



NOTICE OF REGULAR PLANNING AND ZONING COMMISSION MEETING

In accordance with Section 38-431.01 of the Arizona Revised Statutes of the State of Arizona, notice is hereby given to the Members of the Planning and Zoning Commission and to the general public that the Planning and Zoning Commission of the City of San Luis, Arizona will hold a Regular Planning & Zoning Commission Meeting at 6:00 p.m., Tuesday, July 9, 2024. The meeting will take place at the City Council Chambers, located at 1090 E. Union Street, San Luis, Arizona, 85349. Everyone from the public is invited to attend the open meeting.

In accordance with the Americans with Disabilities Act (ADA) and Section 504 of the Rehabilitation Act of 1973, the City of San Luis does not discriminate on the basis of disability in the admission of or access to, or treatment of employment in its programs, activities, or services. For information regarding rights and provisions of the ADA or Section 504, or to request reasonable accommodations for participation in City programs, activities or services contact: ADA/Section 504 Coordinator, City of San Luis Human Resources Department, 1090 E Union Street, San Luis, Arizona 85349; (928) 341-8520.

Notice is hereby given that pursuant to A.R.S. §1-602.A.9, subject to certain specified statutory exceptions, parents have a right to consent before the State or any of its political subdivisions make a video or audio recording of a minor child. Meetings of the Commission are audio and/or video recorded, and, as a result, proceedings in which children are present may be subject to such recordings. Parents in order to exercise their rights may either file written consent with the City Clerk to such recordings, or take personal action to ensure that their child or children are not present when a recording may be made. If a child is present at the time a recording is made, the City will assume that the rights afforded parents pursuant to A.R.S. §1-602.A.9 have been waived.

THIS NOTICE IS GIVEN BY:

/s/ Roman Pacheco, Planning Technician

AVISO DE JUNTA REGULAR DE LA COMISIÓN DE PLANEACIÓN Y ZONIFICACIÓN

De acuerdo a la Sección 38-431.01 de los Estatutos Revisados del Estado de Arizona, se les informa a los Miembros de la Comisión de Planeación y Zonificación y al público en general que la Comisión de Planeación y Zonificación de San Luis, Arizona, tendrán una junta regular a las 6:00 p.m., el día Martes 9 de Julio del 2024. La junta se llevará a cabo en la Sala del Cabildo de la ciudad, ubicado en el 1090 E Union Street, San Luis, Arizona, 85349. El público esta cordialmente invitado.

De acuerdo con el Acta de Americanos con Discapacidades y la Sección 504 del Acta de Rehabilitación de 1973, la Ciudad de San Luis no discrimina por causa de discapacidad la admisión y acceso a sus programas, actividades, servicios o en el trato en cuanto a empleo. Para más información referente a derechos y provisiones del Acta de Americanos con Discapacidades o Sección 504, o para solicitar adaptaciones que sean razonables para la participación en programas, actividades o servicios de la ciudad, contactar a: Coordinador del Acta de Americanos con Discapacidades/Sección 504, Departamento de Recursos Humanos de la Ciudad de San Luis, 1090 E Union Street, San Luis, Arizona, 85349; (928) 341-8520.

Por medio de éste aviso y de acuerdo con los Estatutos Revisados del Estado de Arizona, sujeto a ciertas excepciones reglamentarias, los padres de familia tienen el derecho de dar o no dar el consentimiento ante el Estado o alguna subdivisión política grabe a un menor de edad, ya sea en audio o video. Las juntas de la Comisión se graban en audio y/o video y como resultado, el hecho de que haya menores presentes puede ser sujeto a que sean grabados. Para que los padres de familia puedan ejercer sus derechos pueden solicitar por escrito a la Secretaria de la Ciudad dicha grabación, o tomar acción personal para asegurarse que su hijo/hija menor no esté presente cuando la grabación se lleve a cabo. Si un menor de edad está presente en el momento de la grabación, la Ciudad asumirá que los padres de familia están cediendo los derechos sobre una posible grabación de acuerdo con el Estatuto Revisado del Estado de Arizona §1-602.A.9.

ESTE AVISO ES DADO POR:

/f/ Roman Pacheco, Técnico en Planeación



AGENDA
Planning & Zoning Commission
Regular Meeting
San Luis Council Chambers
1090 E. Union Street
San Luis, AZ 85349
Tuesday, July 9, 2024
6:00 P.M.

MEMBERS OF THE SAN LUIS PLANNING & ZONING COMMISSION WILL ATTEND EITHER IN PERSON, TELEPHONE, OR VIDEO CONFERENCE COMMUNICATION.

1. CALL TO ORDER/ROLL CALL

2. PLEDGE OF ALLEGIANCE

3. CONSENT AGENDA

All matters are considered to be routine by the Planning & Zoning Commission and will be enacted by one motion. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

3. A. APPROVAL OF MINUTES

-Regular Planning and Zoning Commission meeting held June 11, 2024.

4. PUBLIC HEARINGS – the Planning & Zoning Commission will be considering a vote or action on the following cases. Any vote or action will be considered separately for each case.

4. A. Public hearing followed by discussion and possible action on any and all matters regarding Rezoning Case No. 2024-0318. A request by Vega & Vega Engineering on behalf of Sam Group Investments Partners to rezone 8.61 acres from Light Industrial (L-I) to Community Commercial (C-2). The property is located at 375 & 421 South Oak Avenue in San Luis, Arizona.

A. Open Public Hearing

1. Staff presentation

2. Call to the Public on this item

B Close Public Hearing

C. Action on Rezoning Case No. 2024-0318

5. ITEMS REQUIRING DISCUSSION AND/OR ACTION – the Planning & Zoning Commission will be considering a vote or action on the following cases. Any vote or action will be considered separately for each case.

5. A. Discussion and possible action on any and all matters regarding Subdivision Case No. 2024-0298P. A request by Vega & Vega Engineering, on behalf of Von Verde Partners LLC, for the approval of Orchidea Park Townhomes Subdivision Phase 1 preliminary plat. The property is located at the southeast corner of 24th Avenue and County 24th Street intersection, in San Luis, Arizona.

A. Staff Presentation

B. Action on Subdivision Case No. 2024-0298P

5. B. Discussion and possible action on any and all matters regarding Subdivision Case No. 2024-0299F. A request by Vega & Vega Engineering, on behalf of Von Verde Partners LLC, for the approval of Orchidea Park Townhomes Subdivision Phase1 final plat. The property is located at the southeast corner of 24th Avenue and County 24th Street intersection, in San Luis, Arizona.

A. Staff Presentation

B. Action on Subdivision Case No. 2024-0299F

5. C. Discussion and possible action on any and all matters regarding Subdivision Case No. 2024-0315F. A request by Core Engineering Group PLLC., on behalf of Border Sam LLLP, for the final plat approval of Belleza del Desierto Unit III Subdivision. The property is located at the northeast corner of 20th Avenue and County 24 1/2 Street in San Luis, Arizona.

A. Staff Presentation

B. Action on Subdivision Case No. 2024-0315F

6. ADJOURNMENT



AGENDA ITEM REVIEW FORM

3. A.

Summary

APPROVAL OF MINUTES

-Regular Planning and Zoning Commission meeting held June 11, 2024.

Attachments

Minutes

MINUTES

REGULAR MEETING
PLANNING AND ZONING COMMISSION
SAN LUIS COUNCIL CHAMBERS
1090 E. UNION STREET
JUNE 11, 2024
6:00 p.m.

1. CALL TO THE ORDER /ROLL CALL: Chairman George Amaya called the meeting to order at 6:00 p.m.

PRESENT:

Chairman George Amaya
Vice Chairman Javier Barraza
Commission Member Marco A. Pinzon
Commission Member Hugo Garcia
Commission Member Veronica Zavala (via Zoom)
Commission Member Angelica Ortiz

ABSENT:

Commission Member Ruben Walshe

OTHERS PRESENT:

Jose A. Guzman, Director of Development Services
Roman Pacheco, Planning Coordinator
Eulogio Vera, Director of Public Works
Jose Antonio Maldonado, Video Production Specialist
Joel Arismendi, I.T.
Juan Tejeda, Associate Planner
Monica Campos, I.T.
Alberto Leon, Resident
Mark Concha, Riedel Holdings, LLC.

2. PLEDGE OF ALLEGIANCE

Vice Chairman Javier Barraza led the Pledge of Allegiance.

3. CONSENT AGENDA

3. A. APPROVAL OF MINUTES

- Regular Planning and Zoning Commission meeting held on May 14, 2024.

MOTION: Commission Member Marco A. Pinzon / Commission Member Hugo Garcia approved the consent agenda as presented. The motion passed unanimously.

The vote was as follows:

Chairman George Amaya	Aye
Vice Chairman Javier Barraza	Aye
Commission Member Marco A. Pinzon	Aye
Commission Member Hugo Garcia	Aye
Commission Member Veronica Zavala	Aye
Commission Member Angelica Ortiz	Aye

4. ITEMS REQUIRING DISCUSSION AND/OR ACTION

Chairman George Amaya told the commission members that for items 4A and 4B, he would like to open both items simultaneously. So, we will have one staff presentation and then take independent action for each case.

4. A. Discussion and possible action on any and all matters regarding Subdivision Case No. 2024-0205P. A request by Edais Engineering, Inc., on behalf of Riedel Holdings LLC, for the approval of Los Mezquites Unit 4 preliminary plat. The property is located at the southeast corner of San Luis Lane and 24th Avenue in San Luis, Arizona.

A. Staff Presentation

Jose A. Guzman, Director of Development Services, summarized the staff report recommending approval of Subdivision Case No. 2024-0205P with the following conditions:

1. Applicant must address comments from Comment Letter dated 6-10-24.
2. Developer must comply with all provisions and conditions of the development agreement approved by Resolution No. 2204 and any amendments.
3. Developer must comply with all provisions and conditions of Ordinance No. 423.
4. Landscaping plans shall be submitted prior to presenting the final plat to City Council.
5. Developer shall develop and construct any and all improvements needed and necessary for the signalization of the intersections at 24th Street and Avenue E and 23 ½ and Ave. E in accordance with the Public Works Standards of the City and the standards of the Arizona Department of Transportation, subject to the payback provisions of Section 15.10.130 (C) of the City Code.

B. Action on Subdivision Case No. 2024-0205P

MOTION: Vice Chairman Javier Barraza / Commission Member Hugo Garcia move to approve Subdivision Case No. 2024-0205P preliminary plat for Los Mezquites Unit 4 with conditions as recommended by staff. The motion passed unanimously.

The vote was as follows:

Chairman George Amaya	Aye
Vice Chairman Javier Barraza	Aye
Commission Member Marco A. Pinzon	Aye
Commission Member Hugo Garcia	Aye
Commission Member Veronica Zavala	Aye
Commission Member Angelica Ortiz	Aye

4. B. Discussion and possible action on any and all matters regarding Subdivision Case No. 2024-0206F. A request by Edais Engineering, Inc., on behalf of Riedel

Holdings LLC, for the approval of Los Mezquites Unit 4 final plat. The property is located at the southeast corner of San Luis Lane and 24th Avenue in San Luis, Arizona.

A. Staff Presentation

Jose A. Guzman, Director of Development Services, summarized the staff report recommending approval of Subdivision Case No. 2024-0206F with the following conditions:

1. Applicant must address comments from Comment Letter dated 6-10-24.
2. Developer must comply with all provisions and conditions of the development agreement approved by Resolution No. 2204 and any amendments.
3. Developer must comply with all provisions and conditions of Ordinance No. 423.
4. Landscaping plans shall be submitted prior to presenting the final plat to City Council.
5. Developer shall develop and construct any and all improvements needed and necessary for the signalization of the intersections at 24th Street and Avenue E and 23 ½ and Ave. E in accordance with the Public Works Standards of the City and the standards of the Arizona Department of Transportation, subject to the payback provisions of Section 15.10.130 (C) of the City Code.

Mr. Guzman also mentioned that the applicant agrees to these conditions.

B. Action on Subdivision Case No. 2024-0206F

MOTION: Commission Member Hugo Garcia / Commission Member Veronica Zavala moved to forward Subdivision Case No. 2024-0206F to the City Council with the recommendation of approval with conditions presented by staff. The motion passed unanimously.

The vote was as follows:

Chairman George Amaya

Aye

Vice Chairman Javier Barraza	Aye
Commission Member Marco A. Pinzon	Aye
Commission Member Hugo Garcia	Aye
Commission Member Veronica Zavala	Aye
Commission Member Angelica Ortiz	Aye

Chairman George Amaya told the commission members that for items 4C and 4D, he would like to open both items simultaneously. So, we will have one staff presentation and then take independent action for each case.

4. C. Discussion and possible action on any and all matters regarding Subdivision Case No. 2024-0207P. A request by Edais Engineering, Inc., on behalf of Riedel Holdings LLC, for the approval of Los Mezquites Townhomes 2 preliminary plat. The property is located east of 24th Avenue and south of Los Mezquites Unit 4 Subdivision in San Luis, Arizona.

A. Staff Presentation

Jose A. Guzman, Director of Development Services, summarized the staff report recommending approval of Subdivision Case No. 2024-0207P with the following conditions:

1. Applicant must address comments from Comment Letter dated 5-24-2024.
2. Landscaping plans shall be submitted prior to presenting this item to City Council.
3. Developer must comply with all provisions and conditions of the development agreement approved by Resolution No. 2204 and any amendments.
4. Los Mezquites Unit 4 subdivision plat needs to be approved and recorded prior to presenting the final plat to City Council.

Mr. Guzman also mentioned that the applicant agrees to these conditions.

Commission Member Hugo Garcia asked if they would pave Avenue E ½ up to Juan Sanchez Boulevard. **Mr. Guzman** responded that a traffic study had already been done. One of the comments of the previous case was that they have to update that traffic study on the phasing. That traffic study mentions what traffic lights must be

in place during construction. They will update that report and any improvements needed based on it.

B. Action on Subdivision Case No. 2024-0207P

MOTION: Commission Member Hugo Garcia / Commission Member Veronica Zavala move to approve Subdivision Case No. 2024-0207P preliminary plat for Los Mezquites Townhomes 2 with conditions as recommended by staff. The motion passed unanimously.

The vote was as follows:

Chairman George Amaya	Aye
Vice Chairman Javier Barraza	Aye
Commission Member Marco A. Pinzon	Aye
Commission Member Hugo Garcia	Aye
Commission Member Veronica Zavala	Aye
Commission Member Angelica Ortiz	Aye

4. D. Discussion and possible action on any and all matters regarding Subdivision Case No. 2024-0208F. A request by Edais Engineering, Inc., on behalf of Riedel Holdings LLC, for the approval of Los Mezquites Townhomes 2 final plat. The property is located east of 24th Avenue and south of Los Mezquites Unit 4 Subdivision in San Luis, Arizona.

A. Staff Presentation

Jose A. Guzman, Director of Development Services, summarized the staff report recommending approval of Subdivision Case No. 2024-0208F with the following conditions:

1. Applicant must address comments from Comment Letter dated 5-24-2024.
2. Landscaping plans shall be submitted prior to presenting this item to City Council.

3. Developer must comply with all provisions and conditions of the development agreement approved by Resolution No. 2204 and any amendments.
4. Los Mezquites Unit 4 subdivision plat needs to be approved and recorded prior to presenting the final plat to City Council.

B. Action on Subdivision Case No. 2024-0208F

MOTION: Commission Member Hugo Garcia / Commission Member Veronica Zavala move to forward Subdivision Case No. 2024-0208F to the City Council with the recommendation of approval with conditions presented by staff. The motion passed unanimously.

The vote was as follows:

Chairman George Amaya	Aye
Vice Chairman Javier Barraza	Aye
Commission Member Marco A. Pinzon	Aye
Commission Member Hugo Garcia	Aye
Commission Member Veronica Zavala	Aye
Commission Member Angelica Ortiz	Aye

6. ADJOURNMENT

MOTION: Commission Member Marco A. Pinzon / Commission Member Hugo Garcia will adjourn the meeting at 6:11 p.m. The motion passed unanimously.

The vote was as follows:

Chairman George Amaya	Aye
Vice Chairman Javier Barraza	Aye
Commission Member Marco A. Pinzon	Aye
Commission Member Hugo Garcia	Aye
Commission Member Veronica Zavala	Aye
Commission Member Angelica Ortiz	Aye

APPROVED:

George Amaya, Chairman

Planning & Zoning Commission
Regular Meeting
June 11, 2024
Page 9 of 9

ATTEST:

Roman Pacheco, Planning Coordinator

CERTIFICATION

I HEREBY CERTIFY THAT THE FOREGOING MINUTES ARE A TRUE AND CORRECT COPY OF THE MINUTES OF THE REGULAR PLANNING AND ZONING COMMISSION MEETING OF THE PLANNING AND ZONING COMMISSION, SAN LUIS, ARIZONA, HELD ON JUNE 11, 2024. I FURTHER CERTIFY THE MEETING WAS DULLY CALLED AND HELD, AND A QUORUM WAS PRESENT.

Roman Pacheco, Planning Coordinator



PLANNING & ZONING AGENDA ITEM REVIEW FORM

Planning & Zoning Commission Meeting

4. A.

Meeting Date: 07/09/2024

Submitted By: Juan Tejada, Associate Planner, Development Services, Planning & Zoning

ITEM:

Public hearing followed by discussion and possible action on any and all matters regarding Rezoning Case No. 2024-0318. A request by Vega & Vega Engineering on behalf of Sam Group Investments Partners to rezone 8.61 acres from Light Industrial (L-I) to Community Commercial (C-2). The property is located at 375 & 421 South Oak Avenue in San Luis, Arizona.

A. Open Public Hearing

1. Staff presentation
2. Call to the Public on this item

B Close Public Hearing

C. Action on Rezoning Case No. 2024-0318

SUMMARY:

This is a request by Vega & Vega Engineering on behalf of Sam Group Investments Partners to rezone 8.61 acres from Light Industrial (L-I) to Community Commercial (C-2). Assessor's parcel 227-15-009 & 227-15-010, located at 375 & 421 South Oak Avenue in San Luis, Arizona.

As per the application submitted, there are no specific plans for the land at this moment, therefore if the rezoning is approved any of the permitted uses under Community Commercial zoning will be allowed in these properties.

GENERAL PLAN:

The land use designation of the subject properties is Commercial (C). The existing land use designation allows the applicant to submit an application to rezone the subject properties to Community Commercial (C-2).

ANALYSIS:

The existing condition of the subject properties is undeveloped vacant land. The lots are part of an industrial subdivision known as Southwest Arizona Industrial Subdivision.

Existing Adjacent Zoning Districts:

To the north: L-I

To the west: L-I

To the south: C-2

To the east: R-2

REVIEW(S):

As part of the review process, all land use cases are reviewed by various city and outside agencies, We have received comments from The Yuma County Airport Authority.

“The property is near Rolle Airfield where aviation activity is expected to increase in the future. Business owners and residents are likely to experience noise and over flights. The City, public and airport shall be held harmless from effects that may be caused by the operation.”

As required by State Statute, staff sent notification letters to property owners within 300 feet of the proposed project (6 letters).

The City has not received any other significant concerns or objections from the various review agencies or adjacent property owners.

CITIZEN REVIEW MEETING:

As required by State Statute and City Code, a Citizen Review Meeting was held at the City Hall on July 2, 2024, at the City Hall Chambers at 6:00 p.m. The intent of this meeting was to allow the public to learn about the project, ask questions, and express any comments. Nobody from the public was present during the meeting.

STAFF RECOMMENDATION:

The applicant has provided the information and material necessary for the review of the zoning request.

Staff recommends approval of Rezoning Case No. 2024-0318 subject to the following conditions:

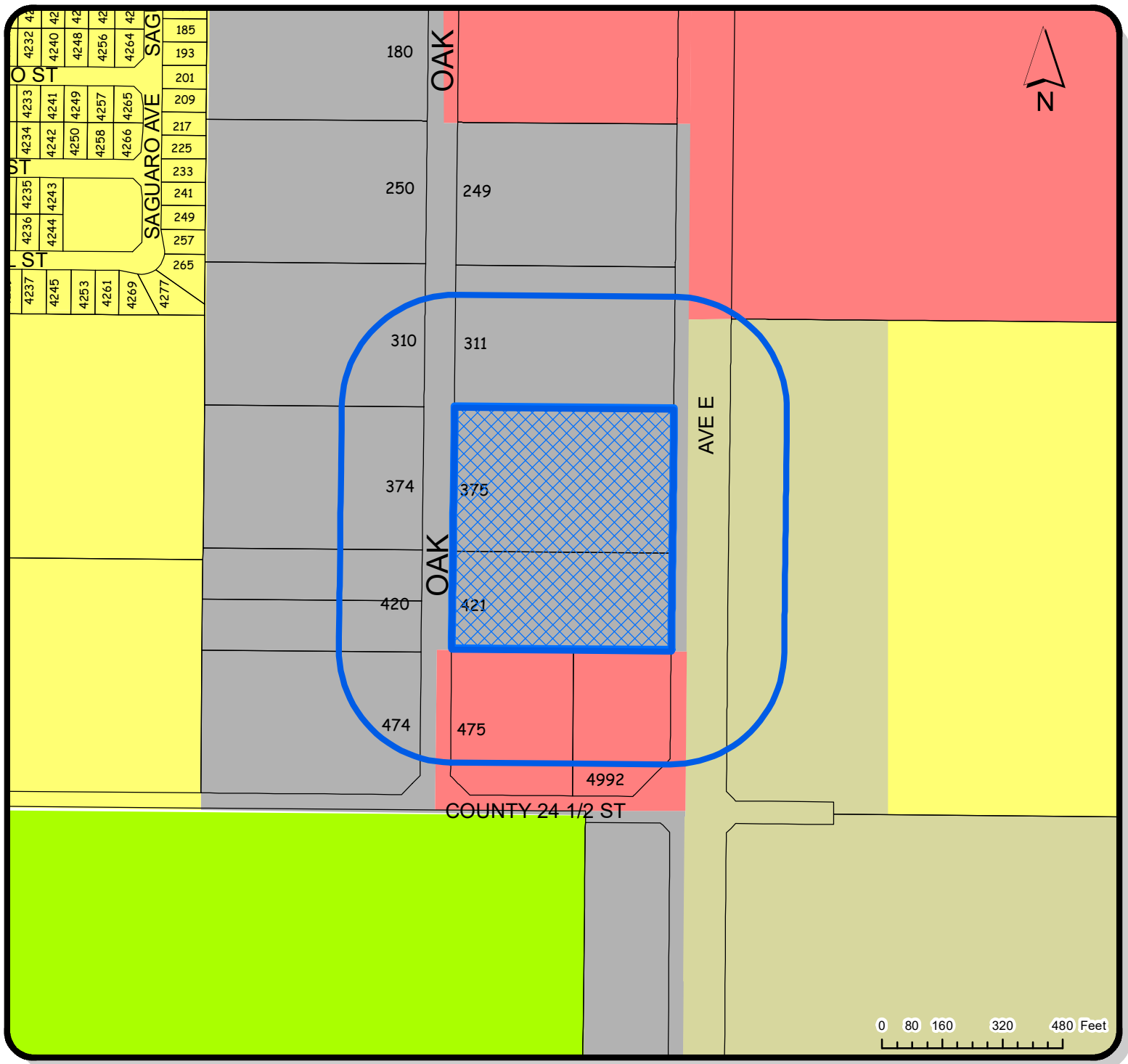
1. Development shall comply with the City of San Luis zoning regulations, building code requirements, public works standards, and any applicable subdivision regulations for commercial development.
2. The applicant/owner shall submit a traffic study during the building permit review and all improvements required by the traffic study shall be done by the developer, including any applicable contributions for future traffic lights.

RECOMMENDED MOTION:


I MOVE TO FORWARD REZONING CASE NO. 2024-0318 TO CITY COUNCIL WITH RECOMMENDATION OF APPROVAL SUBJECT TO THE CONDITIONS OF APPROVAL AS RECOMMENDED BY STAFF.

Attachments

Location Map
Site
Applicant Narrative



LOCATION OF SUBJECT PROPERTY

 PARCEL ID: 227-15-009 & 227-15-010

 300FT NOTIFICATION BUFFER

LOCATION MAP

REZONING

CASE #
2024-0318

DATE:
5/30/2024

PLANNING & ZONING



GIS

CREATED BY:
ISAAC GUTIERREZ

CHECKED BY:
JUAN TEJEDA

APPROVED BY:
JOSE A. GUZMAN



COUNTY 24TH ST

SANTA PALMIRA ST

SAN MARCOS ST

SAN ANTONIO ST

SAN DIEGO ST

SAN GABRIEL ST

SAGUARO AVE

20TH AVE

S 00°03'04"E 1320.06'

PARCELA

PARCEL B

13
12
11
10
9
8
7

OAK AVE

AVENUE E

195

LOT 4 AMENDED
SOUTHWEST ARIZONA
INDUSTRIAL SUBD.
A.P.N. 227-15-010

LOT 5 AMENDED
SOUTHWEST ARIZONA
INDUSTRIAL SUBD.
A.P.N. 227-15-010

CO. 24-1/2 STREET

15

ATTACHMENT "A"



2619 S Ave. 2½ E, Ste #3
Yuma Az. 85364
928-329-0000 tel
928-247-6232 fax
VnV@vegaNvega.com

May 3, 2024

City of San Luis
Department of Development Services
Community Planning

Re: Narrative for Re-zoning Request for Lot 4 & 5 of the Amended Plat of Southwest Arizona Industrial Subdivision, with A.P.N. 227-15-009 & 227-15-010

Dear Sir or Madam:

This is the Narrative statement for the above-mentioned project:

This rezoning application request is to change the current zoning L-1 (Light Industrial zoning district) to C-2 (Community Commercial Zoning District) for Lot 4 & 5 of the Amended Plat of Southwest Arizona Industrial Subdivision, with A.P.N. 227-15-009 and 227-15-010 located at 375 & 421 S. Oak Avenue, San Luis Az., the property currently is vacant land. The purpose for this rezoning, if approved, is to be able to develop property under the allowable uses on the community commercial zoning district C-2. See location map on attachment "A" for reference.

If you have any questions or need any further information don't hesitate to contact us.

Sincerely

Vega & Vega Engineering, P.L.C.

Vianey R. Vega, P.E.



PLANNING & ZONING AGENDA ITEM REVIEW FORM

Planning & Zoning Commission Meeting

5. A.

Meeting Date: 07/09/2024

Submitted By: Juan Tejada, Associate Planner, Development Services, Planning & Zoning

ITEM:

Discussion and possible action on any and all matters regarding Subdivision Case No. 2024-0298P. A request by Vega & Vega Engineering, on behalf of Von Verde Partners LLC, for the approval of Orchidea Park Townhomes Subdivision Phase 1 preliminary plat. The property is located at the southeast corner of 24th Avenue and County 24th Street intersection, in San Luis, Arizona.

A. Staff Presentation

B. Action on Subdivision Case No. 2024-0298P

SUMMARY:

This subdivision will consist of approximately 153.4 acres. Orchidea Park Townhomes Subdivision will consist of 10.56 acres and the 2 remaining large lots are designated for future phases. Orchidea Park Townhomes Subdivision will contain 83 residential lots that range in size from approximately 2,700 square feet to 5,400 square feet. The property is located at southeast corner of 24th Avenue and County 24th Street intersection. Assessor's Parcel Number 227-14-002.

On June 14, 2023, City Council approved Rezoning Case No. 2023-0144 which rezoned a portion of Assessors Parcel Number 227-14-002 from Medium Density Residential (R1-6) to Medium-High Density Residential (R-2). Medium-High Density Residential (R-2) allows the applicant to increase the residential density with smaller size lots.

The applicant has provided the information and materials necessary for the review of the preliminary plat for Orchidea Park Townhomes Subdivision Phase 1.

STAFF RECOMMENDATION:

Staff recommends approval of Subdivision Case No. 2024-0298P with the following conditions:

1. Applicant must address comments from the Comment Letter dated July 5, 2024.
2. A development agreement must be approved before presenting the final plat approval to City Council, to establish the phasing of the development, including but not limited to right-of-ways dedications, update of the current traffic study, traffic lights contributions, and schedule of improvements.
3. Orchidea Park Subdivision Preliminary Plat Amendment must be approved prior to presenting this item to City Council.

RECOMMENDED MOTION:

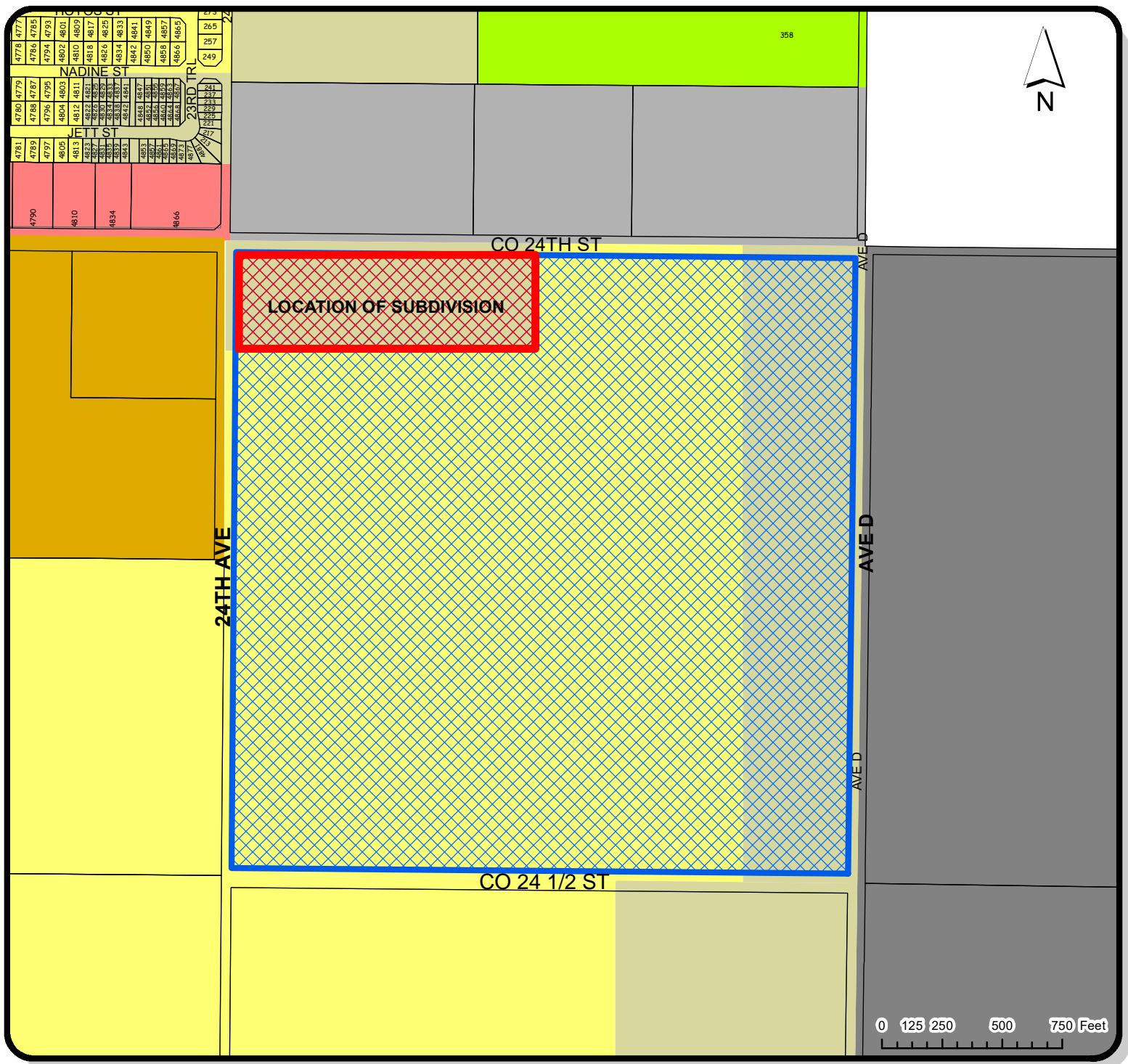
I MOVE TO APPROVE SUBDIVISION CASE NO. 2024-0298P PRELIMINARY PLAT FOR ORCHIDEA PARK TOWNHOMES SUBDIVISION PHASE 1 WITH CONDITIONS AS RECOMMENDED BY STAFF.

Attachments

Location Map

Preliminary Plat

Comment Letter dated July 5, 2024










LOCATION OF SUBJECT PROPERTY

 PARCEL ID: 227-14-002

 LOCATION OF SUBDIVISION
ORCHIDEA PARK SUBDIVISION 1

LOCATION MAP

- Legend
- SINGLE RESIDENCE ZONING DISTRICTS
 -  R1-6
 -  RA-10
 - MULTIPLE RESIDENCE ZONING DISTRICTS
 -  R-2
 -  R-3
 - COMMERCIAL ZONING DISTRICTS
 -  C-2
 - INDUSTRIAL ZONING DISTRICTS
 -  LI
 -  HI

SUBDIVISION

CASE #
2024-0298P

DATE:
5/30/2024

CHECKED BY:
JUAN TEJEDA

PLANNING & ZONING



GIS

CREATED BY:
ISAAC GUTIERREZ

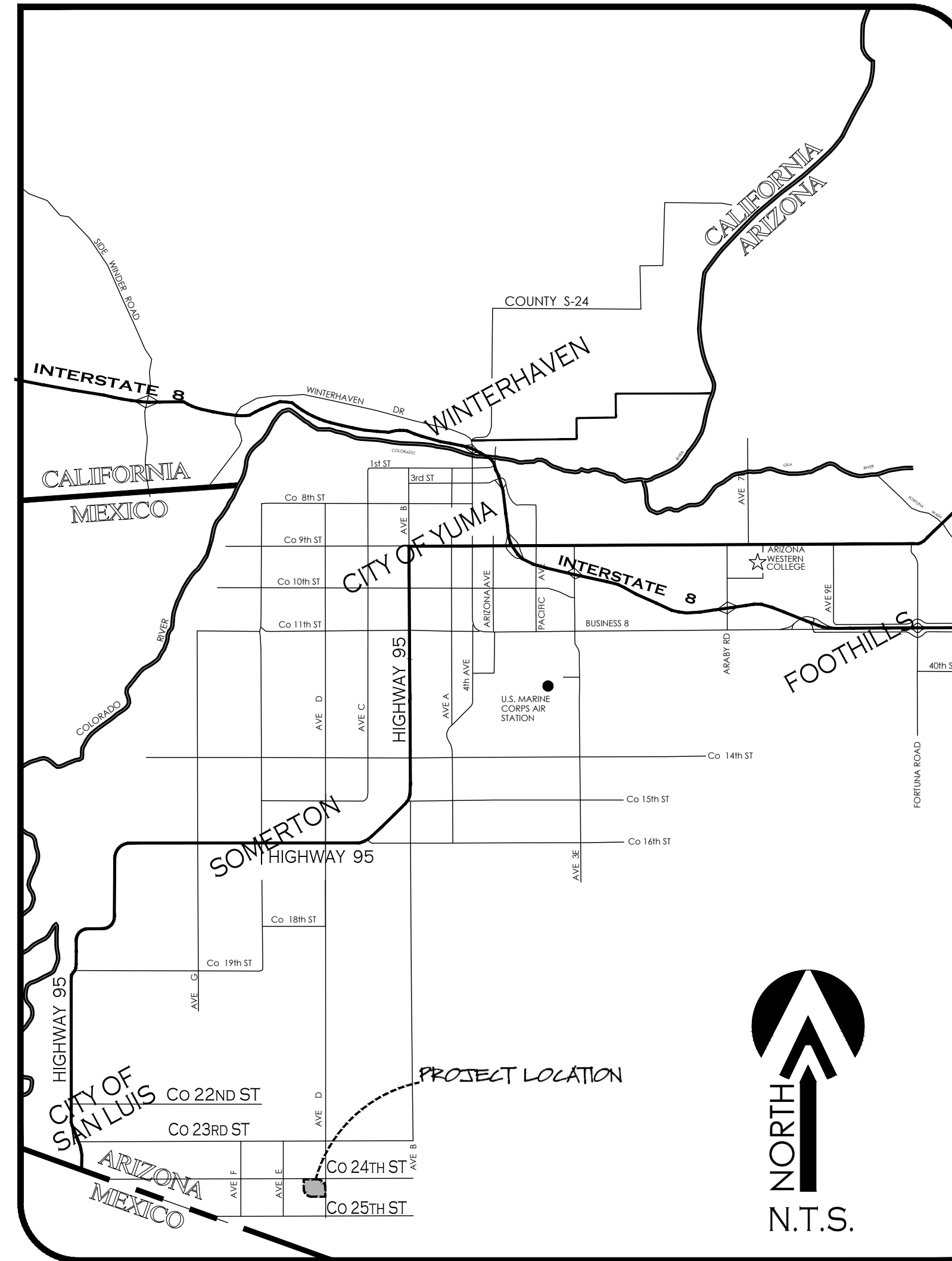
APPROVED BY:
JOSE A. GUZMAN

ORCHIDEA PARK TOWNHOMES

SUBDIVISION PHASE 1

LEGEND

	INDICATES EX. ASPHALT PAVEMENT
	INDICATES EX. CONCRETE
	INDICATES BOUNDARY LINE
	INDICATES CENTERLINE
	INDICATES RIGHT-OF-WAY LINE
	INDICATES EX. CMU WALL
	INDICATES EX. WATER LINE
	INDICATES EX. SEWER LINE
	INDICATES NEW ASPHALT PAVEMENT
	INDICATES NEW CONCRETE
	INDICATES NEW CMU WALL
	INDICATES EX. CONTOURS ELEVATION
	INDICATES NEW SANITARY SEWER LINE
	NEW SEWER STUB
	NEW SEWER MANHOLE
	NEW 4" PVC SEWER SERVICE
	INDICATES NEW WATER LINE
	NEW SINGLE WATER SERVICE
	FIRE LINE W/ END PLUG AND THRUST BLOCK
	NEW WATER VALVE
	NEW FIRE HYDRANT
	NEW TEMPORARY BLOWOFF VALVE
	INDICATES LOT NUMBERS
	NEW YUMA COUNTY STD. DETAIL No. 4-040 SUBD BOUNDARY MONUMENT
	NEW YUMA COUNTY STD. DETAIL No. 4-080 STREET MONUMENT
	EXISTING MONUMENT (TYPE AS SHOWN)
	INDICATES BRASS CAP
	INDICATES YUMA COUNTY RECORDERS
	INDICATES EXISTING POWER POLE
	INDICATES CALCULATED DATA
	INDICATES MEASURED DATA
	INDICATES EXISTING ELECTRICAL BOX
	INDICATES EXISTING GAS PADDLE
	INDICATES EXISTING MANHOLE
	INDICATES EXISTING FIRE HYDRANT
	INDICATES EXISTING WATER METER
	INDICATES EXISTING WATER VALVE
	INDICATES EX. CURB ELEVATION
	INDICATES EX. SIDEWALK ELEVATION
	INDICATES EX. ASPHALT ELEVATION
	INDICATES EX. NATURAL SOIL ELEVATION
	INDICATES NEW ASPHALT ELEVATION
	INDICATES NEW CURB ELEVATION
	INDICATES NEW GUTTER ELEVATION



VICINITY MAP
N.T.S.

GENERAL CONSTRUCTION NOTES:

- THE LOCATION OF UTILITIES IS APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. UTILITIES SHOWN HERE ARE FOR THE PURPOSE OF ASSISTING THE CONTRACTOR IN LOCATING SAID UTILITIES. THE CONTRACTOR IN ACCORDANCE WITH ARIZONA STATUTES SHALL CONTACT THE ARIZONA BLUE STAKE CENTER (1-800-782-5348) AT LEAST 48 HOURS MIN. PRIOR TO THE BEGINNING OF CONSTRUCTION AND OBTAIN ON-SITE UTILITIES LOCATIONS. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND SHALL BE RESOLVED PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DAMAGED TO A UTILITY SHALL BE REPAIRED AT THE CONTRACTOR EXPENSE.
- ALL CITY REQUIRED COMPACTION AND LABORATORY TESTS SHALL BE FURNISHED BY THE CONTRACTOR TO THE CITY PRIOR TO ACCEPTANCE OF THE PROJECT.
- THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR TWO YEARS AFTER THE FINAL ACCEPTANCE. ANY DEFECTIVE MATERIAL OR WORKMANSHIP SHALL BE REPLACED AND/OR REPAIRED PRIOR TO FINAL ACCEPTANCE.
- ALL ROAD SURFACES, EASEMENTS OR RIGHT OF WAYS DISTURBED BY CONSTRUCTION OF ANY PART OF THIS IMPROVEMENTS ARE TO BE RESTORED COMPLETELY BY THE CONTRACTOR TO THE BEFORE CONSTRUCTION CONDITION OR BETTER.
- DURING CONSTRUCTION, THE DEVELOPER/OWNER IS SOLELY RESPONSIBLE FOR INSURING THE PROPER FUNCTIONING OF THE EROSION AND SEDIMENT CONTROL MEASURES. THE DEVELOPER/OWNER SHALL TAKE WHATEVER MEASURES ARE REQUIRED TO INSURE THAT NO SEDIMENT LEAVES THE SITE.
- REFER TO SHEETS 2 OF 2 OF FINAL PLAT FOR ALL CORRECT DIMENSIONS.
- SEE SUBDIVISION PLAT FOR ALL BOUNDARY INFORMATION AND DIMENSIONS; DO NOT SCALE.
- ALL MATERIALS AND CONSTRUCTION HEREON SHALL CONFORM TO CITY OF SAN LUIS STANDARDS (CITY OF YUMA STANDARD DETAILS, MAG SPECIFICATIONS, CITY OF SAN LUIS SUPPLEMENT), AS ADOPTED BY THE CITY OF SAN LUIS. STANDARD SPECIFICATIONS AND CONSTRUCTION STANDARDS UNLESS OTHERWISE SHOWN ON THESE PLANS.
- THE ENGINEER MAKES NO REPRESENTATION OR GUARANTEE REGARDING EARTHWORK QUANTITIES OR THAT THE EARTHWORK FOR THIS PROJECT WILL BALANCE DUE TO VARIOUS FIELD CONDITIONS, CHANGING SOIL TYPES, ALLOWABLE CONSTRUCTION TOLERANCES AND CONSTRUCTION METHODS THAT ARE BEYOND THE CONTROL OF THE ENGINEER.
- NO STREET, WATER, SEWER AND IMPROVEMENTS TO BE ACCEPTED BY THE CITY OF SAN LUIS. FOR MAINTENANCE UNTIL "AS-BUILT", CERTIFIED, REPRODUCIBLE PLANS ARE FILED WITH AND ACCEPTED BY THE CITY OF SAN LUIS PUBLIC WORKS DEPARTMENT.
- CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL, LOCAL, STATE, AND FEDERAL SWPPP REQUIREMENTS AND BMPs.

INDEX:

Cover Sheet	-----	0
Cover Sheet Plat	-----	1 OF 2
Plat	-----	2 OF 2
Paving and Grading Plan	-----	1
Water and Sewer Plan	-----	2

OWNER:

VON VERDE PARTNERS LLC
10802 S CAMINO DEL SOL
YUMA, AZ, 85367

BASIS OF BEARING

THE NORTH SECTION LINE OF THE NE 1/4 OF SECTION 14, T11S, R24W, G. & S. B. & M., YUMA COUNTY, ARIZONA (BEING THE CENTERLINE OF COUNTY 24TH), AS SHOWN ON LOS MEZQUITES TOWNHOMES AS RECORDED IN BOOK 35 OF PLATS, PAGE 54, YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, ARIZONA.
BEARING S 89°32'26" E

UTILITIES WARNING

UTILITIES IN THE AREA OF CONSTRUCTION ARE APPROXIMATE ONLY. THEY HAVE BEEN LOCATED FROM FIELD INVESTIGATION AND THE BEST AVAILABLE UTILITY RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND REPAIR OF ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION. WHETHER SHOWN ON THESE PLANS OR NOT, THE CONTRACTOR SHALL CONTACT ALL RESPECTIVE UTILITIES AND HAVE ALL UTILITIES FIELD-LOCATED PRIOR TO CONSTRUCTION. IF ANY UNKNOWN SUBSURFACE STRUCTURES ARE ENCOUNTERED DURING CONSTRUCTION, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF ENGINEER OF RECORD PRIOR TO PROCEEDING.

BENCHMARK:

TOP OF 1/2" REBAR W/ 15' 227.67'
LOCATED AT THE INTERSECTION
OF 20th AVENUE AND COUNTY 24TH
STREET

ELEVATION: 159.25 FEET

ENGINEER:

VEGA & VEGA
ENGINEERING & PLC
2619 S. AVE. 2 1/4 E. STE#3 928-329-0000 Tel
Yuma, Az, 85364 928-247-6232 Fax
www.veganvega.com



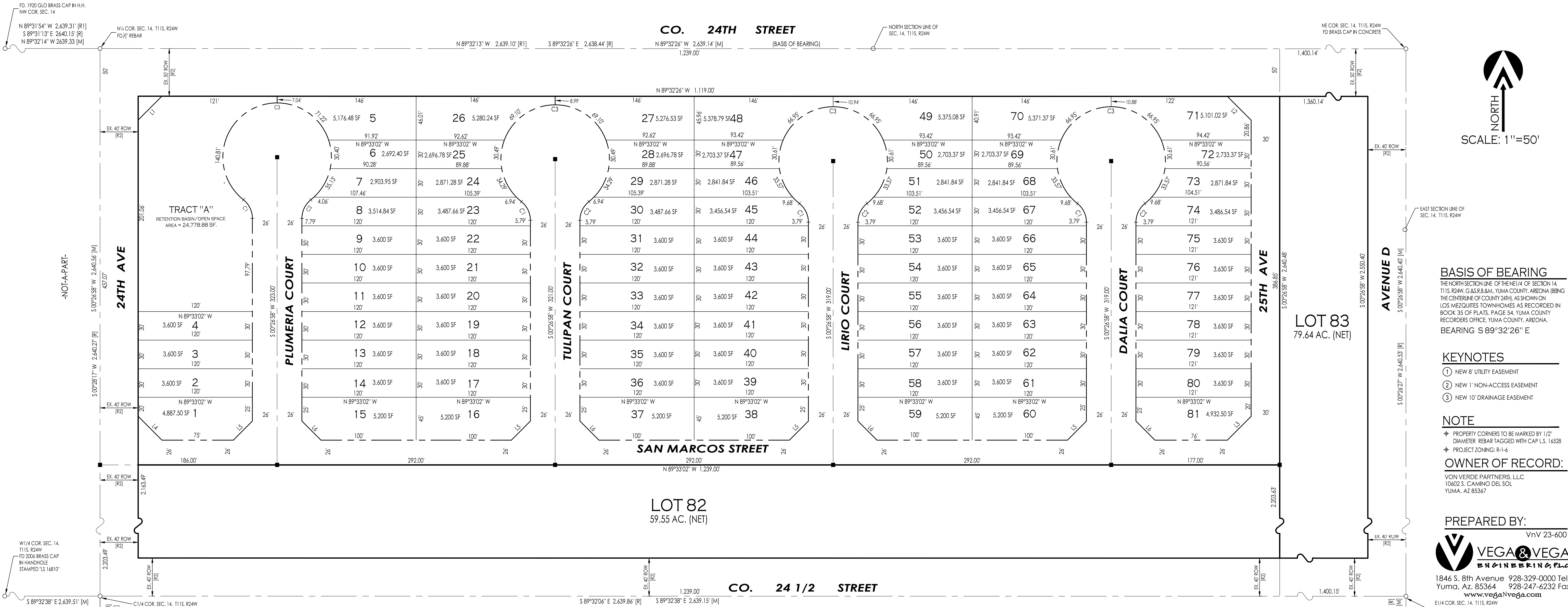
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CALL TWO WORKING DAYS BEFORE YOU DIG
1-800-STAKE-IT

ORCHIDEA PARK TOWNHOMES SUBDIVISION PHASE 1

A SUBDIVISION OF THE NE 1/4 OF SECTION 14, T11S, R24W,
G.&S.R.B.&M., YUMA COUNTY, ARIZONA.
MAY OF 2024 ACREAGE: 10.56 AC (NET)
PRELIMINARY PLAT



BASIS OF BEARING
THE NORTH SECTION LINE OF THE NE 1/4 OF SECTION 14, T11S, R24W, G.&S.R.B.&M., YUMA COUNTY, ARIZONA, (BEING THE CENTERLINE OF COUNTY 24TH), AS SHOWN ON LOS MEZQUITES TOWNHOMES AS RECORDED IN BOOK 35 OF PLATS, PAGE 54, YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, ARIZONA, BEARING S 89°32'26" E

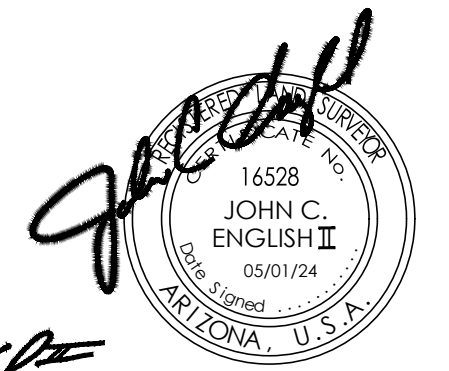
- KEYNOTES**
- ① NEW 8' UTILITY EASEMENT
 - ② NEW 1' NON-ACCESS EASEMENT
 - ③ NEW 10' DRAINAGE EASEMENT

NOTE
PROPERTY CORNERS TO BE MARKED BY 1/2" DIAMETER REBAR TAGGED WITH CAP L.S. 16528
PROJECT ZONING: R-1-6

OWNER OF RECORD:
VON VERDE PARTNERS, LLC
10602 S. CAMINO DEL SOL
YUMA, AZ 85367

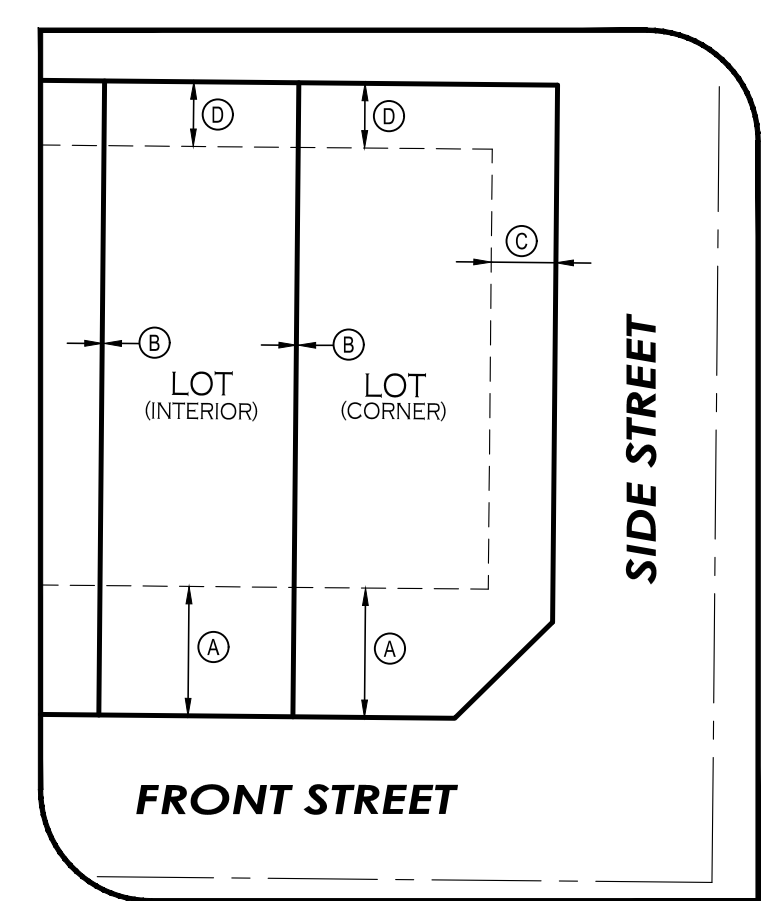
PREPARED BY:
vin 23-600
VEGA & VEGA ENGINEERING, P.L.L.C.
1846 S. 8th Avenue 928-329-0000 Tel
Yuma, Az, 85364 928-247-6232 Fax
www.vegaengineer.com

LAND SURVEYOR'S CERTIFICATE:
HEREBY CERTIFY THAT I AM A LAND SURVEYOR LISTED ON THE ROSTER OF ACTIVE REGISTRANTS BY THE STATE BOARD OF TECHNICAL REGISTRATION OF ARIZONA AND THAT THIS MAP CONSISTING OF TWO (2) SHEETS CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION DURING APRIL 2024 THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN, OR WILL BE IN PLACE WITHIN ONE YEAR FROM RECORDATION OF THIS MAP. THE MONUMENTS WILL BE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED. THE SURVEY IS TRUE AND COMPLETE AS SHOWN. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS PARTS.



BY: *John C. English II*
JOHN C. ENGLISH II R.L.S. No. 16528

TYP. LOT BUILDING SETBACK LAYOUT



- BUILDING SETBACKS KEYNOTES**
- A FRONT YARD SETBACK = 20 FEET
 - B SIDE YARD SETBACK = 0 FEET
 - C SIDE STREET YARD SETBACK = 10 FEET
 - D REAR YARD SETBACK = 10 FEET

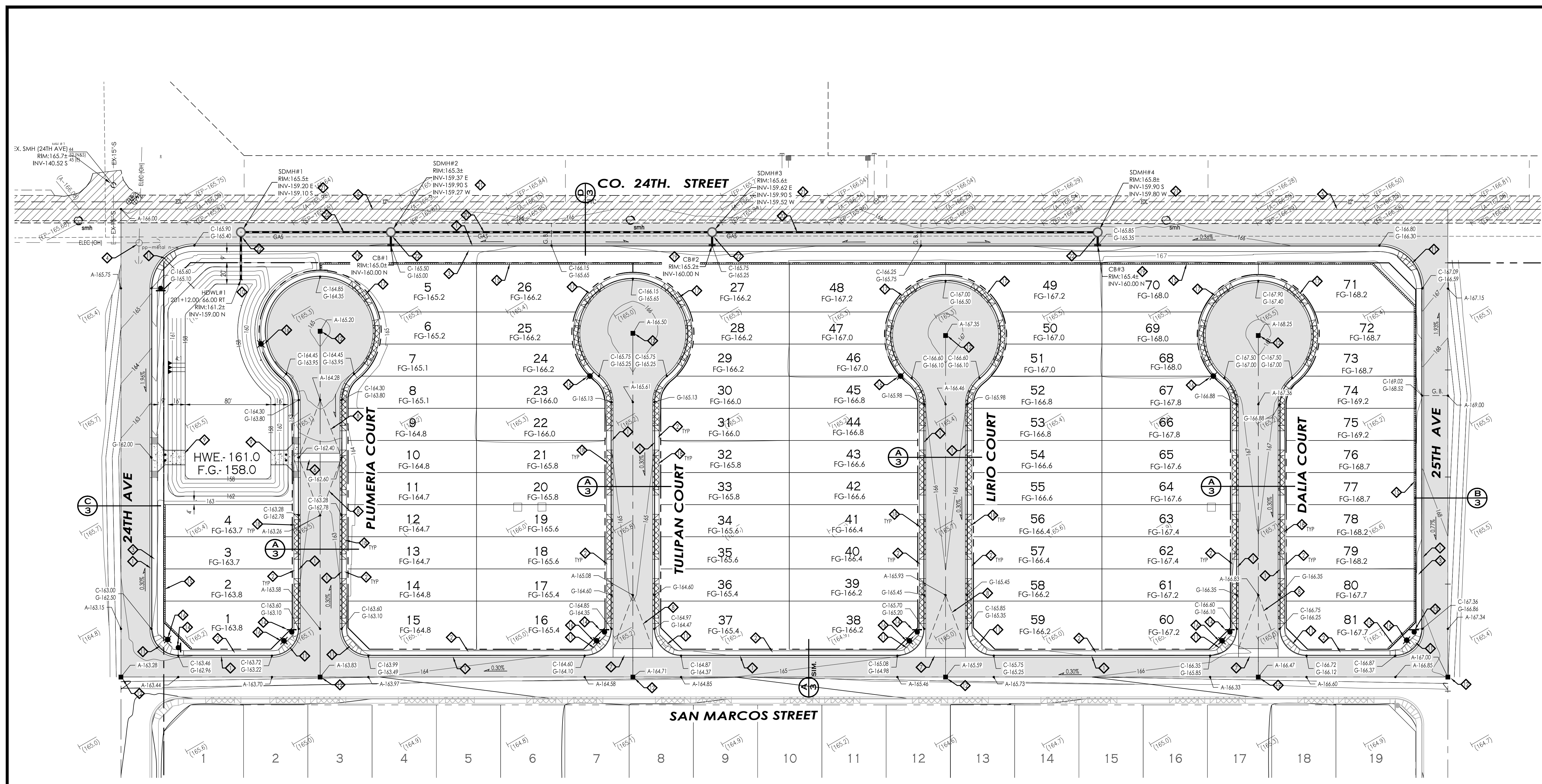
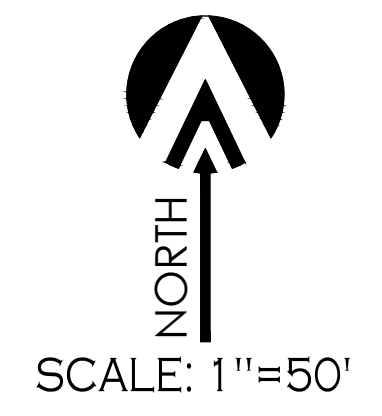
LINE DATA

LINE NUMBER	BEARING	LENGTH (FEET)
L1	S 45°27'16" W	35.35'
L2	N 44°32'44" W	35.36'
L3	S 45°26'58" W	35.36'
L4	N 44°33'02" W	35.36'
L5	S 45°26'58" W	28.28'
L6	N 44°33'02" W	28.28'

CURVE TABLE

NUMBER	DELTA ANGLE	CHORD LENGTH	TANGENT	RADIUS	ARC LENGTH
C1	51°32'28"	21.74	12.07	25.00'	22.49'
C2	51°32'28"	21.74	12.07	25.00'	22.49'
C3	283°04'57"	70.90	45.27	57.00'	281.42'

- LEGEND**
- INDICATES BOUNDARY LINE
 - - - INDICATES CENTERLINE
 - · - · - INDICATES EASEMENT LINE
 - 11 NEW LOT NUMBER
 - NEW YUMA COUNTY STD. DETAIL No. 4-080 STREET MONUMENT
 - NEW SUBDIVISION BOUNDARY MONUMENT AS PER CITY OF YUMA STD. #4-015
 - EXISTING MONUMENT (TYPE AS SHOWN)
 - INDICATES BRASS CAP
 - Y.C.R. INDICATES YUMA COUNTY RECORDERS
 - G.L.O. INDICATES GENERAL LAND OFFICE
 - N.A.E. INDICATES NON ACCESS EASEMENT
 - [M] INDICATES MEASURED DATA
 - [R] DATA REFERS TO U.S. G.L.O. MAP SECTION 14, TOWNSHIP 11 SOUTH, RANGE 24 WEST GILA & SALT RIVER MERIDIAN, ARIZONA, FILED MARCH 12, 1922 IN THE U.S. SURVEYOR GENERAL'S OFFICE
 - [R1] DATA REFERS TO LOS MEZQUITES TOWNHOMES AS RECORDED IN BOOK 35 OF PLATS, PAGE 54, YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, ARIZONA.
 - [R2] DATA REFERS TO WARRANTY DEED WITH FEE#2012-29216, AS RECORDED IN YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, ARIZONA.



LEGEND

- | | | | |
|--|--|--|--------------------------------------|
| | INDICATES EX. ASPHALT PAVEMENT | | INDICATES EXISTING STREET SIGN |
| | INDICATES EX. CONCRETE | | INDICATES EXISTING MANHOLE |
| | INDICATES BOUNDARY LINE | | INDICATES EXISTING FIRE HYDRANT |
| | INDICATES CENTERLINE | | INDICATES EXISTING WATER METER |
| | INDICATES RIGHT-OF-WAY LINE | | INDICATES EXISTING WATER VALVE |
| | INDICATES EX. FENCE | | INDICATES NEW STREET LIGHT |
| | INDICATES EX. ELECTRICAL OVERHEAD LINE | | INDICATES EX. CURB ELEVATION |
| | INDICATES EX. WATER LINE | | INDICATES EX. SIDEWALK ELEVATION |
| | INDICATES EX. SEWER LINE | | INDICATES EX. ASPHALT ELEVATION |
| | INDICATES EX. GAS LINE | | INDICATES EX. NATURAL SOIL ELEVATION |
| | NEW YUMA COUNTY STD. DETAIL
No. 4-030 SUB'D BOUNDARY MONUMENT | | INDICATES NEW ASPHALT PAVEMENT |
| | NEW YUMA COUNTY STD. DETAIL
No. 4-080 STREET MONUMENT | | INDICATES NEW CONCRETE |
| | EXISTING MONUMENT (TYPE AS SHOWN) | | INDICATES NEW CMU WALL |
| | INDICATES BRASS CAP | | INDICATES EXISTING CMU WALL |
| | INDICATES YUMA COUNTY RECORDERS | | |

KEYNOTES:

- NEW VERTICAL CURB & GUTTER - AS PER C.O.Y. STD. 3-060
- NEW 4' CONCRETE SIDEWALK - AS PER C.O.Y. STD. 3-135
- NEW 5' CONCRETE SIDEWALK - AS PER C.O.Y. STD. 3-135
- EXISTING POWER POLE TO BE RELOCATED BY APS SAWCUT 1' OF EXISTING PAVEMENT, REMOVE AND REPLACE WITH NEW PAVEMENT - SEE DETAIL
- NEW 8' CROSS GUTTER - AS PER C.O.Y. STD. 3-090
- NEW 8' CROSS VALLEY GUTTER - AS PER C.O.Y. STD. 3-085
- NEW 50' CROWN TRANSITION
- NEW 13' CONCRETE SPILLWAY - SEE DETAIL (B, 7)
- NEW STORMDRAIN OUTLET STRUCTURE - SEE DETAIL (D, 7)
- NEW CONCRETE SIDEWALK RAMP (25' RADIUS MEASURED TO FACE OF CURB) - AS PER C.O.Y. STD. 3-145
- NEW STREET MONUMENT - AS PER C.O.Y. STD. 4-030
- NEW DOUBLE FACED STREET SIGN - AS PER C.O.Y. STD. 8-020
- NEW DOUBLE FACED STREET SIGN-STOP SIGN - AS PER C.O.Y. STD. 8-020
- NEW 6' HIGH (ON THE LOT SIDE) CMU WALL - AS PER C.O.Y. STD. 1-015 (CMU WALL LOCATED WITHIN THE FRONT OR SIDE SETBACK OF LOTS MUST BE 3/8" HIGH MAXIMUM)
- NEW STREET LIGHT - TYPE A (4700 LUMENS) AS PER C.O.Y. STD. 7-010 AND C.O.Y. STD. 7-015
- NEW 16' WIDE DRIVEWAY - AS PER C.O.Y. STD. 3-105
- NEW 32' WIDE DRIVEWAY - AS PER C.O.Y. STD. 3-105
- NEW TYPE 'E' DOUBLE CATCH BASIN - AS PER C.O.Y. STD. 11-025
- NEW 18' STORMDRAIN - AS PER C.O.Y. STD. 5-010
- NEW 5' DIA STORMDRAIN MANHOLE (E, 7, F, 7)
- ADJUST EXISTING GAS LINE AS NECESSARY FOR NEW STORMDRAIN

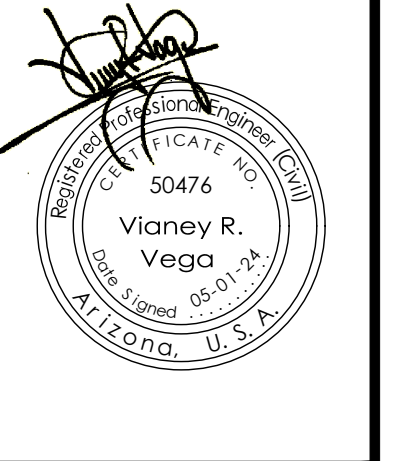
DRAINAGE REPORT

1. DRAINAGE REPORT
DRAINAGE AREA # 1
USING THE RATIONAL METHOD
Q = CIA = PEAK RUNOFF [VOL.]
(C) PEAK RATE RUNOFF = 0.43
(1) INTENSITY OF RAINFALL = 1.22 IN / HR
(A) DRAINAGE AREA = 541,395.41 SF. = 12.43 SF
Q = (0.43)(1.22)(12.43) = 6,520.8 CF
TOTAL RUNOFF = 7,200 (6,520.8) = 46,949.76 CF
STORAGE VOLUME PROVIDED AREA # 1
RETENTION BASIN
TOP AREA = 20,623.90 SF
BOTTOM AREA = 11,660.62 SF
DEPTH = 3 FT
VOL. PROVIDED = [20,623.90 + 11,660.62] (4.0) = 64,566 CF
TOTAL VOL. PROVIDED = 64,566 CF
FACTOR OF SAFETY = $\frac{64,566 \text{ CF}}{46,949.76 \text{ CF}} = 1.37 > 1.25$ THEREFORE OK.

OPEN SPACE CALCULATIONS

PROJECT AREA : 459,993.60 SF. = 10.56 AC
5% OPEN SPACE REQUIRED = 459,993.60 SF. X 5% = 22,999.68 SF.
OPEN SPACE PROVIDED : AREA RETENTION BASIN = 24,778.88 SF.
24TH. AVENUE LANDSCAPING AREA = 2,921.82 SF.
CO. 24TH. STREET LANDSCAPING AREA = 11,328.14 SF.
39,028.84 SF.
TOTAL AREA OPEN SPACE PROVIDED : = 39,028.84 SF.
39,028.84 SF. > 22,999.68 SF THEREFORE OK

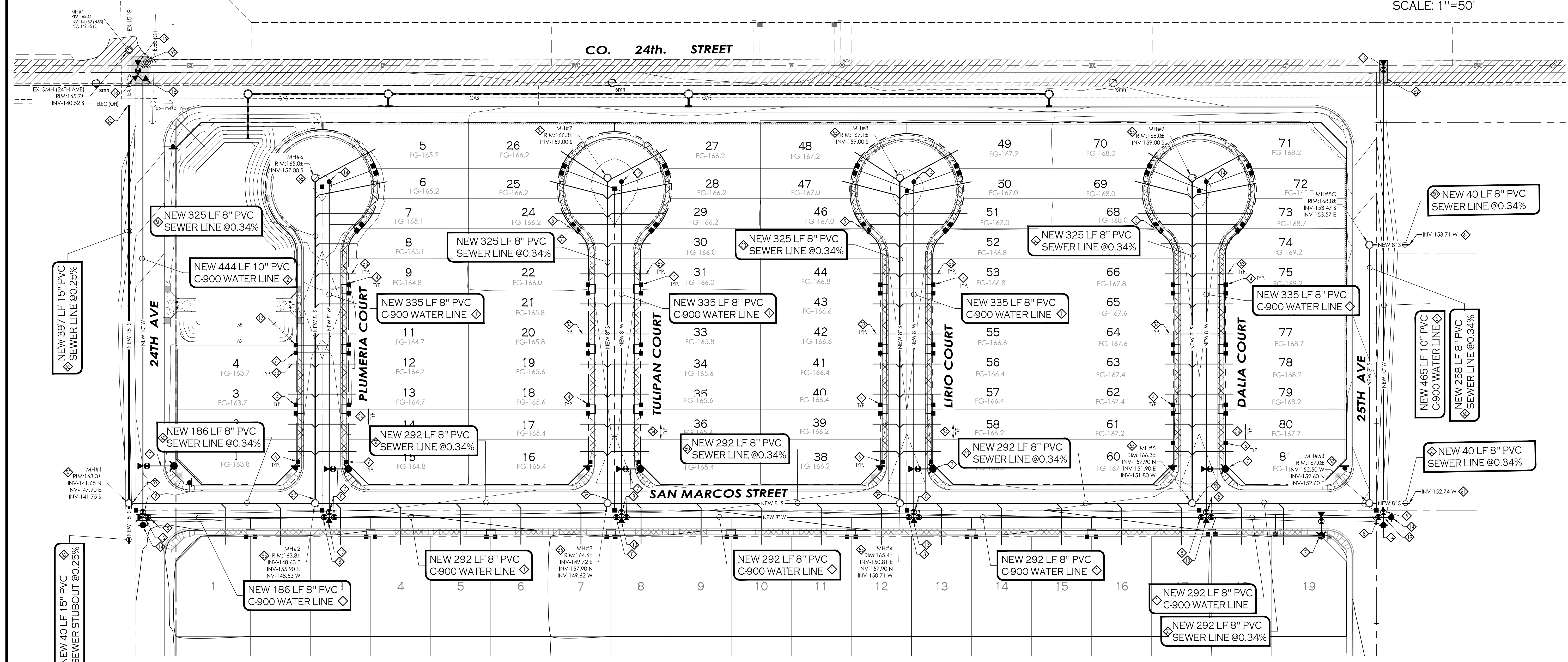
PAVING & GRADING
ORCHIDEA PARK
TOWNHOMES SUBDIVISION PHASE I



Notes:
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Drawn: staff Job #: vnv23-600
Checked: vna
Sheet

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NORTH
SCALE: 1"=50'



NEW 397 LF 15" PVC SEWER LINE @0.25%

NEW 325 LF 8" PVC SEWER LINE @0.34%

NEW 444 LF 10" PVC C-900 WATER LINE

NEW 186 LF 8" PVC SEWER LINE @0.34%

NEW 325 LF 8" PVC SEWER LINE @0.34%

NEW 335 LF 8" PVC C-900 WATER LINE

NEW 292 LF 8" PVC SEWER LINE @0.34%

NEW 325 LF 8" PVC SEWER LINE @0.34%

NEW 335 LF 8" PVC C-900 WATER LINE

NEW 292 LF 8" PVC SEWER LINE @0.34%

NEW 325 LF 8" PVC SEWER LINE @0.34%

NEW 335 LF 8" PVC C-900 WATER LINE

NEW 292 LF 8" PVC SEWER LINE @0.34%

NEW 335 LF 8" PVC C-900 WATER LINE

NEW 40 LF 8" PVC SEWER LINE @0.34%

NEW 465 LF 10" PVC C-900 WATER LINE
NEW 258 LF 8" PVC SEWER LINE @0.34%

NEW 40 LF 8" PVC SEWER LINE @0.34%

LEGEND

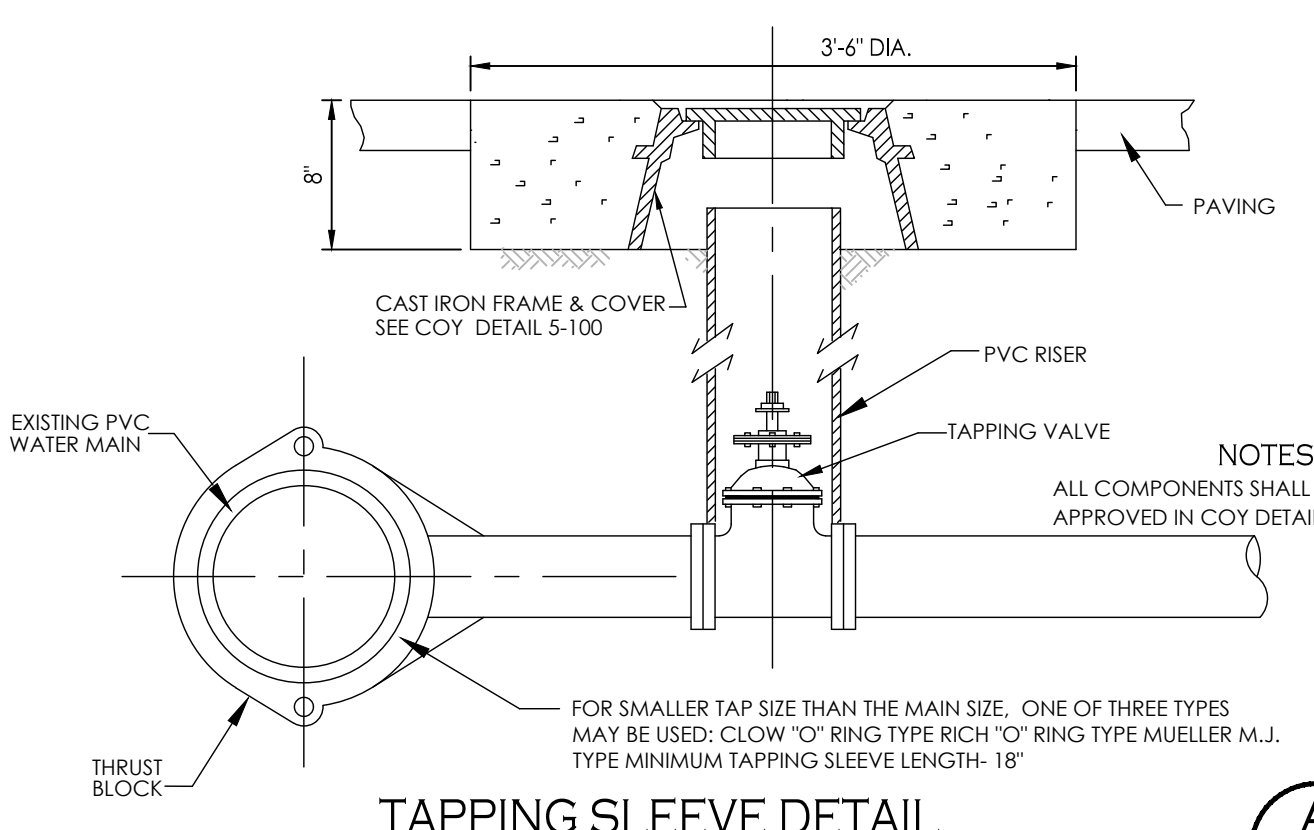
- | | | | |
|--------------------|----------------------------------|---------------|-----------------------------------|
| 163 | INDICATES EX. CONTOURS ELEVATION | NEW - PVC - S | INDICATES NEW SANITARY SEWER LINE |
| - EX. 6" - PVC - W | INDICATES EX. WATER LINE | NEW - PVC - W | INDICATES NEW WATER LINE |
| - EX. 8" - PVC - S | INDICATES EX. SEWER LINE | | |
| MH | INDICATES EXISTING MANHOLE | | |
| FH | INDICATES EXISTING FIRE HYDRANT | | |
| WM | INDICATES EXISTING WATER METER | | |
| WV | INDICATES EXISTING WATER VALVE | | |
| 50 | INDICATES LOT NUMBERS | | |

WATER KEYNOTES:

- ◆ INSTALL 8" WATER MAIN - AS PER C.O.Y. STD. 5-010
- ◆ INSTALL 10" WATER MAIN - AS PER C.O.Y. STD. 5-010
- ◆ INSTALL 12" WATER MAIN - AS PER C.O.Y. STD. 5-010
- ◆ INSTALL 1" DUAL WATER SERVICE (TYP.) - AS PER C.O.Y. STD. 5-045 & 5-055 AND SEE DETAIL (S)
- ◆ SEPARATE WATER METERS AT THESE LOCATIONS TO ALLOW FOR STREET LIGHT PLACEMENT
- ◆ INSTALL 1" SINGLE WATER SERVICE (TYP.) - AS PER C.O.Y. STD. 5-035 & 5-055.
- ◆ NEW COMPLETE FIRE HYDRANT - AS PER C.O.Y. STD. 5-155.
- ◆ NEW 8" WATER VALVE - AS PER C.O.Y. STD. 5-065, 5-075 & 5-080.
- ◆ NEW 10" WATER VALVE - AS PER C.O.Y. STD. 5-065, 5-075 & 5-080.
- ◆ NEW 12" WATER VALVE - AS PER C.O.Y. STD. 5-065, 5-075 & 5-080.
- ◆ NEW 12"x8" PVC TEE W/THRUST BLOCK - AS PER C.O.Y. STD. 5-020 & 5-025
- ◆ NEW 10"x8" PVC TEE W/THRUST BLOCK - AS PER C.O.Y. STD. 5-020 & 5-025
- ◆ NEW 8"x8" PVC TEE W/THRUST BLOCK - AS PER C.O.Y. STD. 5-020 & 5-025
- ◆ NEW WATERMAIN BLOWOFF VALVE - AS PER C.O.Y. STD. 5-085.
- ◆ REMOVE EXISTING CAP AND CONNECT NEW WATER LINE TO EX. WATER SYSTEM. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING WATER MAIN. IF CONDITIONS ARE DIFFERENT THAN WHAT IS SHOWN ON PLANS CONTRACTOR TO NOTIFY ENGINEER BEFORE MAKING ANY DETERMINATION.
- ◆ NEW 10" TAPPING SLEEVE, CONNECT NEW 10" WATER LINE TO EX. 12" WATER MAIN. SAWCUT EXISTING PAVEMENT AS NEEDED FOR CONNECTION AND REPLACE WITH NEW PAVEMENT. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING 12" WATER MAIN. IF CONDITIONS ARE DIFFERENT THAN WHAT IS SHOWN ON PLANS CONTRACTOR TO NOTIFY ENGINEER BEFORE MAKING ANY DETERMINATION - SEE DETAILS (A)
- ◆ INSTALL 2" WATER SERVICE (TYP.) - AS PER C.O.Y. STD. 5-040 & 5-060.
- ◆ NEW 12" 45° PVC BEND W/THRUST BLOCK - AS PER C.O.Y. STD. 5-020 & 5-025
- ◆ NEW 10"x10"x8"x8" CROSS W/THRUST BLOCK - AS PER C.O.Y. STD. 5-020 & 5-025

SEWER KEYNOTES:

- ◆ INSTALL 8" SEWER MAIN - AS PER C.O.Y. STD. 5-010
- ◆ INSTALL 10" SEWER MAIN - AS PER C.O.Y. STD. 5-010
- ◆ INSTALL 15" SEWER MAIN - AS PER C.O.Y. STD. 5-010
- ◆ NEW 4" PVC SEWER SERVICE - AS PER C.O.Y. STD. 6-015.
- ◆ CONSTRUCT ALL SEWER SERVICES TO CENTER OF THE LOT, UNLESS NOTED OTHERWISE.
- ◆ NEW SANITARY SEWER MANHOLE - AS PER C.O.Y. STD. 6-020, 6-035 & 6-040.
- ◆ NEW SHALLOW SEWER MANHOLE - AS PER MAG STD. 420 & 422
- ◆ NEW SANITARY SEWER CLEANOUT - AS PER C.O.Y. STD. 6-005
- ◆ NEW TYPE 'A' DROP SEWER CONNECTION - AS PER C.O.Y. STD. 6-055
- ◆ NEW TYPE 'B' DROP SEWER CONNECTION - AS PER C.O.Y. STD. 6-040
- ◆ CONNECT NEW SEWER LINE TO EXISTING SANITARY SEWER. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING SEWER. IF CONDITIONS ARE DIFFERENT THAN WHAT IS SHOWN ON PLANS CONTRACTOR TO NOTIFY ENGINEER BEFORE MAKING ANY DETERMINATION
- ◆ NEW WATERTIGHT PLUG
- ◆ NEW TYPE 'B' PAVEMENT REPLACEMENT - AS PER C.O.Y. STD 5-016



TAPPING SLEEVE DETAIL

A
4

UTILITIES WARNING

UTILITIES IN THE AREA OF CONSTRUCTION ARE APPROXIMATE ONLY. THEY HAVE BEEN LOCATED FROM FIELD INVESTIGATION AND THE BEST AVAILABLE UTILITY RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND REPAIR OF ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION. WHETHER SHOWN ON THESE PLANS OR NOT, THE CONTRACTOR SHALL CONTACT ALL RESPECTIVE UTILITIES AND HAVE ALL UTILITIES FIELD-LOCATED PRIOR TO CONSTRUCTION. IF ANY UNKNOWN SUBSURFACE STRUCTURES ARE ENCOUNTERED DURING CONSTRUCTION, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF ENGINEER OF RECORD PRIOR TO PROCEEDING.

CALL TWO WORKING DAYS BEFORE YOU DIG
1-800-STAKE-IT

VEGA & VEGA
ENGINEERS & PLANNERS
2619 S. AVE. 2 1/2 E. STE #3
YUMA, AZ. 85364
V.V@vegaengineers.com
928-329-0000 TEL
928-247-6232 FAX

WATER & SEWER
ORCHIDEA PARK
TOWNHOMES SUBDIVISION PHASE 1



Notes:
Scale: N.T.S. Date: MAY 2024
Drawn: Staff Job #: vrv23-600
Checked: vna
Sheet



City of San Luis

Development Services Department

Planning · Zoning · GIS · Building Safety · Code Enforcement

July 5, 2024

Vianey Vega

Vega & Vega Engineering, P.L.C.

2619 S Ave. 2½ E, Ste #3

Yuma, AZ 85364

Re: Subdivision Case No. 2024-0298P & 2024-0299F Orchidea Park Townhomes Subdivision Phase 1

City staff has reviewed the 1st Submittal preliminary and final plat of Orchidea Park Townhome Subdivision Phase 1 and have the following comments:

Planning and Zoning Department

Preliminary and final Plat

1. Provide HOA, CCR's and Title Report.
2. An approved Development Agreement will be required at the time of the final approval of any phase.
3. As per current Subdivision Regulations subdivider will take such actions as may be necessary to form, establish and include the subdivision in an improvement district.
4. On Approved Section revise "Director of Planning and Zoning" to "*Director of Development Services*".
5. Call out the corners of the subdivision property and provide survey monuments at all corners.
6. Show 8' utility easement and 1' non-access easement on plat.
7. Show all dimensions and bearing as required for lots 82 and 83 and dedicate corner triangles at intersections as per COY standards.
8. Legal description on plat and dedication should read: "A Subdivision of lot B of San Luis Port II Subdivision as recorded..."
9. On TYP. Lot Building Setback Layout show 10' side yard setback on visibility triangle.
10. Call out Mid-Section line of section 14.
11. Provide owners name and assessor's number of adjoining parcels.
12. Provide assessor's parcel number on plat and revise zoning to current zoning.
13. Basis of bearing is S89°32'13"W as per Book 35 of Plats, Page 54, Yuma County Records Office. Clarify or revise accordingly.

Paving and grading

1. Submit complete drainage report and engineer design report.
2. Provide striping plan for major streets.
3. Show existing elevation contours, seems contours on plans shown are the new elevation contours.
4. Add streetlights to County 24th Street.

5. For County 24th Street revise section to match COY Std. No 2-015 with a centerline to curb dimension of 38.0' and 6' sidewalk, this would match Plaza Colibri Commercial subdivision adjacent project to the west, revise plan and typical street section accordingly.
6. For 24th Avenue section to match northern developments with a centerline to curb dimensions of 26.0' and 5' sidewalk.
7. Reference detail to Keynote 7 accordingly.
8. Provide guard post location and spacing on 13' spillways.
9. Provide distance from centerline for stormdrain pipes.
10. Provide subdivision perimeter wall along rear of retention basin.
11. As per Zoning Ordinance Section 18.30.020 (E)(5) All multiple residence developments having more than ten dwelling units shall include a recreational amenity for the residents' use at the rate of one amenity per ten dwelling units. Examples of such amenities include, but are not limited to, swimming pool, tot lot, sport court, ramada with picnic tables and barbeque grill.
12. Development of all improvements and dedication of rights-of-way are required as part of a subdivision development unless approved and specified in a Development Agreement. It is understood that the developer is currently working on a Development Agreement, which will determine the phasing of the improvements and right-of-way dedication.

Water and sewer plans

1. Provide ADEQ permits.
2. A sewer and water masterplan for the whole development at the time of the first final plat submittal.
3. General Note Sheet 7 should reference City of San Luis.
4. Sanitary sewer manholes need to be polymer manholes as per City of San Luis Supplement to the MAG Uniform Standard Specifications.
5. Provide fire hydrant street markers as per COY Std. No. 5-160.
6. Provide distance from Centerline on water and sewer lines.

Public Works

General

1. Assure design meets City of San Luis Standards. Any deviations from City Standards need City of San Luis approval prior to incorporating into the design. Update General Note No. 1 to reflect this. Yuma Co. spillway is acceptable.
2. Provide traffic study for this development and how it incorporates to proposed improvements from Mezquites and Von Verde traffic study by Nicklaus Engineering for this area.
3. Confirm all corner triangle and visibility meets City standards.

Grading

1. Update topo to show existing improvements on the north side of Co. 24th Street on 24th Avenue. This will help better identify necessary improvements to better align 24th Avenue centerline to the north and south of Co. 24th Street.
2. Co. 24th Street is missing some slopes but it appears that proposed drainage slopes actually go against the existing longitudinal slopes. Provide EP and gutter profile to better appreciate the grade difference.
3. 24th Avenue vertical alignment appears low compared to existing surrounding grades, raising it would make it easier to drain it into future phases.

4. Suggest that CMU wall callout be modified so that the 6 foot height requirement is on the side of highest elevation.
5. Include street lights along the entire perimeter of the subdivision. The City uses dual mast arm street lights next to retention basins. Final street light design will be coordinated with APS.

Details

1. Outlet headwall should include railings. Provide positive drainage away from headwall floor to eliminate stagnant nuisance flows. Suggest a 2" to 4" drop from pipe invert to headwall floor to keep pipe dry (if grades permit).

ADOT

The ADOT Southwest District requests the opportunity to review and comment on a traffic impact analysis (TIA) for the proposed subdivision. The TIA should meet the requirements of Section 240 of ADOT's Traffic Guidelines and Processes; this information can be found at the following location: azdot.gov/business/engineering-and-construction/traffic/guidelines-and-processes. The TIA would allow the Department the chance to assess the effects the increased traffic from the proposed development would have on the state highway system and the intersection of Ave E and SR 195."

Yuma County Assessor's Office

It would be much better to have the following: A SUBDIVISION OF A PORTION OF LOT B, SAN LUIS PORT II – INDUSTRIAL PARK LLC, ACCORDING TO BOOK 26 OF PLATS, PAGE 4, RECORDS OF YUMA COUNTY, ARIZONA.

Please be advised that the comments made here are tentative in nature. Until all documentation, information, and drawings are submitted and approved in final form, and all permits for construction are approved and issued, the City of San Luis reserves the right to make further comments or require further information or submissions. Any construction which occurs prior to issuance of proper permits is occurring in contravention of the ordinances of the City and is occurring at the risk of the Developer.

If you have any questions on these comments, please contact the Development Services Department at 928-341-8563 extension 2064.

Thank you,

Juan Tejeda
Associate Planner



PLANNING & ZONING AGENDA ITEM REVIEW FORM

Planning & Zoning Commission Meeting

5. B.

Meeting Date: 07/09/2024

Submitted By: Juan Tejeda, Associate Planner, Development Services, Planning & Zoning

ITEM:

Discussion and possible action on any and all matters regarding Subdivision Case No. 2024-0299F. A request by Vega & Vega Engineering, on behalf of Von Verde Partners LLC, for the approval of Orchidea Park Townhomes Subdivision Phase 1 final plat. The property is located at the southeast corner of 24th Avenue and County 24th Street intersection, in San Luis, Arizona.

A. Staff Presentation

B. Action on Subdivision Case No. 2024-0299F

SUMMARY:

This subdivision will consist of approximately 153.4 acres. Orchidea Park Townhomes Subdivision will consist of 10.56 acres and the 2 remaining large lots are designated for future phases. Orchidea Park Townhomes Subdivision will contain 83 residential lots that range in size from approximately 2,700 square feet to 5,400 square feet. The property is located at southeast corner of 24th Avenue and County 24th Street intersection. Assessor's Parcel Number 227-14-002.

On June 14, 2023, City Council approved Rezoning Case No. 2023-0144 which rezoned a portion of Assessor's Parcel Number 227-14-002 from Medium Density Residential (R1-6) to Medium-High Density Residential (R-2). Medium-High Density Residential (R-2) allows the applicant to increase the residential density with smaller size lots.

The applicant has provided the information and materials necessary for the review of the final plat for Orchidea Park Townhomes Subdivision Phase 1.

STAFF RECOMMENDATION:

Staff recommends approval of Subdivision Case No. 2024-0299F with the following conditions:

1. Applicant must address comments from the Comment Letter dated July 5, 2024.
2. Development agreement to be approved prior to presenting this item to the City Council to establish the phasing of the development, including but not limited to right-of-way dedication, traffic study, traffic lights contributions, and schedule of improvements.
3. Orchidea Park Subdivision Preliminary Plat Amendment must be approved prior to presenting this item to council.

RECOMMENDED MOTION:

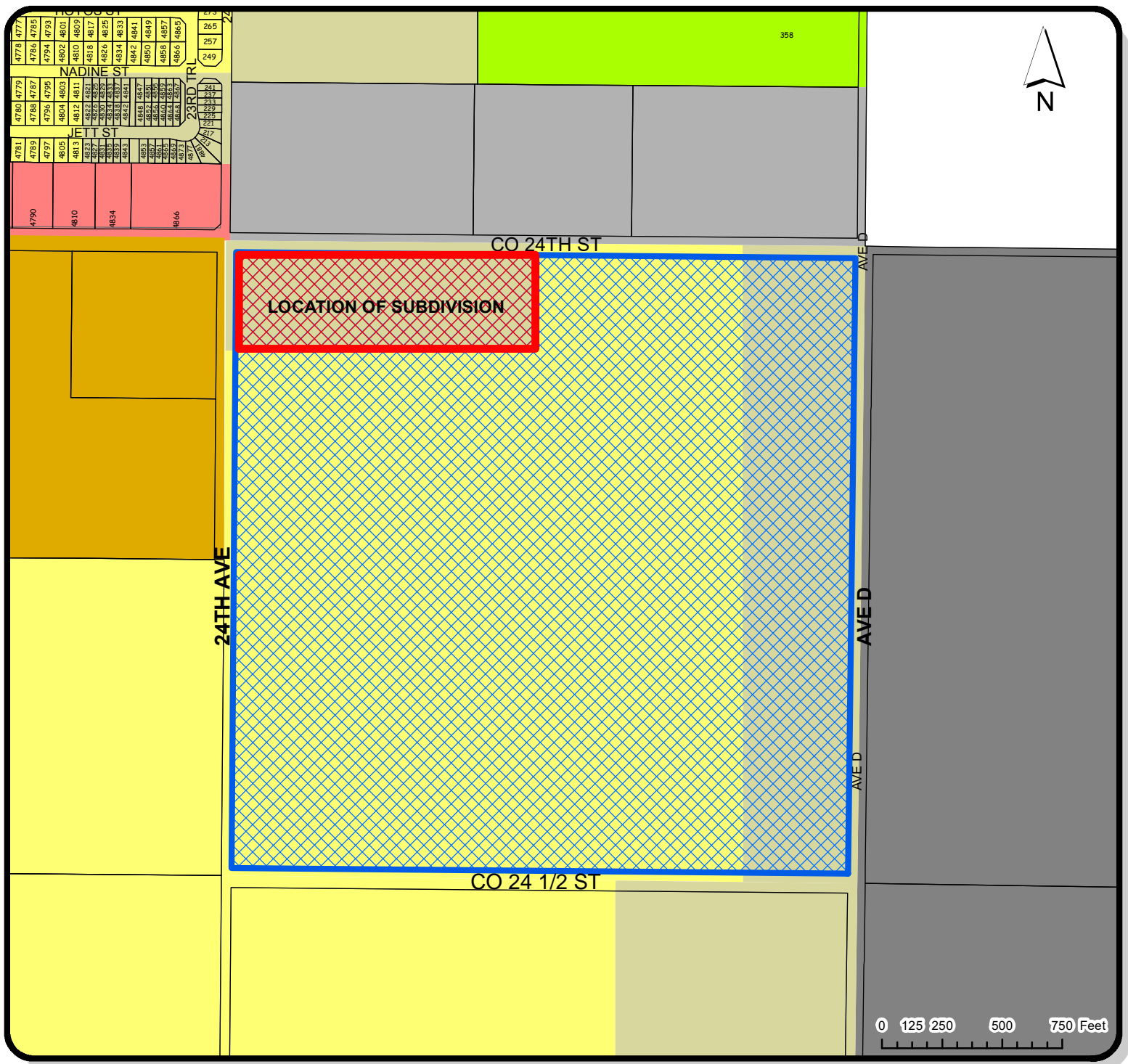
I MOVE TO FORWARD SUBDIVISION CASE NO. 2024-0299F TO THE CITY COUNCIL WITH THE RECOMMENDATION OF APPROVAL WITH CONDITIONS AS PRESENTED BY STAFF.

Attachments

Location Map

Final Plat

Comment Letter dated July 5, 2024










LOCATION OF SUBJECT PROPERTY

 PARCEL ID: 227-14-002

 LOCATION OF SUBDIVISION
ORCHIDEA PARK SUBDIVISION 1

LOCATION MAP

- Legend
- SINGLE RESIDENCE ZONING DISTRICTS
 -  R1-6
 -  RA-10
 - MULTIPLE RESIDENCE ZONING DISTRICTS
 -  R-2
 -  R-3
 - COMMERCIAL ZONING DISTRICTS
 -  C-2
 - INDUSTRIAL ZONING DISTRICTS
 -  LI
 -  HI

SUBDIVISION

CASE #
2024-0299F

DATE:
5/30/2024

CHECKED BY:
JUAN TEJEDA

PLANNING & ZONING



GIS

CREATED BY:
ISAAC GUTIERREZ

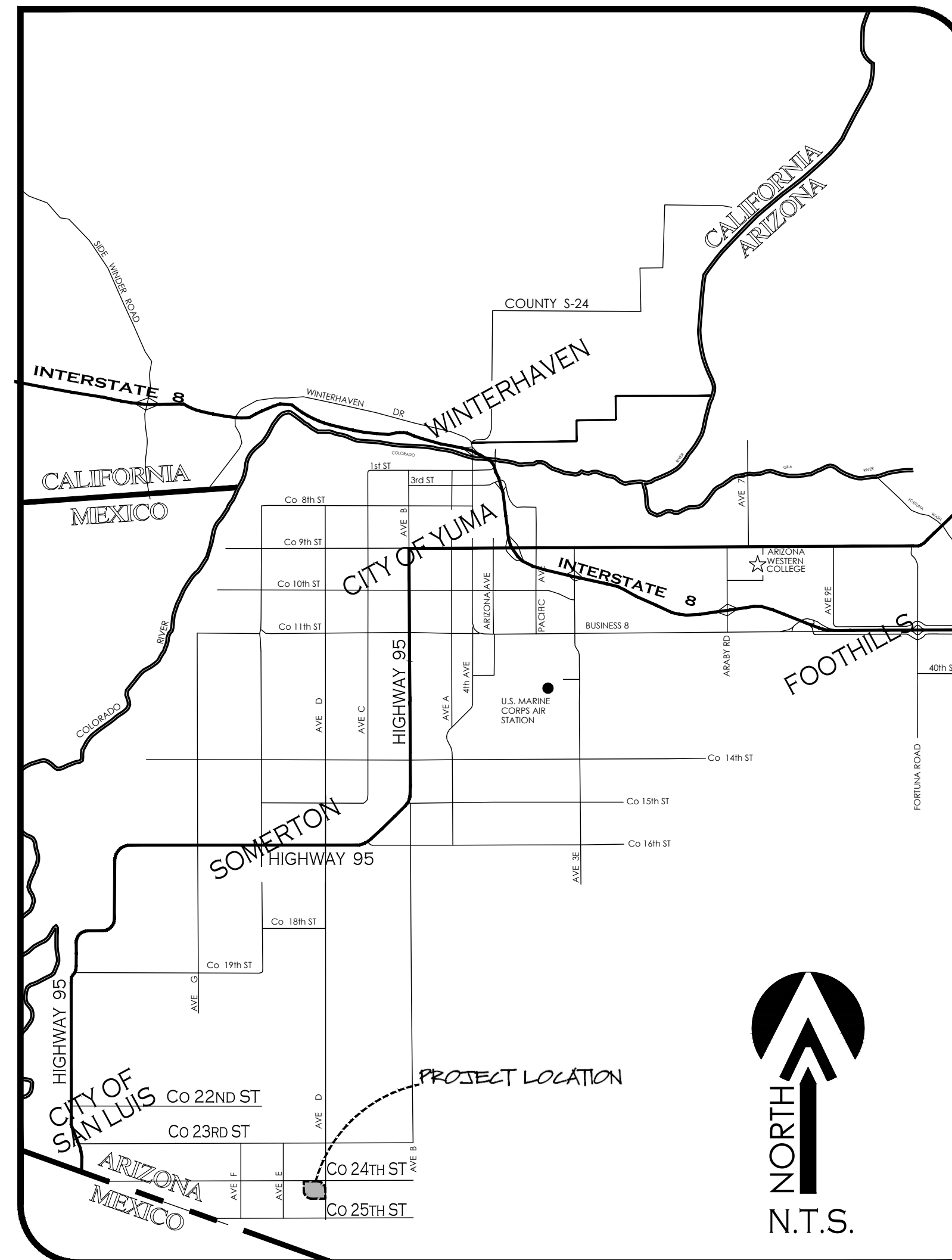
APPROVED BY:
JOSE A. GUZMAN

ORCHIDEA PARK TOWNHOMES

SUBDIVISION PHASE 1

LEGEND

	INDICATES EX. ASPHALT PAVEMENT
	INDICATES EX. CONCRETE
	INDICATES BOUNDARY LINE
	INDICATES CENTERLINE
	INDICATES RIGHT-OF-WAY LINE
	INDICATES EX. CMU WALL
	INDICATES EX. 6" PVC WATER LINE
	INDICATES EX. 8" PVC SEWER LINE
	INDICATES NEW ASPHALT PAVEMENT
	INDICATES NEW CONCRETE
	INDICATES NEW CMU WALL
	INDICATES EX. CONTOURS ELEVATION
	INDICATES NEW SANITARY SEWER LINE
	NEW SEWER STUB
	NEW SEWER MANHOLE
	NEW 4" PVC SEWER SERVICE
	INDICATES NEW WATER LINE
	NEW SINGLE WATER SERVICE
	FIRE LINE W/ END PLUG AND THRUST BLOCK
	NEW WATER VALVE
	NEW FIRE HYDRANT
	NEW TEMPORARY BLOWOFF VALVE
	INDICATES LOT NUMBERS
	NEW YUMA COUNTY STD. DETAIL No. 4-040 SUBD BOUNDARY MONUMENT
	NEW YUMA COUNTY STD. DETAIL No. 4-080 STREET MONUMENT
	EXISTING MONUMENT (TYPE AS SHOWN)
	INDICATES BRASS CAP
	INDICATES YUMA COUNTY RECORDERS
	INDICATES EXISTING POWER POLE
	INDICATES CALCULATED DATA
	INDICATES MEASURED DATA
	INDICATES EXISTING ELECTRICAL BOX
	INDICATES EXISTING GAS PADDLE
	INDICATES EXISTING MANHOLE
	INDICATES EXISTING FIRE HYDRANT
	INDICATES EXISTING WATER METER
	INDICATES EXISTING WATER VALVE
	INDICATES EX. CURB ELEVATION
	INDICATES EX. SIDEWALK ELEVATION
	INDICATES EX. ASPHALT ELEVATION
	INDICATES EX. NATURAL SOIL ELEVATION
	INDICATES NEW ASPHALT ELEVATION
	INDICATES NEW CURB ELEVATION
	INDICATES NEW GUTTER ELEVATION



VICINITY MAP
N.T.S.

GENERAL CONSTRUCTION NOTES:

- THE LOCATION OF UTILITIES IS APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. UTILITIES SHOWN HERE ARE FOR THE PURPOSE OF ASSISTING THE CONTRACTOR IN LOCATING SAID UTILITIES. THE CONTRACTOR IN ACCORDANCE WITH ARIZONA STATUTES SHALL CONTACT THE ARIZONA BLUE STAKE CENTER (1-800-782-5348) AT LEAST 48 HOURS MIN. PRIOR TO THE BEGINNING OF CONSTRUCTION AND OBTAIN ON-SITE UTILITIES LOCATIONS. CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND SHALL BE RESOLVED PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DAMAGED TO A UTILITY SHALL BE REPAIRED AT THE CONTRACTOR EXPENSE.
- ALL CITY REQUIRED COMPACTION AND LABORATORY TESTS SHALL BE FURNISHED BY THE CONTRACTOR TO THE CITY PRIOR TO ACCEPTANCE OF THE PROJECT.
- THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR TWO YEARS AFTER THE FINAL ACCEPTANCE. ANY DEFECTIVE MATERIAL OR WORKMANSHIP SHALL BE REPLACED AND/OR REPAIRED PRIOR TO FINAL ACCEPTANCE.
- ALL ROAD SURFACES, EASEMENTS OR RIGHT OF WAYS DISTURBED BY CONSTRUCTION OF ANY PART OF THIS IMPROVEMENTS ARE TO BE RESTORED COMPLETELY BY THE CONTRACTOR TO THE BEFORE CONSTRUCTION CONDITION OR BETTER.
- DURING CONSTRUCTION, THE DEVELOPER/OWNER IS SOLELY RESPONSIBLE FOR INSURING THE PROPER FUNCTIONING OF THE EROSION AND SEDIMENT CONTROL MEASURES. THE DEVELOPER/OWNER SHALL TAKE WHATEVER MEASURES ARE REQUIRED TO INSURE THAT NO SEDIMENT LEAVES THE SITE.
- REFER TO SHEETS 2 OF 2 OF FINAL PLAT FOR ALL CORRECT DIMENSIONS.
- SEE SUBDIVISION PLAT FOR ALL BOUNDARY INFORMATION AND DIMENSIONS; DO NOT SCALE.
- ALL MATERIALS AND CONSTRUCTION HEREON SHALL CONFORM TO CITY OF SAN LUIS STANDARDS (CITY OF YUMA STANDARD DETAILS, MAG SPECIFICATIONS, CITY OF SAN LUIS SUPPLEMENT), AS ADOPTED BY THE CITY OF SAN LUIS. STANDARD SPECIFICATIONS AND CONSTRUCTION STANDARDS UNLESS OTHERWISE SHOWN ON THESE PLANS.
- THE ENGINEER MAKES NO REPRESENTATION OR GUARANTEE REGARDING EARTHWORK QUANTITIES OR THAT THE EARTHWORK FOR THIS PROJECT WILL BALANCE DUE TO VARIOUS FIELD CONDITIONS, CHANGING SOIL TYPES, ALLOWABLE CONSTRUCTION TOLERANCES AND CONSTRUCTION METHODS THAT ARE BEYOND THE CONTROL OF THE ENGINEER.
- NO STREET, WATER, SEWER AND IMPROVEMENTS TO BE ACCEPTED BY THE CITY OF SAN LUIS. FOR MAINTENANCE UNTIL "AS-BUILT", CERTIFIED, REPRODUCIBLE PLANS ARE FILED WITH AND ACCEPTED BY THE CITY OF SAN LUIS PUBLIC WORKS DEPARTMENT.
- CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL, LOCAL, STATE, AND FEDERAL SWPPP REQUIREMENTS AND BMPs.

INDEX:

Cover Sheet	-----	0
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Water and Sewer Plan	-----	4
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24th Ave & Retention Basin Irrigation	-----	L1.3
24th Ave Irrigation	-----	L1.4
24TH AVE. & RETENTION BASIN Details	-----	L1.5

OWNER:

VON VERDE PARTNERS LLC
10802 S CAMINO DEL SOL
YUMA AZ., 85367

BASIS OF BEARING

THE NORTH SECTION LINE OF THE NE1/4 OF SECTION 14, T11S, R24W, G.S. & B.M., YUMA COUNTY, ARIZONA (BEING THE CENTERLINE OF COUNTY 24TH), AS SHOWN ON LOS MEZQUITES TOWNHOMES AS RECORDED IN BOOK 35 OF PLATS, PAGE 54, YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, ARIZONA.
BEARING S 89°32'26" E

UTILITIES WARNING

UTILITIES IN THE AREA OF CONSTRUCTION ARE APPROXIMATE ONLY. THEY HAVE BEEN LOCATED FROM FIELD INVESTIGATION AND THE BEST AVAILABLE UTILITY RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND REPAIR OF ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION. WHETHER SHOWN ON THESE PLANS OR NOT, THE CONTRACTOR SHALL CONTACT ALL RESPECTIVE UTILITIES AND HAVE ALL UTILITIES FIELD-LOCATED PRIOR TO CONSTRUCTION. IF ANY UNKNOWN SUBSURFACE STRUCTURES ARE ENCOUNTERED DURING CONSTRUCTION, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF ENGINEER OF RECORD PRIOR TO PROCEEDING.

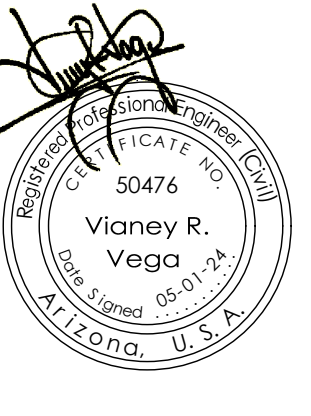
BENCHMARK:

TOP OF 1/2" REBAR W/LS 22767
LOCATED AT THE INTERSECTION
OF 20th AVENUE AND COUNTY 24TH
STREET

ELEVATION: 159.25 FEET

ENGINEER:

VEGA & VEGA
ENGINEERING & PLANNING, LLC
2619 S. AVE. 2 1/4 E. STE#3 928-329-0000 Tel
Yuma, Az. 85364 928-247-6232 Fax
www.vegaNvega.com



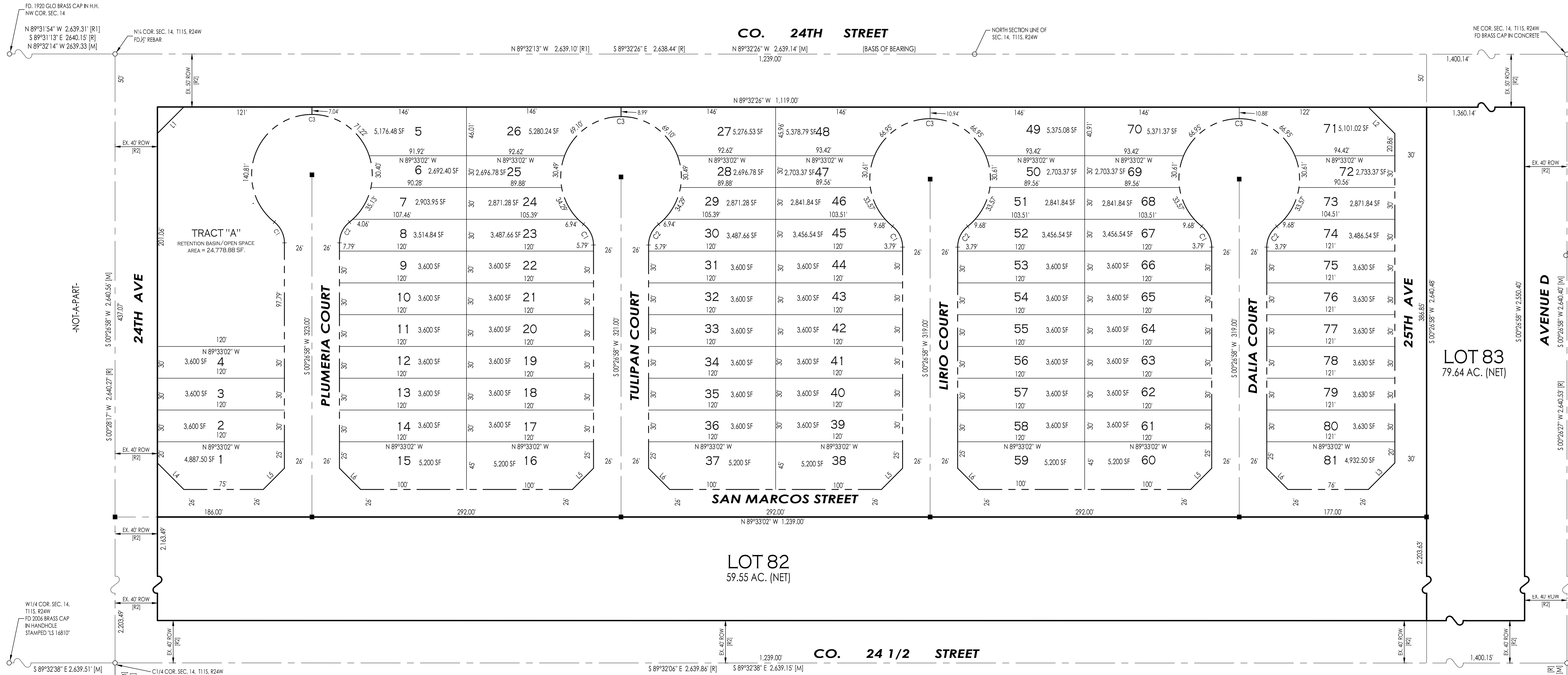
Notes:

Scale:	N.T.S.	Date:	MAY 2024
Drawn:	staff	Job #:	vnv23-600
Checked:	vna		
Sheet			0

CALL TWO WORKING DAYS BEFORE YOU DIG
1-800-STAKE-IT

ORCHIDEA PARK TOWNHOMES SUBDIVISION PHASE 1

A SUBDIVISION OF THE NE 1/4 OF SECTION 14, T11S, R24W,
G.&S.R.B.&M., YUMA COUNTY, ARIZONA.
MAY OF 2024 ACREAGE: 10.56 AC (NET)
FINAL PLAT



BASIS OF BEARING
THE NORTH SECTION LINE OF THE NE 1/4 OF SECTION 14, T11S, R24W, G.&S.R.B.&M., YUMA COUNTY, ARIZONA, (BEING THE CENTERLINE OF COUNTY 24TH), AS SHOWN ON LOS MEZQUITES TOWNHOMES AS RECORDED IN BOOK 35 OF PLATS, PAGE 54, YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, ARIZONA.
BEARING S 89°32'26" E

- KEYNOTES**
- ① NEW 8' UTILITY EASEMENT
 - ② NEW 1' NON-ACCESS EASEMENT
 - ③ NEW 10' DRAINAGE EASEMENT

NOTE
PROPERTY CORNERS TO BE MARKED BY 1/2" DIAMETER REBAR TAGGED WITH CAP L.S. 16528
PROJECT ZONING: R-1-6

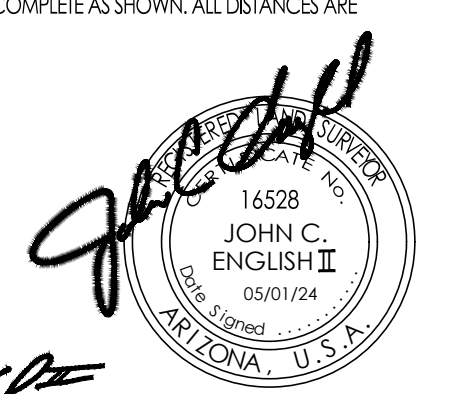
OWNER OF RECORD:
VON VERDE PARTNERS, LLC
10602 S. CAMINO DEL SOL
YUMA, AZ 85367

PREPARED BY:
vin 23-600
VEGA & VEGA
ENGINEERING, P.L.L.C.
1846 S. 8th Avenue 928-329-0000 Tel
Yuma, Az, 85364 928-247-6232 Fax
www.vegaengineers.com

E1/4 COR. SEC. 14, T11S, R24W
FD 1976 DEPARTMENT OF INTERIOR
BRASS CAP

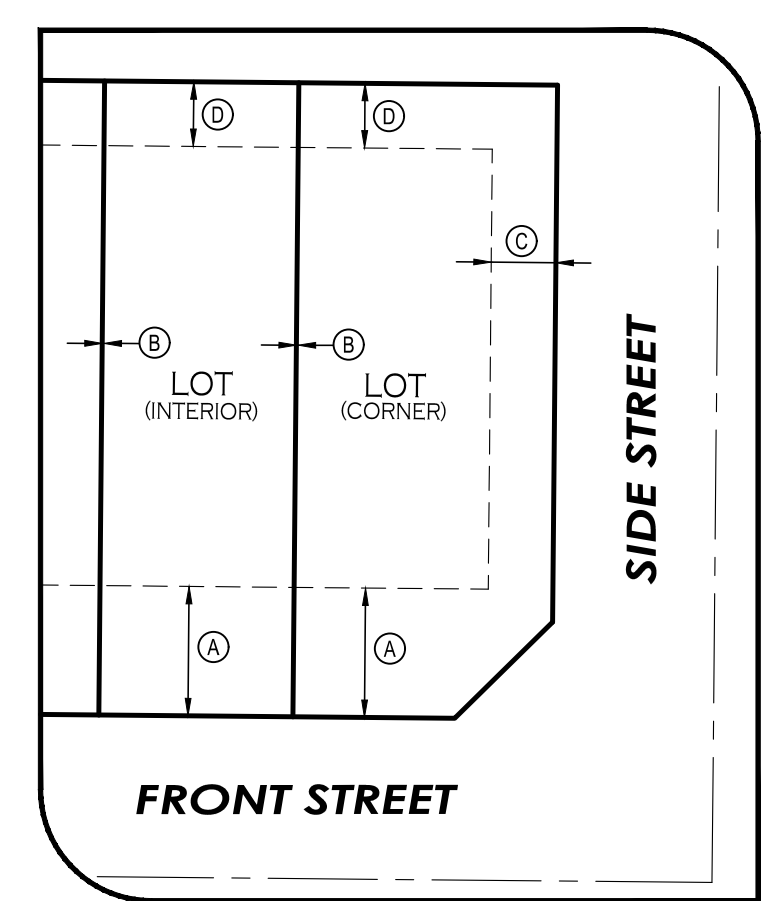
SE COR. SEC. 14, T11S, R24W
FD BRASS CAP IN HH LS18679

LAND SURVEYOR'S CERTIFICATE:
HEREBY CERTIFY THAT I AM A LAND SURVEYOR LISTED ON THE ROSTER OF ACTIVE REGISTRANTS BY THE STATE BOARD OF TECHNICAL REGISTRATION OF ARIZONA AND THAT THIS MAP CONSISTING OF TWO (2) SHEETS CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION DURING APRIL 2024 THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THEIR POSITIONS ARE CORRECTLY SHOWN, OR WILL BE IN PLACE WITHIN ONE YEAR FROM RECORDATION OF THIS MAP. THE MONUMENTS WILL BE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED. THE SURVEY IS TRUE AND COMPLETE AS SHOWN. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS PARTS.



BY: *John C. English II*
JOHN C. ENGLISH II R.L.S. No. 16528

TYP. LOT BUILDING SETBACK LAYOUT



- BUILDING SETBACKS KEYNOTES**
- (A) FRONT YARD SETBACK = 20 FEET
 - (B) SIDE YARD SETBACK = 0 FEET
 - (C) SIDE STREET YARD SETBACK = 10 FEET
 - (D) REAR YARD SETBACK = 10 FEET

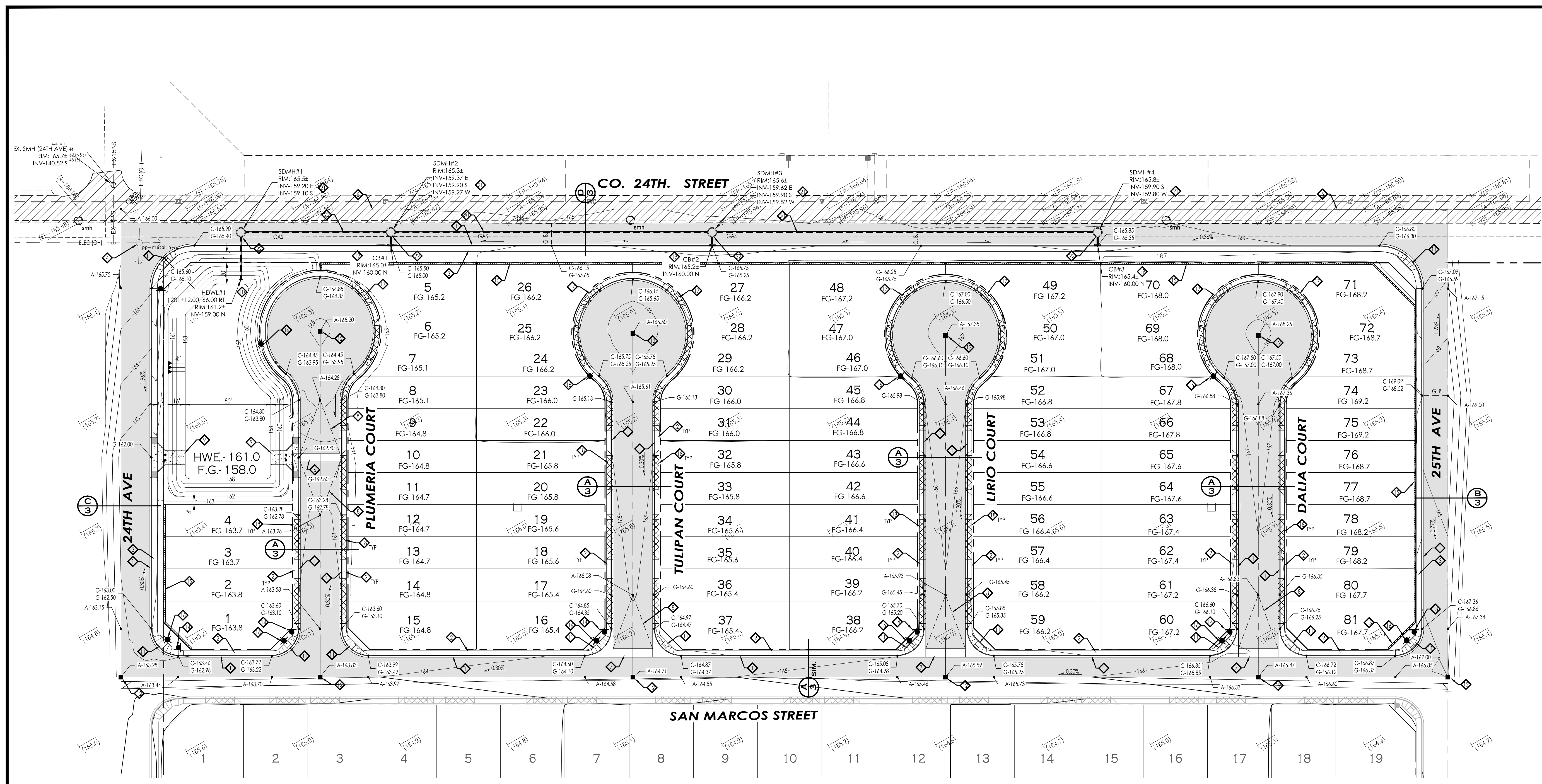
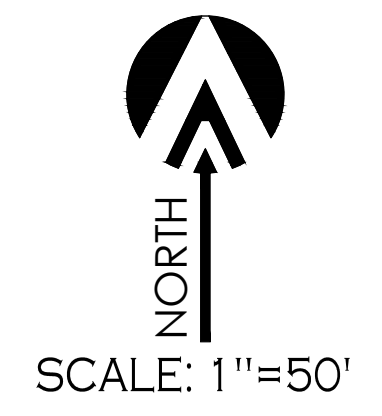
LINE DATA

LINE NUMBER	BEARING	LENGTH (FEET)
L1	S 45°27'16" W	35.35'
L2	N 44°32'44" W	35.36'
L3	S 45°26'58" W	35.36'
L4	N 44°33'02" W	35.36'
L5	S 45°26'58" W	28.28'
L6	N 44°33'02" W	28.28'

CURVE TABLE

NUMBER	DELTA ANGLE	CHORD LENGTH	TANGENT	RADIUS	ARC LENGTH
C1	51°32'28"	21.74	12.07	25.00'	22.49'
C2	51°32'28"	21.74	12.07	25.00'	22.49'
C3	283°04'57"	70.90	45.27	57.00'	281.42'

- LEGEND**
- INDICATES BOUNDARY LINE
 - - - INDICATES CENTERLINE
 - · - · - INDICATES EASEMENT LINE
 - 11 NEW LOT NUMBER
 - NEW YUMA COUNTY STD. DETAIL No. 4-080 STREET MONUMENT
 - NEW SUBDIVISION BOUNDARY MONUMENT AS PER CITY OF YUMA STD. #4-015
 - EXISTING MONUMENT (TYPE AS SHOWN)
 - INDICATES BRASS CAP
 - Y.C.R. INDICATES YUMA COUNTY RECORDERS
 - G.L.O. INDICATES GENERAL LAND OFFICE
 - N.A.E. INDICATES NON ACCESS EASEMENT
 - [M] INDICATES MEASURED DATA
 - [R] DATA REFERS TO U.S. G.L.O. MAP SECTION 14, TOWNSHIP 11 SOUTH, RANGE 24 WEST GILA & SALT RIVER MERIDIAN, ARIZONA, FILED MARCH 12, 1922 IN THE U.S. SURVEYOR GENERAL'S OFFICE
 - [R1] DATA REFERS TO LOS MEZQUITES TOWNHOMES AS RECORDED IN BOOK 35 OF PLATS, PAGE 54, YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, ARIZONA.
 - [R2] DATA REFERS TO WARRANTY DEED WITH FEE#2012-29216, AS RECORDED IN YUMA COUNTY RECORDERS OFFICE, YUMA COUNTY, ARIZONA.



LEGEND

- | | | | |
|--|---|--|--------------------------------------|
| | INDICATES EX. ASPHALT PAVEMENT | | INDICATES EXISTING STREET SIGN |
| | INDICATES EX. CONCRETE | | INDICATES EXISTING MANHOLE |
| | INDICATES BOUNDARY LINE | | INDICATES EXISTING FIRE HYDRANT |
| | INDICATES CENTERLINE | | INDICATES EXISTING WATER METER |
| | INDICATES RIGHT-OF-WAY LINE | | INDICATES EXISTING WATER VALVE |
| | INDICATES EX. FENCE | | INDICATES NEW STREET LIGHT |
| | INDICATES EX. ELECTRICAL OVERHEAD LINE | | INDICATES EX. CURB ELEVATION |
| | INDICATES EX. WATER LINE | | INDICATES EX. SIDEWALK ELEVATION |
| | INDICATES EX. SEWER LINE | | INDICATES EX. ASPHALT ELEVATION |
| | INDICATES EX. GAS LINE | | INDICATES EX. NATURAL SOIL ELEVATION |
| | NEW YUMA COUNTY STD. DETAIL No. 4-030 SUB'D BOUNDARY MONUMENT | | INDICATES NEW ASPHALT ELEVATION |
| | NEW YUMA COUNTY STD. DETAIL No. 4-080 STREET MONUMENT | | INDICATES NEW ASPHALT PAVEMENT |
| | EXISTING MONUMENT (TYPE AS SHOWN) | | INDICATES NEW CONCRETE |
| | INDICATES BRASS CAP | | INDICATES NEW CMU WALL |
| | INDICATES YUMA COUNTY RECORDERS | | INDICATES EXISTING CMU WALL |

KEYNOTES:

- NEW VERTICAL CURB & GUTTER - AS PER C.O.Y. STD. 3-060
- NEW 4' CONCRETE SIDEWALK - AS PER C.O.Y. STD. 3-135
- NEW 5' CONCRETE SIDEWALK - AS PER C.O.Y. STD. 3-135
- EXISTING POWER POLE TO BE RELOCATED BY APS SAWCUT 1' OF EXISTING PAVEMENT, REMOVE AND REPLACE WITH NEW PAVEMENT - SEE DETAIL
- NEW 8' CROSS GUTTER - AS PER C.O.Y. STD. 3-090
- NEW 8' CROSS VALLEY GUTTER - AS PER C.O.Y. STD. 3-085
- NEW 50' CROWN TRANSITION
- NEW 13' CONCRETE SPILLWAY - SEE DETAIL (B, 7)
- NEW STORMDRAIN OUTLET STRUCTURE - SEE DETAIL (D, 7)
- NEW CONCRETE SIDEWALK RAMP (25' RADIUS MEASURED TO FACE OF CURB) - AS PER C.O.Y. STD. 3-145
- NEW STREET MONUMENT - AS PER C.O.Y. STD. 4-030
- NEW DOUBLE FACED STREET SIGN - AS PER C.O.Y. STD. 8-020
- NEW DOUBLE FACED STREET SIGN-STOP SIGN - AS PER C.O.Y. STD. 8-020
- NEW 6' HIGH (ON THE LOT SIDE) CMU WALL - AS PER C.O.Y. STD. 1-015 (CMU WALL LOCATED WITHIN THE FRONT OR SIDE SETBACK OF LOTS MUST BE 3/8" HIGH MAXIMUM)
- NEW STREET LIGHT - TYPE A (4700 LUMENS) AS PER C.O.Y. STD. 7-010 AND C.O.Y. STD. 7-015
- NEW 16' WIDE DRIVEWAY - AS PER C.O.Y. STD. 3-105
- NEW 32' WIDE DRIVEWAY - AS PER C.O.Y. STD. 3-105
- NEW TYPE 'E' DOUBLE CATCH BASIN - AS PER C.O.Y. STD. 11-025
- NEW 18' STORMDRAIN - AS PER C.O.Y. STD. 5-010
- NEW 5' DIA STORMDRAIN MANHOLE (E, 7, F, 7)
- ADJUST EXISTING GAS LINE AS NECESSARY FOR NEW STORMDRAIN

DRAINAGE REPORT

1. DRAINAGE REPORT
DRAINAGE AREA # 1
USING THE RATIONAL METHOD
Q = CIA = PEAK RUNOFF [VOL.]
(C) PEAK RATE RUNOFF = 0.43
(1) INTENSITY OF RAINFALL = 1.22 IN / HR
(A) DRAINAGE AREA = 541,395.41 SF. = 12.43 SF
Q = (0.43)(1.22)(12.43) = 6,520.8 CF
TOTAL RUNOFF = 7,200 (6,520.8) = 46,949.76 CF
STORAGE VOLUME PROVIDED AREA # 1
RETENTION BASIN
TOP AREA = 20,623.90 SF
BOTTOM AREA = 11,660.62 SF
DEPTH = 3 FT
VOL. PROVIDED = [20,623.90 + 11,660.62] (4.0) = 64,566 CF
TOTAL VOL. PROVIDED = 64,566 CF
FACTOR OF SAFETY = $\frac{64,566 \text{ CF}}{46,949.76 \text{ CF}}$ = 1.37 > 1.25 THEREFORE OK.

OPEN SPACE CALCULATIONS

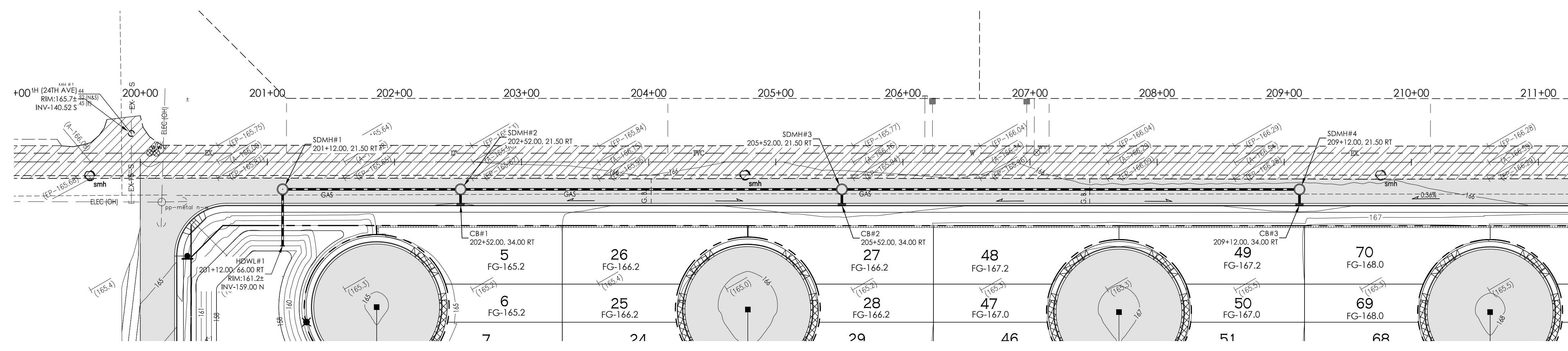
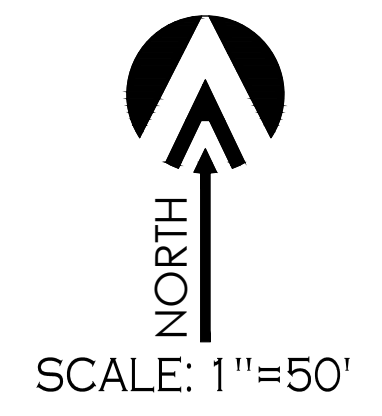
PROJECT AREA : 459,993.60 SF. = 10.56 AC
5% OPEN SPACE REQUIRED = 459,993.60 SF. X 5% = 22,999.68 SF.
OPEN SPACE PROVIDED : AREA RETENTION BASIN = 24,778.88 SF.
24TH AVENUE LANDSCAPING AREA = 2,921.82 SF.
CO. 24TH STREET LANDSCAPING AREA = 11,328.14 SF.
39,028.84 SF.
TOTAL AREA OPEN SPACE PROVIDED : = 39,028.84 SF.
39,028.84 SF. > 22,999.68 SF THEREFORE OK

PAVING & GRADING
ORCHIDEA PARK
TOWNHOMES SUBDIVISION PHASE I

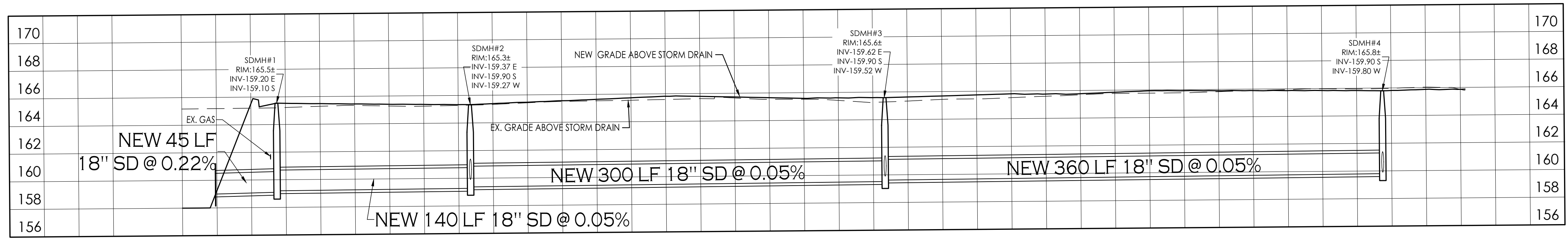


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CALL TWO WORKING DAYS BEFORE YOU DIG
1-800-STAKE-IT



24th STREET STORMDRAIN PROFILE



STORMDRAIN PLAN & PROFILE
ORCHIDEA PARK
TOWNHOMES SUBDIVISION PHASE I

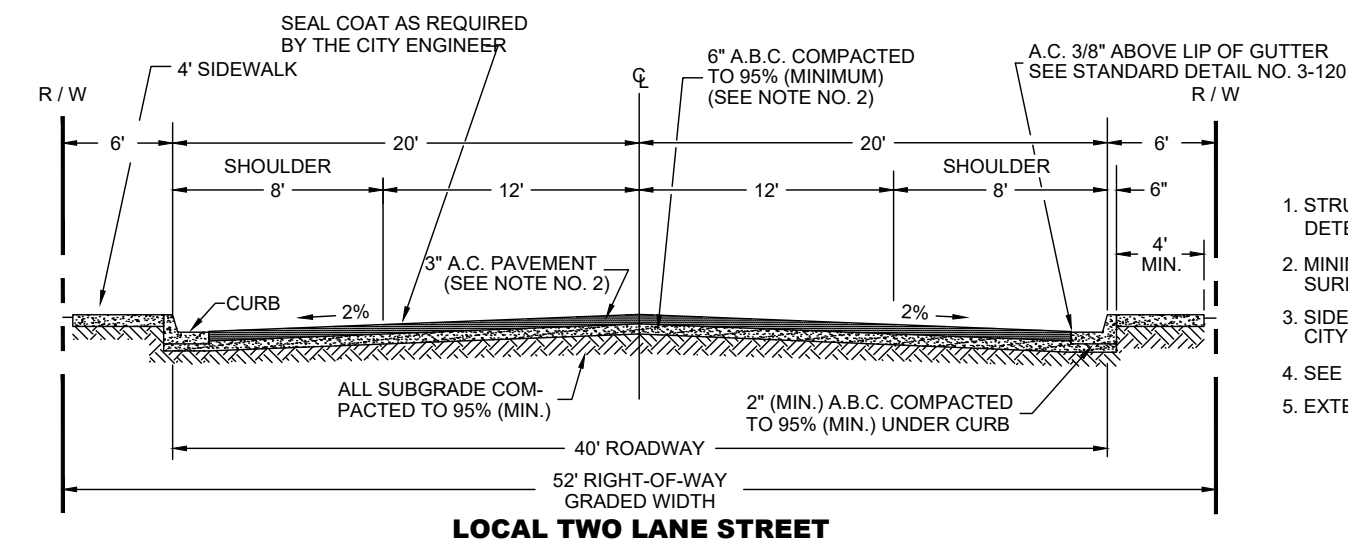


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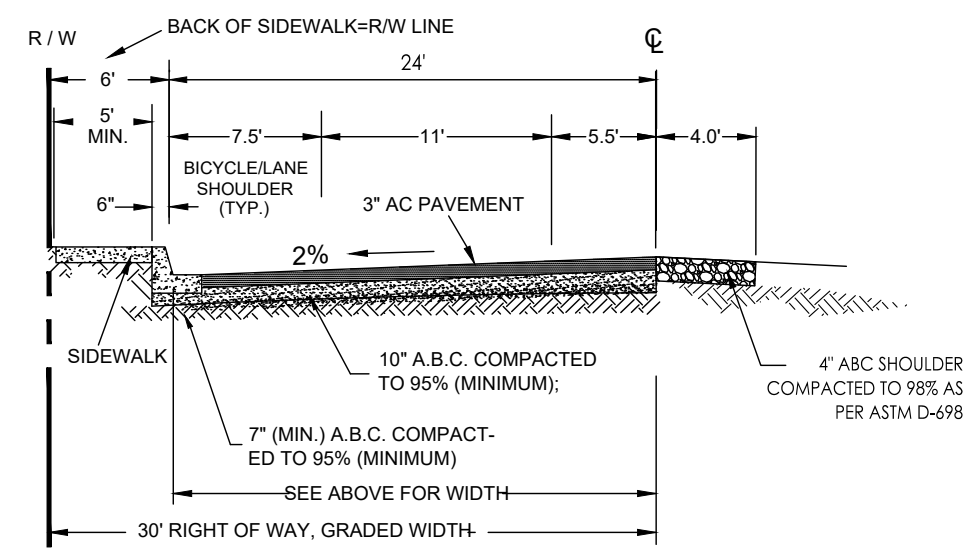




- NOTES**
- STRUCTURAL DESIGN OF COMBINED THICKNESS OF BASE AND SURFACE TO BE DETERMINED BY SOILS TEST.
 - MINIMUM PAVING THICKNESS SHALL BE 3\"/>

LOCAL TWO LANE STREET A
3

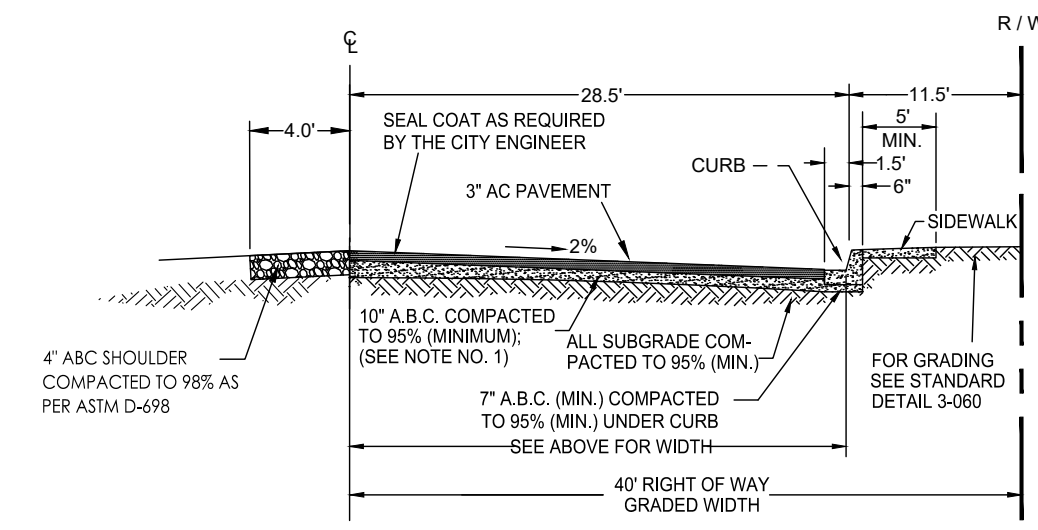
CITY OF YUMA STD. 2-030 (MODIFIED)



- NOTES**
- STRUCTURAL DESIGN OF COMBINED THICKNESS OF BASE AND SURFACE TO BE DETERMINED BY SOILS TEST.
 - MINIMUM PAVING THICKNESS - 3\"/>

25TH AVENUE B
3

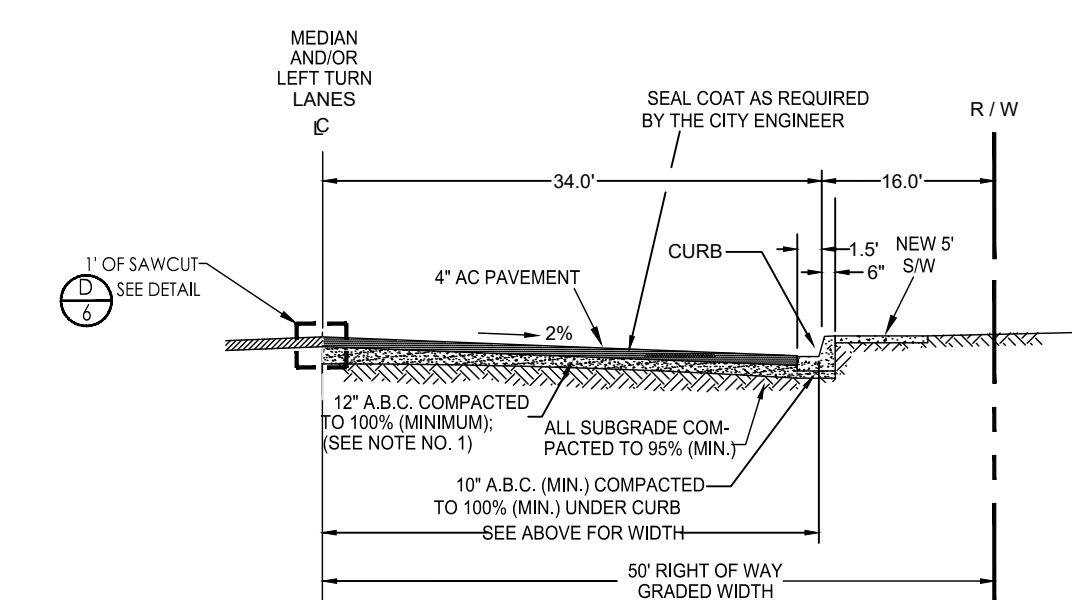
CITY OF YUMA STD. 2-025 (MODIFIED)



- NOTES**
- STRUCTURAL DESIGN OF COMBINED THICKNESS OF BASE AND SURFACE TO BE DETERMINED BY SOILS TEST.
 - MINIMUM PAVING THICKNESS - 3\"/>

24TH AVENUE C
3

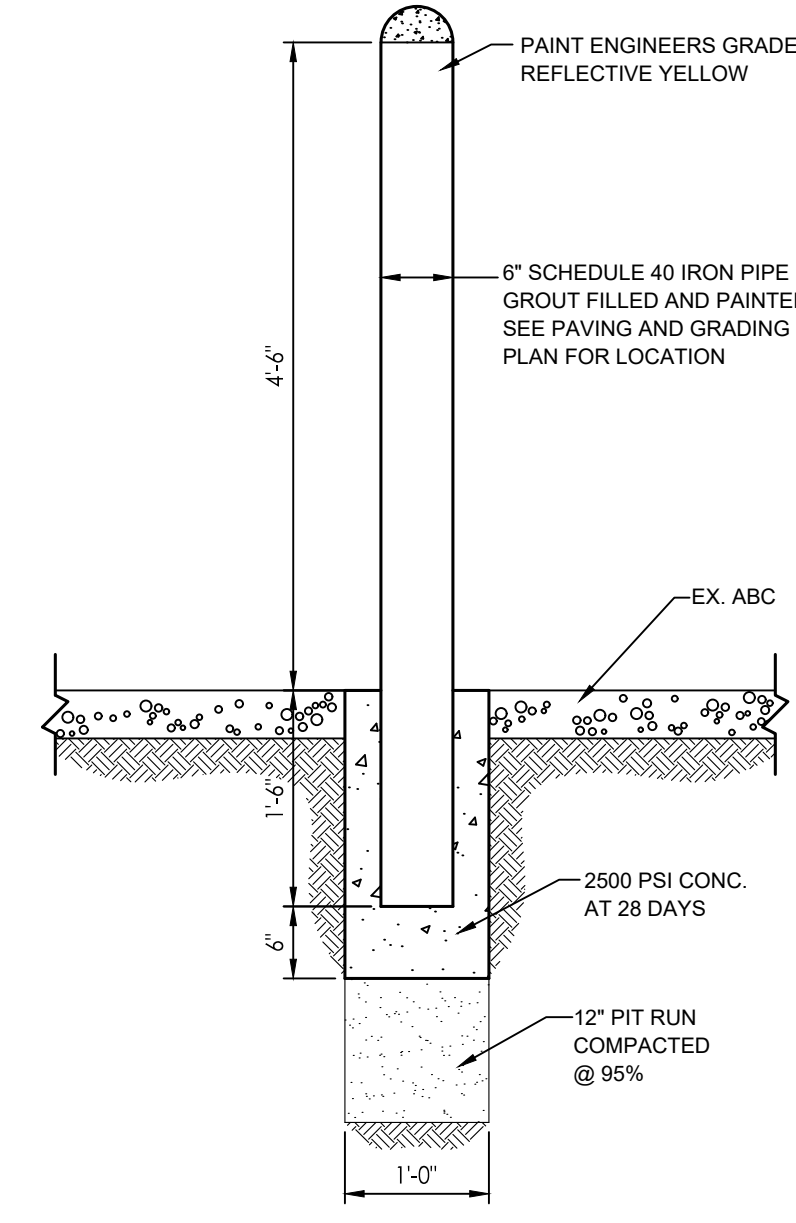
CITY OF YUMA STD. 2-020 (MODIFIED)



- NOTES**
- Structural design of combined thickness of base and surface to be determined by soil tests. While the soil test may require a greater paving thickness, the following minimum paving thickness is required: four inch (4\") for plant hot mix asphalt surfacing over twelve inches (12\") of A.B.C. compacted to 100% (minimum).
 - Sidewalk location adjacent to curb or as approved by the City Engineer.
 - All pavement striping/markings and/or raised pavement markers shall be in accordance with ADOT manual for signing and marking, latest edition, with the exception of bikeways which shall be marked and signed in accordance with Standard Detail 2-085.
 - Refer to Standard Detail 2-010 for bike path information.
 - Bike paths adjacent to Minor Arterial streets may require shifting of street centerline 16\"/>

Co. 24TH STREET D
3

CITY OF YUMA STD. 2-015 (MODIFIED)



GUARD POST DETAIL E
3

Typical Street Sections
ORCHIDEA PARK
TOWNHOMES SUBDIVISION PHASE I



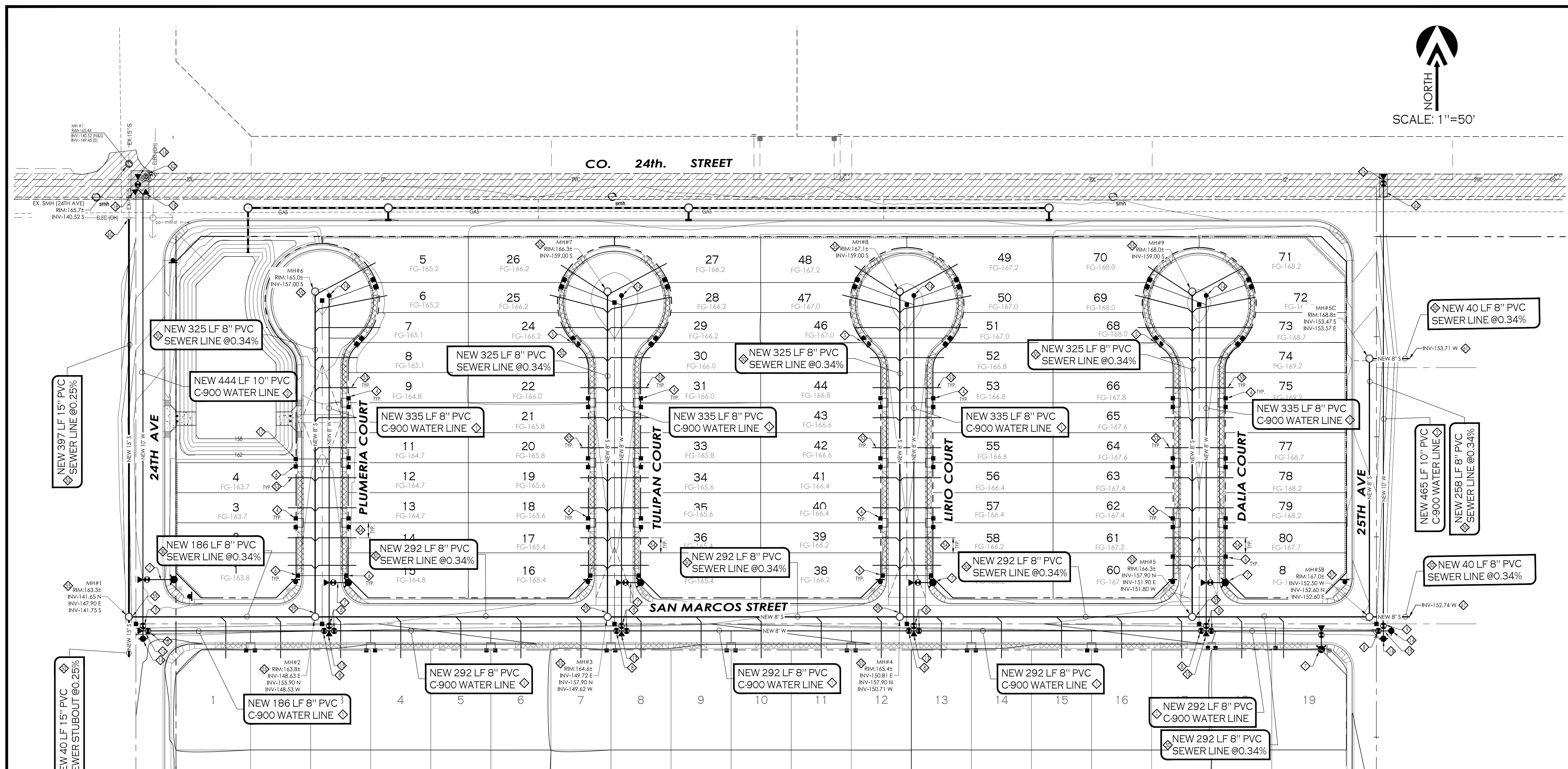
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CALL TWO WORKING DAYS BEFORE YOU DIG
1-800-STAKE-IT

NORTH
SCALE: 1"=50'



NEW 397 LF 15" PVC SEWER LINE @0.25%

NEW 325 LF 8" PVC SEWER LINE @0.34%

NEW 444 LF 10" PVC C-900 WATER LINE

NEW 186 LF 8" PVC SEWER LINE @0.34%

NEW 325 LF 8" PVC SEWER LINE @0.34%

NEW 335 LF 8" PVC C-900 WATER LINE

NEW 292 LF 8" PVC SEWER LINE @0.34%

NEW 325 LF 8" PVC SEWER LINE @0.34%

NEW 335 LF 8" PVC C-900 WATER LINE

NEW 292 LF 8" PVC SEWER LINE @0.34%

NEW 325 LF 8" PVC SEWER LINE @0.34%

NEW 335 LF 8" PVC C-900 WATER LINE

NEW 292 LF 8" PVC SEWER LINE @0.34%

NEW 335 LF 8" PVC C-900 WATER LINE

NEW 40 LF 8" PVC SEWER LINE @0.34%

NEW 465 LF 10" PVC C-900 WATER LINE

NEW 258 LF 8" PVC SEWER LINE @0.34%

NEW 40 LF 8" PVC SEWER LINE @0.34%

LEGEND

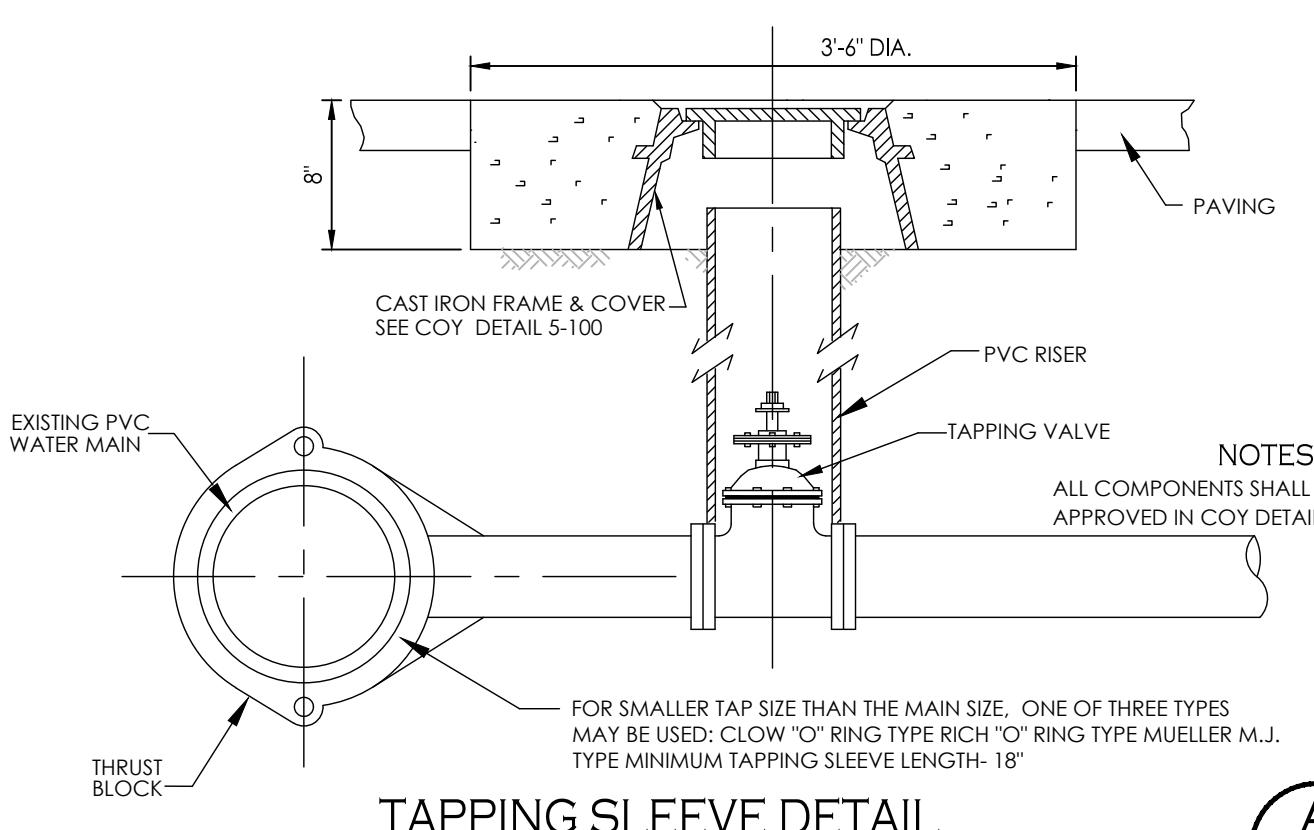
- 163 INDICATES EX. CONTOURS ELEVATION
- EX-6"-PVC-W- INDICATES EX. WATER LINE
- EX-8"-PVC-S- INDICATES EX. SEWER LINE
- MH INDICATES EXISTING MANHOLE
- FH INDICATES EXISTING FIRE HYDRANT
- WM INDICATES EXISTING WATER METER
- WV INDICATES EXISTING WATER VALVE
- 50 INDICATES LOT NUMBERS
- NEW-PVC-S- INDICATES NEW SANITARY SEWER LINE
- NEW SEWER STUB
- NEW SEWER MANHOLE
- NEW SEWER CLEANOUT
- NEW 4" PVC SEWER SERVICE
- NEW-PVC-W- INDICATES NEW WATER LINE
- NEW SINGLE WATER SERVICE
- NEW WATER W/ END PLUG AND THRUST BLOCK
- NEW WATER VALVE
- NEW FIRE HYDRANT
- NEW TEMPORARY BLOWOFF VALVE

WATER KEYNOTES:

- INSTALL 8" WATER MAIN - AS PER C.O.Y. STD. 5-010
- INSTALL 10" WATER MAIN - AS PER C.O.Y. STD. 5-010
- INSTALL 12" WATER MAIN - AS PER C.O.Y. STD. 5-010
- INSTALL 1" DUAL WATER SERVICE (TYP.) - AS PER C.O.Y. STD. 5-045 & 5-055 AND SEE DETAIL (S)
- SEPARATE WATER METERS AT THESE LOCATIONS TO ALLOW FOR STREET LIGHT PLACEMENT
- INSTALL 1" SINGLE WATER SERVICE (TYP.) - AS PER C.O.Y. STD. 5-035 & 5-055.
- NEW COMPLETE FIRE HYDRANT - AS PER C.O.Y. STD. 5-155.
- NEW 8" WATER VALVE - AS PER C.O.Y. STD. 5-065, 5-075 & 5-080.
- NEW 10" WATER VALVE - AS PER C.O.Y. STD. 5-065, 5-075 & 5-080.
- NEW 12" WATER VALVE - AS PER C.O.Y. STD. 5-065, 5-075 & 5-080.
- NEW 12"x8" PVC TEE W/THRUST BLOCK - AS PER C.O.Y. STD. 5-020 & 5-025
- NEW 10"x8" PVC TEE W/THRUST BLOCK - AS PER C.O.Y. STD. 5-020 & 5-025
- NEW 8"x8" PVC TEE W/THRUST BLOCK - AS PER C.O.Y. STD. 5-020 & 5-025
- NEW WATERMAIN BLOWOFF VALVE - AS PER C.O.Y. STD. 5-085.
- REMOVE EXISTING CAP AND CONNECT NEW WATER LINE TO EX. WATER SYSTEM. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING WATER MAIN. IF CONDITIONS ARE DIFFERENT THAN WHAT IS SHOWN ON PLANS CONTRACTOR TO NOTIFY ENGINEER BEFORE MAKING ANY DETERMINATION.
- NEW 10" TAPPING SLEEVE, CONNECT NEW 10" WATER LINE TO EX. 12" WATER MAIN. SAWCUT EXISTING PAVEMENT AS NEEDED FOR CONNECTION AND REPLACE WITH NEW PAVEMENT. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING 12" WATER MAIN. IF CONDITIONS ARE DIFFERENT THAN WHAT IS SHOWN ON PLANS CONTRACTOR TO NOTIFY ENGINEER BEFORE MAKING ANY DETERMINATION - SEE DETAILS (A)
- INSTALL 2" WATER SERVICE (TYP.) - AS PER C.O.Y. STD. 5-040 & 5-060.
- NEW 12" 45° PVC BEND W/THRUST BLOCK - AS PER C.O.Y. STD. 5-020 & 5-025
- NEW 10"x10"x8"x8" CROSS W/THRUST BLOCK - AS PER C.O.Y. STD. 5-020 & 5-025

SEWER KEYNOTES:

- INSTALL 8" SEWER MAIN - AS PER C.O.Y. STD. 5-010
- INSTALL 10" SEWER MAIN - AS PER C.O.Y. STD. 5-010
- INSTALL 15" SEWER MAIN - AS PER C.O.Y. STD. 5-010
- NEW 4" PVC SEWER SERVICE - AS PER C.O.Y. STD. 6-015.
- CONSTRUCT ALL SEWER SERVICES TO CENTER OF THE LOT, UNLESS NOTED OTHERWISE.
- NEW SANITARY SEWER MANHOLE - AS PER C.O.Y. STD. 6-020, 6-035 & 6-040.
- NEW SHALLOW SEWER MANHOLE - AS PER MAG STD. 420 & 422
- NEW SANITARY SEWER CLEANOUT - AS PER C.O.Y. STD. 6-005
- NEW TYPE 'A' DROP SEWER CONNECTION - AS PER C.O.Y. STD. 6-055
- NEW TYPE 'B' DROP SEWER CONNECTION - AS PER C.O.Y. STD. 6-040
- CONNECT NEW SEWER LINE TO EXISTING SANITARY SEWER. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING SEWER. IF CONDITIONS ARE DIFFERENT THAN WHAT IS SHOWN ON PLANS CONTRACTOR TO NOTIFY ENGINEER BEFORE MAKING ANY DETERMINATION
- NEW WATERTIGHT PLUG
- NEW TYPE 'B' PAVEMENT REPLACEMENT - AS PER C.O.Y. STD 5-016



TAPPING SLEEVE DETAIL

A
4

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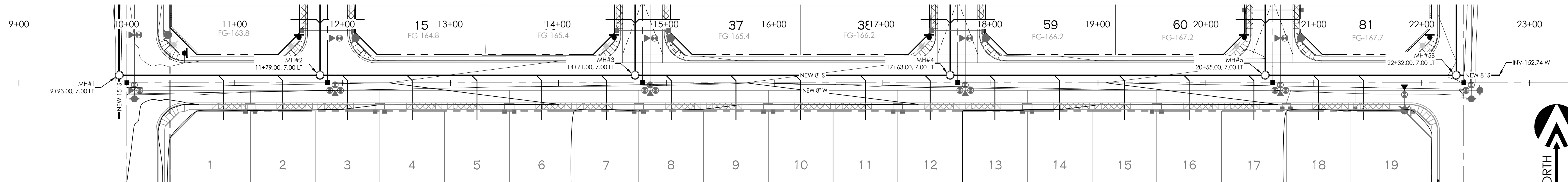
CALL TWO WORKING DAYS BEFORE YOU DIG
1-800-STAKE-IT

VEGA & VEGA
ENGINEERS & PLANNERS
2619 S. AVE. 2 1/2 E. STE #3
YUMA, AZ. 85364
V.V@vegaengineers.com
928-329-0000 TEL
928-247-6232 FAX

WATER & SEWER
ORCHIDEA PARK
TOWNHOMES SUBDIVISION PHASE I

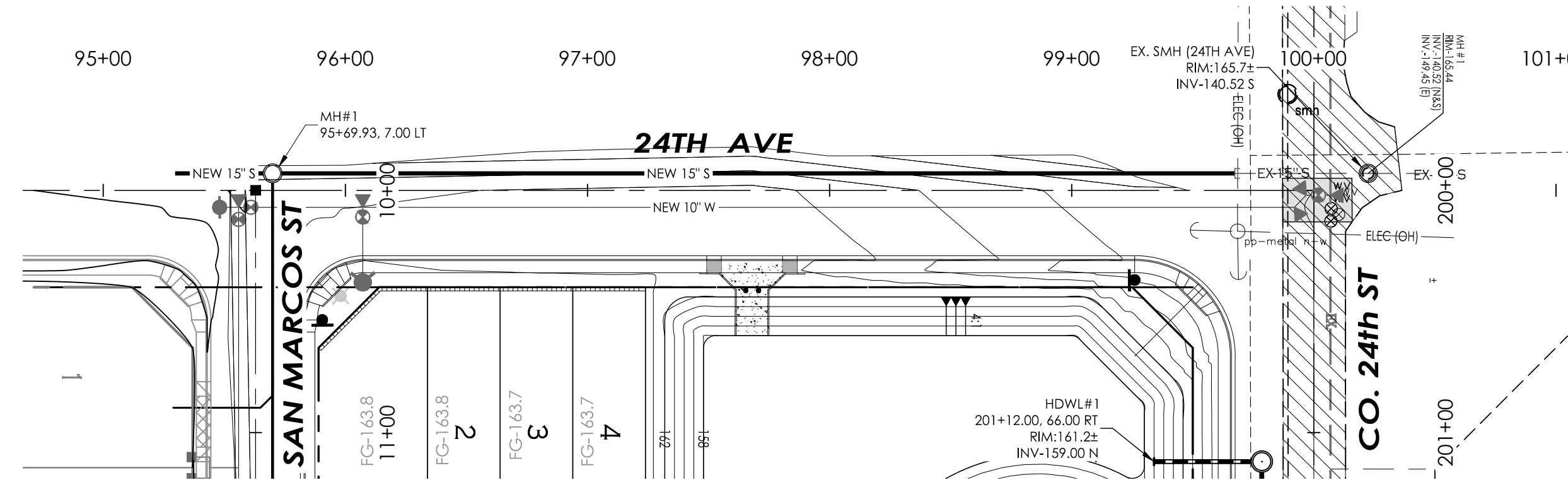
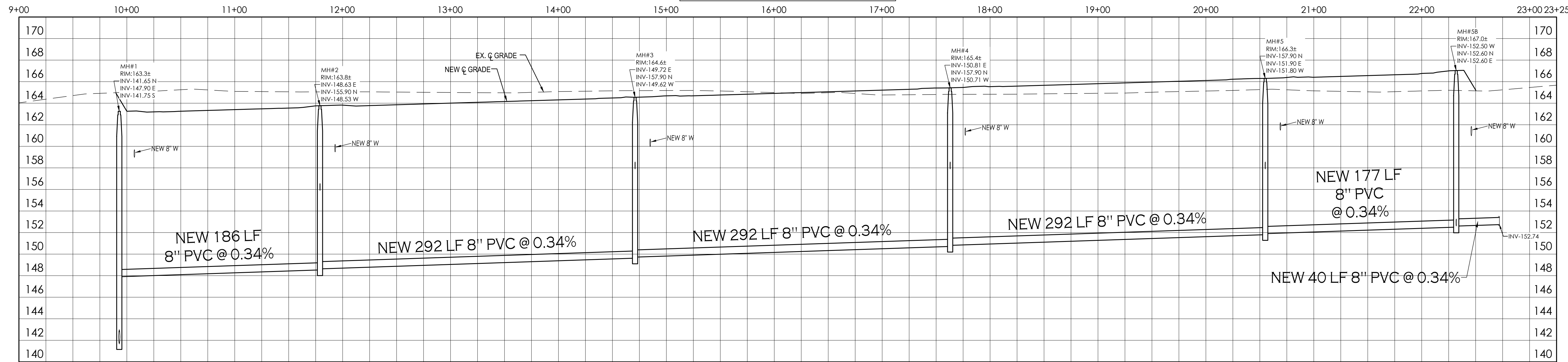


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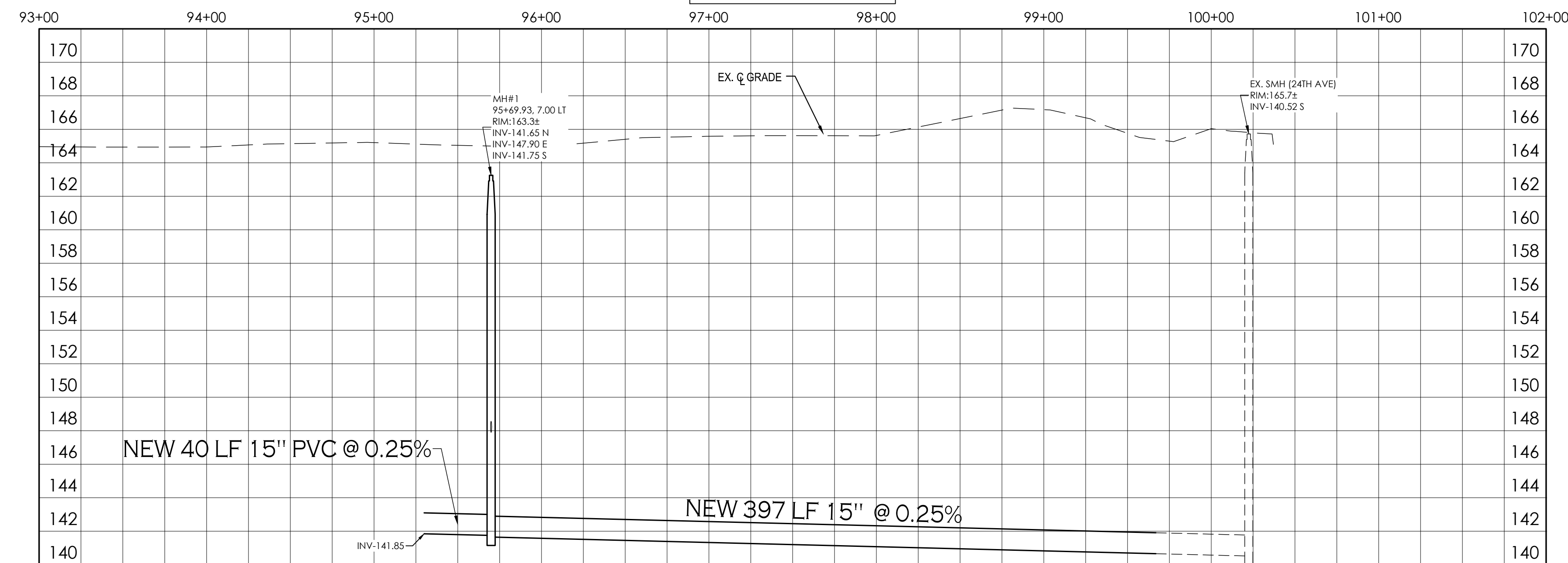
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SAN MARCOS STREET PROFILE



NORTH
SCALE: 1"=50'

24TH AVE PROFILE



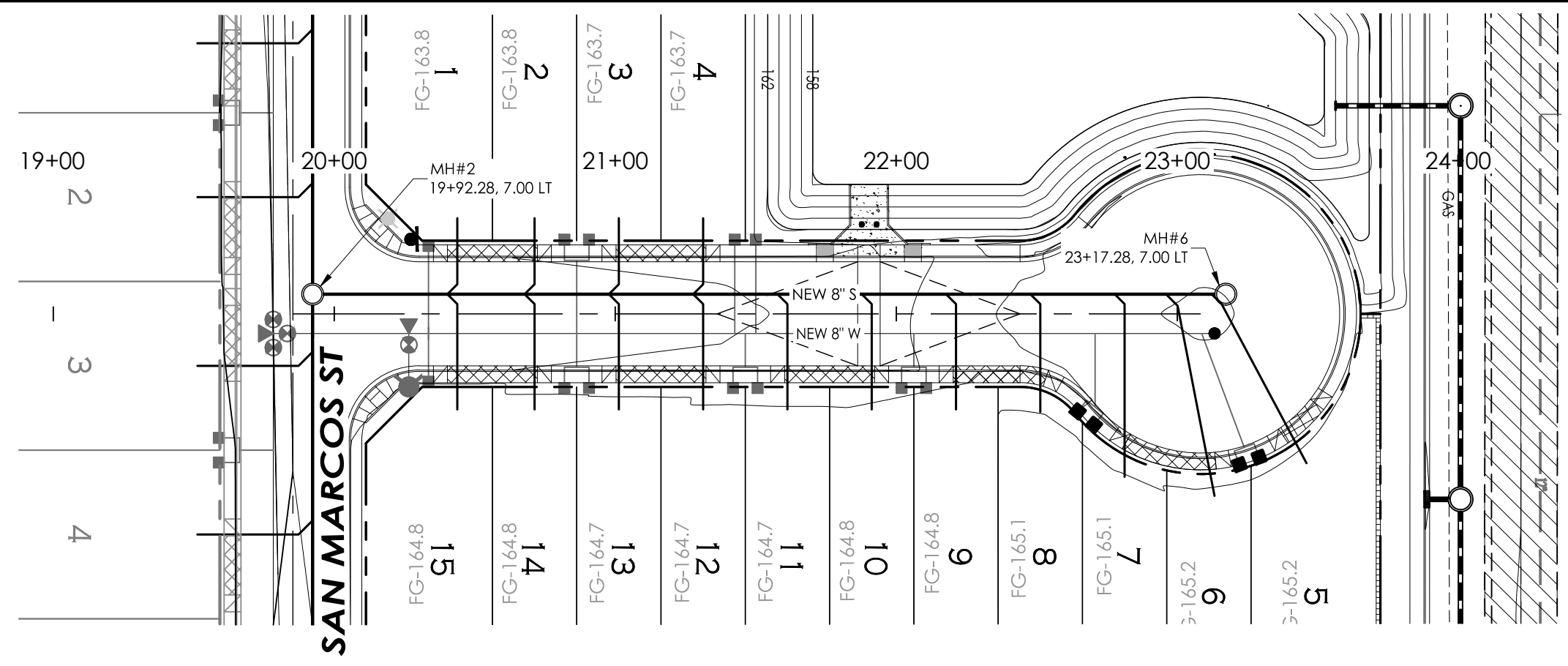
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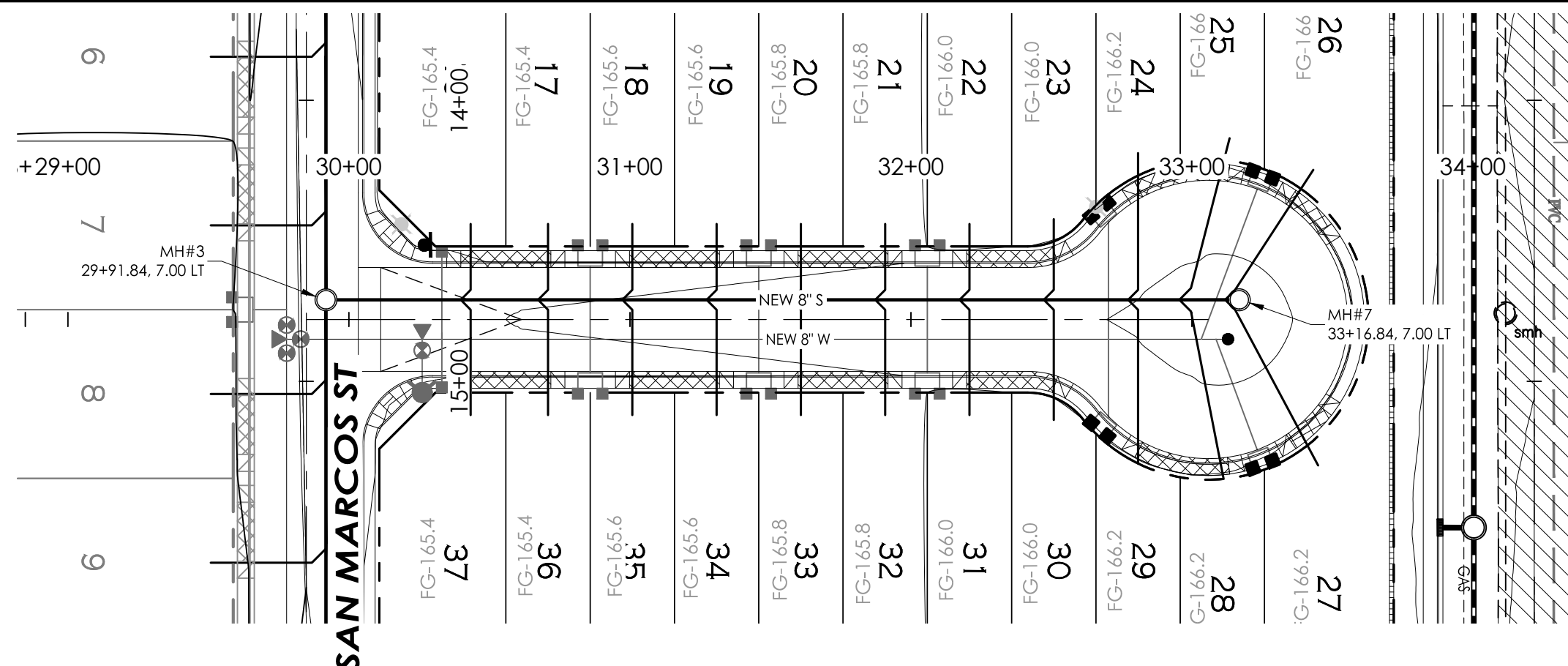
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1-800-STAKE-IT



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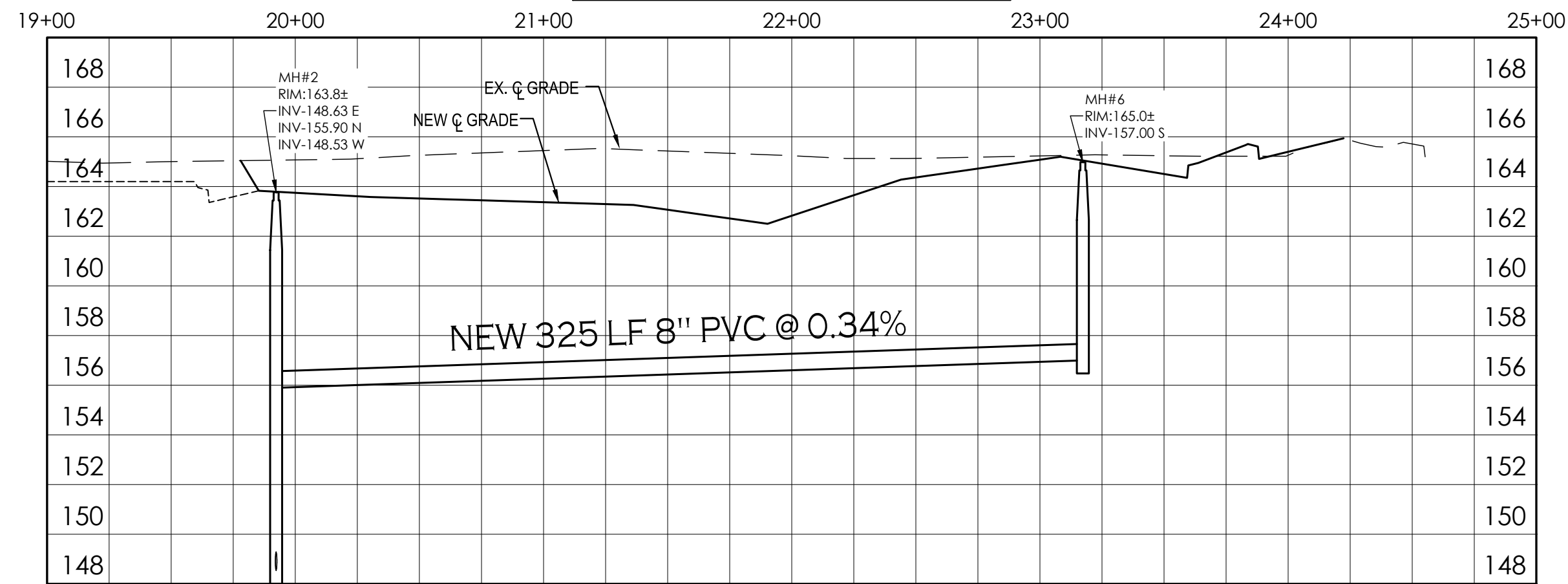


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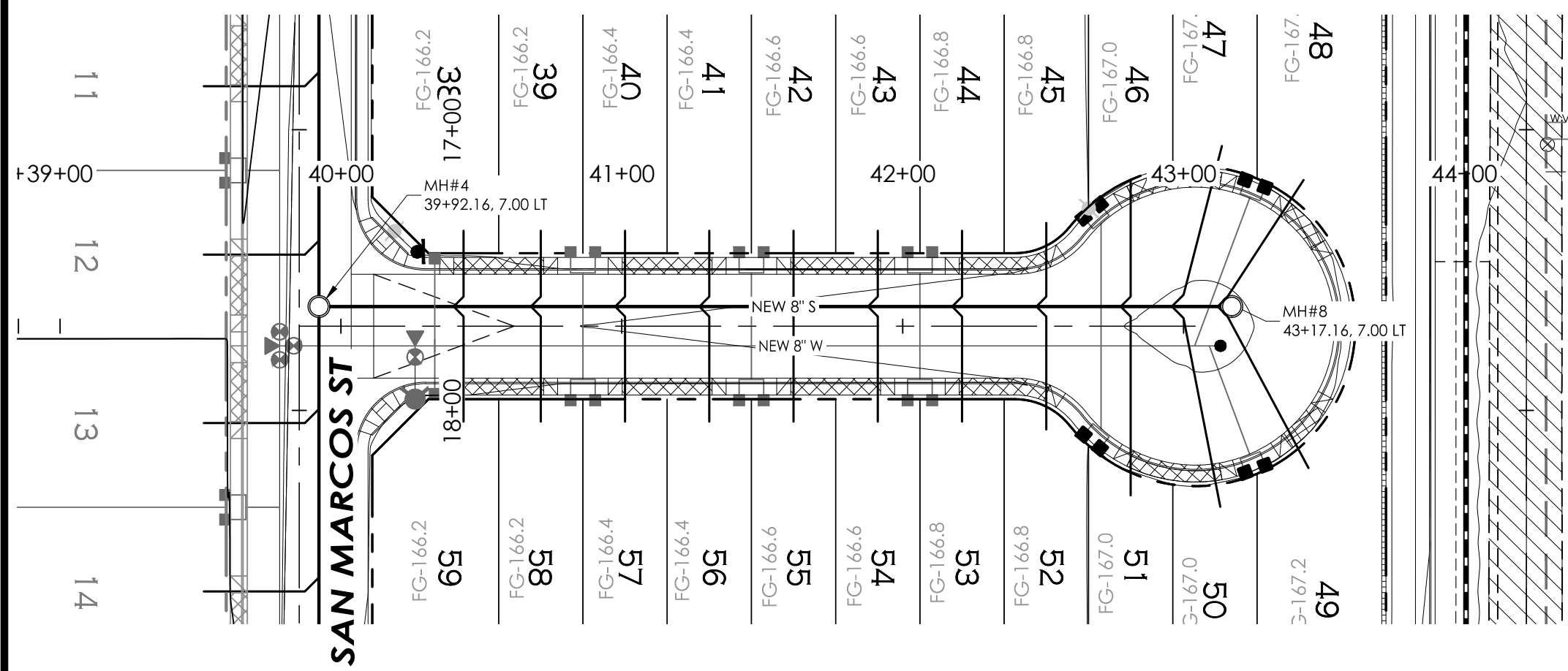
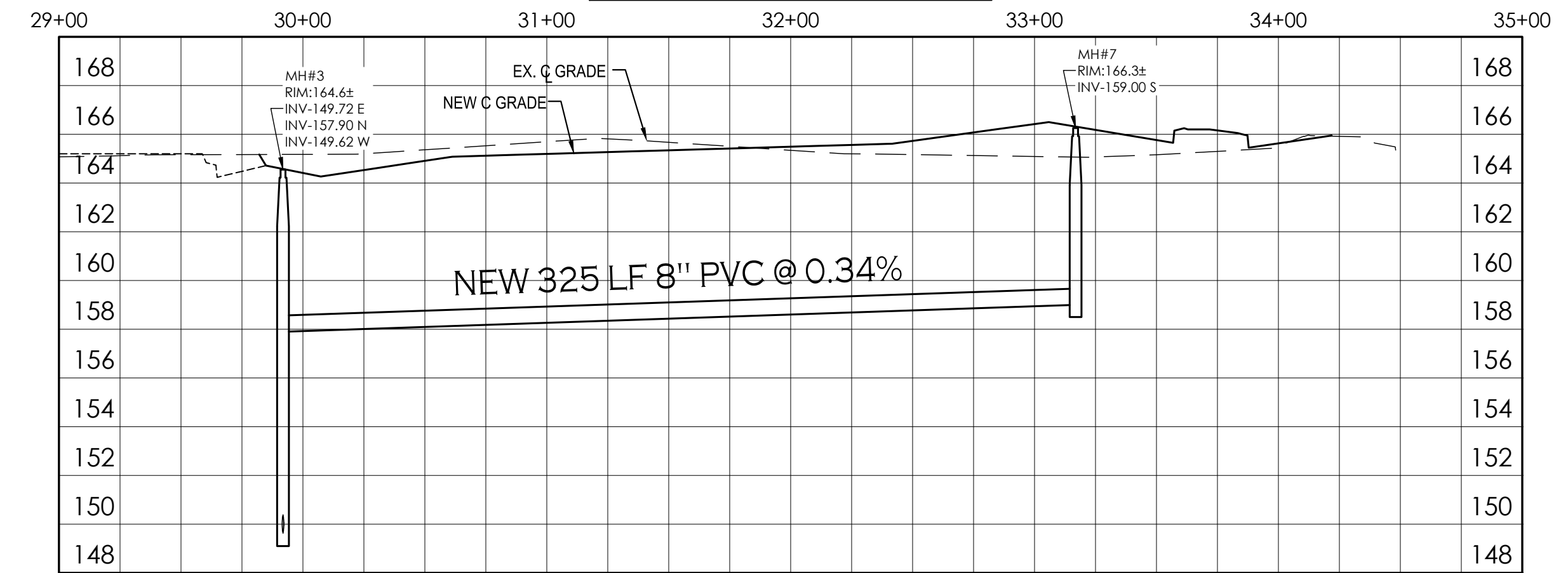


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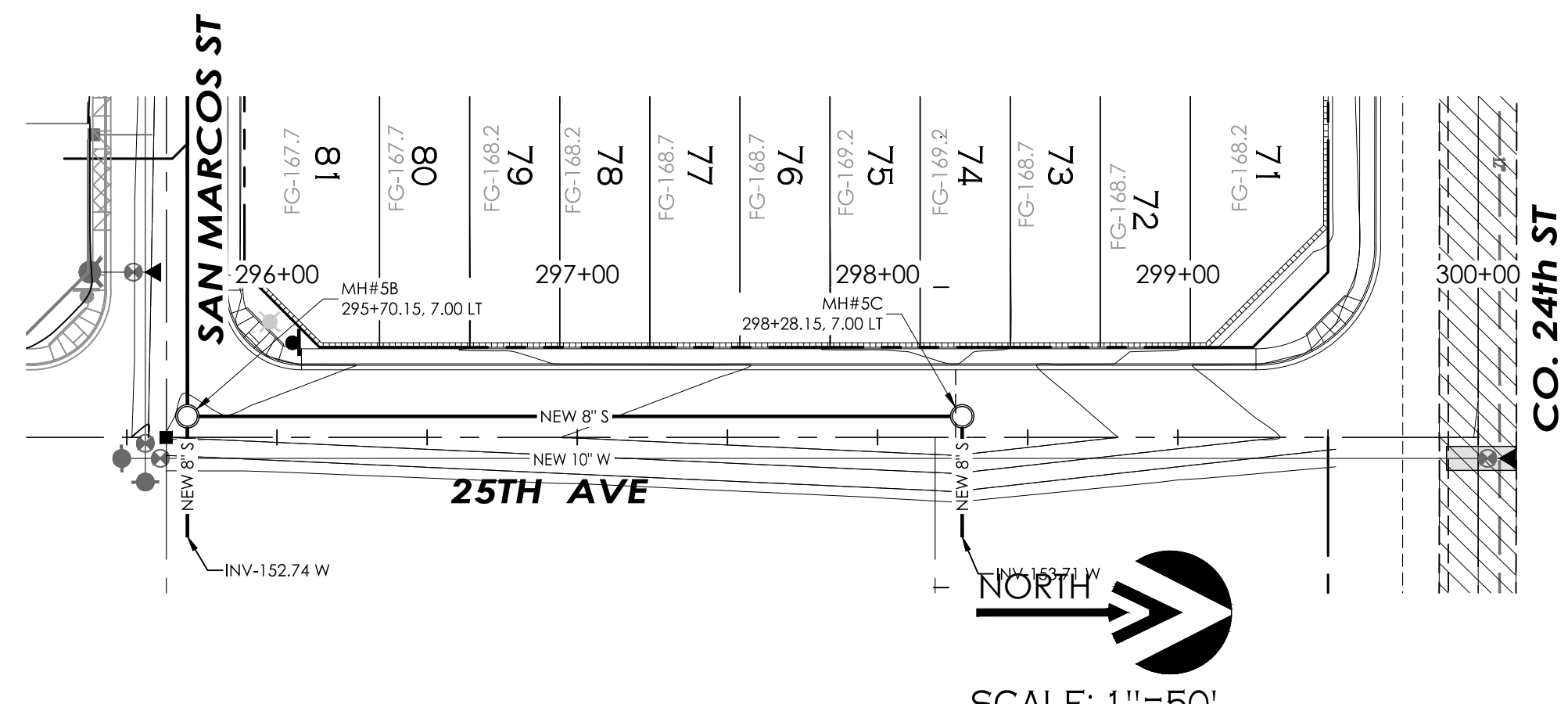
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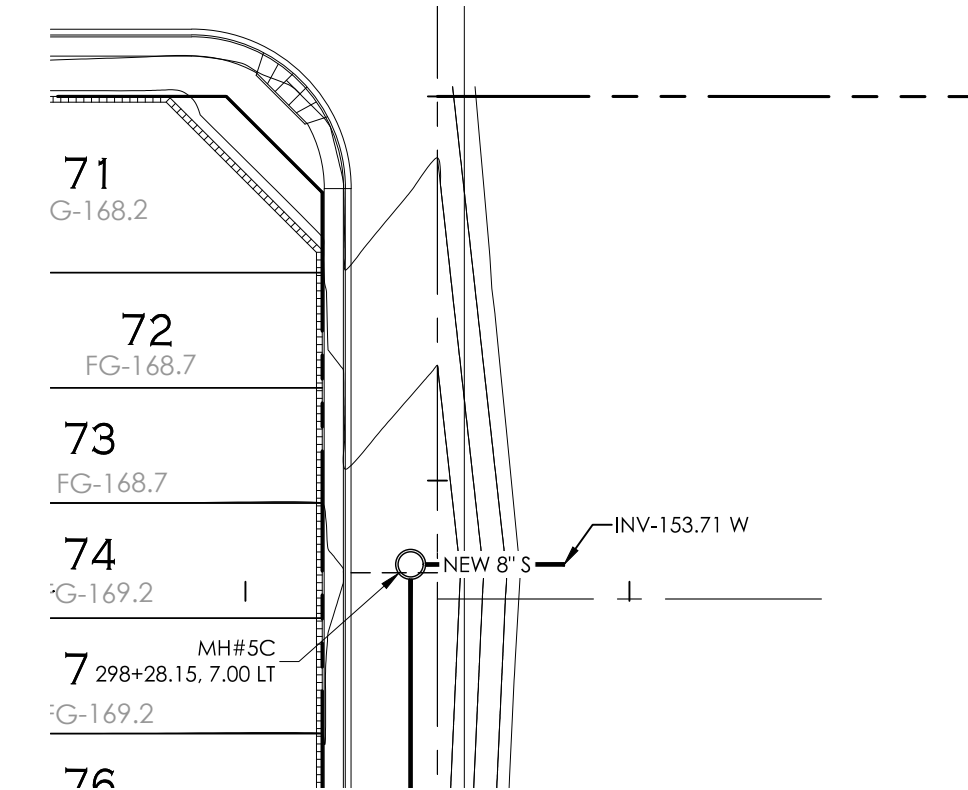
TULIPAN COURT PROFILE



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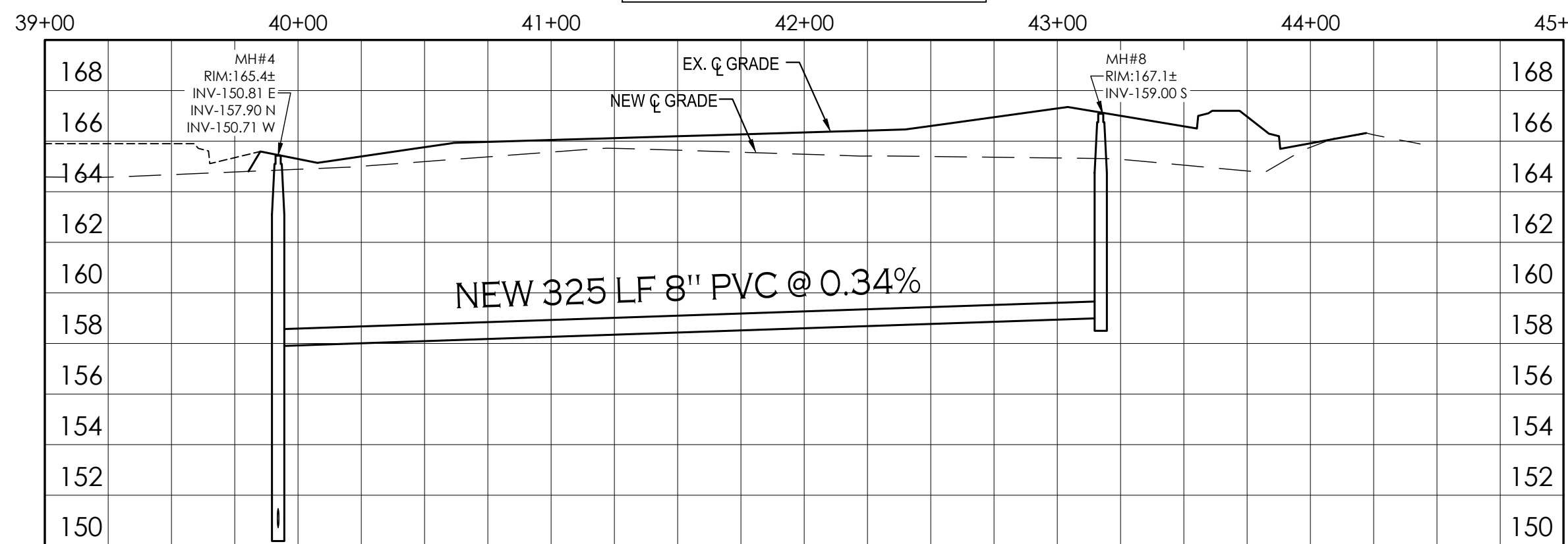


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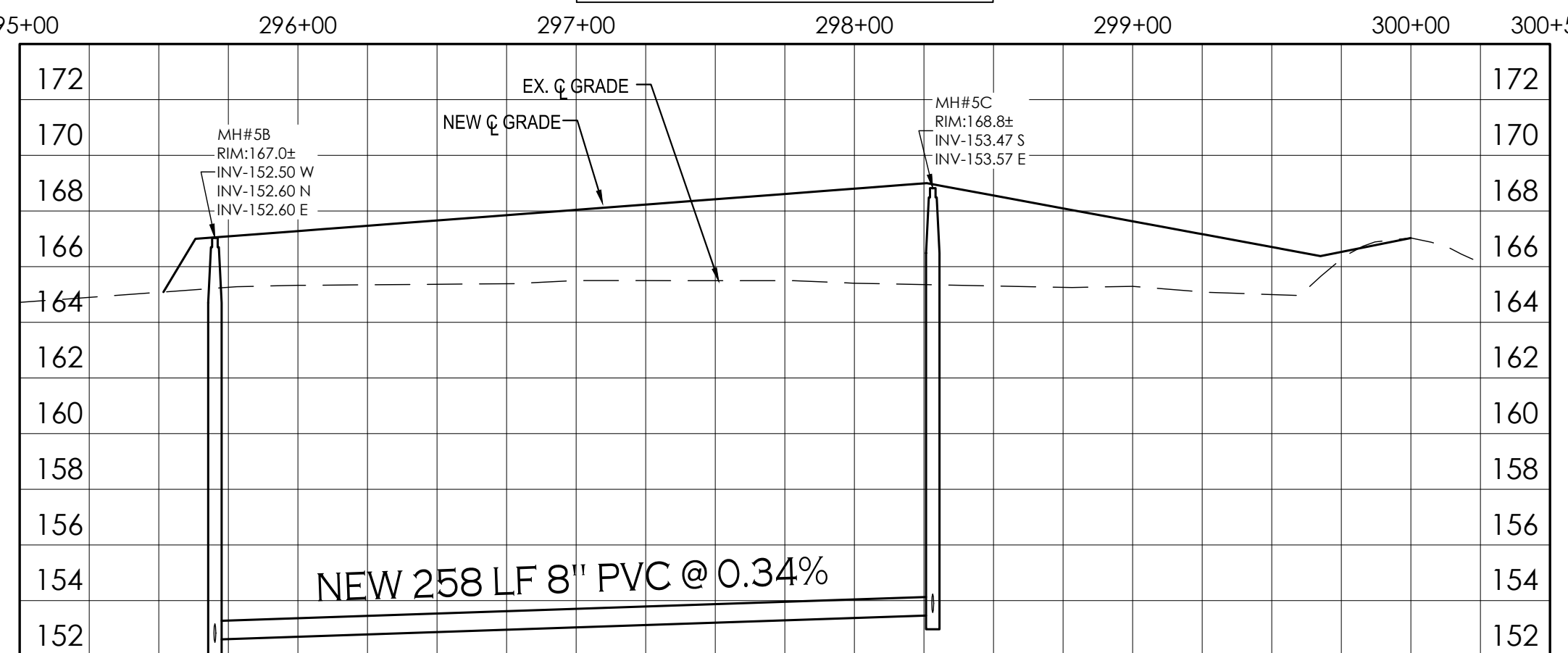


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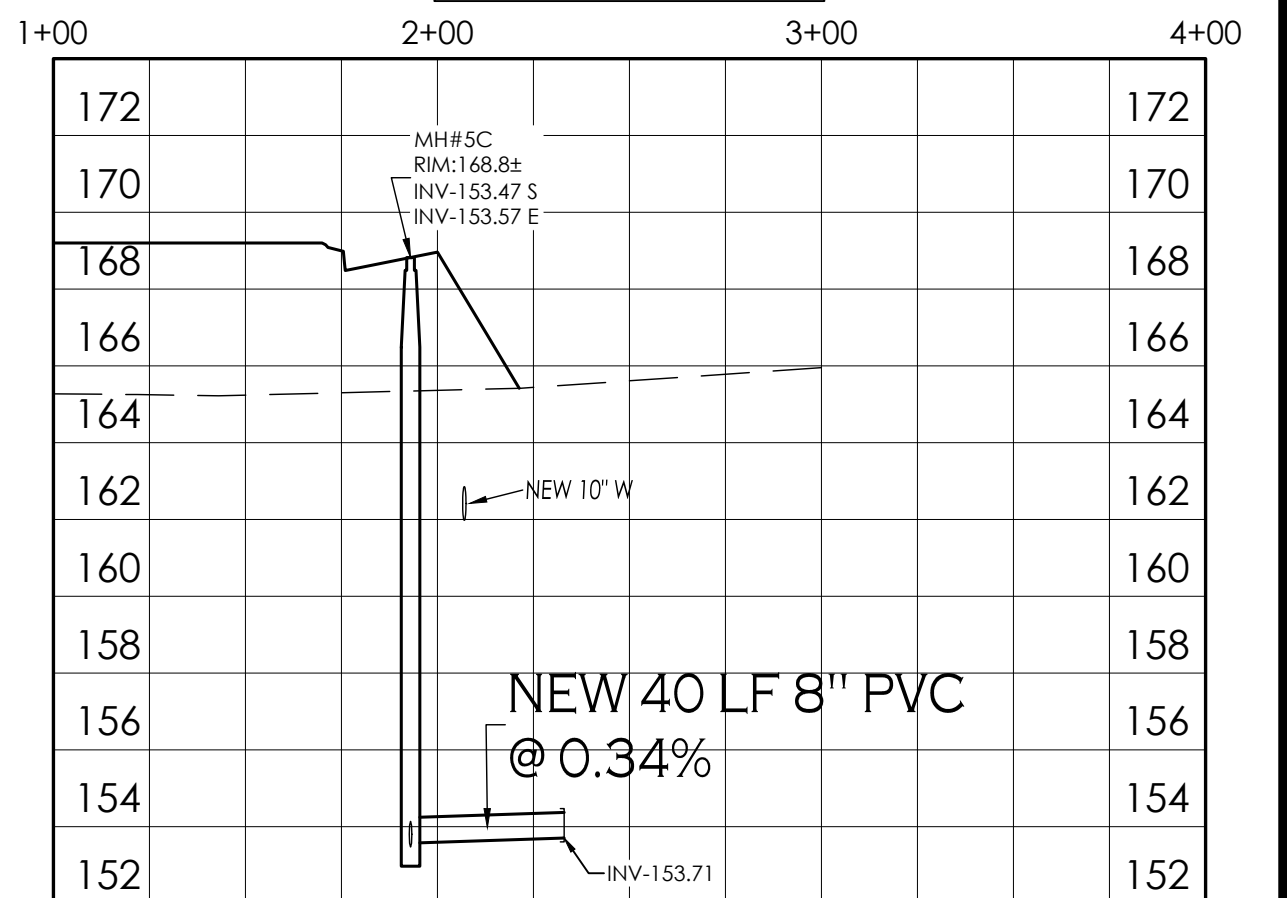
LIRIO COURT PROFILE



25TH AVENUE PROFILE



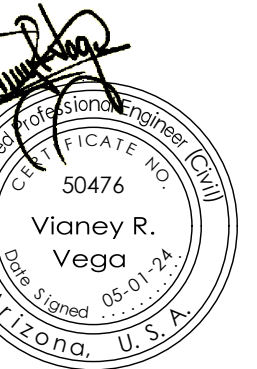
MH5C PROFILE



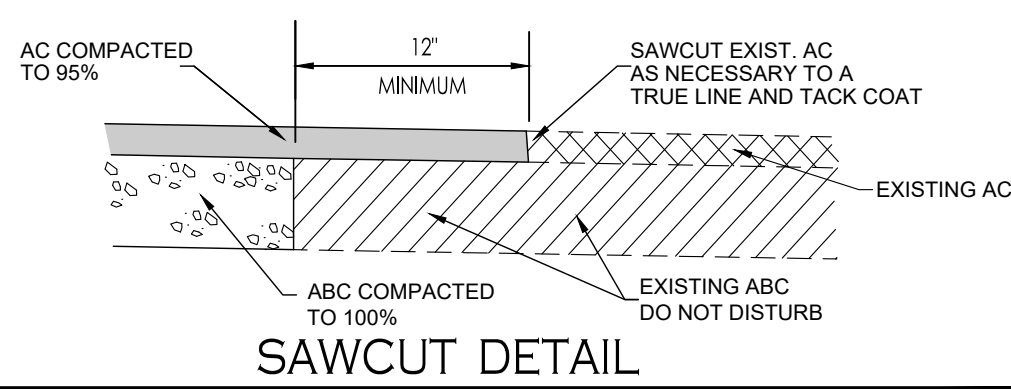
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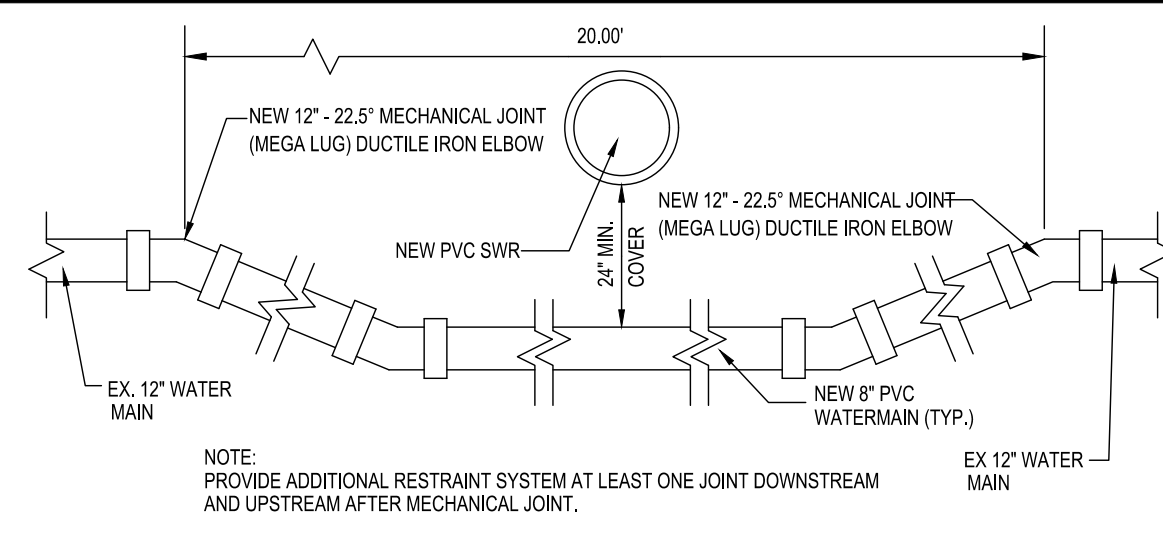


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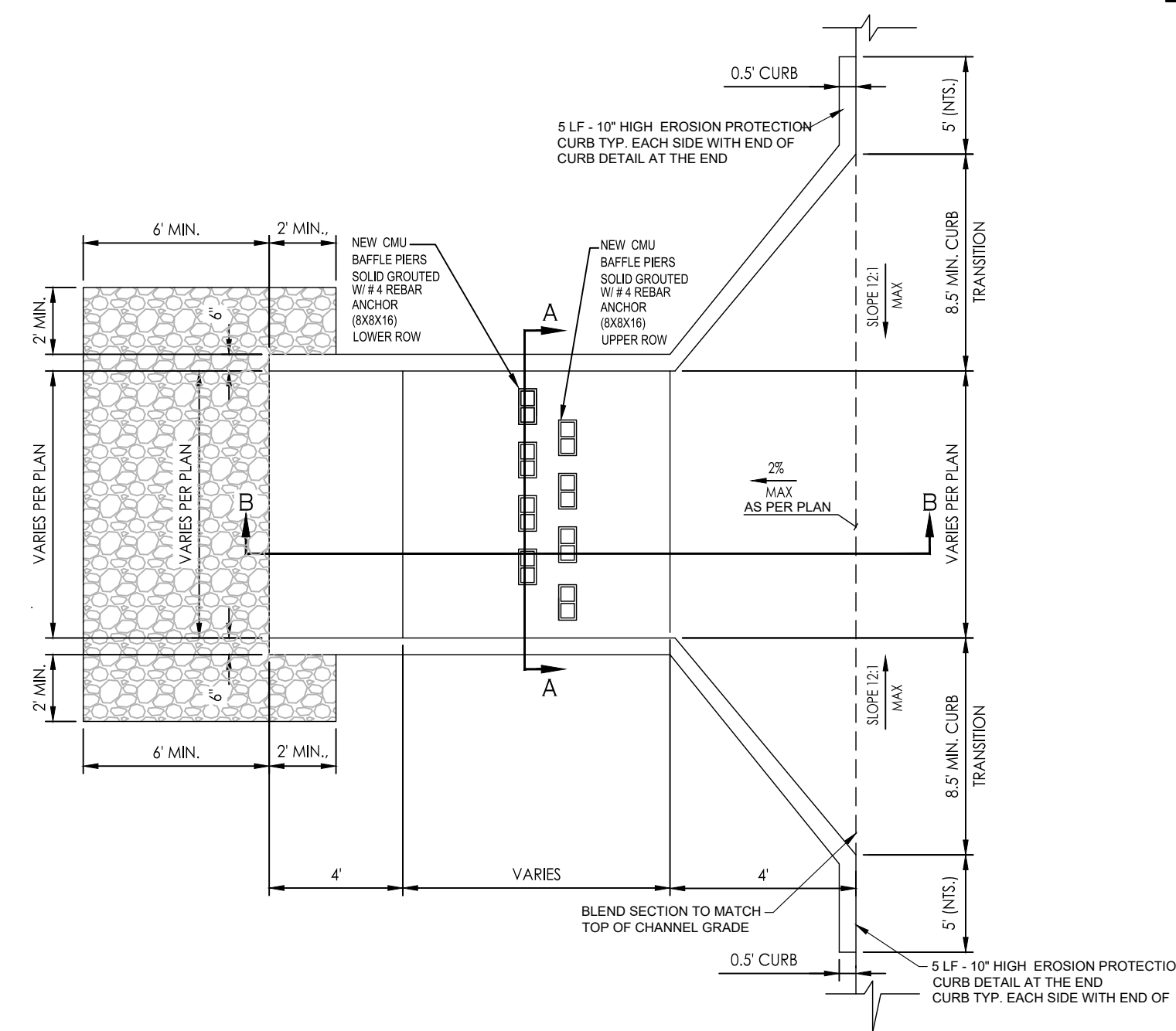
SAWCUT DETAIL

A
7



LOWERING DETAIL OF NEW WATER LINE

B
7



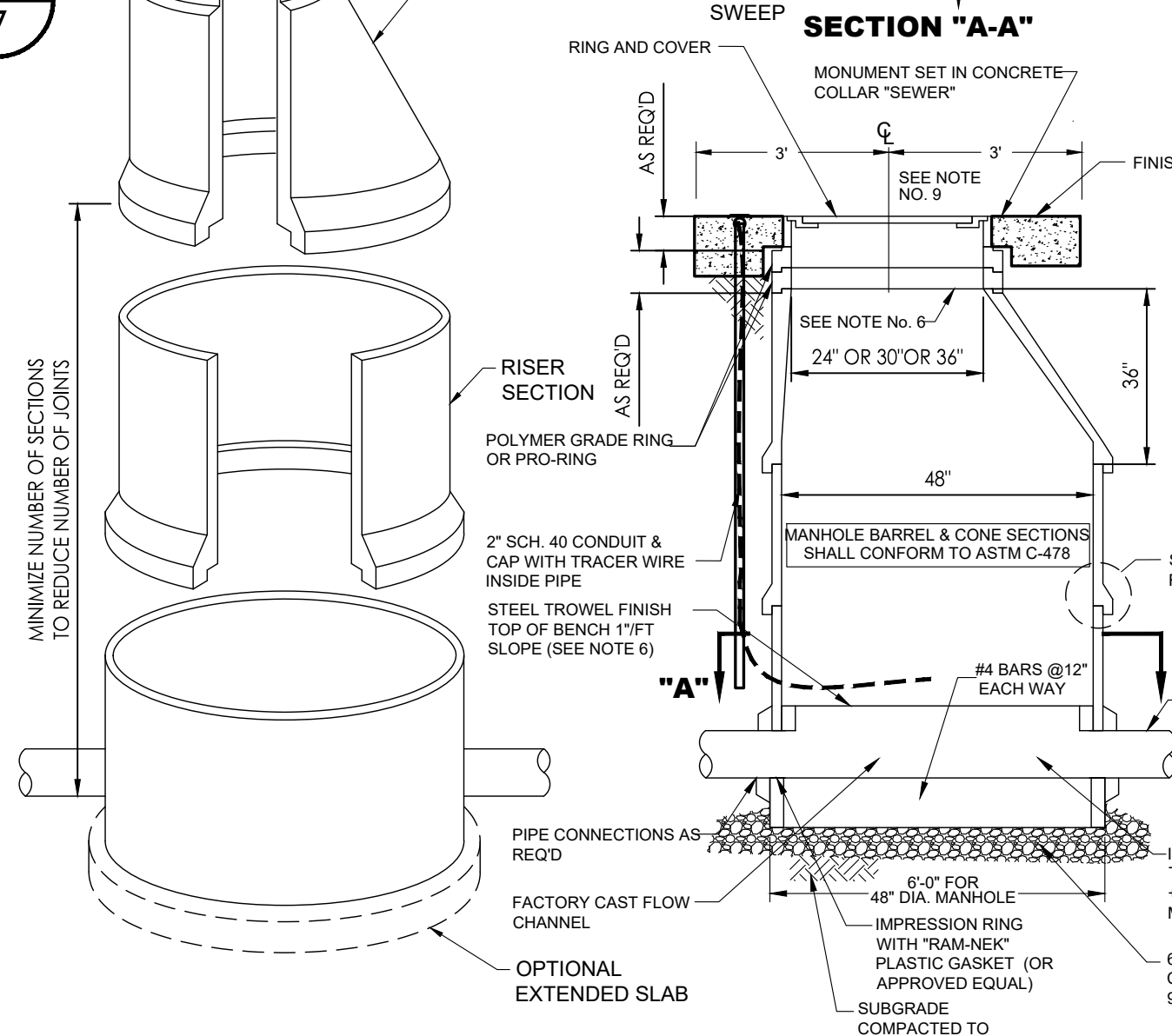
SECTION B-B

- NOTES
1. CONCRETE SPILLWAY TO BE 28 DAYS, 3000 P.S.I., 4" THICK
 2. PLACED SOO AL LEAST 5' AROUND ALL STRUCTURE EDGES ABOVE STANDING WATER

SECTION A-A

CONCRETE SPILLWAY

C
7



PRE-CAST CONCRETE MANHOLE

E
7

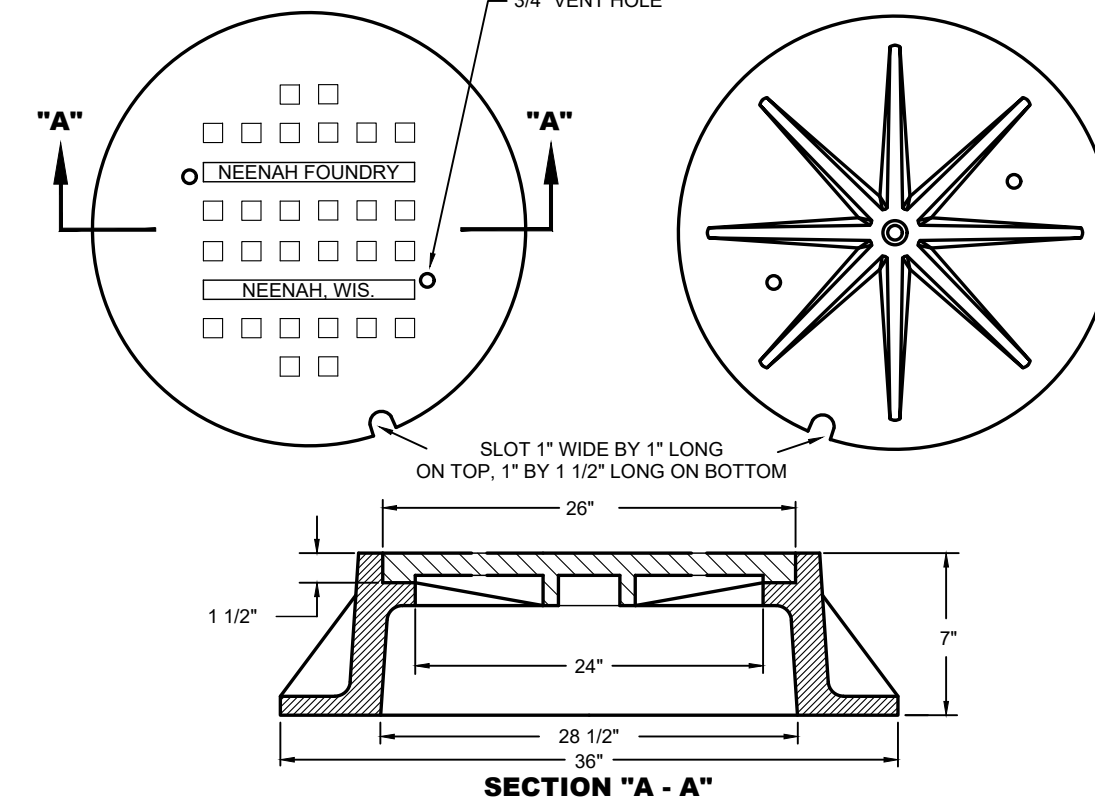
48" POLYMER MANHOLE SPECIFICATIONS					
WALL THICKNESS	AVAILABLE BASE HEIGHTS	AVAILABLE RISER HEIGHTS	WALL WEIGHT/FT	APPROX. WEIGHT	
2"	3', 4'	1', 2', 3', 4', 5', 6'	300 LBS/FT	3655 LBS	

NOTES

1. Concentric manholes shall be constructed only upon the approval of the City Engineer.
2. Precast concrete cones and sections shall meet A.S.T.M. C-478 specifications (latest revision) except where shown. Concrete shall be Type III with flyash additive. Inside diameter of manhole and elevations as shown on plans.
3. Asphalt caulking shall be used to seal all joints.
4. An asphalt waterproofing seal shall be applied to the exterior surfaces of the manhole that will be exposed to ground water.
5. Not Used
6. Apply "Plaste" surface sealant (or approved equal) on adjustment rings, bench or on any other concrete surface.
7. Base constructed of Class "A" concrete.
8. Base reinforcing steel should be ASTM A615, grade 60.
9. See standard R/10 for adjusting manhole frames and cover to final grade.
10. Precast concrete manholes shall have a PVC T-Lock liner, sealed gas tight, as manufactured by Ameron (or approved equal). Liner and interior surfaces shall be spark tested; (applies only to sanitary sewer manholes see Arizona Administrative Code R18-9-E 301 D.3.e Manholes General Permit: Sewage Collection Systems pertaining to Holiday testing).
11. Backfill used to fill manhole excavation shall be a one sack cement per cubic yard of sand slurry mixture, unless otherwise approved.
12. Grout seal around pipe. Match and apply same protective coating on grout as used on the other exposed concrete surfaces (see Note 6).
13. Special details shall be required for: Manholes greater than 40' in depth at deflection manholes; for multiple pipe penetrations with at least one pipe greater than 18" diameter; for manholes with larger than 18" diameter. Calculations shall be approved/sealed by a registered professional engineer (AZ licensed) and submitted to the City Engineer for review & acceptance.
14. The PVC pipe needs to be installed inside the manhole. The top 1/3-1/2 portion of the pipe must be cut off a minimum length of 30" to allow CCTV camera access, and to accept flow from lateral piping.

POLYMER MANHOLE SPECIFICATIONS			
I.D.	O.D.	WALL THICKNESS	WEIGHT PER FOOT
48"	52"	2"	300 LB

SECTION "A-A"



- NOTES
1. The top of the cover and frame shall be flush and there shall be 1/8" horizontal clearance all around the frame and cover.
 2. All covers shall have the letter "S" cast into it. The letter shall be raised 5/16" and be no less than 2 1/2" high.
 3. Covers shall have a minimum of two 3/4" vent holes. Should a manhole be located within 600 feet of an interceptor sewer the vent holes are to be eliminated.
 4. Standard manhole covers are the Neenah R-1595, R-1642 or approved equal.

STANDARD MANHOLE COVER

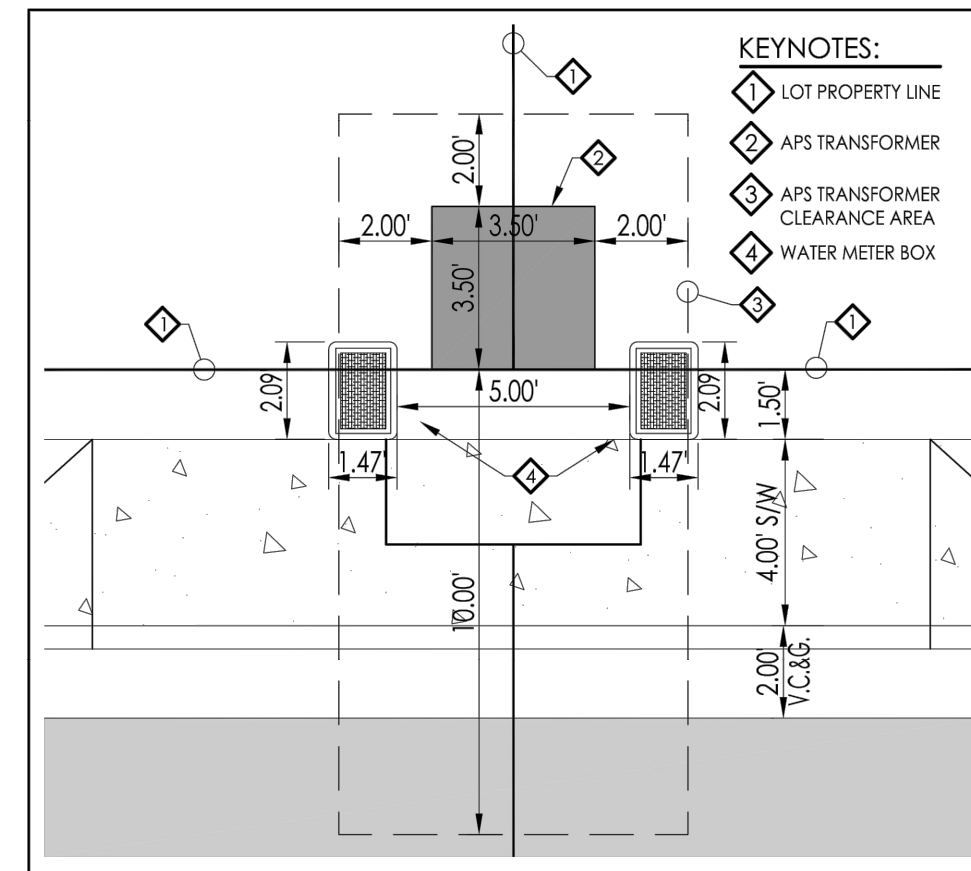
F
7

GENERAL NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF SITE AND SOIL CONDITION AND SHALL NOTIFY ALL UTILITY AGENCIES PRIOR TO EXCAVATION.
2. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY CONDITIONS REQUIRING CHANGE TO THE PLANS.
3. CONTRACTOR SHALL NOTIFY THE CITY OF YUMA PRIOR TO START OF CONSTRUCTION.
4. STANDARD SPECIFICATIONS AND ARIZONA STATE HEALTH DEPARTMENT BUL. NO. 11 SHALL APPLY TO THIS PROJECT.
5. ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR TWO YEARS AFTER THE FINAL ACCEPTANCE.
6. UNLESS HEREON REVISED, ALL CONSTRUCTION MATERIALS AND WORKMANSHIP WILL BE IN ACCORDANCE WITH CITY OF YUMA SPECIFICATIONS AND RECOMMENDED DETAILS AND SHALL, WHERE APPLICABLE, BE IN ACCORDANCE WITH ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY REGULATIONS.
7. NO STREET WATER, SEWER AND IMPROVEMENTS TO BE ACCEPTED BY THE CITY OF YUMA. FOR MAINTENANCE UNTIL "AS-BUILT", CERTIFIED, REPRODUCIBLE PLANS ARE FILED WITH AND ACCEPTED BY THE CITY OF YUMA PUBLIC WORKS DIRECTOR.
8. CONTRACTOR WILL PROVIDE THE ENGINEER WITH ALL COUNTY REQUIRED COMPACTION AND CONCRETE TESTS.
9. FLANGE BOLTS SHALL BE PROTECTED BY 10 MIL POLYETHYLENE WRAP.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PREPARATION AND FURNISHING TO THE ENGINEER OF "AS-BUILT" RECORD DRAWINGS, TO INCLUDE COST BREAKDOWN FOR WATER. THE CONTRACTOR SHALL OBTAIN ONE SET OF PLANS FROM THE ENGINEER AND SHALL RECORD IN RED COLORED PENCIL ALL CHANGES WHERE ACTUAL FIELD CONSTRUCTION DIFFERS FROM WORK SHOWN ON THE PLANS, TO INCLUDE SERVICE LOCATIONS.
11. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE BLUE STAKE CENTER TO LOCATE ALL UNDERGROUND EQUIPMENT WITHIN THE CONSTRUCTION AREA TWO WORKING DAYS PRIOR TO THE START OF ANY EXCAVATION.
12. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES. OMISSION FROM, OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF, OR A DEFINITE LOCATION OF, EXISTING UNDERGROUND UTILITIES.
13. THE CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO HIS OPERATIONS. ANY DAMAGE TO THE UTILITIES SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE.
14. INSTALL TRACER WIRE AS PER CITY OF YUMA STANDARDS
15. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO SUBMIT CONSTRUCTION MATERIAL SUBMITTALS TO CITY OF SAN LUIS FOR REVIEW AND APPROVAL.

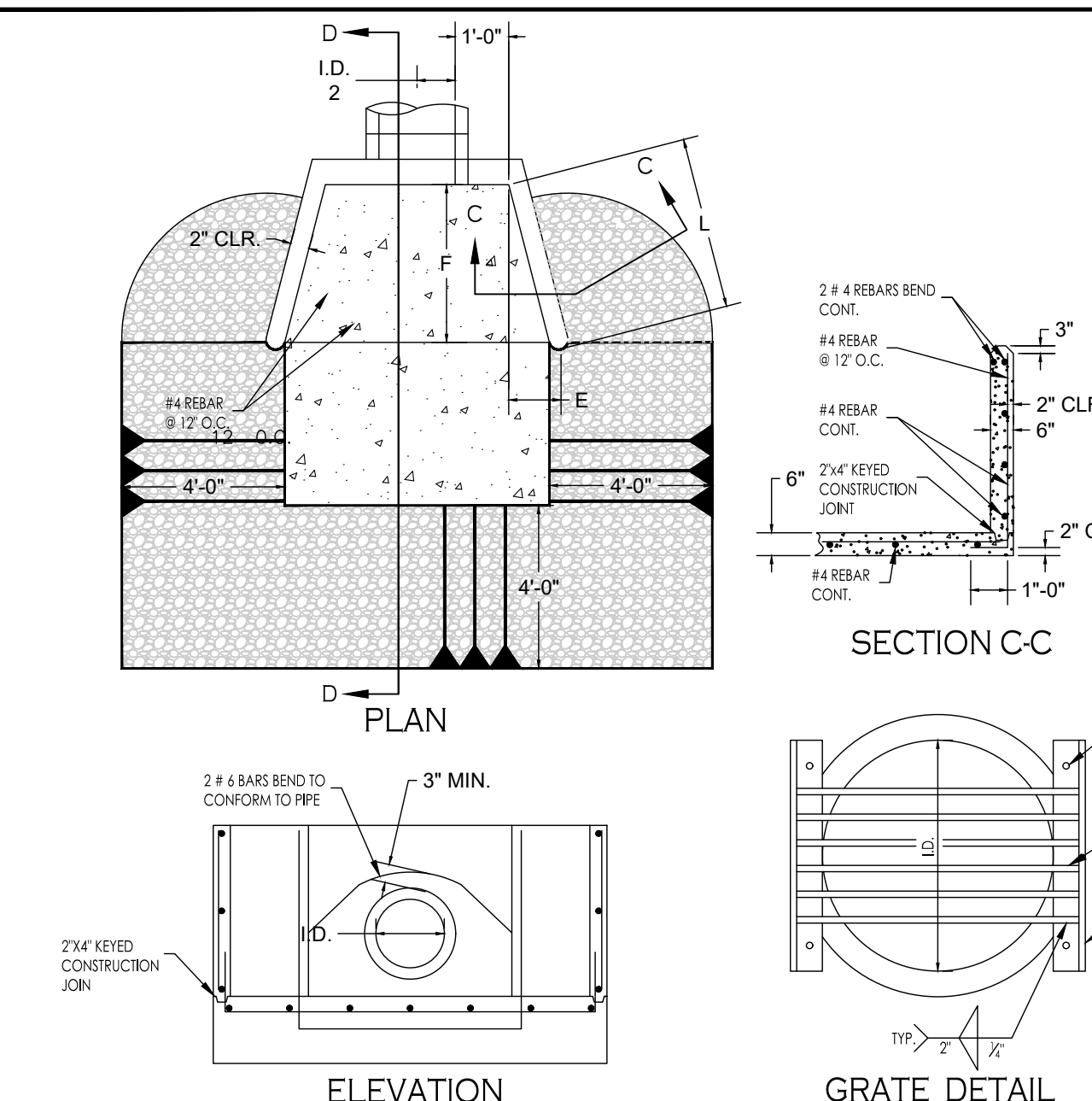
WATER AND SEWER NOTES

1. WATER MAINS AND VALVES SHALL BE FLUSHED AND DISINFECTED BY THE "GENERAL METHOD" DESCRIBED IN THE 1978 ARIZONA DEPARTMENT OF HEALTH SERVICES ENGINEERING BULLETIN NO. 8.
2. ENGINEERING PERSONNEL SHALL BE PRESENT WHEN WATER MAINS ARE BOTH FLUSHED AND PRESSURE TESTED.
3. ALL TEES, 90 DEGREE ELBOWS, BENDS, HYDRANTS AND DEAD END PLUGS SHALL BE THRUST BLOCKED WITH CAST-IN-PLACE CONCRETE.
4. WATER LINES 4" OR LARGER SHALL BE PVC C900 DR 18 CLASS 235.
5. ALL WATER LINE INSTALLATION MUST MEET OR EXCEED STANDARDS ESTABLISHED IN ADHS BULLETIN NO. 10.
6. ALL PVC WATER DISTRIBUTION PIPES MUST BE APPROVED BY AND SHALL BEAR THE NSF SEAL FOR POTABLE WATER USE.
7. TYPES OF TAPPING SLEEVE REQUIRED:
 - A. FOR SIZE ON SIZE TAP MUELLER TYPE M.J. ENDS REQUIRED.
 - B. FOR SMALLER TAP SIZE THAN THE MAIN SIZE, ONE OF THREE TYPES MAY BE USED:
 - A. CLOW "O" RING TYPE.
 - B. RICH "O" RING TYPE.
 - C. MUELLER M.J. TYPE.
 - C. MINIMUM TAPPING SLEEVE LENGTH - 18".
8. ACCEPTABLE VALVE LIST: ALL VALVES 12" AND UNDER ARE TO BE RESILIENT WEDGE GATE VALVES. THE FOLLOWING VALVES WILL BE ACCEPTED:
 - A. WATERLOUS SERIES 500 RESILIENT CLOW RESILIENT WEDGE AMERICAN DARLING 80 CSR RESILIENT WEDGE.
 - B. ALL FITTINGS, VALVES, COATINGS, ETC. SHALL CONFORM TO NSF STANDARD 61. 17. IF DEAD ENDS ON 10. IF DEAD ENDS ON WATER MAINS CANNOT BE AVOIDED, THEY MUST HAVE BLOW-OFF VALVES (MIN. DIA. 2").
 11. DESINFECTATION OF WATER LINES IN ACCORDANCE WITH A.D.E.Q. BULLETIN NO. 8 OR AWWA C-651-92 OR LATEST VERSION.
 12. WATER CONSTRUCTION STAKING SHALL BE DONE UNDER THE SUPERVISION OF A REGISTERED ENGINEER OR SURVEYOR.
 13. ALL MATERIALS THAT COME INTO CONTACT WITH WATER SHALL CONFORM TO ANSINFSF STANDARD 60 AND 61. PER R18-4-213.A AND B.
 14. CONSTRUCTION MATERIALS USED IN THE WATER SYSTEM SHALL BE LEAD FREE AS DEFINED IN A.A.C. R18-4-504 AND R18-1-101.
 15. WATER LINES SHALL BE FLUSHED AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA C605-94 FOR PVC PIPE. PER ENGINEERING BULLETIN NO. 10, CHAPTER 7.
 16. PRIOR TO PLACING THE INSTALLED WATER LINE IN SERVICE, THE NEW PIPE AND EXPOSED SECTIONS AND APPURTENANCES OF EXISTING PIPELINES SHALL BE CLEANED AND DISINFECTED IN ACCORDANCE WITH ANSIAWWA C651, UNLESS OTHERWISE SPECIFIED. PIPELINES SHALL BE FLUSHED FOLLOWING COMPLETION OF DISINFECTION PROCEDURES. DISPOSAL OR NEUTRALIZATION OF DISINFECTION WATER SHALL COMPLY WITH APPLICABLE REGULATIONS. (REFER TO APPENDIX B OF ANSIAWWA C651.)
 17. WATER AND SEWER LINES AND WATER AND SEWER SERVICE LINES. SEPARATION IN ACCORDANCE WITH A.A.C. R18-5-502.C. AND CITY OF YUMA STD. DETAIL 5-005. CONSTRUCT NEW WATER AND SEWER LINES AS PER CITY OF YUMA STD. DETAIL 5-010.
 18. VERTICALLY CROSS UNDER ALL WATER MAINS OR SERVICE. WHERE A SEWER FORCE MAIN CROSSES ABOVE OR LESS THAN 6 FEET BELOW A WATER LINE, THE SEWER MAIN SHALL BE ENCASED IN AT LEAST 6 INCHES OF CONCRETE OR CONSTRUCTED USING MECHANICAL JOINT DUCTILE IRON PIPE FOR 10 FEET ON EITHER SIDE OF THE WATER MAIN, AS PER AAC-R18-5-502.C.3.
 19. WATER CONTRACTOR SHALL PROVIDE THE ENGINEER WITH A COPY OF THE BACTERIOLOGICAL TEST RESULTS TAKEN ON THE SYSTEM.
 20. ALL WATER LINES (MAINS AND SERVICES) SHALL INCLUDE THE INSTALLATION OF TRACER WIRE IN ACCORDANCE WITH AS PER CITY OF YUMA STD. DETAIL 5-030.
 21. TYPES OF TAPPING SLEEVE REQUIRED: SMITH-BLAIR MODEL 662-663 STAINLESS STEEL (6" AND SMALLER: 15' LONG MIN.; LARGER THAN 8" 20" LONG MIN.)
 22. THE OWNER SHALL CONTACT A PROFESSIONAL ENGINEER TO PROVIDE DETAILED CONSTRUCTION INSPECTION SERVICES FOR THE PROPOSED PROJECT. UPON COMPLETION OF THE PROJECT, THE OWNER'S ENGINEER SHALL COMPLETE THE ADEQ "ENGINEER'S CERTIFICATE OF COMPLETION" DOCUMENTATION AND FORWARD SAME TO THE APPROPRIATE ODWM REGIONAL OFFICE.
 23. A MINIMUM OF 7" SHALL BE MAINTAINED BETWEEN PARALLEL WATER AND SEWER LINES AND WATER AND SEWER MAINS.
 24. FLANGE BOLTS SHALL BE PROTECTED BY 10 MIL POLYETHYLENE WRAP.
 25. SEWER MAINS AND SERVICES SHALL BE CLASS 50 CEMENT OR EPOXY LINED DUCTILE IRON PIPE FOR A DISTANCE OF 7' IN BOTH DIRECTIONS FROM A WATER MAIN OR SERVICE WHEN:
 - A. SEWER MAIN OR SERVICE CROSSES LESS THAN 2' BELOW A WATERMAIN OR SERVICE.
 - B. WATER MAIN OR SERVICE CROSSES BELOW A SEWER MAIN OR SERVICE. (A MINIMUM OF 24" SEPARATION SHALL BE MAINTAINED VERTICALLY BETWEEN WATER AND SEWER MAINS AND SERVICES.)
 26. SEWER CONSTRUCTION STAKING SHALL BE DONE UNDER THE SUPERVISION OF A REGISTERED ENGINEER OR SURVEYOR.
 27. SEWER PIPE SHALL BE PVC SDR 35 HAVE N.S.F. SEAL OF APPROVAL, AND MEET ASTM D-3034.
 28. SEWER MAINS SHALL BE PRESSURE AND LEAKAGE TESTED WITH 4 FEET OF HEAD UPSTREAM. ALLOWABLE LEAKAGE NOT TO EXCEED 180 GAL./IN. DIA./MILE OF PIPE/DAY, PER AAC R18-9-E301.D.2.J.
 29. INFILTRATION FROM MANHOLES SHALL BE LIMITED TO 0.1 GALS./HR/VERTICAL FOOT.
 30. DEFLECTION TEST OF AT LEAST 100% OF PLASTIC SEWER PIPE SHALL BE PERFORMED. SHORT TERM DEFLECTION IN EXCESS OF 5% SHALL BE CONSIDERED UNSERVICEABLE AND SHALL BE REPAIRED AND RETESTED. PER AAC R18-9-E301.D.2.J.
 31. IN AREAS WHERE THE GROUNDWATER IS AT PIPE SPRING LINE OR ABOVE INFILTRATION TESTS SHALL BE PERFORMED. ALLOWABLE INFILTRATION FOR SEWER MAINS NOT TO EXCEED 180 GALIN/DIAM/LE OF PIPE/DAY. ALLOWABLE INFILTRATION FOR MANHOLES SHALL BE LIMITED TO 0.1 GALS/HR/VERTICAL FOOT.
 32. GRAVITY SEWER LINES MUST BE TESTED FOR LEAKAGE AS PER R18-9-E301.D.2.J.
 33. MANHOLES TESTING IS REQUIRED FOR 100% OF MANHOLES ACCORDING TO R18-9-E301.D.3.c.c. & 1.
 34. FOR CONSTRUCTION AND TESTING OF SEWER LINES REFER TO A.A.C. R18-9-E301-(D)-2.
 35. FOR CONSTRUCTION AND TESTING OF SEWER FORCE MAIN REFER TO A.A.C. R18-9-E301-4.
 36. MANHOLE TESTING & CONSTRUCTION IS REQUIRED ACCORDING TO A.A.C. R18-9-E301-3.
 37. THE PRESSURE TESTING OF WATERLINES SHALL BE UNDERTAKEN AS FOLLOWS AND IN DESCENDING ORDER OF PRECEDENCE:
 - a) ALL VISIBLE LEAKS SHALL BE REPAIRED, REGARDLESS OF THE AMOUNT OF LEAKAGE AND REGARDLESS OF WHETHER THE LEAK DEVELOPS UNDER TEST PRESSURE OR LINE PRESSURE.
 - b) INITIAL PRESSURE FOR THE PRESSURE TEST SHALL BE A MINIMUM OF 150 PSI. PRESSURE LOSS DURING TESTING SHALL NOT EXCEED 5 PSI.
 - c) A PRESSURE TEST WILL BE DEEMED AS SUCCESSFUL IF IT PASSES THE CRITERIA SET FORTH BY AWWA C-600, SECTION 4 (CURRENT EDITION) AND THAT CRITERIA NOTED ABOVE, EXCEPT NO LEAKAGE TEST WILL BE ALLOWED.
 38. ALL EQUIPMENT AND PRODUCTS THAT COME INTO CONTACT WITH THE PUBLIC WATER SUPPLY SHALL BE CERTIFIED TO MEET THE NATIONAL SANITATION FOUNDATION STANDARD 61 PER A.A.C. SEC. R18-4-213(B).
 39. MATERIALS SHALL BE IN ACCORDANCE WITH THE APPROVED WATER SERVICE COMPONENTS LIST.
 39. ALL MANHOLES SHALL BE CONSTRUCTED OF POLYMER CONCRETE



WATER METER DETAIL

G
7



STORM DRAIN OUTLET STRUCTURE

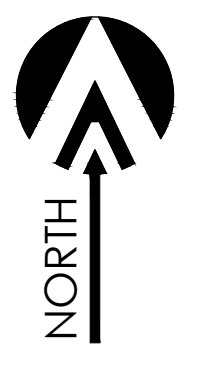
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Details And Water and Sewer Notes
 ORCHIDEA PARK
 TOWNHOMES SUBDIVISION PHASE 1

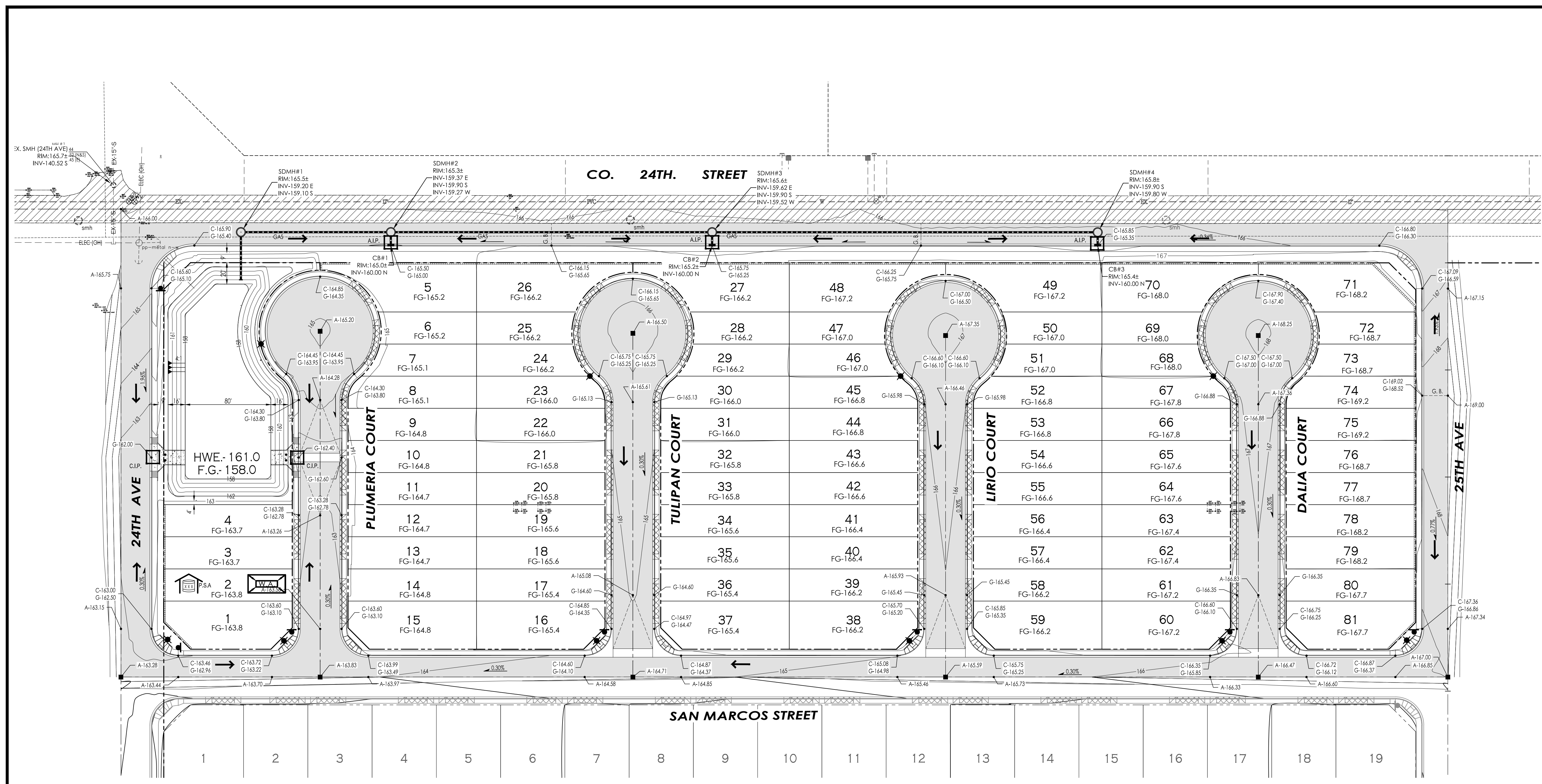
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SCALE: 1"=50'



LEGEND

- DESIGNATED WASHOUT AREA - (COY STD. 11-120)
- DUST CONTROL
- STABILIZED CONSTRUCTION ENTRANCE - (COY STD. 11-075)
- PROTECTED STORAGE AREA (ADJUST LOCATION AS REQUIRED)
- SILT FENCE - (COY STD. 11-080)
- CURB INLET PROTECTION - (COY STD. 11-115)
(GRAVEL BAG, FILTER BAG, ROCK SOCK)
- AREA INLET DRAIN PROTECTION - (COY STD. 11-115)
(GRAVEL BAG, FILTER BAG, ROCK SOCK)
- SEDIMENT WATTLE - (COY STD. 11-085)
- WORK ZONE IDENTIFICATION SIGN - (COY STD. 8-045)
- DRAINAGE FLOW ARROWS

KEYNOTES:

- CONSTRUCT NEW WALL PRIOR TO ANY OTHER CONSTRUCTION. NEW WALL WILL PREVENT STORM WATER TO ENTER OR EXIT SITE.
- IN LIEU OF CONSTRUCTING NEW WALL PRIOR TO ANY OTHER CONSTRUCTION, THE CONTRACTOR HAS THE OPTION TO CONSTRUCT A NEW BERM.

AREA

DISTURBED AREA = 11.00 ACRES

DRAINAGE NOTE

DRAINAGE STORM WATER RUNOFF WILL BE STORED ON NEW RETENTION BASIN LOCATED ON THE WESTERN PART OF THE SITE. AS SHOWN IN THE DRAINAGE REPORT.

FLOOD ZONE DESIGNATION

THE SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A FLOOD ZONE DESIGNATION (AREAS OF 0.2% ANNUAL CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD), COMMUNITY PANEL NUMBER 000101456 DATED AUGUST 28, 2008, WHICH IS THE FLOOD INSURANCE RATE MAP (FIRM) (PANEL NOT PRINTED) FOR THE COMMUNITY IN WHICH THIS PROJECT IS SITUATED.

BENCHMARK

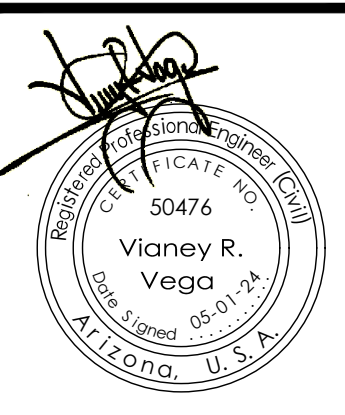
TOP OF 1/2" REBAR W/LS 22767 LOCATED AT THE INTERSECTION OF 20TH AVENUE AND COUNTY 24TH STREET
ELEVATION: 159.25 FEET

UTILITIES WARNING

UTILITIES IN THE AREA OF CONSTRUCTION ARE APPROXIMATE ONLY. THEY HAVE BEEN LOCATED FROM FIELD INVESTIGATION AND THE BEST AVAILABLE UTILITY RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND REPAIR OF ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION. WHETHER SHOWN ON THESE PLANS OR NOT, THE CONTRACTOR SHALL CONTACT ALL RESPECTIVE UTILITIES AND HAVE ALL UTILITIES FIELD-LOCATED PRIOR TO CONSTRUCTION. IF ANY UNKNOWN SUBSURFACE STRUCTURES ARE ENCOUNTERED DURING CONSTRUCTION, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF ENGINEER OF RECORD PRIOR TO PROCEEDING.

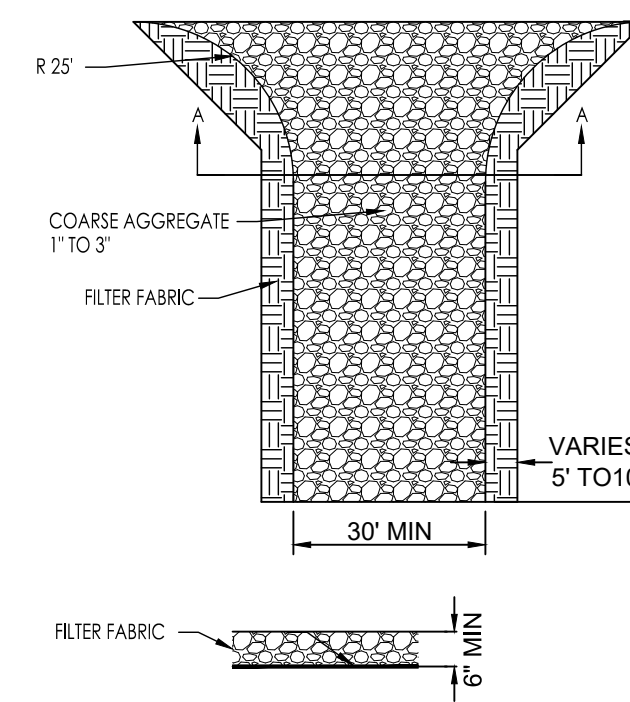
CALL TWO WORKING DAYS BEFORE YOU DIG
1-800-STAKE-IT

SWPPP Plan
 ORCHIDEA PARK
 TOWNHOMES SUBDIVISION PHASE I

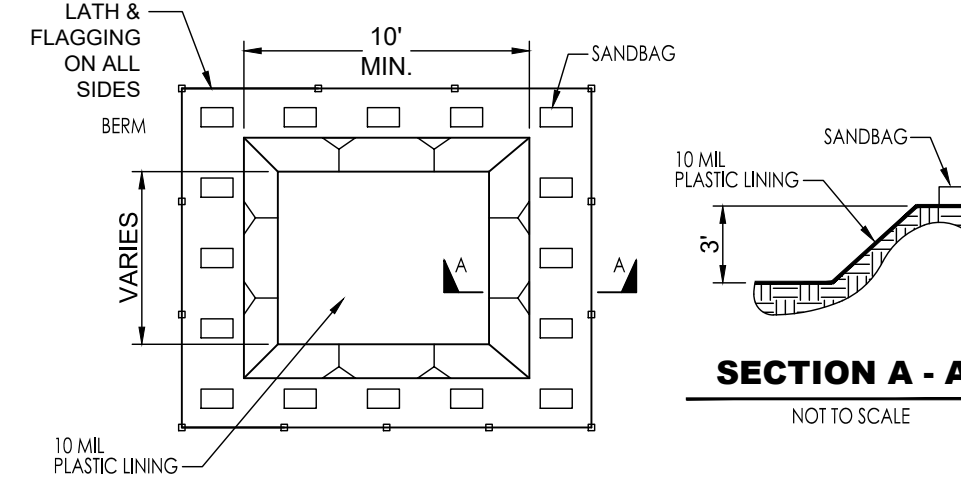


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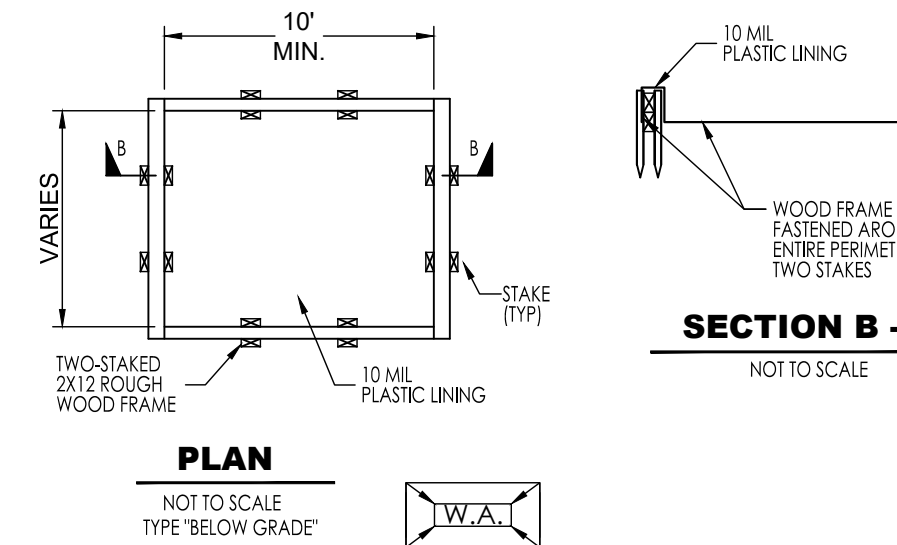


SECTION A - A
STABILIZED CONSTRUCTION EXIT/ENTRANCE SCE



PLAN
NOT TO SCALE
TYPE "BELOW GRADE"

NOTES
1. ACTUAL LAYOUT DETERMINED IN FIELD.
2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

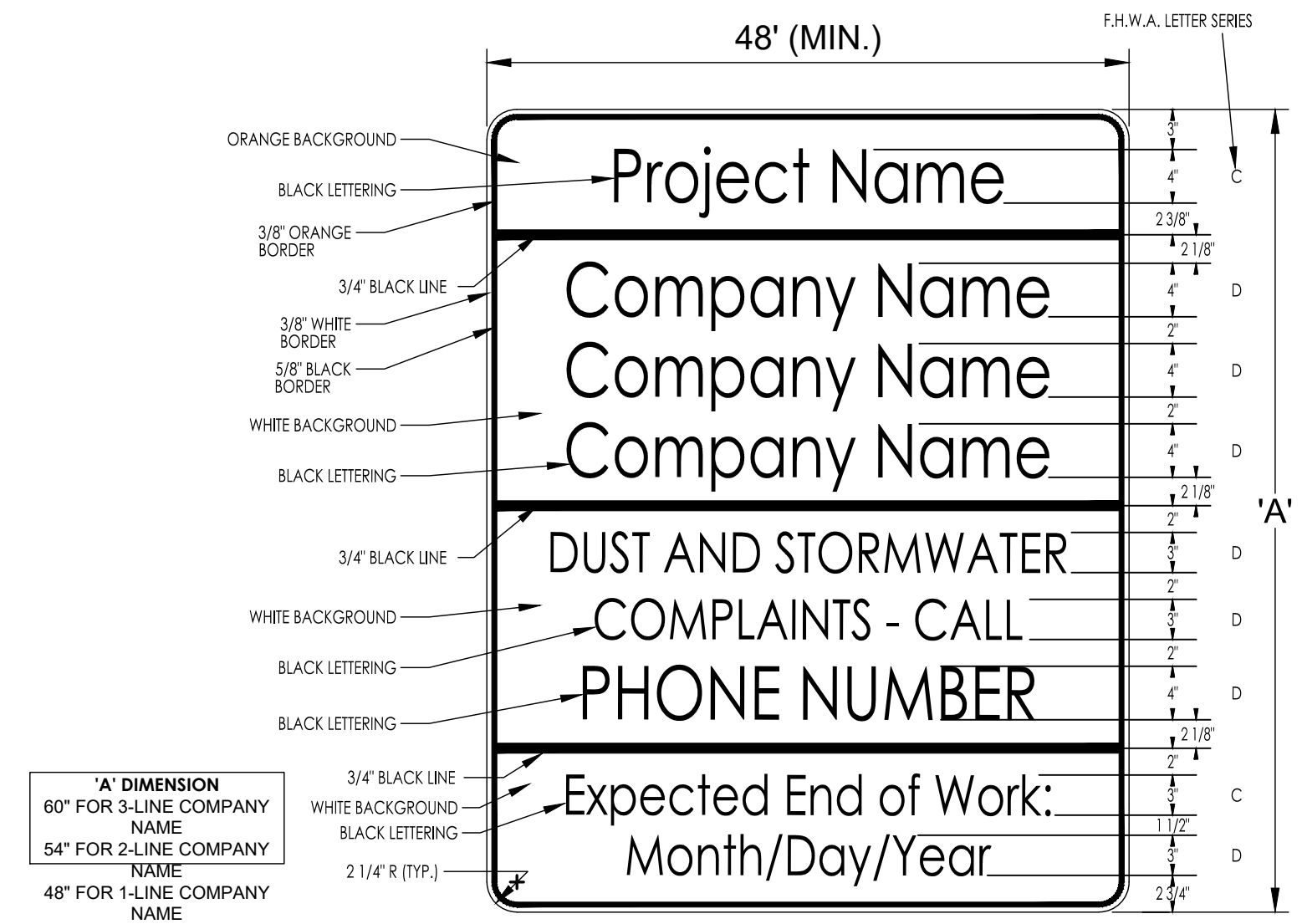


PLAN
NOT TO SCALE
TYPE "BELOW GRADE"

SECTION B - B
NOT TO SCALE

CONCRETE WASH AREA WA

SIGN WZIS-1



WORK ZONE IDENTIFICATION SIGN WZS

CONSTRUCTION NOTES

- AFTER PERMITS HAVE BEEN OBTAINED & EROSION CONTROL MEASURES INSTALLED, THE CONTRACTOR SHALL ROUGH GRADE SITE.
- CONTRACTOR SHALL PREVENT ANY SILTATION FROM ENTERING ANY STORM SEWER SYSTEM. ALL INLETS & INLET OPENINGS SHALL BE FULLY ENCIRCLED WITH SILT FENCE DURING AND AFTER CONSTRUCTION OF INLET.
- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- MAINTAIN EROSION CONTROL MEASURES AT ALL TIMES ESPECIALLY BEFORE ANY PREDICTABLE RAIN.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE; AS THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE. THIS PLAN IS INTENDED TO BE UPDATED BY A QUALIFIED PERSON AS CONSTRUCTION ACTIVITIES PROCEED. METHODS OF EROSION CONTROL SHALL BE TAKEN FROM "DRAINAGE DESIGN FOR YUMA COUNTY, ARIZONA, VOLUME III EROSION CONTROL".
- CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL ORDINANCES THAT APPLY.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- ALL EXISTING STRUCTURES, FENCING, TREES, AND ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED AND DISPOSED OF OFF SITE. ANY BURNING ON SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
- CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- CONTRACTOR TO IDENTIFY ON PLAN AREAS THAT HAVE REACHED FINAL STABILIZATION.

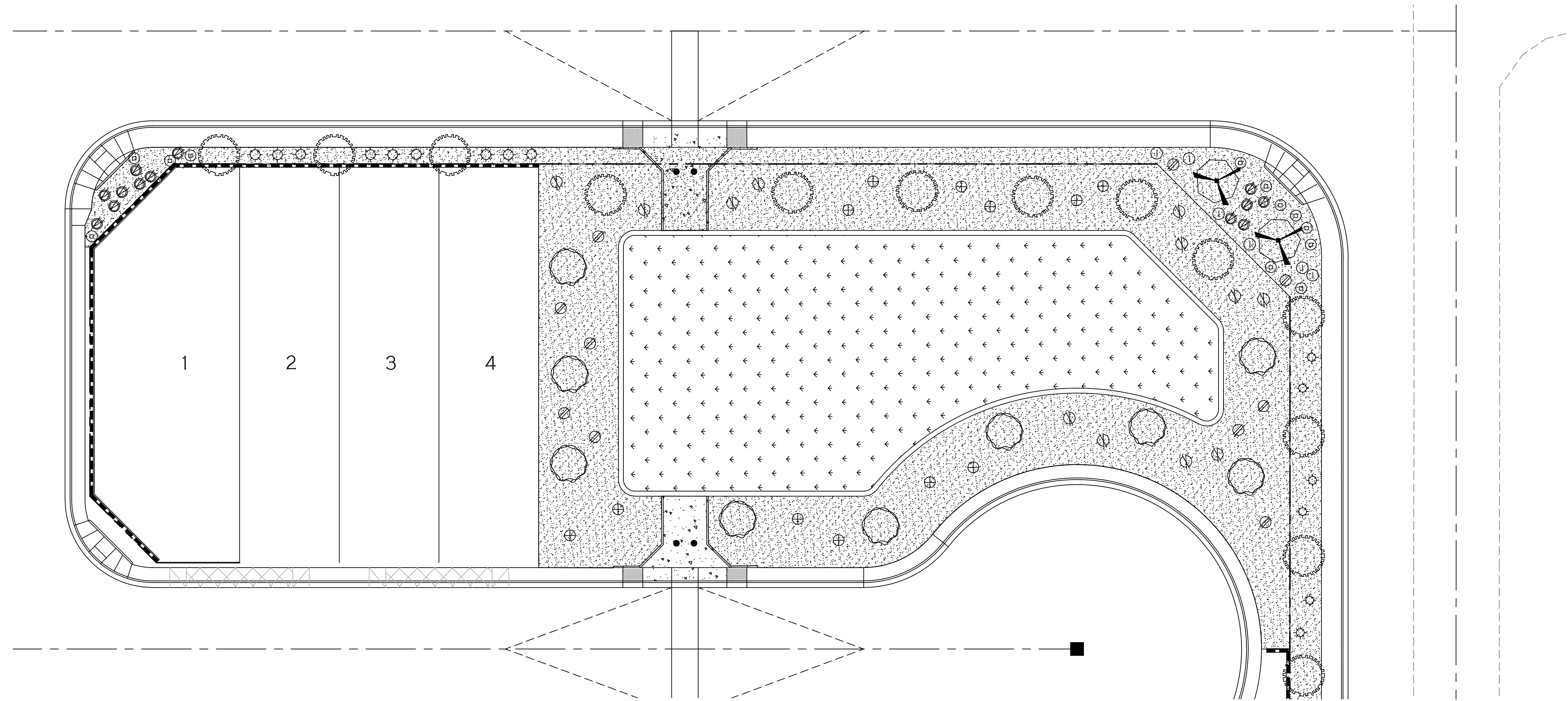
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CALL TWO WORKING DAYS BEFORE YOU DIG
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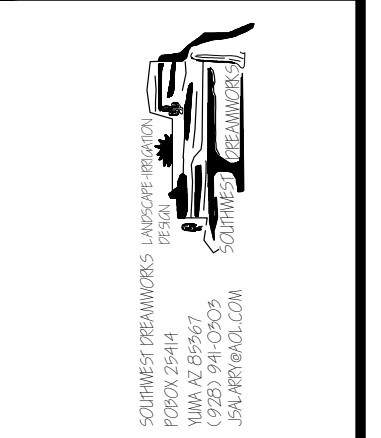
NORTH
SCALE: 1"=30'

PLANT LEGEND

TREES				SHRUBS			GROUND COVER/HARDSCAPES		
SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	SYMBOL	COMMON NAME	BOTANICAL NAME		SIZE	
	Red Pistach	Pistacia Chnensis	24" box		Arizona Yellow Bells	Techoma Stans	5 gallon		3/4" Yuma White d.g.
	Elm	Ulmus Parviflora	24" box		Bird of paradise	Caesalpinia Gilliesii	5 gallon		
	Live Oak	Cuercus Virginiana	24" box		Red yucca	Hesperaloe Parviflora	5 gallon		Seeded Turf
	Mulga	Acacia Aneura	24" box		Lagmans Sage	Leucophyllum Lagmaniae	5 gallon		
	Shoestring Acacia	Acacia Syenophyllia	24" box		Yellow Mound Lantana	Lantana Camara	5 gallon		6" X 6" Concrete Curb
					Choral Fountain	Russelia Equiseformis	5 gallon		
					Rosemary	Rosmarinus Tuscon Blue	5 gallon		

24th. Ave. & Retention Basin LANDSCAPING
ORCHIDEA PARK
TOWNHOMES SUBDIVISION PHASE I

VEGA & VEGA
ENVIRONMENTAL PLANNING
2619 S. AVE. 2 1/2 E. STE#3
YUMA, AZ. 85364
TEL: 928-329-0000
FAX: 928-247-6232
VnV@vegaandvega.com

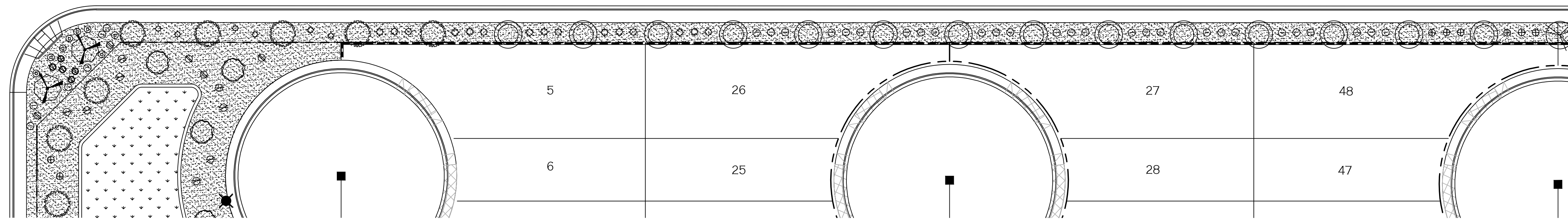


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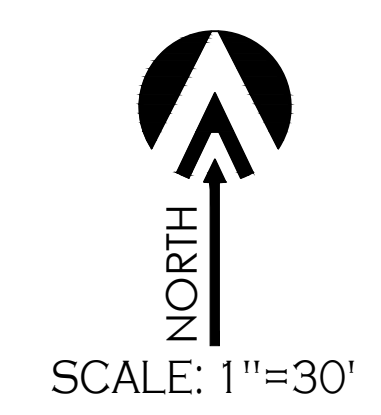
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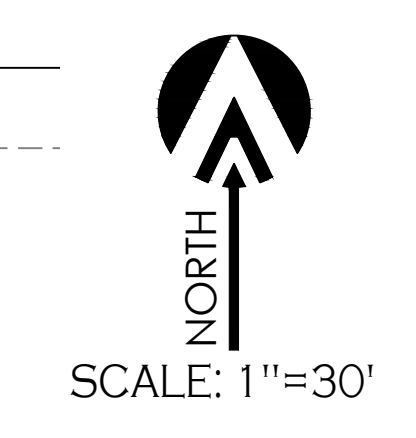
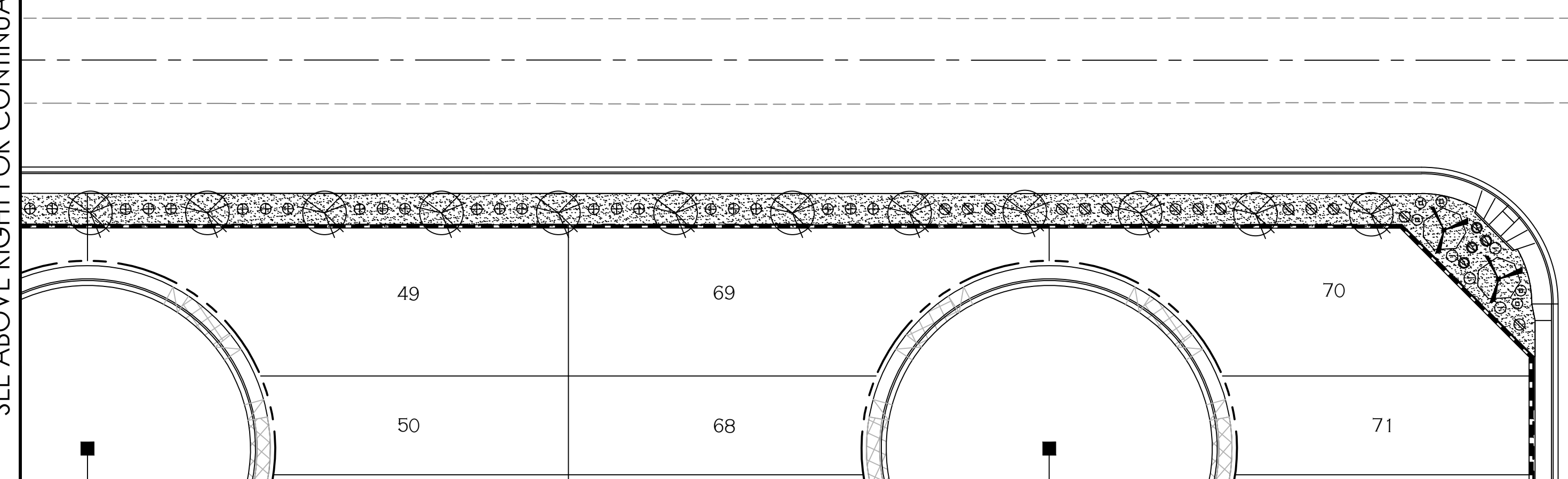




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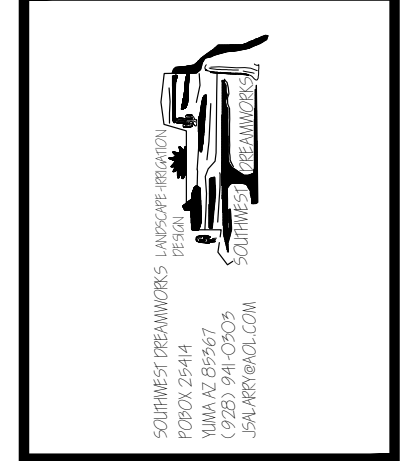


PLANT LEGEND

TREES				SHRUBS			GROUND COVER/HARDSCAPES	
SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	
	Red Pistach	Pistacia Chnensis	24" box		Arizona Yellow Bells	Techoma Stans	5 gallon	
	Elm	Ulmus Parviflora	24" box		Bird of paradise	Caesalpinia Gilliesii	5 gallon	
	Live Oak	Cuercus Virginiana	24" box		Red yucca	Hesperaloe Parviflora	5 gallon	
	Mulga	Acacia Aneura	24" box		Lagmans Sage	Leucophyllum Lagmaniae	5 gallon	
	Shoestring Acacia	Acacia Syenophyllia	24" box		Yellow Mound Lantana	Lantana Camara	5 gallon	
					Choral Fountain	Russelia Equiseiformis	5 gallon	
					Rosemary	Rosmarinus Tuscon Blue	5 gallon	

VEGA & VEGA
 ENVIRONMENTAL DESIGN
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 YUMA, AZ. 85364
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 928-247-6232 FAX
 VnV@vegaivega.com

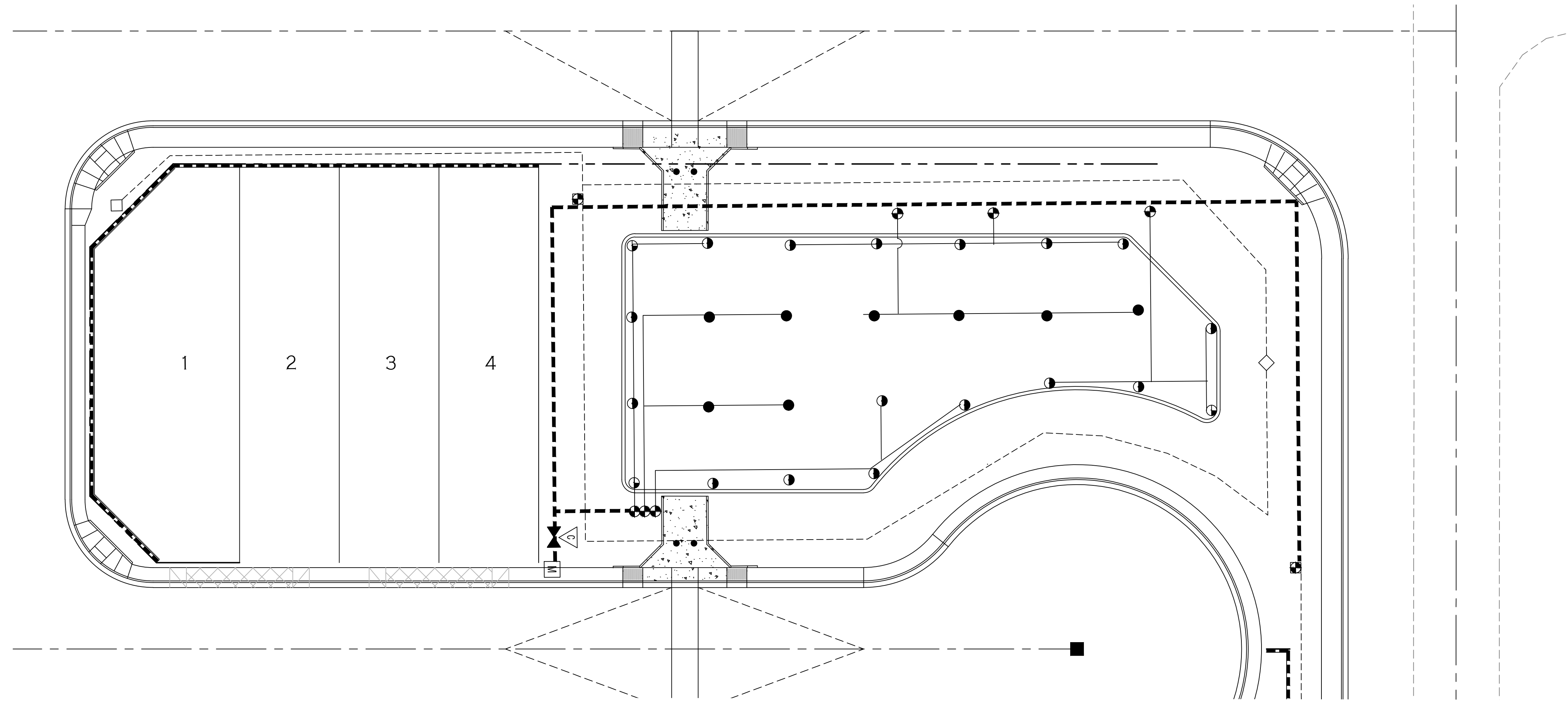
Co. 24th. St. LANDSCAPING
ORCHIDEA PARK
 TOWNHOMES SUBDIVISION PHASE I



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NORTH
SCALE: 1"=30'

IRRIGATION

DESCRIPTION	MANUFACTURER	MODEL
WATER METER(FIELD VERIFY LOCATION)	BY OTHERS	1 1/2"(SEE CIVIL)
BACK FLOW PREVENTER WITH ENCLOSURE CONTROLLER	FEBCO	PV811/2"
ELECTRIC CONTROL VALVE	HUNTER (solar)	XC HIBRID 18 STA
DRIP VALVE ASSEMBLY	HUNTER	1"ICV
PVC BALL VALVE	HUNTER	1"
ELECTRIC VALVE	SPEARS	1" SCH 40
VALVE BOX	HUNTER	ICV-1"
FILTER	CARSON	TAN STANDARD
REGULATOR	RAINBIRD	1" PRB100-200
FLUSH VALVE END OF 3/4" LATERAL	RAINBIRD	1" 30 PSI
	SPEARS OR EQUAL	MHT-3/4"
1 1/2" PVC MAINLINE	SCH 40	
1" PVC DRIP LATERAL	1" PVC	
PVC SPRINKLER LATERAL	SEE DETAILS FOR PIPE SIZING	
HUNTER 120 SPRINKLER HEAD RED FULL NOZ 25' @ 4 GPM WITH .5 PRECIP AT 45 PSI		
HUNTER 120 SPRINKLER HEAD RED FULL NOZ 25' @ 4 GPM WITH .5 PRECIP AT 45 PSI		
HUNTER 120 SPRINKLER HEAD RED HALF NOZ 25' @ 3 GPM WITH .5 PRECIP AT 45 PSI		

IRRIGATION NOTES

- CONTRACTOR RESPONSIBLE FOR FULL AND EFFICIENT COVERAGE
- VERIFY PRESSURE BEFORE LAY OUT
- MINIMUM PRESSURE 60 PSI AT MAIN LINE
- VALVE LOCATIONS ARE ONLY APPROXIMATE
- DRIP VALVES NOT TO EXCEED 5 GPM
LAWN VALVES NOT TO EXCEED 45 GPM
- DRAWN FOR CLARITY ALL IRRIGATION TO BE INSTALLED IN LANDSCAPE AREA
- ALL SLEEVES ARE SCH 40
- ALL SLEEVES TO HAVE 18" COVER MINIMUM
- IF BACKFILL MATERIAL HAS DEBRIS LARGER THAN 1" SHADE WITH MORTAR SAND 6" ABOVE 6" BELOW PIPE
SEE PIPE AND SLEEVING DETAILS D-10
- IF PROPER PRESSURE IS NOT AVAILABLE NOTIFY OWNERS REPRESENTATIVE BEFORE ANY WORK IS STARTED
- HEAD AND VALVE PLACEMENT ARE ONLY DIAGMATIC
FIELD VERIFY ALL LOCATIONS ON PLANS

24th. Ave. & Retention Basin IRRIGATION

ORCHIDEA PARK
TOWNHOMES SUBDIVISION PHASE I



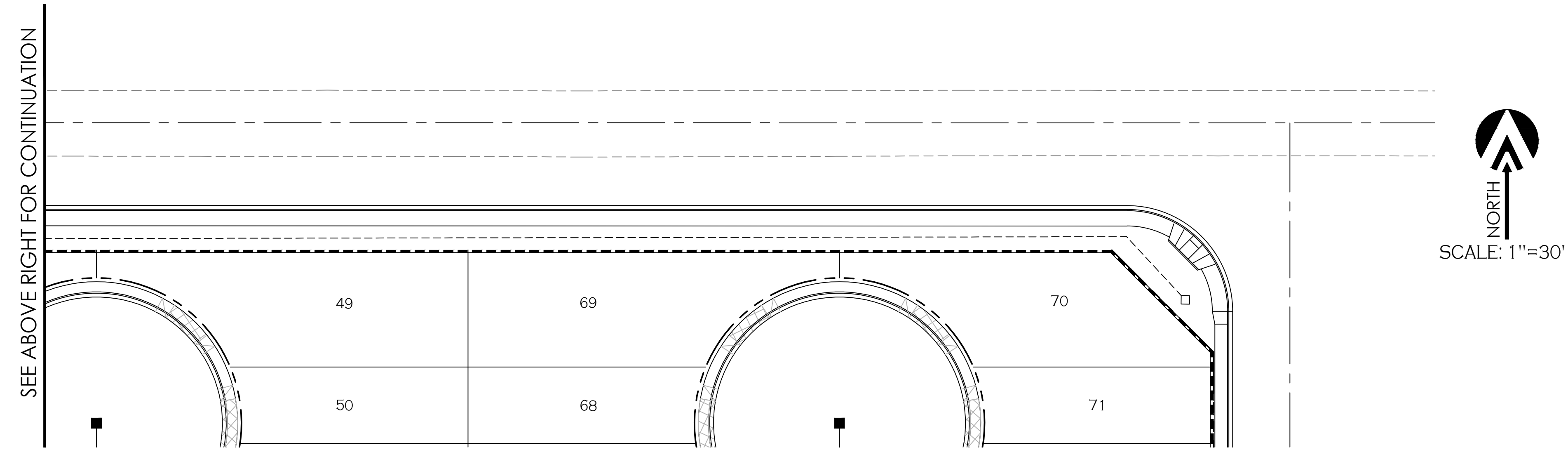
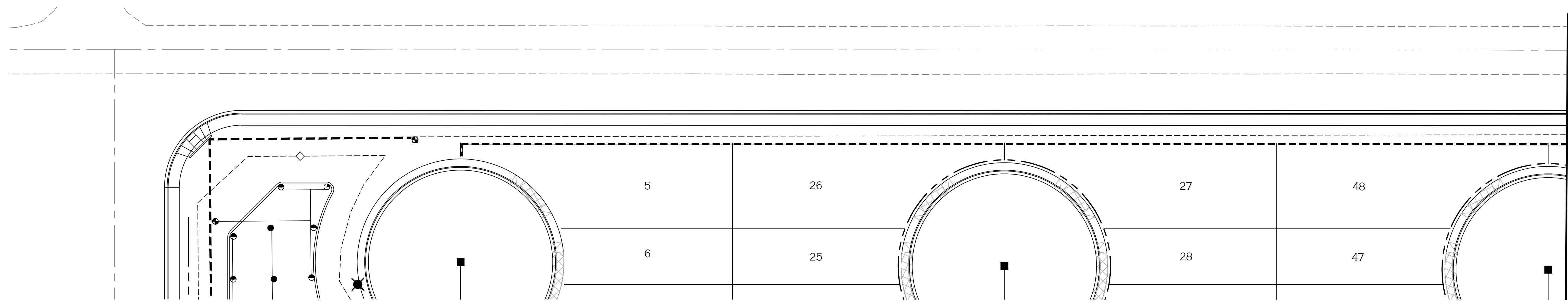
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IRRIGATION

DESCRIPTION	MANUFACTURER	MODEL
WATER METER(FIELD VERIFY LOCATION)	BY OTHERS	1 1/2"(SEE CIVIL)
BACK FLOW PREVENTER	FEBCO	PV/B1 1/2"
WITH ENCLOSURE	GUARDSHACK	WITH SLAB
CONTROLLER	HUNTER (solar)	XC HIBRID 18 STA
ELECTRIC CONTROL VALVE	HUNTER	1"ICV
DRIP VALVE ASSEMBLY	HUNTER	1"
PVC BALL VALVE	SPEARS	1" SCH 40
ELECTRIC VALVE	HUNTER	ICV-1"
VALVE BOX	CARSON	TAN STANDARD
FILTER	RAINBIRD	1" PRB100-200
REGULATOR	RAINBIRD	1" 30 PSI
FLUSH VALVE END OF 3/4" LATERAL	SPEARS OR EQUAL	MHT-3/4"
1 1/2" PVC MAINLINE	SCH 40	
1" PVC DRIP LATERAL	1" PVC	
PVC SPRINKLER LATERAL	SEE DETAILS FOR PIPE SIZING	
HUNTER 1 20 SPRINKLER HEAD RED FULL NOZ		
25' @ 4 GPM WITH .5 PRECIP AT 45 PSI		
HUNTER 1 20 SPRINKLER HEAD RED FULL NOZ		
25' @ 4 GPM WITH .5 PRECIP AT 45 PSI		
HUNTER 1 20 SPRINKLER HEAD RED HALF NOZ		
25' @ 3 GPM WITH .5 PRECIP AT 45 PSI		

IRRIGATION NOTES

- CONTRACTOR RESPONSIBLE FOR FULL AND EFFICIENT COVERAGE
- VERIFY PRESSURE BEFORE LAY OUT
- MINIMUM PRESSURE 60 PSI AT MAIN LINE
- VALVE LOCATIONS ARE ONLY APPROXIMATE
- DRIP VALVES NOT TO EXCEED 5 GPM
LAWN VALVES NOT TO EXCEED 45 GPM
- DRAWN FOR CLARITY ALL IRRIGATION TO BE INSTALLED IN LANDSCAPE AREA
- ALL SLEEVES ARE SCH 40
- ALL SLEEVES TO HAVE 18" COVER MINIMUM
- IF BACKFILL MATERIAL HAS DEBRIS LARGER THAN 1" SHADE WITH MORTAR SAND 6" ABOVE 6" BELOW PIPE
SEE PIPE AND SLEEVING DETAILS D-10
- IF PROPER PRESSURE IS NOT AVAILABLE NOTIFY OWNERS REPRESENTATIVE BEFORE ANY WORK IS STARTED
- HEAD AND VALVE PLACEMENT ARE ONLY DIAGRMATIC
FIELD VERIFY ALL LOCATIONS ON PLANS

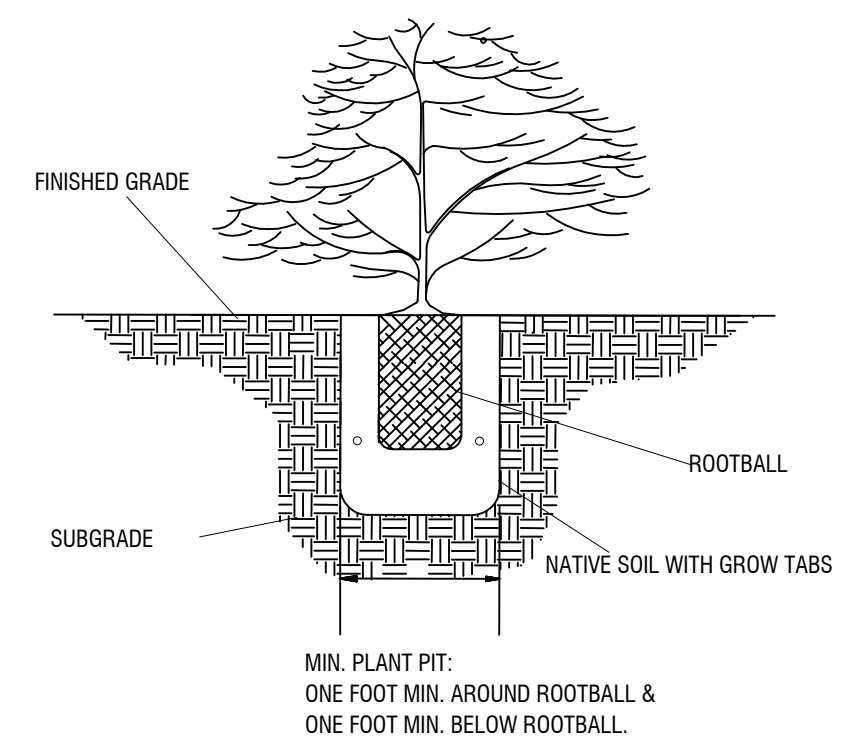
VEGA & VEGA
 ENGINEERS & ARCHITECTS
 2619 S. AVE. 2 1/2 E. STE#3
 YUMA, AZ. 85364
 928-329-0000 TEL
 928-247-6232 FAX
 VnV@vegaivega.com

Co. 24th. St. IRRIGATION
ORCHIDEA PARK
TOWNHOMES SUBMISSION PHASE I

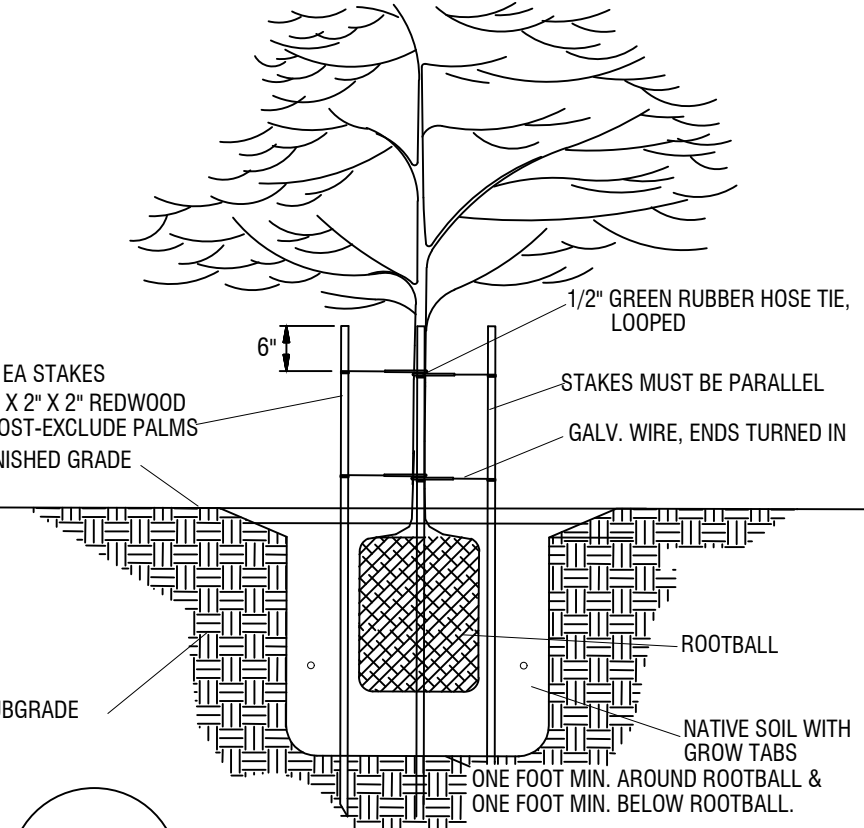
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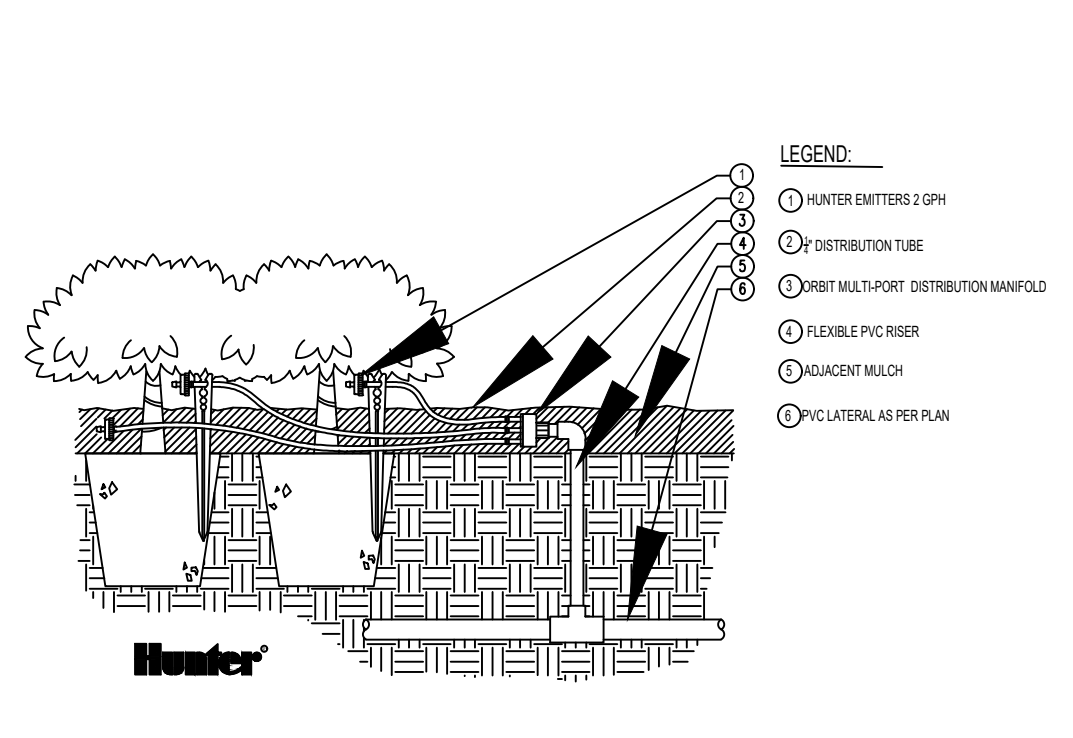




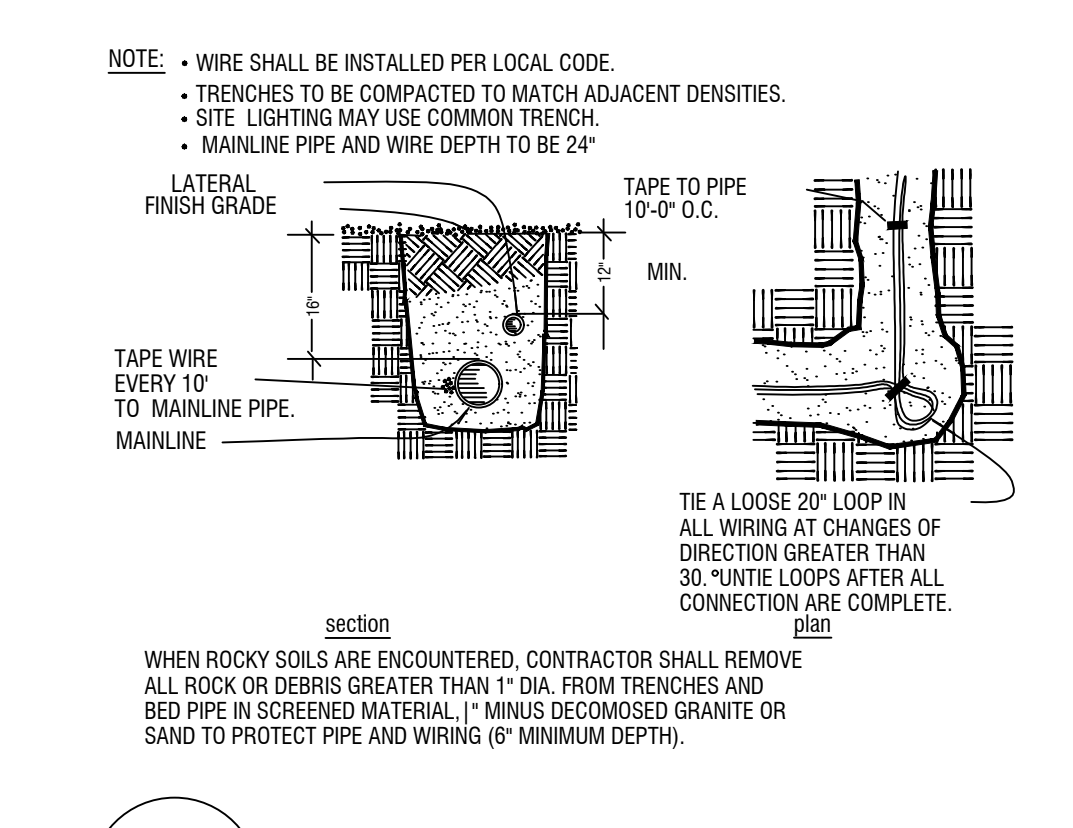
D1 SHRUB PLANTING



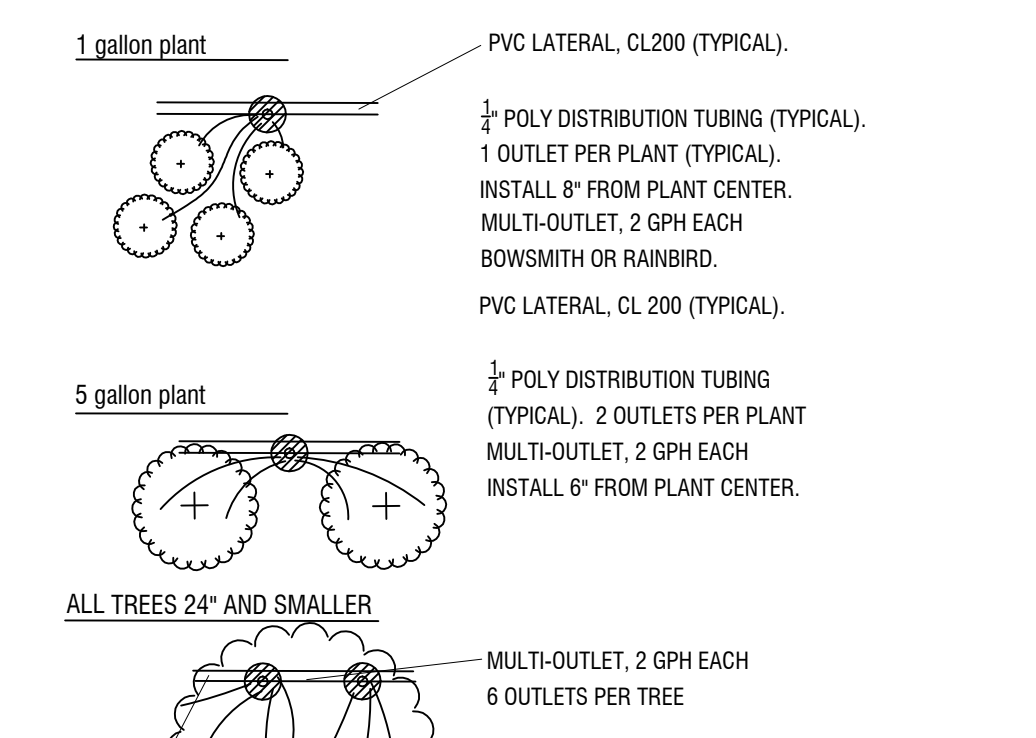
D6 TREE PLANTING



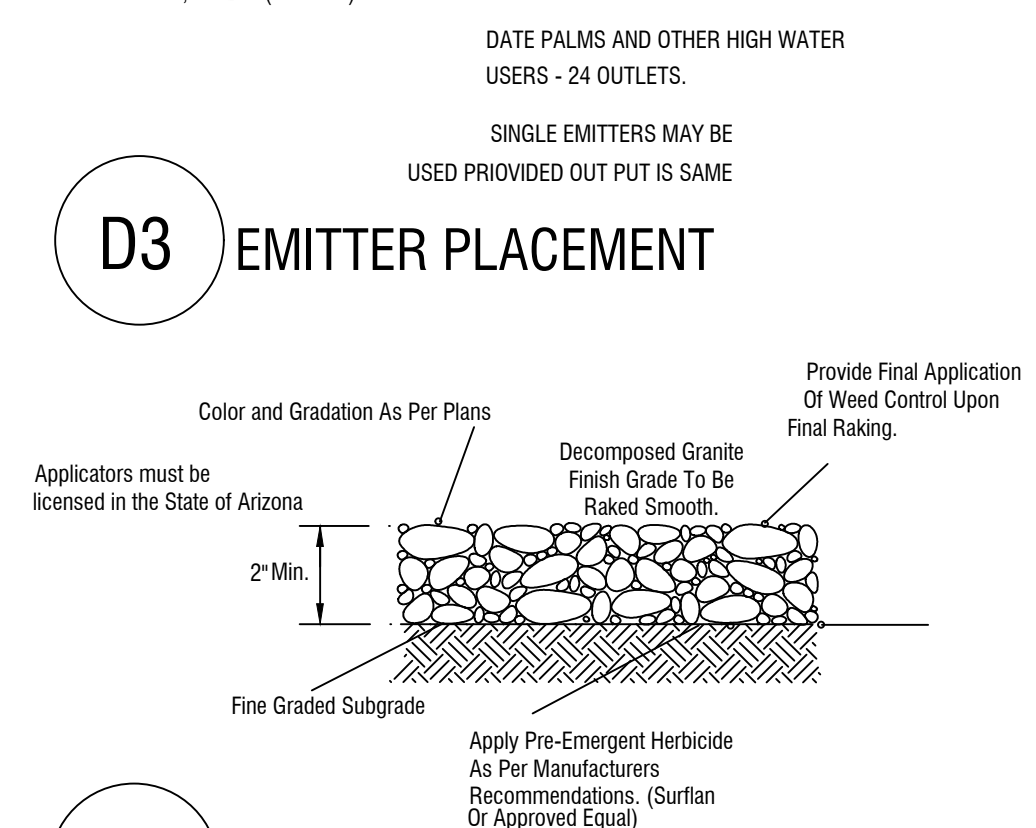
D2 MULTIPORT MANIFOLD



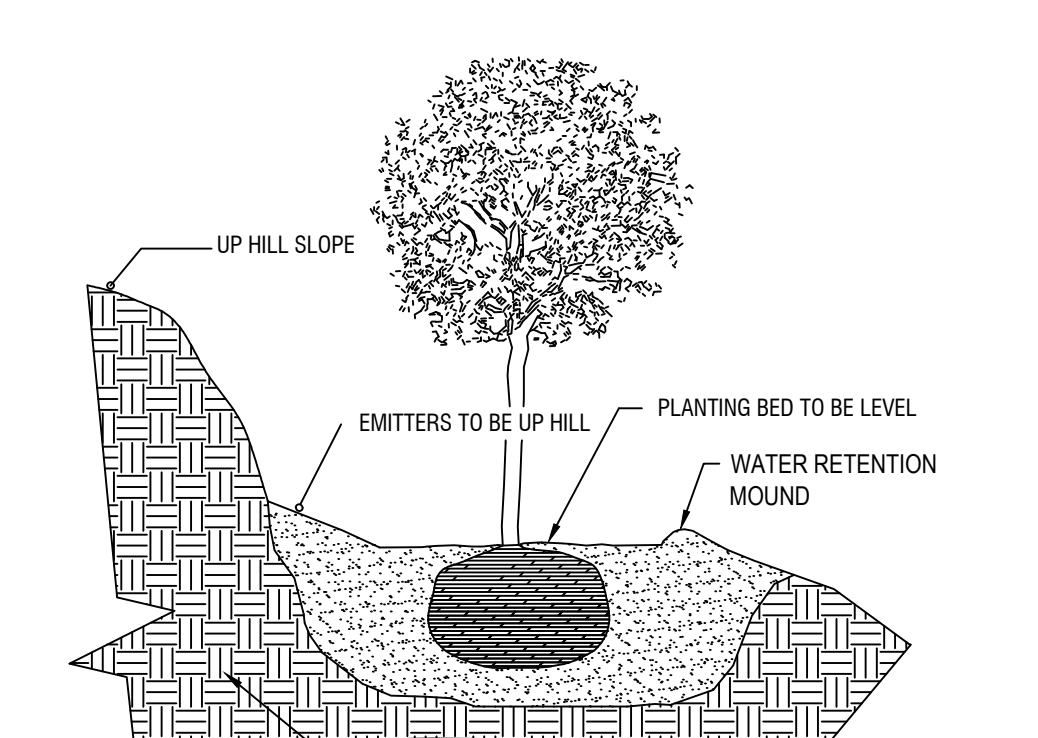
D7 PIPE AND WIRE TRENCHING



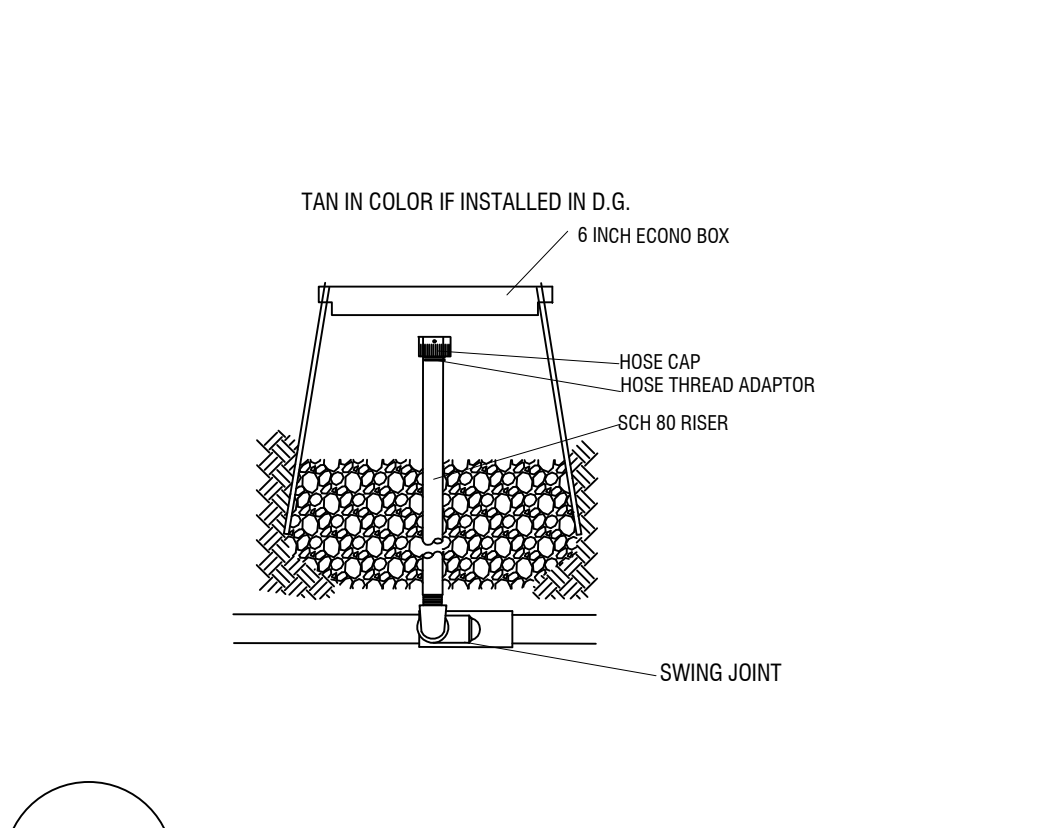
D3 EMITTER PLACEMENT



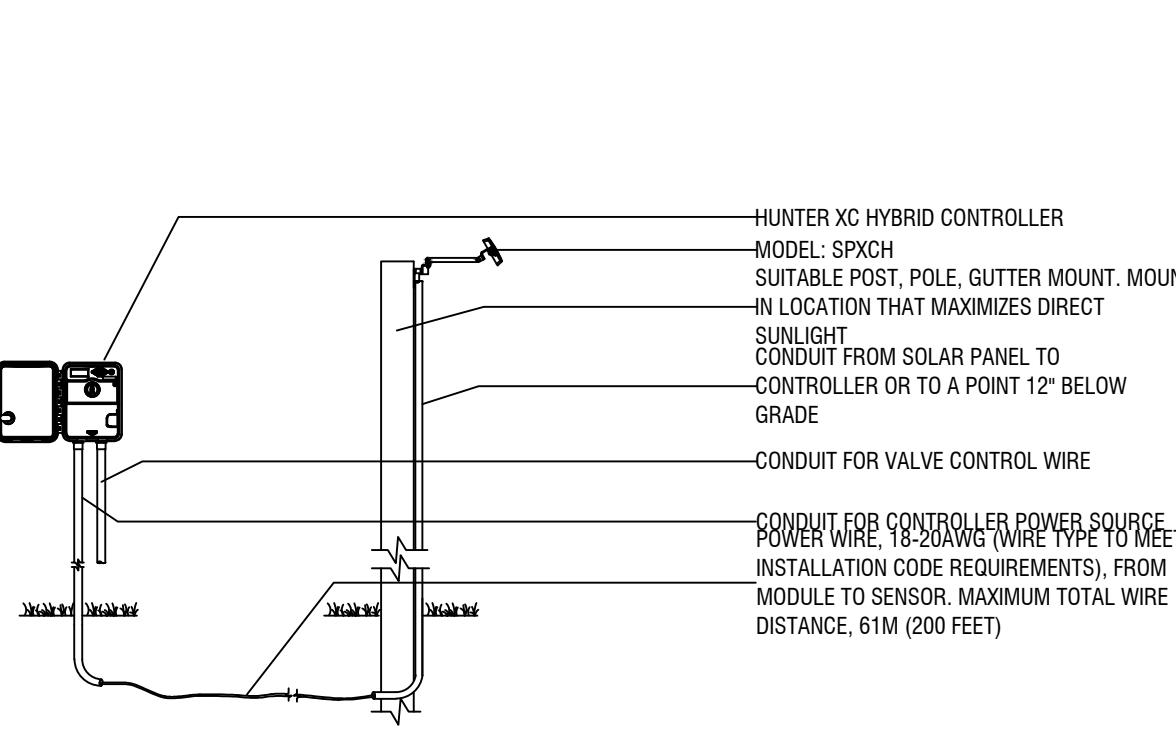
D8 DECOMPOSED GRANITE



D4 PLANTED ON SLOPE



D9 FLUSH OUT

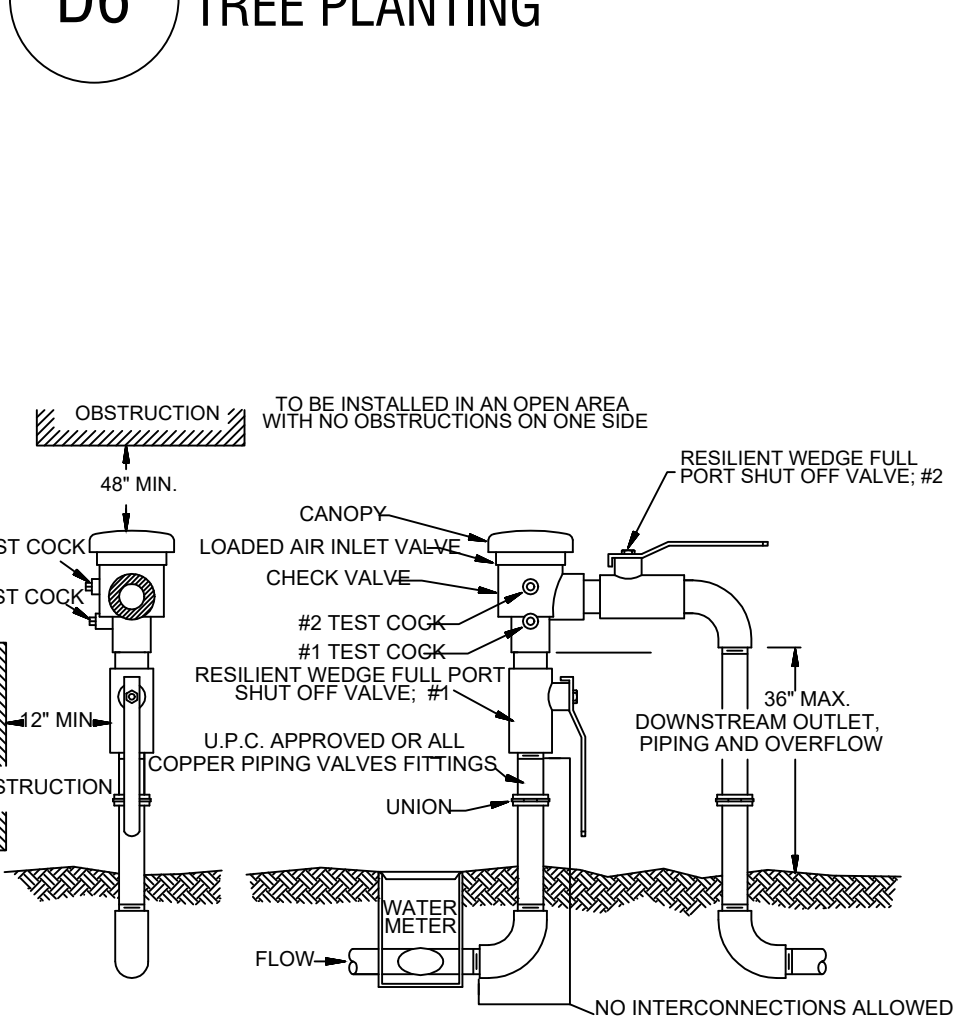


D5 SOLAR PANEL FOR XC HYBRID

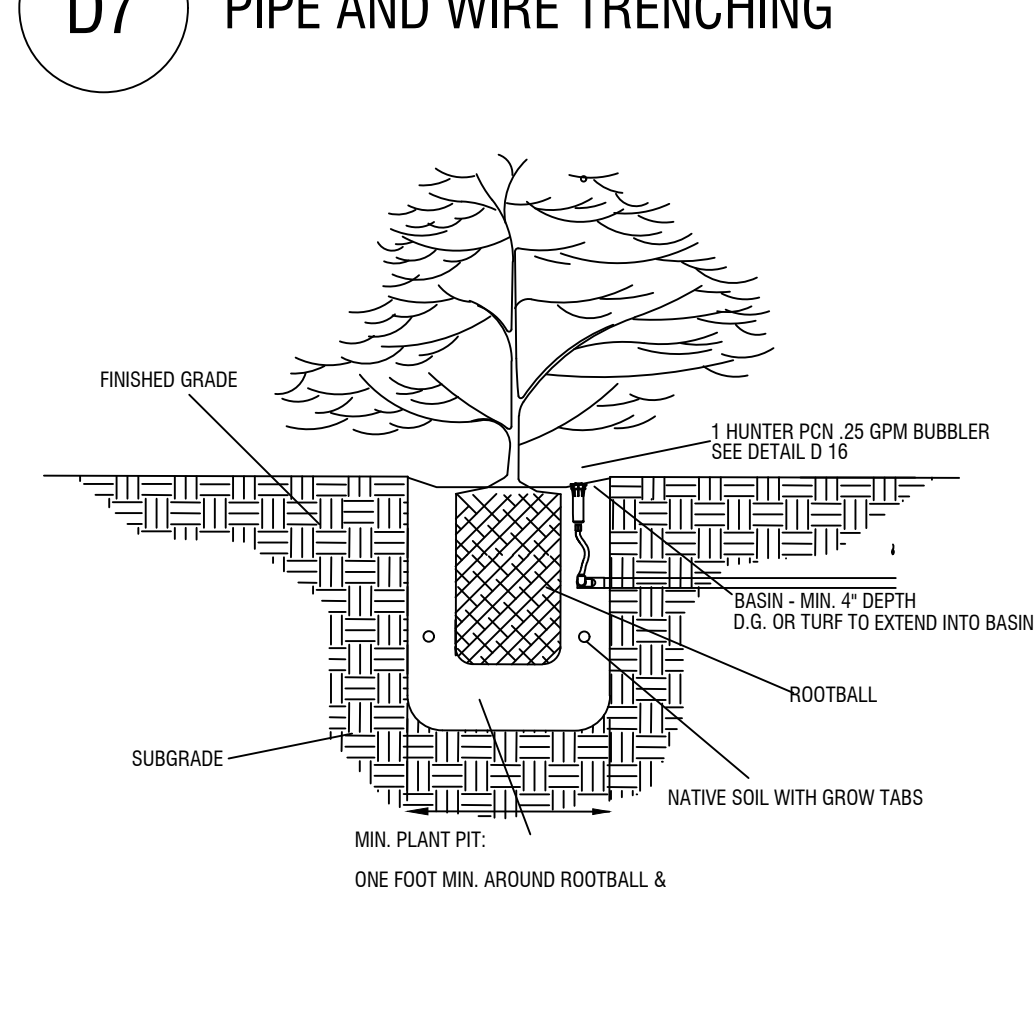
size (pipe)	class	gpm	sleeve size
1/2"	SCH 40	0-5	2"
3/4"	SCH 40	6-10	2"
1"	SCH 40	11-15	2"
1-1/4"	SCH 40	16-25	3"
1-1/2"	SCH 40	26-35	3"
2"	SCH 40	36-50	4"
2-1/2"	CL160	51-75	6"
3"	CL160	76-100	6"
4"	CL160	101-190	10"
WIRING	SCH 40	1-26 WIRES	2" MIN.

ALL MAINLINE FITTINGS 3" AND LARGER SHALL BE DUCTILE IRON. ALL OTHER MAINLINE FITTINGS SHALL BE SCH. 40.
ALL MAINLINE INTERSECTIONS (45, 90, ECT.) SHALL HAVE THRUST BLOCKS PER MANUFACTURER'S RECOMMENDATIONS. USE MECHANICAL FITTINGS ON TEES, FOR 3" AND LARGER MAINLINE.
SLEEVE SIZE IS FOR SINGLE PIPE RUNS.
SLEEVE ALL WIRE SEPARATE FROM WATER LINES, UNDER PAVING.
ALL SOLVENT WELD MAINLINE FITTINGS SHALL BE SCHEDULE 40.

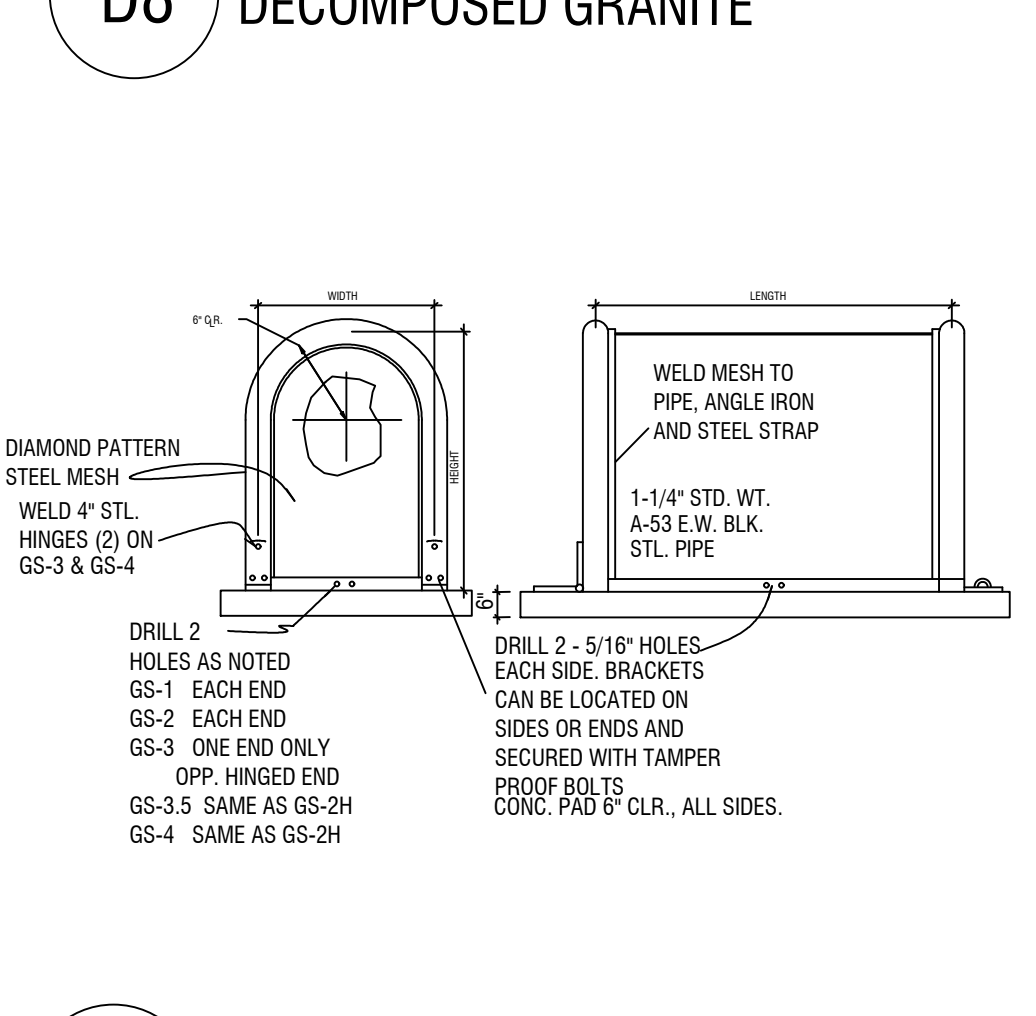
D10 PIPE AND SLEEVE SIZING



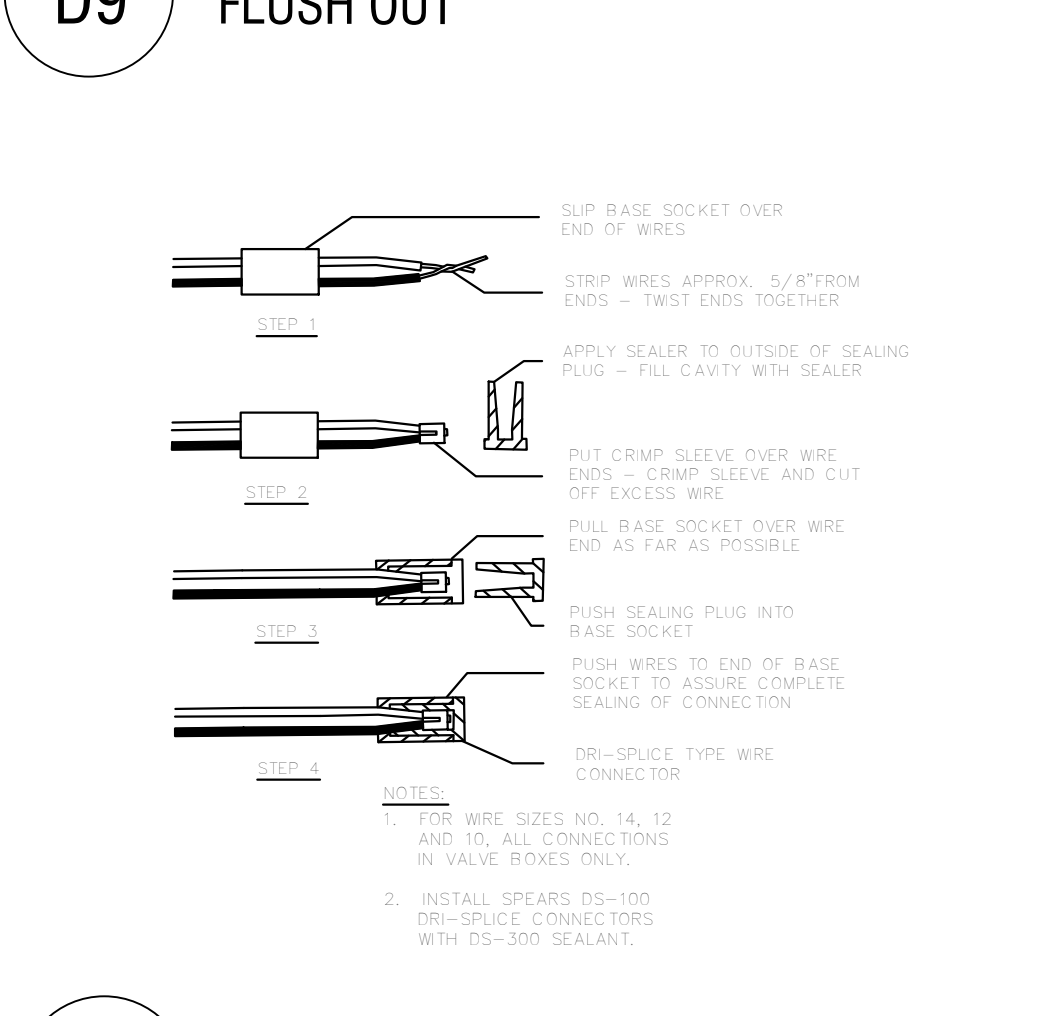
D15 PRESSURE VACUUM BREAKER



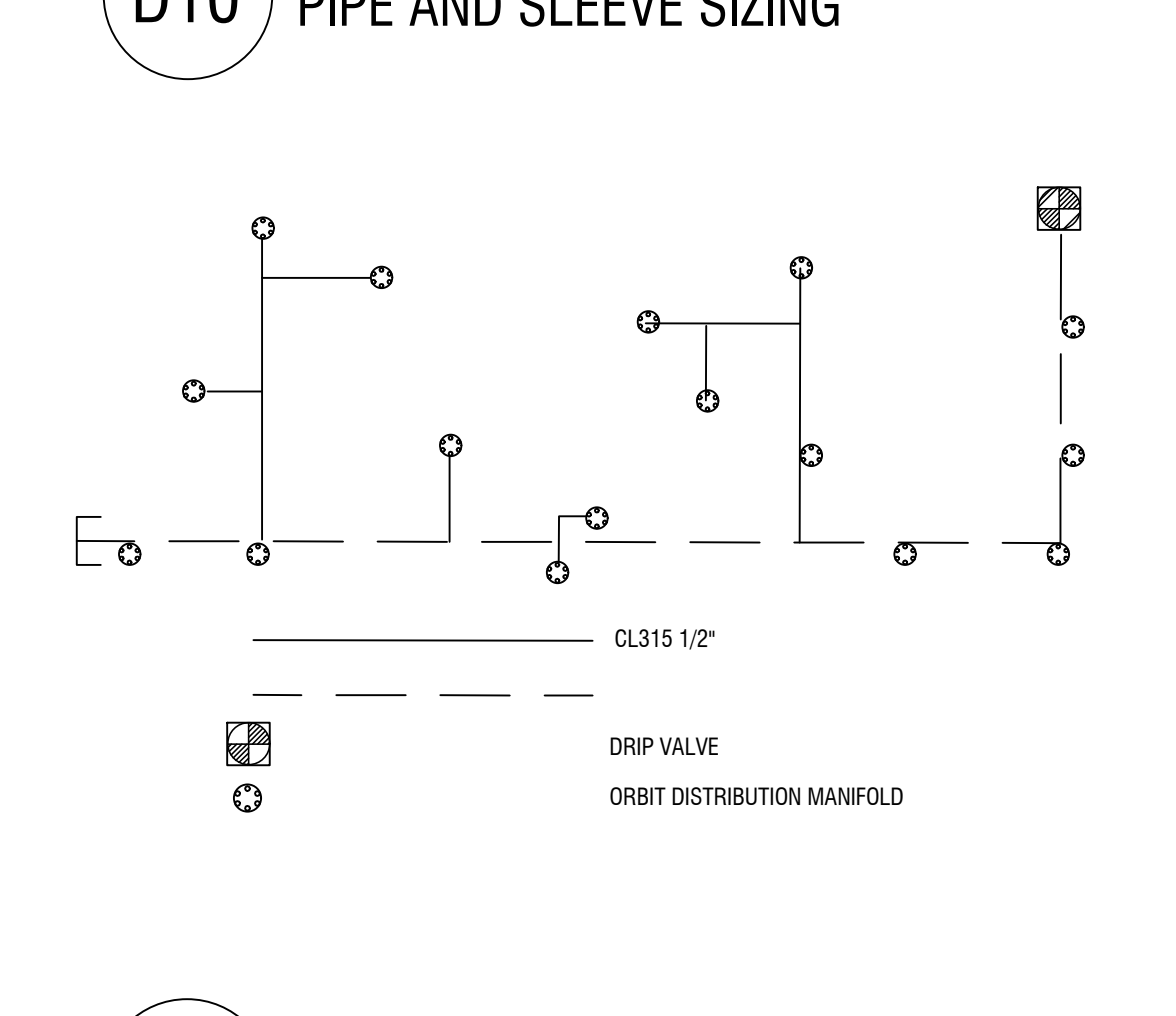
D11 TREE IRRIGATION DETAIL



D12 GARDSHACK ENCLOSURE

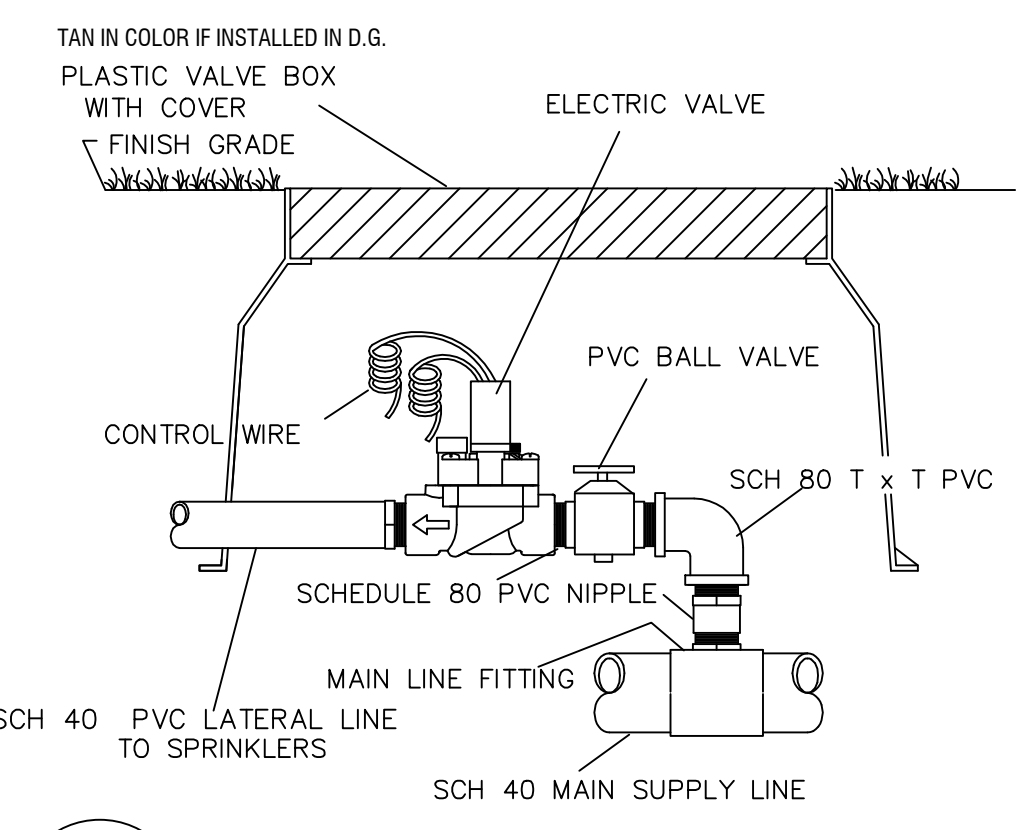


D13 IRRIGATION WIRE CONNECTIONS

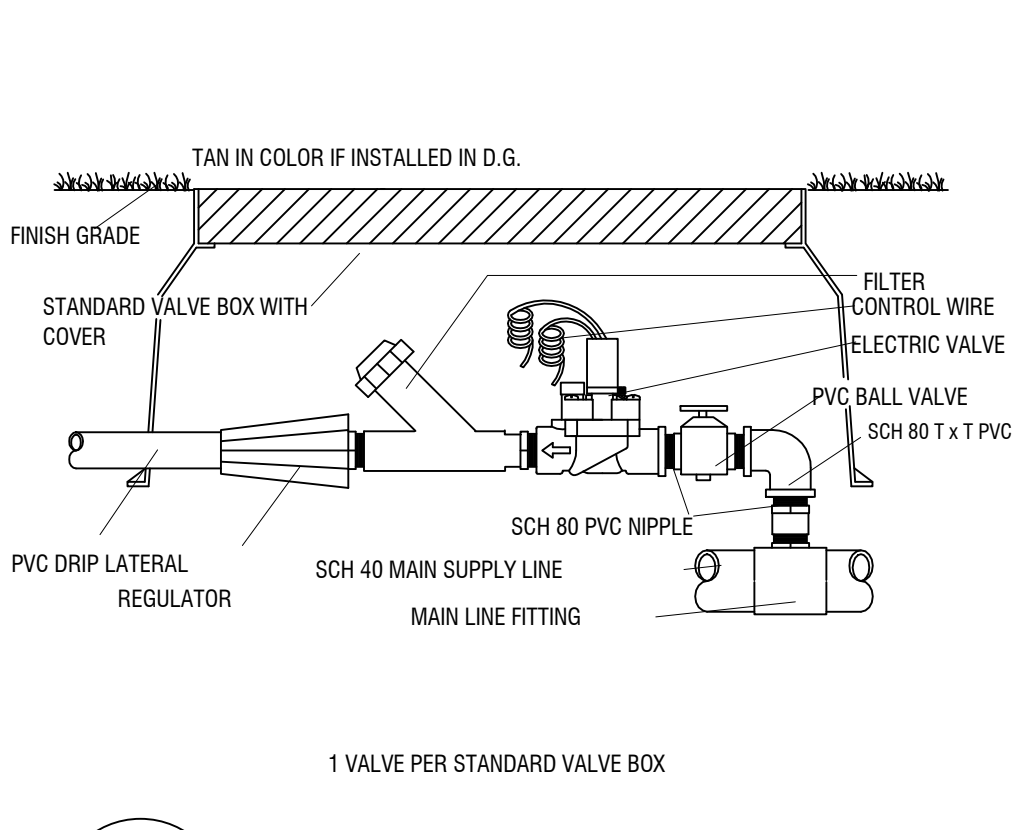


D14 EMITTER PVC PIPE LAY OUT

- NOTES
1. A permit is required before installing or replacing a backflow assembly. Permits are obtained at the Department of Community Development.
 2. A list of approved backflow assemblies are available from the Utilities Department Pretreatment
 3. The P.V.B. shall be installed outside, above ground, as close to the water meter as possible. The P.V.B. shall be located on private property unless otherwise authorized.
 4. There shall be no other piping connected to the piping between the water meter and the backflow assembly except for parallel assembly installations.
 5. Installations shall meet all current uniform plumbing codes in addition to the City building codes.
 6. Installations shall be left exposed until inspected and approved by the City.
 7. If this unit is installed to serve a retention basin, this unit shall be placed a minimum of 12" (36" maximum) above the flood rim of the retention basin.
 8. Protective cages are optional and will meet clearance, access and drainage requirements.
 9. It is recommended that backflow assemblies be protected from the elements. Care shall be taken to ensure that the protection does not hinder the assembly's operation.
 10. All backflow units are to be tested by a certified professional prior to final approval. Backflow units shall be tested on an annual basis.
 11. The installation of a pressure vacuum breaker assembly can cause a closed system. Consult with the City Building Official for pressure relief valves, thermal expansion or other needed requirements.
 12. P.V.B.'s may be maintained under constant pressure and have shutoff valves downstream but there shall be no means of imposing back pressure on the P.V.B. from any other source.
 13. P.V.B.'s shall only be approved for irrigation system service protection unless otherwise authorized.



D16 TURF VALVE



D17 DRIP VALVE



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IRRIGATION NOTES

1. CONTRACTOR TO FIELD VERIFY DRAWINGS PRIOR TO ANY INSTALLATION OR ORDERING OF MATERIALS AND NOTIFY SOUTHWEST DREAMWORKS OF ANY DISCREPANCIES BETWEEN DRAWINGS AND SITE. IF CONTRACTOR FAILS TO NOTIFY SOUTHWEST DREAMWORKS, HE ASSUMES FULL RESPONSIBILITY FOR ANY NECESSARY ALTERATIONS TO THE SYSTEM.
2. ALL MATERIALS USED SHALL BE INSTALLED AS PER PLAN AND AS PER MANUFACTURE'S SPECIFICATIONS. ALL DEVIATIONS FROM DRAWINGS OR MATERIALS USED SHALL BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE DESIGNER.
3. IRRIGATION SYSTEM HAS BEEN DESIGNED FOR A STATIC WATER PRESSURE OF 70 PSI.
4. CONTRACTOR TO FIELD VERIFY PRESSURE PRIOR TO ORDERING MATERIALS OR STARTING ANY IRRIGATION INSTALLATION AND NOTIFY CONSULT SOUTHWEST DREAMWORKS OF ANY DIFFERENCE FROM STATED PRESSURE. IF CONTRACTOR FAILS TO NOTIFY CONSULTANT HE ASSUMES FULL RESPONSIBILITY FOR ANY SYSTEM ALTERATIONS.
5. CONTRACTOR WILL NOTIFY SOUTHWEST DREAMWORKS IF BOOSTER PUMP IS NEEDED
6. 120 VOLT SERVICE BY ELECTRICAL CONTRACTOR. IRRIGATION CONTRACTOR RESPONSIBLE FOR POWER CONNECTION TO CONTROLLER.
7. ALL CONTROL WIRES TO BE RED, ALL COMMON WIRES TO BE WHITE UNLESS NOTED ON PLANS. ONE SET OF CONTROLLER KEYS TO BE GIVEN TO OWNER.
8. ALL 24 VOLT WIRE SHALL BE #14 UFL, DIRECT BURIAL, SOLID COPPER.
9. IRRIGATION CONTRACTOR RESPONSIBLE FOR ALL LANDSCAPE SLEEVING. CONTRACTOR TO COORDINATE SLEEVING INSTALLATION OF CONCRETE FLATWORK AND PAVING. ALL SLEEVES TO BE EXTENDED AT LEAST 1' BEYOND CONCRETE STRUCTURES.
10. ALL HARDSCAPE 5'-0" OR WIDER TO BE SLEEVED.
11. CONTRACTOR SHALL INSTALL ALL PIPING AND WIRING UNDER PAVED AREAS IN SLEEVES AS SHOWN ON PLANS. ALL WIRE SHALL BE SLEEVED SEPARATELY FROM PIPING.
12. IRRIGATION CONTRACTOR TO VERIFY EXISTING SLEEVES (SHOWN ON IRRIGATION PLAN) INSTALLED BY OTHER CONTRACTORS. COORDINATE INSTALLATION OF ADDITIONAL SLEEVES WITH GENERAL CONTRACTOR.
13. ALL IRRIGATION EQUIPMENT TO BE LOCATED IN LANDSCAPED AREAS (SOME LINES AND EQUIPMENT ARE SCHEMATIC ONLY).
14. LOCATE VALVE BOXES IN DECOMPOSED GRANITE NOT IN TURF, ADJACENT TO WALKWAYS AND CURBS WHENEVER POSSIBLE.
15. ALL PLANTS REQUIRING MORE THAN ONE DRIP EMITTER SHALL HAVE EMITTERS DISTRIBUTED EVENLY AROUND EDGE OF ROOTBALL, WITHIN PLANT BASIN. UNLESS NOTED ON PLANS
16. EMITTERS TO BE PLACED ON UP HILL SIDE OF PLANTS ON SLOPED PLANTING AREAS.
17. PRIOR TO OWNER APPROVAL, CONTRACTOR SHALL COMPLETE THE FOLLOWING: ALL IRRIGATION HEADS TO BE ADJUSTED TO THE PROPER HEIGHT. ALL SPRAY HEADS TO BE FLUSHED OF DEBRIS AND FLOW CONTROLS ADJUSTED TO ACHIEVE PROPER COVERAGE. AVOID SPRAY ON ALL HARDSCAPE AND STRUCTURES.
18. IRRIGATION CONTRACTOR SHALL PROVIDE 100% HEAD TO HEAD COVERAGE IN ALL TURF AREAS AT NO ADDITIONAL COST TO THE OWNER. FIELD ADJUST HEAD LOCATIONS AS REQUIRED. ACTUAL SITE CONDITIONS MAY VARY FROM DRAWINGS AND NECESSITATE ADJUSTMENT OF HEAD LAYOUT, AREA, NOZZLE OR QUANTITIES OF HEADS.
19. CONTRACTOR SHALL ADJUST THE PERFORMANCE OF THE IRRIGATION SYSTEM FOR OPTIMUM PLANT GROWTH BASED ON ACTUAL SITE CONDITIONS, INCLUDING SOIL TYPES, SLOPE OR OTHER VARIABLES THAT MAY DEVIATE FROM PROJECT PLANS. CONTACT SOUTHWEST DREAMWORKS OF ANY DISCREPANCIES BETWEEN PROJECT PLANS AND ACTUAL SITE CONDITION PRIOR TO INSTALLATION.

20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETING THE INSTALLATION OF THE FULLY AUTOMATED IRRIGATION SYSTEM PRIOR TO STARTING PLANTING. IF THE IRRIGATION SYSTEM IS INTERRUPTED FOR ANY REASON THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTINUE MANUAL WATERING OF ALL PLANT MATERIAL UNTIL THE IRRIGATION SYSTEM IS FULLY OPERATIVE.
21. THE CONTRACTOR SHALL PROVIDE, INSTALL AND HAVE TESTED ALL CONNECTIONS 20. DOWN STREAM OF THE WATER METER AND BACKFLOW PREVENTER.
22. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL PIPING NECESSARY TO PROVIDE A COMPLETE AND FULLY OPERATIONAL IRRIGATION SYSTEM INCLUDING ALL SUB-LATERAL PIPING TO EACH PLANT EMITTER AS SPECIFIED AND DETAILED WHETHER OR NOT PIPING IS SHOWN ON PLANS.
23. REFER TO GENERAL CONSTRUCTION NOTES ON COVER SHEET FOR ADDITIONAL CONSIDERATIONS THAT RELATE TO SCOPE OF WORK WITHIN THIS SECTION. POSSIBLE ALL ELECTRIC CONTROL VALVES TO BE LOCATED IN SERIES ALONG THE MAIN WATERLINE. ALL VALVES WILL BE IN HEAVY DUTY PLASTIC VALVE BOXES W/LIDS RAISED TO FINISH GRADE. ALL ELECTRIC VALVES SHALL BE BELOW THE SURFACE MIN. 6".
24. ALL SUBMITTALS MUST BE APPROVED BE FOR CONSTRUCTION BEGINS

LANDSCAPE NOTES

1. LANDSCAPE AREAS ARE DEFINED AS ALL NON-PAVED AREAS DISTURBED BY THIS PHASE OF CONSTRUCTION. SLIGHT VARIATIONS MAY EXIST BETWEEN ON-SITE CONDITIONS AND DRAWINGS. CONTRACTOR SHALL ADJUST PLANTING LAYOUT ONLY AS REQUIRED TO MAINTAIN PLANT QUANTITIES AND DESIGN INTENT.
 2. THE OWNER'S REPRESENTATIVE IS TO APPROVE ANY AND ALL SUBSTITUTIONS.
 3. LOCATE PLANTS AWAY FROM OBSTACLES SUCH AS FIRE HYDRANTS, TRANSFORMERS, AND LIGHT FIXTURES.
 4. ALL PLANT MATERIAL SHALL MEET A.N.A. SPECIFICATIONS. THE LANDSCAPE DESIGNER OR HIS REPRESENTATIVE RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIALS DEEMED UNACCEPTABLE.
 5. DOUBLE STAKE ALL SUPPLEMENTAL BOX TREES OUTSIDE ROOTBALL, SEE TREE STAKING DETAIL.
 6. TREES SHALL BE A MINIMUM OF 4' FROM CURB , SHRUBS SHALL BE 3' OR MORE AWAY FROM CURBS OR WALKS. REFER TO PLANS AND MAINTAIN SHRUB MASSINGS AS SHOWN AWAY FROM HARDSCAPE.
 7. PLANT LOCATIONS SHALL BE FLAGGED OR STAKED FOR REVIEW PRIOR TO STARTING IRRIGATION OR PLANTING EXCAVATION. MINOR RELOCATION'S SHALL BE MADE AT THIS TIME TO AVOID UNSUITABLE CONDITIONS.
 8. NATIVE GRANULAR SOILS SHALL BE FINE GRADED AS TOPDRESSING AND RAKED UNIFORMLY ALONG CURBS, WALKS AND WALLS.
 9. CONTRACTOR SHALL APPLY PRE-EMERGENT HERBICIDE (TREFLANS OR APPROVED EQUAL) IN ALL AREAS NOT CONTAINING BERMUDA GRASS, PER MANUFACTURERS RECOMMENDATION.
- CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO APPLICATION OF HERBICIDE.
10. ALL PLANTING SHALL CONFORM TO THE HEIGHT REQUIREMENTS SPECIFIED FOR SIGHT VISIBILITY TRIANGLES. REFER TO C.O./ STANDARDS FOR SPECIFIED REQUIREMENTS. WHERE MULTIPLE JURISDICTION EXIST, THE MOST RESTRICTIVE SHALL APPLY.

11. GRADE NOTED ON LANDSCAPE PLAN TO BE FIELD VERIFIED/APPROVED BY OWNER'S REPRESENTATIVE BEFORE LANDSCAPE BEGINS CONSTRUCTION.
12. FEATHER AND BLEND GRADE BETWEEN CONSTRUCTION AND NATIVE AREAS FOR SMOOTH TRANSITION.
13. REVIEW SALVAGE NATIVE PLANT MATERIAL INVENTORY PRIOR TO BEGINNING WORK TO VERIFY RESPONSIBILITY OF RELOCATION AND WARRANTY.
14. SAGUARO SHALL BE PLANTED TO THEIR ORIGINAL SOLAR ORIENTATION WITH (2) DRIP EMITTERS (SEE DETAIL). SAGUARO SHALL BE PLANTED STRAIGHT AND DEEP ENOUGH TO REQUIRE NO BRACING. RETURN TAGS TO OWNER.
15. NATIVE SALVAGED SAGUAROS SHALL BE PROTECTED FROM INJURY DURING TRANSPLANT AND SHALL BE WARRANTED FOR 6 MONTHS FROM FINAL ACCEPTANCE.
16. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS NOT SHOWN ON DRAWINGS
17. REFER TO GENERAL CONSTRUCTION NOTES BELOW FOR ADDITIONAL CONSIDERATIONS THAT RELATE TO SCOPE OF WORK WITHIN THIS SECTION.
18. HYDROSEED GRASS FOR NORMAL APPLICATION WITH TACKIFIER AND PAPER MULCH. A BRYLION TYPE SEEDER MAY BE USED. SEED 3LBS/ 1,000 SQ. FT. OF HYBRID BERMUDA. IF PLANTING OCCURS BETWEEN OCTOBER 1, AND MAY 1, USE 15 POUNDS OF WINTER RYE SEED/ 1,000 SQ. FT. FOR FOR SMALLER AREAS HAND RAKE AND COVER WITH 1/2" MULCH USE A GOOD PRE PLANT FERTILIZER, (16-20-20)
19. LANDSCAPE CONTRACTOR SHALL SUBMIT PHOTOS OF ALL TREES FOR APPROVAL BY LANDSCAPE DESIGNER PRIOR TO DELIVERY.

MAINTENANCE AND GUARANTEE

1. LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE DESIGNER OR OWNER'S REPRESENTATIVE FOUR (4) DAYS PRIOR TO COMPLETING IMPROVEMENTS IN ACCORDANCE WITH PLANS AND SPECIFICATIONS TO REQUEST AN INSPECTION FOR SUBSTANTIAL COMPLETION. LANDSCAPE DESIGNER OR OWNER'S REP. SHALL PREPARE PUNCHLIST OF ALL WORK REQUIRING CORRECTION. MAINTENANCE PERIOD TO BEGIN WHEN ALL PUNCHLIST ITEMS ARE CORRECTED.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING LANDSCAPE AREA FOR 60 CALENDAR DAYS OR AS SPECIFIED BY CONTRACT. MAINTENANCE INCLUDES ADJUSTING WATER SCHEDULES, WEEDING, REMOVING DEBRIS FROM LANDSCAPE, RAKING, SPRAYING, FERTILIZING, TRIMMING, OR OTHER OPERATIONS ESSENTIAL FOR CARE, UPKEEP AND PROJECT APPEARANCE.
3. CONTRACTOR SHALL NOTIFY OWNER A MINIMUM OF ONE (1) WEEK PRIOR TO MAINTENANCE PERIOD END TO RESOLVE ANY OUTSTANDING ISSUES. A FINAL INSPECTION SHALL OCCUR TO REVIEW THE PROJECT AND ISSUE A FINAL ACCEPTANCE. (PROVIDE 7 DAYS NOTICE).
4. PLANTS NOT IN HEALTHY CONDITION THROUGHOUT THE WARRANTY PERIOD SHALL BE REMOVED AND REPLACED AT NO COST TO THE OWNER.
5. PROVIDE ONE YEAR(FROM ACCEPTANCE DATE) WARRANTY FOR THE IRRIGATION SYSTEM.



4th. Ave. & Retention Basin INSTRUCTIONS & NOTES
ORCHIDEA PARK TOWNHOMES SUBMISSION PHASE II



Notes:

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City of San Luis

Development Services Department

Planning · Zoning · GIS · Building Safety · Code Enforcement

July 5, 2024

Vianey Vega

Vega & Vega Engineering, P.L.C.

2619 S Ave. 2½ E, Ste #3

Yuma, AZ 85364

Re: Subdivision Case No. 2024-0298P & 2024-0299F Orchidea Park Townhomes Subdivision Phase 1

City staff has reviewed the 1st Submittal preliminary and final plat of Orchidea Park Townhome Subdivision Phase 1 and have the following comments:

Planning and Zoning Department

Preliminary and final Plat

1. Provide HOA, CCR's and Title Report.
2. An approved Development Agreement will be required at the time of the final approval of any phase.
3. As per current Subdivision Regulations subdivider will take such actions as may be necessary to form, establish and include the subdivision in an improvement district.
4. On Approved Section revise "Director of Planning and Zoning" to "*Director of Development Services*".
5. Call out the corners of the subdivision property and provide survey monuments at all corners.
6. Show 8' utility easement and 1' non-access easement on plat.
7. Show all dimensions and bearing as required for lots 82 and 83 and dedicate corner triangles at intersections as per COY standards.
8. Legal description on plat and dedication should read: "A Subdivision of lot B of San Luis Port II Subdivision as recorded..."
9. On TYP. Lot Building Setback Layout show 10' side yard setback on visibility triangle.
10. Call out Mid-Section line of section 14.
11. Provide owners name and assessor's number of adjoining parcels.
12. Provide assessor's parcel number on plat and revise zoning to current zoning.
13. Basis of bearing is S89°32'13"W as per Book 35 of Plats, Page 54, Yuma County Records Office. Clarify or revise accordingly.

Paving and grading

1. Submit complete drainage report and engineer design report.
2. Provide striping plan for major streets.
3. Show existing elevation contours, seems contours on plans shown are the new elevation contours.
4. Add streetlights to County 24th Street.

5. For County 24th Street revise section to match COY Std. No 2-015 with a centerline to curb dimension of 38.0' and 6' sidewalk, this would match Plaza Colibri Commercial subdivision adjacent project to the west, revise plan and typical street section accordingly.
6. For 24th Avenue section to match northern developments with a centerline to curb dimensions of 26.0' and 5' sidewalk.
7. Reference detail to Keynote 7 accordingly.
8. Provide guard post location and spacing on 13' spillways.
9. Provide distance from centerline for stormdrain pipes.
10. Provide subdivision perimeter wall along rear of retention basin.
11. As per Zoning Ordinance Section 18.30.020 (E)(5) All multiple residence developments having more than ten dwelling units shall include a recreational amenity for the residents' use at the rate of one amenity per ten dwelling units. Examples of such amenities include, but are not limited to, swimming pool, tot lot, sport court, ramada with picnic tables and barbeque grill.
12. Development of all improvements and dedication of rights-of-way are required as part of a subdivision development unless approved and specified in a Development Agreement. It is understood that the developer is currently working on a Development Agreement, which will determine the phasing of the improvements and right-of-way dedication.

Water and sewer plans

1. Provide ADEQ permits.
2. A sewer and water masterplan for the whole development at the time of the first final plat submittal.
3. General Note Sheet 7 should reference City of San Luis.
4. Sanitary sewer manholes need to be polymer manholes as per City of San Luis Supplement to the MAG Uniform Standard Specifications.
5. Provide fire hydrant street markers as per COY Std. No. 5-160.
6. Provide distance from Centerline on water and sewer lines.

Public Works

General

1. Assure design meets City of San Luis Standards. Any deviations from City Standards need City of San Luis approval prior to incorporating into the design. Update General Note No. 1 to reflect this. Yuma Co. spillway is acceptable.
2. Provide traffic study for this development and how it incorporates to proposed improvements from Mezquites and Von Verde traffic study by Nicklaus Engineering for this area.
3. Confirm all corner triangle and visibility meets City standards.

Grading

1. Update topo to show existing improvements on the north side of Co. 24th Street on 24th Avenue. This will help better identify necessary improvements to better align 24th Avenue centerline to the north and south of Co. 24th Street.
2. Co. 24th Street is missing some slopes but it appears that proposed drainage slopes actually go against the existing longitudinal slopes. Provide EP and gutter profile to better appreciate the grade difference.
3. 24th Avenue vertical alignment appears low compared to existing surrounding grades, raising it would make it easier to drain it into future phases.

4. Suggest that CMU wall callout be modified so that the 6 foot height requirement is on the side of highest elevation.
5. Include street lights along the entire perimeter of the subdivision. The City uses dual mast arm street lights next to retention basins. Final street light design will be coordinated with APS.

Details

1. Outlet headwall should include railings. Provide positive drainage away from headwall floor to eliminate stagnant nuisance flows. Suggest a 2" to 4" drop from pipe invert to headwall floor to keep pipe dry (if grades permit).

ADOT

The ADOT Southwest District requests the opportunity to review and comment on a traffic impact analysis (TIA) for the proposed subdivision. The TIA should meet the requirements of Section 240 of ADOT's Traffic Guidelines and Processes; this information can be found at the following location: azdot.gov/business/engineering-and-construction/traffic/guidelines-and-processes. The TIA would allow the Department the chance to assess the effects the increased traffic from the proposed development would have on the state highway system and the intersection of Ave E and SR 195."

Yuma County Assessor's Office

It would be much better to have the following: A SUBDIVISION OF A PORTION OF LOT B, SAN LUIS PORT II – INDUSTRIAL PARK LLC, ACCORDING TO BOOK 26 OF PLATS, PAGE 4, RECORDS OF YUMA COUNTY, ARIZONA.

Please be advised that the comments made here are tentative in nature. Until all documentation, information, and drawings are submitted and approved in final form, and all permits for construction are approved and issued, the City of San Luis reserves the right to make further comments or require further information or submissions. Any construction which occurs prior to issuance of proper permits is occurring in contravention of the ordinances of the City and is occurring at the risk of the Developer.

If you have any questions on these comments, please contact the Development Services Department at 928-341-8563 extension 2064.

Thank you,

Juan Tejeda
Associate Planner



PLANNING & ZONING AGENDA ITEM REVIEW FORM

Planning & Zoning Commission Meeting

5. C.

Meeting Date: 07/09/2024

Submitted By: Juan Tejeda, Associate Planner, Development Services, Planning & Zoning

ITEM:

Discussion and possible action on any and all matters regarding Subdivision Case No. 2024-0315F. A request by Core Engineering Group PLLC., on behalf of Border Sam LLLP, for the final plat approval of Belleza del Desierto Unit III Subdivision. The property is located at the northeast corner of 20th Avenue and County 24 1/2 Street in San Luis, Arizona.

A. Staff Presentation

B. Action on Subdivision Case No. 2024-0315F

SUMMARY:

This is a request by Core Engineering Group PLLC., on behalf of Border Sam LLLP (a partnership agent for Border Ranches II AZ LLC), for the final plat approval of Belleza del Desierto Unit III Subdivision. The property is located at the northeast corner of 20th Avenue and County 24 1/2 Street. Assessor's Parcel Number 227-15-030.

This subdivision will contain approximately 20 acres that will be divided into 86 residential lots. The residential lots range in size from approximately 6,000 square feet to 10,850 square feet.

GENERAL PLAN:

In October 2021, the City Council passed and adopted Resolution No. 2199, which amended the 2040 General Plan to change land use designation to Medium Density Residential (MDR). The activities proposed will be consistent with and conform to the designation. The MDR Land Use designation allows detached single-family residential density to range up to six dwelling units per acre.

ZONING:

The approval of the General Plan Amendment Case No. 2021-0337 and the adoption of Resolution No. 2199 allowed the owner to apply to rezone the property for residential use. On June 8, 2022, City Council approved Rezoning Case No. 2022-0190 and adopted Ordinance No. 426, rezoning this property from Light Industrial (L-I) to Medium Density Residential (R1-6). The property was rezoned with the following conditions:

1. The owner/applicant shall submit a preliminary plat application in compliance with the City of San Luis subdivision regulations.
2. That any development of the property, or portion thereof, and/or the approval of any subdivision plat, be conditioned upon payment to the city the sum of \$260.00 per acre, or any portion of an acre, as a proportionate contribution for a traffic signal at the intersection of County 24th Street and Avenue E.
3. Owner/applicant must provide a road connection along 20th Avenue from the northwest corner of the subdivision to Belleza Del Desierto Phase 2 subdivision.

The existing condition of the subject property is undeveloped vacant land with the following adjacent zoning districts:

To the north: R1-6
To the west: R1-6
To the south: RA-10
To the east: L-I

STAFF RECOMMENDATION:

Therefore, the staff recommends approval with the following conditions:

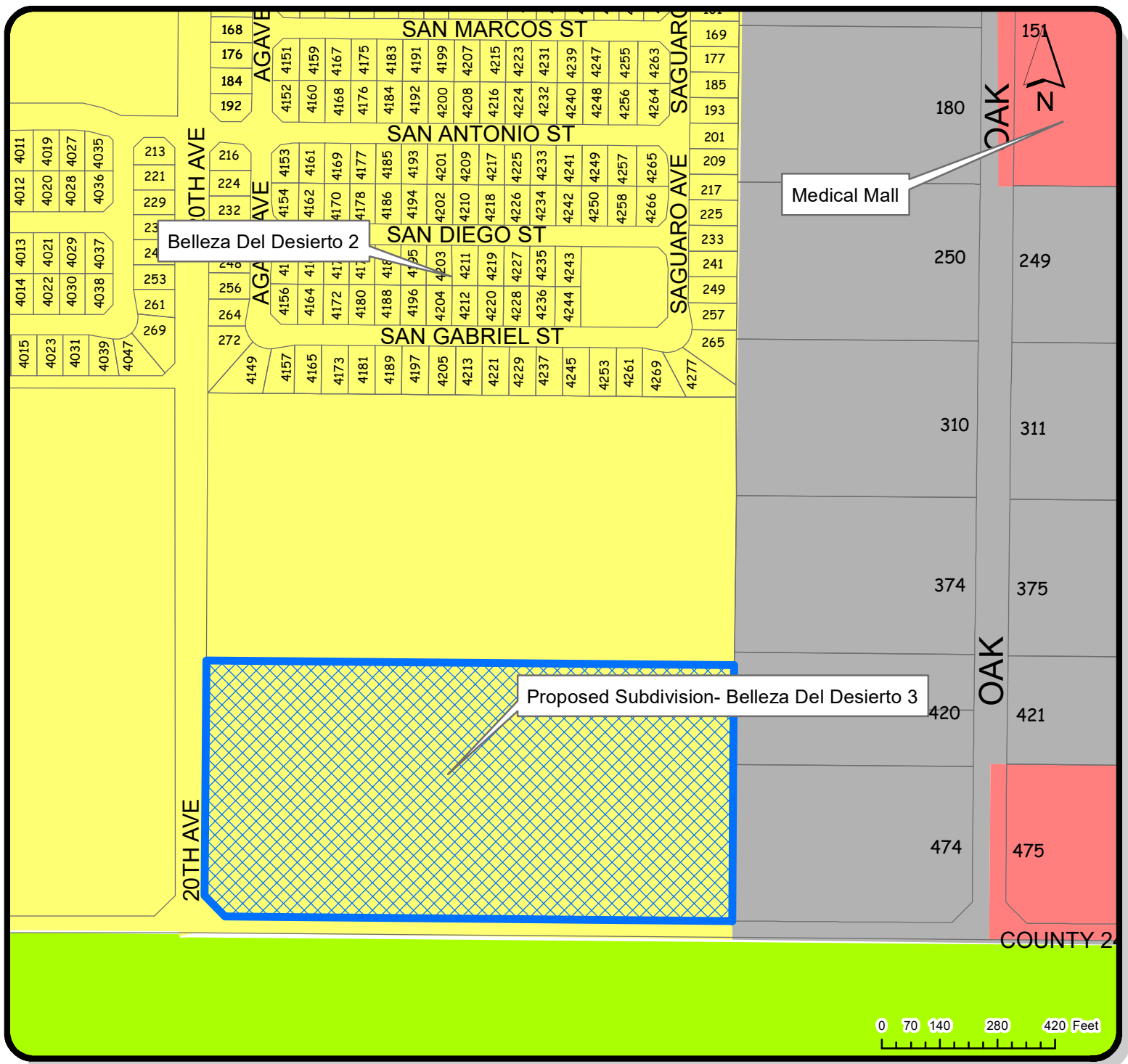
1. The applicant must address all comments on the review comments letter dated June 28, 2024
2. Applicant must comply with rezoning conditions as per Ordinance No. 426.
3. Applicant must provide a traffic study and all improvements required by the traffic study shall be done by the developer, including any applicable contributions for future traffic lights.
4. Landscaping and SWPPP plans shall be submitted before presenting this item to City Council.

RECOMMENDED MOTION:

I MOVE TO FORWARD SUBDIVISION CASE NO. 2024-0315F FINAL PLAT FOR BELLEZA DEL DESIERTO UNIT III TO CITY COUNCIL WITH CONDITIONS AS RECOMMENDED BY STAFF.

Attachments

Location Map
Final Plat
Comment Letter 6-28-24







LOCATION OF SUBJECT PROPERTY

LOCATION MAP

SUBDIVISION

 PARCEL ID: 22715030

- Legend**
- COMMERCIAL ZONING DISTRICTS
 -  C-2
 - INDUSTRIAL ZONING DISTRICTS
 -  I
 - SINGLE RESIDENCE ZONING DISTRICTS
 -  R1-6
 -  RA-10

CASE #
2024-0315

DATE:
5/16/2024

PLANNING & ZONING



GIS

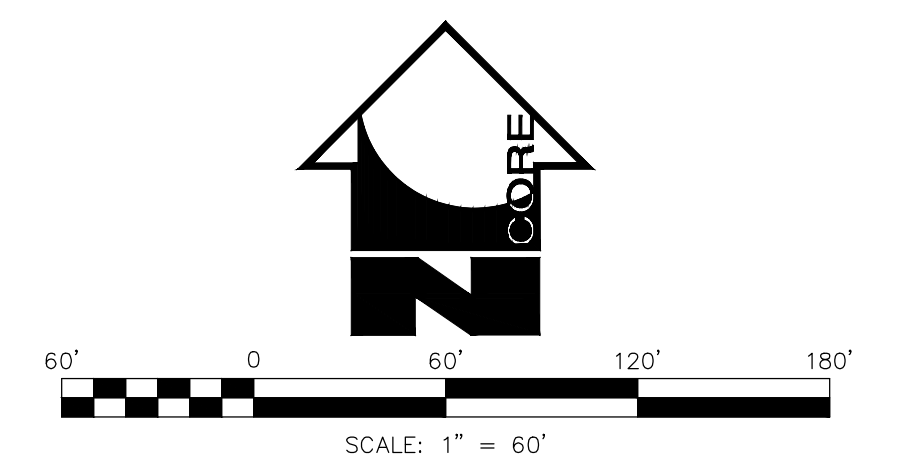
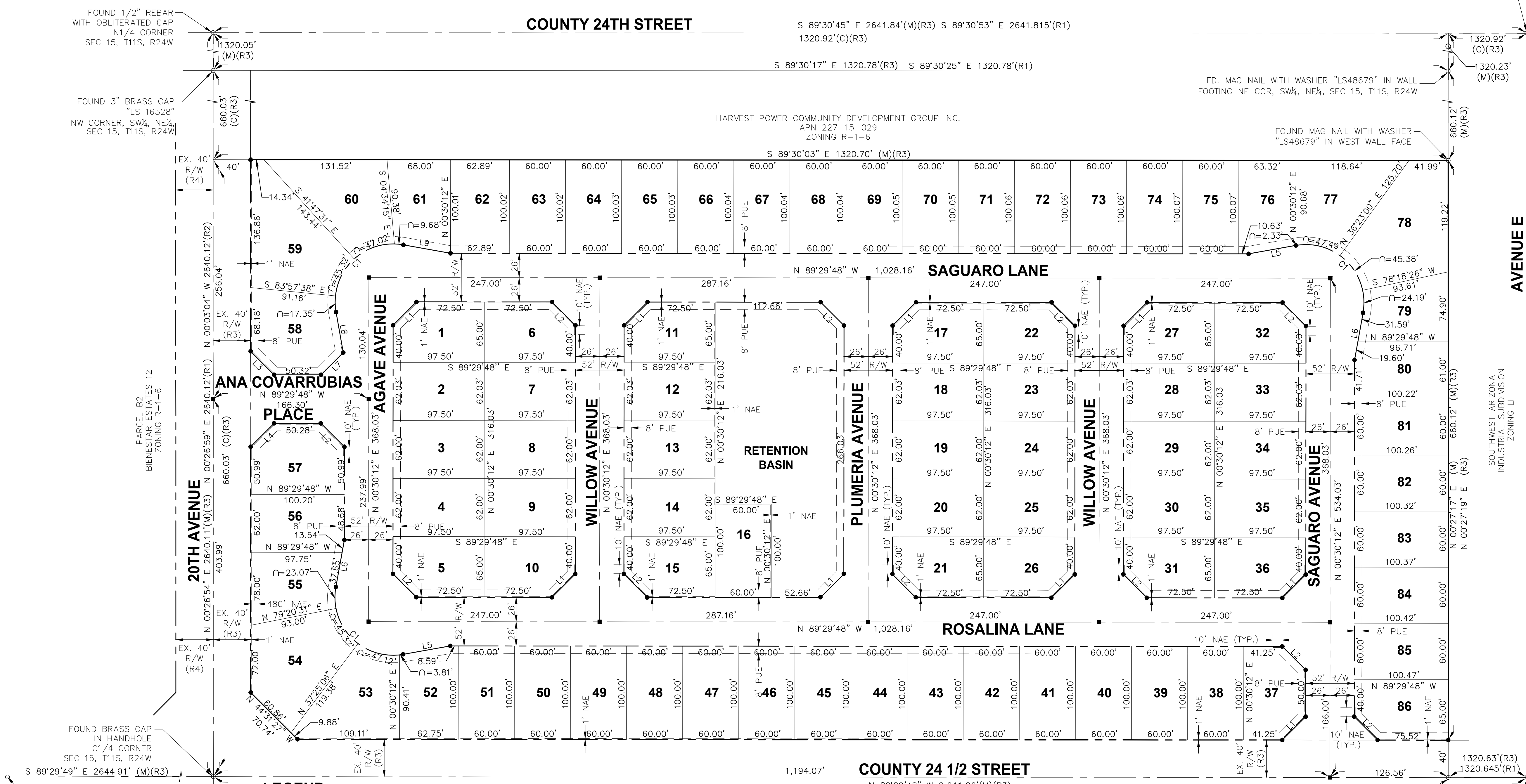
CREATED BY:
ISAAC GUTIERREZ

CHECKED BY:
JUAN TEJEDA

APPROVED BY:
JOSE A. GUZMAN

FINAL PLAT BELLEZA DEL DESIERTO UNIT III

A SUBDIVISION OF PARCEL B, FEE #2021-20450, Y.C.R., LOCATED IN THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 15, TOWNSHIP 11 SOUTH, RANGE 24 WEST, GILA AND SALT RIVER BASE AND MERIDIAN, YUMA COUNTY, ARIZONA
CREATING 86 LOTS



AREA = 18.2015 ± ACRES

OWNER OF RECORD
APN 227-15-030
 BORDER SAM, LLLP
 10602 S. CAMINO DEL SOL
 YUMA, AZ 85367

CITY OF SAN LUIS ZONING
 APN 227-15-030
 CURRENT ZONING: MEDIUM DENSITY RESIDENTIAL (R1-6)

FLOOD ZONE
 THE SUBJECT PROPERTY LIES WITHIN ZONE "X": AREA OF MINIMAL FLOOD HAZARD, USUALLY DEPICTED ON FIRM AS ABOVE THE 500-YEAR FLOOD LEVEL. ZONE X IS THE AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD AND PROTECTED BY LEVEE FROM 100-YEAR FLOOD PER FEMA SOURCE 04027C2155E DATED 8-28-2008.

BASIS OF BEARINGS
 THE EAST LINE OF THE NORTHEAST QUARTER OF SECTION 15, T11S, R24W, G.&S.R.M, YUMA COUNTY, ARIZONA (THIS LINE BEING THE CENTERLINE OF AVENUE E) AS SHOWN PER SOUTHWEST ARIZONA INDUSTRIAL SUBDIVISION-PHASE 1 AS RECORDED IN AMENDED PLAT AT BOOK 31 OF PLATS PAGES 49 & 50, FEE #2020-06982, Y.C.R.
 NAMELY: N 00°27'40" E

- LEGEND**
- CENTERLINE
 - EXISTING RIGHT-OF-WAY
 - EXISTING PROPERTY LINE
 - NEW PROPERTY LINE
 - FOUND MONUMENT
 - FOUND 1/2" REBAR W/CAP "LS48679"
 - ◆ SET 1/2" REBAR W/CAP "LS48679" (UNLESS NOTED OTHERWISE)
 - SET NEW BRASS CAP PER C.O.Y. STD. NO. 4-030
 - (M) MEASURED
 - (R1) PER SOUTHWEST ARIZONA INDUSTRIAL SUBDIVISION - PHASE 1 AS RECORDED IN AMENDED PLAT AT BOOK 31 OF PLATS PAGES 49 & 50, FEE #2020-06982, Y.C.R.
 - (R2) RECORDED PER BIENSTAR ESTATES 10 AS RECORDED IN BOOK 31 OF PLATS PAGE 21, FEE #2019-27117, Y.C.R.
 - (R3) RECORDED PER BORDER RANCHES II LOT SPLIT AS RECORDED IN BOOK 33 OF PLATS PAGE 6, FEE #2021-20450, Y.C.R.
 - (R4) RECORDED PER BIENSTAR ESTATES 12 LOT SPLIT AS RECORDED IN BOOK 34 OF PLATS PAGE 7, FEE #2022-20681, Y.C.R.
 - (C) CALCULATED DATA
 - R/W RIGHT-OF-WAY
 - Y.C.R. YUMA COUNTY RECORDS
 - YUMA COUNTY ASSESSOR: BOOK-MAP-PARCEL NUMBER
 - ARC LENGTH

CURVE DATA

CURVE	RADIUS	DELTA	LENGTH
C1	62.00'	110°19'02"	119.37'

LINE DATA

LINE	DIST. (FT)	BEARING
L1	35.36	N 45°30'12" E
L2	35.36	S 44°29'48" E
L3	35.37	S 44°31'27" E
L4	35.34	N 45°28'33" E
L5	51.19	S 80°20'41" W
L6	51.19	N 10°39'42" E
L7	33.58	S 48°30'12" W
L8	44.05	S 09°39'19" E
L9	51.19	N 79°20'18" W

LOT AREA

LOT #	AREA SF	LOT #	AREA SF	LOT #	AREA SF	LOT #	AREA SF	LOT #	AREA SF	LOT #	AREA SF	LOT #	AREA SF
1	6025	12	6048	23	6048	34	6045	45	6000	56	6195	67	6002
2	6048	13	6045	24	6025	35	6045	46	6000	57	6992	68	6002
3	6045	14	6045	25	6045	36	6025	47	6000	58	7853	69	6003
4	6045	15	6025	26	6025	37	6000	48	6000	59	10101	70	6003
5	6025	16	6000	27	6025	38	6000	49	6000	60	8841	71	6003
6	6025	17	6025	28	6048	39	6000	50	6000	61	6041	72	6003
7	6048	18	6048	29	6045	40	6000	51	6000	62	6290	73	6004
8	6045	19	6045	30	6045	41	6000	52	6012	63	6001	74	6004
9	6045	20	6045	31	6025	42	6000	53	8043	64	6001	75	6004
10	6025	21	6025	32	6048	43	6000	54	9534	65	6002	76	6088
11	6025	22	6045	33	6025	44	6000	55	6395	66	6002	77	7941

PREPARED BY

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 Yuma, AZ 85364
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 www.CoreEngineeringGroup.com
 Core@core-e-g.com
 Core Project No. #23-026

SHEET 2 OF 2

File: 20 Apr 2024 - 2:23pm - 212023123-000.dwg (Plot: Belleza Del Desierto Unit III Final Plat.dwg - Core Engineering Group, PLLC)



City of San Luis

Development Services Department

Planning · Zoning · GIS · Building Safety · Code Enforcement

June 28, 2024

Jose Lopez, P.E.
Core Engineering Group, PLLC.
200 East 16th Street, Suite 150
Yuma, Az 85364

Re: Subdivision Case No. 2024-0315 Belleza del Desierto Unit III.

City staff has reviewed the final plat for Belleza del Desierto Unit III and have the following comments:

City Engineer

Final plat

1. Check sight distance per City of Yuma Standard 3-200 at intersections of County 24-1/2 Street and Saguaro Avenue and at 20th Avenue and Ana Covarrubias Place. Adjust lot line of adjacent lots if needed.

Improvement plans

C1.0

1. Retention basin slopes are to be 4:1 minimum.
2. Barricade at west end of Ana Covarrubias Place is probably not needed.
3. Note for curb return at corner of Saguaro and Agave appear that it should be Note 5 (25' radius) instead of Note 6 (40' radius.)
4. Have the grades along 20th Avenue been coordinated with the Bienestar Estates 12 – Phase 2 plans.

C1.1

1. Transition to 20th Avenue at San Fernando Street needs to be expanded to allow southbound traffic to safely transition to the access road.
2. Grades for access road to be coordinated with Bienestar 12 plans.

C2.0

1. Extend sewer line in 20th Avenue to Co. 24-1/2 Street.
2. Only 1 valve required for water line bends near lots 78 and 54.

Drainage Report

1. Provide calculations for required spillway widths.

Planning and Zoning Division

Final plat

1. Provide CCR's and Title report.
2. On APPROVED section revise Director of Planning and Zoning to *Director of Development Service*.
3. Retention basin to be dedicated to The City of San Luis as a tract, provide tract area.
4. Provide open space calculations as per Zoning Ordinance Section 18.25.040 Table No. 2.
5. Revise street name from "Rosalina Lane" to "*Santa Rosalina Lane*".
6. Revise street name from "Ana Covarrubias Place" to "*Santa Ana Place*".
7. There are two "Willow Avenues" please clarify or revise accordingly.
8. On lot 55 please revise "480' NAE".
9. Provide 1' NAE on the rear of lot 59-86.

Improvement plans

1. Submit landscaping plans as per Zoning Ordinance Chapter 18.90.
2. As per current Subdivision Regulations subdivider will take such actions as may be necessary to form, establish and include the subdivision in an improvement district.
3. Submit Storm Water Pollution Prevention Plan.
4. Provide striping plan for County 24th 1/2 and 20th Avenue.
5. Provide finish grade for lots.
6. Sheet C1.0 Remove water lines on Saguaro Lane and 20th Avenue.
7. 20th Avenue connection to be built to the normal cross section including sidewalks to match north existing section, providing sidewalk connectivity between residential subdivisions. These improvements can be coordinated with the property to the north or subject to payback agreement provisions of Section 15.10.130 (C) of the City Code.
8. As a suggestion, a pedestrian path on the back side of the retention basins would keep moisture away from walls and allows recreation use.

Water and sewer plans

1. Submit ADEQ permits.
2. Provide on plans, sewer and water line lengths and slopes as necessary.
3. Provide fire hydrant street markers as per COY Std No. 5-160.
4. Connect water line on County 24 ½ street from 20th Avenue to Saguaro Avenue, 10" line for mid -section line road.
5. Confirm water and sewer crossings are adequate as per COY Std. No. 5-005 vertical separation. Water over sewer 2' or less separation requires C909.
6. Sanitary sewer manholes need to be polymer manholes as per City of San Luis Supplement to the MAG Uniform standard Specifications.

Public Works Department

General

1. Assure design meets City of San Luis Standards. Any deviations from City Standards need City of San Luis approval prior to incorporating into the design. Update General Note No. 1 to reflect this. Yuma Co. spillway is acceptable.
2. Provide Traffic Study for this project. As a suggestion, traffic study can be worked in conjunction with Comite development to the west of Belleza del Desierto Unit III.

Grading

1. Suggest that CMU wall callout be modified so that the 6 foot height requirement is on the side of highest elevation.
2. The City uses dual mast arm street lights next to retention basins. Final street light design will coordinated with APS.

Water and sewer

1. Install 10" water line along Co. 24 ½ Street across subdivision.
2. Some water valves on the main line can be eliminated. Please coordinate with staff.
3. Sewer collector on 20th Avenue shall extend to Co. 24 ½ St.
4. Connection to existing manhole on San Fernando and 20th Avenue shall be using the core drill method and grouting shall be with polymer grout.

Yuma County Assessor's Office

1. The RETENTION BASIN is missing the size.
2. Is the RETENTION BASIN a TRACT? It does not state on the plat that it is.
3. There is no mention of the RETENTION BASIN being dedicated to the CITY OF SAN LUIS in the actual DEDICATION.

ADOT

The ADOT Southwest District requests the opportunity to review and comment on a traffic impact analysis (TIA) for the proposed subdivision. The TIA should meet the requirements of Section 240 of ADOT's Traffic Guidelines and Processes; this information can be found at the following location: azdot.gov/business/engineering-and-construction/traffic/guidelines-and-processes. The TIA would allow the Department the chance to assess the effects the increased traffic from the proposed development would have on the state highway system and the intersection of Ave E and SR 195."

Yuma County Airport Authority

The property is near Rolle Airfield where aviation activity is expected to increase in the future. Residents are likely to experience noise and over flights. The City, public and airport shall be held harmless from effects that may be caused by aviation operations. Additionally, due to the military flight path and close proximity to restricted air space corridors surrounding this area, any development needs to coordinate with the MCAS Yuma Community Planning and Liaison Division for comment. This will alleviate any potential future problems which may adversely affect development or limit the use of that approach into the MCAS Yuma/Yuma International Airport.

Please be advised that the comments made here are tentative in nature. Until all documentation, information, and drawings are submitted and approved in final form, and all permits for construction are approved and issued, the City of San Luis reserves the right to make further comments or require further information or submissions. Any construction which occurs prior to issuance of proper permits is occurring in contravention of the ordinances of the City and is occurring at the risk of the Developer.

If you have any questions on these comments, please contact the Development Services Department at 928-341-8563 extension 2064.

Thank you,

Juan Tejada
Associate Planner

