



PLANNING & ZONING AGENDA ITEM REVIEW FORM

Planning & Zoning Commission Meeting

5. A.

Meeting Date: 07/09/2024

Submitted By: Juan Tejada, Associate Planner, Development Services, Planning & Zoning

ITEM:

Discussion and possible action on any and all matters regarding Subdivision Case No. 2024-0298P. A request by Vega & Vega Engineering, on behalf of Von Verde Partners LLC, for the approval of Orchidea Park Townhomes Subdivision Phase 1 preliminary plat. The property is located at the southeast corner of 24th Avenue and County 24th Street intersection, in San Luis, Arizona.

A. Staff Presentation

B. Action on Subdivision Case No. 2024-0298P

SUMMARY:

This subdivision will consist of approximately 153.4 acres. Orchidea Park Townhomes Subdivision will consist of 10.56 acres and the 2 remaining large lots are designated for future phases. Orchidea Park Townhomes Subdivision will contain 83 residential lots that range in size from approximately 2,700 square feet to 5,400 square feet. The property is located at southeast corner of 24th Avenue and County 24th Street intersection. Assessor's Parcel Number 227-14-002.

On June 14, 2023, City Council approved Rezoning Case No. 2023-0144 which rezoned a portion of Assessors Parcel Number 227-14-002 from Medium Density Residential (R1-6) to Medium-High Density Residential (R-2). Medium-High Density Residential (R-2) allows the applicant to increase the residential density with smaller size lots.

The applicant has provided the information and materials necessary for the review of the preliminary plat for Orchidea Park Townhomes Subdivision Phase 1.

STAFF RECOMMENDATION:

Staff recommends approval of Subdivision Case No. 2024-0298P with the following conditions:

1. Applicant must address comments from the Comment Letter dated July 5, 2024.
2. A development agreement must be approved before presenting the final plat approval to City Council, to establish the phasing of the development, including but not limited to right-of-ways dedications, update of the current traffic study, traffic lights contributions, and schedule of improvements.
3. Orchidea Park Subdivision Preliminary Plat Amendment must be approved prior to presenting this item to City Council.

RECOMMENDED MOTION:

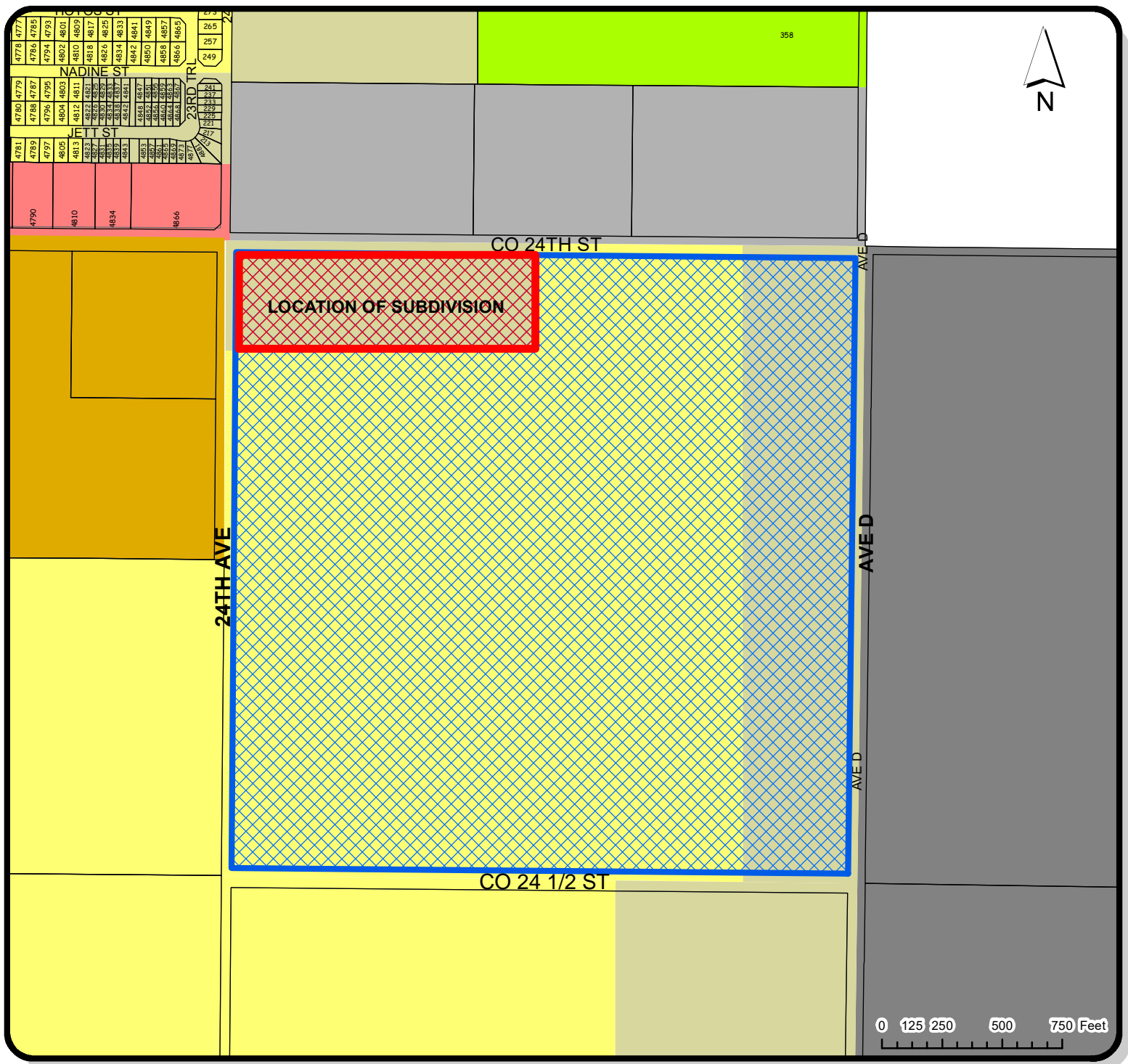
I MOVE TO APPROVE SUBDIVISION CASE NO. 2024-0298P PRELIMINARY PLAT FOR ORCHIDEA PARK TOWNHOMES SUBDIVISION PHASE 1 WITH CONDITIONS AS RECOMMENDED BY STAFF.

Attachments

Location Map

Preliminary Plat

Comment Letter dated July 5, 2024










LOCATION OF SUBJECT PROPERTY

 PARCEL ID: 227-14-002

 LOCATION OF SUBDIVISION
ORCHIDEA PARK SUBDIVISION 1

LOCATION MAP

- Legend**
- SINGLE RESIDENCE ZONING DISTRICTS**
 -  R1-6
 -  RA-10
 - MULTIPLE RESIDENCE ZONING DISTRICTS**
 -  R-2
 -  R-3
 - COMMERCIAL ZONING DISTRICTS**
 -  C-2
 - INDUSTRIAL ZONING DISTRICTS**
 -  LI
 -  HI

SUBDIVISION

CASE #
2024-0298P

DATE:
5/30/2024

CHECKED BY:
JUAN TEJEDA

PLANNING & ZONING



GIS

CREATED BY:
ISAAC GUTIERREZ

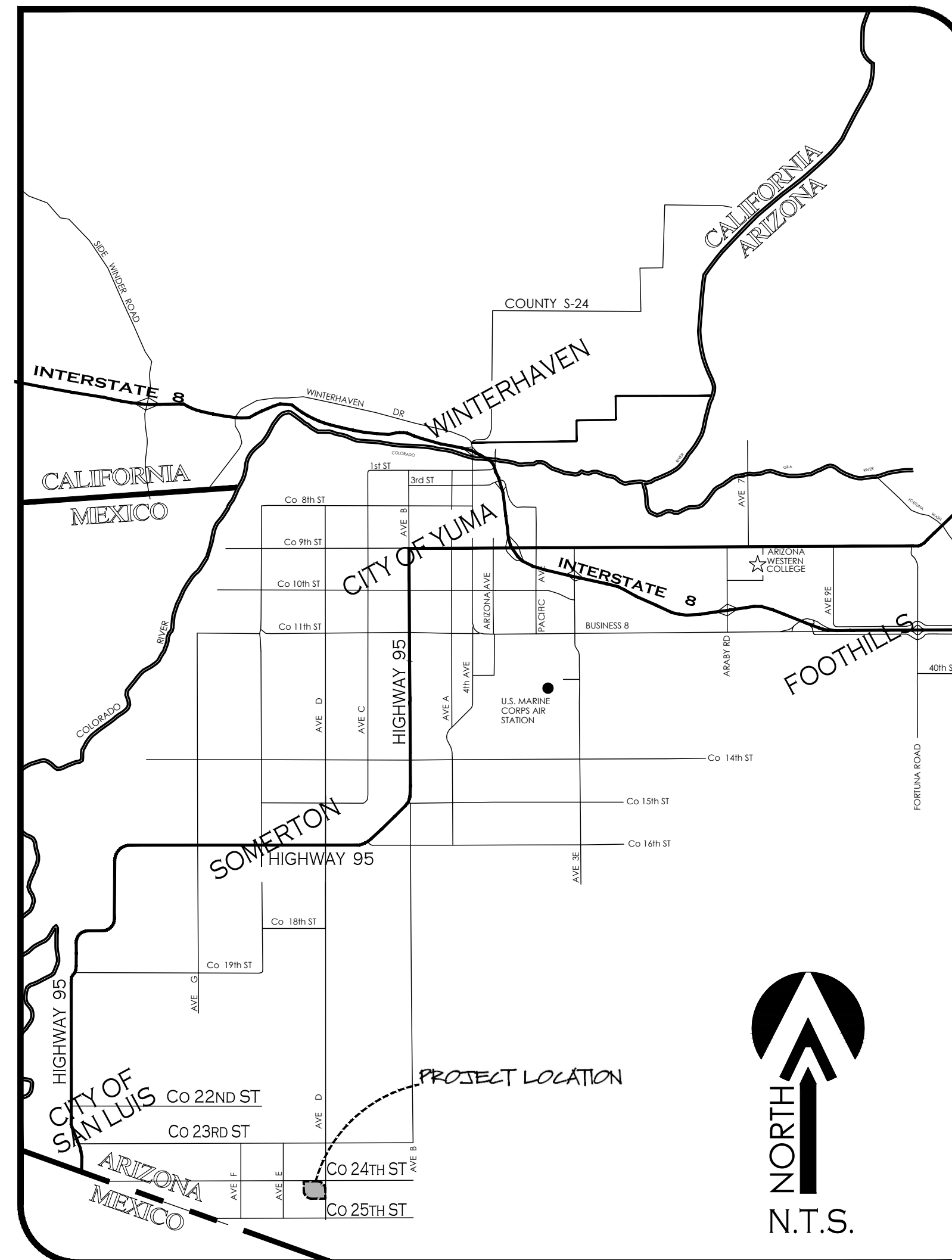
APPROVED BY:
JOSE A. GUZMAN

ORCHIDEA PARK TOWNHOMES

SUBDIVISION PHASE 1

LEGEND

	INDICATES EX. ASPHALT PAVEMENT
	INDICATES EX. CONCRETE
	INDICATES BOUNDARY LINE
	INDICATES CENTERLINE
	INDICATES RIGHT-OF-WAY LINE
	INDICATES EX. CMU WALL
	INDICATES EX. WATER LINE
	INDICATES EX. SEWER LINE
	INDICATES NEW ASPHALT PAVEMENT
	INDICATES NEW CONCRETE
	INDICATES NEW CMU WALL
	INDICATES EX. CONTOURS ELEVATION
	INDICATES NEW SANITARY SEWER LINE
	NEW SEWER STUB
	NEW SEWER MANHOLE
	NEW 4" PVC SEWER SERVICE
	INDICATES NEW WATER LINE
	NEW SINGLE WATER SERVICE
	FIRE LINE W/ END PLUG AND THRUST BLOCK
	NEW WATER VALVE
	NEW FIRE HYDRANT
	NEW TEMPORARY BLOWOFF VALVE
	INDICATES LOT NUMBERS
	NEW YUMA COUNTY STD. DETAIL No. 4-040 SUBD BOUNDARY MONUMENT
	NEW YUMA COUNTY STD. DETAIL No. 4-080 STREET MONUMENT
	EXISTING MONUMENT (TYPE AS SHOWN)
	INDICATES BRASS CAP
	INDICATES YUMA COUNTY RECORDERS
	INDICATES EXISTING POWER POLE
	INDICATES CALCULATED DATA
	INDICATES MEASURED DATA
	INDICATES EXISTING ELECTRICAL BOX
	INDICATES EXISTING GAS PADDLE
	INDICATES EXISTING MANHOLE
	INDICATES EXISTING FIRE HYDRANT
	INDICATES EXISTING WATER METER
	INDICATES EXISTING WATER VALVE
	INDICATES EX. CURB ELEVATION
	INDICATES EX. SIDEWALK ELEVATION
	INDICATES EX. ASPHALT ELEVATION
	INDICATES EX. NATURAL SOIL ELEVATION
	INDICATES NEW ASPHALT ELEVATION
	INDICATES NEW CURB ELEVATION
	INDICATES NEW GUTTER ELEVATION



VICINITY MAP
N.T.S.

GENERAL CONSTRUCTION NOTES:

- THE LOCATION OF UTILITIES IS APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. UTILITIES SHOWN HERE ARE FOR THE PURPOSE OF ASSISTING THE CONTRACTOR IN LOCATING SAID UTILITIES. THE CONTRACTOR IN ACCORDANCE WITH ARIZONA STATUTES SHALL CONTACT THE ARIZONA BLUE STAKE CENTER (1-800-782-5348) AT LEAST 48 HOURS MIN. PRIOR TO THE BEGINNING OF CONSTRUCTION AND OBTAIN ON-SITE UTILITIES LOCATIONS. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND SHALL BE RESOLVED PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DAMAGED TO A UTILITY SHALL BE REPAIRED AT THE CONTRACTOR EXPENSE.
- ALL CITY REQUIRED COMPACTION AND LABORATORY TESTS SHALL BE FURNISHED BY THE CONTRACTOR TO THE CITY PRIOR TO ACCEPTANCE OF THE PROJECT.
- THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR TWO YEARS AFTER THE FINAL ACCEPTANCE. ANY DEFECTIVE MATERIAL OR WORKMANSHIP SHALL BE REPLACED AND/OR REPAIRED PRIOR TO FINAL ACCEPTANCE.
- ALL ROAD SURFACES, EASEMENTS OR RIGHT OF WAYS DISTURBED BY CONSTRUCTION OF ANY PART OF THIS IMPROVEMENTS ARE TO BE RESTORED COMPLETELY BY THE CONTRACTOR TO THE BEFORE CONSTRUCTION CONDITION OR BETTER.
- DURING CONSTRUCTION, THE DEVELOPER/OWNER IS SOLELY RESPONSIBLE FOR INSURING THE PROPER FUNCTIONING OF THE EROSION AND SEDIMENT CONTROL MEASURES. THE DEVELOPER/OWNER SHALL TAKE WHATEVER MEASURES ARE REQUIRED TO INSURE THAT NO SEDIMENT LEAVES THE SITE.
- REFER TO SHEETS 2 OF 2 OF FINAL PLAT FOR ALL CORRECT DIMENSIONS.
- SEE SUBDIVISION PLAT FOR ALL BOUNDARY INFORMATION AND DIMENSIONS; DO NOT SCALE.
- ALL MATERIALS AND CONSTRUCTION HEREON SHALL CONFORM TO CITY OF SAN LUIS STANDARDS (CITY OF YUMA STANDARD DETAILS, MAG SPECIFICATIONS, CITY OF SAN LUIS SUPPLEMENT), AS ADOPTED BY THE CITY OF SAN LUIS. STANDARD SPECIFICATIONS AND CONSTRUCTION STANDARDS UNLESS OTHERWISE SHOWN ON THESE PLANS.
- THE ENGINEER MAKES NO REPRESENTATION OR GUARANTEE REGARDING EARTHWORK QUANTITIES OR THAT THE EARTHWORK FOR THIS PROJECT WILL BALANCE DUE TO VARIOUS FIELD CONDITIONS, CHANGING SOIL TYPES, ALLOWABLE CONSTRUCTION TOLERANCES AND CONSTRUCTION METHODS THAT ARE BEYOND THE CONTROL OF THE ENGINEER.
- NO STREET, WATER, SEWER AND IMPROVEMENTS TO BE ACCEPTED BY THE CITY OF SAN LUIS. FOR MAINTENANCE UNTIL "AS-BUILT", CERTIFIED, REPRODUCIBLE PLANS ARE FILED WITH AND ACCEPTED BY THE CITY OF SAN LUIS PUBLIC WORKS DEPARTMENT.
- CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL, LOCAL, STATE, AND FEDERAL SWPPP REQUIREMENTS AND BMPs.

INDEX:

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Paving and Grading Plan	-----	1
Water and Sewer Plan	-----	2

OWNER:

VON VERDE PARTNERS LLC
10802 S CAMINO DEL SOL
YUMA, AZ, 85367

BASIS OF BEARING

THE NORTH SECTION LINE OF THE NE1/4 OF SECTION 14, T11S, R24W, G. & S. B. & M., YUMA COUNTY, ARIZONA (BEING THE CENTERLINE OF COUNTY 24TH), AS SHOWN ON LOS MEZQUITES TOWNHOMES AS RECORDED IN BOOK 35 OF PLATS, PAGE 54, YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, ARIZONA.
BEARING S 89°32'26" E

UTILITIES WARNING

UTILITIES IN THE AREA OF CONSTRUCTION ARE APPROXIMATE ONLY. THEY HAVE BEEN LOCATED FROM FIELD INVESTIGATION AND THE BEST AVAILABLE UTILITY RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND REPAIR OF ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION. WHETHER SHOWN ON THESE PLANS OR NOT, THE CONTRACTOR SHALL CONTACT ALL RESPECTIVE UTILITIES AND HAVE ALL UTILITIES FIELD-LOCATED PRIOR TO CONSTRUCTION. IF ANY UNKNOWN SUBSURFACE STRUCTURES ARE ENCOUNTERED DURING CONSTRUCTION, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF ENGINEER OF RECORD PRIOR TO PROCEEDING.

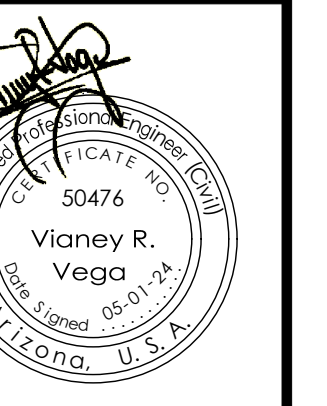
BENCHMARK:

TOP OF 1/2" REBAR W/ IS 22767
LOCATED AT THE INTERSECTION
OF 20th AVENUE AND COUNTY 24TH
STREET

ELEVATION: 159.25 FEET

ENGINEER:

2619 S. AVE. 2 1/4 E. STE#3 928-329-0000 Tel
Yuma, Az, 85364 928-247-6232 Fax
www.vegaNvega.com



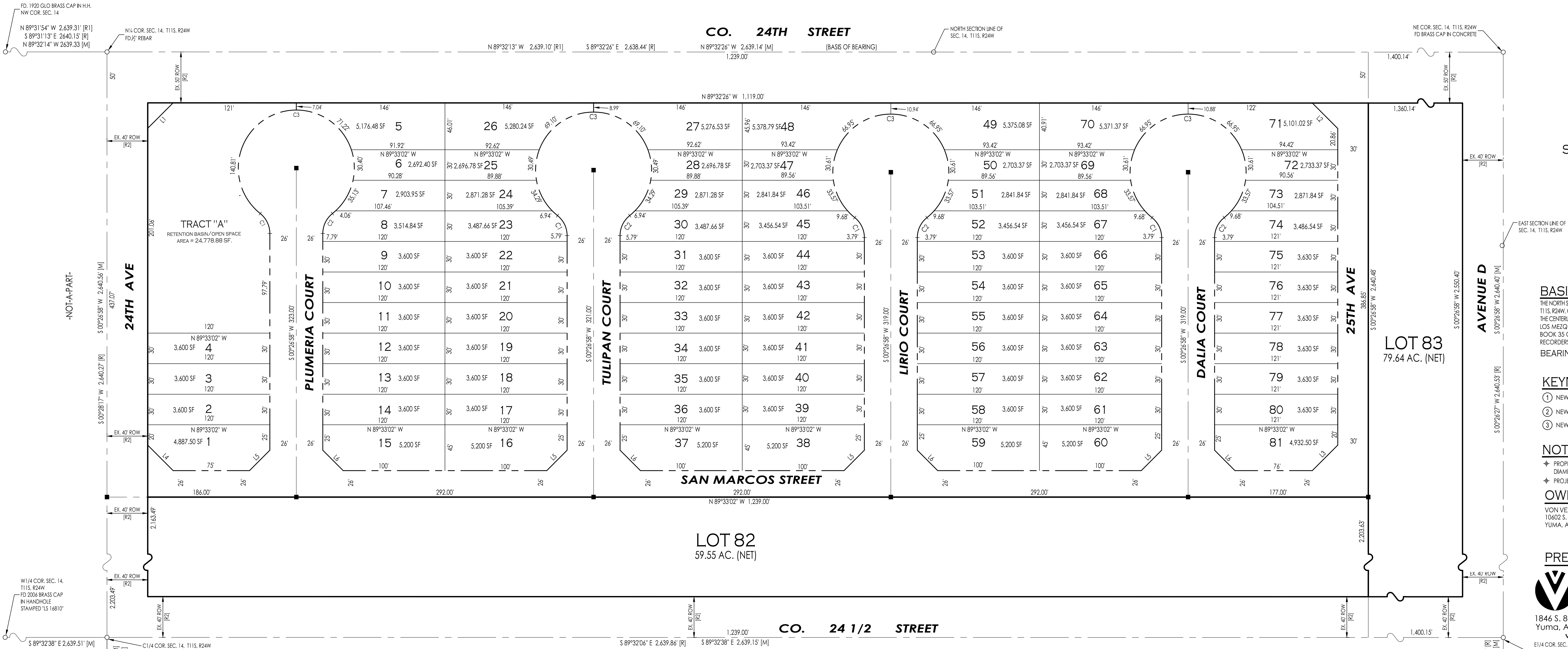
Notes:

Scale:	N.T.S.	Date:	MAY 2024
Drawn:	staff	Job #:	vnv23-600
Checked:	Vna		

CALL TWO WORKING DAYS BEFORE YOU DIG
1-800-STAKE-IT

ORCHIDEA PARK TOWNHOMES SUBDIVISION PHASE 1

A SUBDIVISION OF THE NE 1/4 OF SECTION 14, T11S, R24W,
G.&S.R.B.&M., YUMA COUNTY, ARIZONA.
MAY OF 2024 ACREAGE: 10.56 AC (NET)
PRELIMINARY PLAT



BASIS OF BEARING
THE NORTH SECTION LINE OF THE NE 1/4 OF SECTION 14, T11S, R24W, G.&S.R.B.&M., YUMA COUNTY, ARIZONA, (BEING THE CENTERLINE OF COUNTY 24TH), AS SHOWN ON LOS MEZQUITES TOWNHOMES AS RECORDED IN BOOK 35 OF PLATS, PAGE 54, YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, ARIZONA.
BEARING S 89°32'26" E

- KEYNOTES**
- ① NEW 8' UTILITY EASEMENT
 - ② NEW 1' NON-ACCESS EASEMENT
 - ③ NEW 10' DRAINAGE EASEMENT

NOTE
PROPERTY CORNERS TO BE MARKED BY 1/2" DIAMETER REBAR TAGGED WITH CAP L.S. 16528
PROJECT ZONING: R-1-6

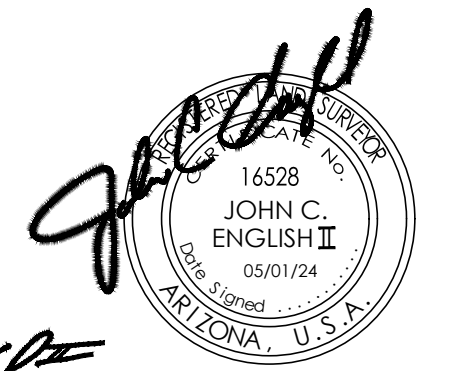
OWNER OF RECORD:
VON VERDE PARTNERS, LLC
10602 S. CAMINO DEL SOL
YUMA, AZ 85367

PREPARED BY:
vin 23-600
VEGA & VEGA
ENGINEERING, P.L.L.C.
1846 S. 8th Avenue 928-329-0000 Tel
Yuma, Az, 85364 928-247-6232 Fax
www.vegaengineers.com

E1/4 COR. SEC. 14, T11S, R24W
FD 1976 DEPARTMENT OF INTERIOR
BRASS CAP

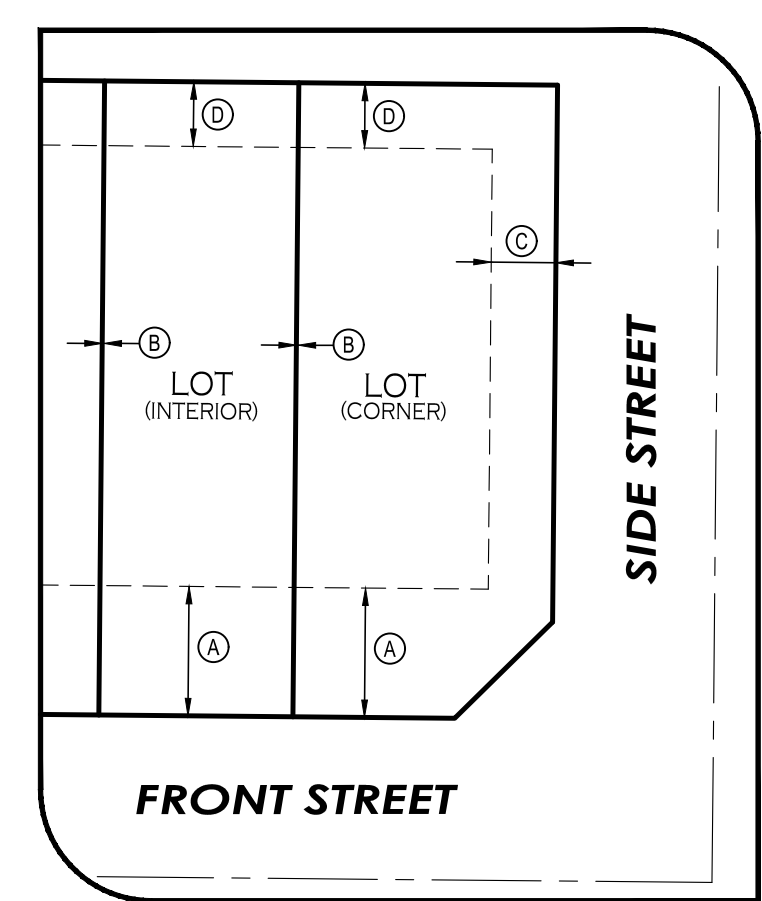
SE COR. SEC. 14, T11S, R24W
FD BRASS CAP IN HH LS18679

LAND SURVEYOR'S CERTIFICATE:
HEREBY CERTIFY THAT I AM A LAND SURVEYOR LISTED ON THE ROSTER OF ACTIVE REGISTRANTS BY THE STATE BOARD OF TECHNICAL REGISTRATION OF ARIZONA AND THAT THIS MAP CONSISTING OF TWO (2) SHEETS CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION DURING APRIL 2024 THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN, OR WILL BE IN PLACE WITHIN ONE YEAR FROM RECORDATION OF THIS MAP. THE MONUMENTS WILL BE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED. THE SURVEY IS TRUE AND COMPLETE AS SHOWN. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS PARTS.



BY: *John C. English II*
JOHN C. ENGLISH II R.L.S. No. 16528

TYP. LOT BUILDING SETBACK LAYOUT



- BUILDING SETBACKS KEYNOTES**
- (A) FRONT YARD SETBACK = 20 FEET
 - (B) SIDE YARD SETBACK = 0 FEET
 - (C) SIDE STREET YARD SETBACK = 10 FEET
 - (D) REAR YARD SETBACK = 10 FEET

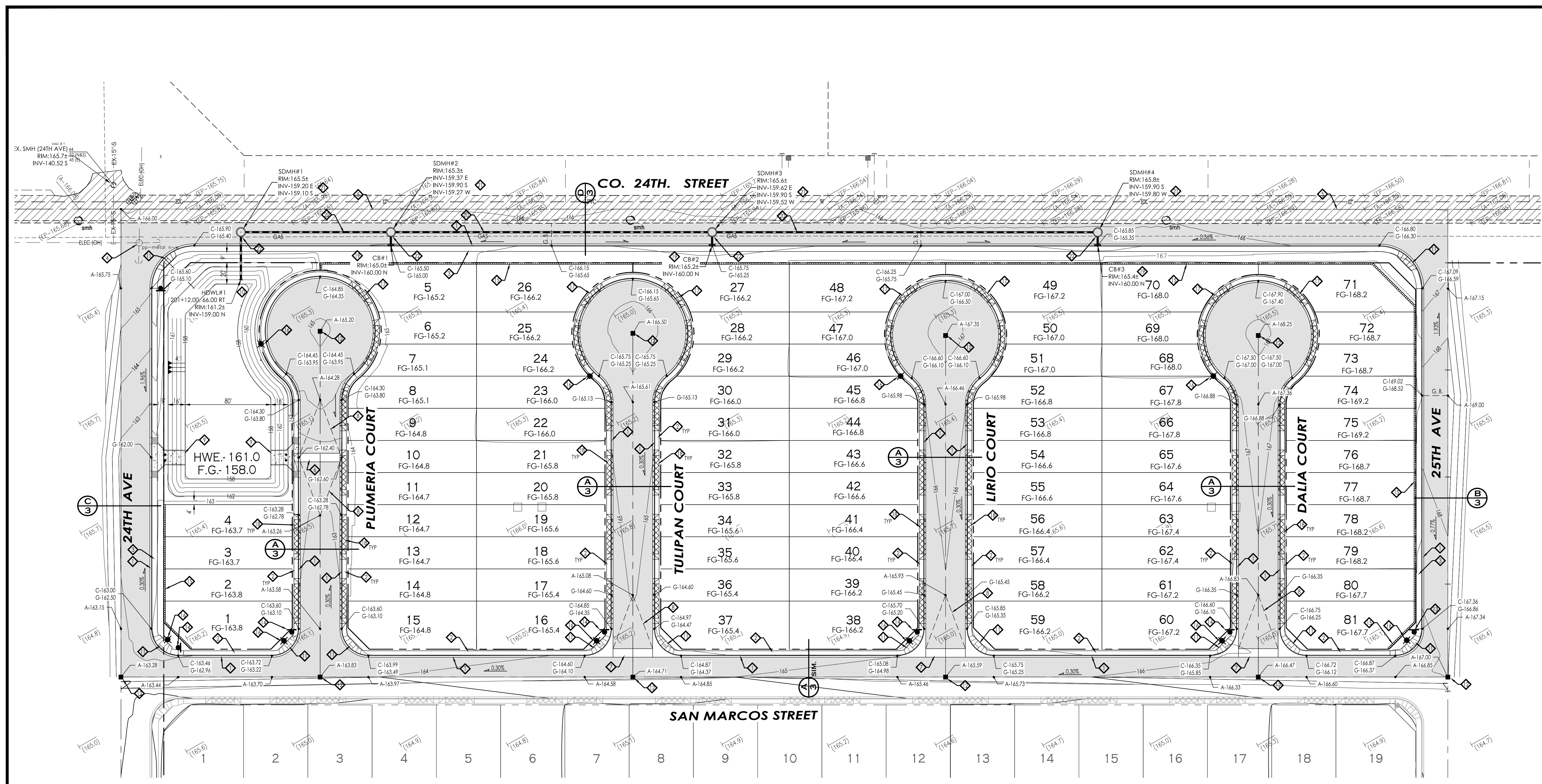
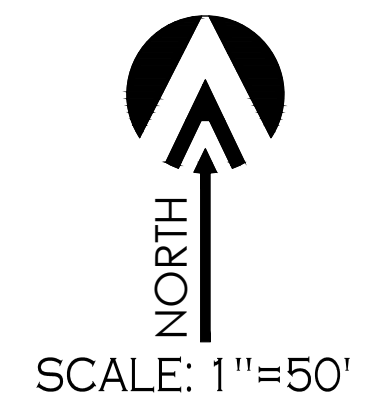
LINE DATA

LINE NUMBER	BEARING	LENGTH (FEET)
L1	S 45°27'16" W	35.35'
L2	N 44°32'44" W	35.36'
L3	S 45°26'58" W	35.36'
L4	N 44°33'02" W	35.36'
L5	S 45°26'58" W	28.28'
L6	N 44°33'02" W	28.28'

CURVE TABLE

NUMBER	DELTA ANGLE	CHORD LENGTH	TANGENT	RADIUS	ARC LENGTH
C1	51°32'28"	21.74	12.07	25.00'	22.49'
C2	51°32'28"	21.74	12.07	25.00'	22.49'
C3	283°04'57"	70.90	45.27	57.00'	281.42'

- LEGEND**
- INDICATES BOUNDARY LINE
 - - - INDICATES CENTERLINE
 - · - · - INDICATES EASEMENT LINE
 - 11 NEW LOT NUMBER
 - NEW YUMA COUNTY STD. DETAIL No. 4-080 STREET MONUMENT
 - NEW SUBDIVISION BOUNDARY MONUMENT AS PER CITY OF YUMA STD. #4-015
 - EXISTING MONUMENT (TYPE AS SHOWN)
 - INDICATES BRASS CAP
 - Y.C.R. INDICATES YUMA COUNTY RECORDERS
 - G.L.O. INDICATES GENERAL LAND OFFICE
 - N.A.E. INDICATES NON ACCESS EASEMENT
 - [M] INDICATES MEASURED DATA
 - [R] DATA REFERS TO U.S. G.L.O. MAP SECTION 14, TOWNSHIP 11 SOUTH, RANGE 24 WEST GILA & SALT RIVER MERIDIAN, ARIZONA, FILED MARCH 12, 1922 IN THE U.S. SURVEYOR GENERAL'S OFFICE
 - [R1] DATA REFERS TO LOS MEZQUITES TOWNHOMES AS RECORDED IN BOOK 35 OF PLATS, PAGE 54, YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, ARIZONA.
 - [R2] DATA REFERS TO WARRANTY DEED WITH FEE#2012-29216, AS RECORDED IN YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, ARIZONA.



LEGEND

- | | | | |
|--|--|--|--------------------------------------|
| | INDICATES EX. ASPHALT PAVEMENT | | INDICATES EXISTING STREET SIGN |
| | INDICATES EX. CONCRETE | | INDICATES EXISTING MANHOLE |
| | INDICATES BOUNDARY LINE | | INDICATES EXISTING FIRE HYDRANT |
| | INDICATES CENTERLINE | | INDICATES EXISTING WATER METER |
| | INDICATES RIGHT-OF-WAY LINE | | INDICATES EXISTING WATER VALVE |
| | INDICATES EX. FENCE | | INDICATES NEW STREET LIGHT |
| | INDICATES EX. ELECTRICAL OVERHEAD LINE | | INDICATES EX. CURB ELEVATION |
| | INDICATES EX. WATER LINE | | INDICATES EX. SIDEWALK ELEVATION |
| | INDICATES EX. SEWER LINE | | INDICATES EX. ASPHALT ELEVATION |
| | INDICATES EX. GAS LINE | | INDICATES EX. NATURAL SOIL ELEVATION |
| | NEW YUMA COUNTY STD. DETAIL
No. 4-030 SUB'D BOUNDARY MONUMENT | | INDICATES NEW ASPHALT PAVEMENT |
| | NEW YUMA COUNTY STD. DETAIL
No. 4-080 STREET MONUMENT | | INDICATES NEW CONCRETE |
| | EXISTING MONUMENT (TYPE AS SHOWN) | | INDICATES NEW CMU WALL |
| | INDICATES BRASS CAP | | INDICATES EXISTING CMU WALL |
| | INDICATES YUMA COUNTY RECORDERS | | |

KEYNOTES:

- NEW VERTICAL CURB & GUTTER - AS PER C.O.Y. STD. 3-060
- NEW 4' CONCRETE SIDEWALK - AS PER C.O.Y. STD. 3-135
- NEW 5' CONCRETE SIDEWALK - AS PER C.O.Y. STD. 3-135
- EXISTING POWER POLE TO BE RELOCATED BY APS SAWCUT 1' OF EXISTING PAVEMENT, REMOVE AND REPLACE WITH NEW PAVEMENT - SEE DETAIL
- NEW 8' CROSS GUTTER - AS PER C.O.Y. STD. 3-090
- NEW 8' CROSS VALLEY GUTTER - AS PER C.O.Y. STD. 3-085
- NEW 50' CROWN TRANSITION
- NEW 13' CONCRETE SPILLWAY - SEE DETAIL (B, 7)
- NEW STORMDRAIN OUTLET STRUCTURE - SEE DETAIL (D, 7)
- NEW CONCRETE SIDEWALK RAMP (25' RADIUS MEASURED TO FACE OF CURB) - AS PER C.O.Y. STD. 3-145
- NEW STREET MONUMENT - AS PER C.O.Y. STD. 4-030
- NEW DOUBLE FACED STREET SIGN - AS PER C.O.Y. STD. 8-020
- NEW DOUBLE FACED STREET SIGN-STOP SIGN - AS PER C.O.Y. STD. 8-020
- NEW 6' HIGH (ON THE LOT SIDE) CMU WALL - AS PER C.O.Y. STD. 1-015 (CMU WALL LOCATED WITHIN THE FRONT OR SIDE SETBACK OF LOTS MUST BE 3/8" HIGH MAXIMUM)
- NEW STREET LIGHT - TYPE A (4700 LUMENS) AS PER C.O.Y. STD. 7-010 AND C.O.Y. STD. 7-015
- NEW 16' WIDE DRIVEWAY - AS PER C.O.Y. STD. 3-105
- NEW 32' WIDE DRIVEWAY - AS PER C.O.Y. STD. 3-105
- NEW TYPE 'E' DOUBLE CATCH BASIN - AS PER C.O.Y. STD. 11-025
- NEW 18' STORMDRAIN - AS PER C.O.Y. STD. 5-010
- NEW 5' DIA STORMDRAIN MANHOLE (E, 7, F, 7)
- ADJUST EXISTING GAS LINE AS NECESSARY FOR NEW STORMDRAIN

DRAINAGE REPORT

1. DRAINAGE REPORT
DRAINAGE AREA # 1
USING THE RATIONAL METHOD
Q = CIA = PEAK RUNOFF [VOL.]
(C) PEAK RATE RUNOFF = 0.43
(1) INTENSITY OF RAINFALL = 1.22 IN / HR
(A) DRAINAGE AREA = 541,395.41 SF. = 12.43 SF
Q = (0.43)(1.22)(12.43) = 6,520.8 CF
TOTAL RUNOFF = 7,200 (6,520.8) = 46,949.76 CF
STORAGE VOLUME PROVIDED AREA # 1
RETENTION BASIN
TOP AREA = 20,623.90 SF
BOTTOM AREA = 11,660.62 SF
DEPTH = 3 FT
VOL. PROVIDED = (20,623.90 + 11,660.62) (4.0) = 64,566 CF
TOTAL VOL. PROVIDED = 64,566 CF
FACTOR OF SAFETY = $\frac{64,566 \text{ CF}}{46,949.76 \text{ CF}} = 1.37 > 1.25$ THEREFORE OK.

OPEN SPACE CALCULATIONS

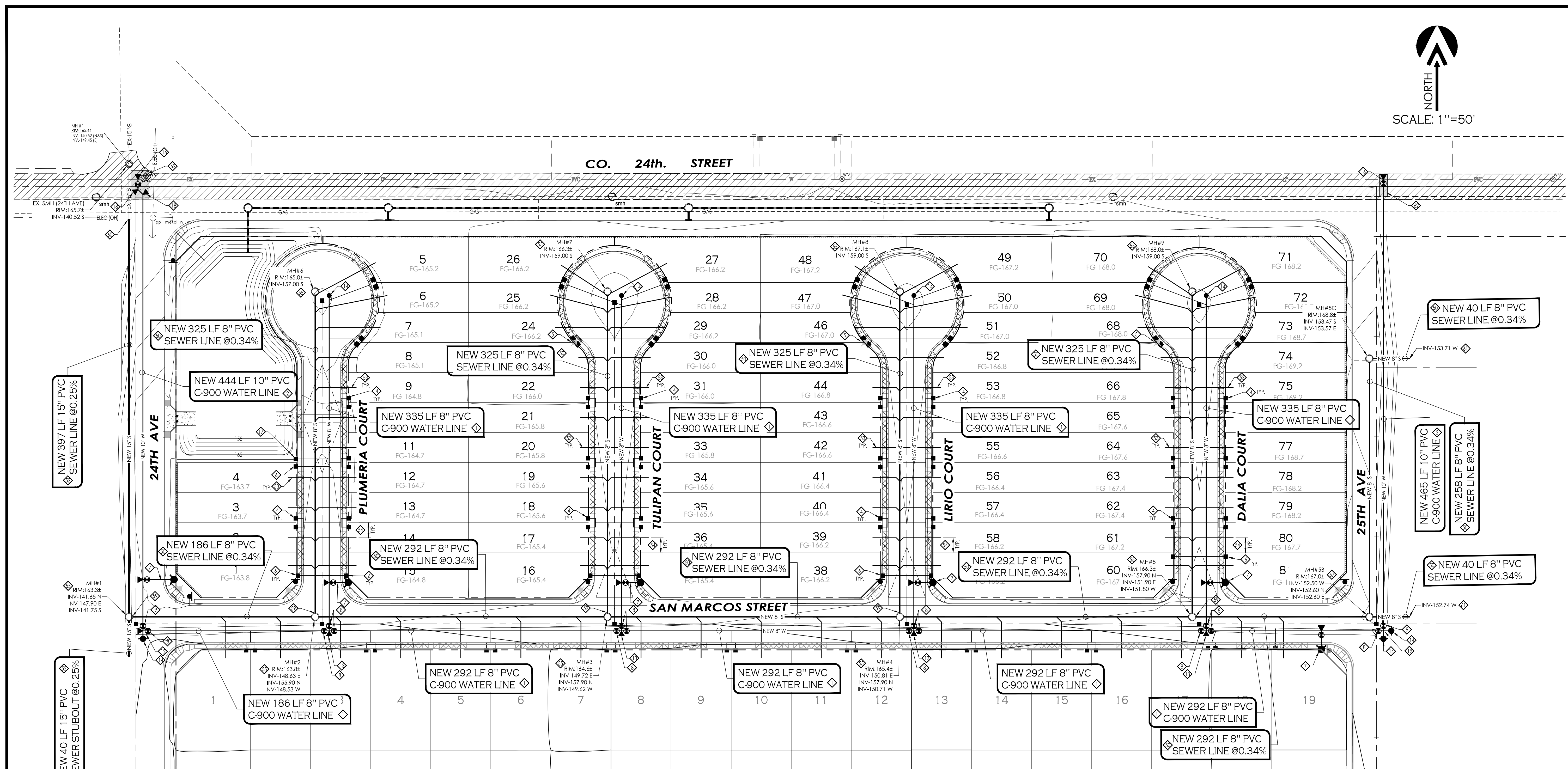
PROJECT AREA : 459,993.60 SF. = 10.56 AC
5% OPEN SPACE REQUIRED = 459,993.60 SF. X 5% = 22,999.68 SF.
OPEN SPACE PROVIDED : AREA RETENTION BASIN = 24,778.88 SF.
24TH AVENUE LANDSCAPING AREA = 2,921.82 SF.
CO. 24TH STREET LANDSCAPING AREA = 11,328.14 SF.
39,028.84 SF.
TOTAL AREA OPEN SPACE PROVIDED : = 39,028.84 SF.
39,028.84 SF. > 22,999.68 SF THEREFORE OK



Notes:
Scale: N.T.S. Date: MAY 2024
Drawn: staff Job #: vnv23-600
Checked: vna
Sheet

PAVING & GRADING
ORCHIDEA PARK
TOWNHOMES SUBDIVISION PHASE I

NORTH
SCALE: 1"=50'



NEW 397 LF 15" PVC SEWER LINE @ 0.25%

NEW 325 LF 8" PVC SEWER LINE @ 0.34%

NEW 444 LF 10" PVC C-900 WATER LINE

NEW 325 LF 8" PVC SEWER LINE @ 0.34%

NEW 325 LF 8" PVC SEWER LINE @ 0.34%

NEW 325 LF 8" PVC SEWER LINE @ 0.34%

NEW 40 LF 8" PVC SEWER LINE @ 0.34%

NEW 186 LF 8" PVC SEWER LINE @ 0.34%

NEW 292 LF 8" PVC SEWER LINE @ 0.34%

NEW 292 LF 8" PVC SEWER LINE @ 0.34%

NEW 292 LF 8" PVC SEWER LINE @ 0.34%

NEW 465 LF 10" PVC C-900 WATER LINE

NEW 258 LF 8" PVC SEWER LINE @ 0.34%

NEW 40 LF 15" PVC SEWER STUBOUT @ 0.25%

NEW 186 LF 8" PVC C-900 WATER LINE

NEW 292 LF 8" PVC C-900 WATER LINE

NEW 292 LF 8" PVC C-900 WATER LINE

NEW 292 LF 8" PVC C-900 WATER LINE

NEW 292 LF 8" PVC C-900 WATER LINE

NEW 40 LF 8" PVC SEWER LINE @ 0.34%

LEGEND

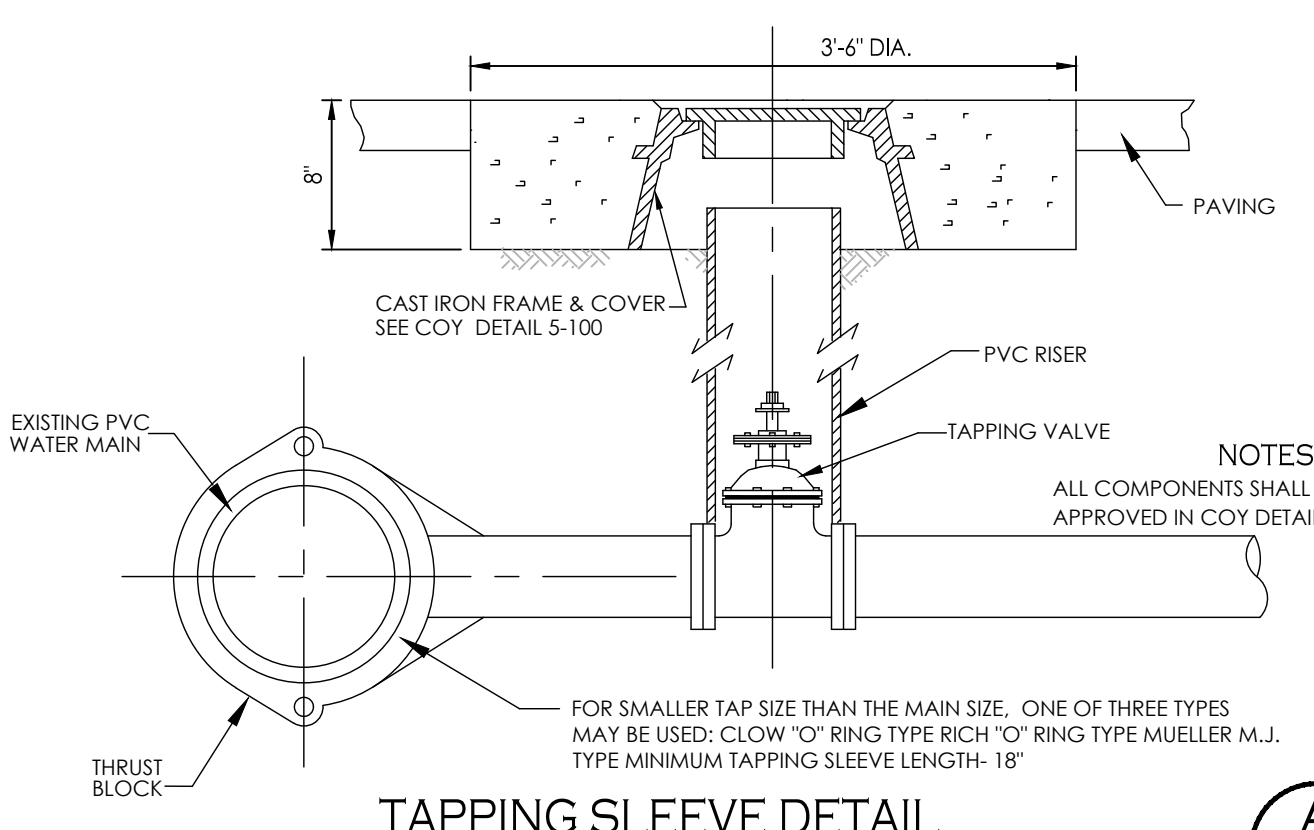
- 163 INDICATES EX. CONTOURS ELEVATION
- EX-6"-PVC-W- INDICATES EX. WATER LINE
- EX-8"-PVC-S- INDICATES EX. SEWER LINE
- MH INDICATES EXISTING MANHOLE
- FH INDICATES EXISTING FIRE HYDRANT
- WM INDICATES EXISTING WATER METER
- WV INDICATES EXISTING WATER VALVE
- 50 INDICATES LOT NUMBERS
- NEW-PVC-S- INDICATES NEW SANITARY SEWER LINE
- NEW SEWER STUB
- NEW SEWER MANHOLE
- NEW SEWER CLEANOUT
- NEW 4" PVC SEWER SERVICE
- NEW-PVC-W- INDICATES NEW WATER LINE
- NEW SINGLE WATER SERVICE
- NEW WATER W/ END PLUG AND THRUST BLOCK
- NEW WATER VALVE
- NEW FIRE HYDRANT
- NEW TEMPORARY BLOWOFF VALVE

WATER KEYNOTES:

- INSTALL 8" WATER MAIN - AS PER C.O.Y. STD. 5-010
- INSTALL 10" WATER MAIN - AS PER C.O.Y. STD. 5-010
- INSTALL 12" WATER MAIN - AS PER C.O.Y. STD. 5-010
- INSTALL 1" DUAL WATER SERVICE (TYP.) - AS PER C.O.Y. STD. 5-045 & 5-055 AND SEE DETAIL (S)
- SEPARATE WATER METERS AT THESE LOCATIONS TO ALLOW FOR STREET LIGHT PLACEMENT
- INSTALL 1" SINGLE WATER SERVICE (TYP.) - AS PER C.O.Y. STD. 5-035 & 5-055.
- NEW COMPLETE FIRE HYDRANT - AS PER C.O.Y. STD. 5-155.
- NEW 8" WATER VALVE - AS PER C.O.Y. STD. 5-065, 5-075 & 5-080.
- NEW 10" WATER VALVE - AS PER C.O.Y. STD. 5-065, 5-075 & 5-080.
- NEW 12" WATER VALVE - AS PER C.O.Y. STD. 5-065, 5-075 & 5-080.
- NEW 12"x8" PVC TEE W/THRUST BLOCK - AS PER C.O.Y. STD. 5-020 & 5-025
- NEW 10"x8" PVC TEE W/THRUST BLOCK - AS PER C.O.Y. STD. 5-020 & 5-025
- NEW 8"x8" PVC TEE W/THRUST BLOCK - AS PER C.O.Y. STD. 5-020 & 5-025
- NEW WATERMAIN BLOWOFF VALVE - AS PER C.O.Y. STD. 5-085.
- REMOVE EXISTING CAP AND CONNECT NEW WATER LINE TO EX. WATER SYSTEM. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING WATER MAIN. IF CONDITIONS ARE DIFFERENT THAN WHAT IS SHOWN ON PLANS CONTRACTOR TO NOTIFY ENGINEER BEFORE MAKING ANY DETERMINATION.
- NEW 10" TAPPING SLEEVE, CONNECT NEW 10" WATER LINE TO EX. 12" WATER MAIN. SAWCUT EXISTING PAVEMENT AS NEEDED FOR CONNECTION AND REPLACE WITH NEW PAVEMENT. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING 12" WATER MAIN. IF CONDITIONS ARE DIFFERENT THAN WHAT IS SHOWN ON PLANS CONTRACTOR TO NOTIFY ENGINEER BEFORE MAKING ANY DETERMINATION - SEE DETAILS (A)
- INSTALL 2" WATER SERVICE (TYP.) - AS PER C.O.Y. STD. 5-040 & 5-060.
- NEW 12" 45° PVC BEND W/THRUST BLOCK - AS PER C.O.Y. STD. 5-020 & 5-025
- NEW 10"x10"x8"x8" CROSS W/THRUST BLOCK - AS PER C.O.Y. STD. 5-020 & 5-025

SEWER KEYNOTES:

- INSTALL 8" SEWER MAIN - AS PER C.O.Y. STD. 5-010
- INSTALL 10" SEWER MAIN - AS PER C.O.Y. STD. 5-010
- INSTALL 15" SEWER MAIN - AS PER C.O.Y. STD. 5-010
- NEW 4" PVC SEWER SERVICE - AS PER C.O.Y. STD. 6-015.
- CONSTRUCT ALL SEWER SERVICES TO CENTER OF THE LOT, UNLESS NOTED OTHERWISE.
- NEW SANITARY SEWER MANHOLE - AS PER C.O.Y. STD. 6-020, 6-035 & 6-040.
- NEW SHALLOW SEWER MANHOLE - AS PER MAG STD. 420 & 422
- NEW SANITARY SEWER CLEANOUT - AS PER C.O.Y. STD. 6-005
- NEW TYPE 'A' DROP SEWER CONNECTION - AS PER C.O.Y. STD. 6-055
- NEW TYPE 'B' DROP SEWER CONNECTION - AS PER C.O.Y. STD. 6-060
- CONNECT NEW SEWER LINE TO EXISTING SANITARY SEWER. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING SEWER. IF CONDITIONS ARE DIFFERENT THAN WHAT IS SHOWN ON PLANS CONTRACTOR TO NOTIFY ENGINEER BEFORE MAKING ANY DETERMINATION
- NEW WATERTIGHT PLUG
- NEW TYPE 'B' PAVEMENT REPLACEMENT - AS PER C.O.Y. STD 5-016



TAPPING SLEEVE DETAIL

A
4

UTILITIES WARNING

UTILITIES IN THE AREA OF CONSTRUCTION ARE APPROXIMATE ONLY. THEY HAVE BEEN LOCATED FROM FIELD INVESTIGATION AND THE BEST AVAILABLE UTILITY RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND REPAIR OF ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION. WHETHER SHOWN ON THESE PLANS OR NOT, THE CONTRACTOR SHALL CONTACT ALL RESPECTIVE UTILITIES AND HAVE ALL UTILITIES FIELD-LOCATED PRIOR TO CONSTRUCTION. IF ANY UNKNOWN SUBSURFACE STRUCTURES ARE ENCOUNTERED DURING CONSTRUCTION, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF ENGINEER OF RECORD PRIOR TO PROCEEDING.

CALL TWO WORKING DAYS BEFORE YOU DIG
1-800-STAKE-IT

VEGA & VEGA
ENGINEERS & ARCHITECTS
2619 S. AVE. 2 1/2 E. STE #3
YUMA, AZ. 85364
V.V@vegaengineers.com
928-329-0000 TEL
928-247-6232 FAX

WATER & SEWER
ORCHIDEA PARK
TOWNHOMES SUBDIVISION PHASE 1



Notes:
Scale: N.T.S. Date: MAY 2024
Drawn: Staff Job #: vrv23-600
Checked: vna
Sheet



City of San Luis

Development Services Department

Planning · Zoning · GIS · Building Safety · Code Enforcement

July 5, 2024

Vianey Vega

Vega & Vega Engineering, P.L.C.

2619 S Ave. 2½ E, Ste #3

Yuma, AZ 85364

Re: Subdivision Case No. 2024-0298P & 2024-0299F Orchidea Park Townhomes Subdivision Phase 1

City staff has reviewed the 1st Submittal preliminary and final plat of Orchidea Park Townhome Subdivision Phase 1 and have the following comments:

Planning and Zoning Department

Preliminary and final Plat

1. Provide HOA, CCR's and Title Report.
2. An approved Development Agreement will be required at the time of the final approval of any phase.
3. As per current Subdivision Regulations subdivider will take such actions as may be necessary to form, establish and include the subdivision in an improvement district.
4. On Approved Section revise "Director of Planning and Zoning" to "*Director of Development Services*".
5. Call out the corners of the subdivision property and provide survey monuments at all corners.
6. Show 8' utility easement and 1' non-access easement on plat.
7. Show all dimensions and bearing as required for lots 82 and 83 and dedicate corner triangles at intersections as per COY standards.
8. Legal description on plat and dedication should read: "A Subdivision of lot B of San Luis Port II Subdivision as recorded..."
9. On TYP. Lot Building Setback Layout show 10' side yard setback on visibility triangle.
10. Call out Mid-Section line of section 14.
11. Provide owners name and assessor's number of adjoining parcels.
12. Provide assessor's parcel number on plat and revise zoning to current zoning.
13. Basis of bearing is S89°32'13"W as per Book 35 of Plats, Page 54, Yuma County Records Office. Clarify or revise accordingly.

Paving and grading

1. Submit complete drainage report and engineer design report.
2. Provide striping plan for major streets.
3. Show existing elevation contours, seems contours on plans shown are the new elevation contours.
4. Add streetlights to County 24th Street.

5. For County 24th Street revise section to match COY Std. No 2-015 with a centerline to curb dimension of 38.0' and 6' sidewalk, this would match Plaza Colibri Commercial subdivision adjacent project to the west, revise plan and typical street section accordingly.
6. For 24th Avenue section to match northern developments with a centerline to curb dimensions of 26.0' and 5' sidewalk.
7. Reference detail to Keynote 7 accordingly.
8. Provide guard post location and spacing on 13' spillways.
9. Provide distance from centerline for stormdrain pipes.
10. Provide subdivision perimeter wall along rear of retention basin.
11. As per Zoning Ordinance Section 18.30.020 (E)(5) All multiple residence developments having more than ten dwelling units shall include a recreational amenity for the residents' use at the rate of one amenity per ten dwelling units. Examples of such amenities include, but are not limited to, swimming pool, tot lot, sport court, ramada with picnic tables and barbeque grill.
12. Development of all improvements and dedication of rights-of-way are required as part of a subdivision development unless approved and specified in a Development Agreement. It is understood that the developer is currently working on a Development Agreement, which will determine the phasing of the improvements and right-of-way dedication.

Water and sewer plans

1. Provide ADEQ permits.
2. A sewer and water masterplan for the whole development at the time of the first final plat submittal.
3. General Note Sheet 7 should reference City of San Luis.
4. Sanitary sewer manholes need to be polymer manholes as per City of San Luis Supplement to the MAG Uniform Standard Specifications.
5. Provide fire hydrant street markers as per COY Std. No. 5-160.
6. Provide distance from Centerline on water and sewer lines.

Public Works

General

1. Assure design meets City of San Luis Standards. Any deviations from City Standards need City of San Luis approval prior to incorporating into the design. Update General Note No. 1 to reflect this. Yuma Co. spillway is acceptable.
2. Provide traffic study for this development and how it incorporates to proposed improvements from Mezquites and Von Verde traffic study by Nicklaus Engineering for this area.
3. Confirm all corner triangle and visibility meets City standards.

Grading

1. Update topo to show existing improvements on the north side of Co. 24th Street on 24th Avenue. This will help better identify necessary improvements to better align 24th Avenue centerline to the north and south of Co. 24th Street.
2. Co. 24th Street is missing some slopes but it appears that proposed drainage slopes actually go against the existing longitudinal slopes. Provide EP and gutter profile to better appreciate the grade difference.
3. 24th Avenue vertical alignment appears low compared to existing surrounding grades, raising it would make it easier to drain it into future phases.

4. Suggest that CMU wall callout be modified so that the 6 foot height requirement is on the side of highest elevation.
5. Include street lights along the entire perimeter of the subdivision. The City uses dual mast arm street lights next to retention basins. Final street light design will be coordinated with APS.

Details

1. Outlet headwall should include railings. Provide positive drainage away from headwall floor to eliminate stagnant nuisance flows. Suggest a 2" to 4" drop from pipe invert to headwall floor to keep pipe dry (if grades permit).

ADOT

The ADOT Southwest District requests the opportunity to review and comment on a traffic impact analysis (TIA) for the proposed subdivision. The TIA should meet the requirements of Section 240 of ADOT's Traffic Guidelines and Processes; this information can be found at the following location: azdot.gov/business/engineering-and-construction/traffic/guidelines-and-processes. The TIA would allow the Department the chance to assess the effects the increased traffic from the proposed development would have on the state highway system and the intersection of Ave E and SR 195."

Yuma County Assessor's Office

It would be much better to have the following: A SUBDIVISION OF A PORTION OF LOT B, SAN LUIS PORT II – INDUSTRIAL PARK LLC, ACCORDING TO BOOK 26 OF PLATS, PAGE 4, RECORDS OF YUMA COUNTY, ARIZONA.

Please be advised that the comments made here are tentative in nature. Until all documentation, information, and drawings are submitted and approved in final form, and all permits for construction are approved and issued, the City of San Luis reserves the right to make further comments or require further information or submissions. Any construction which occurs prior to issuance of proper permits is occurring in contravention of the ordinances of the City and is occurring at the risk of the Developer.

If you have any questions on these comments, please contact the Development Services Department at 928-341-8563 extension 2064.

Thank you,

Juan Tejeda
Associate Planner



PLANNING & ZONING AGENDA ITEM REVIEW FORM

Planning & Zoning Commission Meeting

5. B.

Meeting Date: 07/09/2024

Submitted By: Juan Tejeda, Associate Planner, Development Services, Planning & Zoning

ITEM:

Discussion and possible action on any and all matters regarding Subdivision Case No. 2024-0299F. A request by Vega & Vega Engineering, on behalf of Von Verde Partners LLC, for the approval of Orchidea Park Townhomes Subdivision Phase 1 final plat. The property is located at the southeast corner of 24th Avenue and County 24th Street intersection, in San Luis, Arizona.

A. Staff Presentation

B. Action on Subdivision Case No. 2024-0299F

SUMMARY:

This subdivision will consist of approximately 153.4 acres. Orchidea Park Townhomes Subdivision will consist of 10.56 acres and the 2 remaining large lots are designated for future phases. Orchidea Park Townhomes Subdivision will contain 83 residential lots that range in size from approximately 2,700 square feet to 5,400 square feet. The property is located at southeast corner of 24th Avenue and County 24th Street intersection. Assessor's Parcel Number 227-14-002.

On June 14, 2023, City Council approved Rezoning Case No. 2023-0144 which rezoned a portion of Assessor's Parcel Number 227-14-002 from Medium Density Residential (R1-6) to Medium-High Density Residential (R-2). Medium-High Density Residential (R-2) allows the applicant to increase the residential density with smaller size lots.

The applicant has provided the information and materials necessary for the review of the final plat for Orchidea Park Townhomes Subdivision Phase 1.

STAFF RECOMMENDATION:

Staff recommends approval of Subdivision Case No. 2024-0299F with the following conditions:

1. Applicant must address comments from the Comment Letter dated July 5, 2024.
2. Development agreement to be approved prior to presenting this item to the City Council to establish the phasing of the development, including but not limited to right-of-way dedication, traffic study, traffic lights contributions, and schedule of improvements.
3. Orchidea Park Subdivision Preliminary Plat Amendment must be approved prior to presenting this item to council.

RECOMMENDED MOTION:

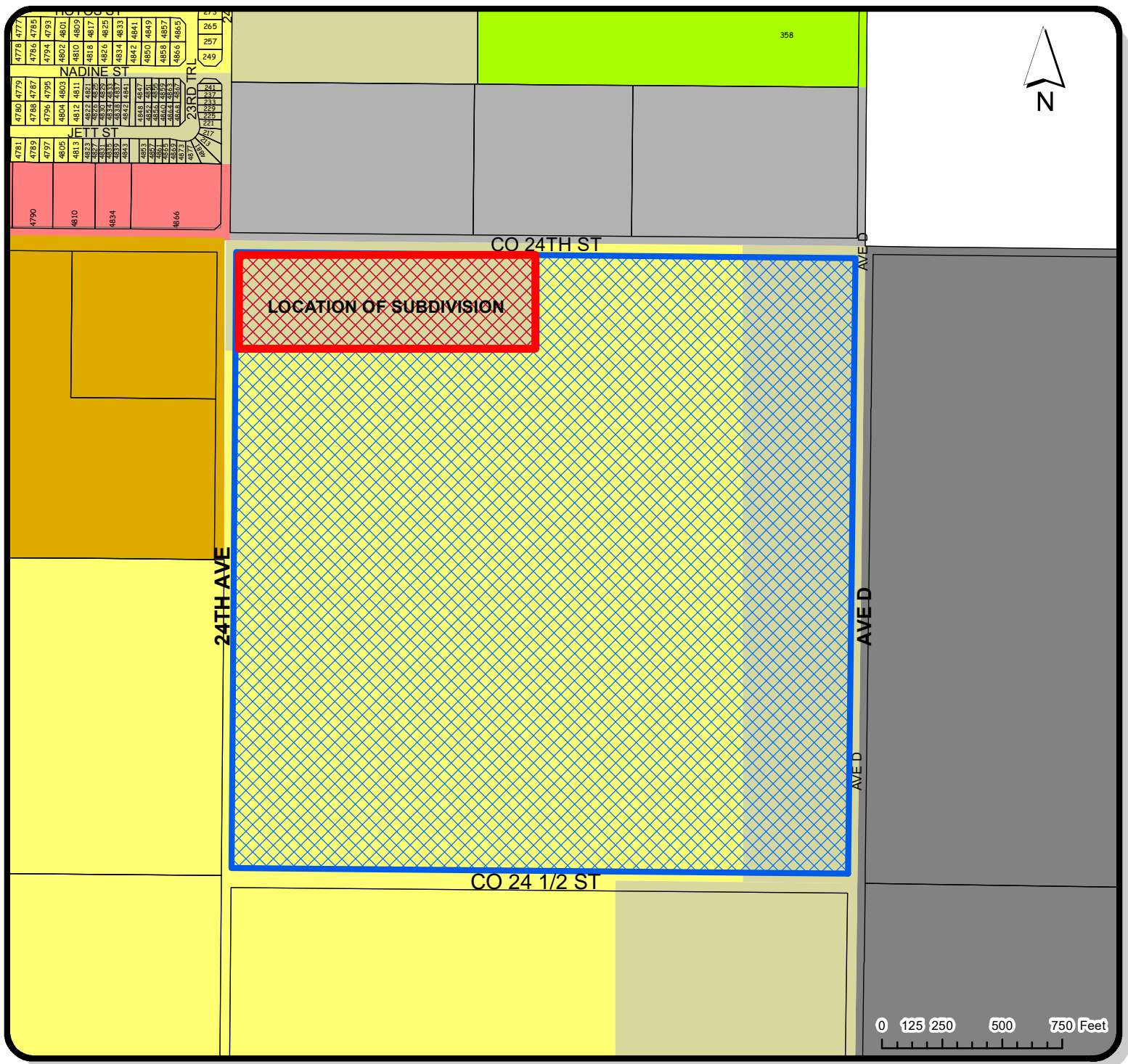
I MOVE TO FORWARD SUBDIVISION CASE NO. 2024-0299F TO THE CITY COUNCIL WITH THE RECOMMENDATION OF APPROVAL WITH CONDITIONS AS PRESENTED BY STAFF.

Attachments

Location Map

Final Plat

Comment Letter dated July 5, 2024










LOCATION OF SUBJECT PROPERTY

 PARCEL ID: 227-14-002

 LOCATION OF SUBDIVISION
ORCHIDEA PARK SUBDIVISION 1

LOCATION MAP

- Legend
- SINGLE RESIDENCE ZONING DISTRICTS
 -  R1-6
 -  RA-10
 - MULTIPLE RESIDENCE ZONING DISTRICTS
 -  R-2
 -  R-3
 - COMMERCIAL ZONING DISTRICTS
 -  C-2
 - INDUSTRIAL ZONING DISTRICTS
 -  LI
 -  HI

SUBDIVISION

CASE #
2024-0299F

DATE:
5/30/2024

CHECKED BY:
JUAN TEJEDA

PLANNING & ZONING



GIS

CREATED BY:
ISAAC GUTIERREZ

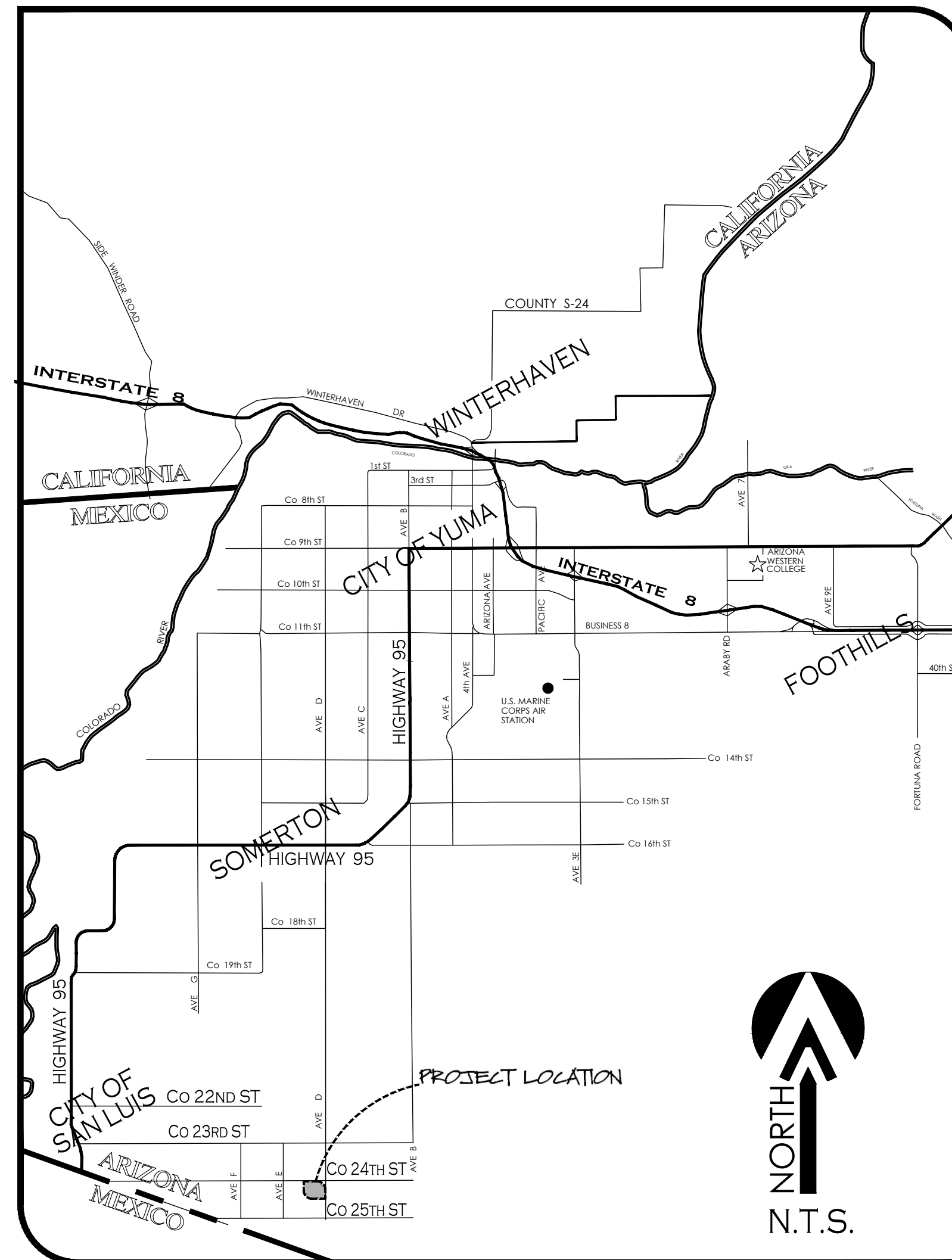
APPROVED BY:
JOSE A. GUZMAN

ORCHIDEA PARK TOWNHOMES

SUBDIVISION PHASE 1

LEGEND

	INDICATES EX. ASPHALT PAVEMENT
	INDICATES EX. CONCRETE
	INDICATES BOUNDARY LINE
	INDICATES CENTERLINE
	INDICATES RIGHT-OF-WAY LINE
	INDICATES EX. CMU WALL
	INDICATES EX. WATER LINE
	INDICATES EX. SEWER LINE
	INDICATES NEW ASPHALT PAVEMENT
	INDICATES NEW CONCRETE
	INDICATES NEW CMU WALL
	INDICATES EX. CONTOURS ELEVATION
	-NEW—PVC—S— INDICATES NEW SANITARY SEWER LINE
	NEW SEWER STUB
	NEW SEWER MANHOLE
	NEW 4" PVC SEWER SERVICE
	-NEW—PVC—W— INDICATES NEW WATER LINE
	NEW SINGLE WATER SERVICE
	FIRE LINE W/ END PLUG AND THRUST BLOCK
	NEW WATER VALVE
	NEW FIRE HYDRANT
	NEW TEMPORARY BLOWOFF VALVE
	INDICATES LOT NUMBERS
	NEW YUMA COUNTY STD. DETAIL No. 4-040 SUBD BOUNDARY MONUMENT
	NEW YUMA COUNTY STD. DETAIL No. 4-080 STREET MONUMENT
	EXISTING MONUMENT (TYPE AS SHOWN)
	INDICATES BRASS CAP
	INDICATES YUMA COUNTY RECORDERS
	INDICATES EXISTING POWER POLE
	INDICATES CALCULATED DATA
	INDICATES MEASURED DATA
	INDICATES EXISTING ELECTRICAL BOX
	INDICATES EXISTING GAS PADDLE
	INDICATES EXISTING MANHOLE
	INDICATES EXISTING FIRE HYDRANT
	INDICATES EXISTING WATER METER
	INDICATES EXISTING WATER VALVE
	INDICATES EX. CURB ELEVATION
	INDICATES EX. SIDEWALK ELEVATION
	INDICATES EX. ASPHALT ELEVATION
	INDICATES EX. NATURAL SOIL ELEVATION
	INDICATES NEW ASPHALT ELEVATION
	INDICATES NEW CURB ELEVATION
	INDICATES NEW GUTTER ELEVATION



VICINITY MAP
N.T.S.

GENERAL CONSTRUCTION NOTES:

- THE LOCATION OF UTILITIES IS APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. UTILITIES SHOWN HERE ARE FOR THE PURPOSE OF ASSISTING THE CONTRACTOR IN LOCATING SAID UTILITIES. THE CONTRACTOR IN ACCORDANCE WITH ARIZONA STATUTES SHALL CONTACT THE ARIZONA BLUE STAKE CENTER (1-800-782-5348) AT LEAST 48 HOURS MIN. PRIOR TO THE BEGINNING OF CONSTRUCTION AND OBTAIN ON-SITE UTILITIES LOCATIONS. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND SHALL BE RESOLVED PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DAMAGED TO A UTILITY SHALL BE REPAIRED AT THE CONTRACTOR EXPENSE.
- ALL CITY REQUIRED COMPACTION AND LABORATORY TESTS SHALL BE FURNISHED BY THE CONTRACTOR TO THE CITY PRIOR TO ACCEPTANCE OF THE PROJECT.
- THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR TWO YEARS AFTER THE FINAL ACCEPTANCE. ANY DEFECTIVE MATERIAL OR WORKMANSHIP SHALL BE REPLACED AND/OR REPAIRED PRIOR TO FINAL ACCEPTANCE.
- ALL ROAD SURFACES, EASEMENTS OR RIGHT OF WAYS DISTURBED BY CONSTRUCTION OF ANY PART OF THIS IMPROVEMENTS ARE TO BE RESTORED COMPLETELY BY THE CONTRACTOR TO THE BEFORE CONSTRUCTION CONDITION OR BETTER.
- DURING CONSTRUCTION, THE DEVELOPER/OWNER IS SOLELY RESPONSIBLE FOR INSURING THE PROPER FUNCTIONING OF THE EROSION AND SEDIMENT CONTROL MEASURES. THE DEVELOPER/OWNER SHALL TAKE WHATEVER MEASURES ARE REQUIRED TO INSURE THAT NO SEDIMENT LEAVES THE SITE.
- REFER TO SHEETS 2 OF 2 OF FINAL PLAT FOR ALL CORRECT DIMENSIONS.
- SEE SUBDIVISION PLAT FOR ALL BOUNDARY INFORMATION AND DIMENSIONS; DO NOT SCALE.
- ALL MATERIALS AND CONSTRUCTION HEREON SHALL CONFORM TO CITY OF SAN LUIS STANDARDS (CITY OF YUMA STANDARD DETAILS, MAG SPECIFICATIONS, CITY OF SAN LUIS SUPPLEMENT), AS ADOPTED BY THE CITY OF SAN LUIS. STANDARD SPECIFICATIONS AND CONSTRUCTION STANDARDS UNLESS OTHERWISE SHOWN ON THESE PLANS.
- THE ENGINEER MAKES NO REPRESENTATION OR GUARANTEE REGARDING EARTHWORK QUANTITIES OR THAT THE EARTHWORK FOR THIS PROJECT WILL BALANCE DUE TO VARIOUS FIELD CONDITIONS, CHANGING SOIL TYPES, ALLOWABLE CONSTRUCTION TOLERANCES AND CONSTRUCTION METHODS THAT ARE BEYOND THE CONTROL OF THE ENGINEER.
- NO STREET, WATER, SEWER AND IMPROVEMENTS TO BE ACCEPTED BY THE CITY OF SAN LUIS. FOR MAINTENANCE UNTIL "AS-BUILT", CERTIFIED, REPRODUCIBLE PLANS ARE FILED WITH AND ACCEPTED BY THE CITY OF SAN LUIS PUBLIC WORKS DEPARTMENT.
- CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL, LOCAL, STATE, AND FEDERAL SWPPP REQUIREMENTS AND BMPs.

INDEX:

Cover Sheet	0
Cover Sheet Plat	1 OF 2
Plat	2 OF 2
Paving and Grading Plan	1
Storm Drain Plan and Profile	2
Typical Street Sections	3
Water and Sewer Plan	4
Sewer Plan and Profile	5
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Stormwater Prevention Pollution Plan	8
SWPPP Erosion Control Details	9
24th Ave & Retention Basin Landscaping	L1.1
24th Ave Landscaping Plan	L1.2
24th Ave & Retention Basin Irrigation	L1.3
24th Ave Irrigation	L1.4
24TH AVE. & RETENTION BASIN Details	L1.5

OWNER:

VON VERDE PARTNERS LLC
10802 S CAMINO DEL SOL
YUMA, AZ, 85367

BASIS OF BEARING

THE NORTH SECTION LINE OF THE NE1/4 OF SECTION 14, T11S, R24W, G.S. & B.M., YUMA COUNTY, ARIZONA (BEING THE CENTERLINE OF COUNTY 24TH), AS SHOWN ON LOS MEZQUITES TOWNHOMES AS RECORDED IN BOOK 35 OF PLATS, PAGE 54, YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, ARIZONA.
BEARING S 89°32'26" E

UTILITIES WARNING

UTILITIES IN THE AREA OF CONSTRUCTION ARE APPROXIMATE ONLY. THEY HAVE BEEN LOCATED FROM FIELD INVESTIGATION AND THE BEST AVAILABLE UTILITY RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND REPAIR OF ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION. WHETHER SHOWN ON THESE PLANS OR NOT, THE CONTRACTOR SHALL CONTACT ALL RESPECTIVE UTILITIES AND HAVE ALL UTILITIES FIELD-LOCATED PRIOR TO CONSTRUCTION. IF ANY UNKNOWN SUBSURFACE STRUCTURES ARE ENCOUNTERED DURING CONSTRUCTION, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF ENGINEER OF RECORD PRIOR TO PROCEEDING.

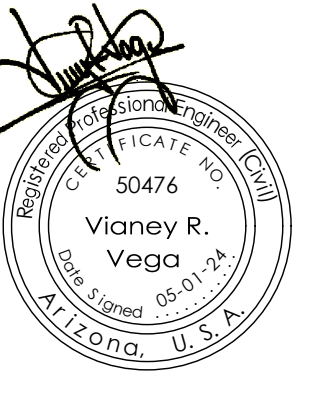
BENCHMARK:

TOP OF 1/2" REBAR W/ IS 22767
LOCATED AT THE INTERSECTION
OF 20th AVENUE AND COUNTY 24TH
STREET

ELEVATION: 159.25 FEET

ENGINEER:

VEGA & VEGA
ENGINEERING & PLC
2619 S. AVE. 2 1/4 E. STE#3 928-329-0000 Tel
Yuma, Az, 85364 928-247-6232 Fax
www.vegaNvega.com



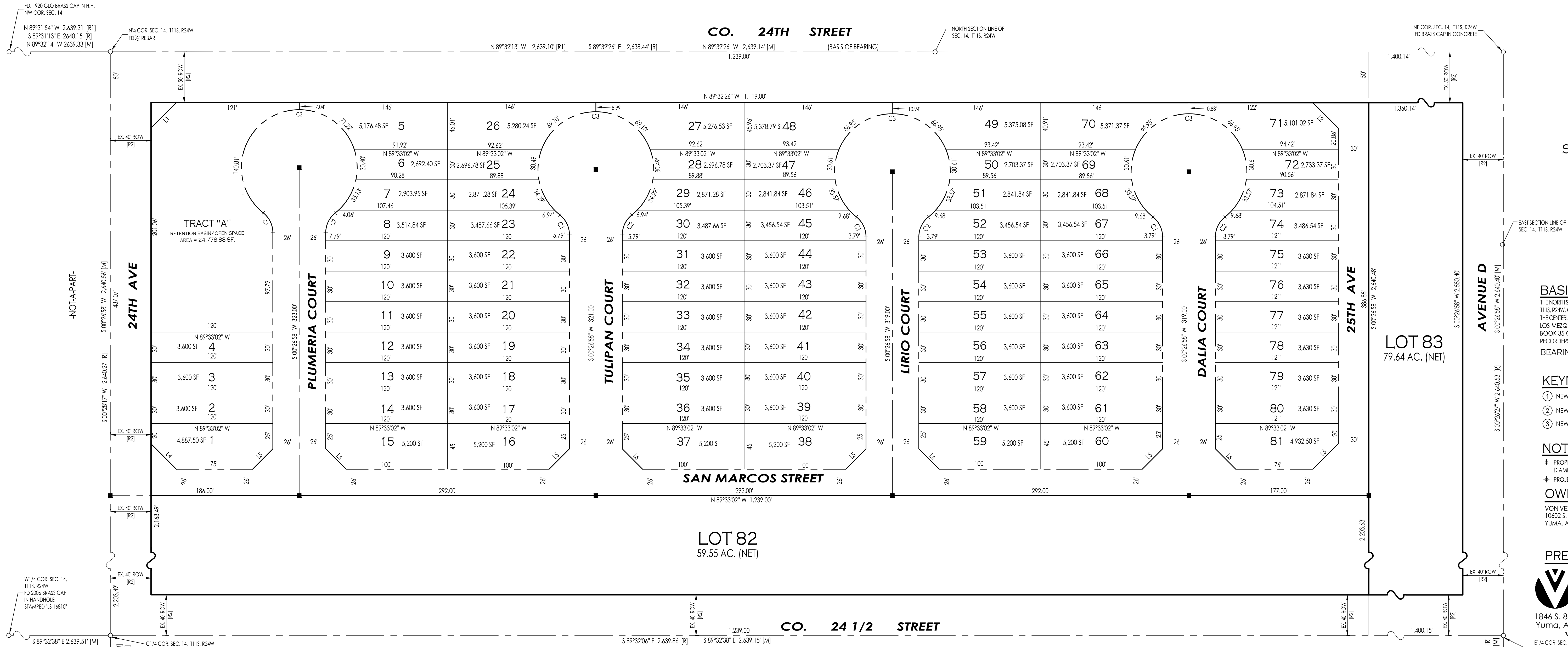
Notes:

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CALL TWO WORKING DAYS
BEFORE YOU DIG
1-800-STAKE-IT

ORCHIDEA PARK TOWNHOMES SUBDIVISION PHASE 1

A SUBDIVISION OF THE NE 1/4 OF SECTION 14, T11S, R24W,
G.&S.R.B.&M., YUMA COUNTY, ARIZONA.
MAY OF 2024 ACREAGE: 10.56 AC (NET)
FINAL PLAT



BASIS OF BEARING
THE NORTH SECTION LINE OF THE NE 1/4 OF SECTION 14, T11S, R24W, G.&S.R.B.&M., YUMA COUNTY, ARIZONA, (BEING THE CENTERLINE OF COUNTY 24TH), AS SHOWN ON LOS MEZQUITES TOWNHOMES AS RECORDED IN BOOK 35 OF PLATS, PAGE 54, YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, ARIZONA.
BEARING S 89°32'26" E

- KEYNOTES**
- ① NEW 8' UTILITY EASEMENT
 - ② NEW 1' NON-ACCESS EASEMENT
 - ③ NEW 10' DRAINAGE EASEMENT

NOTE
PROPERTY CORNERS TO BE MARKED BY 1/2" DIAMETER REBAR TAGGED WITH CAP L.S. 16528
PROJECT ZONING: R-1-6

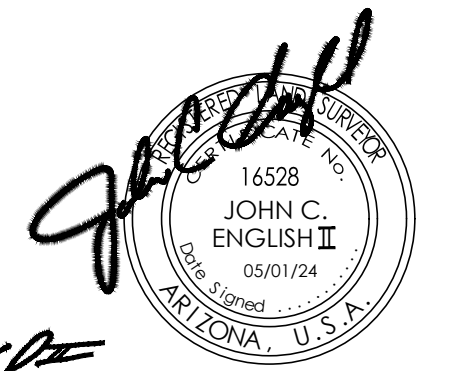
OWNER OF RECORD:
VON VERDE PARTNERS, LLC
10602 S. CAMINO DEL SOL
YUMA, AZ 85367

PREPARED BY:
vin 23-600
VEGA & VEGA
ENGINEERING, P.L.L.C.
1846 S. 8th Avenue 928-329-0000 Tel
Yuma, Az, 85364 928-247-6232 Fax
www.vegaengineers.com

E1/4 COR. SEC. 14, T11S, R24W
FD 1976 DEPARTMENT OF INTERIOR
BRASS CAP

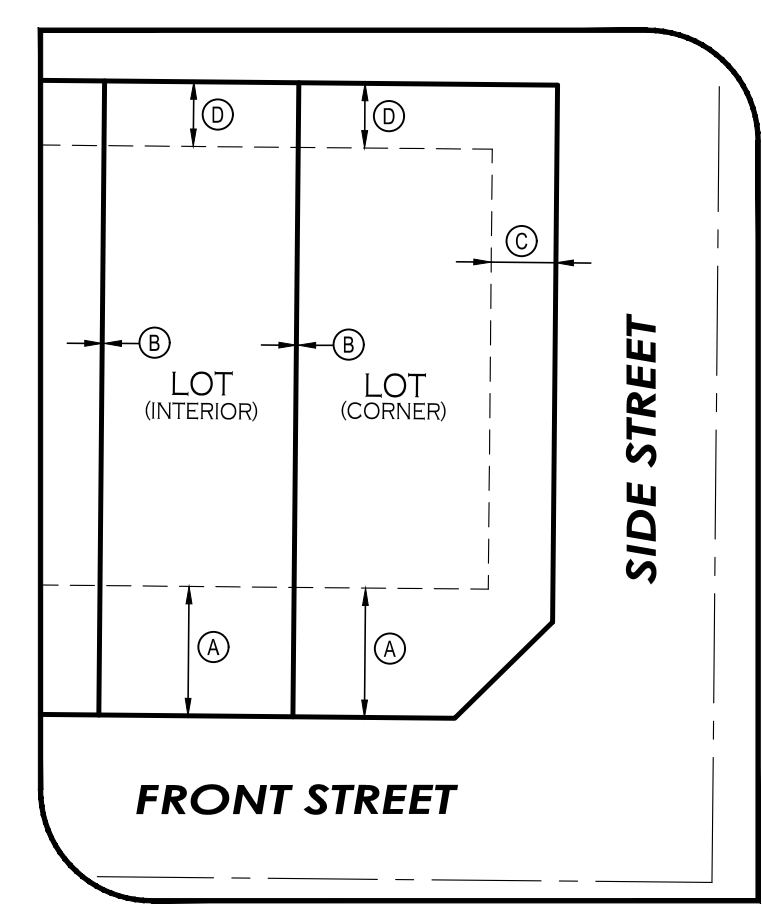
SE COR. SEC. 14, T11S, R24W
FD BRASS CAP IN HH LS18679

LAND SURVEYOR'S CERTIFICATE:
HEREBY CERTIFY THAT I AM A LAND SURVEYOR LISTED ON THE ROSTER OF ACTIVE REGISTRANTS BY THE STATE BOARD OF TECHNICAL REGISTRATION OF ARIZONA AND THAT THIS MAP CONSISTING OF TWO (2) SHEETS CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION DURING APRIL 2024 THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN, OR WILL BE IN PLACE WITHIN ONE YEAR FROM RECORDATION OF THIS MAP. THE MONUMENTS WILL BE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED. THE SURVEY IS TRUE AND COMPLETE AS SHOWN. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS PARTS.



BY: *John C. English II*
JOHN C. ENGLISH II R.L.S. No. 16528

TYP. LOT BUILDING SETBACK LAYOUT



- BUILDING SETBACKS KEYNOTES**
- (A) FRONT YARD SETBACK = 20 FEET
 - (B) SIDE YARD SETBACK = 0 FEET
 - (C) SIDE STREET YARD SETBACK = 10 FEET
 - (D) REAR YARD SETBACK = 10 FEET

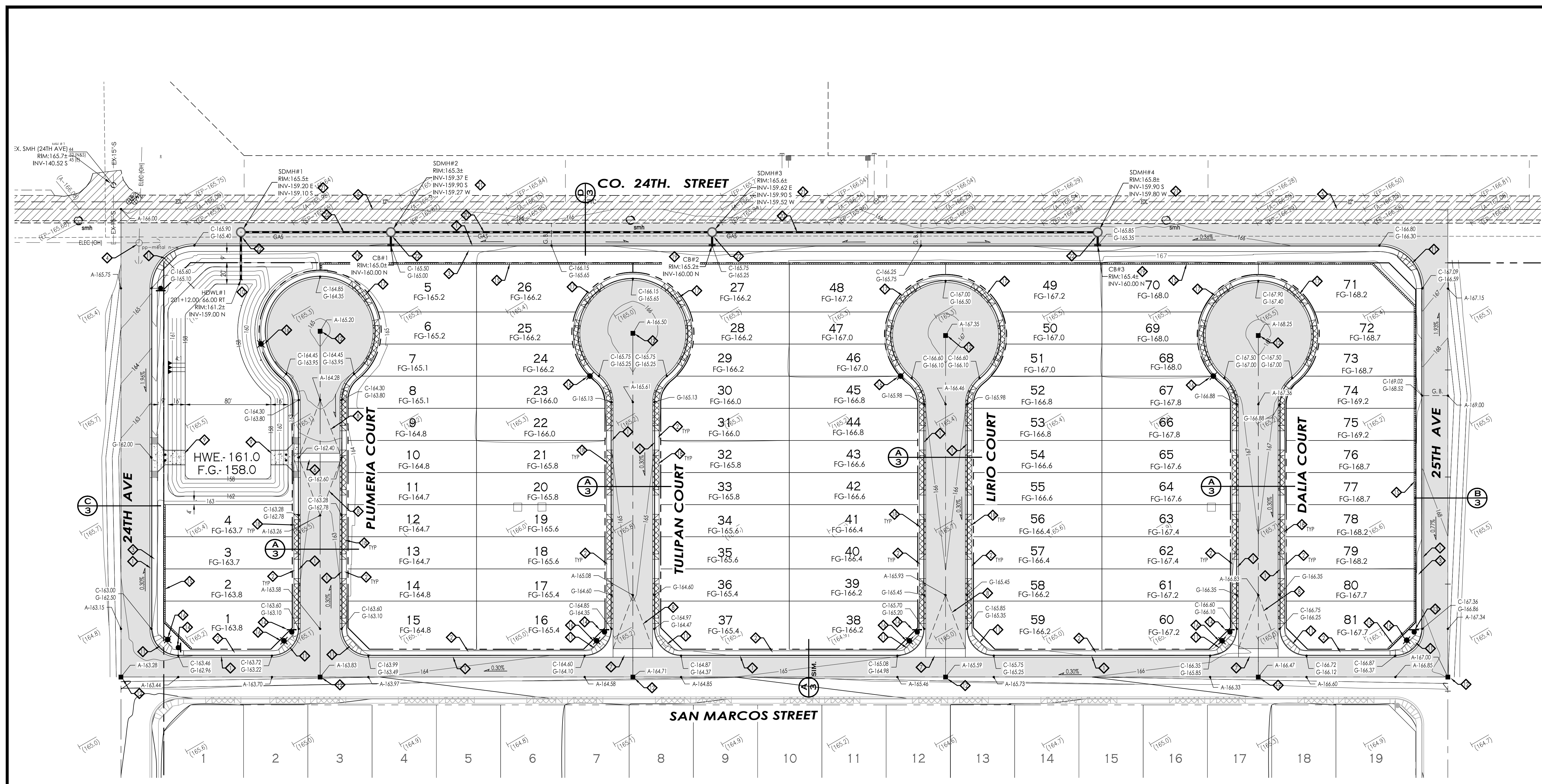
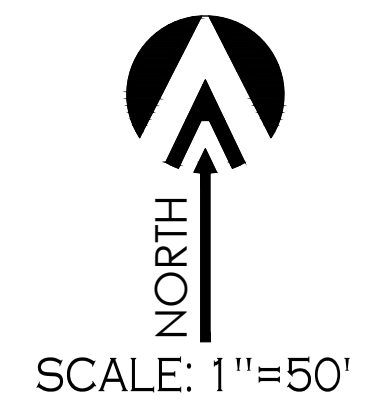
LINE DATA

LINE NUMBER	BEARING	LENGTH (FEET)
L1	S 45°27'16" W	35.35'
L2	N 44°32'44" W	35.36'
L3	S 45°26'58" W	35.36'
L4	N 44°33'02" W	35.36'
L5	S 45°26'58" W	28.28'
L6	N 44°33'02" W	28.28'

CURVE TABLE

NUMBER	DELTA ANGLE	CHORD LENGTH	TANGENT	RADIUS	ARC LENGTH
C1	51°32'28"	21.74	12.07	25.00'	22.49'
C2	51°32'28"	21.74	12.07	25.00'	22.49'
C3	283°04'57"	70.90	45.27	57.00'	281.42'

- LEGEND**
- INDICATES BOUNDARY LINE
 - - - - - INDICATES CENTERLINE
 - · - · - INDICATES EASEMENT LINE
 - 11 NEW LOT NUMBER
 - NEW YUMA COUNTY STD. DETAIL No. 4-080 STREET MONUMENT
 - NEW SUBDIVISION BOUNDARY MONUMENT AS PER CITY OF YUMA STD. #4-015
 - EXISTING MONUMENT (TYPE AS SHOWN)
 - INDICATES BRASS CAP
 - Y.C.R. INDICATES YUMA COUNTY RECORDERS
 - G.L.O. INDICATES GENERAL LAND OFFICE
 - N.A.E. INDICATES NON ACCESS EASEMENT
 - [M] INDICATES MEASURED DATA
 - [R] DATA REFERS TO U.S. G.L.O. MAP SECTION 14, TOWNSHIP 11 SOUTH, RANGE 24 WEST GILA & SALT RIVER MERIDIAN, ARIZONA, FILED MARCH 12, 1922 IN THE U.S. SURVEYOR GENERAL'S OFFICE
 - [R1] DATA REFERS TO LOS MEZQUITES TOWNHOMES AS RECORDED IN BOOK 35 OF PLATS, PAGE 54, YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, ARIZONA.
 - [R2] DATA REFERS TO WARRANTY DEED WITH FEE#2012-29216, AS RECORDED IN YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, ARIZONA.



LEGEND

- | | | | |
|--|--|--|--------------------------------------|
| | INDICATES EX. ASPHALT PAVEMENT | | INDICATES EXISTING STREET SIGN |
| | INDICATES EX. CONCRETE | | INDICATES EXISTING MANHOLE |
| | INDICATES BOUNDARY LINE | | INDICATES EXISTING FIRE HYDRANT |
| | INDICATES CENTERLINE | | INDICATES EXISTING WATER METER |
| | INDICATES RIGHT-OF-WAY LINE | | INDICATES EXISTING WATER VALVE |
| | INDICATES EX. FENCE | | INDICATES NEW STREET LIGHT |
| | INDICATES EX. ELECTRICAL OVERHEAD LINE | | INDICATES EX. CURB ELEVATION |
| | INDICATES EX. WATER LINE | | INDICATES EX. SIDEWALK ELEVATION |
| | INDICATES EX. SEWER LINE | | INDICATES EX. ASPHALT ELEVATION |
| | INDICATES EX. GAS LINE | | INDICATES EX. NATURAL SOIL ELEVATION |
| | NEW YUMA COUNTY STD. DETAIL
No. 4-030 SUB'D BOUNDARY MONUMENT | | INDICATES NEW ASPHALT PAVEMENT |
| | NEW YUMA COUNTY STD. DETAIL
No. 4-080 STREET MONUMENT | | INDICATES NEW CONCRETE |
| | EXISTING MONUMENT (TYPE AS SHOWN) | | INDICATES NEW CMU WALL |
| | INDICATES BRASS CAP | | INDICATES EXISTING CMU WALL |
| | INDICATES YUMA COUNTY RECORDERS | | |

KEYNOTES:

- NEW VERTICAL CURB & GUTTER - AS PER C.O.Y. STD. 3-060
- NEW 4' CONCRETE SIDEWALK - AS PER C.O.Y. STD. 3-135
- NEW 5' CONCRETE SIDEWALK - AS PER C.O.Y. STD. 3-135
- EXISTING POWER POLE TO BE RELOCATED BY APS SAWCUT 1' OF EXISTING PAVEMENT, REMOVE AND REPLACE WITH NEW PAVEMENT - SEE DETAIL
- NEW 8' CROSS GUTTER - AS PER C.O.Y. STD. 3-090
- NEW 8' CROSS VALLEY GUTTER - AS PER C.O.Y. STD. 3-085
- NEW 50' CROWN TRANSITION
- NEW 13' CONCRETE SPILLWAY - SEE DETAIL (B, 7)
- NEW STORMDRAIN OUTLET STRUCTURE - SEE DETAIL (D, 7)
- NEW CONCRETE SIDEWALK RAMP (25' RADIUS MEASURED TO FACE OF CURB) - AS PER C.O.Y. STD. 3-145
- NEW STREET MONUMENT - AS PER C.O.Y. STD. 4-030
- NEW DOUBLE FACED STREET SIGN - AS PER C.O.Y. STD. 8-020
- NEW DOUBLE FACED STREET SIGN-STOP SIGN - AS PER C.O.Y. STD. 8-020
- NEW 6' HIGH (ON THE LOT SIDE) CMU WALL - AS PER C.O.Y. STD. 1-015 (CMU WALL LOCATED WITHIN THE FRONT OR SIDE SETBACK OF LOTS MUST BE 3/8" HIGH MAXIMUM)
- NEW STREET LIGHT - TYPE A (4700 LUMENS) AS PER C.O.Y. STD. 7-010 AND C.O.Y. STD. 7-015
- NEW 16' WIDE DRIVEWAY - AS PER C.O.Y. STD. 3-105
- NEW 32' WIDE DRIVEWAY - AS PER C.O.Y. STD. 3-105
- NEW TYPE 'E' DOUBLE CATCH BASIN - AS PER C.O.Y. STD. 11-025
- NEW 18' STORMDRAIN - AS PER C.O.Y. STD. 5-010
- NEW 5' DIA STORMDRAIN MANHOLE (E, 7, F, 7)
- ADJUST EXISTING GAS LINE AS NECESSARY FOR NEW STORMDRAIN

DRAINAGE REPORT

1. DRAINAGE REPORT
DRAINAGE AREA # 1
USING THE RATIONAL METHOD
Q = CIA = PEAK RUNOFF [VOL.]
(C) PEAK RATE RUNOFF = 0.43
(1) INTENSITY OF RAINFALL = 1.22 IN / HR
(A) DRAINAGE AREA = 541,395.41 SF. = 12.43 SF
Q = (0.43)(1.22)(12.43) = 6,520.8 CF
TOTAL RUNOFF = 7,200 (6,520.8) = 46,949.76 CF
STORAGE VOLUME PROVIDED AREA # 1
RETENTION BASIN
TOP AREA = 20,623.90 SF
BOTTOM AREA = 11,660.62 SF
DEPTH = 3 FT
VOL. PROVIDED = [20,623.90 + 11,660.62] (4.0) = 64,566 CF
TOTAL VOL. PROVIDED = 64,566 CF
FACTOR OF SAFETY = $\frac{64,566 \text{ CF}}{46,949.76 \text{ CF}} = 1.37 > 1.25$ THEREFORE OK.

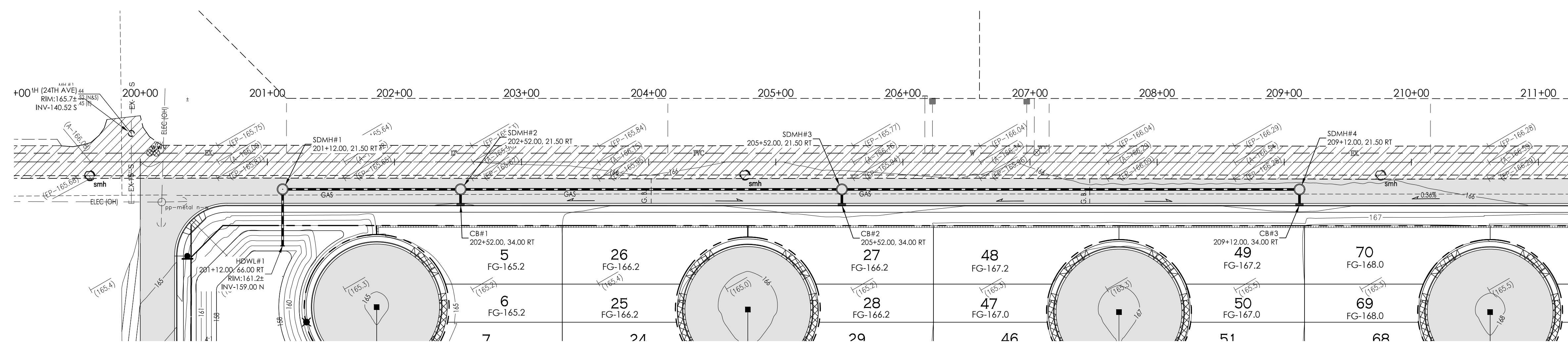
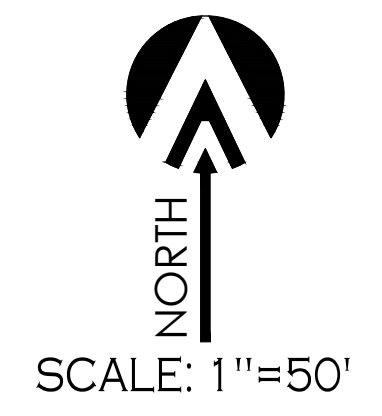
OPEN SPACE CALCULATIONS

PROJECT AREA : 459,993.60 SF. = 10.56 AC
5% OPEN SPACE REQUIRED = 459,993.60 SF. X 5% = 22,999.68 SF.
OPEN SPACE PROVIDED : AREA RETENTION BASIN = 24,778.88 SF.
24TH AVENUE LANDSCAPING AREA = 2,921.82 SF.
CO. 24TH STREET LANDSCAPING AREA = 11,328.14 SF.
39,028.84 SF.
TOTAL AREA OPEN SPACE PROVIDED : = 39,028.84 SF.
39,028.84 SF. > 22,999.68 SF THEREFORE OK

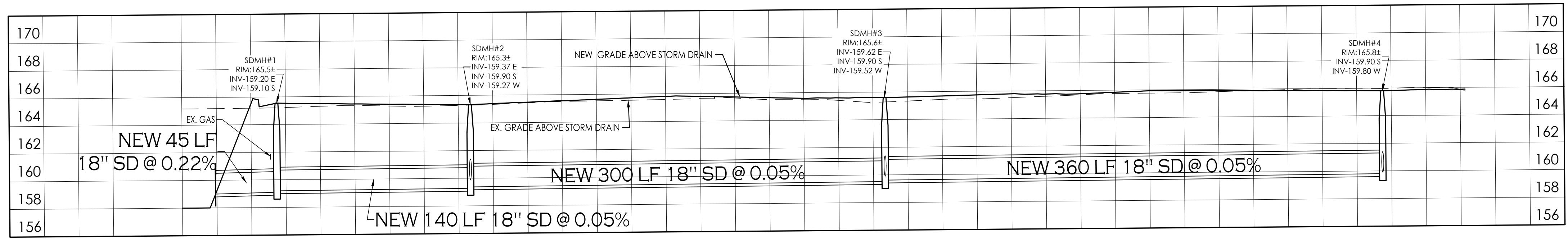


Notes:
Scale: N.T.S. Date: MAY 2024
Drawn: staff Job #: vnv23-600
Checked: vna
Sheet

PAVING & GRADING
ORCHIDEA PARK
TOWNHOMES SUBDIVISION PHASE I



24th STREET STORMDRAIN PROFILE



STORMDRAIN PLAN & PROFILE
 ORCHIDEA PARK
 TOWNHOMES SUBDIVISION PHASE I

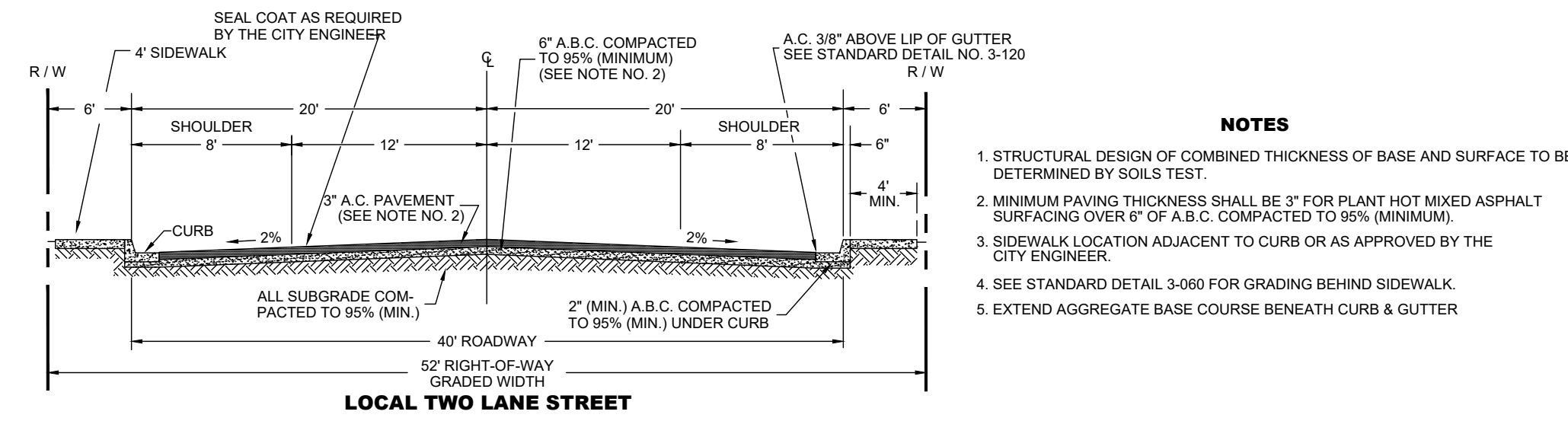


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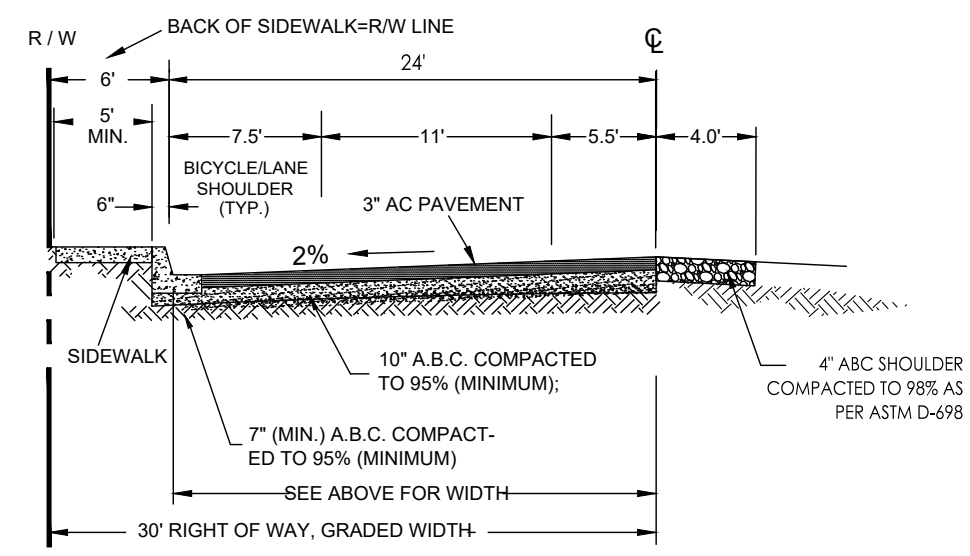
UTILITIES WARNING
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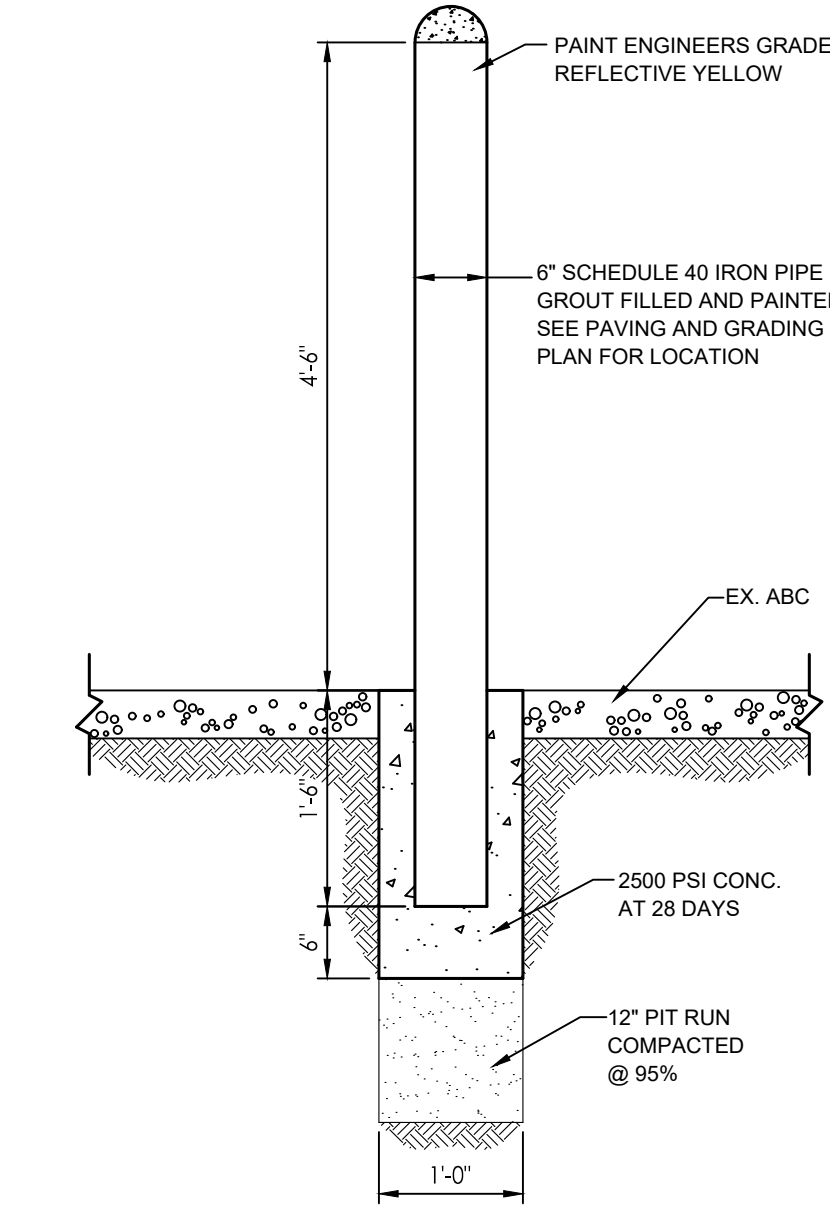
LOCAL TWO LANE STREET
CITY OF YUMA STD. 2-030 (MODIFIED) NTS **A**
3

- NOTES**
1. STRUCTURAL DESIGN OF COMBINED THICKNESS OF BASE AND SURFACE TO BE DETERMINED BY SOILS TEST.
 2. MINIMUM PAVING THICKNESS SHALL BE 3" FOR PLANT HOT MIX ASPHALT SURFACING OVER 6" OF A.B.C. COMPACTED TO 95% (MINIMUM).
 3. SIDEWALK LOCATION ADJACENT TO CURB OR AS APPROVED BY THE CITY ENGINEER.
 4. SEE STANDARD DETAIL 3-060 FOR GRADING BEHIND SIDEWALK.
 5. EXTEND AGGREGATE BASE COURSE BENEATH CURB & GUTTER

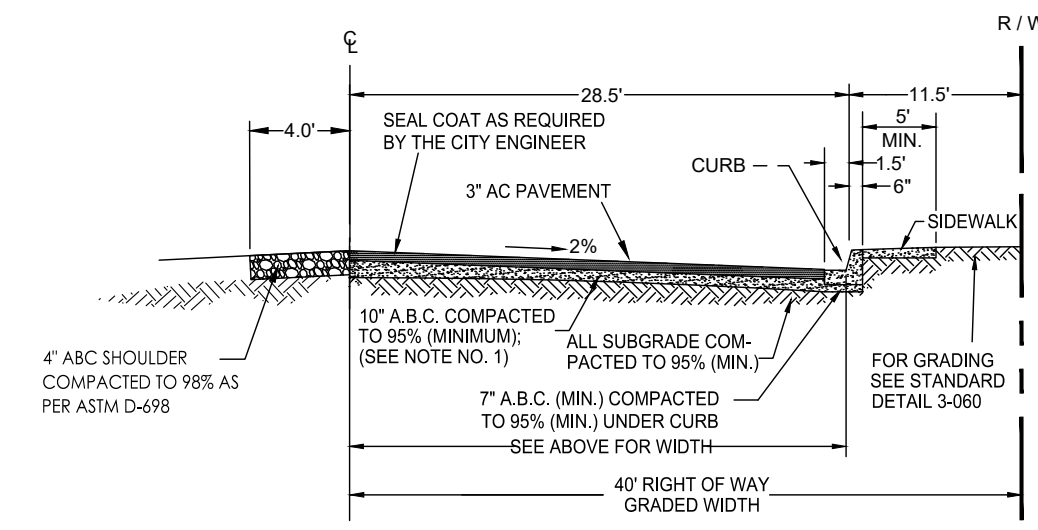


25TH AVENUE
CITY OF YUMA STD. 2-025 (MODIFIED) NTS **B**
3

- NOTES**
1. STRUCTURAL DESIGN OF COMBINED THICKNESS OF BASE AND SURFACE TO BE DETERMINED BY SOILS TEST.
 2. MINIMUM PAVING THICKNESS - 3" FOR PLANT HOT MIX ASPHALT SURFACING OVER 10" OF A.B.C. COMPACTED TO 95% (MINIMUM).
 3. SIDEWALK LOCATION ADJACENT TO CURB OR AS APPROVED BY THE CITY ENGINEER.
 4. ALL PAVEMENT MARKING AND RAISED PAVEMENT MARKER MATERIAL MUST BE IN ACCORDANCE WITH A.D.O.T. MANUAL FOR SIGNING AND MARKING, LATEST EDITION.
 5. FOR STREET RECONSTRUCTION PROJECTS ONLY WHEN DESIGNATED BY THE CITY ENGINEER.

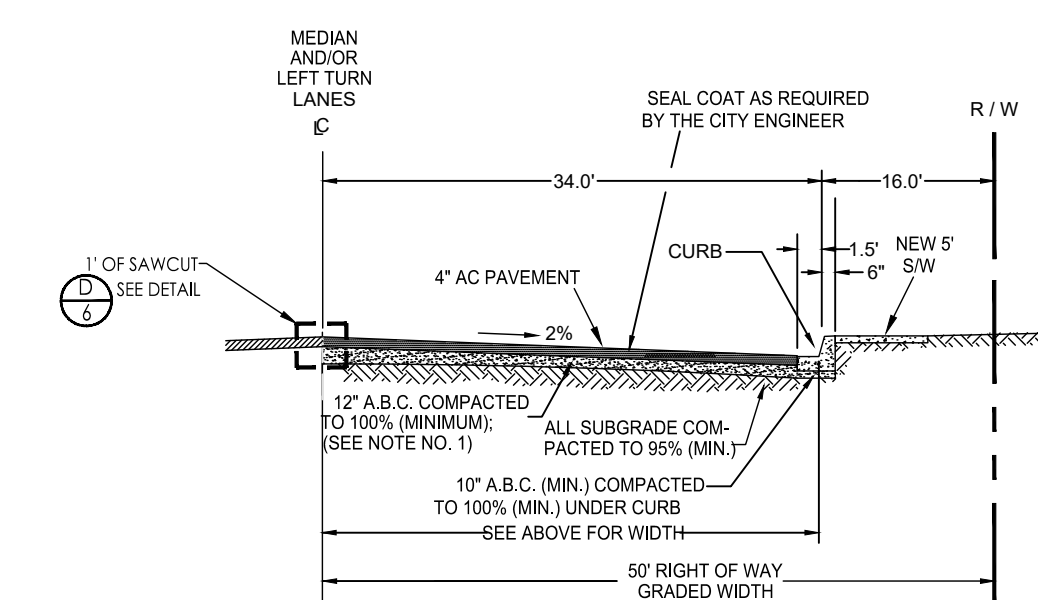


GUARD POST DETAIL
E
3



24TH AVENUE
CITY OF YUMA STD. 2-020 (MODIFIED) NTS **C**
3

- NOTES**
1. STRUCTURAL DESIGN OF COMBINED THICKNESS OF BASE AND SURFACE TO BE DETERMINED BY SOILS TEST.
 2. MINIMUM PAVING THICKNESS - 3" FOR PLANT HOT MIX ASPHALT SURFACING OVER 12" OF A.B.C. COMPACTED TO 95% (MINIMUM).
 3. SIDEWALK LOCATION ADJACENT TO CURB OR AS APPROVED BY THE CITY ENGINEER.
 4. ALL PAVEMENT MARKING AND RAISED PAVEMENT MARKER MATERIAL MUST BE IN ACCORDANCE WITH A.D.O.T. MANUAL FOR SIGNING AND MARKING, LATEST EDITION.
 5. CASE 1 OR 2 MUST BE USED WHEN THERE ARE DRIVEWAYS ALONG COLLECTOR.
 6. CASE 3 MAY BE USED WHEN THERE ARE NO DRIVEWAYS ALONG COLLECTOR.
 7. BIKE LANES PROVIDED BUT NOT STRIPED.



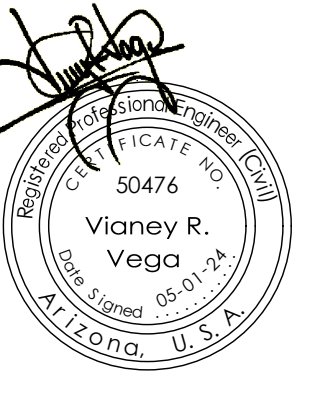
Co. 24TH STREET
CITY OF YUMA STD. 2-015 (MODIFIED) NTS **D**
3

- NOTES**
1. Structural design of combined thickness of base and surface to be determined by soil tests. While the soil test may require a greater paving thickness, the following minimum paving thickness is required: four inch (4") for plant hot mix asphalt surfacing over twelve inches (12") of A.B.C. compacted to 100% (minimum).
 2. Sidewalk location adjacent to curb or as approved by the City Engineer.
 3. All pavement striping/markings and/or raised pavement markers shall be in accordance with ADOT manual for signing and marking, latest edition, with the exception of bikeways which shall be marked and signed in accordance with Standard Detail 2-085.
 4. Refer to Standard Detail 2-010 for bike path information.
 5. Bike paths adjacent to Minor Arterial streets may require shifting of street centerline 16' to accommodate 10' minimum width for two-way bike path. Path right-of-way may overlap utility corridor. This may increase right-of-way width needed for a Minor Arterial plus bike path beyond the 98' shown.

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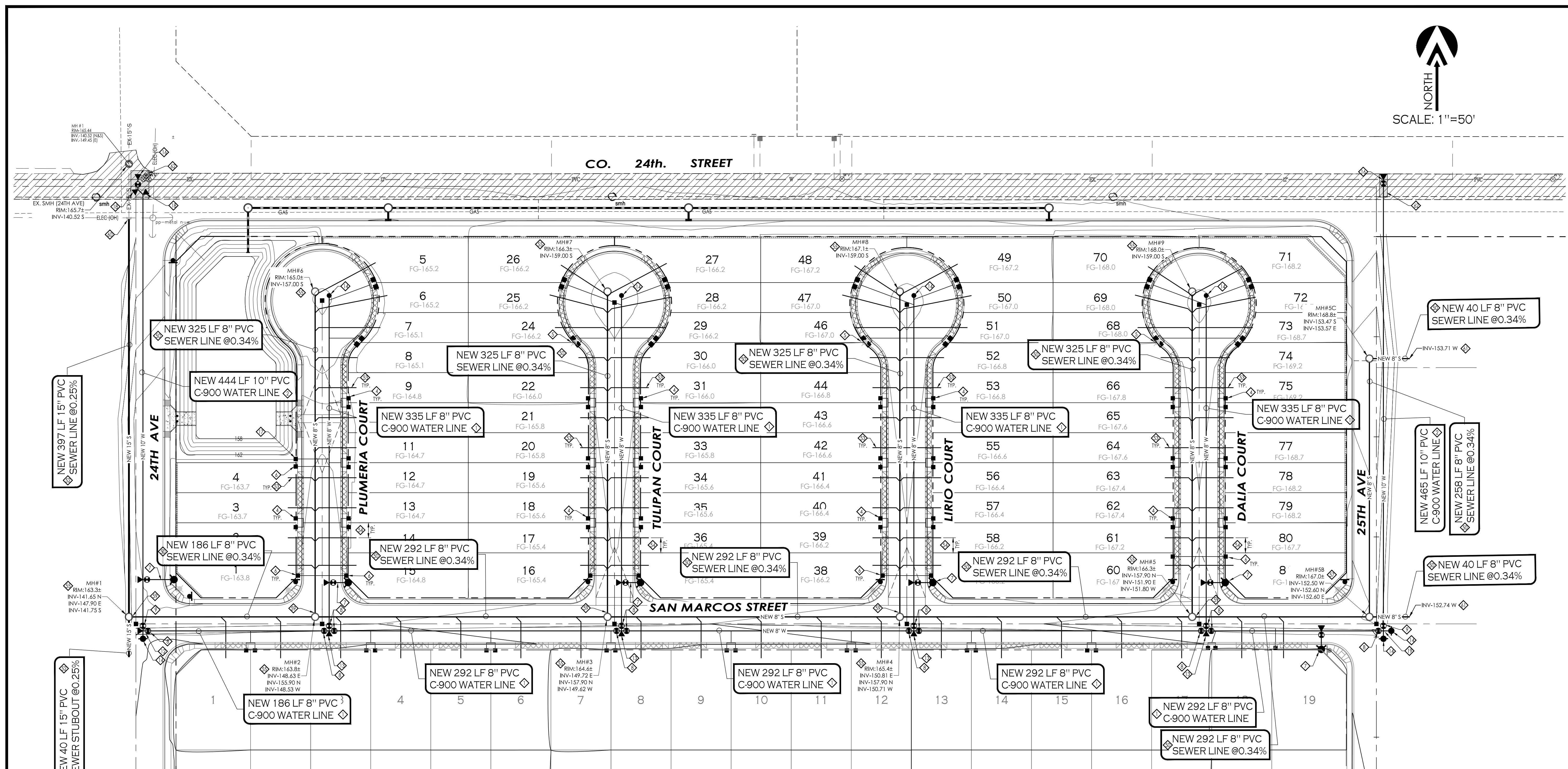
CALL TWO WORKING DAYS BEFORE YOU DIG
1-800-STAKE-IT



Notes:

Scale: N.T.S. Date: MAY 2024
Drawn: staff Job #: vrv23-600
Checked: vna
Sheet

NORTH
SCALE: 1"=50'



NEW 40 LF 15" PVC SEWER STUBOUT @0.25%

NEW 325 LF 8" PVC SEWER LINE @0.34%

NEW 444 LF 10" PVC C-900 WATER LINE

NEW 186 LF 8" PVC SEWER LINE @0.34%

NEW 325 LF 8" PVC SEWER LINE @0.34%

NEW 335 LF 8" PVC C-900 WATER LINE

NEW 292 LF 8" PVC SEWER LINE @0.34%

NEW 325 LF 8" PVC SEWER LINE @0.34%

NEW 335 LF 8" PVC C-900 WATER LINE

NEW 292 LF 8" PVC SEWER LINE @0.34%

NEW 325 LF 8" PVC SEWER LINE @0.34%

NEW 335 LF 8" PVC C-900 WATER LINE

NEW 292 LF 8" PVC SEWER LINE @0.34%

NEW 335 LF 8" PVC C-900 WATER LINE

NEW 40 LF 8" PVC SEWER LINE @0.34%

NEW 465 LF 10" PVC C-900 WATER LINE
NEW 258 LF 8" PVC SEWER LINE @0.34%

NEW 40 LF 8" PVC SEWER LINE @0.34%

LEGEND

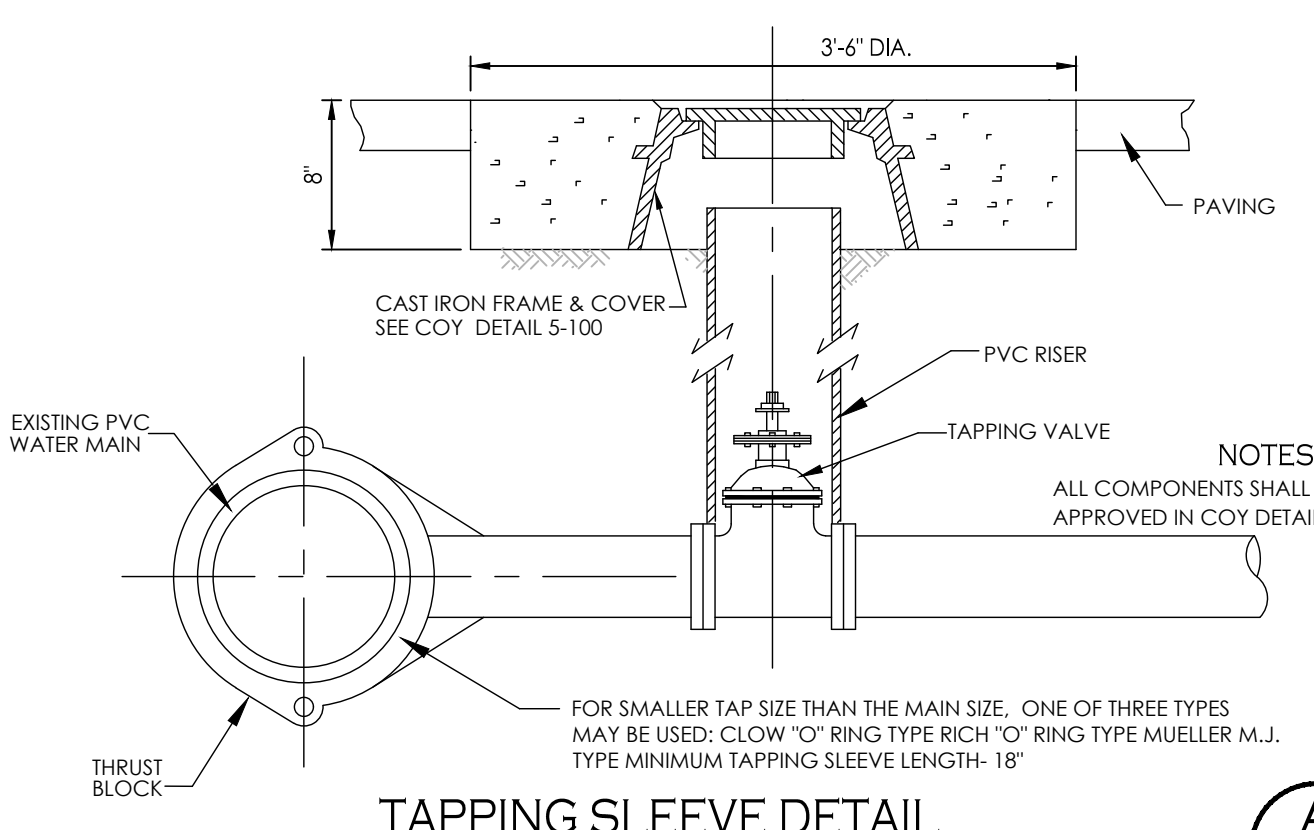
- 163 INDICATES EX. CONTOURS ELEVATION
- EX-6"-PVC-W- INDICATES EX. WATER LINE
- EX-8"-PVC-S- INDICATES EX. SEWER LINE
- MH INDICATES EXISTING MANHOLE
- FH INDICATES EXISTING FIRE HYDRANT
- WM INDICATES EXISTING WATER METER
- WV INDICATES EXISTING WATER VALVE
- 50 INDICATES LOT NUMBERS
- NEW-PVC-S- INDICATES NEW SANITARY SEWER LINE
- NEW SEWER STUB
- NEW SEWER MANHOLE
- NEW SEWER CLEANOUT
- NEW 4" PVC SEWER SERVICE
- NEW-PVC-W- INDICATES NEW WATER LINE
- NEW SINGLE WATER SERVICE
- NEW WATER W/ END PLUG AND THRUST BLOCK
- NEW WATER VALVE
- NEW FIRE HYDRANT
- NEW TEMPORARY BLOWOFF VALVE

WATER KEYNOTES:

- INSTALL 8" WATER MAIN - AS PER C.O.Y. STD. 5-010
- INSTALL 10" WATER MAIN - AS PER C.O.Y. STD. 5-010
- INSTALL 12" WATER MAIN - AS PER C.O.Y. STD. 5-010
- INSTALL 1" DUAL WATER SERVICE (TYP.) - AS PER C.O.Y. STD. 5-045 & 5-055 AND SEE DETAIL (S)
- SEPARATE WATER METERS AT THESE LOCATIONS TO ALLOW FOR STREET LIGHT PLACEMENT
- INSTALL 1" SINGLE WATER SERVICE (TYP.) - AS PER C.O.Y. STD. 5-035 & 5-055.
- NEW COMPLETE FIRE HYDRANT - AS PER C.O.Y. STD. 5-155.
- NEW 8" WATER VALVE - AS PER C.O.Y. STD. 5-065, 5-075 & 5-080.
- NEW 10" WATER VALVE - AS PER C.O.Y. STD. 5-065, 5-075 & 5-080.
- NEW 12" WATER VALVE - AS PER C.O.Y. STD. 5-065, 5-075 & 5-080.
- NEW 12"x8" PVC TEE W/THRUST BLOCK - AS PER C.O.Y. STD. 5-020 & 5-025
- NEW 10"x8" PVC TEE W/THRUST BLOCK - AS PER C.O.Y. STD. 5-020 & 5-025
- NEW 8"x8" PVC TEE W/THRUST BLOCK - AS PER C.O.Y. STD. 5-020 & 5-025
- NEW WATERMAIN BLOWOFF VALVE - AS PER C.O.Y. STD. 5-085.
- REMOVE EXISTING CAP AND CONNECT NEW WATER LINE TO EX. WATER SYSTEM. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING WATER MAIN. IF CONDITIONS ARE DIFFERENT THAN WHAT IS SHOWN ON PLANS CONTRACTOR TO NOTIFY ENGINEER BEFORE MAKING ANY DETERMINATION.
- NEW 10" TAPPING SLEEVE, CONNECT NEW 10" WATER LINE TO EX. 12" WATER MAIN. SAWCUT EXISTING PAVEMENT AS NEEDED FOR CONNECTION AND REPLACE WITH NEW PAVEMENT. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING 12" WATER MAIN. IF CONDITIONS ARE DIFFERENT THAN WHAT IS SHOWN ON PLANS CONTRACTOR TO NOTIFY ENGINEER BEFORE MAKING ANY DETERMINATION - SEE DETAILS (A)
- INSTALL 2" WATER SERVICE (TYP.) - AS PER C.O.Y. STD. 5-040 & 5-060.
- NEW 12" 45° PVC BEND W/THRUST BLOCK - AS PER C.O.Y. STD. 5-020 & 5-025
- NEW 10"x10"x8" CROSS W/THRUST BLOCK - AS PER C.O.Y. STD. 5-020 & 5-025

SEWER KEYNOTES:

- INSTALL 8" SEWER MAIN - AS PER C.O.Y. STD. 5-010
- INSTALL 10" SEWER MAIN - AS PER C.O.Y. STD. 5-010
- INSTALL 15" SEWER MAIN - AS PER C.O.Y. STD. 5-010
- NEW 4" PVC SEWER SERVICE - AS PER C.O.Y. STD. 6-015.
- CONSTRUCT ALL SEWER SERVICES TO CENTER OF THE LOT, UNLESS NOTED OTHERWISE.
- NEW SANITARY SEWER MANHOLE - AS PER C.O.Y. STD. 6-020, 6-035 & 6-040.
- NEW SHALLOW SEWER MANHOLE - AS PER MAG STD. 420 & 422
- NEW SANITARY SEWER CLEANOUT - AS PER C.O.Y. STD. 6-005
- NEW TYPE 'A' DROP SEWER CONNECTION - AS PER C.O.Y. STD. 6-055
- NEW TYPE 'B' DROP SEWER CONNECTION - AS PER C.O.Y. STD. 6-060
- CONNECT NEW SEWER LINE TO EXISTING SANITARY SEWER. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING SEWER. IF CONDITIONS ARE DIFFERENT THAN WHAT IS SHOWN ON PLANS CONTRACTOR TO NOTIFY ENGINEER BEFORE MAKING ANY DETERMINATION
- NEW WATERTIGHT PLUG
- NEW TYPE 'B' PAVEMENT REPLACEMENT - AS PER C.O.Y. STD 5-016



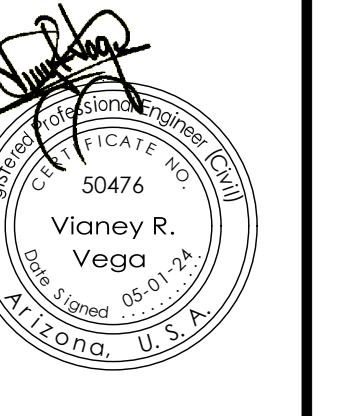
TAPPING SLEEVE DETAIL

A
4

NOTES
ALL COMPONENTS SHALL BE PER THOSE APPROVED IN COY DETAILS

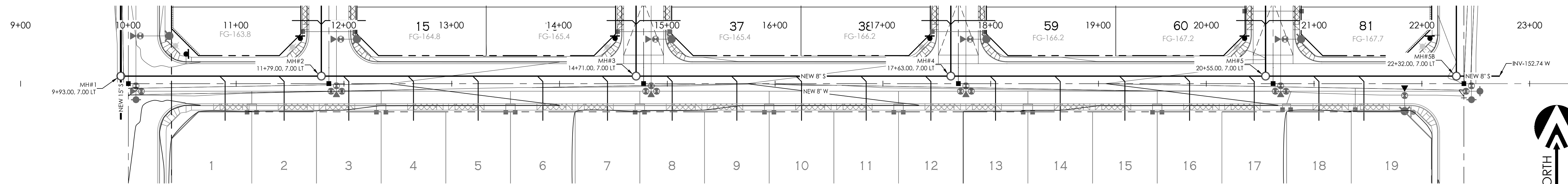
FOR SMALLER TAP SIZE THAN THE MAIN SIZE, ONE OF THREE TYPES MAY BE USED: CLOW "O" RING TYPE RICH "O" RING TYPE MUELLER M.J. TYPE MINIMUM TAPPING SLEEVE LENGTH-18"

WATER & SEWER
ORCHIDEA PARK
TOWNHOMES SUBDIVISION PHASE I



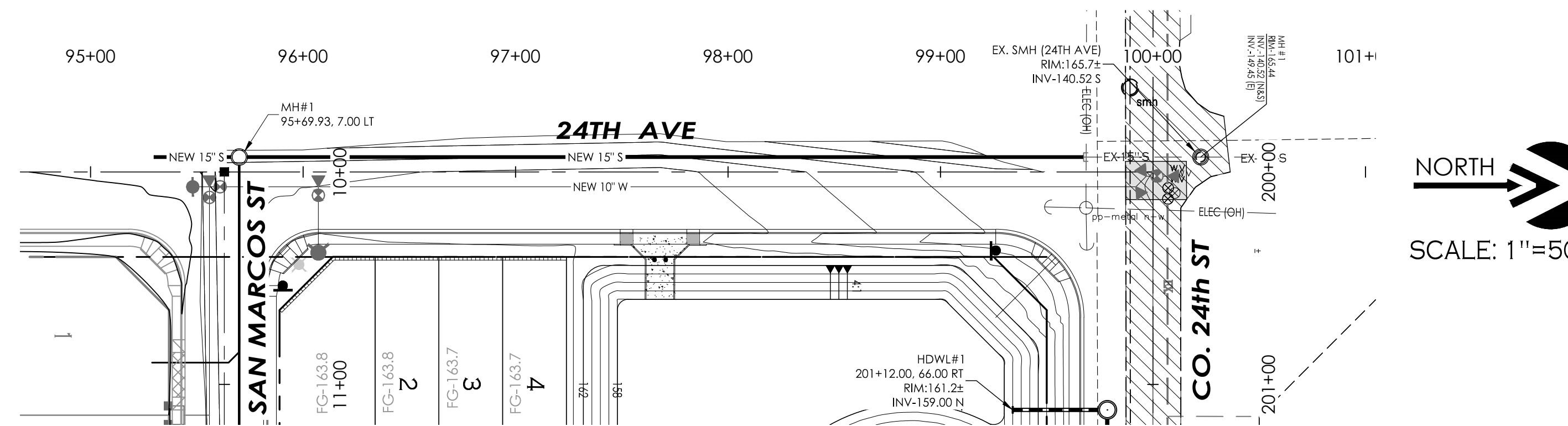
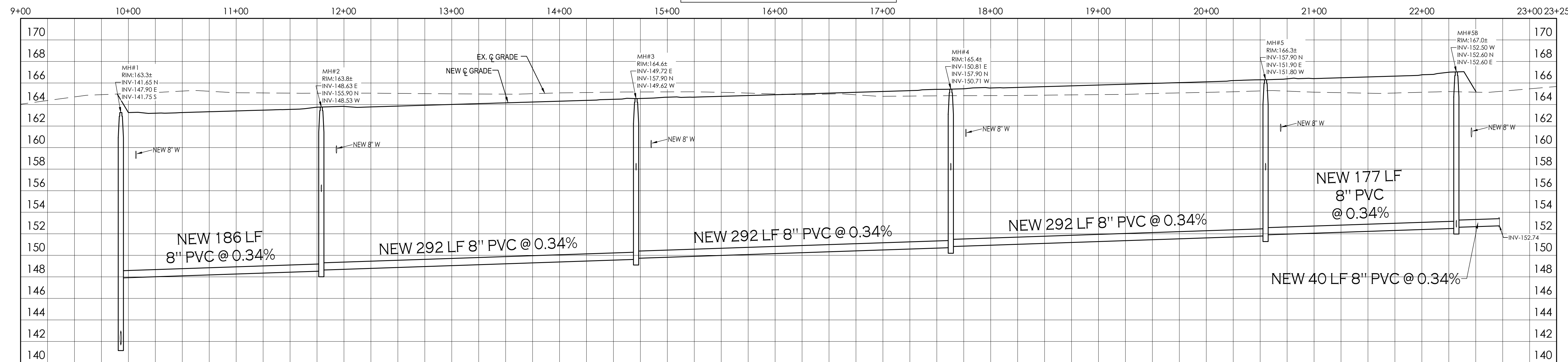
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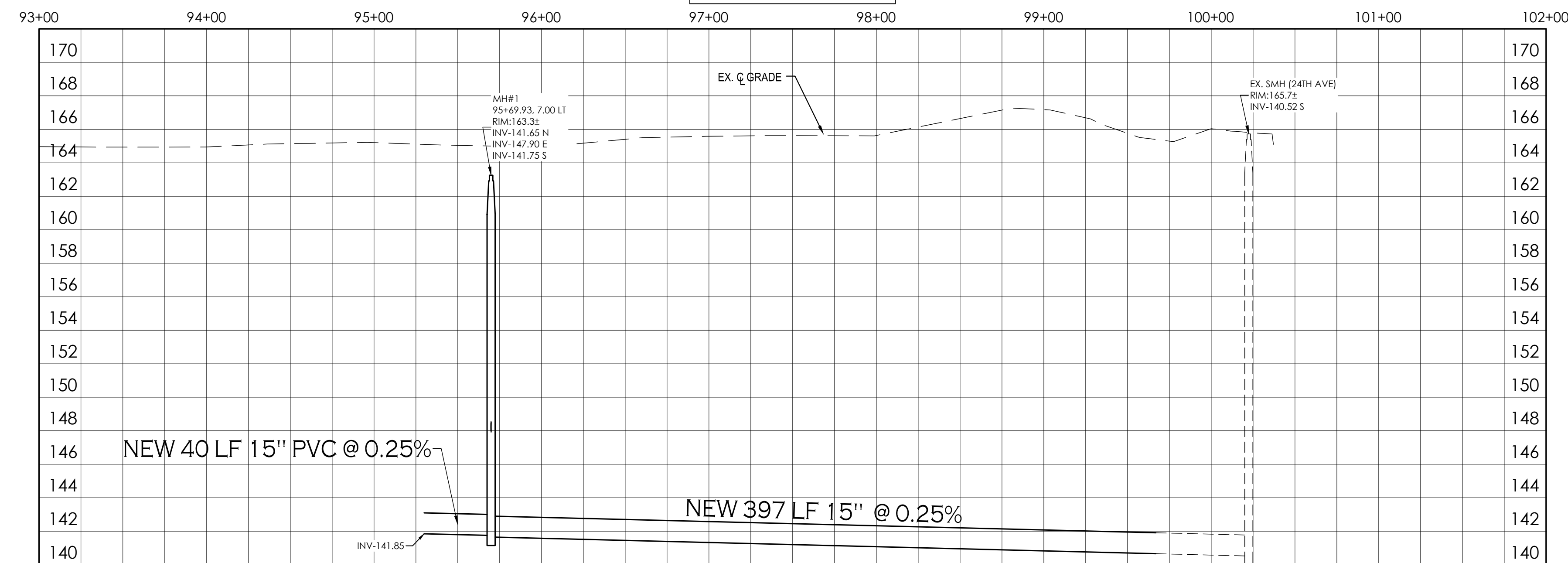
NORTH
SCALE: 1"=50'

SAN MARCOS STREET PROFILE



NORTH
SCALE: 1"=50'

24TH AVE PROFILE



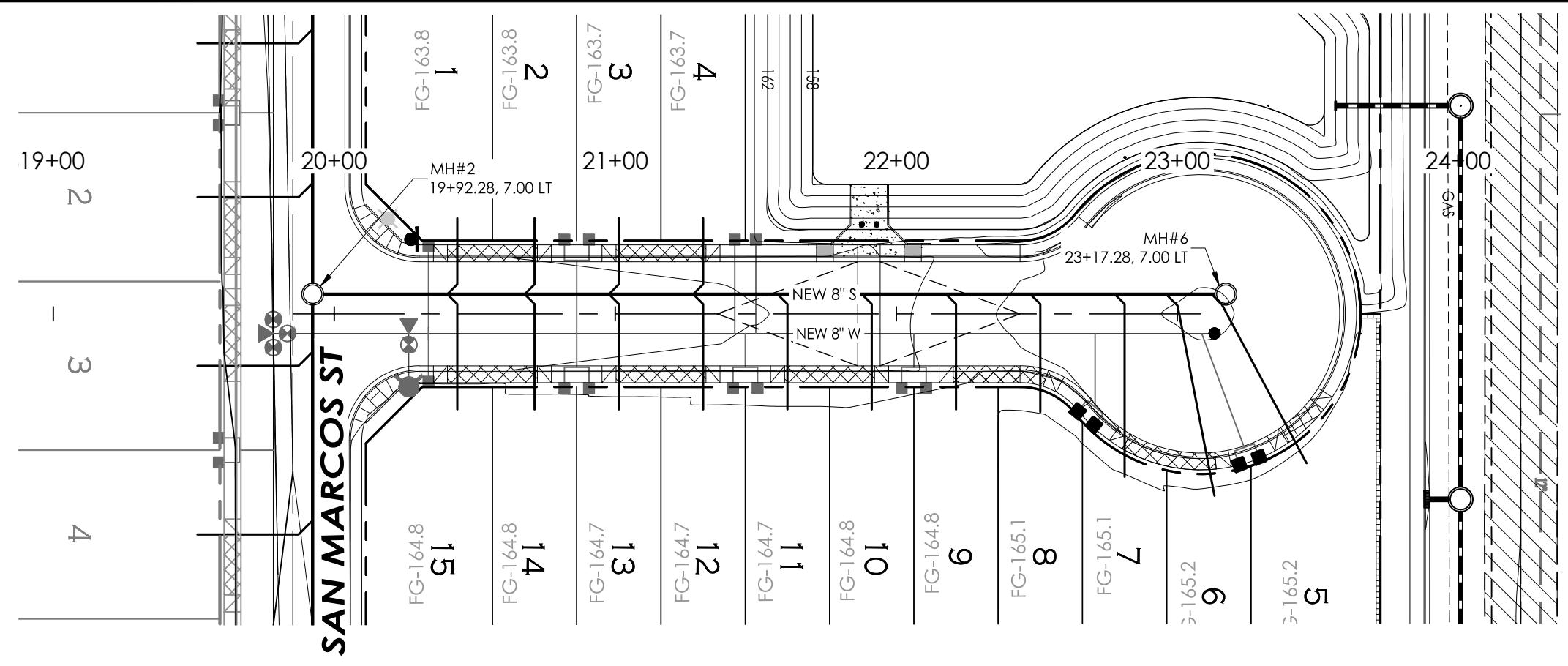
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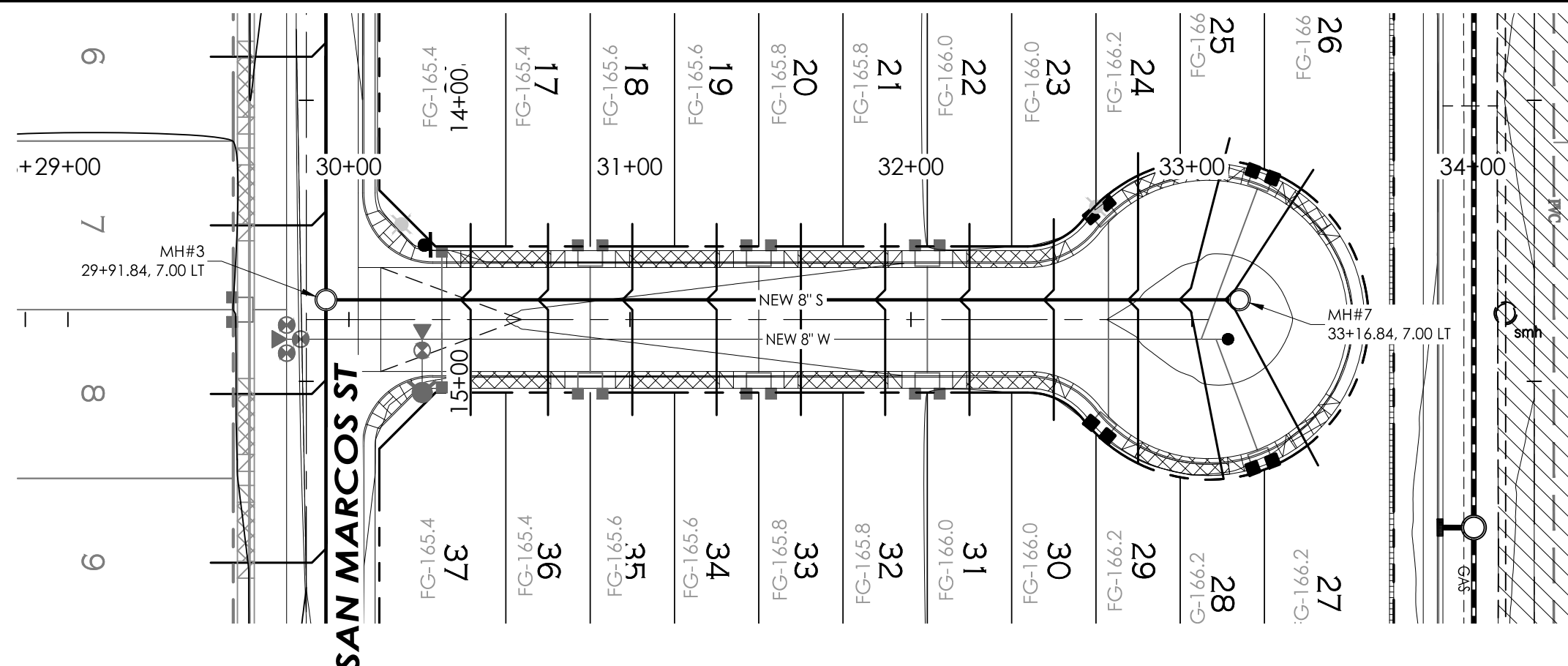
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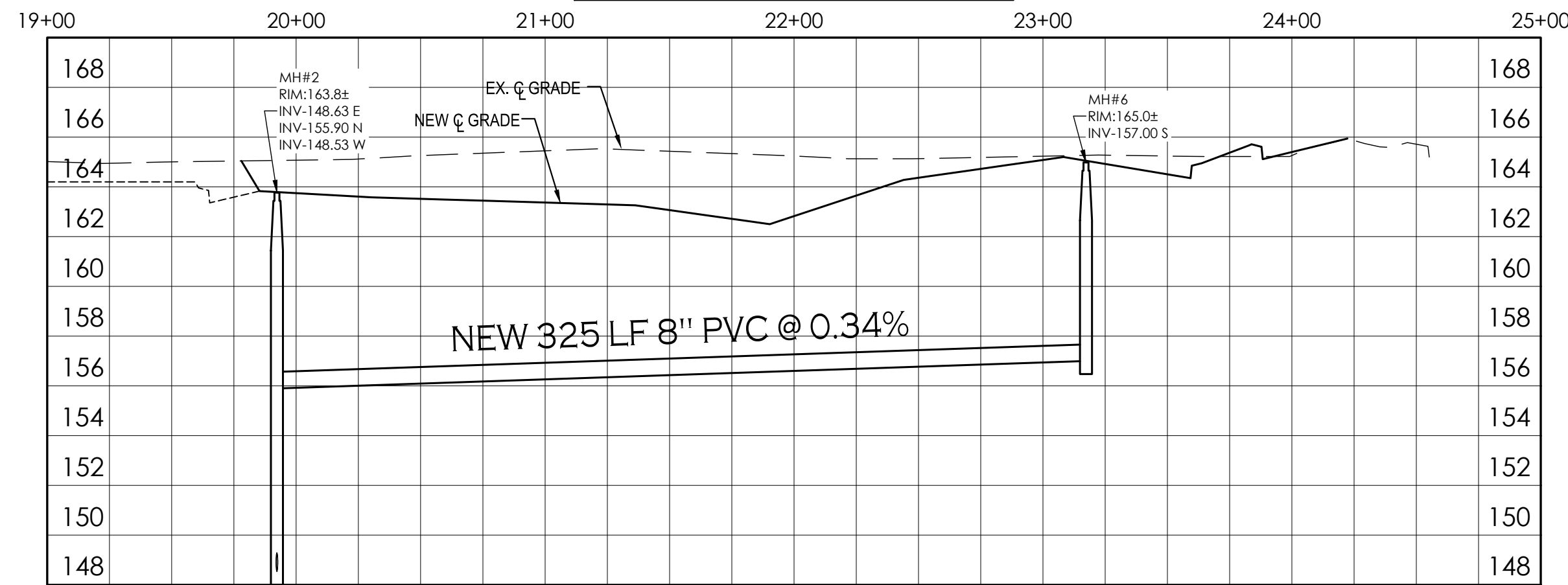


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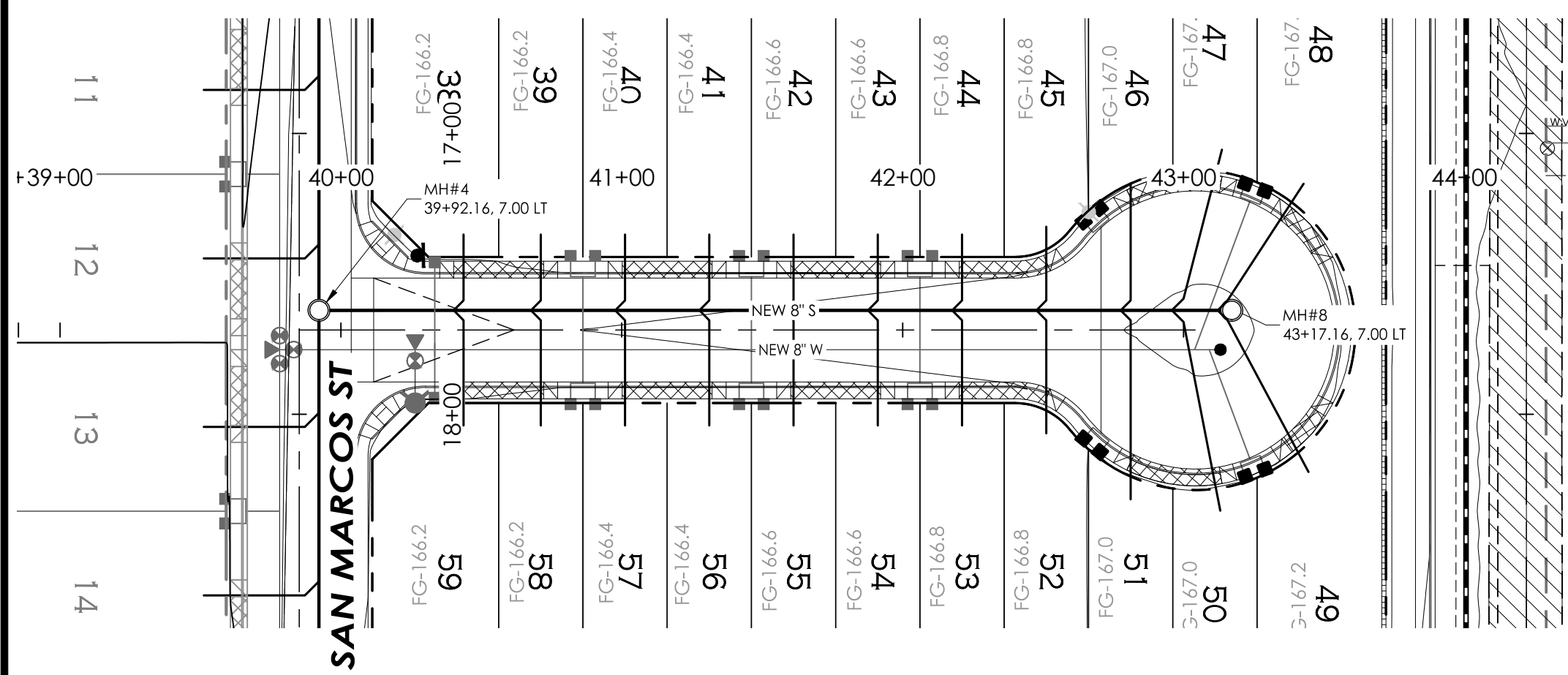
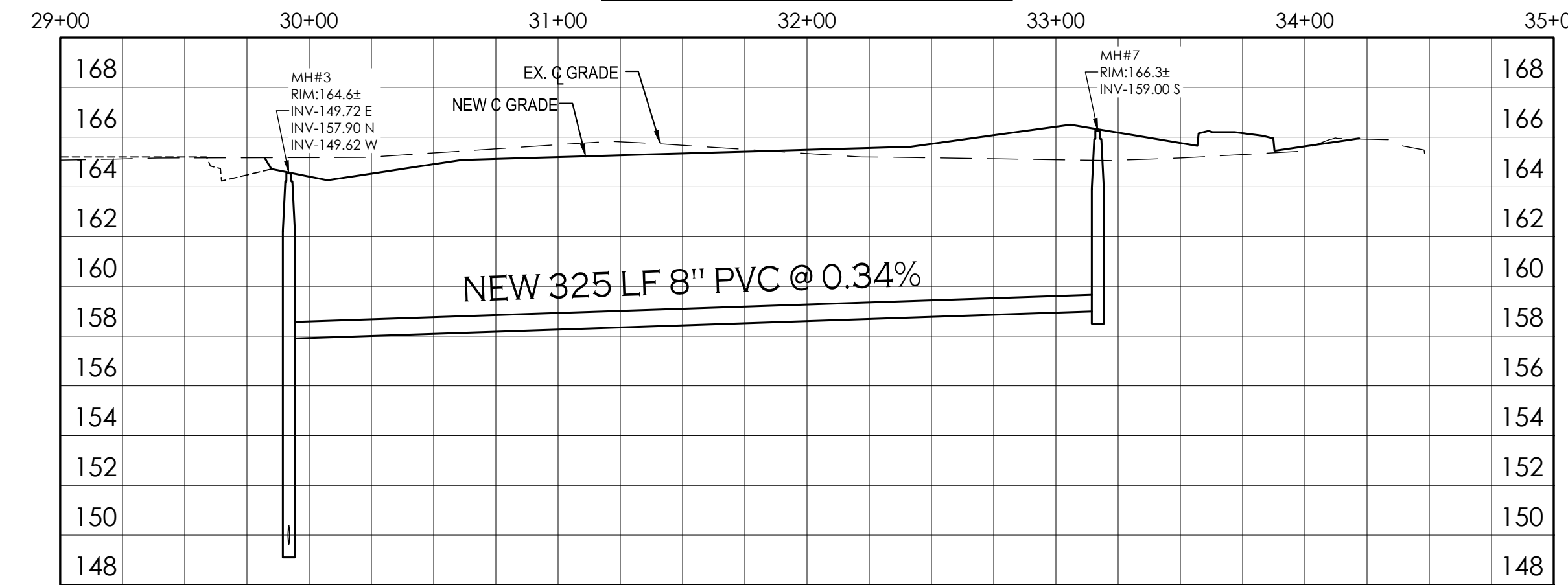


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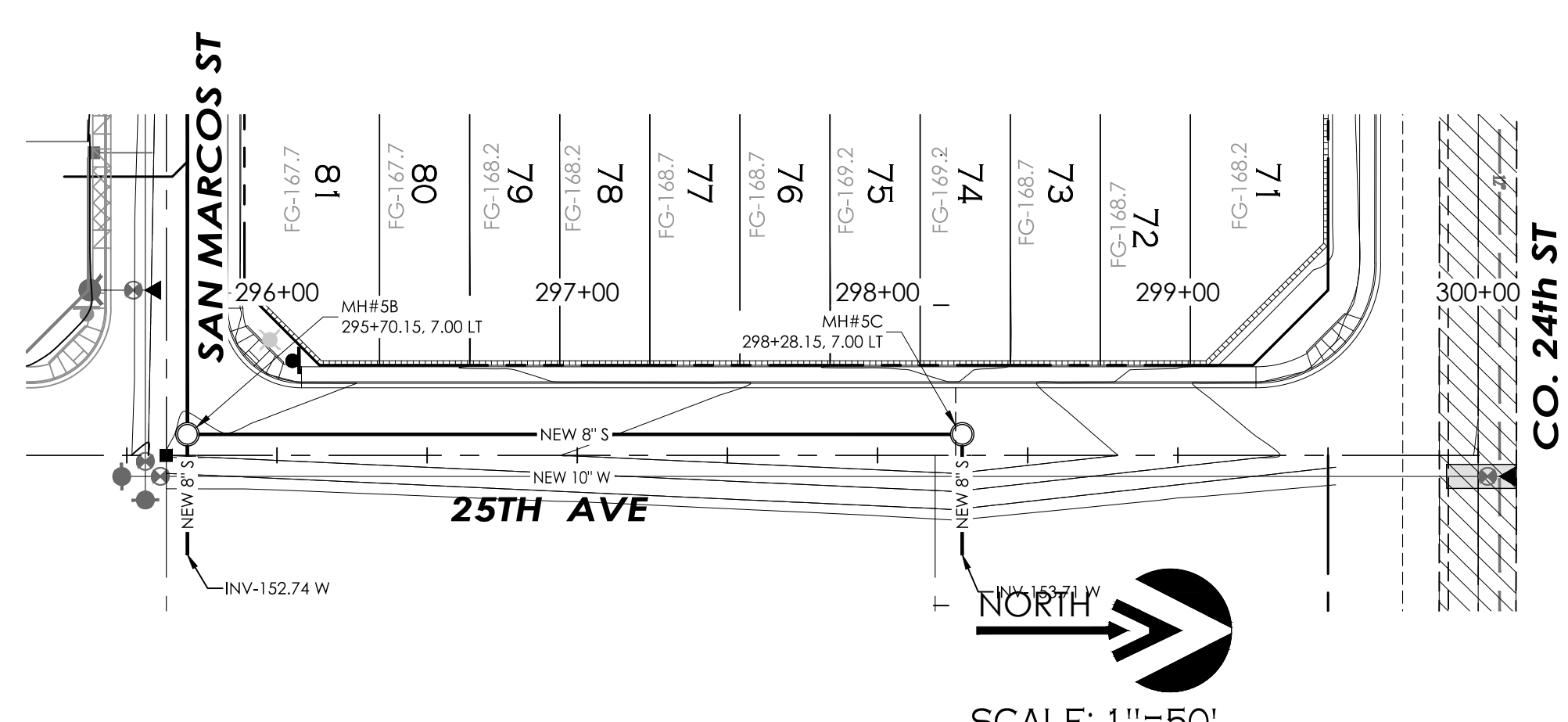
PLUMERIA COURT PROFILE



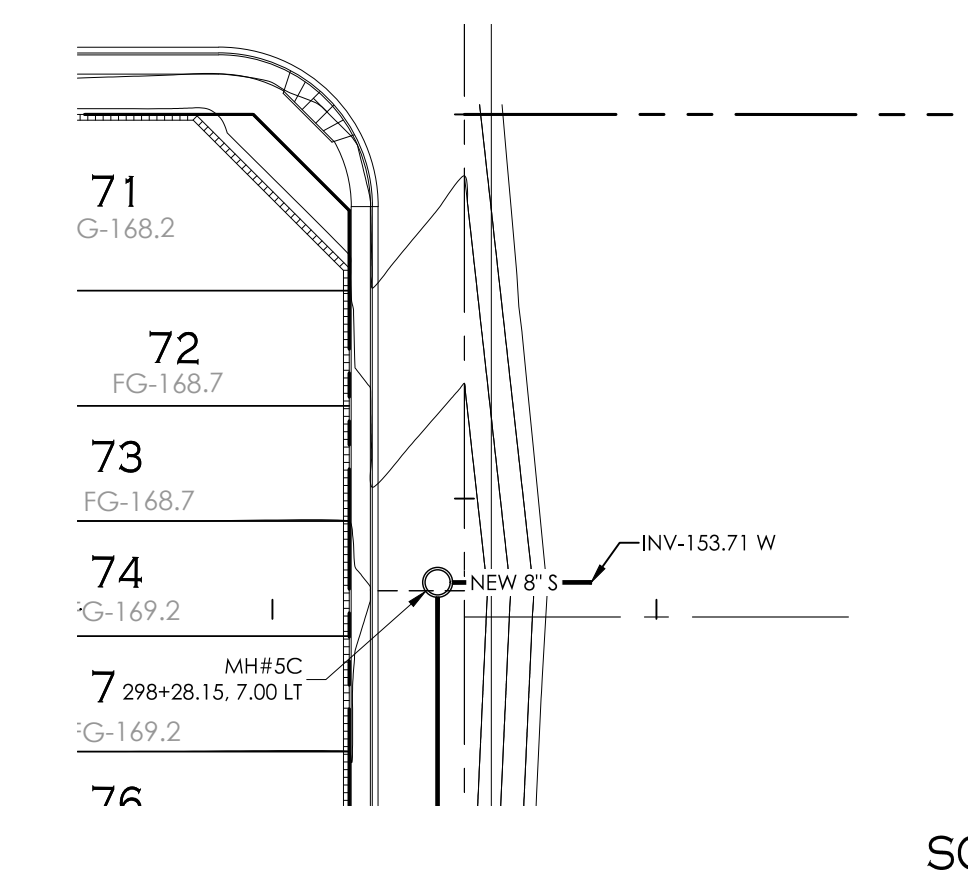
TULIPAN COURT PROFILE



NORTH
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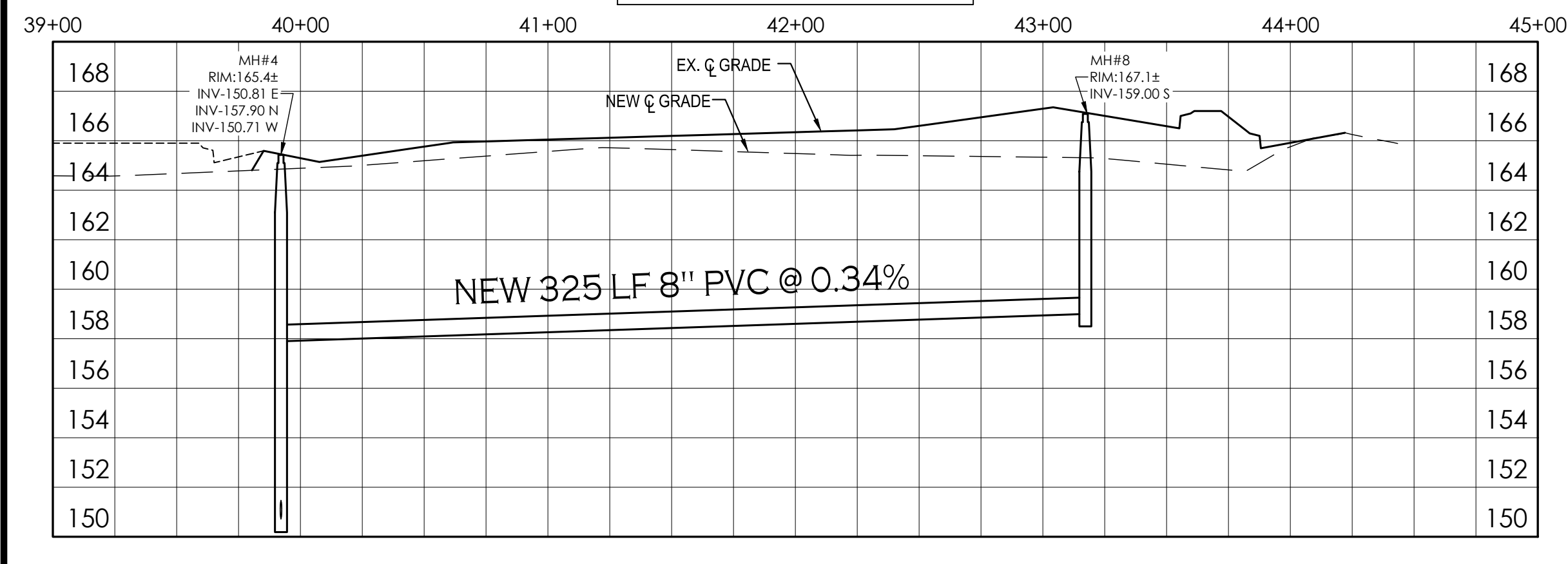


NORTH
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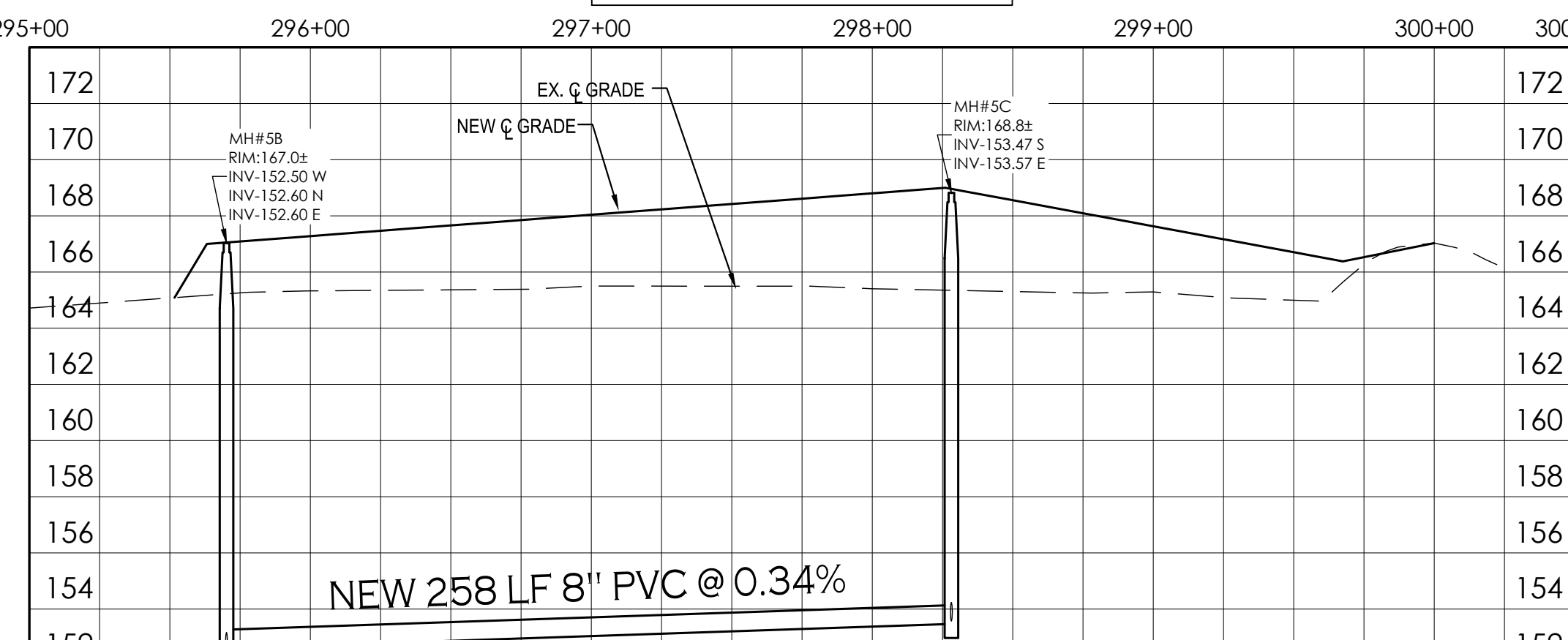


NORTH
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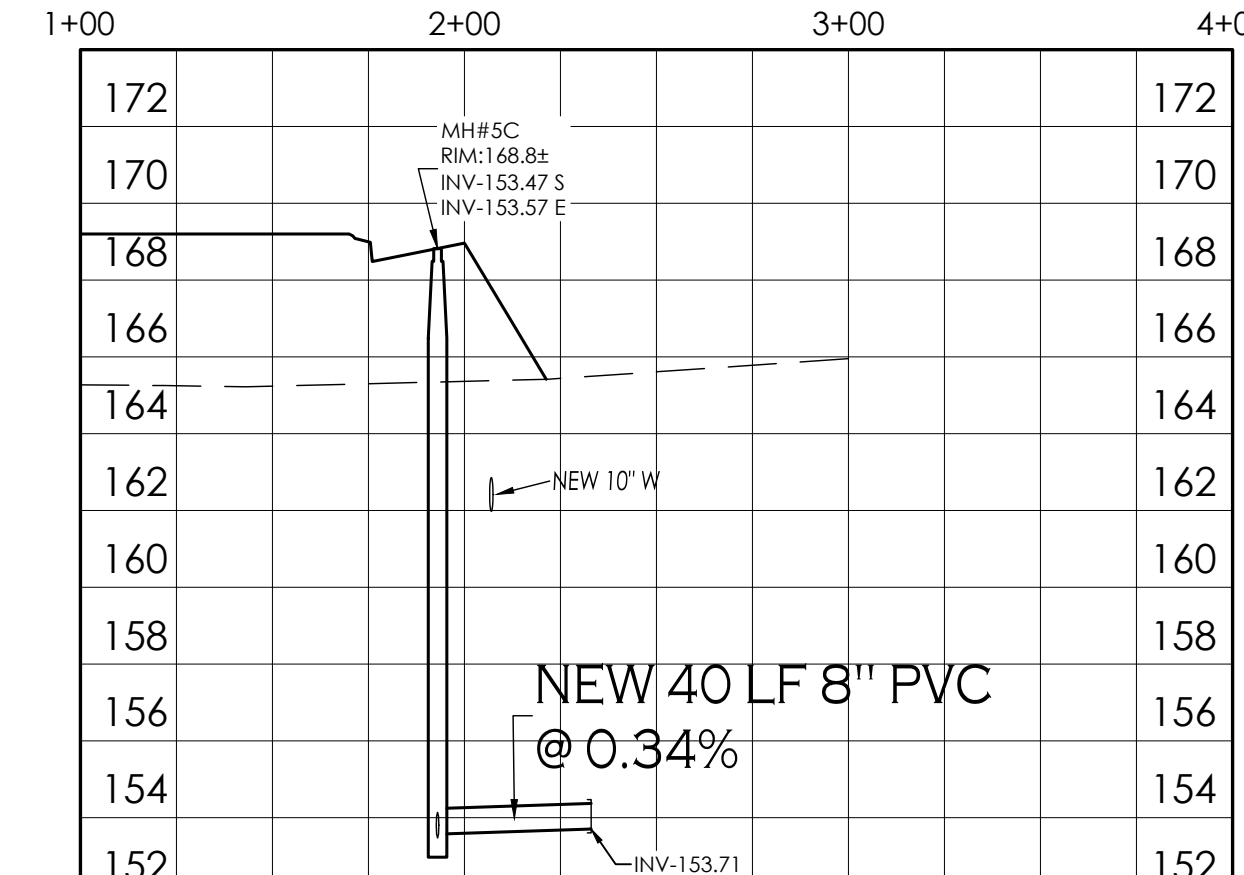
LIRIO COURT PROFILE



25TH AVENUE PROFILE



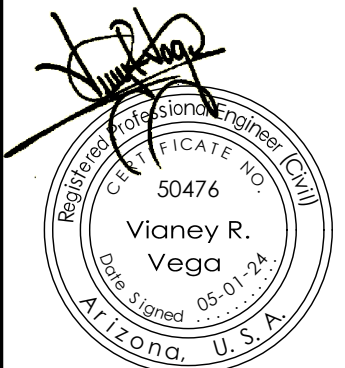
MH5C PROFILE



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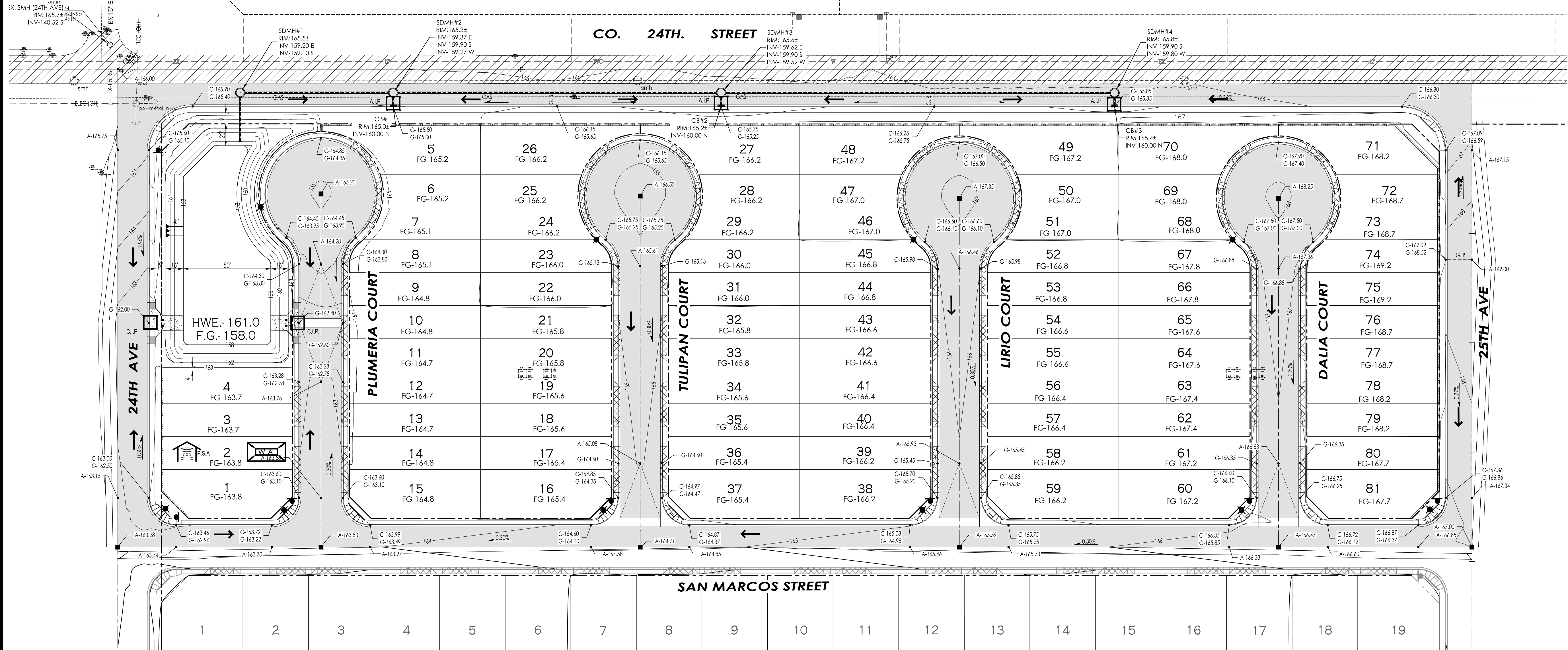
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Sheet



NORTH
SCALE: 1"=50'

LEGEND

- DESIGNATED WASHOUT AREA - (COY STD. 11-120)
- DUST CONTROL
- STABILIZED CONSTRUCTION ENTRANCE - (COY STD. 11-075)
- PROTECTED STORAGE AREA (ADJUST LOCATION AS REQUIRED)
- SILT FENCE - (COY STD. 11-080)
- CURB INLET PROTECTION - (COY STD. 11-115)
(GRAVEL BAG, FILTER BAG, ROCK SOCK)
- AREA INLET DRAIN PROTECTION - (COY STD. 11-115)
(GRAVEL BAG, FILTER BAG, ROCK SOCK)
- SEDIMENT WATTLE - (COY STD. 11-085)
- WORK ZONE IDENTIFICATION SIGN - (COY STD. 8-045)
- DRAINAGE FLOW ARROWS

KEYNOTES:

- CONSTRUCT NEW WALL PRIOR TO ANY OTHER CONSTRUCTION. NEW WALL WILL PREVENT STORM WATER TO ENTER OR EXIT SITE.
- IN LIEU OF CONSTRUCTING NEW WALL PRIOR TO ANY OTHER CONSTRUCTION, THE CONTRACTOR HAS THE OPTION TO CONSTRUCT A NEW BERM.

AREA

DISTURBED AREA = 11.00 ACRES

DRAINAGE NOTE

DRAINAGE STORM WATER RUNOFF WILL BE STORED ON NEW RETENTION BASIN LOCATED ON THE WESTERN PART OF THE SITE, AS SHOWN IN THE DRAINAGE REPORT.

FLOOD ZONE DESIGNATION

THE SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A FLOOD ZONE DESIGNATION (AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD), COMMUNITY PANEL NUMBER 000101456 DATED AUGUST 28, 2008, WHICH IS THE FLOOD INSURANCE RATE MAP (FIRM) (PANEL NOT PRINTED) FOR THE COMMUNITY IN WHICH THIS PROJECT IS SITED.

BENCHMARK

TOP OF 1/2" REBAR W/LS 22767 LOCATED AT THE INTERSECTION OF 20TH AVENUE AND COUNTY 24TH STREET
ELEVATION: 159.25 FEET

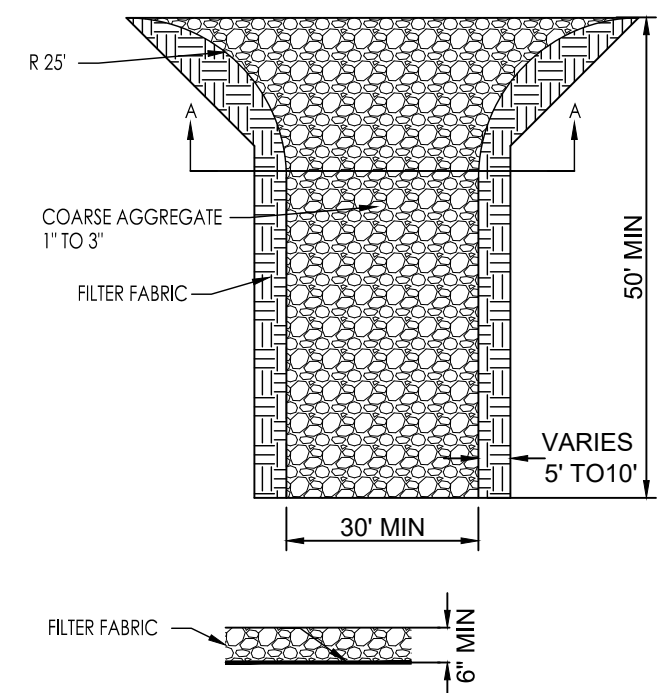
UTILITIES WARNING

UTILITIES IN THE AREA OF CONSTRUCTION ARE APPROXIMATE ONLY. THEY HAVE BEEN LOCATED FROM FIELD INVESTIGATION AND THE BEST AVAILABLE UTILITY RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND REPAIR OF ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION. WHETHER SHOWN ON THESE PLANS OR NOT, THE CONTRACTOR SHALL CONTACT ALL RESPECTIVE UTILITIES AND HAVE ALL UTILITIES FIELD-LOCATED PRIOR TO CONSTRUCTION. IF ANY UNKNOWN SUBSURFACE STRUCTURES ARE ENCOUNTERED DURING CONSTRUCTION, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF ENGINEER OF RECORD PRIOR TO PROCEEDING.

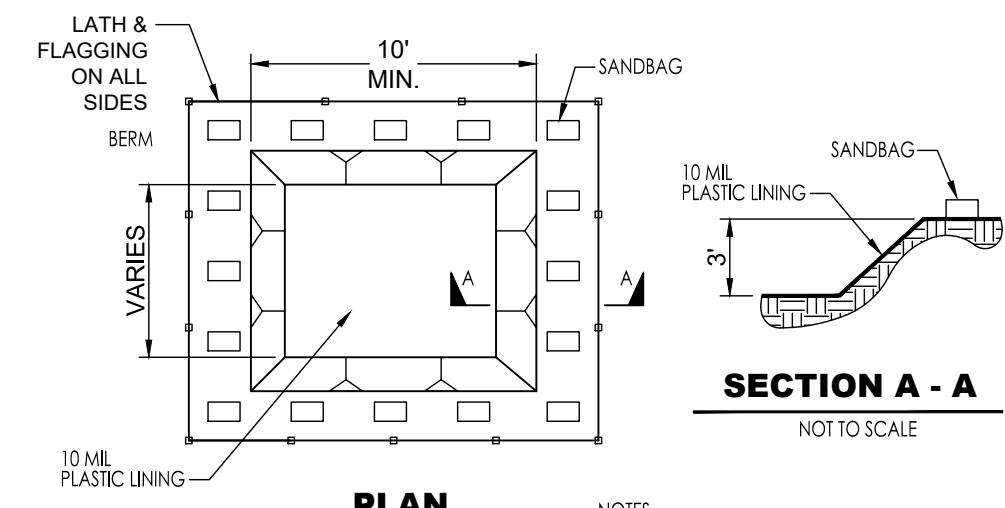
CALL TWO WORKING DAYS BEFORE YOU DIG
1-800-STAKE-IT



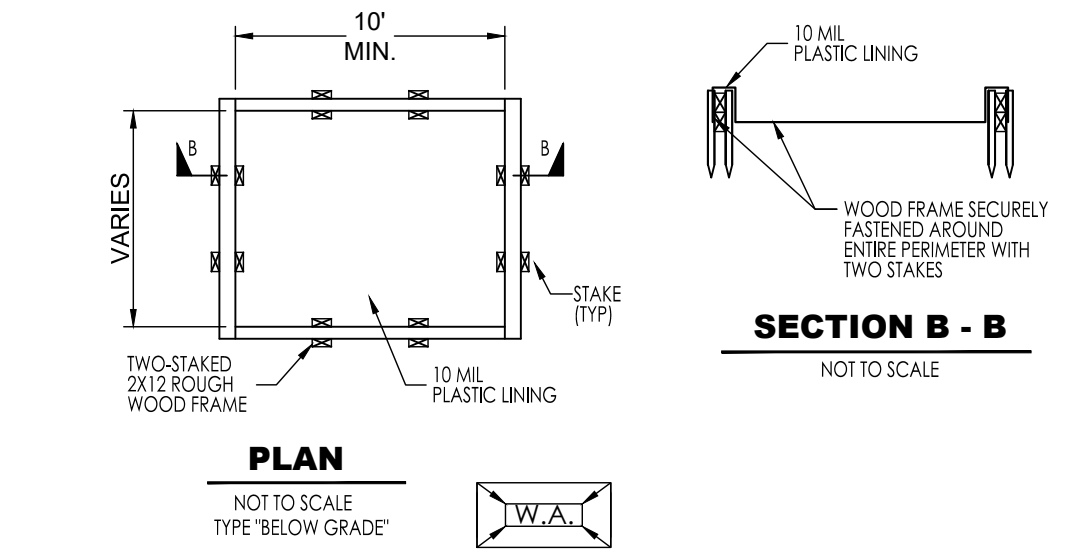
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Drawn: staff Job #: vrv23-600
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SECTION A - A
STABILIZED CONSTRUCTION EXIT/ENTRANCE SCE

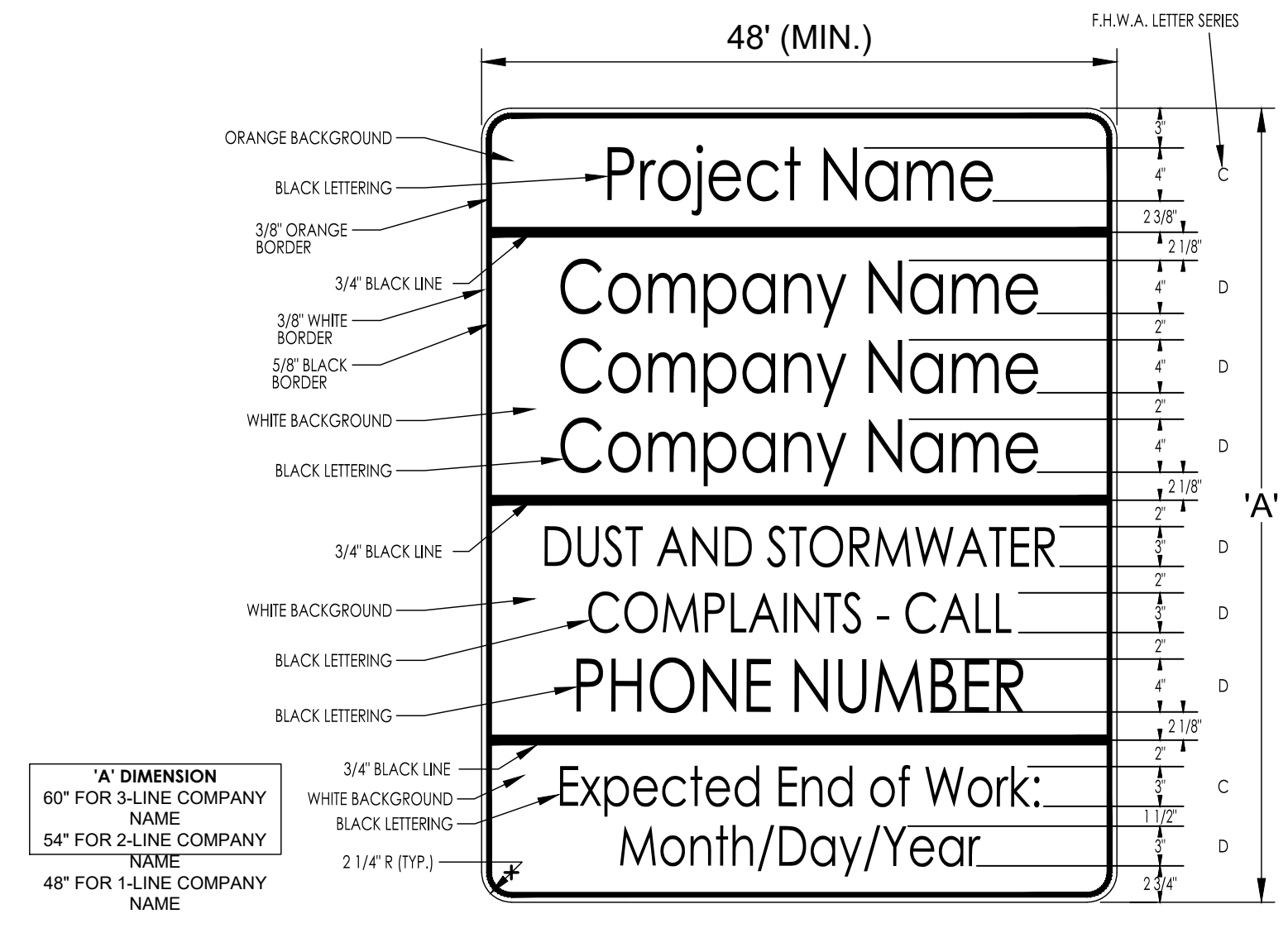


NOTES
 1. ACTUAL LAYOUT DETERMINED IN FIELD.
 2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.



CONCRETE WASH AREA WA

SIGN WZIS-1



'A' DIMENSION
 60" FOR 3-LINE COMPANY NAME
 54" FOR 2-LINE COMPANY NAME
 48" FOR 1-LINE COMPANY NAME

WORK ZONE IDENTIFICATION SIGN WZS

CONSTRUCTION NOTES

- AFTER PERMITS HAVE BEEN OBTAINED & EROSION CONTROL MEASURES INSTALLED, THE CONTRACTOR SHALL ROUGH GRADE SITE.
- CONTRACTOR SHALL PREVENT ANY SILTATION FROM ENTERING ANY STORM SEWER SYSTEM. ALL INLETS & INLET OPENINGS SHALL BE FULLY ENCIRCLED WITH SILT FENCE DURING AND AFTER CONSTRUCTION OF INLET.
- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- MAINTAIN EROSION CONTROL MEASURES AT ALL TIMES ESPECIALLY BEFORE ANY PREDICTABLE RAIN.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE; AS THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE. THIS PLAN IS INTENDED TO BE UPDATED BY A QUALIFIED PERSON AS CONSTRUCTION ACTIVITIES PROCEED. METHODS OF EROSION CONTROL SHALL BE TAKEN FROM "DRAINAGE DESIGN FOR YUMA COUNTY, ARIZONA, VOLUME III EROSION CONTROL".
- CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- ALL EXISTING STRUCTURES, FENCING, TREES, AND ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED AND DISPOSED OF OFF SITE. ANY BURNING ON SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
- CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- CONTRACTOR TO IDENTIFY ON PLAN AREAS THAT HAVE REACHED FINAL STABILIZATION.

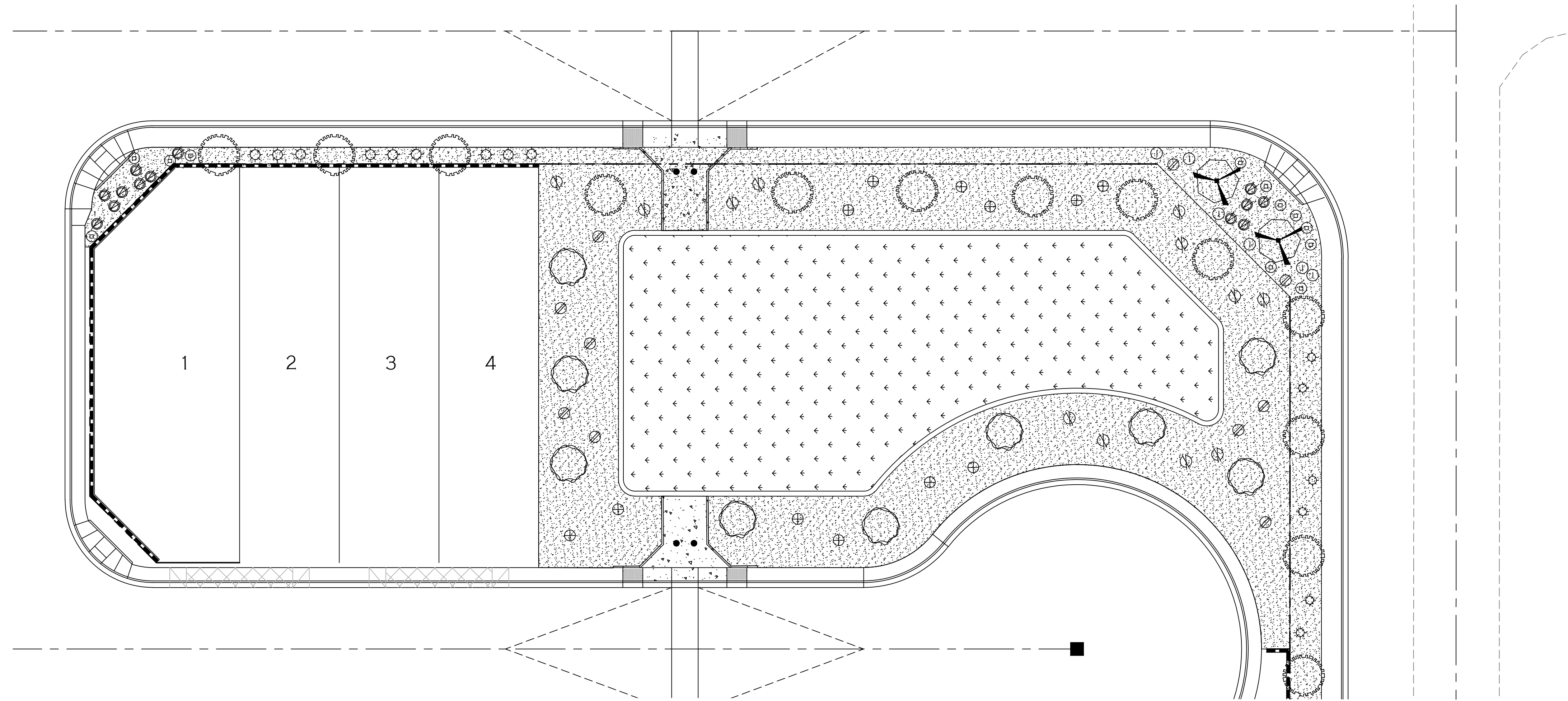
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Notes:
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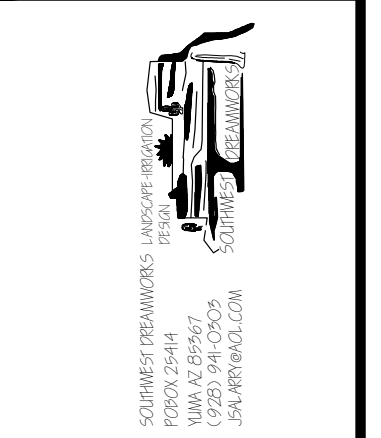
NORTH
SCALE: 1"=30'

PLANT LEGEND

TREES				SHRUBS			GROUND COVER/HARDSCAPES		
SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	SYMBOL	COMMON NAME	BOTANICAL NAME		SIZE	
	Red Pistach	Pistacia Chnensis	24" box		Arizona Yellow Bells	Techoma Stans	5 gallon		3/4" Yuma White d.g.
	Elm	Ulmus Parviflora	24" box		Bird of paradise	Caesalpinia Gilliesii	5 gallon		
	Live Oak	Cuercus Virginiana	24" box		Red yucca	Hesperaloe Parviflora	5 gallon		Seeded Turf
	Mulga	Acacia Aneura	24" box		Lagmans Sage	Leucophyllum Lagmaniae	5 gallon		
	Shoestring Acacia	Acacia Syenophyllia	24" box		Yellow Mound Lantana	Lantana Camara	5 gallon		6" X 6" Concrete Curb
					Choral Fountain	Russelia Equiseformis	5 gallon		
					Rosemary	Rosmarinus Tuscon Blue	5 gallon		

24th. Ave. & Retention Basin LANDSCAPING
ORCHIDEA PARK
TOWNHOMES SUBDIVISION PHASE I

VEGA & VEGA
ENVIRONMENTAL & PLANNING
2619 S. AVE. 2 1/2 E. STE#3
YUMA, AZ. 85364
TEL: 928-329-0000
FAX: 928-247-6232
VnV@vegaandvega.com



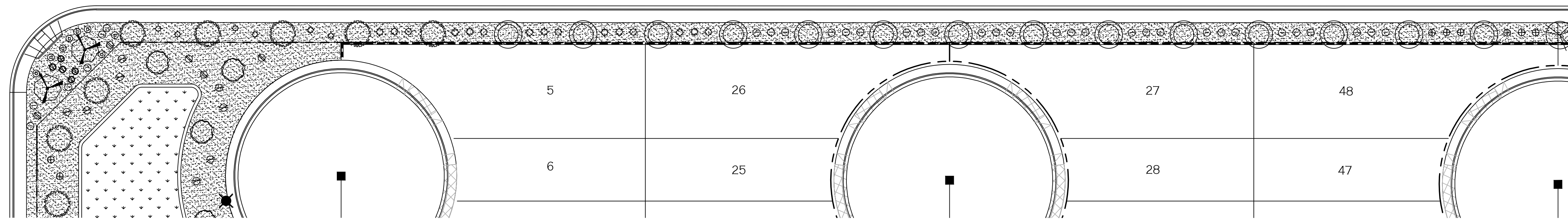
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Checked: vna

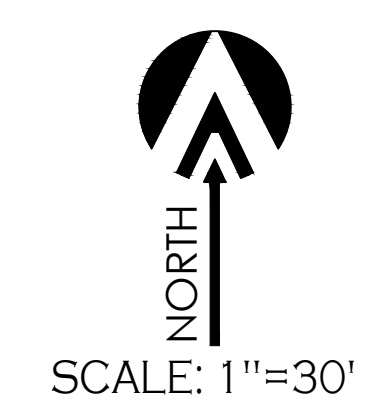
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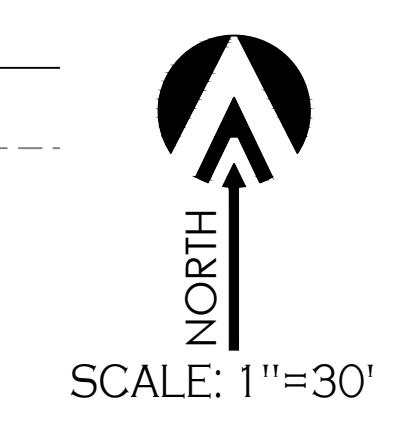
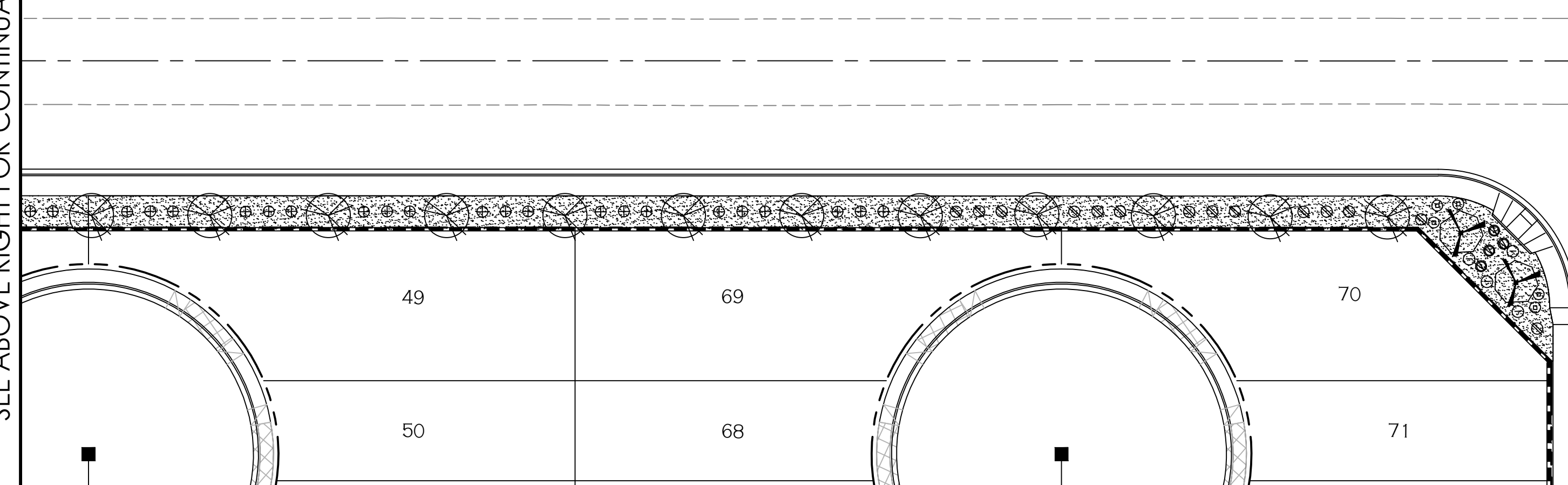
L1.1



SEE BELOW LEFT FOR CONTINUATION



SEE ABOVE RIGHT FOR CONTINUATION

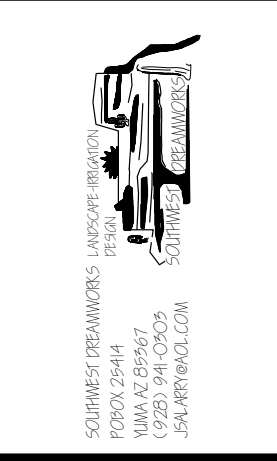


PLANT LEGEND

TREES				SHRUBS			GROUND COVER/HARDSCAPES	
SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	
	Red Pistach	<i>Pistacia Chnensis</i>	24" box		Arizona Yellow Bells	<i>Techoma Stans</i>	5 gallon	
	Elm	<i>Ulmus Parviflora</i>	24" box		Bird of paradise	<i>Caesalpinia Gilliesii</i>	5 gallon	
	Live Oak	<i>Cuercus Virginiana</i>	24" box		Red yucca	<i>Hesperaloe Parviflora</i>	5 gallon	
	Mulga	<i>Acacia Aneura</i>	24" box		Lagmans Sage	<i>Leucophyllum Lagmaniae</i>	5 gallon	
	Shoestring Acacia	<i>Acacia Syenophyllia</i>	24" box		Yellow Mound Lantana	<i>Lantana Camara</i>	5 gallon	
					Choral Fountain	<i>Russelia Equiseiformis</i>	5 gallon	
					Rosemary	<i>Rosmarinus Tuscon Blue</i>	5 gallon	

Co. 24th. St. LANDSCAPING

ORCHIDEA PARK
TOWNHOMES SUBDIVISION PHASE I

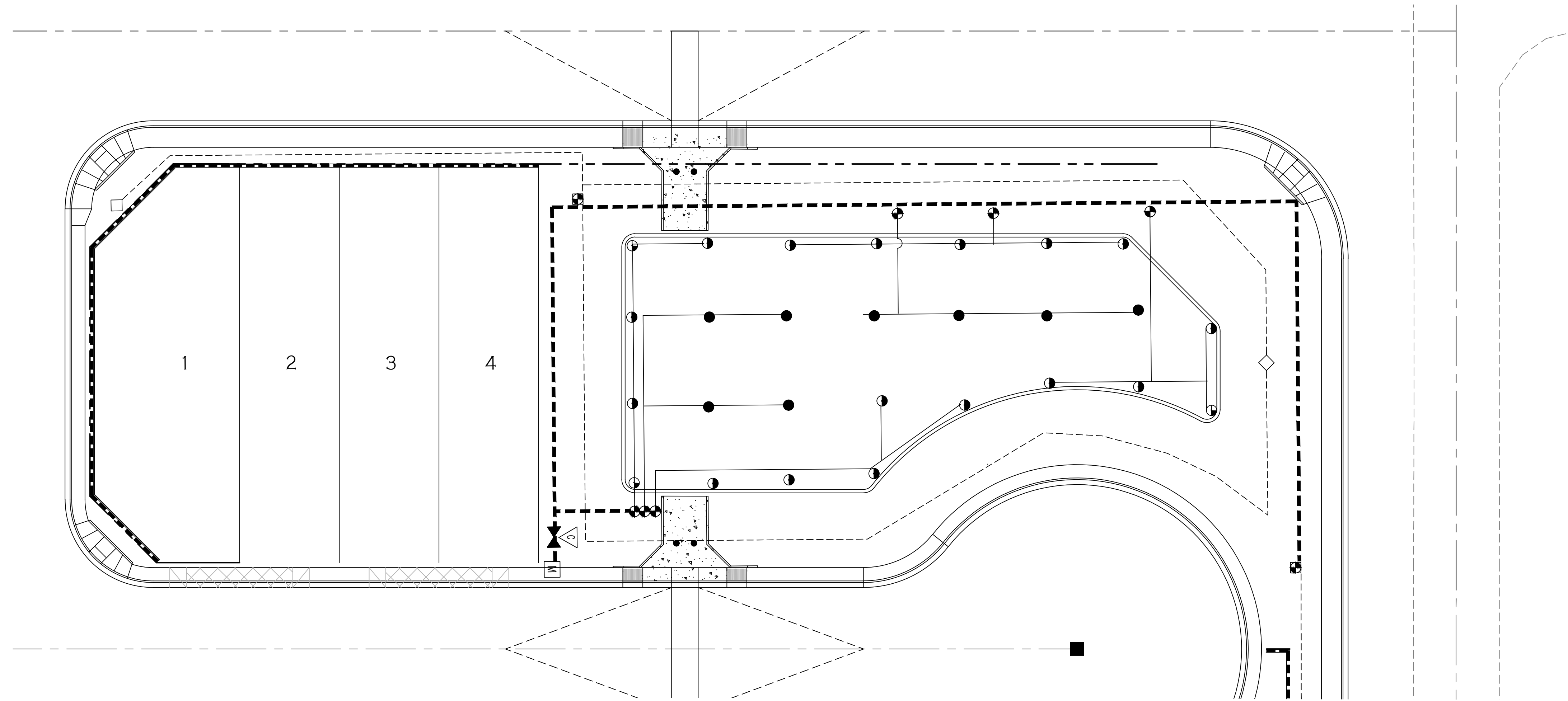


VEGA & VEGA
LANDSCAPE ARCHITECTURE, INC.
2619 S. AVE. 2 1/2 E. STE#3
YUMA, AZ. 85364
TEL: 928-329-0000
FAX: 928-247-6232
V.V@vegalvega.com

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L1.2





NORTH
SCALE: 1"=30'

IRRIGATION

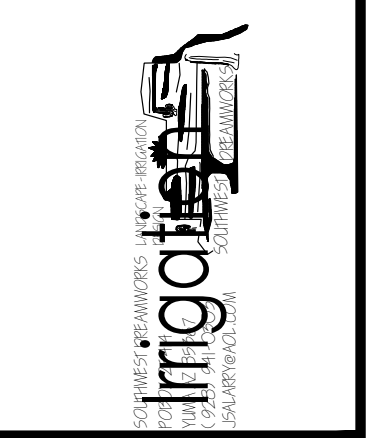
DESCRIPTION	MANUFACTURER	MODEL
WATER METER(FIELD VERIFY LOCATION)	BY OTHERS	1 1/2"(SEE CIVIL)
BACK FLOW PREVENTER WITH ENCLOSURE CONTROLLER	FEBCO	PV811/2" WITH SLAB
ELECTRIC CONTROL VALVE	HUNTER (solar)	XC HIBRID 18 STA
DRIP VALVE ASSEMBLY	HUNTER	1"ICV
PVC BALL VALVE	HUNTER	1"
ELECTRIC VALVE	SPEARS	1" SCH 40
VALVE BOX	HUNTER	ICV-1"
FILTER	CARSON	TAN STANDARD
REGULATOR	RAINBIRD	1" PRB100-200
FLUSH VALVE END OF 3/4" LATERAL	RAINBIRD	1" 30 PSI
	SPEARS OR EQUAL	MHT-3/4"
1 1/2" PVC MAINLINE	SCH 40	
1" PVC DRIP LATERAL	1" PVC	
PVC SPRINKLER LATERAL	SEE DETAILS FOR PIPE SIZING	
HUNTER 120 SPRINKLER HEAD RED FULL NOZ 25' @ 4 GPM WITH .5 PRECIP AT 45 PSI		
HUNTER 120 SPRINKLER HEAD RED FULL NOZ 25' @ 4 GPM WITH .5 PRECIP AT 45 PSI		
HUNTER 120 SPRINKLER HEAD RED HALF NOZ 25' @ 3 GPM WITH .5 PRECIP AT 45 PSI		

IRRIGATION NOTES

- CONTRACTOR RESPONSIBLE FOR FULL AND EFFICIENT COVERAGE
- VERIFY PRESSURE BEFORE LAY OUT
- MINIMUM PRESSURE 60 PSI AT MAIN LINE
- VALVE LOCATIONS ARE ONLY APPROXIMATE
- DRIP VALVES NOT TO EXCEED 5 GPM
LAWN VALVES NOT TO EXCEED 45 GPM
- DRAWN FOR CLARITY ALL IRRIGATION TO BE INSTALLED IN LANDSCAPE AREA
- ALL SLEEVES ARE SCH 40
- ALL SLEEVES TO HAVE 18" COVER MINIMUM
- IF BACKFILL MATERIAL HAS DEBRIS LARGER THAN 1" SHADE WITH MORTAR SAND 6" ABOVE 6" BELOW PIPE
SEE PIPE AND SLEEVING DETAILS D-10
- IF PROPER PRESSURE IS NOT AVAILABLE NOTIFY OWNERS REPRESENTATIVE BEFORE ANY WORK IS STARTED
- HEAD AND VALVE PLACEMENT ARE ONLY DIAGMATIC
FIELD VERIFY ALL LOCATIONS ON PLANS

VEGA & VEGA
ENGINEERS, ARCHITECTS & PLANNERS
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TEL: 928-329-0000
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24th. Ave. & Retention Basin IRRIGATION
ORCHIDEA PARK
TOWNHOMES SUBDIVISION PHASE I



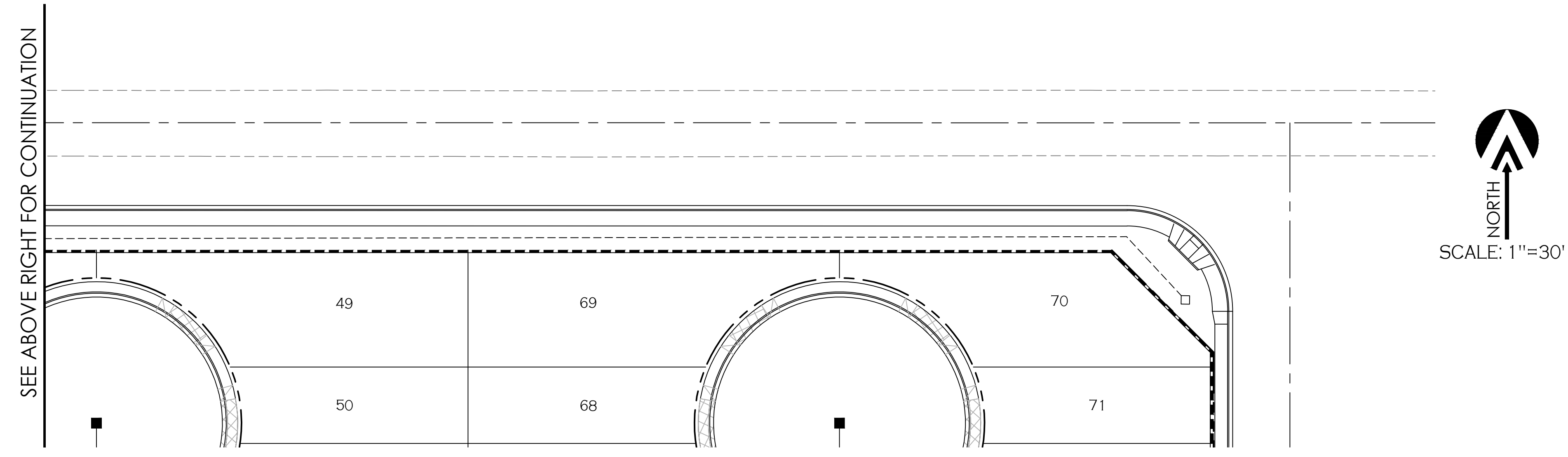
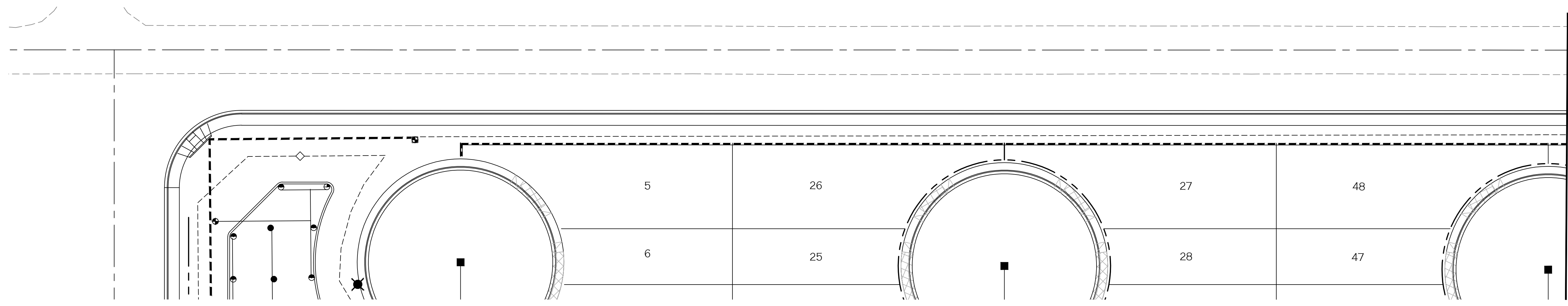
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L1.3



IRRIGATION

DESCRIPTION	MANUFACTURER	MODEL
WATER METER(FIELD VERIFY LOCATION)	BY OTHERS	1 1/2"(SEE CIVIL)
BACK FLOW PREVENTER	FEBCO	PV/B1 1/2"
WITH ENCLOSURE	GUARDSHACK	WITH SLAB
CONTROLLER	HUNTER (solar)	XC HIBRID 18 STA
ELECTRIC CONTROL VALVE	HUNTER	1"ICV
DRIP VALVE ASSEMBLY	HUNTER	1"
PVC BALL VALVE	SPEARS	1" SCH 40
ELECTRIC VALVE	HUNTER	ICV-1"
VALVE BOX	CARSON	TAN STANDARD
FILTER	RAINBIRD	1" PRB100-200
REGULATOR	RAINBIRD	1" 30 PSI
FLUSH VALVE END OF 3/4" LATERAL	SPEARS OR EQUAL	MHT-3/4"
1 1/2" PVC MAINLINE	SCH 40	
1" PVC DRIP LATERAL	1" PVC	
PVC SPRINKLER LATERAL	SEE DETAILS FOR PIPE SIZING	
HUNTER 1 20 SPRINKLER HEAD RED FULL NOZ		
25" @ 4 GPM WITH .5 PRECIP AT 45 PSI		
HUNTER 1 20 SPRINKLER HEAD RED FULL NOZ		
25" @ 4 GPM WITH .5 PRECIP AT 45 PSI		
HUNTER 1 20 SPRINKLER HEAD RED HALF NOZ		
25" @ 3 GPM WITH .5 PRECIP AT 45 PSI		

IRRIGATION NOTES

- CONTRACTOR RESPONSIBLE FOR FULL AND EFFICIENT COVERAGE
- VERIFY PRESSURE BEFORE LAY OUT
- MINIMUM PRESSURE 60 PSI AT MAIN LINE
- VALVE LOCATIONS ARE ONLY APPROXIMATE
- DRIP VALVES NOT TO EXCEED 5 GPM
LAWN VALVES NOT TO EXCEED 45 GPM
- DRAWN FOR CLARITY ALL IRRIGATION TO BE INSTALLED IN LANDSCAPE AREA
- ALL SLEEVES ARE SCH 40
- ALL SLEEVES TO HAVE 18" COVER MINIMUM
- IF BACKFILL MATERIAL HAS DEBRIS LARGER THAN 1" SHADE WITH MORTAR SAND 6" ABOVE 6" BELOW PIPE
SEE PIPE AND SLEEVING DETAILS D-10
- IF PROPER PRESSURE IS NOT AVAILABLE NOTIFY OWNERS REPRESENTATIVE BEFORE ANY WORK IS STARTED
- HEAD AND VALVE PLACEMENT ARE ONLY DIAGRMATIC
FIELD VERIFY ALL LOCATIONS ON PLANS

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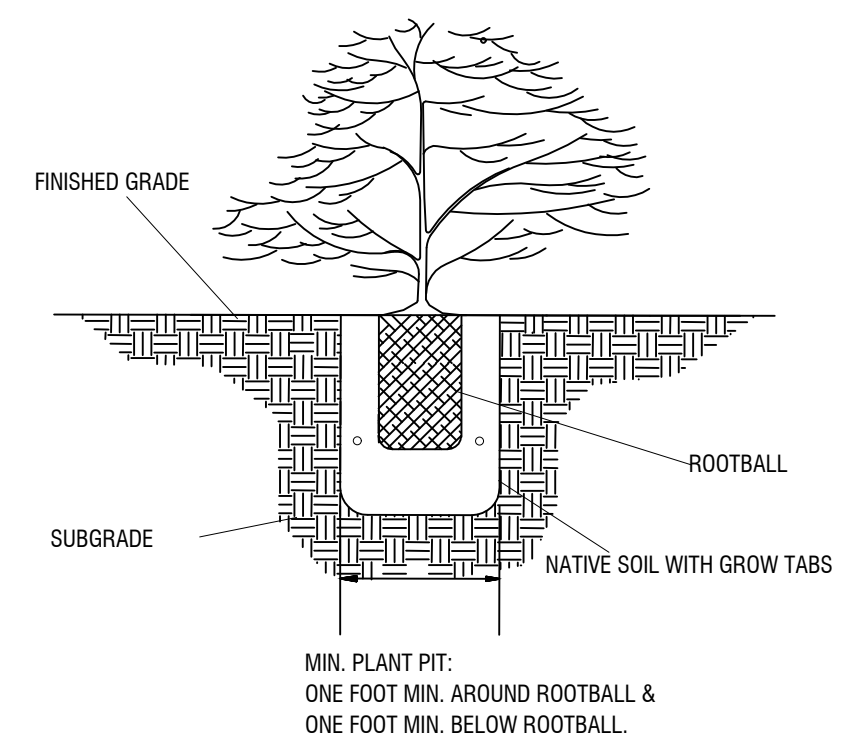
Co. 24th. St. IRRIGATION
 ORCHIDEA PARK
 TOWNHOMES SUBDIVISION PHASE I

Notes:

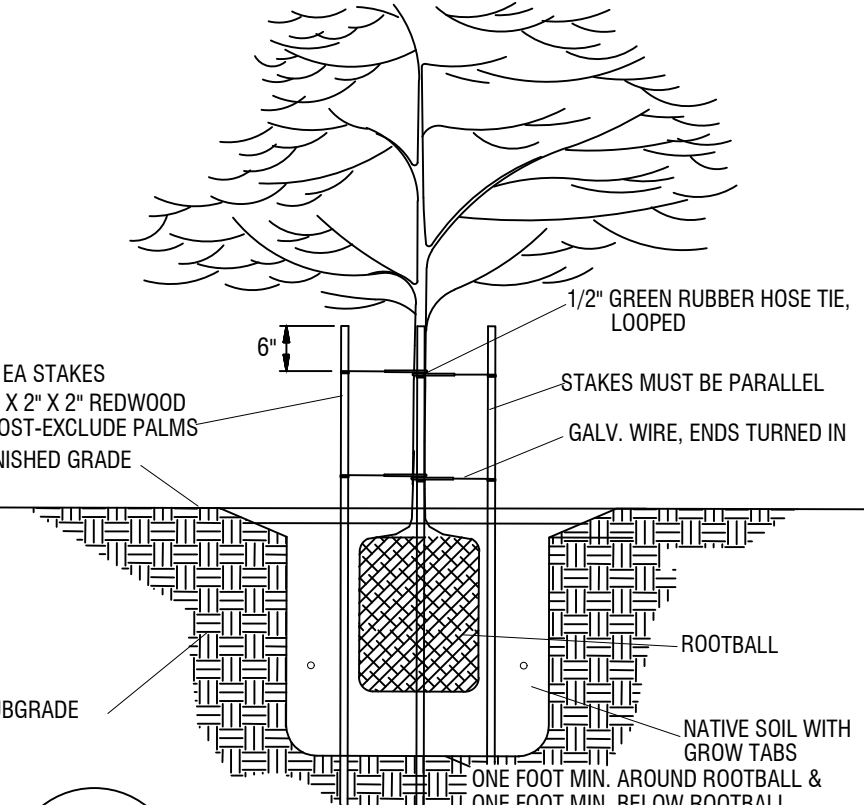
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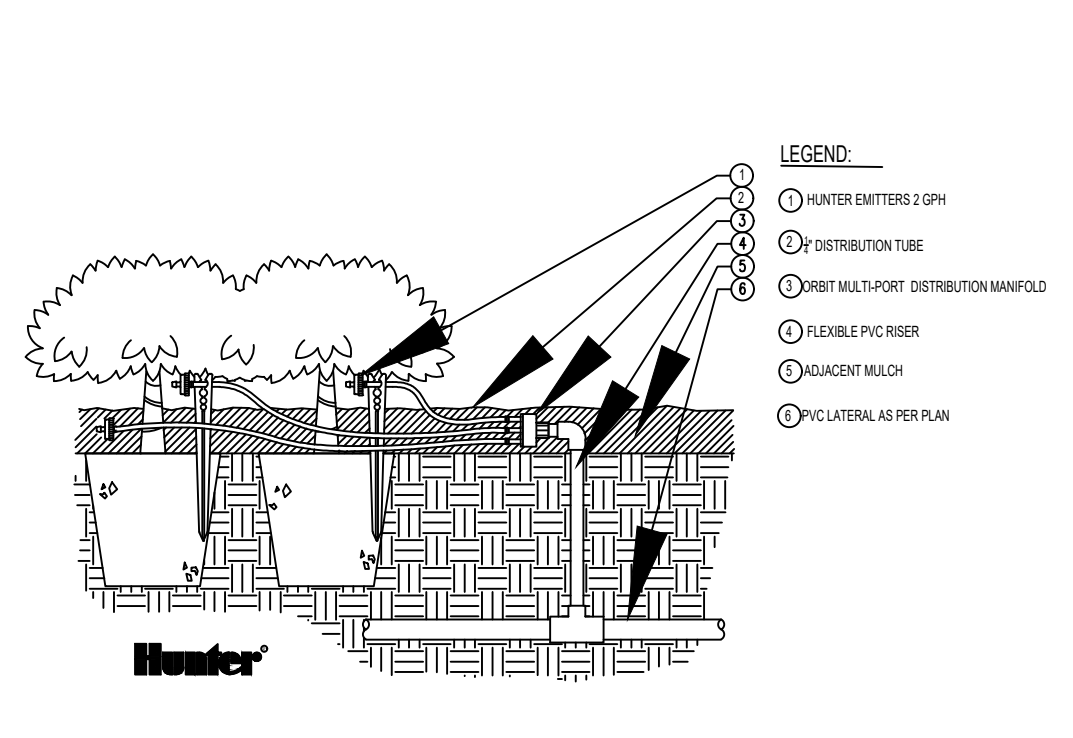
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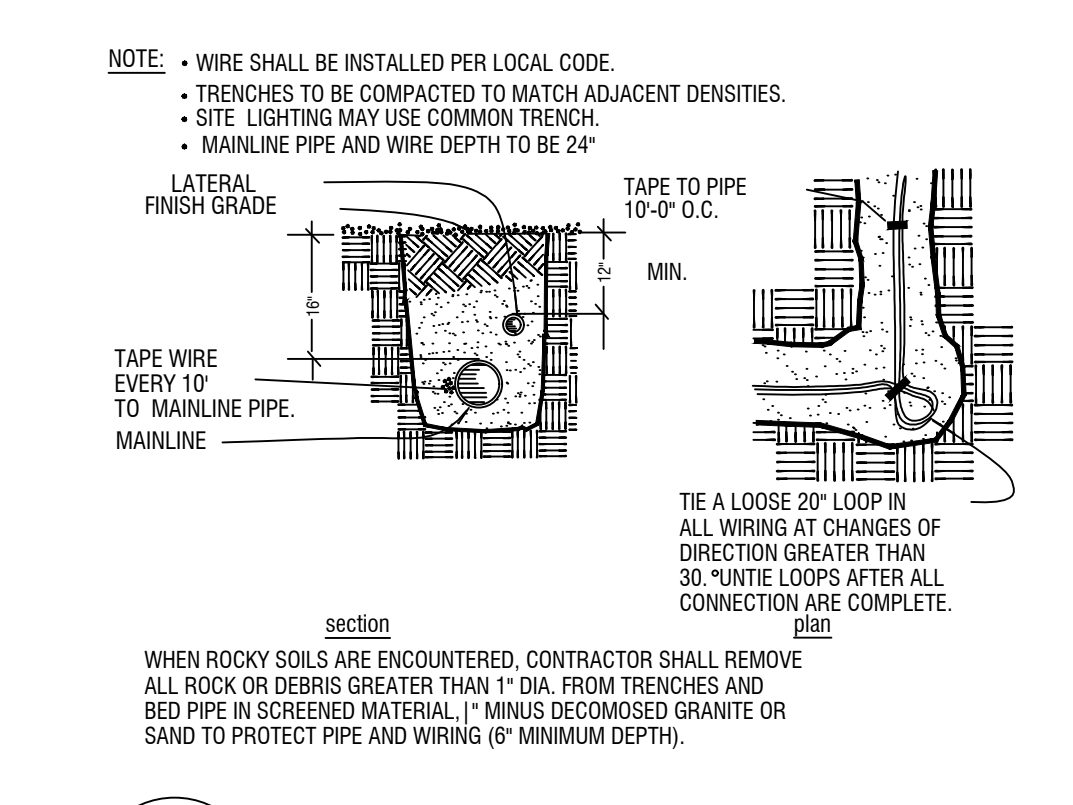
D1 SHRUB PLANTING



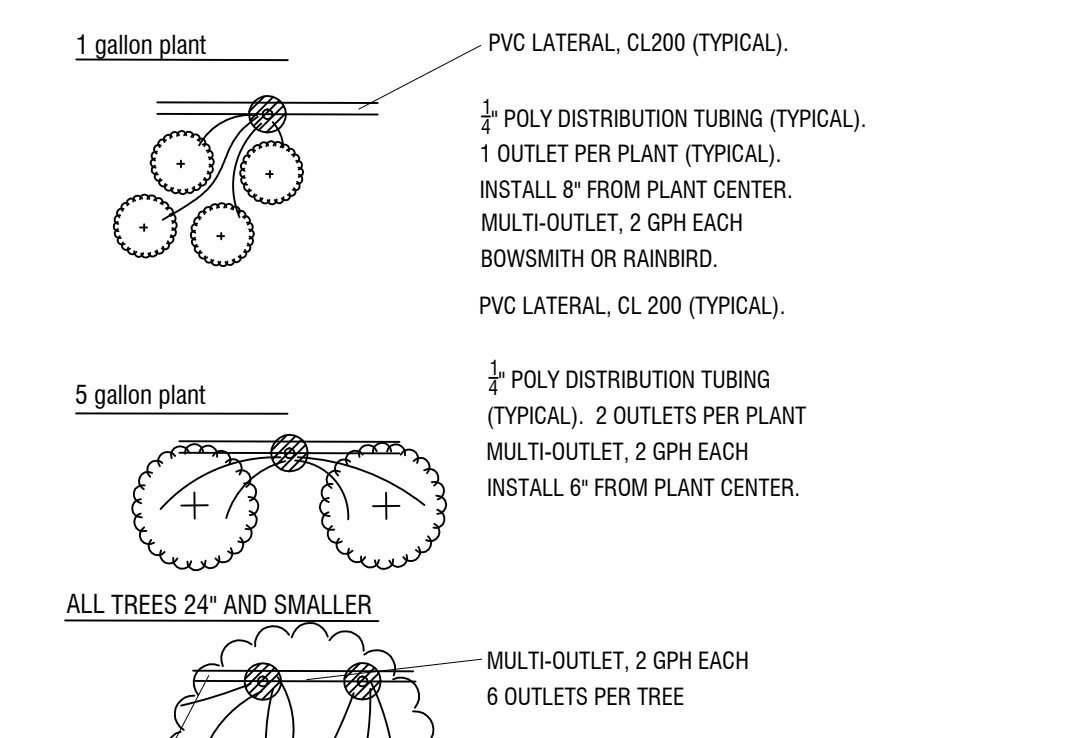
D6 TREE PLANTING



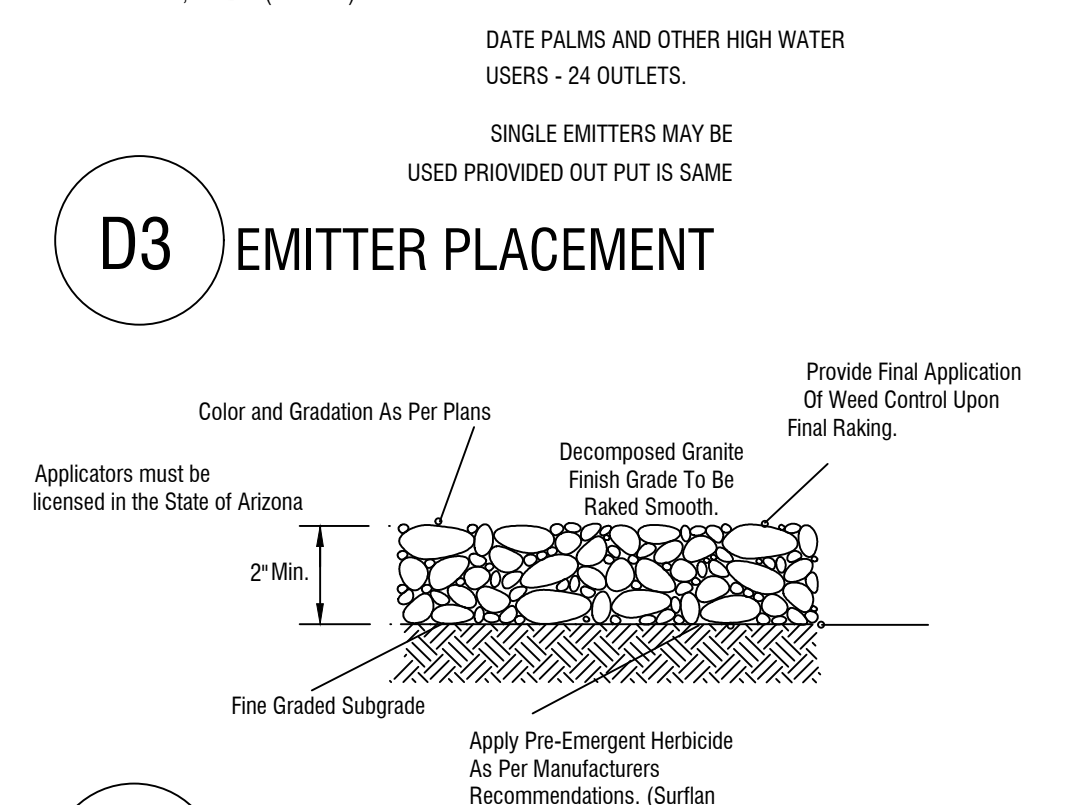
D2 MULTIPORT MANIFOLD



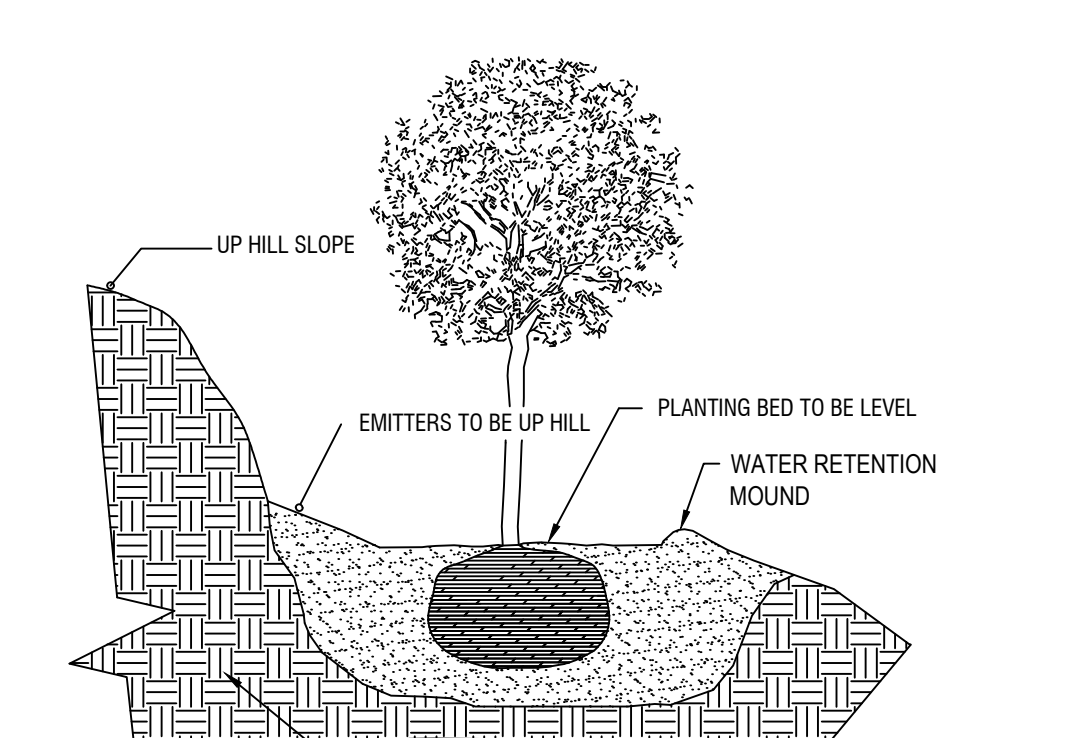
D7 PIPE AND WIRE TRENCHING



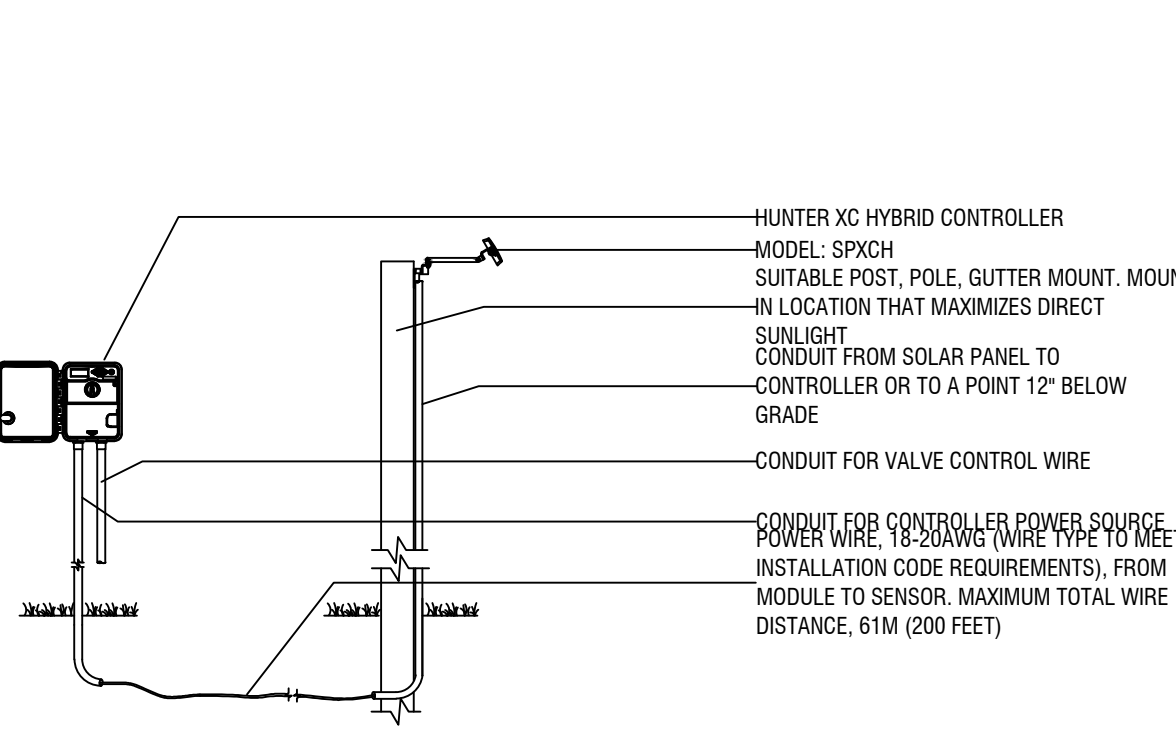
D3 EMITTER PLACEMENT



D8 DECOMPOSED GRANITE



D4 PLANTED ON SLOPE

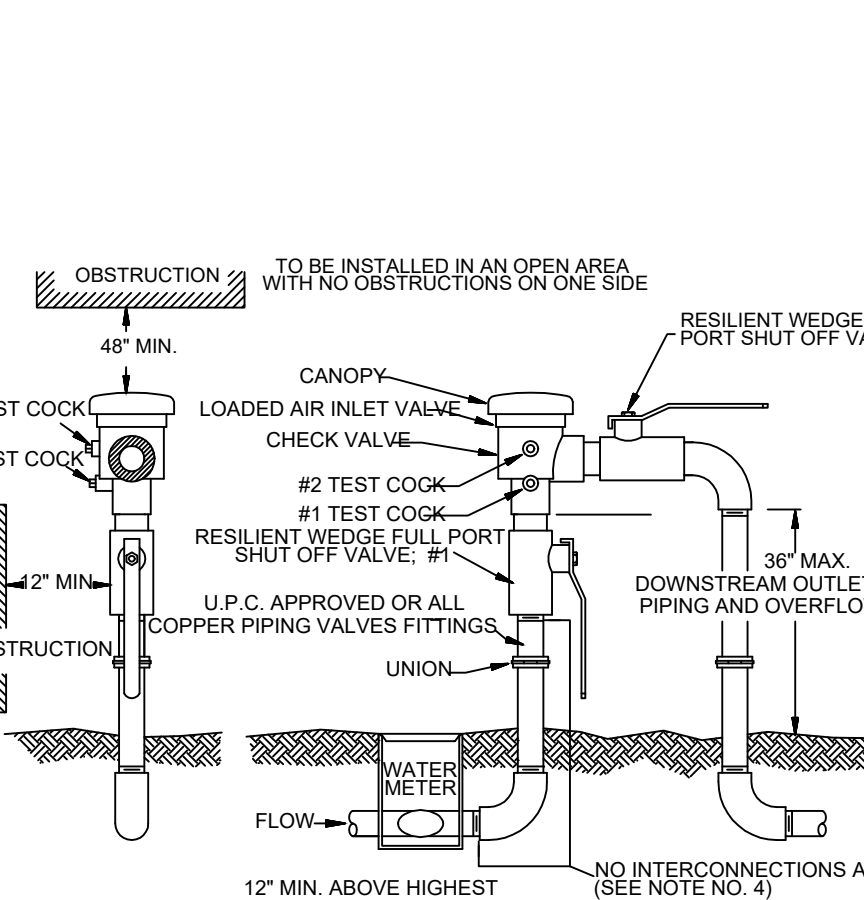


D5 SOLAR PANEL FOR XC HYBRID

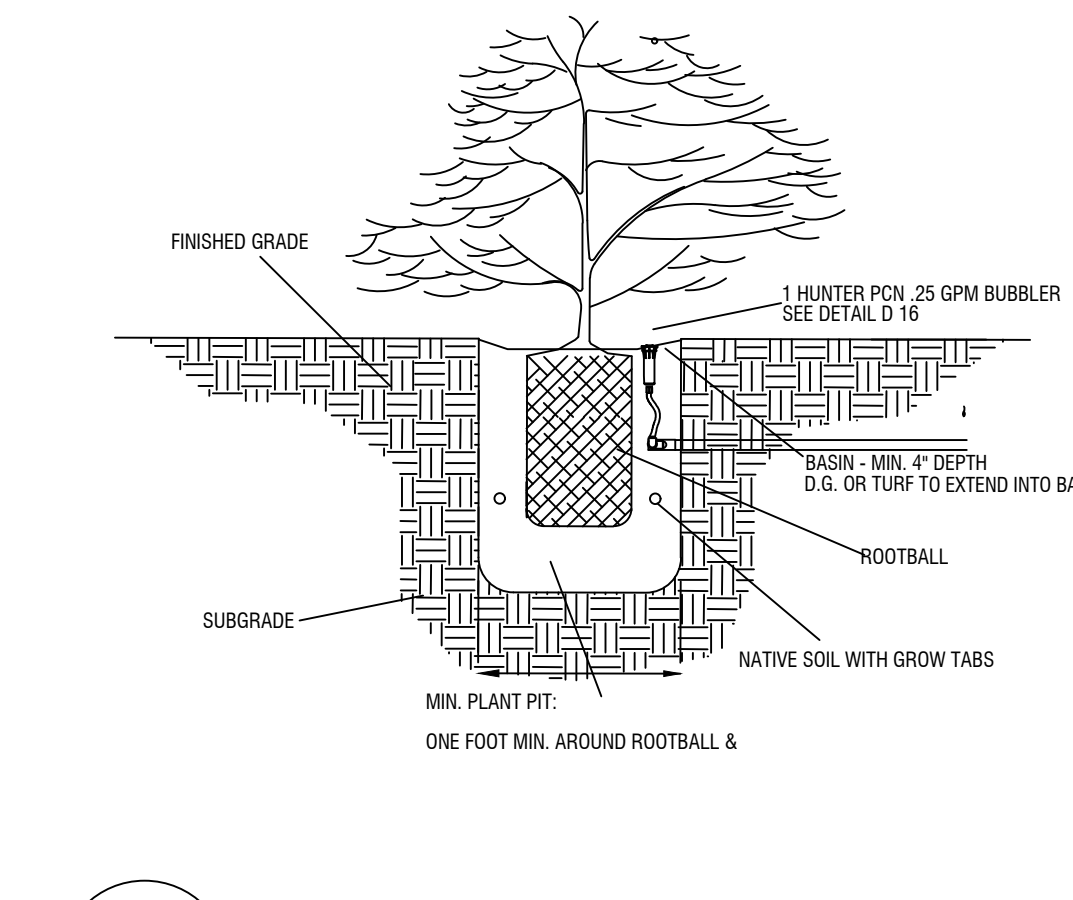
size (pipe)	class	gpm	sleeve size
1/2"	SCH 40	0-5	2"
3/4"	SCH 40	6-10	2"
1"	SCH 40	11-15	2"
1-1/4"	SCH 40	16-25	3"
1-1/2"	SCH 40	26-35	3"
2"	SCH 40	36-50	4"
2-1/2"	CL160	51-75	6"
3"	CL160	76-100	6"
4"	CL160	101-190	10"
WIRING	SCH 40	1-26 WIRES	2" MIN.

ALL MAINLINE FITTINGS 3" AND LARGER SHALL BE DUCTILE IRON. ALL OTHER MAINLINE FITTINGS SHALL BE SCH. 40.
ALL MAINLINE INTERSECTIONS (45, 90, ECT.) SHALL HAVE THRUST BLOCKS PER MANUFACTURER'S RECOMMENDATIONS. USE MECHANICAL FITTINGS ON TEES, FOR 3" AND LARGER MAINLINE.
SLEEVE SIZE IS FOR SINGLE PIPE RUNS.
SLEEVE ALL WIRE SEPARATE FROM WATER LINES, UNDER PAVING.
ALL SOLVENT WELD MAINLINE FITTINGS SHALL BE SCHEDULE 40.

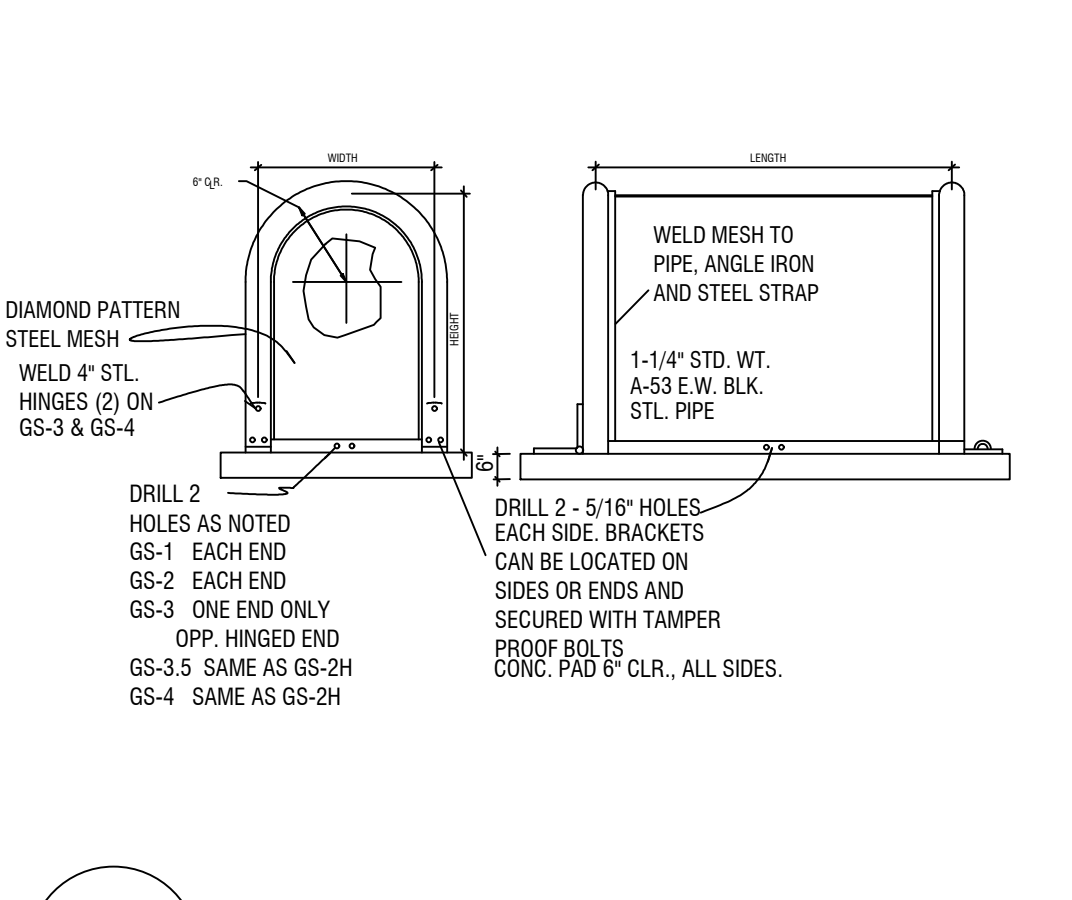
D10 PIPE AND SLEEVE SIZING



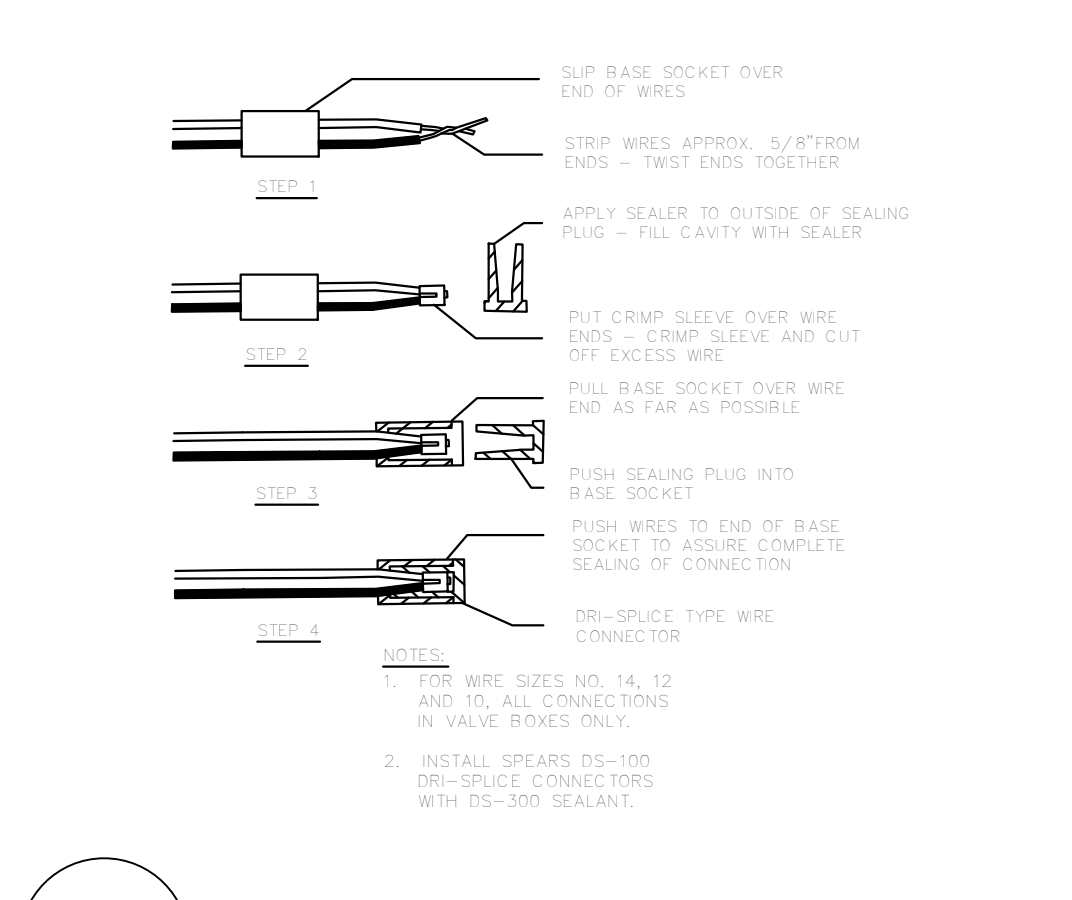
D15 PRESSURE VACUUM BREAKER



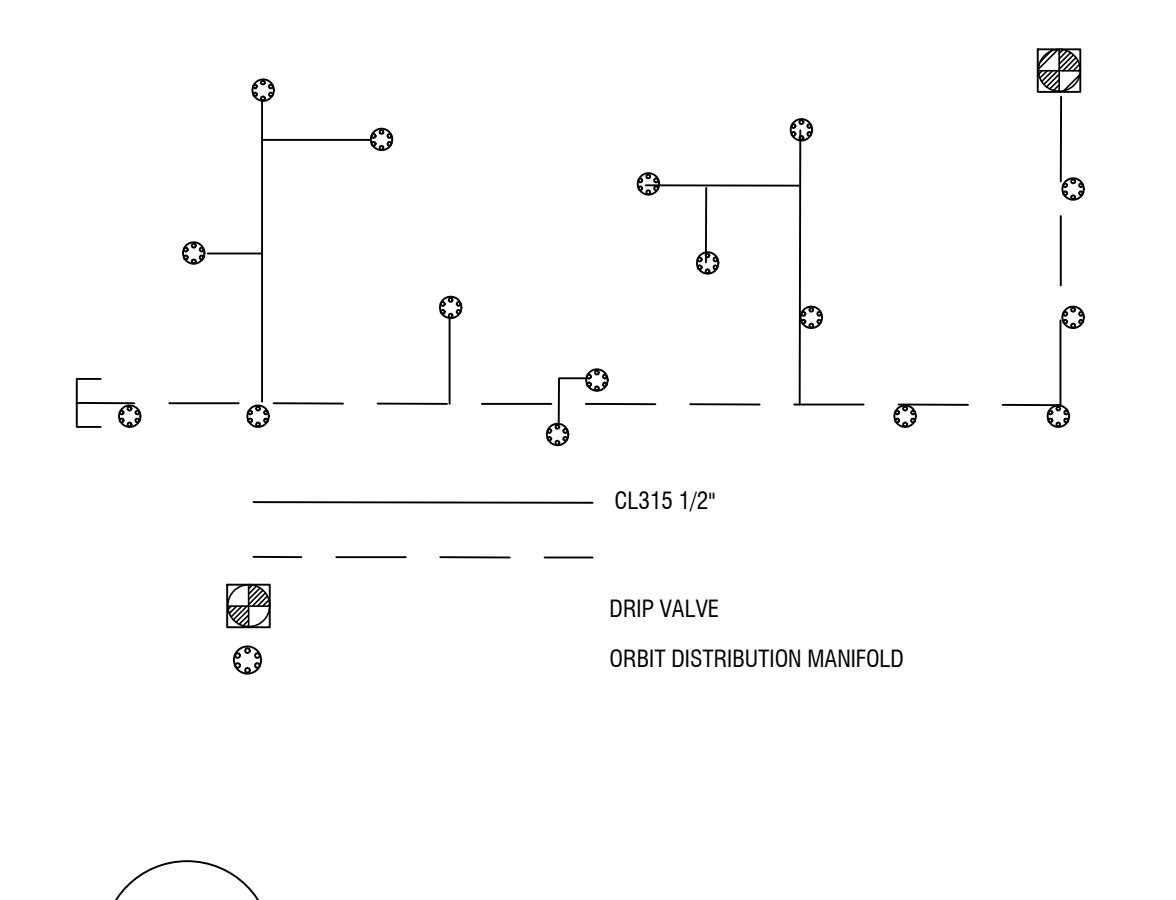
D11 TREE IRRIGATION DETAIL



D12 GARDSHACK ENCLOSURE



D13 IRRIGATION WIRE CONNECTIONS

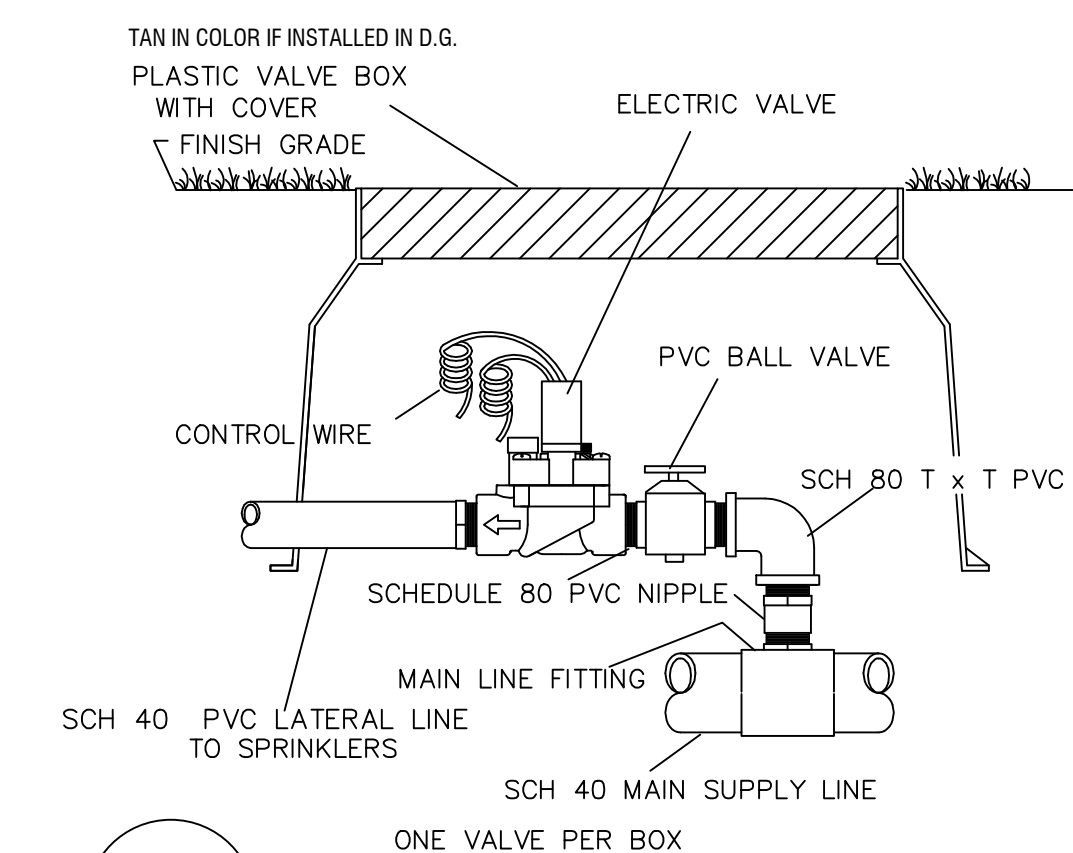


D14 EMITTER PVC PIPE LAY OUT

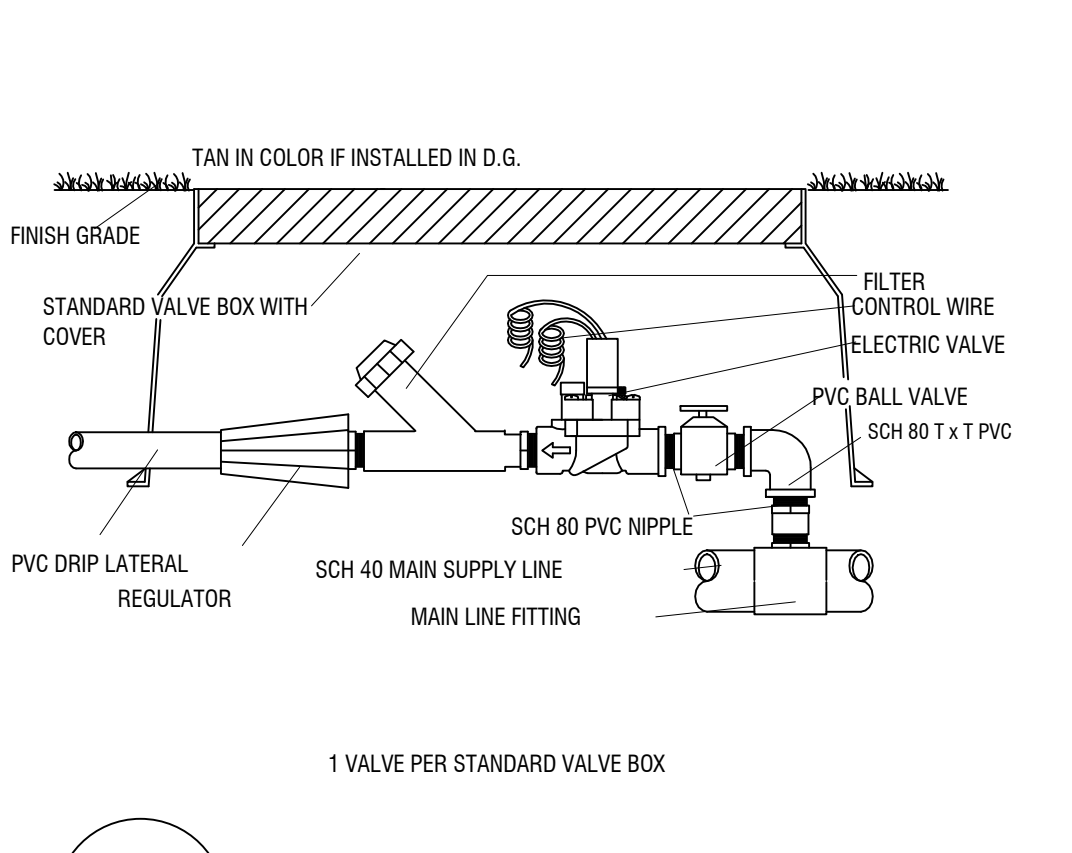
NOTES

1. A permit is required before installing or replacing a backflow assembly. Permits are obtained at the Department of Community Development.
2. A list of approved backflow assemblies are available from the Utilities Department Pretreatment
3. The P.V.B. shall be installed outside, above ground, as close to the water meter as possible. The P.V.B. shall be located on private property unless otherwise authorized.
4. There shall be no other piping connected to the piping between the water meter and the backflow assembly except for parallel assembly installations.
5. Installations shall meet all current uniform plumbing codes in addition to the City building codes.
6. Installations shall be left exposed until inspected and approved by the City.
7. If this unit is installed to serve a retention basin, this unit shall be placed a minimum of 12" (36" maximum) above the flood rim of the retention basin.
8. Protective cages are optional and will meet clearance, access and drainage requirements.
9. It is recommended that backflow assemblies be protected from the elements. Care shall be taken to ensure that the protection does not hinder the assembly's operation.
10. All backflow units are to be tested by a certified professional prior to final approval. Backflow units shall be tested on an annual basis.
11. The installation of a pressure vacuum breaker assembly can cause a closed system. Consult with the City Building Official for pressure relief valves, thermal expansion or other needed requirements.
12. P.V.B.'s may be maintained under constant pressure and have shutoff valves downstream but there shall be no means of imposing back pressure on the P.V.B. from any other source.
13. P.V.B.'s shall only be approved for irrigation system service protection unless otherwise authorized.

D15 PRESSURE VACUUM BREAKER



D16 TURF VALVE



D17 DRIP VALVE



Notes:

Scale: N.T.S. | Date: APR 2024
Drawn: staff | Job #: vv23-600
Checked: vna



City of San Luis

Development Services Department

Planning · Zoning · GIS · Building Safety · Code Enforcement

July 5, 2024

Vianey Vega

Vega & Vega Engineering, P.L.C.

2619 S Ave. 2½ E, Ste #3

Yuma, AZ 85364

Re: Subdivision Case No. 2024-0298P & 2024-0299F Orchidea Park Townhomes Subdivision Phase 1

City staff has reviewed the 1st Submittal preliminary and final plat of Orchidea Park Townhome Subdivision Phase 1 and have the following comments:

Planning and Zoning Department

Preliminary and final Plat

1. Provide HOA, CCR's and Title Report.
2. An approved Development Agreement will be required at the time of the final approval of any phase.
3. As per current Subdivision Regulations subdivider will take such actions as may be necessary to form, establish and include the subdivision in an improvement district.
4. On Approved Section revise "Director of Planning and Zoning" to "*Director of Development Services*".
5. Call out the corners of the subdivision property and provide survey monuments at all corners.
6. Show 8' utility easement and 1' non-access easement on plat.
7. Show all dimensions and bearing as required for lots 82 and 83 and dedicate corner triangles at intersections as per COY standards.
8. Legal description on plat and dedication should read: "A Subdivision of lot B of San Luis Port II Subdivision as recorded..."
9. On TYP. Lot Building Setback Layout show 10' side yard setback on visibility triangle.
10. Call out Mid-Section line of section 14.
11. Provide owners name and assessor's number of adjoining parcels.
12. Provide assessor's parcel number on plat and revise zoning to current zoning.
13. Basis of bearing is S89°32'13"W as per Book 35 of Plats, Page 54, Yuma County Records Office. Clarify or revise accordingly.

Paving and grading

1. Submit complete drainage report and engineer design report.
2. Provide striping plan for major streets.
3. Show existing elevation contours, seems contours on plans shown are the new elevation contours.
4. Add streetlights to County 24th Street.

5. For County 24th Street revise section to match COY Std. No 2-015 with a centerline to curb dimension of 38.0' and 6' sidewalk, this would match Plaza Colibri Commercial subdivision adjacent project to the west, revise plan and typical street section accordingly.
6. For 24th Avenue section to match northern developments with a centerline to curb dimensions of 26.0' and 5' sidewalk.
7. Reference detail to Keynote 7 accordingly.
8. Provide guard post location and spacing on 13' spillways.
9. Provide distance from centerline for stormdrain pipes.
10. Provide subdivision perimeter wall along rear of retention basin.
11. As per Zoning Ordinance Section 18.30.020 (E)(5) All multiple residence developments having more than ten dwelling units shall include a recreational amenity for the residents' use at the rate of one amenity per ten dwelling units. Examples of such amenities include, but are not limited to, swimming pool, tot lot, sport court, ramada with picnic tables and barbeque grill.
12. Development of all improvements and dedication of rights-of-way are required as part of a subdivision development unless approved and specified in a Development Agreement. It is understood that the developer is currently working on a Development Agreement, which will determine the phasing of the improvements and right-of-way dedication.

Water and sewer plans

1. Provide ADEQ permits.
2. A sewer and water masterplan for the whole development at the time of the first final plat submittal.
3. General Note Sheet 7 should reference City of San Luis.
4. Sanitary sewer manholes need to be polymer manholes as per City of San Luis Supplement to the MAG Uniform Standard Specifications.
5. Provide fire hydrant street markers as per COY Std. No. 5-160.
6. Provide distance from Centerline on water and sewer lines.

Public Works

General

1. Assure design meets City of San Luis Standards. Any deviations from City Standards need City of San Luis approval prior to incorporating into the design. Update General Note No. 1 to reflect this. Yuma Co. spillway is acceptable.
2. Provide traffic study for this development and how it incorporates to proposed improvements from Mezquites and Von Verde traffic study by Nicklaus Engineering for this area.
3. Confirm all corner triangle and visibility meets City standards.

Grading

1. Update topo to show existing improvements on the north side of Co. 24th Street on 24th Avenue. This will help better identify necessary improvements to better align 24th Avenue centerline to the north and south of Co. 24th Street.
2. Co. 24th Street is missing some slopes but it appears that proposed drainage slopes actually go against the existing longitudinal slopes. Provide EP and gutter profile to better appreciate the grade difference.
3. 24th Avenue vertical alignment appears low compared to existing surrounding grades, raising it would make it easier to drain it into future phases.

4. Suggest that CMU wall callout be modified so that the 6 foot height requirement is on the side of highest elevation.
5. Include street lights along the entire perimeter of the subdivision. The City uses dual mast arm street lights next to retention basins. Final street light design will be coordinated with APS.

Details

1. Outlet headwall should include railings. Provide positive drainage away from headwall floor to eliminate stagnant nuisance flows. Suggest a 2" to 4" drop from pipe invert to headwall floor to keep pipe dry (if grades permit).

ADOT

The ADOT Southwest District requests the opportunity to review and comment on a traffic impact analysis (TIA) for the proposed subdivision. The TIA should meet the requirements of Section 240 of ADOT's Traffic Guidelines and Processes; this information can be found at the following location: azdot.gov/business/engineering-and-construction/traffic/guidelines-and-processes. The TIA would allow the Department the chance to assess the effects the increased traffic from the proposed development would have on the state highway system and the intersection of Ave E and SR 195."

Yuma County Assessor's Office

It would be much better to have the following: A SUBDIVISION OF A PORTION OF LOT B, SAN LUIS PORT II – INDUSTRIAL PARK LLC, ACCORDING TO BOOK 26 OF PLATS, PAGE 4, RECORDS OF YUMA COUNTY, ARIZONA.

Please be advised that the comments made here are tentative in nature. Until all documentation, information, and drawings are submitted and approved in final form, and all permits for construction are approved and issued, the City of San Luis reserves the right to make further comments or require further information or submissions. Any construction which occurs prior to issuance of proper permits is occurring in contravention of the ordinances of the City and is occurring at the risk of the Developer.

If you have any questions on these comments, please contact the Development Services Department at 928-341-8563 extension 2064.

Thank you,

Juan Tejeda
Associate Planner



PLANNING & ZONING AGENDA ITEM REVIEW FORM

Planning & Zoning Commission Meeting

5. C.

Meeting Date: 07/09/2024

Submitted By: Juan Tejada, Associate Planner, Development Services, Planning & Zoning

ITEM:

Discussion and possible action on any and all matters regarding Subdivision Case No. 2024-0315F. A request by Core Engineering Group PLLC., on behalf of Border Sam LLLP, for the final plat approval of Belleza del Desierto Unit III Subdivision. The property is located at the northeast corner of 20th Avenue and County 24 1/2 Street in San Luis, Arizona.

A. Staff Presentation

B. Action on Subdivision Case No. 2024-0315F

SUMMARY:

This is a request by Core Engineering Group PLLC., on behalf of Border Sam LLLP (a partnership agent for Border Ranches II AZ LLC), for the final plat approval of Belleza del Desierto Unit III Subdivision. The property is located at the northeast corner of 20th Avenue and County 24 1/2 Street. Assessor's Parcel Number 227-15-030.

This subdivision will contain approximately 20 acres that will be divided into 86 residential lots. The residential lots range in size from approximately 6,000 square feet to 10,850 square feet.

GENERAL PLAN:

In October 2021, the City Council passed and adopted Resolution No. 2199, which amended the 2040 General Plan to change land use designation to Medium Density Residential (MDR). The activities proposed will be consistent with and conform to the designation. The MDR Land Use designation allows detached single-family residential density to range up to six dwelling units per acre.

ZONING:

The approval of the General Plan Amendment Case No. 2021-0337 and the adoption of Resolution No. 2199 allowed the owner to apply to rezone the property for residential use. On June 8, 2022, City Council approved Rezoning Case No. 2022-0190 and adopted Ordinance No. 426, rezoning this property from Light Industrial (L-I) to Medium Density Residential (R1-6). The property was rezoned with the following conditions:

1. The owner/applicant shall submit a preliminary plat application in compliance with the City of San Luis subdivision regulations.
2. That any development of the property, or portion thereof, and/or the approval of any subdivision plat, be conditioned upon payment to the city the sum of \$260.00 per acre, or any portion of an acre, as a proportionate contribution for a traffic signal at the intersection of County 24th Street and Avenue E.
3. Owner/applicant must provide a road connection along 20th Avenue from the northwest corner of the subdivision to Belleza Del Desierto Phase 2 subdivision.

The existing condition of the subject property is undeveloped vacant land with the following adjacent zoning districts:

To the north: R1-6
To the west: R1-6
To the south: RA-10
To the east: L-I

STAFF RECOMMENDATION:

Therefore, the staff recommends approval with the following conditions:

1. The applicant must address all comments on the review comments letter dated June 28, 2024
2. Applicant must comply with rezoning conditions as per Ordinance No. 426.
3. Applicant must provide a traffic study and all improvements required by the traffic study shall be done by the developer, including any applicable contributions for future traffic lights.
4. Landscaping and SWPPP plans shall be submitted before presenting this item to City Council.

RECOMMENDED MOTION:

I MOVE TO FORWARD SUBDIVISION CASE NO. 2024-0315F FINAL PLAT FOR BELLEZA DEL DESIERTO UNIT III TO CITY COUNCIL WITH CONDITIONS AS RECOMMENDED BY STAFF.

Attachments

Location Map
Final Plat
Comment Letter 6-28-24
