



## **NOTICE OF REGULAR PLANNING AND ZONING COMMISSION MEETING**

In accordance with Section 38-431.01 of the Arizona Revised Statutes of the State of Arizona, notice is hereby given to the Members of the Planning and Zoning Commission and to the general public that the Planning and Zoning Commission of the City of San Luis, Arizona will hold a Regular Planning & Zoning Commission Meeting at 6:00 p.m., Tuesday, May 13, 2025. The meeting will take place at the City Council Chambers, located at 1090 E. Union Street, San Luis, Arizona, 85349. Everyone from the public is invited to attend the open meeting.

In accordance with the Americans with Disabilities Act (ADA) and Section 504 of the Rehabilitation Act of 1973, the City of San Luis does not discriminate on the basis of disability in the admission of or access to, or treatment of employment in its programs, activities, or services. For information regarding rights and provisions of the ADA or Section 504, or to request reasonable accommodations for participation in City programs, activities or services contact: ADA/Section 504 Coordinator, City of San Luis Human Resources Department, 1090 E Union Street, San Luis, Arizona 85349; (928) 341-8520.

Notice is hereby given that pursuant to A.R.S. §1-602.A.9, subject to certain specified statutory exceptions, parents have a right to consent before the State or any of its political subdivisions make a video or audio recording of a minor child. Meetings of the Commission are audio and/or video recorded, and, as a result, proceedings in which children are present may be subject to such recordings. Parents in order to exercise their rights may either file written consent with the City Clerk to such recordings, or take personal action to ensure that their child or children are not present when a recording may be made. If a child is present at the time a recording is made, the City will assume that the rights afforded parents pursuant to A.R.S. §1-602.A.9 have been waived.

THIS NOTICE IS GIVEN BY:

/s/ Roman Pacheco, Planning Coordinator

## **AVISO DE JUNTA REGULAR DE LA COMISIÓN DE PLANEACIÓN Y ZONIFICACIÓN**

De acuerdo a la Sección 38-431.01 de los Estatutos Revisados del Estado de Arizona, se les informa a los Miembros de la Comisión de Planeación y Zonificación y al público en general que la Comisión de Planeación y Zonificación de San Luis, Arizona, tendrán una junta regular a las 6:00 p.m., el día Martes, 13 de Mayo del 2025. La junta se llevará a cabo en la Sala del Cabildo de la ciudad, ubicado en el 1090 E Union Street, San Luis, Arizona, 85349. El público esta cordialmente invitado.

De acuerdo con el Acta de Americanos con Discapacidades y la Sección 504 del Acta de Rehabilitación de 1973, la Ciudad de San Luis no discrimina por causa de discapacidad la admisión y acceso a sus programas, actividades, servicios o en el trato en cuanto a empleo. Para más información referente a derechos y provisiones del Acta de Americanos con Discapacidades o Sección 504, o para solicitar adaptaciones que sean razonables para la participación en programas, actividades o servicios de la ciudad, contactar a: Coordinador del Acta de Americanos con Discapacidades/Sección 504, Departamento de Recursos Humanos de la Ciudad de San Luis, 1090 E Union Street, San Luis, Arizona, 85349; (928) 341-8520.

Por medio de éste aviso y de acuerdo con los Estatutos Revisados del Estado de Arizona, sujeto a ciertas excepciones reglamentarias, los padres de familia tienen el derecho de dar o no dar el consentimiento ante el Estado o alguna subdivisión política grabe a un menor de edad, ya sea en audio o video. Las juntas de la Comisión se graban en audio y/o video y como resultado, el hecho de que haya menores presentes puede ser sujeto a que sean grabados. Para que los padres de familia puedan ejercer sus derechos pueden solicitar por escrito a la Secretaria de la Ciudad dicha grabación, o tomar acción personal para asegurarse que su hijo/hija menor no esté presente cuando la grabación se lleve a cabo. Si un menor de edad está presente en el momento de la grabación, la Ciudad asumirá que los padres de familia están cediendo los derechos sobre una posible grabación de acuerdo con el Estatuto Revisado del Estado de Arizona §1-602.A.9.

ESTE AVISO ES DADO POR:

/f/ Roman Pacheco, Cordinador de Planeación



**AGENDA**  
**Planning & Zoning Commission**  
**Regular Meeting**  
**San Luis Council Chambers**  
**1090 E. Union Street**  
**San Luis, AZ 85349**  
**Tuesday, May 13, 2025**  
**6:00 P.M.**

**MEMBERS OF THE SAN LUIS PLANNING & ZONING COMMISSION WILL ATTEND EITHER IN PERSON, TELEPHONE, OR VIDEO CONFERENCE COMMUNICATION.**

**1. CALL TO ORDER/ROLL CALL**

**2. PLEDGE OF ALLEGIANCE**

**3. CONSENT AGENDA**

All matters are considered to be routine by the Planning & Zoning Commission and will be enacted by one motion. If discussion is desired, that item will be removed from the Consent Agenda and will be considered separately.

**3. A. APPROVAL OF MINUTES**

-Regular Planning and Zoning Commission meeting held on March 11, 2025.

**4. PUBLIC HEARINGS** – the Planning & Zoning Commission will be considering a vote or action on the following cases. Any vote or action will be considered separately for each case.

**4. A.** Public hearing followed by discussion and possible action on any and all matters regarding Conditional Use Permit Case No. 2025-0095. A request by Yuma Regional Medical Center-Onvida Health, owner, for a Conditional Use Permit to allow the construction of an approximately 62,000 square feet hospital and attached walk in clinic at Assesors Parcel Number 226-02-012 in San Luis, Arizona.

A. Open public hearing

1. Staff presentation

2. Call to the Public on this item

B. Close public hearing

C. Action on Conditional Use Permit Case No. 2025-0095

**5. ADJOURNMENT**



## AGENDA ITEM REVIEW FORM

3. A.

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Summary

**APPROVAL OF MINUTES**

-Regular Planning and Zoning Commission meeting held on March 11, 2025.

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Attachments

Minutes

## **MINUTES**

REGULAR MEETING  
PLANNING AND ZONING COMMISSION  
SAN LUIS COUNCIL CHAMBERS  
1090 E. UNION STREET  
MARCH 11, 2025  
6:00 p.m.

**1. CALL TO ORDER /ROLL CALL:** Chairman Ruben Walshe called the meeting to order at 6:00 p.m.

### **PRESENT:**

Chairman Ruben Walshe  
Vice Chairman Angelica Ortiz  
Commission Member Hugo Garcia  
Commission Member George Amaya

### **ABSENT:**

Commission Member Javier Barraza  
Commission Member Marco A. Pinzon  
Commission Member Veronica Zavala

### **OTHERS PRESENT:**

Jose A. Guzman, Director of Development Services  
Roman Pacheco, Planning Coordinator  
Carlos A. Berumen, Office Assistant  
Jaime Frias, I.T.  
Jose Antonio Maldonado, Multimedia Production & Operations Specialist  
Juan Leal Rubio, Assistant Director of Development Services  
Juan Tejeda, Associate Planner  
Sonia Cornelio, City Clerk

## **2. PLEDGE OF ALLEGIANCE**

Commission Member Hugo Garcia led the Pledge of Allegiance.

### 3. CONSENT AGENDA

#### 3. A. APPROVAL OF MINUTES

-Regular Planning and Zoning Commission meeting held on January 14, 2025.

**MOTION: Commission Member Hugo Garcia / Commission Member George Amaya** approved the consent agenda as presented. The motion passed unanimously.

The vote was as follows:

Chairman Ruben Walshe	Aye
Vice Chairman Angelica Ortiz	Aye
Commission Member Hugo Garcia	Aye
Commission Member George Amaya	Aye

### 4. ITEMS REQUIRING DISCUSSION AND/OR ACTION

#### 4. A. Presentation followed by discussion on any and all matters regarding the City of San Luis Final Draft Subdivision Regulations.

##### A. Staff Presentation

**Juan Leal Rubio, Assistant Director of Development Services**, informed that the Department of Development Services of the City of San Luis is updating the subdivision regulations. The City of San Luis adopted the existing subdivision regulations in 2002 based on Yuma County's 1992 subdivision regulations. This proposed new draft is intended to align with the State Statute, meet current infrastructure needs, and support smarter growth and enhanced community planning principles. The subdivision draft is being reviewed by stakeholders, the public, and the Planning and Zoning Commission before being presented to the city council. Furthermore, Mr. Leal Rubio summarized the staff report and explained the timeline to the commission members. **Mr. Leal Rubio** also mentioned that staff received one comment concerning cluster mailboxes that will be addressed during the stakeholder meeting. Any feedback or comments we receive will be evaluated by staff, presented to the commission, and included if there is a consensus to

include it on the final draft subdivision regulations that would ultimately be given to the City Council on April 23, 2025, for final approval and adoption.

**Commission Member George Amaya** asked staff about the stakeholders to whom you provided the draft. **Mr. Leal Rubio** responded that the stakeholders include developers who are heavily involved with community development, engineers, and contractors. **Amaya** further asked if any of the stakeholders include other government agencies and municipalities as far as the review of the draft. **Mr. Leal Rubio** responded that staff did not include other agencies; however, the campaign to outreach has been available online, and anyone can review and provide comments through the online source.

**Vice Chairman Angelica Ortiz** asked what comment or concern the staff received. The concern received has to do with cluster mailboxes. The question was whether we would, under this new subdivision regulation, will the mail be delivered to new subdivisions. If the city makes this a requirement, developers will have to install the cluster mailboxes, and then the post office would provide to these new subdivisions. **Mr. Leal Rubio** stated that the staff is looking into this matter and will probably have an answer by Thursday.

## 6. ADJOURNMENT

**MOTION: Commission Member Hugo Garcia / Vice Chairman Angelica Ortiz** to adjourn the regular meeting at approximately 6:07 p.m. The motion passed unanimously.

The vote was as follows:

Chairman Ruben Walshe	Aye
Vice Chairman Angelica Ortiz	Aye
Commission Member Hugo Garcia	Aye
Commission Member George Amaya	Aye

APPROVED:

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Ruben Walshe, Chairman

ATTEST:

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Roman Pacheco, Planning Coordinator

CERTIFICATION

I HEREBY CERTIFY THAT THE FOREGOING MINUTES ARE A TRUE AND CORRECT COPY OF THE MINUTES OF THE REGULAR PLANNING AND ZONING COMMISSION MEETING OF THE PLANNING AND ZONING COMMISSION, SAN LUIS, ARIZONA, HELD ON MARCH 11, 2025. I FURTHER CERTIFY THE MEETING WAS DULY CALLED AND HELD, AND A QUORUM WAS PRESENT.

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Roman Pacheco, Planning Coordinator



## PLANNING & ZONING AGENDA ITEM REVIEW FORM

### Planning & Zoning Commission Meeting

4. A.

**Meeting Date:** 05/13/2025

**Submitted By:** Juan Tejeda, Associate Planner, Development Services, Planning & Zoning

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#### ITEM:

Public hearing followed by discussion and possible action on any and all matters regarding Conditional Use Permit Case No. 2025-0095. A request by Yuma Regional Medical Center- Onvida Health, owner, for a Conditional Use Permit to allow the construction of an approximately 62,000 square feet hospital and attached walk in clinic at Assesors Parcel Number 226-02-012 in San Luis, Arizona.

- A. Open public hearing
  - 1. Staff presentation
  - 2. Call to the Public on this item
- B. Close public hearing
- C. Action on Conditional Use Permit Case No. 2025-0095

#### SUMMARY:

The purpose of this request is to allow an approximately 62,000 square feet hospital with an attached walk-in clinic, Onvida Health San Luis Neighborhood Hospital, to be located on Assessor Parcel Number 226-02-012. The property is zoned as Community Commercial (C-2). The Conditional Use Permit is required as per Zoning Ordinance §18.35.030 (C)(1) &(C)(3).

Under the Community Commercial (C-2) zoning district, the use for hospital is listed as a conditional use, also any use with a gross area larger than 50,000 square feet (proposed 62,000 square feet) requires a Conditional Use Permit.

#### Existing adjacent Zoning Districts:

- To the north Community Commercial (C-2). Vacant undeveloped land.
- To the south Medium-Density Residential (R1-6). Los Portales del Alamo Subdivision.
- To the west Manufactured Home (MH). Rancho Los Oros Subdivision.
- To the east Community Commercial (C-2). Existing commercial properties.

#### CITIZEN REVIEW MEETING:

The Citizen Review Meeting was held on May 6, 2025 at City Hall Council Chambers at 6:00 p.m. The intent of this meeting was to allow the public to learn about the project, ask questions, and express any comments. There were no people from the public present.

#### GENERAL PLAN:

This area is designated as Mixed-Use Activity Center in the City of San Luis 2040 General Plan. The Mixed-Use Activity Center Land Use Designation is intended to provide for the primary community focal areas and includes a wide range of residential, office, commercial and employment uses. The property is zoned as Community Commercial (C-2) and the proposed use is a medical facility; the zoning and the proposed use are appropriate in the Mixed-Use Activity Center designation.

#### AGENCY REVIEW:

As part of the review process, all land use cases are reviewed by various City and outside agencies. We have received no comments.

As required by State Statute, staff sent notification letters to property owners within 300 feet of the proposed project (145 letters). The City has not received any significant concerns or objections from the various review agencies or adjacent property owners.

**STAFF RECOMMENDATION:**

The applicant has provided the information and materials necessary for review of the Conditional Use Permit.

The Conditional Use Permit is to allow a hospital over 50,000 square feet in size to be located at Assessor Parcel Number 226-02-012, a property zoned Community Commercial (C-2).

Staff recommends approval of Conditional Use Permit Case No. 2025-0095 with the following conditions:

1. The approach and departure paths for the helipad shall be designed to avoid noise-sensitive land uses, including, but not limited to, residential areas, educational institutions, places of worship, libraries, and long-term care facilities (e.g., retirement and nursing homes). Where feasible, flight paths should be aligned with major transportation corridors to minimize community impact.
2. Prior to the issuance of a Certificate of Occupancy for the hospital, the applicant shall provide a letter of determination from the Federal Aviation Administration indicating no objection, whether unconditionally or with conditions, to the proposed helipad facility.
3. Regulatory Compliance: The helipad facility shall be developed and operated in full compliance with all applicable federal, state, and local regulations.

**RECOMMENDED MOTION:**

**I MOVE TO RECOMMEND APPROVAL OF CONDITIONAL USE PERMIT CASE NO. 2025-0095 TO THE CITY COUNCIL WITH LISTED CONDITIONS AS PRESENTED BY STAFF.**

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**Attachments**

Presentation  
Location Map  
Site Plan  
Aerial

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# Planning and Zoning Commission

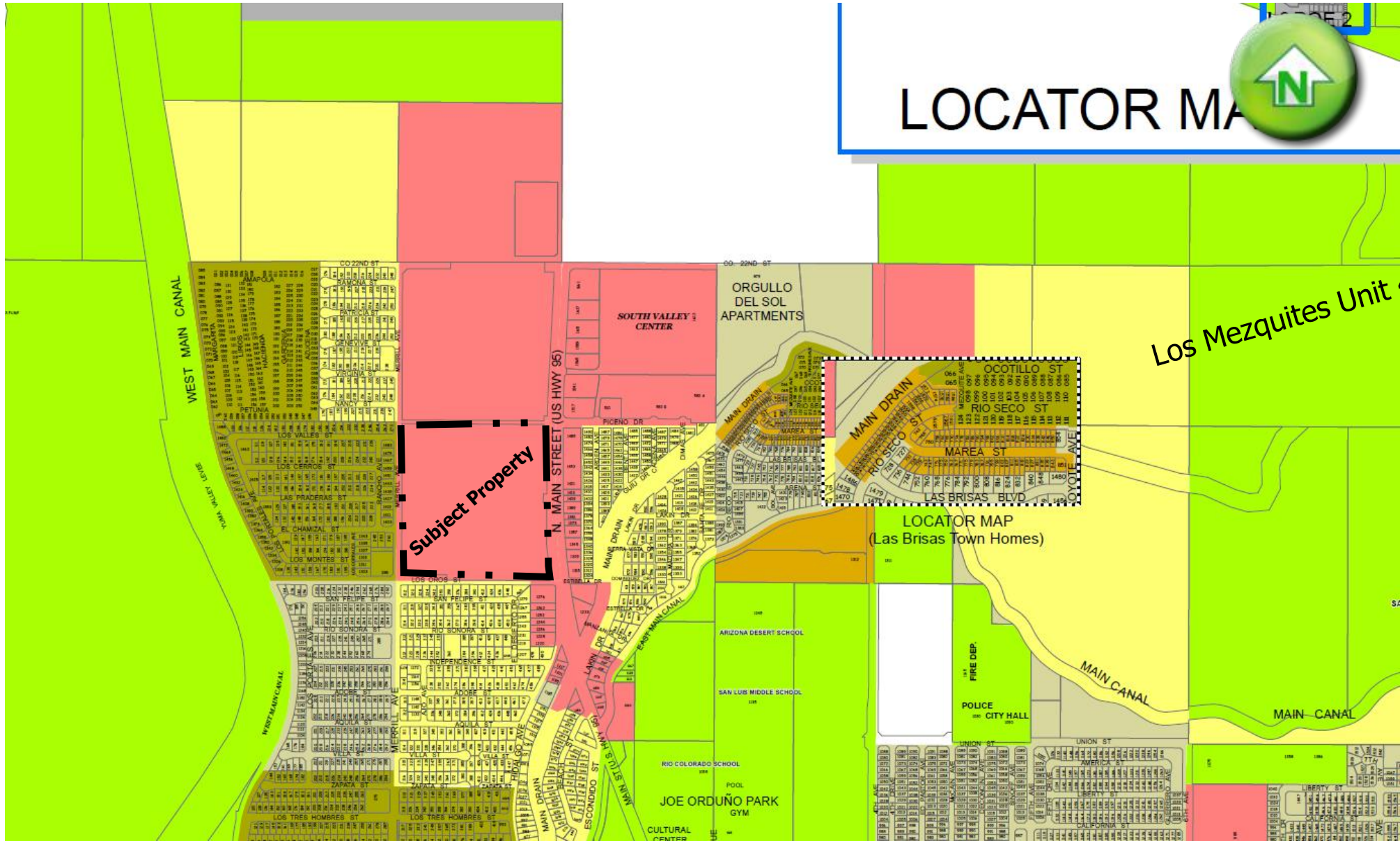
May 13, 2025

## **Onvida Health San Luis Hospital**

- Request: YRMC-Onvida Health has applied for CUP2025-0095 seeking to allow the approval of a new medical complex.
- Location: SW Corner of Piceno Drive and Highway 95 and Main Street (Hwy 95). APN 226-02-012, San Luis, Arizona.
- Summary: The medical complex will consist of a new approx. 62,000 sq ft hospital and attached walk in clinic with a ground-level Helipad. Proposal also consist of leaving room on the property for future medical office buildings. The subject property is approximate 37 net acres in size, zoned Community Commercial (C-2).

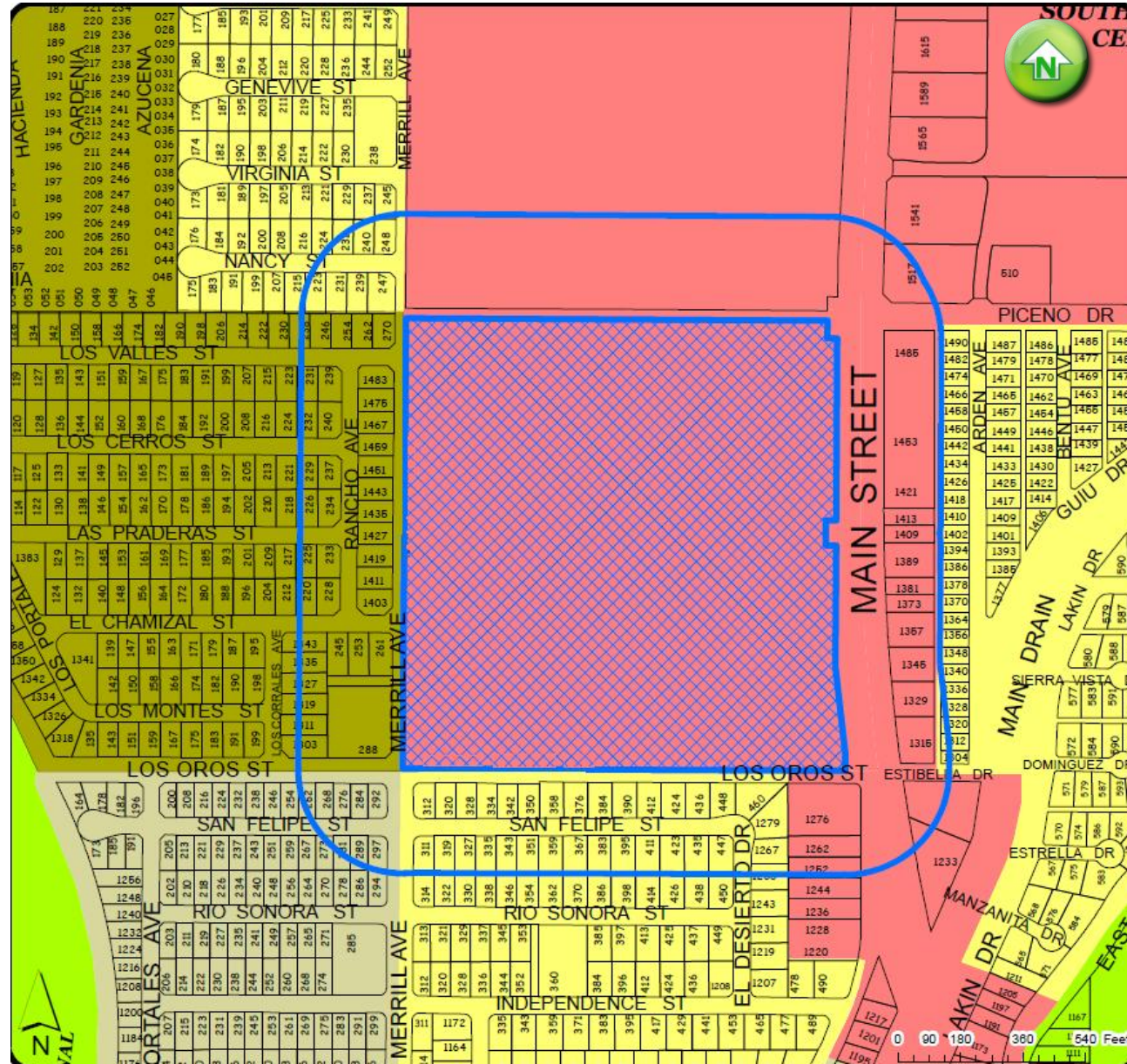
# Onvida Health San Luis Hospital

## LOCATOR MAP

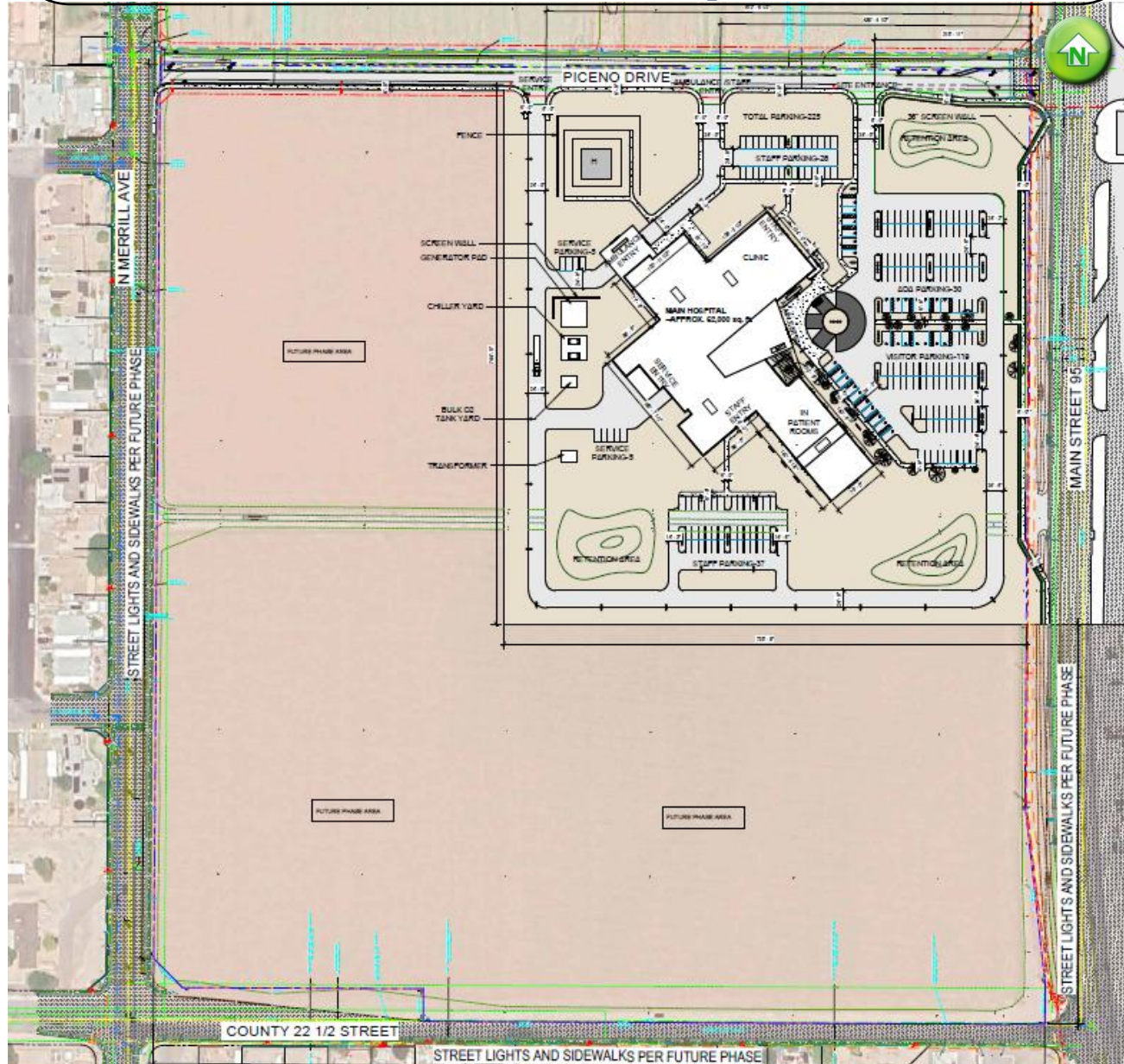


Los Mezquites Unit 4

# Onvida Health San Luis Hospital



# Onvida Health San Luis Hospital



# Onvida Health San Luis Hospital



**Onvida Health  
San Luis Hospital**



**Looking west from subject property**

# Onvida Health San Luis Hospital



**Looking east from subject property**

# Onvida Health San Luis Hospital



**Looking north from subject property**

# **Onvida Health San Luis Hospital**



**Looking south from subject property**

**Onvida Health  
San Luis Hospital**

Public Hearing Schedule:

Citizen Review Meeting: Tuesday, May 6<sup>th</sup> at 6:00 p.m.

Planning and Zoning Commission: Tuesday, May 13<sup>th</sup> at 6:00 p.m.

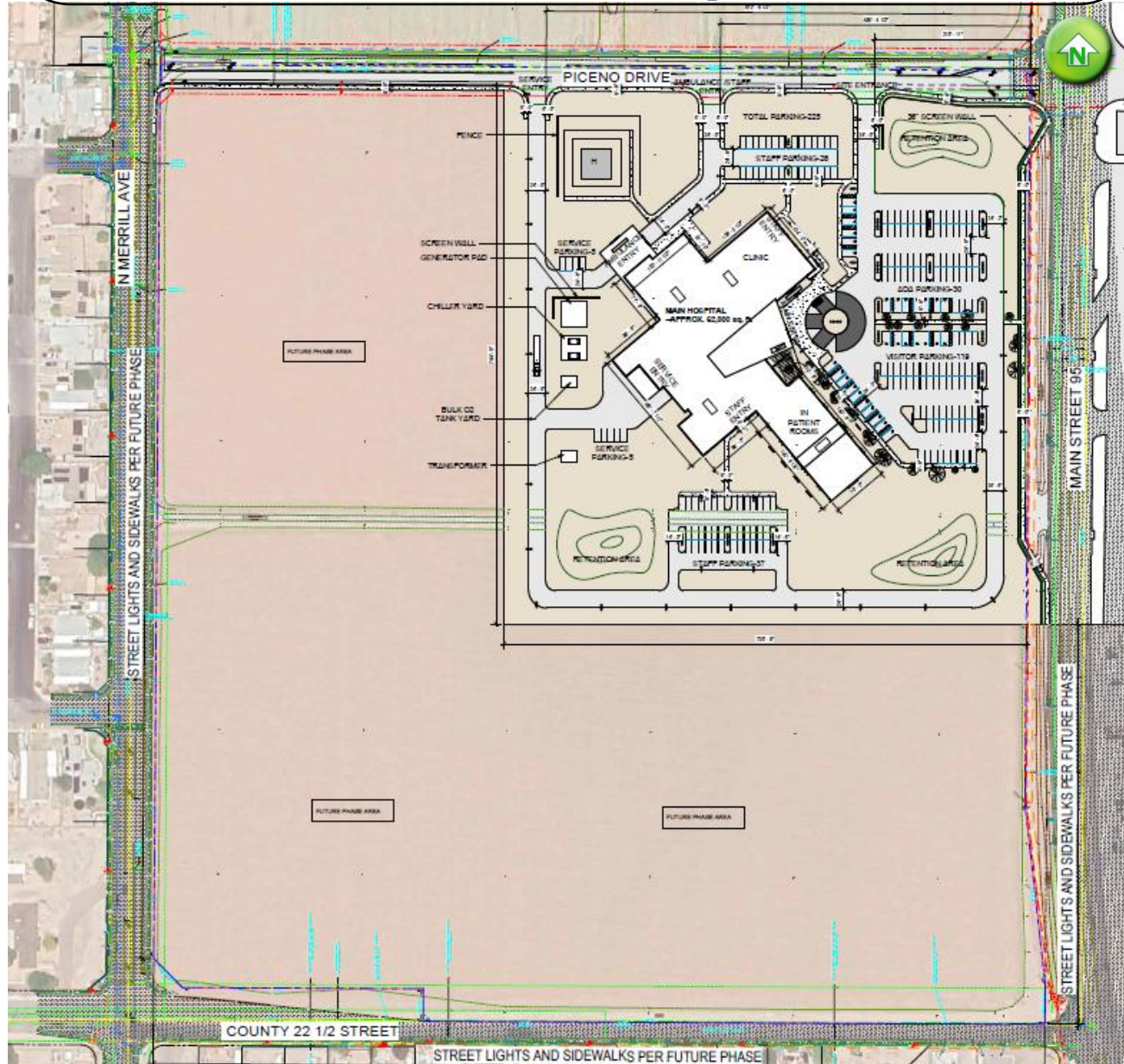
City Council: Wednesday, June 11<sup>th</sup> at 6:00 p.m.

**Onvida Health  
San Luis Hospital**

**Staff recommends approval of CUP2025-0095 with the following conditions:**

1. **Helipad Flight Path:** The approach and departure paths for the helipad shall be designed to avoid noise-sensitive land uses, including, but not limited to, residential areas, educational institutions, places of worship, libraries, and long-term care facilities (e.g., retirement and nursing homes). Where feasible, flight paths should be aligned with major transportation corridors to minimize community impact.
2. **FAA Determination Required:** Prior to the issuance of a Certificate of Occupancy for the hospital, the applicant shall provide a letter of determination from the Federal Aviation Administration indicating no objection—whether unconditionally or with conditions—to the proposed helipad facility.
3. **Regulatory Compliance:** The helipad facility shall be developed and operated in full compliance with all applicable federal, state, and local regulations.

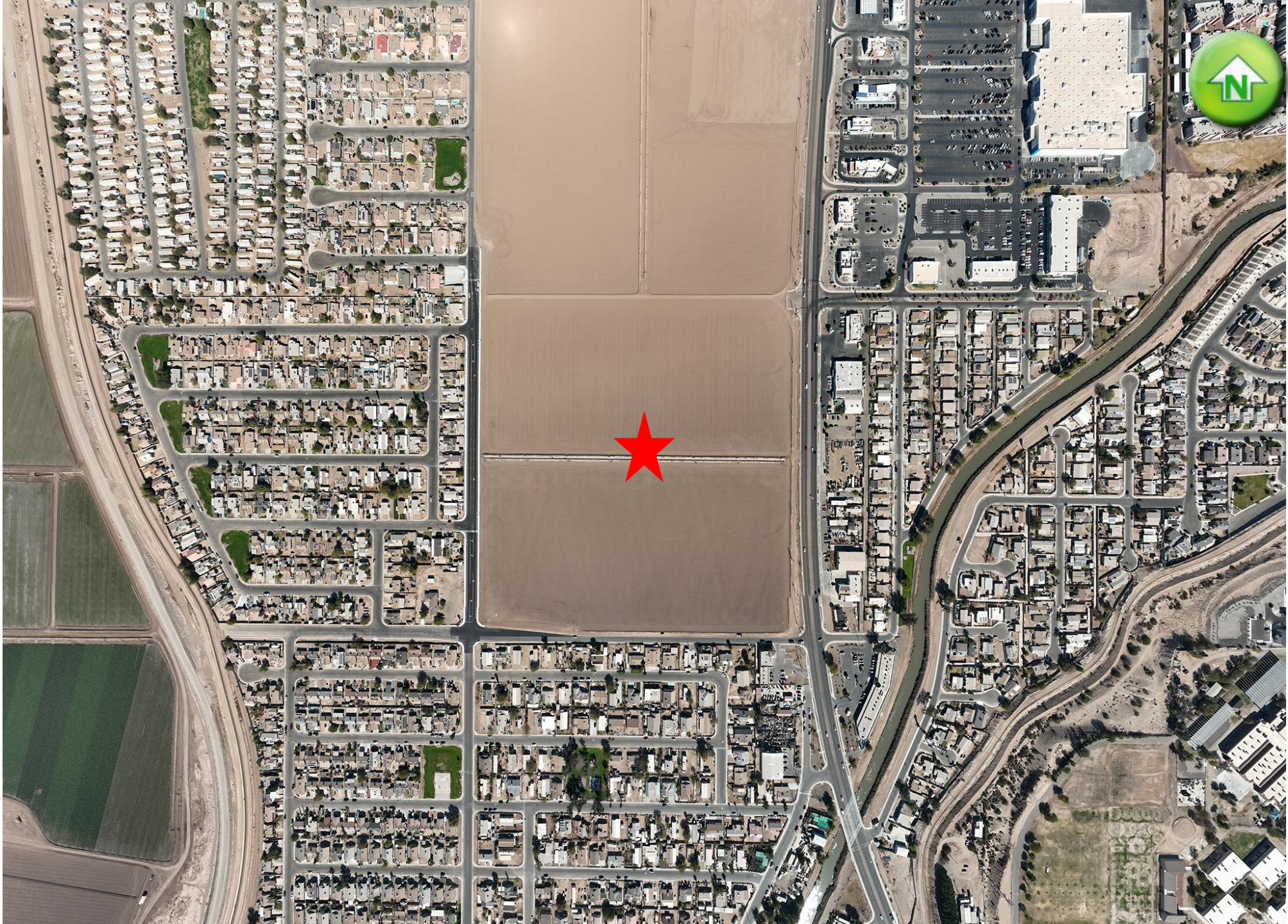
# Onvida Health San Luis Hospital

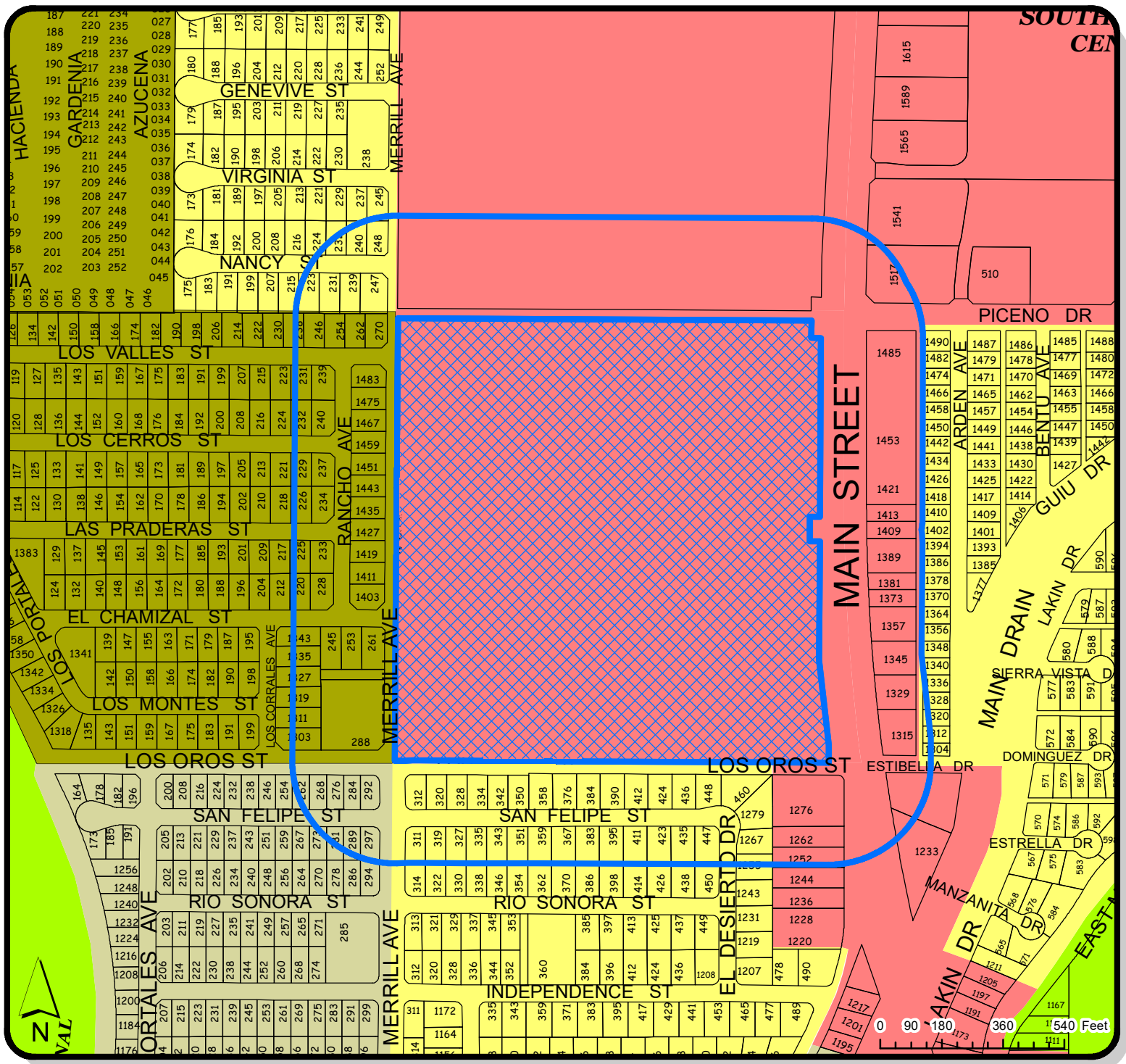

















**LOCATION OF SUBJECT PROPERTY**

-  PARCEL ID:22602012
-  300FT NOTIFICATION BUFFER

**LOCATION MAP**

- Zoning**
- COMMERCIAL ZONING DISTRICTS
    -  C-2
  - MANUFACTURED HOME ZONING DISTRICTS
    -  MH
  - MULTIPLE RESIDENCE ZONING DISTRICTS
    -  R-2
  - SINGLE RESIDENCE ZONING DISTRICTS
    -  R-8-10
    -  R-14

**CONDITIONAL USE**

**CASE #**  
**2025-0095**

**DATE:**  
**3/27/2025**

**CHECKED BY:**  
**JUAN TEJEDA**

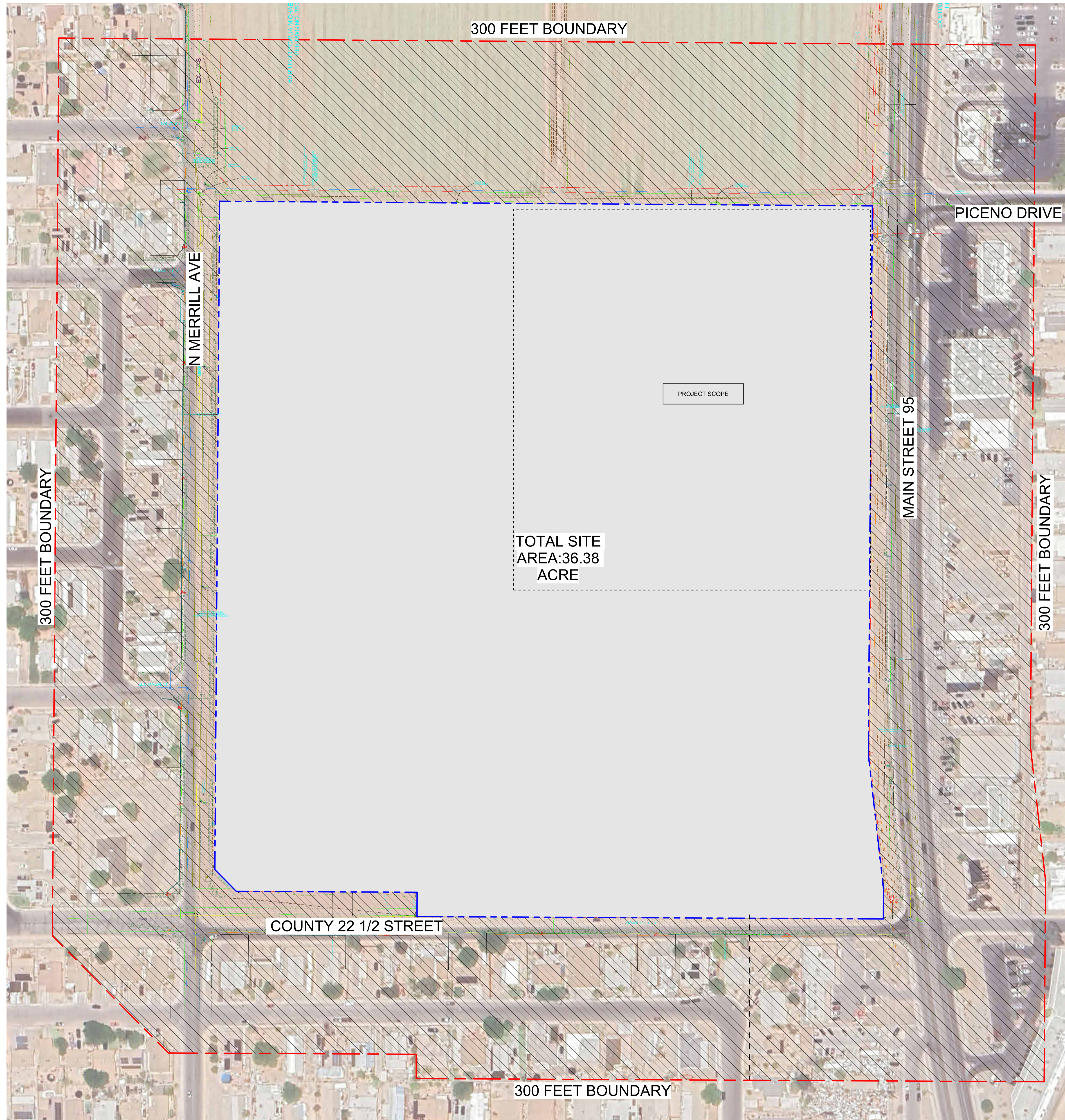
**PLANNING & ZONING**



**GIS**

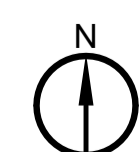
**CREATED BY:**  
**ISAAC GUTIERREZ**

**APPROVED BY:**  
**JOSE A. GUZMAN**



OVERALL SITE CONTEXT PLAN

Scale is 1" = 80'-0" when printed on full size sheet.



GENERAL SHEET NOTES

- A. CONTRACTOR SHALL REMOVE ALL EXISTING VEGETATION, SITE IMPROVEMENTS, ETC. WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS TO FACILITATE THE COMPLETION OF ALL REQUIRED NEW WORK. CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL QUANTITIES AND ITEMS THAT ARE REQUIRED TO BE REMOVED PRIOR TO SUBMITTAL OF THIS PROPOSAL.
- B. SLOPE ALL GRADES AND PAVEMENT AWAY FROM BUILDING(S) TO PROVIDE POSITIVE DRAINAGE, UNLESS NOTED OTHERWISE.
- C. FINISH GRADE AT SIDEWALKS, BUILDINGS, ETC., AS REQUIRED TO PROVIDE SMOOTH TRANSITION TO GRADE.
- D. ANGLES INDICATED ARE 45 DEGREES UNLESS NOTED OTHERWISE.
- E. CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE ON A CONTINUING BASIS FOR THE DURATION OF CONSTRUCTION.
- F. CONCRETE WALKS SHALL HAVE EXPANSION JOINTS AT A MAXIMUM SPACING OF 20 FEET O.C. AND CONTROL JOINTS AT 5 FEET O.C., UNLESS NOTED OTHERWISE.
- G. PERFORM ALL CLEARING, GRUBBING AND EARTHWORK IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, UNLESS MORE RESTRICTIVE REQUIREMENTS EXIST.
- H. SHOULD SLOPES OF GREATER THAN 1:20 (5%) OCCUR AT PAVEMENT LOCATIONS, NOTIFY ARCHITECT IMMEDIATELY.
- I. ALL PROPOSED IMPORTED FILL MATERIAL SHALL BE TESTED BY A QUALIFIED TESTING AGENCY TO VERIFY THAT IT MEETS ALL SPECIFICATION REQUIREMENTS PRIOR TO PLACING ON SITE.
- J. DIMENSIONS ARE TO OUTSIDE FACE OF STEM WALLS/FOUNDATIONS UNLESS NOTED OTHERWISE.
- K. ALL AREAS DISTURBED BY CONSTRUCTION, STAGING, ETC. SHALL BE RESTORED TO THEIR ORIGINAL CONDITION BY THE GENERAL CONTRACTOR. GENERAL CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING ORIGINAL CONDITION.
- L. ALL SIDEWALKS AT BUILDING ENTRYWAYS SHALL BE "KEYED" INTO BUILDING SLAB TO PREVENT DIFFERENTIAL MOVEMENT.

REFERENCE KEYNOTES

SHEET KEYNOTES

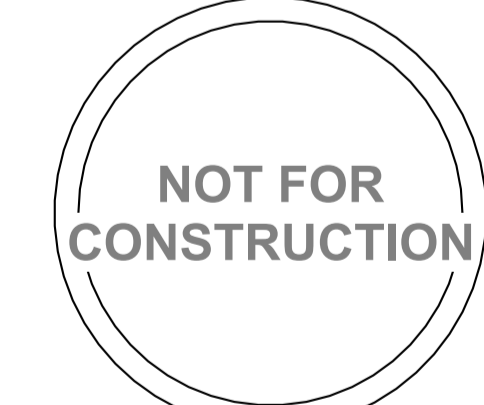
SITE PLAN LEGEND

- PROPERTY LINE
- 300 FEET LINE
- AREA COVERED IN 300 FEET RADIUS
- SITE PARCEL

© 2023 This final copy of electronic drawings is an authorized derivative of the project of record and shall remain the property of the project sponsor. This drawing is for informational purposes only and shall not be used for any other purpose without the express written consent of the project sponsor. The project sponsor shall be responsible for all errors and omissions. The project sponsor shall be responsible for all errors and omissions. The project sponsor shall be responsible for all errors and omissions.

**ONVIDA HEALTH**  
**NEIGHBORHOOD HOSPITAL - SAN LUIS**  
 San Luis, AZ 85349

SIGN / SEAL



OWP PROJECT NO. 2024\_565 DATE OF ISSUE 12.31.2023

PROJECT PHASE / ISSUED FOR Development Package

REVISIONS		
NUMBER	DESCRIPTION	DATE

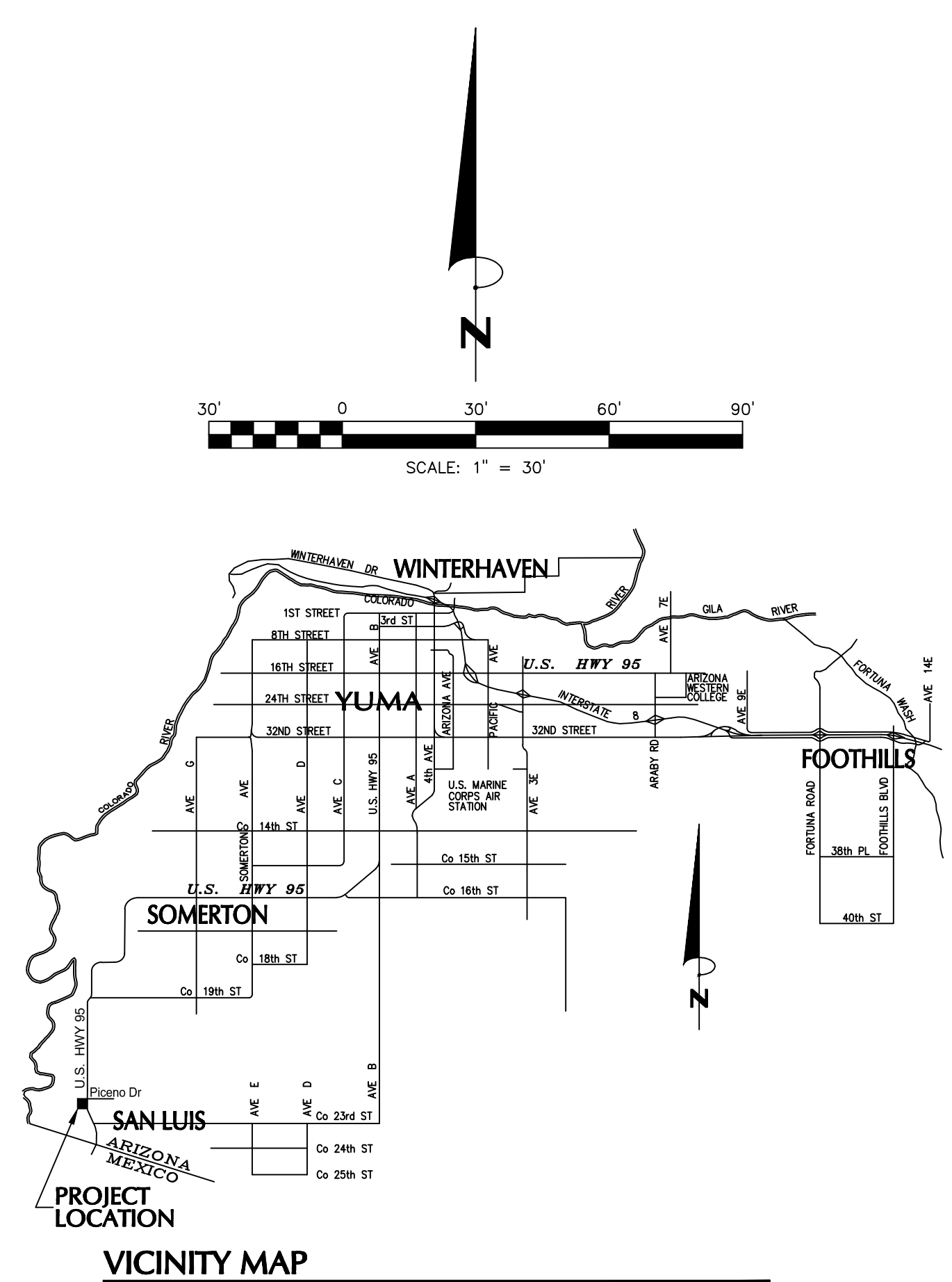
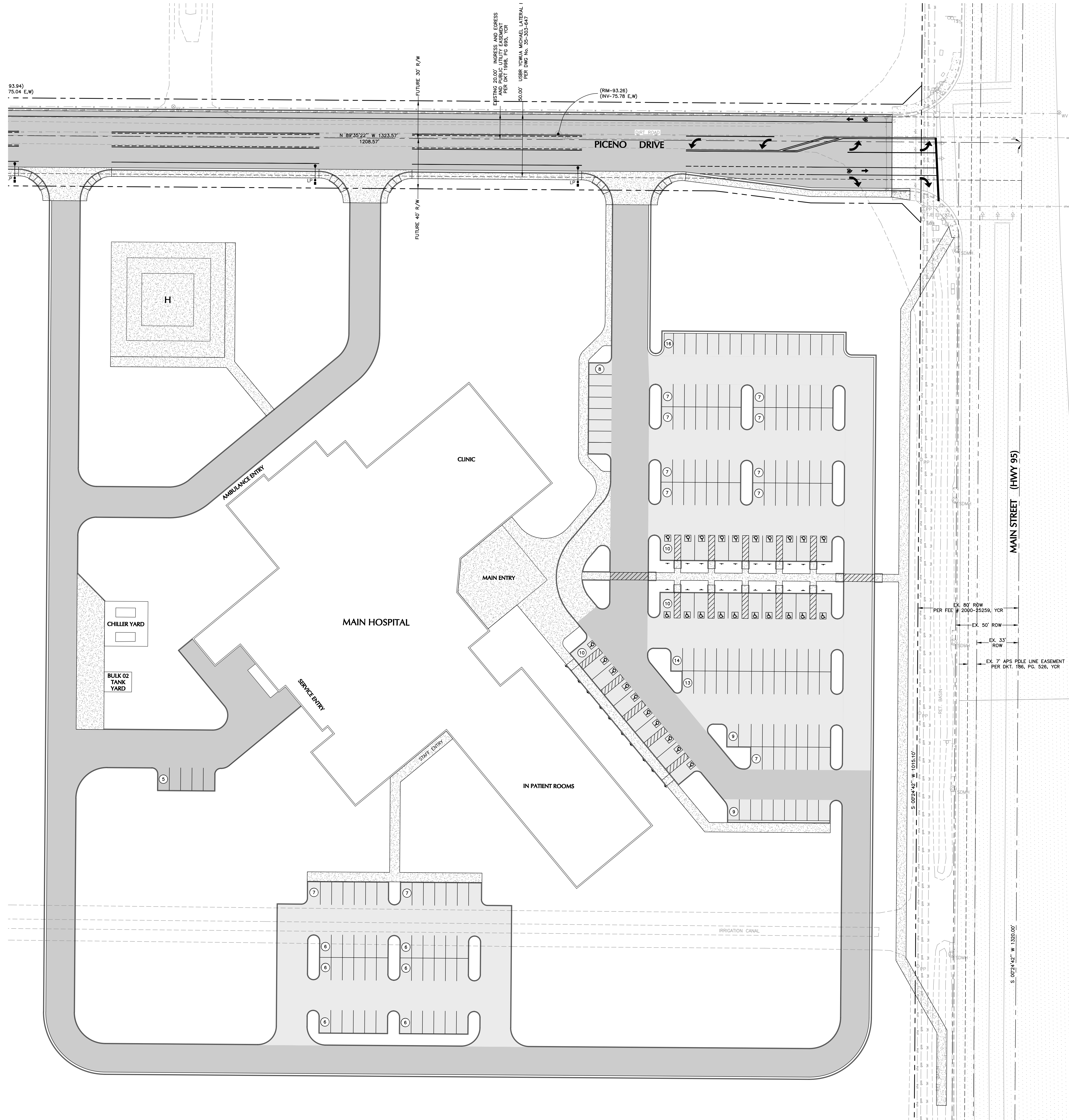
DRAWN BY Author

SHEET CONTENTS / TITLE  
 SITE CONTEXT PLAN

**AS102**

AGENCY NO. AHCA-123456.78





- NOTES**
- DIMENSIONS ARE FROM FACE OF CURB.
  - REFER TO BUILDING FLOOR PLANS, FOUNDATION PLANS AND WALL SECTIONS FOR COMPLETE DIMENSIONS OF BUILDING.
  - PRIOR TO CONSTRUCTION, CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN.
  - CONTRACTOR TO OBTAIN ENCROACHMENT PERMIT FOR ALL WORK WITHIN CITY OR COUNTY RIGHT-OF-WAY.
  - CONTRACTOR SHALL MAINTAIN ACCESS AT ALL TIMES.
  - CONTRACTOR TO PREPARE AND SUBMIT STORM WATER POLLUTION PREVENTION PLAN TO MEET ADEQ SPECIFICATIONS. NOTICE OF INTENT SHALL BE SUBMITTED TO ADEQ PRIOR TO THE BEGINNING OF ANY CONSTRUCTION ACTIVITY.

**BENCHMARK**  
PROJECT ELEVATIONS ESTABLISHED FROM GPS DERIVED ORTHOMETRIC HEIGHTS BY APPLICATION OF NGS GEOID MODELLED SEPARATIONS TO ELLIPSOID HEIGHTS DETERMINED BY OBSERVATIONS OF THE GPS REAL TIME NETWORK. ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).

**BASIS OF BEARINGS**  
BEARINGS ARE RELATIVE TO NAD 1983 US STATE PLANE COORDINATE SYSTEM (ARIZONA WEST) AS MEASURED BY KINEMATIC GPS OBSERVATIONS.

**SITE ADDRESS**  
XXXXX  
SAN LUIS, ARIZONA 85349

**ASSESSORS PARCEL NUMBER**  
226-02-012

**ZONING**  
C-2 (COMMUNITY COMMERCIAL)

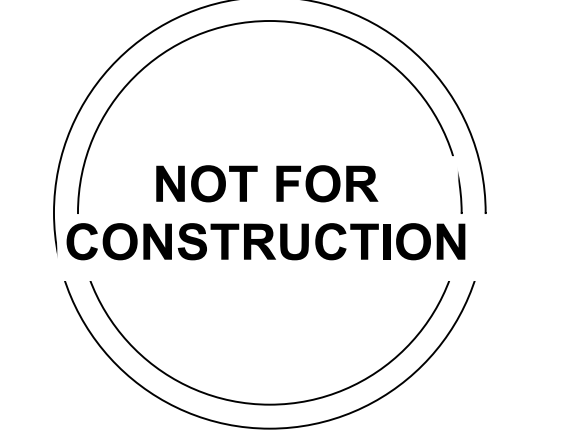
**PARCEL AREA**  
1,584,734 S.F. / 36.38 ACRES

**PARKING SPACE COUNT**  
PARKING SPACES = 187  
HC PARKING SPACES = 30  
TOTAL PARKING SPACES = 217

**FLOOD ZONE DESIGNATION**  
THE SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A FLOOD ZONE X DESIGNATION, ZONE X - AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR 1% DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD. REFERENCE - FLOOD INSURANCE RATE MAP (FIRM), MAP NUMBER 04027 C1820F, MAP EFFECTIVE JANUARY 16, 2014

ONVIDA HEALTH  
**THE NEIGHBORHOOD HOSPITAL**  
San Luis, AZ 85349

SIGN / SEAL



OWP PROJECT NO. 2024\_565 DATE OF ISSUE 3.14.2025

PROJECT PHASE / ISSUED FOR Development Package

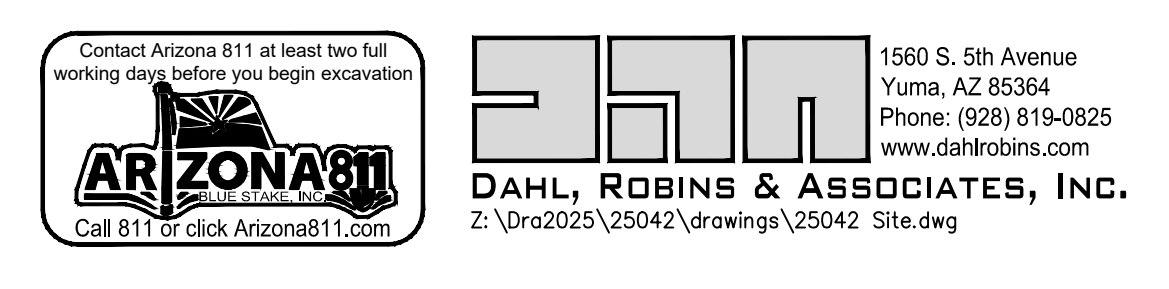
REVISIONS  
NUMBER DESCRIPTION DATE

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Author

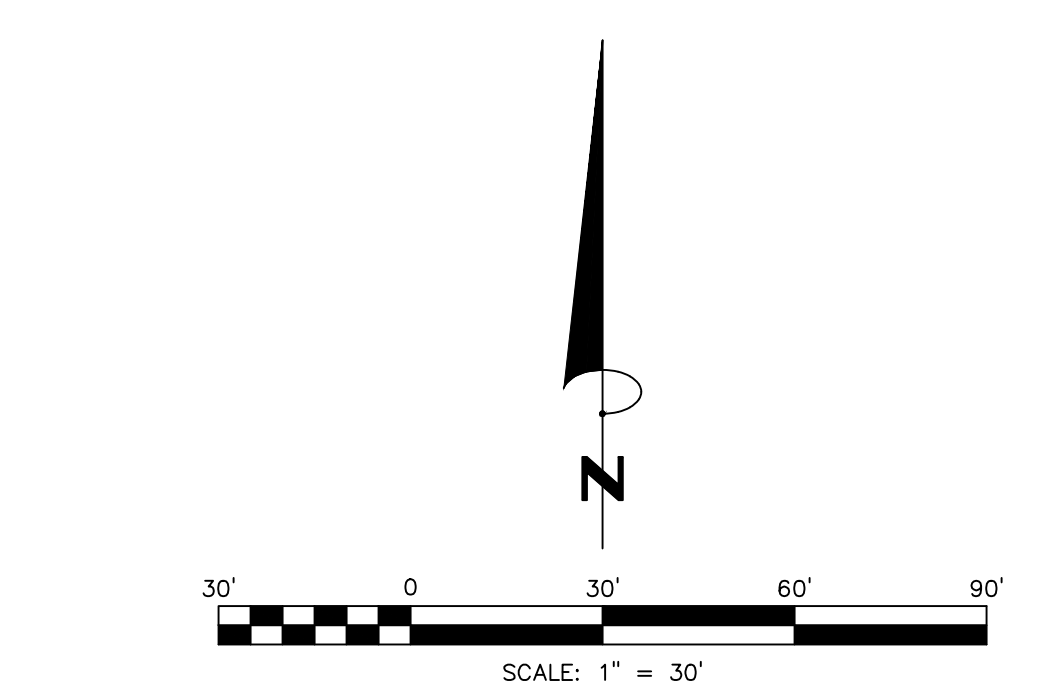
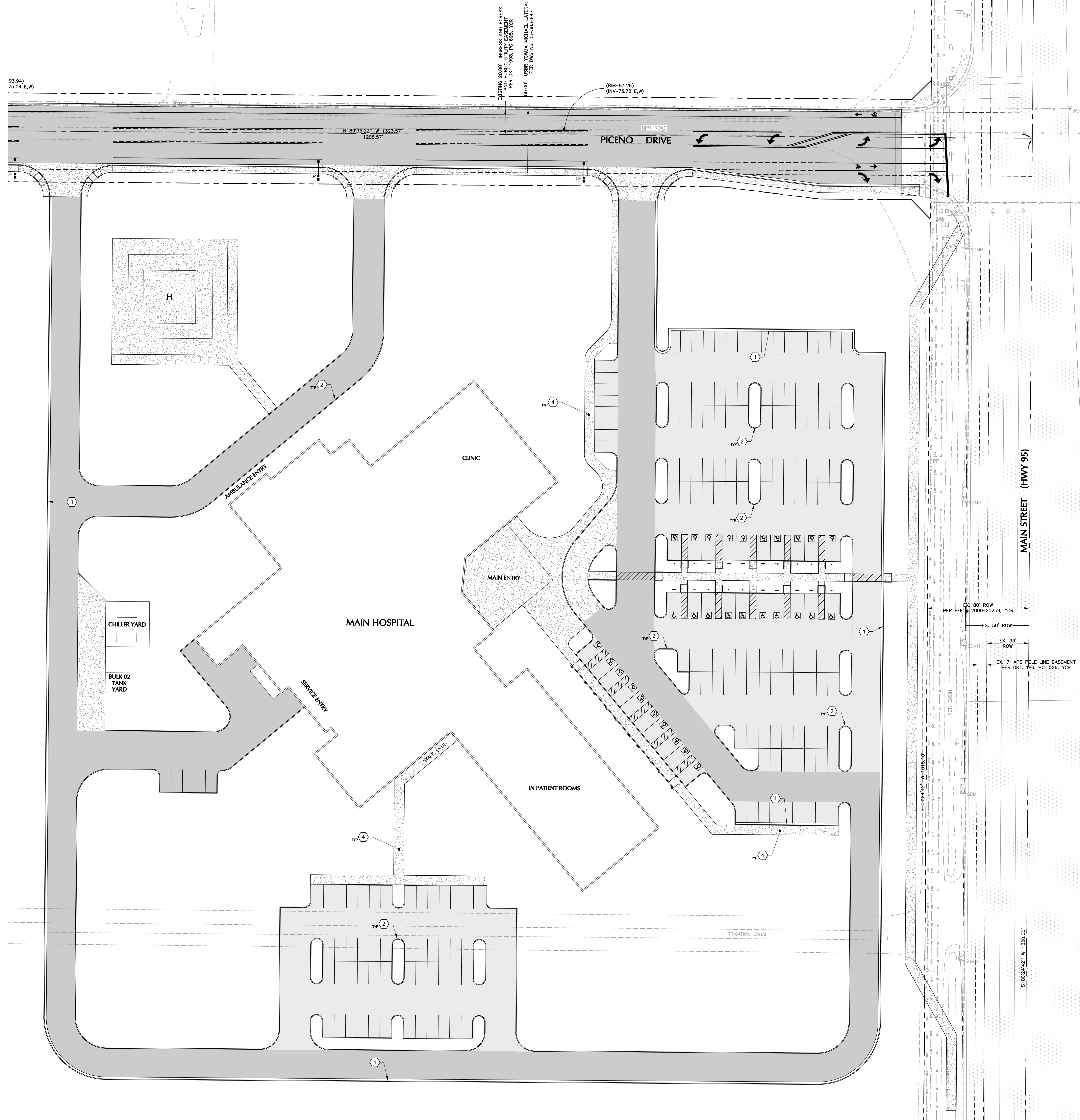
SHEET CONTENTS / TITLE  
SITE PLAN

**C-1.1**

AGENCY NO. AHCA-123456.78



3/14/2025 12:08 PM Z:\Dro2025\25042\Drawings\25042\_Site.dwg



- NOTES**
- ALL MATERIALS AND CONSTRUCTION HEREON SHALL CONFORM TO YUMA COUNTY STANDARDS SPECIFICATIONS & CONSTRUCTION STANDARDS UNLESS OTHERWISE SHOWN ON THESE PLANS.
  - ALL YUMA COUNTY REQUIRED COMPACTION AND LABORATORY TEST SHALL BE FURNISHED BY THE CONTRACTOR TO THE OWNER PRIOR TO THE ACCEPTANCE OF THE PROJECT.
  - CONTRACTOR TO MAINTAIN DUST ABATEMENT AT ALL TIMES DURING CONSTRUCTION.
  - REFER TO THE SITE DIMENSION PLAN FOR LOCATION OF ALL NEW CONSTRUCTION.
  - REFER TO STRUCTURAL PLANS FOR BUILDING SLAB SECTIONS, FOOTINGS, AND FOUNDATION PLANS.
  - ALL ENGINEERED BACKFILL TO BE COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE.
  - UNDERGROUND UTILITIES SHOWN HEREON ARE ONLY APPROXIMATE. CONTRACTOR SHALL VERIFY LOCATION, DEPTH AND ROUTING OF ALL UTILITIES BEFORE CONSTRUCTION.
  - ALL EXISTING MONUMENTATION SHALL BE REFERENCED PRIOR TO CONSTRUCTION AND REPLACED AFTER ALL WORK IS COMPLETED BY THE CONTRACTOR. (IF DISTURBED)
  - PAVING CONTRACTOR TO PROVIDE ALL BACKFILLED REQUIRED BEHIND ALL NEW IMPROVEMENTS IN ACCORDANCE WITH THE TYPICAL DETAILS AND SLOPE LINES SHOWN HEREON.
  - PAVING CONTRACTOR TO COORDINATE WITH IRRIGATION AND UTILITY CONTRACTORS TO INSURE INSTALLATION OF IRRIGATION AND ELECTRICAL CONDUITS AND ALL UNDERGROUND UTILITIES PRIOR TO PAVING.
  - ALL DIMENSIONS ARE MEASURED FROM THE FACE OF CURB, UNLESS OTHERWISE NOTED.
  - REFER TO THE GEOTECHNICAL SOILS INVESTIGATION FOR PREPARATION OF BUILDING PAD & PARKING LOT AREA.
  - CONTRACTOR TO OBTAIN ENCROACHMENT PERMIT FOR ALL WORK WITHIN CITY OR COUNTY RIGHT-OF-WAY.
  - CONTRACTOR SHALL MAINTAIN ACCESS AT ALL TIMES.

**PAVING SCHEDULE OF WORK**

1	NEW VERTICAL CURB AND GUTTER	- SEE DETAIL A/C-203
2	NEW VERTICAL CURB	- SEE DETAIL B/C-203
3	NEW 3' CURB TERMINATION	- SEE DETAIL B/C-203
4	NEW 4" THICK CONCRETE SIDEWALK	- SEE DETAIL C/C-203
5	NEW ASPHALTIC CONCRETE PAVEMENT (AC) LIGHT DUTY	- SEE DETAIL D/C-203
6	NEW ASPHALTIC CONCRETE PAVEMENT (AC) HEAVY DUTY	- SEE DETAIL E/C-203
7	NEW CONCRETE PAVEMENT	- SEE DETAIL J/C-203
8	NEW 4" WHITE PAINT STRIPING	- SEE DETAIL F/C-203
9	NEW PAVEMENT MARKING	- SEE DETAIL G/C-203
10	NEW "HANDICAP PARKING ONLY" SIGN	- SEE DETAIL H/C-203
11	NEW PARKING BUMPER	- SEE DETAIL I/C-203
12	NEW DRIVEWAY ENTRANCE WITH CURB RETURNS	- SEE DETAIL K/C-203
13	NEW SIDEWALK RAMP STRAIGHT SECTION	- SEE DETAIL A/C-204
14	NEW TRASH ENCLOSURE	- SEE DETAIL B/C-204
15	NEW CONCRETE SPILLWAY WITH DEPRESSION CURB AND ROCK RIP-RAP (3"-6")	- SEE DETAIL C/C-204
16	NEW CONCRETE CUTOFF WALL	- SEE DETAIL D/E/C204
17	NEW NYLOPLAST CATCH BASIN WITH GRATE & CURB OPENING	- SEE DETAIL C/C-204
18	NEW 8" SDR 35 PVC STORM DRAIN	- SEE DETAIL F/C-204
19	NEW R1-1 "STOP" SIGN ON NEW CHANNEL POST	- SEE DETAIL G/C-204
20	SAW CUT 2" OF EXISTING AC PAVEMENT. REMOVE EXISTING VERTICAL CURB, GUTTER AND SIDEWALK.	- SEE DETAIL H/C-204
21	NEW BOLLARDS	- SEE DETAIL I/C-204
22	NEW SIDEWALK SCUPPER	- SEE DETAIL J/C-204
23	NEW 3" WIDE DEPRESSION CURB OPENING	- SEE DETAIL K/C-204
24	NEW 18" WIDE BORDER CURB (FLAT)	- SEE DETAIL L/C-204
25	NEW 6" SDR 35 PVC STORM DRAIN	- SEE DETAIL M/C-204
26	NEW 4" SDR 35 PVC STORM DRAIN	- SEE DETAIL N/C-204
27	NEW 12" SDR 35 PVC STORM DRAIN	- SEE DETAIL O/C-204
28	NEW CONCRETE SPLASH BLOCK AT DOWNSPOUT	- SEE DETAIL P/C-204

**UTILITY WARNING**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM THE FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



OWP PROJECT NO. 2024\_565 DATE OF ISSUE 3.14.2025

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REVISIONS

NUMBER	DESCRIPTION	DATE
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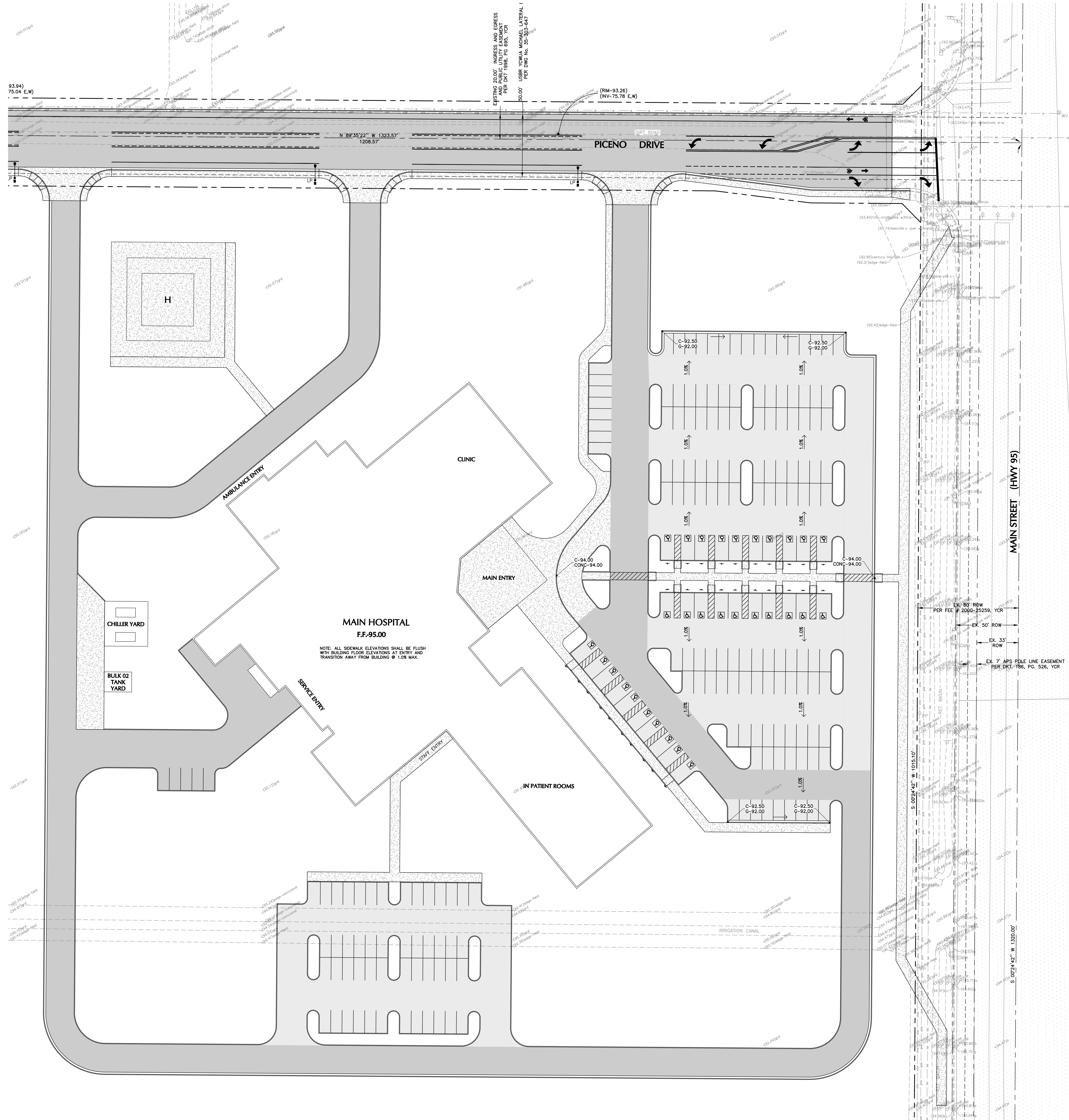
SHEET CONTENTS / TITLE PAVING PLAN

AGENCY NO. AHCA-123456.78

Contact Arizona 811 at least two full working days before you begin excavation

**ARIZONA 811**  
 Call 811 or click Arizona811.com

**DAHL, ROBINS & ASSOCIATES, INC.**  
 1560 S. 5th Avenue  
 Yuma, AZ 85304  
 Phone: (928) 918-0825  
 www.drahlrobs.com  
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**LEGEND**

C-000.00	NEW CURB ELEVATION	+ (283.89) bc	EXISTING CURB ELEVATION
G-000.00	NEW GUTTER ELEVATION	+ (283.39) g	EXISTING GUTTER ELEVATION
A-000.00	NEW ASPHALT ELEVATION	+ (283.19) a	EXISTING ASPHALT ELEVATION
CONC-000.00	NEW CONCRETE ELEVATION	+ (283.19) conc	EXISTING CONCRETE ELEVATION
FG-000.00	NEW FINISHED GRADE ELEVATION	+ (285.68) fg	EXISTING GRADE ELEVATION
TOW-000.00	NEW TOP OF WALL ELEVATION	←	DRAINAGE FLOW ARROW
■	DRAINAGE AREA		

**STORMWATER RETENTION CALCULATIONS**

THE DESIGN IS BASED UPON THE SITE BEING AN INDIVIDUAL RESIDENTIAL LOT WITH ALL STORM WATER FALLING ON-SITE BEING CONTAINED ON-SITE WITH A DESIGN FOR A 2 HR/100-YEAR STORM USING 2.25" OF TOTAL RAINFALL. THERE WILL BE NO OFFSITE FLOW ENTERING THE SITE. ALL STORM WATER GENERATED ON-SITE WILL BE RETAINED ON-SITE.

**DRAINAGE AREA #1**  
 RAINFALL = 2.25 INCHES OF TOTAL RAINFALL  
 TOTAL AREA = XX S.F.  
 STORAGE REQUIRED = XX X 2.25"/12 = XX C.F.  
 STORAGE PROVIDED = XX C.F.

**RETENTION BASIN #1**  
 AREA @ ELEVATION XX = XX S.F.  
 AREA @ ELEVATION XX = XX S.F.  
 DEPTH = XX  
 (XX + XX/2)(X.0) = XX C.F.

**DRAINAGE AREA #2**  
 RAINFALL = 2.25 INCHES OF TOTAL RAINFALL  
 TOTAL AREA = XX S.F.  
 STORAGE REQUIRED = XX X 2.25"/12 = XX C.F.  
 STORAGE PROVIDED = XX C.F.

**RETENTION BASIN #2**  
 AREA @ ELEVATION XX = XX S.F.  
 AREA @ ELEVATION XX = XX S.F.  
 DEPTH = XX  
 (XX + XX/2)(X.0) = XX C.F.

**DRAINAGE AREA #3**  
 RAINFALL = 2.25 INCHES OF TOTAL RAINFALL  
 TOTAL AREA = XX S.F.  
 STORAGE REQUIRED = XX X 2.25"/12 = XX C.F.  
 STORAGE PROVIDED = XX C.F.

**RETENTION BASIN #3**  
 AREA @ ELEVATION XX = XX S.F.  
 AREA @ ELEVATION XX = XX S.F.  
 DEPTH = XX  
 (XX + XX/2)(X.0) = XX C.F.

**PAVEMENT SECTION**

- NEW LIGHT DUTY ASPHALTIC CONCRETE PAVEMENT - SEE DETAIL X/CXX
- NEW HEAVY DUTY ASPHALTIC CONCRETE PAVEMENT - SEE DETAIL X/CXX

**DISPOSAL OF RETAINED RUNOFF**

THIS SITE IS LOCATED WITHIN AN AREA HAVING NO SPECIAL FLOOD HAZARD AREAS.  
 THERE WILL BE SOME OFFSITE FLOW ENTERING THE SITE. ALL STORM WATER GENERATED ON-SITE WILL BE RETAINED ON-SITE.  
 THIS DESIGN MEETS THE REQUIREMENTS OF YUMA COUNTY/CITY OF SAN LUIS CODE.  
 THE ALLOWABLE SURFACE INFILTRATION IN ROGITAS SAND FROM 5 TO 16 INCHES IS 6 TO 20 INCHES/HOUR. 10.0 INCHES/HOUR WAS UTILIZED FOR INFILTRATION ON ALL RETENTION BASINS WHICH EQUALS (10.0/12=0.83) (0.83)(7.48) = 6.2 GALLONS/SF/HR.  
 THE TOTAL BOTTOM AREA OF RETENTION BASIN 1 TO BE UTILIZED FOR INFILTRATION IS 1,380 SF.  
 DISPOSAL TIME = (TOTAL BASIN VOLUME IN CUBIC FEET)(C.F. PER GAL) / (INFILTRATION RATE GALLONS/SF/HR)(BOTTOM AREA OF BASIN SF)  
 = 5,745 X 7.48 / 6.2 X 1,380  
 = 5.00 HOURS (0.2093 DAYS) < 5 DAYS OK  
 ACTUAL DISPOSAL TIME WOULD BE LESS DUE TO EVAPORATION OF THE STORM WATER. THEREFORE, NO PUMPING OF THE STORM WATER WILL BE REQUIRED.

**FLOOD ZONE DESIGNATION**

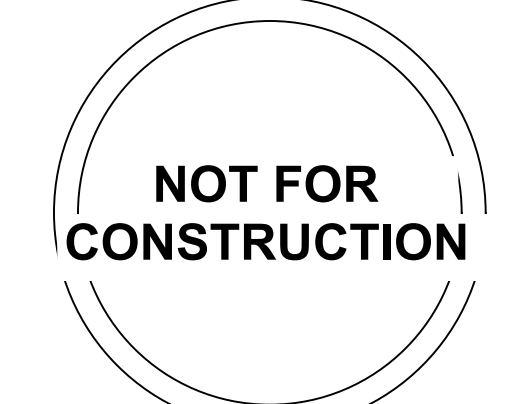
THE SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A FLOOD ZONE X DESIGNATION. ZONE X - AREAS OF 0.2% ANNUAL CHANCE FLOOD. AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE. AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD. REFERENCE - FLOOD INSURANCE RATE MAP (FIRM), MAP NUMBER 04027 C2155E, MAP EFFECTIVE AUGUST 28, 2008

**UTILITY WARNING**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM THE FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

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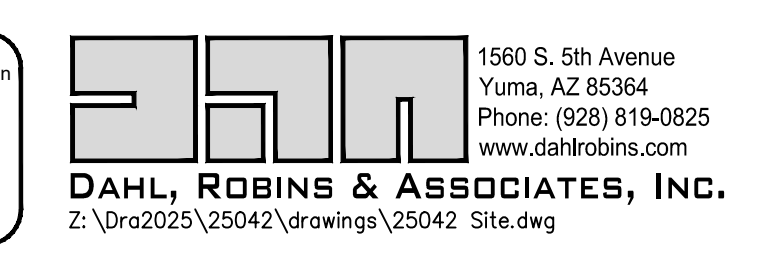
REVISIONS	NUMBER	DESCRIPTION	DATE
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Author

SHEET CONTENTS / TITLE  
GRADING AND DRAINAGE PLAN

**C-2.2**

AGENCY NO.  
AHCA-123456.78



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**NOT FOR CONSTRUCTION**

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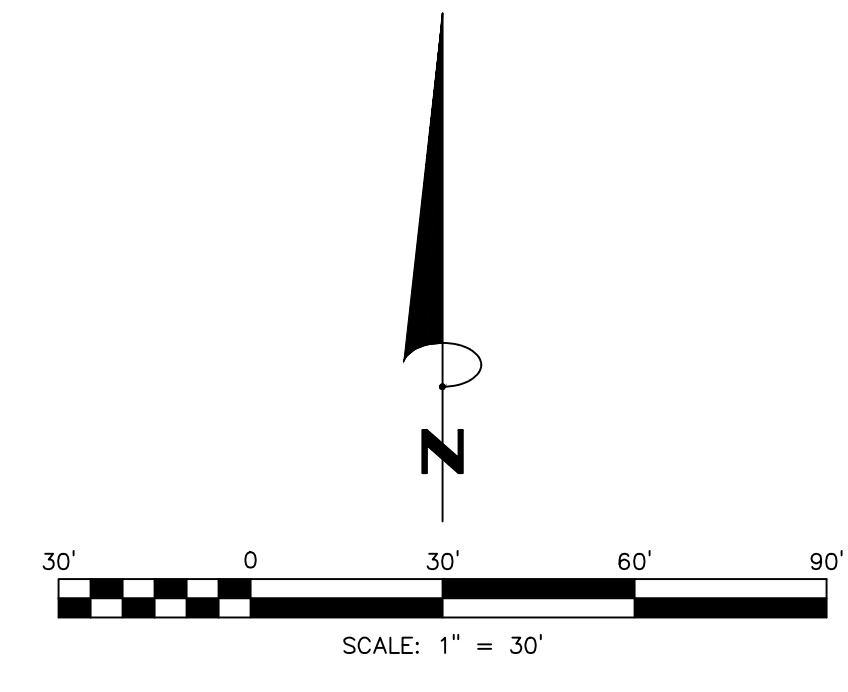
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SHEET CONTENTS / TITLE WATER AND SEWER PLAN

**C-3.1**

AGENCY NO. AHCA-123456.78



**LEGEND**

- 4"-W NEW WATER LINE
- 8"-S NEW SEWER LINE
- 8"-F NEW FIRE LINE
- NEW WATERMAIN BLOWOFF
- NEW THRUST BLOCK
- NEW FIRE HYDRANT
- NEW REMOTE FIRE DEPARTMENT CONNECTION
- NEW WATER VALVE
- NEW BACKFLOW PREVENTER
- NEW WATER METER
- NEW SEWER MANHOLE
- NEW SANITARY WYE WITH CLEANOUT

**NOTES**

1. PER ARS 40-360 ALL NONMETALLIC BURIED PIPING (INCLUDING IRRIGATION PIPING OVER 2" DIAMETER) MUST USE A MINIMUM #12 THIN INSULATED COPPER TRACER WIRE SECURELY ATTACHED TO PIPES A MAXIMUM 8 FEET O.C. OR WRAPPED AROUND THE PIPE AND SHALL HAVE 12" OF TRACER WIRE ACCESSIBLE AT ITS TERMINATION AND SECURELY ATTACHED AT TERMINATION ABOVE GRADE.
2. THE ELEVATION OF THE EXISTING SANITARY SEWER CONNECTION SHOWN ON THE PLANS IS APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE EXIST LOCATION AND ELEVATION PRIOR TO ANY UNDERGROUND CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF DISCREPANCIES EXIST BETWEEN DESIGN INFORMATION AND ACTUAL FIELD CONDITIONS.
3. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL "POTHOLE" ALL POTENTIAL POINTS OF CONFLICT BETWEEN NEW UTILITIES AND EXISTING UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF DISCREPANCIES EXIST BETWEEN DESIGN INFORMATION AND ACTUAL FIELD CONDITIONS.

**UNDERGROUND CONDUITS & SLEEVES**

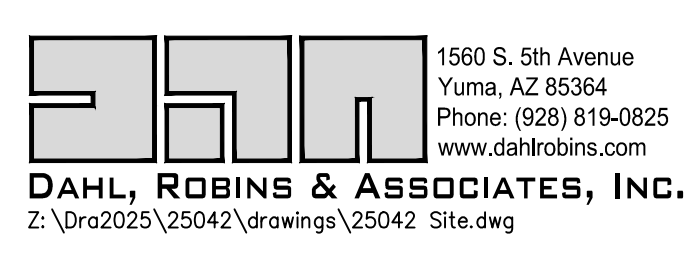
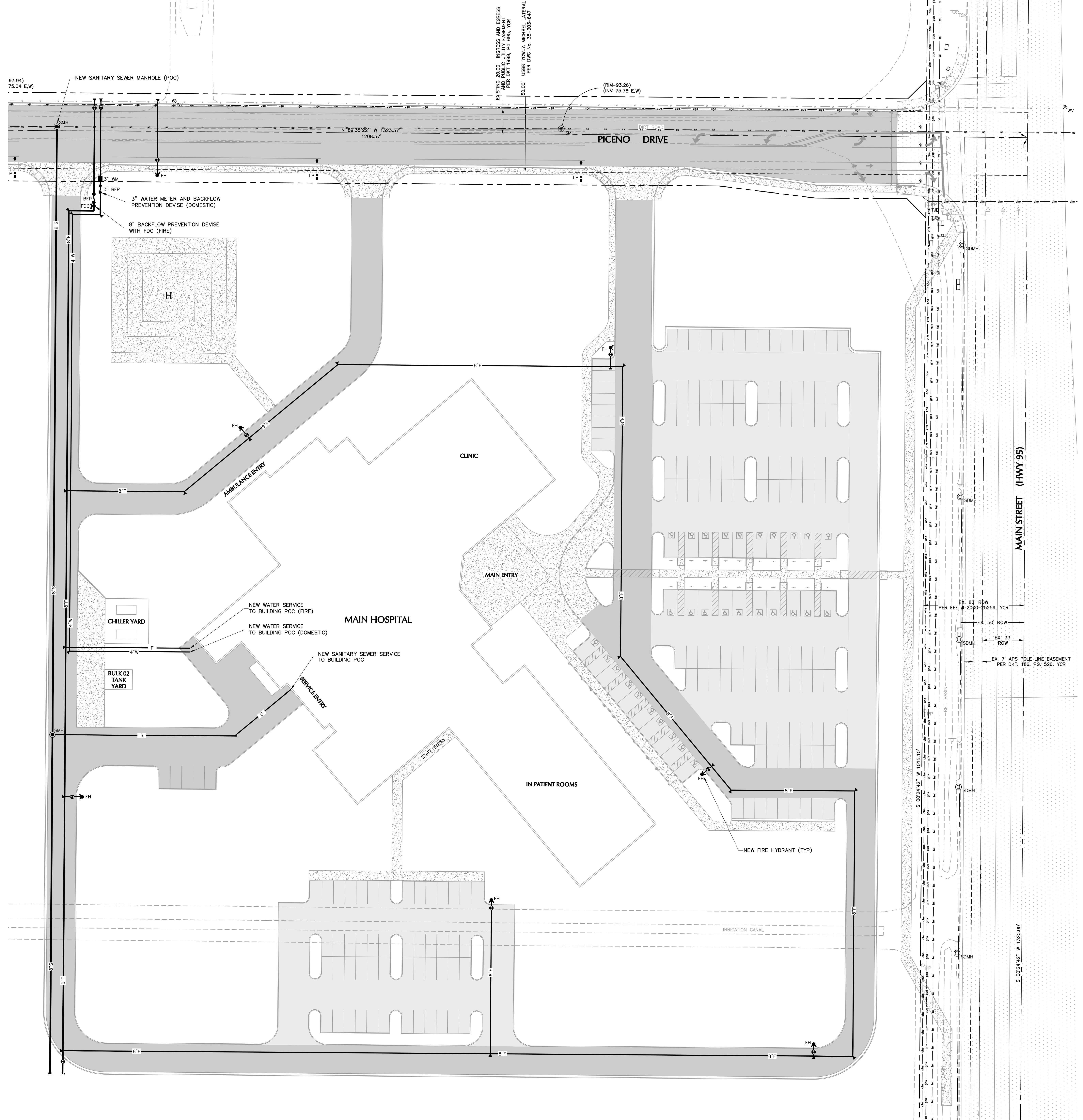
PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY EXACT LOCATION FOR ANY UNDERGROUND SLEEVES FOR IRRIGATION, ELECTRICAL, CONDUITS, TELECOMMUNICATION CONDUITS AND PLUMBING & MECHANICAL UNDERGROUND LINES. CONTRACTOR SHALL COORDINATE WITH THE CONSTRUCTION DOCUMENTS PROVIDED AS WELL AS SUBCONTRACTORS PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF DISCREPANCIES EXIST BETWEEN DESIGN INFORMATION AND ACTUAL FIELD CONDITIONS.

**UTILITY WARNING**

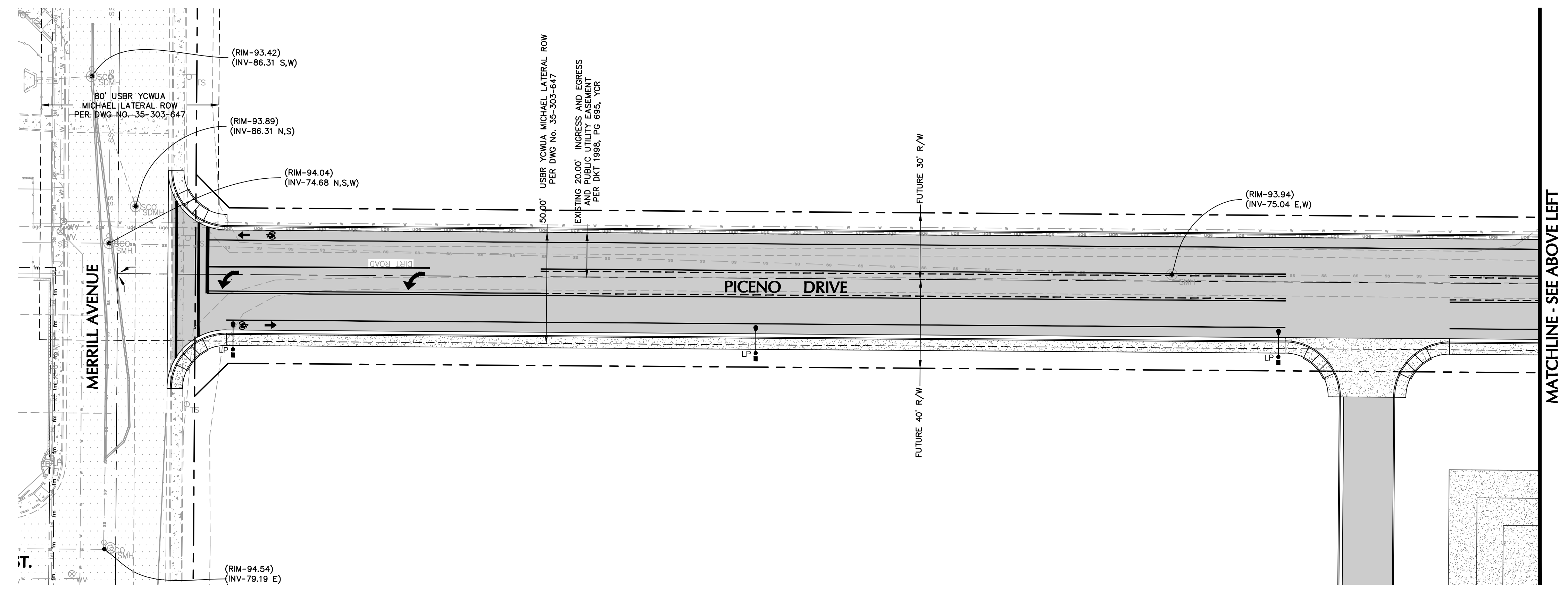
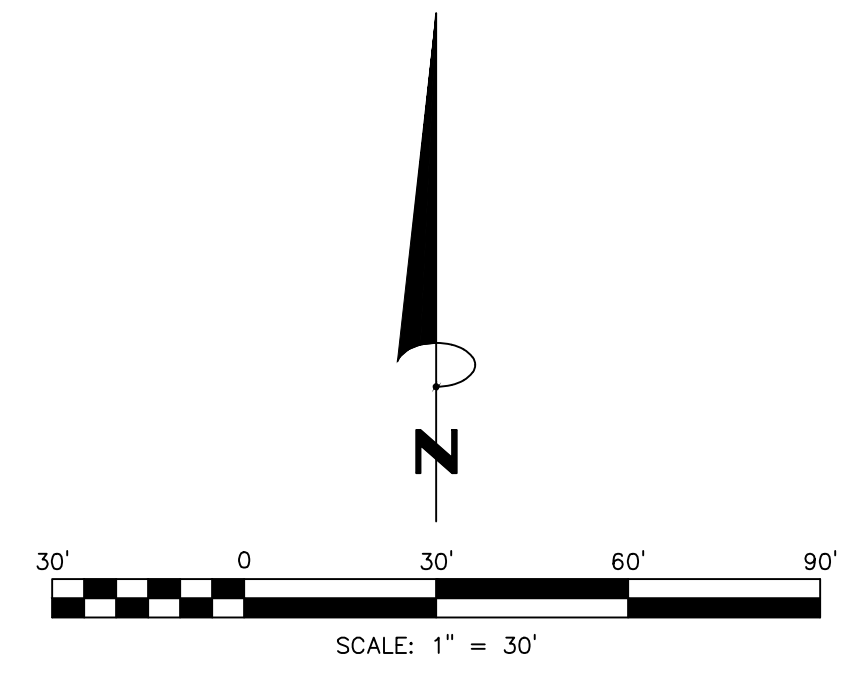
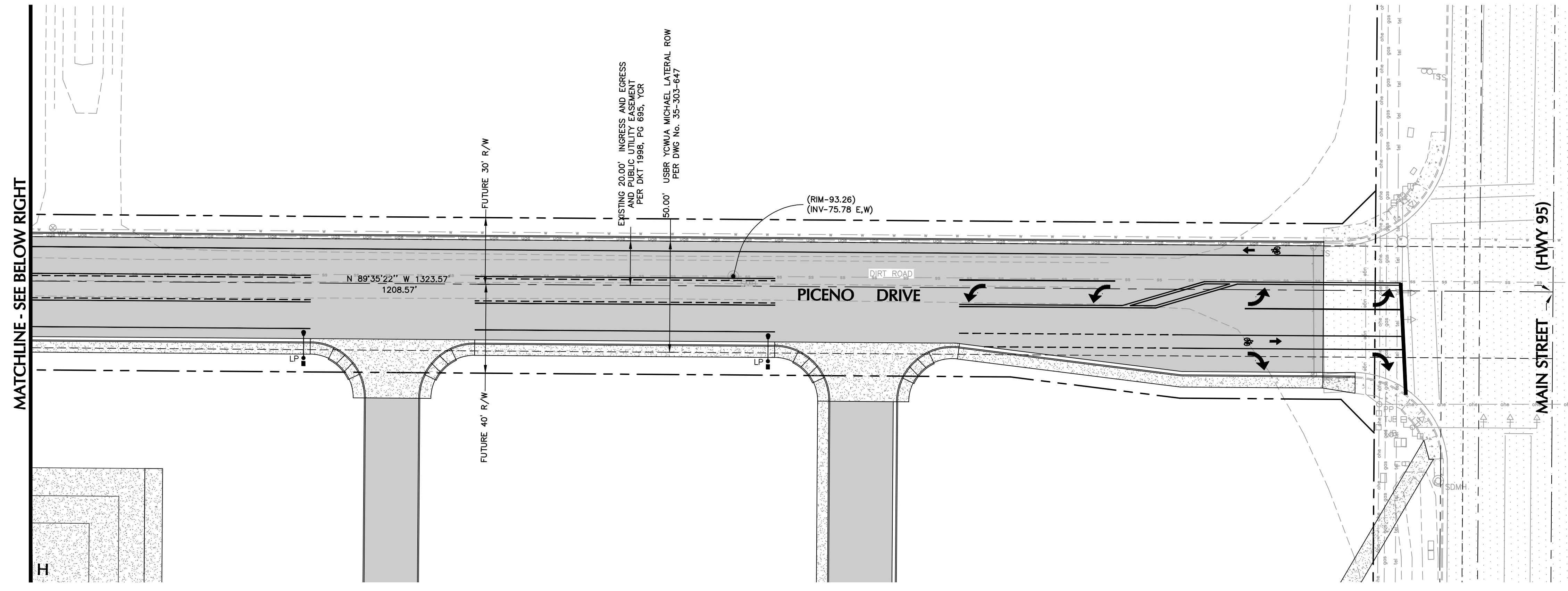
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**WATER SCHEDULE OF WORK**

- |    |   |                             |
|----|---|-----------------------------|
| 1  | NEW 8" x 8" x 8" TAPPING SLEEVE W/ THRUST BLOCK, GATE VALVE, ANCHOR & VALVE BOX AND COVER | - SEE DETAIL A,B,C,D&E/C302 |
| 2  | NEW 8" x 8" x 6" TAPPING SLEEVE W/ THRUST BLOCK, GATE VALVE, ANCHOR & VALVE BOX AND COVER | - SEE DETAIL A,B,C,D&E/C302 |
| 3  | NEW 8" CLASS 305 C900 PVC WATERLINE   | - SEE DETAIL F/C302         |
| 4  | NEW 6" CLASS 305 C900 PVC WATERLINE   | - SEE DETAIL F/C302         |
| 5  | NEW 4" CLASS 305 C900 PVC WATERLINE   | - SEE DETAIL F/C302         |
| 6  | NEW 4" CLASS 235 C900 PVC WATERLINE   | - SEE DETAIL F/C302         |
| 7  | NEW 3" SCHEDULE 40 PVC WATERLINE  | - SEE DETAIL F/C302         |
| 8  | NEW 8" GATE VALVE W/ANCHOR, VALVE BOX AND COVER   | - SEE DETAIL A,B,C,D&E/C302 |
| 9  | NEW 6" GATE VALVE W/ANCHOR, VALVE BOX AND COVER   | - SEE DETAIL A,B,C,D&E/C302 |
| 10 | NEW 4" GATE VALVE W/ANCHOR, VALVE BOX AND COVER   | - SEE DETAIL A,B,C,D&E/C302 |
| 11 | NEW 8"x8"x6" TEE W/THRUST BLOCK   | - SEE DETAIL D,E/C302       |
| 12 | NEW 4"x4"x4" TEE W/THRUST BLOCK   | - SEE DETAIL D,E/C302       |
| 13 | NEW 8" 90° BEND W/ THRUST BLOCK   | - SEE DETAIL D,E/C302       |
| 14 | NEW 6" 90° BEND W/ THRUST BLOCK   | - SEE DETAIL D,E/C302       |
| 15 | NEW 4" 90° BEND W/ THRUST BLOCK   | - SEE DETAIL D,E/C302       |
| 16 | NEW 8" 45° BEND W/ THRUST BLOCK   | - SEE DETAIL D,E/C302       |
| 17 | NEW 4" 45° BEND W/ THRUST BLOCK   | - SEE DETAIL D,E/C302       |
| 18 | NEW 2" WATER METER AND METER BOX  | - SEE DETAIL I/C302         |
| 19 | NEW 2" REDUCED PRESSURE ASSEMBLY BACKFLOW PREVENTER                                       | - SEE DETAIL J/C302         |
| 20 | NEW 8" DOUBLE CHECK VALVE BACKFLOW DEVICE   | - SEE DETAIL J/C302         |

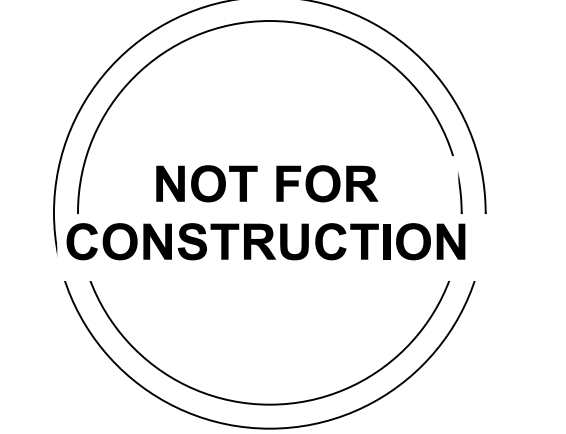


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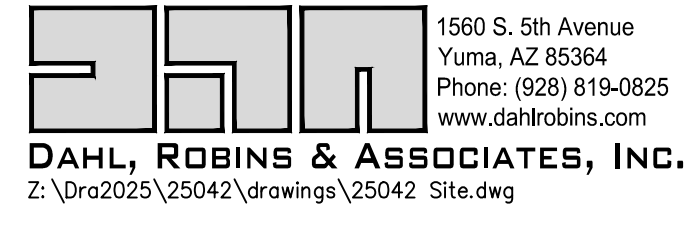
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SHEET CONTENTS / TITLE  
 OFF-SITE ROADWAY IMPROVEMENT  
 PLAN

**C-5.1**

AGENCY NO.  
 AHCA-123456.78



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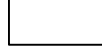

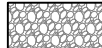
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SHEET CONTENTS / TITLE  
LANDSCAPE SCHEDULES


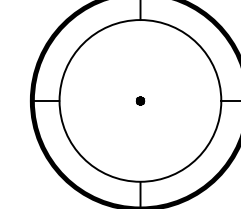
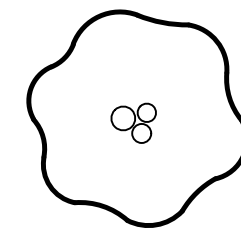
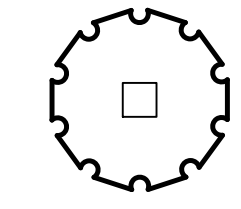



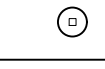
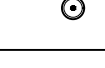




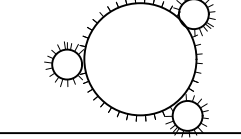
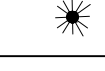


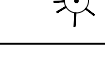
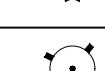
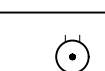
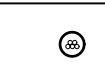


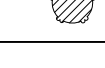
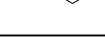
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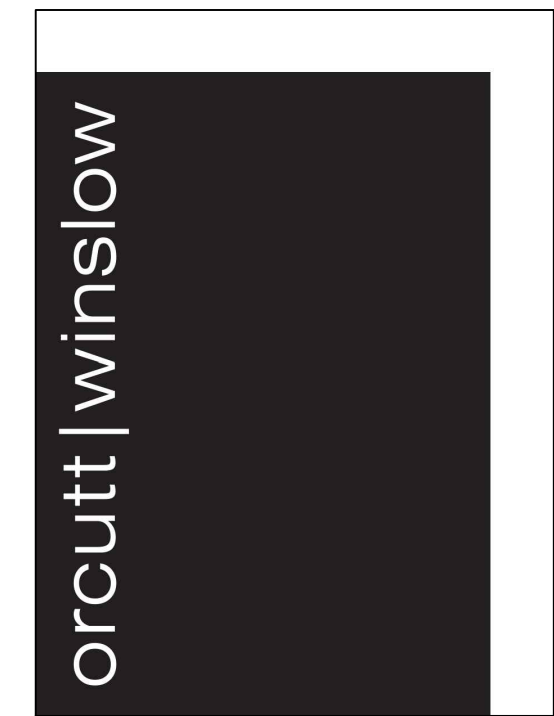
**TOPDRESS SCHEDULE**

-  TYPE 1 - DECOMPOSED GRANITE  
SIZE: 3/4" SCREENED  
COLOR: ARIZONA BLONDE  
SOURCE: IMAC ROCK  
SEE DETAIL X/LP-XXX
-  TYPE 2 - DESERT COBBLE MIX  
(25%) MOHAWK BROWN - 3/4" SCREENED  
(25%) ARIZONA BLONDE - 1/2" MINUS  
(50%) MARBLE WHITE - 3/4" SCREENED  
SOURCE: IMAC ROCK  
SEE DETAIL 1/LP-502
-  TYPE 3 - RIP RAP  
SIZE: 4"-6"  
COLOR: T.B.D  
SOURCE: T.B.D

NOTES:  
1. CONTRACTOR TO PROVIDE SAMPLES OF ALL TOPDRESS MATERIALS TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

PLANT SCHEDULE				
SYMBOL	BOTANICAL / COMMON NAME	SIZE/TRUNK TYPE	CALIPER	QTY
<b>TREES</b>				
	Caesalpinia cacalaco 'Smoothie' Smoothie Thornless Cascalote	24" BOX MULTI-TRUNK	2" CAL MIN	17
	Ebenopsis ebano Texas Ebony	24" BOX MULTI-TRUNK	1.5" CAL MIN	25
	Parkinsonia praecox Palo Brea	36" BOX STANDARD TRUNK	1.5" CAL MIN	49
	Prosopis chilensis Chilean Mesquite	36" BOX STANDARD TRUNK	2" CAL MIN	22
SYMBOL	BOTANICAL / COMMON NAME	SIZE		
<b>SHRUBS</b>				
	Bougainvillea x 'Torch Glow' Torch Glow Bougainvillea	15 GAL.		
	Caesalpinia pulcherrima Red Bird Of Paradise	5 GAL.		
	Calliandra eriophylla Fairyduster	5 GAL.		
	Encelia farinosa Brittlebush	5 GAL.		
	Ericameria laricifolia Turpentine Bush	5 GAL.		
	Justicia candidans Red Justicia	5 GAL.		
	Leucophyllum frutescens 'Green Cloud' Green Cloud Texas Sage	5 GAL.		
	Simmondsia chinensis Jojoba	5 GAL.		
<b>ACCENTS</b>				
	Agave desmetiana Smooth Agave	5 GAL.		
	Carnegieia gigantea Saguaro	6' SPEAR		
	Dasyliiron wheeleri Desert Spoon	15 GAL.		
	Echinocactus grusonii Golden Barrel Cactus	8" DIA.		
	Fouquieria splendens Ocotillo	24" BOX FULLY ROOTED		
	Hesperaloe funifera Giant Hesperaloe	5 GAL.		
	Hesperaloe parviflora Red Yucca	5 GAL.		
	Lophocereus schottii monstrosus Totem Pole Cactus	4' HT. SINGLE TRUNK		
	Opuntia santa-rita Santa Rita Prickly Pear	5 GAL.		
	Stenocereus marginata Mexican Fence Post	6' SPEAR		
	Yucca elata Soaptree Yucca	15 GAL.		
<b>GROUND COVER</b>				
	Dalea greggii Trailing Indigo Bush	5 GAL.		
	Melampodium leucanthum Blackfoot Daisy	5 GAL.		

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OWP PROJECT NO. DATE OF ISSUE  
 2024\_565 03/14/2025

PROJECT PHASE / ISSUED FOR  
 Development Package

REVISIONS  
 NUMBER DESCRIPTION DATE

DRAWN BY  
 MC

SHEET CONTENTS / TITLE  
 OVERALL SITE PLAN

LP-100

AGENCY NO.  
 AHCA-123456.78

**LEGEND**

- PARKING
- ARTERIAL STREET
- COLLECTOR STREET
- ENHANCED PLANTING

**PLANT SCHEDULE**

SYMBOL	BOTANICAL / COMMON NAME	SIZE/TRUNK TYPE	CALIPER	QTY
	Caesalpinia cacalaco 'Smoothie' Smoothie Thornless Cascalote	24" BOX MULTI-TRUNK	2" CAL MIN	17
	Ebenopsis ebano Texas Ebony	24" BOX MULTI-TRUNK	1.5" CAL MIN	25
	Parkinsonia praecox Palo Brea	24" BOX STANDARD TRUNK 36" BOX STANDARD TRUNK *	1.5" CAL MIN 2" CAL MIN	XX 49
	Prosopis chilensis Chilean Mesquite	24" BOX STANDARD TRUNK 36" BOX STANDARD TRUNK *	1.5" CAL MIN 2" CAL MIN	XX 22

SYMBOL	BOTANICAL / COMMON NAME	SIZE
<b>SHRUBS</b>		
	Bougainvillea x 'Torch Glow' Torch Glow Bougainvillea	15 GAL.
	Caesalpinia pulcherrima Red Bird Of Paradise	5 GAL.
	Calliandra encoryphalla Fairlydustier	5 GAL.
	Encelia farinosa Brittlebush	5 GAL.
	Circumaria taroifolia Turpentine Bush	5 GAL.
	Justicia candidans Red Justicia	5 GAL.
	Leucophyllum frutescens 'Green Cloud' Green Cloud Texas Sage	5 GAL.
	Simmondsia chinensis Jojoba	5 GAL.

SYMBOL	BOTANICAL / COMMON NAME	SIZE
<b>ACCENTS</b>		
	Agave desmetiana Smooth Agave	5 GAL.
	Carnegiea gigantea Saguaro	6" SPEAR
	Dasyliroon wheeleri Desert Spoon	15 GAL.
	Echinocactus grusonii Golden Barrel Cactus	8" DIA.
	Fouquieria splendens Ocotillo	24" BOX FULLY ROOTED
	Hesperaloe funifera Giant Hesperaloe	5 GAL.
	Hesperaloe parviflora Red Yucca	5 GAL.
	Lophoceros schottii monstrosus Tortoi Palm Cactus	4" HT. SINGLE TRUNK
	Opuntia santa-rita Santa Rita Prickly Pear	5 GAL.
	Siermonea marginata Mexican Fan Palm	6" SPEAR
	Yucca elata Soapstone Yucca	15 GAL.

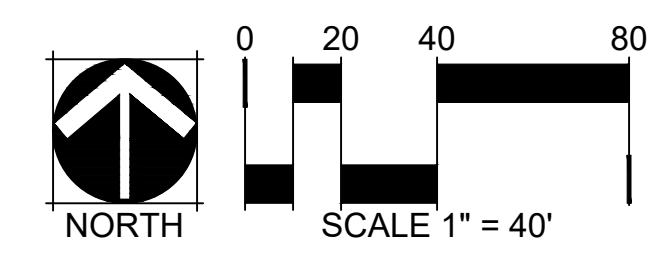
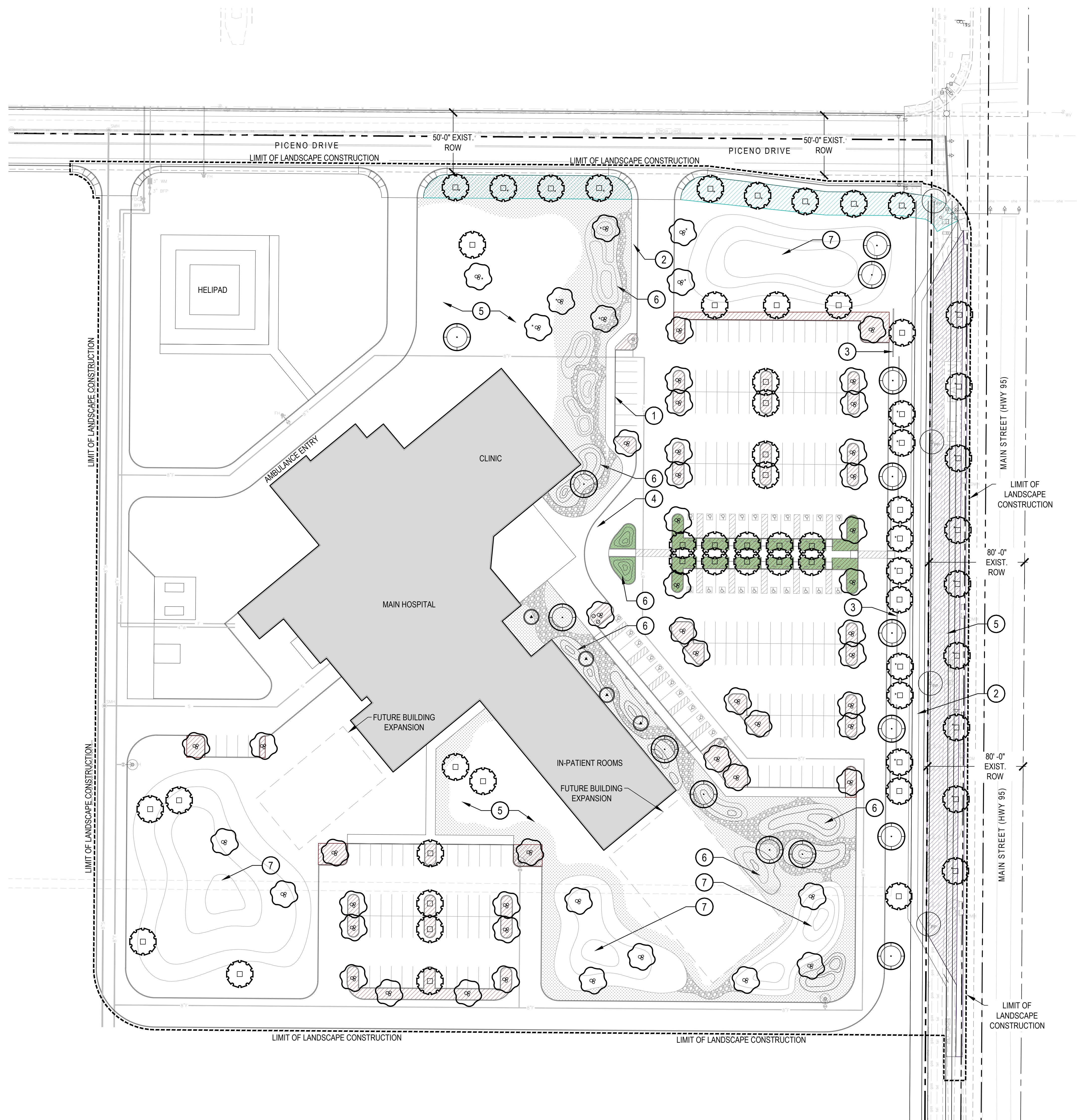
**BOULDER SCHEDULE**

BOULDERS	COLOR	QTY.
2' BOULDER	CARMEL	XX
3' BOULDER	CARMEL	XX
4' BOULDER	CARMEL	XX

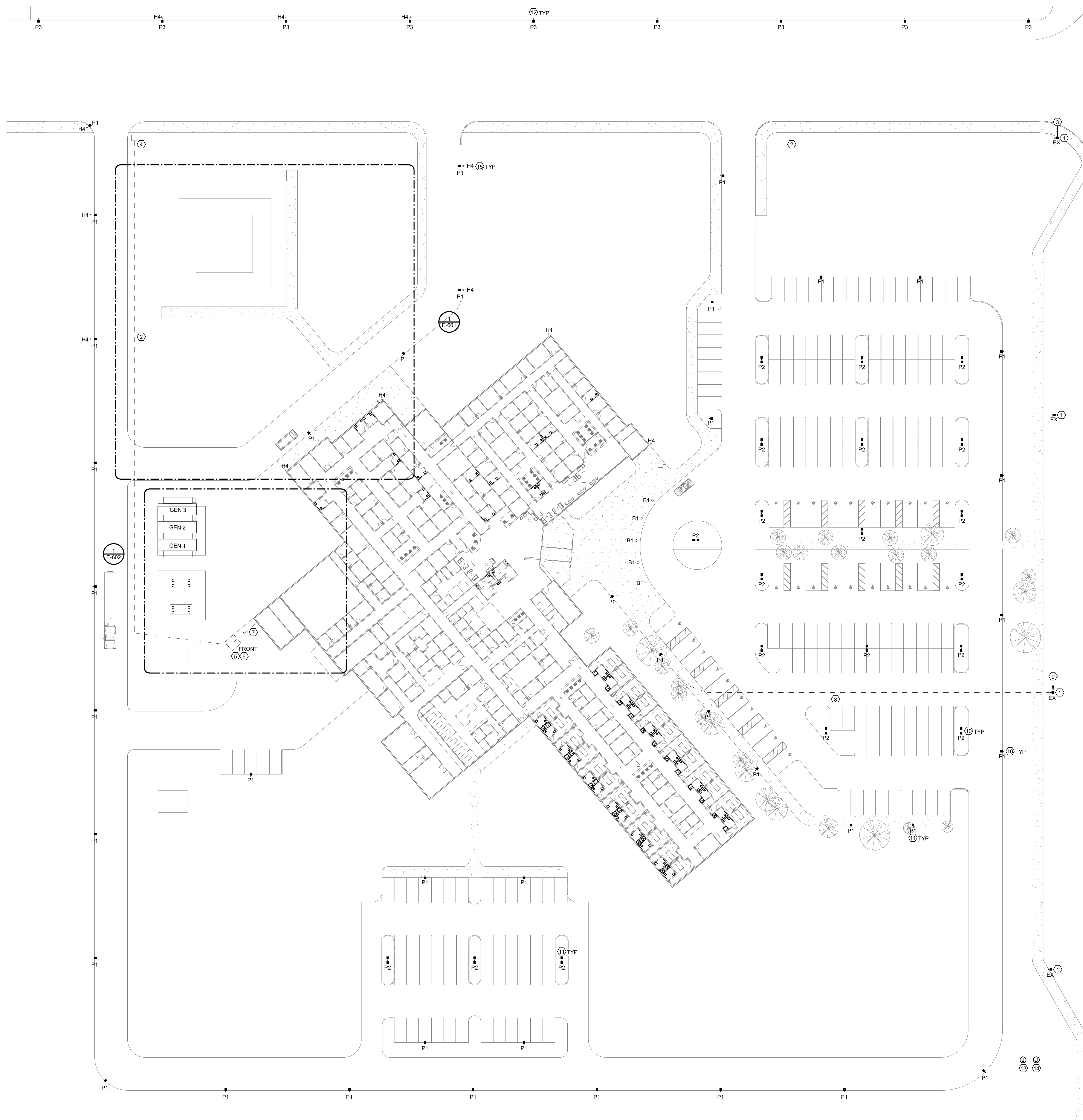
NOTE:  
 1. ALL BOULDERS SHALL BE SURFACE SELECT QUALITY AND COVERED WITH LICHEN. PRIOR TO INSTALLATION, THE CONTRACTOR SHALL PROVIDE LANDSCAPE ARCHITECT WITH SAMPLES FOR FINAL REVIEW AND APPROVAL.

**KEY NOTES**

- STANDARD CONCRETE CURB - SEE CIVIL DRAWINGS
- PROPOSED SIDEWALK - SEE CIVIL DRAWINGS
- 42" HEIGHT PARKING LOT SCREEN WALL
- TEMPORARY PARKING/DROP OFF AREA
- LANDSCAPE AREA
- PROPOSED BERM
- PROPOSED RETENTION BASIN



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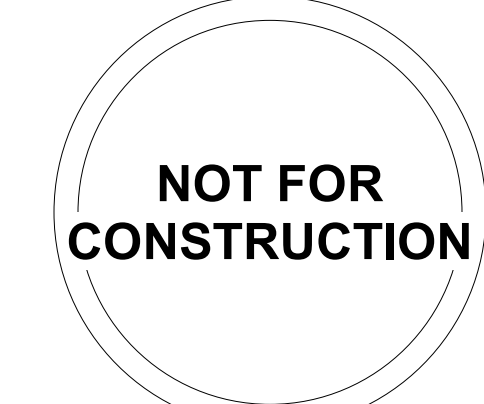
1 SITE PLAN - ELECTRICAL  
 1" = 30'-0"

- KEYED NOTES:**
- EXISTING ARIZONA PUBLIC SERVICE (APS) OVERHEAD AERIAL DISTRIBUTION POLE TO REMAIN.
  - PROVIDE (1) 4" C WITH PULL ROPE UNDERGROUND FOR INCOMING APS UNDERGROUND PRIMARY TO APS PAD MOUNTED TRANSFORMER. INSTALLATION SHALL COMPLY WITH ALL APS ELECTRIC SERVICE REQUIREMENT MANUAL, NOVEMBER 2024.
  - PROVIDE (1) 4" C RGS RISER UP EXISTING APS OVERHEAD AERIAL DISTRIBUTION POLE. INSTALLATION SHALL COMPLY WITH ALL APS ELECTRIC SERVICE REQUIREMENT MANUAL, NOVEMBER 2024.
  - PROVIDE PRE-CAST UNDERGROUND PRIMARY VAULT PER APS REQUIREMENTS AND STANDARDS. INSTALLATION SHALL COMPLY WITH ALL APS ELECTRIC SERVICE REQUIREMENT MANUAL, NOVEMBER 2024.
  - APS PAD MOUNTED TRANSFORMER, FURNISHED AND INSTALLED BY APS.
  - PROVIDE CONCRETE PAD AND GROUND PER APS REQUIREMENTS AND STANDARDS. INSTALLATION SHALL COMPLY WITH ALL APS ELECTRIC SERVICE REQUIREMENT MANUAL, NOVEMBER 2024.
  - PROVIDE UNDERGROUND INCOMING SECONDARY TO MAIN SWITCHBOARD MSB. REFER TO ONE-LINE DIAGRAM FOR ADDITIONAL DETAILS AND REQUIREMENTS.
  - PROVIDE (1) 4" C UNDERGROUND WITH INNERDUCTS FOR INCOMING FIBER OPTIC CABLE TO HOSPITAL MAIN DISTRIBUTION FRAME (MDF) ROOM. COORDINATE INSTALLATION WITH OWNER COMMUNICATION FIBER OPTIC SERVICE PROVIDER.
  - PROVIDE (1) 4" C RGS UP EXISTING APS OVERHEAD AERIAL DISTRIBUTION POLE PER APS AND FIBER OPTIC SERVICE PROVIDER REQUIREMENTS AND STANDARDS.
  - PROVIDE ELEVATED POLE FOUNDATIONS FOR SITE LIGHTING POLES P1 AND P2 WITHIN PARKING LOT AREAS REFER TO DETAIL 1 ON SHEET E-001 FOR REQUIREMENTS.
  - PROVIDE FLUSH WITH GRADE POLE FOUNDATION FOR SITE LIGHTING POLES P1 AND P2 ON OUTBOARD SIDES OF SIDEWALKS AND ROADS. REFER TO DETAIL 2 ON SHEET E-001 FOR REQUIREMENTS.
  - PICENO DRIVE STREET LIGHTING PROVIDED BY THE CITY OF SAN LUIS.
  - PROVIDE NEMA 3R JUNCTION BOX FOR ILLUMINATED HOSPITAL SIGN. VERIFY EXACT LOCATION AND ROUGH-IN REQUIREMENTS PRIOR TO INSTALLATION.
  - PROVIDE NEMA 3R JUNCTION BOX FOR LIGHTED FLAGPOLES. VERIFY EXACT LOCATION AND ROUGH-IN REQUIREMENT PRIOR TO INSTALLATION.
  - PROVIDE RED SOLAR POWERED OBSTRUCTION LIGHTS ON TOP OF POLE MOUNTED LIGHT FIXTURE. REFER TO LIGHTING FIXTURE SCHEDULE FOR SPECIFICATION.

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OWP PROJECT NO. DATE OF ISSUE  
 2024\_565 12.31.2023

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 Development Package

REVISIONS  
 NUMBER DESCRIPTION DATE

DRAWN BY  
 Author

SHEET CONTENTS / TITLE  
 SITE PLAN - ELECTRICAL

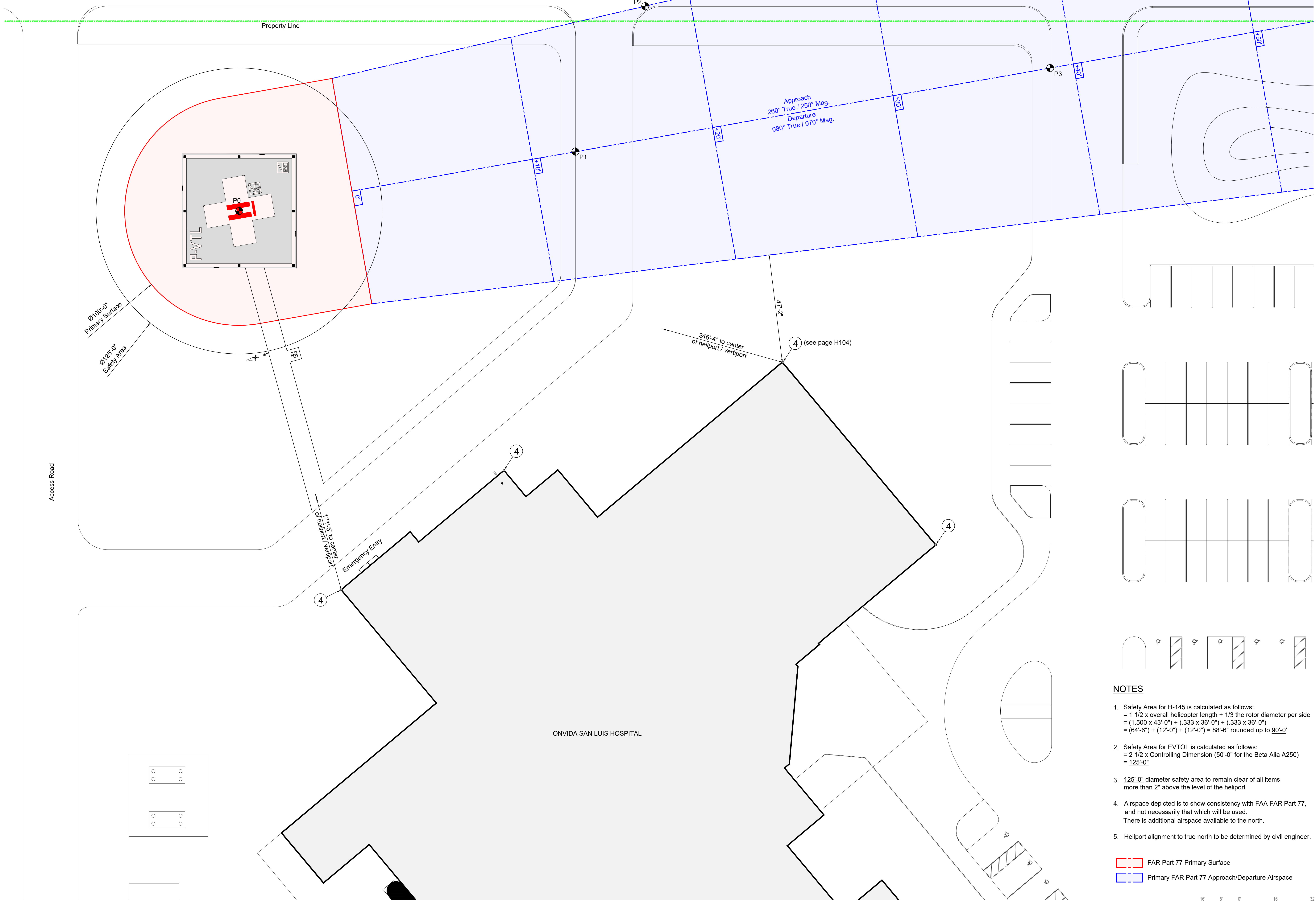


FAR Part 77 Approach Surface Penetration Evaluation

Approach surfaces indicate FAR Part 77 clearances.  
Actual helicopter approaches and departures will be considerably steeper.

Item #	Item name	Item elevation	Approach surface elevation	Clear by	Mitigation
P0	Heliport center	94'	n/a	n/a	n/a
P1	West edge of first access road	92' + 10" = 102'	106'	4'	none
P2	South edge of Piceno Drive	92' + 15" = 107'	111'	2'	none
P3	West edge of second access road	92' + 10" = 102'	131'	29'	none

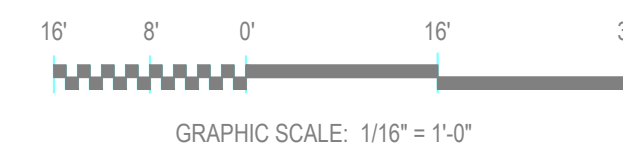
\*Private roadways are considered 10' high obstructions  
\*\*Public roadways are considered 15' high obstructions



NOTES

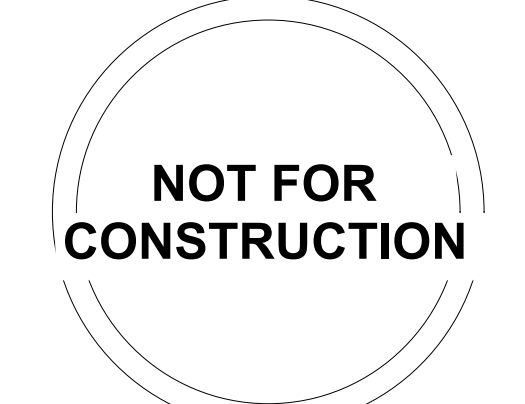
- Safety Area for H-145 is calculated as follows:  
 $= 1 \frac{1}{2} \times \text{overall helicopter length} + \frac{1}{3} \times \text{rotor diameter per side}$   
 $= (1,500 \times 43'-0") + (.333 \times 36'-0") + (.333 \times 36'-0")$   
 $= (64'-6") + (12'-0") + (12'-0") = 88'-6"$  rounded up to 90'-0"
- Safety Area for EVTOL is calculated as follows:  
 $= 2 \frac{1}{2} \times \text{Controlling Dimension (50'-0" for the Beta Alia A250)}$   
 $= 125'-0"$
- 125'-0" diameter safety area to remain clear of all items more than 2" above the level of the heliport
- Airspace depicted is to show consistency with FAA FAR Part 77, and not necessarily that which will be used. There is additional airspace available to the north.
- Heliport alignment to true north to be determined by civil engineer.

- FAR Part 77 Primary Surface
- Primary FAR Part 77 Approach/Departure Airspace



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OWP PROJECT NO. 2024\_565 DATE OF ISSUE 03.11.2025

PROJECT PHASE / ISSUED FOR Development Package

REVISIONS

NUMBER	DESCRIPTION	DATE

DRAWN BY Airsafe

SHEET CONTENTS / TITLE  
HELIPORT / VERTIPORT AIRSPACE CLEARANCES

**H103**

AGENCY NO. AHCA-123456.78

CUP 2025-0095

Onvida Health site aerial

Merrill Avenue

Los Oros Street

Main Street (US-95)

Piceno Dr

Denny's

Carl's Jr

Maytag Laundry

M and M Auto Sale

Racing Auto

Jr Tire Shop

Quiñonez Fire Shop

Little Caesars Pizza

Google Earth

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