



AGENDA ITEM REVIEW FORM

Regular City Council Meeting

6. G.

Meeting Date: 02/26/2020

Department Head: Jose A. Guzman, Director of Planning & Zoning, Planning & Zoning Department

Submitted By: Jose A. Guzman, Director of Planning & Zoning, Planning & Zoning Department

Action Requested: Motion

ITEM:

Discussion and possible action on any and all matters regarding Subdivision Case No. 2019-0826F. A request by Core Engineering Group, PLLC, on behalf of Greater Yuma Port Authority, property owner, for the final plat approval for Magrino Industrial Park Unit 3 Subdivision. The property is located east of the commercial port of entry and south of County 25th Street. **(Jose A. Guzman, Director of Planning and Zoning)**

A. Staff presentation

B. Action on Subdivision Case No. 2019-0826F

SUMMARY:

SUMMARY:

The Magrino Industrial Park is located south of County 25th Street between Avenue E and Avenue D adjacent to the commercial port (San Luis II Port of Entry) and the Arizona Department of Transportation (ADOT) inspection station. The property is portion of Parcel ID No. 227-23-032 and 227-23-033.

The Magrino Industrial Park is a project that is being done in phases, this is the 3rd phase. Phase No. 1 was approved by City Council on February 2012 and Phase No. 2 (Magrino Industrial Park Unit No. 2) was approved by City Council on December 9, 2014.

The Magrino Industrial Park Unit No. 3 will consist of approximately 58.5 acres that are proposed to be divided into 1 tract and 13 lots, ranging in size from approximately 1 to 26 acres.

The area north of County 25th Street is currently undeveloped. It is zoned with a mixture of Light Industrial (L-I) and Community Commercial (C-2). The area to the east is zoned as Rural Area Residential (RA-10). The Property to the west is zoned as Light Industrial (L-I) and is where Magrino Industrial Park Unit No. 2 is located.

GENERAL PLAN:

The Land Use Map in the 2020 City of San Luis General Plan designates this area as Business and Industrial. These categories include all types of Commercial and Industrial Zoning Districts. The property is zoned as Light Industrial (L-I) which is one of the appropriate zoning districts in these land use categories.

ANALYSIS:

In 2007, the Arizona Legislature adopted legislation that required municipalities to certify that all new subdivisions had an assured 100-year water supply. On February 11, 2011, the City of San Luis was designated by the Arizona Department of Water Resources (ADWR) as having a 100-year adequate water supply. Consequently, individual subdivisions do not have to submit additional certification.

PLANNING AND ZONING COMMISSION:

This item was presented to the Planning and Zoning Commission during their regular meeting of January 14, 2020. The Commission recommended approval of the request with the condition that the applicant had to address all review comments on a letter dated January 13, 2020, prior to presenting this item to City Council.

DEFERMENT REQUEST:

On February 13, 2020, the applicant submitted a letter to request deferment of the following items:

1. Defer requirement for the improvement of the roadway depicted as “future” south of Lot 2 until the next unit is developed. This roadway may need to change as the Greater Yuma Port Authority (GYPA) in collaboration with Greater Yuma Economic Development Corporation (GYEDC) has recently courted other large industrial developments. By not building this roadway now, maximum flexibility remains for constructing it to the needs of a future developer. This will conservatively save approximately \$300,000 in construction costs.
2. Defer the extension of Port Authority Avenue to the southerly edge of Lot 1 until the next unit is developed. The roadway as currently proposed in construction plans provides the minimum required access to Lot 1 and Lot 2. Any further extension of it really isn’t needed to access lots or improve the function of the development. This will also provide similar savings, proportional to its length.
3. Defer the construction of the eastern screen wall Lots 4 – 13 for up to two years or until each respective one-acre lot develops. This wall will be built but the Greater Yuma Port Authority would like to generate some revenue from sales of lots to help support the cost of construction of this element.

STAFF RECOMMENDATION:

Staff recommends approval of Subdivision Case No. 2019-0826F with the following conditions:

1. No building permits or other forms of approvals for development of the properties identified on the Plat for the subdivision known Magrino Industrial Park Unit No. 3 as Tract B or Unit No. 3 shall occur until provision is made for the completion of Port Authority Avenue and the development of a road and other related public improvements, including, but not limited to, appropriate dedications and development of utility services, connecting Port Authority Avenue to Ave. D in a manner that is satisfactory to the City and in conformance to the Public Works Standards of the City of San Luis.
2. The owner agrees to abide by all City of San Luis codes and regulations related to development that is in effect at the time of City Council approval on any future phases of this subdivision and will pay all city fees related to the development on the Property.
3. The construction of the eastern screen wall for the parcels identified as Lots 4 – 13 on the Plat for the subdivision known Magrino Industrial Park Unit No. 3 shall be deferred until March 1, 2022 by which time it shall be constructed. Performance of this condition shall be secured by the financial assurances for the warranty period for the public improvements for the subdivision known Magrino Industrial Park Unit No. 3.
4. These conditions are in addition to all applicable City codes, rules, fees, and regulations.

RECOMMENDATION / SUGGESTED MOTION:

I MOVE TO APPROVE SUBDIVISION CASE NO. 2019-0826F WITH CONDITIONS AS PRESENTED BY STAFF.

N/A

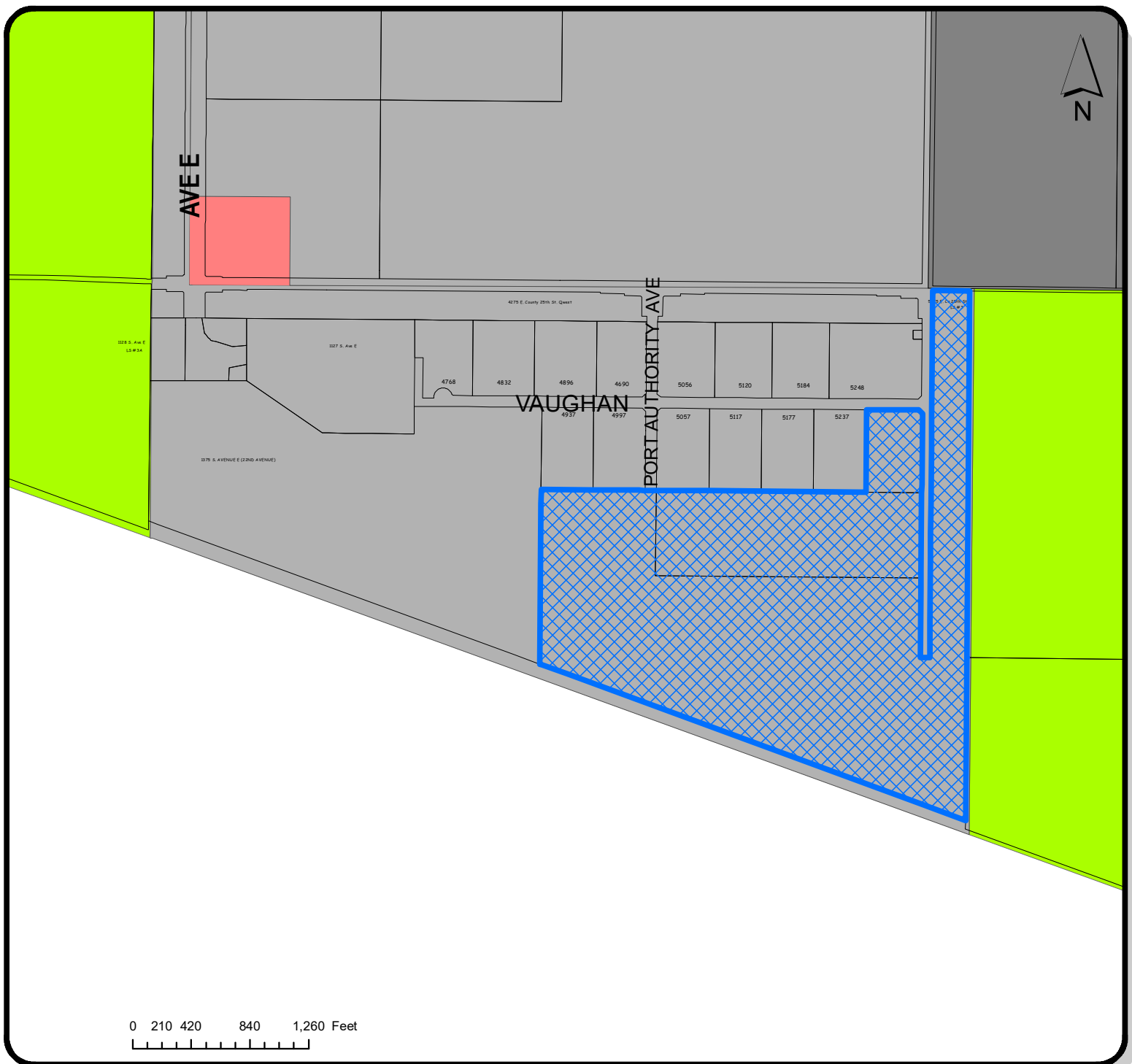
Fiscal Impact

IS THERE FISCAL IMPACT ASSOCIATED WITH THIS ITEM:	N/A
CITY/STATE/FEDERAL FUNDS:	N/A


TOTAL: N/A
BUDGETED AMOUNT: N/A
AVAILABLE AMOUNT TO TRANSFER: N/A
ACCT NAME & GL#/REMAINING BALANCE BEFORE PURCHASE: N/A
FISCAL IMPACT STATEMENT (IF THIS IS A BUDGET TRANSFER, YOU MUST ATTACH THE BUDGET ADJUSTMENT FORM):
N/A

Attachments

Location Map
Aerial Picture
Final Plat
Deferment Request by Applicant
Review Comments Letter dated January 13, 2020



LOCATION OF SUBJECT PROPERTY

 MAGRINO INDUSTRIAL PARK UNIT NO. 3
 A PORTION OF ASSESSORS PARCEL NO.
 227-23-032 and 227-23-033

Location Map

SUBDIVISION

MAGRINO INDUSTRIAL PARK UNIT NO. 3

Date:
 1/13/2020

Checked By:
 ROMAN PACHECO

PLANNING & ZONING

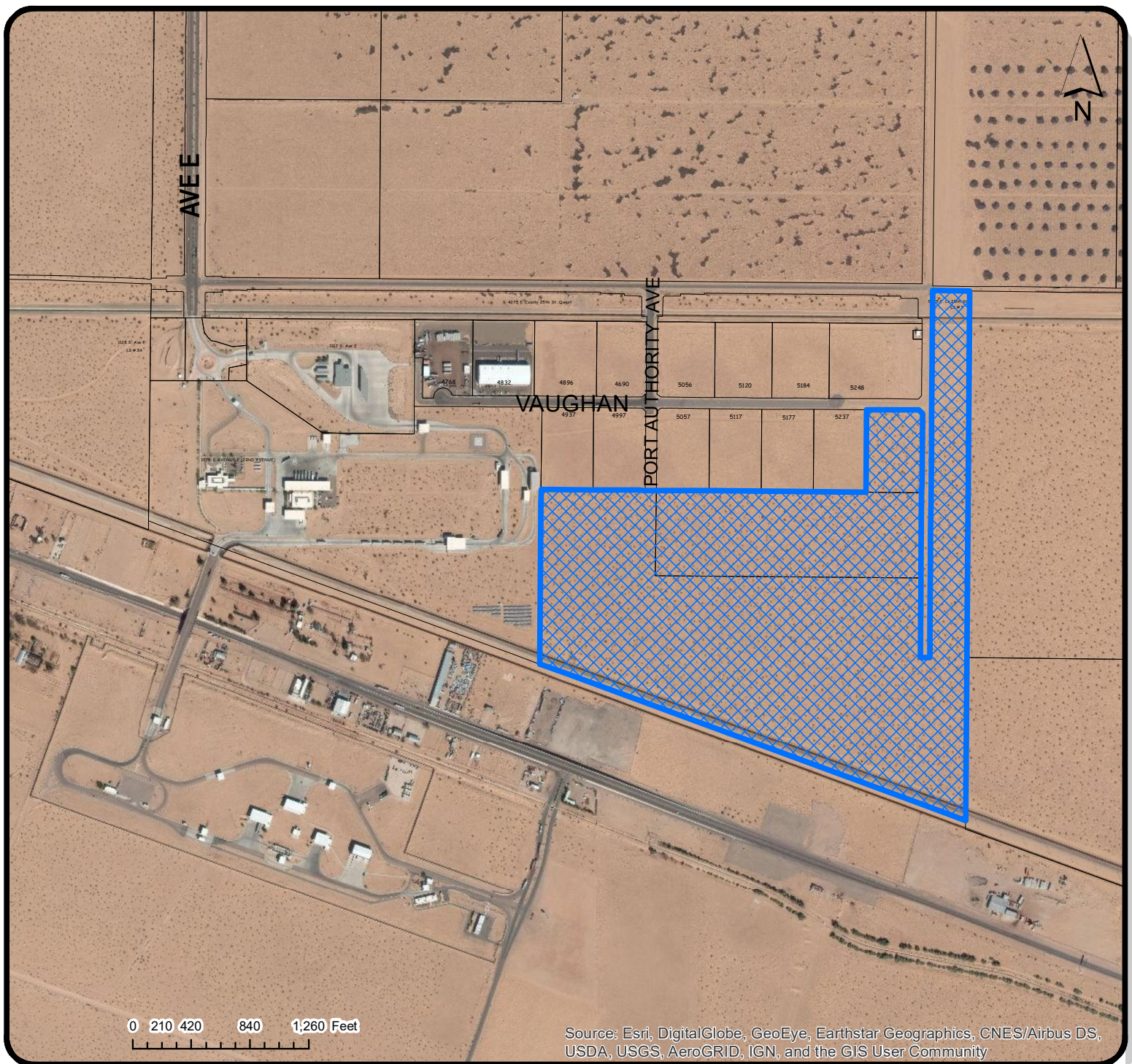


GIS

Prepared By:
 ISAAC GUTIERREZ

APPROVED BY:
 JOSE A. GUZMAN


Case No.:
 2019-0826F



Location Map

SUBDIVISION

LOCATION OF SUBJECT PROPERTY

 MAGRINO INDUSTRIAL PARK UNIT NO. 3
 A PORTION OF ASSESSORS PARCEL NO.
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MAGRINO INDUSTRIAL PARK UNIT NO. 3

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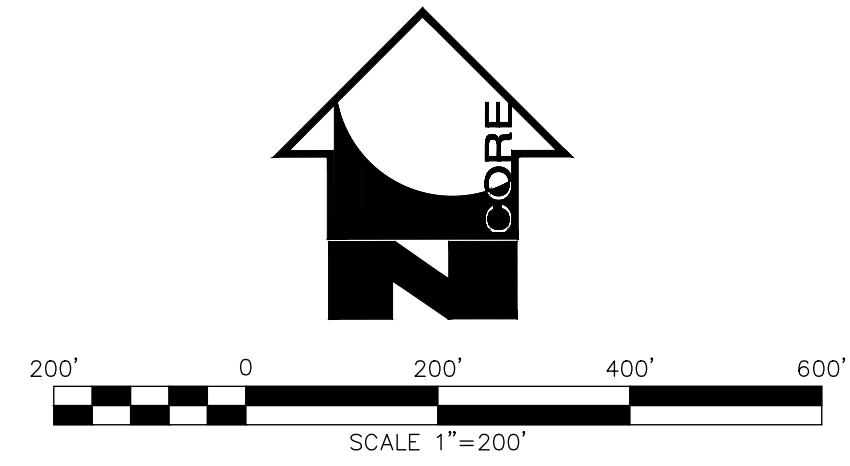


GIS

Prepared By:
 ISAAC GUTIERREZ

APPROVED BY:
 JOSE A. GUZMAN

Case No.:
 2019-0826F



INDEX OF DRAWINGS

- 1 COVER SHEET
- 2-5 ROADWAY PLAN
- 6-7 PAVING AND GRADING DETAILS
- 8-15 WATER AND SEWER PLAN AND PROFILES
- 16 STORM WATER POLLUTION PREVENTION PLAN

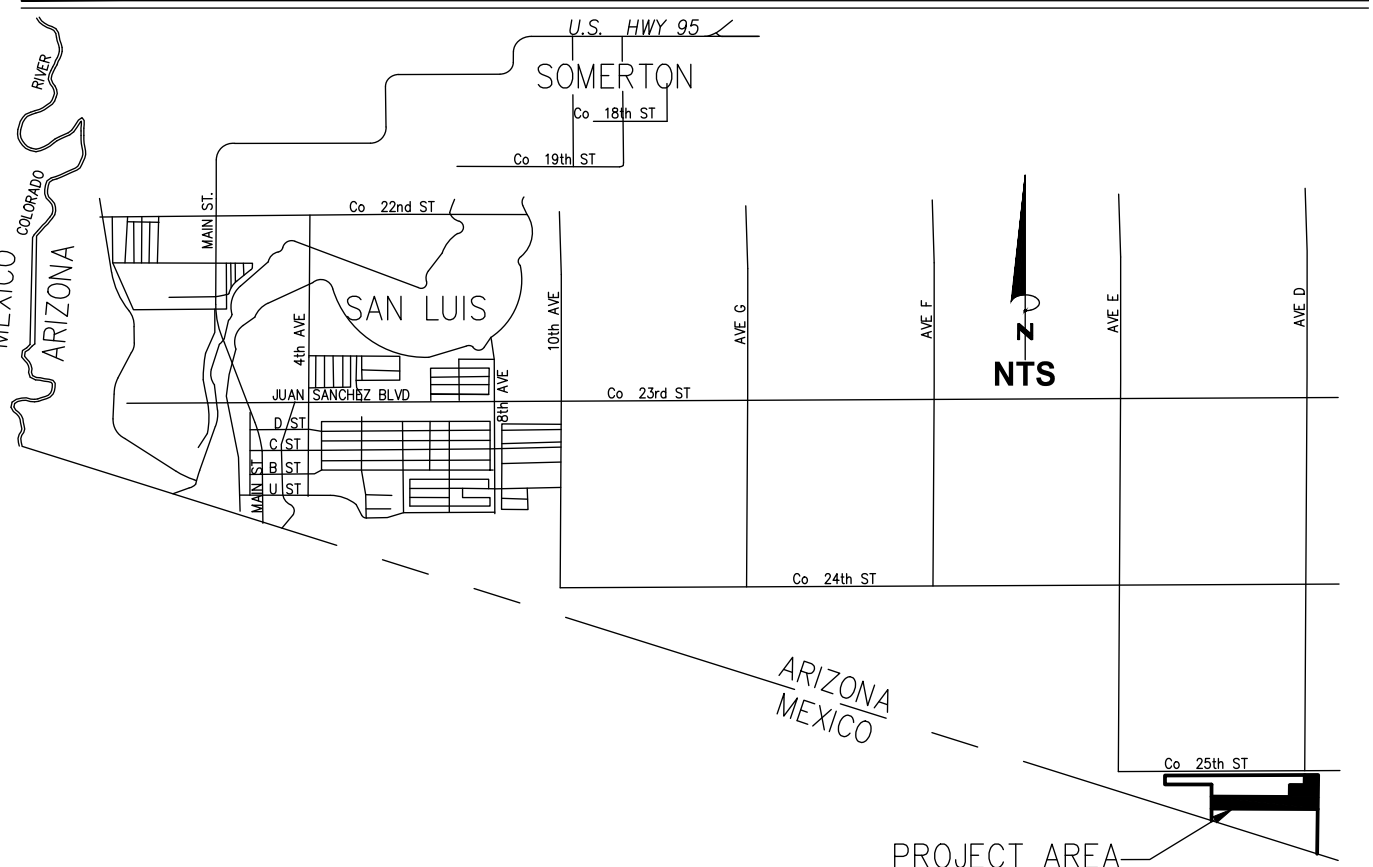
GENERAL NOTES

1. ROADWAY CONSTRUCTION AND OTHER CONSTRUCTION AS SHOWN WILL CONFORM TO CITY OF SAN LUIS STANDARDS (CITY OF YUMA STANDARD DETAILS, MAG SPECIFICATIONS AND CITY OF SAN LUIS SUPPLEMENT) OR AS MODIFIED ON THESE PLANS UNLESS OTHERWISE NOTED OR SPECIFICALLY ALTERED/MODIFIED BY CITY OF SAN LUIS ORDINANCE. ALL UNDERGROUND UTILITY CONSTRUCTION WILL CONFORM TO CITY OF YUMA STANDARDS AND SPECIFICATIONS. THESE SPECIFICATIONS ARE INCLUDED HERE BY REFERENCE.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONSTRUCT THE WORK IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. ALL WORK SHALL BE COMPLETED IN A THOROUGH MANNER, FREE OF ANY WORKMANSHIP DEFECTS. THE CONTRACTOR SHALL INFORM THE ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING CHANGE TO THE PLANS AND REQUEST INSTRUCTIONS BEFORE PROCEEDING WITH THE WORK.
3. ANY DEFECTIVE MATERIAL OR WORKMANSHIP SHALL BE REPLACED AND/OR REPAIRED PRIOR TO FINAL ACCEPTANCE OF THE WORK.
4. PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE THE ENGINEER WITH ALL PROPOSED PROJECT MATERIAL DATA SHEETS AND ANY SHOP DRAWINGS. ANY MATERIAL SUPPLIED NOT IN CONFORMANCE WITH THE SPECIFICATIONS WILL BE REJECTED.
5. THE CONTRACTOR WILL BE RESPONSIBLE, IN ACCORDANCE WITH ARIZONA REVISED STATUTES, TO NOTIFY THE ARIZONA BLUE STAKE CENTER AT (800) 782-5348 AT LEAST FORTY-EIGHT (48) HOURS IN ADVANCE OF COMMENCING CONSTRUCTION ACTIVITIES. LOCATIONS OF EXISTING PUBLIC UTILITY LINES SHOWN ON THE PLANS ARE APPROXIMATE. THE CONTRACTOR MUST VERIFY THE LOCATIONS IN THE FIELD AND TAKE NECESSARY PRECAUTIONS. ANY DAMAGE TO A UTILITY SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
6. THE CONTRACTOR SHALL MAINTAIN DUST ABATEMENT ACTIVITIES FOR THE DURATION OF THE PROJECT, INCLUDING WEEKENDS AND HOLIDAYS TO CONFORM WITH APPLICABLE ADEQ REGULATIONS. THE CONTRACTOR SHALL MAINTAIN ADEQUATE MOISTURE LEVELS IN THE SURFACE MATERIALS TO ELIMINATE BLOWING DUST FROM THESE MATERIALS. ALL HAUL TRUCKS, WHETHER INVOLVED IN DELIVERY OR REMOVAL ACTIVITIES, SHALL BE COVERED AND/OR TARPED IN ORDER TO NEGATE THE REMOVAL OF MATERIAL FROM TRUCKS BY WINDS, EITHER NATURAL OR CAUSED BY THE MOVEMENT OF THE TRUCK.
7. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING PROPER SIGNS, BARRICADES, AND WARNING LIGHTS TO CONTROL THE TRAFFIC AND TO ASSURE THE PUBLIC'S HEALTH, WELFARE, AND SAFETY. ALL TRAFFIC CONTROL DEVICES MUST CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSPECTION OF ALL TRAFFIC CONTROL INSTALLATIONS USED IN CONJUNCTION WITH THIS PROJECT AND SHALL INSPECT, AT LEAST TWICE DAILY, TO ENSURE CONFORMANCE WITH THE APPROVED TRAFFIC CONTROL PLAN.
8. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE PREPARATION AND FURNISHING OF "AS-BUILT" RECORD DRAWINGS. THE "AS-BUILT" INFORMATION SHALL BE RECORDED ON THE PLANS IN RED COLORED PENCIL. THIS INFORMATION SHALL INCLUDE ALL CASES WHERE ACTUAL FIELD CONSTRUCTION DIFFERS FROM THE DESIGNED INFORMATION, ALL CONCEALED WORK, ALL UTILITY LOCATIONS, ALL WATER VALVES AND MANHOLES. DIMENSIONS SHALL BE SHOWN FROM KNOWN REFERENCE POINTS.
9. OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) STANDARD FOR CONSTRUCTION (TITLE 29, CODE OF FEDERAL REGULATIONS, PART 1926 AS AMENDED) AND CITY OF SAN LUIS SAFETY REGULATIONS ARE APPLICABLE FOR THE COMPLETION OF THE WORK ON THIS PROJECT.
10. THE CONTRACTOR SHALL OBTAIN ENCROACHMENT PERMITS FROM THE CITY OF SAN LUIS PRIOR TO THE COMMENCEMENT OF ANY WORK IN PUBLIC RIGHT-OF-WAY.
11. THE CONTRACTOR SHALL GUARANTEE THE WORK COMPLETED AGAINST DEFECTIVE MATERIAL AND/OR WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE GRANTED BY YUMA COUNTY.
12. GYPA WILL BE CONTRACTING WITH AN INDEPENDENT TESTING LABORATORY. REQUIREMENTS PER SECTION 106.2 OF COUNTY SPECIFICATIONS. THE CONTRACTOR IS TO PROVIDE THE CITY OF SAN LUIS WITH ALL CERTIFIED COPIES OF FIELD DENSITY, CONCRETE COMPRESSION BREAKS AND LABORATORY TESTS.
13. ANY SURVEY MONUMENT DISTURBED DURING CONSTRUCTION ACTIVITIES SHALL BE REPLACED IN ACCORDANCE WITH CITY OF SAN LUIS STANDARD DETAILS BY THE CONTRACTOR AT NO EXTRA COST TO THE OWNER. CONTRACTOR SHALL UTILIZE A REGISTERED LAND SURVEYOR TO ASSURE PROPER PLACEMENT OF SAID MONUMENT.
14. AZPDES PERMIT SHALL BE OBTAINED PRIOR TO THE START OF GRADING ACTIVITIES.
15. GRADING SPOILS TO BE SPREAD ON ADJACENT LOTS.
16. STOCKPILED EXISTING ABC FOUND IN THIS PROJECT MAY ONLY BE REUSED ON THIS PROJECT IF IT IS TESTED AND MEETS REQUIRED PROJECT SPECIFICATIONS.

UTILITY COMPANIES

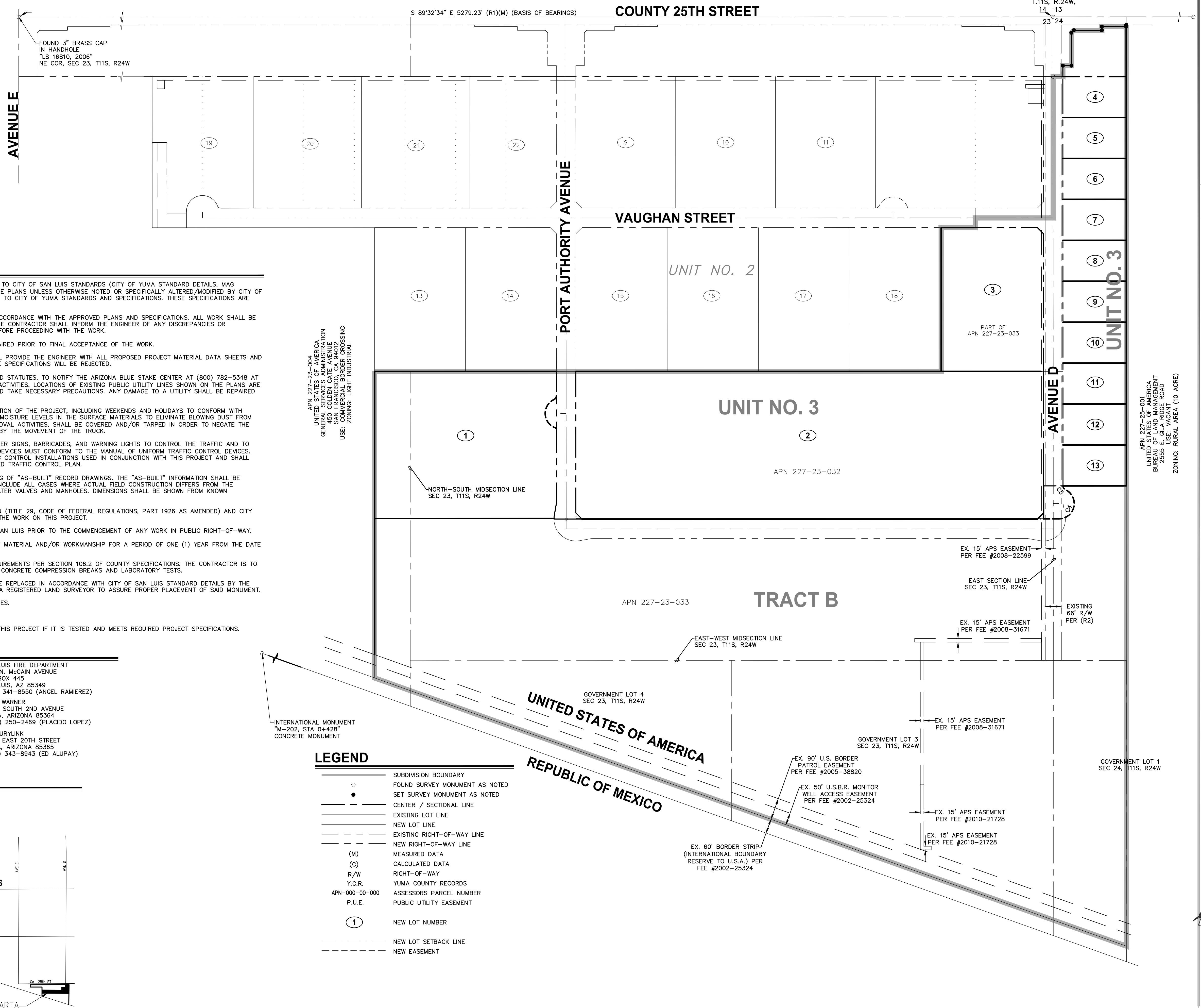
<p>WATER - CITY OF SAN LUIS 1090 E. UNION STREET P.O. BOX 3750 SAN LUIS, AZ 85349 (928) 341-8577 (ANTONIO SANDOVAL)</p>	<p>FIRE PROTECTION - SAN LUIS FIRE DEPARTMENT 1165 N. McCAIN AVENUE P.O. BOX 445 SAN LUIS, AZ 85349 (928) 341-8550 (ANGEL RAMIREZ)</p>
<p>SEWER - CITY OF SAN LUIS 1090 E. UNION STREET P.O. BOX 3750 SAN LUIS, AZ 85349 (928) 341-8577 (GILBERTO TORRES)</p>	<p>CABLE TELEVISION - TIME WARNER 1289 SOUTH 2ND AVENUE YUMA, ARIZONA 85364 (760) 250-2469 (PLACIDO LOPEZ)</p>
<p>ELECTRIC - APS COMPANY MAIL STATION 4853 6700 E. 30TH STREET YUMA, ARIZONA 85364 (928) 336-9838 (ANNE CAMACHO)</p>	<p>TELEPHONE - CENTURYLINK 1850 EAST 20TH STREET YUMA, ARIZONA 85365 (928) 343-8943 (ED ALUPAY)</p>

VICINITY MAP



LEGEND

—○—	SUBDIVISION BOUNDARY
●	FOUND SURVEY MONUMENT AS NOTED
○	SET SURVEY MONUMENT AS NOTED
—	CENTER / SECTIONAL LINE
---	EXISTING LOT LINE
---	NEW LOT LINE
---	EXISTING RIGHT-OF-WAY LINE
---	NEW RIGHT-OF-WAY LINE
(M)	MEASURED DATA
(C)	CALCULATED DATA
R/W	RIGHT-OF-WAY
Y.C.R.	YUMA COUNTY RECORDS
APN-000-00-000	ASSESSORS PARCEL NUMBER
P.U.E.	PUBLIC UTILITY EASEMENT
①	NEW LOT NUMBER
---	NEW LOT SETBACK LINE
---	NEW EASEMENT



APN 227-23-033
UNITED STATES OF AMERICA
GENERAL SERVICES ADMINISTRATION
450 GOLDEN GATE AVENUE
SAN FRANCISCO, CALIFORNIA 94142
USE: COMMERCIAL BORDER CROSSING
ZONING: LIGHT INDUSTRIAL

APN 227-25-001
UNITED STATES OF AMERICA
BUREAU OF LAND MANAGEMENT
2565 E. GILA RIDGE ROAD
YUMA, ARIZONA 85364
ZONING: RURAL AREA (10 ACRE)

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Core@core-e-g.com

**MAGRINO INDUSTRIAL PARK
UNIT NO. 3
CITY OF SAN LUIS
YUMA COUNTY, ARIZONA
COVER SHEET**

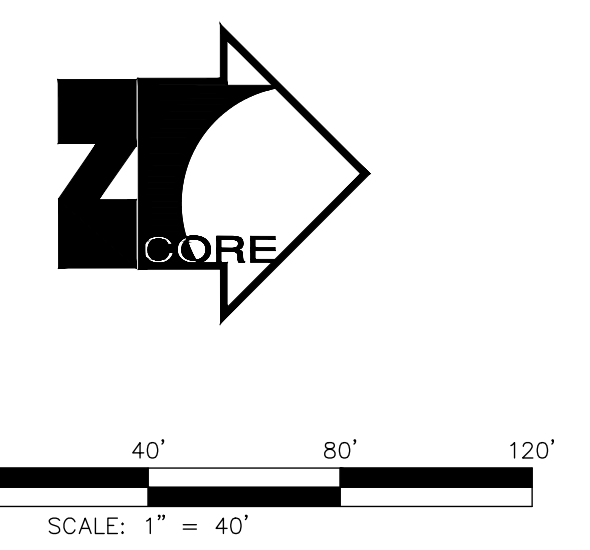
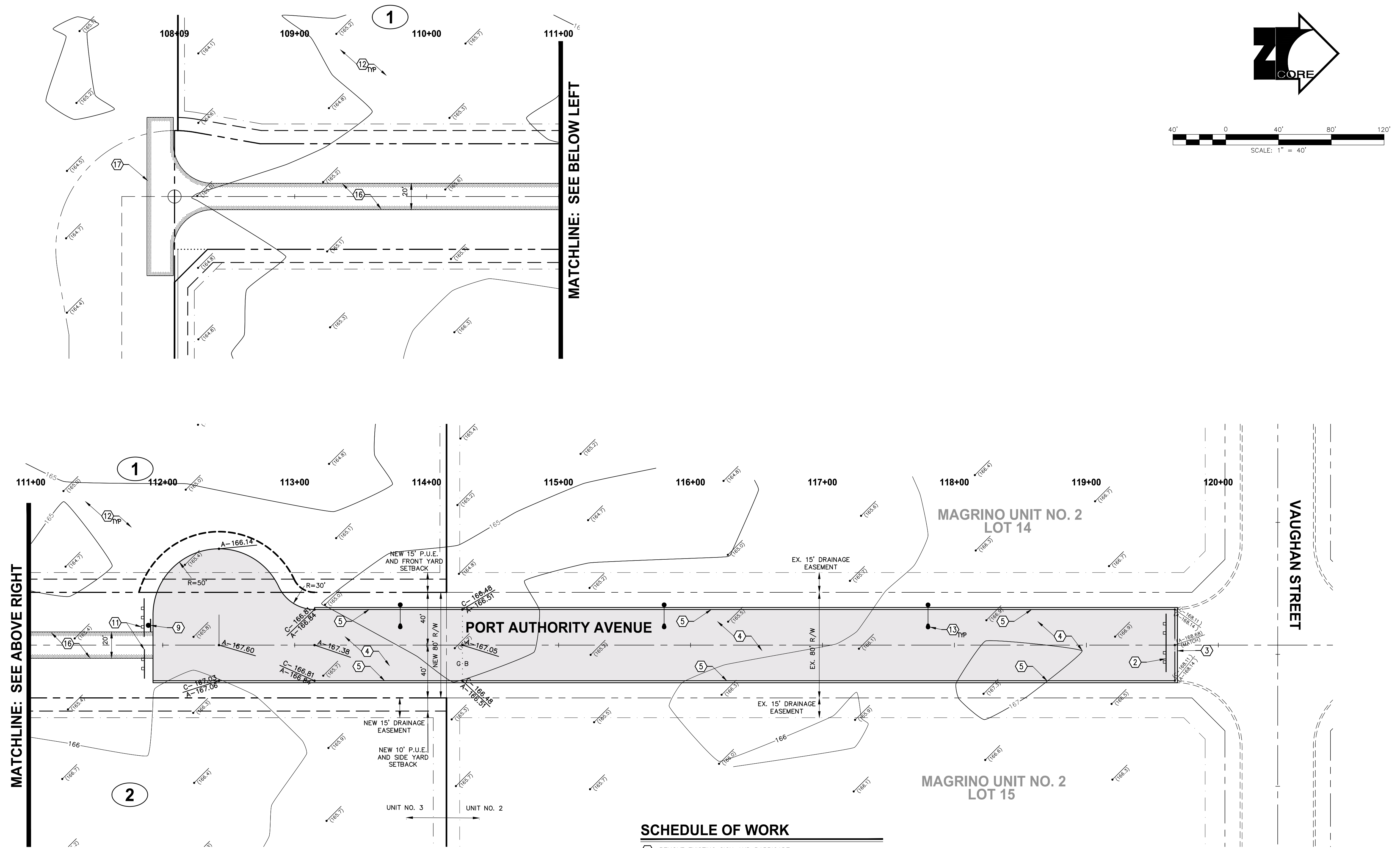


Date: DEC. 2019
Designed: K.L.B.
Drawn: J.M.G.
Checked: D.J.N.
Proj. No.: 19-096

Tue, 18 Feb 2020 11:53am Z:\2019\19-096\dwgs\Prelim Plg\19-096 Cover.dwg Core Engineering Group, PLLC

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Tue, 18 Feb 2020 3:34pm Z:\2019\19-096\Draws\Prelim Plat\19-096 Prelim Plat Grading Plan.dwg - Core Engineering Group, PLLC



SCHEDULE OF WORK

2	REMOVE EXISTING SIGN AND BARRICADE	
3	SAWCUT AND MATCH EXISTING	
4	INDUSTRIAL STREET SECTION	-SEE DETAIL A/6
5	PAVEMENT BORDER CURB	-SEE DETAIL C/6
7	STREET NAME SIGN WITH 30"X30" R1-1 "STOP" SIGN.	-SEE DETAIL D/6
8	30" X 30" R1-1 "STOP" SIGN	-SEE DETAIL D/6
9	30" X 30" R5-1 "DO NOT ENTER" SIGN	-SEE DETAIL D/6 (SIM)
10	24" SOLID WHITE THERMOPLASTIC STRIPE	
11	TYPE III BARRICADE	-SEE DETAILS A/7
12	ON-SITE LOT GRADING AND RETENTION BY FUTURE LOT DEVELOPER	-SEE DETAIL B/7
13	STREET LIGHT	-BY APS
14	REMOVE EXISTING PAVEMENT	
16	20' WIDE ABC ACCESS ROAD	-SEE DETAIL E&F/6
17	HAMMERHEAD TURN AROUND	-COY STD NO. 3-210

UTILITY DISCLAIMER

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM THE FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

DRAWING RECORD:

No.	DATE:

CORE ENGINEERING GROUP, PLLC
 200 East 16th Street, Suite 150
 Yuma, AZ 85364
 V - 928-344-5931 F - 928-344-5932
 www.CoreEngineeringGroup.com
 Core@core-e-g.com

CORE

**MAGRINO INDUSTRIAL PARK
 UNIT NO. 3
 CITY OF SAN LUIS
 YUMA COUNTY, ARIZONA
 ROADWAY PLAN**

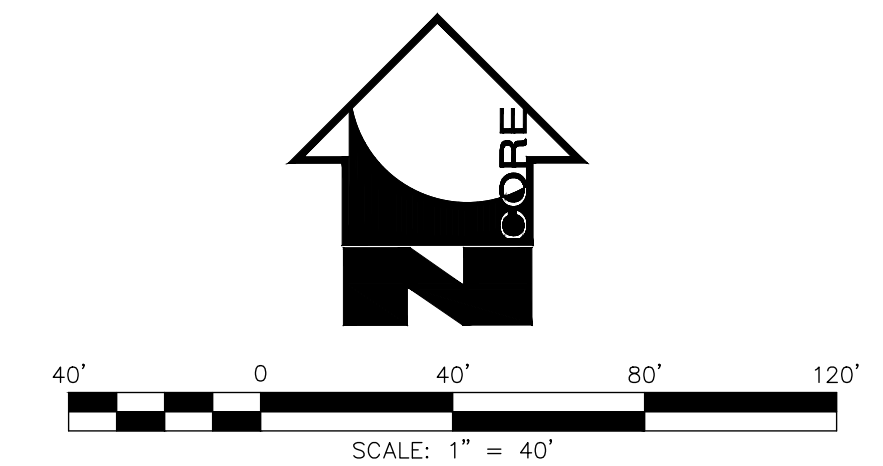
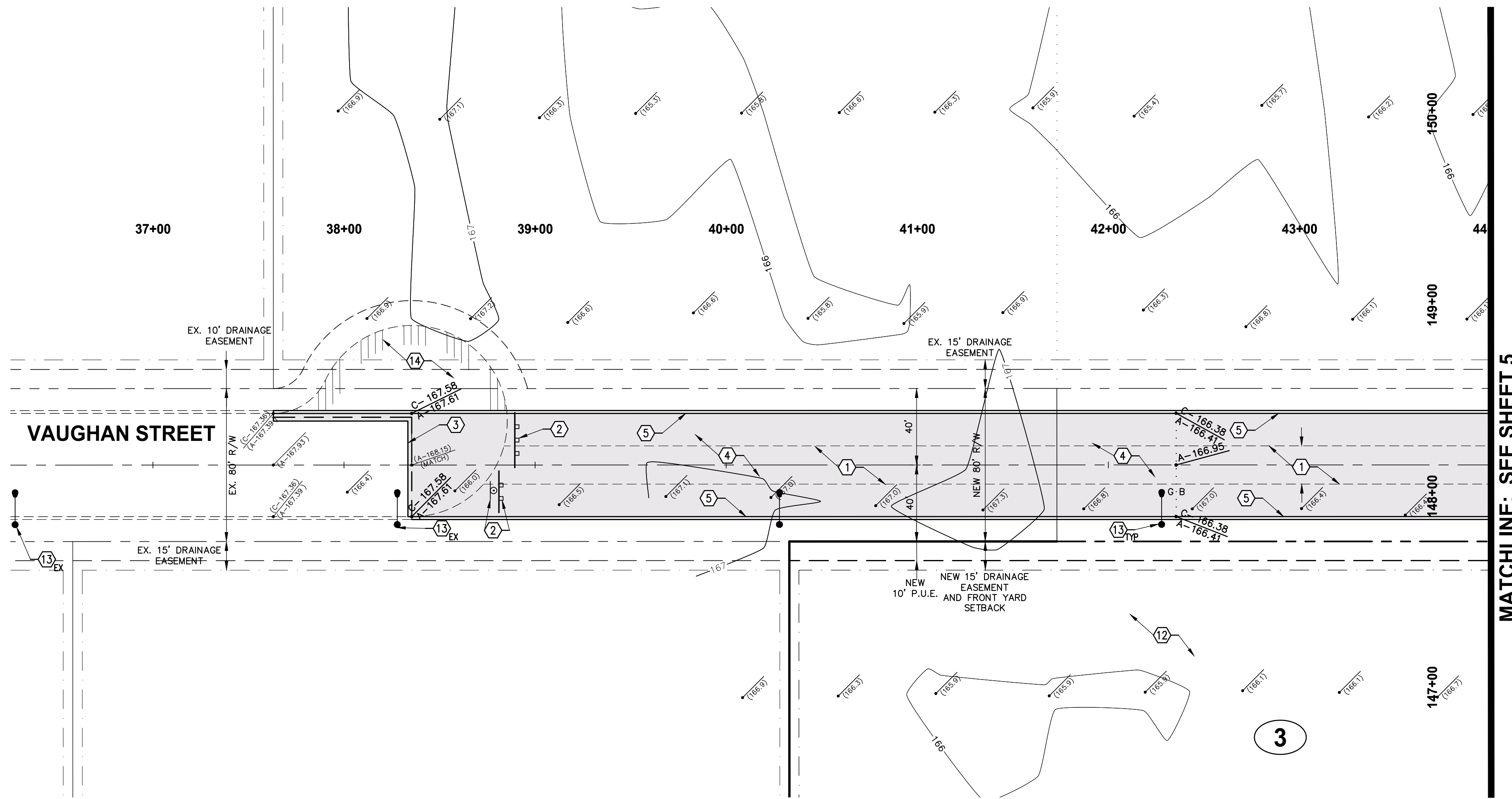
32329
DOUGLAS J. NICHOLLS
Professional Engineer
Arizona, U.S.A.

Date: DEC. 2019
 Designed: K.L.B.
 Drawn: J.M.G.
 Checked: D.J.N.
 Proj. No.: 19-096

2

SHEET

Tue, 18 Feb 2020 3:34pm Z:\2019\19-096\Draws\Prelim Plat\19-096 Prelim Plat - Grading Plan.dwg - Core Engineering Group, PLLC



LEGEND

	FOUND SURVEY MONUMENT AS NOTED
	CENTER / SECTIONAL LINE
	EXISTING EASEMENT (AS NOTED)
	EXISTING LOT LINE
	EXISTING RIGHT-OF-WAY LINE
	EXISTING SUBDIVISION BOUNDARY
	EXISTING GROUND LINE
	EXISTING WATER LINE
	EXISTING SEWER LINE
	EXISTING OVERHEAD ELECTRIC
	EXISTING OVERHEAD TELEPHONE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING UNDERGROUND TELEPHONE LINE
	EXISTING GAS LINE
	NEW BORDER CURB
	EXISTING ASPHALT
	EXISTING CONCRETE
	EXISTING ABC CANAL ROAD
	NEW ASPHALT
	NEW ABC PAVEMENT FOR ACCESS ROAD
	EXISTING CHAIN LINK FENCE
	EXISTING BARBED WIRE FENCE
	EXISTING POWER POLE
	EXISTING GUY WIRE ANCHOR
	EXISTING WATER METER
	EXISTING BLOW OFF
	EXISTING SEWER MANHOLE
	EXISTING ELECTRICAL TRANSFORMER
	EXISTING TELEPHONE PEDESTAL
	EXISTING ELECTRICAL JUNCTION BOX
	EXISTING SIGN
	NEW SIGN
	NEW STREET NAME AND STOP SIGN
	NEW LIGHT POLE
	NEW BARRICADE
	EXISTING BARRICADE
	EXISTING FIRE HYDRANT
	EXISTING VALVE
	EXISTING GAS METER
	EXISTING SLOPE
	NEW SLOPE
	RIGHT-OF-WAY
	FINISHED FLOOR ELEVATION
	EXISTING GROUND ELEVATION
	EXISTING CURB ELEVATION
	EXISTING GUTTER ELEVATION
	EXISTING CONCRETE ELEVATION
	EXISTING SIDEWALK ELEVATION
	EXISTING ASPHALT ELEVATION
	EXISTING GRATE ELEVATION
	EXISTING INVERT ELEVATION
	NEW CURB ELEVATION
	NEW GUTTER ELEVATION
	NEW ASPHALT ELEVATION
	NEW FLOW WAY ELEVATION
	NEW GRADE BREAK
	NEW LOT NUMBER
	MEASURED DATA
	RECORDED DATA PER BOOK 23 OF PLATS PAGES 57&58, Y.C.R.
	RECORDED DATA PER COUNTY ROAD MAP #3856
	CALCULATED DATA

SCHEDULE OF WORK

- 1 REMOVE EXISTING ABC AND STOCKPILE FOR REUSE (GEN. NOTE 16, SHT 1)
- 2 REMOVE EXISTING SIGN AND BARRICADE
- 3 SAWCUT AND MATCH EXISTING
- 4 INDUSTRIAL STREET SECTION -SEE DETAIL A/6
- 5 PAVEMENT BORDER CURB -SEE DETAIL C/6
- 7 STREET NAME SIGN WITH 30"x30" R1-1 "STOP" SIGN. -SEE DETAIL D/6
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- 11 TYPE III BARRICADE -SEE DETAILS A/7
- 12 ON-SITE LOT GRADING AND RETENTION BY FUTURE LOT DEVELOPER -SEE DETAIL B/7
- 13 STREET LIGHT -BY APS
- 14 REMOVE EXISTING PAVEMENT
- 15 PROVIDE COLD JOINT FOR FUTURE REMOVAL

UTILITY DISCLAIMER

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 Core@core-e-g.com

MAGRINO INDUSTRIAL PARK
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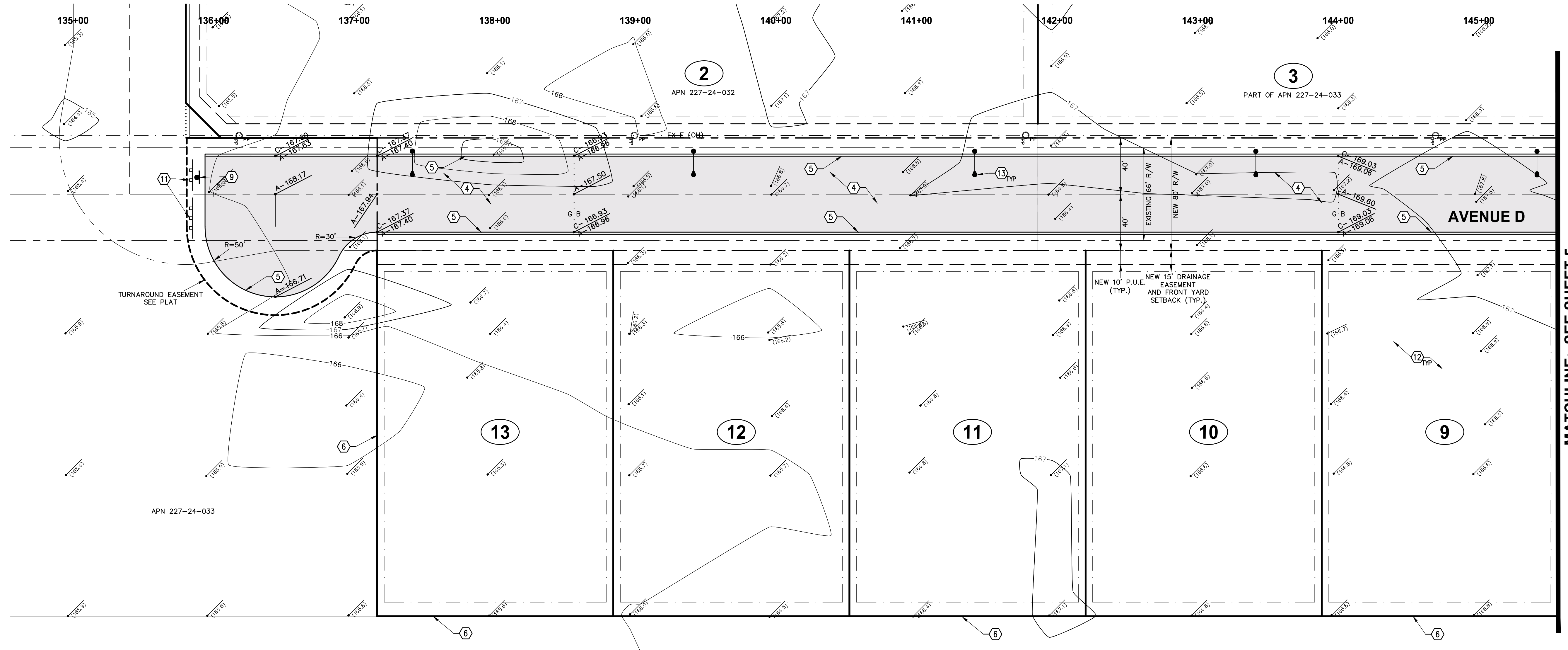
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3

SHEET

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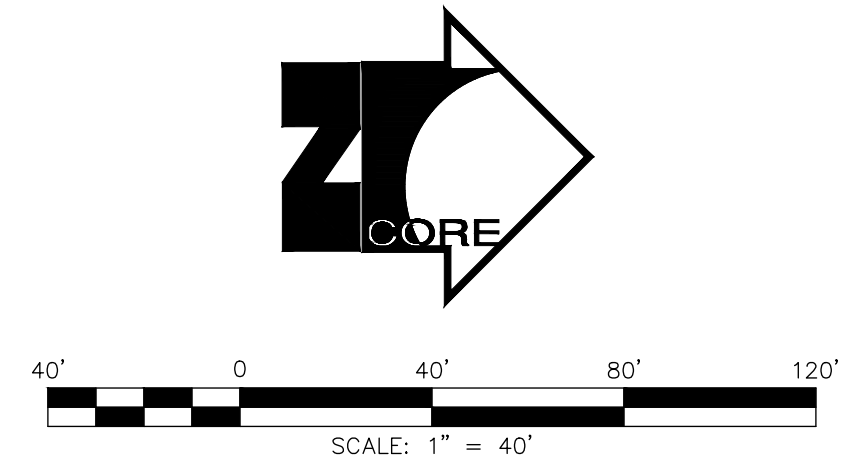


MATCHLINE: SEE SHEET 5

APN 227-25-001
 UNITED STATES OF AMERICA
 BUREAU OF LAND MANAGEMENT
 2555 E. GILA RIDGE ROAD
 USE: VACANT
 ZONING: RURAL AREA (10 ACRE)

SCHEDULE OF WORK

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- ⑪ TYPE III BARRICADE -SEE DETAILS A/7
- ⑫ ON-SITE LOT GRADING AND RETENTION BY FUTURE LOT DEVELOPER -SEE DETAIL B/7
- ⑬ STREET LIGHT -BY APS
- ⑭ REMOVE EXISTING PAVEMENT



Call at least two full working days before you begin excavation.
ARIZONA 811
 Arizona Blue Stake, Inc.
 Dial 8-1-1 or 1-800-STAKE-IT (782-5348)
 In Maricopa County: (602) 263-1100

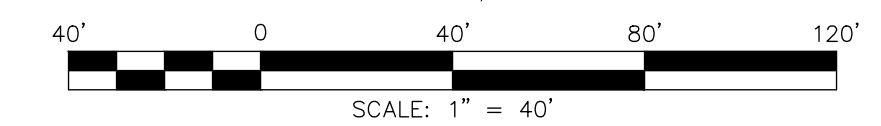
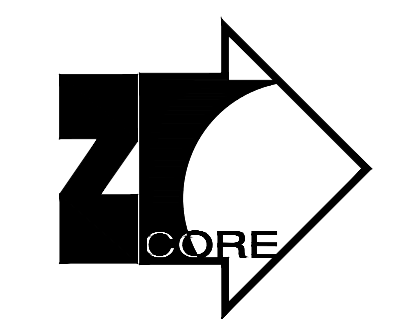
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<p>MAGRINO INDUSTRIAL PARK UNIT NO. 3 CITY OF SAN LUIS YUMA COUNTY, ARIZONA ROADWAY PLAN</p>	<p>CORE ENGINEERING GROUP, PLLC 200 East 16th Street, Suite 150 Yuma, AZ 85364 V - 928-344-5931 F - 928-344-5932 www.CoreEngineeringGroup.com Core@core-e-g.com</p>	<p>DRAWING RECORD: No. _____ DATE: _____</p>
<p>Professional Engineer CERTIFICATE NO. 32329 DOUGLAS J. NICHOLLS License No. 19-096 ARIZONA, U.S.A.</p>	<p>Date: DEC. 2019 Designed: K.L.B. Drawn: J.M.G. Checked: D.J.N. Proj. No.: 19-096</p>	<p>4</p>

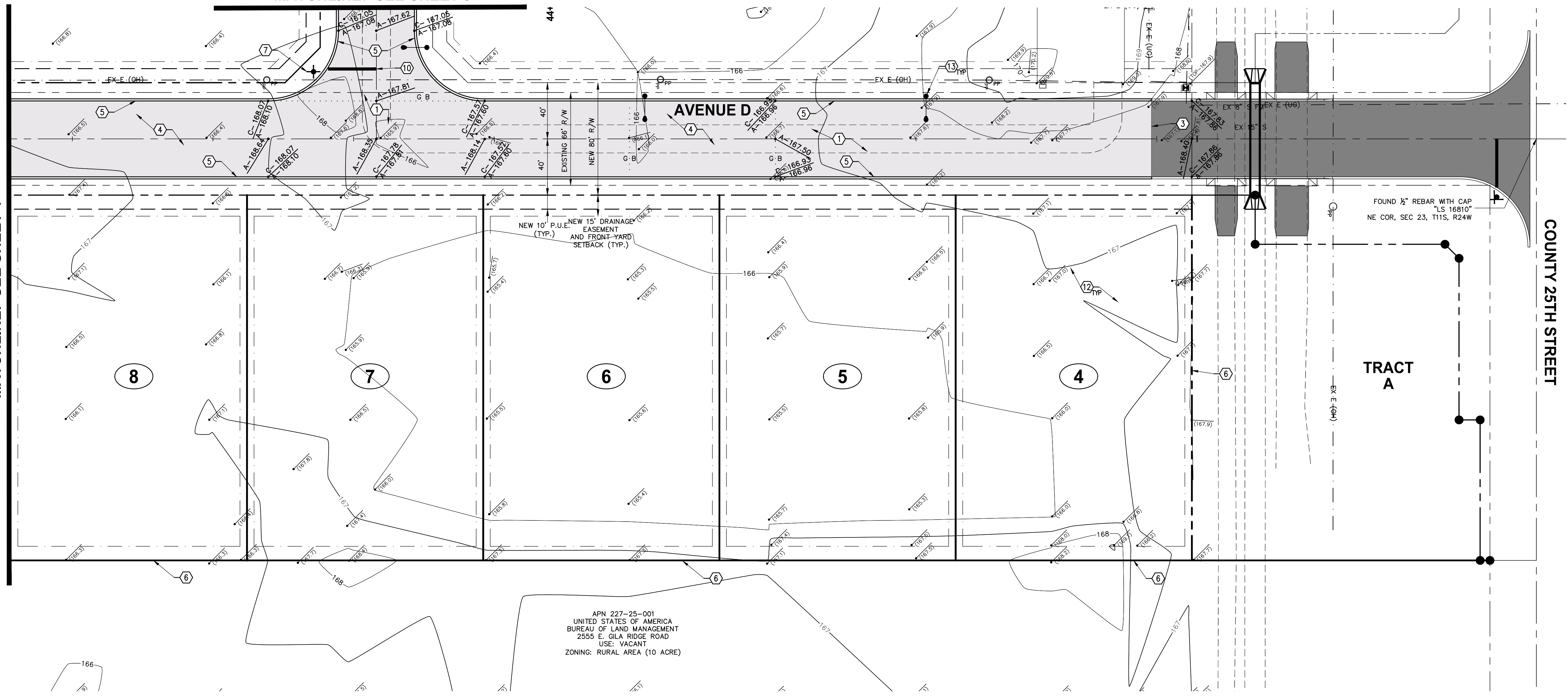
Tue, 18 Feb 2020 3:35pm Z:\2019\19-096\Draws\Prelim Plot\19-096 Prelim Plot Grading Plan.dwg - Core Engineering Group, PLLC

**WORK PERMITTED
WITH UNIT NO. 2
BUT NOT CONSTRUCTED
- SEE PREVIOUS DESIGN**



MATCHLINE: SEE SHEET 3

MATCHLINE: SEE SHEET 4



APN 227-25-001
UNITED STATES OF AMERICA
BUREAU OF LAND MANAGEMENT
2555 E. GILA RIDGE ROAD
USE: VACANT
ZONING: RURAL AREA (10 ACRE)

SCHEDULE OF WORK

- 1 REMOVE EXISTING ABC AND STOCKPILE FOR REUSE (GEN NOTE 16, PAGE 1)
- 2 REMOVE EXISTING SIGN AND BARRICADE
- 3 SAWCUT AND MATCH EXISTING
- 4 INDUSTRIAL STREET SECTION -SEE DETAIL A/6
- 5 PAVEMENT BORDER CURB -SEE DETAIL C/6
- 6 6' SCREEN WALL BY FUTURE LOT DEVELOPERS OR GYPA
- 7 STREET NAME SIGN WITH 30"x30" R1-1 "STOP" SIGN. -SEE DETAIL D/6
- 8 30" X 30" R1-1 "STOP" SIGN -SEE DETAIL D/6
- 9 30" X 30" R5-1 "DO NOT ENTER" SIGN -SEE DETAIL D/6 (SIM)
- 10 24" SOLID WHITE THERMOPLASTIC STRIPE
- 11 TYPE III BARRICADE -SEE DETAILS A/7
- 12 ON-SITE LOT GRADING AND RETENTION BY FUTURE LOT DEVELOPER -SEE DETAIL B/7
- 13 STREET LIGHT -BY APS
- 14 REMOVE EXISTING PAVEMENT

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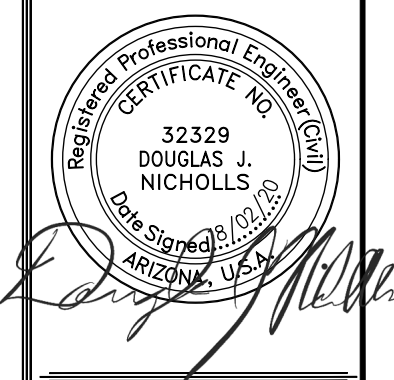


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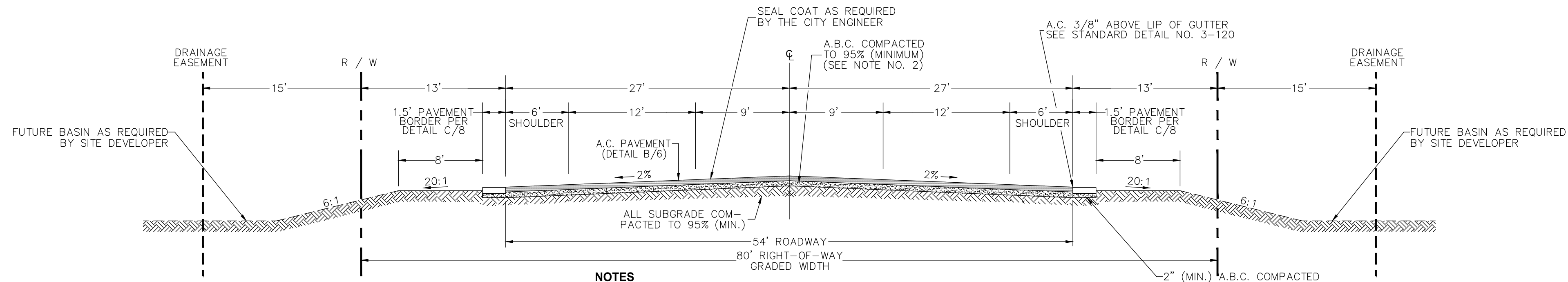
**MAGRINO INDUSTRIAL PARK
UNIT NO. 3
CITY OF SAN LUIS
YUMA COUNTY, ARIZONA
ROADWAY PLAN**

CORE ENGINEERING GROUP, PLLC
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Yuma, AZ 85364
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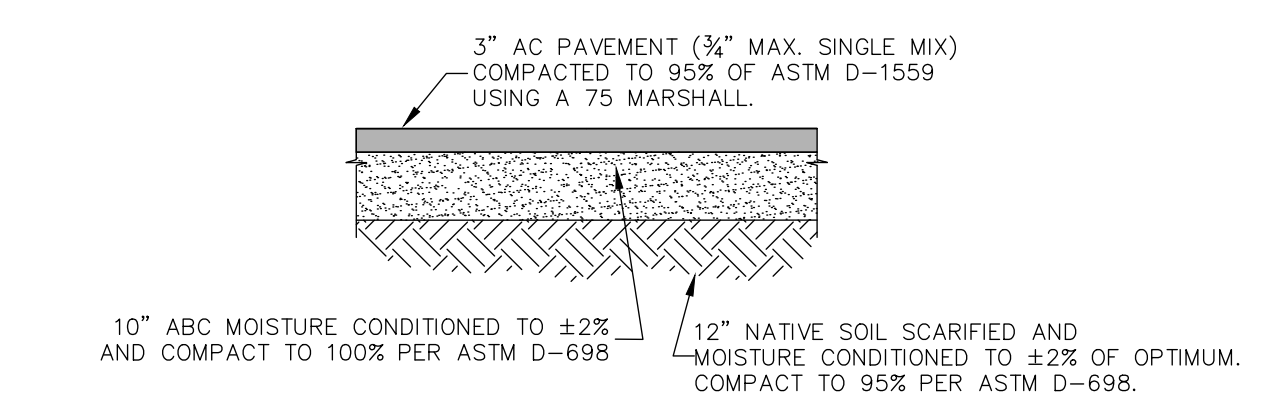
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INDUSTRIAL STREET SECTION

YUMA COUNTY CONSTRUCTION STANDARD DETAIL DRAWINGS STD. NO. 2-070 (MODIFIED, NTS)

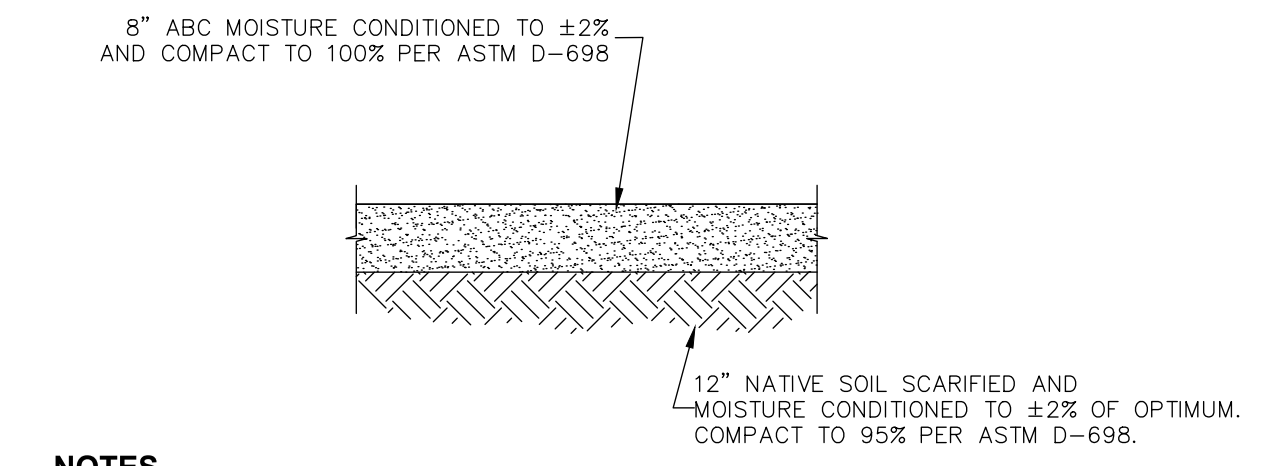
A
6



- NOTES**
1. ASPHALT SHALL MEET CURRENT YUMA COUNTY STANDARD SPEC. 321 FOR 3/4 INCH MAXIMUM SINGLE COARSE.
 2. AGGREGATE BASE SHALL YUMA COUNTY SPECIFICATION SECTION 310.

PAVEMENT STRUCTURAL SECTION

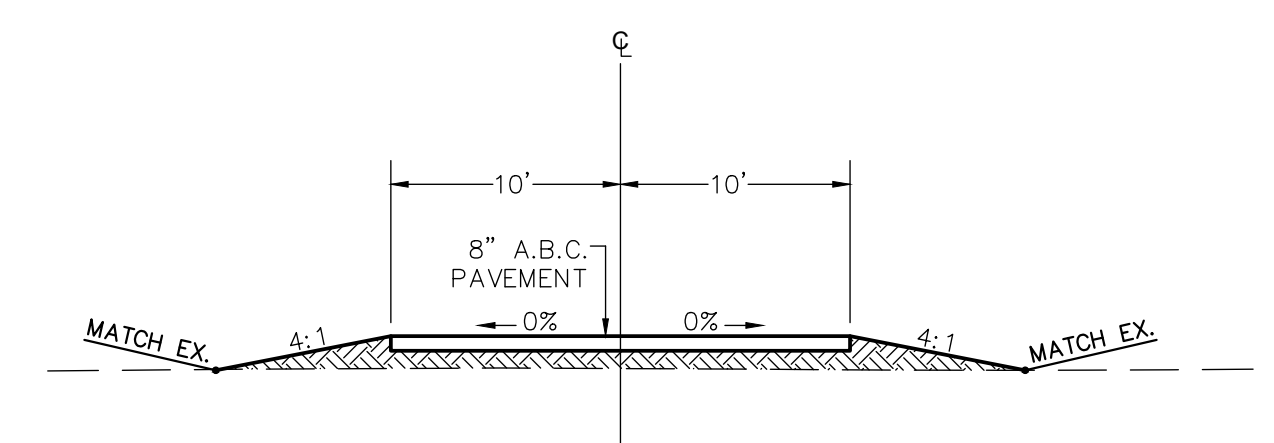
B
6



- NOTES**
1. ASPHALT SHALL MEET CURRENT YUMA COUNTY STANDARD SPEC. 321 FOR 3/4 INCH MAXIMUM SINGLE COARSE.
 2. AGGREGATE BASE SHALL YUMA COUNTY SPECIFICATION SECTION 310.

ABC STRUCTURAL SECTION

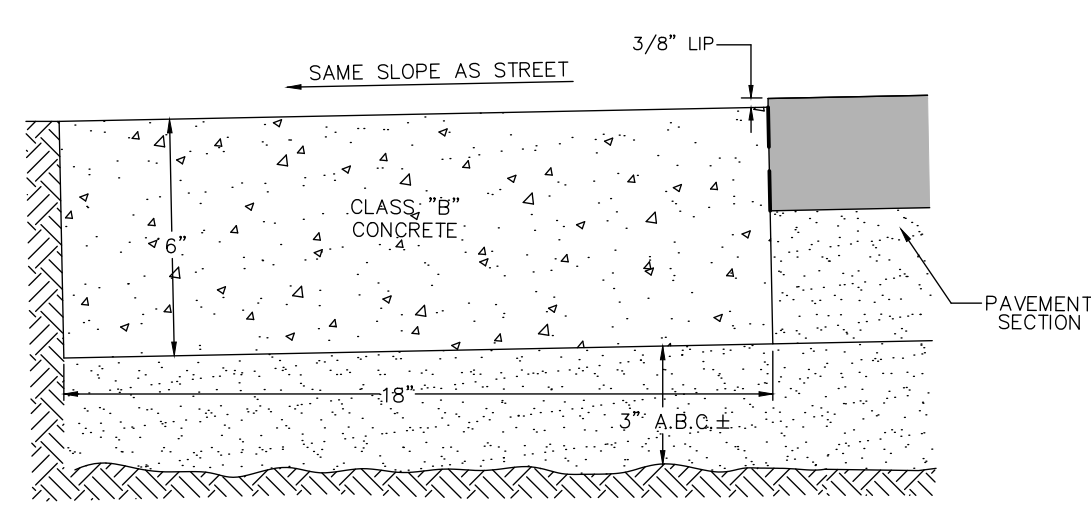
E
6



- NOTE**
1. AGGREGATE BASE SHALL MEET YUMA COUNTY SPECIFICATION SECTION 310.

20' ABC ACCESS ROADWAY

F
6

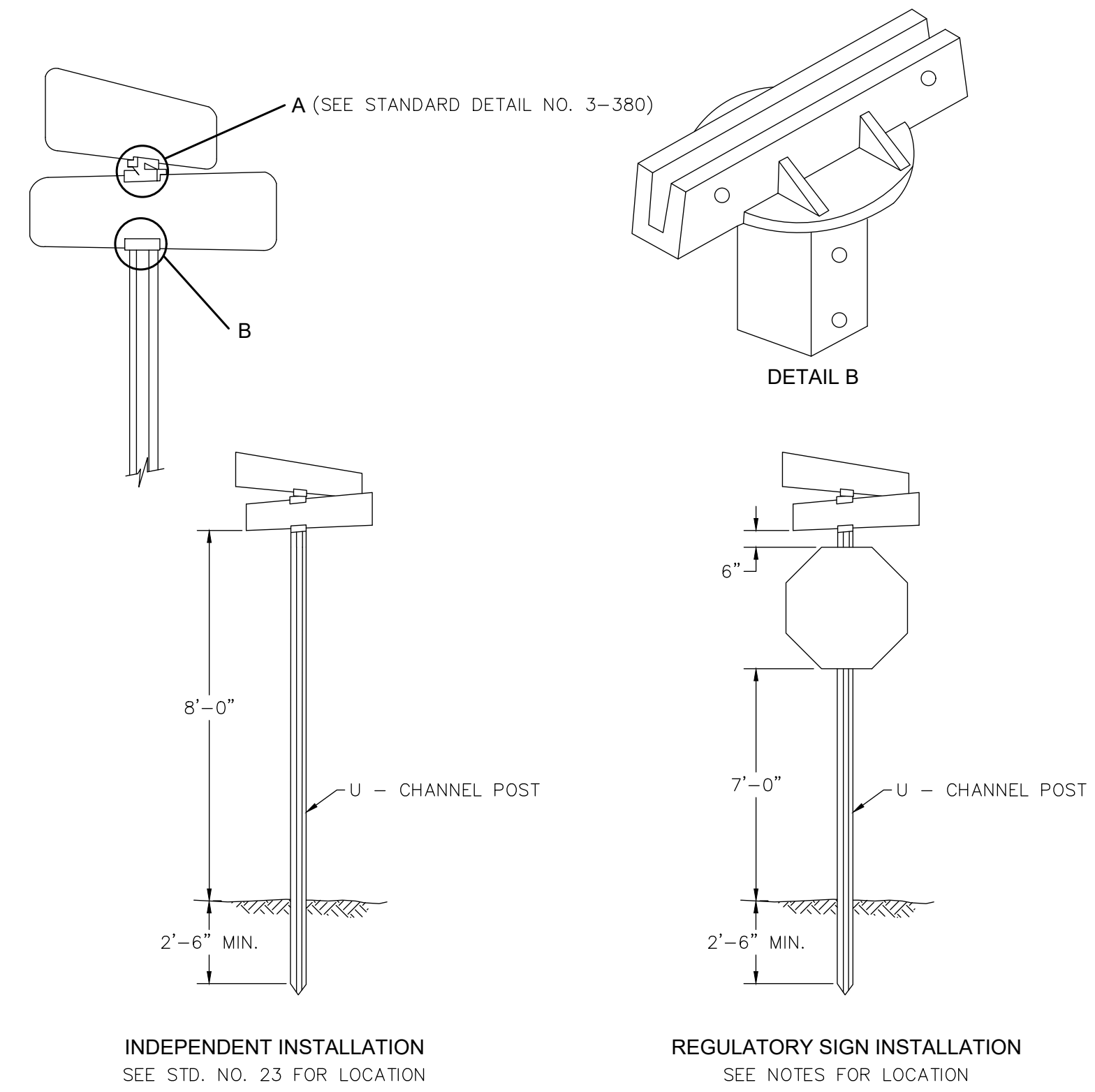


- NOTES**
1. IN GROUP A SOIL CONDITIONS: 8" OF CONCRETE MAY BE SUBSTITUTED FOR 6" OF CONCRETE AND 3" A.B.C. WITH THE APPROVAL OF THE CITY ENGINEER.
 2. BROOM FINISH EXPOSED SURFACE.
 3. CONTRACTION JOINT SPACING AS PER SECTION 3.3.8 OF PUBLIC WORKS STANDARD.
 4. EXPANSION JOINT SPACING 50' MAX AS PER SECTION 3.3.8 OF PUBLIC WORKS STANDARDS.

PAVEMENT BORDER

YUMA COUNTY CONSTRUCTION STANDARD DETAIL NO. 3-160 (MODIFIED)

C
6



- NOTES**
- U-CHANNEL POSTS SHALL BE FLANGED GALVANIZED AND A MINIMUM OF 2 LB. PER FOOT IN WEIGHT.
- WHEN STREET NAME SIGNS ARE MOUNTED WITH A REGULATORY SIGN, THE LOCATION WILL BE AS PER THE M.U.T.C.D.
- SEE GENERAL NOTES ON STD. DETAIL NO. 3-380.

DOUBLE FACED STREET SIGN - STOP SIGN

YUMA COUNTY CONSTRUCTION STANDARD DETAIL NO. 3-380

D
6



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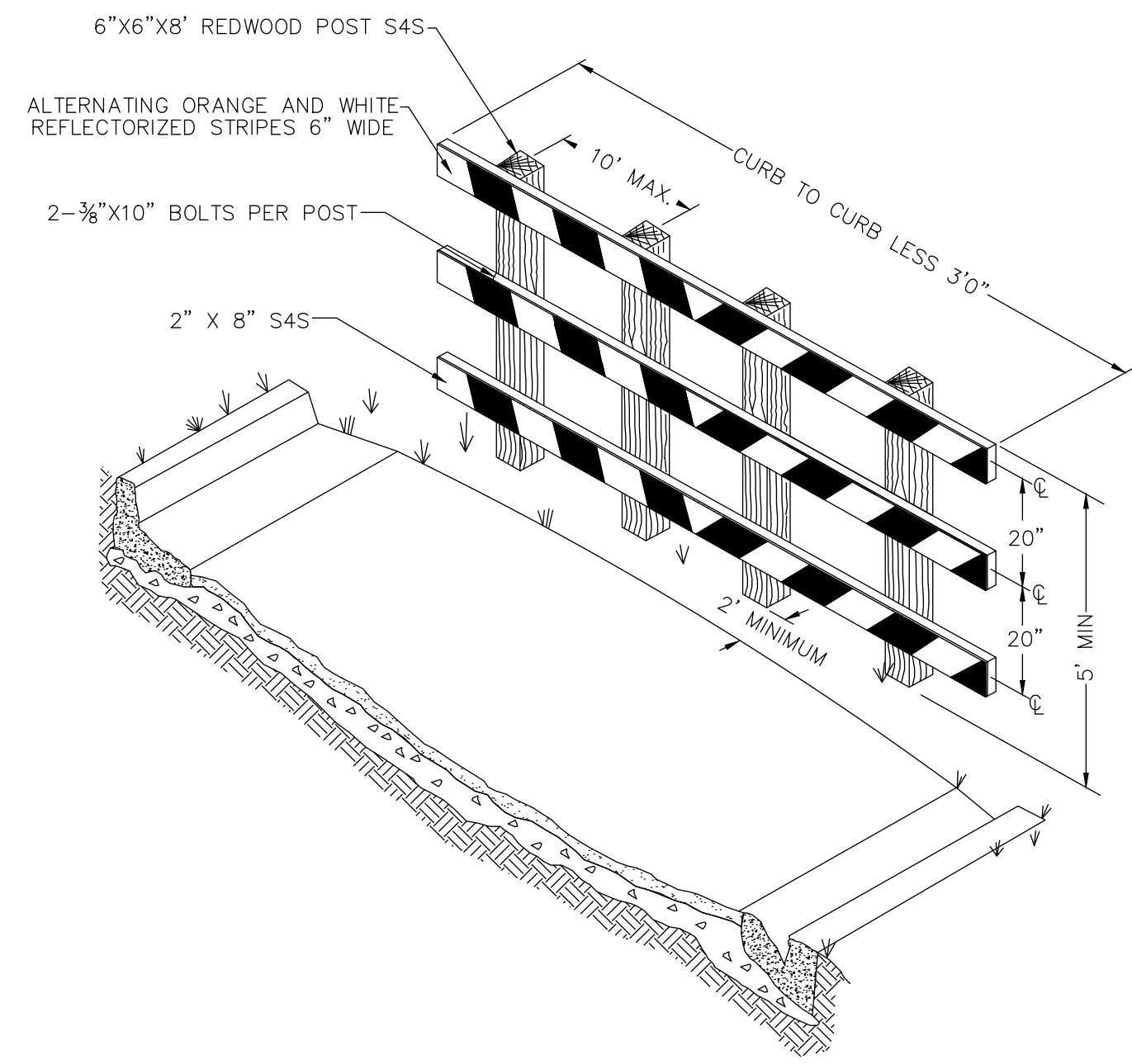
**MAGRINO INDUSTRIAL PARK
 UNIT NO. 3
 CITY OF SAN LUIS
 YUMA COUNTY, ARIZONA**

PAVING DETAILS

Professional Engineer
 CERTIFICATE NO. 32329
 DOUGLAS J. NICHOLLS
 License Expires 12/31/2025

Date: DEC. 2019
 Designed: K.L.B.
 Drawn: J.M.G.
 Checked: D.J.N.
 Proj. No.: 19-096

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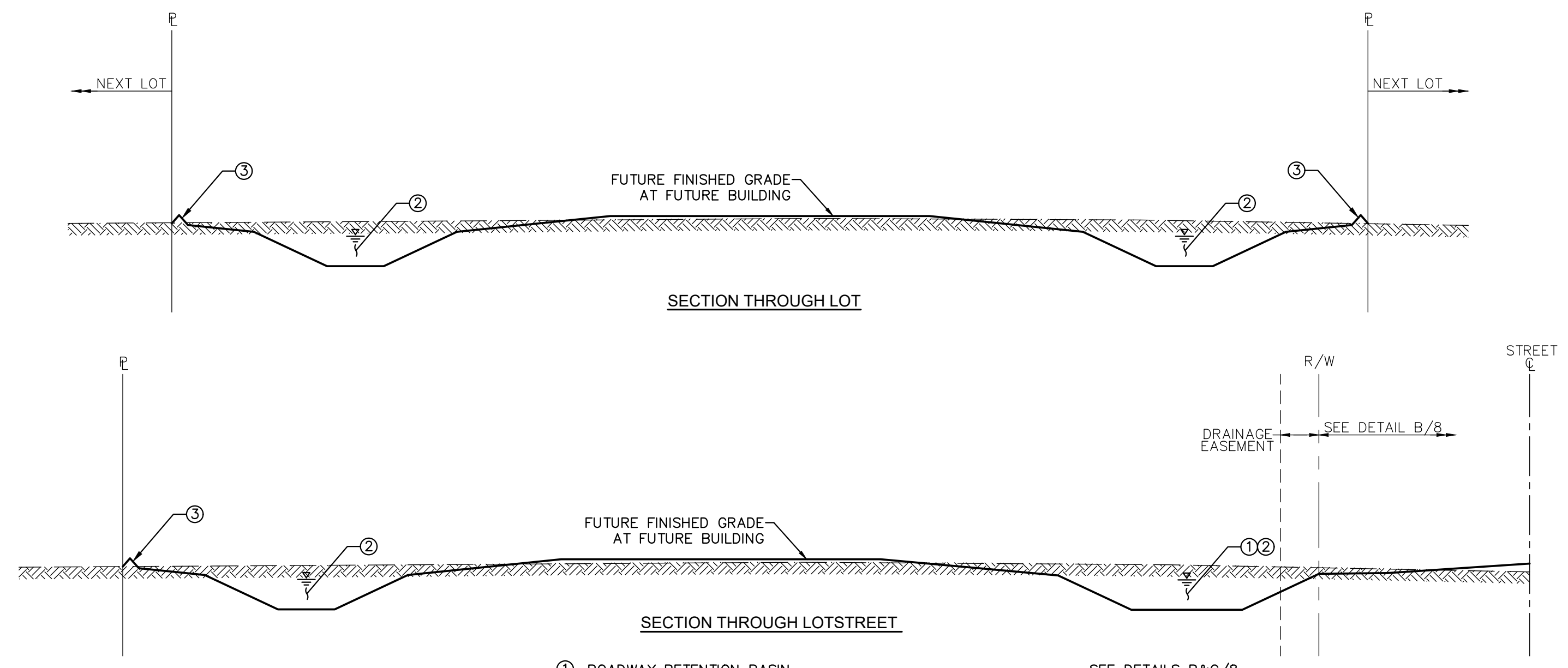
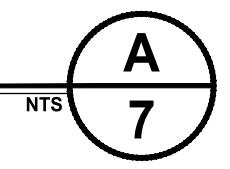


NOTES
 BARRICADE MARKINGS SHALL BE 3M ENGINEER GRADE REFLECTIVE SHEETING ON .080" THICK ALUMINUM SHEET OR EQUAL AS DIRECTED BY PUBLIC WORKS.
 RAIL TIMBER TO BE NO. 1 D.F. S4S AND TO RECEIVE 2 COATS OF OUTSIDE WHITE PAINT ON NON-REFLECTIVE SURFACES. STRIPES SHALL SLOPE TOWARD THE CENTER OF THE PAVEMENT FROM BOTH SIDES, UNLESS OTHERWISE INSTRUCTED BY THE ENGINEER.

STREET WIDTH	NO. OF POSTS
26' - 32'	4
38' - 44'	5
48'	6
68' - 72'	8

TYPE III BARRICADE

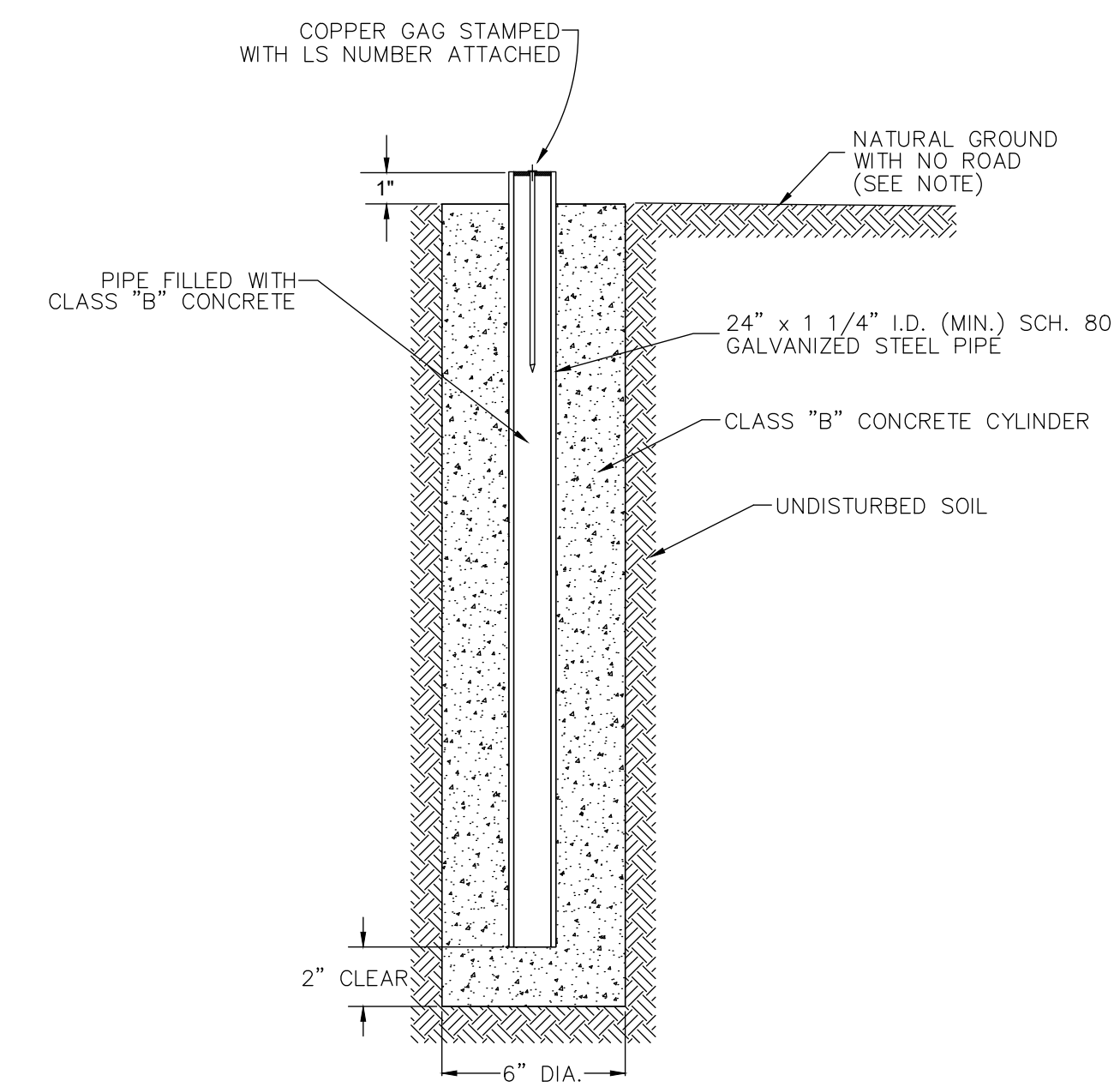
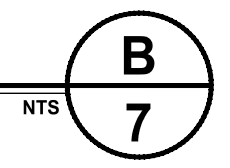
YUMA COUNTY CONSTRUCTION STANDARD DETAIL NO. 3-360



- ① ROADWAY RETENTION BASIN -SEE DETAILS B&C/B
- ② POSSIBLE ON SITE RETENTION BY LOT DEVELOPER
- ③ BERM AS REQUIRED TO PREVENT CROSS PROPERTY DRAINAGE -BY LOT DEVELOPER

NOTE
 THE INTENT OF THIS DETAIL IS TO SHOW THE LOT DRAINAGE/GRADING FUTURE CONCEPT. THIS DETAIL IS FOR REFERENCE ONLY SINCE THE LOT GRADING AND ROADSIDE DRAINAGE WILL BE BY INDIVIDUAL LOT DEVELOPER AT THE TIME OF LOT DEVELOPMENT. A STANDARD GRADING PERMIT IS STILL REQUIRED FOR THE LOT DEVELOPMENT.

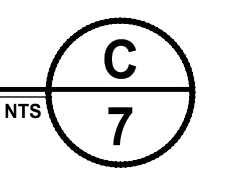
CONCEPTUAL ON-SITE RETENTION AND LOT GRADING DETAIL (BY OTHERS)



NOTE
 IF SUBDIVISION BOUNDARY MONUMENT IS LOCATED WITHIN THE ROADWAY, INSTALL STANDARD NO. 4-080.

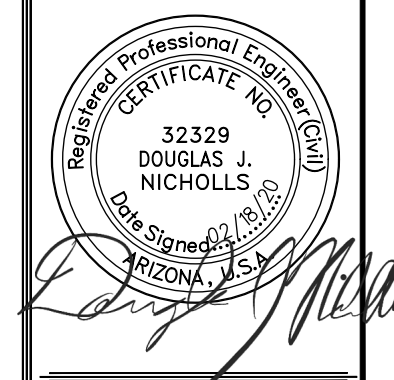
BOUNDARY MONUMENT

YUMA COUNTY CONSTRUCTION STANDARD DETAIL DRAWING NO. 4-030



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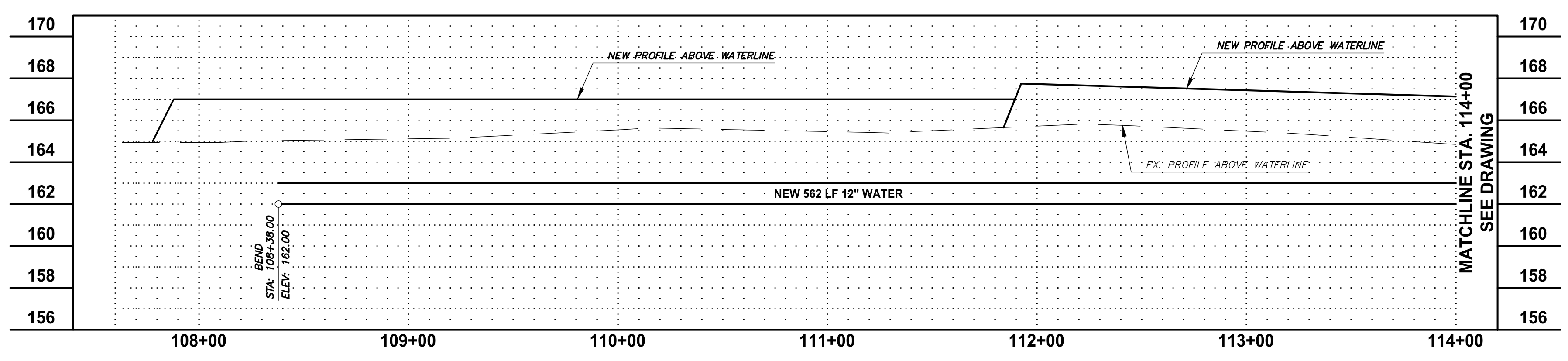
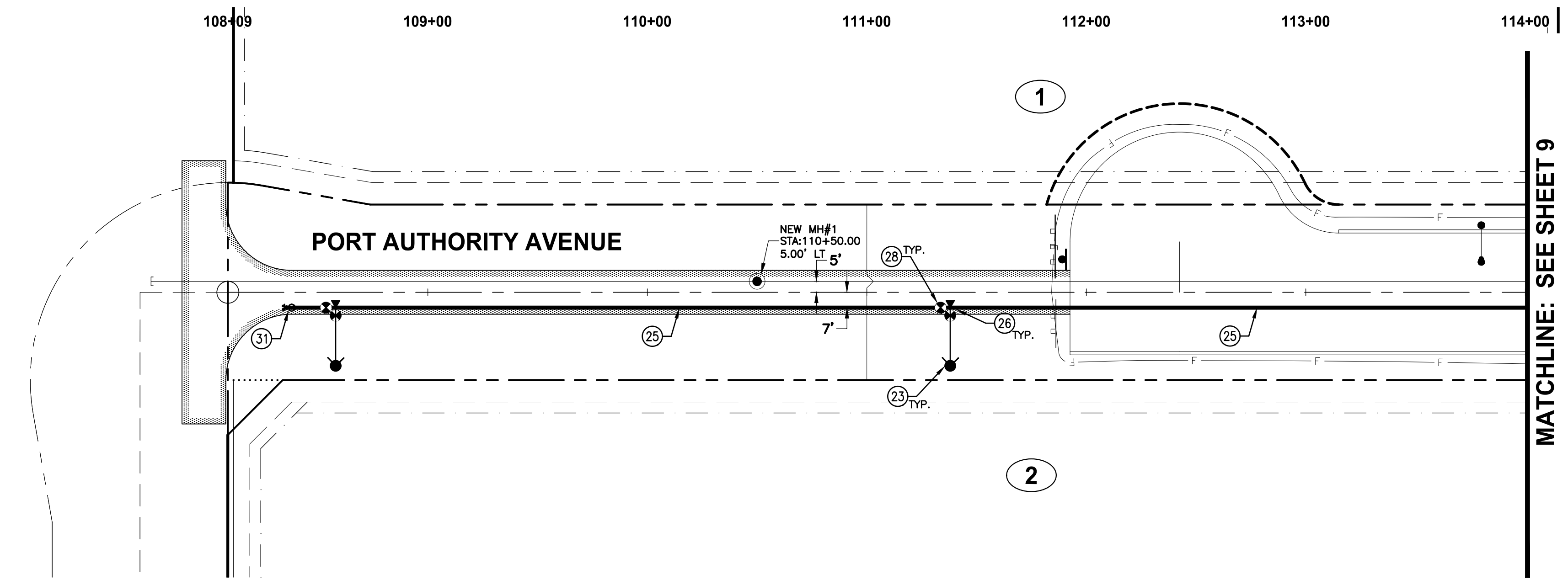
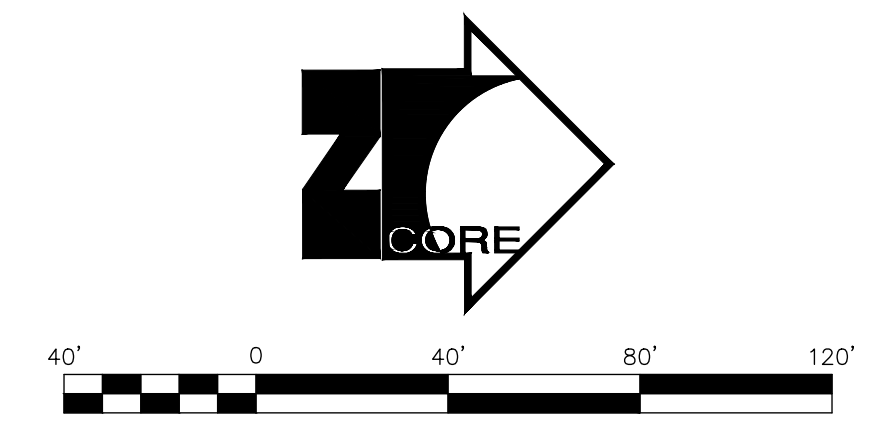
CORE

**MAGRINO INDUSTRIAL PARK
 UNIT NO. 3
 CITY OF SAN LUIS
 YUMA COUNTY, ARIZONA**

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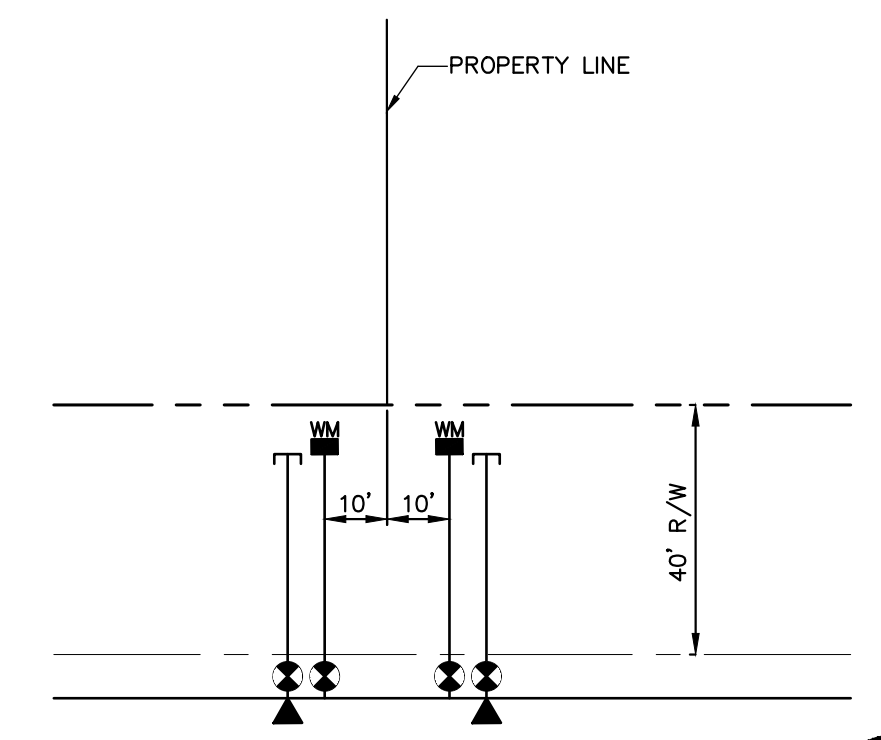
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WATER SCHEDULE OF WORK

- 20 12" 45° BEND AND THRUST BLOCK (COST INCLUDED IN WATERLINE) -COY STD NO. 5-020
-COY STD NO. 5-025
- 21 1" SINGLE WATER SERVICE (COST INCLUDED IN ITEM 22) -COY STD NO. 5-035
-COY STD NO. 5-015
-SEE DETAIL A/8
- 22 1" SERVICE METER BOX -COY STD NO. 5-055
- 23 6" FIRE HYDRANT ASSEMBLY AND STREET MARKER -COY STD NO. 5-155
-COY STD NO. 5-160
- 24 6" CLASS 150 C900 PVC WATERLINE -COY STD NO. 5-010
- 25 12" CLASS 150 C900 PVC WATERLINE -COY STD NO. 5-010
- 26 12" X 12" X 6" TEE AND THRUST BLOCK (COST INCLUDED IN WATERLINE) -COY STD NO. 5-020
-COY STD NO. 5-025
- 27 6" GATE VALVE WITH ANCHOR, VALVE BOX, FRAME AND COVER -COY STD NO. 5-065
-COY STD NO. 5-075
- 28 12" GATE VALVE WITH ANCHOR, VALVE BOX, AND COVER -COY STD NO. 5-065
-COY STD NO. 5-075
- 29 CONNECT NEW 12" WATERLINE TO EXISTING
- 30 12" 90° BEND AND THRUST BLOCK (COST INCLUDED IN WATERLINE) -COY STD NO. 5-020
-COY STD NO. 5-025
- 31 WATERMAIN BLOWOFF -COY STD NO. 5-085



TYPICAL WATER SERVICE SPACING FROM PROPERTY LINE A
8

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 www.CoreEngineeringGroup.com
 Core@core-e-g.com

MAGRINO INDUSTRIAL PARK UNIT NO. 3
 CITY OF SAN LUIS YUMA COUNTY, ARIZONA
 PORT AUTHORITY - WATER PLAN & PROFILE

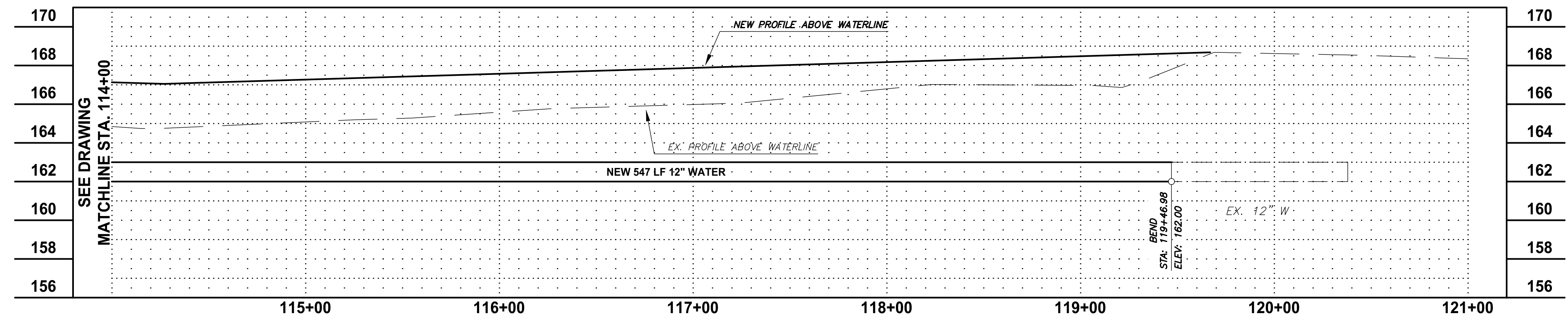
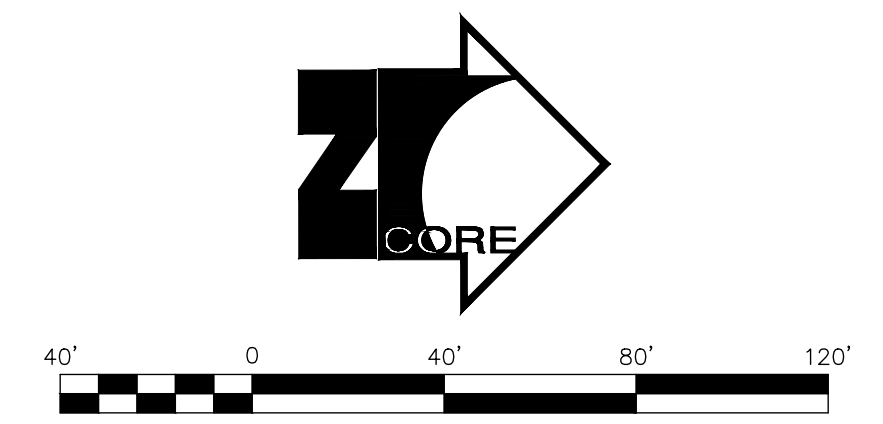
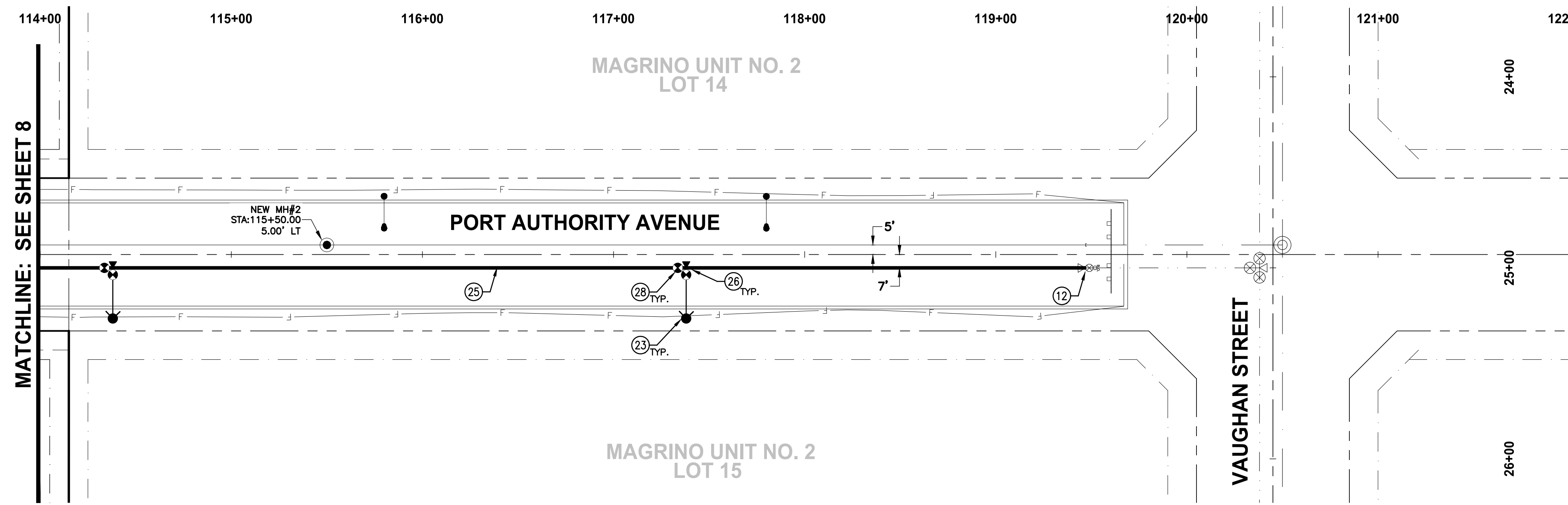
Call at least two full working days before you begin excavation.

ARIZONA 811
 Arizona Blue Stake, Inc.
 Dial 8-1-1 or 1-800-STAKE-IT (782-5348)
 In Maricopa County: (602) 263-1100

Date: DEC. 2019
 Designed: K.L.B.
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8

Tue, 18 Feb 2020 3:37pm Z:\2019\19-096\Draws\Prelim Plot\19-096 Prelim Plot Water.dwg Core Engineering Group, PLLC



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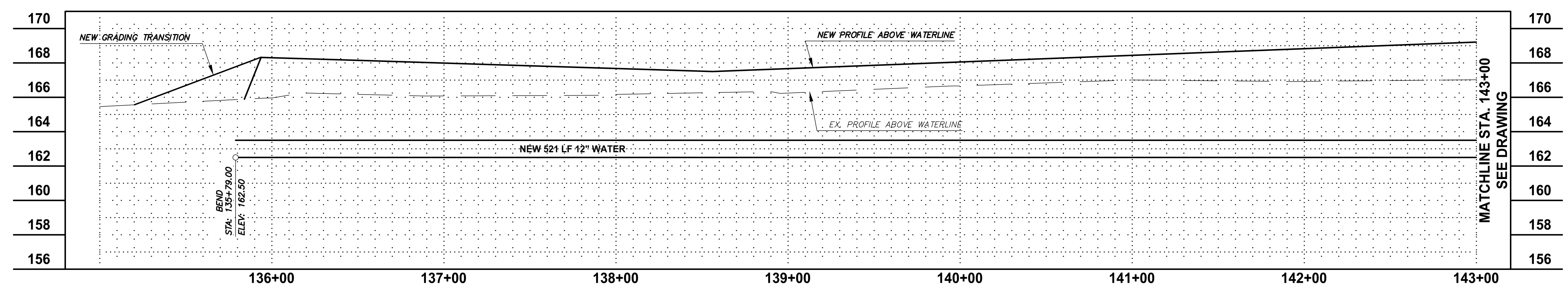
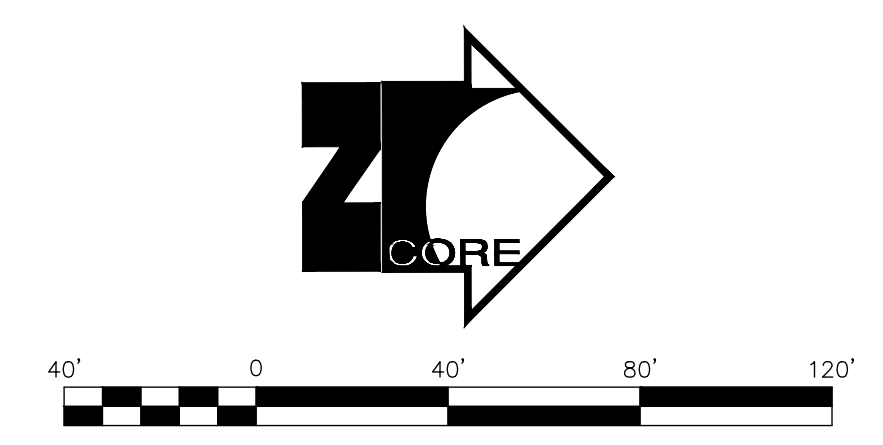
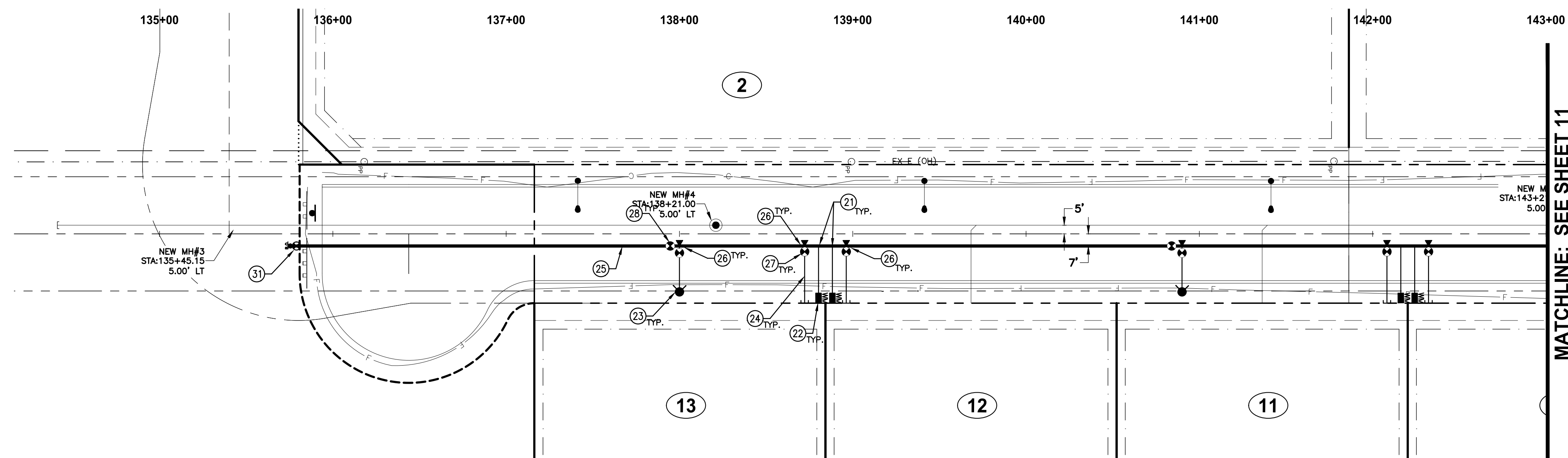
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PORT AUTHORITY - WATER PLAN & PROFILE
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9
 SHEET

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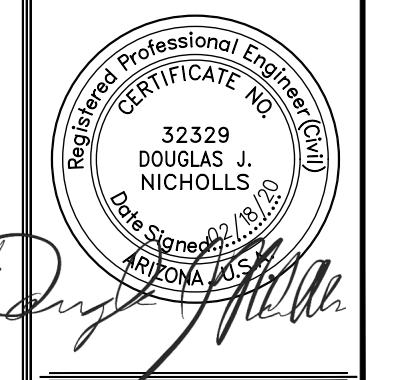


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- 31 WATERMAIN BLOWOFF -COY STD NO. 5-085

UTILITY DISCLAIMER

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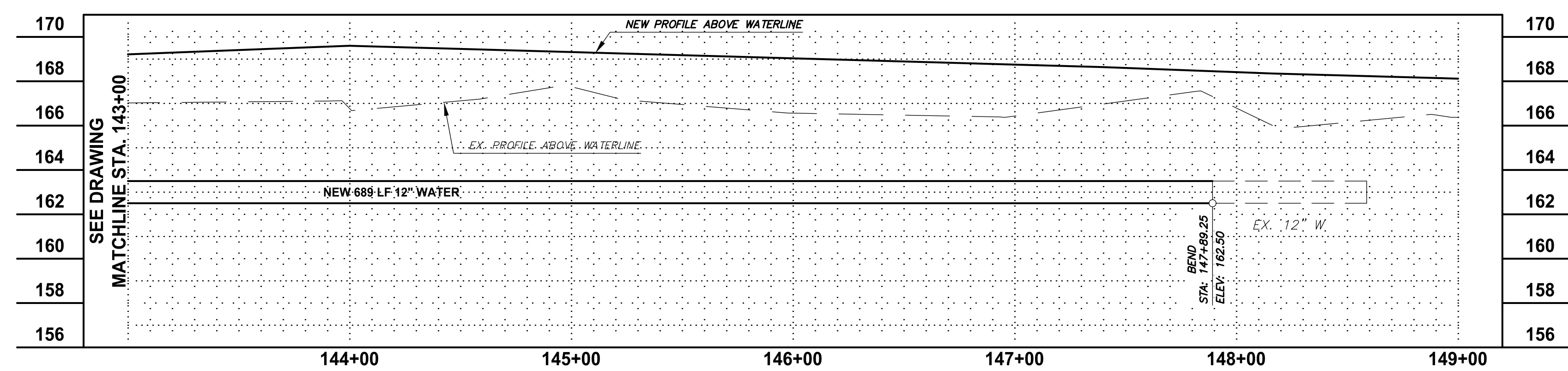
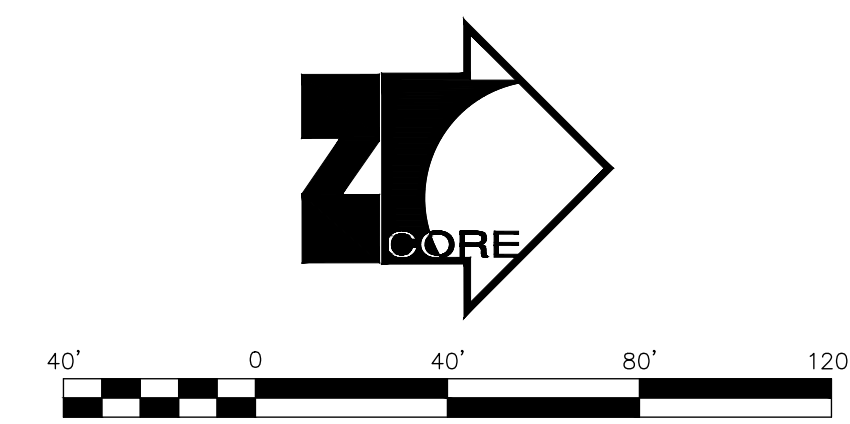
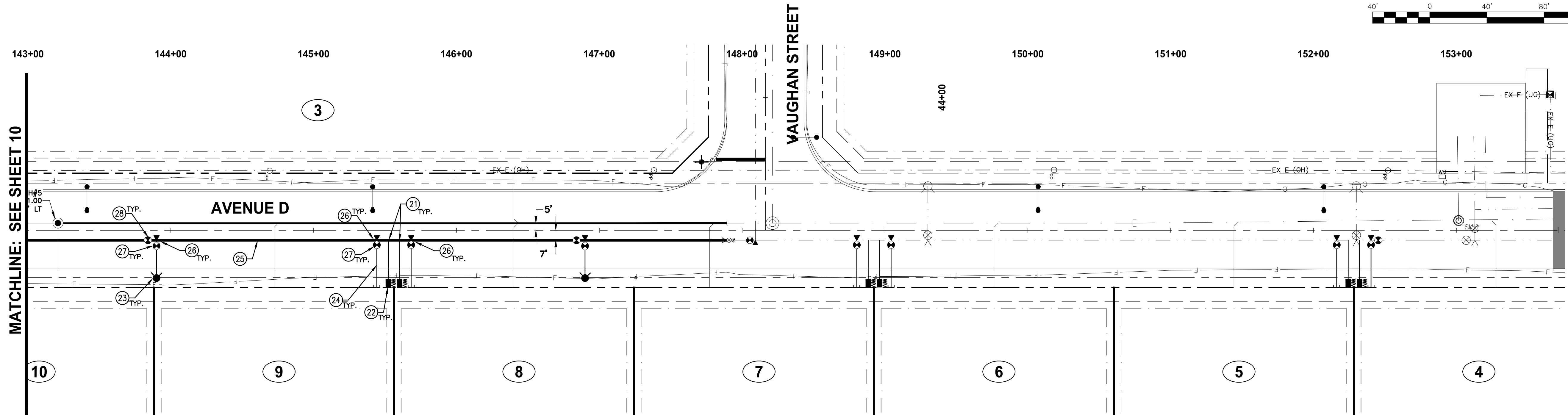
Date: DEC. 2019
 Designed: K.L.B.
 Drawn: J.M.G.
 Checked: D.J.N.
 Proj. No.: 19-096

DRAWING RECORD:	
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 200 East 16th Street, Suite 150
 Yuma, AZ 85364
 V - 928-344-5931 F - 928-344-5932
 www.CoreEngineeringGroup.com
 Core@core-e-g.com

**MAGRINO INDUSTRIAL PARK
 UNIT NO. 3
 CITY OF SAN LUIS
 YUMA COUNTY, ARIZONA
 AVE D - WATER PLAN & PROFILE**

Tue, 18 Feb 2020 3:35pm Z:\2019\19-096\Draws\Prelim Plot\19-096 Prelim Plot_Watskw.dwg - Core Engineering Group, PLLC



WATER SCHEDULE OF WORK

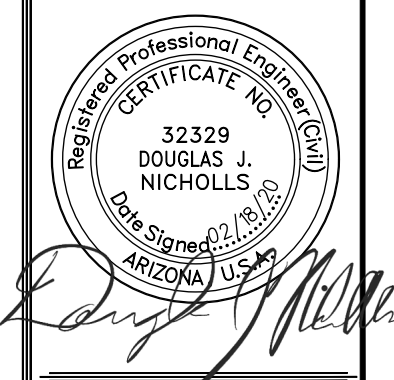
- (20) 12" 45° BEND AND THRUST BLOCK (COST INCLUDED IN WATERLINE) -COY STD NO. 5-020
-COY STD NO. 5-025
- (21) 1" SINGLE WATER SERVICE (COST INCLUDED IN ITEM 22) -COY STD NO. 5-035
-COY STD NO. 5-015
-SEE DETAIL A/8
- (22) 1" SERVICE METER BOX -COY STD NO. 5-055
- (23) 6" FIRE HYDRANT ASSEMBLY AND STREET MARKER -COY STD NO. 5-155
-COY STD NO. 5-160
- (24) 6" CLASS 150 C900 PVC WATERLINE -COY STD NO. 5-010
- (25) 12" CLASS 150 C900 PVC WATERLINE -COY STD NO. 5-010
- (26) 12" X 12" X 6" TEE AND THRUST BLOCK (COST INCLUDED IN WATERLINE) -COY STD NO. 5-020
-COY STD NO. 5-025
- (27) 6" GATE VALVE WITH ANCHOR, VALVE BOX, FRAME AND COVER -COY STD NO. 5-065
-COY STD NO. 5-075
- (28) 12" GATE VALVE WITH ANCHOR, VALVE BOX, AND COVER -COY STD NO. 5-065
-COY STD NO. 5-075
- (29) CONNECT NEW 12" WATERLINE TO EXISTING
- (30) 12" 90° BEND AND THRUST BLOCK (COST INCLUDED IN WATERLINE) -COY STD NO. 5-020
-COY STD NO. 5-025
- (31) WATERMAIN BLOWOFF -COY STD NO. 5-085

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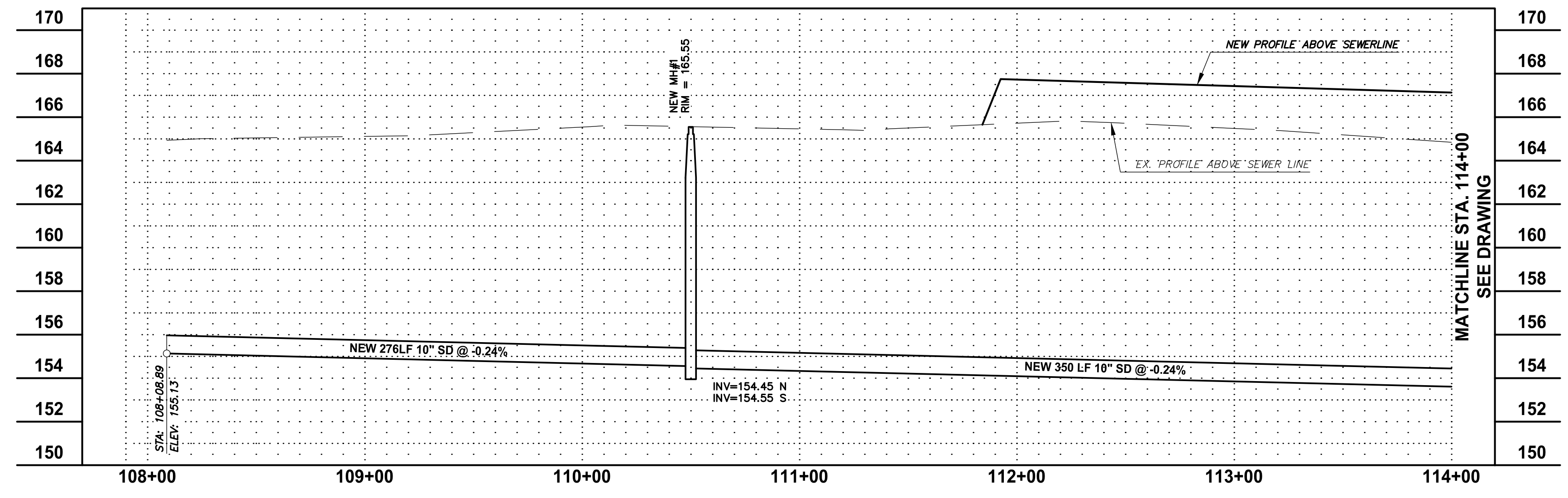
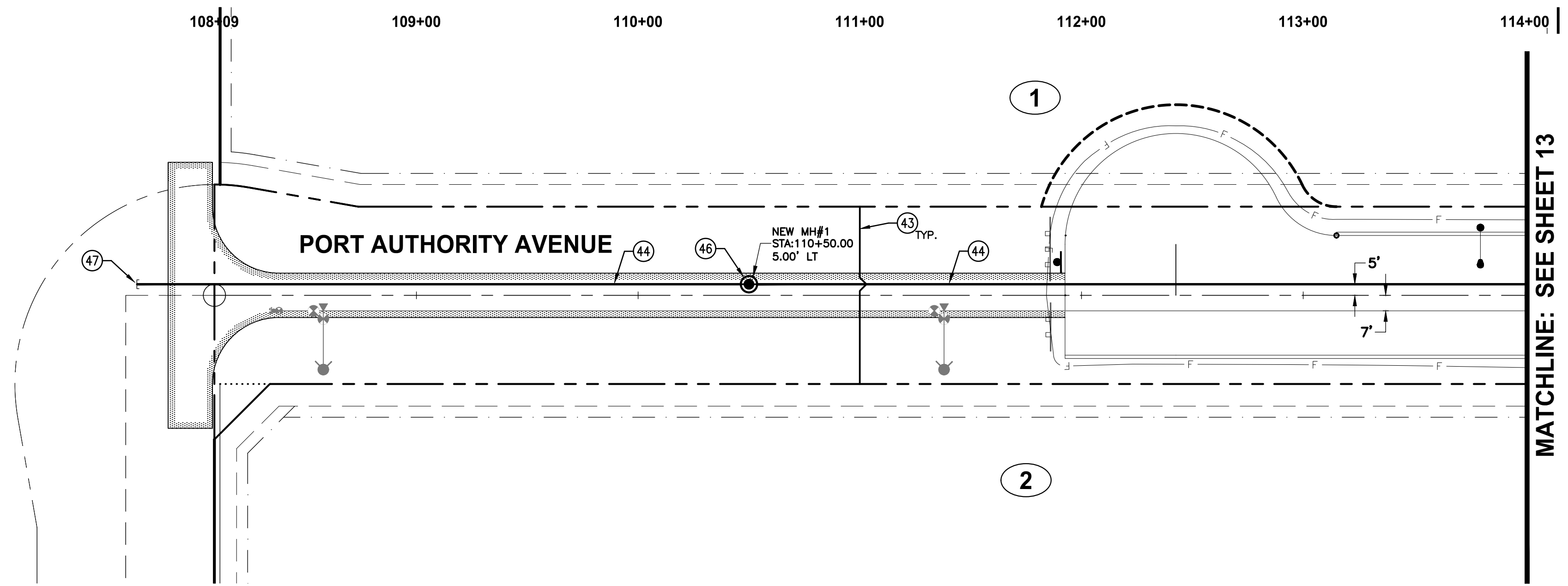
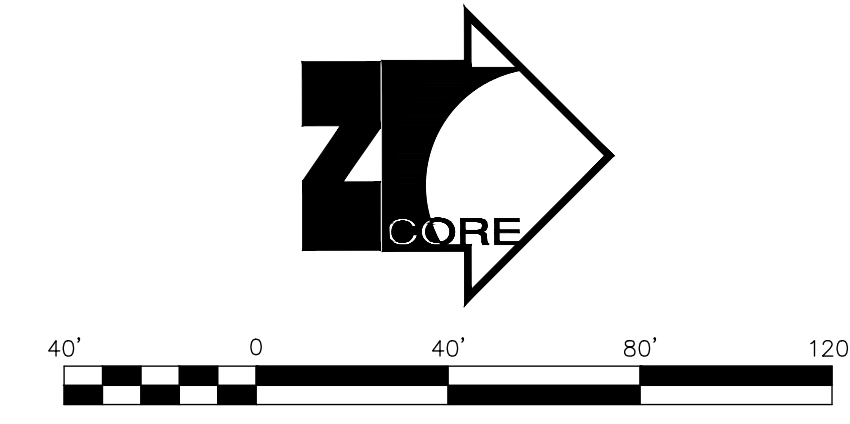
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SEWER SCHEDULE OF WORK

- ① 8" SDR 35 PVC SEWER LINE -COY STD NO. 5-010
- ② 60" POLYMER MANHOLE -COY STD NO. 6-080
- ③ 6" SEWER SERVICE (TYP. ALL LOTS) -COY STD NO. 6-090
- ④ 6" SEWER SERVICE (TYP. ALL LOTS) -COY STD NO. 5-015
- ⑤ 10" SDR 35 PVC SEWER LINE -COY STD NO. 5-010
- ⑥ 8" WATER & SEWER CROSSING -COY STD NO. 5-005
- ⑦ 48" POLYMER MANHOLE -COY STD NO. 6-080 (SIM.)
- ⑧ 48" POLYMER MANHOLE -COY STD NO. 6-090
- ⑨ WATERTIGHT CAP
- ⑩ ADJUST POLYMER MANHOLE TO FINAL GRADE -COY STD NO. 6-080

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**MAGRINO INDUSTRIAL PARK
UNIT NO. 3**

CITY OF SAN LUIS
YUMA COUNTY, ARIZONA

PORT AUTHORITY - SEWER PLAN & PROFILE

32329
DOUGLAS J.
NICHOLLS
Professional Engineer
State of Arizona

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Designed: K.L.B.

Drawn: J.M.G.

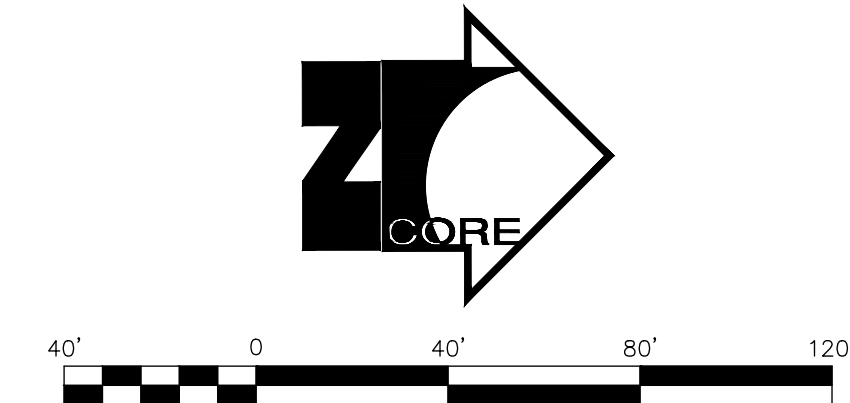
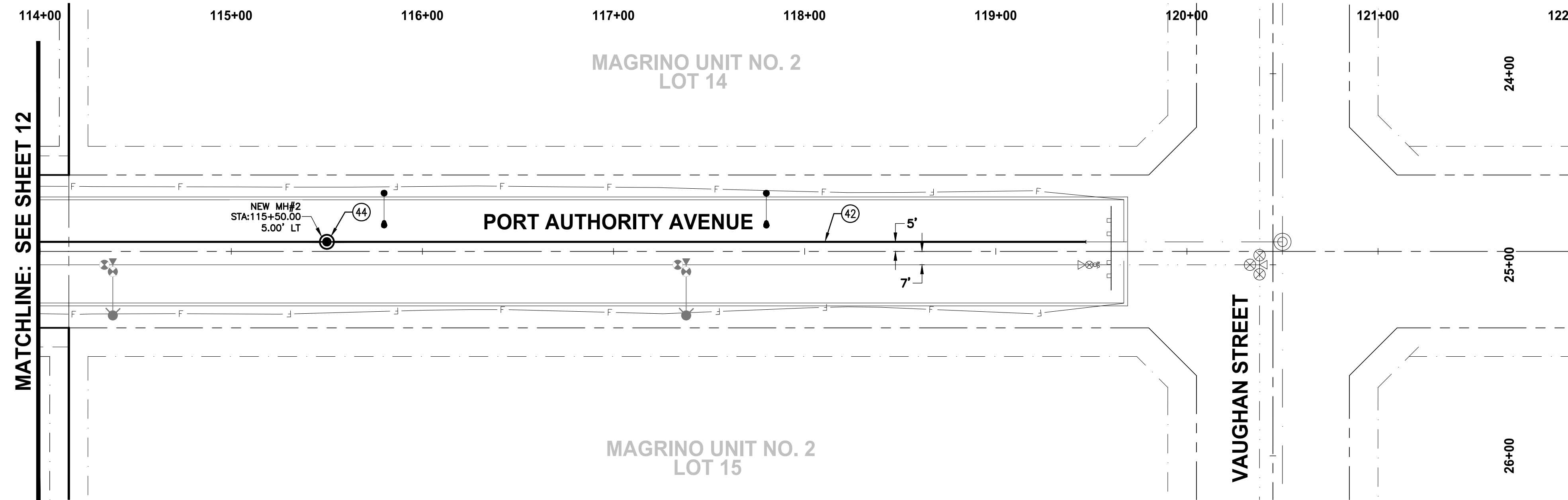
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12

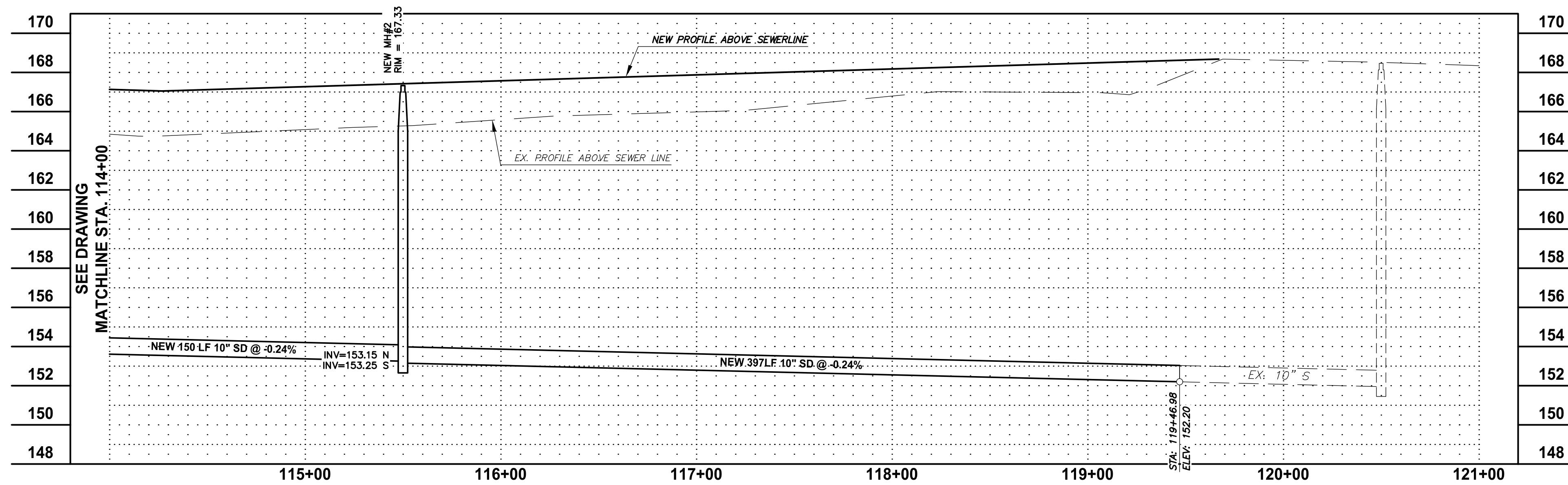
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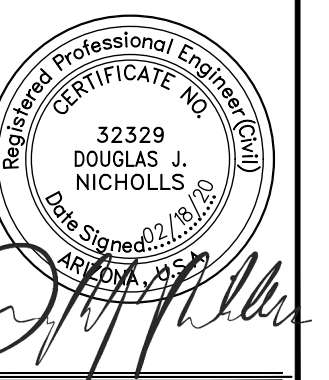
SEWER SCHEDULE OF WORK

- ④1 8" SDR 35 PVC SEWER LINE -COY STD NO. 5-010
- ④2 60" POLYMER MANHOLE -COY STD NO. 6-080
- ④3 6" SEWER SERVICE (TYP. ALL LOTS) -COY STD NO. 5-015
- ④4 10" SDR 35 PVC SEWER LINE -COY STD NO. 5-010
- ④5 8" WATER & SEWER CROSSING -COY STD NO. 5-005
- ④6 48" POLYMER MANHOLE -COY STD NO. 6-080 (SIM.)
- ④7 WATERTIGHT CAP -COY STD NO. 6-090
- ④8 ADJUST POLYMER MANHOLE TO FINAL GRADE -COY STD NO. 6-080



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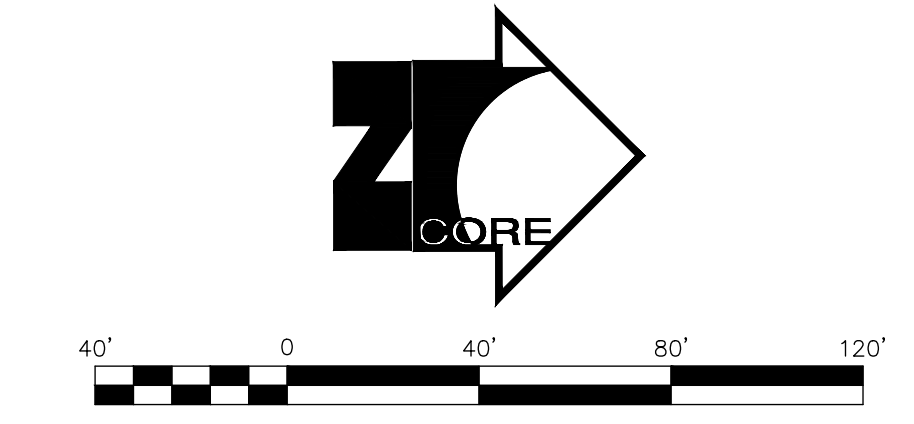
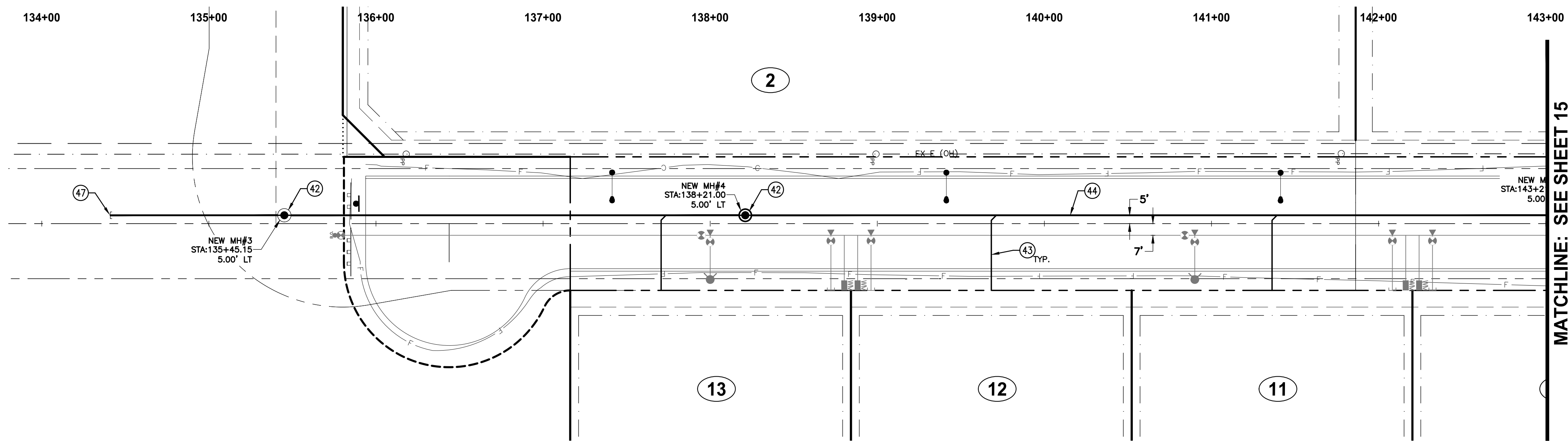
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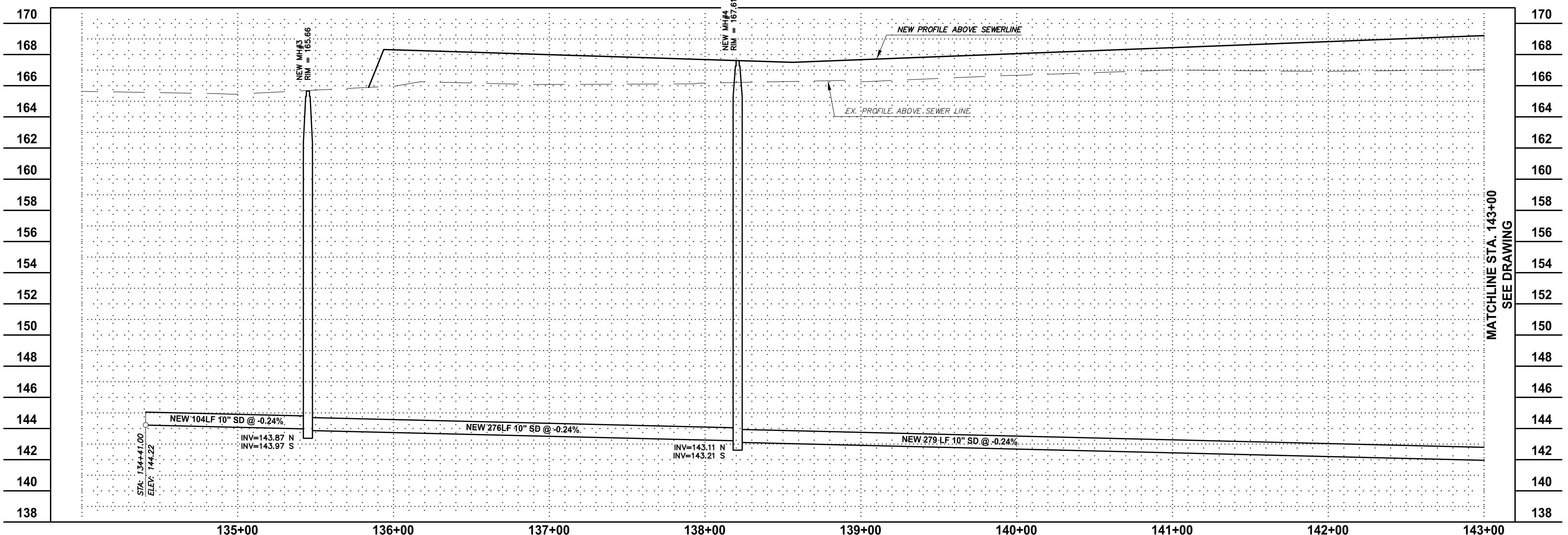
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SEWER SCHEDULE OF WORK

41	8" SDR 35 PVC SEWER LINE	-COY STD NO. 5-010
42	60" POLYMER MANHOLE	-COY STD NO. 6-080 -COY STD NO. 6-090
43	6" SEWER SERVICE (TYP. ALL LOTS)	-COY STD NO. 6-015 -COY STD NO. 5-015
44	10" SDR 35 PVC SEWER LINE	-COY STD NO. 5-010
45	8" WATER & SEWER CROSSING	-COY STD NO. 5-005
46	48" POLYMER MANHOLE	-COY STD NO. 6-080 (SIM.) -COY STD NO. 6-090
47	WATERTIGHT CAP	
48	ADJUST POLYMER MANHOLE TO FINAL GRADE	-COY STD NO. 6-080



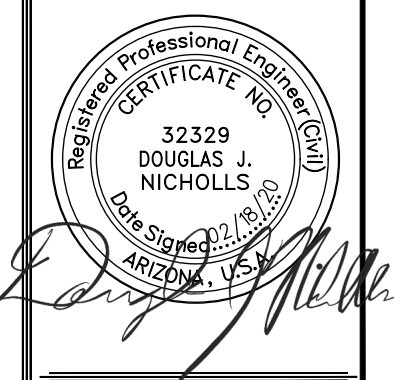
MATCHLINE: SEE SHEET 15

MATCHLINE STA. 143+00
SEE DRAWING

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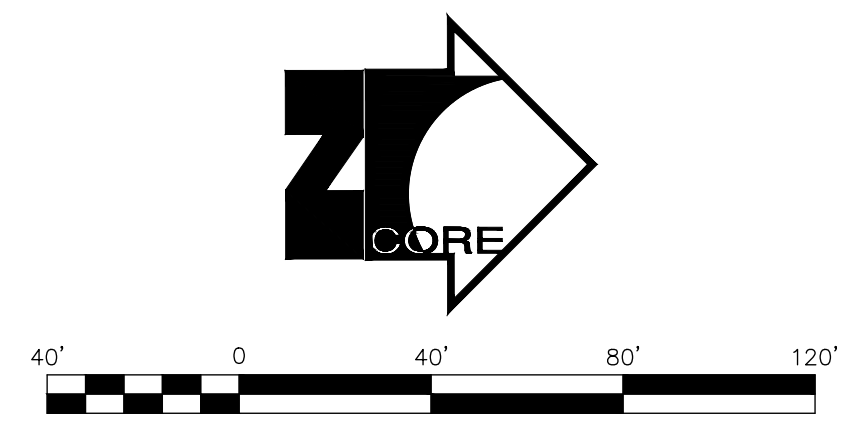
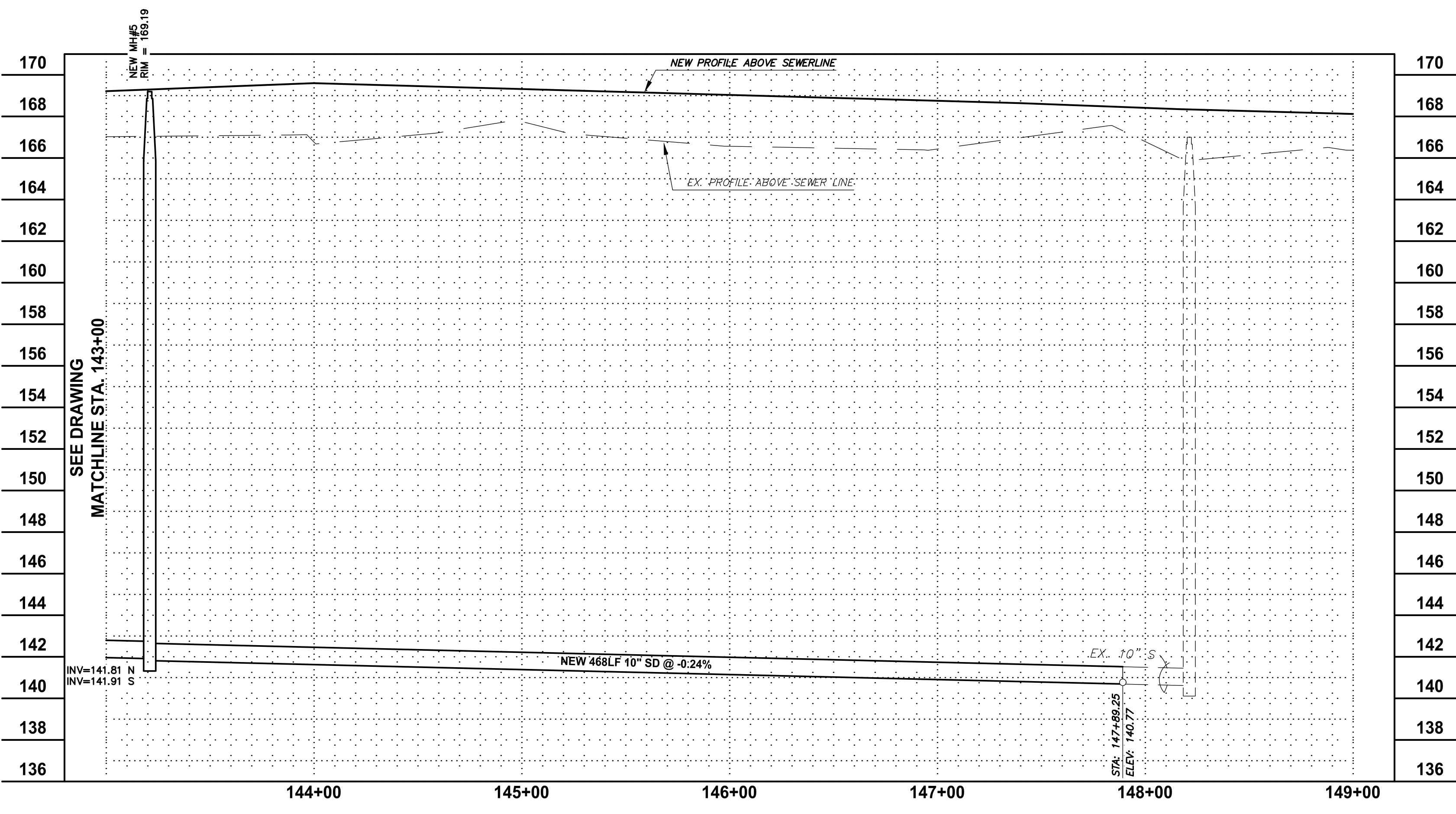
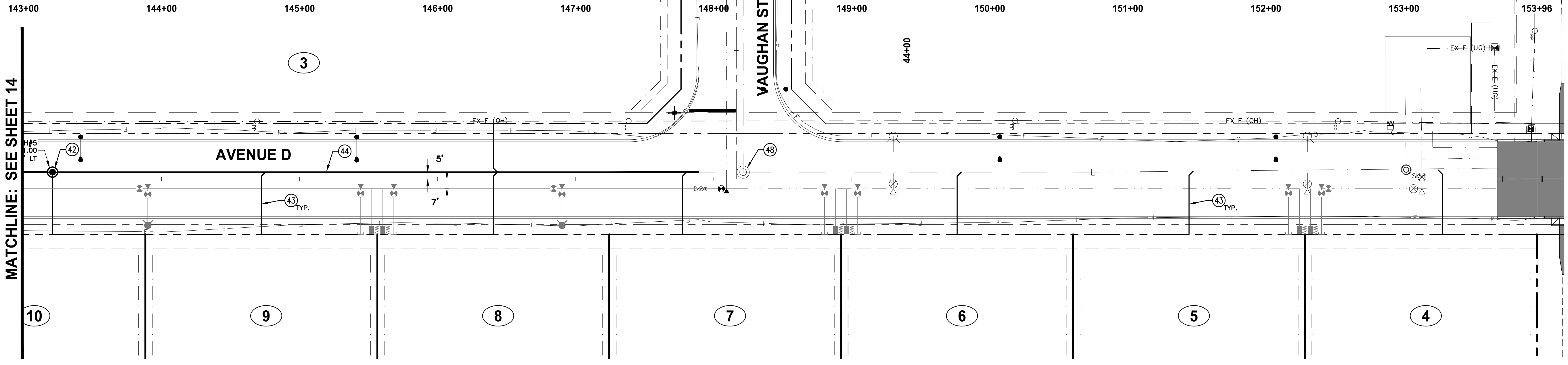


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MATCHLINE: SEE SHEET 14



SEWER SCHEDULE OF WORK

- (41) 8" SDR 35 PVC SEWER LINE -COY STD NO. 5-010
- (42) 60" POLYMER MANHOLE -COY STD NO. 6-080
-COY STD NO. 6-090
- (43) 6" SEWER SERVICE (TYP. ALL LOTS) -COY STD NO. 6-015
-COY STD NO. 5-015
- (44) 10" SDR 35 PVC SEWER LINE -COY STD NO. 5-010
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- (47) WATERTIGHT CAP
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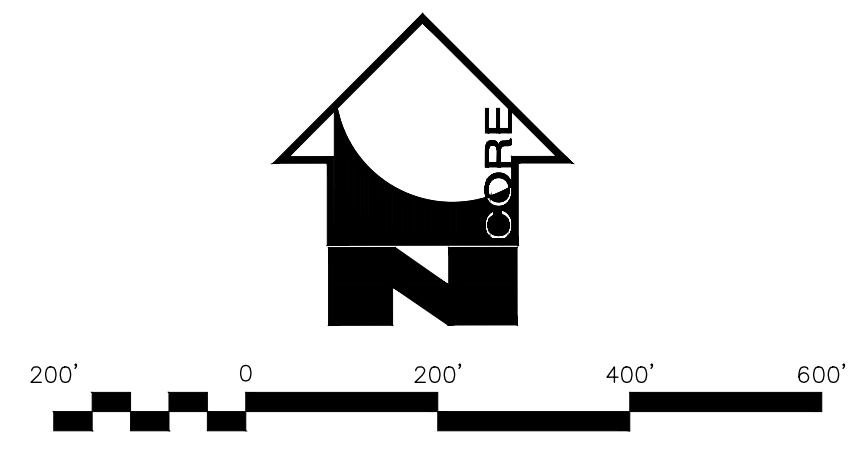
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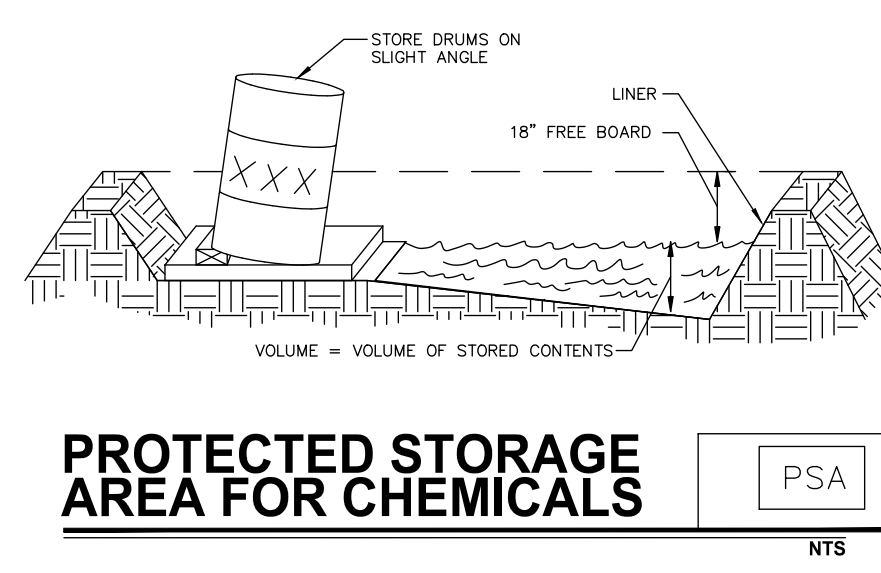
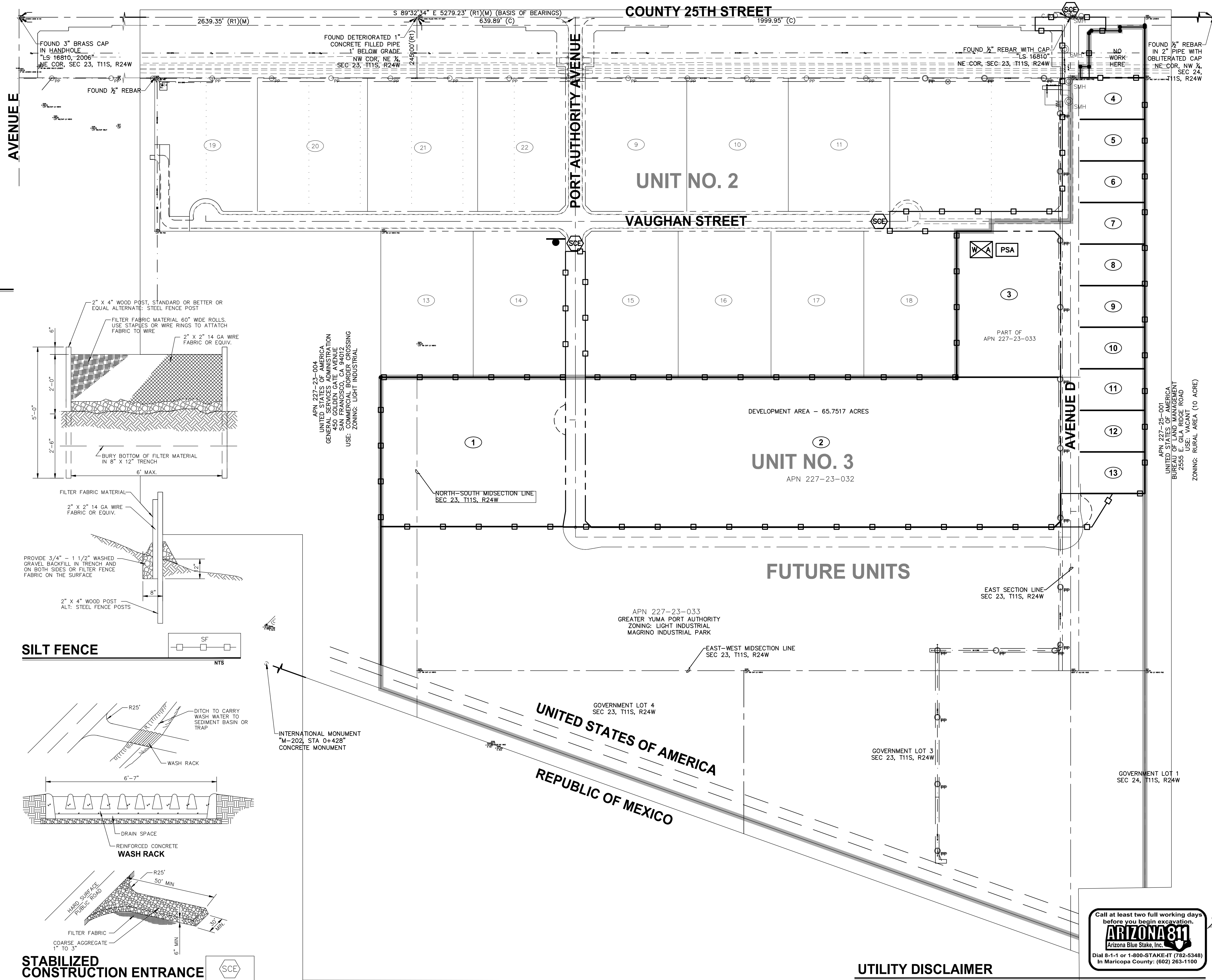


LEGEND

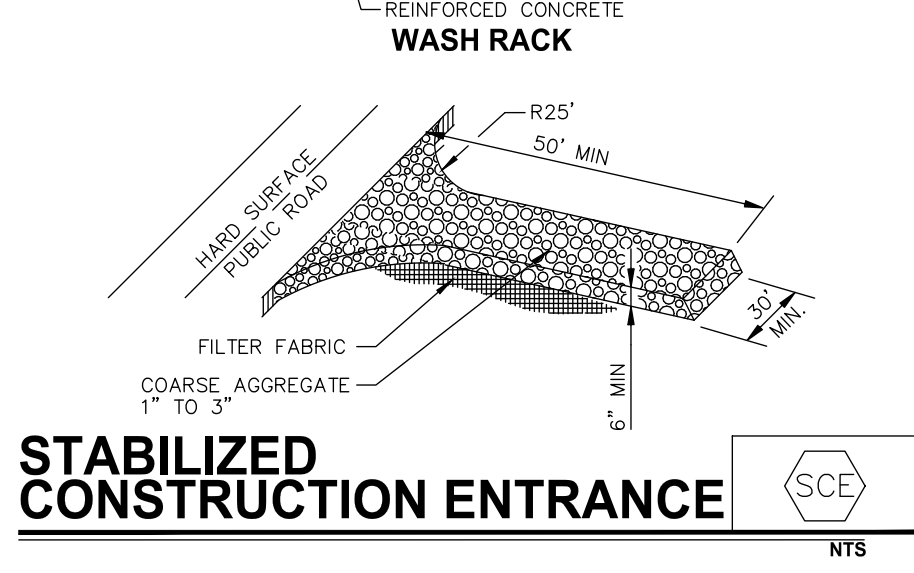
- DESIGNATED WASHOUT AREA
- STABILIZED CONSTRUCTION ENTRANCE
- PROTECTED STORAGE AREA
- SILT FENCE
- PROJECT INFORMATION SIGN WITH AZCON AUTHORIZATION NUMBER

STORMWATER MANAGEMENT PLAN NOTES:

1. AFTER PERMITS HAVE BEEN OBTAINED & EROSION CONTROL MEASURES INSTALLED, THE CONTRACTOR SHALL ROUGH GRADE SITE.
2. CONTRACTOR SHALL PREVENT ANY SILTATION FROM ENTERING ANY STORM SEWER SYSTEM. ALL INLETS & INLET OPENINGS SHALL BE FULLY ENCLOSED WITH INLET PROTECTION DURING AND AFTER CONSTRUCTION OF INLET.
3. NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
4. ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED, WITHIN 7 DAYS OF FINAL GRADING. SHOULD CONSTRUCTION STOP FOR LONGER THAN 14 DAYS, THE SITE SHALL BE SEEDED AS SPECIFIED.
5. MAINTAIN EROSION CONTROL MEASURES AT ALL TIMES ESPECIALLY BEFORE ANY PREDICTABLE RAIN.
6. THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE; AS THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE. THIS PLAN IS INTENDED TO BE UPDATED BY A QUALIFIED PERSON AS CONSTRUCTION ACTIVITIES PROCEED. METHODS OF EROSION CONTROL SHALL BE TAKEN FROM "DRAINAGE DESIGN FOR MARICOPA COUNTY, ARIZONA, VOLUME III EROSION CONTROL".
7. CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
8. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.
9. LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES.
10. ALL EXISTING STRUCTURES, FENCING, TREES, AND ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED AND DISPOSED OF OFF SITE. ANY BURNING ON SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
11. CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
12. CONTRACTOR TO IDENTIFY, ON PLAN, AREAS THAT HAVE REACHED FINAL STABILIZATION.
13. THE CONTRACTOR SHALL ADHERE TO THE SEQUENCE OF OPERATIONS FOR EROSION CONTROL IMPLEMENTATION HEREON. ANY DEVIATION FROM THIS SEQUENCE DEEMED NECESSARY BY THE CONTRACTOR SHALL BE APPROVED BY A QUALIFIED PERSONAL PERFORMING THE SITE SWPPP INSPECTIONS OR AS DESIGNATED IN SWPPP REPORT.
14. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS INVOLVED WITH CONSTRUCTION ACTIVITIES RELATED TO EROSION CONTROL AS SHOWN OR NOTED HEREON SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN IN THE SITE WORK SPECIFICATIONS, AS WELL AS THE ARIZONA POLLUTANT DISCHARGE ELIMINATION SYSTEM (AZPDES) PERMIT FOR THIS SITE, AND BECOME FAMILIAR WITH THEIR CONTENTS.
15. ALL WASH WATER SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT BETWEEN WASH WATER POLLUTANTS AND STORM RUNOFF DISCHARGED FROM THIS SITE.
16. OIL AND GREASE ABSORBING MATERIALS SHALL BE PROMPTLY USED TO CONTAIN AND/OR CLEAN UP ALL FUEL OR CHEMICAL SPILLS OR LEAKS.
17. DUST CONTROL SHALL BE ACCOMPLISHED BY WATERING DRY, EXPOSED AREAS ON A REGULAR BASIS. SPRAYING OF PETROLEUM BASED OR TOXIC LIQUIDS FOR THIS IS PROHIBITED.
18. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE CEASED FOR AT LEAST TWENTY-ONE DAYS SHALL BE TEMPORARILY SEEDED AND WATERED.
19. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED SHALL BE PERMANENTLY SEEDED WITHIN FOURTEEN DAY PER LANDSCAPING SPECIFICATIONS.
20. ALL VEHICLES SHALL BE CLEANED AT THE CONSTRUCTION EXIT POINTS ACCORDING TO NOTES SHOWN ON THE DETAIL THEREOF.
21. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED ONTO ADJACENT ROADWAYS BY VEHICLES EXITING THE SITE SHALL BE CLEANED OR REMOVED IMMEDIATELY.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROMPT REMOVAL OF ALL ACCUMULATED SILT ALONG SITE PERIMETER.
23. SILT FENCES SHALL BE PLACED AROUND ANY STOCKPILES USED ON THIS SITE.
24. ANY ADDITIONAL EROSION CONTROL MEASURES REQUIRED TO ENSURE COMPLIANCE WITH THE ARIZONA POLLUTANT DISCHARGE ELIMINATION SYSTEM CONSTRUCTION GENERAL PERMIT REGULATIONS SHALL BE IMPLEMENTED BY THE CONTRACTOR, AT NO ADDITIONAL EXPENSE TO THE OWNER.
25. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND PROPERLY DISPOSED OF OFF-SITE WITHIN THIRTY DAYS AFTER STABILIZATION OF ALL SURFACES.
26. THE CONTRACTOR SHALL ASSUME LIABILITY FOR DAMAGE TO ADJACENT PROPERTIES AND/OR PUBLIC RIGHT-OF-WAY RESULTING FROM FAILURE TO FULLY IMPLEMENT AND EXECUTE ALL EROSION CONTROL PROCEDURES SHOWN AND NOTED IN THESE PLANS.
27. WHENEVER DIRT, ROCK, OR OTHER MATERIALS ARE EXPORTED FOR USE OFF OF THE PRIMARY CONSTRUCTION SITE, THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THAT STORM WATER PERMITTING REQUIREMENTS ARE MET, PRIOR TO ANY EXPORT OF MATERIALS. THE CONTRACTOR SHALL FURNISH THE ENGINEER WITH A WRITTEN AGREEMENT WITH ANY LANDOWNER WHO WILL RECEIVE EXPORTED MATERIALS, STATING THAT THE SITE WILL BE PROPERLY PERMITTED WHEN REQUIRED AND DESCRIBE THE EROSION CONTROL MEASURES WHICH WILL BE USED. AT A MINIMUM, EROSION CONTROL MEASURES MUST CONSIST OF PERIMETER CONTROLS (HAY BALES OR SILT FENCES) ON ALL DOWNSLOPES AND SIDESLOPE BOUNDARIES OF ANY DISTURBED AREA, PLUS PROVISIONS FOR REVEGETATION AFTER THE FILL MATERIALS ARE IN PLACE. SEE DRAINAGE DESIGN MANUAL FOR MARICOPA COUNTY, ARIZONA VOLUME III, EROSION CONTROL FOR METHODS OF STORM WATER CONTROL.
28. GRADED AREAS AROUND THE PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY SO THAT STORM WATER WILL REMAIN ONSITE.
29. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.



PROTECTED STORAGE AREA FOR CHEMICALS
NTS



STABILIZED CONSTRUCTION ENTRANCE
NTS

UTILITY DISCLAIMER

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM THE FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

DRAWING RECORD:

No.	DATE

CORE ENGINEERING GROUP, PLLC
200 East 16th Street, Suite 150
Yuma, AZ 85384
V - 928-344-5931 F - 928-344-5932
www.CoreEngineeringGroup.com
Core@core-e-g.com

MAGRINO INDUSTRIAL PARK UNIT NO. 3
CITY OF SAN LUIS
YUMA COUNTY, ARIZONA
STORMWATER POLLUTION PREVENTION PLAN

APN 227-23-033
GREATER YUMA PORT AUTHORITY
ZONING: LIGHT INDUSTRIAL
MAGRINO INDUSTRIAL PARK

APN 227-23-032
UNIT NO. 3

APN 227-23-031
UNIT NO. 2

DEVELOPMENT AREA - 65.7517 ACRES

PART OF APN 227-23-033

APN 227-25-001
UNITED STATES OF AMERICA
BUREAU OF LAND MANAGEMENT
2565 E. GILA RIDGE ROAD
YUMA, AZ 85384
ZONING: RURAL AREA (10 ACRES)

INTERNATIONAL MONUMENT
TM-202, STA. 0+426'
CONCRETE MONUMENT

GOVERNMENT LOT 4
SEC 23, T11S, R24W

GOVERNMENT LOT 3
SEC 23, T11S, R24W

GOVERNMENT LOT 1
SEC 24, T11S, R24W

ZONING: LIGHT INDUSTRIAL

ZONING: RURAL AREA (10 ACRES)

Call at least two full working days before you begin excavation.
ARIZONA 811
Arizona Blue Stake, Inc.
Dial 8-1-1 or 1-800-STAKE-IT (782-5348)
In Maricopa County: (602) 263-1100

Professional Engineer
CERTIFICATE NO. 32329
DOUGLAS J. NICHOLLS
LICENSED IN ARIZONA

Date: DEC. 2019
Designed: K.L.B.
Drawn: J.M.G.
Checked: D.J.N.
Proj. No.: 19-096

SHEET 16



Core Engineering Group, PLLC

200 E. 16th Street, Suite # 150

Yuma, Arizona 85364

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MEMORANDUM

Date: February 13, 2020

To: Jose Guzman, Planner
City of San Luis

From: Kevin L. Burge, P.E.

Re: Development Agreement
Magrino Industrial Park Unit No. 3

Thank you for meeting with us yesterday. Pursuant to our discussion and on behalf of our client, GYPA, we would respectfully request the following items be included in the development agreement between the Greater Yuma Port Authority and the City of San Luis regarding the development of Magrino Industrial Park Unit No. 3:

1. Defer requirement for the improvement of the roadway depicted as “future” south of Lot 2 until the next unit is developed. This roadway may need to change as the GYPA in collaboration with GYEDC has recently courted other large industrial developments. By not building this roadway now, maximum flexibility remains for constructing it to the needs of a future developer. This will conservatively save approximately \$300,000 in construction costs.
2. Defer the extension of Port Authority Avenue to the southerly edge of Lot 1 until the next unit is developed. The roadway as currently proposed in construction plans provides the minimum required access to Lot 1 and Lot 2. Any further extension of it really isn't needed to access lots or improve function of the development. This will also provide similar savings, proportional to its length.
3. Defer the construction of the eastern screen wall Lots 4 – 13 for up to two years or until each respective one acre lot develops. This wall will be built but the Greater Yuma Port Authority would like to generate some revenue from sales of lots to help support the cost of construction of this element.

Please let myself, or our client Buna George/GYPA, know if you have any questions or concerns.



City of San Luis

Planning and Zoning Department

January 13, 2020

Core Engineering Group, PLLC
200 E. 16th Street, Suite 150
Yuma, Arizona 85364

Re: Subdivision Case No. 2019-0826F/ Magrino Industrial Park Unit No. 3

Kevin,

City staff has reviewed the final plat submitted regarding Magrino Industrial Park Unit No. 3, below are the City of San Luis comments:

Planning and Zoning Department:

1. Label future units as one lot.
2. Provide purpose of Tract A.
3. Applicant must submit the pending application signatures and notarized waiver as per A.R.S. Section 12-1134.
4. If applicable, owner must submit required improvement districts petitions.
5. Bonds or Assurances shall be submitted in accordance with Subdivision Regulations Section 6.2
6. Submit Evidence of Title as per Section 5.1.8.D of the Subdivision Regulations
7. Comply with Subdivision Regulation Section 5.1.8.A- protective covenants.
8. Provide protective fence on the east side of tract A and lot 4 through 13.

City Engineer:

1. Revise the boundary of the subdivision to include the "Future Units" area. Label the "Future Units" as a parcel (noting that a different parcel was already named "Future Units" in Unit 2.)
2. Purpose for Tract A is not given.

3. A 'Tract A1' is shown on Sheet 1 and is labeled as 'Tract D' on Sheet 2.
4. Line for US/Mexico border is missing.
5. Label new right-of-way along Tract A (sheet 2)
6. Add callouts for right-of-way and easements along east side of Avenue D (sheet 2.)
7. Show existing and new right-of-way along Vaughn Street on north side of Lot 3 (per GYPA/Magrino Lot Tie and Lot Split dedications.)
8. Dedicate right-of-way and improve full street along the south side of Lot 2
9. A temporary turnaround is shown on sheet 3 near the north end of Port Authority Avenue – improve entire length of Port Authority Avenue and install temporary turnaround to the south of Lots 1 and 2 (Only needed if comment No. 9 above goes away.)
10. Plat will need to be signed by all landowners (GYPA and Cocopah Indian Tribe.)

Improvement Plans:

1. Sheet 1 – Revise general note 1 to delete reference to Yuma County Standards and to instead reference City of San Luis Standards, which consist of City of Yuma Standard Details, MAG Specifications and City of San Luis Supplement.
2. Roadway Plans –
 - Provide roadway plans for the road on the south side of Lot 2. (Per Comment 8 above.)
 - Extend Port Authority Avenue roadway improvements to the south line of Lots 1 and 2
 - Schedule of Work Item 1 – Remove and stockpile ABC. Used ABC may not be use for City of San Luis roadways unless tested and meeting required specifications.
 - Schedule of Work Item 6 – 6' Screen Wall by Developers. Perimeter wall of subdivision to be constructed as a part of subdivision improvements.
 - Schedule of Work Item 15 – Provide cold joint for future removal. Do not provide cold joint – pavement will be sawcut for future roadway work.
 - Avenue D – Several low spot in the paving profile are detailed (between lots 5 and 6, 9 and 10, 12 and 13.) Ensure Avenue D is sufficiently above adjacent grades to allow for roadway flows to flow offsite. Note also that as Avenue D has ribbon curb that no longitudinal slope of the roadway is required.
3. Submit Drainage Report
4. Water Plans and Details –
 - Plans show water lines with up to about 7 feet of cover. Generally limit cover to no more than 5 feet to reduce future City maintenance expenses.
 - Extend water line on Avenue D to beyond limits of paving.
5. Sewer Plans –
 - Manholes shall be constructed of polymer concrete, per the City of San Luis Supplement.
 - Provide special designs as needed for deep manholes.
6. Roadway, Water and Sewer Details – Remove all references to Yuma County standards and specifications from the details. If Standard Details are reproduced on the plans (they do not need to be), clearly identify any modifications to the details.

7. Submit ADEQ approvals.
8. Submit Title Report.
9. Submit CC&R's.

Please be advised that the comments made here are tentative in nature. Until all documentation, information, and drawings are submitted and approved in final form, and all permits for construction are approved and issued, the City of San Luis reserves the right to make further comment or require further information or submissions. Any construction which occurs prior to issuance of proper permits is occurring in contravention of the ordinances of the City, and is occurring at the risk of the Developer.

Thank you,



Jose A. Guzman
Director of Planning and Zoning