



NOTICE OF SPECIAL PLANNING AND ZONING COMMISSION MEETING

In accordance with Section 38-431.01 of the Arizona Revised Statutes of the State of Arizona, notice is hereby given to the Members of the Planning and Zoning Commission and to the general public that the Planning and Zoning Commission of the City of San Luis, Arizona will hold a Special Planning & Zoning Commission Meeting at 7:00 p.m., Tuesday, October 25, 2022. The meeting will take place at the San Luis City Hall - Multi-Purpose Room, located at 1090 E. Union Street, San Luis, Arizona, 85349. Everyone from the public is invited to attend the open meeting.

In accordance with the Americans with Disabilities Act (ADA) and Section 504 of the Rehabilitation Act of 1973, the City of San Luis does not discriminate on the basis of disability in the admission of or access to, or treatment of employment in its programs, activities, or services. For information regarding rights and provisions of the ADA or Section 504, or to request reasonable accommodations for participation in City programs, activities or services contact: ADA/Section 504 Coordinator, City of San Luis Human Resources Department, 1090 East Union Street, San Luis, Arizona 85349; (928) 341-8520.

Notice is hereby given that pursuant to A.R.S. §1-602.A.9, subject to certain specified statutory exceptions, parents have a right to consent before the State or any of its political subdivisions make a video or audio recording of a minor child. Meetings of the City Council are audio and/or video recorded, and, as a result, proceedings in which children are present may be subject to such recordings. Parents in order to exercise their rights may either file written consent with the City Clerk to such recordings, or take personal action to ensure that their child or children are not present when a recording may be made. If a child is present at the time a recording is made, the City will assume that the rights afforded parents pursuant to A.R.S. §1-602.A.9 have been waived.

THIS NOTICE IS GIVEN BY:

/s/ Roman Pacheco, Planning Technician

AVISO DE JUNTA ESPECIAL DE LA COMISIÓN DE PLANEACIÓN Y ZONIFICACIÓN

De acuerdo a la Sección 38-431.01 de los Estatutos Revisados del Estado de Arizona, se les informa a los Miembros de la Comisión de Planeación y Zonificación y al público en general que la Comisión de Planeación y Zonificación de San Luis, Arizona, tendrán una junta especial a las 7:00 p.m., el día Martes, 25 de Octubre del 2022. La junta se llevará a cabo en el Ayuntamiento de San Luis, Arizona - Salon de Usos Múltiples, ubicado en el 1090 East Union Street, San Luis, Arizona, 85349. El público esta cordialmente invitado.

De acuerdo con el Acta de Americanos con Discapacidades y la Sección 504 del Acta de Rehabilitación de 1973, la Ciudad de San Luis no discrimina por causa de discapacidad la admisión y acceso a sus programas, actividades, servicios o en el trato en cuanto a empleo. Para más información referente a derechos y provisiones del Acta de Americanos con Discapacidades o Sección 504, o para solicitar adaptaciones que sean razonables para la participación en programas, actividades o servicios de la ciudad, contactar a: Coordinador del Acta de Americanos con Discapacidades/Sección 504, Departamento de Recursos Humanos de la Ciudad de San Luis, 1090 Este Calle Unión, San Luis, Arizona, 85349; (928) 341-8520.

Por medio de éste aviso y de acuerdo con los Estatutos Revisados del Estado de Arizona, sujeto a ciertas excepciones reglamentarias, los padres de familia tienen el derecho de dar o no dar el consentimiento ante el Estado o alguna subdivisión política grabe a un menor de edad, ya sea en audio o video. Las juntas del Concilio se graban en audio y/o video y como resultado, el hecho de que haya menores presentes puede ser sujeto a que sean grabados. Para que los padres de familia puedan ejercer sus derechos pueden solicitar por escrito a la Secretaria de la Ciudad dicha grabación, o tomar acción personal para asegurarse que su hijo/hija menor no esté presente cuando la grabación se lleve a cabo. Si un menor de edad está presente en el momento de la grabación, la Ciudad asumirá que los padres de familia están cediendo los derechos sobre una posible grabación de acuerdo con el Estatuto Revisado del Estado de Arizona §1-602.A.9.

ESTE AVISO ES DADO POR:

/f/ Roman Pacheco, Técnico en Planeación



AGENDA
Planning & Zoning Commission
Special Meeting
San Luis City Hall Multi-Purpose Room
1090 E. Union Street
San Luis, AZ 85349
Tuesday, October 25, 2022
7:00 P.M.

For the safety of the public during the COVID-19 pandemic, members of the public may attend the Special Planning and Zoning Commission meeting of October 25, 2022, in person if the 6-foot distance can be maintained, which is 27 people. However, members of the public may listen to the meeting's live audio stream on the City of San Luis' website <https://sanluisaz.gov/listenlivepz>. Recordings of the meetings will be available on the city's website <https://sanluisaz.gov/listenlivepz> after the meeting.

Por la seguridad del público durante la pandemia COVID-19, habrá asistencia en persona para los miembros del público en la junta especial de Planeación y Zonificación del 25 de Octubre del 2022, si la distancia de 6 pies puede mantenerse, que serian 27 personas. Sin embargo, los miembros del público pueden escuchar el audio en vivo de la reunión transmitido en el sitio web de la Ciudad de San Luis <https://sanluisaz.gov/listenlivepz>. Las grabaciones de las reuniones estarán disponibles en el sitio web de la ciudad <https://sanluisaz.gov/listenlivepz> después de la reunión.

MEMBERS OF THE SAN LUIS PLANNING & ZONING COMMISSION WILL ATTEND EITHER IN PERSON, TELEPHONE, OR VIDEO CONFERENCE COMMUNICATION.

1. **CALL TO ORDER/ROLL CALL**

2. **PLEDGE OF ALLEGIANCE**

3. **CONSENT AGENDA**

All matters are considered to be routine by the Planning & Zoning Commission and will be enacted by one motion. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

3. A. **APPROVAL OF MINUTES**

- Regular Planning and Zoning Commission meeting held October 12, 2021
- Regular Planning and Zoning Commission meeting held November 16, 2021
- Regular Planning and Zoning Commission meeting held December 14, 2021
- Regular Planning and Zoning Commission meeting held February 8, 2022
- Regular Planning and Zoning Commission meeting held March 8, 2022
- Regular Planning and Zoning Commission meeting held April 12, 2022
- Special Planning and Zoning Commission meeting held May 17, 2022
- Regular Planning and Zoning Commission meeting held July 12, 2022
- Regular Planning and Zoning Commission meeting held August 9, 2022
- Regular Planning and Zoning Commission meeting held September 13, 2022

4. ITEMS REQUIRING DISCUSSION AND/OR ACTION – the Planning & Zoning Commission will be considering a vote or action on the following cases. Any vote or action will be considered separately for each case.

4. A. Discussion and possible action on any and all matters regarding Subdivision Case No. 2022-0556F. A request by Vega and Vega Engineering PLC, on behalf of Von Verde Development LLC., for the final plat approval of the Southwest Arizona Industrial Subdivision Phase 2. The property is located on the northeast corner of Avenue D 1/2 and County 24th Street in San Luis Arizona.

A. Staff Presentation

B. Action on Subdivision Case No. 2022-0556F

5. ADJOURNMENT



AGENDA ITEM REVIEW FORM

3. A.

Summary

APPROVAL OF MINUTES

- Regular Planning and Zoning Commission meeting held October 12, 2021
- Regular Planning and Zoning Commission meeting held November 16, 2021
- Regular Planning and Zoning Commission meeting held December 14, 2021
- Regular Planning and Zoning Commission meeting held February 8, 2022
- Regular Planning and Zoning Commission meeting held March 8, 2022
- Regular Planning and Zoning Commission meeting held April 12, 2022
- Special Planning and Zoning Commission meeting held May 17, 2022
- Regular Planning and Zoning Commission meeting held July 12, 2022
- Regular Planning and Zoning Commission meeting held August 9, 2022
- Regular Planning and Zoning Commission meeting held September 13, 2022

Attachments

10/12/2021 RP&ZC
11/16/2021 RP&ZC
12/14/2021 RP&ZC
2/08/2022 RP&ZC
3/08/2022 RP&ZC
4/12/2022 RP&ZC
5/17/2022 SP&ZC
7/12/2022 RP&ZC
8/09/2022 RP&ZC
9/13/2022 RP&ZC

MINUTES

REGULAR MEETING
PLANNING AND ZONING COMMISSION
SAN LUIS COUNCIL CHAMBERS
1090 E. UNION STREET
OCTOBER 12, 2021
7:00 PM

Due to audio recording issues the following minutes are based off the handwritten notes taken at the time of the meeting by the Planning and Zoning staff.

1. CALL TO THE ORDER /ROLL CALL: The meeting was called to order at 7:05 PM, by Chairman Marco A. Pinzon.

PRESENT:

Chairman Marco A. Pinzon
Vice Chairman Veronica Zavala
Commission Member Hugo Garcia
Commission Member George Amaya

ABSENT:

Commission Member Guillermina Fuentes
Commission Member Case Van Veen
Commission Member Javier Barraza

OTHERS PRESENT:

Jose A. Guzman, Director of Planning and Zoning
Fernando Villegas, Principal Planner
Margarita Dominguez, Administrative Coordinator
Kay Macuil, City Attorney

2. PLEDGE OF ALLEGIANCE:

3. CONSENT AGENDA

3. A. APPROVAL OF MINUTES

-Special Planning and Zoning Commission meeting held September 21, 2021

4. PUBLIC HEARINGS

4. A. Public hearing followed by discussion and possible action on any and all matters regarding Major Amendment Case No. 2021-0335. A request by DuBose Design Group, Inc. to change the land use designation of Assessor's parcels 227-14-006, 007, 008 and a portion of parcel 227-14-009 totaling 197.97 acres from Commercial (C) to Medium Density Residential (MDR), parcels 227-14-002 and a portion of parcel 227-14-004 totaling 231.56 acres from Employment (EMP) to Medium Density Residential (MDR), and parcels 227-11-006, 007 and 008 totaling 37.48 acres from Employment (EMP) to Commercial (C). (ITEM CONTINUED FROM THE SPECIAL COMMISSION MEETING HELD SEPTEMBER 21, 2021)

A. Open public hearing

B. Close public hearing

C. Action on Major Amendment Case No. 2021-0335

MOTION: Chairman Marco A. Pinzon / Commission Member Hugo Garcia to forward Major Amendment Case No. 2021-0335 to City Council with recommendation of approval to change the land use designation from Employment to Commercial to Medium Density Residential. The Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Veronica Zavala	Aye

Commission Member Hugo Garcia	Aye
Commission Member George Amaya	Aye

4. B. Public Hearing followed by discussion and possible action on any and all matters regarding Major Amendment Case No. 2021-0337. A request by Core Engineering Group PLLC on behalf of Boarder Ranches II AZ LLC to change the land use designation of a 20 acre parcel from Commercial (C) to Medium Density Residential (MDR). Assessor's parcel number 227-15-030, located on the northeast corner of 20th Avenue and County 24 1/2 Street in San Luis Arizona. (ITEM CONTINUED FROM THE SPECIAL COMMISSION MEETING HELD SEPTEMBER 21, 2021)

A. Open public hearing

B. Close public hearing

C. Action on Major Amendment Case No. 2021-0337

MOTION: Vice Chairman Veronica Zavala / Commission Member Hugo Garcia to forward Major Amendment Case No. 2021-0337 to City Council with recommendation of approval. The Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Veronica Zavala	Aye
Commission Member Hugo Garcia	Aye
Commission Member George Amaya	Aye

6. ADJOURNMENT

APPROVED:

Marco A. Pinzon, Chairman

ATTEST:

Roman Pacheco, Planning Technician

CERTIFICATION

I HEREBY CERTIFY THAT THE FOREGOING MINUTES ARE A TRUE AND CORRECT COPY OF THE MINUTES OF THE PLANNING AND ZONING COMMISSION, SAN LUIS, ARIZONA HELD ON OCTOBER 12, 2021. I FURTHER CERTIFY THAT THE MEETING WAS DULLY CALLED AND HELD AND THAT A QUORUM WAS PRESENT.

Roman Pacheco, Planning Technician

MINUTES

SPECIAL MEETING
PLANNING AND ZONING COMMISSION
SAN LUIS COUNCIL CHAMBERS
1090 E. UNION STREET
NOVEMBER 16, 2021
7:00 PM

1. CALL TO THE ORDER /ROLL CALL: The meeting was called to order at 7:03 PM, by Vice Chairman Veronica Zavala.

PRESENT:

Chairman Marco A. Pinzon
Vice Chairman Veronica Zavala
Commission Member Guillermina Fuentes
Commission Member Case Van Veen

ABSENT:

Commission Member Javier Barraza
Commission Member Hugo Garcia
Commission Member George Amaya

OTHERS PRESENT:

Jose A. Guzman, Director of Planning and Zoning
Fernando Villegas, Principal Planner
Margarita Dominguez, Administrative Coordinator
Kay Macuil, City Attorney
Jonathan Dumadag, I.T. Department

2. PLEDGE OF ALLEGIANCE:

The Pledge of Allegiance was led by Vice Chairman Veronica Zavala.

3. PUBLIC HEARINGS

3. A. Public hearing followed by discussion and possible action on any and all matters regarding Minor Amendment Case No. 2021-0607. A request by Comite de Bienestar Inc. to amend the 2040 General Plan changing the land use designation of 3.47 acres from Medium Density Residential (MDR) to Commercial (C) located on the southeast corner of Avenue F and County 24th Street in San Luis, Arizona.

A. Open public hearing

MOTION: Vice Chairman Veronica Zavala / Commission Member Guillermina Fuentes to open public hearing. The Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Veronica Zavala	Aye
Commission Member Guillermina Fuentes	Aye
Commission Member Case Van Veen	Aye

1. Staff Presentation

Fernando Villegas, Principal Planner, presented and summarized staff report recommending approval of Minor Amendment Case No. 2021-0607.

2. Call to the Public on this item

There were no comments from the public.

B. Close public hearing

MOTION: Chairman Marco A. Pinzon / Commission Member Guillermina Fuentes to close public hearing regarding Minor Amendment Case No. 2021-0607. The Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Veronica Zavala	Aye
Commission Member Guillermina Fuentes	Aye
Commission Member Case Van Veen	Aye

C. Action on Major Amendment Case No. 2021-0607

MOTION: Commission Member Case Van Veen / Chairman Marco A. Pinzon to forward Minor Amendment Case No. 2021-0607 to City Council with recommendation of approval. The Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Veronica Zavala	Aye
Commission Member Guillermina Fuentes	Aye
Commission Member Case Van Veen	Aye

3. B. Public Hearing followed by discussion and possible action on any and all matters regarding Rezoning Case No. 2021-0608. A request by Comite de Bienestar to rezone a parcel 3.47 acres from High Density Residential (R-3) to Community Commercial (C-2). Assessor's Parcel 785-05-162, located on the southeast corner of Avenue F and County 24th Street in San Luis, Arizona.

A. Open public hearing

MOTION: Chairman Marco A. Pinzon / Commission Member Guillermina Fuentes to open public hearing. The Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Veronica Zavala	Aye
Commission Member Guillermina Fuentes	Aye
Commission Member Case Van Veen	Aye

1. Staff presentation

Fernando Villegas, Principal Planner, presented and summarized staff report recommending approval of Rezoning Case No. 2021-0608 subject to the following condition:

1. Development shall comply with the City of San Luis zoning regulations, building code requirements and public works standards.

2. Call to the Public on this item

Commission Member Guillermina Fuentes asked if there were going to be apartments.

Vianey Vega, Vega & Vega, Engineering, PLC., responded no, this was proposed to be an apartment complex, but the plan changed and now we are going back to commercial, and we are going to develop a thrift shop mall. We want to bring a couple of anchors with the possibility of expanding to a second phase and then a smaller anchor, we are calling them Anchor 'A' about 10,000 square feet and Anchor 'B' about 5,000 square feet and the rest will be anywhere from 750 square feet to 1,000 square feet.

B. Close public hearing

MOTION: Vice Chairman Veronica Zavala / Chairman Marco A. Pinzon to close public hearing. The Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Veronica Zavala	Aye
Commission Member Guillermina Fuentes	Aye
Commission Member Case Van Veen	Aye

C. Action on Rezoning Case No. 2021-0608

MOTION: Commission Member Hugo Garcia / Chairman Marco A. Pinzon to forward Rezoning Case No. 2021-0608 to City Council with recommendation of approval subject to the condition of approval. The Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Veronica Zavala	Aye
Commission Member Guillermina Fuentes	Aye
Commission Member Case Van Veen	Aye

3. C. Public hearing followed by discussion only on any and all matters regarding Minor Amendment Case No. 2021-0668. A request by Core Engineering Group PLLC. on behalf of Border Ranches II AZ LLC to amend the 2040 General Plan changing the land use designation of parcel 19.95 acres in size from Commercial (C) to Medium Density Residential (MDR). Assessor's parcel number 227-15-029, located east of 20th Avenue and south of Belleza del Desierto Phase 2 Subdivision in San Luis, Arizona.

A. Open public hearing

MOTION: Vice Chairman Veronica Zavala / Commission Member Case Van Veen to open public hearing. The Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Veronica Zavala	Aye
Commission Member Guillermina Fuentes	Aye
Commission Member Case Van Veen	Aye

1. Staff presentation

Fernando Villegas, Principal Planner, presented and summarized staff report recommending approval of Minor Amendment Case No. 2021-0668.

2. Call to the Public on this item

Jonathan Klein, Core Engineering Group PLLC, stated that as per city council concerns, the first time around traffic, we do have a contract with an engineer which will process traffic study.

B. Close public hearing

MOTION: Vice Chairman Veronica Zavala / Chairman Marco A. Pinzon to close public hearing regarding Minor Amendment Case No. 2021-0668. The Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Veronica Zavala	Aye
Commission Member Guillermina Fuentes	Aye
Commission Member Case Van Veen	Aye

C. Action on Major Amendment Case No. 2021-0668

MOTION: Commission Member Hugo Garcia / Commission Member Javier Barraza to forward Minor Amendment Case No. 2021-0668 to City Council with recommendation of approval. The Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Veronica Zavala	Aye
Commission Member Guillermina Fuentes	Aye
Commission Member Case Van Veen	Aye

4. D. Public hearing followed by discussion only on any and all matters regarding Rezoning Case No. 2021-0243. A request by Core Engineering Group PLLC. on behalf of Border Ranches II AZ LLC to rezone a parcel 19.95 acres from Light Industrial (L-I) to Medium Density Residential (R1-6). Assessor's parcel number 227-15-029, located east of 20th Avenue and south of Belleza del Desierto Phase 2 Subdivision in San Luis, Arizona.

A. Open public hearing

MOTION: Chairman Marco A. Pinzon / Commission Member Guillermina Fuentes to open public hearing. The Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Veronica Zavala	Aye
Commission Member Guillermina Fuentes	Aye
Commission Member Case Van Veen	Aye

1. Staff presentation

Fernando Villegas, Principal Planner, presented and summarized staff report recommending approval of Rezoning Case No. 2021-0243 subject to the following condition:

1. The owner/applicant shall submit a preliminary plat for approval in compliance with the City of San Luis subdivision regulations.
2. That any development of the property, or portion thereof, and/or the approval of any subdivision plat, be conditioned upon payment to the city the sum of \$260.00 per acre, or any portion of an acre, as a proportionate contribution for a traffic signal at the intersection of County 24th Street and Avenue E.

2. Call to the Public on this item

Commission Member Guillermina Fuentes, ask why they have not done the conditions? **Mr. Villegas** responded because the rezoning case needs to be approved before they can submit a subdivision plat and they are probably going to pay the fee later when they submit the preliminary plat.

Mr. Jose A. Guzman, Planning and Zoning Director, explained that we got about 640 acres around the intersection of County 24th Street and Avenue E and all those development within the area will be paying \$260 per acre for the traffic light. This land within that area, anything that would be develop we have to add this condition.

B. Close public hearing

MOTION: Vice Chairman Veronica Zavala / Chairman Marco A. Pinzon to close public hearing regarding Rezoning Case No. 2021-0243. The Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Veronica Zavala	Aye
Commission Member Guillermina Fuentes	Aye
Commission Member Case Van Veen	Aye

C. Action on Major Amendment Case No. 2021-0243

MOTION: Vice Chairman Veronica Zavala / Commission Member Guillermina Fuentes to forward Rezoning Case No. 2021-0243 to City Council with recommendation of approval subject to conditions. The Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Veronica Zavala	Aye
Commission Member Guillermina Fuentes	Aye

APPROVED:

Marco A. Pinzon, Chairman

ATTEST:

Roman Pacheco, Planning Technician

CERTIFICATION

I HEREBY CERTIFY THAT THE FOREGOING MINUTES ARE A TRUE AND CORRECT COPY OF THE MINUTES OF THE PLANNING AND ZONING COMMISSION, SAN LUIS, ARIZONA HELD ON NOVEMBER 16, 2021. I FURTHER CERTIFY THAT THE MEETING WAS DULLY CALLED AND HELD AND THAT A QUORUM WAS PRESENT.

Roman Pacheco, Planning Technician

MINUTES

REGULAR MEETING
PLANNING AND ZONING COMMISSION
SAN LUIS COUNCIL CHAMBERS
1090 E. UNION STREET
DECEMBER 14, 2021
7:00 PM

1. CALL TO THE ORDER /ROLL CALL: The meeting was called to order at 7:06 PM, by Vice Chairman Veronica Zavala.

PRESENT:

Vice Chairman Veronica Zavala
Commission Member Javier Barraza
Commission Member Hugo Garcia
Commission Member George Amaya

ABSENT:

Chairman Marco A. Pinzon
Commission Member Guillermina Fuentes
Commission Member Case Van Veen

OTHERS PRESENT:

Jose A. Guzman, Director of Planning and Zoning
Fernando Villegas, Principal Planner
Margarita Dominguez, Administrative Coordinator
Kay Macuil, City Attorney
Jossue Cerda, I.T. Help Desk Technician
Najeh K. Edais, Edais Engineering, Inc.
Agustin Tumbaga, Jr., DHG Management & Construction

2. PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was led by Commission Member Javier Barraza.

3. PUBLIC HEARINGS

3. A. Public Hearing followed by discussion and possible action on any and all matters regarding Rezoning Case No. 2021-0693. A request by Edais Engineering Inc. on behalf of Riedel Holdings LLC to rezone 186.84 acres from Medium High Density Residential (R-2), High Density Residential (R-3), Community Commercial (C-2) and Light Industrial (L-I) to Medium Density Residential (R1-6). Assessor's Parcel Number 227-11-004 and a portion of parcel 227-11-005, located on the southeast corner of Avenue E and County 23 ½ Street in San Luis, Arizona.

A. Open Public Hearing

MOTION: Commission Member Javier Barraza / Commission Member Hugo Garcia to open public hearing. The Motion passed unanimously.

The vote was as follows:

Vice Chairman Veronica Zavala	Aye
Commission Member Javier Barraza	Aye
Commission Member Hugo Garcia	Aye
Commission Member George Amaya	Aye

1. Staff Presentation

Fernando Villegas, Principal Planner, presented and summarized staff report recommending approval of Rezoning Case No. 2021-0693 subject to the following conditions:

1. That any development of the property, or portion thereof, and/or the approval of any subdivision plat, be conditioned upon payment to the city the sum of \$260.00 per acre, or any portion of an acre, as a proportionate contribution for a traffic signal at the intersection of County 24th Street and Avenue E.

2. Development must comply with updated Public Work Standards as approved by City Council during the approval of the Final Plat. Updated Public Works Standards to include right-of-way requirements, pavement width and other applicable standards.

2. Call to the public on this item

Najeh K. Edais, Edais Engineering, stated that he does not have any problems with the conditions staff put in.

B. Close public hearing

MOTION: Commission Member Javier Barraza / Commission Member Hugo Garcia to close public hearing. The Motion passed unanimously.

The vote was as follows:

Vice Chairman Veronica Zavala	Aye
Commission Member Javier Barraza	Aye
Commission Member Hugo Garcia	Aye
Commission Member George Amaya	Aye

C. Action on Rezoning Case No. 2021-0693

MOTION: Commission Member Javier Barraza / Commission Member Hugo Garcia to forward Rezoning Case No. 2021-0693 to City Council with the recommendation of approval with conditions as presented by staff. The Motion passed unanimously.

The vote was as follows:

Vice Chairman Veronica Zavala	Aye
Commission Member Javier Barraza	Aye
Commission Member Hugo Garcia	Aye
Commission Member George Amaya	Aye

3. B. Public hearing followed by discussion and possible action on any and all matters regarding Minor Amendment Case No. 2021-0703. A request by Agustin Tumbaga Jr. on behalf of Riedel Holdings LLC to amend the 2040 General Plan changing the land use designation of a parcel 2.9 acres from Medium Density Residential (MDR) to High Density Residential (HDR). Assessor's parcel number 777-61-165, located on the northeast corner of Avenue F and County 24th Street in San Luis, Arizona.

A. Open public hearing

MOTION: Commission Member Javier Barraza / Commission Member Hugo Garcia to open public hearing. The Motion passed unanimously.

The vote was as follows:

Vice Chairman Veronica Zavala	Aye
Commission Member Javier Barraza	Aye
Commission Member Hugo Garcia	Aye
Commission Member George Amaya	Aye

1. Staff Presentation

Fernando Villegas, Principal Planner, presented and summarized staff report recommending approval of Minor Amendment Case No. 2021-0703.

2. Call to the public on this item

Mr. Agustin Tumbaga Jr., stated that there is a mix need in the community and the biggest part with the medical plaza and the new school that is going into that area. Not everybody automatically qualifies for a house, we love for them to qualify automatically because as we build them, but we think we need to provide house not just for low income but also for the people that do not qualify for certain assistance. With the commercial that is been planned across the street and the commercial that is planned about a mile away it makes it difficult for this small area to be able to be cost effective and create a cash flow. We thought that

by creating housing not only would it help future people to be able to leave in an apartment complex and provide for the people that are going to leave close by.

Vice Chairman Veronica Zavala asked how many units are there going to be? **Tumbaga** responded about 40 units. **Ms. Zavala** asked staff if they had the chance to get back with the person who was opposing for this project? **Mr. Villegas** responded that Mr. Gerardo Flores was there at the citizen review meeting, and I have his phone number and email. Mr. Flores also aware about the Commission and Council public hearings but he only submitted his comments in writing.

B. Close public hearing

MOTION: Commission Member Javier Barraza / Commission Member Hugo Garcia to close public hearing. The Motion passed unanimously.

The vote was as follows:

Vice Chairman Veronica Zavala	Aye
Commission Member Javier Barraza	Aye
Commission Member Hugo Garcia	Aye
Commission Member George Amaya	Aye

C. Action on Rezoning Case No. 2021-0703

MOTION: Commission Member Hugo Garcia / Commission Member George Amaya to forward Minor Amendment Case No. 2021-0703 to City Council with the recommendation of approval. The Motion passed unanimously.

The vote was as follows:

Vice Chairman Veronica Zavala	Aye
Commission Member Javier Barraza	Aye
Commission Member Hugo Garcia	Aye
Commission Member George Amaya	Aye

6. ADJOURNMENT

MOTION: Commission Member Javier Barraza / Commission Member Hugo Garcia adjourn the Regular Planning and Zoning Commission meeting at approximately 7:23 p.m. The motion passed unanimously.

The vote was as follows:

Vice Chairman Veronica Zavala	Aye
Commission Member Javier Barraza	Aye
Commission Member Hugo Garcia	Aye
Commission Member George Amaya	Aye

APPROVED:

Marco A. Pinzon, Chairman

ATTEST:

Roman Pacheco, Planning Technician

CERTIFICATION

I HEREBY CERTIFY THAT THE FOREGOING MINUTES ARE A TRUE AND CORRECT COPY OF THE MINUTES OF THE PLANNING AND ZONING COMMISSION, SAN LUIS, ARIZONA HELD ON DECEMBER 14, 2021. I FURTHER CERTIFY THAT THE MEETING WAS DULLY CALLED AND HELD AND THAT A QUORUM WAS PRESENT.

Roman Pacheco, Planning Technician

MINUTES

REGULAR MEETING
PLANNING AND ZONING COMMISSION
SAN LUIS COUNCIL CHAMBERS
1090 E. UNION STREET
FEBRUARY 8, 2022
7:00 PM

1. CALL TO THE ORDER /ROLL CALL: The meeting was called to order at 7:05 PM, by Vice Chairman Marco A. Pinzon.

PRESENT:

Chairman Marco A. Pinzon
Vice Chairman Veronica Zavala
Commission Member Javier Barraza
Commission Member Hugo Garcia
Commission Member Guillermina Fuentes
Commission Member George Amaya

ABSENT:

Commission Member Case Van Veen

OTHERS PRESENT:

Jose A. Guzman, Director of Planning and Zoning
Fernando Villegas, Principal Planner
Kay Macuil, City Attorney
Jossue Cerda, I.T. Help Desk Technician
Najeh K. Edais, Edais Engineering, Inc. (via Zoom)
Nieves Riedel, Riedel Construction (via Zoom)
Olivia Jenkins, Riedel Construction (via Zoom)

2. PLEDGE OF ALLEGIANCE

No Pledge of Allegiance was held due to not having in-person attendance for members of the public and others connected through technological means.

3. PUBLIC HEARINGS

3. A. Public hearing followed by discussion and possible action on any and all matters regarding Minor Amendment Case No. 2022-0029. A request by Core Engineering Group, PLLC on behalf of Nels Timothy Rogers to amend the 2040 General Plan changing the land use designation of parcel 6.17 acres in size from Medium Density Residential (MDR) to Commercial (C). Assessor's Parcel number 227-10-004, located north of County 24th Street between 20th Avenue and 21st Avenue in San Luis, Arizona.

A. Open Public Hearing

MOTION: Chairman Marco A. Pinzon / Vice Chairman Veronica Zavala to open public hearing. The Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Veronica Zavala	Aye
Commission Member Javier Barraza	Aye
Commission Member Hugo Garcia	Aye
Commission Member Guillermina Fuentes	Aye
Commission Member George Amaya	Aye

1. Staff Presentation

Mr. Fernando Villegas, Principal Planner, presented and summarized staff report recommending continuing this item until the owner complies with the existing prosecutor's agreement.

Chairman Marco A. Pinzon asked how long it has been for the applicant to comply since the prosecutor's agreement was done. **Mr. Jose A. Guzman, Planning and Zoning Director**, responded about a year.

Vice Chairman Veronica Zavala mentioned that this comes back from July 2019 when they started talking about this agreement and Mr. Rogers was supposed to dedicate the right-of-way to the city. This was back on November 2019 again and he did not comply, am I correct? **Mr. Guzman** responded that is correct. This property was mentioned back when the Santa Cecilia 3 Subdivision has been done, one of the right-of-way that was needed for the second entrance for the subdivision. That is where the process started and ended with the prosecutor doing that agreement. The city prosecutor agreement is dated February 2021, but the process started two years back.

Commission Member Guillermina Fuentes asked if there is any specific reason why the owner has not complied with the right-of-away dedication to the city. Because it seems that the city is the bad guy here, not wanting to give the applicant the permit to continue.

Jonathan Klein, Core Engineering Group, PLLC., stated that the prosecutor's agreement brought our attention when we submitted the rezoning application, after we submitted this minor general plan amendment application. It has come to our attention that this is an old issue however we made it clear process that we were willing to dedicate all the right-of-way, lift station and create the improvement districts with this parcel. We would ask that would be allowed to sign an agreement to create the improvement districts for the adjacent 40-acre parcel, however, not implement that district currently as there is no development scheduled for that property and implementing that district to cost improvements to be created and expenditures to be incurred that would not be supported by any revenue from this commercial or any development. There will be cost for the commercial development that would not be supported by any development on that 40-acre parcel and there is no development schedule for that. We are willing to comply with all the pieces of the prosecutor's agreement it was just brought to our attention late. We would just ask that we would be allowed to resolve this and get a recommendation for approval, and we resolve it before it gets to council. We will draft up different documents that would not require Norma T.

Rogers signature since she is no longer with us. That would be our proposed resolution and my explanation for a least in our involvement we only recently been notify about this, I am not sure whether there were issues with getting Norma T. Rogers to agree or whether her failing health was an issue.

Commission Member Javier Barraza asked the agent what the time frame for you would be to comply with what is described in the prosecutor's agreement. Mr. Klein responded within a couple of weeks, we just must get the documents drafted up and signed. Received new documents from the prosecutor's office, apparently it seems some documents that they sent to the attorneys of the old parties, so we would just need names change and we would be able to get that done within a week or two. The City Council meeting is not until early next month, so that should be plenty of time. **Mr. Barraza** asked when would this item be coming in front of the City Council? **Mr. Guzman** responded the council meeting is schedule for March 9, 2022.

Oliva Jenkins, Riedel Construction, stated that Riedel Construction and Riedel Holdings, LLC., while they were trying to get their approval for Santa Cecilia 3. Both were asked to comply with easements that were on this property and Mr. Rogers was aware of the situation. To be fair the city asked Riedel Construction and Riedel Holdings, LLC., to comply with all the requirements before we even moved. I think only to be fair it should be the same for every developer.

Nieves Riedel, Riedel Construction, this thing about this firm just found out. The owner new 17 years ago that he needed to provide the city with the rights-of-way and was never done. Then we bought the land next to him and then we were asked unjustly by the city to provide them with the right-of-way that was out of our hands. We ended up that we had to hire lawyers, spend lots of money to finally the city had come to their senses and did the right thing. This thing about Mrs. Rogers, yes, I do understand that she was ill, but Mrs. Rogers was never part of this, it was her son Nel's Rogers that refuses to give the right-of-way a long time ago. If in my mind and my notes are still here, he even threatens the city to locked up city employees out of their lift station. For this to come up at the last minute and everybody is trying to make concessions, if I were in a position, I would table this then give me all the right-of-way to protect the city and then let start. They are not in a hurry; is not like they have somebody right now ready to

develop. This is the time for the city to really start getting the developers to comply so 10-15 years from now we would not be having this problem.

B. Close public hearing

MOTION: Commission Member Guillermina Fuentes / Commission Member Javier Barraza to close public hearing. The Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Veronica Zavala	Aye
Commission Member Javier Barraza	Aye
Commission Member Hugo Garcia	Aye
Commission Member Guillermina Fuentes	Aye
Commission Member George Amaya	Aye

C. Action on Minor Amendment Case No. 2021-0750P

MOTION: Chairman Marco A. Pinzon / Commission Member Hugo Garcia to continue this item until the owner complies with the existing prosecutor's agreement. The Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Veronica Zavala	Aye
Commission Member Javier Barraza	Aye
Commission Member Hugo Garcia	Aye
Commission Member Guillermina Fuentes	Aye
Commission Member George Amaya	Aye

4. ITEMS REQUIRING DISCUSSION AND/OR ACTION

4. A. Discussion and possible action on any and all matters regarding Subdivision Case No. 2021-0750P. A request by Edais Engineering Inc., on behalf of Riedel Holdings LLC, for the approval of Los Mezquites Unit 1 preliminary plat. The property is located on the southeast corner of Avenue E and County 23-1/2 Street (San Luis Lane) in San Luis Arizona.

A. Staff Presentation

Jose A. Guzman, Director of Planning and Zoning, presented and summarized staff report recommending approval of Subdivision Case No. 2021-0750P with the following conditions:

1. Developer must comply with the approved development agreement.
2. A road connection from southeast corner of the subdivision to County 24th Street should be provided prior to the acceptance of the subdivision.
3. Landscaping plans shall be submitted prior to presenting this item to City Council.

Chairman Marco A. Pinzon asked if Riedel Construction is complying with the recommendation. **Mr. Guzman** responded yes. Commission Member Javier Barraza asked why the zoning map is not showing the proper zoning. Mr. Fernando Villegas responded that the rezoning case was approved on January 12, 2022, and by law we must wait 30 days until we can update the map.

Vice Chairman Veronica Zavala stated that she was going to abstain from voting on this item due to possible conflict of interest.

B. Action on Subdivision Case No. 2021-0750P

MOTION: **Chairman Marco A. Pinzon / Commission Member Hugo Garcia** to approve Subdivision Case No. 2021-0750P preliminary plat for Los Mezquites Phase 1 with conditions as recommended by staff. The Motion passed unanimously with one abstained vote by Veronica Zavala.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Commission Javier Barraza	Aye
Commission Member Hugo Garcia	Aye
Commission Member Guillermina Fuentes	Aye
Commission Member George Amaya	Aye

4.B. Discussion and possible action on any and all matters regarding Subdivision Case No. 2021-0751F. A request by Edais Engineering Inc., on behalf of Riedel Holdings LLC, for the approval of Los Mezquites Unit 1 final plat. The property is located on the southeast corner of Avenue E and County 23-1/2 Street (San Luis Lane) in San Luis Arizona.

A. Staff Presentation

Jose A. Guzman, Director of Planning and Zoning, presented and summarized staff report recommending approval of Subdivision Case No. 2021-0751F with the following conditions:

1. Developer must comply with the approved development agreement.
2. A road connection from southeast corner of the subdivision to County 24th Street should be provided prior to the acceptance of the subdivision.
3. Landscaping plans shall be submitted prior to presenting this item to City Council.

B. Action on Subdivision Case No. 2021-0751F

Vice Chairman Veronica Zavala stated that she was going to abstain from voting on this item due to possible conflict of interest.

MOTION: Chairman Marco A. Pinzon / Commission Member Hugo Garcia to forward Subdivision Case No. 2021-0751F to City Council with the recommendation of approval with the conditions as presented by staff. The Motion passed unanimously with one abstained vote by Veronica Zavala.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Commission Javier Barraza	Aye
Commission Member Hugo Garcia	Aye
Commission Member Guillermina Fuentes	Aye
Commission Member George Amaya	Aye

6. ADJOURNMENT

MOTION: Chairman Marco A. Pinzon / Commission Member Hugo Garcia adjourn the Regular Planning and Zoning Commission meeting at approximately 7:34 p.m. The motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Veronica Zavala	Aye
Acting Chairman Javier Barraza	Aye
Commission Member Hugo Garcia	Aye
Commission Member Guillermina Fuentes	Aye
Commission Member George Amaya	Aye

APPROVED:

Marco A. Pinzon, Chairman

ATTEST:

Roman Pacheco, Planning Technician

CERTIFICATION

I HEREBY CERTIFY THAT THE FOREGOING MINUTES ARE A TRUE AND CORRECT COPY OF THE MINUTES OF THE PLANNING AND ZONING COMMISSION, SAN LUIS, ARIZONA HELD ON FEBRUARY 8, 2022. I FURTHER CERTIFY THAT THE MEETING WAS DULLY CALLED AND HELD AND THAT A QUORUM WAS PRESENT.

Roman Pacheco, Planning Technician

MINUTES

REGULAR MEETING
PLANNING AND ZONING COMMISSION
SAN LUIS COUNCIL CHAMBERS
1090 E. UNION STREET
MARCH 8, 2022
7:00 PM

1. CALL TO THE ORDER /ROLL CALL: The meeting was called to order at 7:08 PM, by Vice Chairman Marco A. Pinzon.

PRESENT:

Chairman Marco A. Pinzon
Vice Chairman Veronica Zavala
Commission Member Hugo Garcia
Commission Member Guillermina Fuentes
Commission Member George Amaya

ABSENT:

Commission Member Javier Barraza
Commission Member Case Van Veen

OTHERS PRESENT:

Jose A. Guzman, Director of Planning and Zoning
Fernando Villegas, Principal Planner
Margarita Dominguez, Administrative Coordinator
Kay Macuil, City Attorney
Jossue Cerda, I.T. Help Desk Technician
Agustin Tumbaga, Jr., DHG Management & Construction

2. PLEDGE OF ALLEGIANCE

The pledge of Allegiance was led by Chairman Marco A. Pinzon.

3. PUBLIC HEARINGS

3. A. Public hearing followed by discussion and possible action on any and all matters regarding Rezoning Case No. 2021-0085. A request by Augustin Tumbaga Jr. on behalf of Riedel Holdings LLC to rezone 2.9 acres from Community Commercial (C-2) to High Density Residential (R-3). Assessor's parcel number 777-61-165, located on the northeast corner of Avenue F and County 24th Street in San Luis, Arizona.

A. Open Public Hearing

MOTION: Commission Member Marco A. Pinzon / Vice Chairman Veronica Zavala to open public hearing. The Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Veronica Zavala	Aye
Commission Member Hugo Garcia	Aye
Commission Member Guillermina Fuentes	Aye
Commission Member George Amaya	Aye

1. Staff Presentation

Mr. Fernando Villegas, Principal Planner, presented and summarized staff report recommending approval of Rezoning Case No. 2022-0085 subject to the following conditions:

1. Development shall comply with the City of San Luis zoning regulations, building code requirements, and public works standards, including the requirement of a Traffic Study.

Commission Member Hugo Garcia asked how many units there are going to be. **Villegas** responded 48 units. **Garcia** asked on the traffic study have you even talked about a traffic light on that corner. **Villegas** responded that public works most of the time requests the traffic study and when we get the traffic study public works reviews the recommendation of the traffic study. Then Public Works Department requests improvements based on the traffic study. That is why we think is a good idea to request a traffic study to find what other improvement will be needed in that intersection.

2. Staff Presentation

Agustin Tumbaga, Jr., DHG Management & Construction, stated that he agrees with the requirements with the city and as mentioned by one of the commissioners depending on what the outcome for the traffic study and seeing what we do of course the number of units it could be less, or it could be a few more. All depends on the parking structure on what the city requirements are, but we agree with staff is recommending and we hope that it goes forward as it was presented when we did the changes of the minor amendment.

B. Close public hearing

MOTION: Commission Member George Amaya / Commission Member Hugo to close public hearing. The Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Veronica Zavala	Aye
Commission Member Hugo Garcia	Aye
Commission Member Guillermina Fuentes	Aye
Commission Member George Amaya	Aye

C. Action on Minor Amendment Case No. 2021-0085

MOTION: Chairman Marco A. Pinzon / Commission Member Hugo Garcia to continue this item until the owner complies with the existing prosecutor's agreement. The Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Veronica Zavala	Aye
Commission Member Javier Barraza	Aye
Commission Member Hugo Garcia	Aye
Commission Member Guillermina Fuentes	Aye
Commission Member George Amaya	Aye

4. ITEMS REQUIRING DISCUSSION AND/OR ACTION

4. A. Discussion and possible action on any and all matters regarding Subdivision Case No. 2021-0750P. A request by Edais Engineering Inc., on behalf of Riedel Holdings LLC, for the approval of Los Mezquites Unit 1 preliminary plat. The property is located on the southeast corner of Avenue E and County 23-1/2 Street (San Luis Lane) in San Luis Arizona.

A. Staff Presentation

Jose A. Guzman, Director of Planning and Zoning, presented and summarized staff report recommending approval of Subdivision Case No. 2021-0750P with the following conditions:

1. Developer must comply with the approved development agreement.
2. A road connection from southeast corner of the subdivision to County 24th Street should be provided prior to the acceptance of the subdivision.
3. Landscaping plans shall be submitted prior to presenting this item to City Council.

Chairman Marco A. Pinzon asked if Riedel Construction is complying with the recommendation. **Mr. Guzman** responded yes. Commission Member Javier Barraza asked why the zoning map is not showing the proper zoning. Mr.

Fernando Villegas responded that the rezoning case was approved on January 12, 2022, and by law we must wait 30 days until we can update the map.

Vice Chairman Veronica Zavala stated that she was going to abstain from voting on this item due to possible conflict of interest.

B. Action on Subdivision Case No. 2021-0750P

MOTION: Chairman Marco A. Pinzon / Commission Member Hugo Garcia to approve Subdivision Case No. 2021-0750P preliminary plat for Los Mezquites Phase 1 with conditions as recommended by staff. The Motion passed unanimously with one abstained vote by Veronica Zavala.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Commission Javier Barraza	Aye
Commission Member Hugo Garcia	Aye
Commission Member Guillermina Fuentes	Aye
Commission Member George Amaya	Aye

4.B. Discussion and possible action on any and all matters regarding Subdivision Case No. 2021-0751F. A request by Edais Engineering Inc., on behalf of Riedel Holdings LLC, for the approval of Los Mezquites Unit 1 final plat. The property is located on the southeast corner of Avenue E and County 23-1/2 Street (San Luis Lane) in San Luis Arizona.

A. Staff Presentation

Jose A. Guzman, Director of Planning and Zoning, presented and summarized staff report recommending approval of Subdivision Case No. 2021-0751F with the following conditions:

1. Developer must comply with the approved development agreement.
2. A road connection from southeast corner of the subdivision to County 24th Street should be provided prior to the acceptance of the subdivision.

3. Landscaping plans shall be submitted prior to presenting this item to City Council.

B. Action on Subdivision Case No. 2021-0751F

Vice Chairman Veronica Zavala stated that she was going to abstain from voting on this item due to possible conflict of interest.

MOTION: Chairman Marco A. Pinzon / Commission Member Hugo Garcia to forward Subdivision Case No. 2021-0751F to City Council with the recommendation of approval with the conditions as presented by staff. The Motion passed unanimously with one abstained vote by Veronica Zavala.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Commission Javier Barraza	Aye
Commission Member Hugo Garcia	Aye
Commission Member Guillermina Fuentes	Aye
Commission Member George Amaya	Aye

6. ADJOURNMENT

MOTION: Chairman Marco A. Pinzon / Commission Member Hugo Garcia adjourn the Regular Planning and Zoning Commission meeting at approximately 7:34 p.m. The motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Veronica Zavala	Aye
Acting Chairman Javier Barraza	Aye
Commission Member Hugo Garcia	Aye
Commission Member Guillermina Fuentes	Aye
Commission Member George Amaya	Aye

APPROVED:

Marco A. Pinzon, Chairman

ATTEST:

Roman Pacheco, Planning Technician

CERTIFICATION

I HEREBY CERTIFY THAT THE FOREGOING MINUTES ARE A TRUE AND CORRECT COPY OF THE MINUTES OF THE PLANNING AND ZONING COMMISSION, SAN LUIS, ARIZONA HELD ON MARCH 8, 2022. I FURTHER CERTIFY THAT THE MEETING WAS DULLY CALLED AND HELD AND THAT A QUORUM WAS PRESENT.

Roman Pacheco, Planning Technician

MINUTES

REGULAR MEETING
PLANNING AND ZONING COMMISSION
SAN LUIS COUNCIL CHAMBERS
1090 E. UNION STREET
APRIL 12, 2022
7:00 PM

1. CALL TO THE ORDER /ROLL CALL: The meeting was called to order at 7:05 PM, by Chairman Marco A. Pinzon.

PRESENT:

Chairman Marco A. Pinzon
Commission Member Javier Barraza
Commission Member Hugo Garcia
Commission Member George Amaya (via Zoom)

ABSENT:

Vice Chairman Veronica Zavala
Commission Member Guillermina Fuentes
Commission Member Case Van Veen

OTHERS PRESENT:

Jose A. Guzman, Director of Planning and Zoning (via Zoom)
Fernando Villegas, Principal Planner
Margarita Dominguez, Administrative Coordinator
Kay Macuil, City Attorney

2. PLEDGE OF ALLEGIANCE

The pledge of Allegiance was led by Chairman Marco A. Pinzon.

3. ITEMS REQUIRING DISCUSSION AND/OR ACTION

3. A. Discussion and possible action on any and all matters regarding Subdivision Case No. 2021-0746P. A request by Vega and Vega Engineering PLC, on behalf of Comite de Bienestar Inc., for the approval of Bienestar 12 preliminary plat. The property is located on the southeast corner of Avenue F and San Fernando Street in San Luis, Arizona.

A. Staff Presentation

Mr. Fernando Villegas, Principal Planner, presented and summarized staff report recommending conditional approval of the preliminary plat for Subdivision Case No. 2022-0746P. Approval subject to the following conditions:

1. At the time of the final plat of any phase, applicant must comply with all staff comments and regulations including zoning, subdivision regulations, public works standards, roadway naming policy and other applicable regulations.

B. Action on Subdivision Case No. 2021-0746P

MOTION: Chairman Marco A. Pinzon / Commission Member Hugo to approve Bienestar Estates Phase 1 and 2 preliminary plat with conditions as presented by staff. The Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Commission Member Javier Barraza	Aye
Commission Member Hugo Garcia	Aye
Commission Member George Amaya	Aye

6. ADJOURNMENT

MOTION: Commission Member Hugo Garcia / Chairman Marco A. Pinzon adjourn the Regular Planning and Zoning Commission meeting at approximately 7:25 p.m. The motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Commission Member Javier Barraza	Aye
Commission Member Hugo Garcia	Aye
Commission Member George Amaya	Aye

APPROVED:

Marco A. Pinzon, Chairman

ATTEST:

Roman Pacheco, Planning Technician

CERTIFICATION

I HEREBY CERTIFY THAT THE FOREGOING MINUTES ARE A TRUE AND CORRECT COPY OF THE MINUTES OF THE PLANNING AND ZONING COMMISSION, SAN LUIS, ARIZONA HELD ON APRIL 12, 2022. I FURTHER CERTIFY THAT THE MEETING WAS DULLY CALLED AND HELD AND THAT A QUORUM WAS PRESENT.

Roman Pacheco, Planning Technician

MINUTES

SPECIAL MEETING
PLANNING AND ZONING COMMISSION
SAN LUIS COUNCIL CHAMBERS
1090 E. UNION STREET
MAY 17, 2022
7:00 PM

1. CALL TO THE ORDER /ROLL CALL: The meeting was called to order at 7:11 PM, by Chairman Marco A. Pinzon.

PRESENT:

Chairman Marco A. Pinzon
Vice Chairman Veronica Zavala
Commission Member Javier Barraza
Commission Member Hugo Garcia

ABSENT:

Commission Member Guillermina Fuentes
Commission Member George Amaya

OTHERS PRESENT:

Jose A. Guzman, Director of Planning and Zoning
Fernando Villegas, Principal Planner
Margarita Dominguez, Administrative Coordinator
Kay Macuil, City Attorney
John Klein, Core Engineering Group, PLLC.
Nieves Riedel, Riedel Construction, Inc.

2. PLEDGE OF ALLEGIANCE

The pledge of Allegiance was led by Commission Member Javier Barraza.

3. PUBLIC HEARINGS

3. A. Public hearing followed by discussion and possible action on any and all matters regarding Rezoning Case No. 2022-0190. A request by Core Engineering Group, PLC, on behalf of Border Ranches II, LLC to rezone 20 acres from Light Industrial (LI) to Medium Density Residential (R1-6), Assessor's parcel number 227-15-030, located on the northeast corner of 20th Avenue alignment and County 24 ½ Street in San Luis, Arizona.

A. Open public hearing

MOTION: Chairman Marco A. Pinzon / Commission Member Hugo to open public hearing. The Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Veronica Zavala	Aye
Commission Member Javier Barraza	Aye
Commission Member Hugo Garcia	Aye

1. Staff presentation

Mr. Fernando Villegas, Principal Planner, presented and summarized staff report recommending approval of Rezoning Case No. 2022-0190 subject to the following conditions:

1. The owner/applicant shall submit a preliminary plat approval in compliance with the City of San Luis subdivision regulations.
2. That any development of the property, or portion thereof, and/or the approval of any subdivision plat, be conditioned upon payment to the city the sum of \$260.00 per acre, or any portion of an acre, as a proportionate contribution for a traffic signal at the intersection of County 24th Street and Avenue E.
3. Owner/applicant must provide a road connection along 20th Avenue from northwest corner of the subdivision to Belleza Del Desierto Phase 2 subdivision.

2. Call to the Public on this item

Commission Member Javier Barraza asked does the developer agree with all the conditions. **Villegas** responded yes; the applicant has agreed to all the conditions.

Nieves Riedel, 1310 N. Quintero Avenue, asked if this property is landlock and it is being approve for this rezoning, has the city done any research where they must go and who do they have to approach. In Los Alamos, there is 75 acres behind us and when we went ahead and done this subdivision, we invited the person behind us to join us and we will create a street for him and leave the water and sewer available to him and at that time he said I do not have to do that I will think about later and now he is landlocked. When you have a piece of property that is landlock and you got to depend on another people to give you the rights-of-way or permission to go through, it is a long painful process.

Mr. Villegas explained that the right-of-away has been dedicated to the city. The city owns all the right-of-way from 24th ½ all the way north to Belleza Del Desierto Phase 2, that was dedicated during the land division. Bienestar is building phase 12 on the west side we do not know when that road is going to be built but they are responsible for the other half of the west side. The new property owner of the property to the north I think they will be responsible for developing the other half but in case that they do not improve that road, the owner of this property is agreeing to develop that road for emergency access. **Barraza** mentioned the speaker before you meant the long process to improve the existing right-of-away. The long process to come with the improvement it could build the road to the City of San Luis standards, that is what I understood is what not a landlock, it was like already dedication of something. Villegas responded it is not landlocked because the right-of-away exists but the improvements they need to be there for emergency vehicles.

Jonathan Klein, Core Engineering Group, PLLC, thanked the members of the commission for their time and stated that he just wanted to point out that the right-of-away was dedicated during the land division process

Jose A. Guzman, Director of Planning and Zoning, stated that he wanted to comment on commission member Barraza’s comment regarding the condition of the rezoning in the subdivision. The condition was actually added to Los Mezquites as part of the rezoning, but it was place in the development agreement which only goes to council, and it never goes through the commission that is why you did not saw that condition.

B. Close public hearing

MOTION: Chairman Marco A. Pinzon / Commission Member Javier Barraza to close public hearing. The Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Veronica Zavala	Aye
Commission Member Javier Barraza	Aye
Commission Member Hugo Garcia	Aye

C. Action on Rezoning Case No. 2022-0190

MOTION: Commission Member Javier Barraza / Chairman Marco A. Pinzon to forward Rezoning Case No. 2022-0190 to city council with recommendation of approval subject to the conditions of approval as recommended by staff. The Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Veronica Zavala	Aye
Commission Member Javier Barraza	Aye
Commission Member Hugo Garcia	Aye

4. ITEMS REQUIRING DISCUSSION AND/OR ACTION

4.A. Discussion and possible action on any and all matters regarding Subdivision Case No. 2022-0040P. A request by Edais Engineering Inc., on behalf of Riedel Holdings LLC, for the approval of Los Mezquites Unit 2 preliminary plat. The property is located on the southeast corner of Avenue E and County 23-1/2 Street (San Luis Lane) in San Luis, Arizona.

A. Staff Presentation

Mr. Fernando Villegas, Principal Planner, presented and summarized staff report recommending approval of preliminary plat with the condition that the road connection from the southeast corner to the subdivision to County 24th Street should be provided, as requested by the Fire Department.

B. Action on Subdivision Case No. 2022-0040P

Vice Chairman Veronica Zavala stated that she was going to abstain from voting on this item due to possible conflict of interest.

MOTION: Commission Member Javier Barraza / Chairman Marco A. Pinzon to approve Preliminary Plat with the condition that the applicant provides a road connection from the southeast corner of the subdivision to County 24th Street, as requested by the Fire Department. The Motion passed unanimously with one abstained vote by Veronica Zavala.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Commission Member Javier Barraza	Aye
Commission Member Hugo Garcia	Aye

4.A. Discussion and possible action on any and all matters regarding Subdivision Case No. 2022-0043F. A request by Edais Engineering Inc., on behalf of Riedel Holdings LLC, for the approval of Los Mesquites Unit 2 final plat. The property is located on the southeast corner of Avenue E and County 23-1/2 Street (San Luis Lane) in San Luis, Arizona.

A. Staff Presentation

Mr. Fernando Villegas, Principal Planner, presented and summarized staff report recommending approval of final plat with the condition that the road connection from the southeast corner to the subdivision to County 24th Street should be provided, as requested by the Fire Department.

B. Action on Subdivision Case No. 2022-0043F

Vice Chairman Veronica Zavala stated that she was going to abstain from voting on this item due to possible conflict of interest.

MOTION: Commission Member Hugo Garcia / Chairman Marco A. Pinzon to approve Preliminary Plat with the condition that the applicant provides a road connection from the southeast corner of the subdivision to County 24th Street, as requested by the Fire Department. The Motion passed unanimously with one abstained vote by Veronica Zavala.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Commission Member Javier Barraza	Aye
Commission Member Hugo Garcia	Aye

5. ADJOURNMENT

MOTION: Commission Member Javier Barraza / Chairman Marco A. Pinzon adjourn the Special Planning and Zoning Commission meeting at approximately 7:29 p.m. The motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Commission Member Javier Barraza	Aye
Commission Member Hugo Garcia	Aye
Commission Member George Amaya	Aye

APPROVED:

Marco A. Pinzon, Chairman

ATTEST:

Roman Pacheco, Planning Technician

CERTIFICATION

I HEREBY CERTIFY THAT THE FOREGOING MINUTES ARE A TRUE AND CORRECT COPY OF THE MINUTES OF THE PLANNING AND ZONING COMMISSION, SAN LUIS, ARIZONA HELD ON MAY 17, 2022. I FURTHER CERTIFY THAT THE MEETING WAS DULLY CALLED AND HELD AND THAT A QUORUM WAS PRESENT.

Roman Pacheco, Planning Technician

MINUTES

REGULAR MEETING
PLANNING AND ZONING COMMISSION
SAN LUIS COUNCIL CHAMBERS
1090 E. UNION STREET
JULY 12, 2022
7:00 PM

Chairman Marco A. Pinzon asked Vice-Chairman Veronica Zavala to lead the meeting due to being present via electronic means and having audio issues.

1. CALL TO THE ORDER /ROLL CALL: The meeting was called to order at 7:15 PM, by Vice Chairman Veronica Zavala.

PRESENT:

Chairman Marco A. Pinzon (via Zoom)
Vice Chairman Veronica Zavala
Commission Member Guillermina Fuentes
Commission Member George Amaya

ABSENT:

Commission Member Javier Barraza
Commission Member Hugo Garcia

OTHERS PRESENT:

Jose A. Guzman, Director of Planning and Zoning
Fernando Villegas, Principal Planner
Margarita Dominguez, Administrative Coordinator
Kay Macuil, City Attorney
John Klein, Core Engineering Group, PLLC.

2. PLEDGE OF ALLEGIANCE

The pledge of Allegiance was led by Vice Chairman Veronica Zavala.

3. PUBLIC HEARINGS

3. A. Public hearing followed by discussion and possible action on any and all matters regarding Rezoning Case No. 2022-0349. A request by DuBose Group on behalf of Sam Group Investments Partnership to rezone 5.01 acres from Light Industrial (L-I) to Community Commercial (C-2). Assessor's parcel 227-15-011, located on the northeast corner of Oak Avenue and County 24 ½ Street in San Luis, Arizona.

A. Open public hearing

MOTION: Chairman Marco A. Pinzon / Commission Member Guillermina Fuentes to open public hearing. The Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Veronica Zavala	Aye
Commission Member Hugo Garcia	Aye
Commission Member George Amaya	Aye

1. Staff presentation

Mr. Fernando Villegas, Principal Planner, presented and summarized staff report recommending approval of Rezoning Case No. 2022-0349 subject to the following conditions:

1. Developer shall comply with the City of San Luis zoning regulations, building code requirements, public works standards, and any applicable subdivision regulations for commercial development.
2. The applicant/owner shall submit a traffic study during the building permit review and all improvements required by the traffic study shall be done by the developer.
- 3.

2. Call to the Public on this item

Tom DuBose, DuBose Design Group, stated that they do not have anything more to add from the presentation other than to answer any questions that the commission might have.

B. Close public hearing

MOTION: Chairman Marco A. Pinzon / Commission Member Guillermina Fuentes to close public hearing. The Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Veronica Zavala	Aye
Commission Member Hugo Garcia	Aye
Commission Member George Amaya	Aye

C. Action on Rezoning Case No. 2022-0349

MOTION: Chairman Marco A. Pinzon / Commission Member Guillermina Fuentes to forward Rezoning Case No. 2022-0349 to city council with recommendation of approval subject to the conditions of approval as recommended by staff. The Motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Veronica Zavala	Aye
Commission Member Hugo Garcia	Aye
Commission Member George Amaya	Aye

5. ADJOURNMENT

MOTION: Chairman Marco A. Pinzon / Commission Member Guillermina Fuentes adjourn the Regular Planning and Zoning Commission meeting at approximately 7:23 p.m. The motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Veronica Zavala	Aye
Commission Member Hugo Garcia	Aye
Commission Member George Amaya	Aye

APPROVED:

Marco A. Pinzon, Chairman

ATTEST:

Roman Pacheco, Planning Technician

CERTIFICATION

I HEREBY CERTIFY THAT THE FOREGOING MINUTES ARE A TRUE AND CORRECT COPY OF THE MINUTES OF THE PLANNING AND ZONING COMMISSION, SAN LUIS, ARIZONA HELD ON JULY 12, 2022. I FURTHER CERTIFY THAT THE MEETING WAS DULLY CALLED AND HELD AND THAT A QUORUM WAS PRESENT.

Roman Pacheco, Planning Technician

MINUTES

REGULAR MEETING
PLANNING AND ZONING COMMISSION
SAN LUIS COUNCIL CHAMBERS
1090 E. UNION STREET
AUGUST 9, 2022
7:00 PM

1. CALL TO THE ORDER /ROLL CALL: The meeting was called to order at 7:06 PM, by Vice Chairman Veronica Zavala.

PRESENT:

Vice Chairman Veronica Zavala
Commission Member Javier Barraza
Commission Member Hugo Garcia (via Zoom)
Commission Member Guillermina Fuentes

ABSENT:

Chairman Marco A. Pinzon
Commission Member George Amaya

OTHERS PRESENT:

Jose A. Guzman, Director of Planning and Zoning
Fernando Villegas, Principal Planner
Margarita Dominguez, Administrative Coordinator
Kay Macuil, City Attorney
Tom DuBose, DuBose Design Group, Inc.

2. PLEDGE OF ALLEGIANCE

The pledge of Allegiance was led by Commission Member Javier Barraza.

3. PUBLIC HEARINGS

3. A. Public hearing followed by discussion and possible action on any and all matters regarding Minor Case No. 2022-0335. A request by DuBose Group, Inc., on behalf of David Loo and the Somerton School District No. 11 to amend the 2040 General Plan changing the land use designation of approximately 32 acres from Commercial (C) and Medium Density Residential (MDR) to High Density Residential (HDR). Assessor's Parcel Number 227-14-010 and the east half of parcel 227-14-009. Located on the southwest corner of County 24th Street and alignment of 24th Avenue in San Luis, Arizona.

A. Open public hearing

MOTION: Commission Member Javier Barraza / Commission Member Guillermina Fuentes to open public hearing. The Motion passed unanimously.

The vote was as follows:

Vice Chairman Veronica Zavala	Aye
Commission Member Javier Barraza	Aye
Commission Member Hugo Garcia	Aye
Commission Member Guillermina Fuentes	Aye

1. Staff presentation

Mr. Fernando Villegas, Principal Planner, presented and summarized staff report recommending approval of Minor Amendment Case No. 2022-0335.

2. Call to the Public on this item

There were no public comments.

B. Close public hearing

MOTION: Commission Member Javier Barraza / Commission Member Guillermina Fuentes to close public hearing. The Motion passed unanimously.

The vote was as follows:

Vice Chairman Veronica Zavala	Aye
Commission Member Javier Barraza	Aye
Commission Member Hugo Garcia	Aye
Commission Member Guillermina Fuentes	Aye

C. Action on Rezoning Case No. 2022-0335

MOTION: Commission Member Javier Barraza / Commission Member Guillermina Fuentes to forward Minor Amendment Case No. 2022-0335 to city council with recommendation of approval. The Motion passed unanimously.

The vote was as follows:

Vice Chairman Veronica Zavala	Aye
Commission Member Javier Barraza	Aye
Commission Member Hugo Garcia	Aye
Commission Member Guillermina Fuentes	Aye

3. B. Public hearing followed by discussion and possible action on any and all matters regarding Rezoning Case No. 2022-0336. A request by DuBose Design Group on behalf of Somerton School District, David Loo, Von Verde Development LLC, Moy Farming Company LLC and Elizabeth Carpenter to change the zoning of approximately 451.34 acres from Community Commercial (C-2) and Light Industrial (L-1) to Medium Density Residential (R1-6), Medium High Density Residential (R-2), High Density Residential (R-3) and Community Commercial (C-2). The subject properties are located south of County 24th Street between Avenue E and Avenue D in San Luis Arizona.

A. Open public hearing

MOTION: Commission Member Guillermina Fuentes / Commission Member Javier Barraza to open public hearing. The Motion passed unanimously.

The vote was as follows:

Vice Chairman Veronica Zavala	Aye
Commission Member Javier Barraza	Aye
Commission Member Hugo Garcia	Aye
Commission Member Guillermina Fuentes	Aye

1. Staff presentation

Mr. Fernando Villegas, Principal Planner, presented and summarized staff report recommending approval of Rezoning Case No. 2022-0336 subject to the following conditions:

1. The owner/applicant shall submit a preliminary plat in compliance with the City of San Luis subdivision regulations.
2. That any development of the property, or portion thereof, and/or the approval of any subdivision plat, be conditioned upon the construction of all the improvements indicated on the traffic study.

Vice Chairman Veronica Zavala asked staff if they received any comments from agencies. **Villegas** responded yes, we received some comments from ADOT regarding the review of the traffic study and made some recommendation. The second comments were from Yuma County Airport Authority, Inc., they let us know that the development that is near to the Rolle Airfield.

2. Call to the Public on this item

There were no comments from the public.

B. Close public hearing

MOTION: Commission Member Guillermina Fuentes / Commission Member Javier Barraza to close public hearing. The Motion passed unanimously.

The vote was as follows:

Vice Chairman Veronica Zavala	Aye
Commission Member Javier Barraza	Aye

Commission Member Hugo Garcia	Aye
Commission Member Guillermina Fuentes	Aye

C. Action on Rezoning Case No. 2022-0336

MOTION: Commission Member Guillermina Fuentes / Commission Member Javier Barraza to forward Rezoning Case No. 2022-0336 to city council with recommendation of approval subject to the conditions of approval as recommended by staff. The Motion passed unanimously.

The vote was as follows:

Vice Chairman Veronica Zavala	Aye
Commission Member Javier Barraza	Aye
Commission Member Hugo Garcia	Aye
Commission Member Guillermina Fuentes	Aye

3. C. Public hearing followed by discussion and possible action on any and all matters regarding Conditional Use Permit Case No. 2022-0425. A request by DuBose Group, Inc., on behalf of the Sam Group Investments Partnership for a Conditional Use Permit from Section 18.35.30 (C) (1) of the City of San Luis Zoning Ordinance to allow a commercial building with a gross floor area greater than 50,000 square feet. Assessor’s Parcel Number 227-15-01 located on the northeast corner of Oak Avenue and County 24th ½ Street in San Luis, Arizona.

A. Open public hearing

MOTION: Commission Member Guillermina Fuentes / Commission Member Javier Barraza to open public hearing. The Motion passed unanimously.

The vote was as follows:

Vice Chairman Veronica Zavala	Aye
Commission Member Javier Barraza	Aye
Commission Member Hugo Garcia	Aye
Commission Member Guillermina Fuentes	Aye

1. Staff presentation

Mr. Fernando Villegas, Principal Planner, presented and summarized staff report recommending approval of Conditional Use Permit Case No. 2022-0425 subject to the following conditions:

1. Development shall comply with the City of San Luis zoning regulations, building code requirements, public works standards, and any applicable subdivision regulations for commercial development.
2. The applicant/owner shall submit a traffic study during the building permit review and all improvements required by the traffic study shall be done by the developer.

Commission Member Javier Barraza asked will the height of the proposed building be allowed in the C-2, or will it need a variance, since this will be a 4-story building. **Jose A. Guzman** responded that the maximum height on C-2 is 60 feet.

Commission Member Guillermina Fuentes asked is the applicant getting a conditional use permit because they are below the 50 square feet. **Villegas** responded that they are getting a conditional use permit because the San Luis Zoning Ordinance requires a conditional use permit when buildings are greater than 50,000 square feet in a commercial zoning district.

2. Call to the Public on this item

There were no comments from the public.

B. Close public hearing

MOTION: Commission Member Javier Barraza / Commission Member Guillermina Fuentes to close public hearing. The Motion passed unanimously.

The vote was as follows:

Vice Chairman Veronica Zavala	Aye
Commission Member Javier Barraza	Aye

Commission Member Hugo Garcia	Aye
Commission Member Guillermina Fuentes	Aye

C. Action on Conditional Use Permit Case No. 2022-0425

MOTION: Commission Member Guillermina Fuentes / Commission Member Hugo Garcia to forward Conditional Use Permit Case No. 2022-0425 to city council with recommendation of approval subject to the conditions of approval as recommended by staff. The Motion passed unanimously.

The vote was as follows:

Vice Chairman Veronica Zavala	Aye
Commission Member Javier Barraza	Aye
Commission Member Hugo Garcia	Aye
Commission Member Guillermina Fuentes	Aye

4. ADJOURNMENT

MOTION: Commission Member Guillermina Fuentes / Commission Member Hugo Garcia adjourn the Regular Planning and Zoning Commission meeting at approximately 7:28 p.m. The motion passed unanimously.

The vote was as follows:

Vice Chairman Veronica Zavala	Aye
Commission Member Javier Barraza	Aye
Commission Member Hugo Garcia	Aye
Commission Member George Amaya	Aye

APPROVED:

Marco A. Pinzon, Chairman

ATTEST:

Roman Pacheco, Planning Technician

CERTIFICATION

I HEREBY CERTIFY THAT THE FOREGOING MINUTES ARE A TRUE AND CORRECT COPY OF THE MINUTES OF THE PLANNING AND ZONING COMMISSION, SAN LUIS, ARIZONA HELD ON AUGUST 9, 2022. I FURTHER CERTIFY THAT THE MEETING WAS DULLY CALLED AND HELD AND THAT A QUORUM WAS PRESENT.

Roman Pacheco, Planning Technician

MINUTES

REGULAR MEETING
PLANNING AND ZONING COMMISSION
SAN LUIS COUNCIL CHAMBERS
1090 E. UNION STREET
SEPTEMBER 13, 2022
7:00 PM

1. CALL TO THE ORDER /ROLL CALL: The meeting was called to order at 7:02 PM, by Chairman Marco A. Pinzon.

PRESENT:

Chairman Marco A. Pinzon
Vice Chairman Veronica Zavala
Commission Member Javier Barraza
Commission Member Hugo Garcia
Commission Member Ruben Walshe

ABSENT:

Commission Member Guillermina Fuentes
Commission Member George Amaya

OTHERS PRESENT:

Jose A. Guzman, Director of Planning and Zoning
Roman Pacheco, Planning Technician
Fernando Villegas, Principal Planner
Kay Macuil, City Attorney
Jossue Cerda, I.T. Help Desk Technician
Antonio Martinez, Marine Corps Air Station
Elizabeth Carpenter, Developer
Nieves Riedel, Riedel Holdings, LLC.
Vianey Vega, Vega & Vega Engineering, P.L.C.

Chairman Marco A. Pinzon welcomed Mr. Ruben Walshe for his appointment to serve as a member of the Planning Commission.

2. PLEDGE OF ALLEGIANCE:

The Pledge of Allegiance was led by Commission Member Javier Barraza.

3. ITEMS REQUIRING DISCUSSION AND/OR ACTION

3. A. Discussion and possible action on any and all matters regarding Subdivision Case No. 2022-0205P. A request by Vega and Vega Engineering PLC, on behalf of Von Verde Development LLC., for the preliminary plat approval of the Southwest Arizona Industrial Subdivision Phase 2. The property is located on the northeast corner of Avenue D 1/2 and County 24th Street in San Luis Arizona.

A. Staff Presentation

Fernando Villegas, Principal Planner, presented and summarized staff report recommending approving the Southwest Arizona Industrial Subdivision Phase 2 Preliminary Plat with the condition that the applicant addresses review comment letter dated June 7, 2022, and Public Works comment letter dated August 8, 2022.

Commission Member Javier Barraza, asked staff if the developer agreed with both comment letters? **Mr. Villegas** responded that the applicant agrees with both comment letters.

Vianey Vega representative for Von Verde, stated to staff that they have been working with those comments and have come to an agreement on how to respond to all comments and we should be in good standing to go in front of Council.

B. Action on Subdivision Case No. 2022-0205P

MOTION: Commission Member Hugo Garcia / Chairman Marco A. Pinzon to Approve the preliminary plat for the Southwest Arizona Industrial Subdivision Phase 2 with the condition that the applicant addresses review comment letter dated June 7, 2022, and public works comment letter dated August 18, 2022. The motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Veronica Zavala	Aye
Commission Member Javier Barraza	Aye
Commission Member Hugo Garcia	Aye
Commission Member Ruben Walshe	Aye

3. B. Discussion and possible action on any and all matters regarding Subdivision Case No. 2022-0422F. A request by Vega and Vega Engineering PLC, on behalf of Comite de Bienestar inc., for the approval of Bienestar Estates 12 Phase 1 Final Plat. The property is located on the southeast corner of Avenue F and San Fernando Street in San Luis Arizona.

A. Staff Presentation

Fernando Villegas, Principal Planner, presented and summarized staff report recommending approval of Subdivision Case No. 2022-0422F with the following conditions:

1. A cmu wall must be constructed between the retention basin and adjacent lots.
2. The applicant must comply with the San Luis Roadway Naming and Addressing Policy.

B. Action on Subdivision Case No. 2022-0422F

Vianey Vega, Vega & Vega Engineering, stated that the comments have been discuss with city staff and agreed. We will work with the naming of the street and comply.

Commission Hugo Garcia, asked if the subdivision going to have a park, or does it going to have a retention? **Vega** responded it is going to be a retention.

MOTION: Commission Member Ruben Walshe / Chairman Marco A. Pinzon to move forward Subdivision Case No. 2022-0422F to City Council with conditions as presented by staff. The motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Veronica Zavala	Aye
Commission Member Javier Barraza	Aye
Commission Member Hugo Garcia	Aye
Commission Member Ruben Walshe	Aye

6. ADJOURNMENT

MOTION: Chairman Marco A. Pinzon / Commission Member Ruben Walshe adjourn the Regular Planning and Zoning Commission meeting at approximately 7:12 p.m. The motion passed unanimously.

The vote was as follows:

Chairman Marco A. Pinzon	Aye
Vice Chairman Veronica Zavala	Aye
Commission Member Javier Barraza	Aye
Commission Member Hugo Garcia	Aye
Commission Member Ruben Walshe	Aye

APPROVED:

Marco A. Pinzon, Chairman

ATTEST:

Roman Pacheco, Planning Technician

CERTIFICATION

I HEREBY CERTIFY THAT THE FOREGOING MINUTES ARE A TRUE AND CORRECT COPY OF THE MINUTES OF THE PLANNING AND ZONING COMMISSION, SAN LUIS, ARIZONA HELD ON SEPTEMBER 13, 2022. I FURTHER CERTIFY THAT THE MEETING WAS DULLY CALLED AND HELD AND THAT A QUORUM WAS PRESENT.

Roman Pacheco, Planning Technician



PLANNING & ZONING AGENDA ITEM REVIEW FORM

Special Planning & Zoning Commission Meeting

4. A.

Meeting Date: 10/25/2022

Submitted By: Fernando Villegas, Principal Planner, Planning & Zoning Department, Development Services

ITEM:

Discussion and possible action on any and all matters regarding Subdivision Case No. 2022-0556F. A request by Vega and Vega Engineering PLC, on behalf of Von Verde Development LLC., for the final plat approval of the Southwest Arizona Industrial Subdivision Phase 2. The property is located on the northeast corner of Avenue D 1/2 and County 24th Street in San Luis Arizona.

A. Staff Presentation

B. Action on Subdivision Case No. 2022-0556F

BACKGROUND:

The Planning and Zoning Commission approved the preliminary plat on September 13, 2022. This industrial subdivision will contain approximately 40.0 acres and will consist of five industrial lots. The lots range in size from 4.0 acres to 14 acres. Assessor's Parcel Number 227-11-006, 007 and 008.

On October 12, 2021, City Council approved Major Amendment Case No. 2021-0335 changing the land use designation of the subject properties from Employment (EMP) to Commercial (C). The existing zoning district is Light Industrial (LI) and the City of San Luis 2040 General Plan recommends light industrial uses within enclosed buildings in the commercial land use designation.

These properties are part of a pre-annexation development agreement that requires the construction of sidewalks along Avenue D, the applicant is currently requesting an amendment to the pre-annexation development agreement to remove the requirement of the construction of the sidewalks along Avenue D.

SUMMARY:

The applicant has provided the information and materials necessary for review of the final plat for the Southwest Arizona Industrial Subdivision Phase 2.

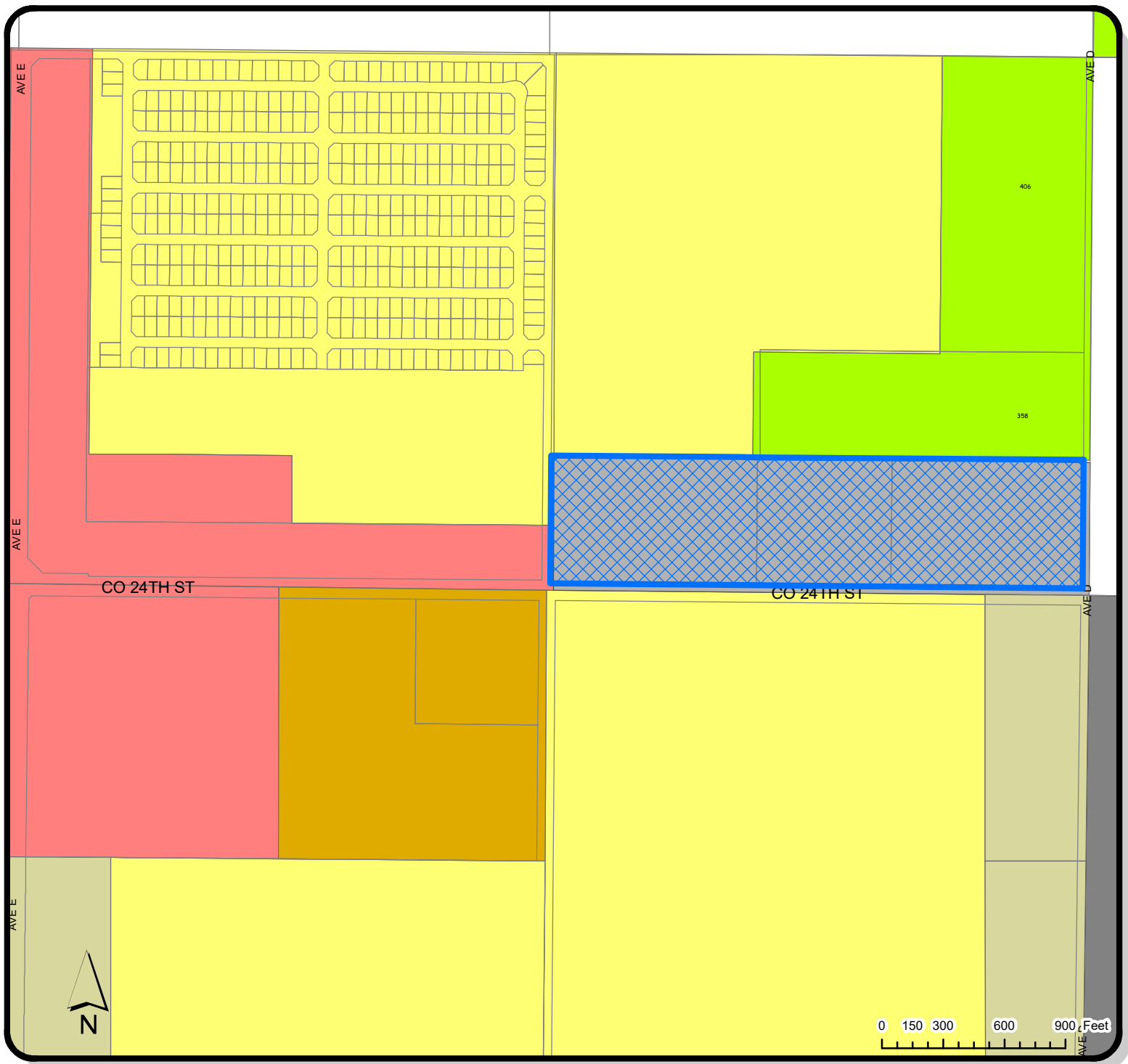
Staff recommends approval of the final plat with the condition that an amendment to the existing pre-annexation development agreement is approved by City Council to remove the construction of sidewalks along Avenue D as proposed by the applicant.

RECOMMENDED MOTION:

I MOVE TO APPROVE THE SOUTHWEST ARIZONA INDUSTRIAL SUBDIVISION PHASE 2 FINAL PLAT WITH THE CONDITION THAT THE AMENDMENT TO THE EXISTING PRE-ANNEXATION DEVELOPMENT AGREEMENT IS APPROVED BY CITY COUNCIL TO REMOVE THE CONSTRUCTION OF SIDEWALKS ALONG AVENUE D AS PROPOSED BY THE APPLICANT.

Attachments

Location Map
Applicant Narrative
Final Plat



LOCATION OF SUBJECT PROPERTIES

LOCATION MAP

SUBDIVISION



Assessor's Parcel Number:
226-11-006, 226-11-007 & 226-11-008

CASE #
2022-0556F

Zoning

- SINGLE RESIDENCE ZONING DISTRICTS
 - R1-8
- MULTIPLE RESIDENCE ZONING DISTRICTS
 - R-2
 - R-3
- COMMERCIAL ZONING DISTRICTS
 - C-2
- INDUSTRIAL ZONING DISTRICTS
 - I

DATE:
9/29/2022

PLANNING & ZONING

GIS

CREATED BY:
ISAAC GUTIERREZ

CHECKED BY:
FERNANDO VILLEGAS

APPROVED BY:
JOSE A. GUZMAN



2619 S Ave. 2½ E, Ste #3
Yuma Az. 85364
928-329-0000 tel
928-247-6232 fax
VnV@vegaNvega.com

September 14, 2022

City of San Luis
Department of Development Services
Community Planning

Re: Final Plat for Southwest Arizona Industrial Phase 2

Dear Sir or Madam:

This is the Narrative statement for the above-mentioned project:

The request for Final Plat approval for Southwest Arizona Industrial Phase 2 to be located on APN 227-11-006, 227-11-007, and 227-11-008, with an area of 39.95 Acres with current zoning L-I, said parcel of land is currently designated in The Major General Plan/Map as land use designation Commercial, and it will remain as such.

The intent is to develop land with zoning designation L-I, into 5 industrial lots with sizes from 3.91 ac. to 13.86 ac.

If you have any questions or need any further information don't hesitate in contact us.

Sincerely

Vega & Vega Engineering, P.L.C.

Vianey R. Vega, P.E.

SOUTHWEST ARIZONA INDUSTRIAL SUBDIVISION - (PHASE 2)

FINAL PLAT

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Construction Details	-----	6

GENERAL CONSTRUCTION NOTES:

1. THE LOCATION OF UTILITIES IS APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. UTILITIES SHOWN HERE ARE FOR THE PURPOSE OF ASSISTING THE CONTRACTOR IN LOCATING SAID UTILITIES. THE CONTRACTOR IN ACCORDANCE WITH ARIZONA STATUTES SHALL CONTACT THE ARIZONA BLUE STAKE CENTER (1-800-782-5348) AT LEAST 48 HOURS MIN. PRIOR TO THE BEGINNING OF CONSTRUCTION AND OBTAIN ON-SITE UTILITIES LOCATIONS. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND SHALL BE RESOLVED PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DAMAGED TO A UTILITY SHALL BE REPAIRED AT THE CONTRACTOR EXPENSE.
2. ALL CITY REQUIRED COMPACTION AND LABORATORY TESTS SHALL BE FURNISHED BY THE CONTRACTOR TO THE CITY PRIOR TO ACCEPTANCE OF THE PROJECT.
3. THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR TWO YEARS AFTER THE FINAL ACCEPTANCE. ANY DEFECTIVE MATERIAL OR WORKMANSHIP SHALL BE REPLACED AND/OR REPAIRED PRIOR TO FINAL ACCEPTANCE.
4. ALL ROAD SURFACES, EASEMENTS OR RIGHT OF WAYS DISTURBED BY CONSTRUCTION OF ANY PART OF THIS IMPROVEMENTS ARE TO BE RESTORED COMPLETELY BY THE CONTRACTOR TO THE BEFORE CONSTRUCTION CONDITION OR BETTER.
5. DURING CONSTRUCTION, THE DEVELOPER/OWNER IS SOLELY RESPONSIBLE FOR INSURING THE PROPER FUNCTIONING OF THE EROSION AND SEDIMENT CONTROL MEASURES. THE DEVELOPER/OWNER SHALL TAKE WHATEVER MEASURES ARE REQUIRED TO INSURE THAT NO SEDIMENT LEAVES THE SITE.
6. REFER TO SHEETS 1 OF 1 OF FINAL PLAT FOR ALL CORRECT DIMENSIONS.
7. SEE SUBDIVISION PLAT FOR ALL BOUNDARY INFORMATION AND DIMENSIONS; DO NOT SCALE.
8. ALL MATERIALS AND CONSTRUCTION HEREON SHALL CONFORM TO CITY OF SAN LUIS STANDARDS (CITY OF YUMA STANDARD DETAILS, MAG SPECIFICATIONS, CITY OF SAN LUIS SUPPLEMENT), AS ADOPTED BY THE CITY OF SAN LUIS, STANDARD SPECIFICATIONS AND CONSTRUCTION STANDARDS UNLESS OTHERWISE SHOWN ON THESE PLANS.
9. THE ENGINEER MAKES NO REPRESENTATION OR GUARANTEE REGARDING EARTHWORK QUANTITIES OR THAT THE EARTHWORK FOR THIS PROJECT WILL BALANCE DUE TO VARIOUS FIELD CONDITIONS, CHANGING SOIL TYPES, ALLOWABLE CONSTRUCTION TOLERANCES AND CONSTRUCTION METHODS THAT ARE BEYOND THE CONTROL OF THE ENGINEER.
10. NO STREET, WATER, SEWER AND IMPROVEMENTS TO BE ACCEPTED BY THE CITY OF SAN LUIS, FOR MAINTENANCE UNTIL "AS-BUILT" CERTIFIED. REPRODUCIBLE PLANS ARE FILED WITH AND ACCEPTED BY THE CITY OF SAN LUIS PUBLIC WORKS DEPARTMENT.
11. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL, LOCAL, STATE, AND FEDERAL SWPPP REQUIREMENTS AND BMPs.

OWNER:

VON VERDE DEVELOPMENT, L.L.C.
13602 CAMINO DEL SOL
YUMA, AZ, 85367

BASIS OF BEARING

THE SOUTH SECTION LINE OF SECTION 11, T11S, R24W, G. & S. R. B. & M., YUMA COUNTY, ARIZONA (BEING THIS LINE THE CENTERLINE OF COUNTY 24TH STREET), AS SHOWN ON BALANCED SECTION OF SEC. 11, T11S, R24W, G. & S. R. B. & M., UNITED STATES DEPT. OF THE INTERIOR BUREAU OF RECLAMATION, YUMA COUNTY ARIZONA.

BEARING N 89°32'26" W

BENCHMARK:

TOP OF FOUND BRASS CAP W/LS 19120
LOCATED AT THE INTERSECTION
OF AVENUE D AND COUNTY 24TH STREET
BEING THE SE COR OF SEC 11, T11S, R24W.
ELEVATION: 166.16 FEET

ENGINEER:

vrv21-940

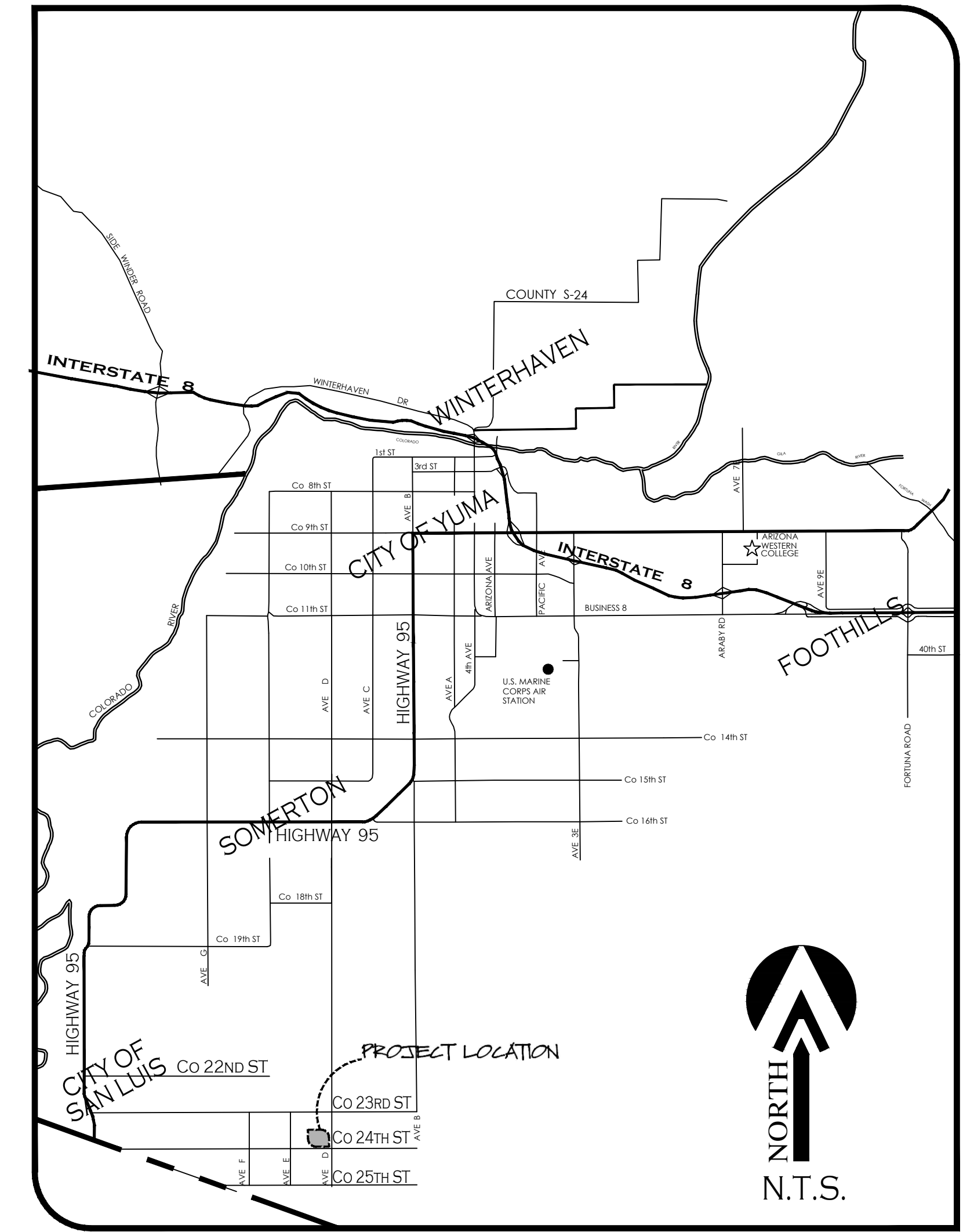
VEGA & VEGA
ENGINEERING, P.L.L.C.

2619 S. AVE. 2 1/2 E, STE#3 928-329-0000 Tel
Yuma, Az, 85364 928-247-6232 Fax
www.veganvega.com

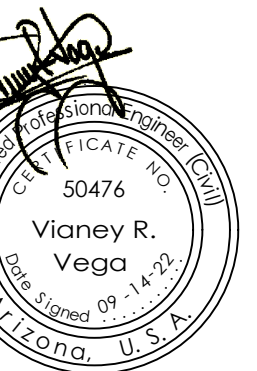
LEGEND

	INDICATES EX. ASPHALT PAVEMENT
	INDICATES EX. CONCRETE
	INDICATES BOUNDARY LINE
	INDICATES CENTERLINE
	INDICATES RIGHT-OF-WAY LINE
	INDICATES EX. CMU WALL
	INDICATES EX. WATER LINE
	INDICATES EX. SEWER LINE
	INDICATES NEW ASPHALT PAVEMENT
	INDICATES NEW CONCRETE
	INDICATES NEW CMU WALL
	INDICATES EX. CONTOURS ELEVATION
	INDICATES NEW SANITARY SEWER LINE
	NEW SEWER STUB
	NEW SEWER MANHOLE
	NEW 4" PVC SEWER SERVICE
	INDICATES NEW WATER LINE
	NEW SINGLE WATER SERVICE
	FIRE LINE W/ END PLUG AND THRUST BLOCK
	NEW WATER VALVE
	NEW FIRE HYDRANT
	NEW TEMPORARY BLOWOFF VALVE
	INDICATES LOT NUMBERS
	NEW YUMA COUNTY STD. DETAIL No. 4-040 SUBD BOUNDARY MONUMENT
	NEW YUMA COUNTY STD. DETAIL No. 4-080 STREET MONUMENT
	EXISTING MONUMENT (TYPE AS SHOWN)
	INDICATES BRASS CAP
	INDICATES YUMA COUNTY RECORDERS
	INDICATES EXISTING POWER POLE
	INDICATES CALCULATED DATA
	INDICATES MEASURED DATA
	INDICATES EXISTING ELECTRICAL BOX
	INDICATES EXISTING GAS PADDLE
	INDICATES EXISTING MANHOLE
	INDICATES EXISTING FIRE HYDRANT
	INDICATES EXISTING WATER METER
	INDICATES EXISTING WATER VALVE
	INDICATES EX. CURB ELEVATION
	INDICATES EX. SIDEWALK ELEVATION
	INDICATES EX. ASPHALT ELEVATION
	INDICATES EX. NATURAL SOIL ELEVATION
	INDICATES NEW ASPHALT ELEVATION
	INDICATES NEW CURB ELEVATION
	INDICATES NEW GUTTER ELEVATION

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VICINITY MAP
N.T.S.



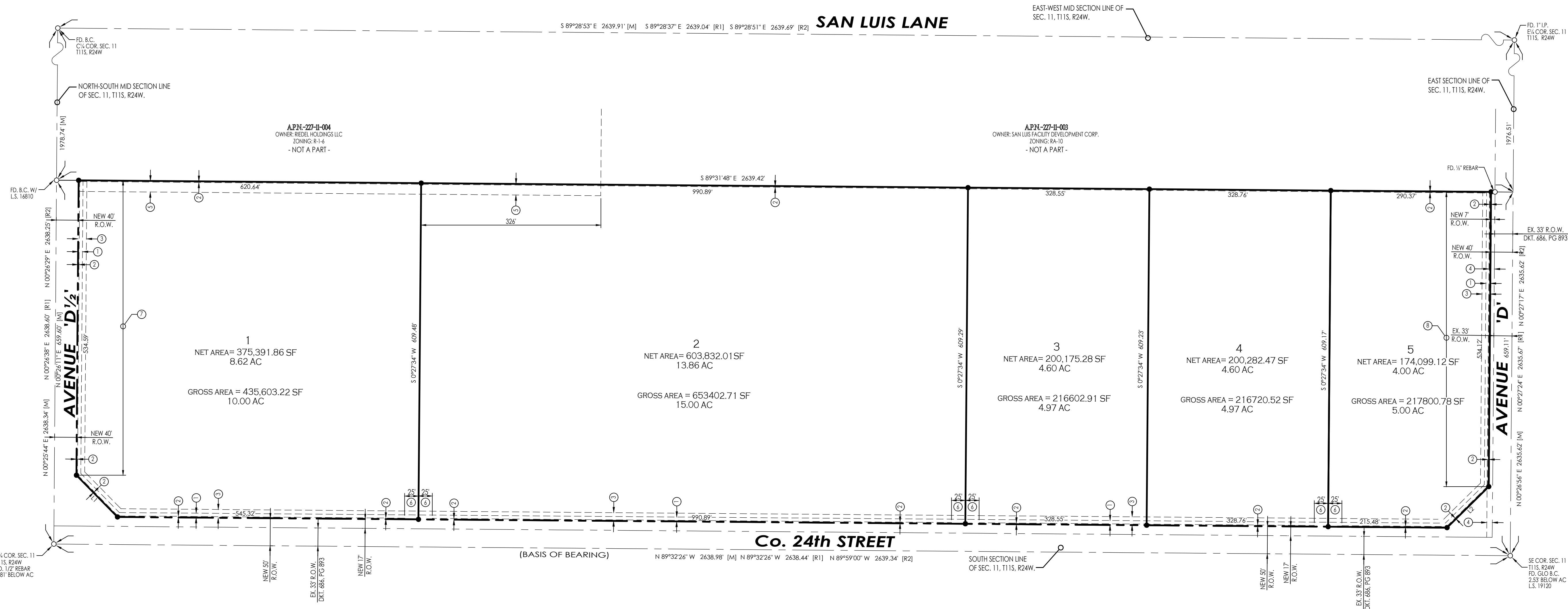
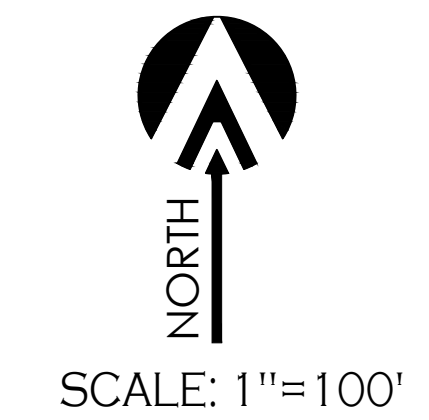
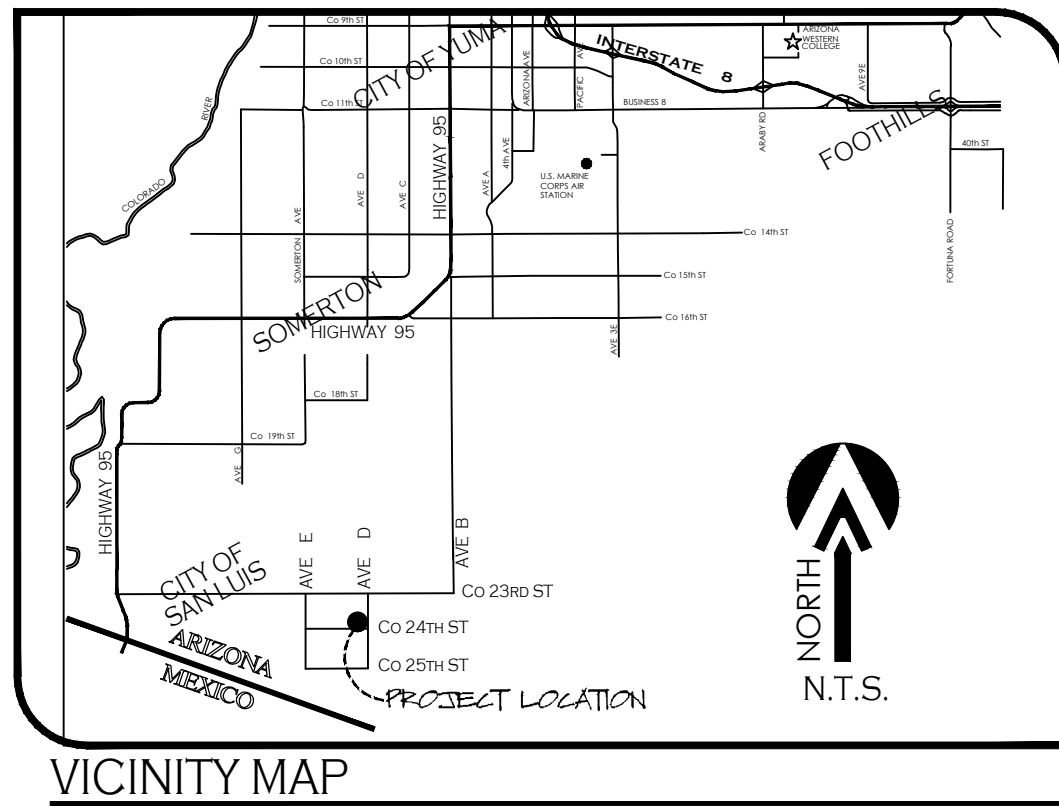
Notes:

Scale: N.T.S. Date: Aug. 2022
 Drawn: staff Job #: vrv21-940
 Checked: vno



SOUTHWEST ARIZONA INDUSTRIAL SUBDIVISION - (PHASE 2)

A SUBDIVISION OF A PORTION OF THE S 1/2 OF THE SE 1/4 OF SECTION 11, T11S, R24W, G.&S.R.B.&M., YUMA COUNTY, ARIZONA.
 SEPTEMBER OF 2022 ACREAGE: 39.95 AC



APPROVED

STATE OF ARIZONA }
 COUNTY OF YUMA }
 THIS SUBDIVISION AS PLATTED HEREON HAS BEEN APPROVED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF SAN LUIS, ARIZONA

MAYOR _____
 CITY MANAGER _____
 DIRECTOR OF DEVELOPMENT SERVICES _____
 CITY ENGINEER _____
 CITY PUBLIC WORKS DIRECTOR _____

LEGEND

- INDICATES BOUNDARY LINE
- - - INDICATES CENTERLINE
- - - - - INDICATES EASEMENT LINE
- 2 NEW LOT NUMBER
- NEW YUMA COUNTY STD. DETAIL No. 4-030 SUB'D BOUNDARY MONUMENT
- EXISTING MONUMENT (TYPE AS SHOWN)
- B.C. INDICATES BRASS CAP
- Y.C.R. INDICATES YUMA COUNTY RECORDERS
- G.L.O. INDICATES GENERAL LAND OFFICE
- N.A.E. INDICATES NON ACCESS EASEMENT
- [M] INDICATES MEASURED DATA
- [R1] DATA REFERS TO BALANCED SECTION OF SEC. 11, T11S, R24W, G.&S.R.B.&M., UNITED STATES DEPT. OF THE INTERIOR BUREAU RECLAMATION.
- [R2] DATA REFERS TO THE AMENDED SAN LUIS PORT LOT SPLIT, AS RECORDED IN BOOK 33, PAGE 64, YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY.

KEYNOTES

- 1 NEW 8' UTILITY EASEMENT
- 2 NEW 1' NON-ACCESS EASEMENT
- 3 NEW 15' DRAINAGE EASEMENT
- 4 EX. 10' APS UTILITY EASEMENT AS PER FEE#2018-20142 RECORDED IN THE Y.C.R.O. YUMA COUNTY, AZ
- 5 NEW 20' LANDSCAPE BUFFER TO BE CONSTRUCTED UPON LOT DEVELOPMENT
- 6 NEW 25' SHARED DRIVEWAY ACCESS EASEMENT
- 7 A 6' HIGH CMU WALL WILL BE REQUIRED ON THE WEST PROPERTY OF LOT #1 UPON LOT DEVELOPMENT
- 8 A 6' HIGH CMU WALL WILL BE REQUIRED ON THE EAST PROPERTY OF LOT #5 UPON LOT DEVELOPMENT

OWNER OF RECORD:

VON VERDE DEVELOPMENT
 10402 S. CAMINO DEL SOL
 YUMA, AZ, 85367

NOTE

- PROPERTY CORNERS TO BE MARKED BY 1/2" DIAMETER REBAR TAGGED WITH CAPS, L.S. 14528
- PROJECT ZONING: I1

BASIS OF BEARING

THE SOUTH SECTION LINE OF SECTION 11, T11S, R24W, G.&S.R.B.&M., YUMA COUNTY, ARIZONA (BEING THIS LINE THE CENTERLINE OF CO. 24TH STREET), AS SHOWN ON BALANCED SECTION OF SEC. 11, T11S, R24W, G.&S.R.B.&M., UNITED STATES DEPT. OF THE INTERIOR BUREAU RECLAMATION.
 BEARING N89°32'26"W

LINE DATA

LINE NUMBER	BEARING	LENGTH (FEET)
L1	S44°33'21"E	106.09'
L2	N45°27'15"E	106.06'

DEDICATION:

KNOW ALL MEN BY THESE PRESENTS: THAT VON VERDE DEVELOPMENT LLC, AN ARIZONA LIMITED LIABILITY COMPANY, AS OWNER HAS CAUSED THE FOLLOWING DESCRIBED PROPERTY, A SUBDIVISION OF A PORTION OF THE S 1/2 OF THE SE 1/4 OF SECTION 11, TOWNSHIP 11 SOUTH, RANGE 24 WEST, G.&S.R.B.&M., YUMA COUNTY, AZ, AS PLATTED HEREON, TO BE SUBDIVIDED INTO LOTS UNDER THE NAME OF "SOUTHWEST ARIZONA INDUSTRIAL SUBDIVISION - (PHASE 2)" AND HEREBY DECLARES THAT THE ACCOMPANYING PLAT SETS FORTH THE LOCATION AND GIVES THE DIMENSIONS OF LOTS CONSTITUTING SAID "SOUTHWEST ARIZONA INDUSTRIAL SUBDIVISION - (PHASE 2)", THAT EACH LOT SHALL BE KNOWN BY THE NUMBER GIVEN EACH RESPECTIVELY ON SAID PLAT; THE EASEMENTS ARE DEDICATED FOR THE USES SHOWN AND DEFINED ON SAID PLAT AND AS SET FORTH IN THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED CONCURRENTLY HEREWITH.

IN WITNESS WHEREOF: VON VERDE DEVELOPMENT LLC, AN ARIZONA LIMITED LIABILITY COMPANY, HAS CAUSED ITS CORPORATE NAME TO BE SIGNED AND ITS CORPORATE SEAL TO BE AFFIXED AS ATTESTED BY THE SIGNATURE OF DAVID LOO, AS MANAGER OF DSA INVESTMENT COMPANY, L.L.C., GENERAL PARTNER OF SAM GROUP INVESTMENT CO. LIMITED PARTNERSHIP, GENERAL PARTNERSHIP OF VON VERDE DEVELOPMENT LLC, THEREINTO DULY AUTHORIZED ON THIS _____ DAY OF _____ 20____.

EDDIE LOO
 MANAGER OF DSA INVESTMENT COMPANY, L.L.C., GENERAL PARTNER OF SAM GROUP INVESTMENT CO. LIMITED PARTNERSHIP, GENERAL PARTNERSHIP OF VON VERDE DEVELOPMENT LLC.

ACKNOWLEDGMENT

STATE OF ARIZONA }
 COUNTY OF YUMA }
 ON THIS THE _____ DAY OF _____, 2019 BEFORE ME, THE UNDERSIGNED NOTARY, PERSONALLY APPEARED: EDDIE LOO, AS MANAGER OF DSA INVESTMENT COMPANY, L.L.C., GENERAL PARTNER OF SAM GROUP INVESTMENT CO. LIMITED PARTNERSHIP, GENERAL PARTNERSHIP OF VON VERDE DEVELOPMENT LLC, IN WITNESS WHEREOF, I HAVE SET MY HAND AND OFFICIAL SEAL.

BY: _____
 NOTARY PUBLIC
 MY COMMISSION EXPIRES: _____

ELABORATED BY:

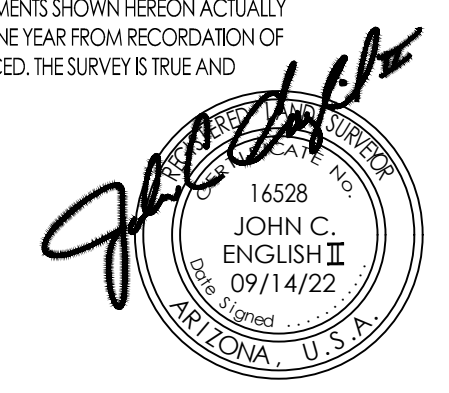
VnV21-940

 2619 S. Ave 21/2, Ste #3 928-329-0000 Tel
 Yuma, Az. 85365 928-247-6232 Fax
 www.vegaandvega.com

LAND SURVEYOR'S CERTIFICATE:

I HEREBY CERTIFY THAT I AM A LAND SURVEYOR LISTED ON THE ROSTER OF ACTIVE REGISTRANTS BY THE STATE BOARD OF TECHNICAL REGISTRATION OF ARIZONA AND THAT THIS MAP CONSISTING OF ONE (1) SHEET CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION DURING JANUARY OF 2022 THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN, OR WILL BE IN PLACE WITHIN ONE YEAR FROM RECORDATION OF THIS MAP; THE MONUMENTS WILL BE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED; THE SURVEY IS TRUE AND COMPLETE AS SHOWN; ALL DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS.

BY:
 JOHN C. ENGLISH II R.L.S. No. 16528

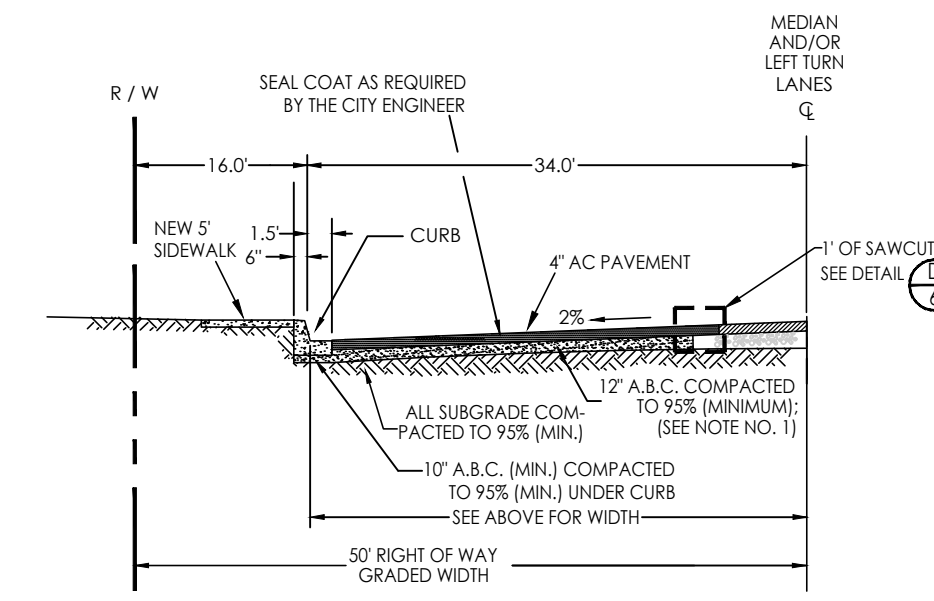


KEYNOTES:

- ◆ NEW VERTICAL CURB & GUTTER - AS PER C.O.Y. STD. 3-040
- ◆ NEW DEPRESSED SIDEWALK AND 4" CONCRETE SPILLWAY - SEE DETAILS (E, F, G)
- ◆ NEW DRIVEWAY ENTRANCE WITH CURB RETURNS - AS PER C.O.Y. STD. 3-120
- ◆ NEW STREET LIGHT - TYPE A (4700 LUMENS) AS PER C.O.Y. STD. 7-010 AND C.O.Y. STD. 7-015
- ◆ EX. FENCE TO BE REMOVED
- ◆ EX. SHADE TO BE REMOVED
- ◆ EX. BUILDING TO BE REMOVED
- ◆ EX. POWER POLE AND ELECTRICAL SERVICE TO BE RELOCATED
- ◆ EX. JUNCTION BOX TO BE RELOCATED
- ◆ EX. CONCRETE AND WALL STRUCTURES TO BE REMOVED
- ◆ SAWCUT 1' OF EXISTING PAVEMENT, REMOVE AND REPLACE WITH NEW PAVEMENT - SEE DETAIL (D)
- ◆ SAWCUT EXISTING VERTICAL CURB AND GUTTER AS NEEDED TO MATCH WITH NEW CURB RETURN, CONSTRUCT TO MATCH
- ◆ SAWCUT & REMOVE EX. PAVEMENT AS NEEDED FOR CONSTRUCTION OF NEW WATER SERVICES AND FIRE HYDRANTS, AND REPLACE WITH NEW PAVEMENT (MATCH TO EX. THICKNESS). CONSTRUCT TO MATCH. REFER TO SHEET 3 FOR MORE INFORMATION
- ◆ NEW SIDEWALK RAMP - AS PER C.O.Y. STD. 3-145
- ◆ NEW 5' CONCRETE SIDEWALK - AS PER C.O.Y. STD. 3-135
- ◆ MODIFIED SIDEWALK RAMP - AS PER C.O.Y. STD. 3-145, PROTECT EXISTING POWER POLE DURING CONSTRUCTION

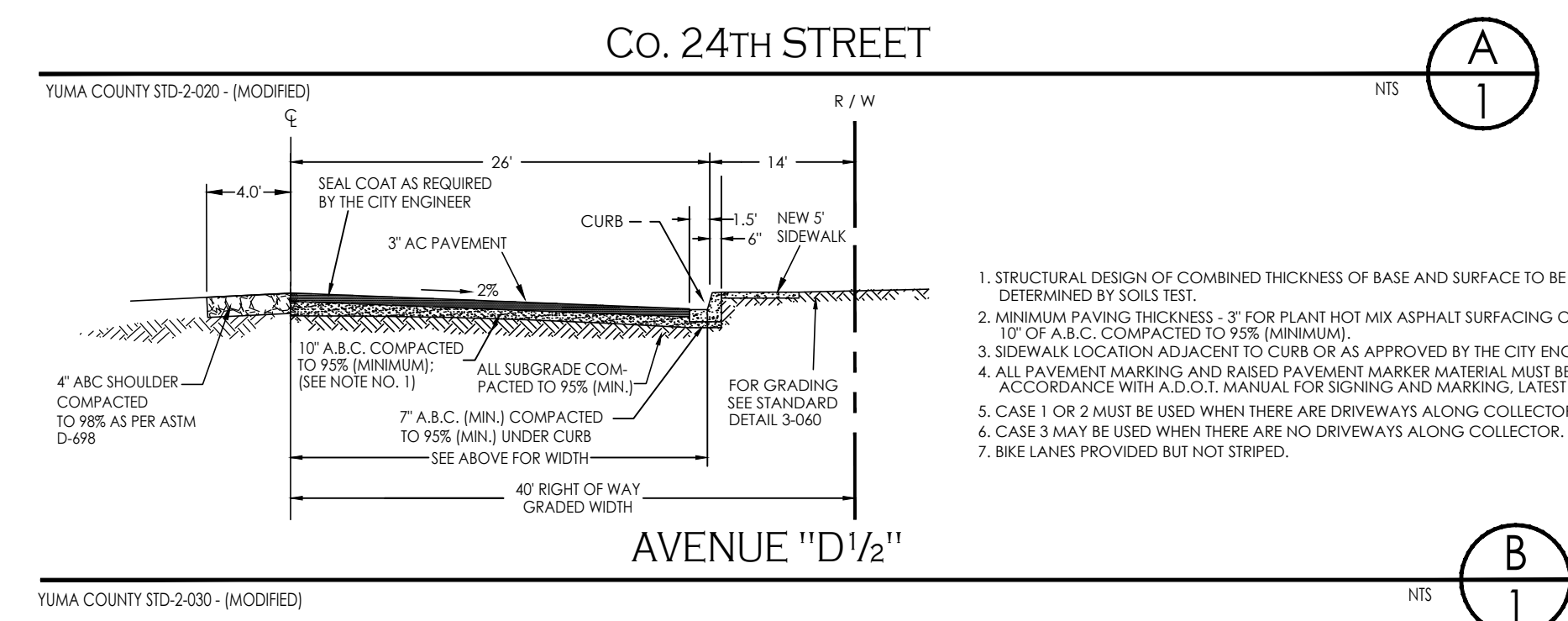
DRAINAGE REPORT

SEE SHEET 2 FOR DRAINAGE REPORT



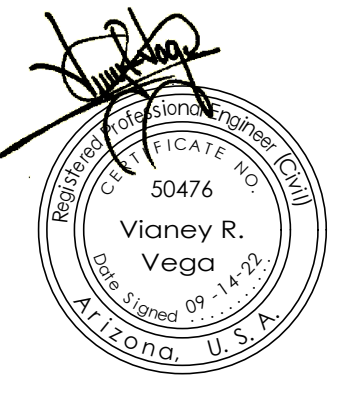
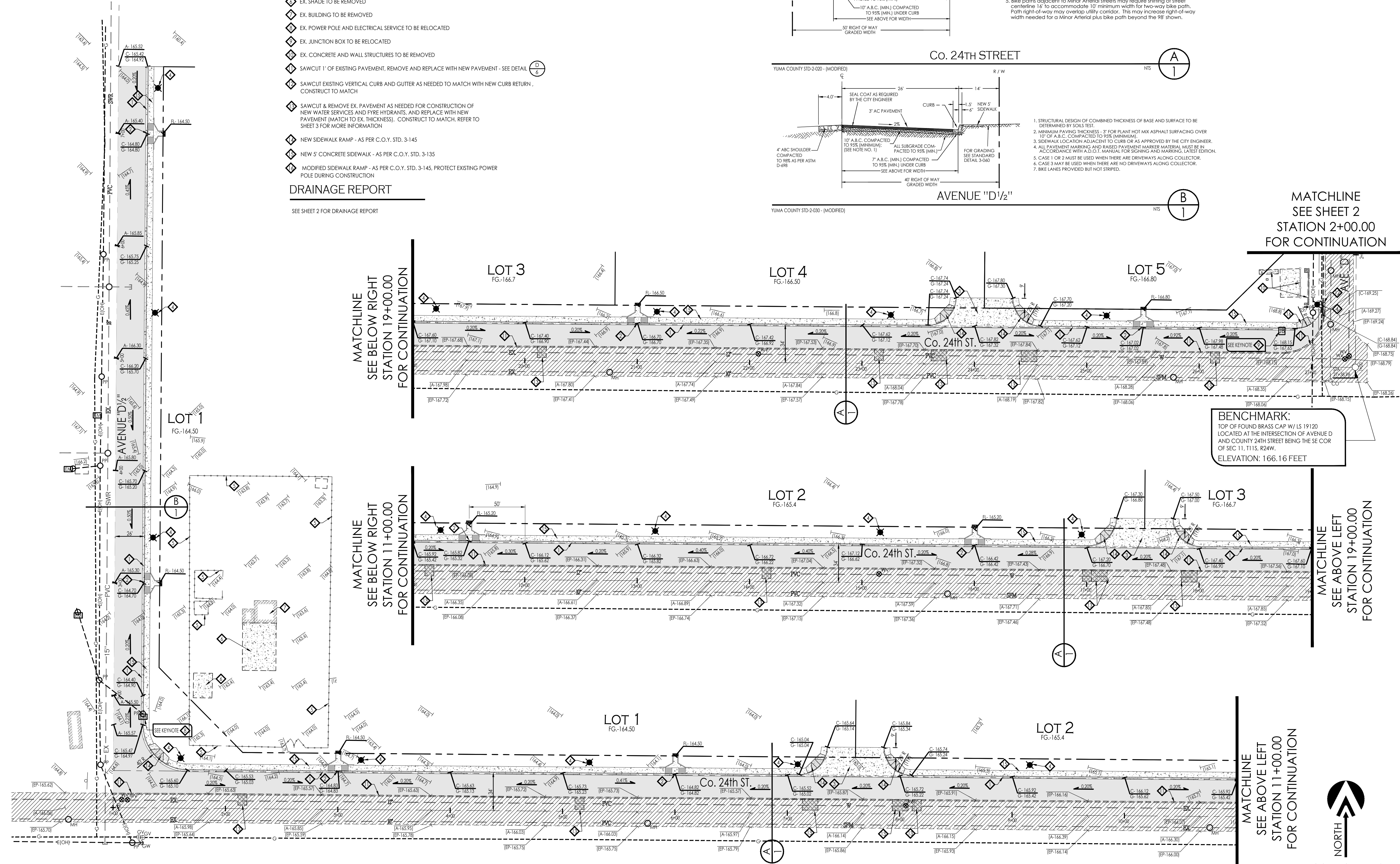
NOTES

1. Structural design of combined thickness of base and surface to be determined by soil tests. While the soil test may require a greater paving thickness, the following minimum paving thickness is required: four inch (4") for plant hot mix asphalt surfacing over twelve inches (12") of A.B.C. compacted to 95% (minimum).
2. Sidewalk location adjacent to curb or as approved by the City Engineer.
3. All pavement striping/markings and/or raised pavement markers shall be in accordance with ADOT manual for signing and marking, latest edition, with the exception of bikeways which shall be marked and signed in accordance with Standard Detail 2-085.
4. Refer to Standard Detail 2-010 for bike path information.
5. Bike paths adjacent to Minor Arterial streets may require shifting of street centerline 16' to accommodate 10' minimum width for two-way bike path. Path right-of-way may overlap utility corridor. This may increase right-of-way width needed for a Minor Arterial plus bike path beyond the 98' shown.



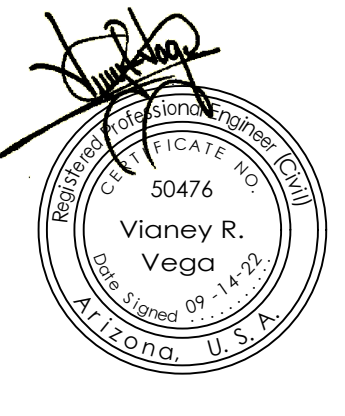
MATCHLINE
SEE SHEET 2
STATION 2+00.00
FOR CONTINUATION

BENCHMARK:
TOP OF FOUND BRASS CAP W/LS 19120
LOCATED AT THE INTERSECTION OF AVENUE D
AND COUNTY 24TH STREET BEING THE SE COR
OF SEC 11, T11S, R24W.
ELEVATION: 166.16 FEET

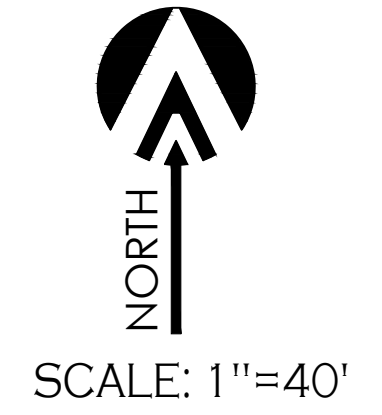


Notes:
Scale: N.T.S. Date: FEB. 2022
Drawn: Staff Job #: vrv21-940
Checked: vno
Sheet

Water and Sewer Plan
 SOUTHWEST ARIZONA INDUSTRIAL
 SUBMISSION - (PHASE 2)

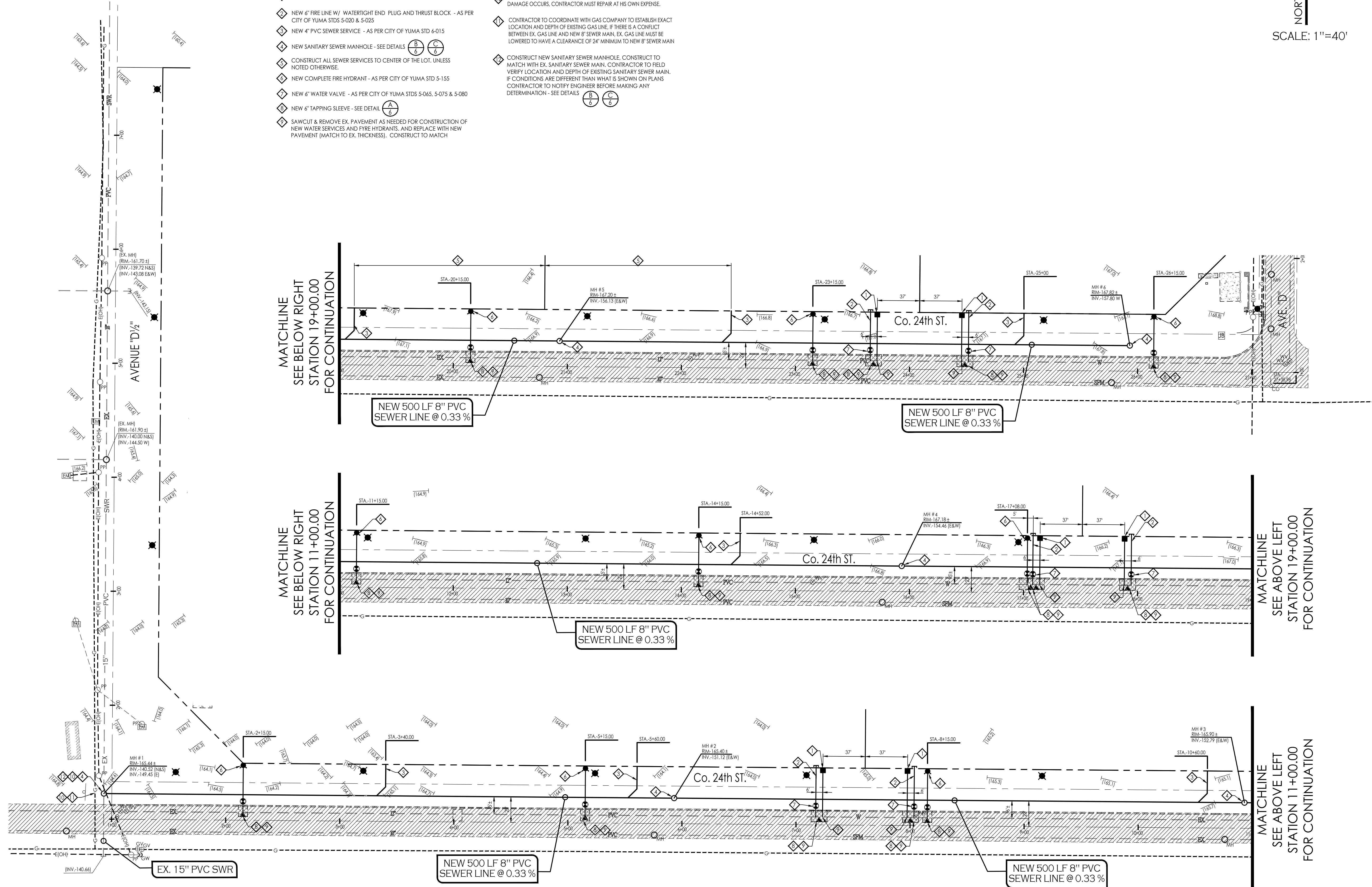


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 Checked: vno



KEYNOTES:

- ◆ INSTALL 2" SINGLE WATER SERVICE (TYP.) - AS PER CITY OF YUMA STD 5-040
- ◆ NEW 6" FIRE LINE W/ WATER TIGHT END PLUG AND THRUST BLOCK - AS PER CITY OF YUMA STD 5-020 & 5-025
- ◆ NEW 4" PVC SEWER SERVICE - AS PER CITY OF YUMA STD 6-015
- ◆ NEW SANITARY SEWER MANHOLE - SEE DETAILS (B) (C) (6) (6)
- ◆ CONSTRUCT ALL SEWER SERVICES TO CENTER OF THE LOT, UNLESS NOTED OTHERWISE.
- ◆ NEW COMPLETE FIRE HYDRANT - AS PER CITY OF YUMA STD 5-155
- ◆ NEW 6" WATER VALVE - AS PER CITY OF YUMA STD 5-065, 5-075 & 5-080
- ◆ NEW 6" TAPPING SLEEVE - SEE DETAIL (A) (6)
- ◆ SAWCUT & REMOVE EX. PAVEMENT AS NEEDED FOR CONSTRUCTION OF NEW WATER SERVICES AND FIRE HYDRANTS, AND REPLACE WITH NEW PAVEMENT [MATCH TO EX. THICKNESS]. CONSTRUCT TO MATCH
- ◆ CONTRACTOR TO PROTECT EX. UTILITIES DURING CONSTRUCTION. IF DAMAGE OCCURS, CONTRACTOR MUST REPAIR AT HIS OWN EXPENSE.
- ◆ CONTRACTOR TO COORDINATE WITH GAS COMPANY TO ESTABLISH EXACT LOCATION AND DEPTH OF EXISTING GAS LINE. IF THERE IS A CONFLICT BETWEEN EX. GAS LINE AND NEW 8" SEWER MAIN, EX. GAS LINE MUST BE LOWERED TO HAVE A CLEARANCE OF 24" MINIMUM TO NEW 8" SEWER MAIN
- ◆ CONSTRUCT NEW SANITARY SEWER MANHOLE. CONSTRUCT TO MATCH WITH EX. SANITARY SEWER MAIN. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING SANITARY SEWER MAIN. IF CONDITIONS ARE DIFFERENT THAN WHAT IS SHOWN ON PLANS CONTRACTOR TO NOTIFY ENGINEER BEFORE MAKING ANY DETERMINATION - SEE DETAILS (B) (C) (6) (6)

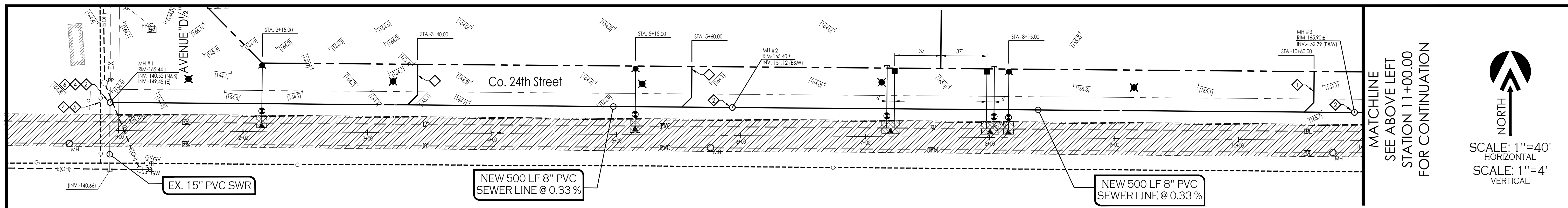


MATCHLINE
 SEE BELOW RIGHT
 STATION 19+00.00
 FOR CONTINUATION

MATCHLINE
 SEE BELOW RIGHT
 STATION 11+00.00
 FOR CONTINUATION

MATCHLINE
 SEE ABOVE LEFT
 STATION 19+00.00
 FOR CONTINUATION

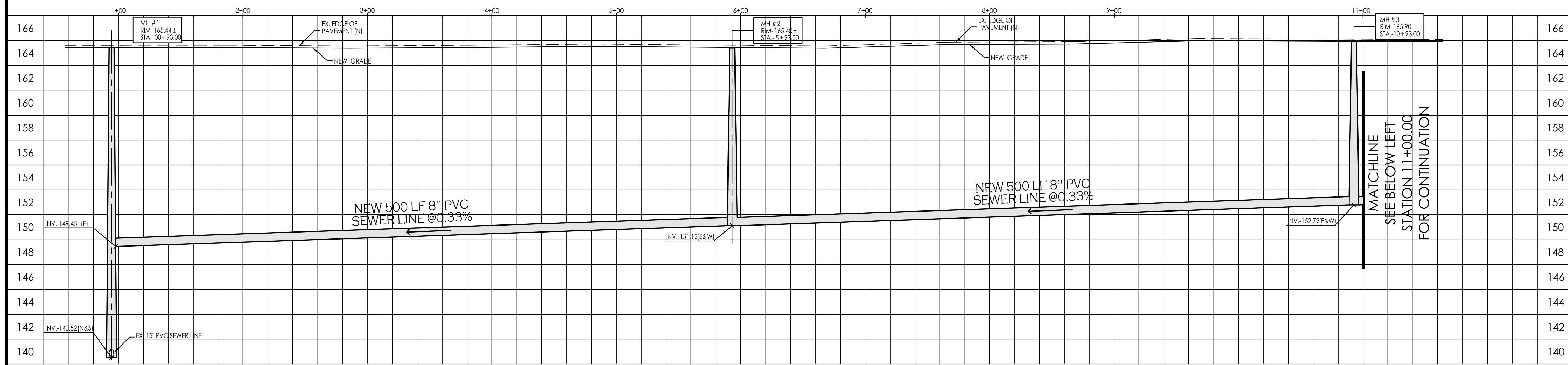
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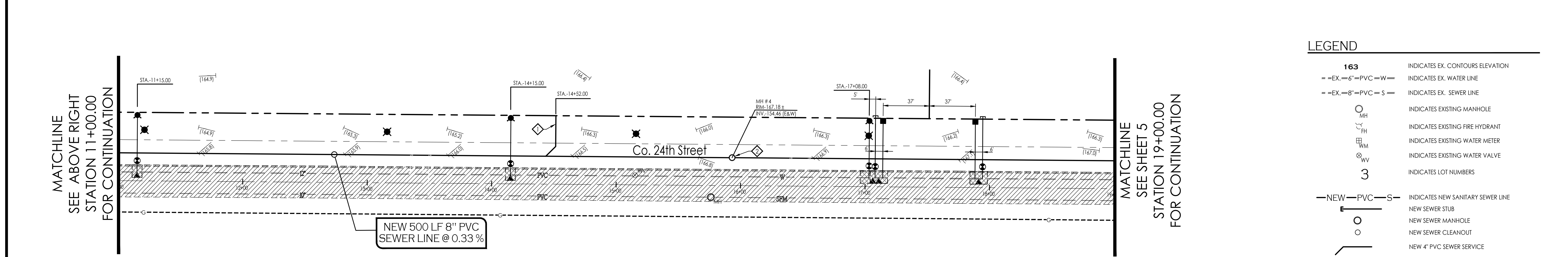
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STATION 11+00.00
FOR CONTINUATION

NORTH

SCALE: 1"=40'
HORIZONTAL
SCALE: 1"=4'
VERTICAL

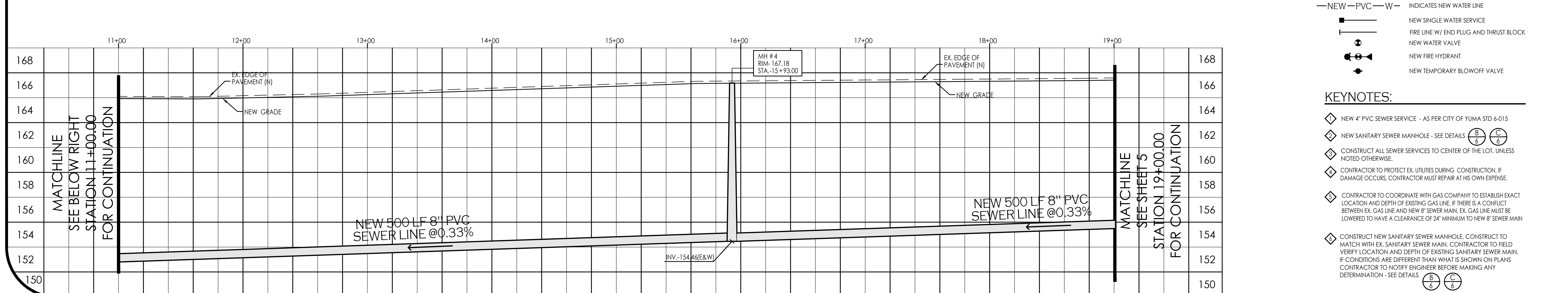


MATCHLINE
SEE BELOW LEFT
STATION 11+00.00
FOR CONTINUATION



- LEGEND**
- 163 INDICATES EX. CONTOURS ELEVATION
 - EX.-6"-PVC-W- INDICATES EX. WATER LINE
 - EX.-8"-PVC-S- INDICATES EX. SEWER LINE
 - MH INDICATES EXISTING MANHOLE
 - FH INDICATES EXISTING FIRE HYDRANT
 - WM INDICATES EXISTING WATER METER
 - WV INDICATES EXISTING WATER VALVE
 - 3 INDICATES LOT NUMBERS
 - NEW-PVC-S- INDICATES NEW SANITARY SEWER LINE
 - NEW SEWER STUB
 - NEW SEWER MANHOLE
 - NEW SEWER CLEANOUT
 - NEW 4" PVC SEWER SERVICE
 - NEW-PVC-W- INDICATES NEW WATER LINE
 - NEW SINGLE WATER SERVICE
 - FIRE LINE W/ END PLUG AND THRUST BLOCK
 - NEW WATER VALVE
 - NEW FIRE HYDRANT
 - NEW TEMPORARY BLOWOFF VALVE

- KEYNOTES:**
- ◇ NEW 4" PVC SEWER SERVICE - AS PER CITY OF YUMA STD 6-015
 - ◇ NEW SANITARY SEWER MANHOLE - SEE DETAILS (B/6) (C/6)
 - ◇ CONSTRUCT ALL SEWER SERVICES TO CENTER OF THE LOT, UNLESS NOTED OTHERWISE.
 - ◇ CONTRACTOR TO PROTECT EX. UTILITIES DURING CONSTRUCTION. IF DAMAGE OCCURS, CONTRACTOR MUST REPAIR AT HIS OWN EXPENSE.
 - ◇ CONTRACTOR TO COORDINATE WITH GAS COMPANY TO ESTABLISH EXACT LOCATION AND DEPTH OF EXISTING GAS LINE. IF THERE IS A CONFLICT BETWEEN EX. GAS LINE AND NEW 8" SEWER MAIN, EX. GAS LINE MUST BE LOWERED TO HAVE A CLEARANCE OF 24" MINIMUM TO NEW 8" SEWER MAIN
 - ◇ CONSTRUCT NEW SANITARY SEWER MANHOLE, CONSTRUCT TO MATCH WITH EX. SANITARY SEWER MAIN. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING SANITARY SEWER MAIN. IF CONDITIONS ARE DIFFERENT THAN WHAT IS SHOWN ON PLANS CONTRACTOR TO NOTIFY ENGINEER BEFORE MAKING ANY DETERMINATION - SEE DETAILS (B/6) (C/6)



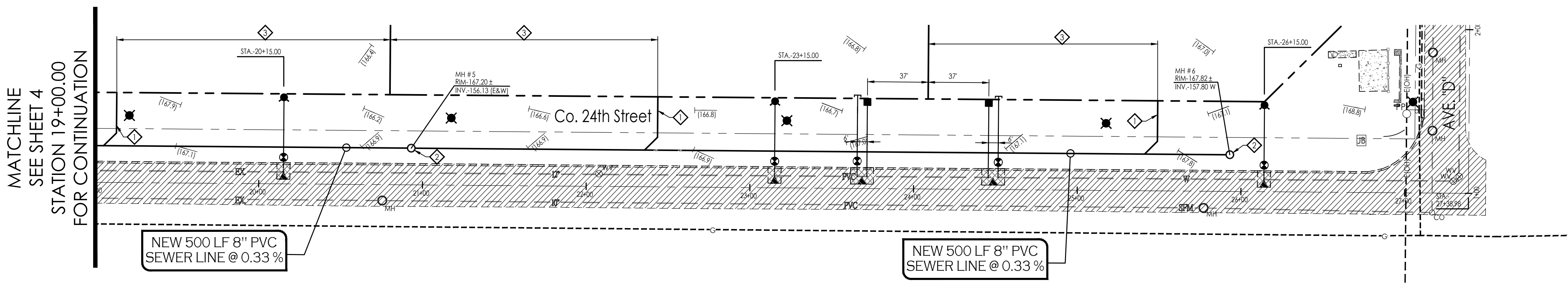
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FOR CONTINUATION

Sewer Plan and Profile
SOUTHWEST ARIZONA INDUSTRIAL
SUBDIVISION - (PHASE 2)



Notes:

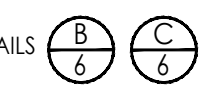
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Checked: vno

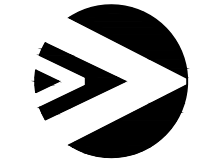



 NORTH
 SCALE: 1"=40'
 HORIZONTAL
 SCALE: 1"=4'
 VERTICAL

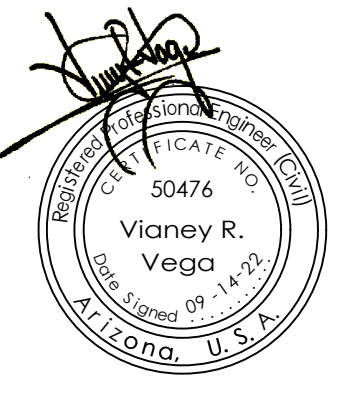
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166																			166
164	MATCHLINE SEE SHEET 4 STATION 19+00.00 FOR CONTINUATION																		164
162																			162
160																			160
158																			158
156																			156
154																			154
152																			152
150																			150

- LEGEND**
- 163 INDICATES EX. CONTOURS ELEVATION
 - EX.-6"-PVC-W- INDICATES EX. WATER LINE
 - EX.-8"-PVC-S- INDICATES EX. SEWER LINE
 - _{MH} INDICATES EXISTING MANHOLE
 - _{CH} INDICATES EXISTING FIRE HYDRANT
 - ⊞_{WM} INDICATES EXISTING WATER METER
 - ⊞_{WV} INDICATES EXISTING WATER VALVE
 - 3 INDICATES LOT NUMBERS
 - NEW-PVC-S- INDICATES NEW SANITARY SEWER LINE
 - ┌ INDICATES NEW SEWER STUB
 - INDICATES NEW SEWER MANHOLE
 - INDICATES NEW SEWER CLEANOUT
 - ┌ INDICATES NEW 4" PVC SEWER SERVICE
 - NEW-PVC-W- INDICATES NEW WATER LINE
 - ┌ INDICATES NEW SINGLE WATER SERVICE
 - ┌ INDICATES FIRE LINE W/ END PLUG AND THRUST BLOCK
 - ⊞ INDICATES NEW WATER VALVE
 - ⊞ INDICATES NEW FIRE HYDRANT
 - ⊞ INDICATES NEW TEMPORARY BLOWOFF VALVE

- KEYNOTES:**
- ◇ NEW 4" PVC SEWER SERVICE - AS PER CITY OF YUMA STD 6-015
 - ◇ NEW SANITARY SEWER MANHOLE - SEE DETAILS 
 - ◇ CONSTRUCT ALL SEWER SERVICES TO CENTER OF THE LOT, UNLESS NOTED OTHERWISE.

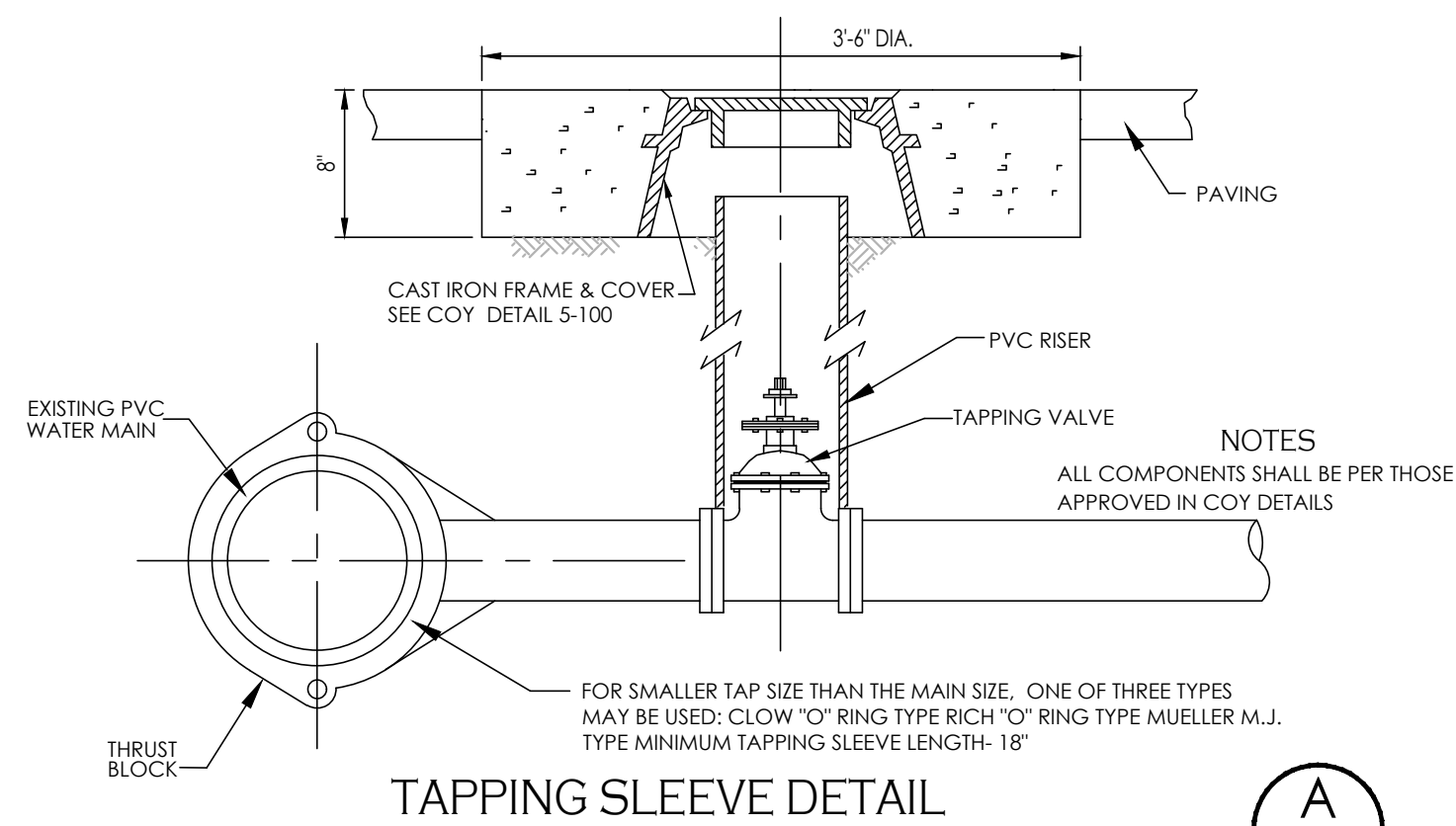

VEGA & VEGA
 ENGINEERS, ARCHITECTS
 2619 S. AVE. 2 1/2 E. STE#3
 YUMA, AZ. 85364
 TEL 928-329-0000
 FAX 928-247-6232
 V@vega.com
 Y@vega.com

Sewer Plan and Profile
SOUTHWEST ARIZONA INDUSTRIAL
SUBDIVISION - (PHASE 2)



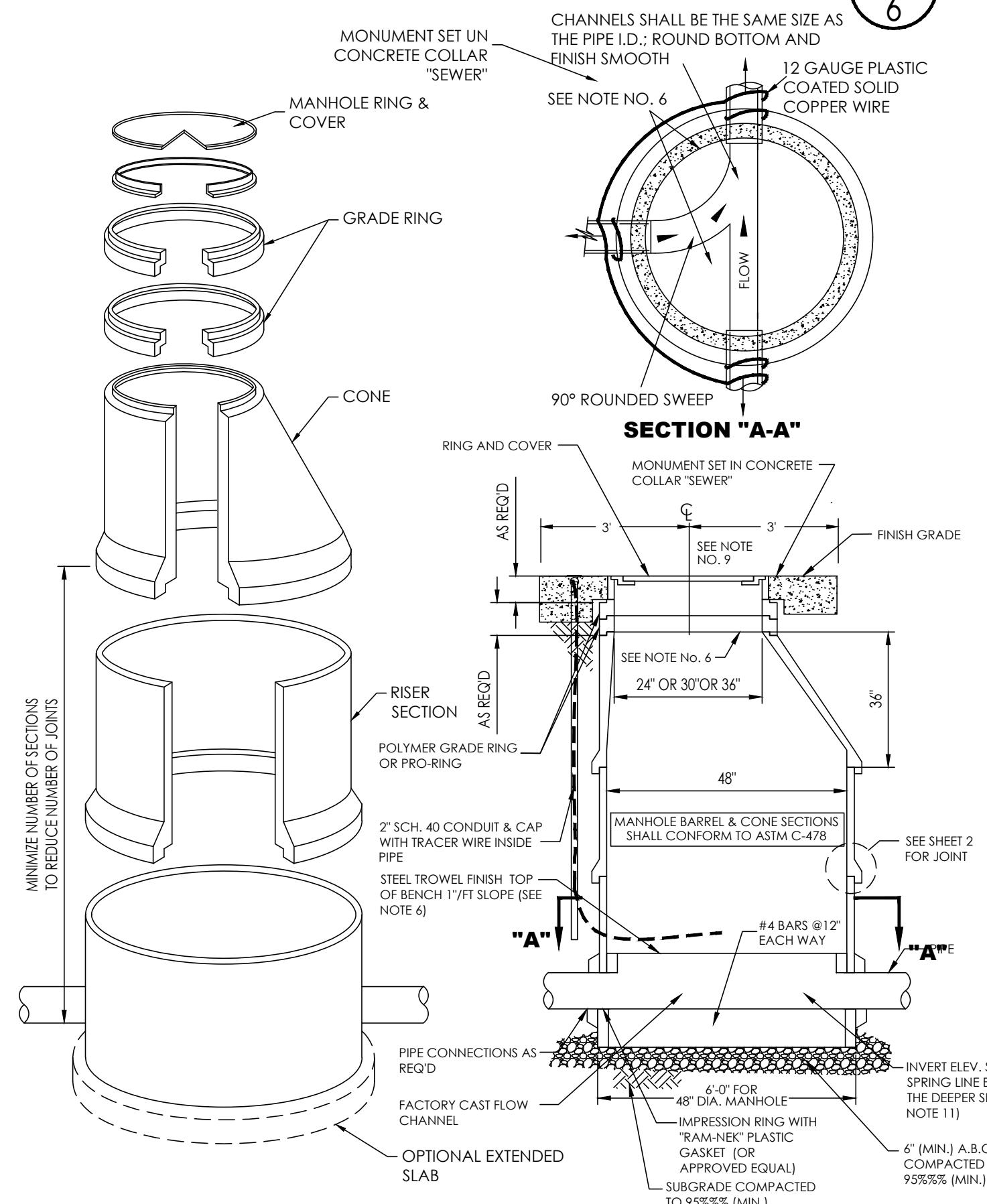
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TAPPING SLEEVE DETAIL

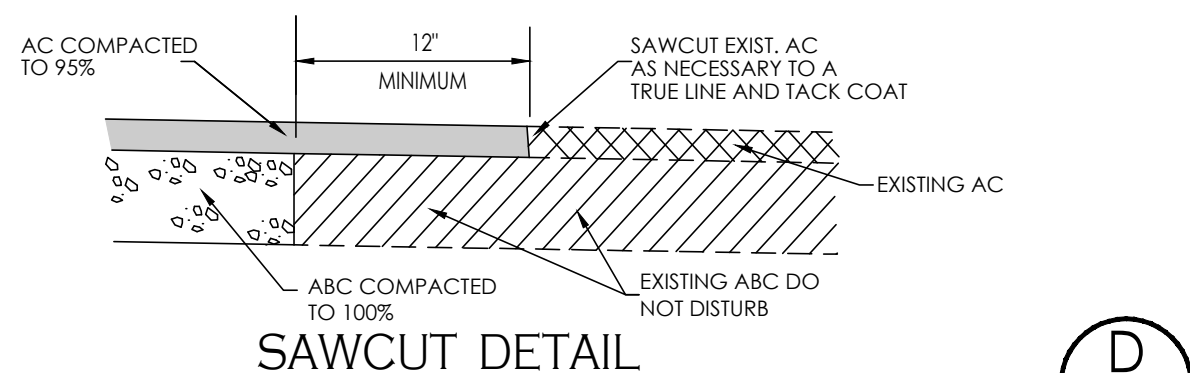
A
6



STANDARD MANHOLE COVER

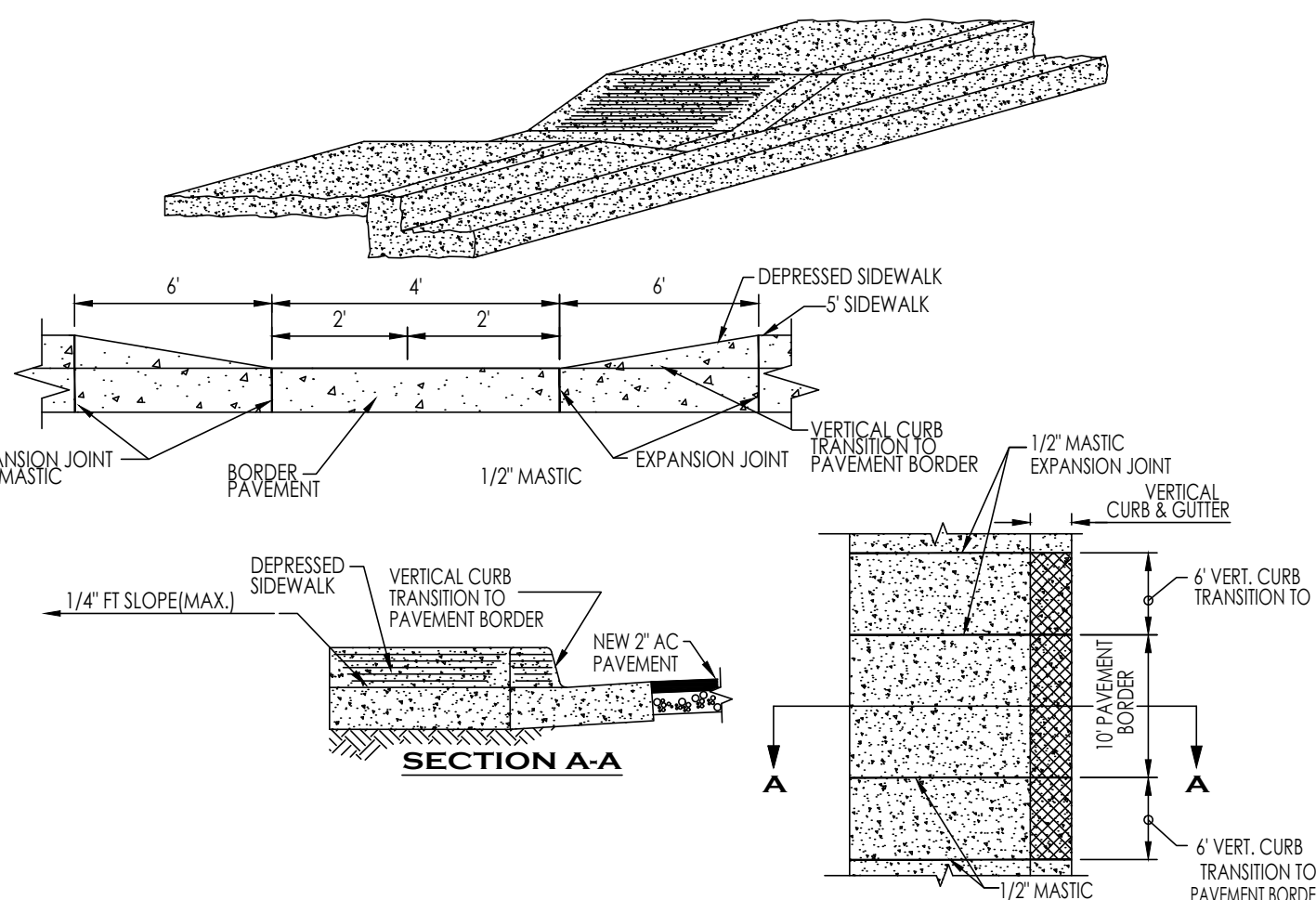
CITY OF YUMA STANDARD # 5-040

C
6



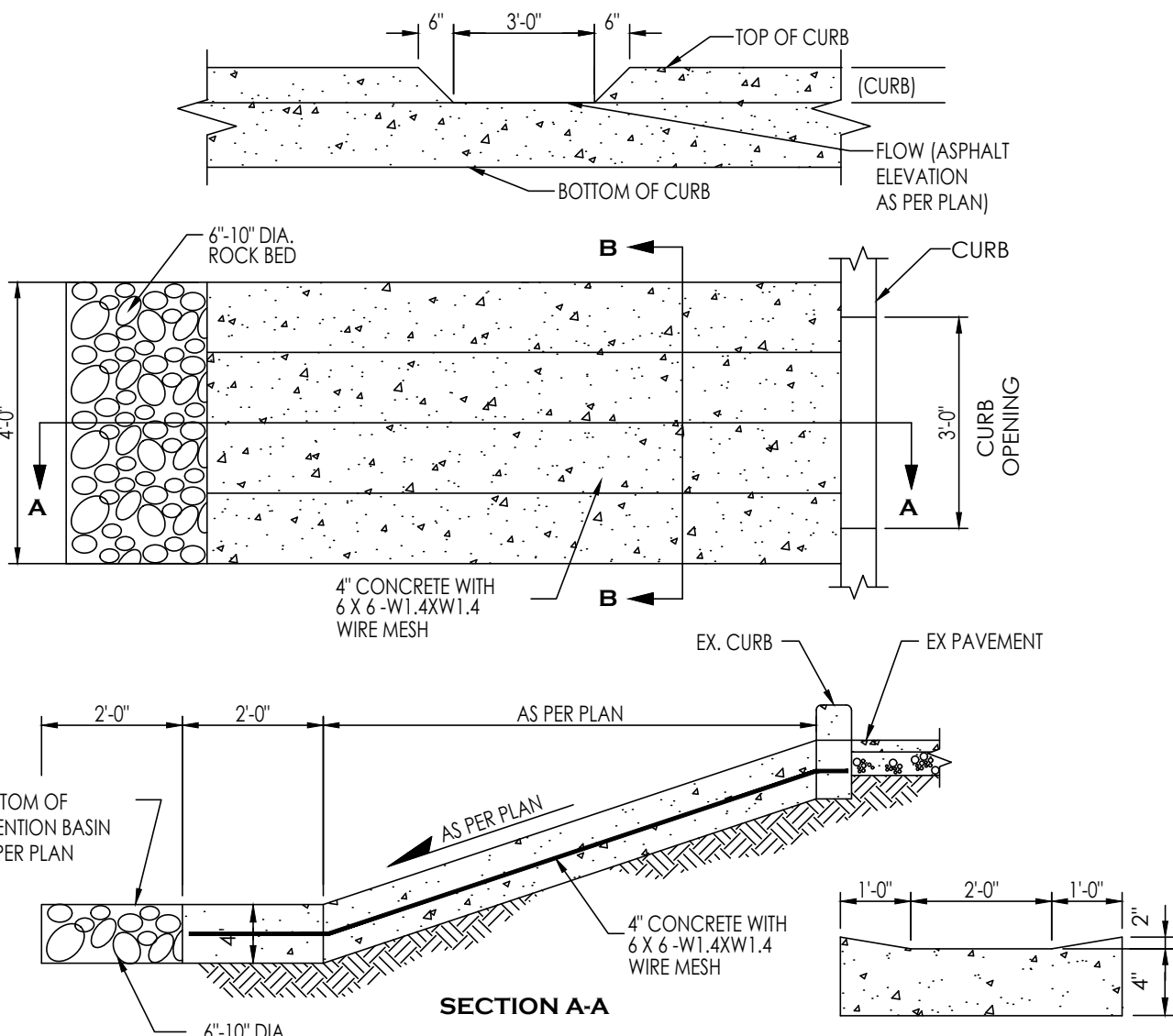
SAWCUT DETAIL

D
6



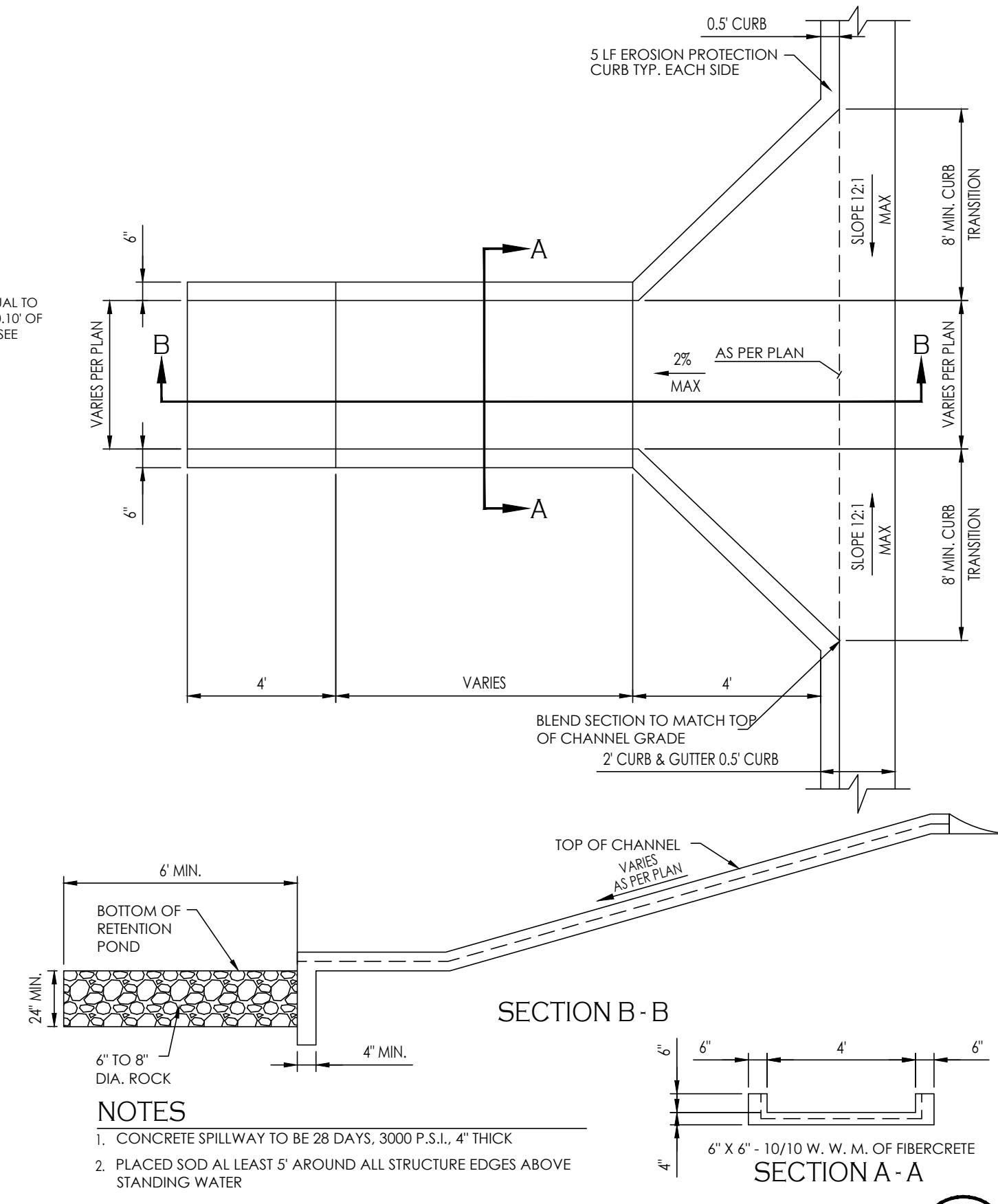
DEPRESSED SIDEWALK

F
6



CONCRETE SPILLWAY WITH CURB OPENING

G
6



CONCRETE SPILLWAY

E
6

WALL THICKNESS	AVAILABLE BASE HEIGHTS	AVAILABLE RISER HEIGHTS	WALL WEIGHT/FT	APPROX. WEIGHT 28ASE
2"	3'-4"	1'-2", 3'-4", 4'-5", 6'-6"	300 LBS/FT	3655 LBS

- NOTES**
- Concentric manholes shall be constructed only upon the approval of the City Engineer.
 - Pre-cast concrete cones and sections shall meet A.S.T.M. C-478 specifications (latest revision) except where shown. Concrete shall be Type III with flyash additive. Inside diameter of manhole and elevations as shown on plans.
 - Asphalt caulking shall be used to seal all joints.
 - An asphalt waterproofing seal shall be applied to the exterior surfaces of the manhole that will be exposed to ground water.
 - Not Used
 - Apply "Plasite" surface sealant (or approved equal) on adjustment rings, bench or on any other concrete surface.
 - Base constructed of Class "A" concrete.
 - Base reinforcing steel shall be ASTM A615, grade 40.
 - See standard R/10 for adjusting manhole frame and cover to final grade.
 - Pre-cast concrete manholes shall have a PVC T-lock liner, sealed gas tight, as manufactured by Ameron (or approved equal). Linner and interior surfaces shall be spark tested. (Applies only to sanitary sewer manholes see Arizona Administrative Code R18-9-E-301 D.3.e Manholes General Permit: Sewerage Collection Systems pertaining to Hoopay Testing).
 - Backfill used to fill manhole excavation shall be a one sack cement per cubic yard of sand slurry mixture, unless otherwise approved.
 - Grout seal around pipe. Match and apply same protective coating on grout as used on the other exposed concrete surfaces (see Note 4).
 - Special details shall be required for: Manholes greater than 40' in depth or deflection manholes for multiple pipe penetrations with at least one pipe larger than 36" or if sewer main is larger than 48" in diameter. Calculations shall be signed/sealed by a registered professional engineer (A.E. license) and submitted to the City Engineer for review & acceptance.
 - The PVC pipe needs to be installed inside the manhole. The top 1/2 (1/2) portion of the pipe must be cut off a minimum length of 30' to allow CCTV camera access, and to accept flow from lateral piping.

PRE-CAST CONCRETE MANHOLE

B
6

GENERAL NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF SITE AND SOIL CONDITION AND SHALL NOTIFY ALL UTILITY AGENCIES PRIOR TO EXCAVATION.
- CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY CONDITIONS REQUIRING CHANGE TO THE PLANS.
- CONTRACTOR SHALL NOTIFY THE CITY OF YUMA PRIOR TO START OF CONSTRUCTION.
- STANDARD SPECIFICATIONS AND ARIZONA STATE HEALTH DEPARTMENT BUL. NO. 11 SHALL APPLY TO THIS PROJECT.
- ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR TWO YEARS AFTER THE FINAL ACCEPTANCE.
- UNLESS HEREON REVISED, ALL CONSTRUCTION MATERIALS AND WORKMANSHIP WILL BE IN ACCORDANCE WITH CITY OF YUMA SPECIFICATIONS AND RECOMMENDED DETAILS AND SHALL, WHERE APPLICABLE, BE IN ACCORDANCE WITH ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY REGULATIONS.
- NO STREET, WATER, SEWER AND IMPROVEMENTS TO BE ACCEPTED BY THE CITY OF YUMA, FOR MAINTENANCE UNTIL "AS-BUILT", CERTIFIED. REPRODUCIBLE PLANS ARE FILED WITH AND ACCEPTED BY THE CITY OF YUMA PUBLIC WORKS DIRECTOR.
- CONTRACTOR WILL PROVIDE THE ENGINEER WITH ALL COUNTY REQUIRED COMPACTION AND CONCRETE TESTS.
- FLANGE BOLTS SHALL BE PROTECTED BY 10 MIL POLYETHYLENE WRAP.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FURNISHING TO THE ENGINEER OF "AS-BUILT" RECORD DRAWINGS, TO INCLUDE COST BREAKDOWN FOR WATER. THE CONTRACTOR SHALL OBTAIN ONE SET OF PLANS FROM THE ENGINEER AND SHALL RECORD IN RED COLORED PENCIL ALL CASES WHERE ACTUAL FIELD CONSTRUCTION DIFFERS FROM WORK SHOWN ON THE PLANS, TO INCLUDE SERVICE LOCATIONS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE BLUE STAKE CENTER TO LOCATE ALL UNDERGROUND EQUIPMENT WITHIN THE CONSTRUCTION AREA TWO WORKING DAYS PRIOR TO THE START OF ANY EXCAVATION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES. OMISSION FROM, OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF, OR A DEFINITE LOCATION OF, EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO HIS OPERATIONS. ANY DAMAGE TO THE UTILITIES SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
- INSTALL TRACER WIRE AS PER CITY OF YUMA STANDARDS
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SUBMIT CONSTRUCTION MATERIAL SUBMITTALS TO CITY OF SAN LUIS FOR REVIEW AND APPROVAL.

WATER AND SEWER NOTES

- WATER MAINS AND VALVES SHALL BE FLUSHED AND DISINFECTED BY THE "GENERAL METHOD" DESCRIBED IN THE 1978 ARIZONA DEPARTMENT OF HEALTH SERVICES ENGINEERING BULLETIN NO. 8.
- ENGINEERING PERSONNEL SHALL BE PRESENT WHEN WATER MAINS ARE BOTH FLUSHED AND PRESSURE TESTED.
- ALL TEES, 90 DEGREE ELLS, BENDS, HYDRANTS AND DEAD END PLUGS SHALL BE THRUST BLOCKED WITH CAST-IN-PLACE CONCRETE.
- WATER LINES 4" OR LARGER SHALL BE PVC C900 DR 18 CLASS 235.
- ALL WATER LINE INSTALLATION MUST MEET OR EXCEED STANDARDS ESTABLISHED IN ADHS BULLETIN NO. 10.
- ALL PVC WATER DISTRIBUTION PIPES MUST BE APPROVED BY AND SHALL BEAR THE NSF SEAL FOR POTABLE WATER USE.
- TYPES OF TAPPING SLEEVE REQUIRED:
 - FOR SIZE ON SIZE TAP MUELLER TYPE M.J. ENDS REQUIRED.
 - FOR SMALLER TAP SIZE THAN THE MAIN SIZE, ONE OF THREE TYPES MAY BE USED:
 - CLOW "O" RING TYPE.
 - RICH "O" RING TYPE.
 - MUELLER M.J. TYPE.
 - MINIMUM TAPPING SLEEVE LENGTH - 18".
- ACCEPTABLE VALVE LIST:
 - AMERICAN DARLING 80 CSR RESILIENT WEDGE.
 - WATEROUS SERIES 500 RESILIENT CLOW RESILIENT WEDGE.
 - IF DEAD ENDS ON WATER MAINS CANNOT BE AVOIDED, THEY MUST HAVE BLOW-OFF VALVES (MIN. DIA. 2").
 - DISINFECTION OF WATER LINES IN ACCORDANCE WITH A.D.E.Q. BULLETIN NO. 8 OR AWWA C-651-92 OR LATEST VERSION.
 - ALL WATER CONSTRUCTION STAKING SHALL BE DONE UNDER THE SUPERVISION OF A REGISTERED ENGINEER OR SURVEYOR.
 - ALL MATERIALS THAT COME INTO CONTACT WITH WATER SHALL CONFORM TO ANS/NF STANDARD 40 AND 41. PER R18-4-213.A AND B
 - CONSTRUCTION MATERIALS USED IN THE WATER SYSTEM SHALL BE LEAD FREE AS DEFINED IN A.A.C. R18-4-504 AND R18-1-1011.
 - WATER LINES SHALL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE W/ AWWA C605-94 FOR PVC PIPE. PER ENGINEERING BULLETIN NO. 10, CHAPTER 7.
 - PRIOR TO PLACING THE INSTALLED WATER LINE IN SERVICE, THE NEW PIPE AND EXPOSED SECTIONS AND APPURTENANCES OF EXISTING PIPELINES SHALL BE CLEANED AND DISINFECTED IN ACCORDANCE WITH ANSI/AWWA C651, UNLESS OTHERWISE SPECIFIED. PIPELINES SHALL BE FLUSHED FOLLOWING COMPLETION OF DISINFECTION PROCEDURES. DISPOSAL OR NEUTRALIZATION OF DISINFECTION WATER SHALL COMPLY WITH APPLICABLE REGULATIONS. [REFER TO APPENDIX B OF ANSI/AWWA C651.]
 - WATER AND SEWER LINES AND WATER AND SEWER SERVICE LINES, SEPARATION IN ACCORDANCE WITH A.A.C. R18-5-502.C, AND CITY OF YUMA STD. DETAIL 5-005.
 - VERTICALLY AND 6 FEET HORIZONTALLY UNDER ALL CONDITIONS, WHERE A SEWER FORCE MAIN CROSSES ABOVE OR LESS THAN 6 FEET BELOW A WATER LINE, THE SEWER MAIN SHALL BE ENCASED IN AT LEAST 6 INCHES OF CONCRETE OR CONSTRUCTED USING MECHANICAL JOINT DUCTILE IRON PIPE FOR 10 FEET. ON EITHER SIDE OF THE WATER MAIN, AS PER AAC-R18-5-502-C.3
 - WATER CONTRACTOR SHALL PROVIDE THE ENGINEER WITH A COPY OF THE BACTERIOLOGICAL TEST RESULTS TAKEN ON THE SYSTEM.
 - ALL WATER LINES (MAINS AND SERVICES) SHALL INCLUDE THE INSTALLATION OF TRACER WIRE IN ACCORDANCE WITH STANDARD DETAIL No. 101
 - TYPES OF TAPPING SLEEVE REQUIRED: SMITH-BLAIR MODEL 662-663 STAINLESS STEEL (6" AND SMALLER: 1'5" LONG MIN.; LARGER THAN 8"20" LONG MIN.)
 - A MINIMUM OF 7" SHALL BE MAINTAINED BETWEEN PARALLEL WATER AND SEWER LINES AND WATER AND SEWER MAINS.
 - FLANGE BOLTS SHALL BE PROTECTED BY 10 MIL POLYETHYLENE WRAP.
 - SEWER MAINS AND SERVICES SHALL BE CLASS 50 CEMENT OR EPOXY LINED DUCTILE IRON PIPE FOR A DISTANCE OF 7' IN BOTH DIRECTIONS FROM A WATER MAIN OR SERVICE WHEN:
 - SEWER MAIN OR SERVICE CROSSES LESS THAN 2' BELOW A WATERMAIN OR SERVICE.
 - WATER MAIN OR SERVICE CROSSES BELOW A SEWER MAIN OR SERVICE. (A MINIMUM OF 24" SEPARATION SHALL BE MAINTAINED VERTICALLY BETWEEN WATER AND SEWER MAINS AND SERVICES).
 - SEWER CONSTRUCTION STAKING SHALL BE DONE UNDER THE SUPERVISION OF A REGISTERED ENGINEER OR SURVEYOR.
 - SEWER PIPE SHALL BE PVC SDR 35 HAVING A 1/2" SEAL OF APPROVAL, AND MEET ASTM D-3034.
 - SEWER MAINS SHALL BE PRESSURE AND LEAKAGE TESTED WITH 4 FEET OF HEAD UPSTREAM, ALLOWABLE LEAKAGE NOT TO EXCEED 180 GALS./IN. DIA./MILE OF PIPE/DAY. PER AAC R18-9-E301.D.2.]
 - EXFILTRATION FROM MANHOLES SHALL BE LIMITED TO 0.1 GALS./HR./VERTICAL FOOT.
 - DEFLECTION TEST OF AT LEAST 100% OF PLASTIC SEWER PIPE SHALL BE PERFORMED. SHORT TERM DEFLECTION IN EXCESS OF 5% SHALL BE CONSIDERED UNSERVICEABLE AND SHALL BE REPAIRED AND RETESTED. PER AAC R18-9-E301.D.2.]
 - IN AREAS WHERE THE GROUNDWATER IS AT PIPE SPRING LINE OR ABOVE INFILTRATION TESTS SHALL BE PERFORMED. ALLOWABLE INFILTRATION FOR SEWER MAINS NOT TO EXCEED 180 GALS./IN. DIA./MILE OF PIPE/DAY. ALLOWABLE INFILTRATION FOR MANHOLES SHALL BE LIMITED TO 0.1 GALS./HR./VERTICAL FOOT.
 - GRAVITY SEWER LINES MUST BE TESTED FOR LEAKAGE AS PER R18-9-E301.D.2.]
 - MANHOLES TESTING IS REQUIRED FOR 100% OF MANHOLES ACCORDING TO R18-9-E301.D.3.c.e.& f.
 - FOR CONSTRUCTION AND TESTING OF SEWER LINES REFER TO A.A.C.R18-9-E301-(D)(2).
 - FOR CONSTRUCTION AND TESTING OF SEWER FORCE MAIN REFER TO A.A.C.R18-9-E301-4.
 - MANHOLE TESTING & CONSTRUCTION IS REQUIRED ACCORDING TO A.A.C.R18-9-E301-3.
 - THE PRESSURE TESTING OF WATERLINES SHALL BE UNDERTAKEN AS FOLLOWS AND IN DESCENDING ORDER OF PRECEDENCE:
 - ALL VISIBLE LEAKS SHALL BE REPAIRED, REGARDLESS OF THE AMOUNT OF LEAKAGE AND REGARDLESS OF WHETHER THE LEAK DEVELOPS UNDER TEST PRESSURE OR LINE PRESSURE.
 - INITIAL PRESSURE FOR THE PRESSURE TEST SHALL BE A MINIMUM OF 150 PSI. PRESSURE LOSS DURING TESTING SHALL NOT EXCEED 5 PSI.
 - A PRESSURE TEST WILL BE DEEMED AS SUCCESSFUL IF IT PASSES THE CRITERIA SET FORTH BY AWWA C-600, SECTION 4 (CURRENT EDITION) AND THAT CRITERIA NOTED ABOVE, EXCEPT NO LEAKAGE TEST WILL BE ALLOWED.
 - ALL EQUIPMENT AND PRODUCTS THAT COME INTO CONTACT WITH THE PUBLIC WATER SUPPLY SHALL BE CERTIFIED TO MEET THE NATIONAL SANITATION FOUNDATION STANDARD 61 PER A.A.C. SEC. R18-4-213(B)
 - MATERIALS SHALL BE IN ACCORDANCE WITH THE APPROVED WATER SERVICE COMPONENTS LIST.
 - ALL MANHOLES SHALL BE CONSTRUCTED OF POLYMER CONCRETE

