

BELLEZA DEL DESIERTO PHASE 2 SUBDIVISION

PRELIMINARY PLAT

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GENERAL CONSTRUCTION NOTES:

1. THE LOCATION OF UTILITIES IS APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. UTILITIES SHOWN HERE ARE FOR THE PURPOSE OF ASSISTING THE CONTRACTOR IN LOCATING SAID UTILITIES. THE CONTRACTOR IN ACCORDANCE WITH ARIZONA STATUTES SHALL CONTACT THE ARIZONA BLUE STAKE CENTER (1-800-782-83485) AT LEAST 48 HOURS MIN. PRIOR TO THE BEGINNING OF CONSTRUCTION AND OBTAIN ON-SITE UTILITIES LOCATIONS. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND SHALL BE RESOLVED PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DAMAGED TO A UTILITY SHALL BE REPAIRED AT THE CONTRACTOR EXPENSE.
2. ALL CITY REQUIRED COMPACTION AND LABORATORY TESTS SHALL BE FURNISHED BY THE CONTRACTOR TO THE CITY PRIOR TO ACCEPTANCE OF THE PROJECT.
3. THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR TWO YEARS AFTER THE FINAL ACCEPTANCE. ANY DEFECTIVE MATERIAL OR WORKMANSHIP SHALL BE REPLACED AND/OR REPAIRED PRIOR TO FINAL ACCEPTANCE.
4. ALL ROAD SURFACES, EASEMENTS OR RIGHT OF WAYS DISTURBED BY CONSTRUCTION OF ANY PART OF THIS IMPROVEMENTS ARE TO BE RESTORED COMPLETELY BY THE CONTRACTOR TO THE BEFORE CONSTRUCTION CONDITION OR BETTER.
5. DURING CONSTRUCTION, THE DEVELOPER/OWNER IS SOLELY RESPONSIBLE FOR INSURING THE PROPER FUNCTIONING OF THE EROSION AND SEDIMENT CONTROL MEASURES. THE DEVELOPER/OWNER SHALL TAKE WHATEVER MEASURES ARE REQUIRED TO INSURE THAT NO SEDIMENT LEAVES THE SITE.
6. REFER TO SHEETS 1 OF 1 OF FINAL PLAT FOR ALL CORRECT DIMENSIONS.
7. SEE SUBDIVISION PLAT FOR ALL BOUNDARY INFORMATION AND DIMENSIONS; DO NOT SCALE.
8. ALL MATERIALS AND CONSTRUCTION HEREON SHALL CONFORM TO CITY OF SAN LUIS STANDARDS (CITY OF YUMA STANDARD DETAILS, MAG SPECIFICATIONS, CITY OF SAN LUIS SUPPLEMENT), AS ADOPTED BY THE CITY OF SAN LUIS, STANDARD SPECIFICATIONS AND CONSTRUCTION STANDARDS UNLESS OTHERWISE SHOWN ON THESE PLANS.
9. THE ENGINEER MAKES NO REPRESENTATION OR GUARANTEE REGARDING EARTHWORK QUANTITIES OR THAT THE EARTHWORK FOR THIS PROJECT WILL BALANCE DUE TO VARIOUS FIELD CONDITIONS, CHANGING SOIL TYPES, ALLOWABLE CONSTRUCTION TOLERANCES AND CONSTRUCTION METHODS THAT ARE BEYOND THE CONTROL OF THE ENGINEER.
10. NO STREET, WATER, SEWER AND IMPROVEMENTS TO BE ACCEPTED BY THE CITY OF SAN LUIS. FOR MAINTENANCE UNTIL "AS-BUILT", CERTIFIED. REPRODUCIBLE PLANS ARE FILED WITH AND ACCEPTED BY THE CITY OF SAN LUIS PUBLIC WORKS DEPARTMENT.
11. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL, LOCAL, STATE, AND FEDERAL SWPPP REQUIREMENTS AND BMPs.

OWNER:

SAM GROUP INVESTMENT CO. LIMITED PARTNERSHIP
10602 S. CAMINO DEL SOL
YUMA, AZ. 85367

BENCHMARK

TOP OF BRASSCAP LOCATED AT THE INTERSECTION OF AVENUE F AND Co. 24th ST. THIS POINT ALSO BEING THE E 1/4 CORNER OF SECTION 15, T11S, R24W, G. & S.R. 8. & M.
ELEVATION: 159.50 FEET

BASIS OF BEARING

THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 15, T11S, R24W, G. & S.R. 8. & M., YUMA COUNTY, ARIZONA (BEING THE LINE THE CENTERLINE OF AVENUE F), AS SHOWN ON YUMA AREA SERVICE HIGHWAY RESULTS OF SURVEY, AS RECORDED IN BOOK 3 OF SURVEYS, PAGE 44, YUMA COUNTY RECORDERS OFFICE.

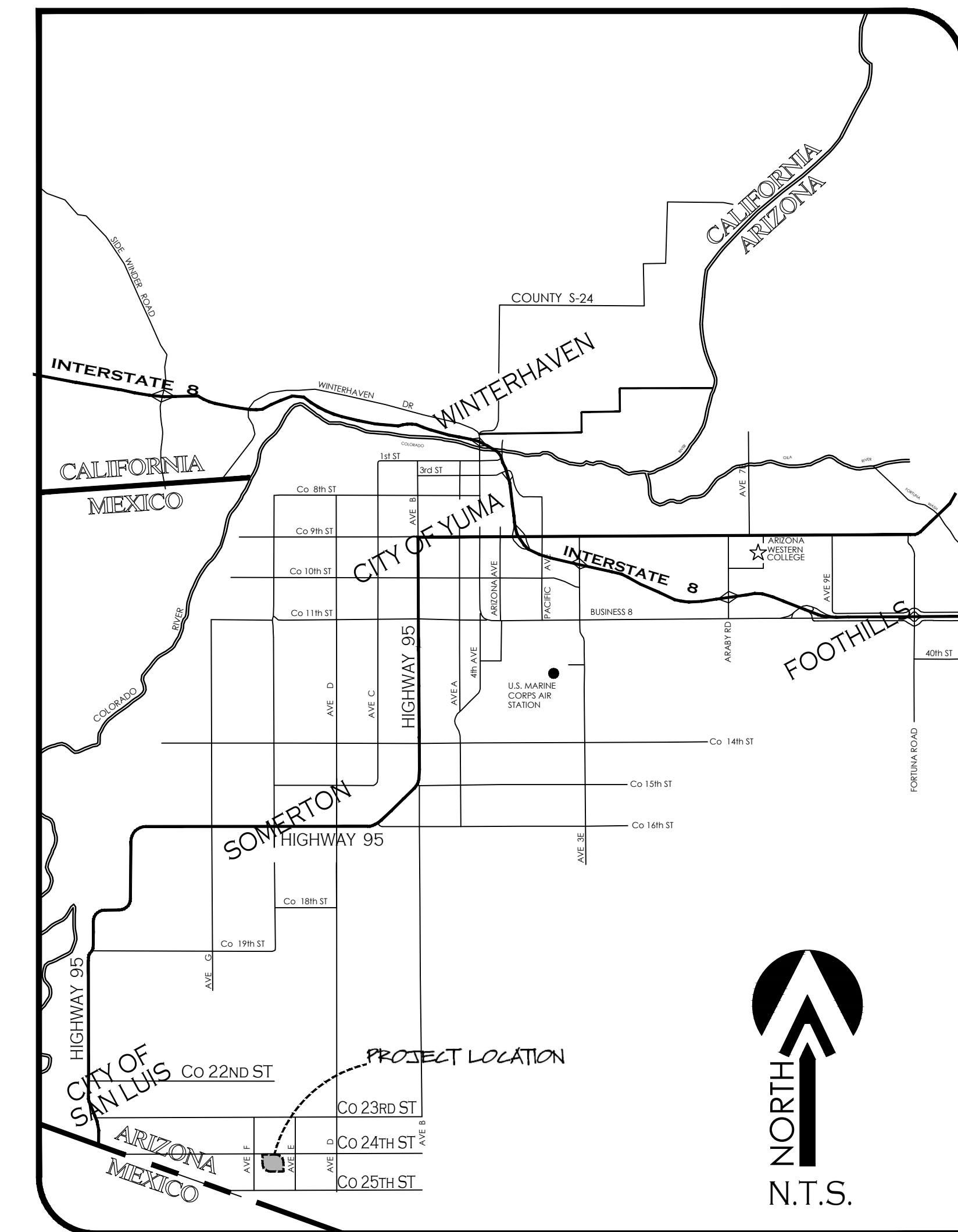
BEARING N 00°27'40" E

ENGINEER:

VV19-700
VEGA & VEGA
ENGINEERING, P.L.L.C.
1846 S. 8th Avenue 928-329-0000 Tel
Yuma, Az. 85364 928-247-6232 Fax
www.veganvega.com

LEGEND

—————	INDICATES BOUNDARY LINE	—A-161 20—	INDICATES NEW ASPHALT ELEVATION
-----	INDICATES CENTERLINE	—NEW—PVC—S—	INDICATES NEW SANITARY SEWER LINE
-----	INDICATES EASEMENT LINE	—E—	NEW SEWER STUB
-----	INDICATES RIGHT-OF-WAY LINE	—O—	NEW SEWER MANHOLE
5	NEW LOT NUMBER	—NEW—PVC—W—	INDICATES NEW WATER LINE
•	NEW YUMA COUNTY STD. DETAIL No. 4-030 SUB'D BOUNDARY MONUMENT	—	NEW SINGLE WATER SERVICE
■	NEW YUMA COUNTY STD. DETAIL No. 4-080 STREET MONUMENT	—	NEW WATER VALVE
○	EXISTING MONUMENT [TYPE AS SHOWN]	—	NEW FIRE HYDRANT
////	INDICATES EX. ASPHALT PAVEMENT	—	NEW TEMPORARY BLOWOFF VALVE
159	INDICATES EX. NATURAL SOIL ELEVATION		
159.21	INDICATES EX. ASPHALT PAVEMENT		
-----	INDICATES NEW SIDE WALK		
-----	INDICATES NEW ASPHALT PAVEMENT		

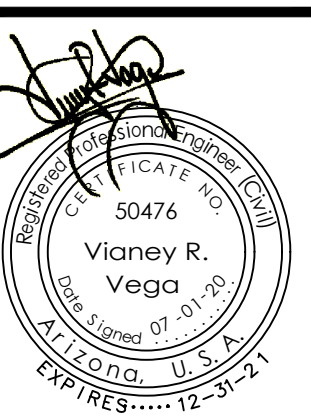


VICINITY MAP

N.T.S.

Cover Sheet

BELLEZA DEL DESIERTO
PHASE 2 SUBDIVISION



Notes:

Scale: N.T.S. Date: JULY 2020
Drawn: staff Job #: vv19-690
Checked: vno

Sheet
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1846 S. 8th AVENUE 928-329-0000 TEL
YUMA, AZ. 85364 928-247-6232 FAX
Vn Y@veganvega.com

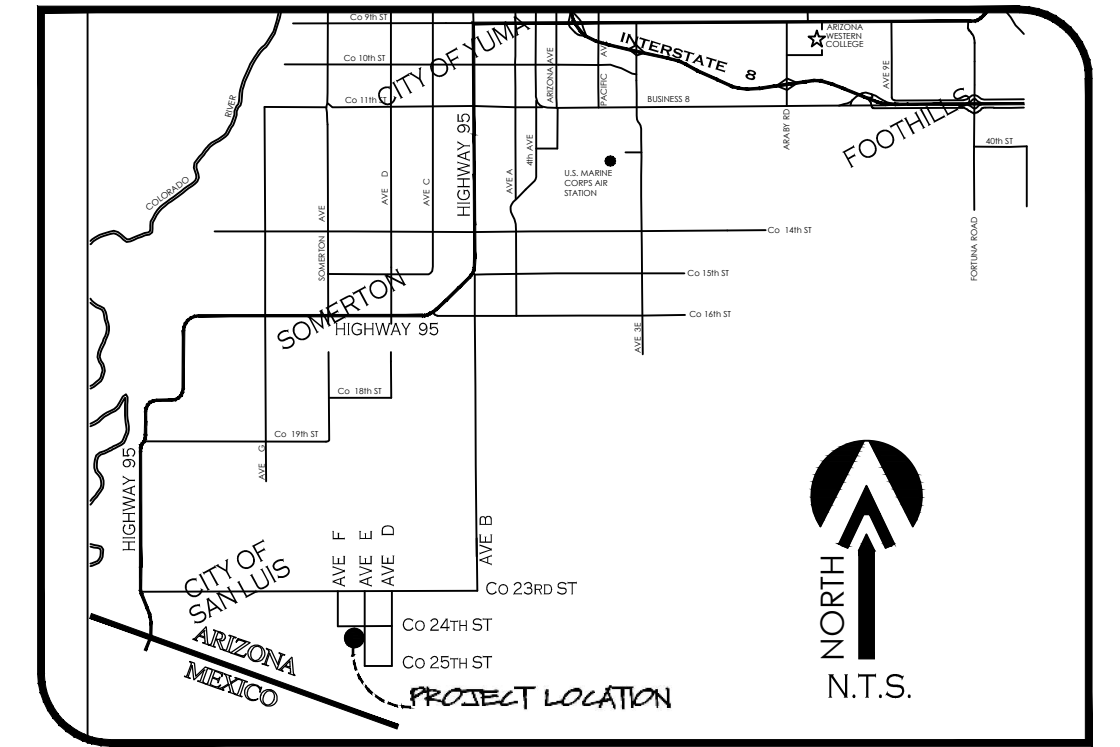
VEGA & VEGA
ENGINEERING, P.L.L.C.

BELLEZA DEL DESIERTO PHASE 2 SUBDIVISION

A SUBDIVISION OF A PORTION OF SECTION 15, T11S, R24W, G.&S.R.B.&M., YUMA COUNTY, ARIZONA, ALSO BEING PARCEL "B" OF THE BELLEZA DEL DESIERTO - LOT SPLIT, AS RECORDED IN BK. 31 OF PLATS, PAGE 24, YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, AZ

JULY OF 2020 ACREAGE: 18.44 AC

PRELIMINARY PLAT



VICINITY MAP

OWNER OF RECORD:

SAM GROUP INVESTMENT CO. LIMITED PARTNERSHIP
10622 S. CAMINO DEL SOL
YUMA, AZ, 85367

BASIS OF BEARING

THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 15, T11S, R24W, G.&S.R.B.&M., YUMA COUNTY, ARIZONA (BEING THIS LINE THE CENTERLINE OF AVENUE E), AS SHOWN ON YUMA AREA SERVICE HIGHWAY RESULTS OF SURVEY, AS RECORDED IN BOOK 3 OF SURVEYS, PAGE 44, YUMA COUNTY RECORDERS OFFICE

BEARING N 00°27'40" E

KEYNOTES

- 1 NEW 8' UTILITY EASEMENT
- 2 NEW 1' NON-ACCESS EASEMENT

NOTE

- PROPERTY CORNERS TO BE MARKED BY 1/2" DIAMETER REBAR TAGGED WITH CAP L.S. 16528
- PROJECT ZONING: R-1-6

ELABORATED BY:

VNV19-690



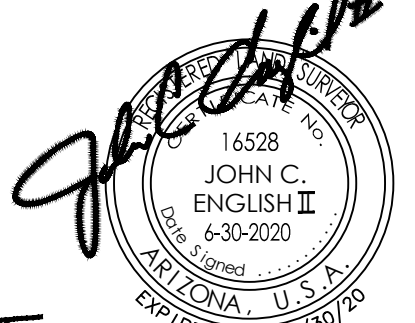
1846 S. 8th Avenue 928-329-0000 Tel
Yuma, Az. 85364 928-247-6232 Fax
www.vega-nvega.com

LEGEND

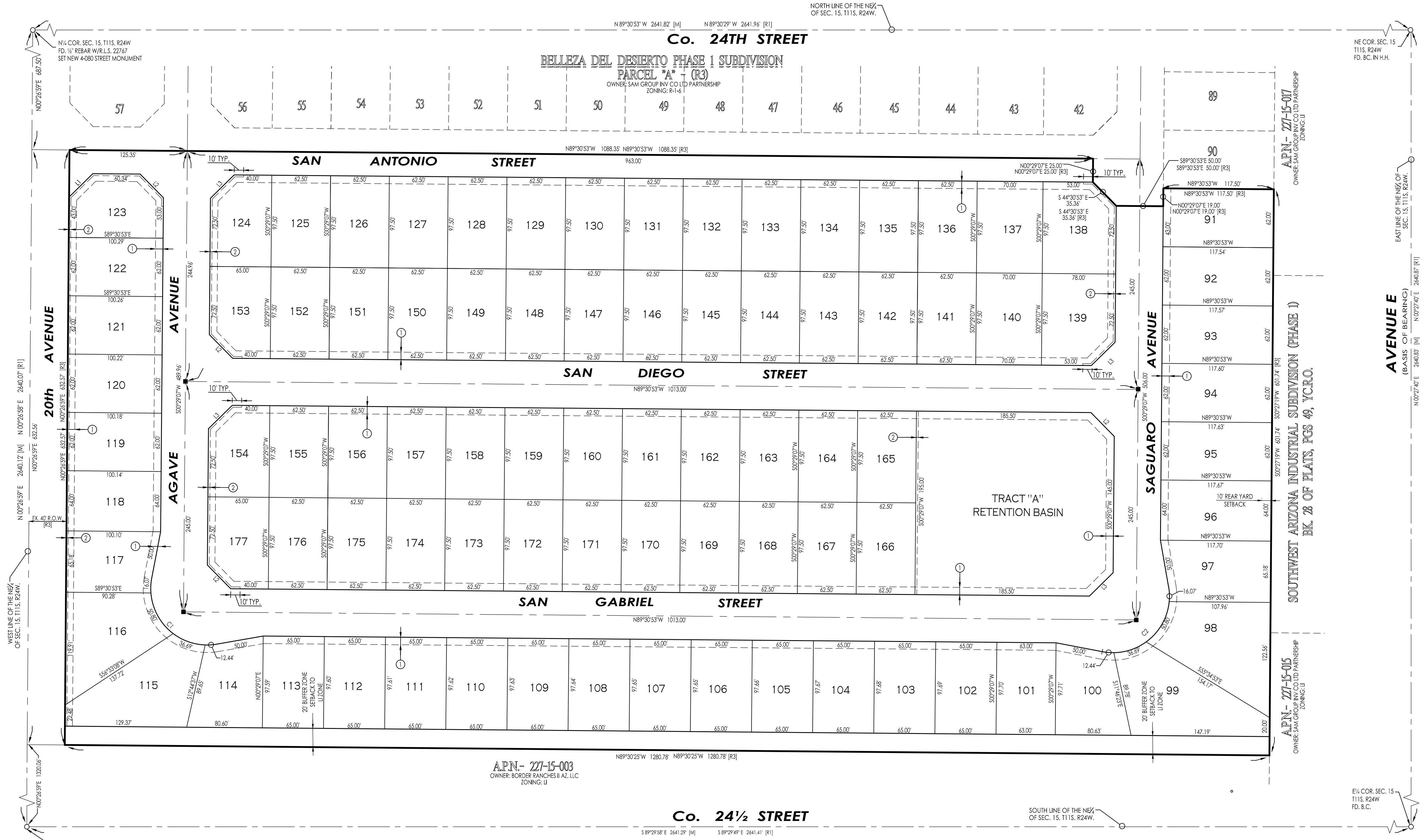
- INDICATES BOUNDARY LINE
- INDICATES CENTERLINE
- INDICATES EASEMENT LINE
- NEW LOT NUMBER
- SET PROPERTY CORNERS TO BE MARKED BY 1/2" DIA. REBAR TAGGED WITH CAP L.S. 16528 (UNLESS NOTED OTHERWISE)
- NEW YUMA COUNTY STD. DETAIL No. 4-080 STREET MONUMENT
- EXISTING MONUMENT (TYPE AS SHOWN)
- B.C. INDICATES BRASS CAP
- Y.C.R. INDICATES YUMA COUNTY RECORDERS
- G.L.O. INDICATES GENERAL LAND OFFICE
- N.A.E. INDICATES NON ACCESS EASEMENT
- [M] INDICATES MEASURED DATA
- [R1] DATA REFERS TO YUMA AREA SERVICE HIGHWAY RESULTS OF SURVEY, AS RECORDED IN BOOK 3 OF SURVEYS, PAGE 44, YUMA COUNTY RECORDERS OFFICE
- [R2] DATA REFERS TO SOUTHWEST ARIZONA INDUSTRIAL SUBDIVISION (PHASE 1), AS RECORDED IN BOOK 28 OF PLATS, PAGES 48 & 49, YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, AZ
- [R3] DATA REFERS TO BELLEZA DEL DESIERTO - LOT SPLIT, AS RECORDED IN BOOK 31, PAGE 24, Y.C.R.

LAND SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT I AM A LAND SURVEYOR LISTED ON THE ROSTER OF ACTIVE REGISTRANTS BY THE STATE BOARD OF TECHNICAL REGISTRATION OF ARIZONA AND THAT THIS MAP CONSISTING OF TWO SHEETS (3) SHEET CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION DURING THE YEAR OF 2018 THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN, OR WILL BE PLACED WITHIN ONE YEAR FROM RECORDATION OF THIS MAP. THE MONUMENTS WILL BE SUFFICIENT TO ENABLE THE SURVEY TO BE RE-TRACED. THE SURVEY IS TRUE AND COMPLETE AS SHOWN. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS PARTS.



BY: JOHN C. ENGLISH II R.L.S. No. 16528



LINE DATA

NUMBER	LENGTH	BEARING
L1	35.34	S45°28'03"W
L2	35.36	N44°30'53"W
L3	35.36	N45°29'07"E

CURVE DATA

NUMBER	DELTA ANGLE	CHORD DIRECTION	CHORD LENGTH	TANGENT	RADIUS	ARC LENGTH
C1	110°46'40"	S44°30'53"E	98.76'	86.94'	60.00'	116.01'
C2	110°46'40"	N45°29'07"E	98.76'	86.94'	60.00'	116.01'

LOT AREAS

LOT #	AREA [SF]	LOT #	AREA [SF]	LOT #	AREA [SF]	LOT #	AREA [SF]	LOT #	AREA [SF]	LOT #	AREA [SF]	LOT #	AREA [SF]	LOT #	AREA [SF]
91	7286.24	91	6155.22	111	6345.00	121	6214.61	131	6093.75	141	6093.75	151	6093.75	161	6093.75
92	7286.25	102	6350.07	112	6344.44	122	6217.01	132	6093.75	142	6093.75	152	6093.75	162	6093.75
93	7290.27	103	6349.51	113	6343.87	123	6196.95	133	6093.75	143	6093.75	153	6025.00	163	6093.75
94	7292.28	104	6348.94	114	6499.79	124	6225.00	134	6093.75	144	6093.75	154	6025.00	164	6093.75
95	7294.30	105	6348.38	115	6253.05	125	6093.75	135	6093.75	145	6093.75	155	6093.75	165	6093.75
96	7331.71	106	6347.82	116	6620.49	126	6093.75	136	6093.75	146	6093.75	156	6093.75	166	6093.75
97	7295.03	107	6347.25	117	6145.38	127	6093.75	137	6025.00	147	6093.75	157	6093.75	167	6025.00
98	10238.14	108	6346.69	118	6207.62	128	6093.75	138	7292.50	148	6093.75	158	6093.75	168	6093.75
99	10184.32	109	6346.13	119	6209.82	129	6093.75	139	7292.50	149	6093.75	159	6093.75	169	6093.75
100	6509.72	110	6345.56	120	6212.22	130	6093.75	140	6625.00	150	6093.75	160	6093.75	170	6093.75



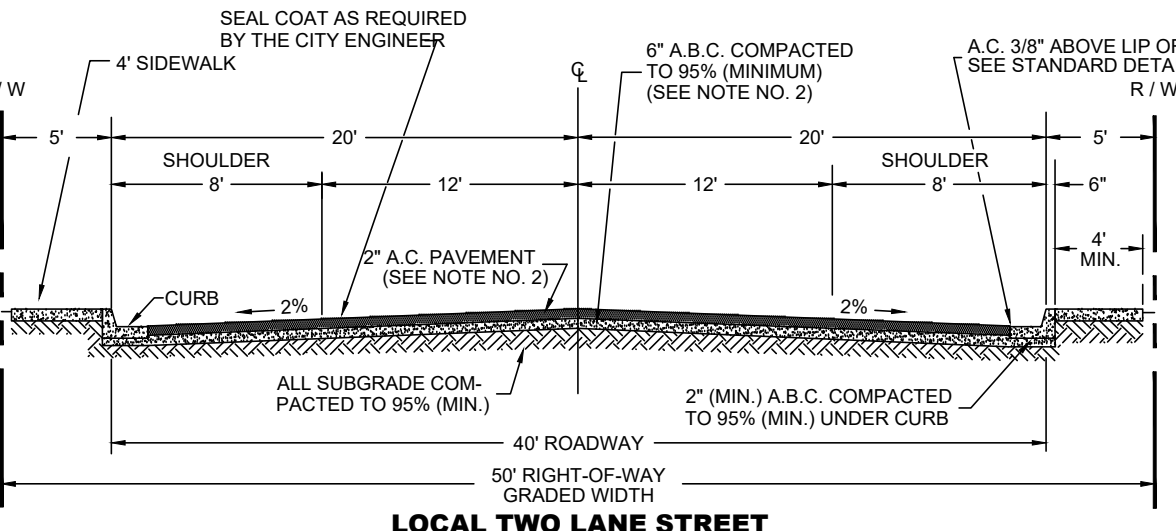
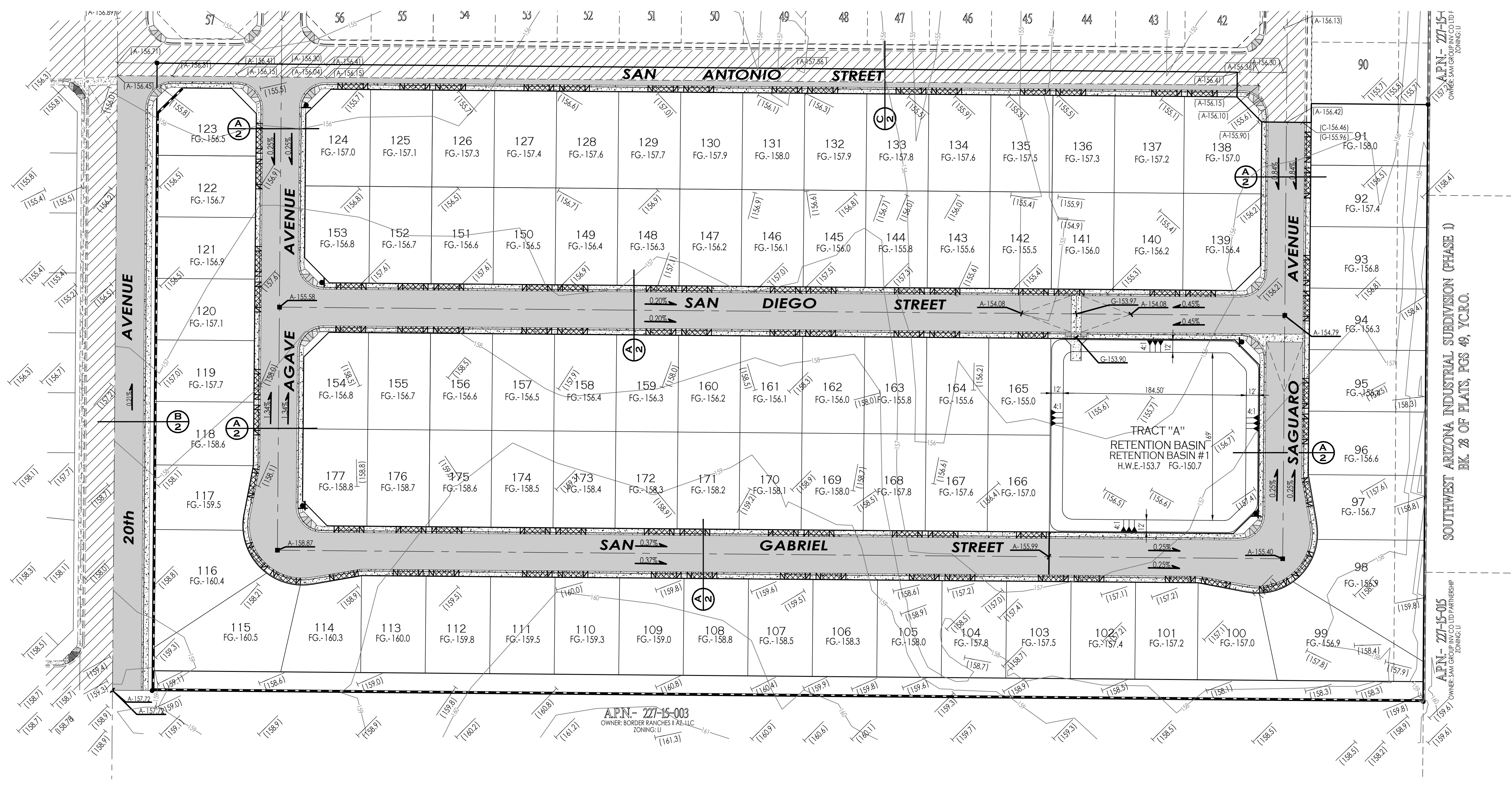
SCALE: 1"=60'

LEGEND

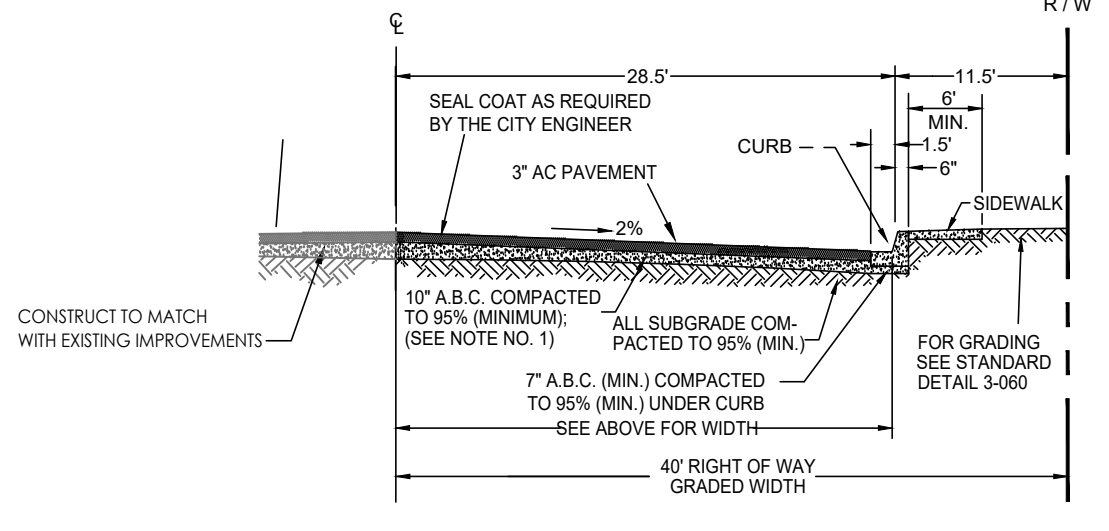
- INDICATES EX. ASPHALT PAVEMENT
- INDICATES EX. CONCRETE
- INDICATES EX. BOUNDARY LINE
- INDICATES EX. CENTERLINE
- INDICATES EX. RIGHT-OF-WAY LINE
- INDICATES EX. FENCE
- INDICATES EX. CMU WALL
- INDICATES EX. ELECTRICAL OVERHEAD LINE
- INDICATES EX. WATER LINE
- INDICATES EX. SEWER LINE
- INDICATES EX. GAS LINE
- INDICATES NEW ASPHALT PAVEMENT
- INDICATES NEW CONCRETE
- INDICATES NEW CMU WALL
- INDICATES EXISTING CMU WALL
- NEW YUMA COUNTY STD. DETAIL NO. 4-030 SUBD BOUNDARY MONUMENT
- NEW YUMA COUNTY STD. DETAIL NO. 4-080 STREET MONUMENT
- EXISTING MONUMENT (TYPE AS SHOWN)
- INDICATES BRASS CAP
- Y.C.R. INDICATES YUMA COUNTY RECORDERS
- PP INDICATES EXISTING POWER POLE
- [C] INDICATES CALCULATED DATA
- [M] INDICATES MEASURED DATA
- [E] INDICATES EXISTING ELECTRICAL BOX
- [J] INDICATES EXISTING JUNCTION BOX
- [T] INDICATES EXISTING TRANSFORMER
- [P] INDICATES EXISTING POLE
- [GM] INDICATES EXISTING GAS METER
- [PP] INDICATES EXISTING POWER POLE
- [GW] INDICATES EXISTING GUY WIRE
- [S] INDICATES EXISTING STREET SIGN
- [MH] INDICATES EXISTING MANHOLE
- [FH] INDICATES EXISTING FIRE HYDRANT
- [WM] INDICATES EXISTING WATER METER
- [WV] INDICATES EXISTING WATER VALVE
- [CE] INDICATES EX. CURB ELEVATION
- [SE] INDICATES EX. SIDEWALK ELEVATION
- [AE] INDICATES EX. ASPHALT ELEVATION
- [NSE] INDICATES EX. NATURAL SOIL ELEVATION
- [NAE] INDICATES NEW ASPHALT ELEVATION

BENCHMARK

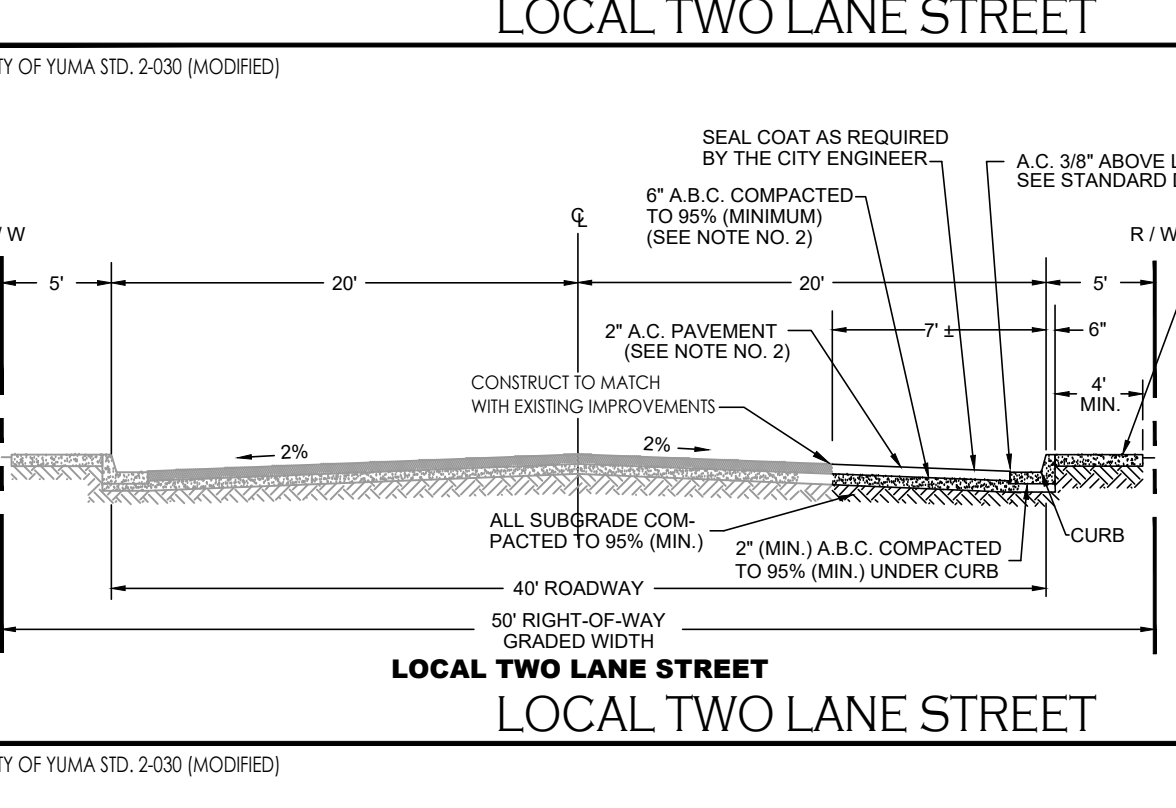
TOP OF BRASS CAP LOCATED AT THE INTERSECTION OF AVENUE E AND CO. 24TH S. STREET. THIS POINT ALSO BEING THE E 1/4 CORNER OF SECTION 15, T11S, R24W, G.A.S.R. 8.A.M. ELEVATION: 159.50 FEET



- NOTES**
- STRUCTURAL DESIGN OF COMBINED THICKNESS OF BASE AND SURFACE TO BE DETERMINED BY SOILS TEST.
 - MINIMUM PAVING THICKNESS SHALL BE 2" FOR PLANT HOT MIXED ASPHALT SURFACING OVER 6" OF A.B.C. COMPACTED TO 95% (MINIMUM).
 - SIDEWALK LOCATION ADJACENT TO CURB OR AS APPROVED BY THE CITY ENGINEER.
 - SEE STANDARD DETAIL 3-060 FOR GRADING BEHIND SIDEWALK.
 - EXTEND AGGREGATE BASE COURSE BENEATH CURB & GUTTER



- NOTES**
- STRUCTURAL DESIGN OF COMBINED THICKNESS OF BASE AND SURFACE TO BE DETERMINED BY SOILS TEST.
 - MINIMUM PAVING THICKNESS SHALL BE 2" FOR PLANT HOT MIX ASPHALT SURFACING OVER 10" OF A.B.C. COMPACTED TO 95% (MINIMUM).
 - SIDEWALK LOCATION ADJACENT TO CURB OR AS APPROVED BY THE CITY ENGINEER.
 - ALL PAVEMENT MARKING AND RAISED PAVEMENT MARKER MATERIAL MUST BE IN ACCORDANCE WITH A.D.O.T. MANUAL FOR SIGNING AND MARKING, LATEST EDITION.
 - CASE 1 OR 2 MUST BE USED WHEN THERE ARE DRIVEWAYS ALONG COLLECTOR.
 - CASE 3 MAY BE USED WHEN THERE ARE NO DRIVEWAYS ALONG COLLECTOR.
 - BIKE LANES PROVIDED BUT NOT STRIPED.



- NOTES**
- STRUCTURAL DESIGN OF COMBINED THICKNESS OF BASE AND SURFACE TO BE DETERMINED BY SOILS TEST.
 - MINIMUM PAVING THICKNESS SHALL BE 2" FOR PLANT HOT MIXED ASPHALT SURFACING OVER 6" OF A.B.C. COMPACTED TO 95% (MINIMUM).
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 - SEE STANDARD DETAIL 3-060 FOR GRADING BEHIND SIDEWALK.
 - EXTEND AGGREGATE BASE COURSE BENEATH CURB & GUTTER

DRAINAGE REPORT

1- DRAINAGE REPORT
 DRAINAGE AREA
 USING THE RATIONAL METHOD
 Q= CIA = PEAK RUNOFF (VOL.)
 (C) PEAK RATE RUNOFF = 0.43
 (I) INTENSITY OF RAINFALL = 1.22 IN / HR
 (A) DRAINAGE AREA = 21.01 AC
 Q= (0.43)(1.22)(21.01) = 11.02 CF
 TOTAL RUNOFF = 7200 (11.02) = 79,344 CF

STORAGE VOLUME PROVIDED
 RETENTION BASIN
 TOP AREA = 39,981 SF
 BOTTOM AREA = 31,074 SF
 DEPTH = 3 FT
 VOL. PROVIDED = (39,981 + 31,074) (3.0) = 106,583 CF
 TOTAL VOL. PROVIDED = 106,583 CF
 FACTOR OF SAFETY = 106,583 CF / 79,344 CF = 1.34

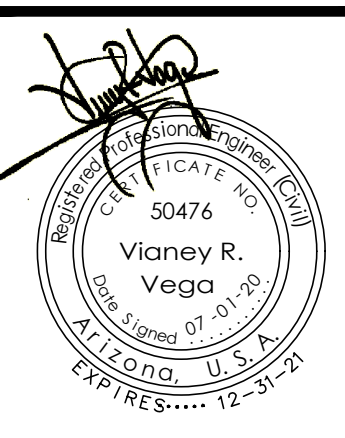
- NO OFFSITE STORMWATER WILL ENTER THE PROJECT SITE. STORMWATER WILL BE RETAINED ON SITE.
- THIS PROJECT SITE IS LOCATED IN FLOOD ZONE "X" AS SHOWN ON FEMA FLOOD MAPS

CALL TWO WORKING DAYS BEFORE YOU DIG
1-800-STAKE-IT

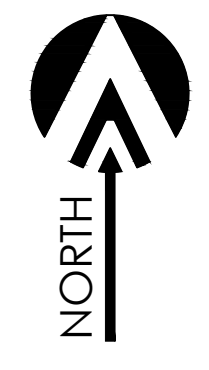
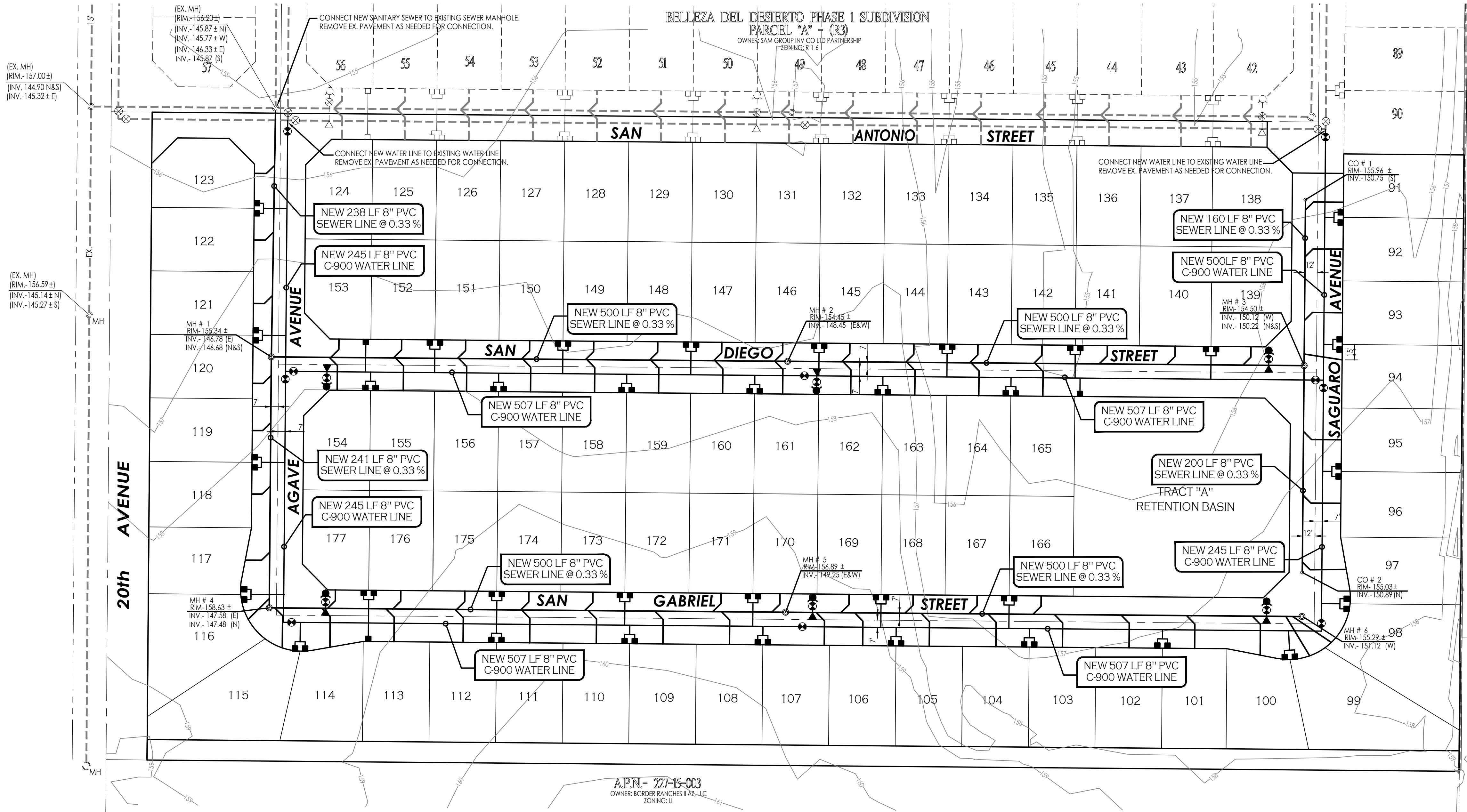
1846 S. 8th AVENUE 928-329-0000 TEL
YUMA, AZ 85364 928-247-6232 FAX
V@veganvega.com



Preliminary Paving & Grading Plan
BELLEZA DEL DESIERTO
PHASE 2 SUBDIVISION



Scale: N.T.S. [Date: JULY 2020]
Drawn: staff [Job #: vnv19-960]
Checked: vna

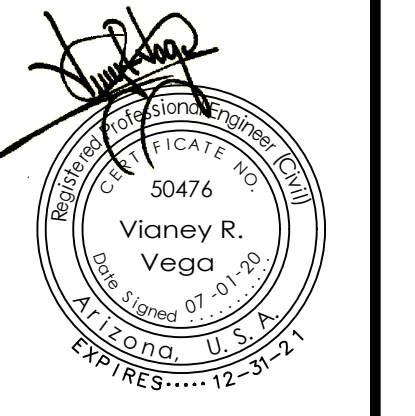


SCALE: 1"=40'

LEGEND

- 163 INDICATES EX. CONTOURS ELEVATION
- EX-6"-PVC-W- INDICATES EX. WATER LINE
- EX-8"-PVC-S- INDICATES EX. SEWER LINE
- GAS- INDICATES EX. GAS LINE
- ▭ INDICATES EXISTING ELECTRICAL BOX
- ⊗_{GP} INDICATES EXISTING GAS PADDLE
- _{MH} INDICATES EXISTING MANHOLE
- ⊕_{FH} INDICATES EXISTING FIRE HYDRANT
- ⊕_{WM} INDICATES EXISTING WATER METER
- ⊕_{WV} INDICATES EXISTING WATER VALVE
- NEW-PVC-S- INDICATES NEW SANITARY SEWER LINE
- NEW SEWER STUB
- NEW SEWER MANHOLE
- NEW 4" PVC SEWER SERVICE
- NEW-PVC-W- INDICATES NEW WATER LINE
- NEW SINGLE WATER SERVICE
- ⊕ INDICATES FIRE LINE W/ END PLUG AND THRUST BLOCK
- ⊕ INDICATES NEW WATER VALVE
- ⊕ INDICATES NEW FIRE HYDRANT
- ⊕ INDICATES NEW TEMPORARY BLOWOFF VALVE
- 5 INDICATES LOT NUMBERS

Preliminary Water & Sewer Plan
BELLEZA DEL DESIERTO
 PHASE 2 SUBDIVISION



Notes:

Scale: N.T.S. Date: JULY 2020
 Drawn: staff Job #: vnv19-690
 Checked: vna

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