

SOUTHWEST ARIZONA INDUSTRIAL SUBDIVISION - (PHASE 2)

FINAL PLAT

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GENERAL CONSTRUCTION NOTES:

- THE LOCATION OF UTILITIES IS APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. UTILITIES SHOWN HERE ARE FOR THE PURPOSE OF ASSISTING THE CONTRACTOR IN LOCATING SAID UTILITIES. THE CONTRACTOR IN ACCORDANCE WITH ARIZONA STATUTES SHALL CONTACT THE ARIZONA BLUE STATE CENTER AT 400 780 5345 AT LEAST 48 HOURS WAY PRIOR TO THE BEGINNING OF CONSTRUCTION AND OBTAIN ON-SITE UTILITIES LOCATIONS. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND SHALL BE RESOLVED PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DAMAGE TO A UTILITY SHALL BE REPAIRED AT THE CONTRACTOR EXPENSE.
- ALL CITY REQUIRED COMPACTION AND LABORATORY TESTS SHALL BE FURNISHED BY THE CONTRACTOR TO THE CITY PRIOR TO ACCEPTANCE OF THE PROJECT.
- THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR TWO YEARS AFTER THE FINAL ACCEPTANCE. ANY DEFECTIVE MATERIAL OR WORKMANSHIP SHALL BE SERVICED AND/OR REPAIRED PRIOR TO FINAL ACCEPTANCE.
- ALL ROAD SURFACES, EASEMENTS OR RIGHT OF WAYS DISTURBED BY CONSTRUCTION OF ANY PART OF THIS IMPROVEMENTS ARE TO BE RESTORED COMPLETELY BY THE CONTRACTOR TO THE BEFORE CONSTRUCTION CONDITION OR BETTER.
- DURING CONSTRUCTION, THE DEVELOPER/OWNER IS SOLELY RESPONSIBLE FOR INSURING THE PROPER FUNCTIONING OF THE EROSION AND SEDIMENT CONTROL MEASURES. THE DEVELOPER/OWNER SHALL TAKE WHATEVER MEASURES ARE REQUIRED TO INSURE THAT NO SEDIMENT LEAVES THE SITE.
- REFER TO SHEETS 1 OF 1 OF FINAL PLAT FOR ALL CORRECT DIMENSIONS.
- SEE SUBDIVISION PLAN FOR ALL BOUNDARY INFORMATION AND DIMENSIONS; DO NOT SCALE.
- ALL MATERIALS AND CONSTRUCTION HEREON SHALL CONFORM TO CITY OF SAN LUIS STANDARDS (CITY OF SAN LUIS STANDARD DETAILS, MAG SPECIFICATIONS, CITY OF SAN LUIS SUPPLEMENT), AS ADOPTED BY THE CITY OF SAN LUIS. STANDARD SPECIFICATIONS AND CONSTRUCTION STANDARDS UNLESS OTHERWISE SHOWN ON THESE PLANS.
- THE ENGINEER MAKES NO REPRESENTATION OR GUARANTEE REGARDING EARTHWORK QUANTITIES OR THAT THE EARTHWORK FOR THE PROJECT WILL BALANCE DUE TO VARIOUS FIELD CONDITIONS, CHANGING SOIL TYPES, ALLOWABLE CONSTRUCTION TOLERANCES AND CONSTRUCTION METHODS THAT ARE BEYOND THE CONTROL OF THE ENGINEER.
- NO STREET, WATER, SEWER AND IMPROVEMENTS TO BE ACCEPTED BY THE CITY OF SAN LUIS FOR MAINTENANCE UNLESS AS-BUILT, CERTIFIED, REPRODUCIBLE PLANS ARE FILED WITH AND ACCEPTED BY THE CITY OF SAN LUIS PUBLIC WORKS DEPARTMENT.
- CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL, LOCAL, STATE, AND FEDERAL SWPPP REQUIREMENTS AND BMP.

OWNER:
VORN VERDE DEVELOPMENT, LLC
1600 CAMINO DEL SOL
YUMA, AZ, 85367

BENCHMARK:
TOP OF ROUND BRASS CAP W/ 1.5 (1/2")
LOCATED AT THE INTERSECTION
OF AVENUE D AND COUNTY 24TH STREET
BEING THE N.E. COR. OF SEC. 11, T.15, S.24N,
ELEVATION: 166.16 FEET

BASIS OF BEARING

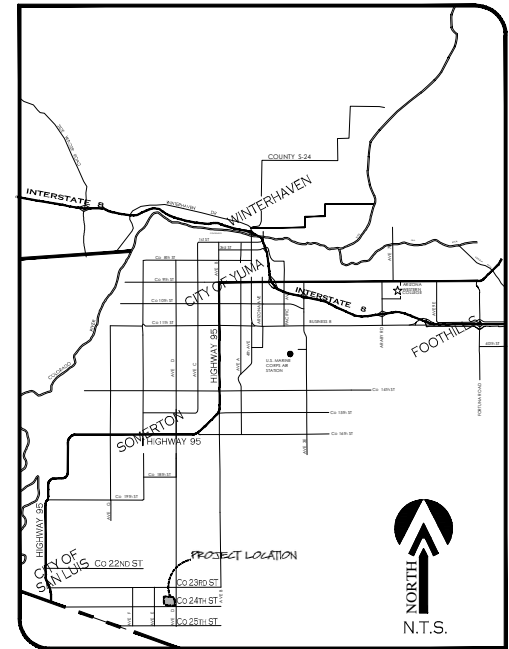
THE CENTERLINE OF SECTION 11, T.15, S.24N,
G.L.E. & M., YUMA COUNTY, ARIZONA, BEING THE
B.E. THE CENTERLINE OF COUNTY 24TH STREET, IS
DEFINED BY A PLAT RECORDED IN BOOK 11, TITLE
2106, G.L.E. & M., UNIFIED STATES DEPT. OF THE
INTERIOR, BUREAU OF RECLAMATION, YUMA COUNTY,
ARIZONA.
BEARING N 89°32'26" W

ENGINEER:

2619 S. AVE. 2 1/2 E. STE#3 928-329-0000 Tel
Yuma, AZ, 85364 928-247-6232 Fax
www.vegaengineers.com

LEGEND

	INDICATES EX. ASPHALT PAVEMENT
	INDICATES EX. CONCRETE
	INDICATES BOUNDARY LINE
	INDICATES CENTERLINE
	INDICATES RIGHT-OF-WAY LINE
	INDICATES EX. CURB WALL
	INDICATES EX. WATER LINE
	INDICATES EX. SEWER LINE
	INDICATES NEW ASPHALT PAVEMENT
	INDICATES NEW CONCRETE
	INDICATES NEW CMU WALL
	INDICATES EX. COMBOS RELATION
	INDICATES NEW SANITARY SEWER LINE
	NEW SEWER BUBB
	NEW SEWER MANHOLE
	NEW 4" PVC SEWER SERVICE
	NEW WATER SERVICE
	NEW 1/2" W/ END PLUG AND THRUST BLOCK
	NEW WATER VALVE
	NEW FIRE HYDRANT
	NEW TEMPORARY BLOWOFF VALVE
	INDICATES LOT NUMBERS
	NEW STREET LIGHT
	NEW YUMA COUNTY B.D. DETAIL NO. 4040 SUBD BOUNDARY MONUMENT
	NEW YUMA COUNTY B.D. DETAIL NO. 4050 STREET MONUMENT
	EXISTING MONUMENT (TYPE AS SHOWN)
	INDICATES BRASS CAP
	INDICATES YUMA COUNTY RECORDS
	INDICATES LOCATED
	INDICATES CALCULATED DATA
	INDICATES MEASURED DATA
	INDICATES ELECTRICAL BOX
	INDICATES GAS PADDLE
	INDICATES FIRE HYDRANT
	INDICATES WATER METER
	INDICATES WATER VALVE
	INDICATES EX. CURB ELEVATION
	INDICATES EX. SIDEWALK ELEVATION
	INDICATES EX. ASPHALT ELEVATION
	INDICATES EX. NATURAL SOIL ELEVATION
	INDICATES NEW ASPHALT ELEVATION
	INDICATES NEW CURB ELEVATION
	INDICATES NEW GUTTER ELEVATION



VICINITY MAP
N.T.S.

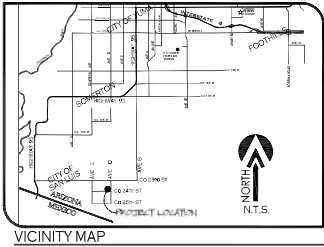


DATE:	
SCALE:	
CHECKED:	

Scale: N.T.S. Date: 04/1/2023
Drawn: [Signature] Checked: [Signature]

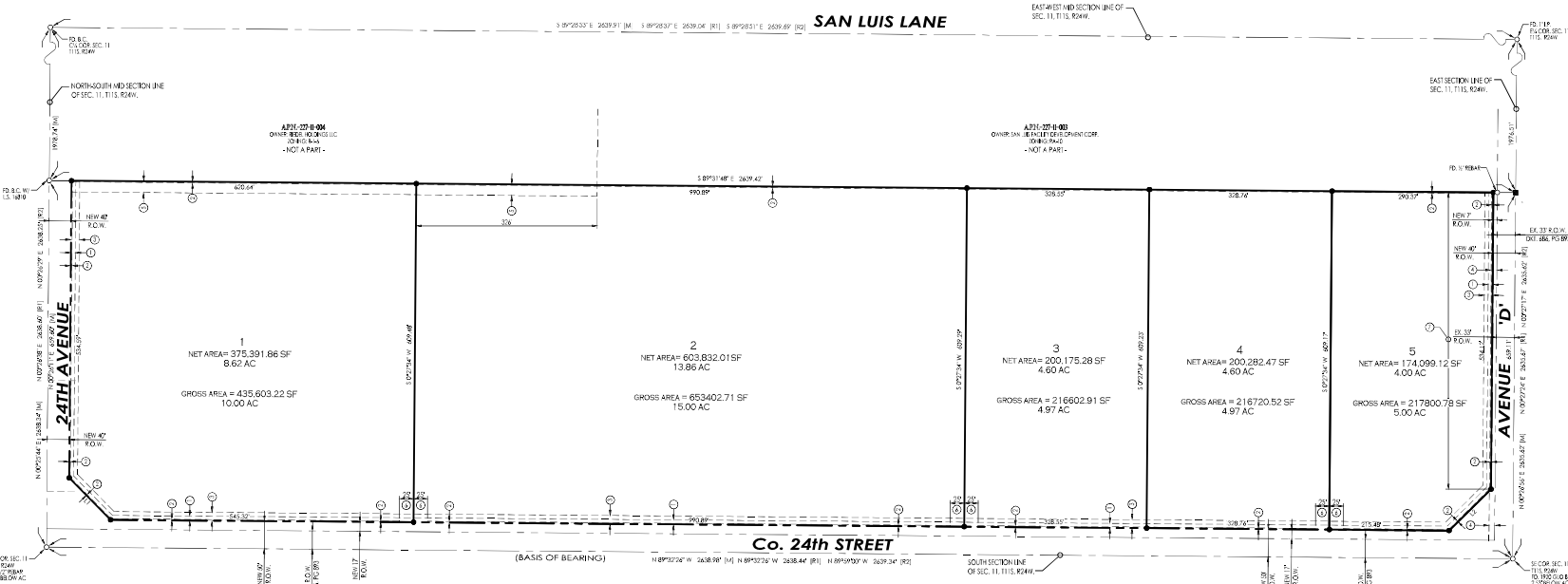
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CALL TWO HOURS BEFORE YOU DIG
1-800-STAKE-IT



SOUTHWEST ARIZONA INDUSTRIAL SUBDIVISION - (PHASE 2)

A SUBDIVISION OF A PORTION OF THE S 1/2 OF THE SE 1/4 OF SECTION 11, T11S, R24W, G.&S.R.B.&M., YUMA COUNTY, ARIZONA.
JULY OF 2023 ACREAGE: 39.95 AC



APPROVED

STATE OF ARIZONA }
COUNTY OF YUMA }
THE SUBJECT HEREIN HAS BEEN APPROVED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF SAN LUIS, ARIZONA.

MAYOR _____
CITY MANAGER _____
DIRECTOR OF DEVELOPMENT SERVICES _____
CITY ENGINEER _____
CITY PUBLIC WORKS DIRECTOR _____

- LEGEND**
- INDICATES BOUNDARY LINE
 - - - - - INDICATES CENTERLINE
 - INDICATES EASEMENT LINE
 - 2 INDICATES LOT NUMBER
 - NEW YUMA COUNTY STD. DETAIL NO. 4886 SURVEY BOUNDARY MONUMENT
 - NEW YUMA COUNTY STD. DETAIL NO. 4886 3" IRON MONUMENT
 - EXISTING MONUMENT TYPE AS SHOWN
 - B.C. INDICATES BRASS CAP
 - F.C.B. INDICATES GENERAL LAND OFFICE
 - G.L.O. INDICATES GENERAL LAND OFFICE
 - N.A.E. INDICATES NON-ACCESS EASEMENT
 - [M] INDICATES MEASURED DATA
 - [R1] DATA REFERS TO BALANCED SECTION OF SEC. 11, T11S, R24W, G.&S.R.B.&M., UNIMPROVED STATE DEPT. OF THE INTERIOR BUREAU RECLAMATION.
 - [R2] DATA REFERS TO THE ADJACENT SAN LUIS PORT LOT SURF, AS RECORDED IN BOOK 31, PAGE 644, YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY.

- KEYNOTES**
- 1 NEW 8' UTILITY EASEMENT
 - 2 NEW 1' NON-ACCESS EASEMENT
 - 3 NEW 15' DRAINAGE EASEMENT
 - 4 EX. 10' A.P. UTILITY EASEMENT AS PER PER P22 & 201-62 RECORDED IN THE CITY OF YUMA COUNTY, AZ
 - 5 NEW 20' LANDSCAPE BUFFER TO BE CONSTRUCTED UPON LOT DEVELOPMENT
 - 6 NEW 20' SHARED DRIVEWAY ACCESS EASEMENT
 - 7 A 6" HIGH CMU WALL WILL BE REQUIRED ON THE EAST PROPERTY OF LOT #1, UPON LOT DEVELOPMENT.

OWNER OF RECORD:
VON VERDE DEVELOPMENT
10001 L. CAMINO DEL SOL,
YUMA, AZ 85367

- NOTE**
- PROPERTY CORNERS TO BE MARKED BY 1/2" DIAMETER IRON RODS TAGGED WITH CAPS L.S. 1422B
 - PROJECT 20414010

BASIS OF BEARING
THE SOUTH SECTION LINE OF SECTION 11, T11S, R24W, G.&S.R.B.&M., YUMA COUNTY, ARIZONA, BEING THE LINE THE CENTERLINE OF CO. 24TH STREET, AS SHOWN ON BALANCED SECTION OF SEC. 11, T11S, R24W, G.&S.R.B.&M., UNITED STATES DEPT. OF THE INTERIOR BUREAU RECLAMATION, BEARING N89°32'26"W

LINE DATA

LINE NUMBER	BEARING	LENGTH (FEET)
L1	S44°32'21"E	106.09
L2	N40°27'31"E	106.69

DEDICATION:
KNOW ALL MEN BY THESE PRESENTS, THAT VON VERDE DEVELOPMENT, L.L.C. AN ARIZONA LIMITED LIABILITY COMPANY, AS OWNER HAS CAUSED THE FOLLOWING DESCRIBED PROPERTY, A SUBDIVISION OF A PORTION OF THE S 1/2 OF THE SE 1/4 OF SECTION 11, TOWNSHIP 11 SOUTH RANGE 24 WEST, COUNTY OF YUMA, ARIZONA, TO BE SUBDIVIDED INTO 5 LOTS UNDER THE NAME OF SOUTHWEST ARIZONA INDUSTRIAL SUBDIVISION - PHASE 2 AND HEREBY DECLARED THAT THE ACCOMPANYING PLAT SET FORTH THE LOCATION AND GIVES THE DIMENSIONS OF THE CONSTRUCTION OF SOUTHWEST ARIZONA INDUSTRIAL SUBDIVISION - PHASE 2. THE FACTS OF THIS SHALL BE KNOWN BY THE NUMBER OF EACH PROPERTY OWNER THAT THE EASEMENTS ARE DEDICATED FOR THE USE SHOWN AND DEFINED ON EACH MAP AND AS DEFINED IN THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED CONCURRENTLY HEREWITH.

IN WITNESS WHEREOF, VON VERDE DEVELOPMENT, L.L.C. AN ARIZONA LIMITED LIABILITY COMPANY, HAS CAUSED ITS CORPORATE MANAGER TO SIGN THESE PRESENTS AND TO AFFIX HIS SEAL TO THESE PRESENTS. THE SIGNATURE OF DAVID L. DOO, AS MANAGER OF VON VERDE INVESTMENT COMPANY, L.L.C., GENERAL PARTNER OF SAN GROUP INVESTMENT CO. LIMITED PARTNERSHIP, GENERAL PARTNER OF VON VERDE DEVELOPMENT, L.L.C. IS HEREBY DULY AUTHORIZED ON THE DATE OF _____ 2023.

ACKNOWLEDGMENT
STATE OF ARIZONA }
COUNTY OF YUMA }
ON THE _____ DAY OF _____, 2023, BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, APPOINTED DAVID L. DOO AS MANAGER OF VON VERDE INVESTMENT COMPANY, L.L.C., GENERAL PARTNER OF SAN GROUP INVESTMENT CO. LIMITED PARTNERSHIP, GENERAL PARTNER OF VON VERDE DEVELOPMENT, L.L.C. IN WITNESS WHEREOF, I HAVE SET MY HAND AND OFFICIAL SEAL.

ELABORATED BY:
VHV21-1940
VEGA & VEGA
2415 S. 4TH AVENUE, SUITE 101 • 928 220 0000 Tel
YUMA, AZ 85365 • 928 247 4202 Fax
www.vega-hv.com

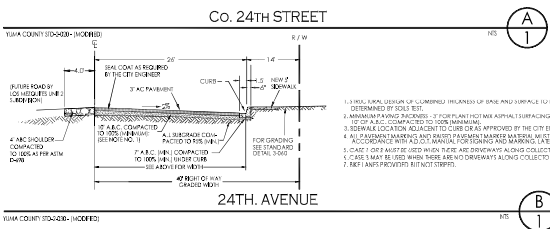
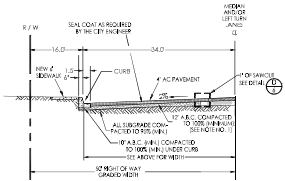
LAND SURVEYOR'S CERTIFICATE:
I HEREBY CERTIFY THAT I AM A LICENSED SURVEYOR IN THE STATE OF ARIZONA AND THAT I HAVE PERSONALLY AND INDEPENDENTLY EXAMINED THE SURVEY HEREIN AND THAT THE SAID SURVEY CORRECTLY REPRESENTS AS A SURVEY UNDER MY SUPERVISION AND AS A MANAGER OF VON VERDE INVESTMENT COMPANY, L.L.C., GENERAL PARTNER OF SAN GROUP INVESTMENT CO. LIMITED PARTNERSHIP, GENERAL PARTNER OF VON VERDE DEVELOPMENT, L.L.C. I HAVE FOUND NO ERRORS IN THE SAID SURVEY AND I AM NOT PROVIDING ANY CORRECTIVE ACTION OR AMENDING THE SAID SURVEY RECORDS. I HAVE REVIEWED THE SAID SURVEY RECORDS AND I HAVE FOUND NO ERRORS IN THE SAID SURVEY RECORDS. I HAVE FOUND NO ERRORS IN THE SAID SURVEY RECORDS. I HAVE FOUND NO ERRORS IN THE SAID SURVEY RECORDS.

DATE: 07/26/23
14205
3010 N. GULF DRIVE
PHOENIX, AZ 85018
TEL: 602.998.8888

BENCHMARK:
LOS MEZQUITES SUBDIVISION UNIT 2
 TOP OF BRASS CAP LOCATED AT THE W/4 COR. OF SEC. 11, T11S, R24W.
 LOCATED FOUND E.C. GLO. 1990IN HAND HOLE
 ELEVATION: 156.96 FEET
 BENCHMARK AT THE BENCHMARK ON THE PROJECT
 ELEVATION: 157.87 FEET
 BENCHMARK ADJUSTMENT = +0.91' TO MATCH LOS MEZQUITES UNIT 2 DATUM

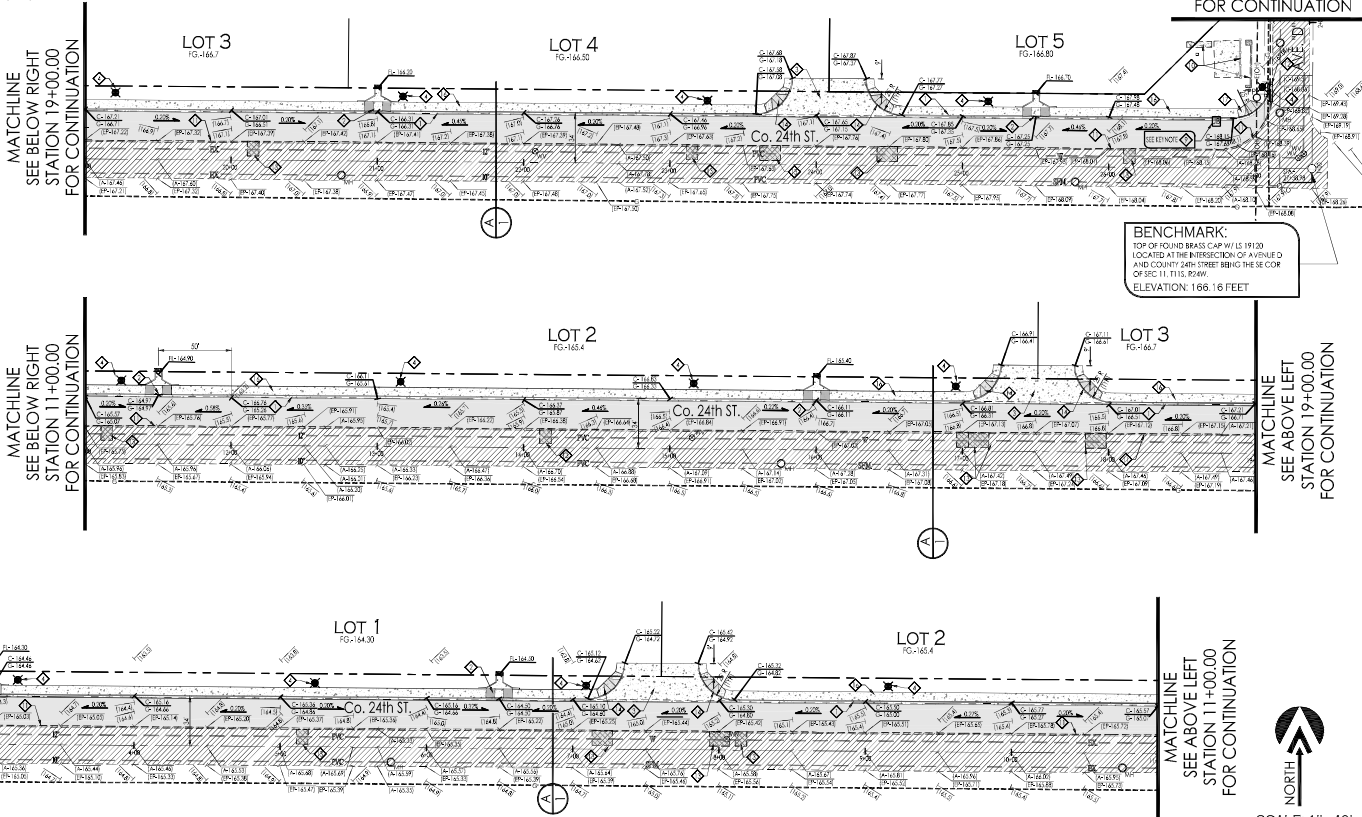
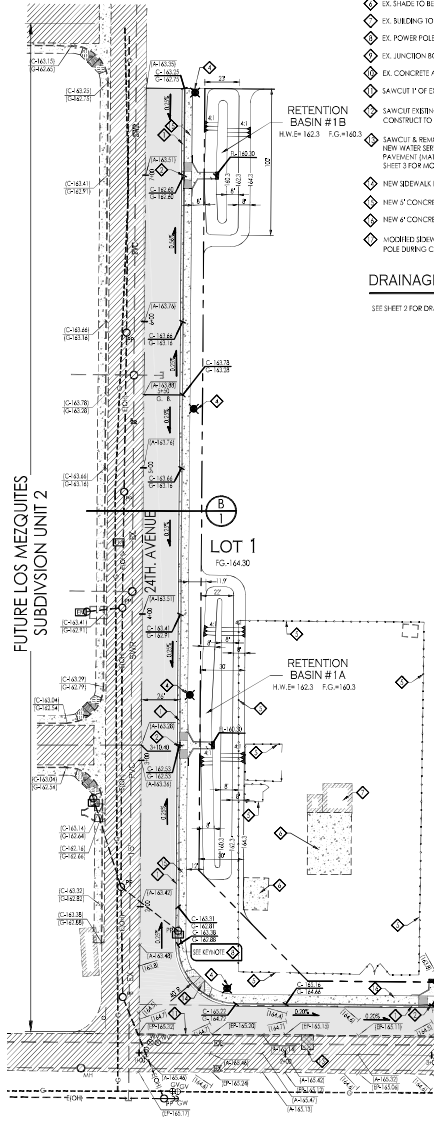
- KEYNOTES:**
- ◆ NEW VERTICAL CURB & GUTTER - AS PER C.O.Y. STD. 3-300
 - ◆ NEW EXPRESS DRIVEWALK AND 4" CONCRETE SPLAWAY - SEE DETAIL 1
 - ◆ NEW DRIVEWAY DRIVEWALK WITH CURB RETURN - AS PER C.O.Y. STD. 3-103
 - ◆ NEW STREET LIGHT - TYPE (4'0" JUMBO) AS PER C.O.Y. STD. 7-010 AND C.O.Y. STD. 7-415
 - ◆ EX. FENCE TO BE REMOVED
 - ◆ EX. SHED TO BE REMOVED
 - ◆ EX. BUILDING TO BE REMOVED
 - ◆ EX. POWER POLE AND ELECTRICAL SERVICE TO BE RELOCATED
 - ◆ EX. JUNCTION BOX TO BE RELOCATED
 - ◆ EX. CONCRETE AND WALL STRUCTURES TO BE REMOVED
 - ◆ SAWCUT EXISTING PAVEMENT, REMOVE AND REPLACE WITH NEW PAVEMENT - SEE DETAIL 2
 - ◆ SAWCUT EXISTING VERTICAL CURB AND GUTTER AS NEEDED TO MATCH WITH NEW CURB RETURN, CONSTRUCT TO MATCH
 - ◆ SAWCUT & REMOVE EX. PAVEMENT AS NEEDED FOR CONSTRUCTION OF NEW WATER SERVICES AND FIRE HYDRANTS, AND REPLACE WITH NEW PAVEMENT (MATCH TO EX. FINISHES), CONSTRUCT TO MATCH, REFER TO SHEETS FOR MORE INFORMATION
 - ◆ NEW SIDEWALK RAMP - AS PER C.O.Y. STD. 3-145
 - ◆ NEW 4" CONCRETE SIDEWALK - AS PER C.O.Y. STD. 3-135
 - ◆ NEW 4" CONCRETE SIDEWALK - AS PER C.O.Y. STD. 3-135
 - ◆ MODIFIED SIDEWALK RAMP - AS PER C.O.Y. STD. 3-145; PROTECT EXISTING POWER POLE DURING CONSTRUCTION

DRAINAGE REPORT
 SEE SHEET 2 FOR DRAINAGE REPORT



- NOTES**
- Structural design of concrete thickness of base and surface to be determined by soil tests, while the soil test may require a greater paving thickness, the following minimum paving thickness is required: for 10' to 12' depth of subgrade, 12" concrete.
 - 3.000' minimum depth to top of subgrade as approved by the City Engineer.
 - All pavement stitching and/or related pavement notes shall be in accordance with ADOT manual for signing and marking, shall adhere with the acceptance of highway which will be marked and signed in accordance with Standard Detail 2-05.
 - Refer to Standard Detail 2-03 for take path information.
 - Base paths shall conform to AASHTO design, however the setting of street centerline is to accommodate 12' minimum width for two-way bus path, both sides of roadway, utility corridor, the 10' to 12' base right-of-way, width needed for an outer America plus take path beyond the 98' shown.

- 3.000' MINIMUM DEPTH OF UNGRADED UNPAVED SOIL SURFACE TO BE DETERMINED BY SOIL TESTS.
- MINIMUM PAVING THICKNESS: 2" CONCRETE FOR ALL APPROVAL SURFACING OVER 10' TO 12' D.C. DEPTH TO TOP OF MAINWALK.
- SIDEWALK LOCATION ADJACENT TO CURB OR AS APPROVED BY THE CITY ENGINEER.
- 4" CONCRETE MAINWALK AND DRIVEWAY MAINWALKS SHALL BE ACCORDANCE WITH ADOT MANUAL FOR SIGNING AND MARKING (LATEST EDITION).
- 4" CONCRETE SIDEWALKS SHALL BE ACCORDANCE WITH ADOT MANUAL FOR SIGNING AND MARKING (LATEST EDITION).
- 4" CONCRETE SIDEWALKS SHALL BE ACCORDANCE WITH ADOT MANUAL FOR SIGNING AND MARKING (LATEST EDITION).
- 4" CONCRETE SIDEWALKS SHALL BE ACCORDANCE WITH ADOT MANUAL FOR SIGNING AND MARKING (LATEST EDITION).
- 4" CONCRETE SIDEWALKS SHALL BE ACCORDANCE WITH ADOT MANUAL FOR SIGNING AND MARKING (LATEST EDITION).



BENCHMARK:
 TOP OF FOUND BRASS CAP W/LS 19120
 AND COUNTY 64IN SPHERE BENCH TO THE SE COR. OF SEC. 11, T11S, R24W.
 ELEVATION: 166.16 FEET



SCALE: 1"=40'

VEGA & VEGA
 REGISTERED PROFESSIONAL ENGINEERS
 2619 S. AVE. 216 E. STE 113
 TULSA, AL. 35406
 TEL: 918-339-0000
 FAX: 918-339-0002
 VAV@vegaengineers.com

Paving and Grading Plan
 SOUTHWEST ARIZONA INDUSTRIAL
 SUBDIVISION - (PHASE 2)



NO. 50475
 VEGA & VEGA
 REGISTERED PROFESSIONAL ENGINEERS

DATE: OCTOBER 12, 2022
 CHECKED: VVC
 SHEET

DRAINAGE REPORT

STREET RUNOFF
 USING THE RATIONAL METHOD
 Q = CIA = PEAK RUNOFF (VOL.)
 (C) PEAK RATE RUNOFF = 0.20
 (I) INTENSITY OF RAINFALL = 1.22 IN / HR
 (A) DRAINAGE AREA = H AC
 Q = PEAK RUNOFF (CF)
 TOTAL RUNOFF = 7200 (Q IN CFS) = G IN CF

LOT RUNOFF
 USING THE RATIONAL METHOD
 Q = CIA = PEAK RUNOFF (VOL.)
 (C) PEAK RATE RUNOFF = 0.60
 (I) INTENSITY OF RAINFALL = 1.22 IN / HR
 (A) DRAINAGE AREA = H AC
 Q = PEAK RUNOFF (CF)
 TOTAL RUNOFF = 7200 (Q IN CFS) = G IN CF

NOTE:
 INDIVIDUAL DRAINAGE REPORTS WILL BE
 REQUIRED FOR EACH LOT WHEN
 DEVELOPED.

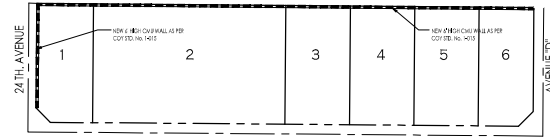
LOT	LOT AREA AC	VOLUME REQUIRED CF	STREET DRAINAGE AREA #	STREET AREA AC	VOLUME REQUIRED CF	TOTAL RUNOFF VOLUME CF	LOT ONSITE RETENTION 1/2 OF AREA & DEPTH (CF)
1	8.62	60,575	2	0.39	7,056	72,599	93,648
			3	0.63	4,918		
2	13.86	97,397	4	0.63	4,918	106,397	150,938
3	4.60	32,323	5	0.51	4,022	32,323	50,044
4	4.60	32,323	6	0.43	4,918	37,293	50,071
5	4.30	28,109	7	0.39	3,096	35,405	43,525
			8	0.69	5,400		

STREET RUNOFF FOR AREAS 1A & 1B
 USING THE RATIONAL METHOD
 Q = CIA = PEAK RUNOFF (VOL.)
 (C) PEAK RATE RUNOFF = 0.50
 (I) INTENSITY OF RAINFALL = 1.22 IN / HR
 (A) DRAINAGE AREA = H AC
 Q = PEAK RUNOFF (CF)
 TOTAL RUNOFF = 7200 (Q IN CFS) = G IN CF

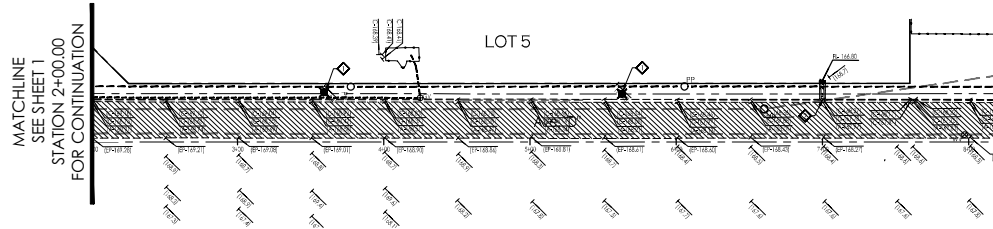
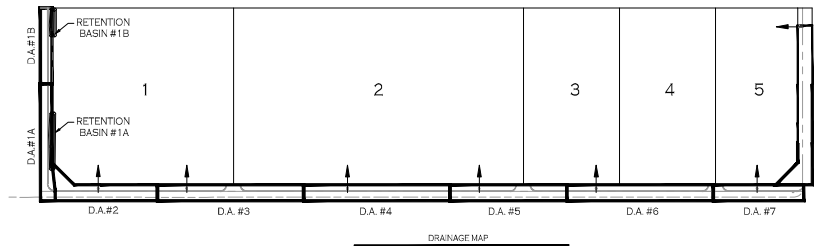
STORAGE VOLUME PROVIDED
 RETENTION BASIN 1A
 TOP AREA = 4,153 SF
 BOTTOM AREA = 903 SF
 DEPTH = 2.0 FT
 VOL. PROVIDED = (4,153 + 903) (2.0)
 TOTAL VOL. PROVIDED = 5,056 CF

RETENTION BASIN 1B
 TOP AREA = 2,250 SF
 BOTTOM AREA = 599 SF
 DEPTH = 2.0 FT
 VOL. PROVIDED = (2,250 + 599) (2.0)
 TOTAL VOL. PROVIDED = 2,899 CF

DRAINAGE AREA #	AREA AC	VOLUME REQUIRED CF	RETENTION BASIN	VOLUME PROVIDED CF	F.S.
1A	0.46	3,672	1	5,056	1.38
1B	0.19	1,502	2	2,899	1.87



Co. 24th St.
CMU WALL PLAN
 SCALE: 1"=300'



- KEYNOTES:**
- NEW STREET HEIGHT - TYPE A (10'00" LUMEN) AS PER C.O.Y. STD. 2010 AND C.O.Y. STD. 70-10. CONTRACTOR TO PROVIDE FORING TUBES DURING CONSTRUCTION. IF DAMAGE OCCURS, CONTRACTOR TO REPAIR AT HIS OWN EXPENSE.
 - NEW 3' CURB OFFRING AND CONCRETE SPALLWAY - SEE DETAIL.

NORTH
 SCALE: 1"=40'



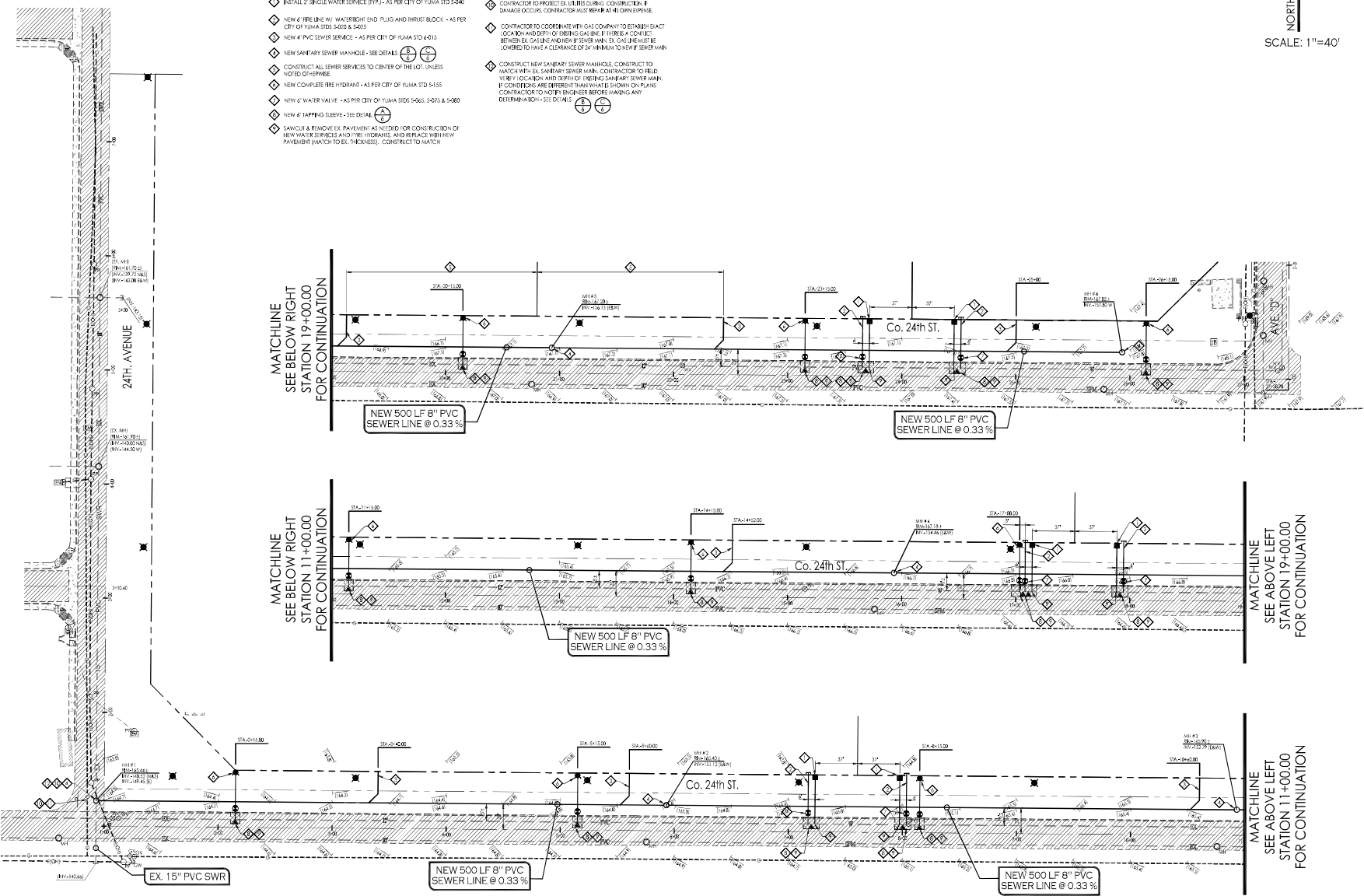
NOTES:
 C.O.S.I. COMMENT LETTER
 DATED: OCTOBER 12, 2022

SCALE: N.T.S. DATE: JULY 2023
 Designer: [Signature] Checked: [Signature]



KEYNOTES:

- ◆ INSTALL 2" SINGLE WATER SERVICE (TYP.), AS PER CITY OF YUMA STD 5-040
- ◆ NEW 6" FIRE LINE W/ WATERBIGHT END PLUGS AND INLET BLOCK - AS PER CITY OF YUMA STD 5-035 & 5-035
- ◆ NEW 4" PVC SEWER SERVICE - AS PER CITY OF YUMA STD 4-015
- ◆ NEW SANITARY SEWER MANHOLE - SEE DETAILS (P) (R)
- ◆ CONSTRUCT ALL SEWER SERVICES TO CENTER OF THE LOT, UNLESS NOTED OTHERWISE.
- ◆ NEW COMPLETE FIRE HYDRANT - AS PER CITY OF YUMA STD 5-155
- ◆ NEW 6" WATER VALVE - AS PER CITY OF YUMA STD 5-065, 5-070 & 5-080
- ◆ NEW 6" TAPPING SLEEVE - SEE DETAIL (T)
- ◆ SAWCUT & REMOVE EX. PAVEMENT AS NEEDED FOR CONSTRUCTION OF NEW WATER SERVICES AND FIRE HYDRANTS, AND REPLACE WITH NEW PAVEMENT MATCH EX. THICKNESS. CONSTRUCT TO MATCH.
- ◆ CONTRACTOR TO PROTECT EX. UTILITIES DURING CONSTRUCTION. IF DAMAGE OCCURS, CONTRACTOR MUST REPAIR AT HIS OWN EXPENSE.
- ◆ CONTRACTOR TO COORDINATE WITH GAS COMPANY TO ESTABLISH EXACT LOCATION AND DEPTH OF EXISTING GAS LINE IF THERE IS A CONFLICT BETWEEN EX. GAS LINE AND NEW 4" SEWER MAIN. EX. GAS LINE MUST BE LOWEDED TO HAVE A CLEARANCE OF 24" MINIMUM TO NEW 4" SEWER MAIN.
- ◆ CONSTRUCT NEW SANITARY SEWER MANHOLE. CONSTRUCT TO MATCH WITH EX. SANITARY SEWER MAIN. CONTRACTOR TO VERIFY LOCATION AND DEPTH OF EXISTING SANITARY SEWER MAIN. IF CONDITIONS ARE DIFFERENT THAN WHAT IS SHOWN ON PLANS, CONTRACTOR TO NOTIFY ENGINEER BEFORE MAKING ANY DETERMINATION - SEE DETAILS (P) (R)



MATCHLINE
SEE BELOW RIGHT
STATION 19+00.00
FOR CONTINUATION

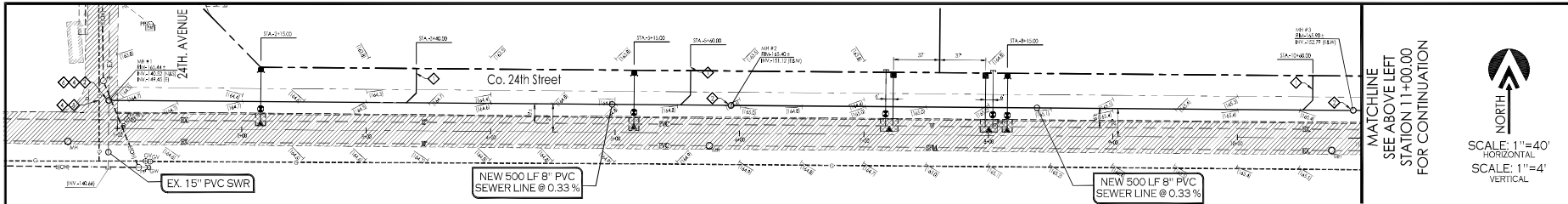
MATCHLINE
SEE BELOW RIGHT
STATION 11+00.00
FOR CONTINUATION

MATCHLINE
SEE ABOVE LEFT
STATION 19+00.00
FOR CONTINUATION

MATCHLINE
SEE ABOVE LEFT
STATION 11+00.00
FOR CONTINUATION



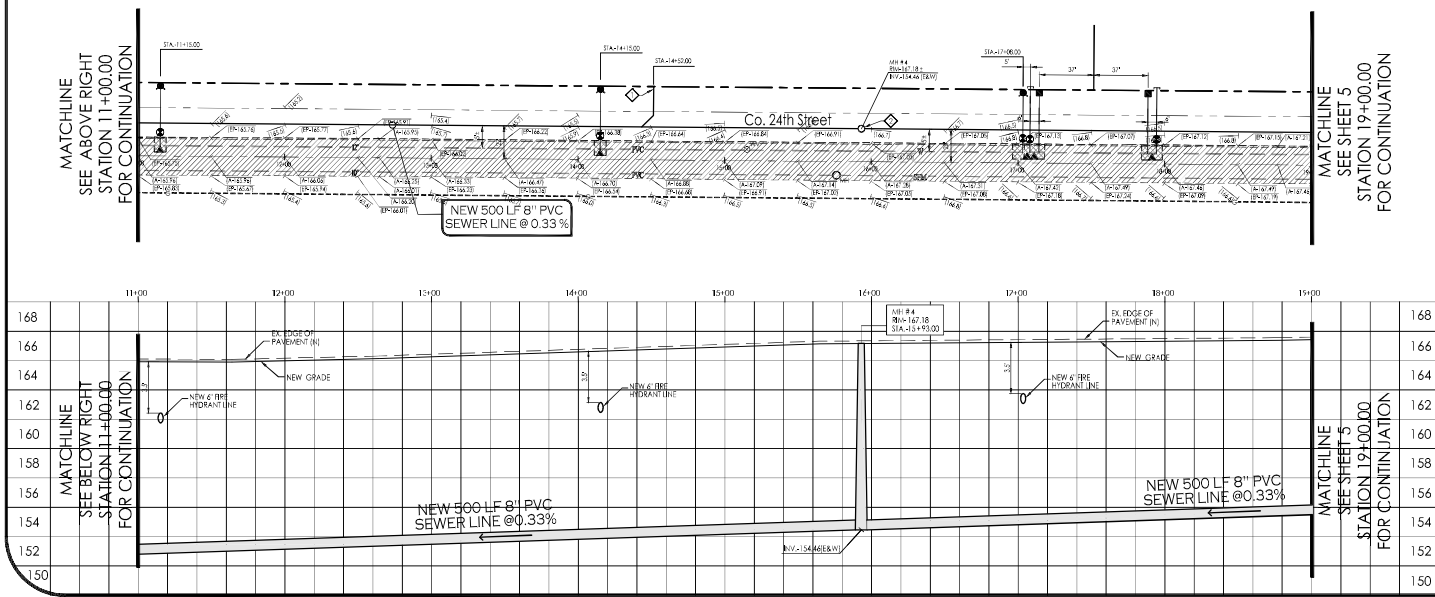
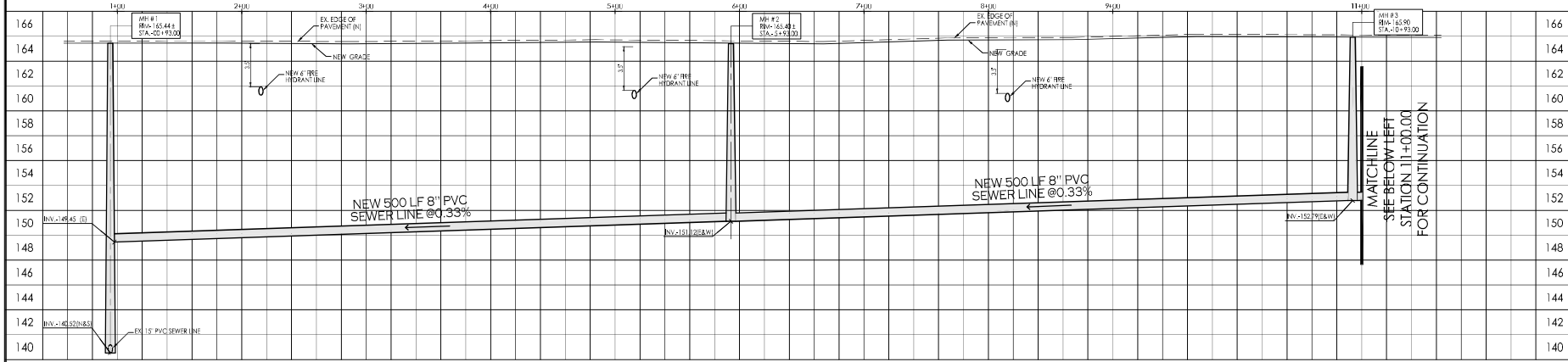
Notes:
Scale: N. 1/2" = 1' Date: 05.17.2022
Drawn: [initials] Job #: 2022-001-04
Checked: [initials]
Sheet



MATCHLINE
SEE ABOVE LEFT
STATION 11+00.00
FOR CONTINUATION

NORTH

SCALE: 1"=40'
HORIZONTAL
SCALE: 1"=4'
VERTICAL



- LEGEND**
- 163 INDICATES EX. CONTOUR ELEVATION
 - EX--6" PVC--W-- INDICATES EX. WATER LINE
 - EX--8" PVC--S-- INDICATES EX. SEWER LINE
 - INDICATES EXISTING MANHOLE
 - INDICATES EXISTING FIRE HYDRANT
 - INDICATES EXISTING WATER METER
 - INDICATES EXISTING WATER VALVE
 - 3 INDICATES LOT NUMBERS
 - NEW--PVC--S-- INDICATES NEW SANITARY SEWER LINE
 - NEW SEWER STUD
 - NEW SEWER MANHOLE
 - NEW SEWER CLEANOUT
 - NEW 4" PVC SEWER SERVICE
 - NEW--PVC--W-- INDICATES NEW WATER LINE
 - NEW SINGLE WATER SERVICE
 - FIRE LINE W/ END PLUG AND THRUST BLOCK
 - NEW WATER VALVE
 - NEW FIRE HYDRANT
 - NEW TEMPORARY BLOWOFF VALVE

- KEYNOTES:**
- ◆ NEW 4" PVC SEWER SERVICE - AS PER CITY OF TULSA STD 440.5
 - ◆ NEW SANITARY SEWER MANHOLE - SEE DETAILS (S) (S)
 - ◆ CONSTRUCT ALL SEWER SERVICES TO CENTER OF THE LOT UNLESS NOTED OTHERWISE.
 - ◆ CONTRACTOR TO PROVIDE EX. UTILITIES DURING CONSTRUCTION. IF DAMAGE OCCURS, CONTRACTOR MUST REPAIR AT HIS OWN EXPENSE.
 - ◆ CONTRACTOR TO COORDINATE WITH GAS COMPANY TO ESTABLISH EXACT LOCATION AND DEPTH OF EXISTING GAS LINE. IF THERE IS A CONFLICT BETWEEN GAS LINE AND NEW 8" SEWER MAIN, GAS LINE MUST BE LOWERED TO HAVE A CLEARANCE OF 24" MINIMUM TO NEW 8" SEWER MAIN.
 - ◆ CONSTRUCT NEW SANITARY SEWER MANHOLE. CONSTRUCT TO MATCH WITH EX. SANITARY SEWER MAIN. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING SANITARY SEWER MAIN. IF CONDITIONS ARE DIFFERENT THAN WHAT IS SHOWN ON PLANS, CONTRACTOR TO NOTIFY ENGINEER BEFORE MAKING ANY DETERMINATION - SEE DETAILS (S) (S)

Sewer Plan and Profile
SOUTHWEST ARIZONA INDUSTRIAL
SUBDIVISION - (PHASE 2)

VEGA & VEGA
 ENGINEERS & ARCHITECTS
 2619 S. AVE. 24 E. STE#3 928-327-0000 TEL
 TULSA, AZ 85364 928-267-2232 FAX
 V@vegaandvega.com

20476
 W. Wiggins
 2/17/2022

Scale: N. 1/2" = 1' Date: 2/17/2022
 Drawn: [Signature] Job #: 20476-01
 Checked: [Signature]
 Sheet **4**

