

BIENESTAR ESTATES 11

PRELIMINARY PLAT

INDEX:

Cover Sheet	-----0
Preliminary Plat	-----1 OF 1
Preliminary Paving and Grading Plan	-----1
Typical Street Sections	-----2
Preliminary Water and Sewer Plan	-----3

GENERAL CONSTRUCTION NOTES:

- THE LOCATION OF UTILITIES IS APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. UTILITIES SHOWN HERE ARE FOR THE PURPOSE OF ASSISTING THE CONTRACTOR IN LOCATING SAID UTILITIES. THE CONTRACTOR IN ACCORDANCE WITH ARIZONA STATUTES SHALL CONTACT THE ARIZONA BLUE STAKE CENTER (1-800-792-5348) AT LEAST 48 HOURS MIN. PRIOR TO THE BEGINNING OF CONSTRUCTION AND OBTAIN ON-SITE UTILITIES LOCATIONS. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND SHALL BE RESOLVED PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DAMAGED TO A UTILITY SHALL BE REPAIRED AT THE CONTRACTOR EXPENSE.
- ALL CITY REQUIRED COMPACTION AND LABORATORY TESTS SHALL BE FURNISHED BY THE CONTRACTOR TO THE CITY PRIOR TO ACCEPTANCE OF THE PROJECT.
- THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR TWO YEARS AFTER THE FINAL ACCEPTANCE. ANY DEFECTIVE MATERIAL OR WORKMANSHIP SHALL BE REPLACED AND/OR REPAIRED PRIOR TO FINAL ACCEPTANCE.
- ALL ROAD SURFACES, EASEMENTS OR RIGHT OF WAY'S DISTURBED BY CONSTRUCTION OF ANY PART OF THIS IMPROVEMENTS ARE TO BE RESTORED COMPLETELY BY THE CONTRACTOR TO THE BEFORE CONSTRUCTION CONDITION OR BETTER.
- DURING CONSTRUCTION, THE DEVELOPER/OWNER IS SOLELY RESPONSIBLE FOR INSURING THE PROPER FUNCTIONING OF THE EROSION AND SEDIMENT CONTROL MEASURES. THE DEVELOPER/OWNER SHALL TAKE WHATEVER MEASURES ARE REQUIRED TO INSURE THAT NO SEDIMENT LEAVES THE SITE.
- REFER TO SHEETS OF FINAL PLAT FOR ALL CORRECT DIMENSIONS.
- SEE SUBDIVISION PLAT FOR ALL BOUNDARY INFORMATION AND DIMENSIONS; DO NOT SCALE.
- ALL MATERIALS AND CONSTRUCTION HEREON SHALL CONFORM TO CITY OF SAN LUIS STANDARDS (CITY OF YUMA STANDARD DETAILS, MAG SPECIFICATIONS, CITY OF SAN LUIS SUPPLEMENT), AS ADOPTED BY THE CITY OF SAN LUIS, STANDARD SPECIFICATIONS AND CONSTRUCTION STANDARDS UNLESS OTHERWISE SHOWN ON THESE PLANS.
- THE ENGINEER MAKES NO REPRESENTATION OR GUARANTEE REGARDING EARTHWORK QUANTITIES OR THAT THE EARTHWORK FOR THIS PROJECT WILL BALANCE DUE TO VARIOUS FIELD CONDITIONS, CHANGING SOIL TYPES, ALLOWABLE CONSTRUCTION TOLERANCES AND CONSTRUCTION METHODS THAT ARE BEYOND THE CONTROL OF THE ENGINEER.
- NO STREET, WATER, SEWER AND IMPROVEMENTS TO BE ACCEPTED BY THE CITY OF SAN LUIS. FOR MAINTENANCE UNTIL "AS-BUILT", CERTIFIED. REPRODUCIBLE PLANS ARE FILED WITH AND ACCEPTED BY THE CITY OF SAN LUIS PUBLIC WORKS DEPARTMENT.
- CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL, LOCAL, STATE, AND FEDERAL SWPPP REQUIREMENTS AND BMPs.

OWNER:

COMITE DE BIENESTAR
963 E. 18TH STREET
PO BOX 7170
SAN LUIS, AZ. 85349

BENCHMARK:

TOP OF 1/2" REBAR W/LS 22767
LOCATED AT THE INTERSECTION
OF 20TH AVENUE AND COUNTY 24TH
STREET

ELEVATION: 159.25 FEET

ENGINEER:

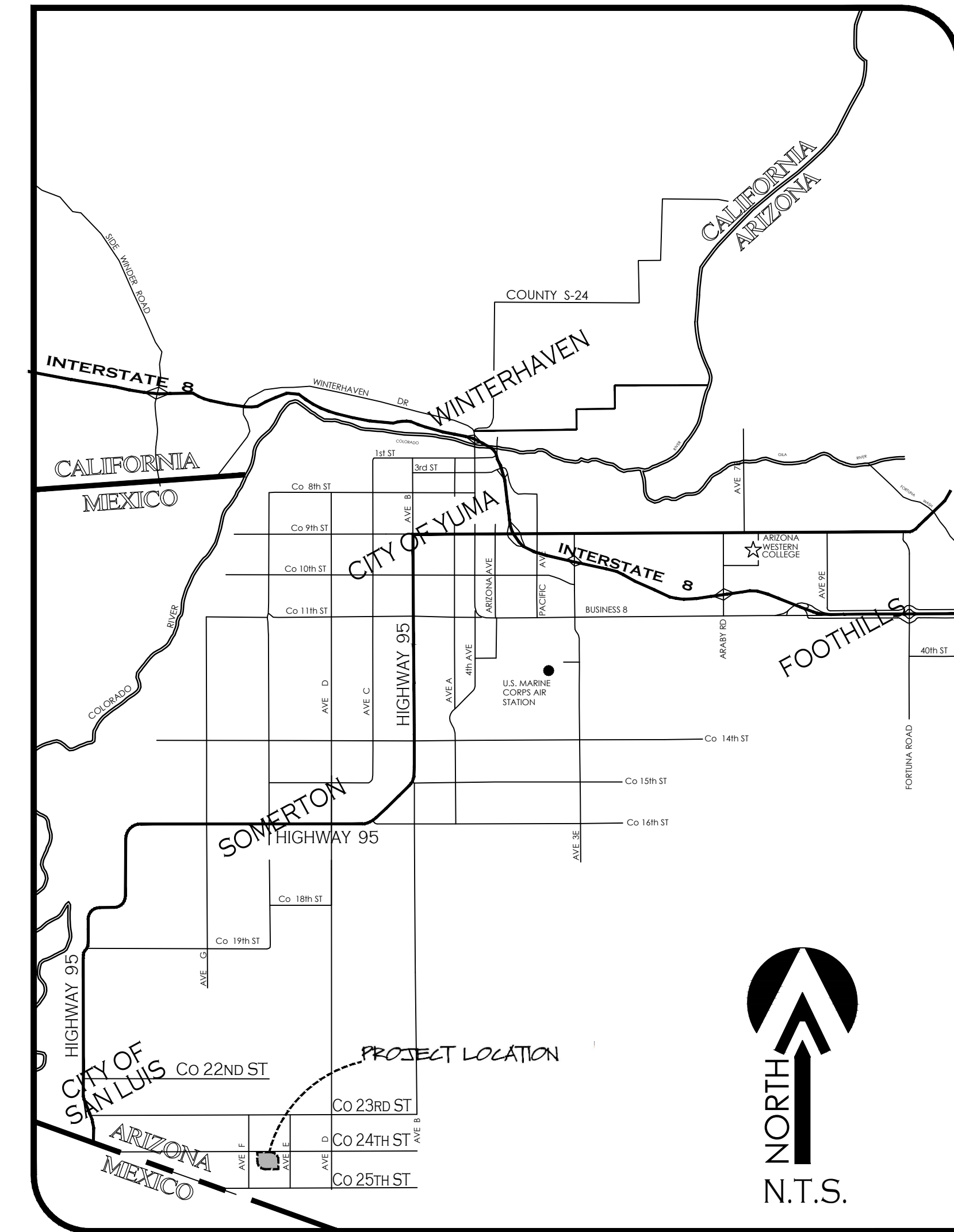
VEGA & VEGA
ENGINEERING, P.L.L.C.
1846 S. 8th Avenue 928-329-0000 Tel
Yuma, Az. 85364 928-247-6232 Fax
www.vegaandvega.com

BASIS OF BEARING:

THE NORTH SECTION LINE OF SECTION 13, T11S, R24W,
G.A.S.R.B.A.M., YUMA COUNTY, ARIZONA (BEING THE LINE THE
CENTERLINE OF Co. 24th STREET), AS SHOWN ON BORDER
RANCHES SUBDIVISION, AS RECORDED IN BOOK 27 OF
PLATS, PAGES 9 & 10, YUMA COUNTY RECORDERS
OFFICE, YUMA COUNTY ARIZONA,
BEARING S89°59'23"W

LEGEND

—————	INDICATES BOUNDARY LINE	—NEW—PVC—S—	INDICATES NEW ASPHALT ELEVATION
-----	INDICATES CENTERLINE	○	INDICATES NEW SANITARY SEWER LINE
-----	INDICATES EASEMENT LINE	○	NEW SEWER STUB
-----	INDICATES RIGHT-OF-WAY LINE	○	NEW SEWER MANHOLE
5	NEW LOT NUMBER	—NEW—PVC—W—	NEW 4" PVC SEWER SERVICE
•	NEW YUMA COUNTY STD. DETAIL No. 4-030 SUBD BOUNDARY MONUMENT	—	INDICATES NEW WATER LINE
■	NEW YUMA COUNTY STD. DETAIL No. 4-080 STREET MONUMENT	○	NEW SINGLE WATER SERVICE
○	EXISTING MONUMENT (TYPE AS SHOWN)	○	NEW WATER VALVE
////	INDICATES EX. ASPHALT PAVEMENT	○	NEW FIRE HYDRANT
159	INDICATES EX. NATURAL SOIL ELEVATION	○	NEW TEMPORARY BLOWOFF VALVE
159.25	INDICATES CONTOURS ELEVATION		
-----	INDICATES NEW SIDE WALK		
-----	INDICATES NEW ASPHALT PAVEMENT		

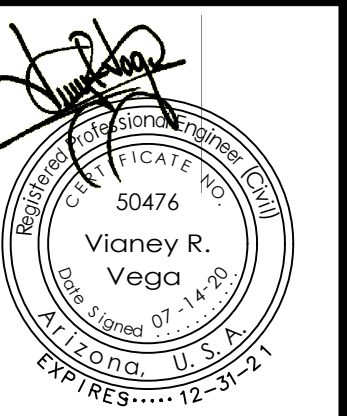


VICINITY MAP
N.T.S.

1846 S. 8TH AVENUE 928-329-0000 TEL
YUMA, AZ. 85364 928-247-6232 FAX
Vn@veganvega.com



Cover Sheet
BIENESTAR ESTATES 11



Notes:
Scale: N.T.S. Date: JULY 2020
Drawn: Staff Job #: vn19-700
Checked: vna

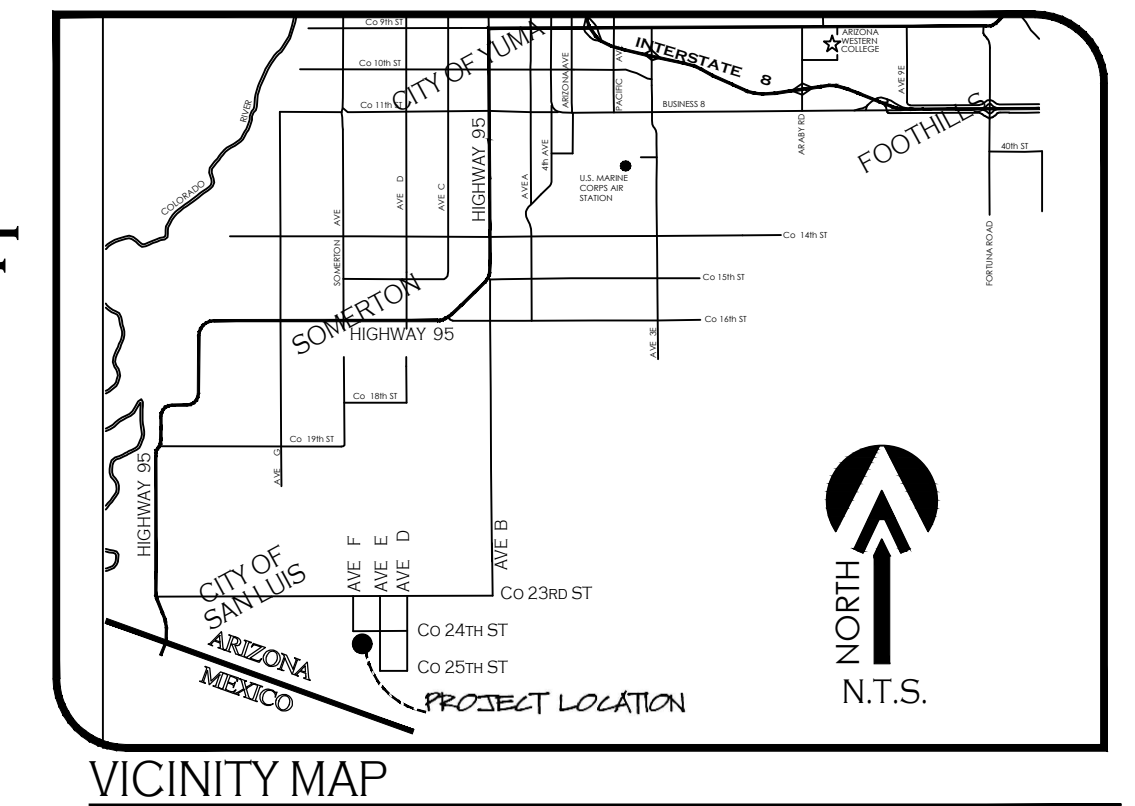
Sheet
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BIENESTAR ESTATES 11 SUBDIVISION

A SUBDIVISION OF OF PARCEL "A2" OF BIENESTAR ESTATES 11A - LOT SPLIT, AS RECORDED IN BK. 31, OF PLATS, PG. 100, YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, AZ., ALSO BEING A PORTION OF THE NE 1/4 OF THE NW 1/4 OF SECTION 15, T11S, R24W, G.&S.R.B.&M., YUMA COUNTY, ARIZONA. JULY OF 2020 ACREAGE: 19.19 AC (GROSS)

PRELIMINARY PLAT



OWNER OF RECORD:
COMITE DE BIENESTAR INC. AZ CORP.
943 E. 8th STREET
PO BOX 7170
SAN LUIS, AZ., 85349

BASIS OF BEARING

THE NORTH SECTION LINE OF SECTION 15, T11S, R24W, G.&S.R.B.&M., YUMA COUNTY, ARIZONA, (BEING THIS LINE THE CENTERLINE OF Co. 24th STREET), AS SHOWN ON BORDER RANCHES SUBDIVISION, AS RECORDED IN BOOK 27 OF PLATS, PAGES 9 & 10, YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, ARIZONA.
BEARING S89°59'23"W

KEYNOTES

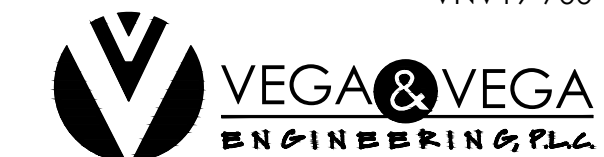
- ① NEW 8" UTILITY EASEMENT
- ② NEW 1" NON-ACCESS EASEMENT

NOTE

- ✦ PROPERTY CORNERS TO BE MARKED BY 1/2" DIAMETER REBAR TAGGED WITH CAP I.S. 16528
- ✦ PROJECT ZONING: R-1-A & TRACT B" C-2

ELABORATED BY:

VNV19-700



1846 S. 8th Avenue 928-329-0000 Tel
Yuma, Az. 85364 928-247-6232 Fax
www.vega-engineering.com

LEGEND

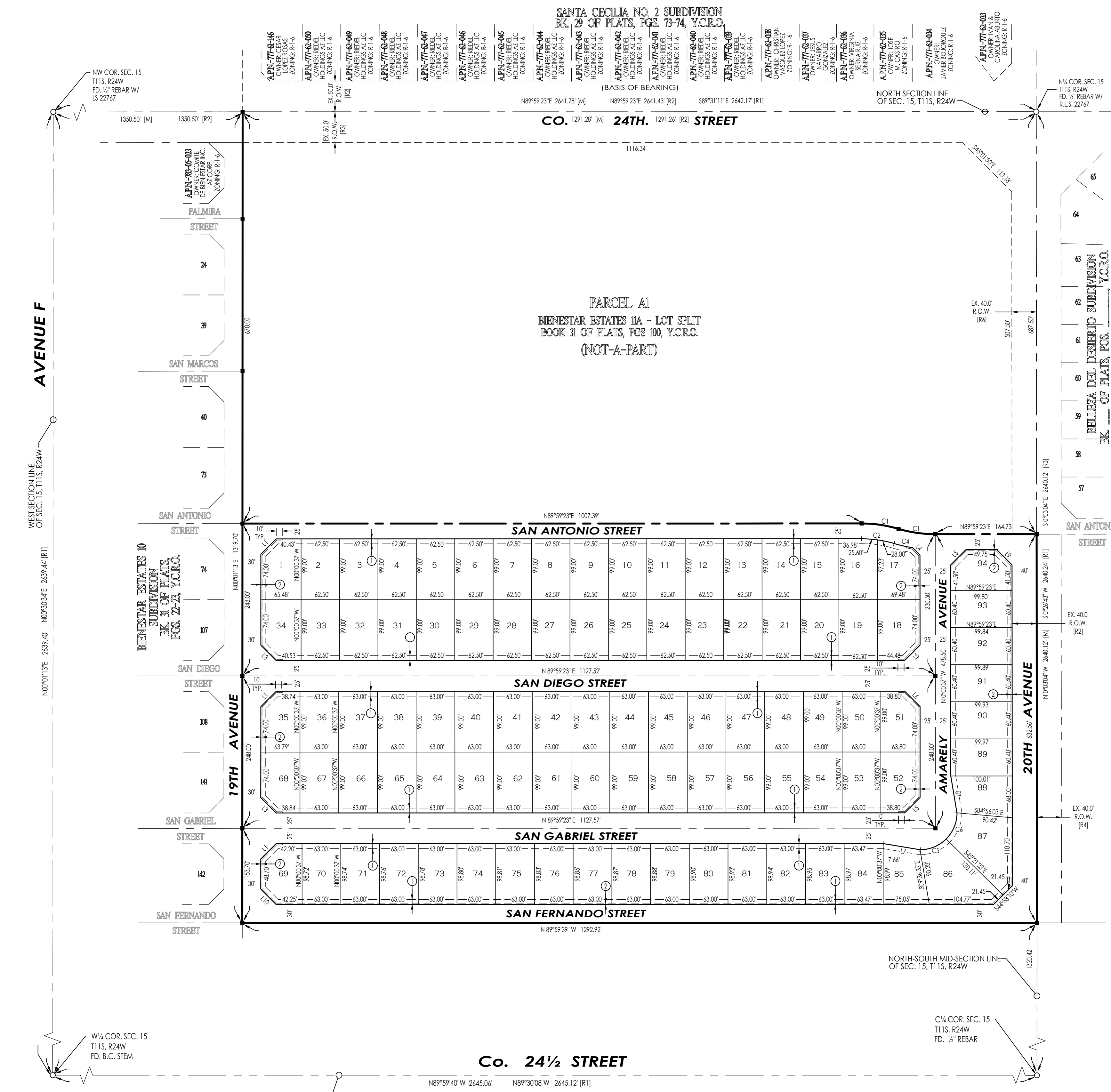
- INDICATES BOUNDARY LINE
- - - - - INDICATES CENTERLINE
- - - - - INDICATES EASEMENT LINE
- 11 NEW LOT NUMBER
- NEW YUMA COUNTY STD. DETAIL No. 4-030 SUB'D BOUNDARY MONUMENT
- NEW YUMA COUNTY STD. DETAIL No. 4-080 STREET MONUMENT
- EXISTING MONUMENT (TYPE AS SHOWN)
- B.C. INDICATES BRASS CAP
- Y.C.R. INDICATES YUMA COUNTY RECORDERS
- G.L.O. INDICATES GENERAL LAND OFFICE
- N.A.E. INDICATES NON ACCESS EASEMENT
- [M] INDICATES MEASURED DATA
- [R1] DATA REFERS TO US.B.R. BALANCED SECTION OF SECTION 15, T11S, R24W, DATED: JUNE 1977
- [R2] DATA REFERS TO BORDER RANCHES SUBDIVISION, AS RECORDED IN BOOK 27, PAGES 9 & 10, Y.C.R.
- [R3] DATA REFERS TO DOCKET 674, PAGE 184, Y.C.R.O.
- [R4] DATA REFERS TO BELLEZA DEL DESIERTO - LOT SPLIT, AS RECORDED IN BOOK 31, PAGE 24, Y.C.R.
- [R5] DATA REFERS TO BIENESTAR ESTATES 11 - LOT SPLIT, AS RECORDED IN BOOK 31 OF PLATS, PAGE 58, Y.C.R.
- [R6] DATA REFERS TO FEE # 2006-24019, Y.C.R.O.

LAND SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT I AM A LAND SURVEYOR LISTED ON THE ROSTER OF ACTIVE REGISTRARS BY THE STATE BOARD OF TECHNICAL REGISTRATION OF ARIZONA AND THAT THIS MAP CONSISTING OF TWO (2) SHEETS CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION DURING DECEMBER OF 2018 THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN, OR WILL BE IN PLACE WITHIN ONE YEAR FROM RECORDATION OF THIS MAP. THE MONUMENTS WILL BE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED. THE SURVEY IS TRUE AND COMPLETE AS SHOWN. ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS.



BY: *John C. English II*
JOHN C. ENGLISH II R.L.S. No. 16528



LINE DATA

LINE NUMBER	BEARING	LENGTH (FEET)
L1	N45°00'18"E	35.36
L2	S44°58'10"W	35.34
L3	N44°59'42"W	35.35
L4	S45°00'37"E	16.71
L5	S44°59'23"W	35.36
L6	S45°00'37"E	35.36
L7	S80°32'53"W	60.83
L8	N09°28'21"W	60.83
L9	S45°01'50"W	35.37
L10	N44°59'13"E	35.35

CURVE DATA

NUMBER	DELTA ANGLE	CHORD DIRECTION	CHORD LENGTH	TANGENT	RADIUS	ARC LENGTH
C1	16°35'39"	N81°42'27"W	60.63	30.64	210.09	60.85
C2	16°35'39"	S81°42'47"E	53.42	26.99	185.09	53.61
C3	16°35'39"	S81°42'47"E	67.85	34.26	235.09	68.09
C4	0°33'05"	N77°12'30"W	31.10	15.58	235.09	31.12
C5	45°00'00"	N67°29'23"E	45.92	24.85	60.00	47.12
C6	45°00'00"	N22°29'23"E	45.92	24.85	60.00	47.12

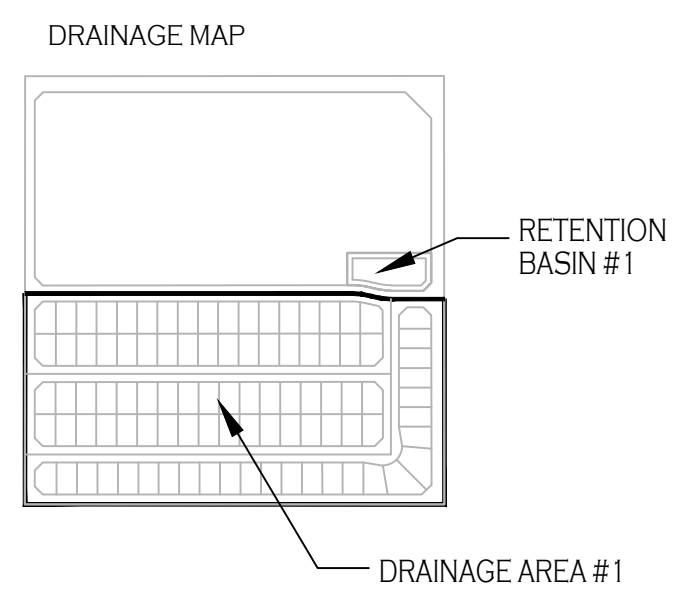
LOT AREAS TABLE:

LOT #	AREA (SF)	LOT #	AREA (SF)	LOT #	AREA (SF)	LOT #	AREA (SF)	LOT #	AREA (SF)
1	6,167.42	17	6,167.39	33	6,187.50	49	6,237.00	65	6,237.00
2	6,187.50	18	6,565.76	34	6,172.62	50	6,237.00	66	6,237.00
3	6,187.50	19	6,187.50	35	6,000.03	51	6,003.70	67	6,237.00
4	6,187.50	20	6,187.50	36	6,237.00	52	6,003.70	68	6,005.23
5	6,187.50	21	6,187.50	37	6,237.00	53	6,237.00	69	6,011.50
6	6,187.50	22	6,187.50	38	6,237.00	54	6,237.00	70	6,220.22
7	6,187.50	23	6,187.50	39	6,237.00	55	6,237.00	71	6,221.33
8	6,187.50	24	6,187.50	40	6,237.00	56	6,237.00	72	6,222.45
9	6,187.50	25	6,187.50	41	6,237.00	57	6,237.00	73	6,223.56
10	6,187.50	26	6,187.50	42	6,237.00	58	6,237.00	74	6,224.67
11	6,187.50	27	6,187.50	43	6,237.00	59	6,237.00	75	6,225.79
12	6,187.50	28	6,187.50	44	6,237.00	60	6,237.00	76	6,226.90
13	6,187.50	29	6,187.50	45	6,237.00	61	6,237.00	77	6,228.02
14	6,187.50	30	6,187.50	46	6,237.00	62	6,237.00	78	6,229.13
15	6,187.50	31	6,187.50	47	6,237.00	63	6,237.00	79	6,230.24
16	6,172.49	32	6,187.50	48	6,237.00	64	6,237.00	80	6,231.36



DRAINAGE REPORT

1.- DRAINAGE REPORT
 DRAINAGE AREA #1
 USING THE RATIONAL METHOD
 $Q = CIA = \text{PEAK RUNOFF [VOL]}$
 (C) PEAK RATE RUNOFF = 0.43
 (I) INTENSITY OF RAINFALL = 1.22 IN / HR
 (A) DRAINAGE AREA = 19.19 AC
 $Q = (0.43)(1.22)(36.95) = 10.067 \text{ CF}$
 TOTAL RUNOFF = 7200 (10.067) = 72,482 CF
 STORAGE VOLUME PROVIDED
 RETENTION BASIN #1
 TOP AREA = 28,157 SF
 BOTTOM AREA = 17,667 SF
 DEPTH = 4 FT
 $\text{VOL. PROVIDED} = (28,157 + 17,667) \left[\frac{4.0}{2} \right] = 91,648 \text{ CF}$
 TOTAL VOL. PROVIDED = 91,648 CF
 $\text{FACTOR OF SAFETY} = \frac{91,648 \text{ CF}}{72,482 \text{ CF}} = 1.26$



LEGEND

- INDICATES EX. ASPHALT PAVEMENT
- INDICATES EX. CONCRETE
- INDICATES BOUNDARY LINE
- INDICATES CENTERLINE
- INDICATES RIGHT-OF-WAY LINE
- INDICATES EX. FENCE
- INDICATES EX. ELECTRICAL OVERHEAD LINE
- INDICATES EX. WATER LINE
- INDICATES EX. SEWER LINE
- INDICATES EX. GAS LINE
- INDICATES NEW ASPHALT PAVEMENT
- INDICATES NEW CONCRETE
- INDICATES NEW CMU WALL
- INDICATES EXISTING CMU WALL
- NEW YUMA COUNTY STD. DETAIL No. 4-030 SUBD BOUNDARY MONUMENT
- EXISTING MONUMENT (TYPE AS SHOWN)
- B.C. INDICATES BRASS CAP
- Y.C.R. INDICATES YUMA COUNTY RECORDERS
- PP INDICATES EXISTING POWER POLE
- INDICATES EXISTING ELECTRICAL BOX
- INDICATES EXISTING JUNCTION BOX
- INDICATES EXISTING TRANSFORMER
- INDICATES EXISTING POLE
- INDICATES EXISTING GAS METER
- INDICATES EXISTING POWER POLE
- INDICATES EXISTING GUY WIRE
- INDICATES EXISTING STREET SIGN
- INDICATES EXISTING MANHOLE
- INDICATES EXISTING FIRE HYDRANT
- INDICATES EXISTING WATER METER
- INDICATES EXISTING WATER VALVE
- INDICATES EX. CURB ELEVATION
- INDICATES EX. SIDEWALK ELEVATION
- INDICATES EX. NATURAL SOIL ELEVATION
- INDICATES NEW ASPHALT ELEVATION

BENCHMARK

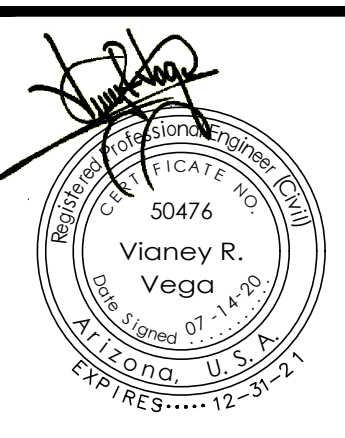
TOP OF 1/2" REBAR W/ LS 22767 LOCATED AT THE INTERSECTION OF 20th AVENUE AND COUNTY 24TH STREET
 ELEVATION: 159.25 FEET

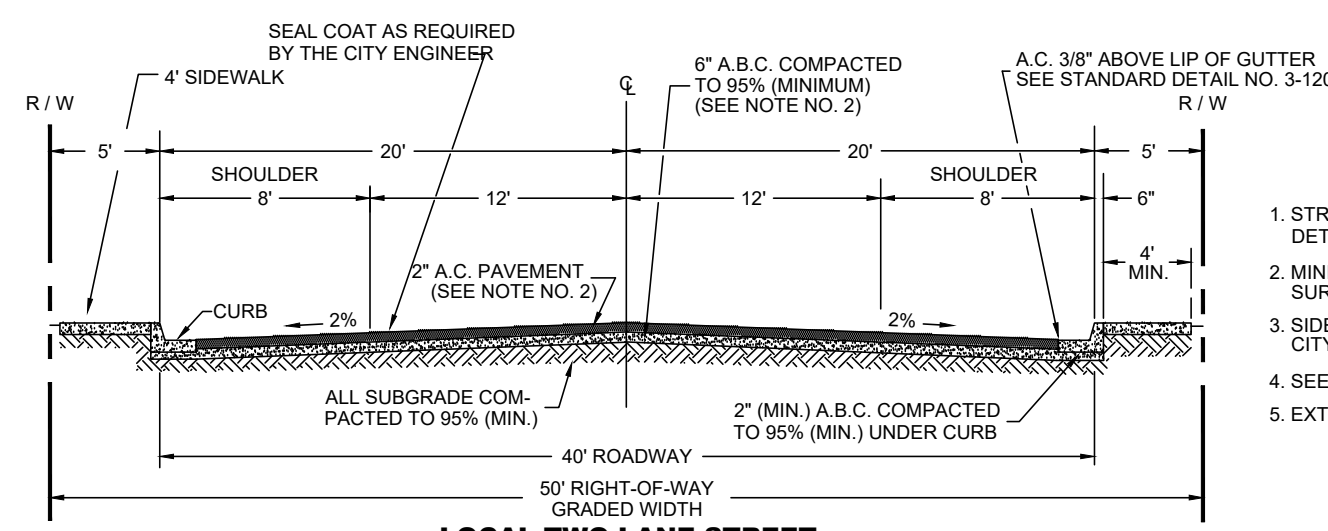
NORTH ↑

SCALE: 1"=50'

CALL TWO WORKING DAYS BEFORE YOU DIG
 1-800-STAKE-IT

Preliminary Paving & Grading Plan
BIENESTAR ESTATES II



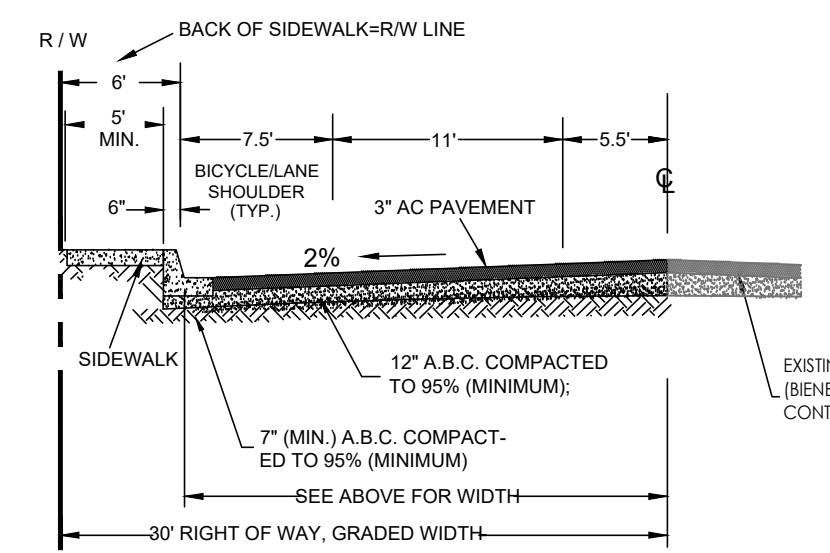


- NOTES**
- STRUCTURAL DESIGN OF COMBINED THICKNESS OF BASE AND SURFACE TO BE DETERMINED BY SOILS TEST.
 - MINIMUM PAVING THICKNESS SHALL BE 2" FOR PLANT HOT MIXED ASPHALT SURFACING OVER 6" OF A.B.C. COMPACTED TO 95% (MINIMUM).
 - SIDEWALK LOCATION ADJACENT TO CURB OR AS APPROVED BY THE CITY ENGINEER.
 - SEE STANDARD DETAIL 3-060 FOR GRADING BEHIND SIDEWALK.
 - EXTEND AGGREGATE BASE COURSE BENEATH CURB & GUTTER.

LOCAL TWO LANE STREET

CITY OF YUMA STD. 2-050 (MODIFIED)

N.T.S. **A**
2

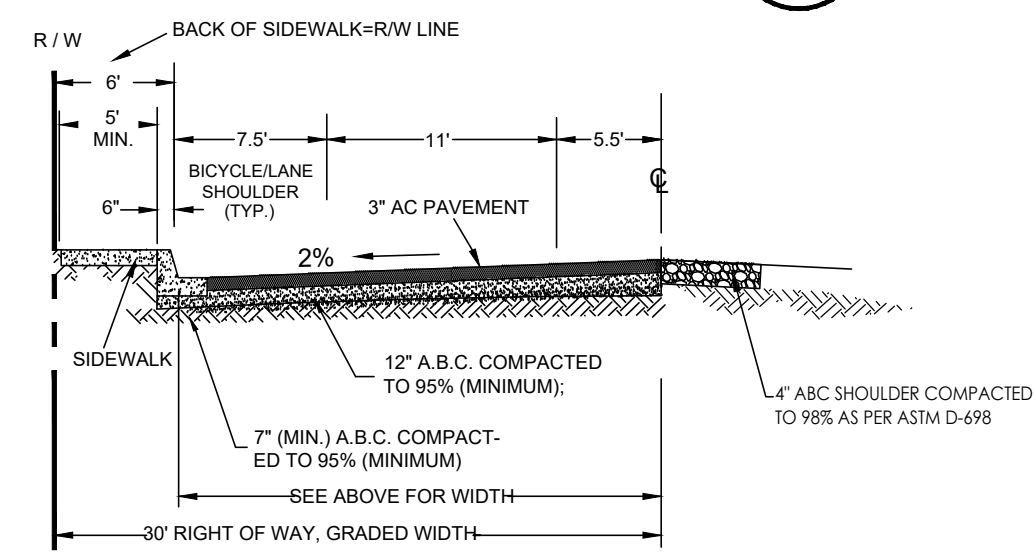


- NOTES**
- STRUCTURAL DESIGN OF COMBINED THICKNESS OF BASE AND SURFACE TO BE DETERMINED BY SOILS TEST.
 - MINIMUM PAVING THICKNESS - 3" FOR PLANT HOT MIX ASPHALT SURFACING OVER 10" OF A.B.C. COMPACTED TO 95% (MINIMUM).
 - SIDEWALK LOCATION ADJACENT TO CURB OR AS APPROVED BY THE CITY ENGINEER.
 - ALL PAVEMENT MARKING AND RAISED PAVEMENT MARKER MATERIAL MUST BE IN ACCORDANCE WITH A.D.O.T. MANUAL FOR SIGNING AND MARKING, LATEST EDITION.
 - FOR STREET RECONSTRUCTION PROJECTS ONLY WHEN DESIGNATED BY THE CITY ENGINEER.

19TH AVENUE

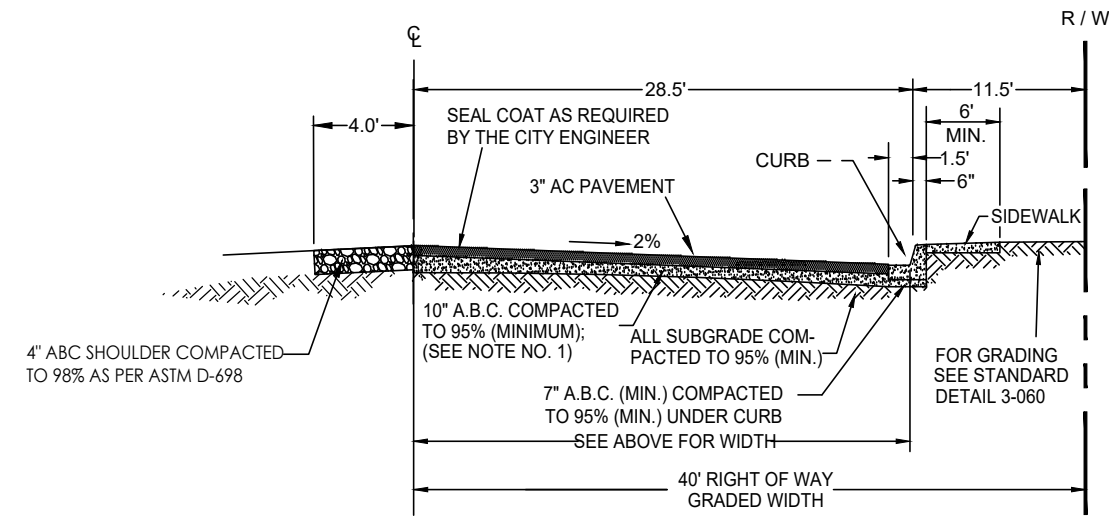
CITY OF YUMA STD. 2-031 (MODIFIED)

N.T.S. **B**
2



SAN FERNANDO STREET

19TH STREET

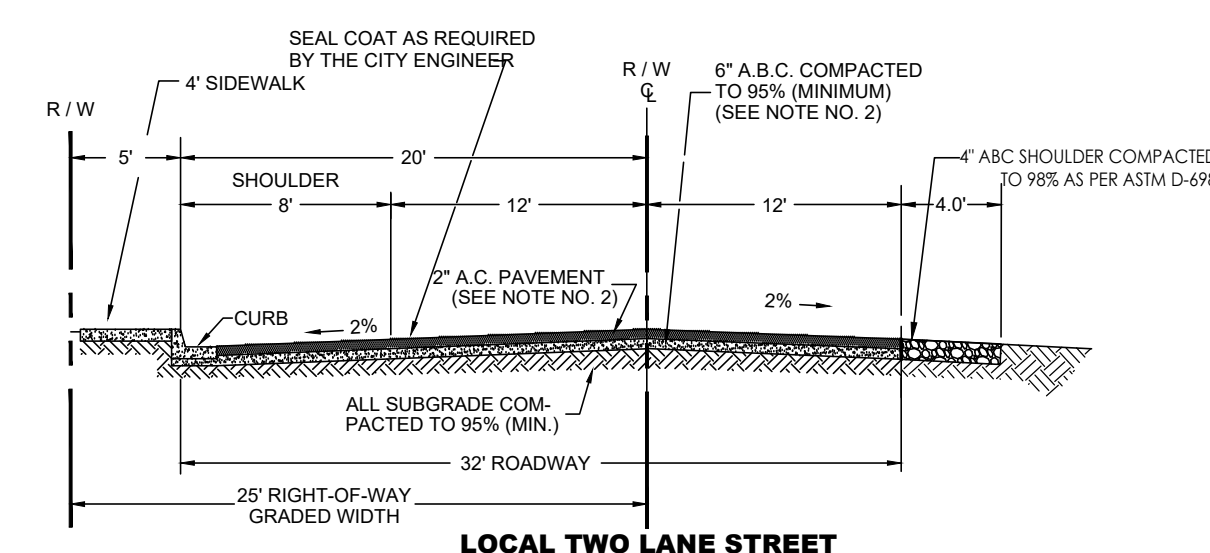


- NOTES**
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 - MINIMUM PAVING THICKNESS - 3" FOR PLANT HOT MIX ASPHALT SURFACING OVER 10" OF A.B.C. COMPACTED TO 95% (MINIMUM).
 - SIDEWALK LOCATION ADJACENT TO CURB OR AS APPROVED BY THE CITY ENGINEER.
 - ALL PAVEMENT MARKING AND RAISED PAVEMENT MARKER MATERIAL MUST BE IN ACCORDANCE WITH A.D.O.T. MANUAL FOR SIGNING AND MARKING, LATEST EDITION.
 - CASE 1 OR 2 MUST BE USED WHEN THERE ARE DRIVEWAYS ALONG COLLECTOR.
 - CASE 3 MAY BE USED WHEN THERE ARE NO DRIVEWAYS ALONG COLLECTOR.
 - BIKE LANES PROVIDED BUT NOT STRIPED.

20TH AVENUE

YUMA COUNTY STD-2-030 - (MODIFIED)

N.T.S. **C**
2



- NOTES**
- STRUCTURAL DESIGN OF COMBINED THICKNESS OF BASE AND SURFACE TO BE DETERMINED BY SOILS TEST.
 - MINIMUM PAVING THICKNESS SHALL BE 2" FOR PLANT HOT MIXED ASPHALT SURFACING OVER 6" OF A.B.C. COMPACTED TO 95% (MINIMUM).
 - SIDEWALK LOCATION ADJACENT TO CURB OR AS APPROVED BY THE CITY ENGINEER.
 - SEE STANDARD DETAIL 3-060 FOR GRADING BEHIND SIDEWALK.
 - EXTEND AGGREGATE BASE COURSE BENEATH CURB & GUTTER.

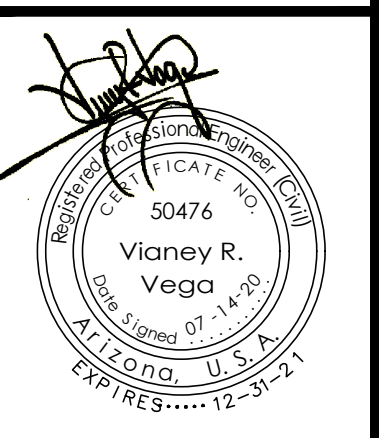
LOCAL TWO LANE STREET
SAN ANTONIO STREET

CITY OF YUMA STD. 2-050 (MODIFIED)

N.T.S. **D**
2



Typical Street Sections
BIENESTAR ESTATES II



Notes:

Scale: N.T.S. Date: JULY 2020
Drawn: staff Job #: vnv19-700
Checked: vna

Sheet

CALL TWO WORKING DAYS BEFORE YOU DIG
1-800-STAKE-IT

