



## **NOTICE OF REGULAR PLANNING AND ZONING COMMISSION MEETING**

In accordance with Section 38-431.01 of the Arizona Revised Statutes of the State of Arizona, notice is hereby given to the Members of the Planning and Zoning Commission and to the general public that the Planning and Zoning Commission of the City of San Luis, Arizona will hold a Regular Planning & Zoning Commission Meeting at 7:00 p.m., Tuesday, May 14, 2019. The meeting will take place at the City Council Chambers, located at 1090 E. Union Street, San Luis, Arizona, 85349. Everyone from the public is invited to attend the open meeting.

In accordance with the Americans with Disabilities Act (ADA) and Section 504 of the Rehabilitation Act of 1973, the City of San Luis does not discriminate on the basis of disability in the admission of or access to, or treatment of employment in its programs, activities, or services. For information regarding rights and provisions of the ADA or Section 504, or to request reasonable accommodations for participation in City programs, activities or services contact: ADA/Section 504 Coordinator, City of San Luis Human Resources Department, 1090 East Union Street, San Luis, Arizona 85349; (928) 341-8520.

Notice is hereby given that pursuant to A.R.S. §1-602.A.9, subject to certain specified statutory exceptions, parents have a right to consent before the State or any of its political subdivisions make a video or audio recording of a minor child. Meetings of the City Council are audio and/or video recorded, and, as a result, proceedings in which children are present may be subject to such recordings. Parents in order to exercise their rights may either file written consent with the City Clerk to such recordings, or take personal action to ensure that their child or children are not present when a recording may be made. If a child is present at the time a recording is made, the City will assume that the rights afforded parents pursuant to A.R.S. §1-602.A.9 have been waived.

THIS NOTICE IS GIVEN BY:

/s/ Roman Pacheco, Planning Technician

## **AVISO DE JUNTA REGULAR DE LA COMISIÓN DE PLANEACIÓN Y ZONAMIENTO**

De acuerdo a la Sección 38-431.01 de los Estatutos Revisados del Estado de Arizona, se les informa a los Miembros de la Comisión de Planeación y Zonamiento y al público en general que la Comisión de Planeación y Zonamiento de San Luis, Arizona, tendrán una junta regular a las 7:00 p.m., el día Martes, 14 de Mayo del 2019. La junta se llevará a cabo en la Cámara del Consejo de la ciudad, ubicado en el 1090 East Union Street, San Luis, Arizona, 85349. El público esta cordialmente invitado.

De acuerdo con el Acta de Americanos con Discapacidades y la Sección 504 del Acta de Rehabilitación de 1973, la Ciudad de San Luis no discrimina por causa de discapacidad la admisión y acceso a sus programas, actividades, servicios o en el trato en cuanto a empleo. Para más información referente a derechos y provisiones del Acta de Americanos con Discapacidades o Sección 504, o para solicitar adaptaciones que sean razonables para la participación en programas, actividades o servicios de la ciudad, contactar a: Coordinador del Acta de Americanos con Discapacidades/Sección 504, Departamento de Recursos Humanos de la Ciudad de San Luis, 1090 Este Calle Unión, San Luis, Arizona, 85349; (928) 341-8520.

Por medio de éste aviso y de acuerdo con los Estatutos Revisados del Estado de Arizona, sujeto a ciertas excepciones reglamentarias, los padres de familia tienen el derecho de dar o no dar el consentimiento ante el Estado o alguna subdivisión política grabe a un menor de edad, ya sea en audio o video. Las juntas del Concilio se graban en audio y/o video y como resultado, el hecho de que haya menores presentes puede ser sujeto a que sean grabados. Para que los padres de familia puedan ejercer sus derechos pueden solicitar por escrito a la Secretaria de la Ciudad dicha grabación, o tomar acción personal para asegurarse que su hijo/hija menor no esté presente cuando la grabación se lleve a cabo. Si un menor de edad está presente en el momento de la grabación, la Ciudad asumirá que los padres de familia están cediendo los derechos sobre una posible grabación de acuerdo con el Estatuto Revisado del Estado de Arizona §1-602.A.9.

ESTE AVISO ES DADO POR:

/f/ Roman Pacheco, Técnico en Planeación



## AMENDED AGENDA 5/12/19

**AGENDA**  
**Planning & Zoning Commission**  
**Regular Meeting**  
**San Luis Council Chambers**  
**1090 E. Union Street**  
**San Luis, AZ 85349**  
**Tuesday, May 14, 2019**  
**7:00 P.M.**

**MEMBERS OF THE SAN LUIS PLANNING & ZONING COMMISSION WILL ATTEND EITHER IN PERSON, TELEPHONE, OR VIDEO CONFERENCE COMMUNICATION.**

**1. CALL TO ORDER/ROLL CALL**

**2. PLEDGE OF ALLEGIANCE**

**3. CONSENT AGENDA**

All matters are considered to be routine by the Planning & Zoning Commission and will be enacted by one motion. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

**3. A. APPROVAL OF MINUTES**

-Regular Planning and Zoning Commission meeting held April 9, 2019

**4. PUBLIC HEARINGS** – the Planning & Zoning Commission will be considering a vote or action on the following cases. Any vote or action will be considered separately for each case.

**4. A.** Public hearing followed by discussion and possible action on any and all matters regarding Rezoning Case No. 2019-0224. A request by Edais Engineering, Inc., on behalf of Riedel Holdings, LLC, owner, to change the zoning classification of 30.3 acres from Medium-High Density Residential (R-2) to Medium Density Residential (R1-6) for property located on the northeast corner of County 24th Street and 20th Avenue.

A. Open public hearing

1. Staff presentation
2. Call to the Public on this item

B. Close public hearing

C. Action on Rezoning Case No. 2019-0224

**5. ITEMS REQUIRING DISCUSSION AND/OR ACTION** – the Planning & Zoning Commission will be considering a vote or action on the following cases. Any vote or action will be considered separately for each case.

5. A. Discussion and possible action on any and all matters regarding Subdivision Case No. 2019-0114F. A request by Vega and Vega Engineering, PLC, on behalf of Comite de Bienestar Inc., property owner, for the final plat approval for Bienestar Estates 10 Subdivision. The property is located on the southeast corner of Avenue F and County 24th Street, San Luis, Arizona.

A. Staff presentation

B. Action on Subdivision Case No. 2019-0114F

5. B. Presentation followed by discussion on any and all matters regarding the General Plan Update process.
6. **CALL TO THE PUBLIC** - This is the time for the public to comment. Members of the Commission may not discuss items that are not specifically identified on the agenda. Therefore, pursuant to Arizona Revised Statute §38-431.01(G), action taken as a result of comment will be limited to directing staff to study the matter, or scheduling the matter for further discussion and decision at a future date. All Planning & Zoning Commission meetings are recorded.
7. **ADJOURNMENT**



## AGENDA ITEM REVIEW FORM

### Planning & Zoning Commission Meeting

3.A.

Meeting Date: 05/14/2019

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#### Summary

#### **APPROVAL OF MINUTES**

-Regular Planning and Zoning Commission meeting held April 9, 2019

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#### Attachments

Minutes of April 9, 2019

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## **MINUTES**

REGULAR MEETING  
PLANNING AND ZONING COMMISSION  
SAN LUIS COUNCIL CHAMBERS  
1090 E. UNION STREET  
April 9, 2019  
7:00 PM

**1. CALL TO THE ORDER /ROL CALL:** The meeting was called to order at approximately 7:19 PM, by Chairman Marco A. Pinzon.

**2. PLEDGE OF ALLEGIANCE:** Pledge of Allegiance was led by Commission Member Concepcion R. Ulloa.

**PRESENT:**

- Chairman Marco A. Pinzon
- Vice Chairman Daniel Bazua
- Commission Member Javier Barraza
- Commission Member Veronica Zavala
- Commission Member Concepcion R. Ulloa

**ABSENT:**

- Commission Member Hugo Garcia
- Commission Member Guillermina Fuentes

**Others Present:**

- Jose A. Guzman, Director of Planning and Zoning
- Roman Pacheco, Planning Technician
- Kay Macuil, City Attorney
- Tadeo De La Hoya, City Manager
- Vianey Vega, Vega and Vega Engineering
- Jesus Santiago, Resident

### **3. CONSENT AGENDA**

#### **3. A. APPROVAL OF MINUTES**

-Regular Planning and Zoning Commission meeting held March 12, 2019

**MOTION: Commission Member Javier Barraza/Commission Member Veronica Zavala** to approve the consent agenda as presented. Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Daniel Bazua	Aye
Commission Member Javier Barraza	Aye
Commission Member Veronica Zavala	Aye
Commission Member Concepcion R. Ulloa	Aye

**4. PUBLIC HEARINGS** – the Planning & Zoning Commission will be considering a vote or action on the following cases. Any vote or action will be considered separately for each case.

**4. A. Public hearing followed by discussion and possible action on any and all matters regarding Conditional Use Permit Case No. 2019-067. A request by Glen T. Curtis on behalf of MJS Properties, L.T.D., property owner, for a Conditional Use Permit to allow the establishment of a religious institution to be located on the northeast corner of 5th Avenue and Union Street.**

**A. Open public hearing**

**MOTION: Commission Member Javier Barraza/Vice Chairman Daniel Bazua** to open public hearing. Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Daniel Bazua	Aye
Commission Member Javier Barraza	Aye



**Mr. Santiago** mentioned the reason he brought up the Fire and Police department was because in case of an emergency they do go through there, so his concern was road blockage.

**Mr. Cruz** stated that service is solely on Wednesdays and Sundays and the church is composed from 160-180 people, so it would not be an everyday thing.

### **B. Close public hearing**

**MOTION: Vice Chairman Daniel Bazua/Commission Member Javier Barraza** to close public hearing. Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Daniel Bazua	Aye
Commission Member Javier Barraza	Aye
Commission Member Veronica Zavala	Aye
Commission Member Concepcion R. Ulloa	Aye

### **C. Action on Conditional Use Permit Case No. 2019-067**

**MOTION: Commission Member Javier Barraza/Vice Chairman Daniel Bazua** to forward Conditional Use Permit Case No. 2019-067 to City Council with recommendation of approval with conditions as presented by staff. Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Daniel Bazua	Aye
Commission Member Javier Barraza	Aye
Commission Member Veronica Zavala	Aye
Commission Member Concepcion R. Ulloa	Aye

**5. ITEMS REQUIRING DISCUSSION AND/OR ACTION** – the Planning & Zoning Commission will be considering a vote or action on the following cases. Any vote or action will be considered separately for each case.

**5.A. Discussion and possible action on any and all matters regarding Subdivision Case No. 2019-0115P. A request by Vega and Vega Engineering, PLC, on behalf of Sam Group Investment Company LTD Partnership, property owner, for the preliminary plat approval for Belleza Del Desierto Phase 1 Subdivision. The property is located at the southeast corner of Avenue E1/2 and County 24th Street.**

**A. Staff presentation**

**Mr. Jose A. Guzman, Director of Planning and Zoning**, stated that the property is located at the southeast corner of Avenue E1/2 and County 24th Street. It will consist of approximately 18.69 acres and is proposed to be divided into 90 lots and one tract for storm water retention. The minimum lot size allowed within this subdivision is 6,000 square feet. **Mr. Guzman** added that the property went through a minor amendment and a rezoning in order to make it compatible with the proposed use.

**Vice Chairman Daniel Bazua** asked if all the concerns that had been discussed were in the letter containing the conditions.

**Mr. Guzman** assured him the comments would be addressed before submittal. He then talked about the comments and the concerns behind the comments.

**Mr. Vianey Vega, Vega and Vega Engineering**, clarified that the 19 feet were the proposed width for the roadway, the 25 feet for the right-of-way, and then the sidewalk and the curb. **Mr. Vega** added that he will be addressing that comment in the final.

**Mr. Guzman, Mr. Vega, and Vice Chairman Daniel Bazua** proceeded to discuss about some of the comments and how they would be addressed.

**Commission Member Javier Barraza** asked if there would be enough water pressure for the area.

**Mr. Guzman** stated that there are no issues with the water pressure.

**Mr. Tadeo De La Hoya, City Manager**, assured them there is enough water pressure to meet the fire requirements for PSI's.

### **B. Action on Subdivision Case No. 2019-0115P**

**MOTION: Vice Chairman Daniel Bazua/Commission Member Javier Barraza** to approve Preliminary Plat Subdivision Case No. 2019-0115P with conditions as presented by staff. Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Daniel Bazua	Aye
Commission Member Javier Barraza	Aye
Commission Member Veronica Zavala	Aye
Commission Member Concepcion R. Ulloa	Aye

### **6. CALL TO THE PUBLIC**

There was no comment from the public.

### **7. ADJOURNMENT**

**MOTION: Commission Member Javier Barraza/Vice Chairman Daniel Bazua** to adjourn the meeting at approximately 7:46 p.m. Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Daniel Bazua	Aye
Commission Member Javier Barraza	Aye

Planning & Zoning Commission  
Regular Meeting  
April 9, 2019  
Page 7 of 7

Commission Member Veronica Zavala	Aye
Commission Member Concepcion R. Ulloa	Aye



## PLANNING & ZONING AGENDA ITEM REVIEW FORM

### Planning & Zoning Commission Meeting

4.A.

**Meeting Date:** 05/14/2019

**Submitted By:** Jose A. Guzman, Director of Planning & Zoning, Planning & Zoning Department

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#### ITEM:

Public hearing followed by discussion and possible action on any and all matters regarding Rezoning Case No. 2019-0224. A request by Edais Engineering, Inc., on behalf of Riedel Holdings, LLC, owner, to change the zoning classification of 30.3 acres from Medium-High Density Residential (R-2) to Medium Density Residential (R1-6) for property located on the northeast corner of County 24th Street and 20th Avenue.

- A. Open public hearing
  - 1. Staff presentation
  - 2. Call to the Public on this item
- B. Close public hearing
- C. Action on Rezoning Case No. 2019-0224

#### BACKGROUND:

The subject property is located in the east mesa of the City of San Luis; at the northeast corner of County 24th and 20th Avenue (Assessor Parcel ID No. 227-10-009). Bienestar 9A and Santa Cecilia 2 subdivisions are located to the west and are zoned Medium Density Residential (R1-6). Property to the east are zoned Medium-High Density Residential (R-2) and High Density Residential (R-3) and is undeveloped land. Property to the south is zoned as Medium Density Residential (R-2) and Light Industrial (L-I) further south. Property to the north is part of Yuma County and is undeveloped land.

#### GENERAL PLAN:

This area is designated as Neighborhood in the City of San Luis 2020 General Plan. The activities proposed will be consistent with that designation (Chapter 2, Page 19-20). The Neighborhood Land Use designation allows all types of residential development.

#### AGENCY REVIEW:

As part of the review process, all land use cases are reviewed by various City and outside agencies. As required by State Statute staff sent notification letters to property owners within 300 feet of the proposed project. The City has not received any significant concern or objection from the various review agencies or adjacent property owners.

#### CITIZEN REVIEW MEETING:

As required by State Statute (A.R.S. §9-462.03) and City Code (§152.040(C)), a Citizen Review meeting was held at City Hall on May 7, 2019.

The purpose of the Citizen Review Meeting is to provide adjacent landowners and other potentially affected citizens an opportunity to ask questions and express any issues or concerns that they may have with the proposed rezoning or specific plan application prior to the public hearing. There were no people from the public present.

**ANALYSIS:**

As an effort to alleviate the demand for bigger houses the City Council approved Ordinance No. 347, an ordinance to set up the minimum lot size to 6,000 sq. ft. for new subdivisions.

The reason for the rezoning request is that the property is zoned as Medium-High Density (R-2) which does not allow construction of single detached dwellings. The appropriate zoning for the construction of this subdivision is the requested, Medium Density Residential (R1-6) zoning district.

**SUMMARY:**

As mentioned above, the current zoning is Medium-High Density Residential (R-2) and was approved by Ordinance No. 250 back in 2007. The rezoning was approved with conditions, one of the conditions was to have land dedicated and developed for parks and recreation purposes, at no cost to the City.

Staff recommendation is to recommend approval of the request with the condition that the developer negotiates a development agreement with staff to address conditions of Ordinance No. 250.

**RECOMMENDED MOTION:**

**I MOVE TO FORWARD REZONING CASE NO. 2019-0224 TO THE CITY COUNCIL, WITH AN APPROVAL RECOMMENDATION SUBJECT TO THE CONDITION THAT THE DEVELOPER NEGOTIATES A DEVELOPMENT AGREEMENT WITH STAFF.**

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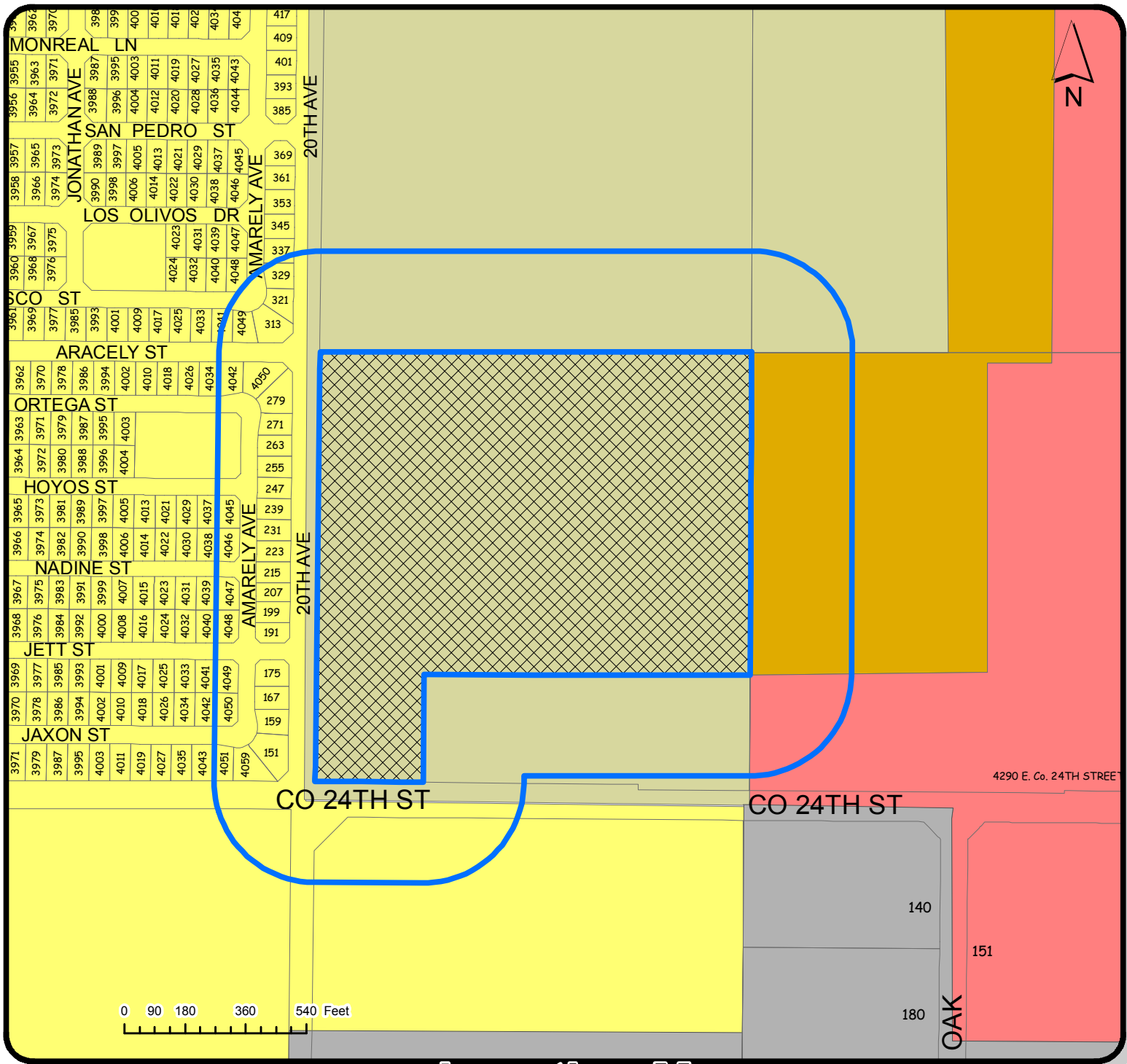
**Attachments**

Location Map

Conceptual Plan

Ordinance No. 250


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**LOCATION OF SUBJECT PROPERTY**





# Location Map

## REZONING

 AREA OF INTEREST TO BE REZONED:  
APPROXIMATELY 30.30 ACRES  
OF PARCEL 227-10-009

**Zoning**

REZONE FROM R-2 TO R1-6

-  MULTIPLE RESIDENCE ZONING DISTRICTS  
R-3
-  INDUSTRIAL ZONING DISTRICTS  
I-1
-  COMMERCIAL ZONING DISTRICTS  
C-2
-  SINGLE RESIDENCE ZONING DISTRICTS  
R1-8

 300ft Notification Area

**Date:**  
4/24/2019

PLANNING & ZONING



GIS

**Prepared By:**  
ISAAC GUTIERREZ

**APPROVED BY:**  
JOSE A. GUZMAN

**Case No.**  
2019-0224

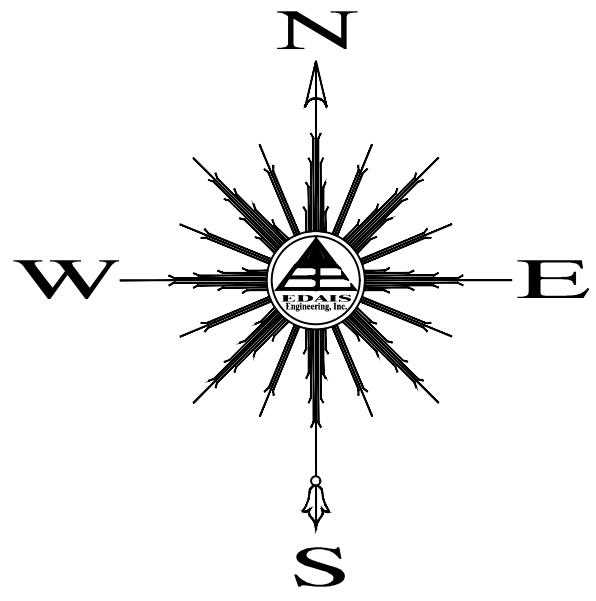
# SANTA CECILIA No. 3 SUBDIVISION

LOT 3 OF BORDER RANCHES SUBDIVISION AS RECORDED IN BOOK 27 OF PLATS, PAGES 9-10,  
YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, ARIZONA

DATE OF PREPARATION: AUGUST 2018

NUMBER OF LOTS: 141

ACREAGE: 30.30 ACRES



SCALE: 1" = 100'

### LINE DATA

LINE	LENGTH	BEARING
L1	21.22	N45°01'59"W
L2	21.20	N44°58'01"E
L3	21.20	S44°58'01"W
L4	21.22	N45°02'15"W
L5	21.20	N44°57'45"E

### CURVE DATA

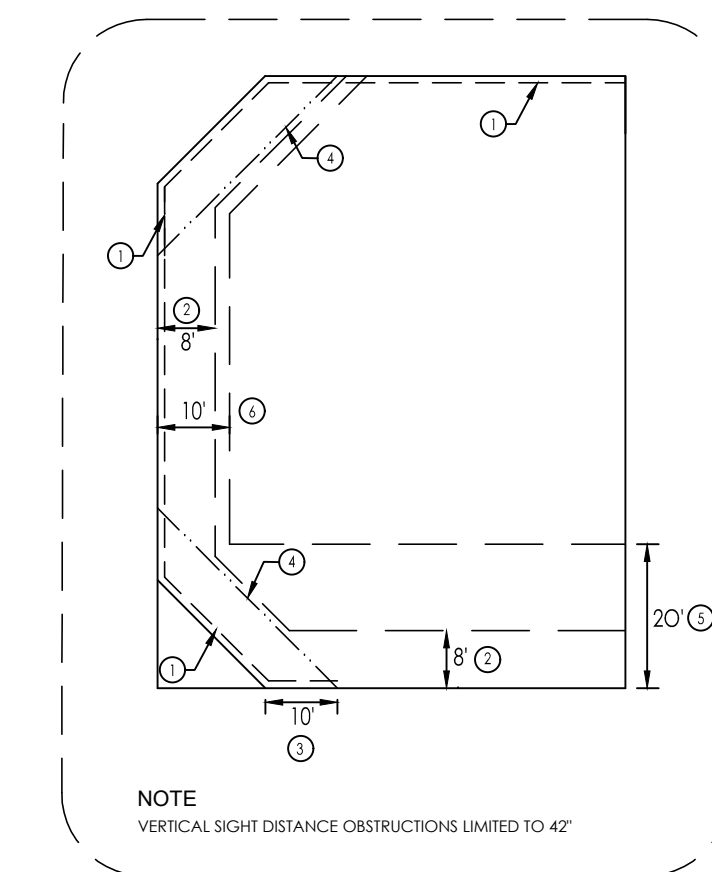
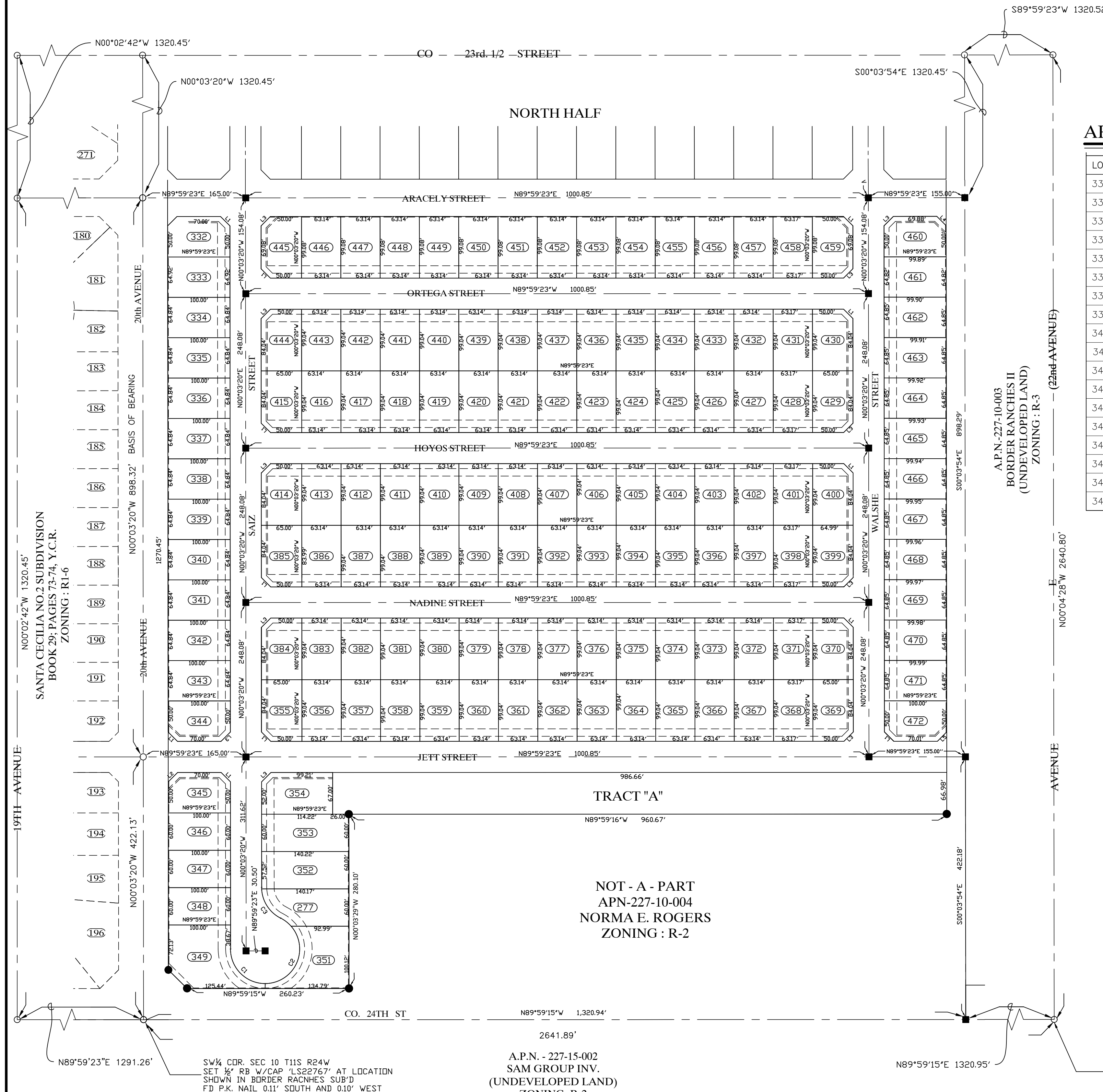
CURVE	DELTA	CHORD DIRECTION	CHORD	TANGENT	RADIUS	LENGTH
C1	243°13'39"	N58°19'51"E	94.53'	-90.17'	55.50'	235.60'
C2	243°13'39"	N58°19'51"E	94.53'	-90.17'	55.50'	235.60'
C3	063°13'39"	S31°40'09"E	58.19'	34.16'	55.50'	61.25'

### AREAS

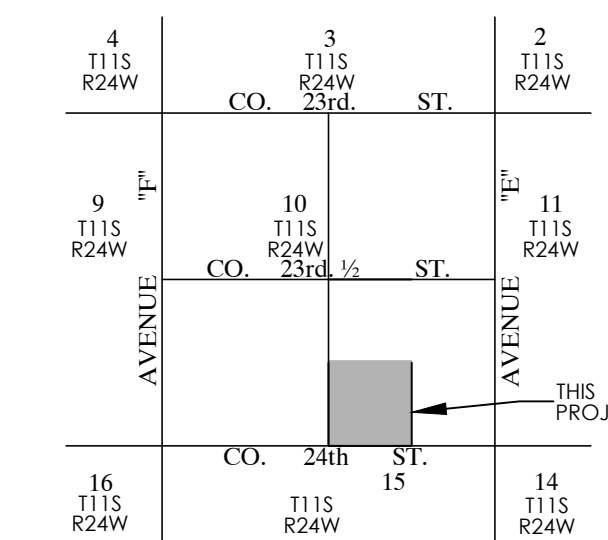
LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA	LOT	AREA
332	6275.00 SF	351	9196.90 SF	370	6325.11 SF	388	6253.39 SF	406	6253.39 SF	424	6253.39 SF	442	6253.39 SF	460	6267.32 SF
333	6491.98 SF	352	8413.15 SF	371	6256.36 SF	389	6253.39 SF	407	6253.39 SF	425	6253.39 SF	443	6253.39 SF	461	6475.01 SF
334	6484.00 SF	353	8413.03 SF	372	6253.39 SF	390	6253.39 SF	408	6253.39 SF	426	6253.39 SF	444	6325.10 SF	462	6478.72 SF
335	6484.00 SF	355	6325.10 SF	373	6253.39 SF	391	6253.39 SF	409	6253.39 SF	427	6253.39 SF	445	6215.19 SF	463	6479.41 SF
336	6484.00 SF	356	6253.39 SF	374	6253.39 SF	392	6253.39 SF	410	6253.39 SF	428	6256.36 SF	446	6255.90 SF	464	6480.09 SF
337	6484.00 SF	357	6253.39 SF	375	6253.39 SF	393	6253.39 SF	411	6253.39 SF	429	6325.10 SF	447	6255.90 SF	465	6480.78 SF
338	6484.00 SF	358	6253.39 SF	376	6253.39 SF	394	6253.39 SF	412	6253.39 SF	430	6325.10 SF	448	6255.90 SF	466	6481.47 SF
339	6484.00 SF	359	6253.39 SF	377	6253.39 SF	395	6253.39 SF	413	6253.39 SF	431	6256.36 SF	449	6255.90 SF	467	6482.16 SF
340	6484.00 SF	360	6253.39 SF	378	6253.39 SF	396	6253.39 SF	414	6325.10 SF	432	6253.39 SF	450	6255.90 SF	468	6482.85 SF
341	6484.00 SF	361	6253.39 SF	379	6253.39 SF	397	6253.39 SF	415	6325.10 SF	433	6253.39 SF	451	6255.90 SF	469	6483.54 SF
342	6484.00 SF	362	6253.39 SF	380	6253.39 SF	398	6256.36 SF	416	6253.39 SF	434	6253.39 SF	452	6255.90 SF	470	6484.22 SF
343	6484.00 SF	363	6253.38 SF	381	6253.39 SF	399	6323.09 SF	417	6253.39 SF	435	6253.39 SF	453	6255.90 SF	471	6484.91 SF
344	6275.00 SF	364	6253.38 SF	382	6253.39 SF	400	6324.50 SF	418	6253.39 SF	436	6253.39 SF	454	6255.90 SF	472	6275.60 SF
345	6275.00 SF	365	6253.38 SF	383	6253.39 SF	401	6256.36 SF	419	6253.39 SF	437	6253.39 SF	455	6255.90 SF		
346	6000.00 SF	366	6253.38 SF	384	6325.10 SF	402	6253.39 SF	420	6253.39 SF	438	6253.39 SF	456	6255.90 SF		
347	6000.00 SF	367	6253.38 SF	385	6325.10 SF	403	6253.39 SF	421	6253.39 SF	439	6253.39 SF	457	6255.90 SF		
348	6000.00 SF	368	6256.35 SF	386	6253.39 SF	404	6253.39 SF	422	6253.39 SF	440	6253.39 SF	458	6258.87 SF		
349	10866.16 SF	369	6325.10 SF	387	6253.39 SF	405	6253.39 SF	423	6253.39 SF	441	6253.39 SF	459	6215.19 SF		

### LEGEND

- CENTERLINE
- RIGHT-OF-WAY (ROW) LINE
- NEW PROPERTY LINE
- EASEMENT (TYPE AS NOTED)
- BOUNDARY LINE
- NEW STREET MONUMENT AS PER YUMA COUNTY STD. DETAIL NO. 4-080
- NEW SUBDIVISION BOUNDARY MONUMENT AS PER YUMA COUNTY STD. DETAIL NO. 04-030
- EXISTING MONUMENT (TYPE AS SHOWN)
- ① NEW LOT NUMBER
- ④7 EXISTING LOT NUMBER
- A . P . N ASSESSOR PARCEL NUMBER
- B.C. BRASS CAP
- H.H. HAND HOLE
- Y.C.R. YUMA COUNTY RECORDS
- G. & S.R.B. & M. GILA AND SALT RIVER BASE AND MERIDIAN



### LOCATION MAP



### TRACT AREAS OWNER

TRACT	AREA
"A"	1.52 ACRES

**R&G ASSOCIATES LLC.**  
P.O. BOX 1649  
SAN LUIS, AZ 85349  
(928) 627-9385

### BASIS OF BEARING

THE WEST LINE OF THE SW 1/4 OF SECTION 10, T11S, R24W, G.S.R.B.&M., YUMA COUNTY, ARIZONA (BEING THE CENTERLINE OF AVENUE "F"), AS SHOWN ON BORDER RANCHES SUBDIVISION, AS RECORDED IN BOOK 27 OF PLATS, PAGES 9&10, YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, ARIZONA, NAMELY BEARING N00°02'42"W

### SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I AM A LAND SURVEYOR LISTED ON THE ROSTER OF ACTIVE REGISTRANTS BY THE STATE BOARD OF TECHNICAL REGISTRATION OF ARIZONA AND THAT THIS MAP CONSISTING OF ONE (1) SHEET CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION, THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN.

### PREPARED BY:

**Edais Engineering, Inc.**  
3075 S. AVENUE 4 E  
YUMA, ARIZONA 85365  
(928) 344-3566

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

WHEN RECORDED MAIL TO:  
CITY OF SAN LUIS  
P.O. BOX 1170  
SAN LUIS, AZ 85349  
ATTN: CITY CLERK

OFFICIAL RECORDS OF  
YUMA COUNTY RECORDER  
SUSAN MARLER



**FEE #: 2007 – 16715**

05/07/2007 10:08 PAGES: 0004  
FEES: 3.00 4.00 1.00 .00 .00  
REQ BY: CITY OF SAN LUIS  
REC BY: PATTY MAGANA

COPY  
AS TO FILING DATA ONLY

The above area is to be reserved for recording information

\*\*\*\*\*

**C A P T I O N   H E A D I N G :**

**Ordinance No. 250**



# *Ordinance*

## ORDINANCE NO. 250

OFFICE OF THE  
MAYOR  
CITY OF SAN LUIS

AN ORDINANCE OF THE MAYOR AND CITY COUNCIL OF THE CITY OF SAN LUIS, ARIZONA, AMENDING ORDINANCE NO. 13, AS AMENDED, REZONING 280 ACRES LOCATED AT THE NORTH-EAST CORNER OF AVENUE 'F' AND COUNTY 24<sup>TH</sup> STREET FROM COUNTY RURAL AREA TEN (10) ACRE PARCELS (RA-10) TO INTERMEDIATE DENSITY RESIDENTIAL (R-2) ON 257.5 ACRES, TO HIGH DENSITY RESIDENTIAL (R-3) ON 10 ACRES AND TO GENERAL COMMERCIAL (C-2) ON 12.5 ACRES, AND AMENDING THE ZONING MAP TO CONFORM THERETO.

BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF SAN LUIS, ARIZONA, AS FOLLOWS:

**Section 1:** That Ordinance #13, as amended, be further amended that the real property described as follows:

The southwest quarter of section 10 except the south 330 feet of the west 330 feet.

The southeast quarter of section 10 except the southeast quarter of the southeast quarter and except the east half of the north-east quarter of the southeast quarter of said section 10.

Said section 10 being in Township 11 South, Range 24 West of the Gila and Salt River Base and Meridian. Yuma County, Arizona.

Be rezoned from County RA-10 to Intermediate Density Residential (R-2) as defined in Ordinance #13, as amended, and upon this ordinance taking effect, shall be subject to all rules, regulations and requirements of the R-2 Zoning District of Ordinance #13, as amended.

**Section 2:** That Ordinance #13, as amended, be further amended that the real property described as follows:

The west half of the east half of the northeast quarter of the southeast quarter of Section 10, Township 11 South, Range 24 West of the Gila and Salt River Base and Meridian. Yuma County, Arizona.

Be rezoned from County RA-10 to High Density Residential (R-3) as defined in Ordinance #13, as amended, and upon this ordinance taking effect, shall be subject to all rules, regulations and requirements of the R-3 Zoning District of Ordinance #13, as amended.

**Section 3:** That Ordinance #13, as amended, be further amended that the real property described as follows:

The south 330 feet of the west 330 feet of the southwest quarter and the east half of the east half of the northeast quarter of the southeast quarter of Section 10, Township 11 South, Range 24 West of the Gila and Salt River Base and Meridian. Yuma County, Arizona.

Be rezoned from County RA-10 to General Commercial (C-2) as defined in Ordinance #13, as amended, and upon this ordinance taking effect, shall be subject to all rules, regulations, and requirements of the C-2 Zoning District of Ordinance #13, as amended.

**Section 4:** Adoption of this ordinance will include the following conditions:


1. Dedication of an additional seventeen feet of street right-of-way along County 24<sup>th</sup> Street.
2. Dedication of an additional seventeen feet of street right-of-way along Avenue 'F'
3. Dedication of forty (40) feet of street right-of-way along County 23 ½ Street.
4. All off-site improvements noted in the "Joint Development Agreement" made on the 16<sup>th</sup> day of March 2007 between the Comite de Bienestar, Border Ranches LLC and Sam Group to be constructed.
5. That land be dedicated and developed throughout the property being rezoned for parks and recreation purposes, at no cost to the City. These dedications shall be made at the discretion of the city and approved at the time of subdivision plat approval. The amount acreage dedicated shall not be less than a total of 12 nor more than 15 acres. Said land may be used for water/drainage retention purposes.
6. That the property be developed and all of the conditions met within 5 years of the effective date of this ordinance or the zoning will revert to the present previous zoning classification.

**Section 5:** That the zoning map adopted under said Ordinance #13, as amended is hereby ordered to be changed so as to show that said real property described in this ordinance is located within the zoning district herein provided.

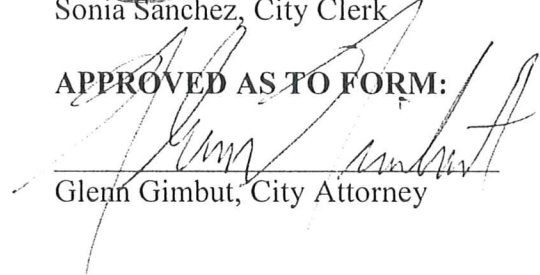
**PASSED AND ADOPTED** by the Mayor and City Council of the City of San Luis,  
Arizona, this 25<sup>th</sup> day of April, 2007.

  
Juan Carlos Escamilla, Mayor

**ATTEST:**

  
\_\_\_\_\_  
Sonia Sanchez, City Clerk

**APPROVED AS TO FORM:**

  
\_\_\_\_\_  
Glenn Gimbut, City Attorney



## PLANNING & ZONING AGENDA ITEM REVIEW FORM

### Planning & Zoning Commission Meeting

5.A.

**Meeting Date:** 05/14/2019

**Submitted By:** Jose A. Guzman, Director of Planning & Zoning, Planning & Zoning Department

#### ITEM:

Discussion and possible action on any and all matters regarding Subdivision Case No. 2019-0114F. A request by Vega and Vega Engineering, PLC, on behalf of Comite de Bienestar Inc., property owner, for the final plat approval for Bienestar Estates 10 Subdivision. The property is located on the southeast corner of Avenue F and County 24th Street, San Luis, Arizona.

A. Staff presentation

B. Action on Subdivision Case No. 2019-0114F

#### BACKGROUND:

This item is a request by Vianey R. Vega P.E. of Vega & Vega Engineering, PLC, on behalf of Comite de Bienestar Inc., owner, for approval of the final plat for construction of residential subdivision to be called Bienestar Estates 10.

The subject property is located on the east mesa of the City of San Luis on the southeast corner of Avenue F and County 24th Street. Santa Cecilia No. 1 and Santa Cecilia No. 2, two single-family residential subdivisions under construction, are located north of the proposed rezoning. To the west and south there is undeveloped land zoned as Rural Area Residential (RA-10). Adjacent to the east is vacant land recently rezoned from Light Industrial to Residential.

The proposed subdivision consist of approximately 40.91 acres and is proposed to be divided into 163 lots and 2 tracts, one tract for future commercial development and the other tract to be dedicated to the City for stormwater retention. The lots ranging in size from approximately 6,022.96 square feet to 10,150.51 square feet.

#### GENERAL PLAN UPDATE:

This area is designated as Neighborhood and Activity Center in the City of San Luis 2020 General Plan. The activities proposed will be consistent with those designations (Chapter 2, Page 19-21). The Neighborhood designation allows all types of residential development and the Activity Center Designation allows for residential and commercial development.

#### AGENCY REVIEW:

As part of the review process, all land use cases are reviewed by various City departments and outside agencies. We have recieved comments from the following agencies:

1. Arizona Game and Fish Department (3-15-19)

The City has not received any other significant concerns or objections from the various review agencies.

#### ANALYSIS:

In 2007, the Arizona Legislature adopted legislation that required municipalities to certify that all new subdivisions had an assured 100-year water supply. On February 11, 2011, the City of San Luis was designated by the Arizona Department of Water Resources (ADWR) as having a 100-year adequate water supply. Consequently, individual subdivisions do not have to submit additional certification.

#### **TIMELINE:**

The preliminary plat for Bienestar Estates 10 (Subdivision Case No. 2019-030P) was approved with conditions, by the Planning and Zoning Commission, on their regular meeting of February 12, 2019. The condition was that the applicant had to address all comments on letter dated February 11, 2019.

Staff send out a Preliminary Plat Action Letter to the applicant informing him about the approval of the request and attached the letter of February 11, 2019 as the condition of said approval.

In order to be development friendly and move the project along, staff accepted a final plat application and plans. The application was missing owner's signature and the notarized waiver as per Arizona Revised Statute Section 12-1134. The plans were not complete and did not address all comments from letter dated February 11, 2019. On April 9, 2019, staff received a response letter to the review comments, although some of the comments were addressed, there were missing plans. One of the plans missing was the landscaping plans for the adjacent right-of-way (ROW) and the retention basin. The condition specifically states, "submit complete subdivision landscape plans (ROW and retention) at the same time as the final plat" and the response received from the engineer was, "landscaping plans are being design they will be differed submittal." Based on the response and the fact that we no longer accept deferred submittal of landscape plans, the submittal of the final plat was considered incomplete because it did not address all the conditions on letter dated February 11, 2019. The applicant was informed that the Final Plat was going to be presented to the Commission once all conditions of approval of the Preliminary Plat were addressed.

Staff met with the applicant on April 24, 2019 to address their concerns. They were informed that complete landscape plans were required as mentioned in the conditions of the preliminary plat. The landscape plans had to be submitted for the retention basin and the adjacent right-of-way. Also that other submittal pending was the subdivision development plan, this plan is required when the subdivision is developed in phases as per Subdivision Regulations Section 4.4(1). The engineer said that landscape plans were ready to be submitted and they were going to submit all missing plans and conditions of the preliminary plat in order for this item to be presented to the Commission on the meeting of May.

On April 25th, staff received revised plans that according to the engineer were complete. In order to give the chance to the engineer to revise the plans staff sent out partial comments (30 of the 56 pending comments) on May 1st. On May 6th, staff sent out another part of the pending comments (20 of the 56 pending comments) and the applicant was made aware that the plans were incomplete as the subdivision development plan and the landscape plans for the adjacent right-of-way were missing. On May 7th, staff sent out the rest of the pending comments (6 of the 56 pending comments). Staff put all comments together (56 pending comments) and sent out a review comments letter to the applicant.

Applicant has not submitted the pending application signatures and notarized waiver. Staff has not received a response to comments send out May 1st, May 6th or May 7th. Regardless of the pending comments, the applicant requested to administration for this item to be presented to the Commission on the meeting of May 14, 2019.

#### **SUMMARY:**

The applicant has substantially provided the information and materials necessary for review of the Final Plat for Bienestar Estates 10. Staff recommends approval of Subdivision Case No. 2019-0114F subject to the following conditions:

1. Improvement Districts are required for all new subdivisions:
  - a) Street Light Improvement District (Subdivision Regulations Section 3.17-5)

- b) Community Facilities District (Subdivision Regulation Section 3.17.6)
  - c) Enhanced Municipal Services District (Subdivision Regulations Section 3.17-7)
2. Applicant must submit the pending application signatures and notarized waiver as per A.R.S. Section 12-1134.
  3. The applicant must correct, as noted, the comments attached (letter dated May 7, 2019) prior to scheduling the Final Plat to be presented to the City Council. Deadline to schedule an item to the City Council is 2 weeks prior to the meeting.

**RECOMMENDED MOTION:**

**I MOVE TO FORWARD SUBDIVISION CASE NO. 2019-0114F WITH AN APPROVAL RECOMMENDATION TO THE CITY COUNCIL. RECOMMENDATION SUBJECT TO THE CONDITIONS OF APPROVAL ATTACHED TO THIS REPORT.**

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**Attachments**

- Conditions of Approval
  - Location Map
  - Aerial Picture
  - Final Plat
  - Arizona Game and Fish Department Comments (3-15-19)
  - Preliminary Plat Letter of Approval and Conditions (2-13-19)
  - Preliminary Plat Conditions Response Letter (4-9-19)
  - Final Plat Review Comments (5-7-19)
-

**PLANNING AND ZONING COMMISSION CONDITIONS OF APPROVAL**

The property-owner shall provide the City Department of Planning and Zoning with check made out to the Yuma County Recorder for the appropriate amount.

1. Improvement Districts are required for all new subdivisions:
  - a) Street Light Improvement District (Subdivision Regulations Section 3.17-5)
  - b) Community Facilities District (Subdivision Regulation Section 3.17.6)
  - c) Enhanced Municipal Services District (Subdivision Regulations Section 3.17-7)
2. Applicant must submit the pending application signatures and notarized waiver as per A.R.S. Section 12-1134.
3. The applicant must correct, as noted, the comments attached (letter dated May 7, 2019) prior to scheduling the Final Plat to be presented to the City Council. Deadline to schedule an item to the City Council is 2 weeks prior to the meeting.



# City of San Luis

## Development Services

May 7, 2019

Vianey R. Vega, P.E.  
Vega and Vega Engineer, PLC  
1846 S. 8<sup>th</sup> Avenue  
Yuma, AZ 85365

Re: Subdivision Case No. 2019-0114F/Bienestar Estates 10

City staff has reviewed the final plat for Bienestar Estates 10 Subdivision and have the following comments:

### **City Engineer:**

#### **Final Plat –**

1. The title of the plat should be revised to reference it being a subdivision of “Parcel A of the Bienestar Estates 10 Lot Split” (which is different than the NW1/4 of the NW1/4 of 15.)
2. Install a type 4-080 subdivision monument at the northwest corner of Section 15. This was previously shown as a brass cap on the Santa Cecilia Phase 1 subdivision but apparently is only now a ½” rebar (?) and if so needs to be replaced with a proper monument.
3. A drainage easement will be required on Tract B for the County 24<sup>th</sup> Street and Avenue F stormwater runoff. (It is understood that the proposed retention basin will be temporarily located and will be privately maintained but an easement of some type needs to be provided giving the City the right to drain the streets to the private retention basin.)

#### **Improvement Plans -**

- Cover Sheet
  1. Under General Construction Notes replace note 8 with a note referring to the current City of San Luis Standards (City of Yuma Standard Details, MAG Specifications, City of San Luis Supplement.)
- Paving and Grading Plan
  1. Update topography to show existing County 24<sup>th</sup> Street improvements for the Santa Celia subdivision.
  2. Retention basin and parkway landscaping will be required.
  3. Provide signing and striping plans for County 24<sup>th</sup> Street and Avenue F.
  4. Provide roadway and striping detail for the Avenue F and County 24<sup>th</sup> Street intersection, including a pavement transition for the existing southbound traffic on Avenue F to the new roadway section of Avenue F.
  5. Provide a transition along County 24<sup>th</sup> Street east of 19<sup>th</sup> Street to taper east bound traffic to the existing 2-lane street section.
  6. The profile of County 24<sup>th</sup> Street is significantly different than the design profile for Santa Cecilia. Roadway grades should be symmetrical.
  7. Provide profile drawings for both County 24<sup>th</sup> Street and Avenue F (arterial streets.) Crown transitions to residential streets should not extend into County 24<sup>th</sup> or Avenue F.

8. Drainage Report – Provide full drainage report including street flow capacities and sizing of retention basin spillways.
- Paving and Grading Details
    1. Replace all Yuma County Standard Details with currently adopted City of San Luis Details (from the City of Yuma Standard Details and the City of San Luis Supplement.) Note – If the Details used are per the adopted standards, they do not need to be redrawn on the plans.
    2. Street lights will be current City of San Luis requirements and will be supplied and installed by APS (the developer shall enter into an agreement with APS for the street lighting system.)
    3. City of Yuma Standard 2-050 for residential street requires 40' from face of curb to face of curb and also 6" of ABC.
  - Water and Sewer Plans
    1. Keynote 6 appears to be the 8" water valve (not keynote 3.)
    2. Check minimum cover over sewer line at Sta. 2+00 of San Gabriel Street.

**Public Works Department:**

Plat

1. Non-access easement along community commercial tract.
2. Update dedication language to tract being dedicated to the City.

Improvement Plans

1. Avenue F is an arterial road and does not allow cross gutters. Reference City of San Luis Standards. Please review if San Fernando is allowed to have a valley gutter.
2. Avenue F and Co. 24<sup>th</sup> St. are arterial roads. Plans show grade changes of more than .5% at grade breaks that will require vertical curves to assure smooth travel at arterial road speeds.
3. Include proper signing, use of barricades, and pavement transitions were roadway/lanes end.
4. Final street lighting design to be reviewed with APS. It will most likely require some additional lighting along Co. 24<sup>th</sup> St.
5. Residential collector cross section requires a 5' sidewalk.
6. To avoid confusion, please eliminate the roll to vertical curb transition.
7. Include installation of bollards at spillways to prevent vehicles from driving into retention basin.
8. Plan wall improvements to provide adequate sight distance. Use City of Yuma Standard 3-400.
9. Use blue and white colors on a 6" wide sheet for street name signs.

-Water and Sewer

1. We can eliminate one of the two water valves at the knuckle next to the retention basin. Same for valves at knuckle near lot 31.
2. On retention basin, move water service to the east near lot 156.
3. On retention basin, will coordinate with parks to see if they need a sewer service for future restrooms.

**Planning and Zoning Department:**

1. Under DEDICATION, please change the language to that Tract "A" is dedicated to the City of San Luis instead of to the public.
2. Signatures must read Director of Planning and Zoning instead of Director of Development Services.
3. Provide non-access easement along the back of lots adjoining the commercial tract.

4. Provide non-access easement on lot 11 along San Marcos Street. Please include the 10'X10' triangle in accordance with City Code Section 152.219(F) as lot 11 is a corner lot contiguous to lot 10 which is considered a key lot.
5. Provide non-access easement on lot 163 in the same manner as lot 157.
6. As per Section 4.3.30, owner's name and assessor's number of adjoining parcels must be shown.
7. As per City Code §152.297(C)(3) a 20 feet landscaped buffer area is required between a residential and a Community Commercial (C-2) development. Provide and easement for landscape on Tract B for future commercial development.
8. As per Subdivision Regulations Section 5.3.3, lots containing one acre or more shall show net acreage to the nearest hundredth of an acre.
9. As per Subdivision Regulations Section 5.3.11, current zoning of all adjacent property must be shown.
10. Protective Fence is required along the perimeter of the subdivision as per Section 3.22 of the Subdivision Regulations. There is a fence gap on the south of the retention where the spillway is located, a catch basin will be more appropriate.
11. Protective Fence is required between the retention basin and lot 156. It must comply with the height requirements within the front setbacks as per City Code §152.219.
12. Protective Fence as per §3.22 of the Subdivision Regulations must comply with the height within the front setbacks in accordance with City Code §152.219. Lot 1, 23, 24, 39, 40, 73, 74, 107, 108, 141, and 142.
13. Subdivision development plan is required when the subdivision is developed in phases as per Subdivision Regulations §4.4(1).
14. Proposed street names must comply with the City of San Luis Roadway Naming and Addressing Policy.
15. As per Section 3.21.11, A retention basin, to become dedicated to the City, shall be located adjacent to minor collector and the design of the basin shall be coordinated with the City Engineer or Public Works Director. As per our meeting the Public Works Director did not consider the adjacent streets to be collectors and agreed with the location of the retention.
16. As per Subdivision Regulations Section 3.25.1, 5' minimum sidewalk along collector streets are required.
17. As per City Code §152.078(E)(7), all residential development, at the time of subdivision development... shall provide the minimum net acreage of open space. Open space required for this subdivision is 5%. Please provide calculation of open space provided.
18. As per City Code Section 152.297(A)(1), required landscaping for a subdivision development shall include... the adjacent public right-of-way as required in Section 152,298 of the City Code. Landscape plans for the adjacent right-of-way shall be submitted in accordance with City Code Section 152.300.
19. Comply with Subdivision Regulations Section 5.3.12
20. Bonds or Assurances shall be submitted in accordance with Subdivision Regulations Section 6.2
21. Submit Evidence of Title as per Section 5.1.8.D of the Subdivision Regulations.
22. Comply with Subdivision Ordinance Section 5.1.8.A- protective covenants.

**Parks and Recreation Department:**

1. Irrigation: Recommend not using Bowsmith or Railbird 2 GPH emitters. Have a lot of issues with these brands (pugging up). Request to use Hunter Emitters.
2. Landscape: Only two Sisso instead of 4 on northwest corner of retention. Please center. Not recommended using Willow or Eucalyptus. Request Sisso and Bottle trees options and planting them every 25 feet. Decrease amount of trees if space doesn't allow. Recommend that they provide some kind of assurance on the grass covering the entire area. Have issue with spots in the past when accepting the retention area. Request warranty period of 6 months for trees and shrubs.
3. Request that spillways are following regulations and approved by the City.
4. Requesting the retention to be at a centralized location of sub-division for easier access and utilize better for residents.

Please be advised that the comments made here are tentative in nature. Until all documentation, information, and drawings are submitted and approved in final form, and all permits for construction are approved and issued, the City of San Luis reserves the right to make further comments or require further information or submissions. Any construction which occurs prior to issuance of proper permits is occurring in contravention of the ordinances of the City, and is occurring at the risk of the Developer.

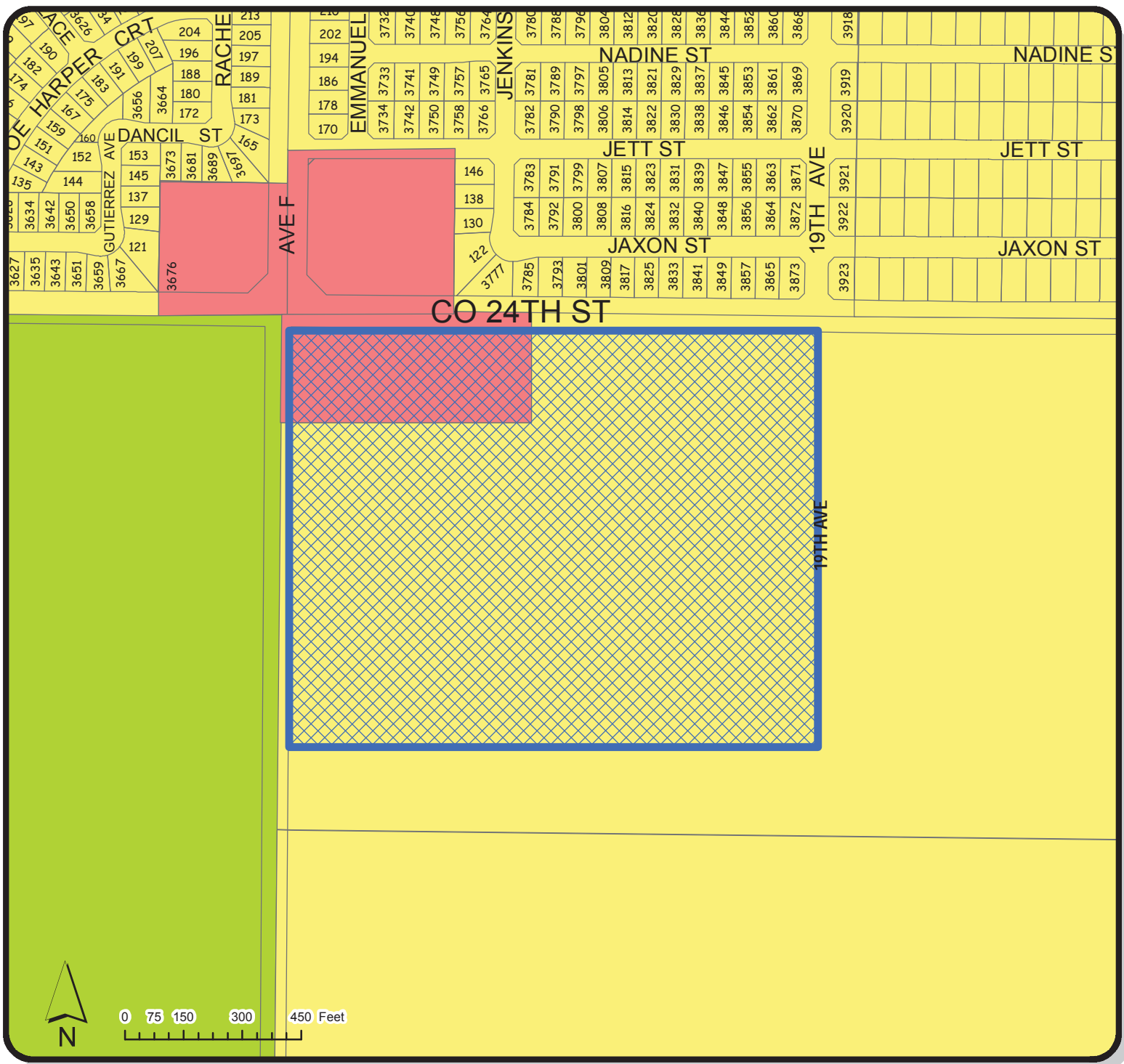
If you have any questions on these comments, please contact the Planning and Zoning Department at 928-341-8563.

Thank you,



Jose A. Guzman

Director of Planning and Zoning



**LOCATION OF SUBJECT PROPERTY**



Southeast of intersection of Avenue F and County 24th Street; Assessor's Parcel No. 227-15-001

# Location Map

**Zoning Legend**

- COMMERCIAL ZONING DISTRICTS
- C-2
- SINGLE RESIDENCE ZONING DISTRICTS
- R1-8
- RA-10

## SUBDIVISION

BIENESTAR ESTATES 10

**Date:**  
3/14/2019

**Checked By:**  
ROMAN PACHECO



**Prepared By:**  
ISAAC GUTIERREZ

**APPROVED BY:**  
JOSE A. GUZMAN

**Case No.:**  
2019-0114F



**LOCATION OF SUBJECT PROPERTY**

# Location Map

**SUBDIVISION  
BIENESTAR ESTATES 10**



Southeast of intersection of  
Avenue F and County 24th Street;  
Assessor's Parcel No. 227-15-001

**Date:**

**3/14/2019**

**Checked By:**

**ROMAN PACHECO**

**PLANNING & ZONING**



**GIS**

**Prepared By:**

**ISAAC GUTIERREZ**

**APPROVED BY:**

**JOSE A. GUZMAN**

**Case No.**

**2019-0114F**

# BIENESTAR ESTATES 10

## INDEX:

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## GENERAL CONSTRUCTION NOTES:

- THE LOCATION OF UTILITIES IS APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. UTILITIES SHOWN HERE ARE FOR THE PURPOSE OF ASSISTING THE CONTRACTOR IN LOCATING SAID UTILITIES. THE CONTRACTOR IN ACCORDANCE WITH ARIZONA STATUTES SHALL CONTACT THE ARIZONA BLUE STAKE CENTER (1-800-782-5348) AT LEAST 48 HOURS MIN. PRIOR TO THE BEGINNING OF CONSTRUCTION AND OBTAIN ON-SITE UTILITIES LOCATIONS. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND SHALL BE RESOLVED PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DAMAGED TO A UTILITY SHALL BE REPAIRED AT THE CONTRACTOR EXPENSE.
- ALL CITY REQUIRED COMPACTION AND LABORATORY TESTS SHALL BE FURNISHED BY THE CONTRACTOR TO THE CITY PRIOR TO ACCEPTANCE OF THE PROJECT.
- THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR TWO YEARS AFTER THE FINAL ACCEPTANCE. ANY DEFECTIVE MATERIAL OR WORKMANSHIP SHALL BE REPLACED AND/OR REPAIRED PRIOR TO FINAL ACCEPTANCE.
- ALL ROAD SURFACES, EASEMENTS OR RIGHT OF WAYS DISTURBED BY CONSTRUCTION OF ANY PART OF THE IMPROVEMENTS ARE TO BE RESTORED COMPLETELY BY THE CONTRACTOR TO THE BEFORE CONSTRUCTION CONDITION OR BETTER.
- DURING CONSTRUCTION, THE DEVELOPER/OWNER IS SOLELY RESPONSIBLE FOR INSURING THE PROPER FUNCTIONING OF THE EROSION AND SEDIMENT CONTROL MEASURES. THE DEVELOPER/OWNER SHALL TAKE WHATEVER MEASURES ARE REQUIRED TO INSURE THAT NO SEDIMENT LEAVES THE SITE.
- REFER TO SHEETS 2 OF 2 OF FINAL PLAT FOR ALL CORRECT DIMENSIONS.
- SEE SUBDIVISION PLAT FOR ALL BOUNDARY INFORMATION AND DIMENSIONS; DO NOT SCALE.
- ALL MATERIALS AND CONSTRUCTION HEREON SHALL CONFORM TO YUMA COUNTY, AS ADOPTED BY THE CITY, STANDARD SPECIFICATIONS AND CONSTRUCTION STANDARDS UNLESS OTHERWISE SHOWN ON THESE PLANS.
- THE ENGINEER MAKES NO REPRESENTATION OR GUARANTEE REGARDING EARTHWORK QUANTITIES OR THAT THE EARTHWORK FOR THIS PROJECT WILL BALANCE DUE TO VARIOUS FIELD CONDITIONS, CHANGING SOIL TYPES, ALLOWABLE CONSTRUCTION TOLERANCES AND CONSTRUCTION METHODS THAT ARE BEYOND THE CONTROL OF THE ENGINEER.
- NO STREET, WATER, SEWER AND IMPROVEMENTS TO BE ACCEPTED BY THE CITY OF SAN LUIS. FOR MAINTENANCE UNTIL "AS-BUILT", CERTIFIED. REPRODUCIBLE PLANS ARE FILED WITH AND ACCEPTED BY THE CITY OF SAN LUIS PUBLIC WORKS DEPARTMENT.
- CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL, LOCAL, STATE, AND FEDERAL SWPPP REQUIREMENTS AND BMPs.

### OWNER:

COMITE DE BIENESTAR  
963 E. "B" STREET  
PO BOX 7170  
SAN LUIS, AZ., 85349

### BENCHMARK:

TOP OF 1/2" REBAR W/ LS 22767  
LOCATED AT THE INTERSECTION  
OF AVENUE "F" AND COUNTY 24TH  
STREET

ELEVATION: 158.95 FEET

### ENGINEER:

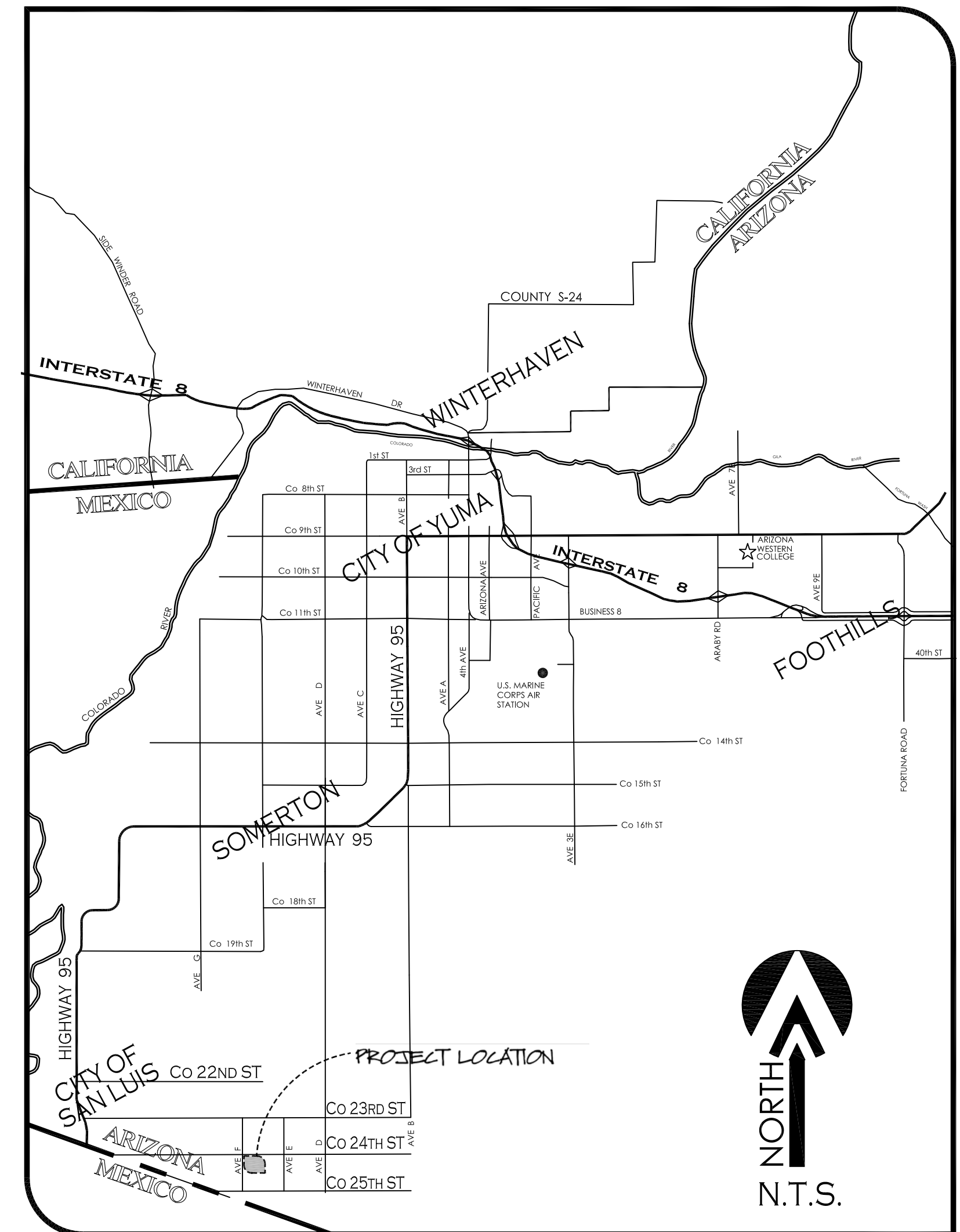
**VEGA & VEGA**  
ENGINEERING, PLLC  
1846 S. 8th Avenue 928-329-0000 Tel  
Yuma, Az. 85364 928-247-6232 Fax  
www.vegaivega.com

### BASIS OF BEARING:

THE NORTH SECTION LINE OF SECTION 15, T11S, R24W,  
G&SR.B.&M., YUMA COUNTY, ARIZONA (BEGING THIS LINE  
THE CENTERLINE OF Co. 24th STREET), AS SHOWN ON  
BORDER RANCHES SUBDIVISION, AS RECORDED IN  
BOOK 27 OF PLATS, PAGES 9 & 10, YUMA COUNTY  
RECORDERS OFFICE, YUMA COUNTY, ARIZONA.  
BEARING S89°59'23"W

## LEGEND

	INDICATES EX. ASPHALT PAVEMENT
	INDICATES EX. CONCRETE
	INDICATES BOUNDARY LINE
	INDICATES CENTERLINE
	INDICATES RIGHT-OF-WAY LINE
	INDICATES EX. CMU WALL
	INDICATES EX. WATER LINE
	INDICATES EX. SEWER LINE
	INDICATES EX. GAS LINE
	INDICATES NEW ASPHALT PAVEMENT
	INDICATES NEW CONCRETE
	INDICATES NEW CMU WALL
	INDICATES EX. CONTOURS ELEVATION
	INDICATES NEW SANITARY SEWER LINE
	NEW SEWER STUB
	NEW SEWER MANHOLE
	INDICATES NEW WATER LINE
	NEW SINGLE WATER SERVICE
	FIRE LINE W/ END PLUG AND THRUST BLOCK
	NEW WATER VALVE
	NEW FIRE HYDRANT
	NEW TEMPORARY BLOWOFF VALVE
	INDICATES LOT NUMBERS
	NEW YUMA COUNTY STD. DETAIL NO. 4-040 SUBD. BOUNDARY MONUMENT
	NEW YUMA COUNTY STD. DETAIL NO. 4-080 STREET MONUMENT
	EXISTING MONUMENT (TYPE AS SHOWN)
	INDICATES BRASS CAP
	INDICATES YUMA COUNTY RECORDERS
	INDICATES EXISTING POWER POLE
	INDICATES CALCULATED DATA
	INDICATES MEASURED DATA
	INDICATES EXISTING ELECTRICAL BOX
	INDICATES EXISTING GAS PADDLE
	INDICATES EXISTING MANHOLE
	INDICATES EXISTING FIRE HYDRANT
	INDICATES EXISTING WATER METER
	INDICATES EXISTING WATER VALVE
	INDICATES EX. CURB ELEVATION
	INDICATES EX. SIDEWALK ELEVATION
	INDICATES EX. ASPHALT ELEVATION
	INDICATES EX. NATURAL SOIL ELEVATION
	INDICATES NEW ASPHALT ELEVATION
	INDICATES NEW CURB ELEVATION
	INDICATES NEW GUTTER ELEVATION
	INDICATES LOT NUMBERS



VICINITY MAP

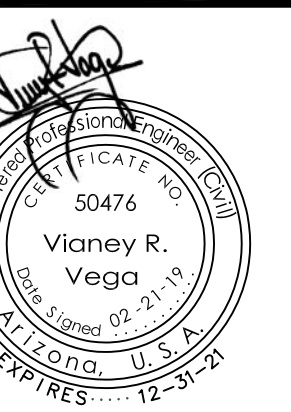
N.T.S.

1846 S. 8th AVENUE 928-329-0000 TEL  
YUMA, AZ. 85364 928-247-6232 FAX  
VhV@vegaivega.com



Cover Sheet

BIENESTAR ESTATES 10



Notes:

Scale: N.T.S. | Date: FEB. 2019  
Drawn: Staff | Job #: vrv18-400  
Checked: vrv

Sheet 0  
of 12

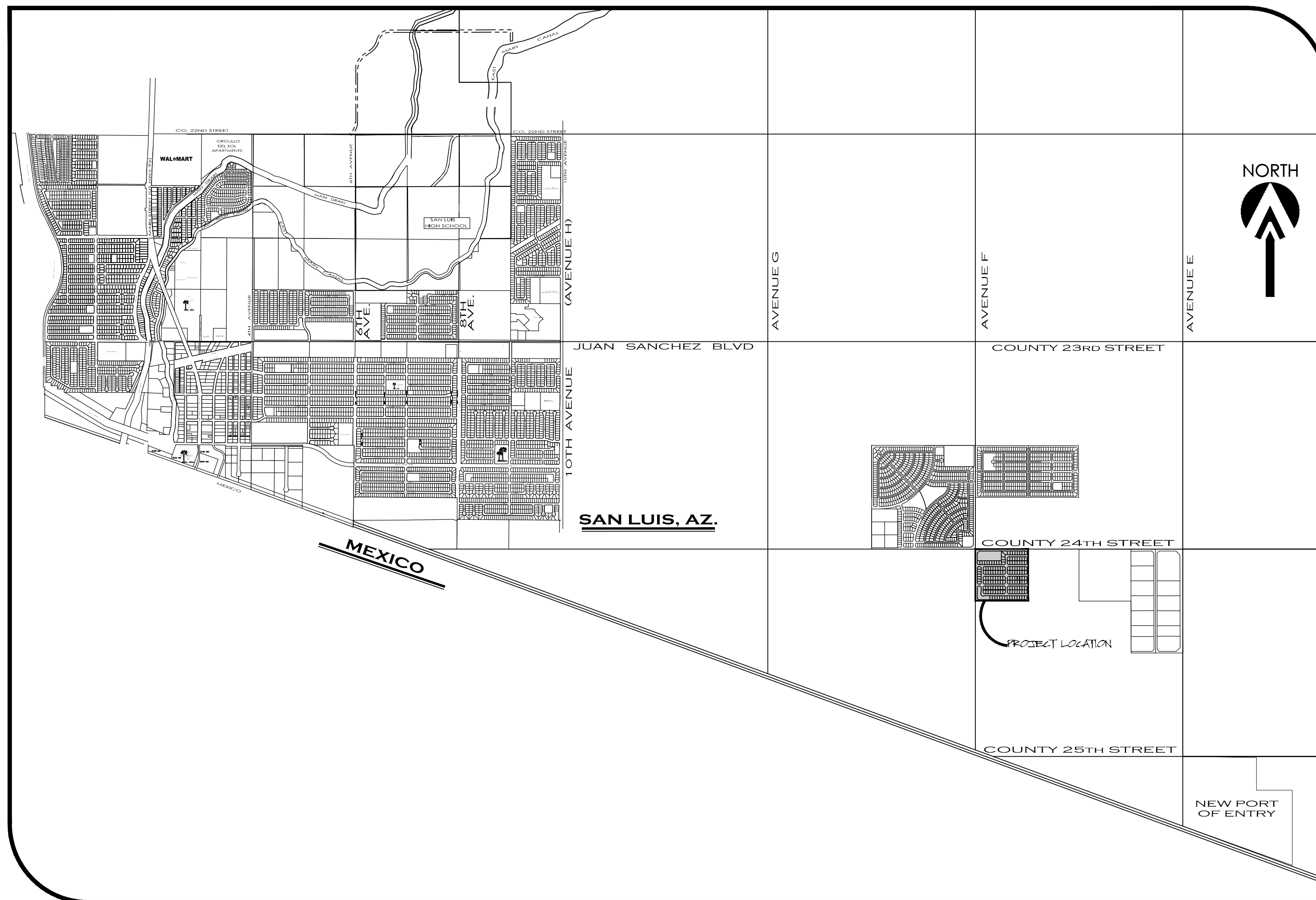


# BIENESTAR ESTATES 10

A SUBDIVISION OF THE NW<sup>1</sup>/<sub>4</sub> OF THE NW<sup>1</sup>/<sub>4</sub> OF SECTION 15, T11S, R24W,  
G.&S.R.B.&M., YUMA COUNTY, ARIZONA.

FEBRUARY OF 2019 ACREAGE: 40.91 AC (GROSS)

## FINAL PLAT



VICINITY MAP  
SCALE: 1"=2000'

### DEDICATION:

KNOW ALL MEN BY THESE PRESENTS:  
THAT COMITE DE BIENESTAR, INC. AN ARIZONA CORPORATION, AS OWNER HAS CAUSED THE FOLLOWING DESCRIBED PROPERTY, A SUBDIVISION OF THE NW<sup>1</sup>/<sub>4</sub> OF THE NW<sup>1</sup>/<sub>4</sub> OF SECTION 15, TOWNSHIP 11 SOUTH, RANGE 24 WEST, G.&S.R.B.&M., YUMA COUNTY, AZ, AS PLATTED HEREON, TO BE SUBDIVIDED INTO LOTS, TRACT & STREETS UNDER THE NAME OF "BIENESTAR ESTATES 10 SUBDIVISION" AND HEREBY DECLARES THAT THE ACCOMPANYING PLAT SETS FORTH THE LOCATION AND GIVES THE DIMENSIONS OF LOTS, TRACT AND STREETS CONSTITUTING SAID "BIENESTAR ESTATES 10 SUBDIVISION", THAT EACH LOT SHALL BE KNOWN BY THE NUMBER, TRACT BY THE LETTER AND THE STREETS BY THE NAME GIVEN EACH RESPECTIVELY ON SAID PLAT; AND THAT COMITE DE BIENESTAR, INC. AN ARIZONA CORPORATION, HEREBY DEDICATES THE STREETS SHOWN HEREON TO THE PUBLIC FOR ITS USE AND BENEFIT, TRACT "A" IS DEDICATED TO THE PUBLIC FOR USE AS A STORMWATER RETENTION BASIN AND COMPATIBLE USES, TRACT "B" IS RESERVE FOR FUTURE DEVELOPMENT AS COMMUNITY COMMERCIAL (C2). THE EASEMENTS ARE DEDICATED FOR THE USES SHOWN AND DEFINED ON SAID PLAT AND AS SET FORTH IN THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED CONCURRENTLY HEREWITH.

IN WITNESS WHEREOF: COMITE DE BIENESTAR, INC. AN ARIZONA CORPORATION, HAS CAUSED ITS CORPORATE NAME TO BE SIGNED AND ITS CORPORATE SEAL TO BE AFFIXED AS ATTESTED BY THE SIGNATURE OF GEORGE GUERRERO, AS PRESIDENT OF COMITE DE BIENESTAR, INC. AN ARIZONA CORPORATION, THEREUNTO DULY AUTHORIZED ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_.

\_\_\_\_\_  
GEORGE GUERRERO  
PRESIDENT OF COMITE DE BIENESTAR, INC. AN ARIZONA CORPORATION.

### ACKNOWLEDGMENT

STATE OF ARIZONA )  
                          )SS  
COUNTY OF YUMA )

ON THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ BEFORE ME, THE UNDERSIGNED NOTARY, PERSONALLY APPEARED: GEORGE GUERRERO, AS PRESIDENT OF COMITE DE BIENESTAR, INC. AN ARIZONA CORPORATION,

IN WITNESS WHEREOF, I HAVE SET MY HAND AND OFFICIAL SEAL.

BY: \_\_\_\_\_ MY COMMISSION EXPIRES: \_\_\_\_\_  
NOTARY PUBLIC

### APPROVED

STATE OF ARIZONA )  
                          )SS  
COUNTY OF YUMA )

THIS SUBDIVISION AS PLATTED HEREON HAS BEEN APPROVED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF SAN LUIS, ARIZONA

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CITY MANAGER

\_\_\_\_\_  
DIRECTOR OF DEVELOPMENT SERVICES

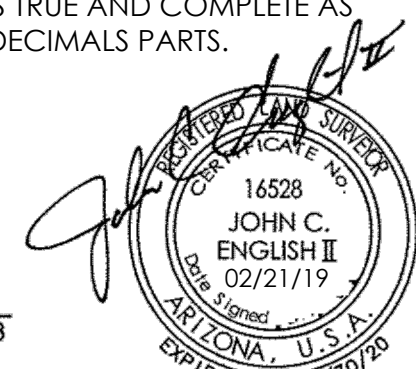
\_\_\_\_\_  
CITY ENGINEER

\_\_\_\_\_  
CITY PUBLIC WORKS DIRECTOR

### LAND SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT I AM A LAND SURVEYOR LISTED ON THE ROSTER OF ACTIVE REGISTRANTS BY THE STATE BOARD OF TECHNICAL REGISTRATION OF ARIZONA AND THAT THIS MAP CONSISTING OF TWO (2) SHEETS CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION DURING DECEMBER OF 2018 THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN, OR WILL BE IN PLACE WITHIN ONE YEAR FROM RECORDATION OF THIS MAP. THE MONUMENTS WILL BE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED. THE SURVEY IS TRUE AND COMPLETE AS SHOWN. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS PARTS.

BY: John C. English II R.L.S. No. 16528



ELABORATED BY:

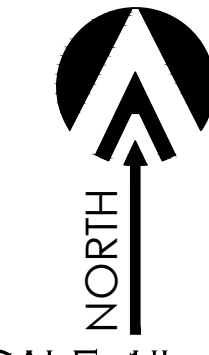
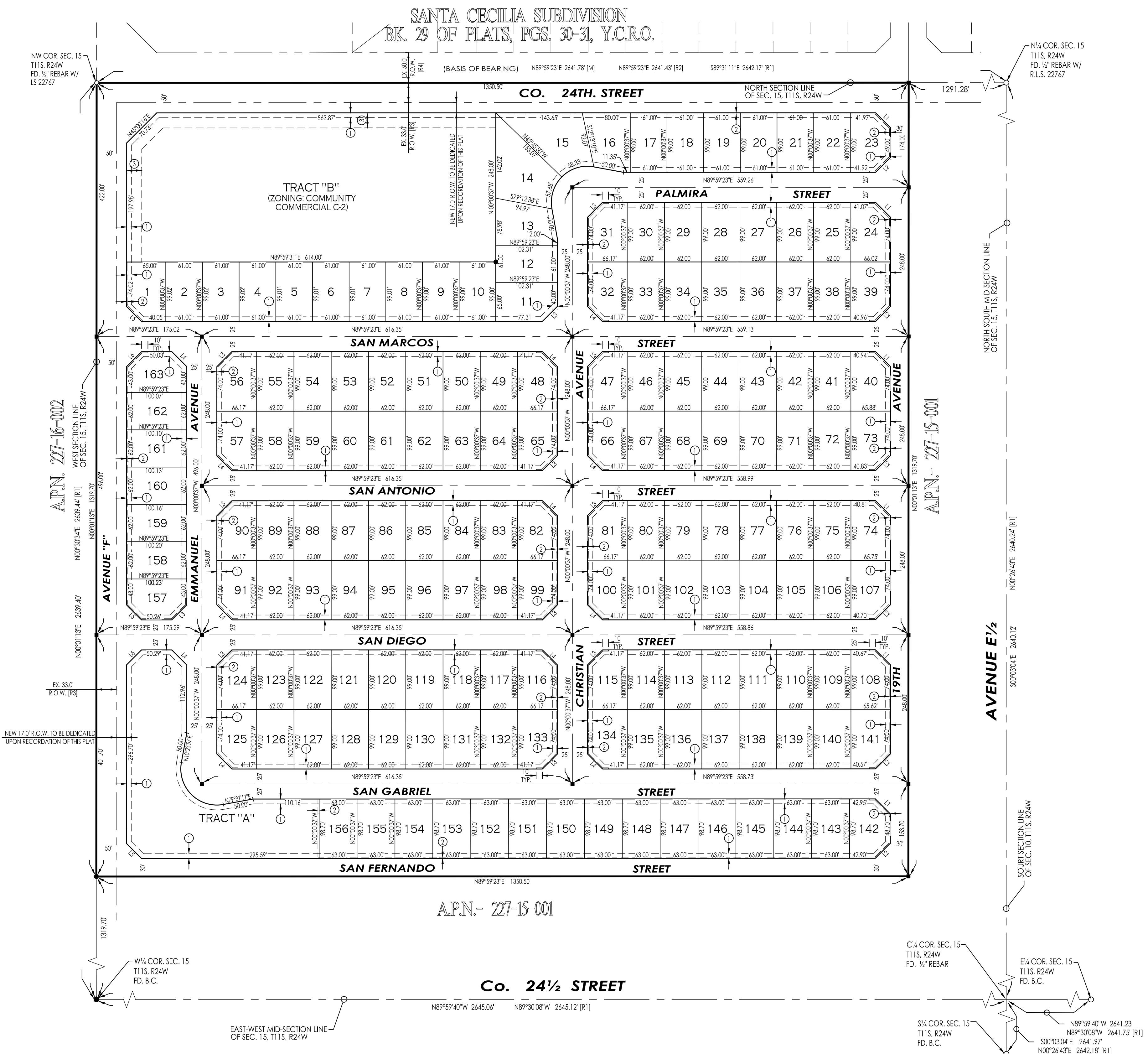
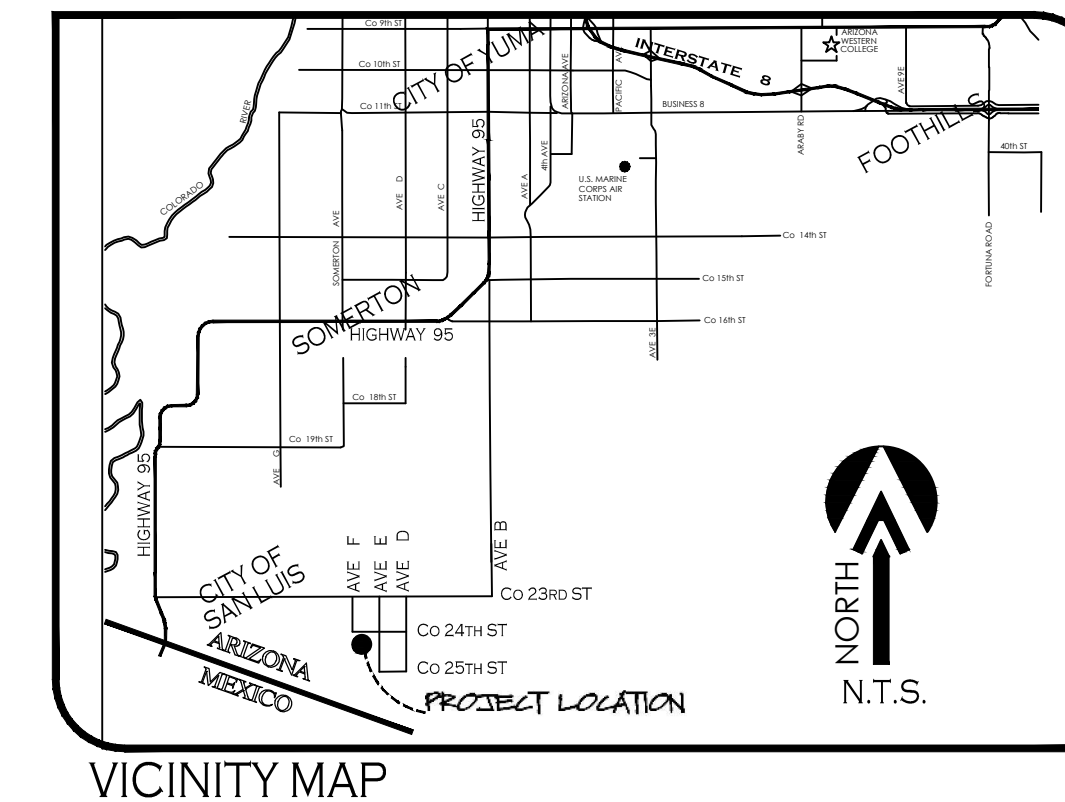
**VEGA & VEGA**  
ENGINEERING, PLLC  
1846 S. 8th Avenue 928-329-0000 Tel  
Yuma, Az. 85364 928-247-6232 Fax  
www.vega\vega.com

# BIENESTAR ESTATES 10

A SUBDIVISION OF THE NW 1/4 OF THE NW 1/4 OF SECTION 15, T11S, R24W,  
G.&S.R.B.&M., YUMA COUNTY, ARIZONA.

FEBRUARY OF 2019 ACREAGE: 40.91 AC (GROSS)

## FINAL PLAT



SCALE: 1"=100'

**OWNER OF RECORD:**  
COMITE DE BIENESTAR INC. AZ CORP.  
943 E. 5<sup>TH</sup> STREET  
PO BOX 7170  
SAN LUIS, AZ, 85349

**BASIS OF BEARING**  
THE NORTH SECTION LINE OF SECTION 15, T11S, R24W,  
G.&S.R.B.&M., YUMA COUNTY, ARIZONA, (BEING THIS LINE THE  
CENTERLINE OF Co. 24th STREET), AS SHOWN ON BORDER  
RANCHES SUBDIVISION, AS RECORDED IN BOOK 27 OF  
PLATS, PAGES 9 & 10, YUMA COUNTY RECORDERS  
OFFICE, YUMA COUNTY, ARIZONA.

**BEARING S89°59'23"W**

**LEGEND**

- INDICATES BOUNDARY LINE
- - - INDICATES CENTERLINE
- - - INDICATES EASEMENT LINE
- 11 NEW LOT NUMBER
- NEW YUMA COUNTY STD. DETAIL No. 4-030 SUB'D BOUNDARY MONUMENT
- NEW YUMA COUNTY STD. DETAIL No. 4-080 STREET MONUMENT
- EXISTING MONUMENT (TYPE AS SHOWN)
- B.C. INDICATES BRASS CAP
- Y.C.R. INDICATES YUMA COUNTY RECORDERS
- G.L.O. INDICATES GENERAL LAND OFFICE
- N.A.E. INDICATES NON ACCESS EASEMENT
- [M] INDICATES MEASURED DATA
- [R1] DATA REFERS TO US.B.R. BALANCED SECTION OF SECTION 15, T11S, R24W, DATED: JUNE 1977
- [R2] DATA REFERS TO BORDER RANCHES SUBDIVISION, AS RECORDED IN BOOK 27, PAGES 9 & 10, Y.C.R.
- [R3] DATA REFERS TO DOCKET 674, PAGE 184, Y.C.R.O.
- [R4] DATA REFERS TO SANTA CECILIA SUBDIVISION, AS RECORDED IN BOOK 29 OF PLATS, PAGES 30-31, Y.C.R.O.

**KEYNOTES**

- ① NEW 8' UTILITY EASEMENT
- ② NEW 1' NON-ACCESS EASEMENT
- ③ NEW 25' DRAINAGE EASEMENT

**NOTE**

- ♦ PROPERTY CORNERS TO BE MARKED BY 1/2" DIAMETER REBAR TAGGED WITH CAP I.S. 16528
- ♦ PROJECT ZONING: R-1-I & TRACT "B" C-2

**ELABORATED BY:**  
VNV18-400

**VEGA & VEGA ENGINEERING, PLLC**  
1846 S. 8th Avenue 928-329-0000 Tel  
Yuma, Az. 85364 928-247-6232 Fax  
www.vega-engineering.com

**LAND SURVEYOR'S CERTIFICATE:**

I HEREBY CERTIFY THAT I AM A LAND SURVEYOR LISTED ON THE ROSTER OF ACTIVE REGISTRANTS BY THE STATE BOARD OF TECHNICAL REGISTRATION OF ARIZONA AND THAT THIS MAP CONSISTING OF TWO (2) SHEETS CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION DURING DECEMBER OF 2018 THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN, OR WILL BE IN PLACE WITHIN ONE YEAR FROM RECORDATION OF THIS MAP. THE MONUMENTS WILL BE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED. THE SURVEY IS TRUE AND COMPLETE AS SHOWN. ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS.

BY: *John C. English*  
JOHN C. ENGLISH II  
02/21/19  
R.L.S. No. 16528

**LINE DATA**

LINE NUMBER	BEARING	LENGTH (FEET)
L1	N44°59'42"W	35.35'
L2	N45°00'18"E	35.35'
L3	N44°59'23"E	35.35'
L4	N45°00'37"W	35.35'
L5	N44°59'44"W	35.35'
L6	N45°00'16"E	35.35'

**LOT AREAS TABLE:**

LOT #	AREA (SF)	LOT #	AREA (SF)	LOT #	AREA (SF)	LOT #	AREA (SF)	LOT #	AREA (SF)	LOT #	AREA (SF)	LOT #	AREA (SF)
1	6126.52	21	4039.00	41	6138.00	61	6138.00	81	6238.80	101	6138.00	121	6138.00
2	4040.23	22	4039.00	42	6138.00	62	6138.00	82	6238.80	102	6138.00	122	6138.00
3	4040.09	23	4002.74	43	6138.00	63	6138.00	83	6138.00	103	6138.00	123	6138.00
4	4039.94	24	4225.72	44	6138.00	64	6138.00	84	6138.00	104	6138.00	124	6238.80
5	6039.80	25	6138.00	45	6138.00	65	6238.80	85	6138.00	105	6138.00	125	6238.80
6	6039.65	26	6138.00	46	6138.00	66	6238.80	86	6138.00	106	6138.00	126	6138.00
7	6039.51	27	6138.00	47	6238.80	67	6138.00	87	6138.00	107	6194.42	127	6138.00
8	6039.36	28	6138.00	48	6238.80	68	6138.00	88	6138.00	108	6386.58	128	6138.00
9	6039.22	29	6138.00	49	6138.00	69	6138.00	89	6138.00	109	6138.00	129	6138.00
10	6039.07	30	6138.00	50	6138.00	70	6138.00	90	6238.80	110	6138.00	130	6138.00
11	6337.33	31	6238.80	51	6138.00	71	6138.00	91	6238.80	111	6138.00	131	6138.00
12	6240.61	32	6238.80	52	6138.00	72	6138.00	92	6138.00	112	6138.00	132	6138.00
13	6867.39	33	6138.00	53	6138.00	73	6207.46	93	6138.00	113	6138.00	133	6238.80
14	10150.51	34	6138.00	54	6138.00	74	6199.63	94	6138.00	114	6138.00	134	6238.80
15	9978.19	35	6138.00	55	6138.00	75	6138.00	95	6138.00	115	6238.80	135	6138.00
16	6646.73	36	6138.00	56	6238.80	76	6138.00	96	6138.00	116	6238.80	136	6138.00
17	6039.00	37	6138.00	57	6238.80	77	6138.00	97	6138.00	117	6138.00	137	6138.00
18	6039.00	38	6138.00	58	6138.00	78	6138.00	98	6138.00	118	6138.00	138	6138.00
19	6039.00	39	6220.51	59	6138.00	79	6138.00	99	6238.80	119	6138.00	139	6138.00
20	6039.00	40	6212.67	60	6138.00	80	6138.00	100	6238.80	120	6138.00	140	6209.20

**KEYNOTES:**

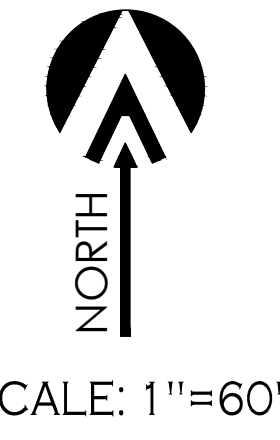
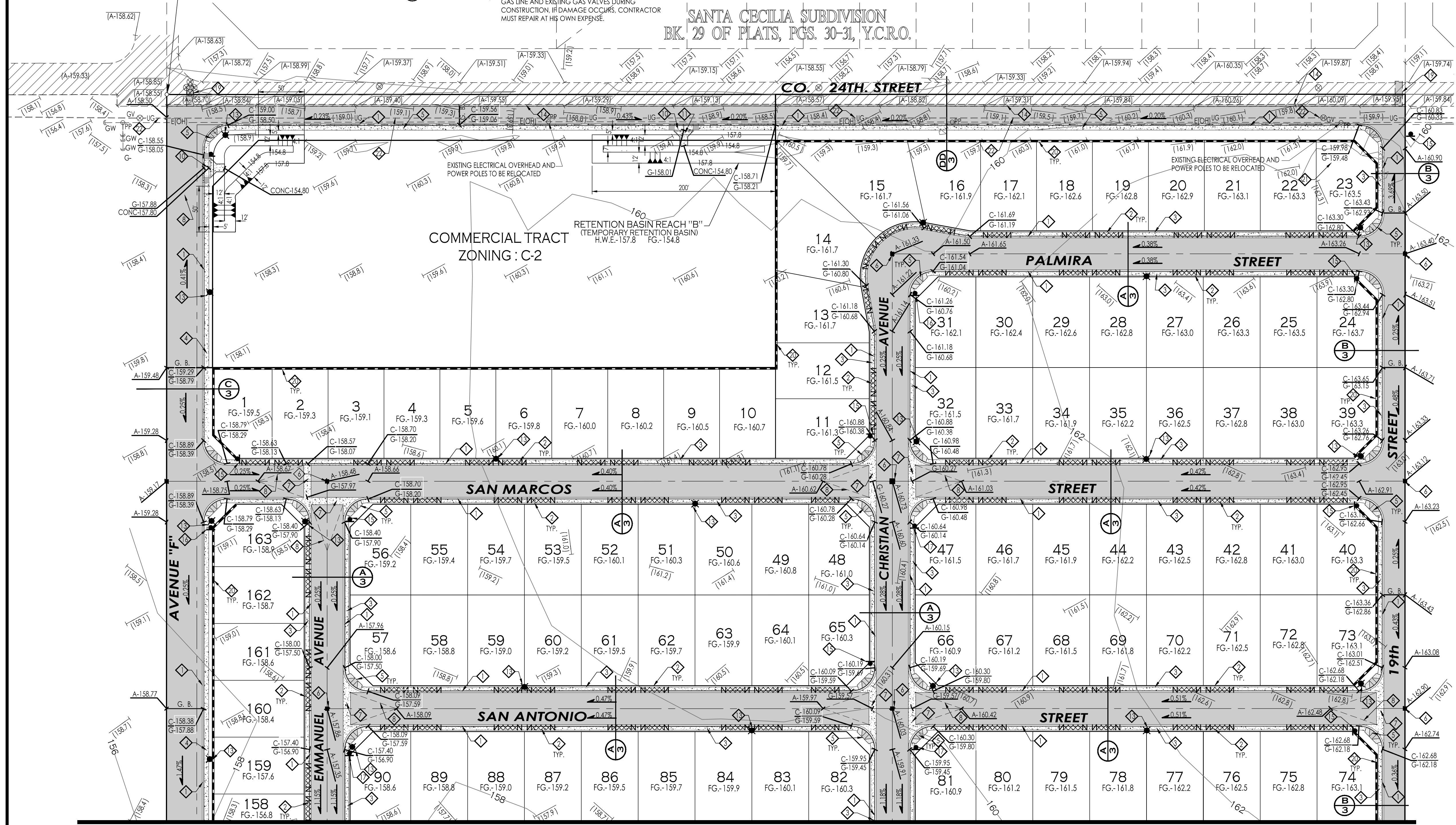
- ◆ NEW VERTICAL CURB & GUTTER - SEE DETAIL (D 3)
- ◆ NEW 21' WIDE DRIVEWAY - SEE DETAIL (E 3)
- ◆ NEW 4' CONCRETE SIDEWALK - SEE DETAIL (H 3)
- ◆ NEW 5' CONCRETE SIDEWALK - SEE DETAIL (H 3)
- ◆ NEW CONCRETE SIDEWALK RAMP (25' RADIUS MEASURED TO FACE OF CURB) - SEE DETAIL (I 3)
- ◆ NEW STREET MONUMENT - SEE DETAIL (F 3)
- ◆ NEW 8' CROSS VALLEY GUTTER - SEE DETAIL (D 2)
- ◆ NEW 50' CROWN TRANSITION
- ◆ NEW SUB'D BOUNDARY MONUMENT - SEE DETAIL (G 3)
- ◆ NEW DEPRESSED SIDEWALK - SEE DETAIL (O 4)
- ◆ NEW 8' CONCRETE SPILLWAY - SEE DETAIL (P 4)
- ◆ NEW 10' CROSS GUTTER - SEE DETAIL (R 4)
- ◆ NEW STREET LIGHT - SEE DETAIL (M 4)
- ◆ SAWCUT 1' OF EXISTING PAVEMENT, REMOVE AND REPLACE WITH NEW PAVEMENT - SEE DETAIL (L 3)
- ◆ NEW DOUBLE FACED STREET SIGN-STOP SIGN - SEE DETAIL (4)
- ◆ NEW DOUBLE FACED STREET SIGN - SEE DETAIL (4)
- ◆ NEW STOP SIGN
- ◆ NEW TYPE III BARRICADE - SEE DETAIL (N 4)
- ◆ SAWCUT AND REMOVE EXISTING PAVEMENT AS NEEDED FOR CONNECTION OF NEW WATER MAIN. REFER TO WATER & SEWER PLANS FOR MORE INFORMATION
- ◆ NEW 6' HIGH CMU WALL - SEE DETAIL (J 3)
- ◆ EXISTING WATER WELL TO BE ABANDONED AND ALL EQUIPMENT AND FENCE TO BE REMOVED. CONTRACTOR TO ACQUIRE ALL PERMITS AND CLOSURE DOCUMENTS.
- ◆ CONTRACTOR TO PROTECT EXISTING UNDERGROUND GAS LINE AND EXISTING GAS VALVES DURING CONSTRUCTION. IF DAMAGE OCCURS, CONTRACTOR MUST REPAIR AT HIS OWN EXPENSE.

**DRAINAGE REPORT**

SEE SHEET 2 FOR DRAINAGE REPORT

**BENCHMARK**  
TOP OF 1/2" REBAR W/ L5 22767 LOCATED AT THE INTERSECTION OF AVENUE "F" AND COUNTY 24TH STREET  
ELEVATION: 158.95 FEET

**SANTA CECILIA SUBDIVISION**  
BK. 29 OF PLATS, PGS. 30-31, Y.C.R.O.



**LEGEND**

- INDICATES EX. ASPHALT PAVEMENT
- INDICATES EX. CONCRETE
- INDICATES BOUNDARY LINE
- INDICATES CENTERLINE
- INDICATES RIGHT-OF-WAY LINE
- EX, -6"=PVC -W- INDICATES EX. WATER LINE
- EX, -8"=PVC -S- INDICATES EX. SEWER LINE
- GAS- INDICATES EX. GAS LINE
- INDICATES NEW ASPHALT PAVEMENT
- INDICATES NEW CONCRETE
- INDICATES NEW CMU WALL
- NEW YUMA COUNTY STD. DETAIL No. 4-030 SUB'D BOUNDARY MONUMENT
- NEW YUMA COUNTY STD. DETAIL No. 4-080 STREET MONUMENT
- EXISTING MONUMENT (TYPE AS SHOWN)
- B.C. INDICATES BRASS CAP
- Y.C.R. INDICATES YUMA COUNTY RECORDERS
- PP INDICATES EXISTING POWER POLE
- [C] INDICATES CALCULATED DATA
- [M] INDICATES MEASURED DATA
- [E] INDICATES EXISTING ELECTRICAL BOX
- [Gp] INDICATES EXISTING GAS PADDLE
- [MH] INDICATES EXISTING MANHOLE
- [FH] INDICATES EXISTING FIRE HYDRANT
- [WM] INDICATES EXISTING WATER METER
- [WV] INDICATES EXISTING WATER VALVE
- INDICATES EX. CURB ELEVATION
- INDICATES EX. SIDEWALK ELEVATION
- INDICATES EX. ASPHALT ELEVATION
- INDICATES EX. NATURAL SOIL ELEVATION
- INDICATES NEW ASPHALT ELEVATION
- INDICATES NEW CURB ELEVATION
- INDICATES NEW GUTTER ELEVATION
- 57 INDICATES LOT NUMBERS

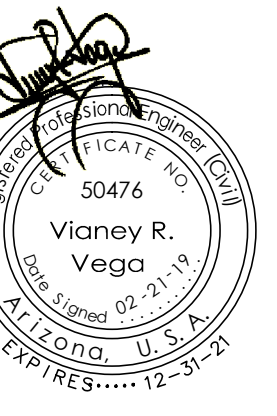
**BENCHMARK**

TOP OF 1/2" REBAR W/ L5 22767  
LOCATED AT THE INTERSECTION OF AVENUE "F" AND COUNTY 24TH STREET  
ELEVATION: 158.95 FEET

MATCH LINE SEE SHEET 2 OF 12

VEGA & VEGA  
ENGINEERING, PLLC  
1846 S. 8th AVENUE  
YUMA, AZ 85364  
928-329-0000 TEL  
928-247-6232 FAX  
V@vegaengine.com

Paving & Grading Plan  
**BIENESTAR ESTATES 10**

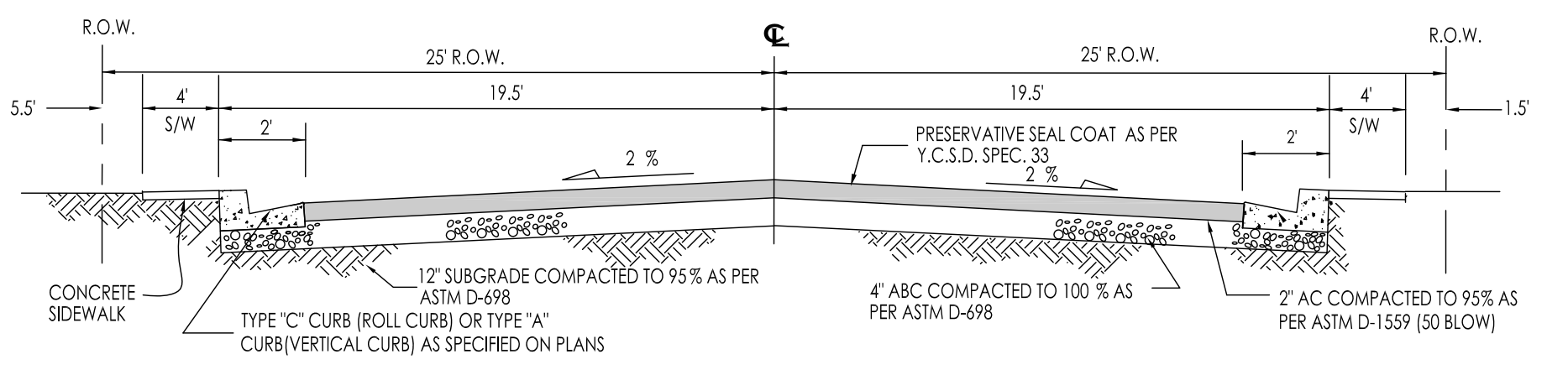


Notes:  
Scale: N.T.S. [Date: FEB. 2019]  
Drawn: Staff [Job #: VV18-400]  
Checked: Vno

CALL TWO WORKING DAYS BEFORE YOU DIG  
1-800-STAKE-IT

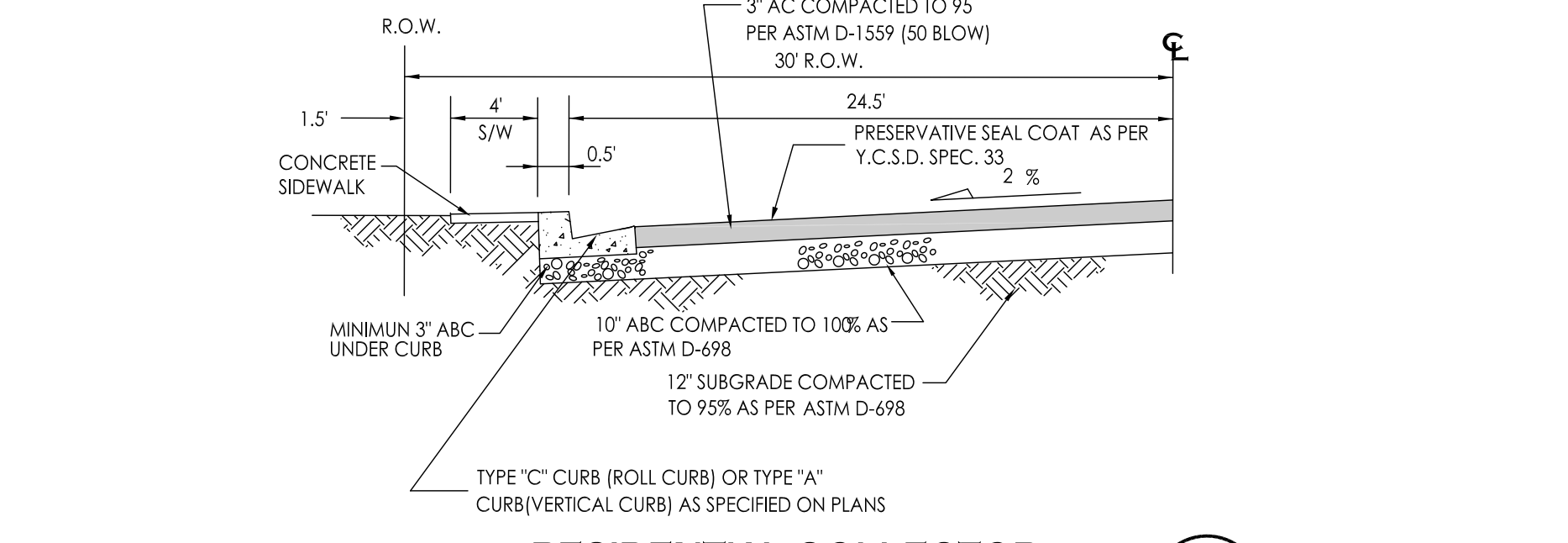
Sheet 1 of 12





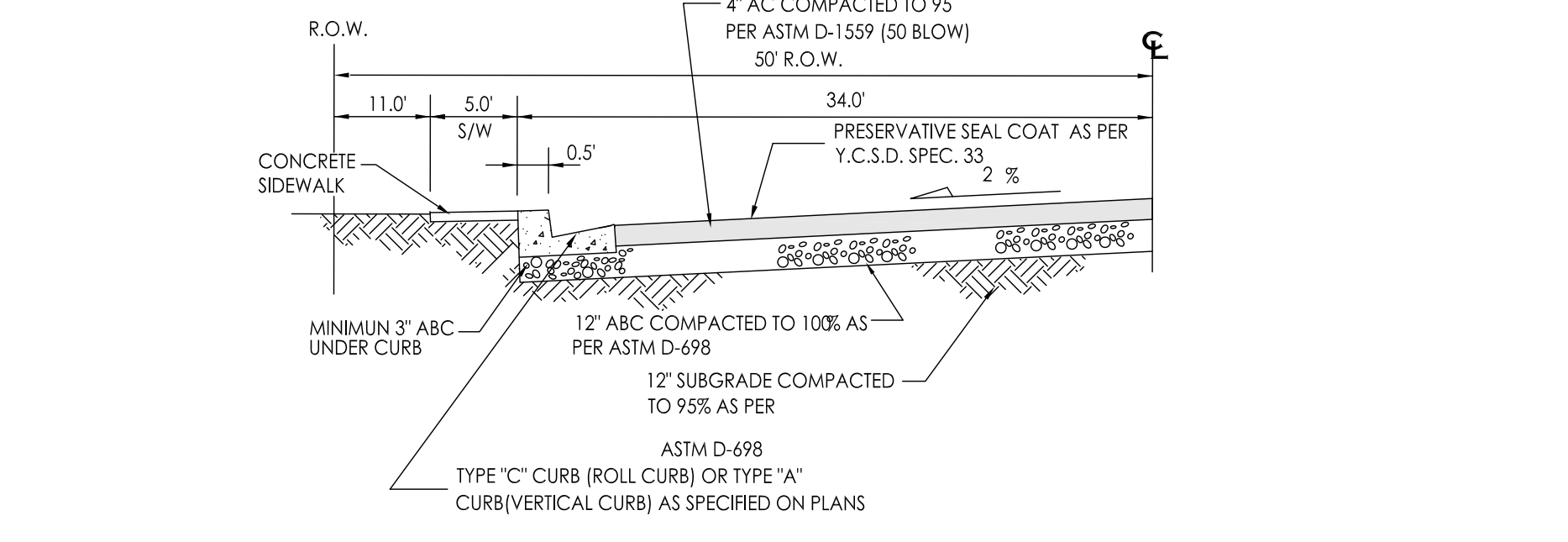
LOCAL RESIDENTIAL STREETS

A  
3



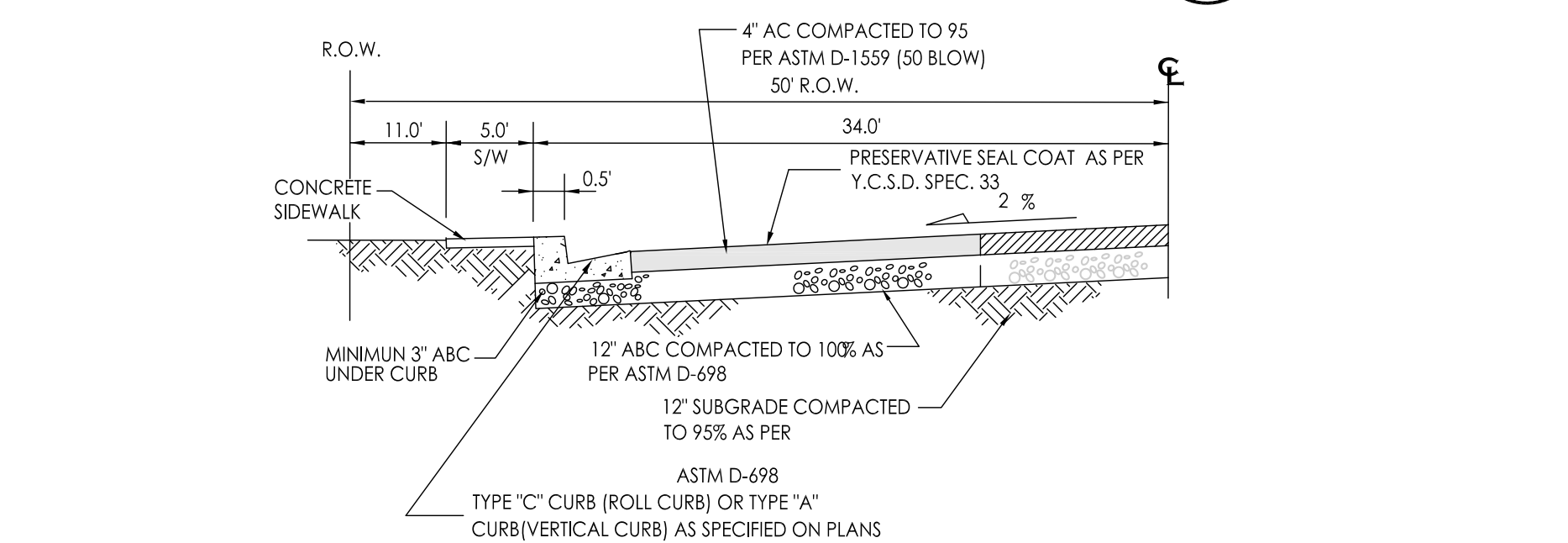
RESIDENTIAL COLLECTOR

B  
3



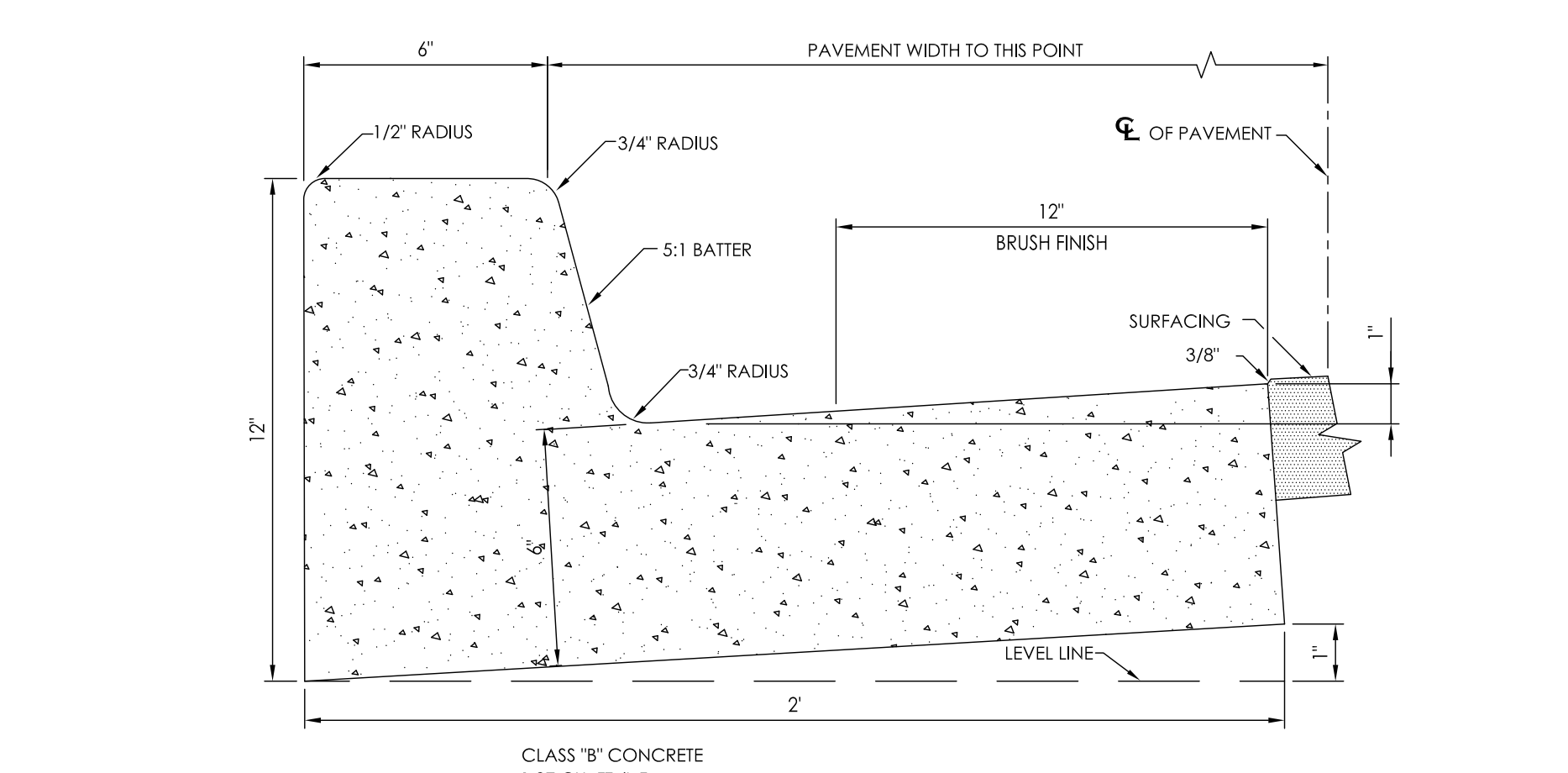
AVENUE "F"

C  
3



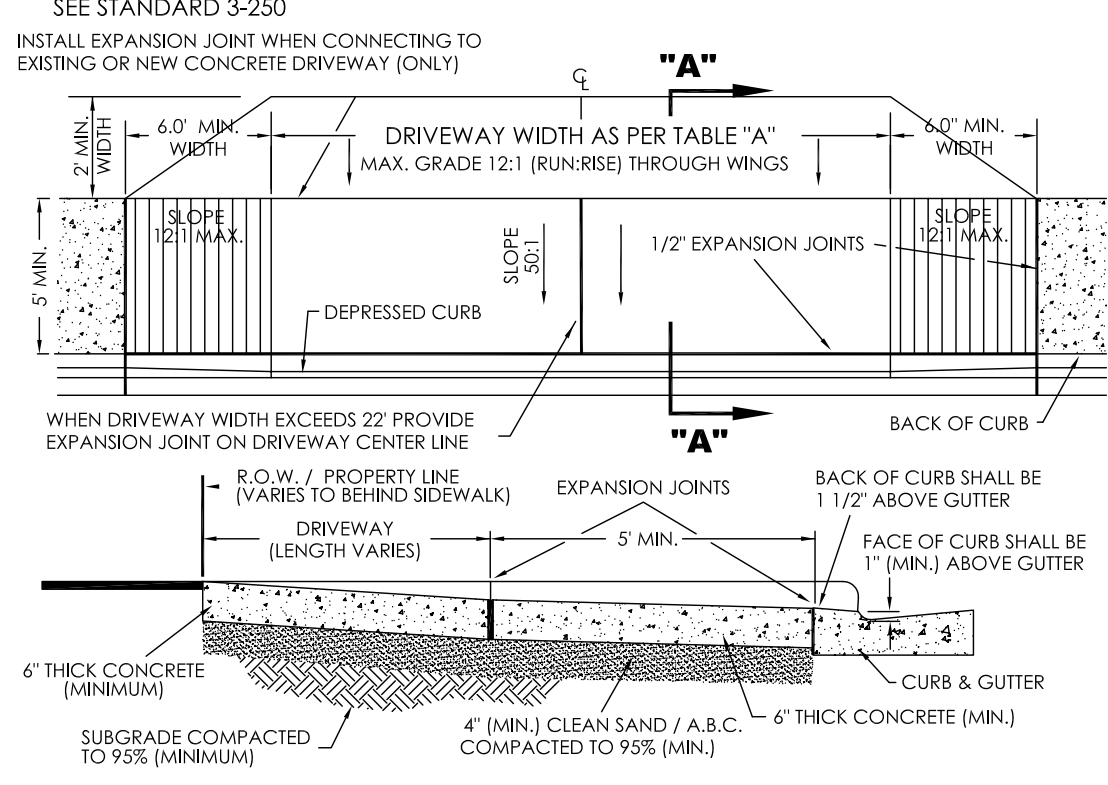
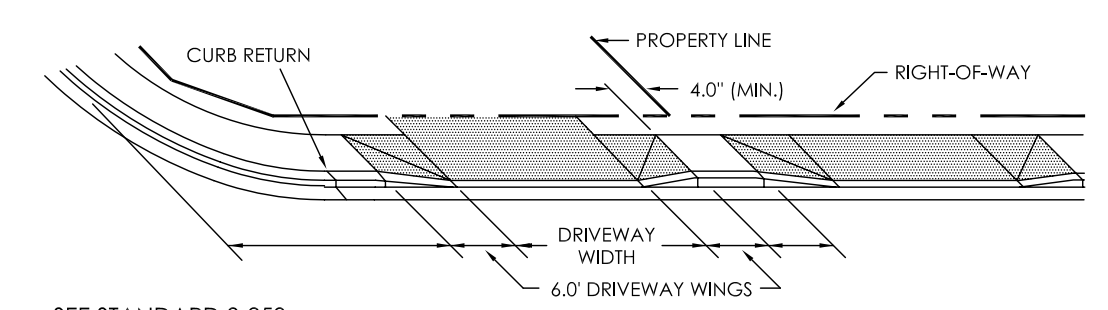
CO. 24TH STREET

CC  
3



TYPE "A" CURB

D  
3



SECTION "A - A"

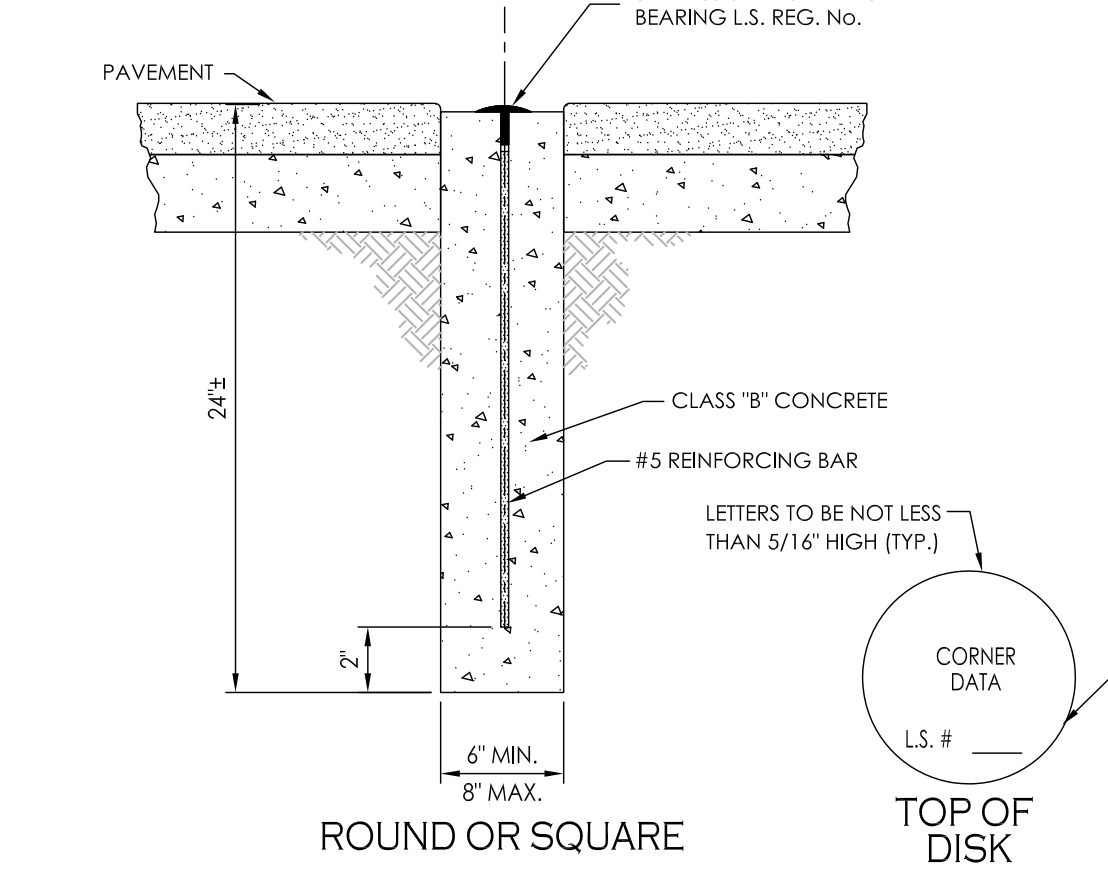
CLASS "B" CONCRETE CONSTRUCTION

NOTES  
1. Expansion joints shall be located at tangent points in curb returns, at structures and placed at 20' intervals (maximum). The one-half inch (1/2") joint filler shall be the bituminous type meeting A.S.T.M. D-1751, D-1751, or ASTM D-1751 specifications and shall extend the full depth of the concrete.  
2. Approved driveway locations can be found in Standard Detail 3-250.

DRIVEWAY ENTRANCE WITH SIDEWALK ADJACENT TO CURB

CITY OF YUMA STD. 3-210

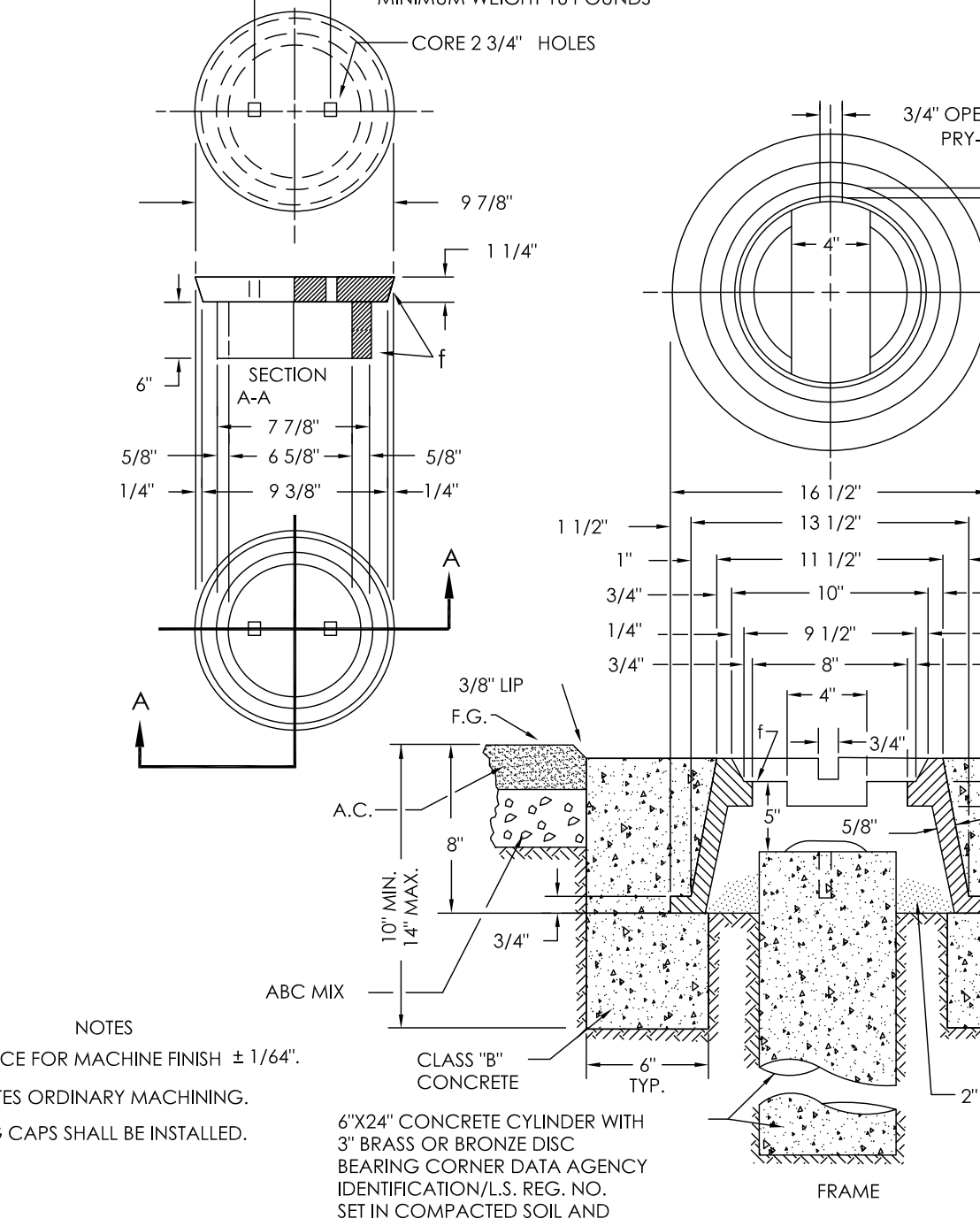
E  
3



ROUND OR SQUARE STREET MONUMENT

YUMA COUNTY STD-4-080

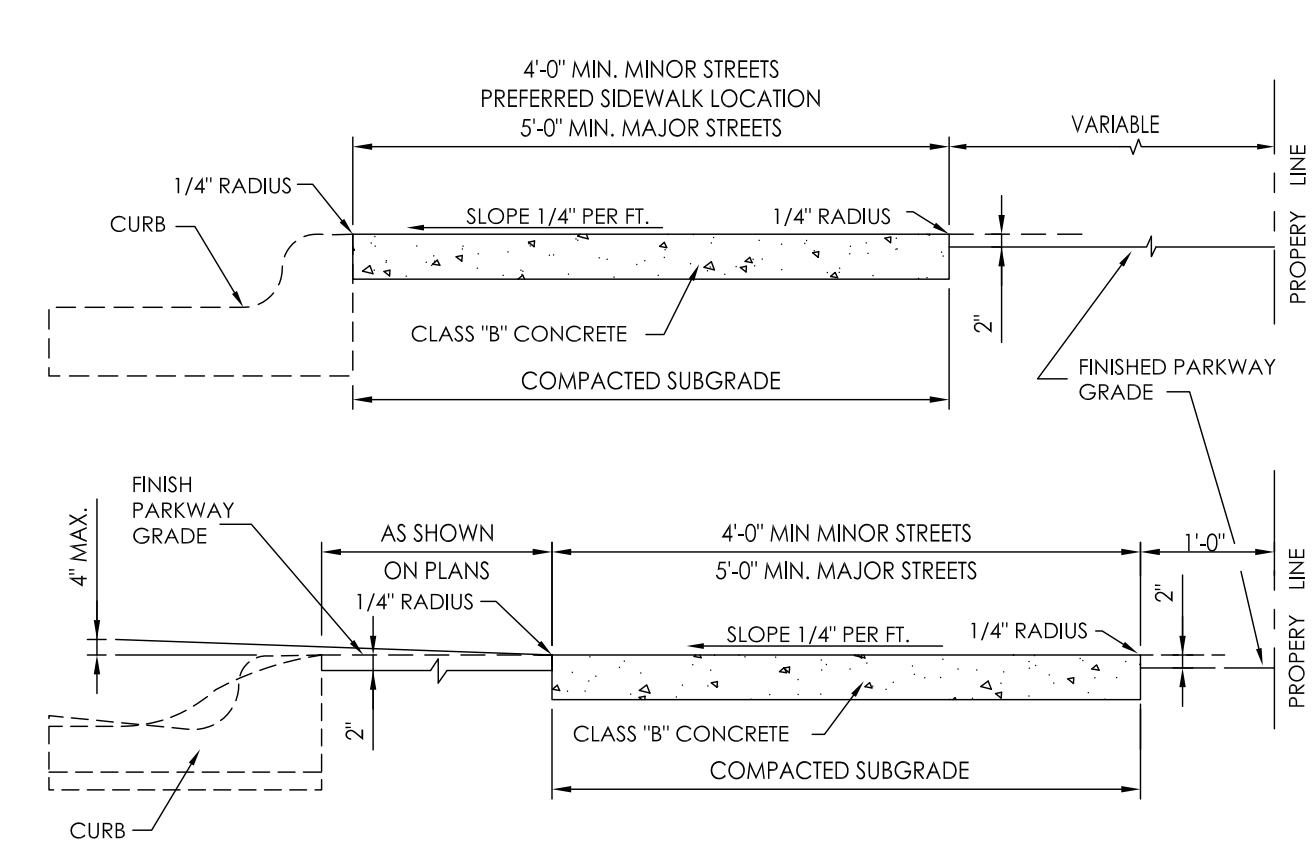
F  
3



BOUNDARY MONUMENT

YUMA COUNTY STD-4-040

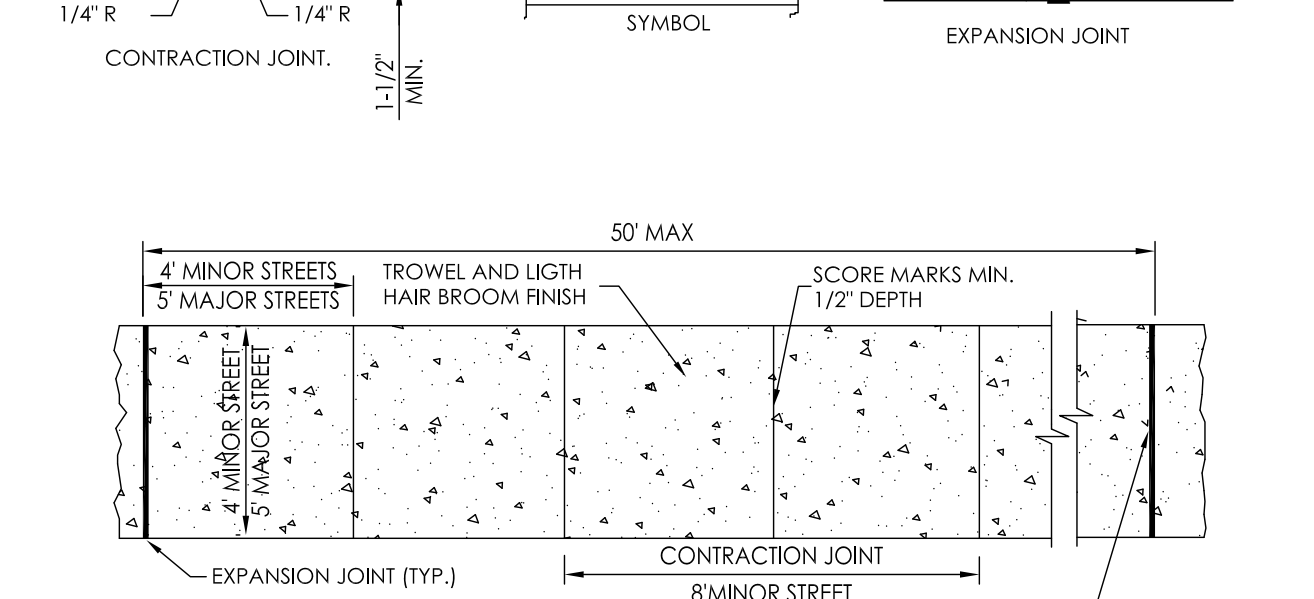
G  
3



SIDEWALK

YUMA COUNTY STD-3-270

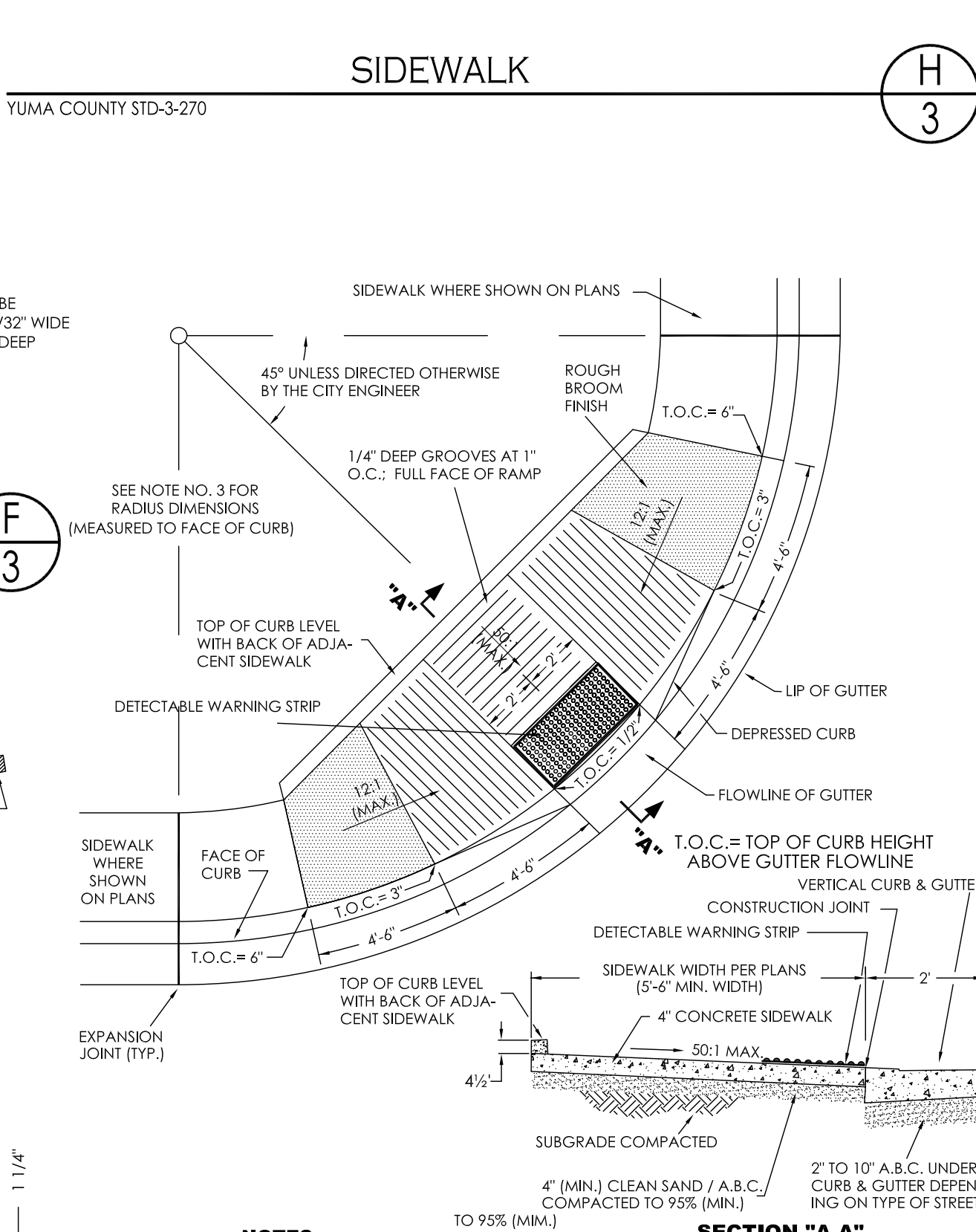
H  
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SIDEWALK

YUMA COUNTY STD-3-270

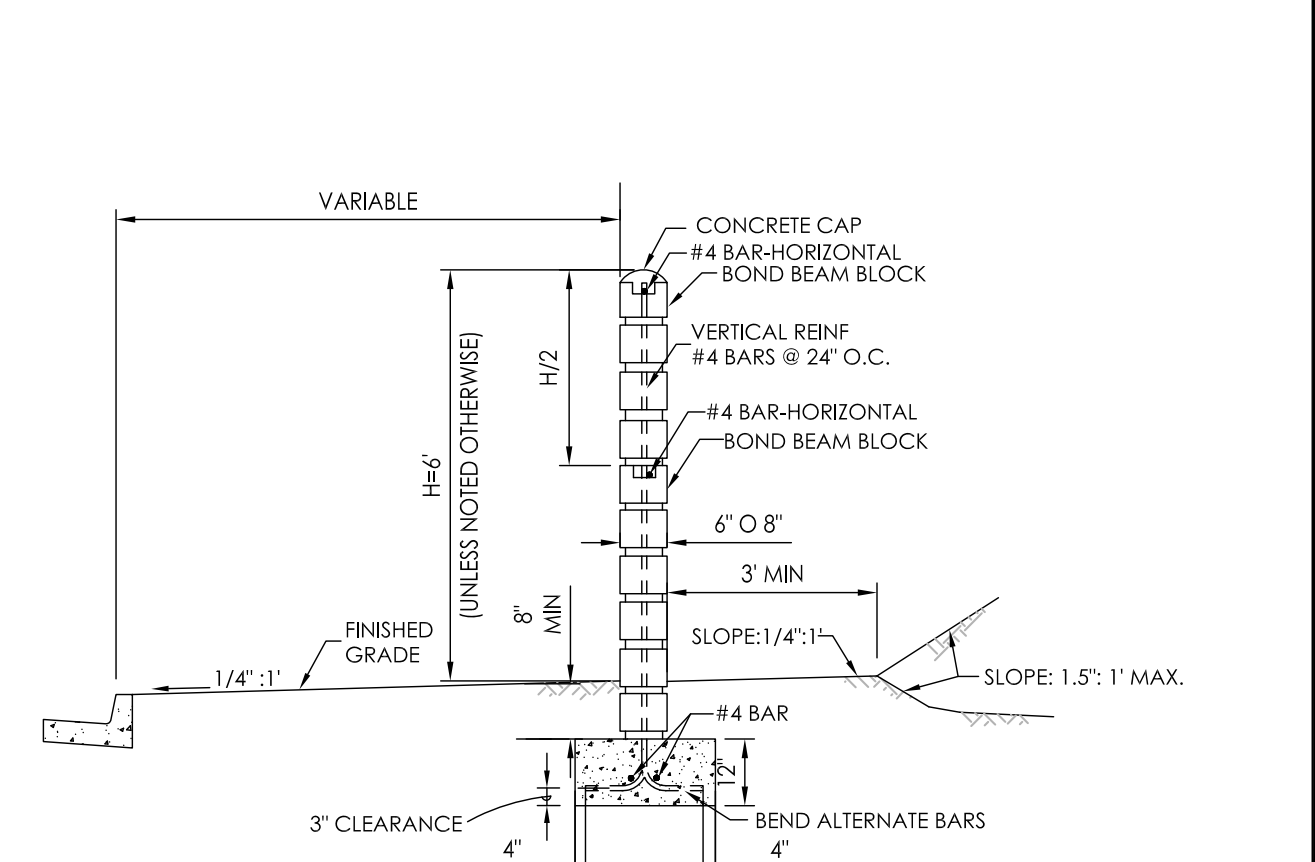
H  
3



SIDEWALK RAMP

YUMA COUNTY STD-3-280

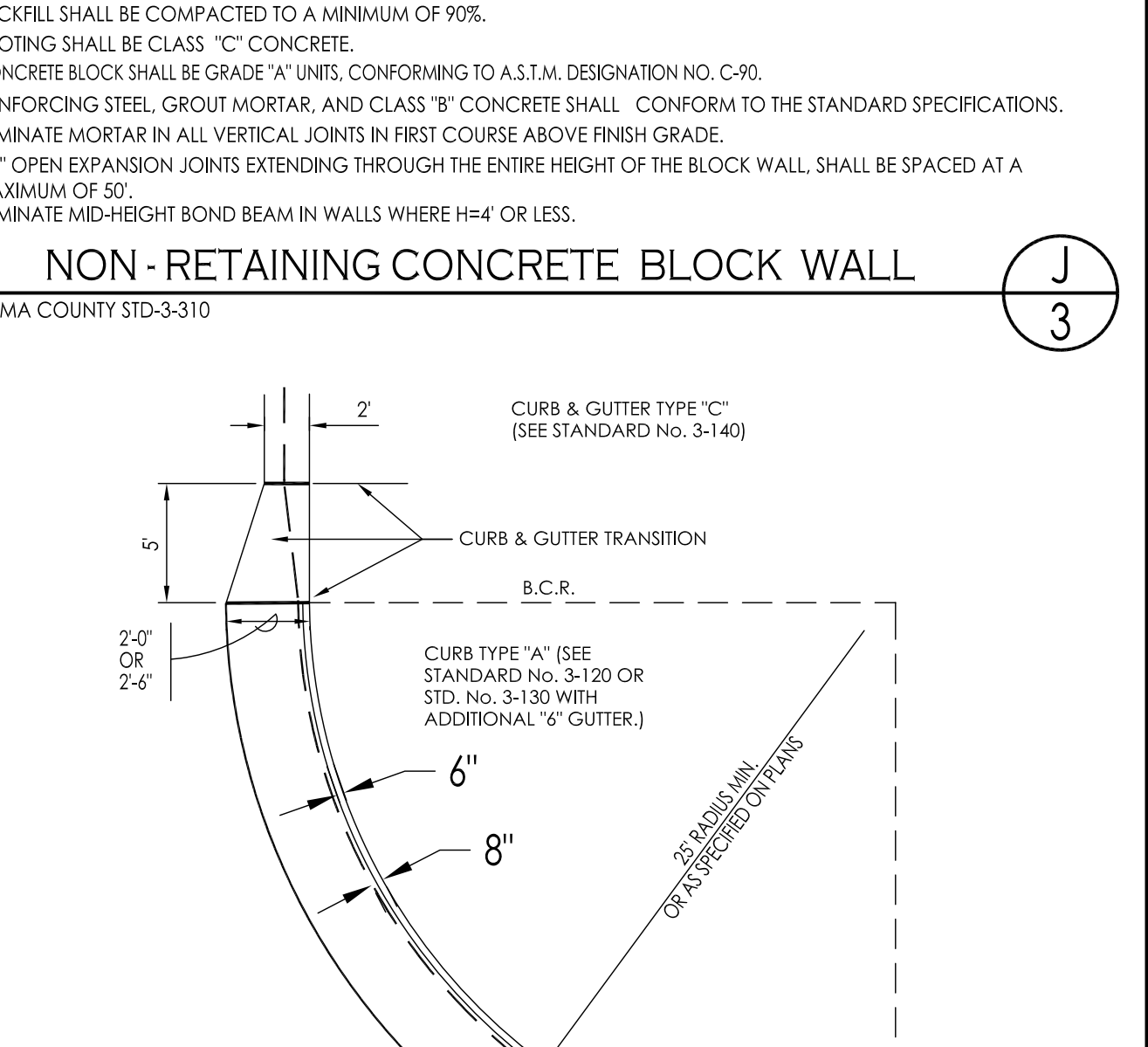
I  
3



NON-RETAINING CONCRETE BLOCK WALL

YUMA COUNTY STD-3-310

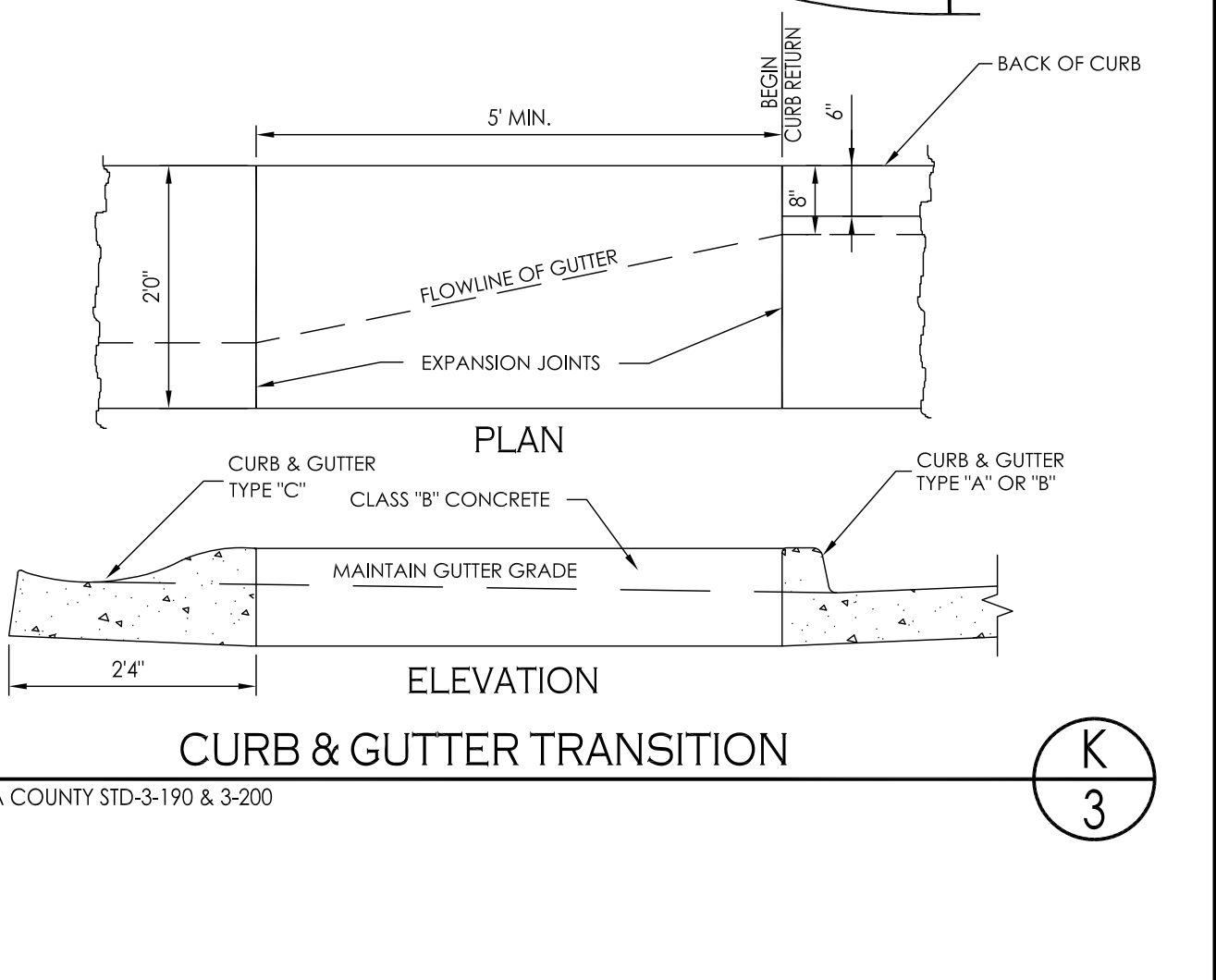
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CURB & GUTTER TRANSITION

YUMA COUNTY STD-3-190 & 3-200

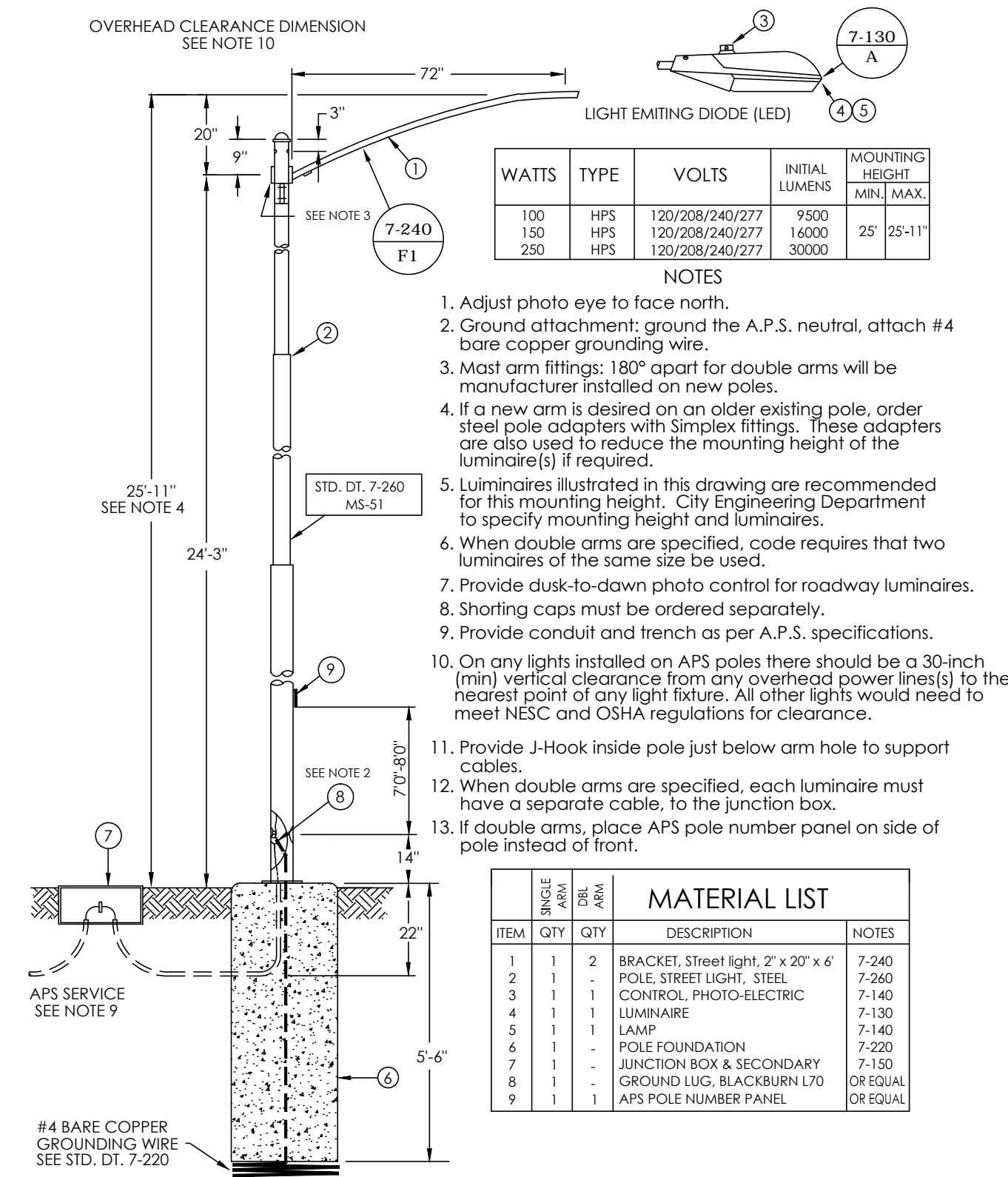
K  
3



SAWCUT DETAIL

YUMA COUNTY STD-3-190 & 3-200

L  
3

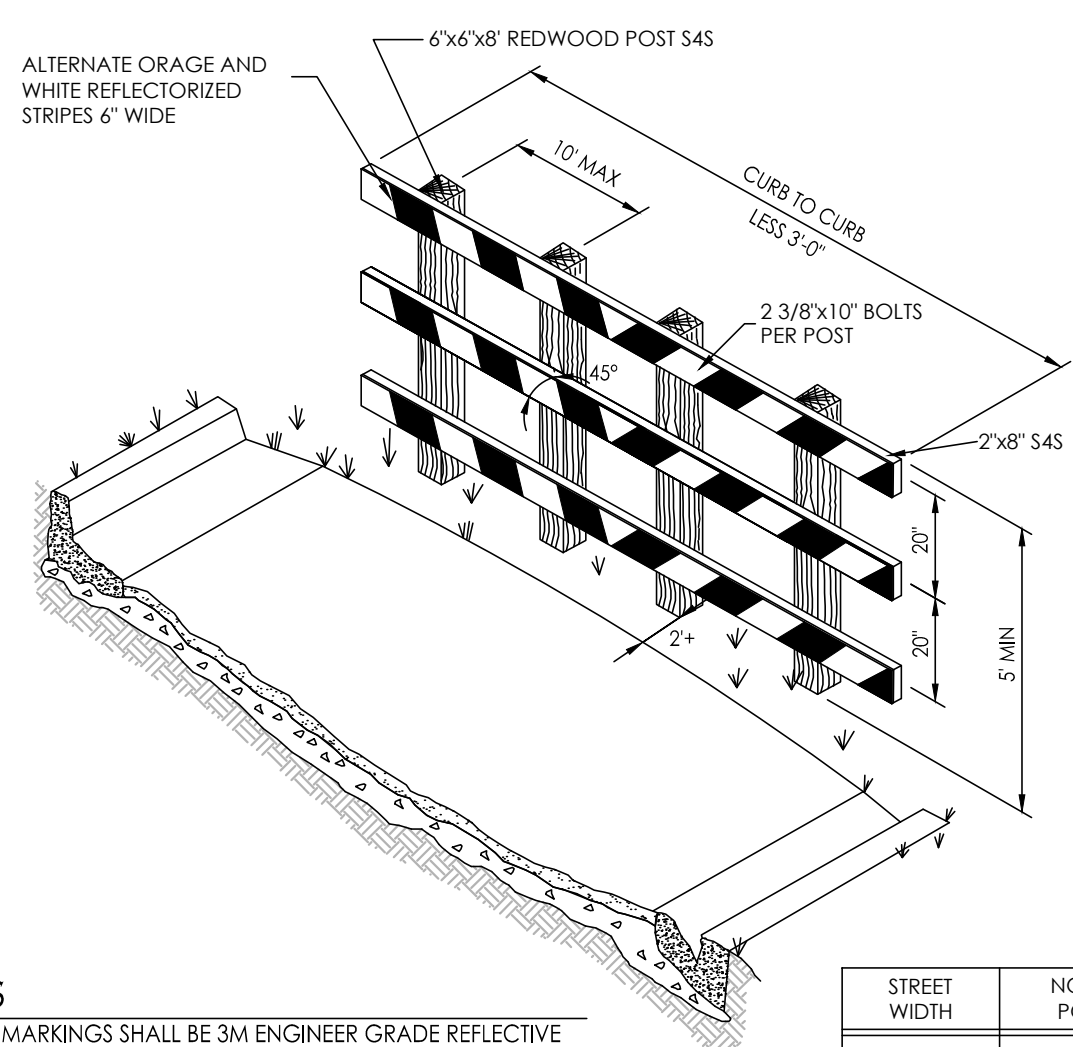


- NOTES**
- Adjust photo eye to face north.
  - Ground attachment: ground the A.P.S. neutral, attach #4 bare copper grounding wire.
  - Mast arm fittings: 180° apart for double arms will be manufacturer installed on new poles.
  - If a new arm is desired on an older existing pole, order steel pole adapters with Simplex fittings. These adapters are also used to reduce the mounting height of the luminaire(s) if required.
  - Luminaires illustrated in this drawing are recommended for this mounting height. City Engineering Department to specify mounting height and luminaires.
  - When double arms are specified, code requires that two luminaires of the same size be used.
  - Provide dusk-to-dawn photo control for roadway luminaires.
  - Shorting caps must be ordered separately.
  - Provide conduit and trench as per A.P.S. specifications.
  - On any lights installed on APS poles there should be a 30-inch (min) vertical clearance from any overhead power lines(s) to the nearest point of any light fixture. All other lights would need to meet NESC and OSHA regulations for clearance.
  - Provide J-hook inside pole just below arm hole to support cables.
  - When double arms are specified, each luminaire must have a separate cable, to the junction box.
  - If double arms, place APS pole number panel on side of pole instead of front.

ITEM	QTY	DESCRIPTION	NOTES
1	1	BRACKET, Street light, 2' x 20' x 6'	7-240
2	1	POLE, STREET LIGHT, STEEL	7-260
3	1	CONTROL, PHOTO-ELECTRIC	7-140
4	1	LUMINAIRE	7-130
5	1	LAMP	7-140
6	1	POLE FOUNDATION	7-220
7	1	JUNCTION BOX & SECONDARY	7-150
8	1	GROUND LUG, BLACKBURN L70	OR EQUAL
9	1	APS POLE NUMBER PANEL	OR EQUAL

REFERENCE  
A. Refer to Standard Detail Drawings 7-110 through 7-150 for lamps and other lighting associated hardware.

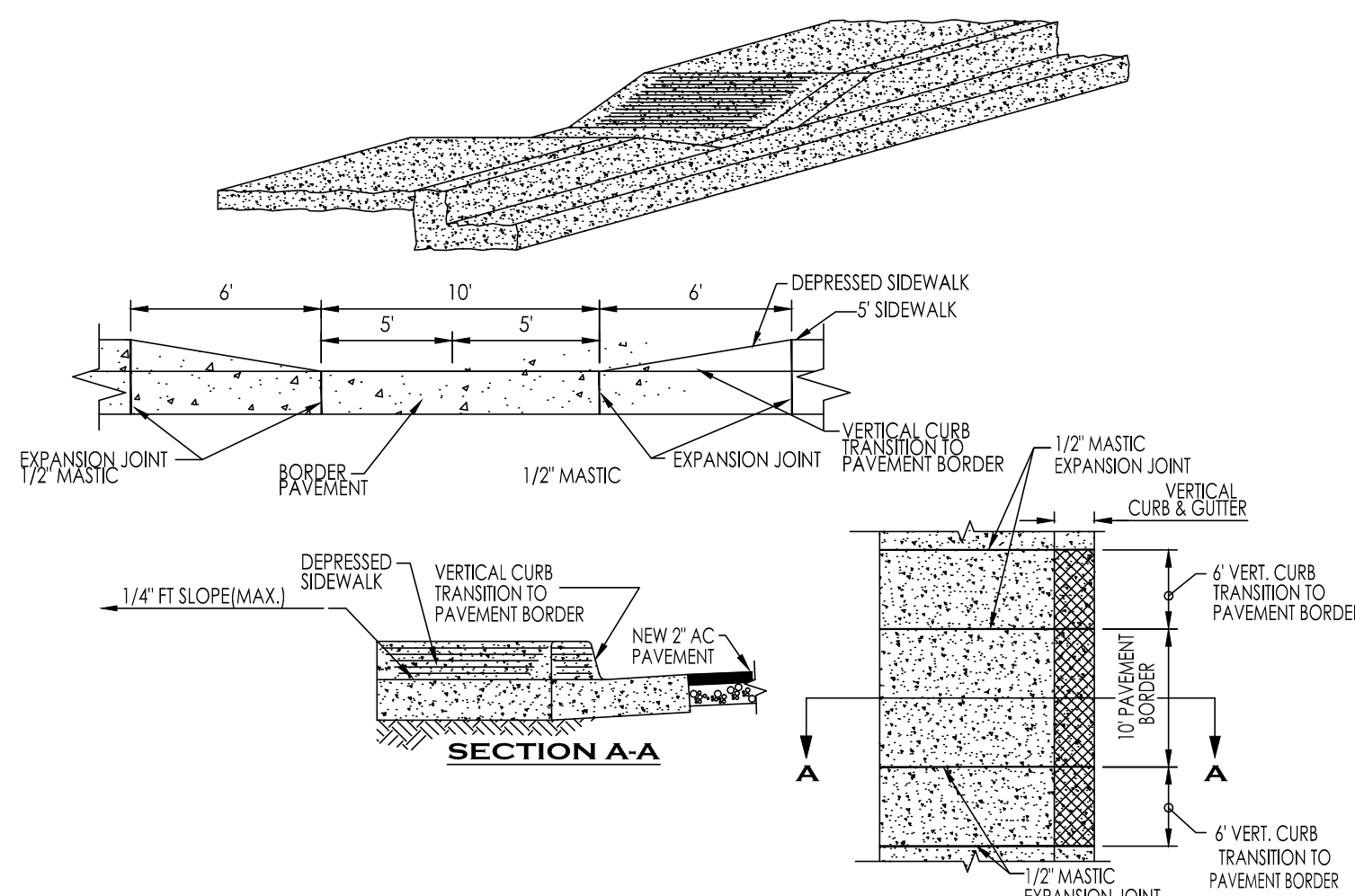
STREET LIGHT DETAIL



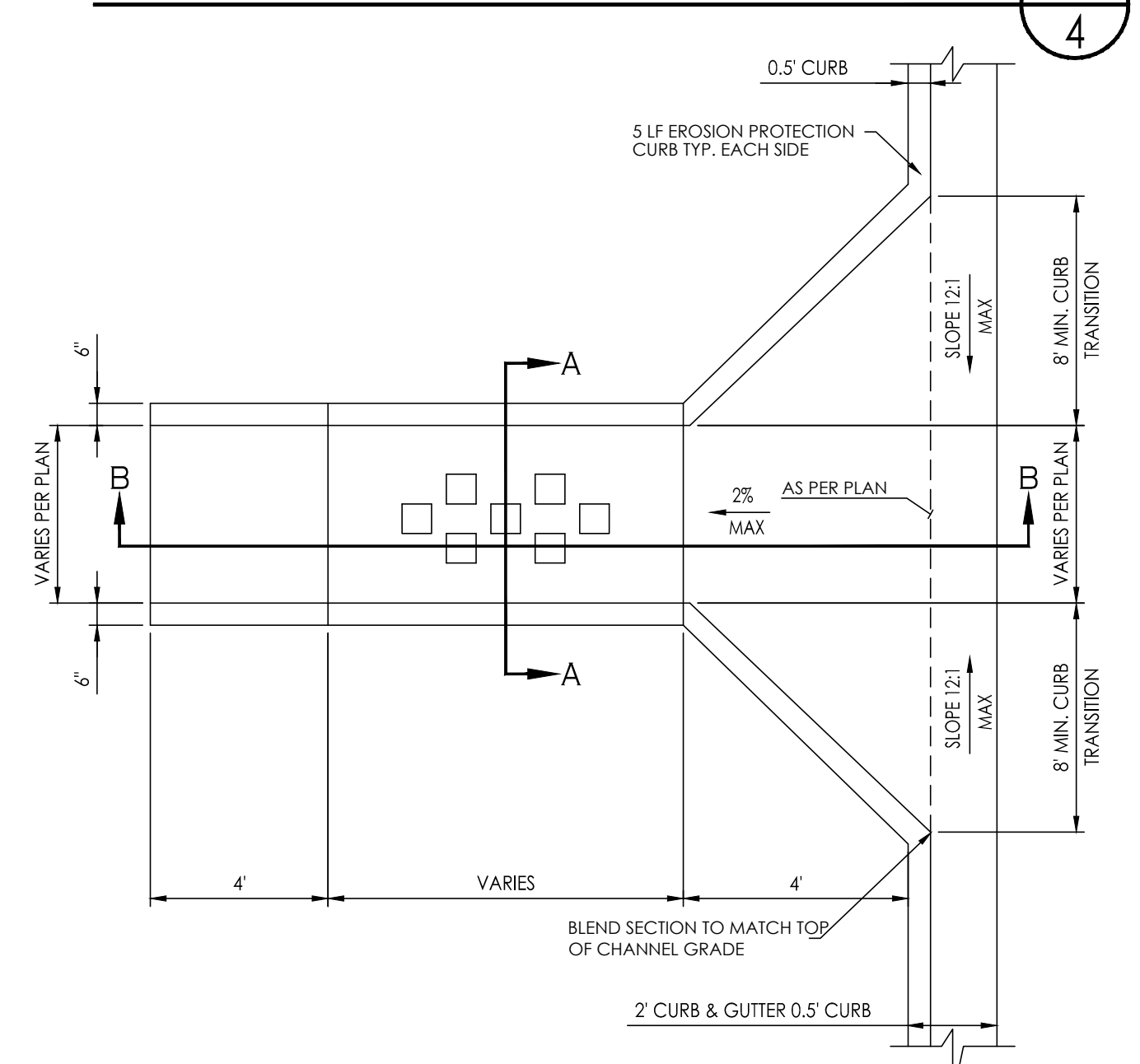
- NOTES**
- BARRICADE MARKINGS SHALL BE 3M ENGINEER GRADE REFLECTIVE SHEETING ON .080" THICK ALUMINUM SHEET OR EQUAL AS DIRECTED BY PUBLIC WORKS. RAIL TIMBER TO BE No. 1 D.F. S4S AND TO RECEIVE 2 COATS OF OUTSIDE WHITE PAINT ON NON-REFLECTIVE SURFACES.
- STRIPES SHALL SLOPE TOWARD THE CENTER OF THE PAVEMENT FROM BOTH SIDES, UNLESS OTHERWISE INSTRUCTED BY THE ENGINEER.

TYPE III BARRICADE

YUMA COUNTY STD-3-360

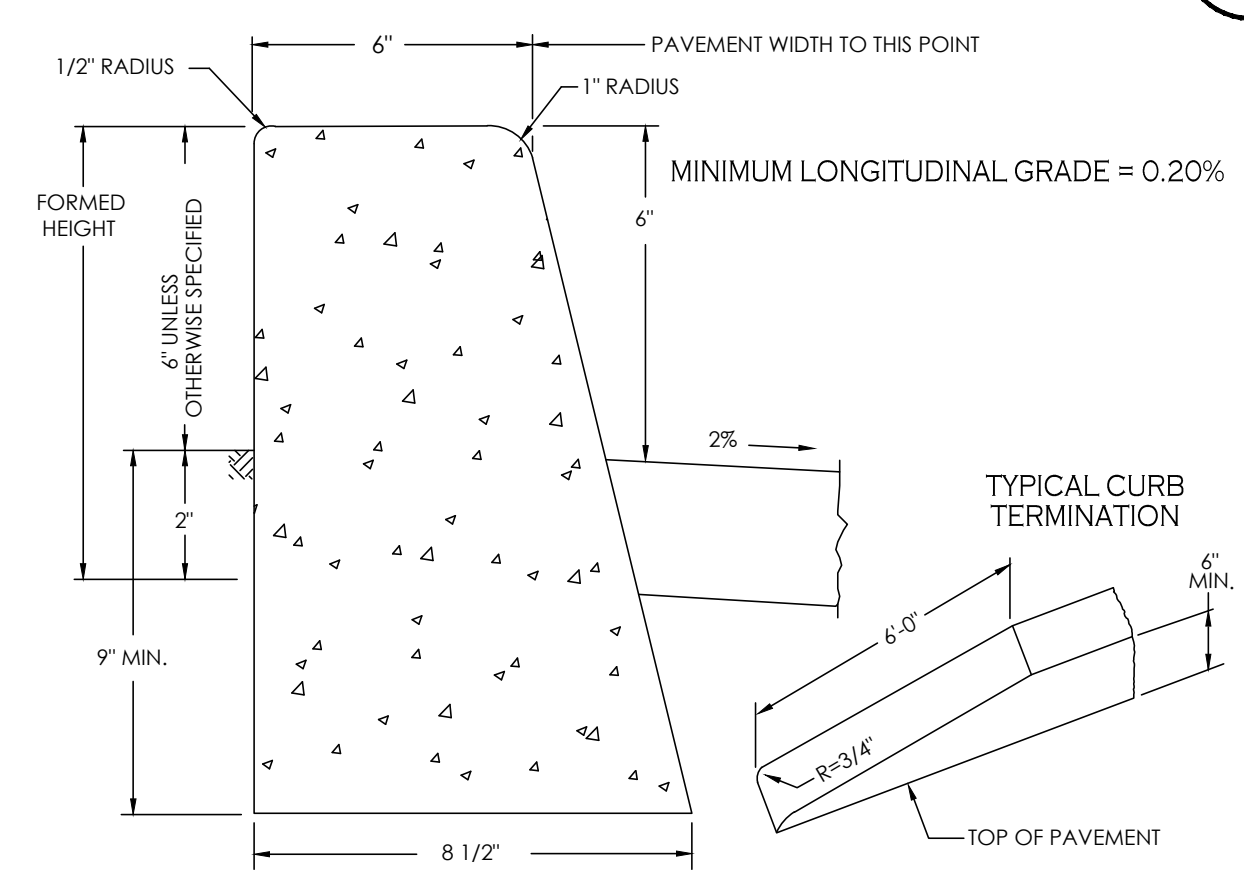


DEPRESSED SIDEWALK



CROSS GUTTER LAYOUT

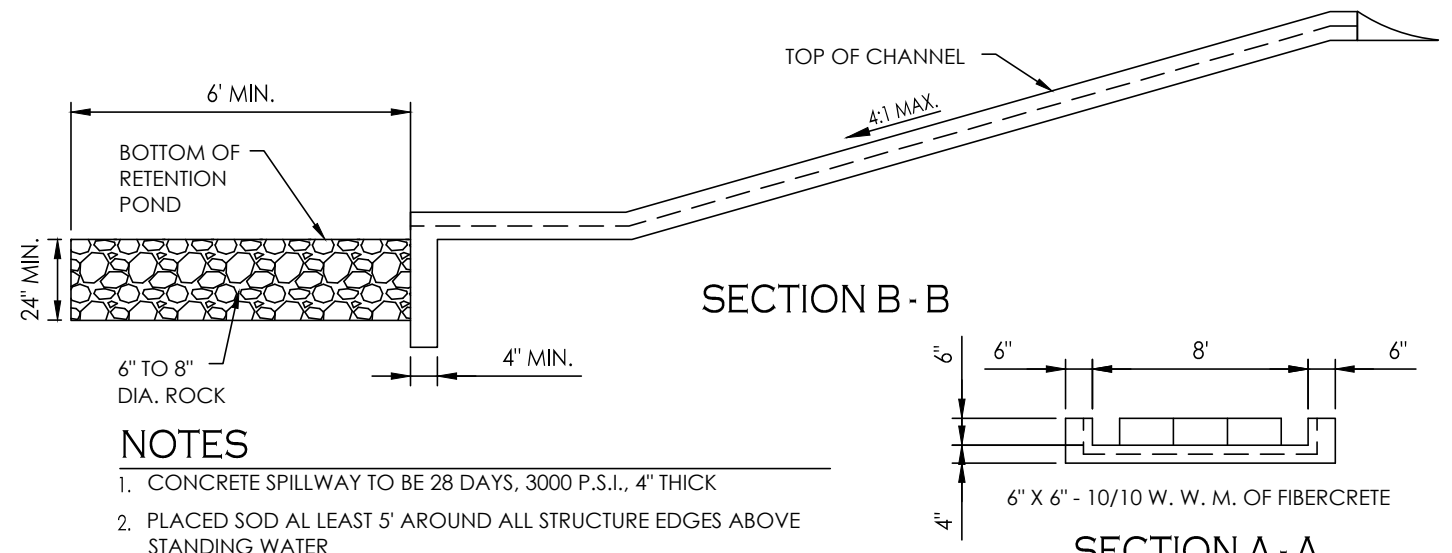
REVISED YUMA COUNTY STD-3-170



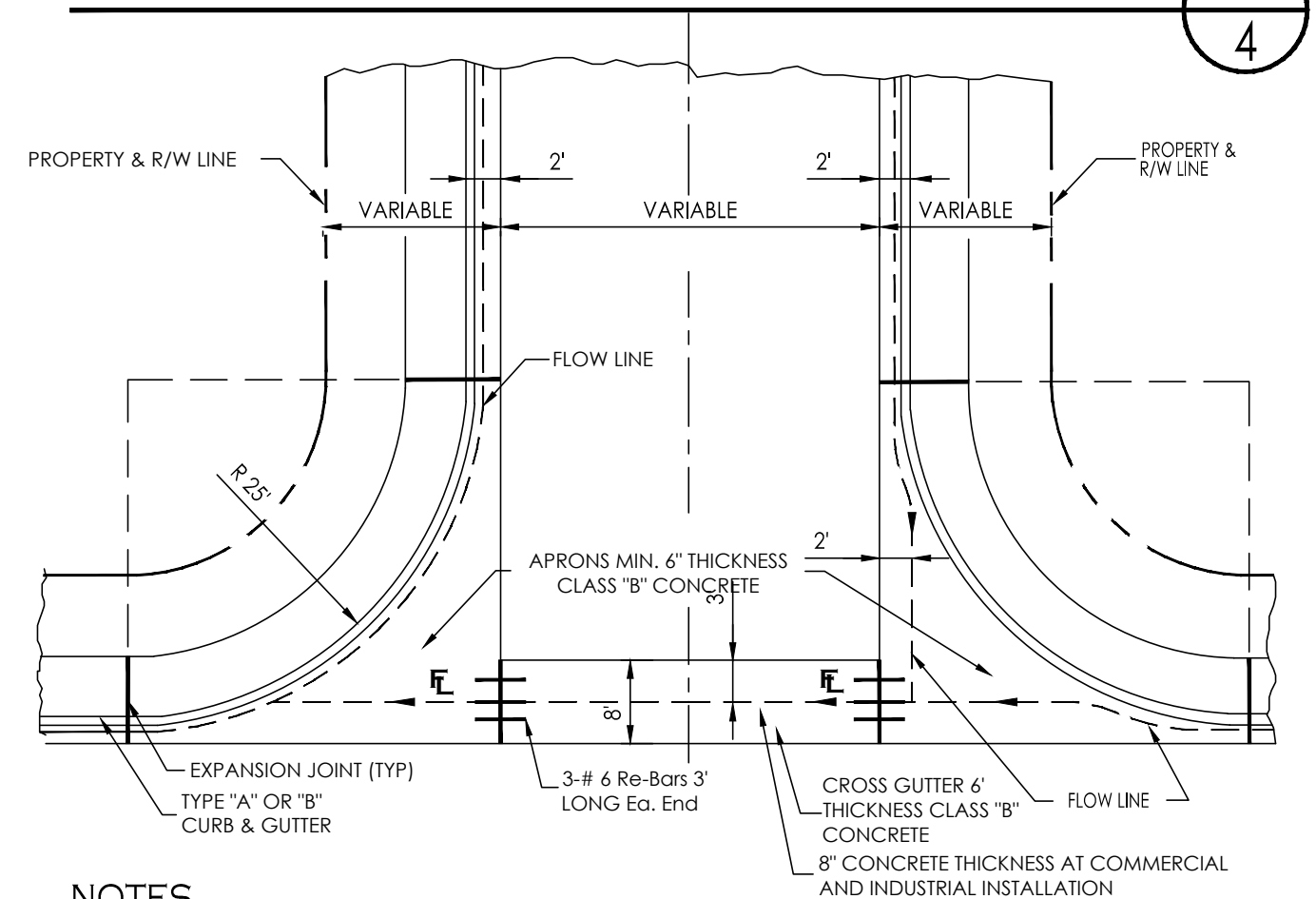
- NOTES**
- Vertical curb may be constructed by the use of forms or the concrete may be machine extruded.
  - Contraction joint spacing shall be either hand tooled and/or saw cut and shall be placed no further than ten feet (10') apart. Contraction joint shall have a minimum depth of two inches (2').
  - Expansion joints shall be located at tangent points, in curb returns, at structures and at a maximum of twenty foot (20') intervals. The one-half inch (1/2") joint filler material shall be the bituminous type meeting the A.S.H.T.C. M-33 or the A.S.T.M. D-1751 specifications and shall extend the full depth of the concrete.
  - Vertical curb shall be finished with steel trowel followed by a longitudinal brush broom finish. All exposed edges and hand tooled joints shall have a one-quarter inch (1/4") radius unless a larger radius is called for in the construction plans.
  - Additional information regarding joint construction can be seen in Standard Detail 3-270.

VERTICAL CURB AND TYPICAL CURB TERMINATION

C.O.Y. STD. 3-150



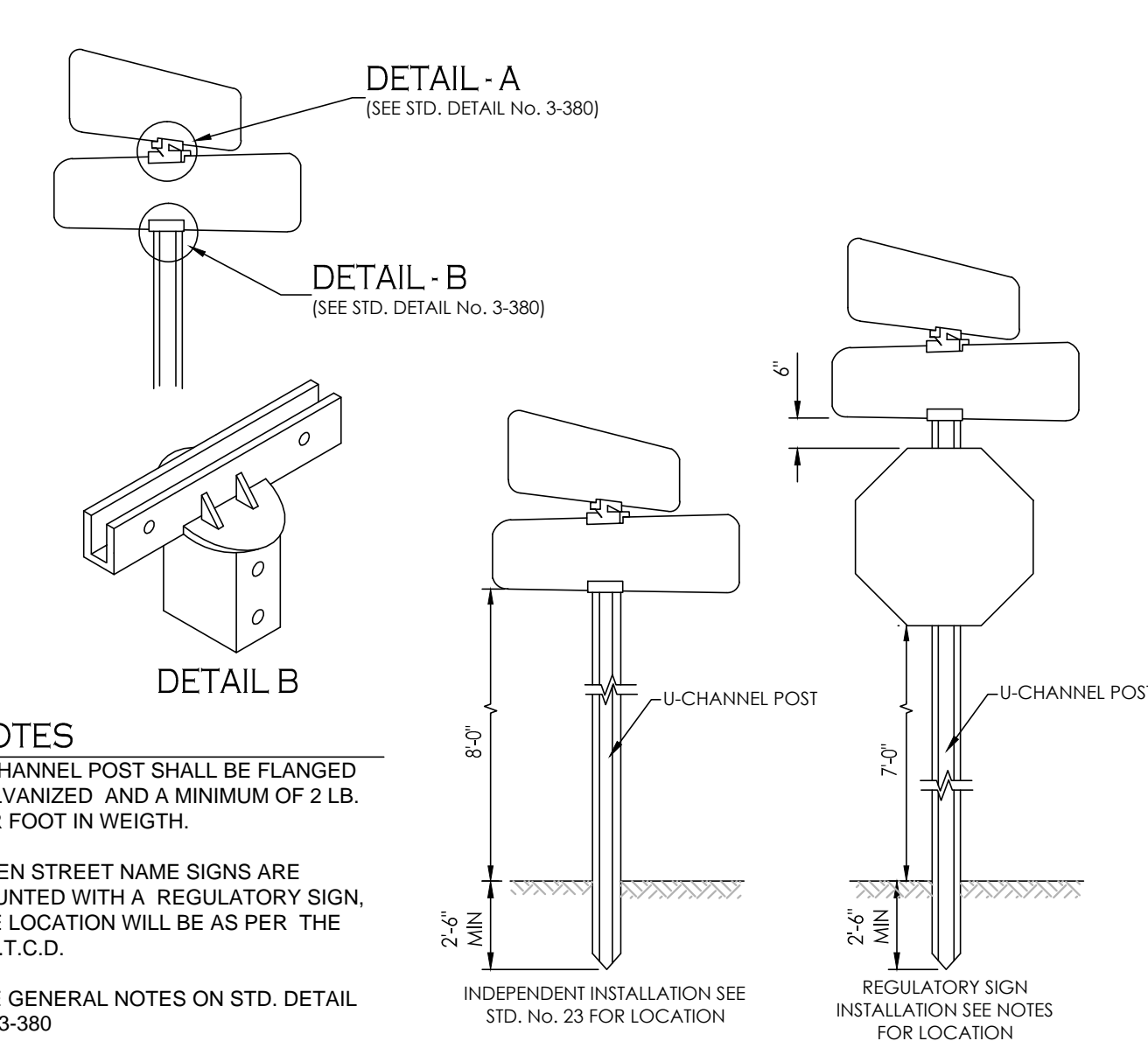
CONCRETE SPILLWAY



- NOTES**
- BROOM FINISH EXPOSED SURFACE.
  - CONTRACTION JOINT SPACING 10' MAX. AS PER SECTION 3.3.8. OF PUBLIC WORKS
  - EXPANSION JOINT SPACING 50' MAX. AS PER SECTION 3.3.8. OF PUBLIC WORKS STANDARDS.

CROSS GUTTER LAYOUT

YUMA COUNTY STD-3-170



- NOTES**
- U-CHANNEL POST SHALL BE FLANGED GALVANIZED AND A MINIMUM OF 2 LB. PER FOOT IN WEIGHT.
- WHEN STREET NAME SIGNS ARE MOUNTED WITH A REGULATORY SIGN, THE LOCATION WILL BE AS PER THE M.U.T.C.D.
- SEE GENERAL NOTES ON STD. DETAIL No. 3-380

INDEPENDENT INSTALLATION SEE STD. No. 23 FOR LOCATION

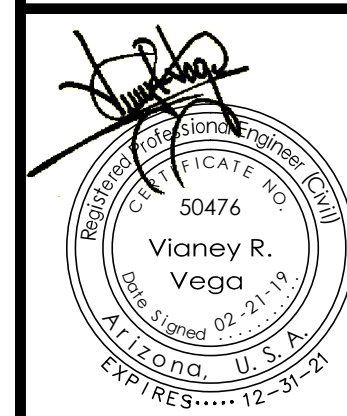
REGULATORY SIGN INSTALLATION SEE NOTES FOR LOCATION

DOUBLE FACED STREET SIGN-STOP SIGN

YUMA COUNTY STD-3-390

Paving & Grading Details  
**BIENESTAR ESTATES 10**

**VEGA & VEGA ENGINEERING, P.C.**  
1846 S. 8th AVENUE 928-329-0000 TEL  
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Sheet 4  
of 12



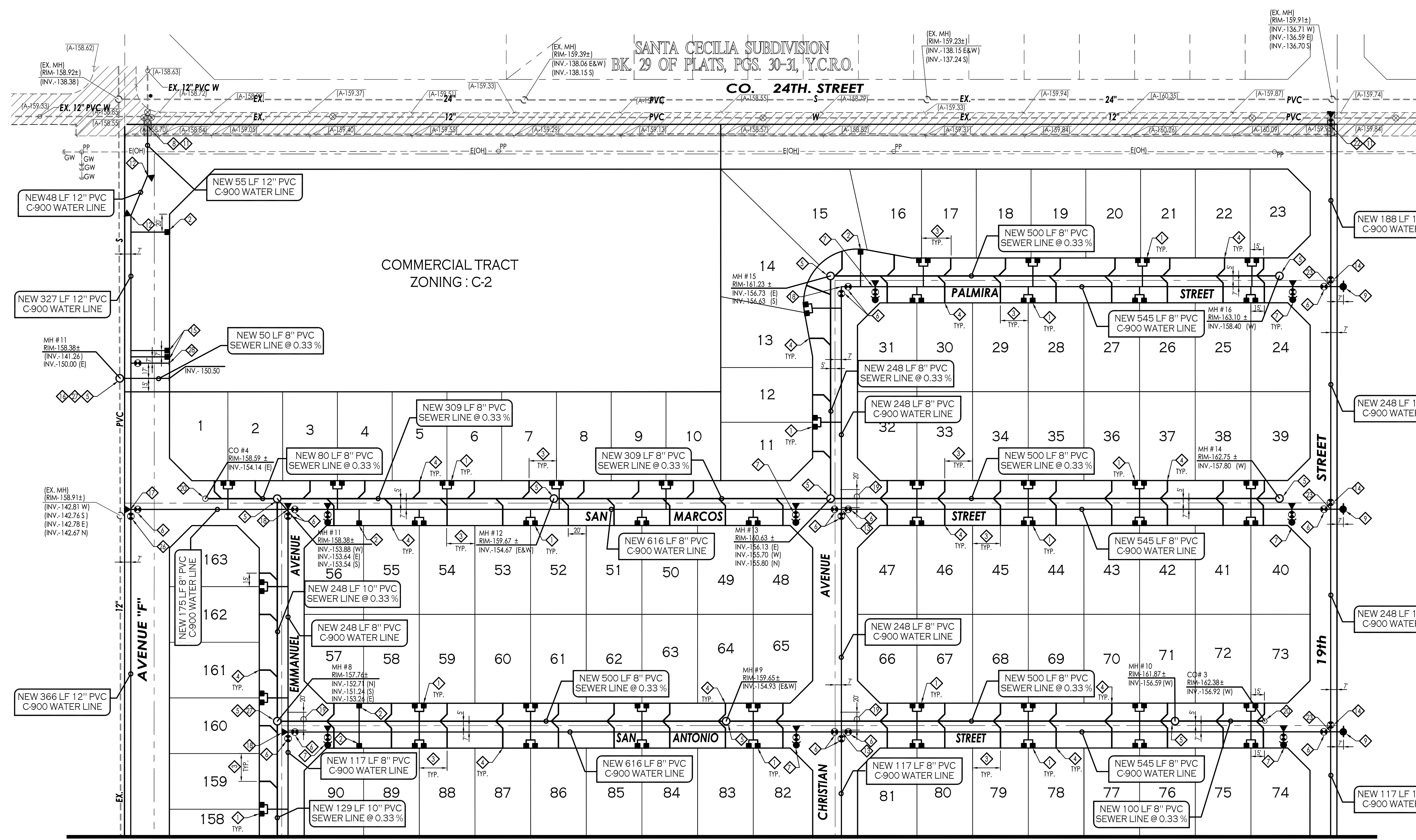
SCALE: 1"=60'

LEGEND

- 163 INDICATES EX. CONTOURS ELEVATION
- EX--12" PVC--W-- INDICATES EX. WATER LINE
- EX--12" PVC--S-- INDICATES EX. SEWER LINE
- GAS--- INDICATES EX. GAS LINE
- [E] INDICATES EXISTING ELECTRICAL BOX
- ⊗GP INDICATES EXISTING GAS PADDLE
- ⊙MH INDICATES EXISTING MANHOLE
- ⊙FH INDICATES EXISTING FIRE HYDRANT
- ⊙WM INDICATES EXISTING WATER METER
- ⊙WV INDICATES EXISTING WATER VALVE
- NEW--PVC--S-- INDICATES NEW SANITARY SEWER LINE
- NEW SEWER MANHOLE
- NEW--PVC--W-- INDICATES NEW WATER LINE
- NEW 4" PVC SEWER SERVICE
- NEW SINGLE WATER SERVICE
- NEW DUAL WATER SERVICE
- NEW WATER VALVE
- NEW FIRE HYDRANT
- NEW TEMPORARY BLOWOFF VALVE
- 57 INDICATES LOT NUMBERS

KEYNOTES:

- ◇ INSTALL 1" DUAL WATER SERVICE (TYP.) - SEE DETAILS (U, V, W, X, Y, Z)
- ◇ INSTALL 1" SINGLE WATER SERVICE (TYP.) - SEE DETAILS (U, V, W, X, Y, Z)
- ◇ NEW 8" WATER VALVE - SEE DETAILS (F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z)
- ◇ NEW 4" PVC SEWER SERVICE - SEE DETAIL (M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z)
- ◇ NEW SANITARY SEWER MANHOLE - SEE DETAILS (N, Y, Q, R, S, T, U, V, W, X, Y, Z)
- ◇ CONSTRUCT ALL SEWER SERVICES TO CENTER OF THE LOT, UNLESS NOTED OTHERWISE.
- ◇ NEW COMPLETE FIRE HYDRANT - SEE DETAIL (L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z)
- ◇ CONNECT NEW 12" WATER LINE TO EX. 12" WATER MAIN, SAWCUT EXISTING PAVEMENT AS NEEDED FOR CONNECTION AND REPLACE WITH NEW PAVEMENT. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING 12" WATER MAIN. IF CONDITIONS ARE DIFFERENT THAN WHAT IS SHOWN ON PLANS CONTRACTOR TO NOTIFY ENGINEER BEFORE MAKING ANY DETERMINATION - SEE DETAIL (S, AA, AB, AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ)
- ◇ NEW TEMPORARY BLOWOFF VALVE - SEE DETAIL (E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z)
- ◇ INSTALL NEW BACKFLOW PREVENTOR W/ CAGE - SEE DETAILS (X, Y, Z)
- ◇ CONTRACTOR TO PROTECT EX. UTILITIES DURING CONSTRUCTION. IF DAMAGE OCCURS, CONTRACTOR MUST REPAIR AT HIS OWN EXPENSE.
- ◇ NEW 12" PVC 22.5" ELL W/THRUST BLOCK - SEE DETAILS (J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z)
- ◇ NEW 8" PVC CROSS W/THRUST BLOCK - SEE DETAILS (J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z)
- ◇ NEW 10" WATER VALVE - SEE DETAILS (F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z)
- ◇ INSTALL 2" WATER SERVICE (TYP.) - SEE DETAILS (B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z)
- ◇ CONSTRUCT NEW SANITARY MANHOLE ON EXISTING SANITARY SEWER MAIN. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING SEWER MANHOLE. IF CONDITIONS ARE DIFFERENT THAN WHAT IS SHOWN ON PLANS CONTRACTOR TO NOTIFY ENGINEER BEFORE MAKING ANY DETERMINATION - SEE DETAILS (S, AA, AB, AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ)
- ◇ NEW 12"x8" PVC TEE W/THRUST BLOCK - SEE DETAILS (J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z)
- ◇ NEW 8" PVC ELL W/THRUST BLOCK - SEE DETAILS (J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z)
- ◇ LOWER NEW WATER MAIN - SEE DETAIL (Z)
- ◇ NEW SANITARY SEWER CLEANOUT - SEE DETAIL (L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z)
- ◇ ADJUST EXISTING MANHOLE TO NEW GRADE - SEE DETAIL (R, S, T, U, V, W, X, Y, Z)
- ◇ NEW 10" TAPPING SLEEVE, CONNECT NEW 10" WATER LINE TO EX. 12" WATER MAIN, SAWCUT EXISTING PAVEMENT AS NEEDED FOR CONNECTION AND REPLACE WITH NEW PAVEMENT, CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING 12" WATER MAIN. IF CONDITIONS ARE DIFFERENT THAN WHAT IS SHOWN ON PLANS CONTRACTOR TO NOTIFY ENGINEER BEFORE MAKING ANY DETERMINATION - SEE DETAILS (S, AA, AB, AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ)
- ◇ NEW 10"x8" PVC CROSS W/THRUST BLOCK - SEE DETAILS (J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z)
- ◇ NEW 10"x10" PVC CROSS W/THRUST BLOCK - SEE DETAILS (J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z)
- ◇ NEW 12"x10" PVC TEE W/THRUST BLOCK - SEE DETAILS (J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z)
- ◇ NEW 12" WATER VALVE - SEE DETAILS (F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z)
- ◇ TYPE "A" DROP SEWER CONNECTION - SEE DETAIL (P, Q, R, S, T, U, V, W, X, Y, Z)
- ◇ NEW 8" WATER LINE W/ WATER TIGHT END PLUG AND THRUST BLOCK - SEE DETAILS (J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z)



MATCH LINE SEE SHEET 6 OF 12

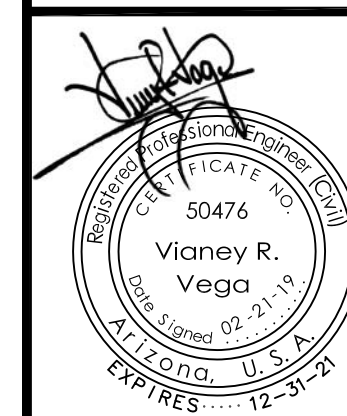
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**VEGA & VEGA**  
ENGINEERS & ARCHITECTS

Water & Sewer Plan

**BIENESTAR ESTATES 10**



Notes:

Scale: N.T.S. Date: FEB. 2019  
Drawn: staff Job #: vnv18-400  
Checked: vna

Sheet **5**  
of **12**

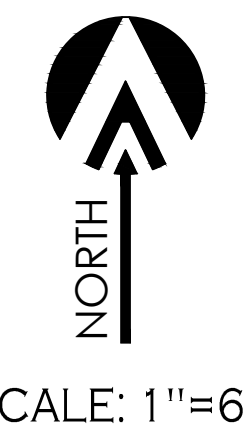
**KEYNOTES:**

- ◆ INSTALL 1" DUAL WATER SERVICE (TYP.) - SEE DETAILS (U, Y, W, T)
- ◆ INSTALL 1" SINGLE WATER SERVICE (TYP.) - SEE DETAILS (U, T)
- ◆ NEW 8" WATER VALVE - SEE DETAILS (F, G, H, 10)
- ◆ NEW 4" PVC SEWER SERVICE - SEE DETAIL (M, T)
- ◆ NEW SANITARY SEWER MANHOLE - SEE DETAILS (N, G, T)
- ◆ CONSTRUCT ALL SEWER SERVICES TO CENTER OF THE LOT, UNLESS NOTED OTHERWISE.
- ◆ NEW COMPLETE FIRE HYDRANT - SEE DETAIL (J, 10)
- ◆ CONNECT NEW 12" WATER LINE TO EX. 12" WATER MAIN, SAWCUT EXISTING PAVEMENT AS NEEDED FOR CONNECTION AND REPLACE WITH NEW PAVEMENT. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING 12" WATER MAIN. IF CONDITIONS ARE DIFFERENT THAN WHAT IS SHOWN ON PLANS CONTRACTOR TO NOTIFY ENGINEER BEFORE MAKING ANY DETERMINATION - SEE DETAIL (S, 10)
- ◆ NEW TEMPORARY BLOWOFF VALVE - SEE DETAIL (E, 10)
- ◆ INSTALL NEW BACKFLOW PREVENTOR W/ CAGE - SEE DETAILS (K, T, 12)
- ◆ CONTRACTOR TO PROTECT EX. UTILITIES DURING CONSTRUCTION. IF DAMAGE OCCURS, CONTRACTOR MUST REPAIR AT HIS OWN EXPENSE.
- ◆ NEW 12" PVC 22.5" ELL W/THRUST BLOCK - SEE DETAILS (J, 10, K, 10)
- ◆ NEW 8" PVC CROSS W/THRUST BLOCK - SEE DETAILS (J, 10, K, 10)
- ◆ NEW 10" WATER VALVE - SEE DETAILS (F, G, H, 10)
- ◆ INSTALL 2" WATER SERVICE (TYP.) - SEE DETAILS (U, Y, W, T)
- ◆ CONNECT NEW SANITARY SEWER SYSTEM TO EXISTING SANITARY SEWER MANHOLE. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING SEWER MANHOLE. IF CONDITIONS ARE DIFFERENT THAN WHAT IS SHOWN ON PLANS CONTRACTOR TO NOTIFY ENGINEER BEFORE MAKING ANY DETERMINATION

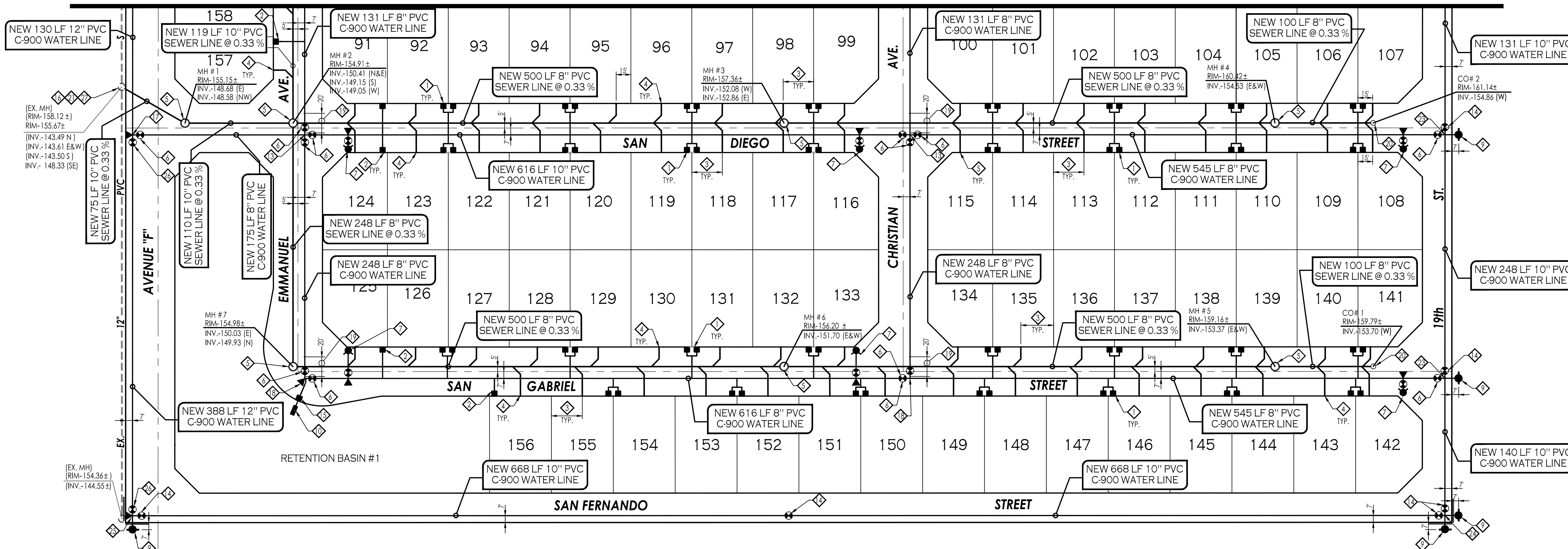
- ◆ NEW 12"x8" PVC TEE W/THRUST BLOCK - SEE DETAILS (J, 10, K, 10)
- ◆ NEW 8" PVC ELL W/THRUST BLOCK - SEE DETAILS (J, 10, K, 10)
- ◆ LOWER NEW WATER MAIN - SEE DETAIL (Z, 12)
- ◆ NEW SANITARY SEWER CLEANOUT - SEE DETAIL (T, 10)
- ◆ ADJUST EXISTING MANHOLE TO NEW GRADE - SEE DETAIL (R, T)
- ◆ NEW 10" TAPPING SLEEVE. CONNECT NEW 10" WATER LINE TO EX. 12" WATER MAIN. SAWCUT EXISTING PAVEMENT AS NEEDED FOR CONNECTION AND REPLACE WITH NEW PAVEMENT. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING 12" WATER MAIN. IF CONDITIONS ARE DIFFERENT THAN WHAT IS SHOWN ON PLANS CONTRACTOR TO NOTIFY ENGINEER BEFORE MAKING ANY DETERMINATION - SEE DETAILS (S, AA, T, 12)
- ◆ NEW 10"x8" PVC CROSS W/THRUST BLOCK - SEE DETAILS (J, 10, K, 10)
- ◆ NEW 10"x10" PVC CROSS W/THRUST BLOCK - SEE DETAILS (J, 10, K, 10)
- ◆ NEW 12"x10" PVC TEE W/THRUST BLOCK - SEE DETAILS (J, 10, K, 10)
- ◆ NEW 12" WATER VALVE - SEE DETAILS (F, G, H, 10)
- ◆ TYPE "A" DROP SEWER CONNECTION - SEE DETAIL (P, T)

**LEGEND**

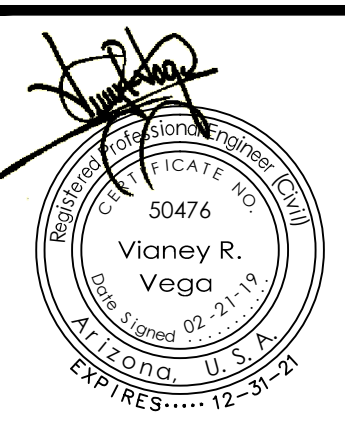
- 163 INDICATES EX. CONTOURS ELEVATION
- EX--12"=PVC--W-- INDICATES EX. WATER LINE
- EX--12"=PVC--S-- INDICATES EX. SEWER LINE
- GAS--- INDICATES EX. GAS LINE
- [E] INDICATES EXISTING ELECTRICAL BOX
- [GP] INDICATES EXISTING GAS PADDLE
- [MH] INDICATES EXISTING MANHOLE
- [FH] INDICATES EXISTING FIRE HYDRANT
- [WM] INDICATES EXISTING WATER METER
- [WV] INDICATES EXISTING WATER VALVE
- NEW---PVC---S--- INDICATES NEW SANITARY SEWER LINE
- [O] NEW SEWER MANHOLE
- NEW---PVC---W--- INDICATES NEW WATER LINE
- [ ] NEW SINGLE WATER SERVICE
- [ ] NEW DUAL WATER SERVICE
- [ ] NEW WATER VALVE
- [ ] NEW FIRE HYDRANT
- [ ] NEW TEMPORARY BLOWOFF VALVE
- 57 INDICATES LOT NUMBERS



**MATCH LINE SEE SHEET 5 OF 12**



**Water & Sewer Plan**  
**BIENESTAR ESTATES 10**



Notes:

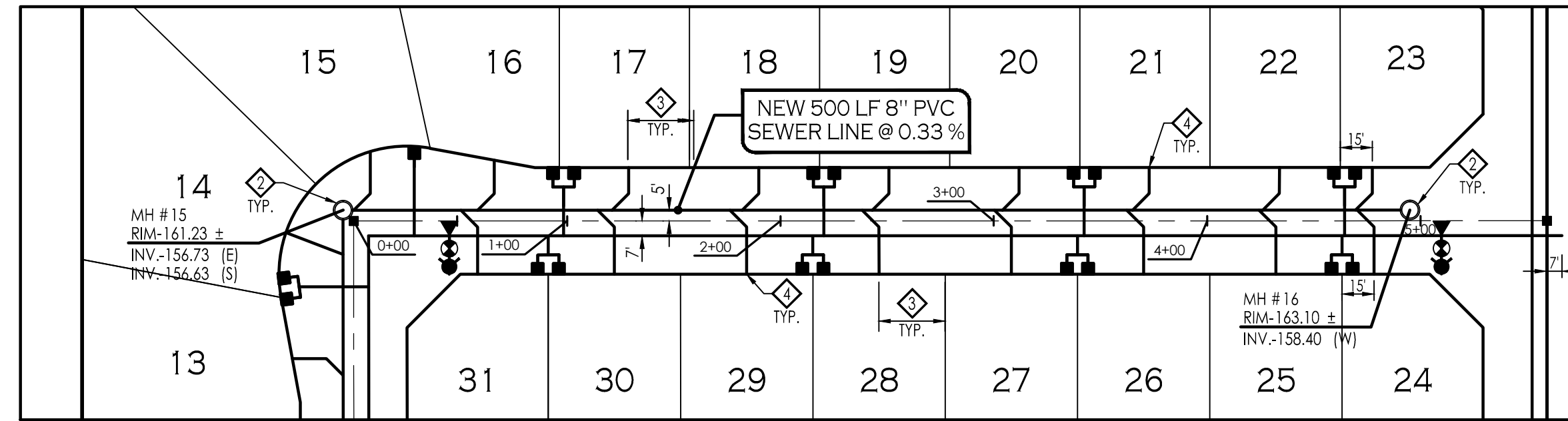
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 Checked: vna

Sheet **6**  
 of **12**

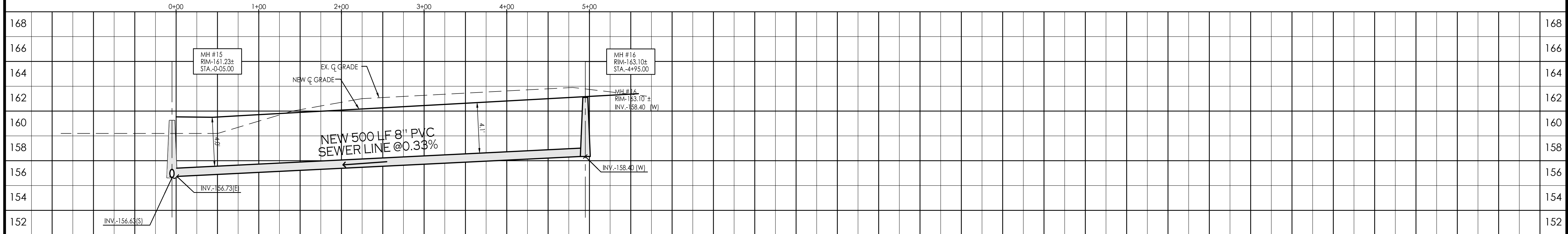


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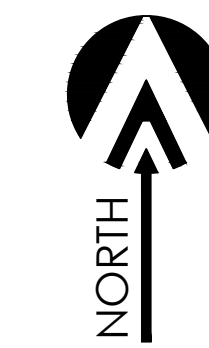


PALMIRA STREET

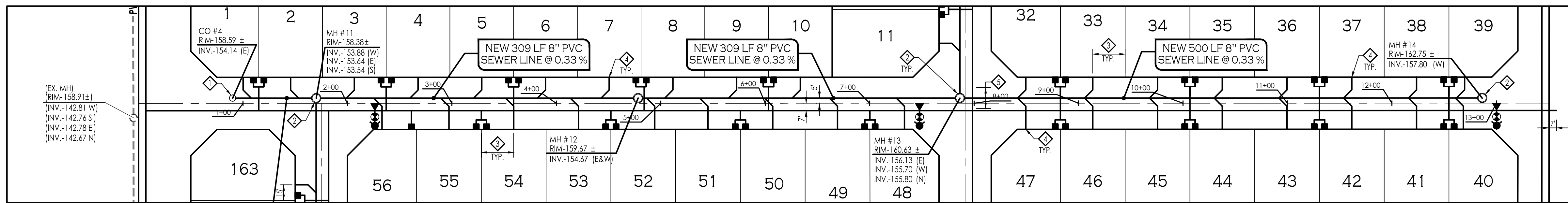


KEYNOTES:

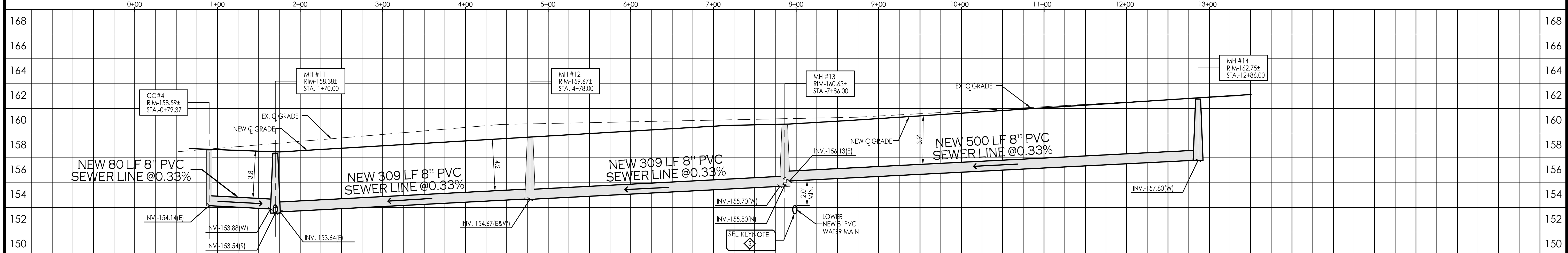
- ◆ NEW SANITARY SEWER CLEANOUT - SEE DETAIL (S)
- ◆ NEW SANITARY SEWER MANHOLE - SEE DETAILS (N, Q, T)
- ◆ CONSTRUCT ALL SEWER SERVICES TO CENTER OF THE LOT, UNLESS NOTED OTHERWISE.
- ◆ NEW 4" PVC SEWER SERVICE - SEE DETAIL (M, T)
- ◆ LOWER NEW WATER MAIN - SEE DETAIL (W)



SCALE: 1"=60'  
HORIZONTAL  
SCALE: 1"=4'  
VERTICAL



SAN MARCOS STREET

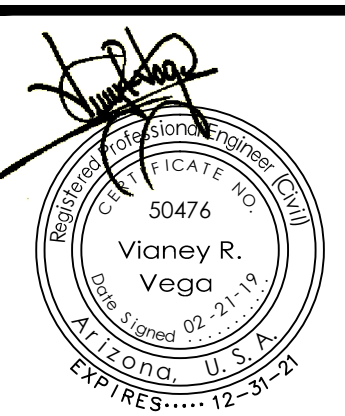


LEGEND

- |               |                                   |           |                                   |                             |                          |
|---------------|-----------------------------------|-----------|-----------------------------------|-----------------------------|--------------------------|
| 163           | INDICATES EX. CONTOURS ELEVATION  | EH        | INDICATES EXISTING FIRE HYDRANT   | NEW-PVC-W                   | INDICATES NEW WATER LINE |
| -EX-6"-PVC-W- | INDICATES EX. WATER LINE          | EW        | INDICATES EXISTING WATER METER    | NEW SINGLE WATER SERVICE    |                          |
| -EX-8"-PVC-S- | INDICATES EX. SEWER LINE          | EWV       | INDICATES EXISTING WATER VALVE    | NEW WATER VALVE             |                          |
| -GAS--        | INDICATES EX. GAS LINE            |           |                                   | NEW FIRE HYDRANT            |                          |
| [E]           | INDICATES EXISTING ELECTRICAL BOX | NEW-PVC-S | INDICATES NEW SANITARY SEWER LINE | NEW TEMPORARY BLOWOFF VALVE |                          |
| ⊙Gp           | INDICATES EXISTING GAS PADDLE     |           | NEW SEWER STUB                    |                             |                          |
| ⊙MH           | INDICATES EXISTING MANHOLE        |           | NEW SEWER MANHOLE                 |                             |                          |
|               |                                   |           | NEW 4" PVC SEWER SERVICE          |                             |                          |

CALL TWO WORKING DAYS BEFORE YOU DIG  
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Water & Sewer Plan and Profile  
BIENESTAR ESTATES 10

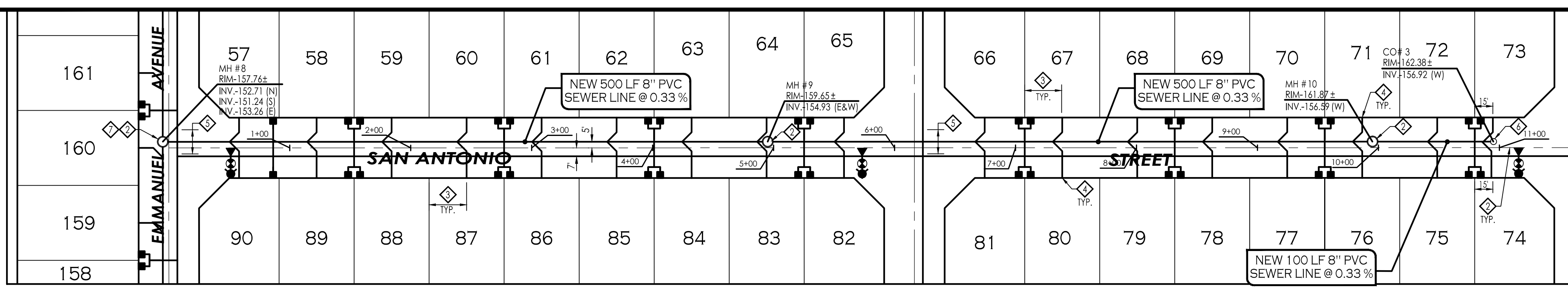


Scale: N.T.S. & YUMA COUNTY  
Comments: 11-18-2016  
C.O.S.L. Comments: 12-01-2016

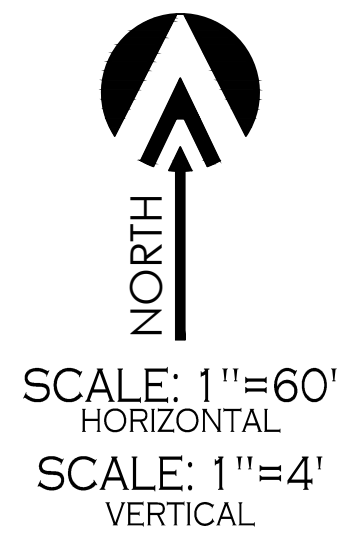
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Drawn: Staff Job #: vrv18-400  
Checked: Vna

Sheet 7  
of 12

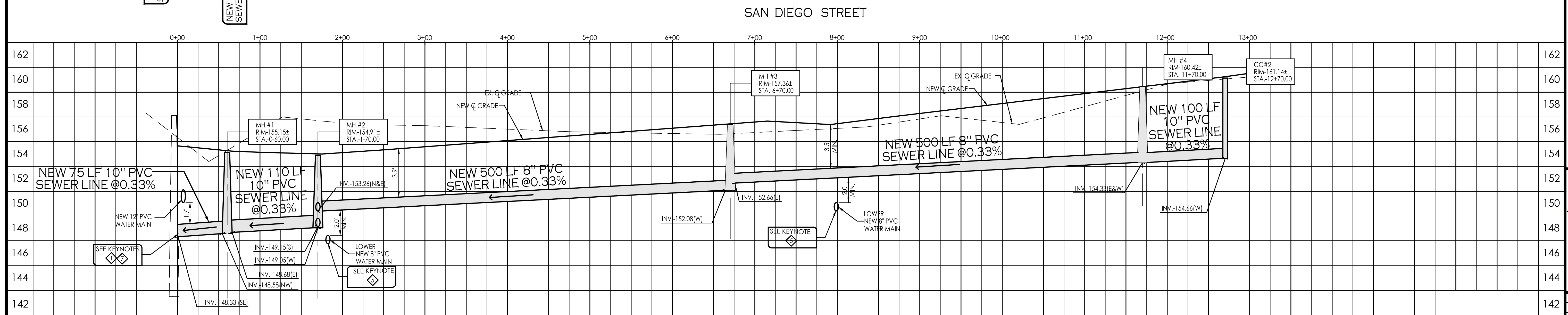
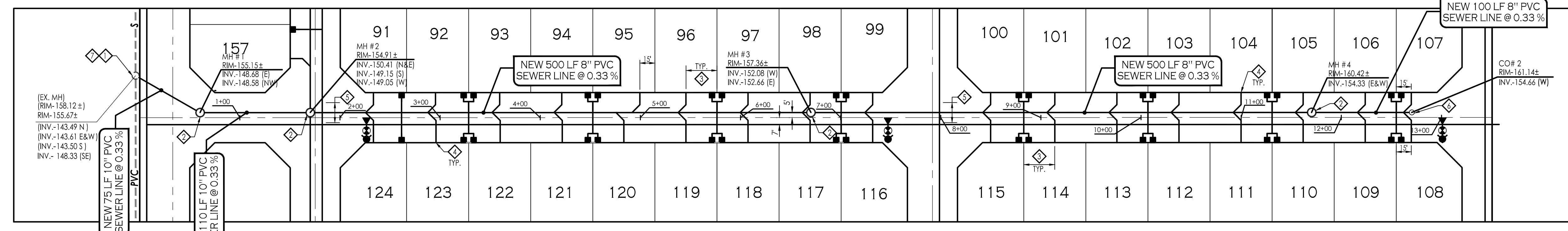
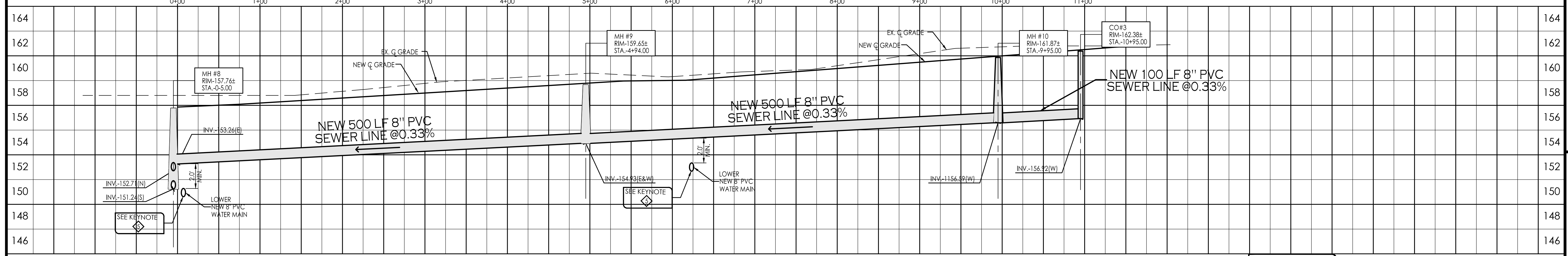
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ENGINEERING & PLLC  
1846 S. 8th AVENUE 928-329-0000 TEL  
YUMA, AZ 85364 928-247-6232 FAX  
VnV@veganvega.com



- KEYNOTES:**
- ◇ CONNECT NEW SANITARY SEWER SYSTEM TO EXISTING SANITARY SEWER MANHOLE. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING SEWER MANHOLE. IF CONDITIONS ARE DIFFERENT THAN WHAT IS SHOWN ON PLANS CONTRACTOR TO NOTIFY ENGINEER BEFORE MAKING ANY DETERMINATION.
  - ◇ NEW SANITARY SEWER MANHOLE - SEE DETAILS (N 11), (Q 11)
  - ◇ CONSTRUCT ALL SEWER SERVICES TO CENTER OF THE LOT, UNLESS NOTED OTHERWISE.
  - ◇ NEW 4" PVC SEWER SERVICE - SEE DETAIL (M 11)
  - ◇ LOWER NEW WATER MAIN - SEE DETAIL (P 12)
  - ◇ NEW SANITARY SEWER CLEANOUT - SEE DETAIL (T 10)
  - ◇ TYPE "A" DROP SEWER CONNECTION - SEE DETAIL (P 11)

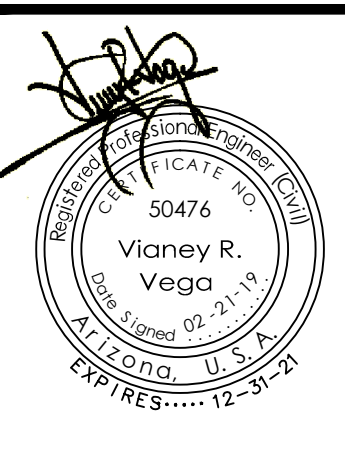


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 VEGA & VEGA  
 ENGINEERS & PLANNERS  
 V@vegaandvega.com



- LEGEND**
- |                    |                                   |           |                                   |                          |                          |
|--------------------|-----------------------------------|-----------|-----------------------------------|--------------------------|--------------------------|
| 163                | INDICATES EX. CONTOURS ELEVATION  | CH        | INDICATES EXISTING FIRE HYDRANT   | NEW-PVC-W                | INDICATES NEW WATER LINE |
| --EX--6"--PVC--W-- | INDICATES EX. WATER LINE          | WM        | INDICATES EXISTING WATER METER    | NEW SINGLE WATER SERVICE |                          |
| --EX--8"--PVC--S-- | INDICATES EX. SEWER LINE          | WV        | INDICATES EXISTING WATER VALVE    | NEW WATER VALVE          |                          |
| ---GAS---          | INDICATES EX. GAS LINE            |           |                                   | NEW FIRE HYDRANT         |                          |
| [E]                | INDICATES EXISTING ELECTRICAL BOX | NEW-PVC-S | INDICATES NEW SANITARY SEWER LINE | NEW SEWER STUB           |                          |
| OGP                | INDICATES EXISTING GAS PADDLE     |           | NEW SEWER MANHOLE                 | NEW SEWER MANHOLE        |                          |
| OH                 | INDICATES EXISTING MANHOLE        |           | NEW 4" PVC SEWER SERVICE          | NEW 4" PVC SEWER SERVICE |                          |

Water & Sewer Plan and Profile  
**BIENESTAR ESTATES 10**

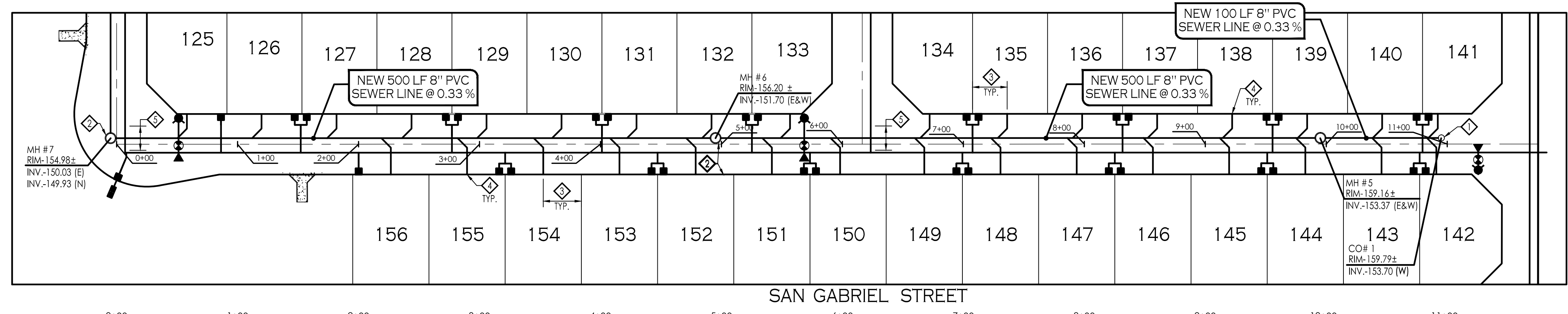


Notes:  
 C.O.S.L. & YUMA COUNTY  
 Comments: 11-18-2016  
 C.O.S.L. Comments: 12-01-2016

Scale: N.T.S. Date: FEB. 2019  
 Drawn: Staff Job #: W118-400  
 Checked: Vna

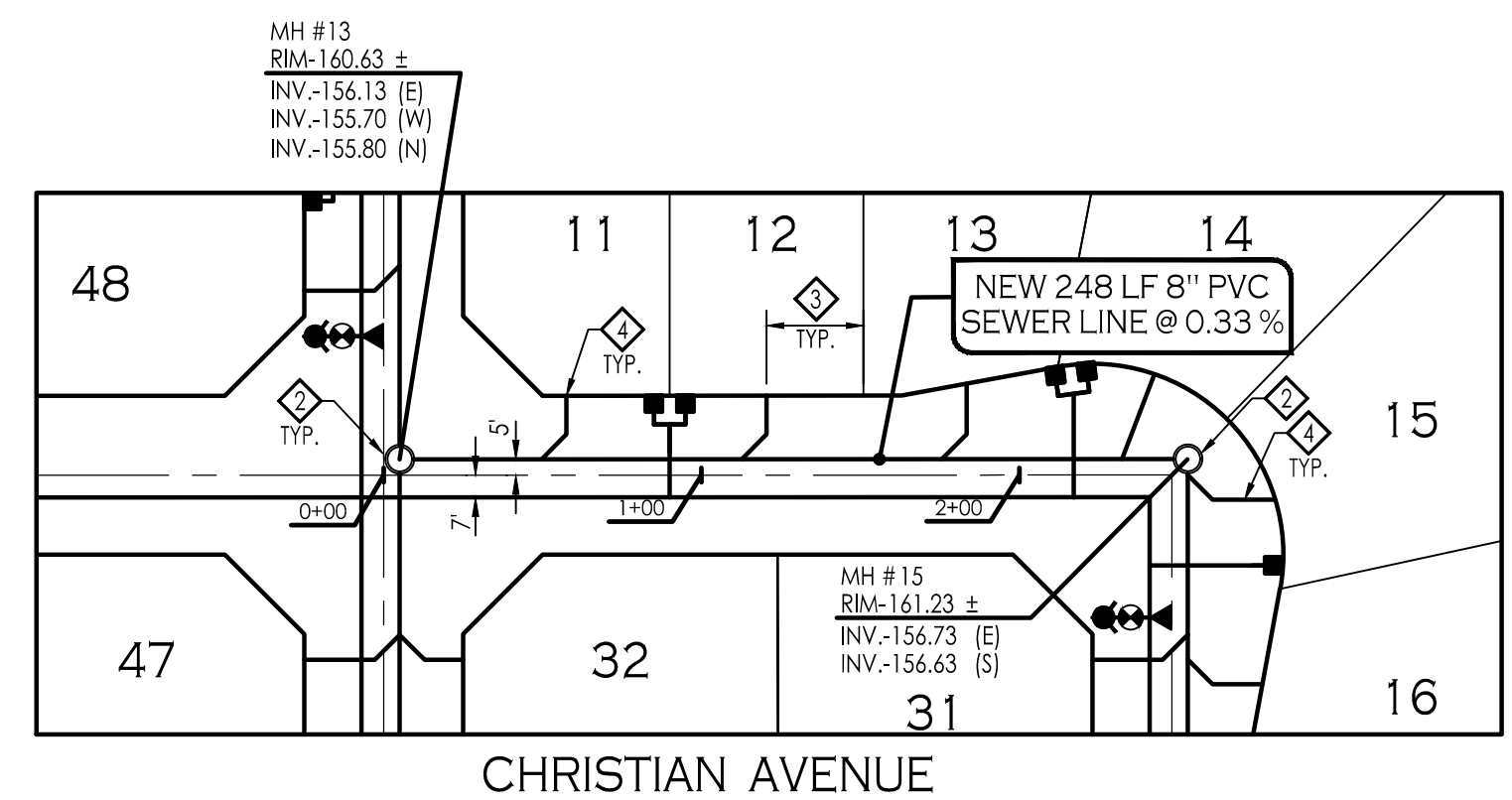
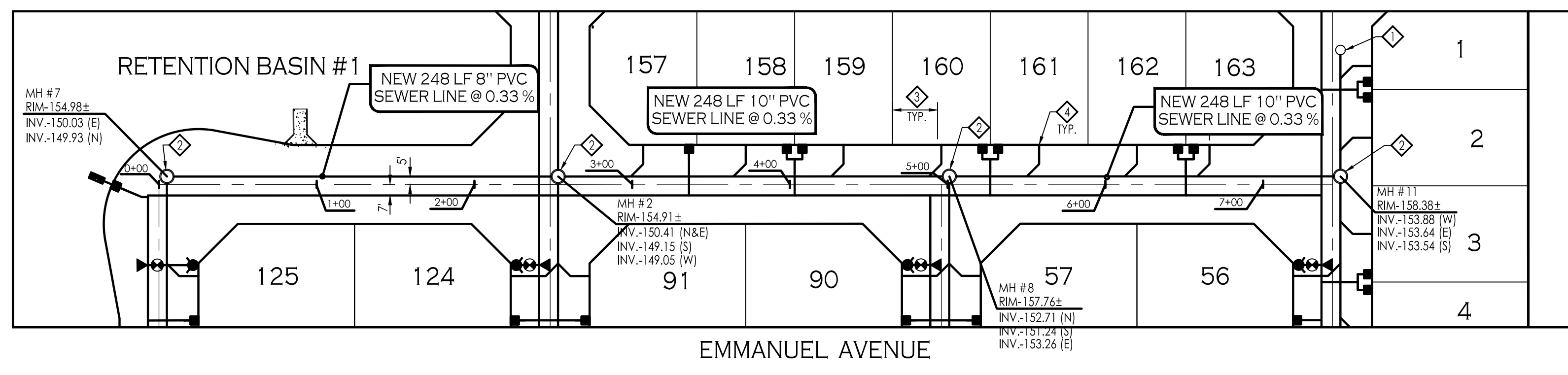
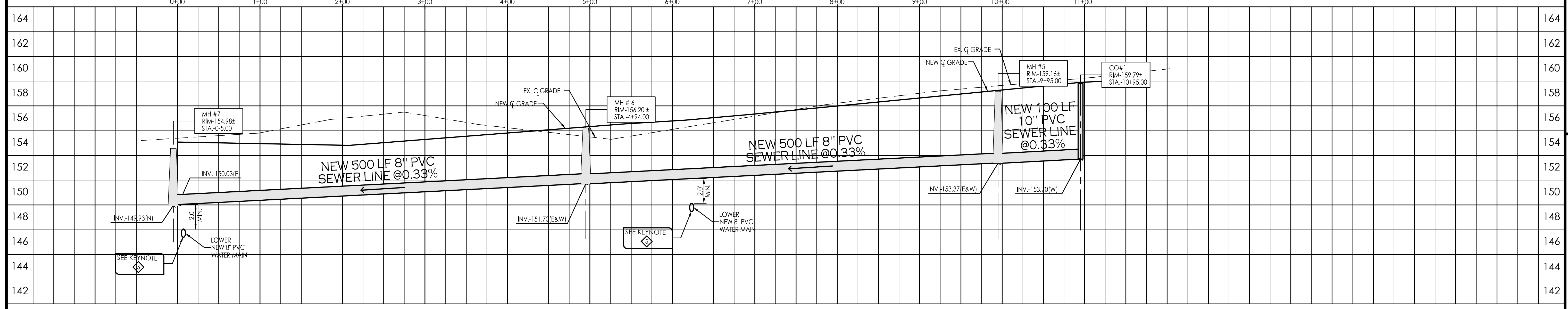


Sheet **8**  
 of **12**

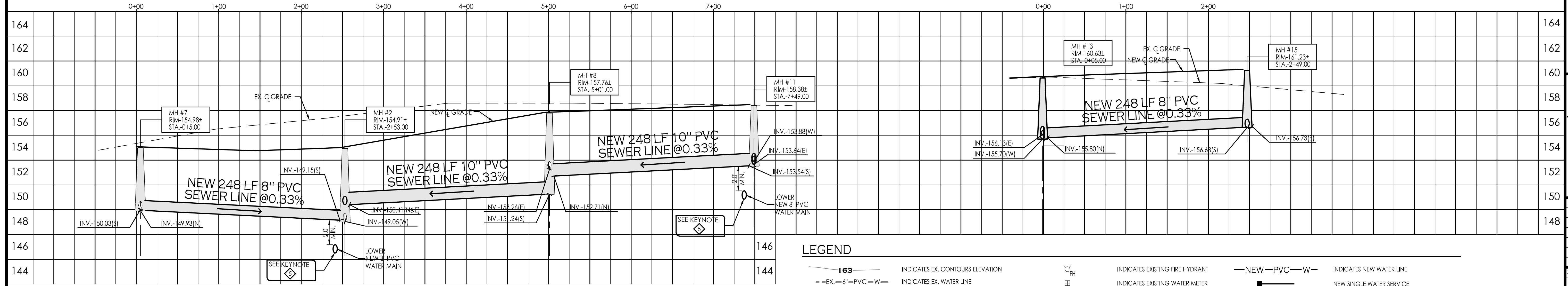


- KEYNOTES:**
- ◇ NEW SANITARY SEWER CLEANOUT - SEE DETAIL (L 10)
  - ◇ NEW SANITARY SEWER MANHOLE - SEE DETAILS (H 11) (H 12)
  - ◇ CONSTRUCT ALL SEWER SERVICES TO CENTER OF THE LOT, UNLESS NOTED OTHERWISE.
  - ◇ NEW 4" PVC SEWER SERVICE - SEE DETAIL (M 11)
  - ◇ LOWER NEW WATER MAIN - SEE DETAIL (W 12)

**NORTH**  
 SCALE: 1"=60'  
 HORIZONTAL  
 SCALE: 1"=4'  
 VERTICAL



**NORTH**  
 SCALE: 1"=60'  
 HORIZONTAL  
 SCALE: 1"=4'  
 VERTICAL

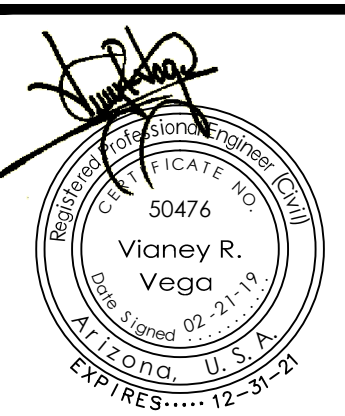


- LEGEND**
- |               |                                   |     |                                 |           |                             |
|---------------|-----------------------------------|-----|---------------------------------|-----------|-----------------------------|
| 163           | INDICATES EX. CONTOURS ELEVATION  | FH  | INDICATES EXISTING FIRE HYDRANT | NEW-PVC-W | INDICATES NEW WATER LINE    |
| -EX-6"-PVC-W- | INDICATES EX. WATER LINE          | EW  | INDICATES EXISTING WATER METER  | NEW-W-V   | NEW WATER VALVE             |
| -EX-8"-PVC-S- | INDICATES EX. SEWER LINE          | EWV | INDICATES EXISTING WATER VALVE  | FH        | NEW FIRE HYDRANT            |
| -GAS-         | INDICATES EX. GAS LINE            | GP  | INDICATES EXISTING GAS PADDLE   | NEW-S-S   | NEW TEMPORARY BLOWOFF VALVE |
| EH            | INDICATES EXISTING ELECTRICAL BOX | MH  | INDICATES EXISTING MANHOLE      | NEW-S-S   | INDICATES LOT NUMBERS       |
| GP            | INDICATES EXISTING GAS PADDLE     |     |                                 |           |                             |
| MH            | INDICATES EXISTING MANHOLE        |     |                                 |           |                             |

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Water & Sewer Plan and Profile  
**BIENESTAR ESTATES 10**



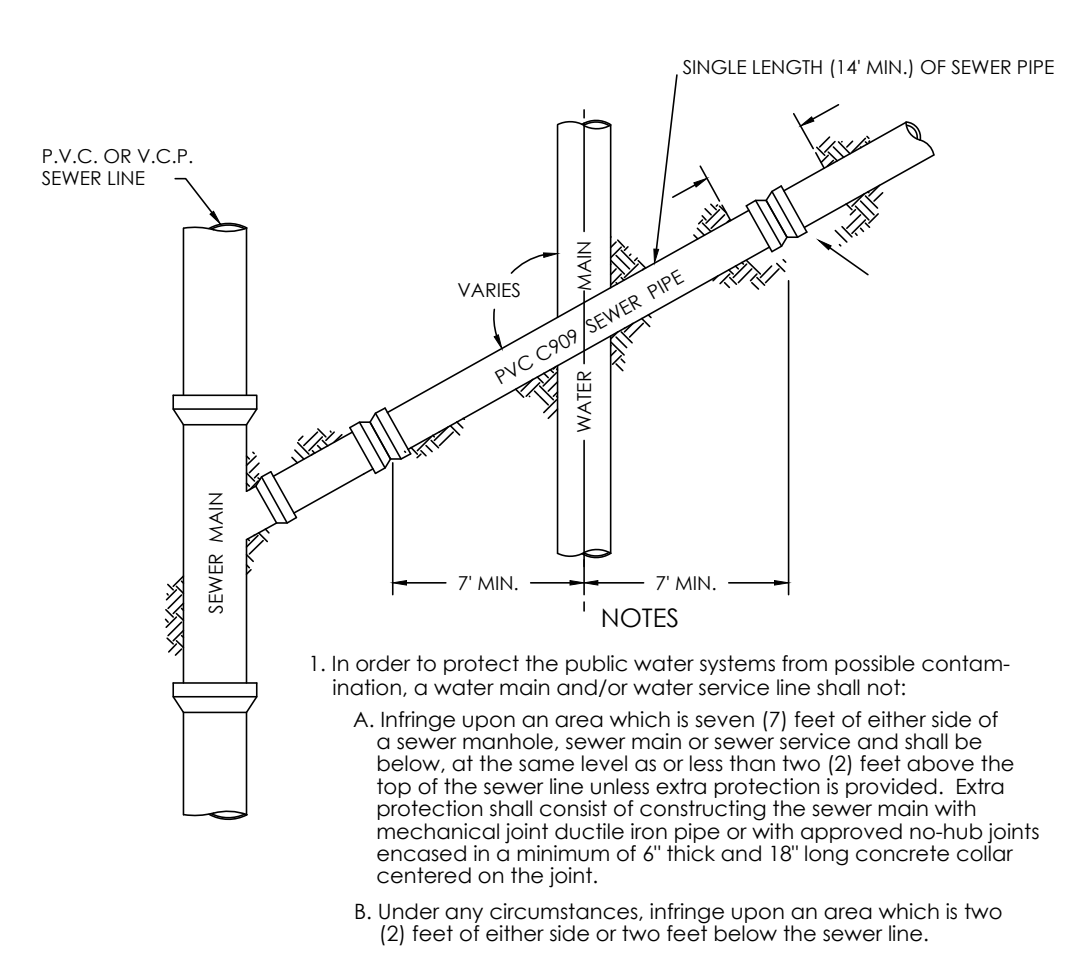
Scale: N.T.S. Date: FEB. 2019  
 Drawn: Staff Job #: W118-400  
 Checked: Vna

CALL TWO WORKING DAYS BEFORE YOU DIG  
 1-800-STAKE-IT

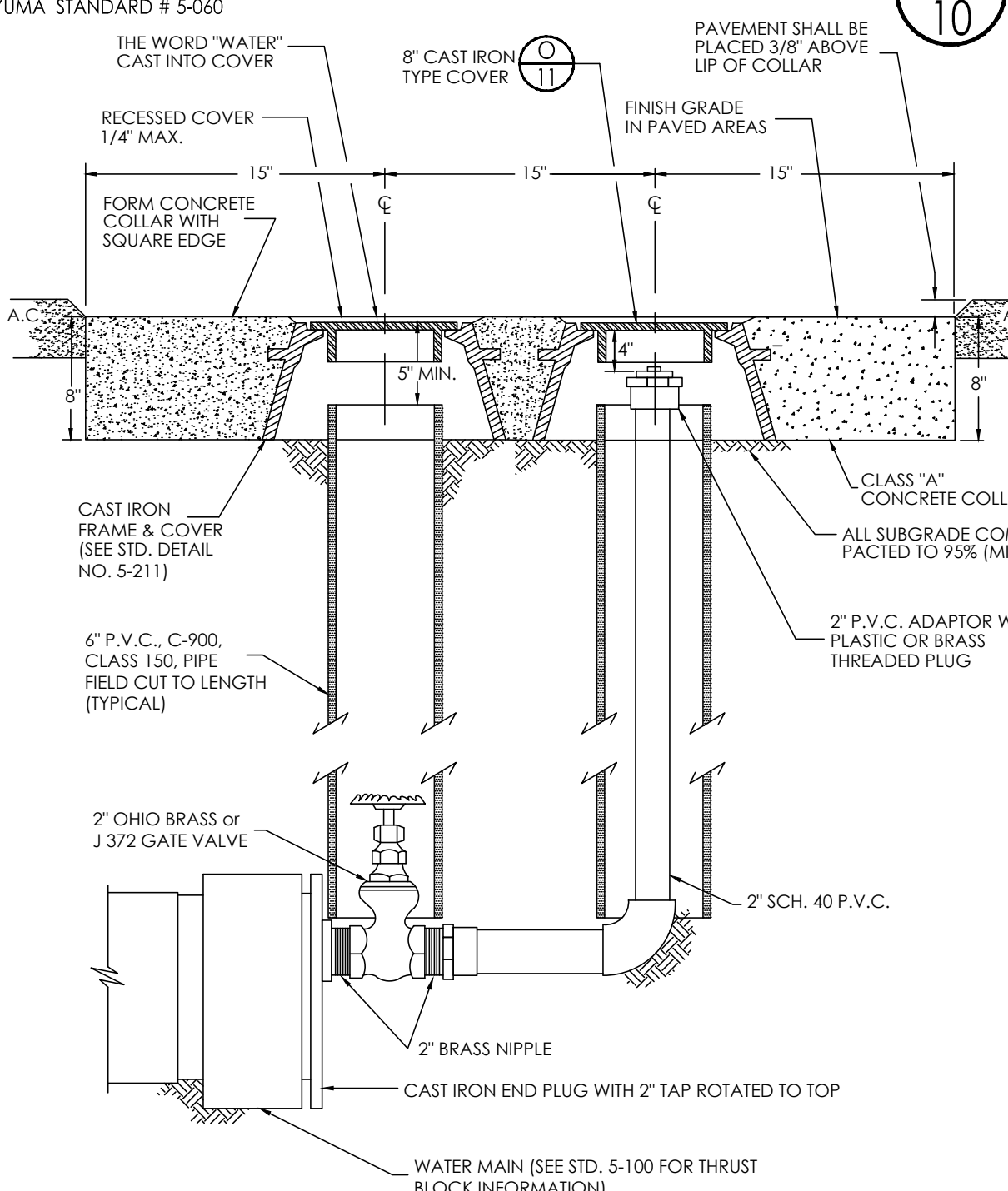
**APPROVED WATER SERVICE COMPONENTS**

CORPORATION STOPS	PVC / plastic services: AYM 3404 AYM 4704-33
ANGLE STOPS	AYM 4202 AYM 4602-33-1" ONLY
CURB STOP	AYM 182 3/4" and 1"
SERVICE SADDLES	AYM 979 (replacement only- A.C. or cast iron pipe) AYM 969 (for AWWA C-900 PVC pipe only) W/ 5/16" MAIN VALVES AS REQUIRED BY NIFA, AYM 3825 AND 3826
FIRE HYDRANTS	AMERICAN AVK, CLOW MEDALLION WATEROUS PACER WB-67 EAST JORDAN IRONWORKS- WATER MASTER
METER	BADGER METER, Inc brand. Must be outfitted with automatic meter reading (AMR) capability; an integral data profile transmitter, and register that records in cubic feet. Dual register compound meters must include a separate transmitter for each register. Meters 3" to 8" must also include test port on body, and strainer or integral strainer.
METER COUPLINGS	AYM 3/4" / 1": 4622 / 1 1/2" / 2": 610F
METER BUSHINGS	AYM 1" x 1 1/4" 10534
REPAIR CLAMPS	SMITH-BLAIR (minimum length: 15") with stainless steel bolts 304
TAPPING SLEEVES	SMITH-BLAIR MODEL 662-663 stainless steel (6" and smaller; 15" long min.; larger or equal to 8": 20" long min.) CASCADE CST-SL
VALVES (2")	Mueller
VALVES (4" through 30")	AMERICAN DARLING, AMERICAN FLOW CONTROL, CLOW WATEROUS, AMERICAN AVK EAST JORDAN IRONWORKS FLOW MASTER VALVES (only resilient wedge gate valves shall be used)
TRANSITION COUPLINGS	SMITH-BLAIR (20" long for water mains 12" and larger / 15" long for water mains 10" and smaller). Any device used to connect A.C. pipe to ductile iron or P.V.C. pipe shall require prior approval by the City Engineer. Hymax longbody couplings.
AIR RELEASE VALVES	A.R.I. MODEL D-020 (for use in waste water applications where air release and vacuum breaks need to occur in sanitary forced mains). A.R.I. MODEL D-040 and D-060-C HRNS for potable water.

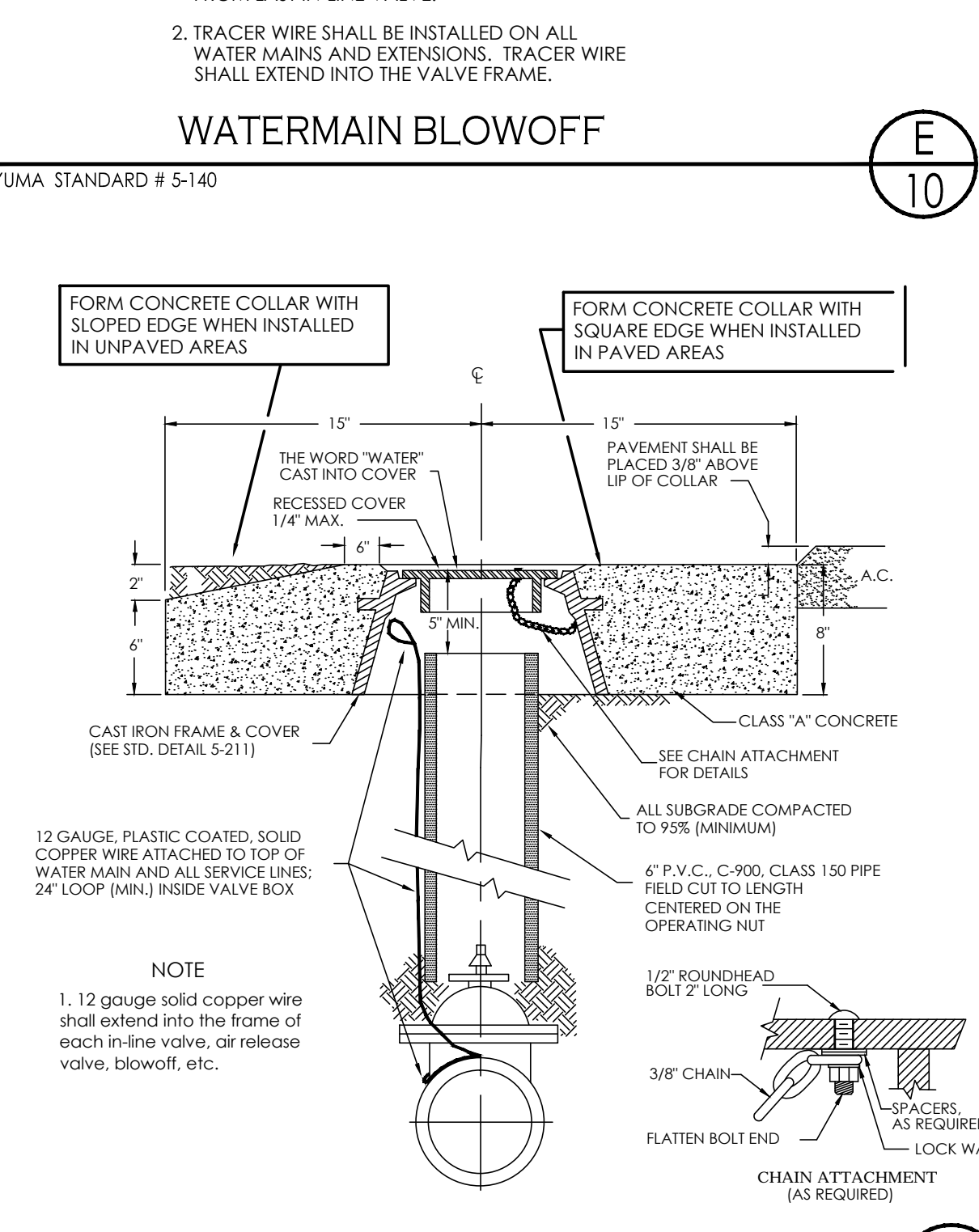
- NOTES**
- The approved equipment shown is not necessarily exclusive. If approval of a similar device believed to be comparable and equal is desired, a request supported by appropriate information on data may be submitted to the City Engineer for review.
  - All buried components will require Type 304 stainless steel (min.) components (nuts, bolts, washers, etc.) Unless otherwise noted.
  - All new water service requests 2" and smaller off of an existing water main will be installed by City of San Luis utilities personnel.



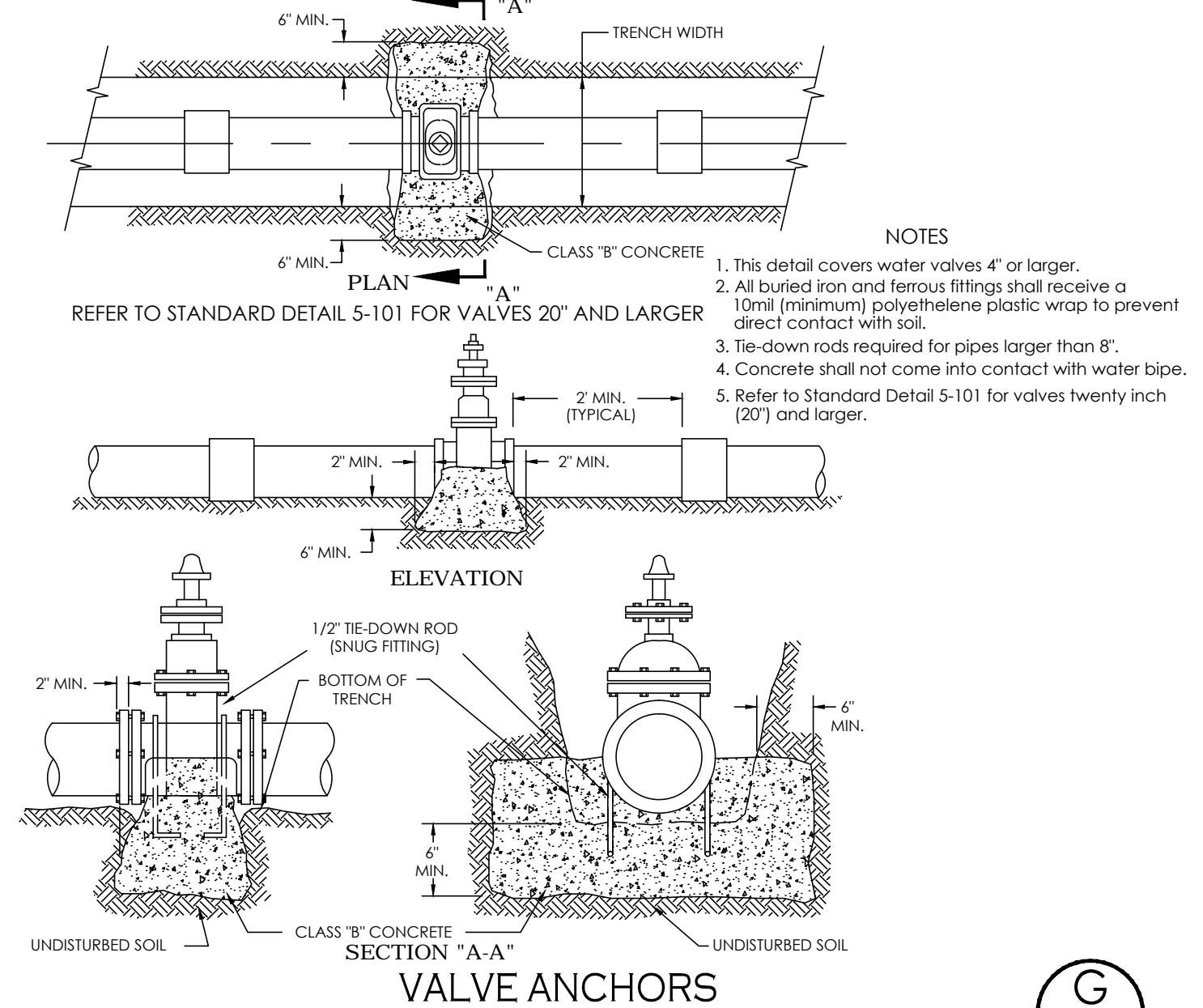
**TYPICAL WATER & SEWER MAIN CROSSING**  
CITY OF YUMA STANDARD # 5-060



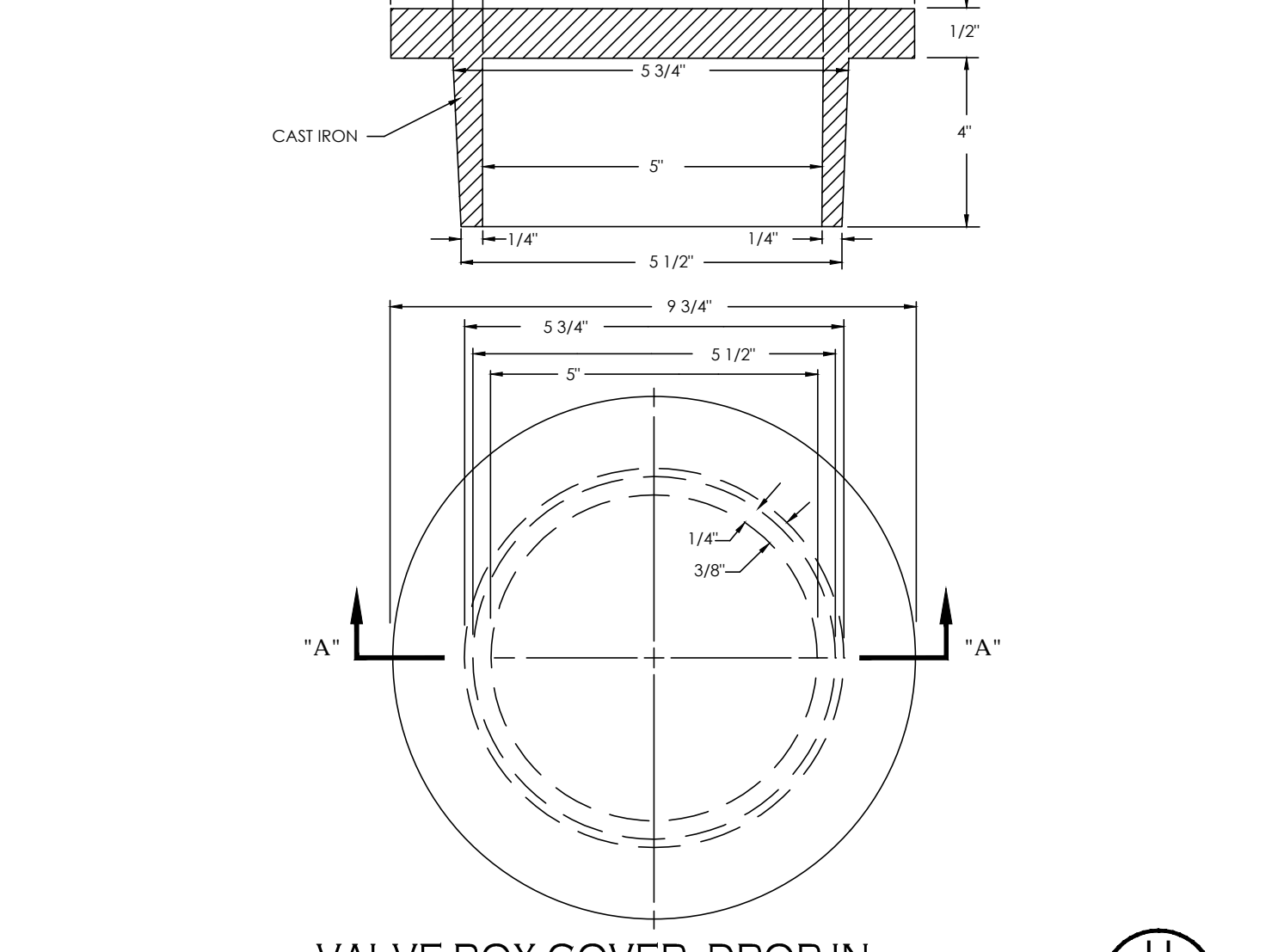
**WATERMAIN BLOWOFF**  
CITY OF YUMA STANDARD # 5-140



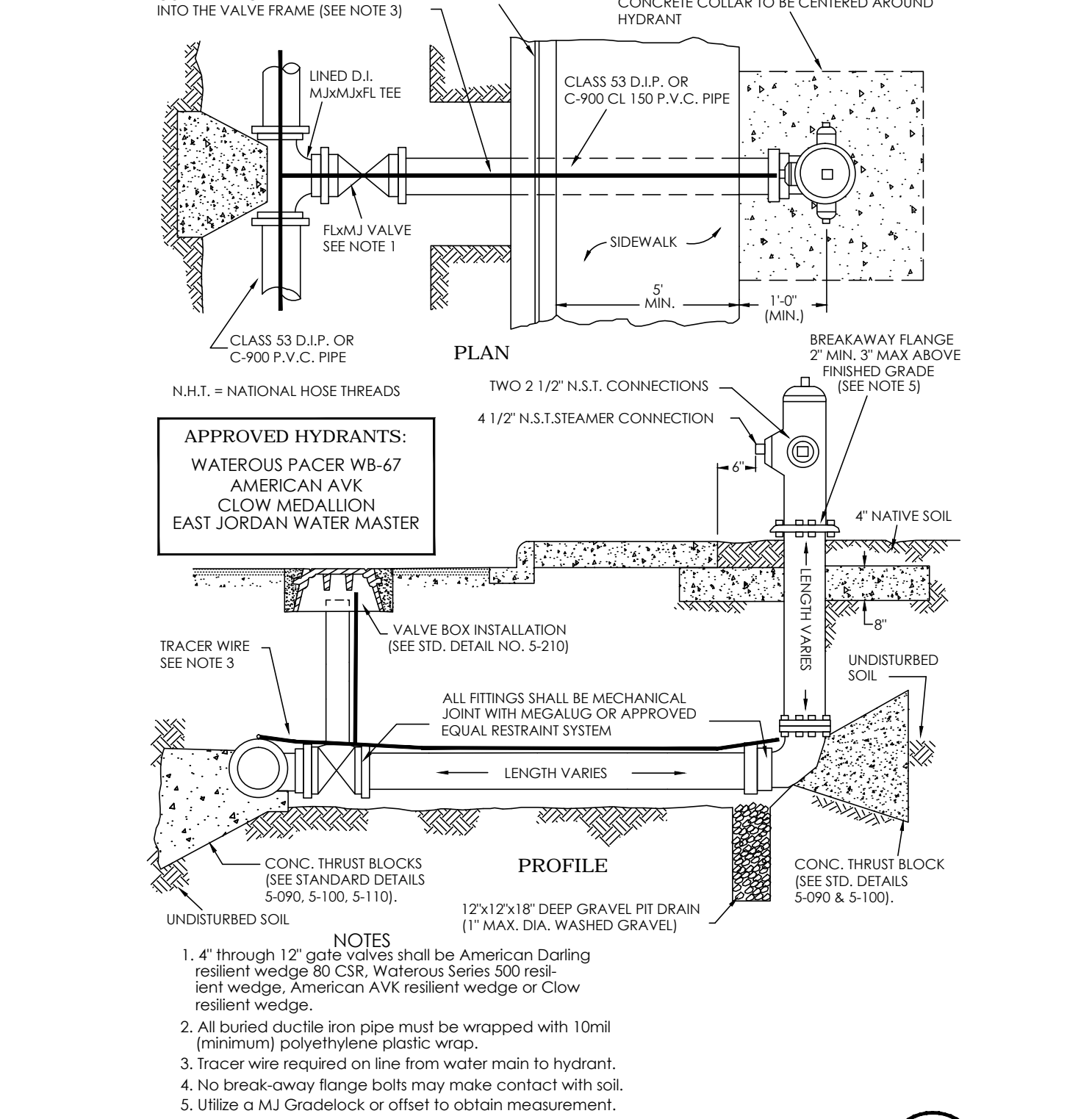
**VALVE BOX INSTALLATION**  
CITY OF YUMA STANDARD # 5-210



**VALVE ANCHORS**  
CITY OF YUMA STD # 5-110



**VALVE BOX COVER, DROP IN**  
CITY OF YUMA STD # 5-200



**FIRE HYDRANT ON WATER MAINS**  
CITY OF YUMA STANDARD # 5-120

**THRUST AT FITTINGS IN POUNDS**  
AT 150 POUNDS PER SQUARE INCH OF WATER PRESSURE

ALL PIPE & FITTINGS SHALL BE CLASS 150 (MINIMUM)

Size	90° Bend	45° Bend	Per Degree of Deflection
2"	1,740	2,460	1,335
4"	2,715	3,840	2,085
6"	5,625	7,950	4,320
8"	9,780	13,800	7,500
10"	16,050	22,650	12,300
12"	22,800	32,250	17,550
14"	31,050	42,300	23,850
16"	40,200	57,000	30,750

Soil Safe Bearing Load Pounds Per Square Inch

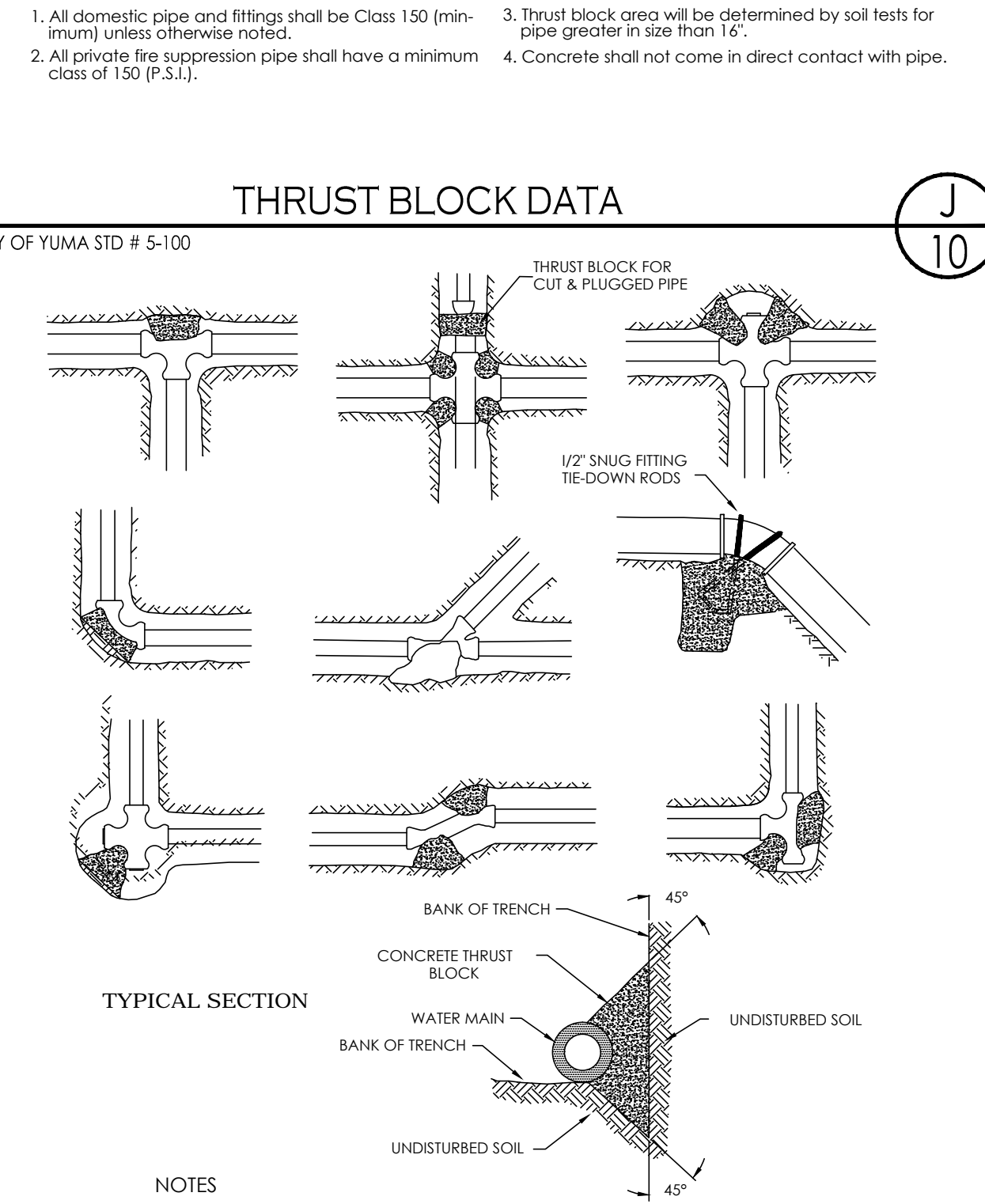
MUCK, PEAT, ETC.	0
SOFT CLAY	1000
SAND	2000
SAND & GRAVEL	3000
SAND & GRAVEL CEMENTED WITH CLAY	4000

**TO CALCULATE THE NEEDED AREA OF A THRUST BLOCK**  
Divide thrust by safe bearing load. Note: Thrust block area for 6" and larger pipe shall not be less than three (3) square feet in size.

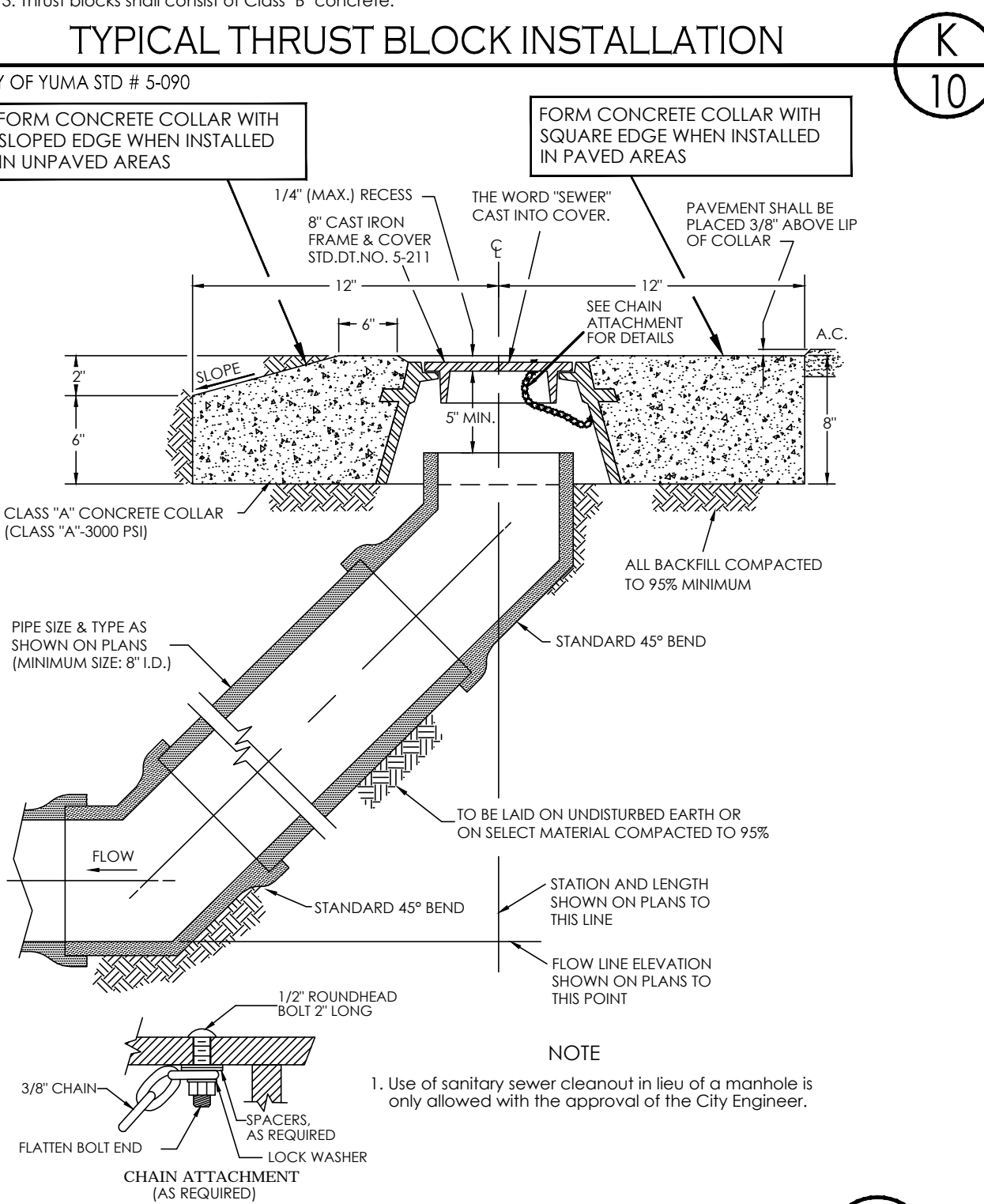
**NOTES**

- All domestic pipe and fittings shall be Class 150 (minimum) unless otherwise noted.
- All private fire suppression pipe shall have a minimum class of 150 (P.S.I.).
- Thrust block area will be determined by soil tests for pipe greater in size than 16".
- Concrete shall not come in direct contact with pipe.

**THRUST BLOCK DATA**  
CITY OF YUMA STD # 5-100

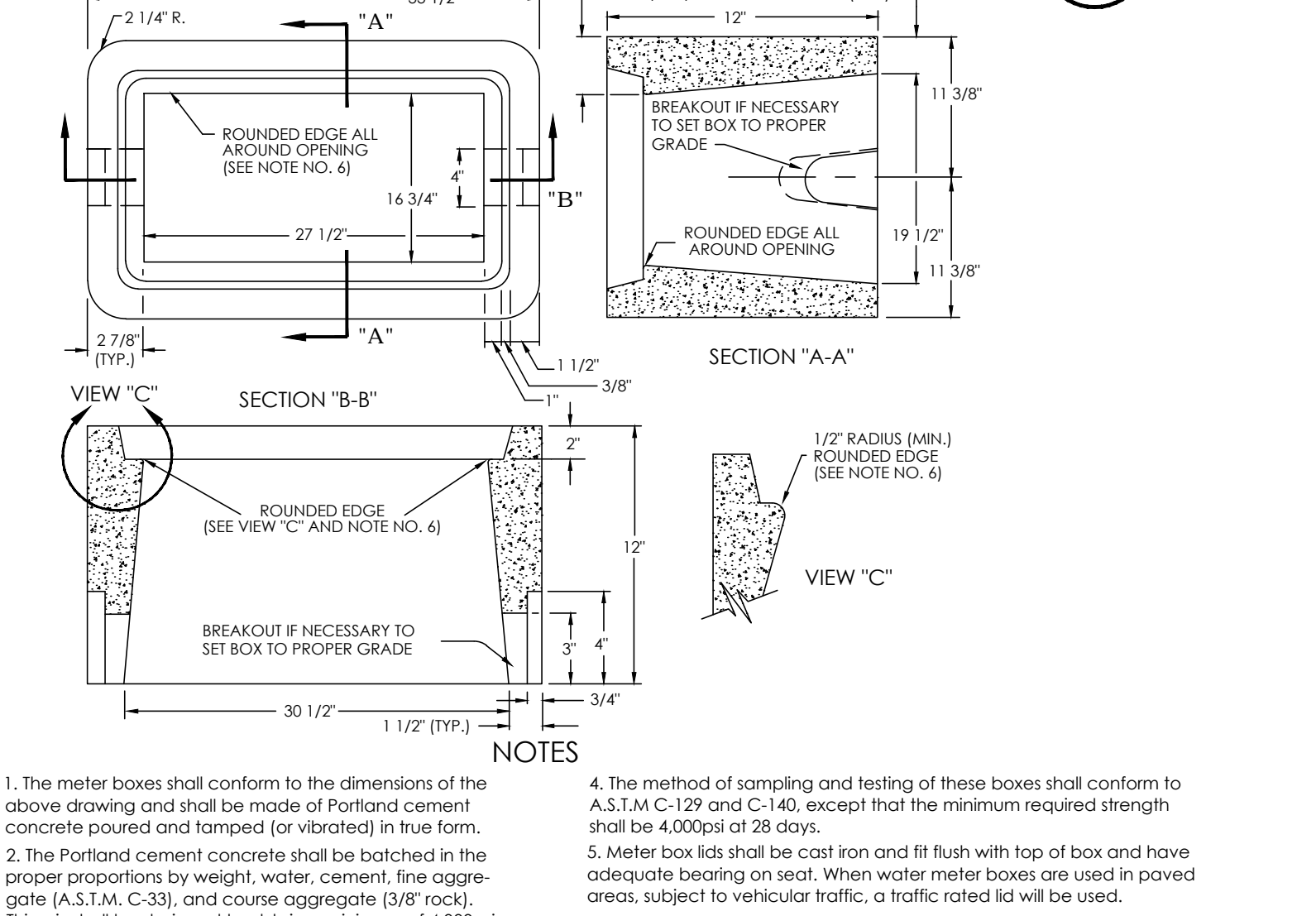


**TYPICAL THRUST BLOCK INSTALLATION**  
CITY OF YUMA STD # 5-090

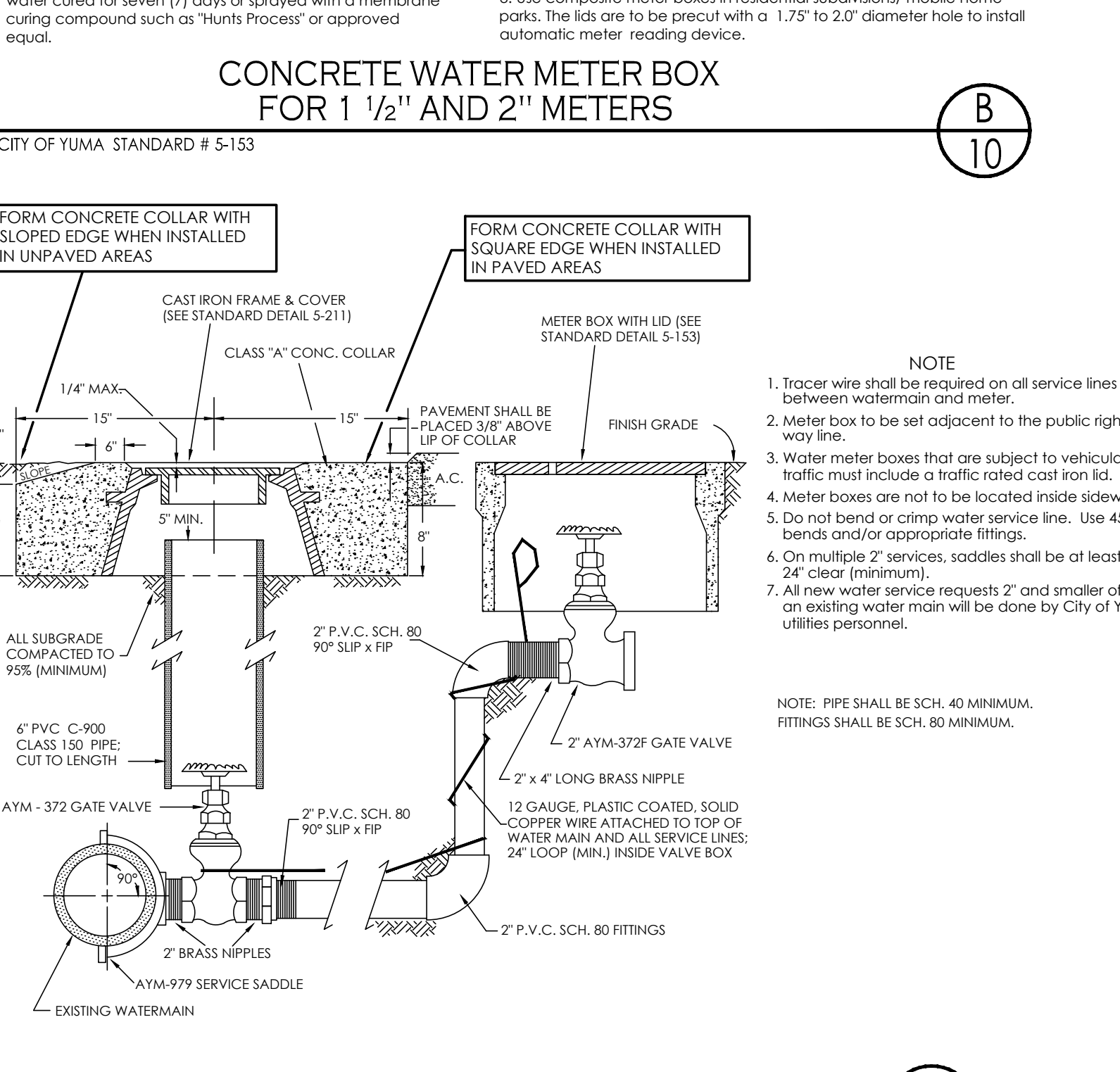


**SANITARY SEWER CLEANOUT**  
CITY OF YUMA STD # 5-010

**APPROVED WATER SERVICE COMPONENTS**  
CITY OF YUMA STD # 5-148



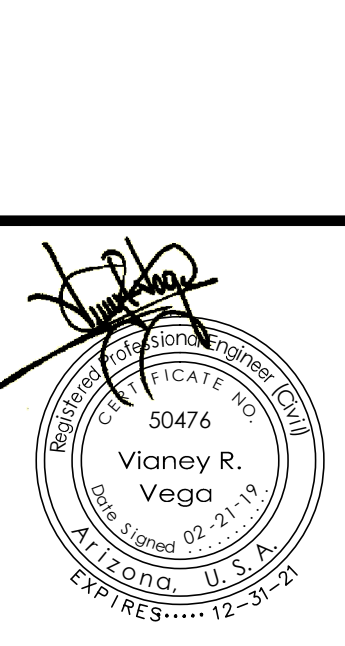
**CONCRETE WATER METER BOX FOR 1/2" AND 2" METERS**  
CITY OF YUMA STANDARD # 5-153



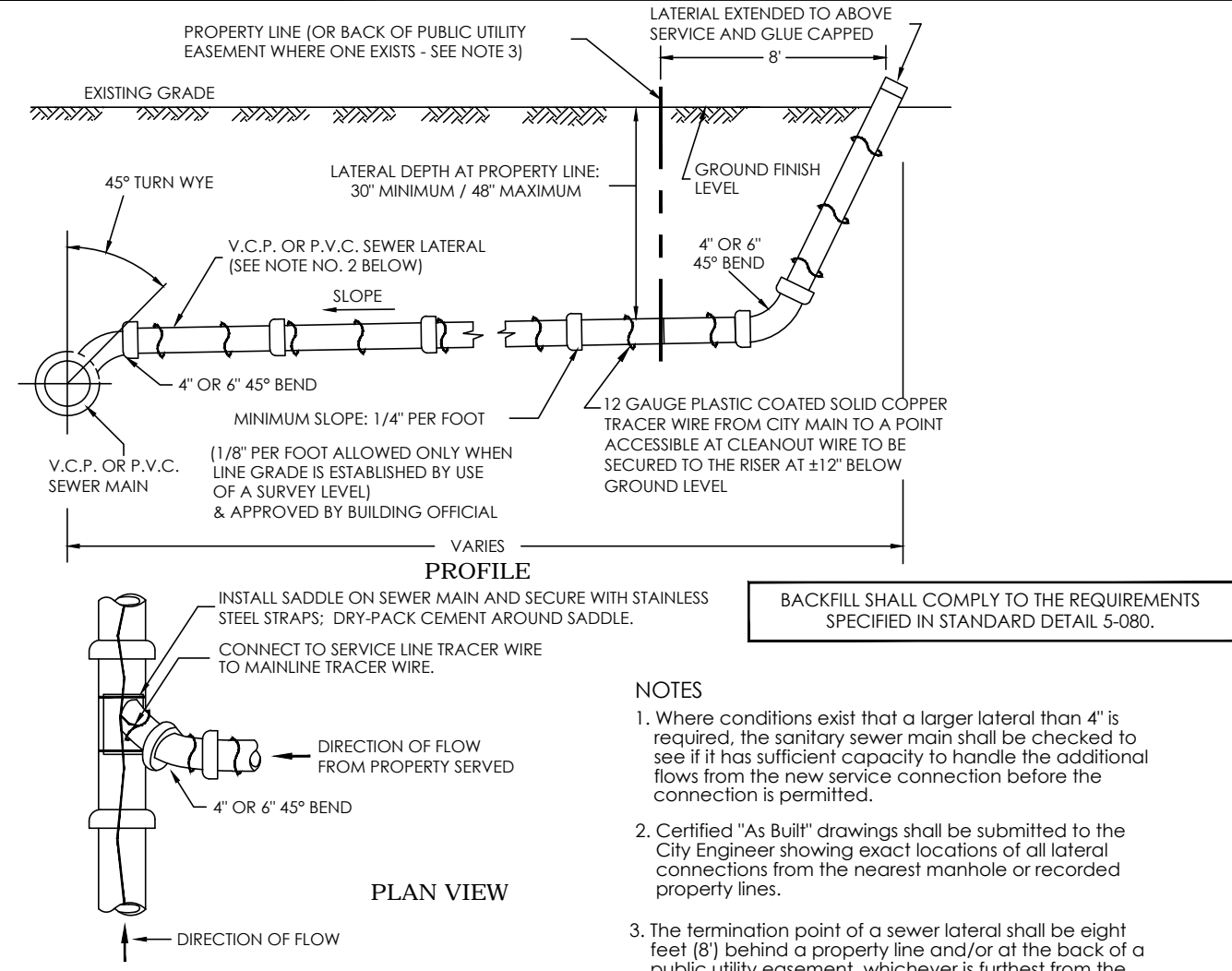
**2" WATER SERVICE**  
CITY OF YUMA STANDARD # 5-150

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**Water & Sewer Details**  
**BIENESTAR ESTATES 10**

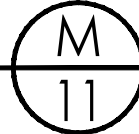


Scale: N.T.S. Date: FEB. 2019  
Drawn: Staff Job #: VV18-400  
Checked: Vno  
Sheet 10 of 12

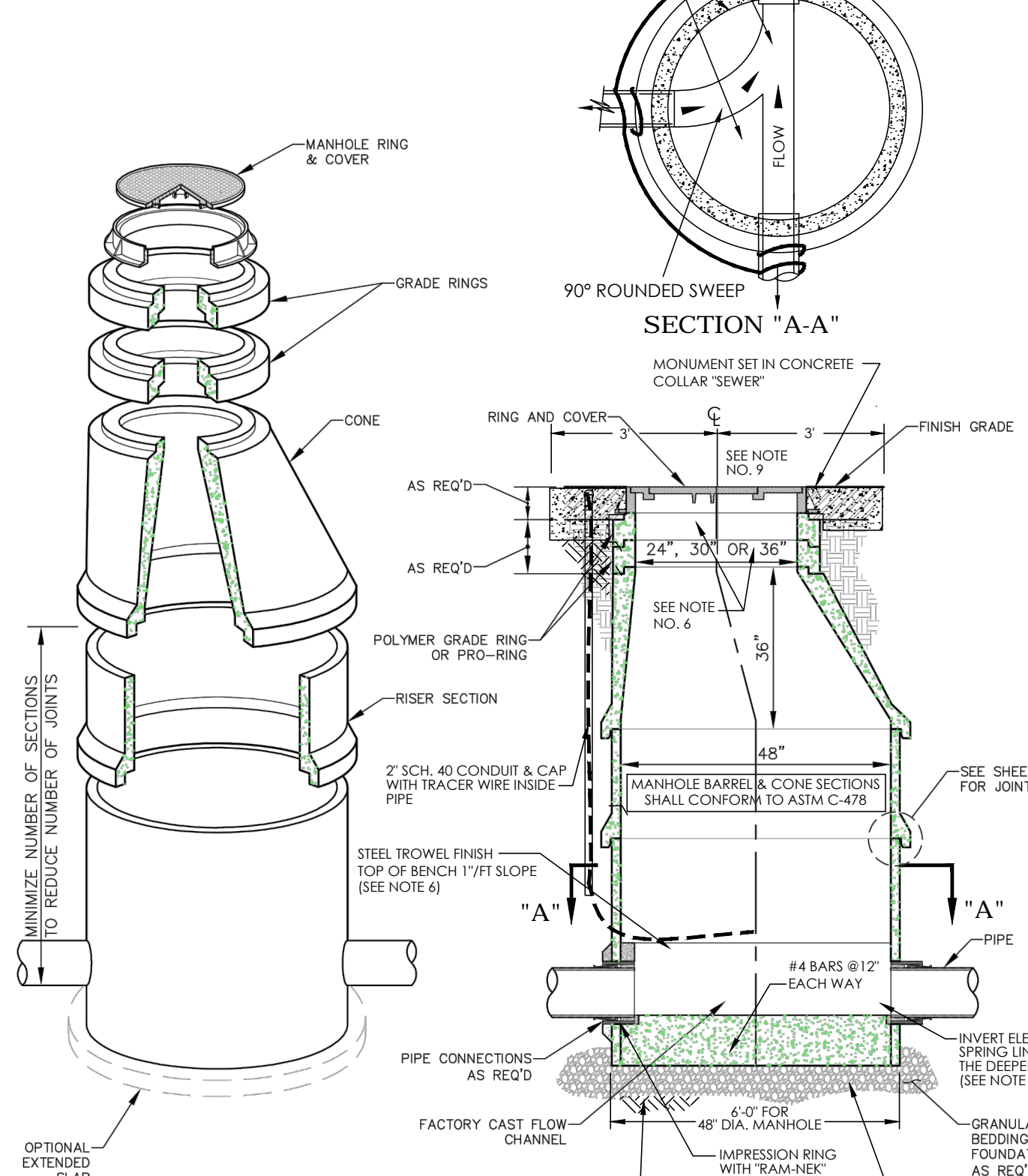


**SANITARY SEWER SERVICE**

CITY OF YUMA STANDARD # 5-020



HL-93 LOADING

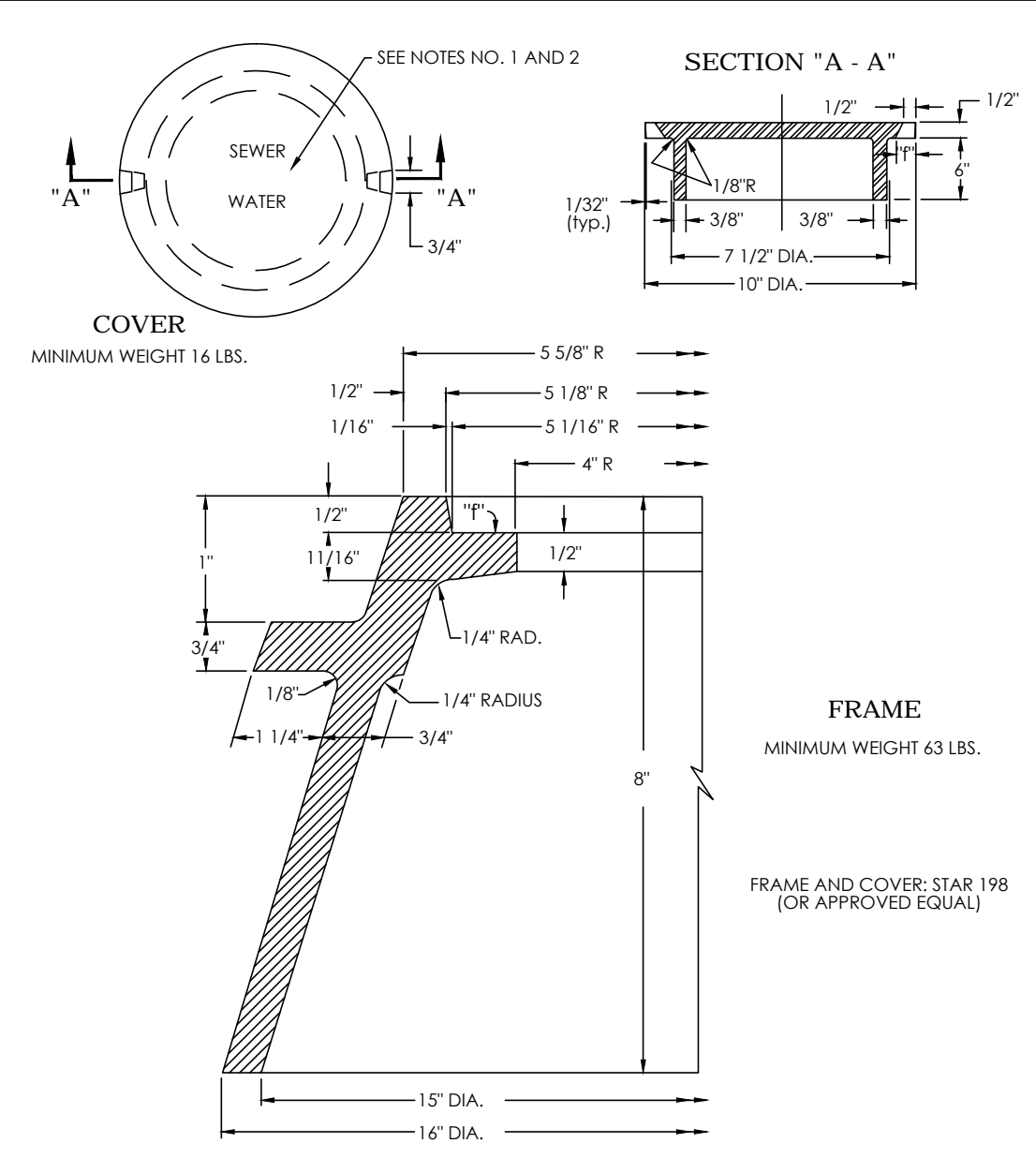
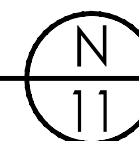


WALL THICKNESS	AVAILABLE BASE HEIGHTS	AVAILABLE RISER HEIGHTS	WALL WEIGHT/FT	APPROX. WEIGHT 3' BASE
2"	3', 4'	1', 2', 3', 4', 5', 6'	300 LBS/FT	3,655 LBS

- NOTES**
- Concentric manholes shall be constructed only upon the approval of the City Engineer.
  - Precast concrete cones and sections shall meet A.S.T.M. C-478 specifications (latest revision) except where shown. Concrete shall be type III with flyash additive. Inside diameter of manhole and elevations as shown on plans.
  - Asphalt caulking shall be used to seal all joints.
  - An oginal waterproofing seal shall be applied to the exterior surfaces of the manhole that will be exposed to ground water.
  - Net Used
  - Apply "Plaste" surface sealant (or approved equal) on adjustment rings, bench or on any other concrete surface.
  - Base constructed of Class "A" concrete.
  - Base reinforcing steel should be ASTM A615, grade 60.
  - See standard R-110 for adjusting manhole frame and cover to final grade.
  - Precast concrete manholes shall have a PVC T-Lock liner, sealed gas tight, as manufactured by Ameron (or approved equal). Liner and interior surfaces shall be spark tested; (apples only to sanitary sewer manholes see Arizona Administrative Code R18-9-301 D.3.e Manholes General Permit: Sewage Collection Systems pertaining to holiday testing).
  - Backfill used to fill manhole excavation shall be a one sack cement per cubic yard of sand slurry mixture, unless otherwise approved.
  - Grout seal around pipe. Match and apply same protective coating on grout as used on the other exposed concrete surfaces (see Note 6).
  - Special details shall be required for Manholes greater than 48" in depth of collection manholes; for multiple pipe penetrations with at least one pipe greater than 4" or sewer main is larger than 48" in diameter. Calculations shall be signed/sealed by a registered professional engineer (P.E. license) and submitted to the City Engineer for review & acceptance.
  - The PVC pipe needs to be installed inside the manhole. The top 1/2" portion of the pipe must be cut off a minimum length of 30" to allow CCTV camera access, and to accept flow from lateral piping.

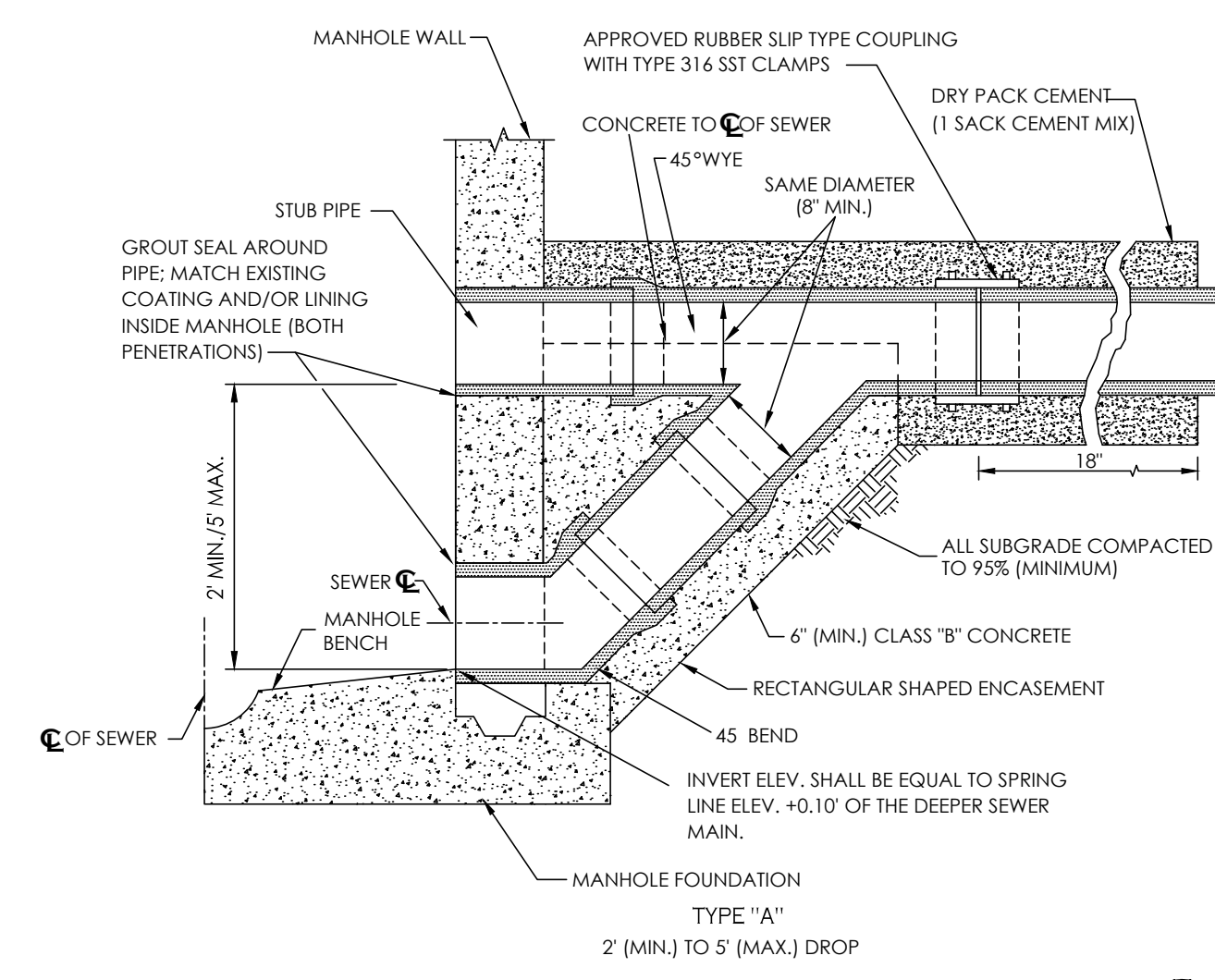
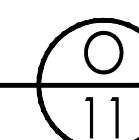
I.D.	O.D.	WALL THICKNESS	WEIGHT PER FOOT
48"	52"	2"	300 lb

**PRE-CAST CONCRETE MANHOLE**



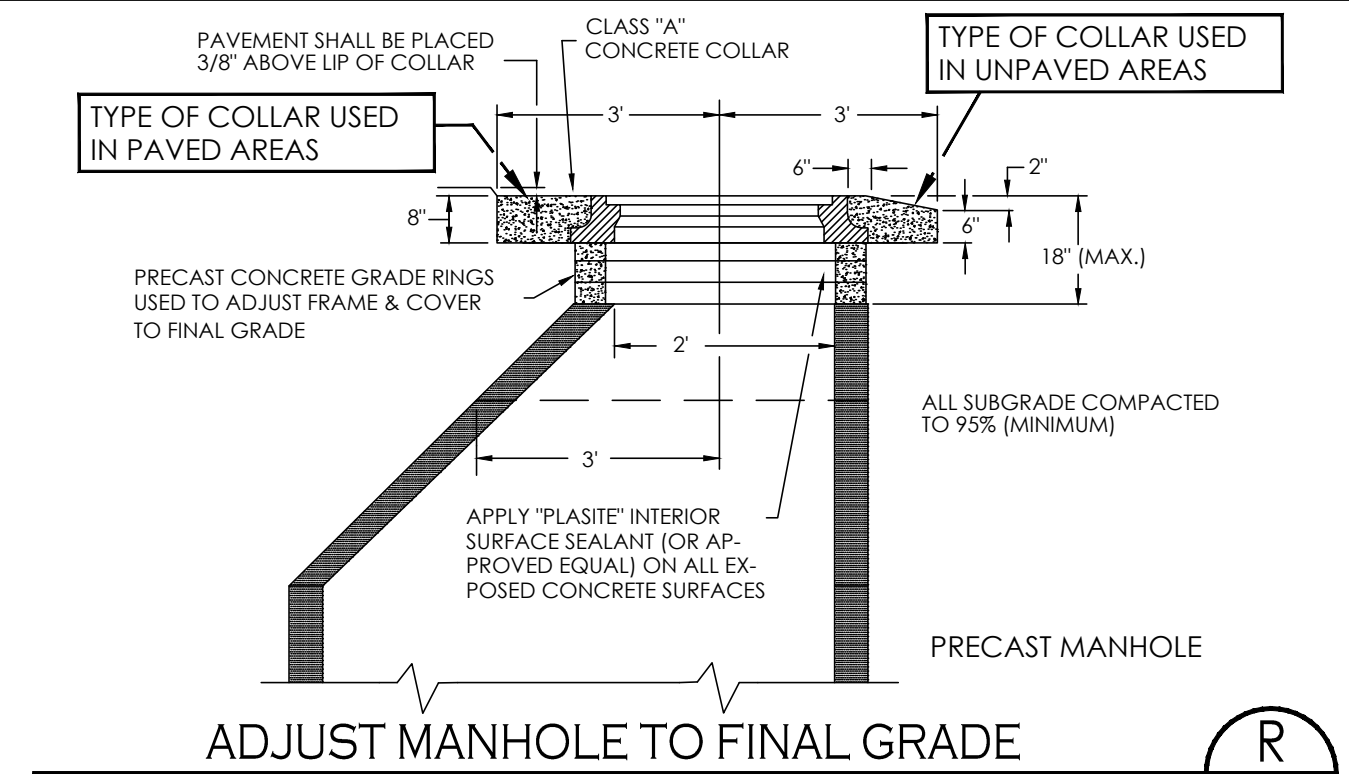
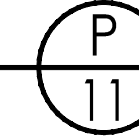
**8" CAST IRON FRAME AND COVER**

CITY OF YUMA STANDARD # 5-211



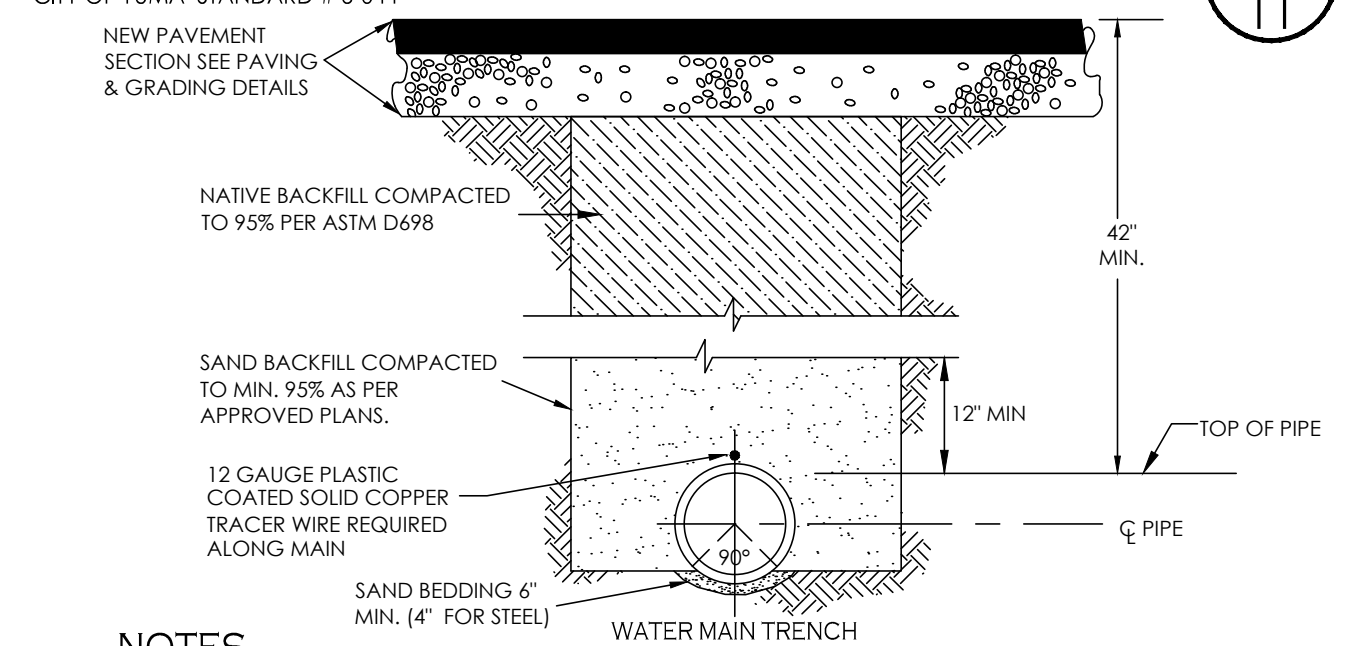
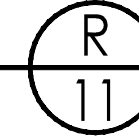
**TYPE "A" DROP SEWER CONNECTION**

CITY OF YUMA STANDARD # 5-041



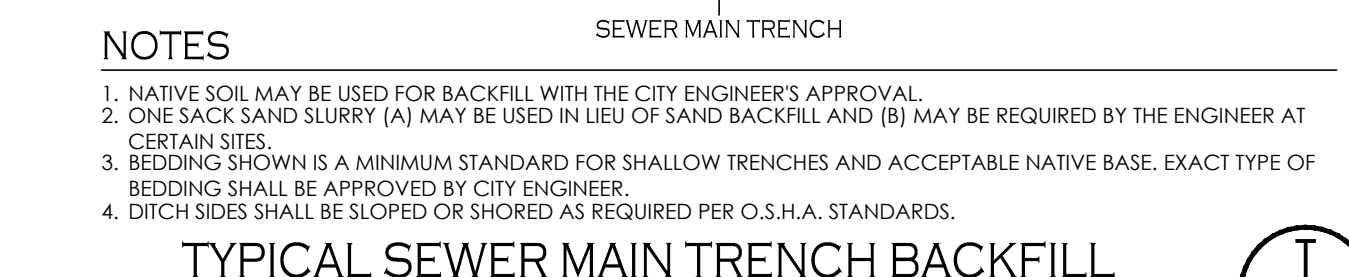
**ADJUST MANHOLE TO FINAL GRADE**

CITY OF YUMA STANDARD # 5-044



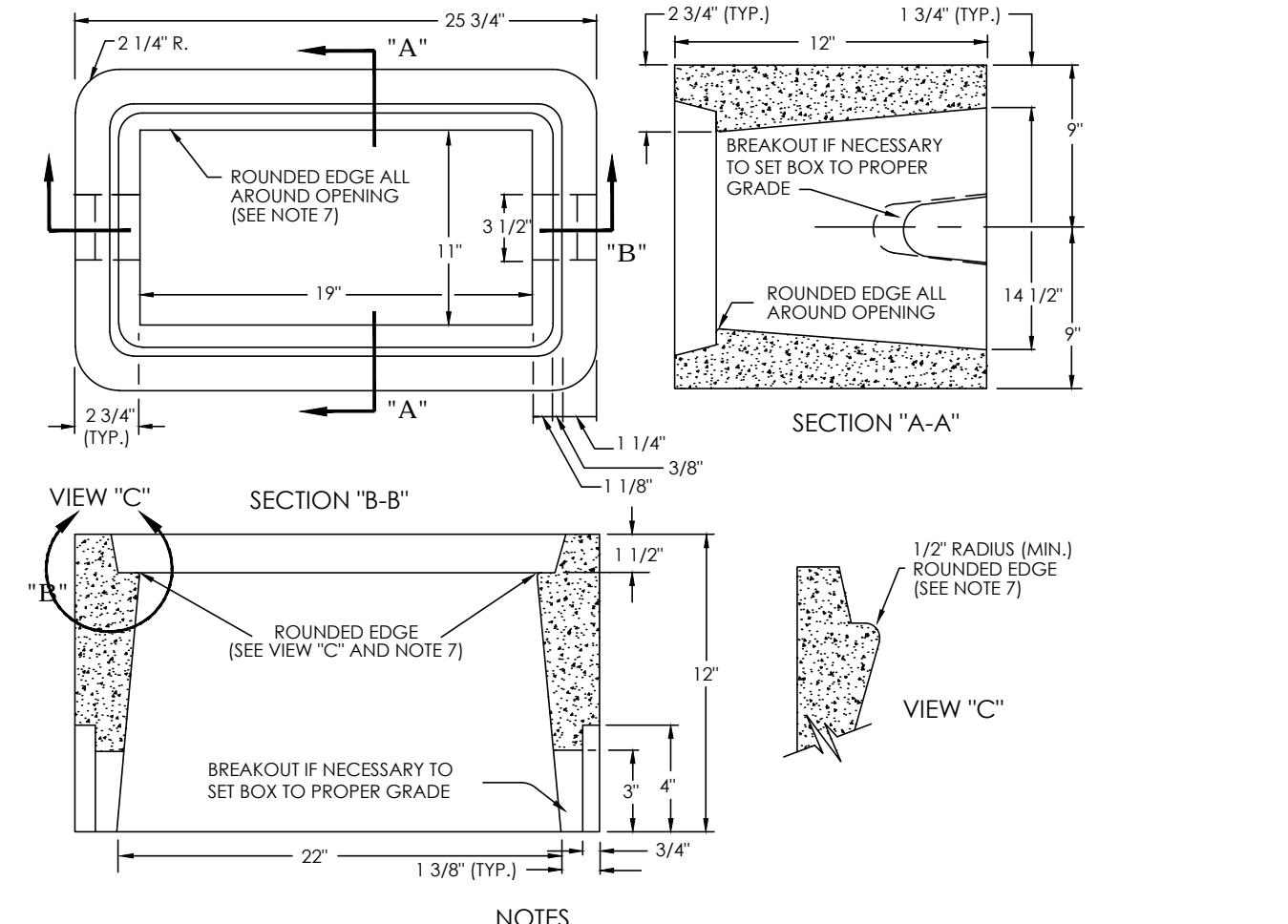
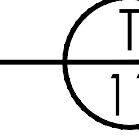
**TYP. WATER MAIN TRENCH DETAIL**

CITY OF YUMA STANDARD # 5-080



**TYPICAL SEWER MAIN TRENCH BACKFILL**

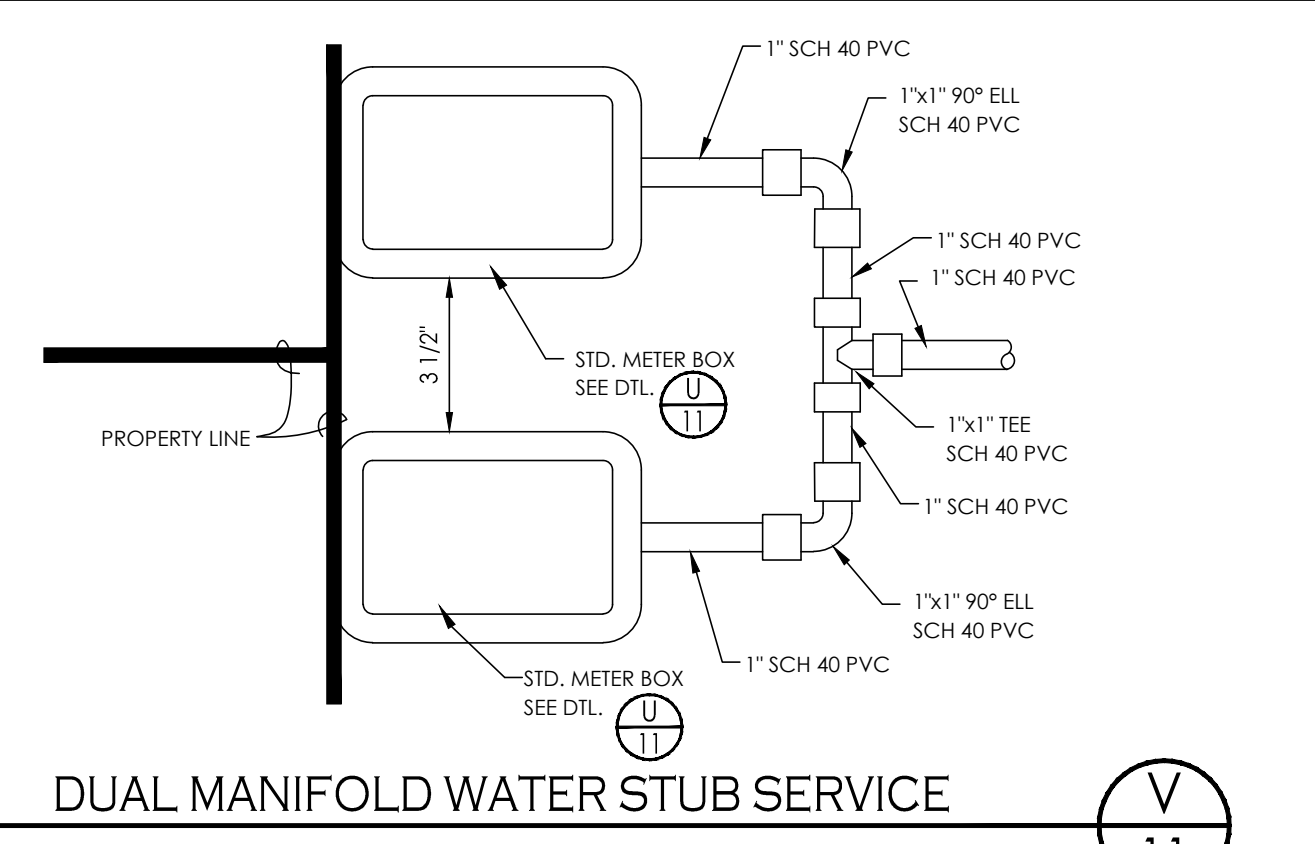
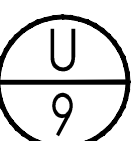
CITY OF YUMA STANDARD # 5-080



- NOTES**
- The meter boxes shall conform to the dimensions of the above drawing and shall be made of Portland cement concrete poured and tamped (or vibrated) in true form.
  - The Portland cement concrete shall be batched in the proper proportions by weight, water, cement, fine aggregate (A.S.T.M. C-33), and coarse aggregate (3/4" max). This mix shall be designed to obtain a minimum of 4,000 psi at 28 days when tested in accordance with A.S.T.M. C-39. This mix shall be poured at a slump not in excess of six inches (6").
  - Upon the removal of the forms, the meter boxes shall be water cured for seven (7) days or sprayed with a membrane curing compound such as "Hunts Process" or approved equal.
  - The method of sampling and testing of these boxes shall conform to A.S.T.M. C-129 and C-140, except that the minimum required strength shall be 4,000 psi at 28 days.
  - Meter box lids shall be cast iron and fit flush with top of box and have adequate bearing on seat. When meter boxes are used in paved areas, subject to vehicular traffic, a traffic rated lid will be used. The lids are to be pre-cut with 1.75" to 2" diameter holes to install automatic meter reading devices.
  - The San Diego Precast Concrete, Inc. model P 4 1/2" water meter box with cast iron lid or equal is an approved model.
  - Apply 1/2" radius (minimum) to edges of box opening in order to prevent worker injury when handling and installing boxes.
  - Use composite water meter vaults in residential subdivisions/mobile home parks. The lids are to be pre-cut with 1.75" to 2" diameter holes to install automatic meter reading devices.
  - Meter boxes should not be installed in sidewalk unless directed by City Engineer.

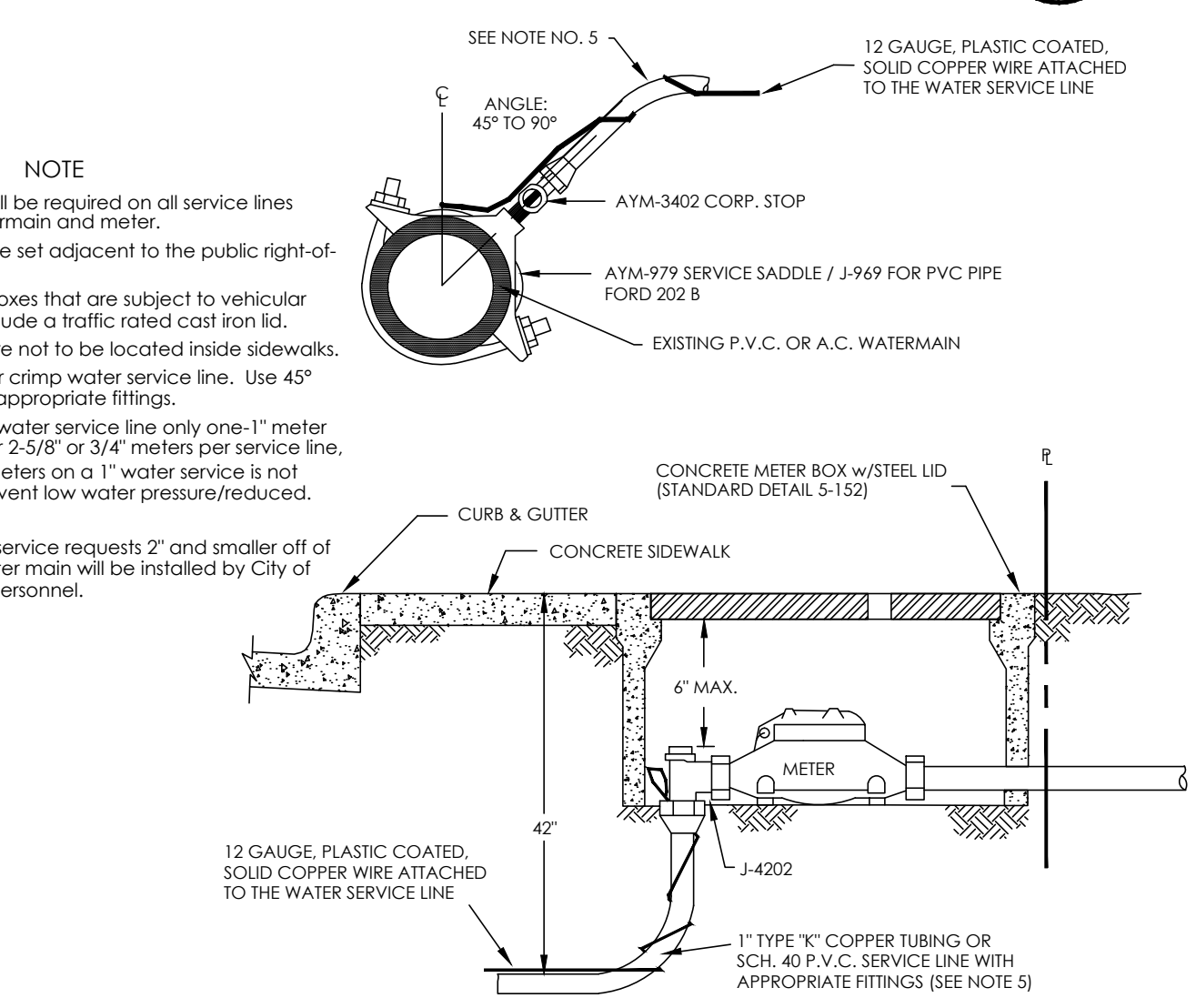
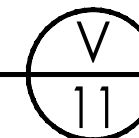
**CONCRETE WATER METER BOX FOR 1" METERS**

CITY OF YUMA STANDARD # 5-152



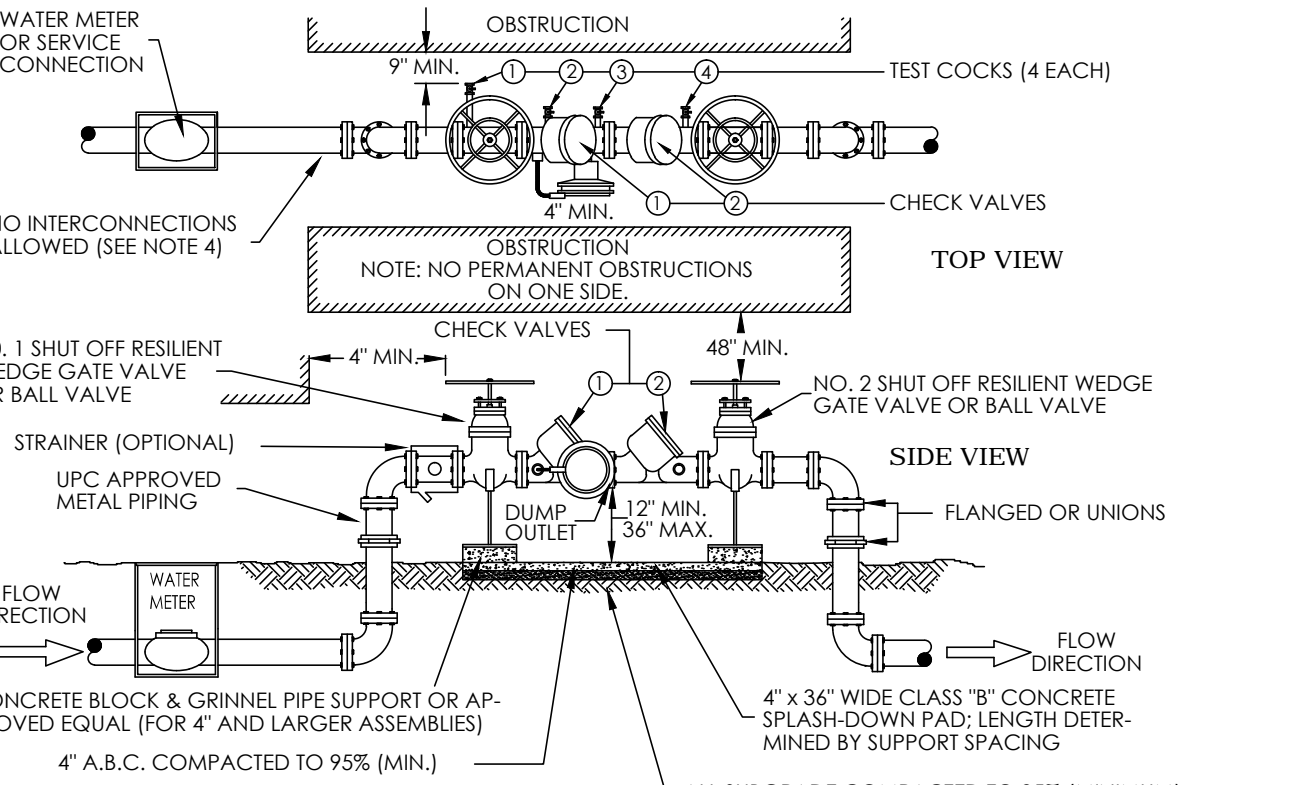
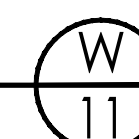
**DUAL MANIFOLD WATER STUB SERVICE**

CITY OF YUMA STANDARD # 5-149



**SERVICE CONNECTION (WATER) 1" & SMALLER**

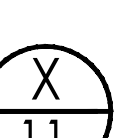
CITY OF YUMA STANDARD # 5-149



- NOTES**
- A PERMIT IS REQUIRED BEFORE INSTALLING OR REPLACING A BACKFLOW ASSEMBLY. PERMITS ARE OBTAINED AT DEPARTMENT OF COMMUNITY DEVELOPMENT, 3 WEST 3RD STREET.
  - A LIST OF APPROVED BACKFLOW ASSEMBLIES ARE AVAILABLE FROM THE CITY OF SAN LUIS, DEPARTMENT OF PUBLIC WORKS, PRETREATMENT SECTION, LOCATED AT 155 WEST 14TH STREET.
  - THE R.P.A. SHALL BE INSTALLED OUTSIDE, ABOVE GROUND, AS CLOSE TO THE WATER METER AS POSSIBLE AND ON PRIVATE PROPERTY UNLESS OTHERWISE AUTHORIZED.
  - THERE SHALL BE NO OTHER PIPING CONNECTED TO THE PIPING BETWEEN THE METER AND THE BACKFLOW ASSEMBLY EXCEPT FOR PARALLEL INSTALLATIONS.
  - INSTALLATIONS SHALL MEET CURRENT UNIFORM PLUMBING CODES IN ADDITION TO CITY OF SAN LUIS BUILDING CODES.
  - INSTALLATIONS SHALL BE LEFT EXPOSED UNTIL INSPECTED AND APPROVED BY THE CITY OF SAN LUIS.
  - IF THIS UNIT IS INSTALLED TO SERVICE A RETENTION BASIN, THIS UNIT SHALL BE PLACED A MINIMUM 12" (36" MAXIMUM) ABOVE THE FLOOD RIM OF THE RETENTION BASIN.
  - PROTECTIVE CAGES ARE OPTIONAL AND WILL MEET CLEARANCE, ACCESS AND DRAINAGE REQUIREMENTS.
  - IT IS RECOMMENDED THAT BACKFLOW ASSEMBLIES BE PROTECTED FROM THE ELEMENTS. CARE SHALL BE TAKEN TO ENSURE THAT THE PROTECTION DOES NOT HINDER THE ASSEMBLY'S OPERATION.
  - APPROVAL FROM THE CITY OF SAN LUIS FIRE MARSHAL IS REQUIRED BEFORE ANY BACKFLOW ASSEMBLY IS CONNECTED TO ANY FIRE SYSTEM. R.P.A. SHALL BE PAINTED RED WHEN USED WITH A FIRE SYSTEM.
  - ALL BACKFLOW UNITS ARE TO BE TESTED BY A CERTIFIED PROFESSIONAL PRIOR TO FINAL APPROVAL. BACKFLOW UNITS SHALL BE PROFESSIONALLY TESTED ON AN ANNUAL BASIS.
  - THE INSTALLATION OF A BACKFLOW ASSEMBLY MAY CREATE A FLOODED SYSTEM. CONSULT WITH THE CITY OF SAN LUIS BUILDING OFFICIAL FOR PRESSURE RELIEF VALVES, THERMAL EXPANSION, OR OTHER NEEDED REQUIREMENTS.

**REDUCED PRESSURE ASSEMBLY (R.P.A.) FOR 3" AND SMALLER WATER LINE**

CITY OF YUMA STANDARD # 5-116



1846 S. 8th AVENUE TEL 928-329-0000  
YUMA, AZ 85364 FAX 928-247-6232  
V@vega.com



**Water & Sewer Details**  
**BIENESTAR ESTATES 10**

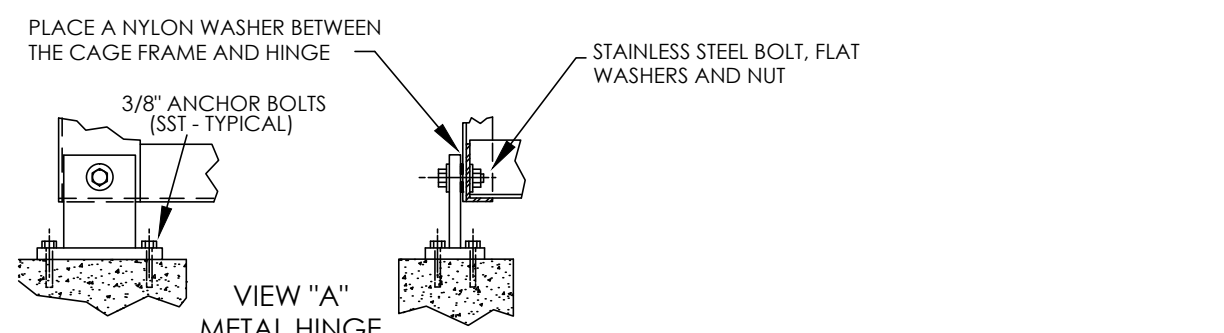
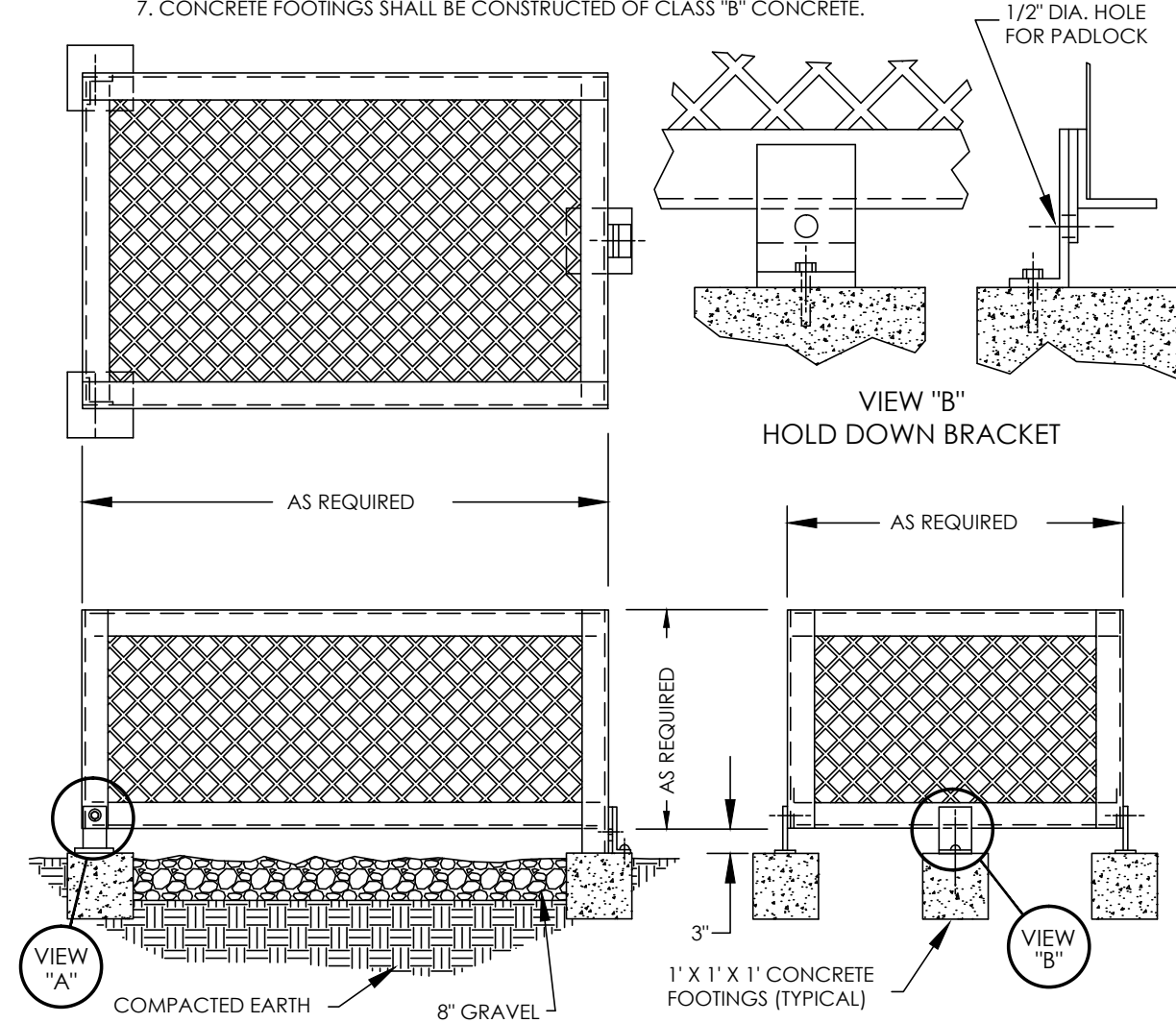


Scale: N.T.S. Date: FEB. 2019  
Drawn: Staff Job #: WVI18-400  
Checked: Vno

Sheet 11 of 12

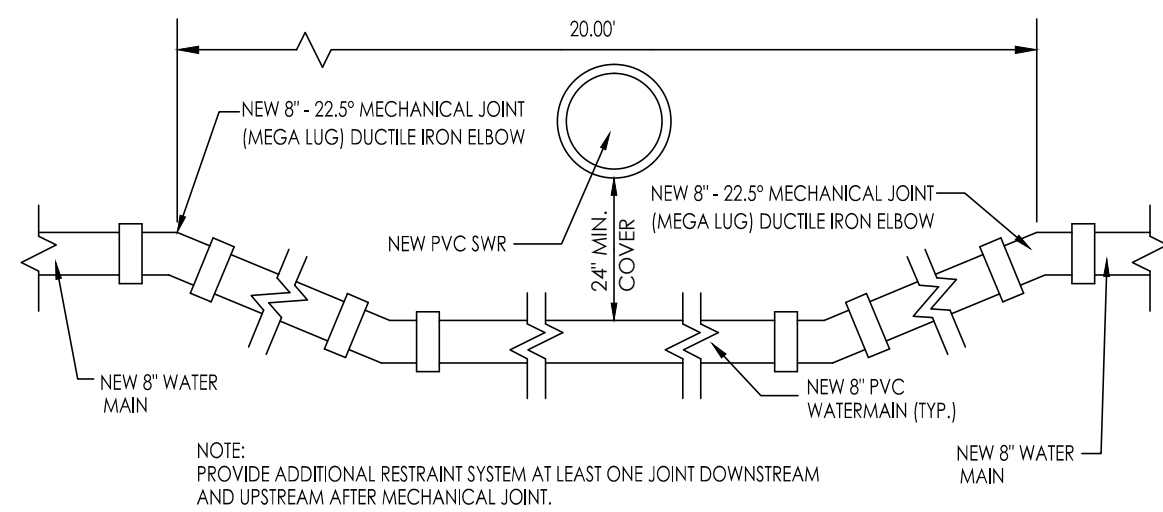
**NOTES**

1. CONSTRUCT FRAME FROM 1 1/2" X 1 1/2" X 1/4" ANGLE IRON (WELDED ASSEMBLY)
2. CONSTRUCT HINGES / HOLD DOWN BRACKET FROM 1/4" STEEL
3. 1/4" X 1/4" STEEL MESH TACK WELDED TO ANGLE IRON FRAME.
4. DE-BURR AND ROUND ALL WELDS AND SHARP EDGES.
5. OVERALL DIMENSIONS (HEIGHT/LENGTH & WIDTH) TO BE DETERMINED BY APPLICATION.
6. ASSEMBLY SHALL RECEIVE ONE COAT OF METAL PRIMER AND TWO FINISH COATS OF INDUSTRIAL "SAHARA SAND" RUST RESISTANT PAINT (OR APPROVED EQUAL).
7. CONCRETE FOOTINGS SHALL BE CONSTRUCTED OF CLASS "B" CONCRETE.



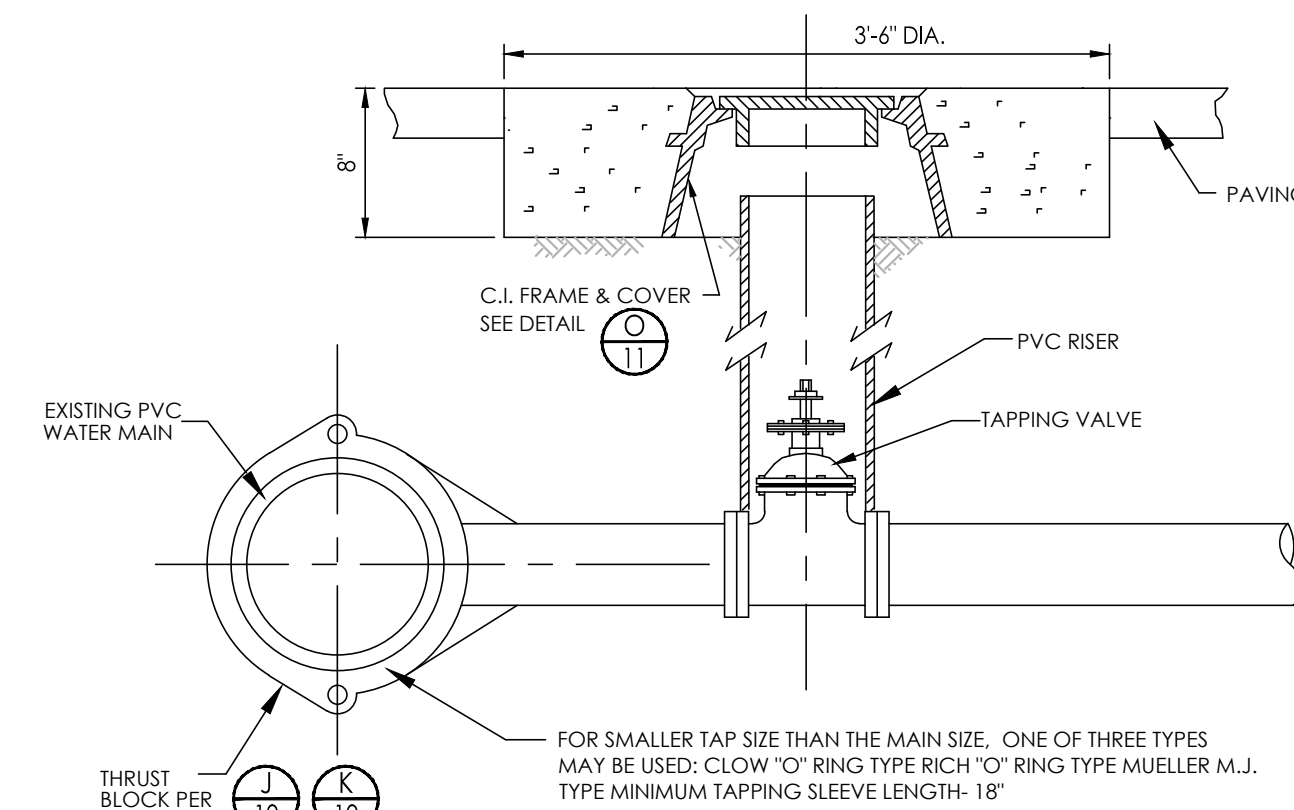
**CAGE FOR BACKFLOW PREVENTER DETAIL**  
CITY OF YUMA STANDARD # 5-114

Y  
12



**LOWERING DETAIL OF NEW WATER LINE**

Z  
12



**TAPPING SLEEVE DETAIL**

AA  
12

**GENERAL NOTES:**

1. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF SITE AND SOIL CONDITION AND SHALL NOTIFY ALL UTILITY AGENCIES PRIOR TO EXCAVATION.
2. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY CONDITIONS REQUIRING CHANGE TO THE PLANS.
3. CONTRACTOR SHALL NOTIFY THE CITY OF SAN LUIS PRIOR TO START OF CONSTRUCTION.
4. STANDARD SPECIFICATIONS AND ARIZONA STATE HEALTH DEPARTMENT BUL. NO. 11 SHALL APPLY TO THIS PROJECT.
5. ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR TWO YEARS AFTER THE FINAL ACCEPTANCE.
6. UNLESS HEREON REVISED, ALL CONSTRUCTION MATERIALS AND WORKMANSHIP WILL BE IN ACCORDANCE WITH YUMA COUNTY SPECIFICATIONS AND RECOMMENDED DETAILS AND SHALL, WHERE APPLICABLE, BE IN ACCORDANCE WITH ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY REGULATIONS.
7. NO STREET, WATER, SEWER AND IMPROVEMENTS TO BE ACCEPTED BY THE CITY OF SAN LUIS, FOR MAINTENANCE UNTIL "AS-BUILT", CERTIFIED, REPRODUCIBLE PLANS ARE FILED WITH AND ACCEPTED BY THE CITY OF SAN LUIS PUBLIC WORKS DIRECTOR.
8. CONTRACTOR WILL PROVIDE THE ENGINEER WITH ALL COUNTY REQUIRED COMPACTION AND CONCRETE TESTS.
9. FLANGE BOLTS SHALL BE PROTECTED BY 10 MIL POLYETHYLENE WRAP.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FURNISHING TO THE ENGINEER OF "AS-BUILT" RECORD DRAWINGS. TO INCLUDE COST BREAKDOWN FOR WATER. THE CONTRACTOR SHALL OBTAIN ONE SET OF PLANS FROM THE ENGINEER AND SHALL RECORD IN RED COLORED PENCIL ALL CASES WHERE ACTUAL FIELD CONSTRUCTION DIFFERS FROM WORK SHOWN ON THE PLANS, TO INCLUDE SERVICE LOCATIONS.
11. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE BLUE STAKE CENTER TO LOCATE ALL UNDERGROUND EQUIPMENT WITHIN THE CONSTRUCTION AREA TWO WORKING DAYS PRIOR TO THE START OF ANY EXCAVATION.
12. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES. OMISSION FROM, OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF, OR A DEFINITE LOCATION OF, EXISTING UNDERGROUND UTILITIES.
13. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO HIS OPERATIONS. ANY DAMAGE TO THE UTILITIES SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.

**WATER AND SEWER NOTES**

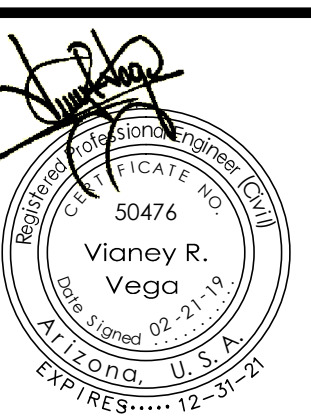
1. WATER MAINS AND VALVES SHALL BE FLUSHED AND DISINFECTED BY THE "GENERAL METHOD" DESCRIBED IN THE 1978 ARIZONA DEPARTMENT OF HEALTH SERVICES ENGINEERING BULLETIN NO. 8.
  2. ENGINEERING PERSONNEL SHALL BE PRESENT WHEN WATER MAINS ARE BOTH FLUSHED AND PRESSURE TESTED.
  3. ALL TEES, 90 DEGREE ELBS, BENDS, HYDRANTS AND DEAD END PLUGS SHALL BE THRUST BLOCKED WITH CAST-IN-PLACE CONCRETE.
  4. WATER LINES 4" OR LARGER SHALL BE PVC C900 DR 18 CLASS 235.
  5. ALL WATER LINE INSTALLATION MUST MEET OR EXCEED STANDARDS ESTABLISHED IN ADHS BULLETIN NO. 10.
  6. ALL PVC WATER DISTRIBUTION PIPES MUST BE APPROVED BY AND SHALL BEAR THE NSF SEAL FOR POTABLE WATER USE.
  7. TYPES OF TAPPING SLEEVE REQUIRED:
    - A. FOR SEE ON SIZE TAP: MUELLER TYPE M.J. ENDS REQUIRED.
    - B. FOR SMALLER TAP SIZE THAN THE MAIN SIZE, ONE OF THREE TYPES MAY BE USED:
      - a. CLOW "O" RING TYPE.
      - b. RICH "O" RING TYPE.
      - c. MUELLER M.J. TYPE.
      - d. MINIMUM TAPPING SLEEVE LENGTH - 18".
  8. ACCEPTABLE VALVE LIST:
 

ALL VALVES 12" AND UNDER ARE TO BE RESILIENT WEDGE GATE VALVES. THE FOLLOWING VALVES WILL BE ACCEPTED:

    - WATEROUS SERIES 500 RESILIENT CLOW RESILIENT WEDGE
    - AMERICAN DARING 80 CSR RESILIENT WEDGE.
  9. ALL PIPES, FITTINGS, VALVES, COCKINGS, ETC. SHALL CONFORM TO NSF STANDARD 61. 17. IF DEAD ENDS ON 10. IF DEAD ENDS ON WATER MAINS CANNOT BE AVOIDED, THEY MUST HAVE BLOW-OFF VALVES (MIN. DIA. 2").
  11. DESINFECTATION OF WATER LINES IN ACCORDANCE WITH A.D.E.Q. BULLETIN NO. 8 OR AWWA C-651-92 OR LATEST VERSION.
  12. WATER CONSTRUCTION STAKING SHALL BE DONE UNDER THE SUPERVISION OF A REGISTERED ENGINEER OR SURVEYOR.
  13. ALL MATERIALS AND PRODUCTS USED IN THE DRINKING WATER SYSTEM SHALL CONFORM TO NSF STANDARD 61.
  14. CONSTRUCTION MATERIALS USED IN THE WATER SYSTEM SHALL BE LEAD FREE AS DEFINED IN A.A.C. R18-4-504 AND R18-1-101.
  15. WATER LINES SHALL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA C609-94 FOR PVC PIPE.
  16. PRIOR TO PLACING THE INSTALLED WATER LINE IN SERVICE, THE NEW PIPE AND EXPOSED SECTIONS AND APPURTENANCES OF EXISTING PIPELINES SHALL BE CLEANED AND DISINFECTED IN ACCORDANCE WITH ANSI/AWWA C651, UNLESS OTHERWISE SPECIFIED. PIPELINES SHALL BE FLUSHED FOLLOWING COMPLETION OF DISINFECTION PROCEDURES. DISPOSAL OR NEUTRALIZATION OF DISINFECTION WATER SHALL COMPLY WITH APPLICABLE REGULATIONS. (REFER TO APPENDIX B OF ANSI/AWWA C651.)
  17. WATER AND SEWER LINES AND WATER AND SEWER SERVICE LINES, SEPARATION IN ACCORDANCE WITH A.A.C. R18-4-502.C
  18. VERTICALLY AND 6 FEET HORIZONTALLY UNDER ALL CONDITIONS, WHERE A SEWER FORCE MAIN CROSSES ABOVE OR LESS THAN 6 FEET BELOW A WATER LINE, THE SEWER MAIN SHALL BE ENCASED IN AT LEAST 6 INCHES OF CONCRETE OR CONSTRUCTED USING MECHANICAL JOINT DUCTILE IRON PIPE FOR 10 FEET ON EITHER SIDE OF THE WATER MAIN, AS PER AAC-R18-5-502-C.3
  19. WATER CONTRACTOR SHALL PROVIDE THE ENGINEER WITH A COPY OF THE BACTERIOLOGICAL TEST RESULTS TAKEN ON THE SYSTEM.
  20. ALL WATER LINES (MAINS AND SERVICES) SHALL INCLUDE THE INSTALLATION OF TRACER WIRE IN ACCORDANCE WITH STANDARD DETAIL No. 101.
  21. TYPES OF TAPPING SLEEVE REQUIRED: SMITH-BLAIR MODEL 662-663 STAINLESS STEEL (6" AND SMALLER: 15" LONG MIN.; LARGER THAN 8" 20" LONG MIN.)
  22. THE OWNER SHALL CONTACT A PROFESSIONAL ENGINEER TO PROVIDE DETAILED CONSTRUCTION INSPECTION SERVICES FOR THE PROPOSED PROJECT. UPON COMPLETION OF THE PROJECT, THE OWNER'S ENGINEER SHALL COMPLETE THE ADEQ ENGINEER'S CERTIFICATE OF COMPLETION DOCUMENTATION AND FORWARD SAME TO THE APPROPRIATE OOWM REGIONAL OFFICE.
  23. A MINIMUM OF 7' SHALL BE MAINTAINED BETWEEN PARALLEL WATER AND SEWER LINES AND WATER AND SEWER MAINS.
  24. FLANGE BOLTS SHALL BE PROTECTED BY 10 MIL POLYETHYLENE WRAP.
  25. SEWER MAINS AND SERVICES SHALL BE CLASS 50 CEMENT OR EPOXY LINED DUCTILE IRON PIPE FOR A DISTANCE OF 7' IN BOTH DIRECTIONS FROM A WATER MAIN OR SERVICE WHEN:
    - A. SEWER MAIN OR SERVICE CROSSES LESS THAN 2' BELOW A WATERMAIN OR SERVICE;
    - B. WATER MAIN OR SERVICE CROSSES BELOW A SEWER MAIN OR SERVICE. (A MINIMUM OF 24" SEPARATION SHALL BE MAINTAINED VERTICALLY BETWEEN WATER AND SEWER MAINS AND SERVICES).
  26. SEWER CONSTRUCTION STAKING SHALL BE DONE UNDER THE SUPERVISION OF A REGISTERED ENGINEER OR SURVEYOR.
  27. SEWER PIPE SHALL BE PVC SDR 35 HAVE N.S.F. SEAL OF APPROVAL AND MEET ASTM D-3034.
  28. SEWER MAINS SHALL BE PRESSURE AND LEAKAGE TESTED WITH 4 FEET OF HEAD UPSTREAM. ALLOWABLE LEAKAGE NOT TO EXCEED 180 GAL./IN. DIA./MILE OF PIPE/DAY.
  29. INFILTRATION FROM MANHOLES SHALL BE LIMITED TO 0.1 GALS./HR./VERTICAL FOOT.
  30. DEFLECTION TEST OF AT LEAST 100% OF PLASTIC SEWER PIPE SHALL BE PERFORMED. SHORT TERM DEFLECTION IN EXCESS OF 5% SHALL BE CONSIDERED UNSERVICEABLE AND SHALL BE REPAIRED AND RETESTED.
  31. IN AREAS WHERE THE GROUNDWATER IS AT PIPE SPRING LINE OR ABOVE INFILTRATION TESTS SHALL BE PERFORMED. ALLOWABLE INFILTRATION FOR SEWER MAINS NOT TO EXCEED 180 GAL./IN DIA./MILE OF PIPE/DAY. ALLOWABLE INFILTRATION FOR MANHOLES SHALL BE LIMITED TO 0.1 GALS./HR./VERTICAL FOOT.
  32. GRAVITY SEWER LINES MUST BE TESTED FOR LEAKAGE AS PER A. A. C. TIRE 8, CH 9, D.2.)
  33. MANHOLES TESTING IS REQUIRED FOR 100% OF MANHOLES ACCORDING TO R18-9-E301.D.3.f. & R18-9-E301.D.3.g.
  34. FOR CONSTRUCTION AND TESTING OF SEWER LINES REFER TO A.A.C.R18-9-E301-(D)(2).
  35. FOR CONSTRUCTION AND TESTING OF SEWER FORCE MAIN REFER TO A.A.C.R18-9-E301-4.
  36. MANHOLE TESTING & CONSTRUCTION IS REQUIRED ACCORDING TO A.A.C.R18-9-E301-3.
  37. THE PRESSURE TESTING OF WATERLINES SHALL BE UNDERTAKEN AS FOLLOWS AND IN DESCENDING ORDER OF PRECEDENCE:
    - a) ALL VISIBLE LEAKS SHALL BE REPAIRED, REGARDLESS OF THE AMOUNT OF LEAKAGE AND REGARDLESS OF WHETHER THE LEAK DEVELOPS UNDER TEST PRESSURE OR LINE PRESSURE.
    - b) INITIAL PRESSURE FOR THE PRESSURE TEST SHALL BE A MINIMUM OF 150 PSI. PRESSURE LOSS DURING TESTING SHALL NOT EXCEED 5 PSI.
    - c) A PRESSURE TEST WILL BE DEEMED AS SUCCESSFUL IF IT PASSES THE CRITERIA SET FORTH BY AWWA C-600, SECTION 4 (CURRENT EDITION) AND THAT CRITERIA NOTED ABOVE, EXCEPT NO LEAKAGE TEST WILL BE ALLOWED.
- ALL EQUIPMENT AND PRODUCTS THAT COME INTO CONTACT WITH THE PUBLIC WATER SUPPLY SHALL BE CERTIFIED TO MEET THE NATIONAL SANITATION FOUNDATION STANDARD 61 PER A.A.C. SEC. R18-4-213(B)

Water & Sewer Details  
**BIENESTAR ESTATES 10**

1846 S. 8th AVENUE  
YUMA, AZ. 85364  
928-329-0000 TEL  
928-247-6232 FAX  
V@vegaengineers.com



Notes:  
  
  
  
  
  
Scale: N.T.S. Date: FEB. 2019  
Drawn: staff Job #: vnv18-400  
Checked: vno

Sheet 12  
of 12

AVENUE "F"

SAN DIEGO STREET

EMMANUEL AVE.

124

123

122

121

125

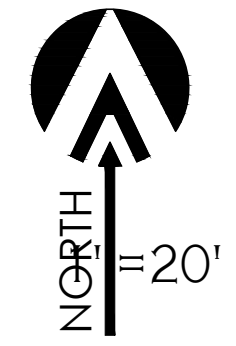
126

127

128

SAN GABRIEL STREET

SAN FERNANDO STREET



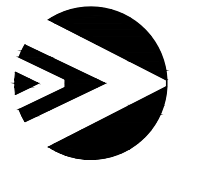
## PLANT LEGEND

TREES	COMMON NAME	BOTANICAL NAME	SIZE
	Willow Acacia	Acacia Salicina	24" Box
	Sisoo	Dalbergii Sisoo	15 Gal.
	Coolabah	Eucalyptus Microtheca	24" Box
	Southern Live Oak	Quereus Virginiana	24" Box
SHRUBS	COMMON NAME	BOTANICAL NAME	SIZE
	Arizona Yellow Bells	Techoma Stans	5 Gal.
	Bird of paradise	Caesalpinia Gilliesii	5 Gal.
	Texas Sage	Leucophyllum Frutescens	5 Gal.
	Petite pink Oleander	Nerium oleander	5 Gal.

### GROUND COVER/HARDSCAPES

	White Rose
	Seeded Majestic Turf

6" X 6" Curb



1846 S. 8th AVENUE 928-329-0000 TEL  
YUMA, AZ 85364 928-247-4232 FAX  
Vn@vega.vega.com

VEGA & VEGA  
LANDSCAPE ARCHITECTURE

Landscaping Plan  
**BIENESTAR ESTATES 10**



SOUTHWEST CREANITORS LANDSCAPE ARCHITECTURE  
P.O. BOX 25444  
YUMA, AZ 85367  
928-394-0205  
JPLP@SWC.COM

Scale: N.T.S. Date: 4/18/19

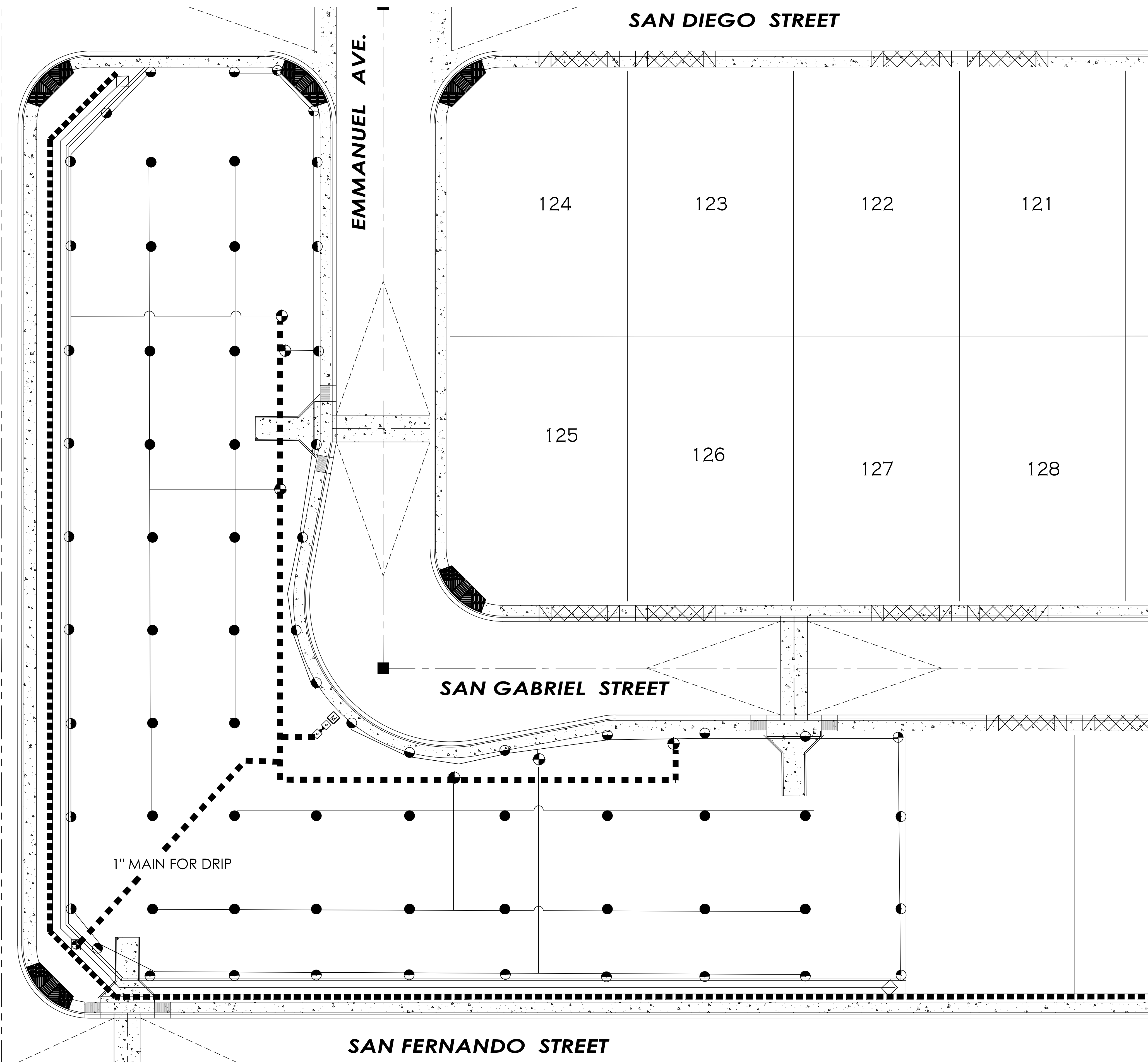
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AVENUE "F"



SAN DIEGO STREET

EMMANUEL AVE.

124

123

122

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128

SAN GABRIEL STREET

1" MAIN FOR DRIP

SAN FERNANDO STREET



## IRRIGATION LEGEND

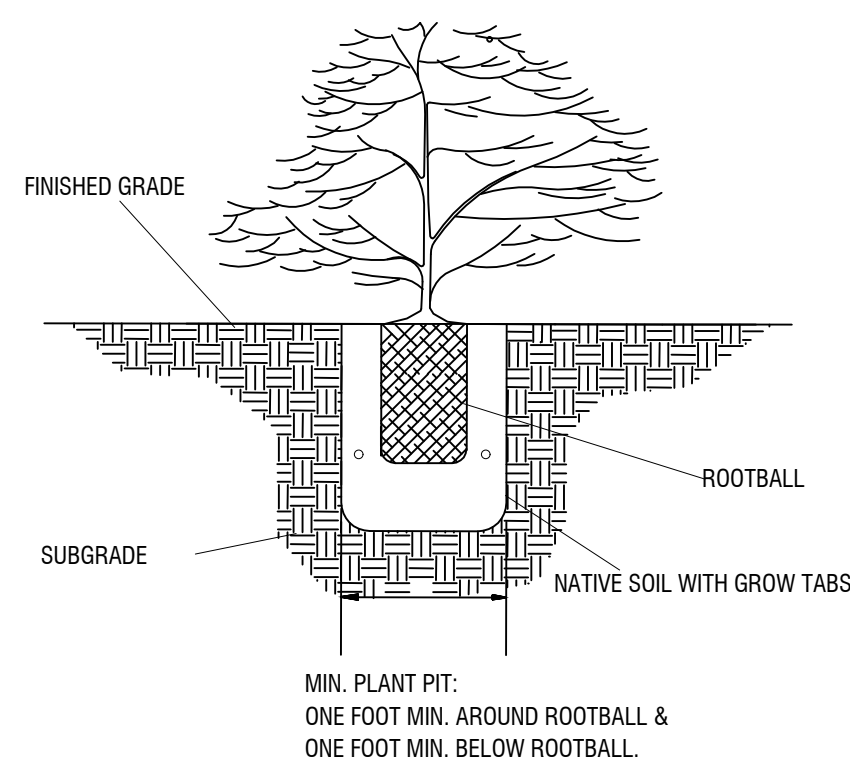
SYMB	SYMB	DESCRIPTION	MANUFACTURER	MODEL
[M]	[M]	METER 2" BY OTHERS (FIELD VERIFY LOCATION)		
[B-C]	[B-C]	2" PVB FEBCO CONTROLLER	BACKFLOW PREVENTOR	WITH SLAB AND CAGE
[V]	[V]	DRIP ELECTRIC CONTROL VALVE	LIET SOLAR	18 STA
[C]	[C]	NEW 2" CONTROL VALVE	HUNTER	ICV
[C]	[C]	2" PVC MAINLINE	CRESLINE OR EQUAL	SCHEDULE 40
[---]	[---]	SPRINKLER LATERALS	CRESLINE OR EQUAL	CL 200
[---]	[---]	DRIPLATERAL PVC	CRESLINE OR EQUAL	CL 200

- HUNTER PGP FULL SPRINKLER HEAD BLUE # 3 NOZ  
38" @ 3 GPM WITH .4 PRECIP
- HUNTER PGP ADJ (180-HALF) SPRINKLER HEAD BLUE # 3 NOZ  
38" @ 3 GPM WITH .4 PRECIP
- HUNTER PGP ADJ (90-QUARTER) SPRINKLER HEAD BLUE # 1.5 NOZ  
38" @ 1.5 GPM WITH .25 PRECIP
- ⊗ 2 GPH BOWSMITH OR RAINBIRD EMITTER
- ◇ RAINBIRD DRIP FLUSH

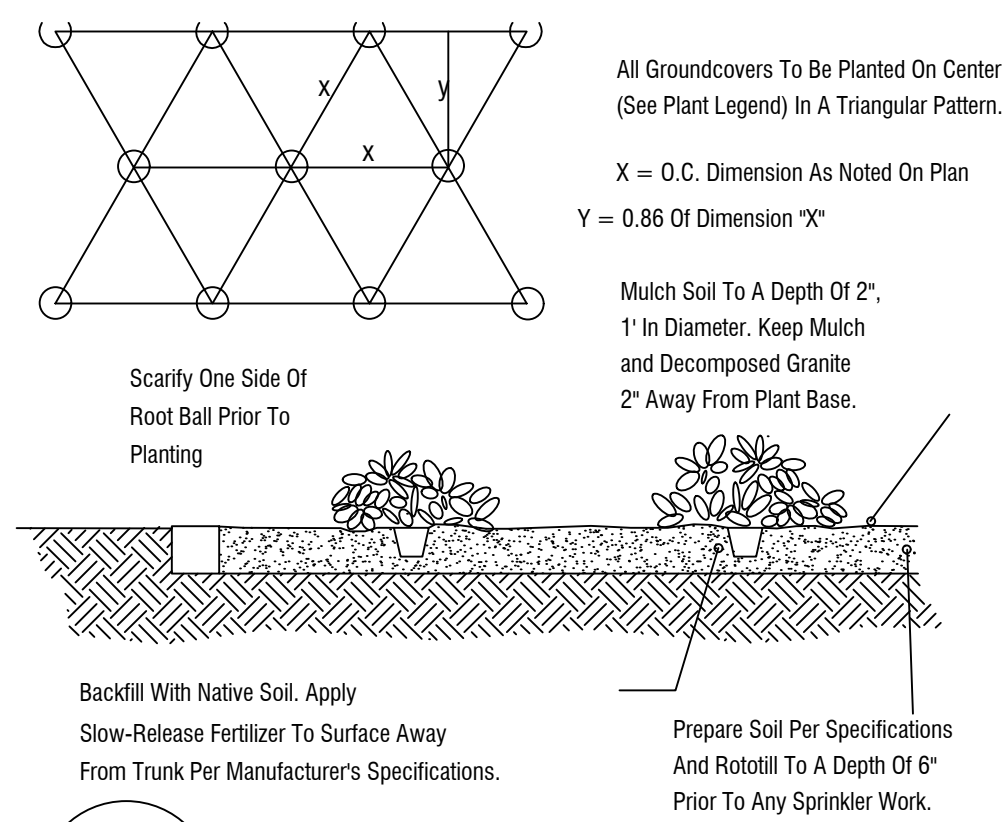
## IRRIGATION NOTES

### IRRIGATION NOTES

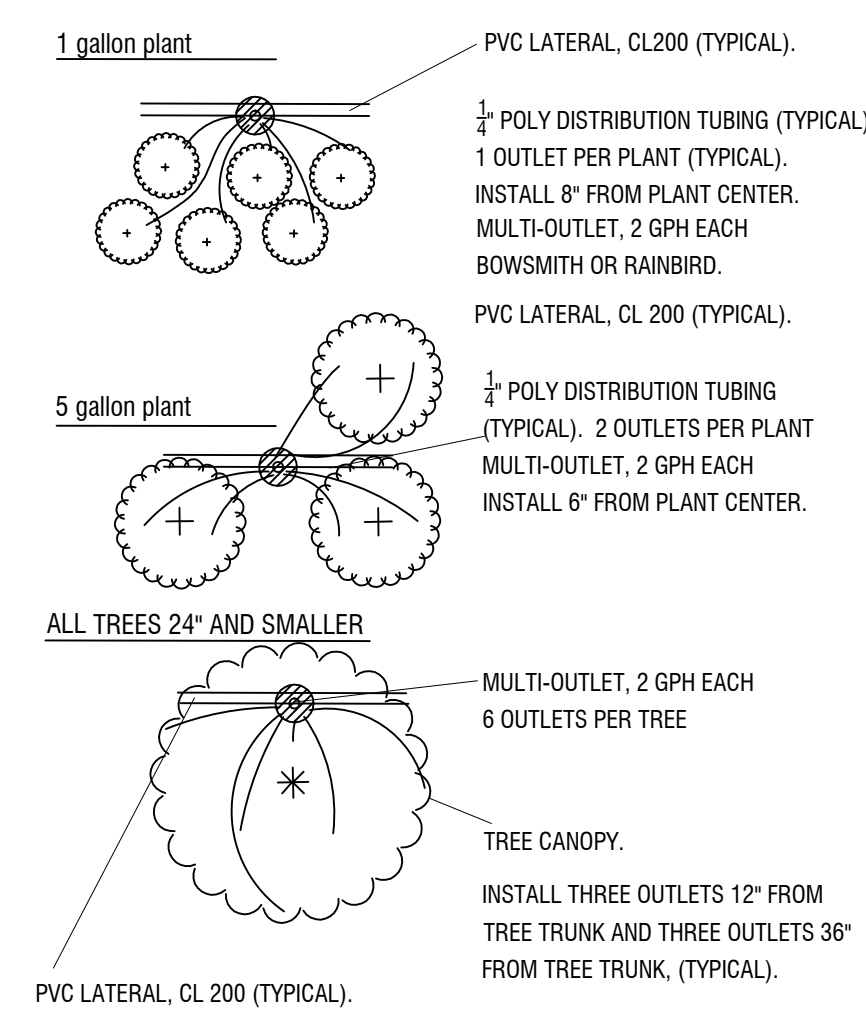
1. CONTRACTOR RESPONSIBLE FOR FULL AND EFFICIENT COVERAGE
2. VERIFY PRESSURE BEFORE LAY OUT
3. MINIMUM PRESSURE 60 PSI AT MAIN LINE
4. VALVE LOCATIONS ARE ONLY APPROXIMATE
5. DRIP VALVES NOT TO EXCEED 5 GPM  
LAWN VALVES NOT TO EXCEED 60 GPM
6. DRAWN FOR CLARITY ALL IRRIGATION TO BE INSTALLED IN LANDSCAPE AREA
7. ALL SLEEVES ARE SCH 40
8. ALL SLEEVES TO HAVE 18" COVER MINIMUM
9. IF BACKFILL MATERIAL HAS DEBRIS LARGER THAN 1" SHADE WITH MORTAR SAND 4" ABOVE 4" BELOW PIPE  
SEE PIPE AND SLEEVING DETAILS D-10
10. IF PROPER PRESSURE IS NOT AVAILABLE NOTIFY OWNERS REPRESENTATIVE BEFORE ANY WORK IS STARTED
11. HEAD AND VALVE PLACEMENT ARE ONLY DIAGRMATIC  
FIELD VERIFY ALL LOCATIONS ON PLANS



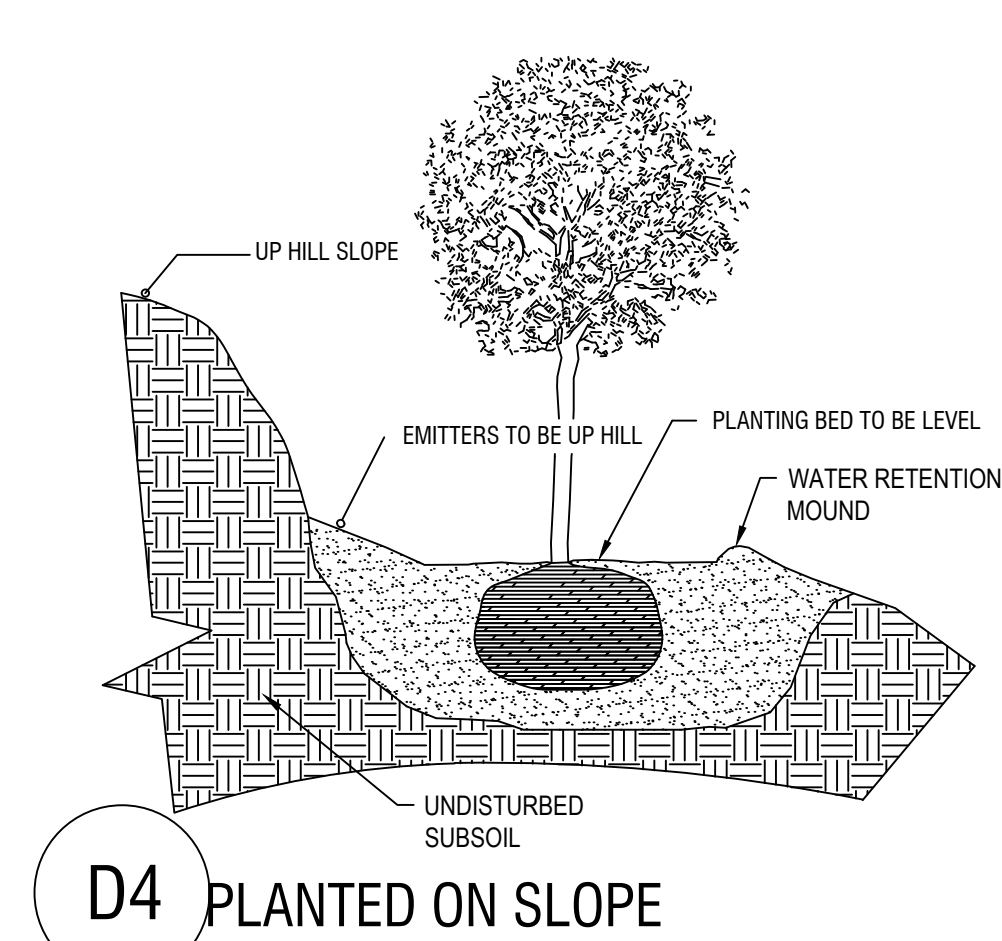
D1 SHRUB PLANTING



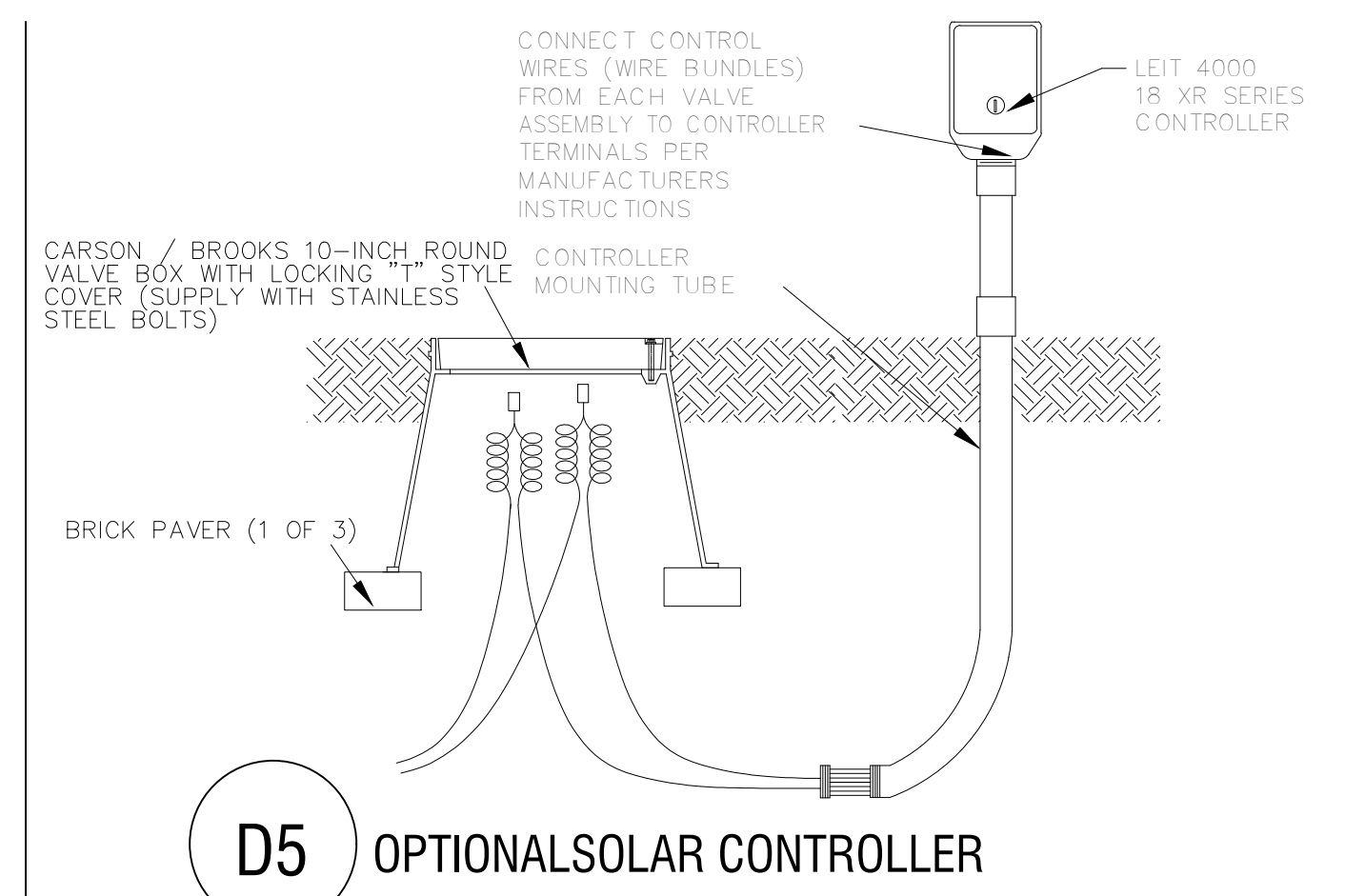
D2 GROUND COVER



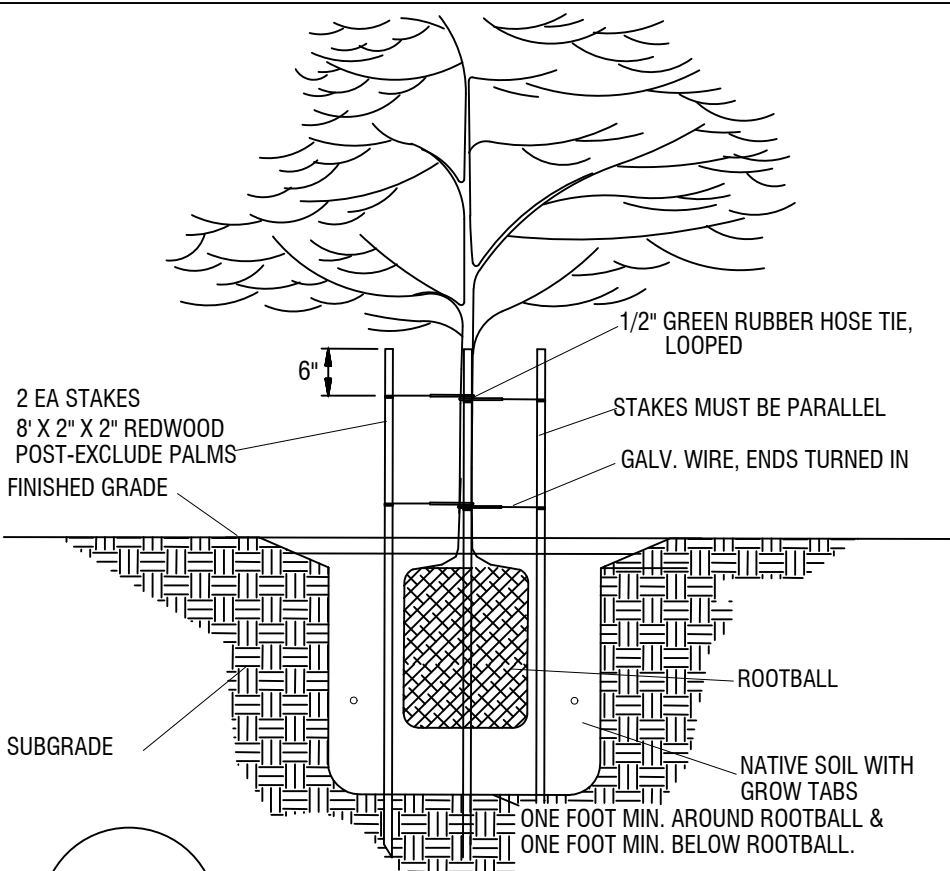
D3 EMITTER PLACEMENT



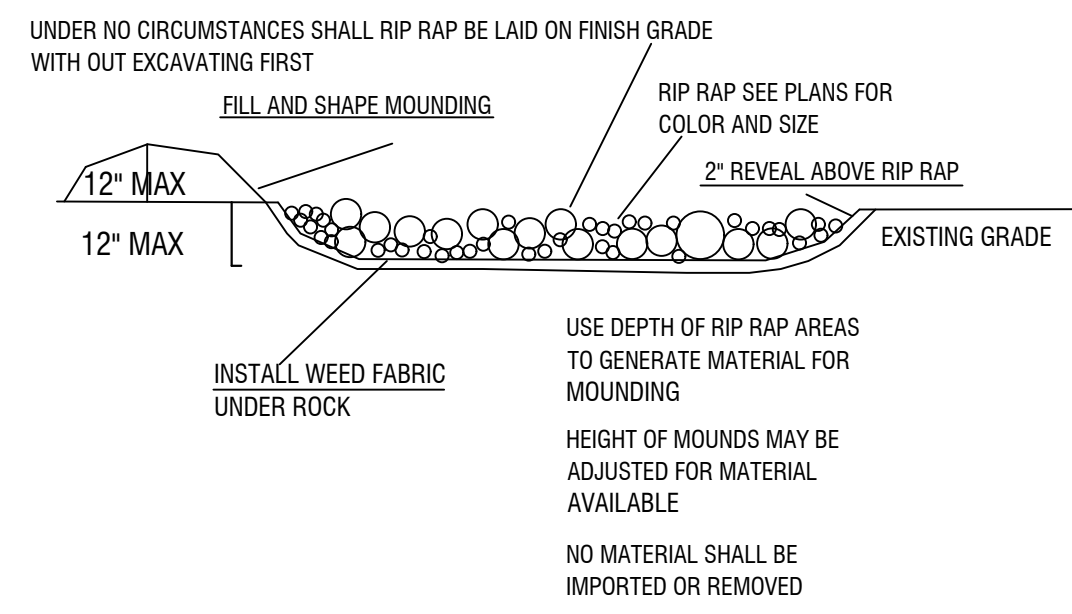
D4 PLANTED ON SLOPE



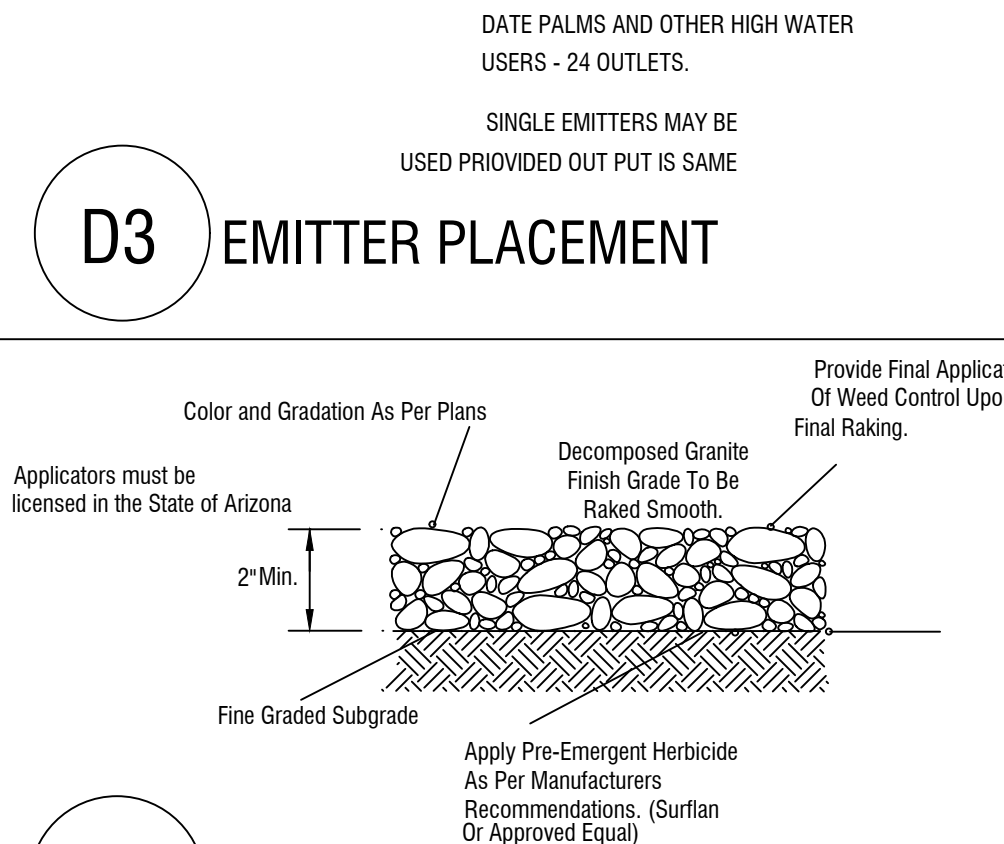
D5 OPTIONALSOLAR CONTROLLER



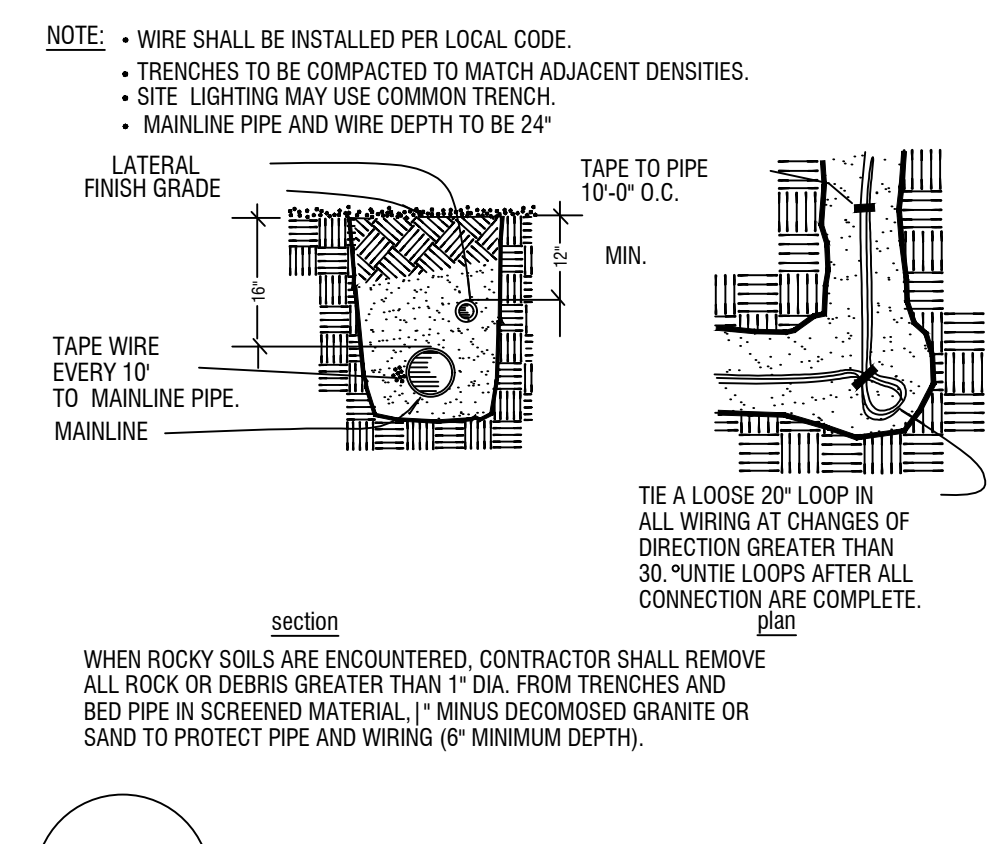
D6 TREE PLANTING



D7 RIP RAP AND MOUNDING



D8 DECOMPOSED GRANITE

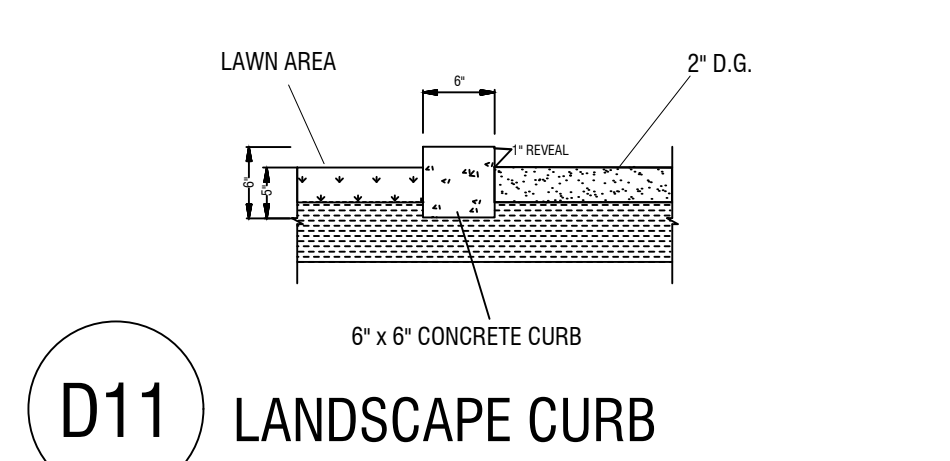


D9 PIPE AND WIRE TRENCHING

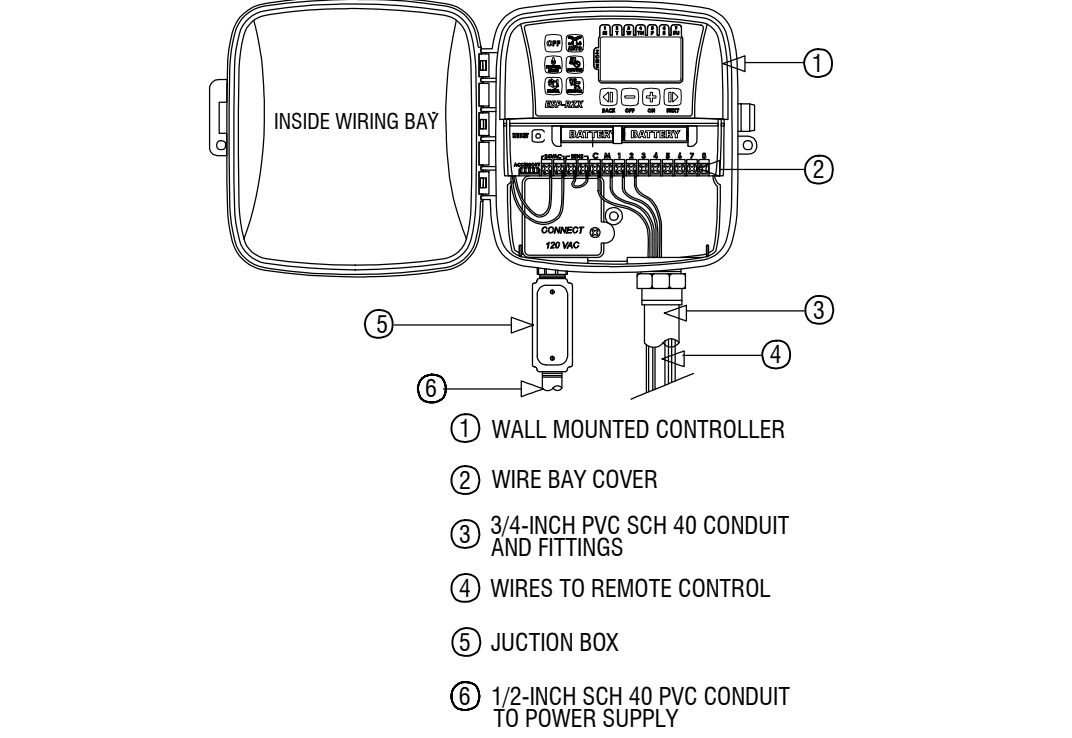
size (pipe)	class	gpm	sleeve size
1/2"	SCH 40	0-5	2"
3/4"	SCH 40	6-10	2"
1"	SCH 40	11-15	2"
1-1/4"	SCH 40	16-25	3"
1-1/2"	SCH 40	26-35	3"
2"	SCH 40	36-50	4"
2-1/2"	CL 160	51-75	6"
3"	CL 160	76-100	6"
4"	CL 160	101-190	10"
WIRING			
	SCH 40	1-26 WIRES	2" MIN.

ALL MAINLINE FITTINGS 3" AND LARGER SHALL BE DUCTILE IRON, ALL OTHER MAINLINE FITTINGS SHALL BE SCH. 40. ALL MAINLINE INTERSECTIONS (45, 90, ECT.) SHALL HAVE THRUST BLOCKS PER MANUFACTURERS RECOMMENDATIONS. USE MECHANICAL FITTINGS ON TEES, FOR 3" AND LARGER MAINLINE. SLEEVE SIZE IS FOR SINGLE PIPE RUNS. SLEEVE ALL WIRE SEPERATE FROM WATER LINES, UNDER PAVING. ALL SOLVENT WELD MAINLINE FITTINGS SHALL BE SCHEDULE 40.

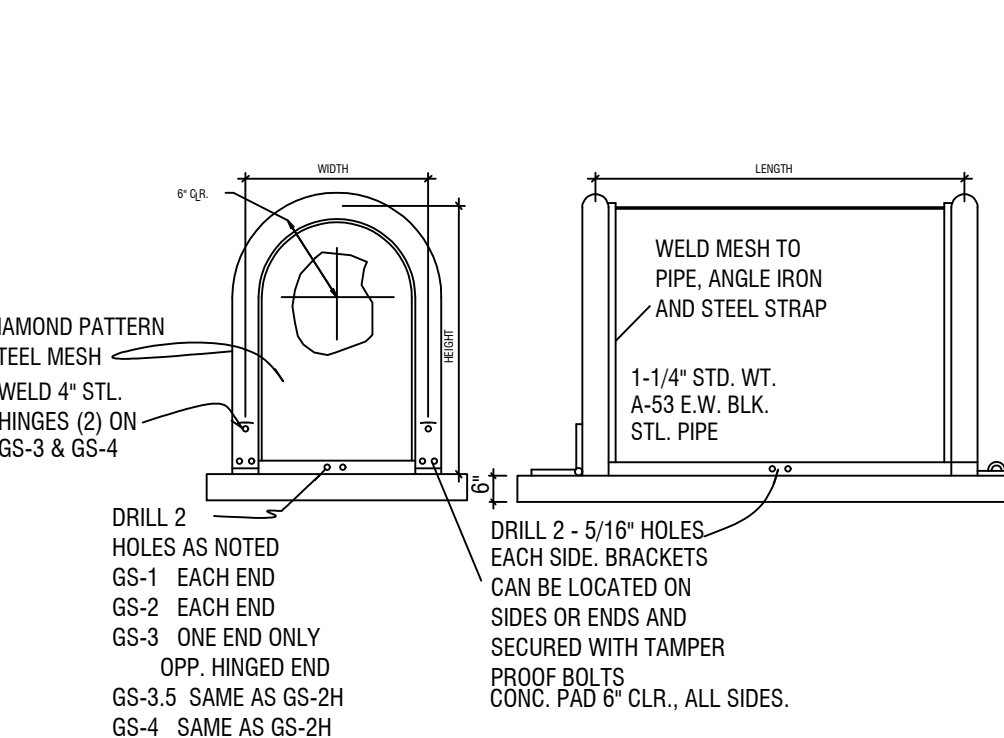
D10 PIPE AND SLEEVE SIZING



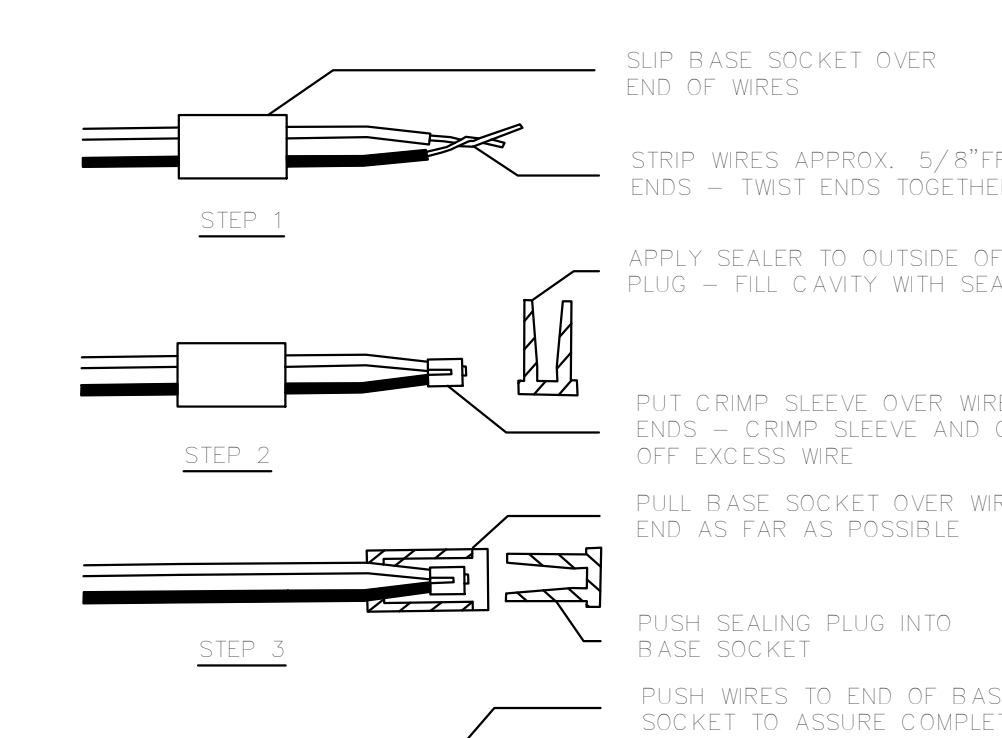
D11 LANDSCAPE CURB



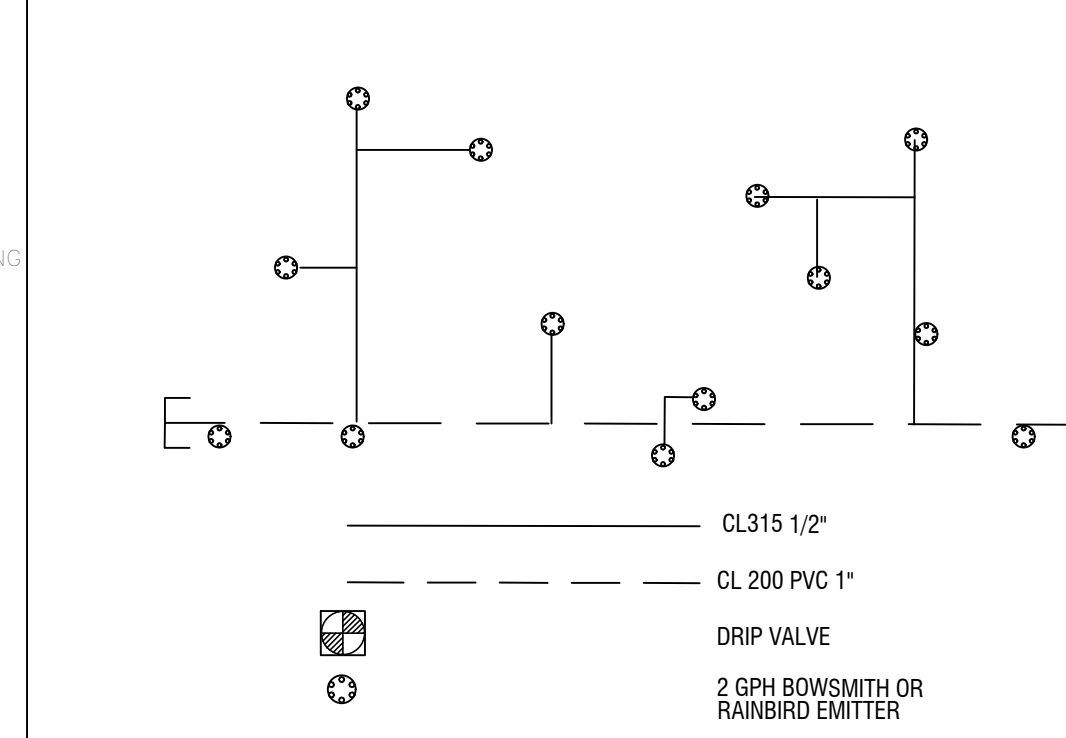
D13 TYPICAL CONTROLLER



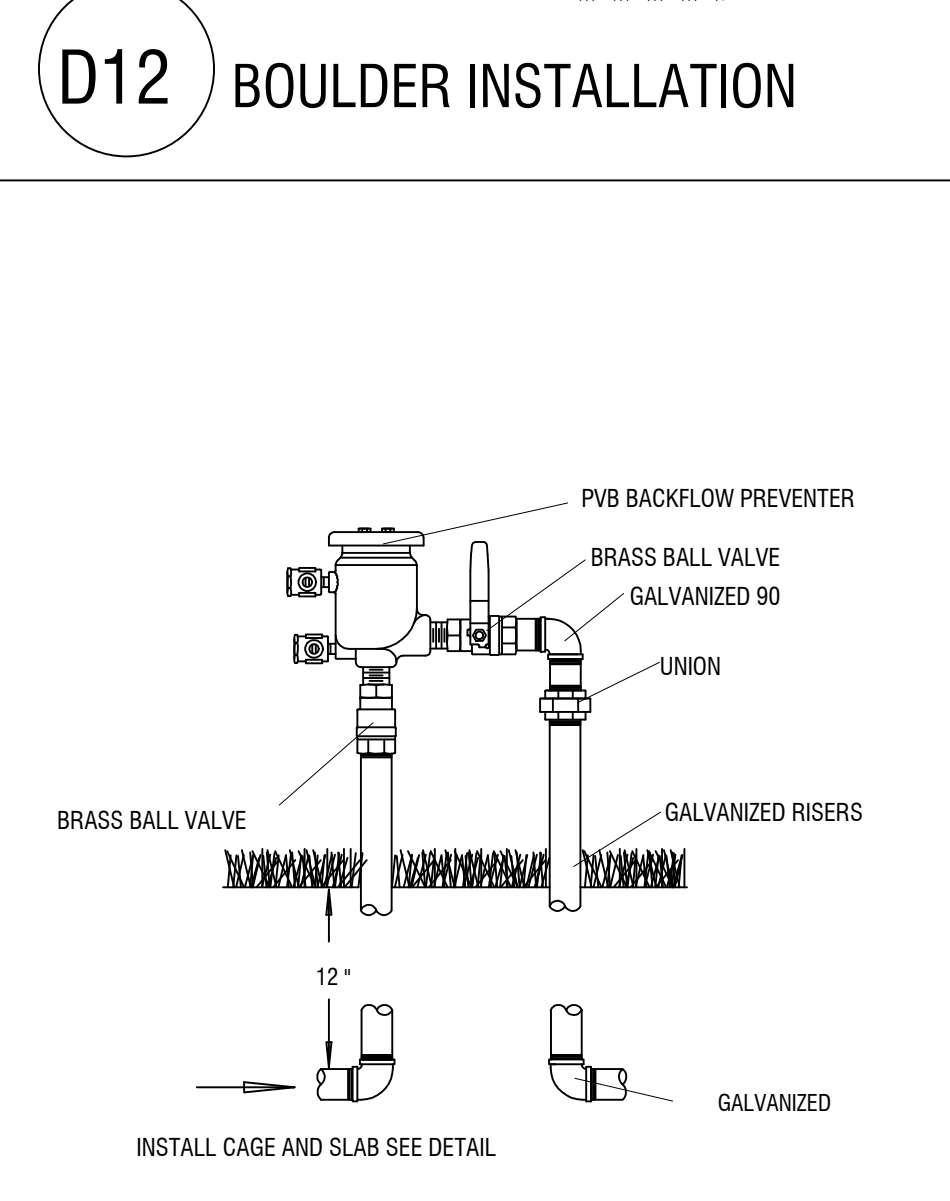
D14 GARDSHACK ENCLOSURE



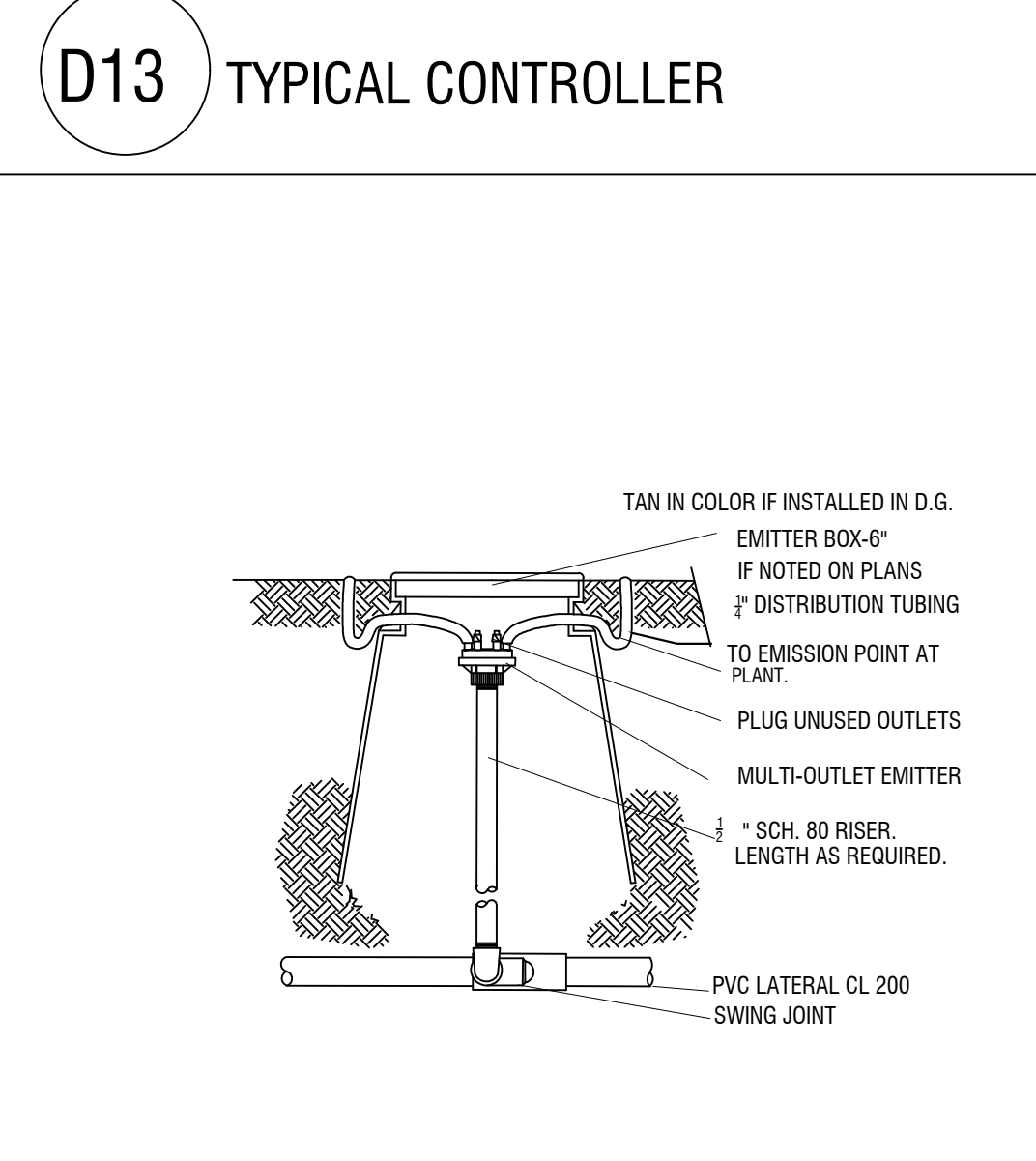
D15 IRRIGATION WIRE CONNECTIONS



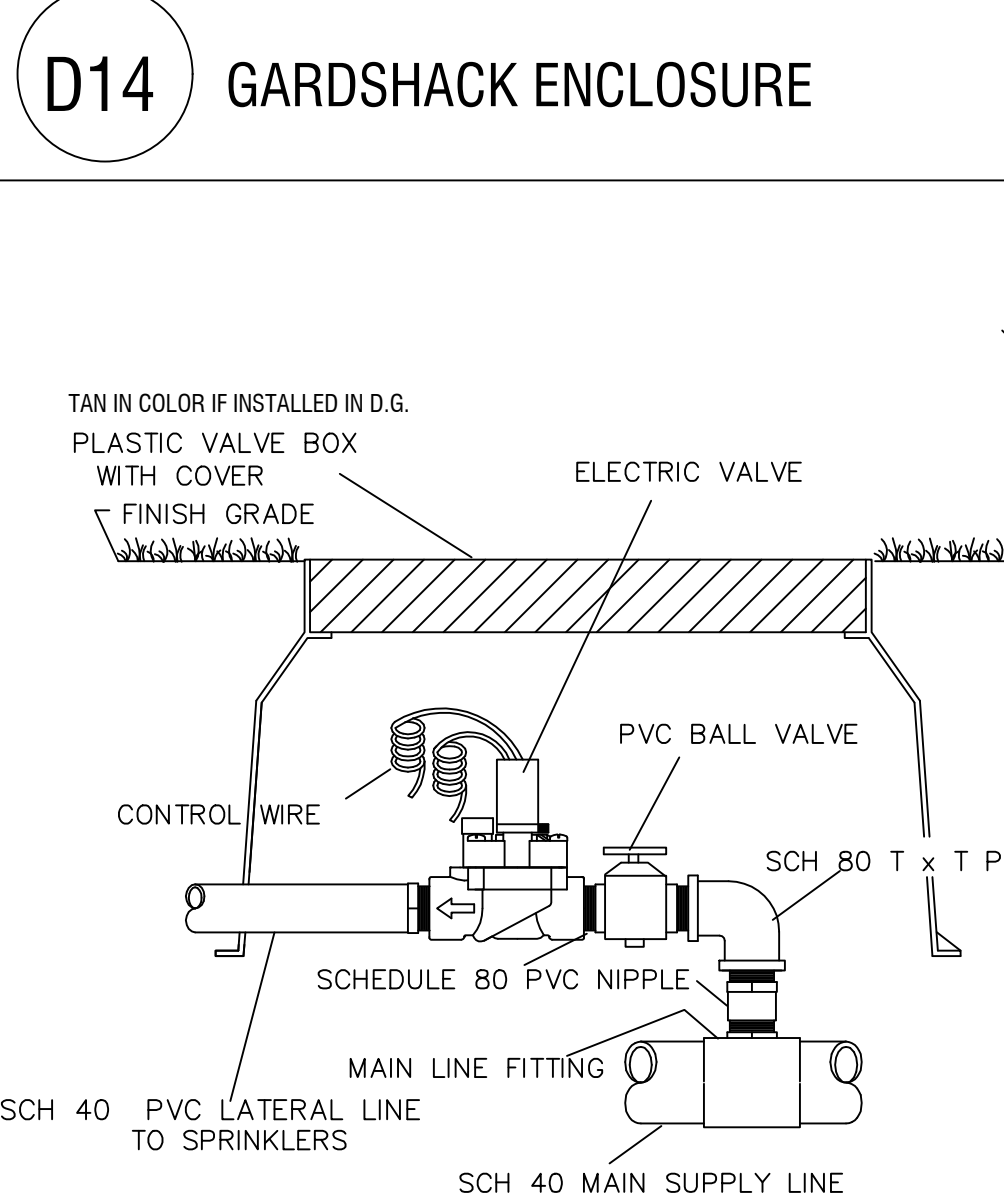
D16 EMITTER PVC PIPE LAY OUT



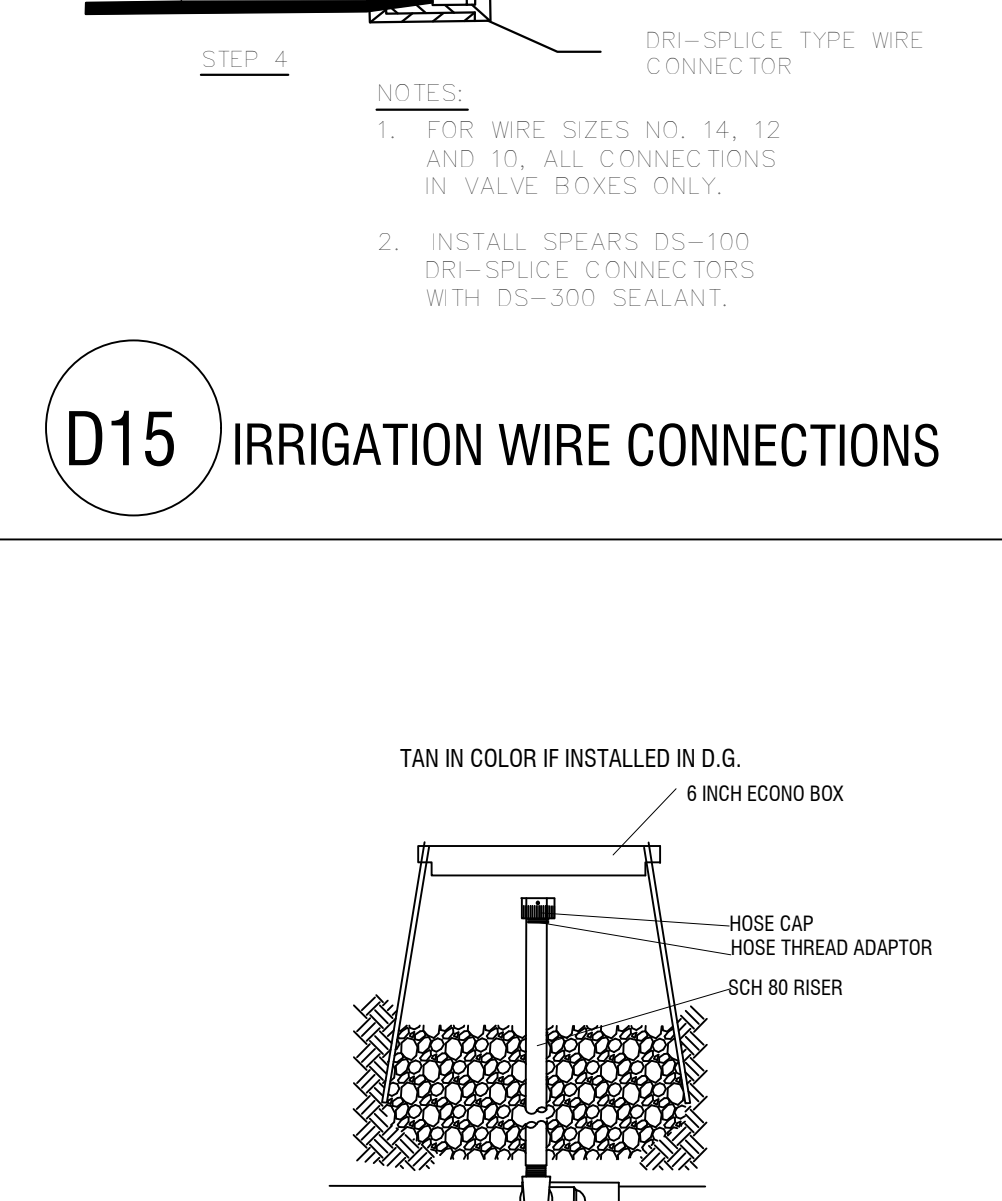
D17 PRESSURE VACUME BREAKER



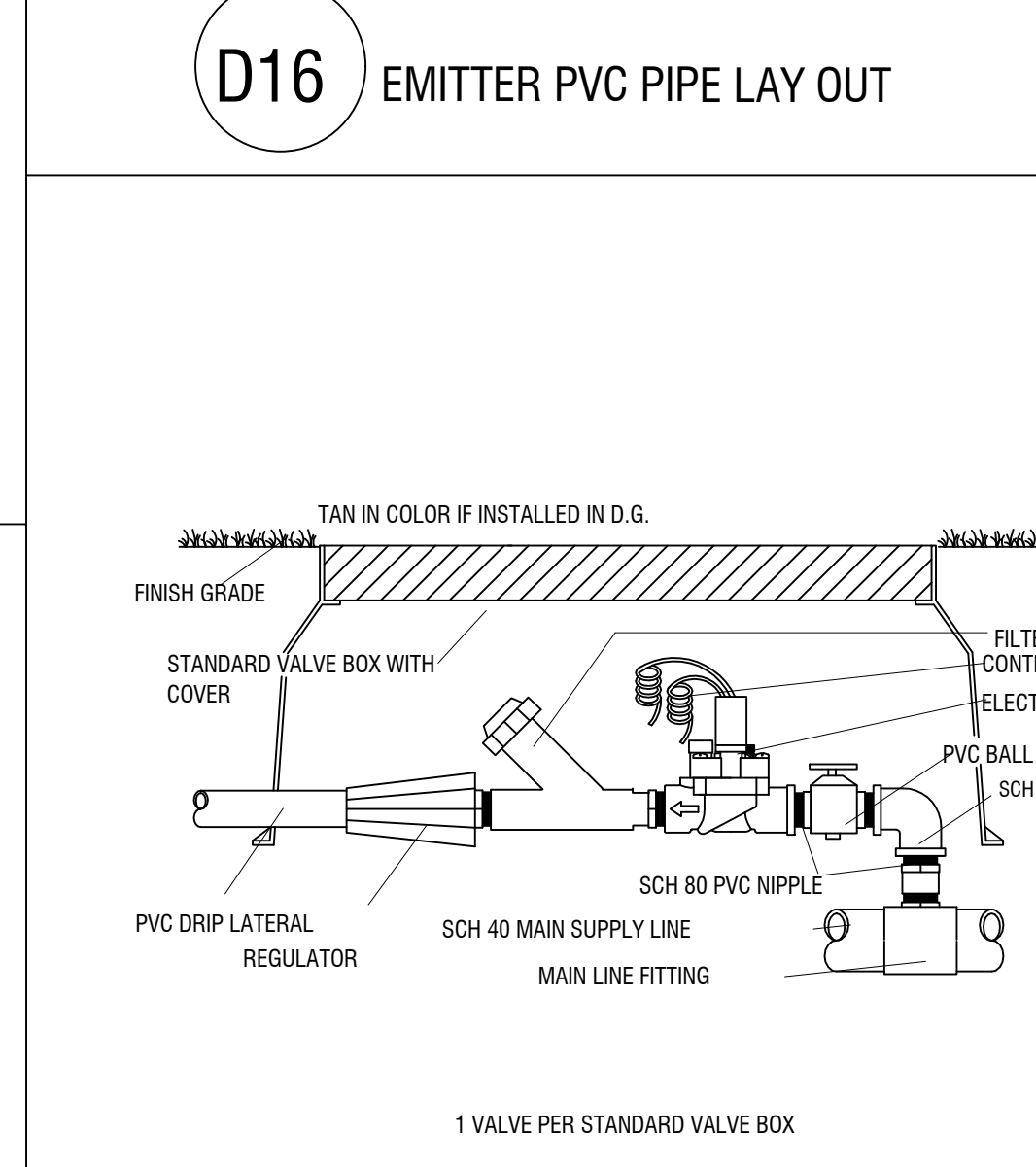
D18 MULTI EMITTER



D19 TURF VALVE



D20 FLUSH OUT



D21 DRIP VALVE

**GENERAL CONSTRUCTION NOTES**

- NOTES ARE TO BE USED FOR GENERAL REFERENCE IN CONJUNCTION WITH ALL WORK ELEMENTS SHOWN ON THE ENCLOSED PLANS.
- VERIFY CRITICAL DIMENSIONS, REFERENCE POINT LOCATIONS, CONSTRUCTION CONDITIONS OR SCALE ON PLANS PRIOR TO INITIATING WORK. NOTIFY OWNER'S SHOULD CONFLICTS ARISE.
- ANY SIDEWALKS OR HARDSCAPE LAYOUT SHOWN ON THESE PLANS IS FOR REFERENCE ONLY. REFER TO CIVIL ENGINEERING FOR HORIZONTAL AND VERTICAL CONTROL, DETAILS AND METHODS OF CONSTRUCTION. SOUTHWEST DREAMWORKS ASSUMES NO RESPONSIBILITY FOR UNFORESEEN CONFLICTS, ENGINEERING, OR INSTALLATION THAT IS BEYOND OUR CONTROL.
- WALLS AND SITE FEATURES SHOWN ON THESE PLANS ARE SCHEMATIC. FIELD VERIFY TO ACTUAL PROPERTY LINES, GRADING, UNDERGROUND CONFLICTS OR EXISTING CONDITIONS THAT MAY REQUIRE ADJUSTMENT OR INTERPRETATION TO PLAN AND DETAILS PROVIDED. SOUTHWEST DREAMWORKS ASSUMES NO RESPONSIBILITY FOR CONFLICTS THAT ARE NOT ADDRESSED IN ADVANCE OR BEYOND OUR CONTRACTUAL AGREEMENT FOR FIELD INSPECTION.
- REFER TO ENGINEERING PLANS FOR CONSTRUCTION AND GRADING CONSIDERATIONS OF THE SITE. CROSS REFERENCE WORK THAT MAY IMPACT IMPROVEMENTS SHOWN ON THESE DOCUMENTS.
- ALL CONSTRUCTION MUST CONFORM TO 2007 UNIFORM BUILDING CODE (UBC), FOR CITY OF YUMA STANDARDS
- PROVIDE SOIL TEST OF JOB SITE PRIOR TO BEGINNING WORK TO ANALYZE COMPACTION POSSIBLE CONTAMINANTS, STABILITY OF SOILS AND COMPOSITION.
- LANDSCAPE CONTRACTOR TO ACCEPT THE SITE AND ALL GRADING AT +/- 0-10'.
- CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS BEFORE CONSTRUCTION.
- CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, AND/OR FEDERAL LAWS PERTAINING TO THE PROJECT'S WORK.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL CONSTRUCTION ELEMENTS WITH OTHER TRADES PRIOR TO INSTALLATION AND BECOME FAMILIAR WITH THE LOCATIONS OF UNDERGROUND SERVICES AND IMPROVEMENTS.
- THE CONTRACTOR SHALL EXAMINE THE SITE AND FULLY DETERMINE THE CONDITIONS UNDER THIS CONTRACT. NO ALLOWANCE WILL BE MADE FOR FAILURE OF BIDDERS TO ASCERTAIN ALL ASPECTS OF THE PROJECT.
- PRIOR TO DIGGING, EXCAVATION, OR UNDERGROUND WORK, CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UTILITIES AND SUBSURFACE SYSTEMS. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR REPAIR AND EXPENSES INCURRED TO UTILITIES THAT BECOME DAMAGED AS A RESULT OF HIS WORK.
- CONTRACTOR SHALL INSPECT WITH OWNER'S REPRESENTATIVE ALL PAVEMENT, SIDEWALK AND CURB DEFECTS PRIOR TO BEGINNING WORK. ALL HARDSCAPE TO BE RE-INSPECTED DURING FINAL WALK THRU. ANY DAMAGED AREAS TO BE REPAIRED AT CONTRACTOR'S EXPENSE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE QUANTITIES AND MATERIALS REQUIRED TO COMPLETE THE WORK IN ACCORDANCE WITH SYMBOLS SHOWN ON PLANS. QUANTITIES INDICATED ARE FOR REFERENCE ONLY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING GRADES AS ESTABLISHED BY THE PROJECT ENGINEER. RUNOFF AND DRAINAGE FLOWS SHALL NOT BE ALTERED OR IMPEDED.
- THE CONTRACTOR WILL FURNISH ALL LABOR, TOOLS, EQUIPMENT, MATERIALS, EMPLOYEE, AND SUBCONTRACTOR SUPERVISION FOR ITS PORTION OF THE PROJECT TO IMPLEMENT PLANS AND SPECIFICATIONS.
- THE CONTRACTOR ASSUMES ALL RISKS IN THE PERFORMANCE OF THE WORK AND RE-RESPONSIBILITY FOR LOSS AND EXPENSE RESULTING FROM ON-SITE INJURY.
- THE CONTRACTOR IS RESPONSIBLE FOR SUPERVISION, SAFETY, ADMINISTRATION SCHEDULING, COORDINATION AND MANAGEMENT OF SUBCONTRACTORS.
- THE CONTRACTOR SHALL PROTECT ALL PERSONS NEAR OR ON THE PREMISES FROM UNREASONABLE RISK OF INJURY. PROVIDE WARNING SIGNS, LIGHTS, BARRICADES, RAILINGS, FLAG MEN OR OTHER NECESSARY SAFEGUARD.
- SOUTHWEST DREAMWORKS INSPECTIONS SHALL NOT BE DEEMED SUPERVISION OR CONTROL OF CONSTRUCTION BY CONTRACTOR OR SUBCONTRACTORS.
- ALL CONTRACTS SHALL BE WRITTEN DIRECTLY BETWEEN CONTRACTOR AND OWNER'S REPRESENTATIVE. SPECIFIC TERMS OF WORK SHALL BE NEGOTIATED DIRECTLY BETWEEN PARTIES. SOUTHWEST DREAMWORKS SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES
- ALL SUBMITTALS MUST BE APPROVED BE FOR CONSTRUCTION BEGINS

**IRRIGATION NOTES**

- CONTRACTOR TO FIELD VERIFY DRAWINGS PRIOR TO ANY INSTALLATION OR ORDERING OF MATERIALS AND NOTIFY SOUTHWEST DREAMWORKS OF ANY DISCREPANCIES BETWEEN DRAWINGS AND SITE. IF CONTRACTOR FAILS TO NOTIFY SOUTHWEST DREAMWORKS, HE ASSUMES FULL RESPONSIBILITY FOR ANY NECESSARY ALTERATIONS TO THE SYSTEM.
- ALL MATERIALS USED SHALL BE INSTALLED AS PER PLAN AND AS PER MANUFACTURE'S SPECIFICATIONS. ALL DEVIATIONS FROM DRAWINGS OR MATERIALS USED SHALL BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE DESIGNER.
- IRRIGATION SYSTEM HAS BEEN DESIGNED FOR A STATIC WATER PRESSURE OF 70 PSI.
- CONTRACTOR TO FIELD VERIFY PRESSURE PRIOR TO ORDERING MATERIALS OR STARTING ANY IRRIGATION INSTALLATION AND NOTIFY CONSULT SOUTHWEST DREAMWORKS OF ANY DIFFERENCE FROM STATED PRESSURE. IF CONTRACTOR FAILS TO NOTIFY CONSULTANT HE ASSUMES FULL RESPONSIBILITY FOR ANY SYSTEM ALTERATIONS.
- CONTRACTOM WILL NOTIFY SOUTHWEST DREAMWORKS IF BOOSTER PUMP IS NEEDED
- 120 VOLT SERVICE BY ELECTRICAL CONTRACTOR. IRRIGATION CONTRACTOR RESPONSIBLE FOR POWER CONNECTION TO CONTROLLER.
- ALL CONTROL WIRES TO BE RED, ALL COMMON WIRES TO BE WHITE UNLESS NOTED ON PLANS. ONE SET OF CONTROLLER KEYS TO BE GIVEN TO OWNER.
- ALL 24 VOLT WIRE SHALL BE #14 UFL, DIRECT BURIAL, SOLID COPPER.
- IRRIGATION CONTRACTOR RESPONSIBLE FOR ALL LANDSCAPE SLEEVEING. CONTRACTOR TO COORDINATE SLEEVEING INSTALLATION OF CONCRETE FLATWORK AND PAVING. ALL SLEEVES TO BE EXTENDED AT LEAST 1' BEYOND CONCRETE STRUCTURES.
- ALL HARDSCAPE 5'-0" OR WIDER TO BE SLEEVED.
- CONTRACTOR SHALL INSTALL ALL PIPING AND WIRING UNDER PAVED AREAS IN SLEEVES AS SHOWN ON PLANS. ALL WIRE SHALL BE SLEEVED SEPARATELY FROM PIPING.
- IRRIGATION CONTRACTOR TO VERIFY EXISTING SLEEVES (SHOWN ON IRRIGATION PLAN) INSTALLED BY OTHER CONTRACTORS. COORDINATE INSTALLATION OF ADDITIONAL SLEEVES WITH GENERAL CONTRACTOR.
- ALL IRRIGATION EQUIPMENT TO BE LOCATED IN LANDSCAPED AREAS (SOME LINES AND EQUIPMENT ARE SCHEMATIC ONLY).
- LOCATE VALVE BOXES IN DECOMPOSED GRANITE NOT IN TURF, ADJACENT TO WALKWAYS AND CURBS WHENEVER POSSIBLE.
- ALL PLANTS REQUIRING MORE THAN ONE DRIP EMITTER SHALL HAVE EMITTERS DISTRIBUTED EVENLY AROUND EDGE OF ROOTBALL, WITHIN PLANT BASIN. UNLESS NOTED ON PLANS
- EMITTERS TO BE PLACED ON UP HILL SIDE OF PLANTS ON SLOPED PLANTING AREAS.
- PRIOR TO OWNER APPROVAL, CONTRACTOR SHALL COMPLETE THE FOLLOWING: ALL IRRIGATION HEADS TO BE ADJUSTED TO THE PROPER HEIGHT. ALL SPRAY HEADS TO BE FLUSHED OF DEBRIS AND FLOW CONTROLS ADJUSTED TO ACHIEVE PROPER COVERAGE. AVOID SPRAY ON ALL HARDSCAPE AND STRUCTURES.
- IRRIGATION CONTRACTOR SHALL PROVIDE 100% HEAD TO HEAD COVERAGE IN ALL TURF AREAS AT NO ADDITIONAL COST TO THE OWNER. FIELD ADJUST HEAD LOCATIONS AS REQUIRED. ACTUAL SITE CONDITIONS MAY VARY FROM DRAWINGS AND NECESSITATE ADJUSTMENT OF HEAD LAYOUT, AREA, NOZZLE OR QUANTITIES OF HEADS.
- CONTRACTOR SHALL ADJUST THE PERFORMANCE OF THE IRRIGATION SYSTEM FOR OPTIMUM PLANT GROWTH BASED ON ACTUAL SITE CONDITIONS, INCLUDING SOIL TYPES, SLOPE OR OTHER VARIABLES THAT MAY DEVIATE FROM PROJECT PLANS. CONTACT SOUTHWEST DREAMWORKS OF ANY DISCREPANCIES BETWEEN PROJECT PLANS AND ACTUAL SITE CONDITION PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING THE INSTALLATION OF THE FULLY AUTOMATED IRRIGATION SYSTEM PRIOR TO STARTING PLANTING. IF THE IRRIGATION SYSTEM IS INTERRUPTED FOR ANY REASON THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTINUE MANUAL WATERING OF ALL PLANT MATERIAL UNTIL THE IRRIGATION SYSTEM IS FULLY OPERATIVE.
- THE CONTRACTOR SHALL PROVIDE, INSTALL AND HAVE TESTED ALL CONNECTIONS 20. DOWN STREAM OF THE WATER METER AND BACKFLOW PREVENTER.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL PIPING NECESSARY TO PROVIDE A COMPLETE AND FULLY OPERATIONAL IRRIGATION SYSTEM INCLUDING ALL SUB-LATERAL PIPING TO EACH PLANT EMITTER AS SPECIFIED AND DETAILED WHETHER OR NOT PIPING IS SHOWN ON PLANS.
- REFER TO GENERAL CONSTRUCTION NOTES ON COVER SHEET FOR ADDITIONAL CONSIDERATIONS THAT RELATE TO SCOPE OF WORK WITHIN THIS SECTION. POSSIBLE ALL ELECTRIC CONTROL VALVES TO BE LOCATED IN SERIES ALONG THE MAIN WATERLINE. ALL VALVES WILL BE IN HEAVY DUTY PLASTIC VALVE BOXES W/LIDS RAISED TO FINISH GRADE. ALL ELECTRIC VALVES SHALL BE BELOW THE SURFACE MIN. 6".
- ALL SUBMITTALS MUST BE APPROVED BE FOR CONSTRUCTION BEGINS

**LANDSCAPE NOTES**

- LANDSCAPE AREAS ARE DEFINED AS ALL NON-PAVED AREAS DISTURBED BY THIS PHASE OF CONSTRUCTION. SLIGHT VARIATIONS MAY EXIST BETWEEN ON-SITE CONDITIONS AND DRAWINGS. CONTRACTOR SHALL ADJUST PLANTING LAYOUT ONLY AS REQUIRED TO MAINTAIN PLANT QUANTITIES AND DESIGN INTENT.
- THE OWNER'S REPRESENTATIVE IS TO APPROVE ANY AND ALL SUBSTITUTIONS.
- LOCATE PLANTS AWAY FROM OBSTACLES SUCH AS FIRE HYDRANTS, TRANSFORMERS, AND LIGHT FIXTURES.
- ALL PLANT MATERIAL SHALL MEET A.N.A. SPECIFICATIONS. THE LANDSCAPE DESIGNER OR HIS REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIALS DEEMED UNACCEPTABLE.
- DOUBLE STAKE ALL SUPPLEMENTAL BOX TREES OUTSIDE ROOTBALL, SEE TREE STAKING DETAIL.
- TREES SHALL BE A MINIMUM OF 4' FROM CURB , SHRUBS SHALL BE 3' OR MORE AWAY FROM CURBS OR WALKS. REFER TO PLANS AND MAINTAIN SHRUB MASSINGS AS SHOWN AWAY FROM HARDSCAPE.
- PLANT LOCATIONS SHALL BE FLAGGED OR STAKED FOR REVIEW PRIOR TO STARTING IRRIGATION OR PLANTING EXCAVATION. MINOR RELOCATION'S SHALL BE MADE AT THIS TIME TO AVOID UNSUITABLE CONDITIONS.
- NATIVE GRANULAR SOILS SHALL BE FINE GRADED AS TOPDRESSING AND RAKED UNIFORMLY ALONG CURBS, WALKS AND WALLS.
- CONTRACTOR SHALL APPLY PRE-EMERGENT HERBICIDE (TREFLANS OR APPROVED EQUAL) IN ALL AREAS NOT CONTAINING BERMUDA GRASS, PER MANUFACTURERS RECOMMENDATION. CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO APPLICATION OF HERBICIDE.
- ALL PLANTING SHALL CONFORM TO THE HEIGHT REQUIREMENTS SPECIFIED FOR SIGHT VISIBILITY TRIANGLES. REFER TO C.O./ STANDARDS FOR SPECIFIED REQUIREMENTS. WHERE MULTIPLE JURISDICTION EXIST, THE MOST RESTRICTIVE SHALL APPLY.
- GRADE NOTED ON LANDSCAPE PLAN TO BE FIELD VERIFIED/APPROVED BY OWNER'S REPRESENTATIVE BEFORE LANDSCAPE BEGINS CONSTRUCTION.
- FEATHER AND BLEND GRADE BETWEEN CONSTRUCTION AND NATIVE AREAS FOR SMOOTH TRANSITION.
- REVIEW SALVAGE NATIVE PLANT MATERIAL INVENTORY PRIOR TO BEGINNING WORK TO VERIFY RESPONSIBILITY OF RELOCATION AND WARRANTY.
- SAGUARO SHALL BE PLANTED TO THEIR ORIGINAL SOLAR ORIENTATION WITH (2) DRIP EMITTERS (SEE DETAIL). SAGUARO SHALL BE PLANTED STRAIGHT AND DEEP ENOUGH TO REQUIRE NO BRACING. RETURN TAGS TO OWNER.
- NATIVE SALVAGED SAGUAROS SHALL BE PROTECTED FROM INJURY DURING TRANSPLANT AND SHALL BE WARRANTED FOR 6 MONTHS FROM FINAL ACCEPTANCE.
- REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT SHOWN ON DRAWINGS
- REFER TO GENERAL CONSTRUCTION NOTES BELOW FOR ADDITIONAL CONSIDERATIONS THAT RELATE TO SCOPE OF WORK WITHIN THIS SECTION.
- HYDROSEED GRASS FOR NORMAL APPLICATION WITH TACKIFIER AND PAPER MULCH. A BRYLION TYPE SEEDER MAY BE USED. SEED 3LBS/ 1,000 SQ. FT. OF HYBRID BERMUDA. IF PLANTING OCCURS BETWEEN OCTOBER 1, AND MAY 1, USE 15 POUNDS OF WINTER RYE SEED/ 1,000 SQ. FT. FOR SMALLER AREAS HAND RAKE AND COVER WITH 1/2" MULCH USE A GOOD PRE PLANT FERTILIZER, (16-20-20)
- LANDSCAPE CONTRACTOR SHALL SUBMIT PHOTOS OF ALL TREES FOR APPROVAL BY LANDSCAPE DESIGNER PRIOR TO DELIVERY.

**MAINTENANCE AND GUARANTEE**

- LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE DESIGNER OR OWNER'S REPRESENTATIVE FOUR (4) DAYS PRIOR TO COMPLETING IMPROVEMENTS IN ACCORDANCE WITH PLANS AND SPECIFICATIONS TO REQUEST AN INSPECTION FOR SUBSTANTIAL COMPLETION. LANDSCAPE DESIGNER OR OWNER'S REP. SHALL PREPARE PUNCHLIST OF ALL WORK REQUIRING CORRECTION. MAINTENANCE PERIOD TO BEGIN WHEN ALL PUNCHLIST ITEMS ARE CORRECTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING LANDSCAPE AREA FOR 60 CALENDAR DAYS OR AS SPECIFIED BY CONTRACT. MAINTENANCE INCLUDES ADJUSTING WATER SCHEDULES, WEEDING, REMOVING DEBRIS FROM LANDSCAPE, RAKING, SPRAYING, FERTILIZING, TRIMMING, OR OTHER OPERATIONS ESSENTIAL FOR CARE, UPKEEP AND PROJECT APPEARANCE.
- CONTRACTOR SHALL NOTIFY OWNER A MINIMUM OF ONE (1) WEEK PRIOR TO MAINTENANCE PERIOD END TO RESOLVE ANY OUTSTANDING ISSUES. A FINAL INSPECTION SHALL OCCUR TO REVIEW THE PROJECT AND ISSUE A FINAL ACCEPTANCE. (PROVIDE 7 DAYS NOTICE).
- PLANTS NOT IN HEALTHY CONDITION THROUGHOUT THE WARRANTY PERIOD SHALL BE REMOVED AND REPLACED AT NO COST TO THE OWNER.
- PROVIDE ONE YEAR(FROM ACCEPTANCE DATE) WARRANTY FOR THE IRRIGATION SYSTEM.

1846 S. 8th AVENUE 928-329-0000 TEL  
YUMA, AZ. 85364 928-247-4232 FAX  
V@vegaandvega.com



SPECIFICATIONS  
BIENESTAR ESTATES 10



Scale: N.T.S. Date: 4/18/19  
Drawn: staff Job #:  
Checked: vna

Sheet  
L1.4



March 14, 2019

**SUBDIVISION CASE NUMBER: 2019-0114F**

**CASE SUMMARY:** A request by Vianey Vega, Vega and Vega Engineering, P.L.C., on behalf of Comite de Bienestar Inc., property owner, for the final plat approval for Bienestar Estates 10 Subdivision. This subdivision will contain approximately 40.91 acres and is proposed to be divided into 163 lots and 2 tracks. The lots ranging in size from approximately 6,002.76 square feet to 10,150.51 square feet. Assessor's Parcel No. 227-15-001 located southeast of intersection of Avenue F and County 24<sup>th</sup> Street, San Luis, Arizona.

**PUBLIC MEETING: April 9, 2019**

**COMMENTS DUE: March 21, 2019**

Your comments on this case will help us prepare an accurate and timely staff report. Your comments on this case will be inserted "as is" into the staff report with your name, department, and telephone number, should the applicant have any questions. Your comments are a public record and will be available to the public, media, and the applicant, in addition to the Commission hearing this case. Please complete the section below and return via e-mail. For additional information please contact the Planning and Zoning Department at (928) 341-8563 or at [P&Z@cityofsanluis.org](mailto:P&Z@cityofsanluis.org).

Thank you,

Jose A. Guzman  
Director of Planning and Zoning  
Attachment: Location Map, & Final Plat

COMMENTS       NO COMMENTS

**Enter Comments below:**

Site is potential habitat for western burrowing owls (*Athene cunicularia*) and flat-tailed horned lizards (*Phrynosoma mcallii*). The Department recommends, if not already done so, using the free Environmental Review Tool found at <https://azhgis2.esri.com> as an aid in project planning for identifying potential impacts on resources of special concern which may be present in or near the project area.

**Date:**

03/15/2019

**Agency:**

Arizona Game and Fish Department

**Phone:**

(928) 341-4069

**Return to:** [P&Z@cityofsanluis.org](mailto:P&Z@cityofsanluis.org)



# City of San Luis

## Planning & Zoning Department

Development Services • GIS • Building Safety • Code Enforcement

February 13, 2019

Vianey R. Vega, P.E.  
Vega & Vega Engineering, PLC  
1846 S. 8<sup>th</sup> Avenue  
Yuma, Arizona 85364

RE: Subdivision Case No. 2019-030P/Bienestar Estates 10  
SE Corner of Avenue F and County 24<sup>th</sup> Street

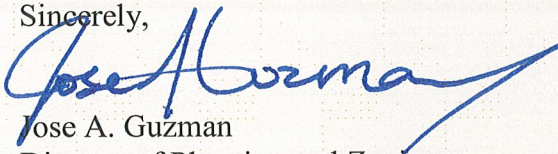
Dear applicant,

This is to inform you that on February 13, 2019, your request for a Preliminary Plat approval to allow the construction of a residential subdivision, Bienestar Estates 10, to be located on the southeast corner of Avenue F and County 24<sup>th</sup> Street, Assessor's Parcel Number 227-15-001, was approved by the Planning and Zoning Commission.

Submittal of Final Plat must comply with all adopted regulations of the City of San Luis and the conditions of approval of the Preliminary Plat.

If you have any questions regarding this letter please feel free to contact me at (928) 341-8563 or [jaguzman@cityofsanluis.org](mailto:jaguzman@cityofsanluis.org)

Sincerely,



Jose A. Guzman  
Director of Planning and Zoning

CC: Comite De Bienestar Inc. AZ Corp.- Property Owner



# City of San Luis

## Planning & Zoning Department

Development Services • GIS • Building Safety • Code Enforcement

February 11, 2019

Vianey R. Vega, P.E.  
Vega and Vega Engineer, PLC  
1846 S. 8<sup>th</sup> Avenue  
Yuma, AZ 85365

Re: Subdivision Case No. 2019-030P/Bienestar Estates 10

City staff has reviewed the preliminary plat for Bienestar Estates 10 Subdivision and have the following comments:

### City Engineer:

#### Preliminary Plat –

1. The parcel to be subdivided is a part of an about 160 acre parcel. Is a lot split or other action needed to create the parcel to be subdivided?
2. What is the intended purpose and intended zoning of Tract B?
3. Show and label with recording information the existing right-of-ways along county 24<sup>th</sup> Street and Avenue F.
4. The northwest corner of Section 15 is shown as a PK nail but previous surveys (for example Santa Cecilia subdivisions) show it as a GLO brass cap or a set rebar. Please verify. (Comment for final plat.)

Also note that a stray "C1/4 callout" is located under the Lot Areas Table.

#### Paving and Grading Plan -

1. Is the pavement along County 24<sup>th</sup> Street suitable for sawcutting and matching or is it in need of repaving?
2. How will County 24<sup>th</sup> Street be drained?
3. San Fernando Street is very close to the minimum street grades. Can the grade be increased. Will additional storm drainage facilities be needed along it?
4. Street lighting and retention basin and parkway landscaping will be required.
5. Avenue F and County 24<sup>th</sup> Street should be treated as minor arterials for paving, 4" AC/12" ABC per City of Yuma Std. 2-020.
6. 19<sup>th</sup> Avenue and San Fernando Street, as residential collector streets, should have a pavement section of 3" AC/10" ABC.

#### Water and Sewer Plans –

1. As Avenue F is a section line road, the water line in it should be 12-inch diameter.
2. 3 sewer cleanouts are shown. Is this acceptable to Public Works? The 2 cleanouts at Emmanuel and San Gabriel can be combined into a common manhole.

3. Provide water and sewer stubouts for future development as needed.

**Public Works Department:**

1. All improvements and right of way layout shall be per City of San Luis standards unless deviation is specifically discussed and approved.
2. Avenue F is a section line road so we should get a 12" water line
3. Interior visibility triangles need to be 25'x25' if easements no longer will be allowed.

**Planning and Zoning Department:**

1. Tract B shall either be labeled as a "Lot" or specify the use of the tract.
2. This is part of a parcel, show how this part will be divided. Either by lot split or showing the whole parcel as part of the plat.
3. Protective Fence as per §3.22 of the Subdivision Regulations must comply with City Code §152.219
4. Submit complete subdivision landscape plans (R.O.W. and Retention) at the same time as final plat- refer to City Code §152.295 through §152.300 for Landscape Regulations.
5. Subdivision development plan is required when the subdivision is developed in phases as per Subdivision Regulations §4.4(1)
6. Applicant must submit signed petitions for the creation of Improvement Districts as per Subdivision Regulations §3.17-5 to §3.17-7
7. Proposed street names must comply with the City of San Luis Roadway Naming and Addressing Policy.
8. It is recommended that retention basins be located in a centralized location to make it easily accessible within the neighborhood as recommended in the Open Space Element of the City of San Luis General Plan.

Please be advised that the comments made here are tentative in nature. Until all documentation, information, and drawings are submitted and approved in final form, and all permits for construction are approved and issued, the City of San Luis reserves the right to make further comments or require further information or submissions. Any construction which occurs prior to issuance of proper permits is occurring in contravention of the ordinances of the City, and is occurring at the risk of the Developer.

If you have any questions on these comments, please contact the Planning and Zoning Department at 928-341-8563.

Thank you,



Jose A. Guzman  
Director of Planning and Zoning



# City of San Luis

## Planning & Zoning Department

Development Services • GIS • Building Safety • Code Enforcement

February 11, 2019

Vianey R. Vega, P.E.  
Vega and Vega Engineer, PLC  
1846 S. 8<sup>th</sup> Avenue  
Yuma, AZ 85365

Re: Subdivision Case No. 2019-030P/Bienestar Estates 10

City staff has reviewed the preliminary plat for Bienestar Estates 10 Subdivision and have the following comments:

### City Engineer:

#### Preliminary Plat –

1. The parcel to be subdivided is a part of an about 160 acre parcel. Is a lot split or other action needed to create the parcel to be subdivided? **LOT SPLIT HAS BEEN PROVIDED**
2. What is the intended purpose and intended zoning of Tract B? **COMMERCIAL USE**
3. Show and label with recording information the existing right-of-ways along county 24<sup>th</sup> Street and Avenue F. **R.O.W. INFORMATION PROVIDED IN FINAL PLAT**
4. The northwest corner of Section 15 is shown as a PK nail but previous surveys (for example Santa Cecilia subdivisions) show it as a GLO brass cap or a set rebar. Please verify. (Comment for final plat.) **NORTHWEST CORNER OF SECTION 15 IS A 1/2" REBAR L.S. 22767**

Also note that a stray "C1/4 callout" is located under the Lot Areas Table. **REMOVED**

#### Paving and Grading Plan -

1. Is the pavement along County 24<sup>th</sup> Street suitable for sawcutting and matching or is it in need of repaving? **YES, SAWCUT AND MATCH TO PREVIOUS ROAD WORK AS NORTH DEVOLPMENT DID**
2. How will County 24<sup>th</sup> Street be drained? **DRAIN TO RETENTION BASIN #2**
3. San Fernando Street is very close to the minimum street grades. Can the grade be increased. Will additional storm drainage facilities be needed along it? **SEE FINAL DESIGN IN FINAL P&G PLAN**
4. Street lighting and retention basin and parkway landscaping will be required. **LIGHTS HAVE BEEN PROVIDED IN P&G PLAN. LANDSCAPING PLANS ARE BEEN DESIGN THEY WILL BE DIFFERED SUBMITTAL**
5. Avenue F and County 24<sup>th</sup> Street should be treated as minor arterials for paving, 4" AC/12" ABC per City of Yuma Std. 2-020. **PROVIDED IN P&G DETAILS**
6. 19<sup>th</sup> Avenue and San Fernando Street, as residential collector streets, should have a pavement section of 3" AC/10" ABC. **PROVIDED IN P&G DETAILS**

#### Water and Sewer Plans –

1. As Avenue F is a section line road, the water line in it should be 12-inch diameter. **PROVIDED IN W&S PLANS**
2. 3 sewer cleanouts are shown. Is this acceptable to Public Works? The 2 cleanouts at Emmanuel and San Gabriel can be combined into a common manhole. **COMBINED TO SINGLE MANHOLE (#7)**

3. Provide water and sewer stubouts for future development as needed. PROVIDED IN W&S PLANS

**Public Works Department:**

1. All improvements and right of way layout shall be per City of San Luis standards unless deviation is specifically discussed and approved. IMPROVEMENTS PER CITY OF SAN LUIS STANDARDS
2. Avenue F is a section line road so we should get a 12" water line PROVIDED IN W&S PLANS
3. Interior visibility triangles need to be 25'x25' if easements no longer will be allowed. SIGHT TRIANGLES PROVIDED

**Planning and Zoning Department:**

1. Tract B shall either be labeled as a "Lot" or specify the use of the tract. USE PROVIDED: COMMUNITY COMMERCIAL C-2
2. This is part of a parcel, show how this part will be divided. Either by lot split or showing the whole parcel as part of the plat. LOT SPLIT HAS BEEN PROVIDED
3. Protective Fence as per §3.22 of the Subdivision Regulations must comply with City Code §152.219 PROPOSED WALLS IN COMPLIANCE
4. Submit complete subdivision landscape plans (R.O.W. and Retention) at the same time as final plat- refer to City Code §152.295 through §152.300 for Landscape Regulations. LANDSCAPING PLANS ARE BEEN DESIGN THEY WILL BE DIFFERED. SUBMITTAL
5. Subdivision development plan is required when the subdivision is developed in phases as per Subdivision Regulations §4.4(1) AT THIS TIME ONLY 40 AC. HAVE BEEN ACQUIRED FROM ORIGINAL OWNER THE LOT SPLIT SHOWS THE REST OF THE LAND AS ONE PARCEL
6. Applicant must submit signed petitions for the creation of Improvement Districts as per Subdivision Regulations §3.17-5 to §3.17-7 PETITIONS WILL BE SUBMITTED PRIOR PLAT RECORDATION
7. Proposed street names must comply with the City of San Luis Roadway Naming and Addressing Policy. COMMENT ACKNOWLEDGE: CITY TO PROVIDE STREET NAMES TO BE USED
8. It is recommended that retention basins be located in a centralized location to make it easily accessible within the neighborhood as recommended in the Open Space Element of the City of San Luis General Plan. DUE TO THE NATURAL TERRAIN CONDITIONS, BASIN HAS BEEN LOCATED IN THE SW CORNER.

Please be advised that the comments made here are tentative in nature. Until all documentation, information, and drawings are submitted and approved in final form, and all permits for construction are approved and issued, the City of San Luis reserves the right to make further comments or require further information or submissions. Any construction which occurs prior to issuance of proper permits is occurring in contravention of the ordinances of the City, and is occurring at the risk of the Developer.

If you have any questions on these comments, please contact the Planning and Zoning Department at 928-341-8563.

Thank you,



Jose A. Guzman  
Director of Planning and Zoning



# City of San Luis

## Development Services

May 7, 2019

Vianey R. Vega, P.E.  
Vega and Vega Engineer, PLC  
1846 S. 8<sup>th</sup> Avenue  
Yuma, AZ 85365

Re: Subdivision Case No. 2019-0114F/Bienestar Estates 10

City staff has reviewed the final plat for Bienestar Estates 10 Subdivision and have the following comments:

### **City Engineer:**

#### **Final Plat –**

1. The title of the plat should be revised to reference it being a subdivision of “Parcel A of the Bienestar Estates 10 Lot Split” (which is different than the NW1/4 of the NW1/4 of 15.)
2. Install a type 4-080 subdivision monument at the northwest corner of Section 15. This was previously shown as a brass cap on the Santa Cecilia Phase 1 subdivision but apparently is only now a ½” rebar (?) and if so needs to be replaced with a proper monument.
3. A drainage easement will be required on Tract B for the County 24<sup>th</sup> Street and Avenue F stormwater runoff. (It is understood that the proposed retention basin will be temporarily located and will be privately maintained but an easement of some type needs to be provided giving the City the right to drain the streets to the private retention basin.)

#### **Improvement Plans -**

- Cover Sheet
  1. Under General Construction Notes replace note 8 with a note referring to the current City of San Luis Standards (City of Yuma Standard Details, MAG Specifications, City of San Luis Supplement.)
- Paving and Grading Plan
  1. Update topography to show existing County 24<sup>th</sup> Street improvements for the Santa Celia subdivision.
  2. Retention basin and parkway landscaping will be required.
  3. Provide signing and striping plans for County 24<sup>th</sup> Street and Avenue F.
  4. Provide roadway and striping detail for the Avenue F and County 24<sup>th</sup> Street intersection, including a pavement transition for the existing southbound traffic on Avenue F to the new roadway section of Avenue F.
  5. Provide a transition along County 24<sup>th</sup> Street east of 19<sup>th</sup> Street to taper east bound traffic to the existing 2-lane street section.
  6. The profile of County 24<sup>th</sup> Street is significantly different than the design profile for Santa Cecilia. Roadway grades should be symmetrical.
  7. Provide profile drawings for both County 24<sup>th</sup> Street and Avenue F (arterial streets.) Crown transitions to residential streets should not extend into County 24<sup>th</sup> or Avenue F.

8. Drainage Report – Provide full drainage report including street flow capacities and sizing of retention basin spillways.
- Paving and Grading Details
    1. Replace all Yuma County Standard Details with currently adopted City of San Luis Details (from the City of Yuma Standard Details and the City of San Luis Supplement.) Note – If the Details used are per the adopted standards, they do not need to be redrawn on the plans.
    2. Street lights will be current City of San Luis requirements and will be supplied and installed by APS (the developer shall enter into an agreement with APS for the street lighting system.)
    3. City of Yuma Standard 2-050 for residential street requires 40' from face of curb to face of curb and also 6" of ABC.
  - Water and Sewer Plans
    1. Keynote 6 appears to be the 8" water valve (not keynote 3.)
    2. Check minimum cover over sewer line at Sta. 2+00 of San Gabriel Street.

**Public Works Department:**

Plat

1. Non-access easement along community commercial tract.
2. Update dedication language to tract being dedicated to the City.

Improvement Plans

1. Avenue F is an arterial road and does not allow cross gutters. Reference City of San Luis Standards. Please review if San Fernando is allowed to have a valley gutter.
2. Avenue F and Co. 24<sup>th</sup> St. are arterial roads. Plans show grade changes of more than .5% at grade breaks that will require vertical curves to assure smooth travel at arterial road speeds.
3. Include proper signing, use of barricades, and pavement transitions were roadway/lanes end.
4. Final street lighting design to be reviewed with APS. It will most likely require some additional lighting along Co. 24<sup>th</sup> St.
5. Residential collector cross section requires a 5' sidewalk.
6. To avoid confusion, please eliminate the roll to vertical curb transition.
7. Include installation of bollards at spillways to prevent vehicles from driving into retention basin.
8. Plan wall improvements to provide adequate sight distance. Use City of Yuma Standard 3-400.
9. Use blue and white colors on a 6" wide sheet for street name signs.

-Water and Sewer

1. We can eliminate one of the two water valves at the knuckle next to the retention basin. Same for valves at knuckle near lot 31.
2. On retention basin, move water service to the east near lot 156.
3. On retention basin, will coordinate with parks to see if they need a sewer service for future restrooms.

**Planning and Zoning Department:**

1. Under DEDICATION, please change the language to that Tract "A" is dedicated to the City of San Luis instead of to the public.
2. Signatures must read Director of Planning and Zoning instead of Director of Development Services.
3. Provide non-access easement along the back of lots adjoining the commercial tract.

4. Provide non-access easement on lot 11 along San Marcos Street. Please include the 10'X10' triangle in accordance with City Code Section 152.219(F) as lot 11 is a corner lot contiguous to lot 10 which is considered a key lot.
5. Provide non-access easement on lot 163 in the same manner as lot 157.
6. As per Section 4.3.30, owner's name and assessor's number of adjoining parcels must be shown.
7. As per City Code §152.297(C)(3) a 20 feet landscaped buffer area is required between a residential and a Community Commercial (C-2) development. Provide an easement for landscape on Tract B for future commercial development.
8. As per Subdivision Regulations Section 5.3.3, lots containing one acre or more shall show net acreage to the nearest hundredth of an acre.
9. As per Subdivision Regulations Section 5.3.11, current zoning of all adjacent property must be shown.
10. Protective Fence is required along the perimeter of the subdivision as per Section 3.22 of the Subdivision Regulations. There is a fence gap on the south of the retention where the spillway is located, a catch basin will be more appropriate.
11. Protective Fence is required between the retention basin and lot 156. It must comply with the height requirements within the front setbacks as per City Code §152.219.
12. Protective Fence as per §3.22 of the Subdivision Regulations must comply with the height within the front setbacks in accordance with City Code §152.219. Lot 1, 23, 24, 39, 40, 73, 74, 107, 108, 141, and 142.
13. Subdivision development plan is required when the subdivision is developed in phases as per Subdivision Regulations §4.4(1).
14. Proposed street names must comply with the City of San Luis Roadway Naming and Addressing Policy.
15. As per Section 3.21.11, A retention basin, to become dedicated to the City, shall be located adjacent to minor collector and the design of the basin shall be coordinated with the City Engineer or Public Works Director. As per our meeting the Public Works Director did not consider the adjacent streets to be collectors and agreed with the location of the retention.
16. As per Subdivision Regulations Section 3.25.1, 5' minimum sidewalk along collector streets are required.
17. As per City Code §152.078(E)(7), all residential development, at the time of subdivision development... shall provide the minimum net acreage of open space. Open space required for this subdivision is 5%. Please provide calculation of open space provided.
18. As per City Code Section 152.297(A)(1), required landscaping for a subdivision development shall include... the adjacent public right-of-way as required in Section 152,298 of the City Code. Landscape plans for the adjacent right-of-way shall be submitted in accordance with City Code Section 152.300.
19. Comply with Subdivision Regulations Section 5.3.12
20. Bonds or Assurances shall be submitted in accordance with Subdivision Regulations Section 6.2
21. Submit Evidence of Title as per Section 5.1.8.D of the Subdivision Regulations.
22. Comply with Subdivision Ordinance Section 5.1.8.A- protective covenants.

**Parks and Recreation Department:**

1. Irrigation: Recommend not using Bowsmith or Railbird 2 GPH emitters. Have a lot of issues with these brands (pugging up). Request to use Hunter Emitters.
2. Landscape: Only two Sisso instead of 4 on northwest corner of retention. Please center. Not recommended using Willow or Eucalyptus. Request Sisso and Bottle trees options and planting them every 25 feet. Decrease amount of trees if space doesn't allow. Recommend that they provide some kind of assurance on the grass covering the entire area. Have issue with spots in the past when accepting the retention area. Request warranty period of 6 months for trees and shrubs.
3. Request that spillways are following regulations and approved by the City.
4. Requesting the retention to be at a centralized location of sub-division for easier access and utilize better for residents.

Please be advised that the comments made here are tentative in nature. Until all documentation, information, and drawings are submitted and approved in final form, and all permits for construction are approved and issued, the City of San Luis reserves the right to make further comments or require further information or submissions. Any construction which occurs prior to issuance of proper permits is occurring in contravention of the ordinances of the City, and is occurring at the risk of the Developer.

If you have any questions on these comments, please contact the Planning and Zoning Department at 928-341-8563.

Thank you,



Jose A. Guzman

Director of Planning and Zoning



## PLANNING & ZONING AGENDA ITEM REVIEW FORM

### Planning & Zoning Commission Meeting

5.B.

**Meeting Date:** 05/14/2019

**Submitted By:** Jose A. Guzman, Director of Planning & Zoning, Planning & Zoning Department

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#### ITEM:

Presentation followed by discussion on any and all matters regarding the General Plan Update process.

#### SUMMARY:

The City of San Luis has started the planning process for the general plan update.

A General Plan is a policy document that details the vision and goals for the City of San Luis and outlines the steps necessary to achieve that vision. This plan guides future decisions regarding physical, social, and economic character of the City.

General Plan Update San Luis 204 process will be implemented with the assistance of Matrix Design Group, Inc.

#### RECOMMENDED MOTION:

**Discussion item only, no action.**

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#### Attachments

Matrix Design Group Presentation

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# City of San Luis Community Meeting #1



May 15, 2018



# City of San Luis



## Welcome Introductions

What is a  
General Plan?  
Interactive Exercise

Project  
Information

Roles &  
Goals

Workshop  
Exercises

- **City Planning and Zoning Staff**
  - Jose Guzman, Director of Planning and Zoning
  - Roman Pacheco, Planning Technician
  
- **Consultant**
  - Matrix Design Group
    - Felipe Zubia
    - Martin Scribner
    - Stephen Werner
  - Wilson and Co.
    - Dan Marum
  - Elliott D. Pollack and Co.
    - Leopoldo Velazquez

# Agenda



**Welcome  
Introductions**

What is a  
General Plan?  
Interactive Exercise

Project  
Information

Roles &  
Goals

Workshop  
Exercises

1. What is a General Plan?
2. Project Information
  - Project Scope
  - Major Milestones
  - Public Involvement
3. Your Role and Next Steps
  - Communications
  - Questions and Answers
4. Meeting Exercises

# Matrix Experience

## Arizona

- Buckeye General Plan
- Glendale General Plan
- Globe General Plan
- Marana General Plan
- Peoria General Plan
- Scottsdale General Plan

## Nationwide

- San Luis Obispo, CA General Plan
- Newport, RI General Plan
- Glenview, IL Comprehensive Plan
- Lake County, CA General Plan
- San Antonio, TX North Sector Plan
- Stapleton Airport, CO Redevelopment Plan



# WHAT IS A GENERAL PLAN?

INTERACTIVE EXERCISE



# Interactive Participation

## Instructions

1. Presenter will announce polling is open.
2. Press the number / letter that corresponds with the answer you wish to select.
3. Change your mind? Just click the right one. Your last push will count.
4. Presenter will close the polling and you will see results from all participants.



## Q1. How long have you lived in San Luis?

- A. < 1 year
- B. 1-5 years
- C. 6-10 years
- D. 11-20 years
- E. > 20 years
- F. Don't live in San Luis



## Q2. Are you familiar with the San Luis General Plan?

- A. Yes
- B. No



# Planning Hierarchy



# What is a General Plan?

Welcome &  
Introductions

**What is a  
General Plan?**  
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Exercises

- The General Plan is:
  - Long Term
  - Comprehensive
  - General
- Provides:
  - Vision for the future
  - Guidance through goals, policies and programs for:
    - Existing Neighborhoods
    - New Growth
    - City Investment

# General Plan 3 Components

Welcome & Introductions

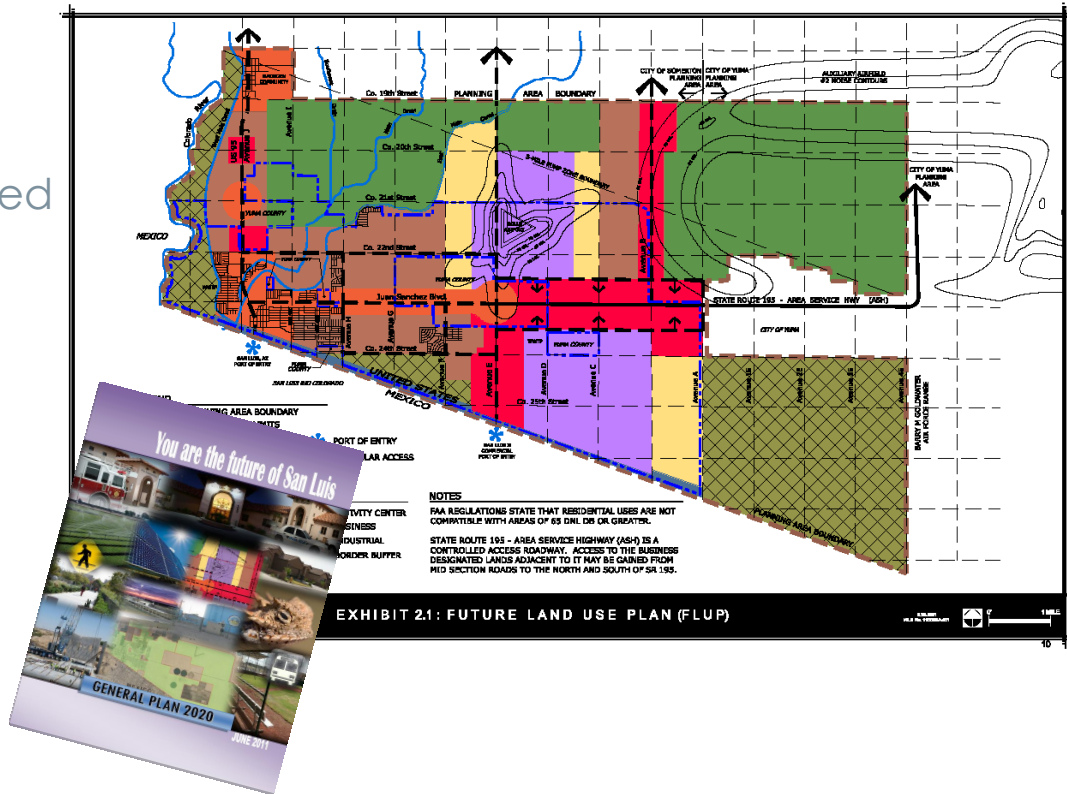
**What is a General Plan?**  
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Workshop Exercises

- Land Use Diagram:
  - Shows the desired future land use pattern for the City



# General Plan 3 Components

Welcome & Introductions

**What is a General Plan?**  
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Workshop Exercises

- Policy Document:
  - Goals and policies that guide decision making

VIEW TO 2040

## 4.2 Goals and Policies

---

<b>Goal ED-1</b>	<b>The County has a diverse and strong local economy that sustains long-term prosperity for residents and businesses.</b>
	<b>ED-1.1</b> The County should ensure that water infrastructure is sufficient in urbanized areas to support the needs and growth of businesses and industry.
	<b>ED-1.2</b> The County should identify available and appropriate incentives to encourage business attraction.
	<b>ED-1.3</b> The County should encourage development of businesses and industries oriented toward differing segments of the marketplace.
	<b>ED-1.4</b> The County should consider developing a business retention program.
	<b>ED-1.5</b> The County should work cooperatively with cities, Meade County, and other local and regional economic development entities, such as South Dakota Ellsworth Development Authority (SDEDA), to expand and improve the economic base of the Pennington County.

# General Plan 3 Components

Welcome & Introductions

**What is a General Plan?**  
Interactive Exercise

Project Information

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Workshop Exercises

- Implementation Plan:
  - Provides an action plan (what, who, when)
  - Needs to be based on reality (resources) and urgency (priority)

## Implementation

### 5.1 Implementation Actions

Plans are of little value unless they lead to action. To help move the General Plan from the role of guidance to implementation, the City has identified a set of actions it will carry out over the next twenty years to accomplish the goals and policies included in this General Plan.

This section utilizes a table format to help outline the implementation actions included in this General Plan. A guide to reading this table is provided below and illustrated on Figure 5-1.

Figure 5-1. How to Read the Implementation Program

Action Number	Implementation Action	Relevant Goal	Short Term	Mid Term	Long Term	On-going
Land Use						
1.	Prepare a specific area plan for the Buckeye Airport Employment Activity Center in close coordination with Luke AFB.	Goal G-5 Goal G-8		■		

**Action Number:** Action number (numbered by theme).

**Implementation Action:** Specific action to be taken to implement the relevant goal.

**Relevant Goal:** The goals supported by the given Action.

**Timeframe:** Year in which each action should be completed.
 

- Short (1-5 years)
- Mid (5-10 years)
- Long (11 or more years)
- On-going

 Some items can have both a number of years and be on-going as well.

# Arizona Requirements

Welcome &  
Introductions

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- Arizona State Law  
(Arizona Revised Statutes (ARS) Title 9, Chapter 4, Article 6)
  - Update every 10 years
  - 7 General Plan elements required for cities and towns with a population less than 50,000 people

# General Plan 3 Components

Welcome &  
Introductions

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- San Luis's current General Plan.
  - Last updated in 2011
- The current General Plan has **15** elements
  - 7 State required elements
  - 8 Other elements (elective or non-required)



# Basic Content Requirements

## General Plan Elements

Existing Elements	2040 Elements
<ul style="list-style-type: none"> <li>• Land Use</li> <li>• Open Space</li> <li>• Environmental Planning</li> <li>• Water Resources</li> <li>• Public Buildings</li> <li>• Conservation, Rehabilitation and Redevelopment</li> <li>• Energy</li> <li>• Neighborhood Preservation and Revitalization</li> <li>• Circulation</li> <li>• Growth Area</li> <li>• Public Services and Facilities/Cost of Development</li> <li>• Conservation</li> <li>• Housing</li> <li>• Safety</li> <li>• Economic Development</li> </ul>	<ul style="list-style-type: none"> <li>• Land Use</li> <li>• Open Space</li> <li>• Environmental Planning</li> <li>• Water Resources</li> <li>• Recreation</li> <li>• Public Buildings</li> <li>• Conservation, Rehabilitation, and Redevelopment</li> <li>• Energy</li> <li>• Neighborhood Preservation &amp; Revitalization</li> <li>• Circulation</li> <li>• Growth Area</li> <li>• Cost of Development</li> <li>• Conservation</li> <li>• Public Services &amp; Facilities</li> <li>• Housing</li> <li>• Safety</li> <li>• Bicycling</li> <li>• Economic Development</li> <li>• Arts and Culture</li> </ul>

### Q3. What are the top 3 things you LIKE about San Luis? (select up to 3)

- A. Housing
- B. Rural Living
- C. Shopping / Dining
- D. City services/amenities
- E. Walkability
- F. Outdoor open spaces, trails
- G. Community spaces (indoor/outdoor)
- H. Cross border access
- I. Jobs
- J. Other



## Q4. What are the top 3 things that need to be improved? (select up to 3)

- A. Housing
- B. Rural Living
- C. Shopping / Dining
- D. City services/amenities
- E. Walkability
- F. Outdoor open spaces, trails
- G. Community spaces  
(indoor/outdoor)
- H. Cross border access
- I. Jobs
- J. Other



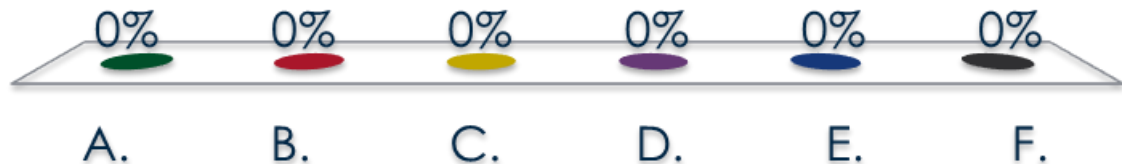
## Q5. How would you rate the quality of housing in San Luis?

- A. Very good
- B. Above average
- C. Average
- D. Below average
- E. Lacking
- F. Don't know / Not sure



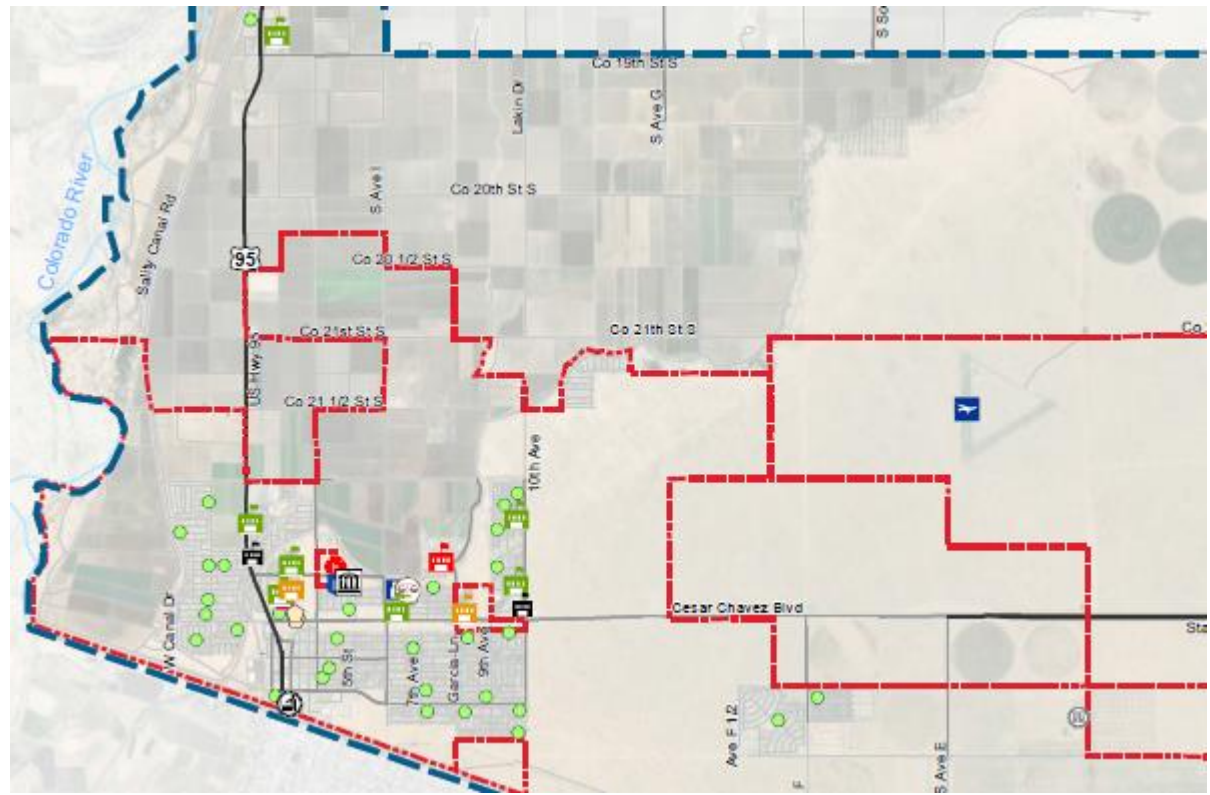
## Q6. How would you rate the availability of housing in San Luis?

- A. Very good
- B. Above average
- C. Average
- D. Below average
- E. Lacking
- F. Don't know / Not sure



# Park Facilities

● Park facility



## Q7. How would you rate San Luis park facilities overall?

- A. Very good
- B. Above average
- C. Average
- D. Below average
- E. Lacking
- F. Don't know / Not sure



## Q8. Do the park facilities have the amenities you desire?

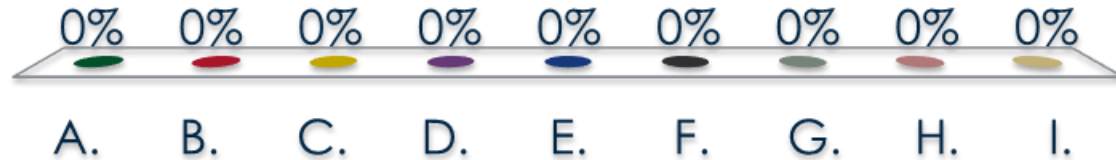
A. Yes

B. No



Q9. If no to the previous question, what amenities should be added?  
(select up to 3)

- A. Slides and Swings
- B. Baseball/softball fields
- C. Splash pads
- D. Pool
- E. Soccer field
- F. Basketball court
- G. Grass areas
- H. Picnic areas
- I. Other



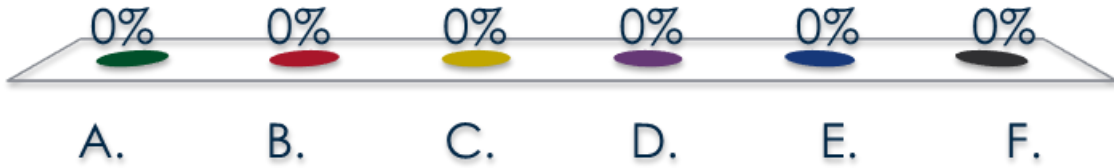
## Q10. How would you rate the quality of San Luis recreation programs?

- A. Very good
- B. Above average
- C. Average
- D. Below average
- E. Lacking
- F. Don't know / Not sure



# Q11. How would you rate the quality of pedestrian pathways and walkways?

- A. Very good
- B. Above average
- C. Average
- D. Below average
- E. Lacking
- F. Don't know / Not sure



## Q12. Where do you shop for groceries and everyday items? (select up to 3)

- A. San Luis
- B. Yuma
- C. Mexico
- D. Somerton
- E. All of the above
- F. Other



## Q13. Do you shop in Mexico?

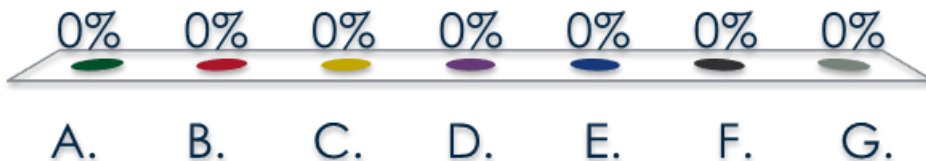
A. Yes

B. No



## Q14. If yes, what do you shop for? (select up to 3)

- A. Clothing
- B. Appliances
- C. Automotive parts and services
- D. Medical products and services
- E. Dining and entertainment
- F. All of the above
- G. Other



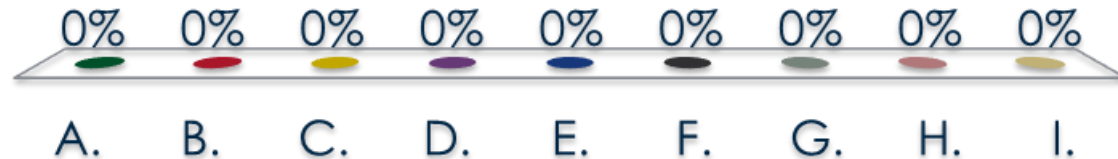
## Q15. San Luis best ASSET for the future is?

- A. Agriculture/western heritage
- B. Existing and future transportation corridors
- C. Schools
- D. Natural Environment
- E. Parks and Open Spaces
- F. Quality of Life
- G. Opportunities for Growth and business development
- H. Housing
- I. Cross border access
- J. Other



## Q16. What is the biggest THREAT to the future of San Luis?

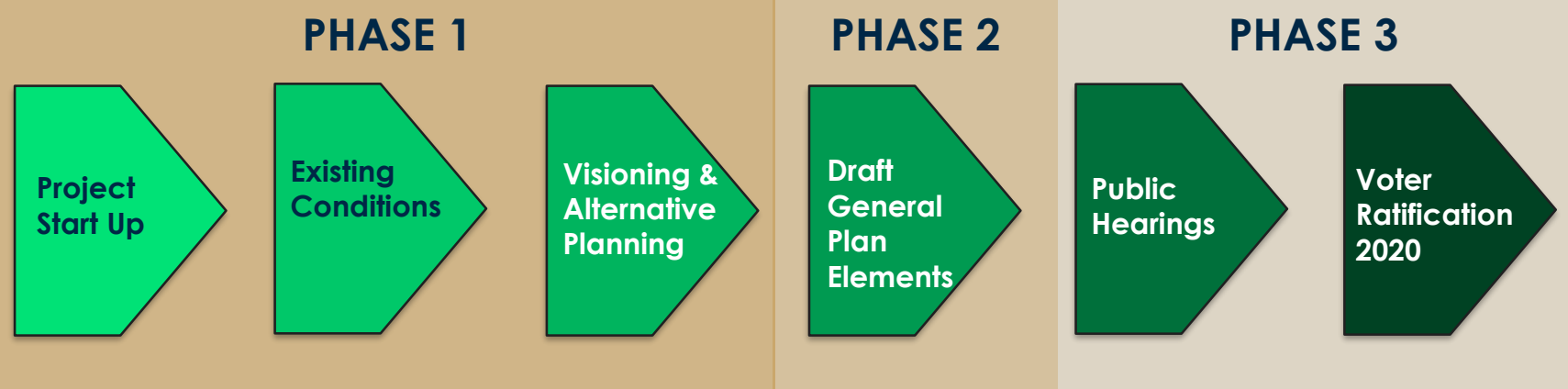
- A. Loss of agriculture/western heritage
- B. Lack of shopping/dining and entertainment
- C. Lack of jobs
- D. Poor city services/amenities
- E. Lack of community spaces (indoor/outdoor)
- F. Incompatible land use/building design
- G. Infrastructure barriers to development
- H. Congestion
- I. Cross border access
- J. Other



# PROJECT INFORMATION



# Scope of Work



# Work Program / Project Schedule

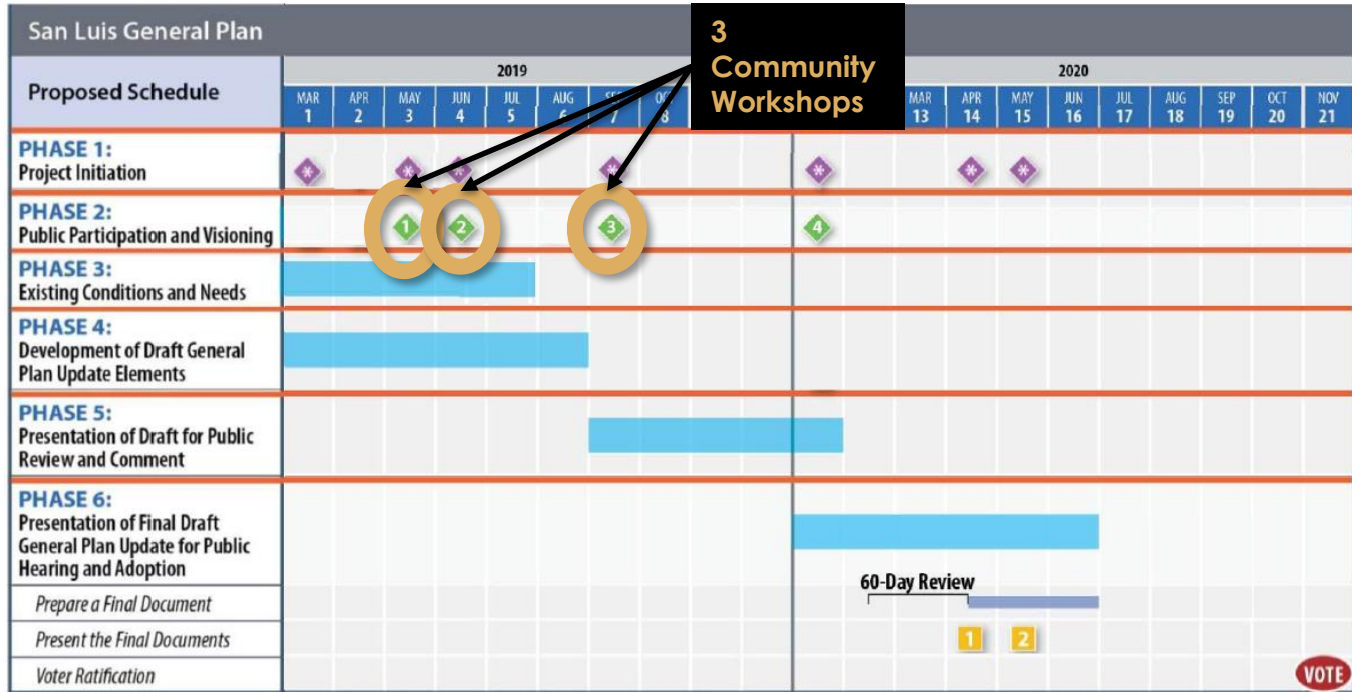
Welcome & Introductions

What is a General Plan?  
Interactive Exercise

**Project Information**

Roles & Goals

Workshop Exercises



**3 Community Workshops**

- Public Meetings:**
- 1 Workshop #1
  - 2 Workshop #2
  - 3 Workshop #3
  - 4 P&Z Draft Plan Presentation (Workshop #4)
  - ✳ Staff and Steering Committee Meetings
  - 1 P&Z Hearing
  - 2 Council Hearing

# Work Program / Project Schedule

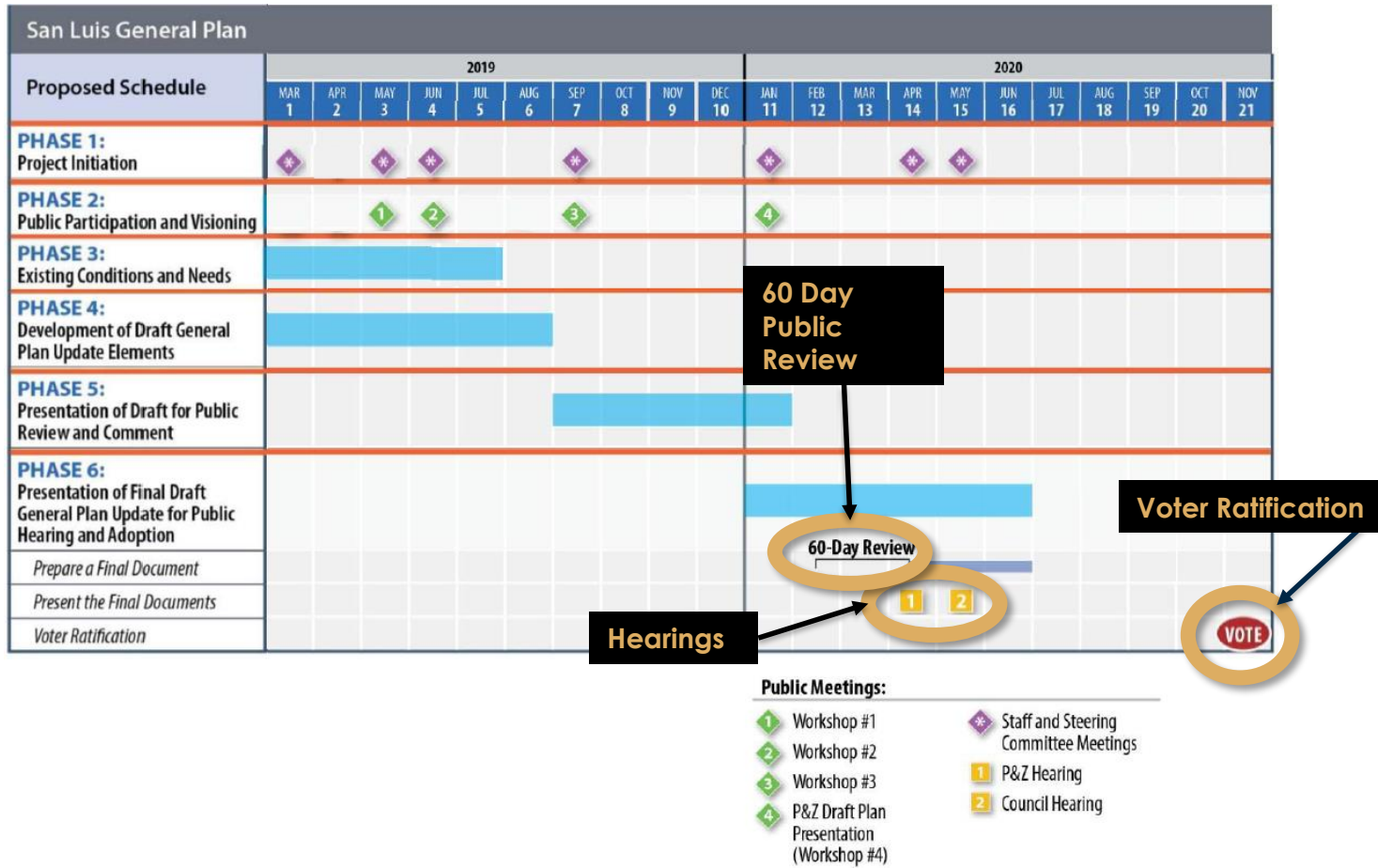
Welcome & Introductions

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**Project Information**

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Workshop Exercises



# Project Branding

Welcome &  
Introductions

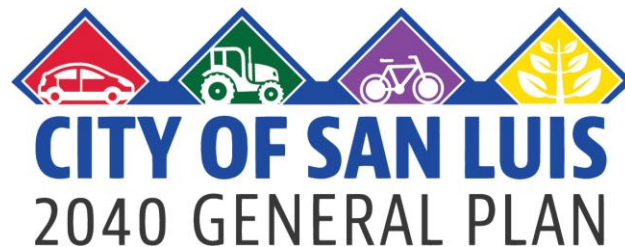
What is a  
General Plan?  
Interactive Exercise

**Project  
Information**

Roles &  
Goals

Workshop  
Exercises

- Branding will be used on all project materials to create a unified look and feel for the General Plan
- Logo
  - Project identity that is tailored to the characteristics of the community



# 2040 General Plan Update

Welcome &  
Introductions

What is a  
General Plan?  
Interactive Exercise

Project  
Information



**Roles &  
Goals**

Workshop  
Exercises

- Steering Committee
- San Luis Planning and Zoning Commission
- Quarterly updates and guidance
- Core Team
  - San Luis Planning and Zoning Staff
  - Consultant
  - Monthly project meetings

- Communication will be essential throughout the General Plan update process, Feel free to contact us anytime:
  - San Luis Project Manager
    - Jose A. Guzman
    - jaguzman@cityofsanluis.org
    - (928)341-8563 Ext. 2014
  
  - Matrix Project Lead
    - Martin Scribner
    - martin\_scribner@matrixdesignngroup.com
    - (602) 288-8344

*Thank You!*

