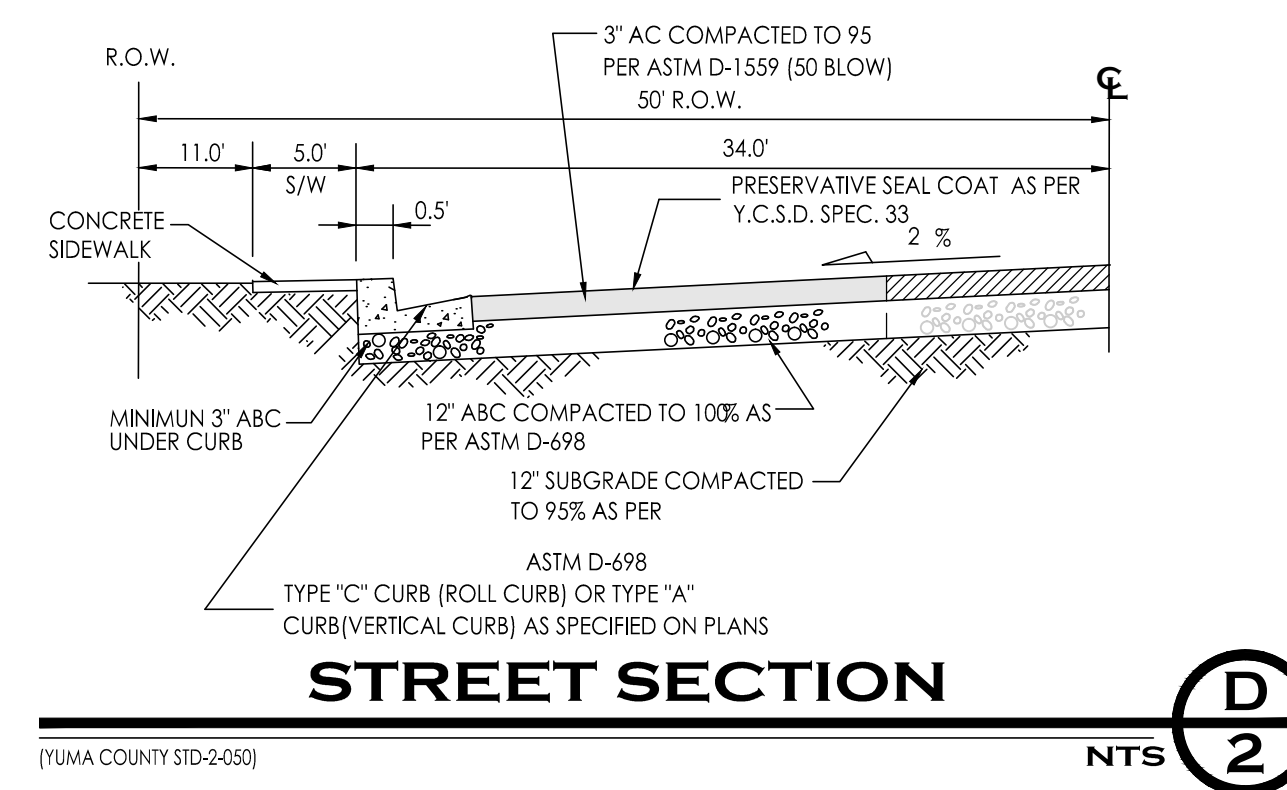
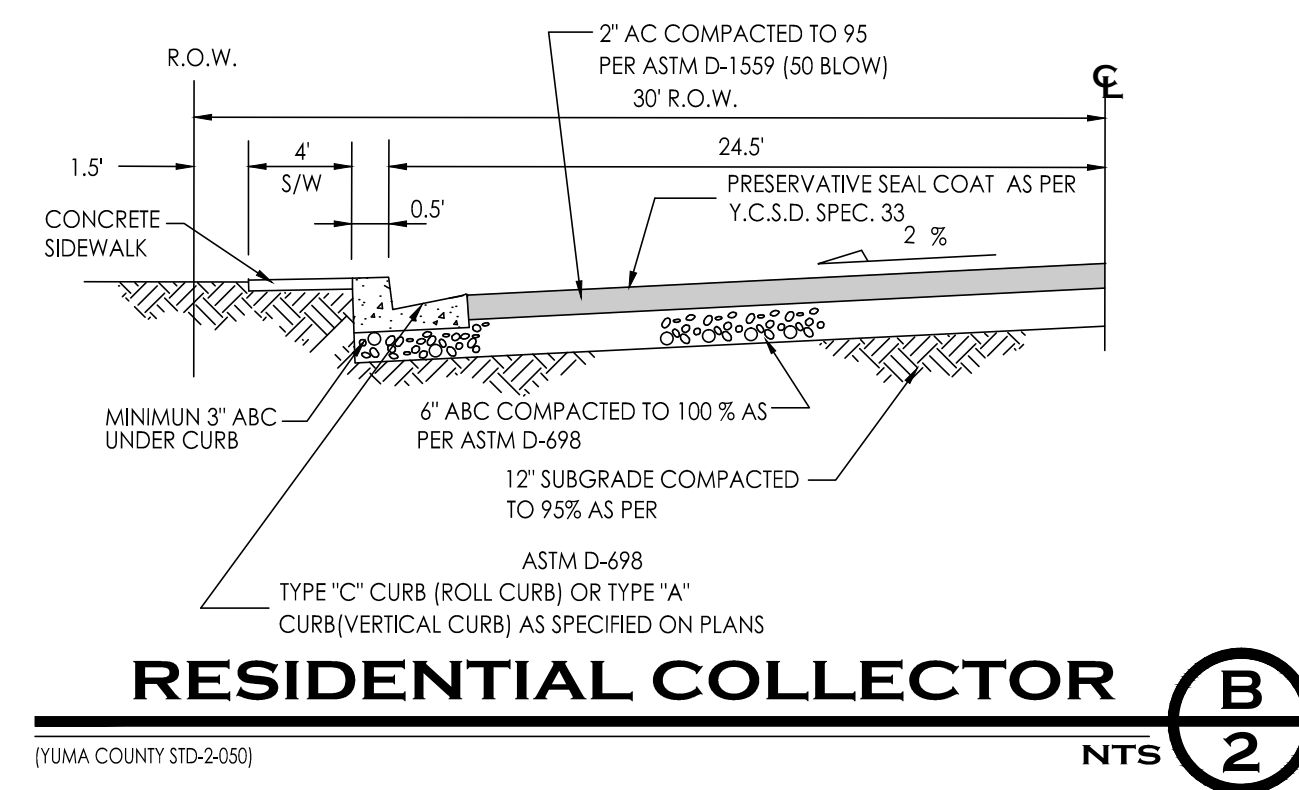
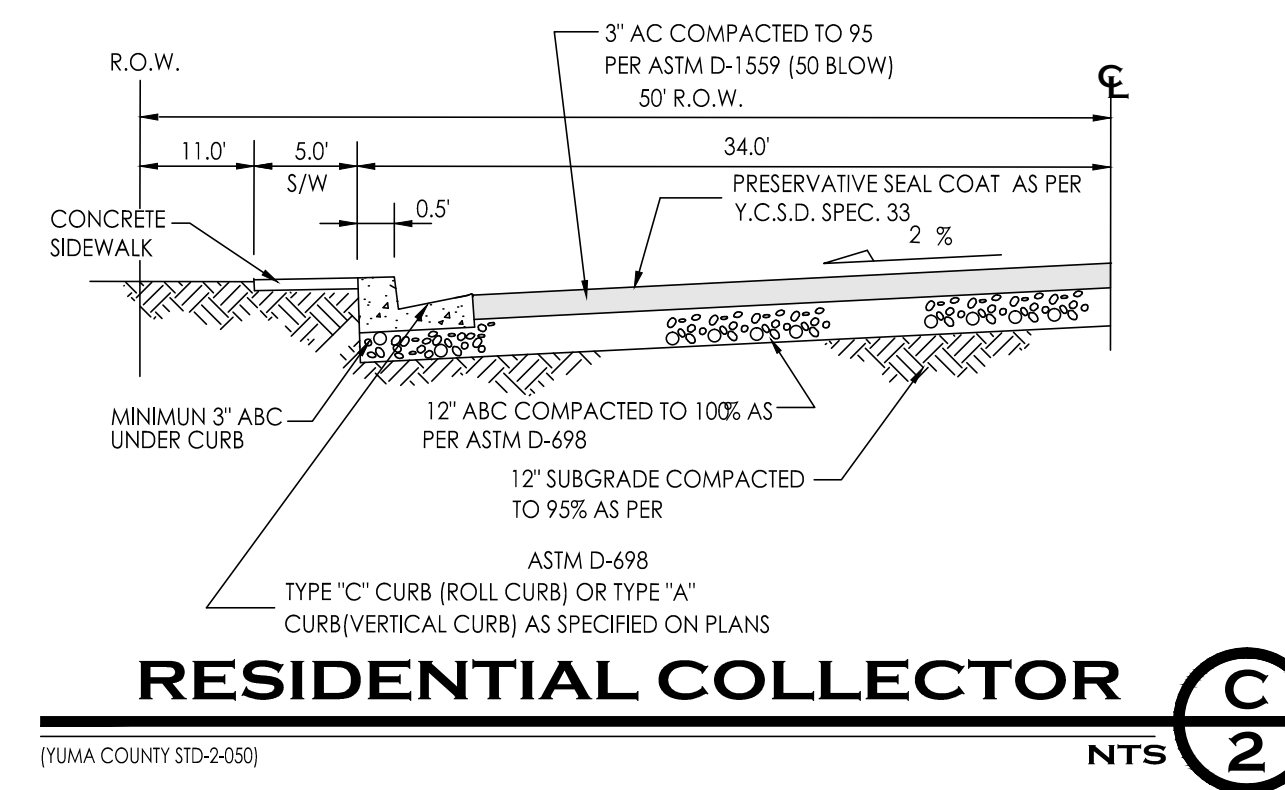
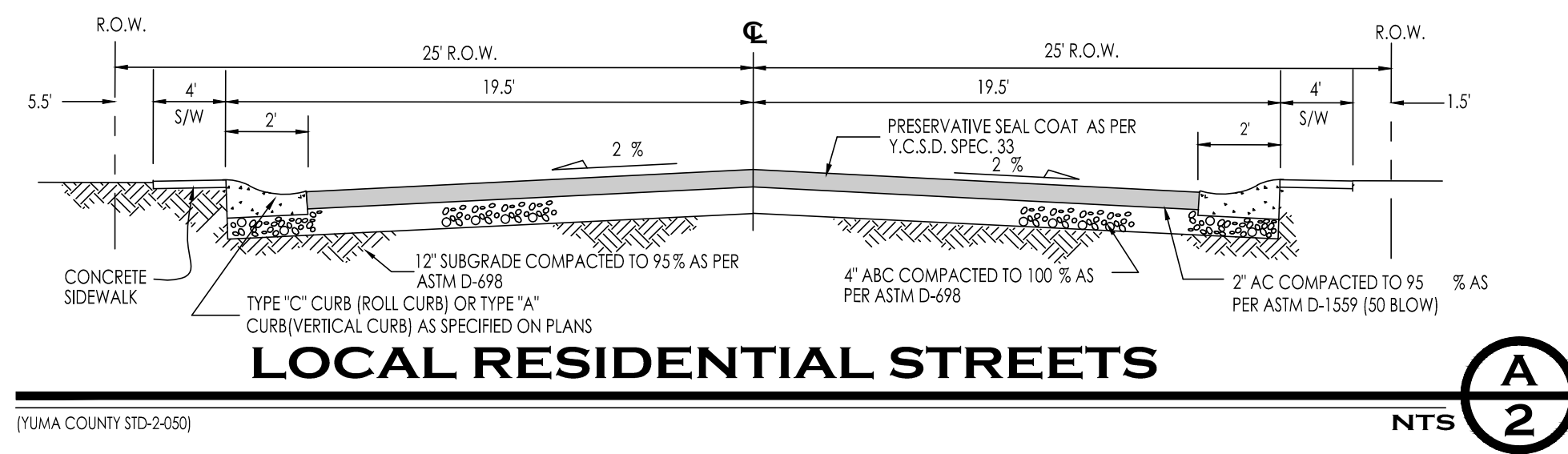
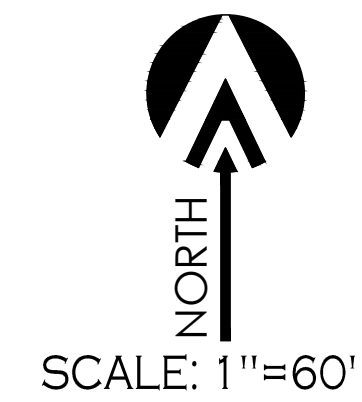


Notes:  
  
Scale: N.T.S. Date: DEC. 2018  
Drawn: staff Job #: vrv18-400  
Checked: vno

1846 S. 8th AVENUE 928-329-0000 TEL  
YUMA, AZ 85364 928-247-6232 FAX  
V@veganvega.com



CALL TWO WORKING DAYS  
BEFORE YOU DIG  
1-800-STAKE-IT



**UTILITIES WARNING**

UTILITIES IN THE AREA OF CONSTRUCTION ARE APPROXIMATE ONLY. THEY HAVE BEEN LOCATED FROM FIELD INVESTIGATION AND THE BEST AVAILABLE UTILITY RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND REPAIR OF ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION WHETHER SHOWN ON THESE PLANS OR NOT. THE CONTRACTOR SHALL CONTACT ALL RESPECTIVE UTILITIES AND HAVE ALL UTILITIES FIELD-LOCATED PRIOR TO CONSTRUCTION. IF ANY UNKNOWN SUBSURFACE STRUCTURES ARE ENCOUNTERED DURING CONSTRUCTION, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CITY OF SAN LUIS ENGINEERING STAFF AND LAND SURVEYOR PRIOR TO PROCEEDING.

**DRAINAGE REPORT**

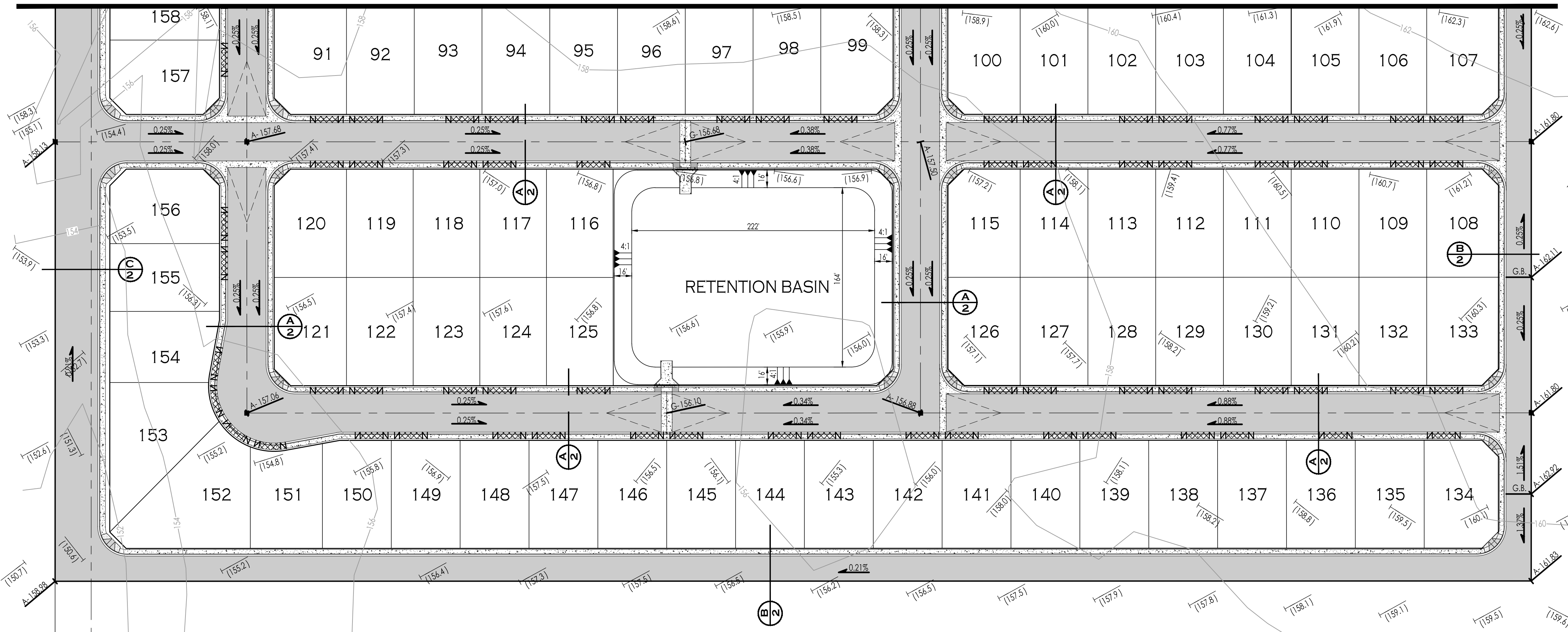
- 1- DRAINAGE REPORT DRAINAGE AREA
- 2- NO OFFSITE STORMWATER WILL ENTER THE PROJECT SITE. STORMWATER WILL BE RETAINED ON SITE.
- 3- THIS PROJECT SITE IS LOCATED IN FLOOD ZONE "X" AS SHOWN ON FEMA FLOOD MAPS

USING THE RATIONAL METHOD  
 $Q = CIA = \text{PEAK RUNOFF [VOL.]}$   
 $(C) \text{ PEAK RATE RUNOFF} = 0.43$   
 $(I) \text{ INTENSITY OF RAINFALL} = 1.22 \text{ IN / HR}$   
 $(A) \text{ DRAINAGE AREA} = 36.37 \text{ AC}$   
 $Q = (0.43)(1.22)(36.37) = 19.08 \text{ CF}$   
 $\text{TOTAL RUNOFF} = 7200 (19.08) = 137,374 \text{ CF}$

STORAGE VOLUME PROVIDED  
 RETENTION BASIN  
 TOP AREA = 49,610 SF  
 BOTTOM AREA = 36,411 SF  
 DEPTH = 4 FT  
 $\text{VOL. PROVIDED} = (49,610 + 36,411) (4.0) / 2$   
 $\text{TOTAL VOL. PROVIDED} = 172,042 \text{ CF}$

FACTOR OF SAFETY =  $\frac{172,042 \text{ CF}}{137,374 \text{ CF}} = 1.25$

MATCH LINE SEE SHEET 1 OF 4



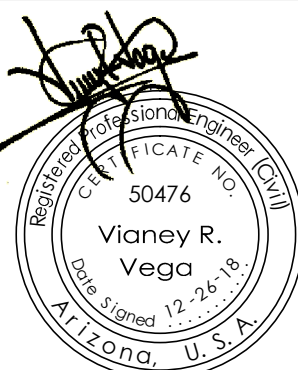
**LEGEND**

- INDICATES EX. ASPHALT PAVEMENT
- INDICATES EX. CONCRETE
- INDICATES BOUNDARY LINE
- INDICATES CENTERLINE
- INDICATES RIGHT-OF-WAY LINE
- INDICATES NEW CMU WALL
- EX. 6" PVC = W INDICATES EX. WATER LINE
- EX. 8" PVC = S INDICATES EX. SEWER LINE
- INDICATES EX. GAS LINE
- INDICATES NEW ASPHALT PAVEMENT
- INDICATES NEW CONCRETE
- NEW YUMA COUNTY STD. DETAIL No. 4-030 SUB'D BOUNDARY MONUMENT
- NEW YUMA COUNTY STD. DETAIL No. 4-080 STREET MONUMENT
- EXISTING MONUMENT (TYPE AS SHOWN)
- INDICATES BRASS CAP
- INDICATES YUMA COUNTY RECORDERS
- INDICATES EXISTING POWER POLE
- INDICATES CALCULATED DATA
- INDICATES MEASURED DATA
- INDICATES EXISTING ELECTRICAL BOX
- INDICATES EXISTING GAS PADDLE
- INDICATES EXISTING MANHOLE
- INDICATES EXISTING FIRE HYDRANT
- INDICATES EXISTING WATER METER
- INDICATES EXISTING WATER VALVE
- INDICATES EX. CURB ELEVATION
- INDICATES EX. SIDEWALK ELEVATION
- INDICATES EX. ASPHALT ELEVATION
- INDICATES EX. NATURAL SOIL ELEVATION
- INDICATES NEW ASPHALT ELEVATION
- INDICATES NEW CURB ELEVATION
- INDICATES NEW GUTTER ELEVATION
- INDICATES LOT NUMBERS

**BENCHMARK**

TOP OF PK NAIL LOCATED AT THE INTERSECTION OF AVENUE F AND COUNTY 24TH STREET  
 ELEVATION: 158.95 FEET

Preliminary Paving & Grading Plan  
**BIENESTAR ESTATES 10**

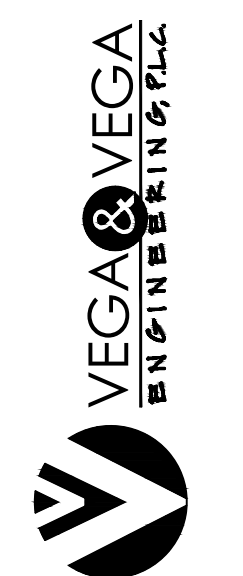


Notes:  
 Scale: N.T.S. [Date: DEC. 2018]  
 Drawn: Staff [Job #: vrv18-400]  
 Checked: Vno

CALL TWO WORKING DAYS BEFORE YOU DIG  
 1-800-STAKE-IT

1846 S. 8th AVENUE 928-329-0000 TEL  
 YUMA, AZ. 85364 928-247-6232 FAX  
 Vn@veganvega.com



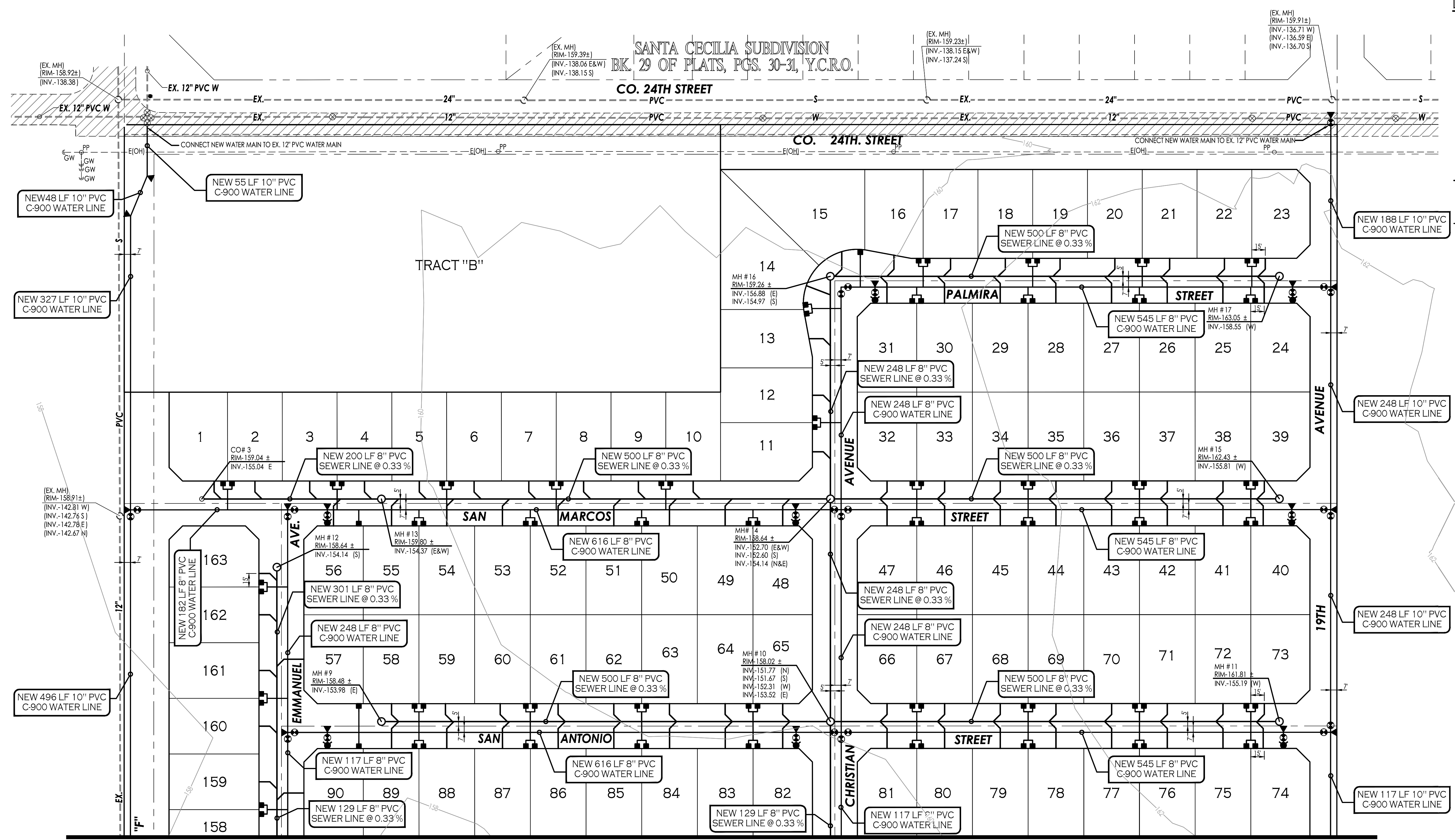


Preliminary Water & Sewer Plan  
BIENESTAR ESTATES 10



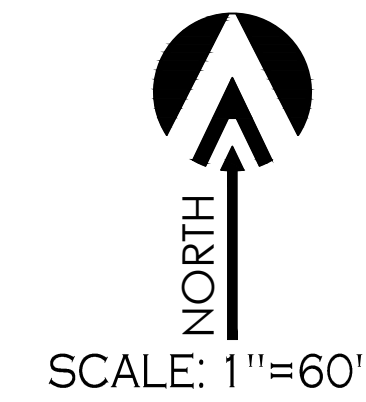
Notes:  
Scale: N.T.S. [Date: DEC. 2018]  
Drawn: staff [Job #: vvv18-400]  
Checked: vno

- LEGEND**
- 163 INDICATES EX. CONTOURS ELEVATION
  - EX. 12" PVC W INDICATES EX. WATER LINE
  - EX. 12" PVC S INDICATES EX. SEWER LINE
  - GAS INDICATES EX. GAS LINE
  - E INDICATES EXISTING ELECTRICAL BOX
  - GP INDICATES EXISTING GAS PADDLE
  - MH INDICATES EXISTING MANHOLE
  - FH INDICATES EXISTING FIRE HYDRANT
  - WM INDICATES EXISTING WATER METER
  - WV INDICATES EXISTING WATER VALVE
  - NEW PVC S INDICATES NEW SANITARY SEWER LINE
  - NEW SEWER MANHOLE
  - NEW 4" PVC SEWER SERVICE
  - NEW PVC W INDICATES NEW WATER LINE
  - NEW SINGLE WATER SERVICE
  - NEW DUAL WATER SERVICE
  - NEW WATER VALVE
  - NEW FIRE HYDRANT
  - NEW TEMPORARY BLOWOFF VALVE
  - INDICATES LOT NUMBERS



MATCH LINE SEE SHEET 4 OF 4

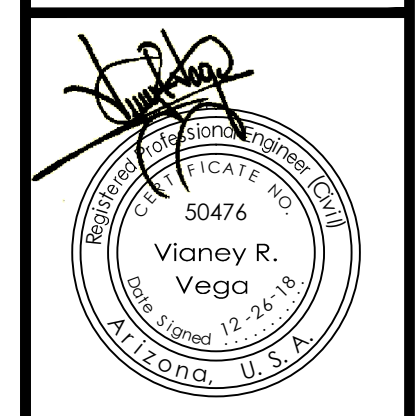
CALL TWO WORKING DAYS BEFORE YOU DIG  
1-800-STAKE-IT



1846 S. 8th AVENUE 928-329-0000 TEL  
YUMA, AZ 85364 928-247-6232 FAX  
V@vegaengineers.com



Preliminary Water & Sewer Plan  
**BIENESTAR ESTATES 10**



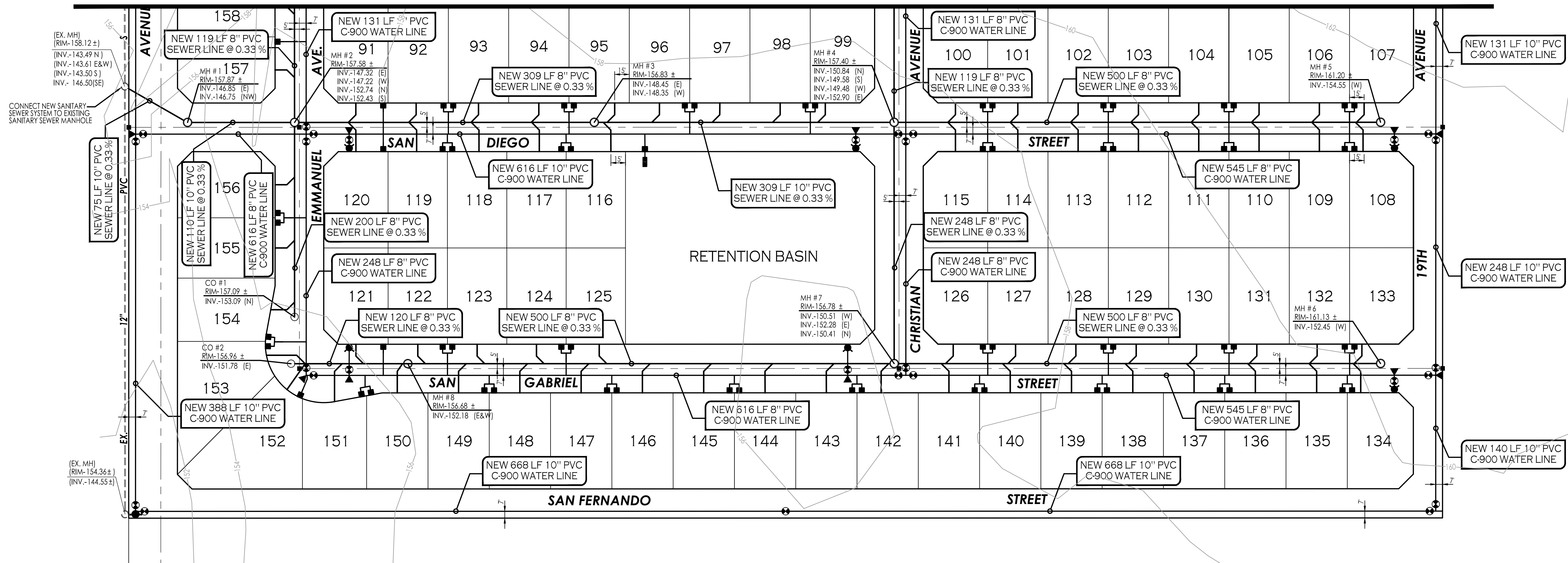
Notes:  
  
Scale: N.T.S. Date: DEC. 2018  
Drawn: staff Job #: vvv18-400  
Checked: vno

Sheet  
**4**

**LEGEND**

163	INDICATES EX. CONTOURS ELEVATION
-EX-6"-PVC-W-	INDICATES EX. WATER LINE
-EX-8"-PVC-S-	INDICATES EX. SEWER LINE
-EX-GAS-	INDICATES EX. GAS LINE
⊠	INDICATES EXISTING ELECTRICAL BOX
⊗	INDICATES EXISTING GAS PADDLE
⊙	INDICATES EXISTING MANHOLE
⊕	INDICATES EXISTING FIRE HYDRANT
⊖	INDICATES EXISTING WATER METER
⊗	INDICATES EXISTING WATER VALVE
-NEW-PVC-S-	INDICATES NEW SANITARY SEWER LINE
○	NEW SEWER MANHOLE
-NEW-PVC-W-	NEW 4" PVC SEWER SERVICE
⊕	NEW SINGLE WATER SERVICE
⊖	NEW DUAL WATER SERVICE
⊕	NEW WATER VALVE
⊕	NEW FIRE HYDRANT
⊕	NEW TEMPORARY BLOWOFF VALVE
250	INDICATES LOT NUMBERS

MATCH LINE SEE SHEET 3 OF 4



CALL TWO WORKING DAYS BEFORE YOU DIG  
1-800-STAKE-IT



# City of San Luis

## Planning & Zoning Department

Development Services • GIS • Building Safety • Code Enforcement

February 11, 2019

Vianey R. Vega, P.E.  
Vega and Vega Engineer, PLC  
1846 S. 8<sup>th</sup> Avenue  
Yuma, AZ 85365

Re: Subdivision Case No. 2019-030P/Bienestar Estates 10

City staff has reviewed the preliminary plat for Bienestar Estates 10 Subdivision and have the following comments:

**City Engineer:**

**Preliminary Plat –**

1. The parcel to be subdivided is a part of an about 160 acre parcel. Is a lot split or other action needed to create the parcel to be subdivided?
2. What is the intended purpose and intended zoning of Tract B?
3. Show and label with recording information the existing right-of-ways along county 24<sup>th</sup> Street and Avenue F.
4. The northwest corner of Section 15 is shown as a PK nail but previous surveys (for example Santa Cecilia subdivisions) show it as a GLO brass cap or a set rebar. Please verify. (Comment for final plat.)

Also note that a stray "C1/4 callout" is located under the Lot Areas Table.

**Paving and Grading Plan -**

1. Is the pavement along County 24<sup>th</sup> Street suitable for sawcutting and matching or is it in need of repaving?
2. How will County 24<sup>th</sup> Street be drained?
3. San Fernando Street is very close to the minimum street grades. Can the grade be increased. Will additional storm drainage facilities be needed along it?
4. Street lighting and retention basin and parkway landscaping will be required.
5. Avenue F and County 24<sup>th</sup> Street should be treated as minor arterials for paving, 4" AC/12" ABC per City of Yuma Std. 2-020.
6. 19<sup>th</sup> Avenue and San Fernando Street, as residential collector streets, should have a pavement section of 3" AC/10" ABC.

**Water and Sewer Plans –**

1. As Avenue F is a section line road, the water line in it should be 12-inch diameter.
2. 3 sewer cleanouts are shown. Is this acceptable to Public Works? The 2 cleanouts at Emmanuel and San Gabriel can be combined into a common manhole.

3. Provide water and sewer stubouts for future development as needed.

**Public Works Department:**

1. All improvements and right of way layout shall be per City of San Luis standards unless deviation is specifically discussed and approved.
2. Avenue F is a section line road so we should get a 12" water line
3. Interior visibility triangles need to be 25'x25' if easements no longer will be allowed.

**Planning and Zoning Department:**

1. Tract B shall either be labeled as a "Lot" or specify the use of the tract.
2. This is part of a parcel, show how this part will be divided. Either by lot split or showing the whole parcel as part of the plat.
3. Protective Fence as per §3.22 of the Subdivision Regulations must comply with City Code §152.219
4. Submit complete subdivision landscape plans (R.O.W. and Retention) at the same time as final plat- refer to City Code §152.295 through §152.300 for Landscape Regulations.
5. Subdivision development plan is required when the subdivision is developed in phases as per Subdivision Regulations §4.4(1)
6. Applicant must submit signed petitions for the creation of Improvement Districts as per Subdivision Regulations §3.17-5 to §3.17-7
7. Proposed street names must comply with the City of San Luis Roadway Naming and Addressing Policy.
8. It is recommended that retention basins be located in a centralized location to make it easily accessible within the neighborhood as recommended in the Open Space Element of the City of San Luis General Plan.

Please be advised that the comments made here are tentative in nature. Until all documentation, information, and drawings are submitted and approved in final form, and all permits for construction are approved and issued, the City of San Luis reserves the right to make further comments or require further information or submissions. Any construction which occurs prior to issuance of proper permits is occurring in contravention of the ordinances of the City, and is occurring at the risk of the Developer.

If you have any questions on these comments, please contact the Planning and Zoning Department at 928-341-8563.

Thank you,



Jose A. Guzman  
Director of Planning and Zoning



January 24, 2019

**SUBDIVISION CASE NUMBER: 2019-030P**

**CASE SUMMARY:** A request by Vianey Vega, Vega and Vega Engineering, P.L.C., on behalf of Comite de Bienestar Inc., property owner, for the preliminary plat approval for Bienestar Estates 10 Subdivision. This subdivision will contain approximately 40.91 acres and is proposed to be divided into 163 lots and 2 tracks. The lots ranging in size from approximately 6,022.96 square feet to 10,150.51 square feet, Assessor's Parcel No. 227-15-001 located southeast of intersection of Avenue F and County 24<sup>th</sup> Street, San Luis, Arizona

**PUBLIC MEETING: February 12, 2019**

**COMMENTS DUE: January 30, 2019**

Your comments on this case will help us prepare an accurate and timely staff report. Your comments on this case will be inserted "as is" into the staff report with your name, department, and telephone number, should the applicant have any questions. Your comments are a public record and will be available to the public, media, and the applicant, in addition to the Commission hearing this case. Please complete the section below and return via e-mail. For additional information please contact the Planning and Zoning Department at (928) 341-8563 or at [P&Z@cityofsanluis.org](mailto:P&Z@cityofsanluis.org).

Thank you,

Jose A. Guzman  
Director of Planning and Zoning  
Attachment: Location Map, & Preliminary Plat

.....  
 COMMENTS       NO COMMENTS

**Enter Comments below:**

The property is located near Rolle Airfield where aviation activity is expected to increase in the future. It is recommended to submit an Avigation Easement acknowledging aviation activities. Thank you for the opportunity to comment.

**Date:**

1/31/19

**Agency:**

Yuma County Airport Authority

**Phone:**

928-726-5882

**Return to:** [P&Z@cityofsanluis.org](mailto:P&Z@cityofsanluis.org)



## PLANNING & ZONING AGENDA ITEM REVIEW FORM

### Planning & Zoning Commission Meeting

4.C.

**Meeting Date:** 02/12/2019

**Submitted By:** Jose A. Guzman, Director of Planning & Zoning, Planning & Zoning Department

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#### ITEM:

Discussion and possible action on any and all matters regarding the request to authorize the roadway name change of Juan Sanchez Boulevard to Cesar Chavez Boulevard.

#### SUMMARY:

City Council may change the name of any roadway within the City of San Luis for commemorative purposes. This is done by resolution as per Section 4.1 of the City of San Luis Roadway Naming and Addressing Policy.

In this case, City Council desires to commemorate and recognize the important role and impact of one of America's great Latino American civil rights activist, César Estrada Chávez.

César Estrada Chávez was born March 31, 1927, and died in San Luis, Arizona, on April 23, 1993. He dedicated his life to community organizing and opposed mistreatment through non-violence and unionized farm workers to fight for fair wages, healthcare coverage, pension benefits, livable housing and respect.

In the same spirit, the City of San Luis will honor the memory of Cesar Chavez and his defense of farm workers by making Cesar Chavez Day, March 31st, a City of San Luis holiday.

#### RECOMMENDED MOTION:

**I MOVE TO RECOMMEND ROADWAY NAME CHANGE OF JUAN SANCHEZ BOULEVARD TO CESAR CHAVEZ BOULEVARD.**

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## PLANNING & ZONING AGENDA ITEM REVIEW FORM

**Planning & Zoning Commission Meeting**

**4.D.**

**Meeting Date:** 02/12/2019

**Submitted By:** Jose A. Guzman, Director of Planning & Zoning, Planning & Zoning Department

---

**ITEM:**

Discussion and possible action on any and all matters regarding the request to authorize the roadway name change of Industrial Avenue to Henry Chaves Court.

**SUMMARY:**

City Council may change the name of a roadway within the City of San Luis. This may be done by resolution as per Section 4.1 of the City of San Luis Roadway Naming and Addressing Policy.

In this case, the City of San Luis agrees with the attached request to change the name of Industrial Avenue to Henry Chavez Court.

On December 2018, City Administration received the request from the San Luis Industrial Park LLC group. The San Luis Industrial Park members want to recognize the contributions made by Mr. Chavez to San Luis.

As per street naming policy, the Planning & Zoning Department agrees with the recommendation by City Administration to accommodate request.

**RECOMMENDED MOTION:**

**I MOVE TO RECOMMEND ROADWAY NAME CHANGE OF INDUSTRIAL AVENUE TO HENRY CHAVEZ COURT.**

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**Attachments**

Name Change Request

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**SAN LUIS INDUSTRIAL PARK, LLC  
412 INDUSTRIAL AVE.  
P.O. BOX 3660  
SAN LUIS, AZ 85349  
(928) 627-3594**

December 20, 2018

Tadeo De La Hoya,  
City Manager  
San Luis, AZ 85349

Dear Mr. De La Hoya,

Please be informed that our San Luis Industrial Park, LLC (SLIP) executive board has determined that, out of gratitude to Dr. Henry Chavez, would like to petition to rename our "Industrial Ave." to one of these names 1) Henry Chavez Court, 2) Henry Chavez Place, or Henry Chavez Avenue.

Henry Chavez well deserves this tribute. Here are some of his accomplishments and service to Industrial Park and City of San Luis:

- 1) He chaired our SLIP board for 15 years, during his tenure, he led us to secure the addition of 30 acres, where he was the first to erect a new facility, a fruit processing plant. He also secured the necessary finances to develop its infrastructure.
- 2) He was a charter member of the San Luis Rotary Club.
- 3) He supported and chaired our local Chamber of Commerce.
- 4) He supported Yuma County Chamber of Commerce and served on board of directors.
- 5) He supported and chaired (for various years) Yuma's Navy League, where every Christmas around 70 food baskets were donated to City of San Luis low income residents, this continues to this day.
- 6) He has consistently supported and given to Yuma County Food Bank.
- 7) He consistently supported local causes, he never turned anybody away people that came asking for financial support.

- 8) He most recently led in the beautification of SLIP's beautification, over \$300,000 have been spent in this endeavor.
- 9) He believes in providing above average wages to his employees and it is not uncommon for him to give them profit bonuses two-three times per year.

His influence in the industrial sector and community at large will be felt for many years to come. I am certain there are many other contributions he has made to this community that I'm forgetting.

We would deeply appreciate it if you can coordinate the efforts to make this a reality. He is an extremely humble and generous man and would totally be surprised by the gesture. He never seeks attention or recognition, this is another reason for our petition.

Thank you,

Mario S. Jauregui, Vice President  
San Luis Industrial Park, LLC



## PLANNING & ZONING AGENDA ITEM REVIEW FORM

**Planning & Zoning Commission Meeting**

**4.E.**

**Meeting Date:** 02/12/2019

**Submitted By:** Jose A. Guzman, Director of Planning & Zoning, Planning & Zoning Department

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**ITEM:**

Discussion and possible action on any and all matters regarding the roadway name change of Bradley Holcom Place.

**SUMMARY:**

The City of San Luis does not support crime within its city limits. This is an informational item as City Administration will recommend City Council to consider the street name change of a convicted felon.

**RECOMMENDED MOTION:**

**I MOVE TO RECOMMEND ROADWAY NAME CHANGE OF BRADLEY HOLCOM PLACE.**

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