

**NOTES**

1. THE SUBJECT PROPERTY IS CURRENTLY ZONED GB AND IS 24.74 ACRES.
2. ACCORDING TO FLOOD INSURANCE RATE MAP, PANEL 240 & 220, DATED November 2, 2007, IS LOCATED IN ZONE(S) AE & X AND IS WITHIN THE 100-YEAR FLOODPLAIN.
3. ELEVATION CERTIFICATES WILL NEED TO BE PROVIDED FOR STORAGE FACILITY BUILDINGS ONCE BUILT TO SHOW THE FINISHED FLOOR ELEVATION IS AT LEAST 1' ABOVE BASE FLOOD ELEVATION (BFE).

Curve #	Length	Radius	Delta	Tangent	Chord	Chord Bearing
C1	101.32'	129.00'	45°00'00"	53.43'	98.73'	N84°33'18"E
C2	83.15'	180.00'	26°28'06"	42.33'	82.42'	S86°10'45"E
C3	370.45'	3816.77'	5°33'40"	185.37'	370.30'	S80°58'50"W

Line #	Length	Direction
L1	41.48'	N62°03'18"E
L2	13.99'	S72°56'42"E
L3	131.91'	S86°29'21"E
L4	38.49'	S75°1'26"W
L5	221.47'	S86°56'45"E
L6	172.06'	S5°46'43"E
L7	273.94'	N84°13'17"E
L8	139.31'	S5°46'43"E
L9	306.33'	N82°30'11"E
L10	97.77'	S47°57'28"E
L11	41.96'	S5°46'43"E

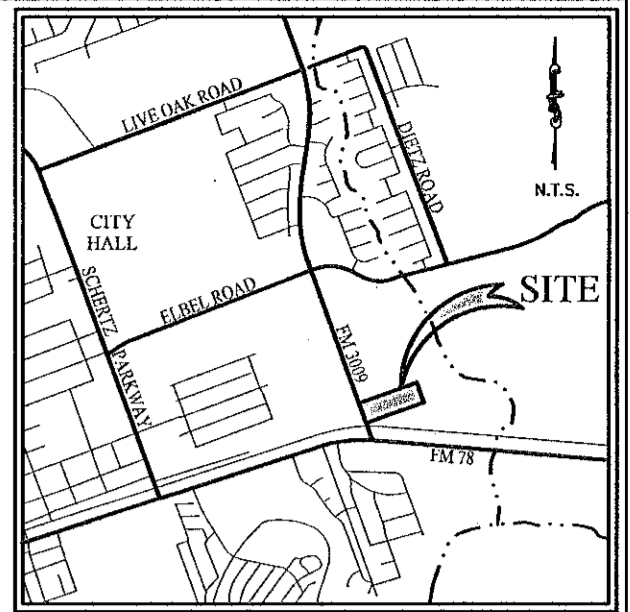
**SITE DATA SUMMARY TABLE**

ZONING: GB (CURRENTLY) - G82 (PROPOSED)  
 PROPOSED USE: MINI STORAGE  
 LOT AREA: 1,077,551 S.F. (24,737 AC.)  
 SQUARE FOOTAGE IMPERVIOUS COVER: 852,614 S.F.  
 IMPERVIOUS COVER PERCENTAGE: 79.1%  
 BUILDING AREA (GROSS SQUARE FOOTAGE): 81,079 S.F.  
 TOTAL STORAGE AREA: 80,764 S.F.  
 OFFICE AREA: 315 S.F.  
 BUILDING HEIGHT FEET: 15.17'  
 NUMBER OF STORIES: 1  
 FLOOR AREA RATIO: 1:6.67  
 TOTAL PARKING\* (REQUIRED/PROVIDED): 28/28  
 HANDICAP SPACES (REQUIRED/PROVIDED): 2/2

\*PARKING CALCULATIONS:  
 1 SPACE/3000 SF OF STORAGE AREA = 27  
 1 SPACE/300 SF OF OFFICE FLOOR AREA = 1

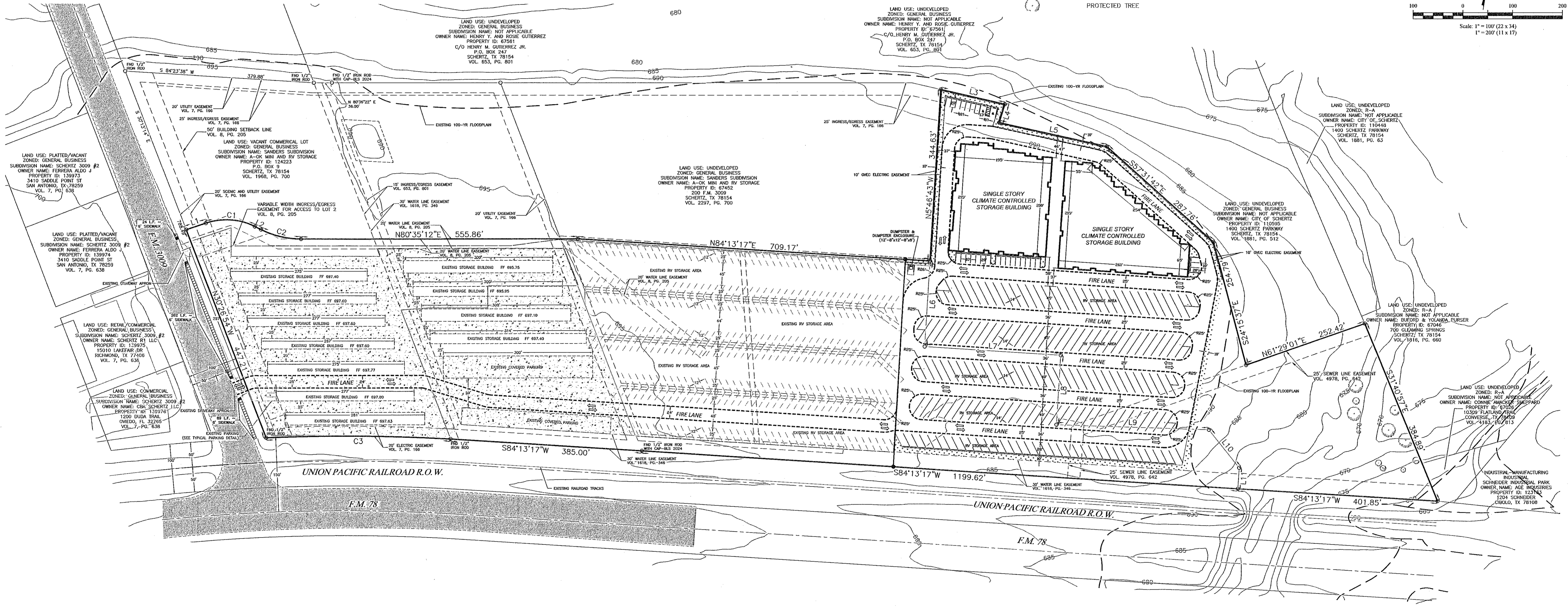
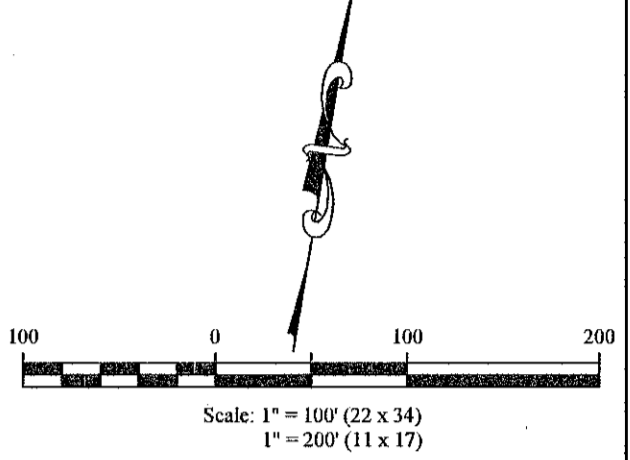
**LEGEND**

- PROPERTY BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- EXISTING BUILDING
- EXISTING WATER LINE
- EXISTING PARKING STRIPE
- EXISTING RAILROAD TRACKS
- EXISTING EASEMENT
- FOUND 1/2" IRON ROD
- SET IRON ROD WITH YELLOW CAP
- BUILDING
- WATER LINE
- WATER LINE EASEMENT
- GVEC ELECTRIC EASEMENT
- FIRE LANE
- PROPOSED CHAIN LINK FENCE
- PARKING STRIPE
- EDGE OF CONCRETE
- ... LANDSCAPE AREA
- PROTECTED TREE



**LOCATION MAP**

N.T.S.



**LOCKAWAY STORAGE  
 200 ROY RICHARDS DRIVE  
 SITE PLAN EXHIBIT**

BEING 24,737 ACRES OF LAND, MORE OR LESS, OUT OF THE G. MALPAZ SURVEY NO. 67, ABSTRACT 221, CITY OF SCHERTZ, GUADALUPE COUNTY, TEXAS BEING COMPRISED OF 9.09 ACRES AS DESCRIBED IN DOCUMENT NUMBER 201606534 OF THE OFFICIAL PUBLIC RECORDS OF GUADALUPE COUNTY, TEXAS OUT OF LOT 2R, BLOCK 1, OF THE SANDERS SUBDIVISION AS RECORDED IN VOLUME 7, PAGE 166 OF THE PLAT RECORDS OF GUADALUPE COUNTY, TEXAS AND LOT 1 BLOCK 1 OF THE SANDERS SUBDIVISION REPLAT AS RECORDED IN VOLUME 8, PAGE 205 OF THE PLAT RECORDS OF GUADALUPE COUNTY, TEXAS OUT OF A 32.881 ACRE TRACT DESCRIBED IN VOLUME 876 PAGE 437 OF THE OFFICIAL RECORDS OF GUADALUPE COUNTY, TEXAS.

**RECORD OWNERS/DEVELOPERS:**

3621 WHITESTONE BLVD, LLC  
 A TEXAS LIMITED LIABILITY COMPANY  
 2055 3rd AVENUE, SUITE 200  
 SAN DIEGO, CA 92101  
 949-275-1955

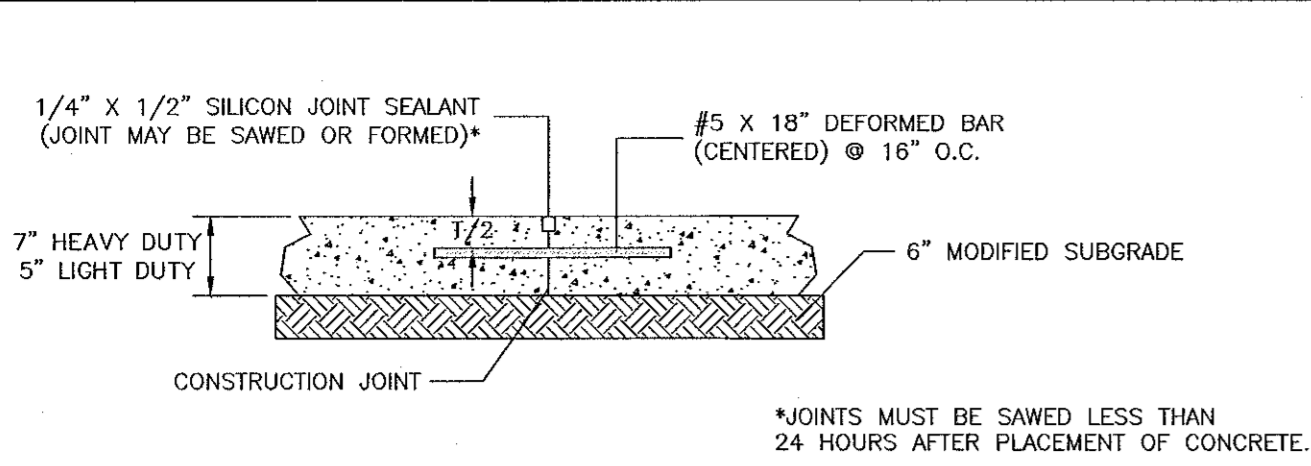
LOCK AWAY 200 ROY RICHARD DRIVE, LLC  
 A TEXAS LIMITED LIABILITY COMPANY  
 2055 3rd AVENUE, SUITE 200  
 SAN DIEGO, CA 92101  
 949-275-1955



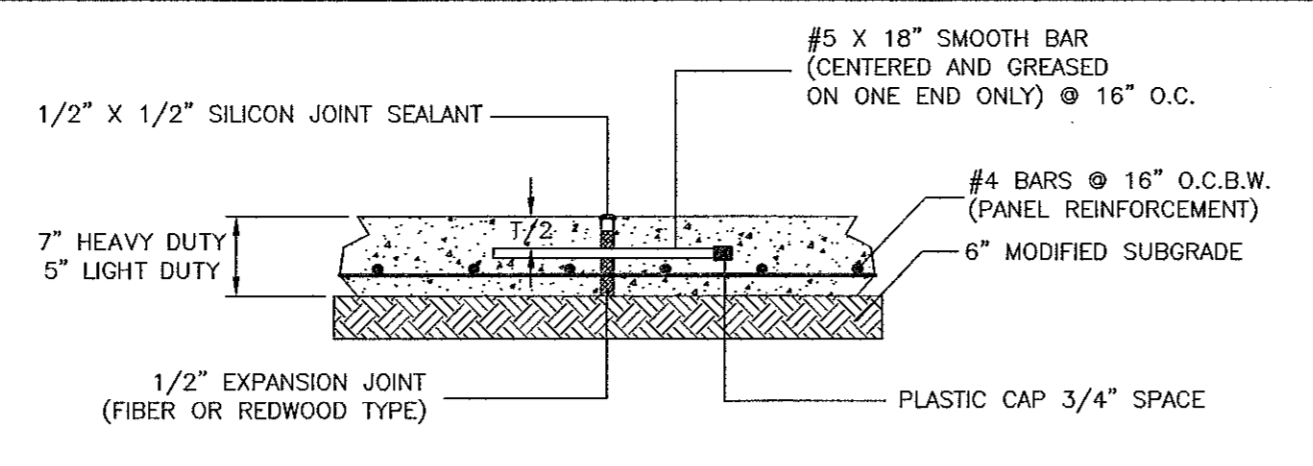
ENGINEERS & SURVEYORS  
 323 BRESSPORT  
 SAN ANTONIO, TEXAS 78216-2602  
 (210)349-2651



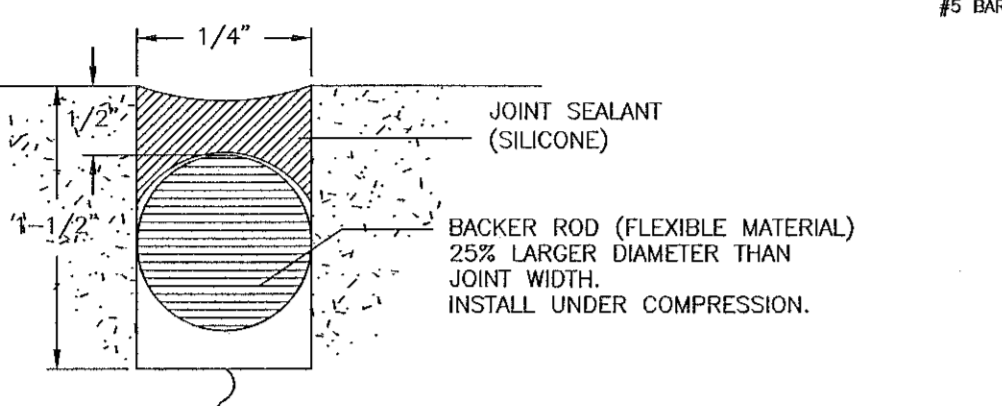
*Robert Don McCrary PE 1/4/21*



**RESTRAINED JOINT**  
CONSTRUCTION JOINT  
N.T.S.

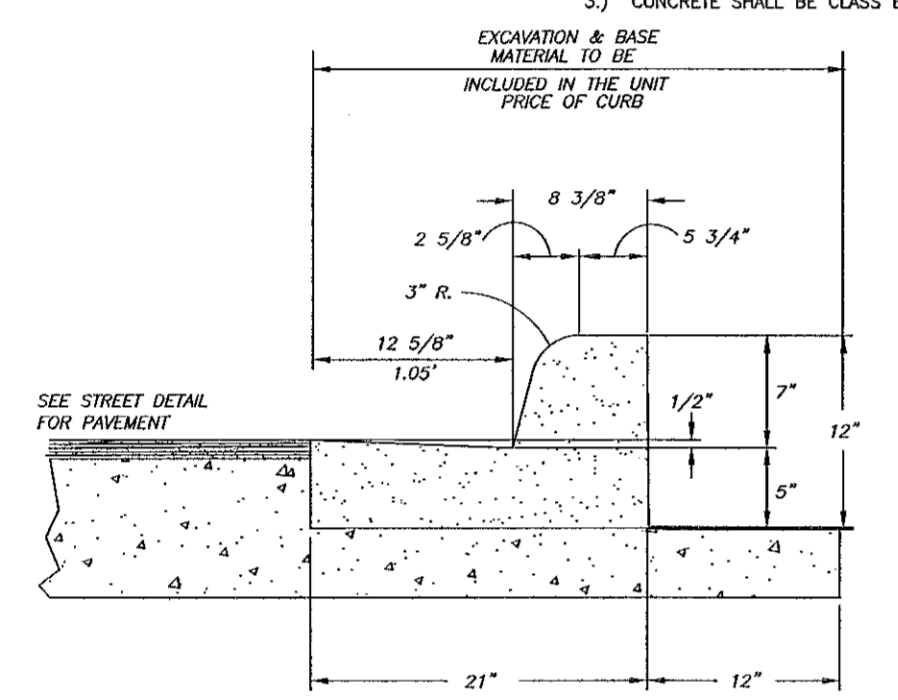


**EXPANSION/CONTRACTION JOINT**  
CONSTRUCTION JOINT  
N.T.S.

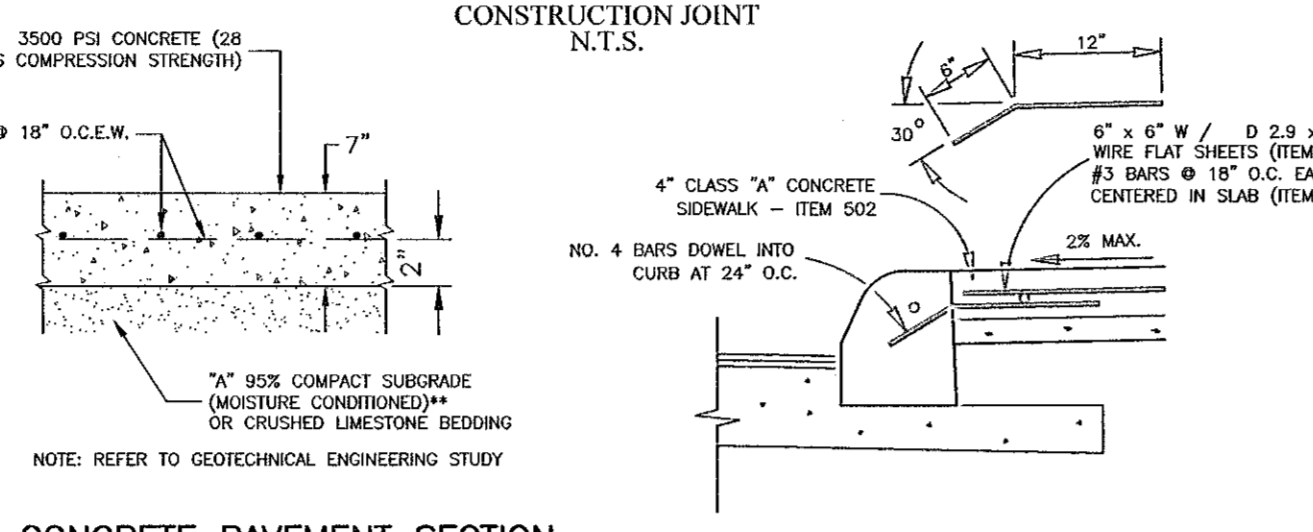


**JOINT SEAL DETAIL**  
N.T.S.

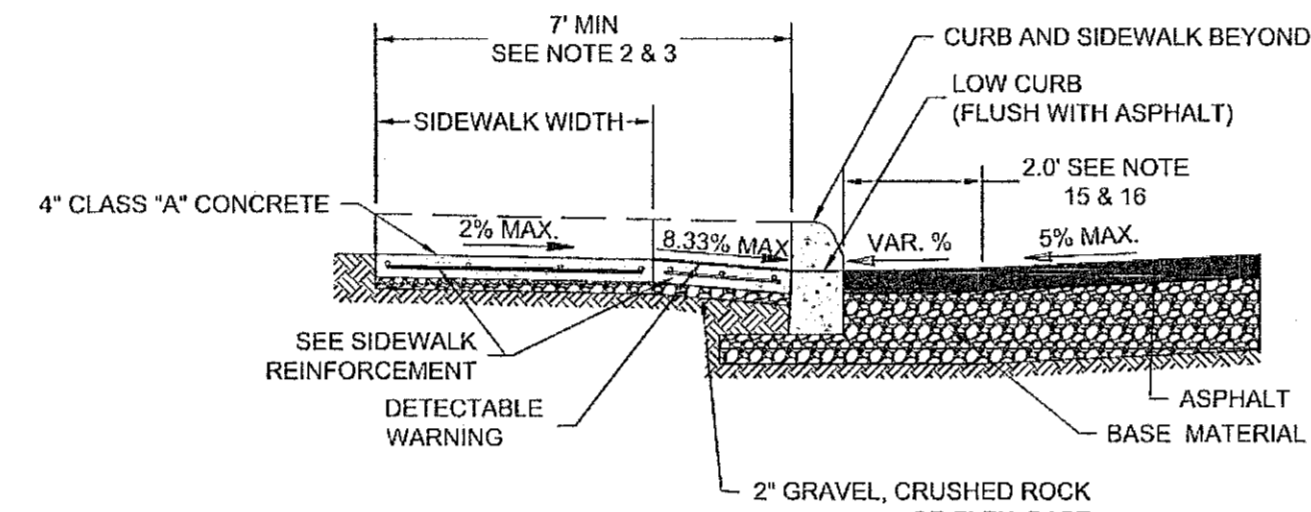
- NOTE:
- 1) FULL DEPTH EXPANSION JOINTS SHALL BE PROVIDED AT RETURNS, TANGENTS AND 100 FT INTERVALS OR PORTIONS THEREOF.
  - 2) DUMMY JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
  - 3) CONCRETE SHALL BE CLASS B (2500 psi).



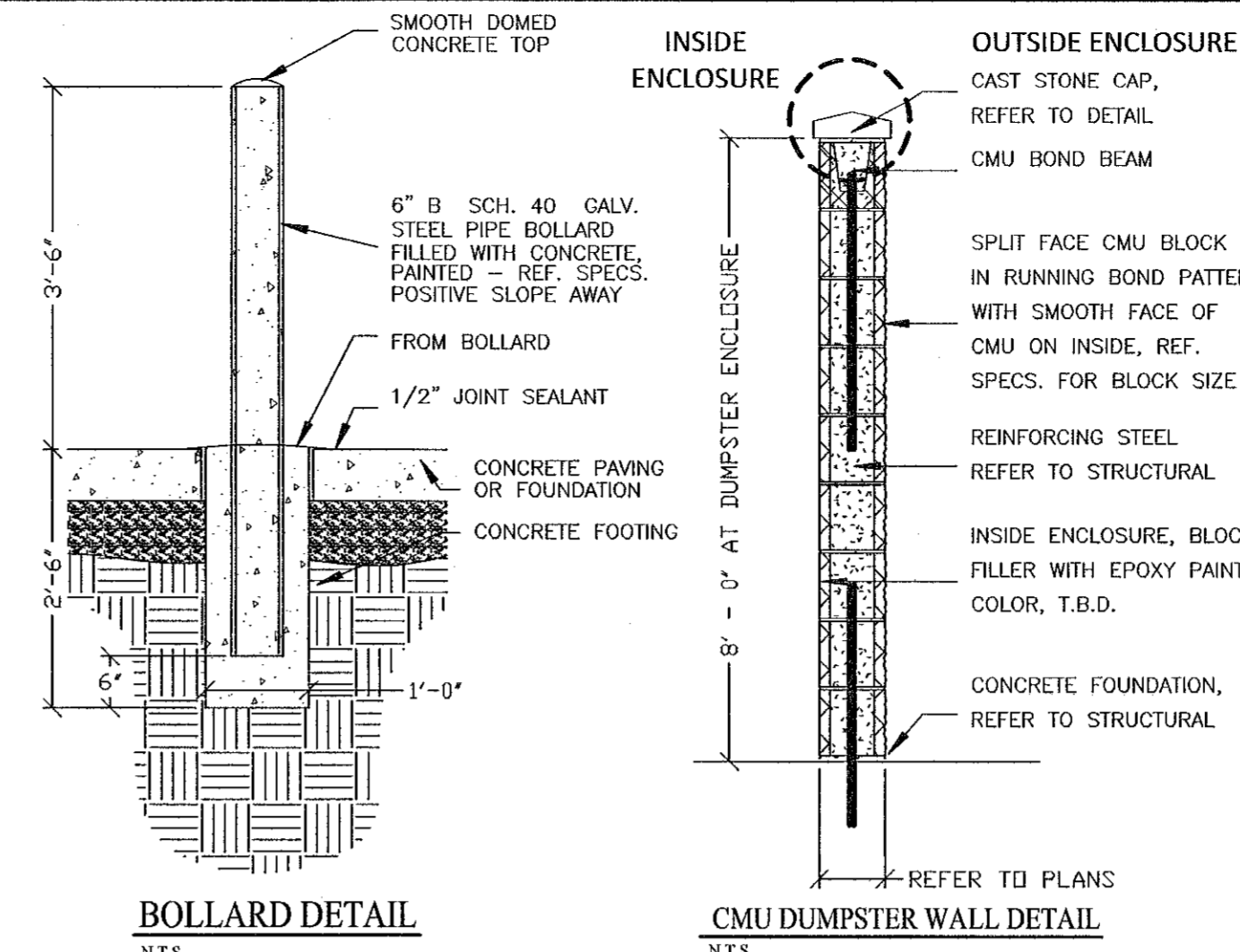
**CONCRETE CURB**  
N.T.S.



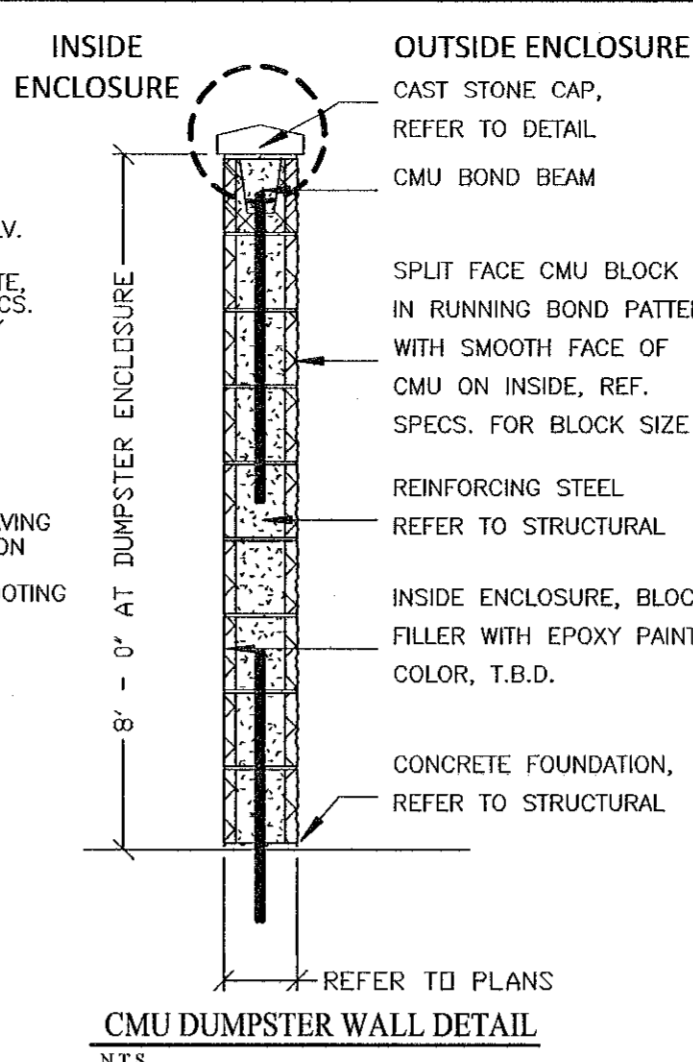
**CONCRETE SIDEWALK ABUTTING CURB SECTION**  
N.T.S.



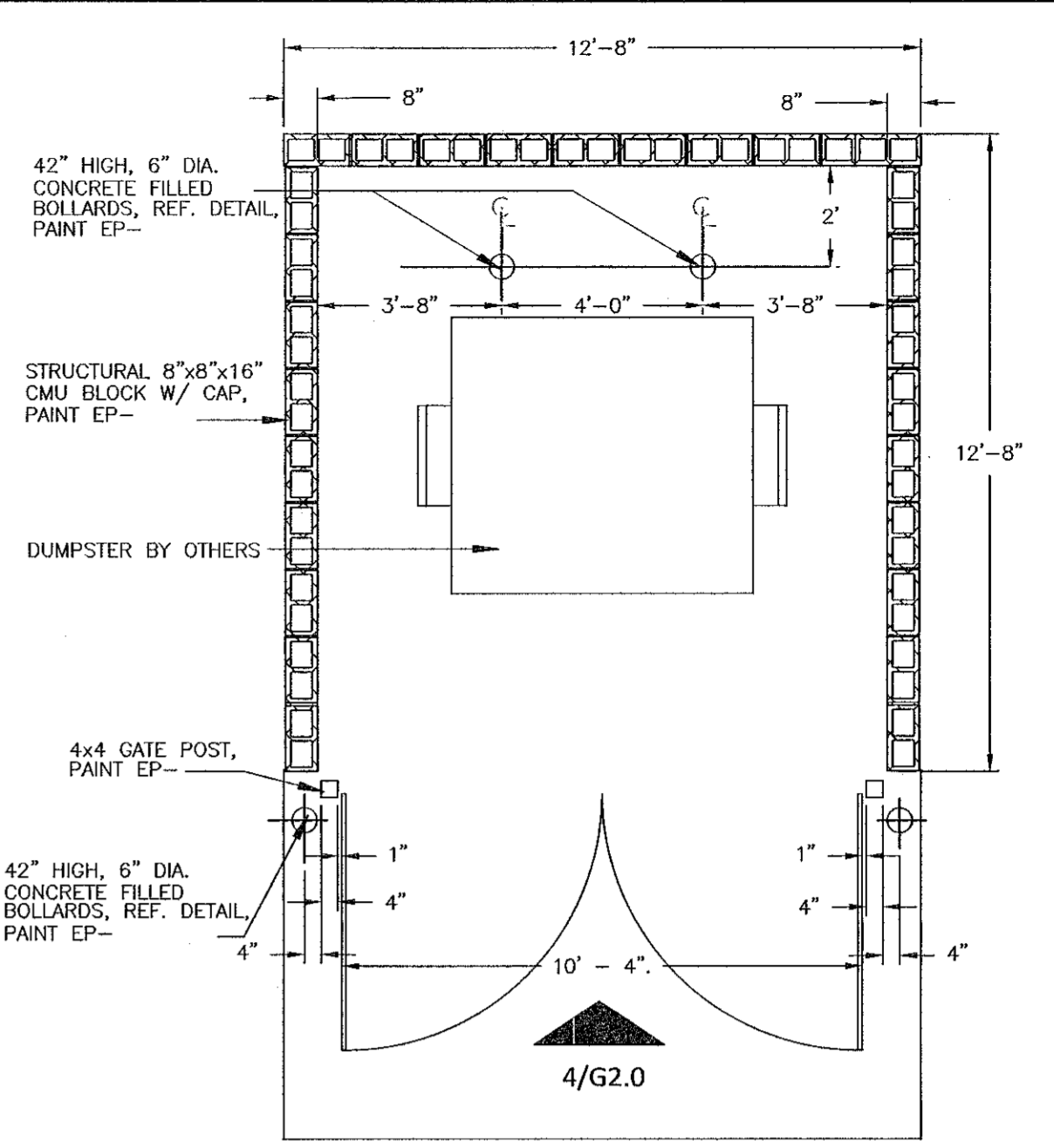
**SECTION A-A**  
SIDEWALK SEPARATED FROM CURB  
(NOT TO SCALE)



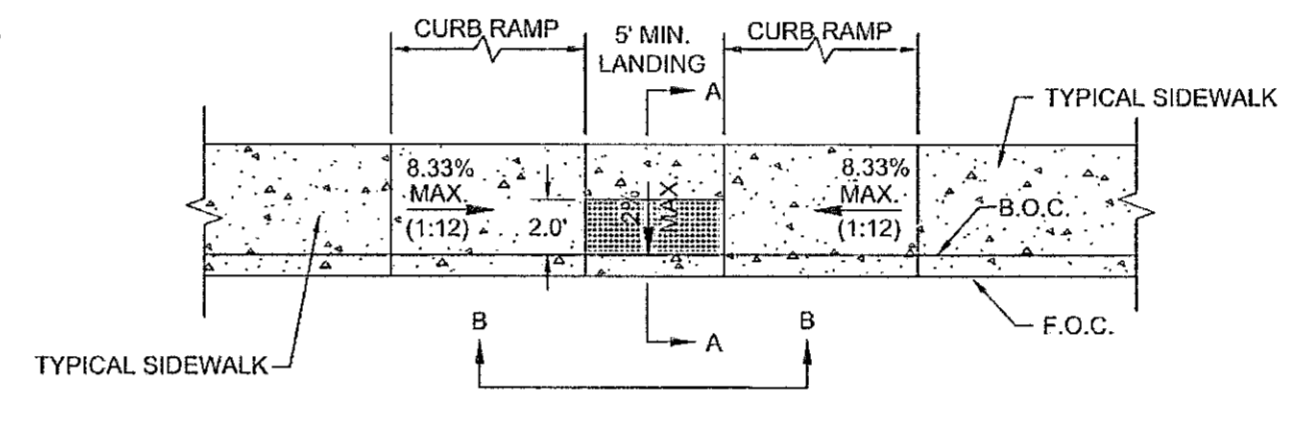
**BOLLARD DETAIL**  
N.T.S.



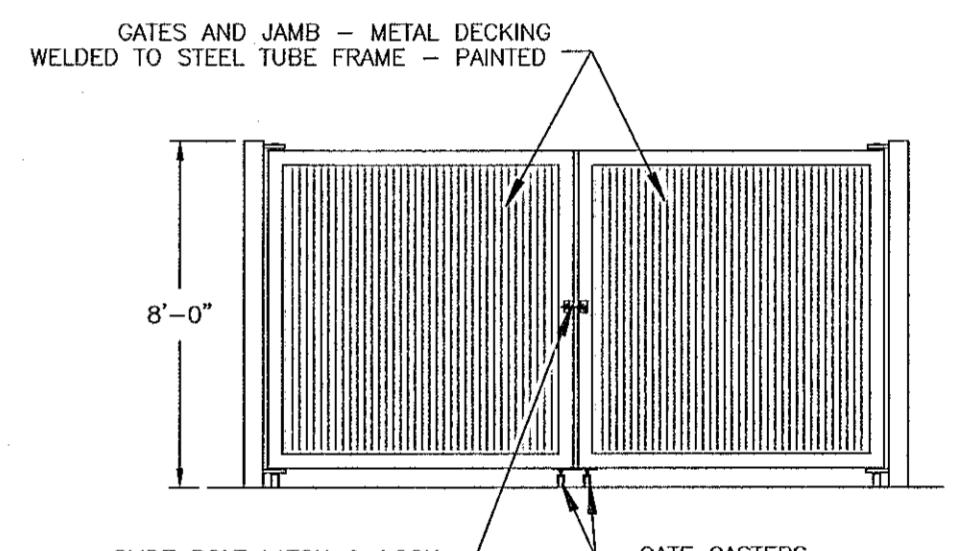
**CMU DUMPSTER WALL DETAIL**  
N.T.S.



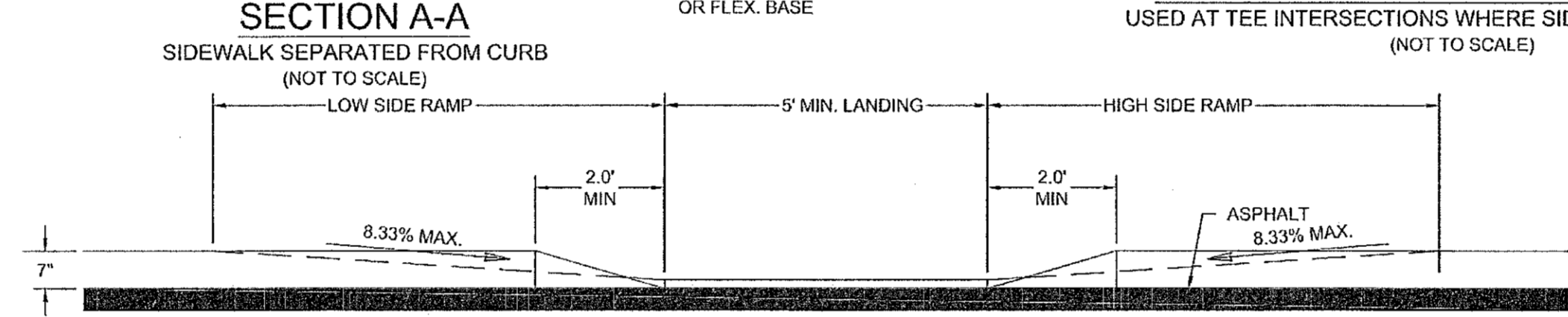
**DUMPSTER PLAN**  
N.T.S.



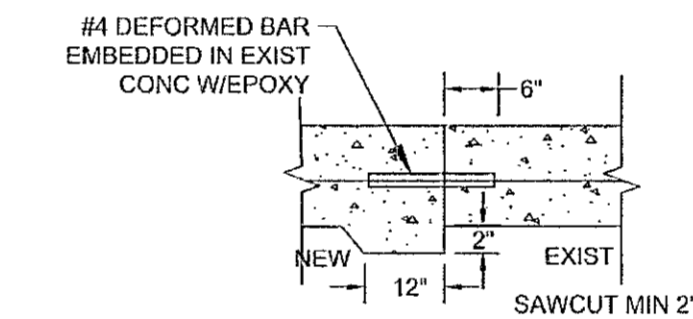
**TYPICAL SIDEWALK RAMP - TYPE II**  
USED AT TEE INTERSECTIONS WHERE SIDEWALK ABUTS CURB  
(NOT TO SCALE)



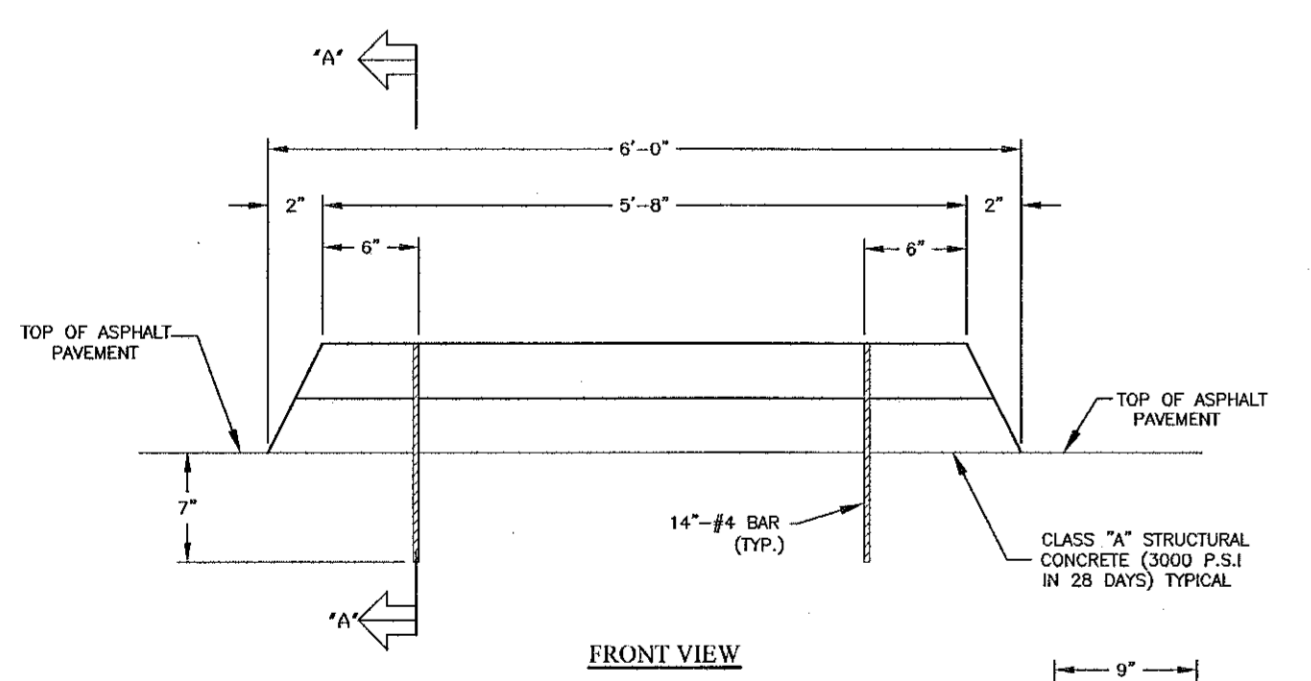
**DUMPSTER GATE ELEVATION**  
N.T.S.



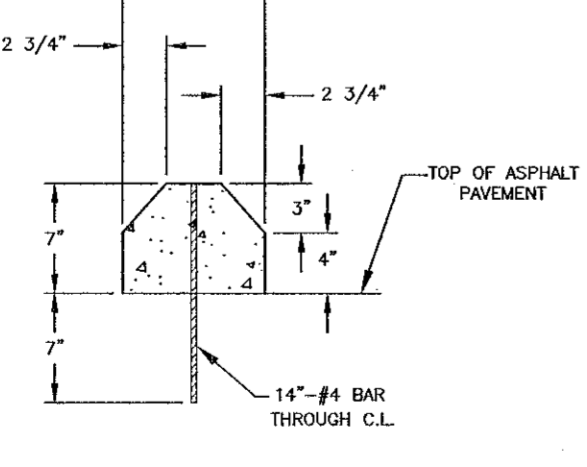
**SECTION B-B**  
CURB PROFILE WHERE SIDEWALK SEPARATED FROM CURB  
(NOT TO SCALE)



**SIDEWALK TO EXIST SIDEWALK**  
(NOT TO SCALE)



**WHEEL STOP DETAIL**  
N.T.S.



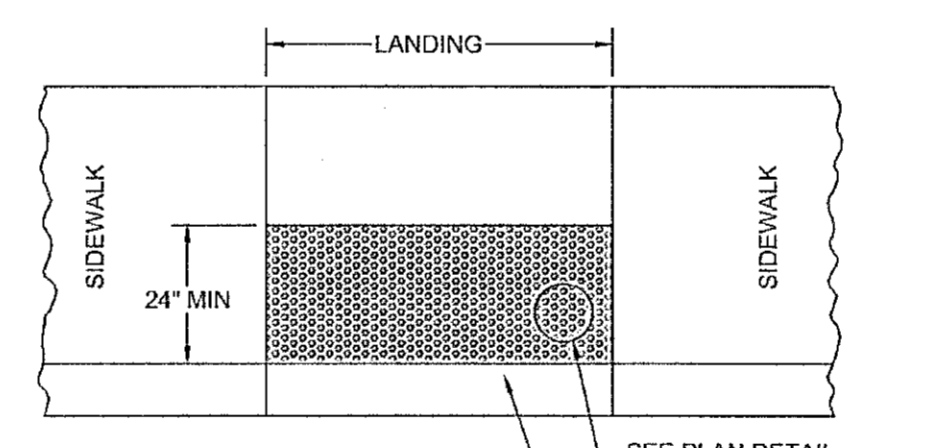
**CURB TRANSITION DETAIL**  
N.T.S.

**CITY OF SCHERTZ TEXAS**  
ENGINEERING AND PUBLIC WORKS

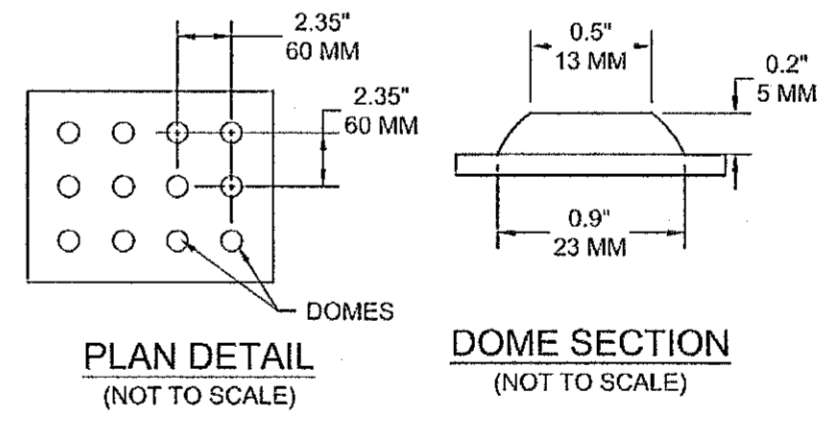
**SIDEWALK DETAILS**

PROJECT NO.:	DATE: FEBRUARY, 1 2013
DRWN. BY: LBJ	DSGN. BY: LBJ
CHKD. BY: LBJ	SHEET NO: 5 of 6

1. CURB SHALL BE TAPERED TO FINISH FLUSH WITH SIDEWALK.
2. BEGINNING RADIUS SHALL NOT ENCRUCH ON ADJACENT PROPERTIES BASED ON A PROJECTION OF THE PROPERTY LINE FROM THE RIGHT OF WAY TO THE CURB LINE.
3. SIDEWALK SECTION SHALL BE REQUIRED ALONG ALL STREETS.
4. THE TOWN IS NOT RESPONSIBLE FOR VEHICLES THAT DRAG DUE TO GRADE OF DRIVEWAY. THE DRIVEWAY IS PRIVATELY MAINTAINED.



**DETECTABLE WARNING AREA**  
(NOT TO SCALE)



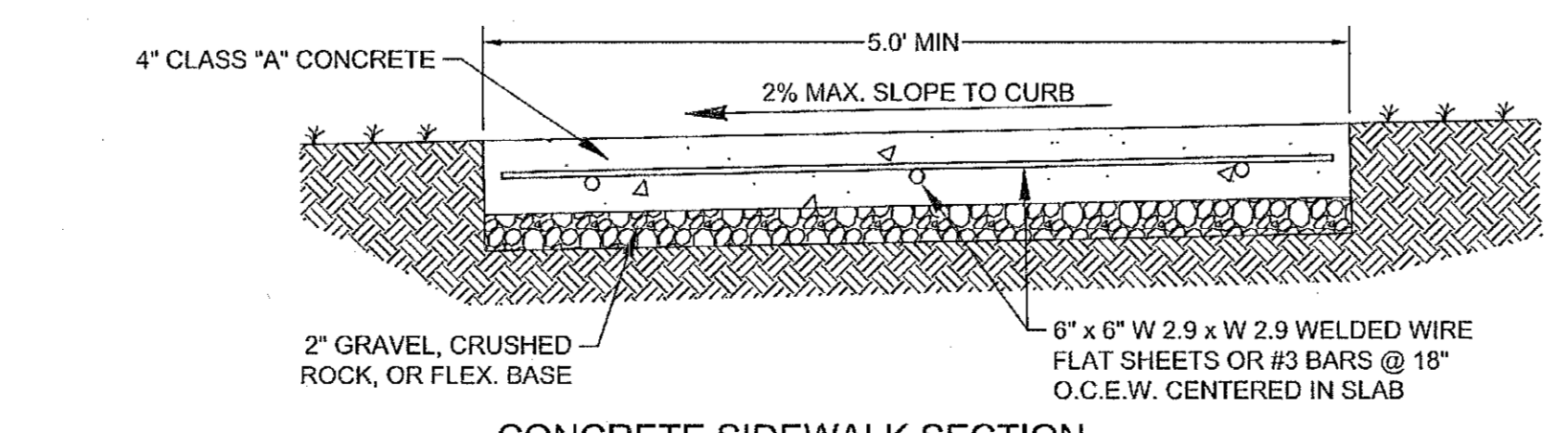
**PLAN DETAIL**  
(NOT TO SCALE)

**APPROVED CAST-IN-PLACE DETECTABLE WARNINGS**

1. CAST-IN-PLACE DETECTABLE WARNING SYSTEMS MUST BE POLYMER COMPOSITE
2. MATERIAL MUST BE "WET SET" INTO FRESHLY POURED CONCRETE.
3. PROTECT PRODUCT FROM DAMAGE UNTIL MATERIAL IS FULLY SET OR CURED.
4. PRODUCT MUST BE APPROVED BY THE ENGINEERING DEPARTMENT.

**NOTES:**

1. CURB SHALL BE TAPERED TO FINISH FLUSH WITH SIDEWALK.
2. BEGINNING RADIUS SHALL NOT ENCRUCH ON ADJACENT PROPERTIES BASED ON A PROJECTION OF THE PROPERTY LINE FROM THE RIGHT OF WAY TO THE CURB LINE.
3. SIDEWALK SECTION SHALL BE REQUIRED ALONG ALL STREETS.
4. THE TOWN IS NOT RESPONSIBLE FOR VEHICLES THAT DRAG DUE TO GRADE OF DRIVEWAY. THE DRIVEWAY IS PRIVATELY MAINTAINED.
5. PROVIDE (1/2") EXPANSION JOINTS AT 50 FOOT INTERVALS.
6. CRACK CONTROL JOINTS SHALL BE PROVIDED AT 5 FOOT INTERVALS.
7. NO. 3 BARS @ 18" CENTERED EACH WAY OR 6 X 6 NO. 10 WWM FLAT SHEETS.
8. SIDEWALKS SHALL BE INSTALLED WITH A MINIMUM OF 2" ABOVE GROUND.
9. WHERE ADA ACCESS SIDEWALK TIES TO EXISTING SIDEWALK ON CULVERA ADD #5 DOWELS @ 12" OC @ 6" INTO EXISTING AND PROPOSED CONCRETE.



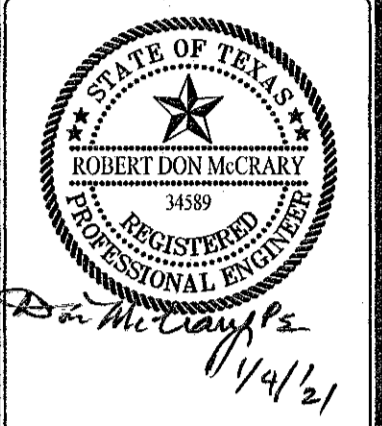
**CONCRETE SIDEWALK SECTION**  
(NOT TO SCALE)

DRIVEWAY REINFORCEMENT TABLE	
<b>RESIDENTIAL DRIVEWAY</b>	
#3 BARS 12" O.C. BOTH WAYS OR 6" x 6" W/ D4.7 W/ D4.7 WELDED WIRE FLAT SHEETS)	
<b>COMMERCIAL DRIVEWAY</b>	
#4 BARS 12" O.C. BOTH WAYS OR 6" x 6" W/ D7.5 x W/ D7.5 WELDED WIRE FLAT SHEETS	

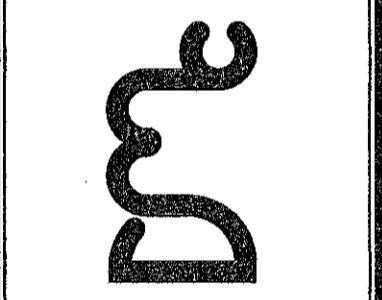
- CONCRETE DRIVEWAY NOTES**
1. SIDEWALK SHALL HAVE A MINIMUM WIDTH OF 5' AND BE SHALL BE LOCATED A MINIMUM OF 2' FROM THE BACK OF CURB.
  2. DUMMY JOINTS PARALLEL TO THE CURB SHALL BE PLACED WHERE THE SIDEWALK MEETS THE DRIVEWAY.
  3. DUMMY JOINTS PERPENDICULAR TO THE CURB, AND WITHIN THE BOUNDARIES OF THE PARALLEL DUMMY JOINTS, SHALL BE PLACED AT INTERVALS EQUAL TO THE WIDTH OF THE SIDEWALK.
  4. A MINIMUM OF TWO ROUND AND SMOOTH DOWEL BARS 3/8" IN DIAMETER AND 18" IN LENGTH SHALL BE SPACED 18" APART AT EACH EXPANSION JOINT.
  5. SIDEWALK RAMP LENGTHS SHALL BE OF SUFFICIENT LENGTH TO MAINTAIN 8.33% (1:12) MAXIMUM SLOPE. WHERE SIDEWALKS CROSS DRIVEWAYS, SIDEWALK CROSS SLOPE SHALL NOT EXCEED 2%.
  6. SIDEWALK RAMP SURFACE SHALL BE BRUSH FINISHED.

Date: Dec 31, 2020, 8:16am User ID: jmcneiw File: \\D:\CADD\1\Project\DWG\18026\18026 SITE PLAN DETAILS.dwg

NO.	DATE



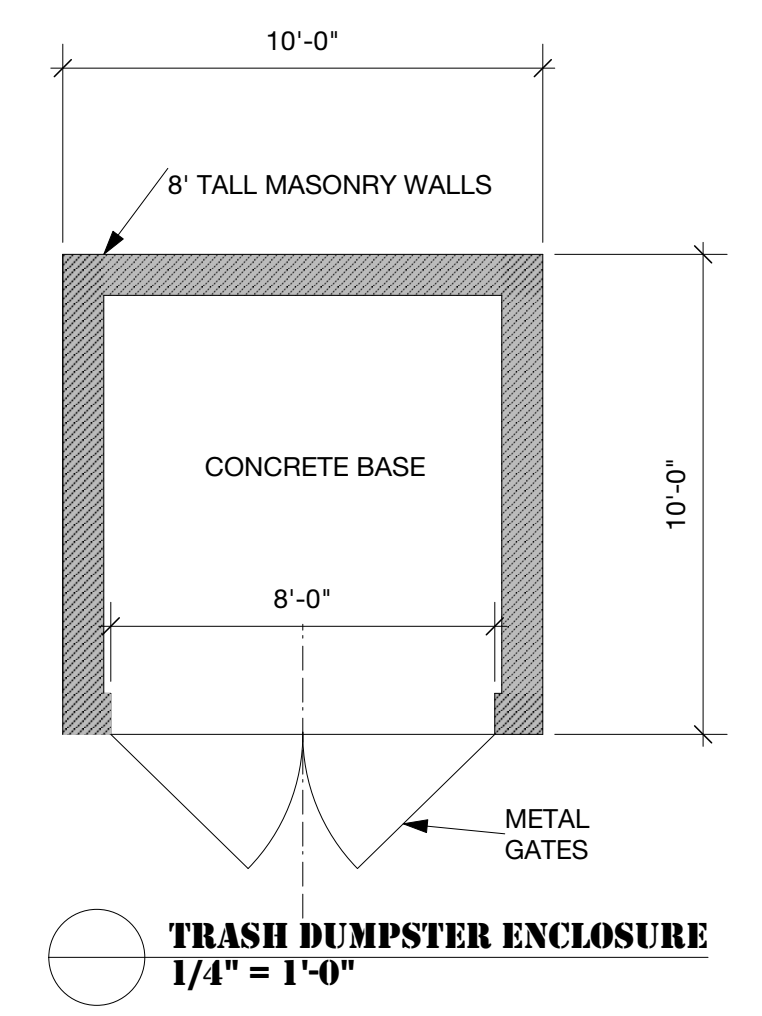
**DON MCCRARY & ASSOCIATES, INC.**  
ENGINEERS & SURVEYORS  
325 BREESEPORT  
SAN ANTONIO, TEXAS 78216-2602  
(210) 349-2651



LOCKAWAY STORAGE - 200 ROY RICHARDS DRIVE  
SITE PLAN DETAILS  
CITY OF SCHERTZ, TEXAS

SHEET <b>C2.01</b>	
DRAWN BY: J. McNEIW	CHECKED BY: BIM
DATE December 2020	PROJ. NO. 19026





**PARKING REQUIRED AND PROVIDED**

PARKING REQUIREMENT AND PARKING PROVIDED AS PER UDC SEC. 21.10.14

OFFICE AREA:	315 SFF
PARKING REQUIRED:	1 SPACE/300 SF
PARKING PROVIDED:	1 Space
TL STORAGE AREA:	80,764 SF
PARKING REQUIRED:	1SPACE/3000 SF
	27 SPACES
PARKING PROVIDED/STORAGE:	27 SPACES
TL PARKING PROVIDED FOR OFFICE+STORAGE:	28 SPACES

**FLOOR PLAN BLDG A**  
1/16" = 1'-0" 40,771 SF



Lock Away Storage  
200 Roy Richards Drive  
Schertz, Texas

**Bartholomew**  
Architecture / Development Services  
Studio  
4703 Crestwood Austin, Texas 78723  
P: 512.992.4200  
E: RANDY@BARTHOLOMEW.CO

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**NOTE:**  
CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION

**SHEET NO.:**  
**1**

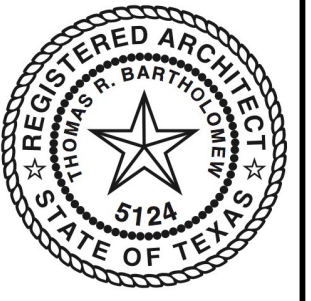
**OF:** SHEETS

**PROJECT NO.:**

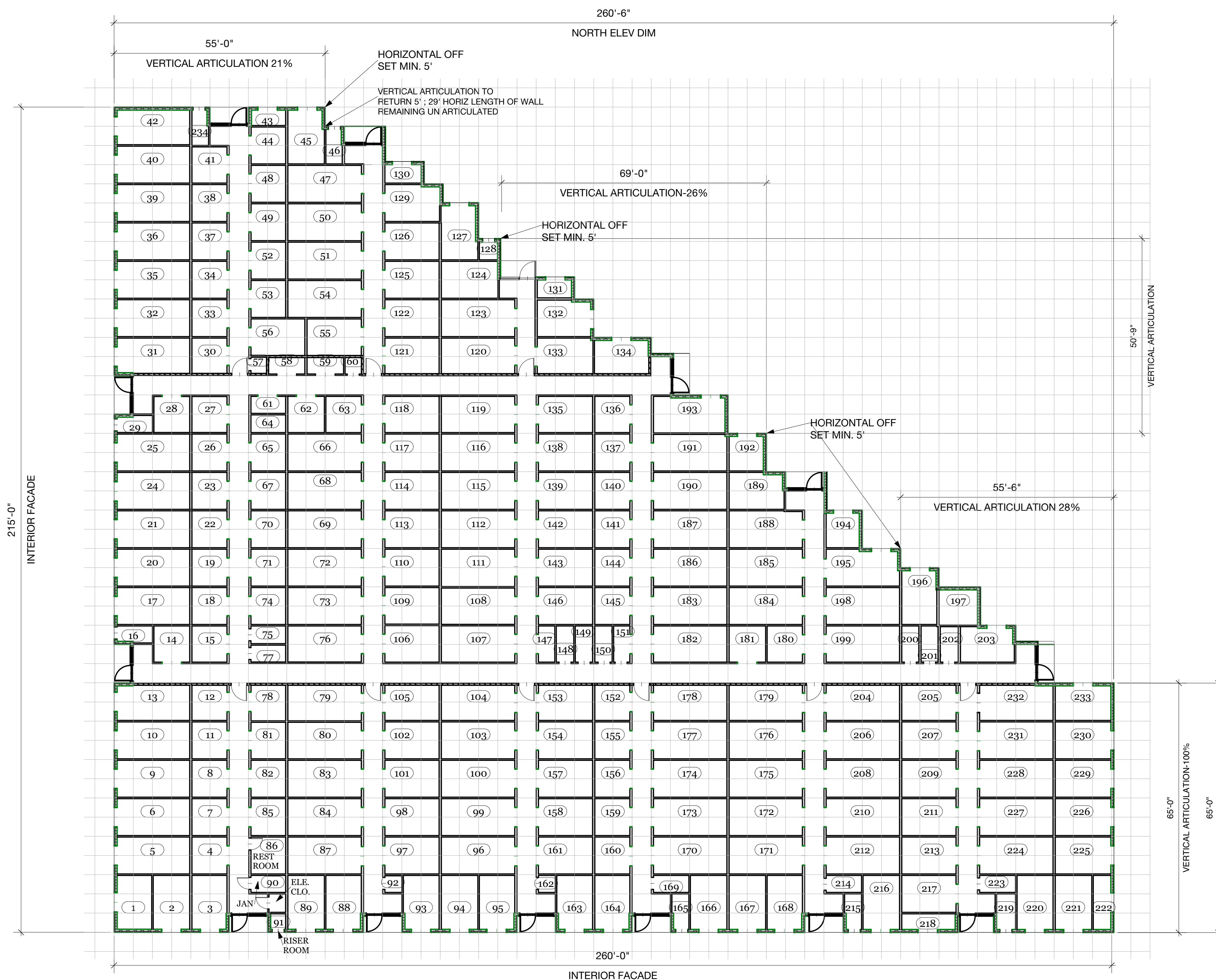
**DATE STAMPED:**

REVISED 9/24/20 AS PER CITY SUP REVIEW DATED 7/2/2020

Date: **1/13/20**  
Time: **8:35:10 AM**  
File name: **SUP PRELIMS.vwx**



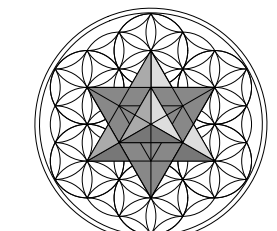
DATE:



**FLOOR PLAN BLDG B**  
 1/16" = 1'-0" 39,933 SF



Lock Away Storage  
 200 Roy Richards Drive  
 Schertz, Texas



**Bartholomew**  
 Architecture / Development Services  
 Studio  
 4703 Crestwood Austin, Texas 78723  
 P: 512.925.4252  
 E: RANDY@BARTHOLOMEW.CO

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**NOTE:**  
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**SHEET NO.:**  
 2

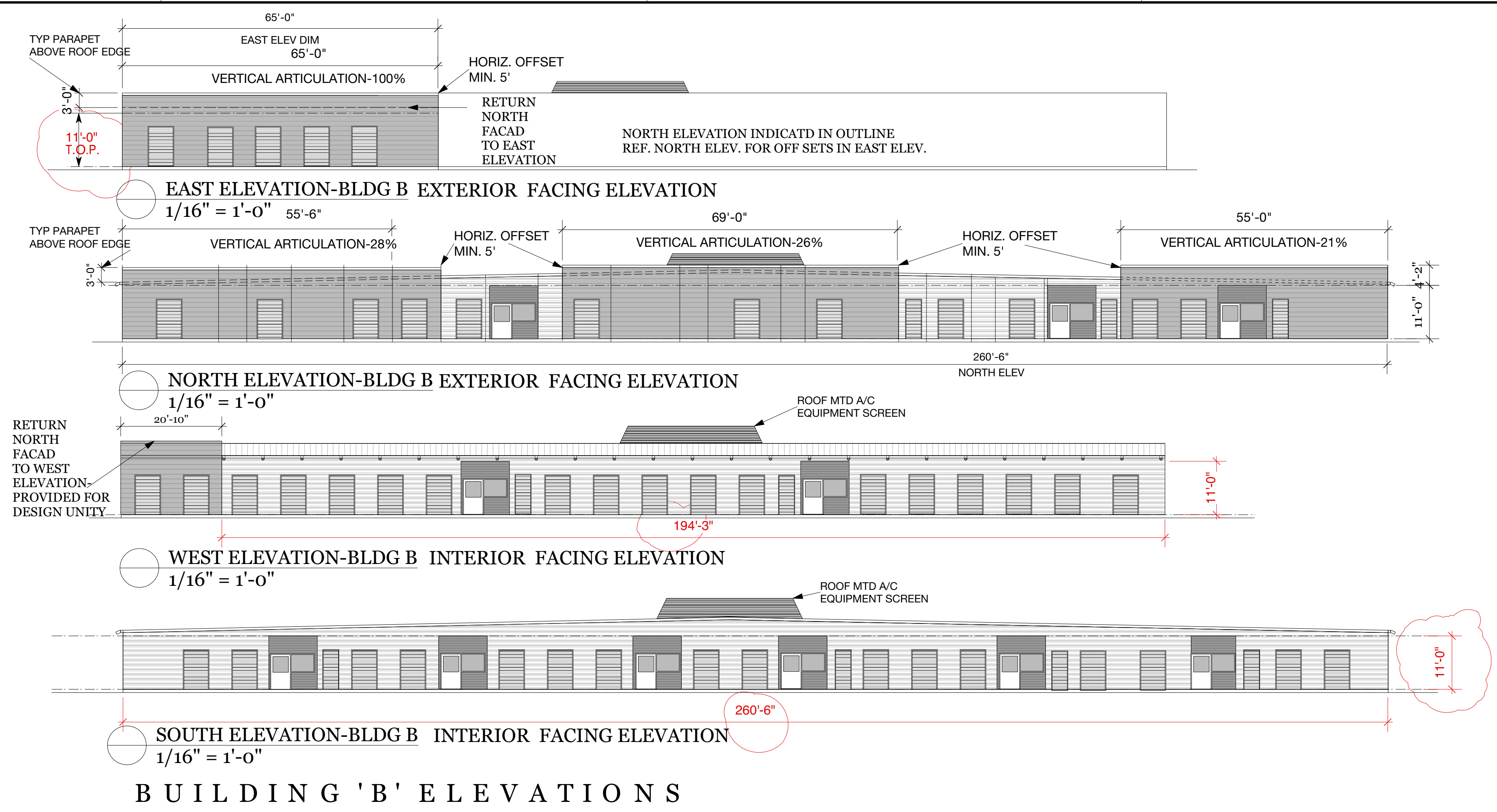
**OF:** SHEETS  
**PROJECT NO.:**  
**DATE STAMPED:**



REVISED 9/24/20 AS PER CITY  
 SUP REVIEW DATED 7/2/2020

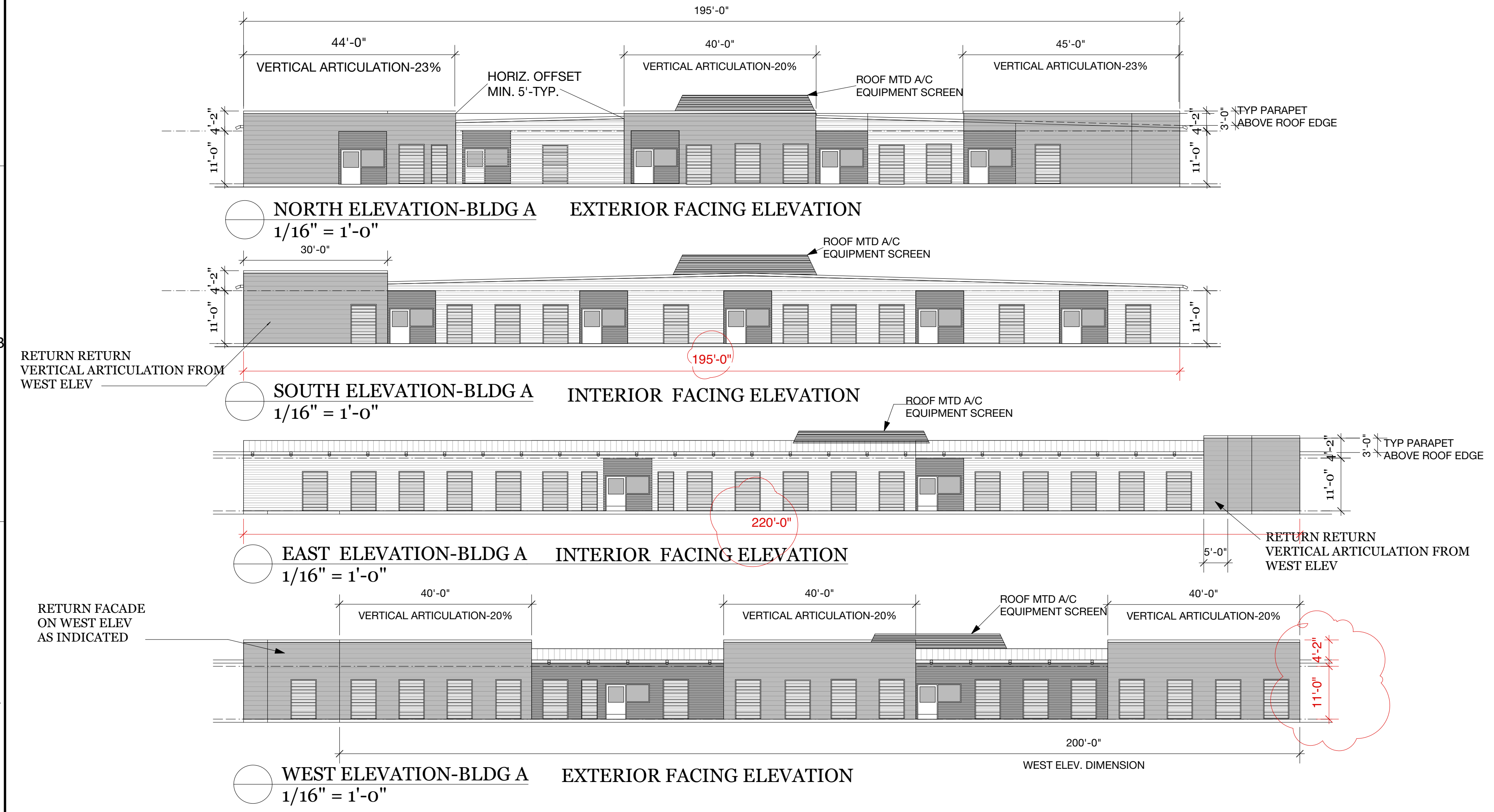
Date: **1/13/20**  
 Time: **8:35:10 AM**  
 File name: **SUP PRELIMS.vwx**

DATE:



**BUILDING 'B' ELEVATIONS**

**BUILDING 'A' ELEVATIONS**



Lock Away Storage  
 200 Roy Richards Drive  
 Schertz, Texas



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NOTE: CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION

SHEET NO. 3

OF 3 SHEETS

PROJECT NO. DATE STAMPED:

REVISED 12/17/20 AS PER CITY SUP REVIEW DATED 7/2/2020  
 REVISED 9/24/20 AS PER CITY SUP REVIEW DATED 7/2/2020

Date: 12/17/20  
 Time: 9:47:35 AM  
 File name: 2 SUP PRELIMS.vwx



**LANDSCAPE ORDINANCE COMPLIANCE**

- LANDSCAPING REQUIRED**  
 TOTAL SITE AREA: 520,458 SF  
 20% TOTAL LANDSCAPE REQUIRED: 104,092 SF  
 TOTAL LANDSCAPING PROVIDED: 21884 SF PROPOSED LANDSCAPE  
 128,550 SF UNDISTURBED AREA  
 150,434 SF (28.9%)

TOTAL TREES REQUIRED:  
 INDUSTRIAL SITE (60% OF GROSS LOT AREA): 312,275 SF  
 (9) TREES PER ACRE (43,560 SF)  
 TOTAL TREES PROVIDED ON SITE: 65 TREES REQUIRED **65 TREES PROVIDED**
- LANDSCAPING IN FRONT YARD**  
 LANDSCAPING IN FRONT YARD REQUIRED: 104,092 SF x 40%: 41,637 SF  
 LANDSCAPING IN FRONT YARD PROVIDED: 138,429 SF (100%) PROVIDED
- PARKING LOT LANDSCAPING**  
 TOTAL PARKING LOT AREA: 14,906 SF x 10%: 1491 SF  
 TOTAL PARKING LOT LANDSCAPING PROVIDED: 1491 SF PARKING LOT LANDSCAPING REQUIRED  
 3225 SF (21.6%) PROVIDED

TREES REQUIRED PER PARKING LOT: 1491 SF / 400 SF: 4 PARKING LOT TREES REQUIRED  
 TREE PROVIDED IN PARKING LOT: 7 PARKING LOT TREES PROVIDED
- PARKING LOT SCREENING**  
 PROVIDED AS REQUIRED
- PERIMETER LANDSCAPING**  
 LF ALONG FM 78: 580 LF / 20 LF: 29 TREES REQUIRED  
 PROVIDED VIA PROPOSED & UNDISTURBED: 29 TREES PROVIDED
- MULTI-FAMILY / RESIDENTIAL BUFFER**  
 NOT APPLICABLE.
- IRRIGATION**  
 ALL NEW LANDSCAPE WILL BE WATERED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.

**GENERAL NOTES:**

- REFER TO SPECIFICATIONS FOR ALL CONTRACT PLANTING.
- INSTALL APPROVED IMPORTED PLANTING MIX TO MIN. DEPTH OF 6" IN ALL AREAS SCHEDULED AS LANDSCAPE PLANTING AREAS.
- INSTALL APPROVED IMPORTED TOPSOIL TO 4" DEPTH IN ALL TURFGRASS AREAS.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES IN THE FIELD PRIOR TO INSTALLATION AND MUST REPORT ANY DEVIATION IN SITE CONDITIONS TO THE LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH WORK IN THE AFFECTED AREA.
- WHERE SHOWN ON THESE PLANS, UTILITY INFORMATION IS PROVIDED FOR REFERENCE ONLY. REF. CIVIL AND MEP PLANS FOR ALL UTILITY INFORMATION.
- VERIFY LOCATION AND DEPTH OF ALL EXISTING AND PROPOSED UTILITIES PRIOR TO ANY EXCAVATION. IN THE EVENT POTENTIAL CONFLICT(S) OCCUR BETWEEN UTILITIES AND LANDSCAPE IMPROVEMENTS, IMMEDIATELY CEASE WORK IN THE AFFECTED AREA, REPORT THE CONFLICT(S) TO THE OWNER'S REPRESENTATIVE, AND DO NOT PROCEED UNTIL RECEIPT OF SPECIFIC WRITTEN DIRECTION.

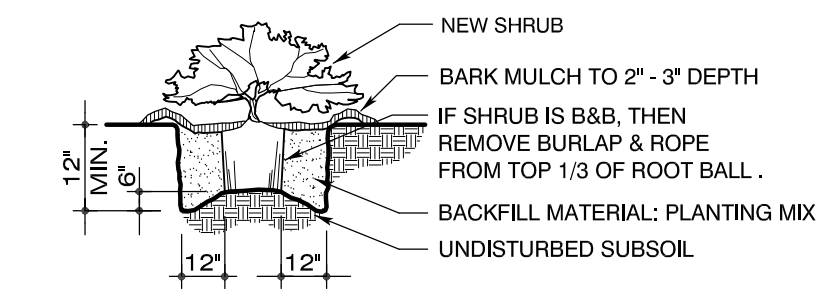
**URBAN DEER NOTES:**

- AT THE TIME THESE DOCUMENTS WERE PREPARED THE LANDSCAPE ARCHITECT WAS NOT AWARE OF A LOCAL URBAN DEER POPULATION.
- IN THE EVENT AN URBAN DEER POPULATION IS DISCOVERED, CONTRACTOR IS SOLELY RESPONSIBLE FOR PROTECTING ALL NEWLY-INSTALLED PLANTS THROUGH THE 30-DAY MAINTENANCE PERIOD.
- APPLY "LIQUID FENCE" (OR APPROVED EQUAL) TO ALL PLANTS AS NEEDED TO DISCOURAGE BROWSING BY DEER.
- ANY NEWLY-INSTALLED PLANTS EATEN OR BROWSED BY DEER PRIOR TO THE EXPIRATION OF THE 30-DAY MAINTENANCE PERIOD SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.

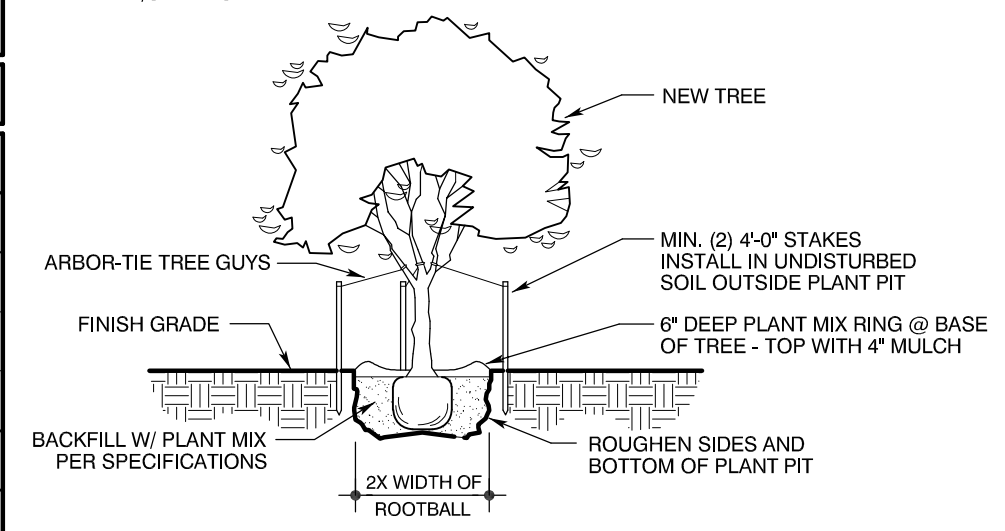
**OVERHEAD ELECTRIC NOTES:**

- ALL PROPOSED LARGE SPECIES TREES (AS DEFINED BY THE UNIFIED DEVELOPMENT CODE IN EFFECT HEREOF) SHALL BE PLANTED NO CLOSER THAN 20' TO ALL OVERHEAD ELECTRIC UTILITY LINES.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD LOCATING ALL OVERHEAD ELECTRIC UTILITY LINES AND ENSURING THAT NO LARGE SPECIES TREES ARE PLANTED WITHIN 20' OF ANY OVERHEAD ELECTRIC UTILITY LINES.
- WHERE CITY INSPECTORS FIND ANY PROPOSED LARGE SPECIES TREES TO BE IN VIOLATION OF PROXIMITY TO OVERHEAD ELECTRIC UTILITY LINES, THE CONTRACTOR SHALL RELOCATE TREES AT NO ADDITIONAL COST TO THE OWNER.

PLANT SCHEDULE 2		SIZE = CALIPER OR SPREAD					
QTY.	SYM.	SCIENTIFIC NAME	COMMON NAME	HGT.	SIZE	CONDITION	REMARKS
<b>TREES</b>							
14	PM	Platanus mexicana	MEXICAN SYCAMORE	-	3" CAL.	B and B	DECIDUOUS / SINGLE STEM
13	QS	Quercus shumardii	SHUMARD OAK	-	3" CAL.	B and B	DECIDUOUS / SINGLE STEM
14	QV	Quercus virginiana	LIVE OAK	-	3" CAL.	B and B	EVERGREEN / SINGLE STEM
13	UC	Ulmus crassifolia	CEDAR ELM	-	3" CAL.	B and B	DECIDUOUS / SINGLE STEM
<b>SHRUBS</b>							
104	PAC	Plumbago auriculata 'Capensis'	CAPE PLUMBAGO	-	5 GAL.		EVERGREEN / PLANT AT 3'-0" O.C.
87	RRZ	Rosa 'Radrazz'	'RADRAZZ' KNOCK-OUT ROSE	-	5 GAL.		EVERGREEN / PLANT AT 3'-0" O.C.
<b>GROUNDCOVERS AND GRASSES</b>							
		Cynodon dactylon '419'	'419' HYBRID BERMUDAGRASS	-		SOLID SOD	SEE SPECIFICATIONS
			3" - 4" 'TEXAS BLEND' RIVER ROCK	-			APPLY TO 4" DEPTH OVER COMPACTED SUBGRADE W/ GEO-TEXTILE WEED BARRIER AND PRE-EMERGENT HERBICIDE. FILL UNDER ADJACENT SHRUBS.



**SHRUB PLANTING DETAIL**  
 NEW SHRUBS  
 1/8" = 1'-0"



**TREE PLANTING DETAIL**  
 NEW TREES  
 1/8" = 1'-0"



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OWNER  
**LockAway Storage**

18881 Von Karmen Ave., Suite 150  
 Irvine, CA 92612

PROJECT  
**LockAway Storage Building Addition**

200 Roy Richard Dr.  
 Schertz, TX 78154

REVISIONS		
1.	City Comments	10/22/20
2.	City Comments	12/4/20

PROJECT NUMBER  
 2019-212

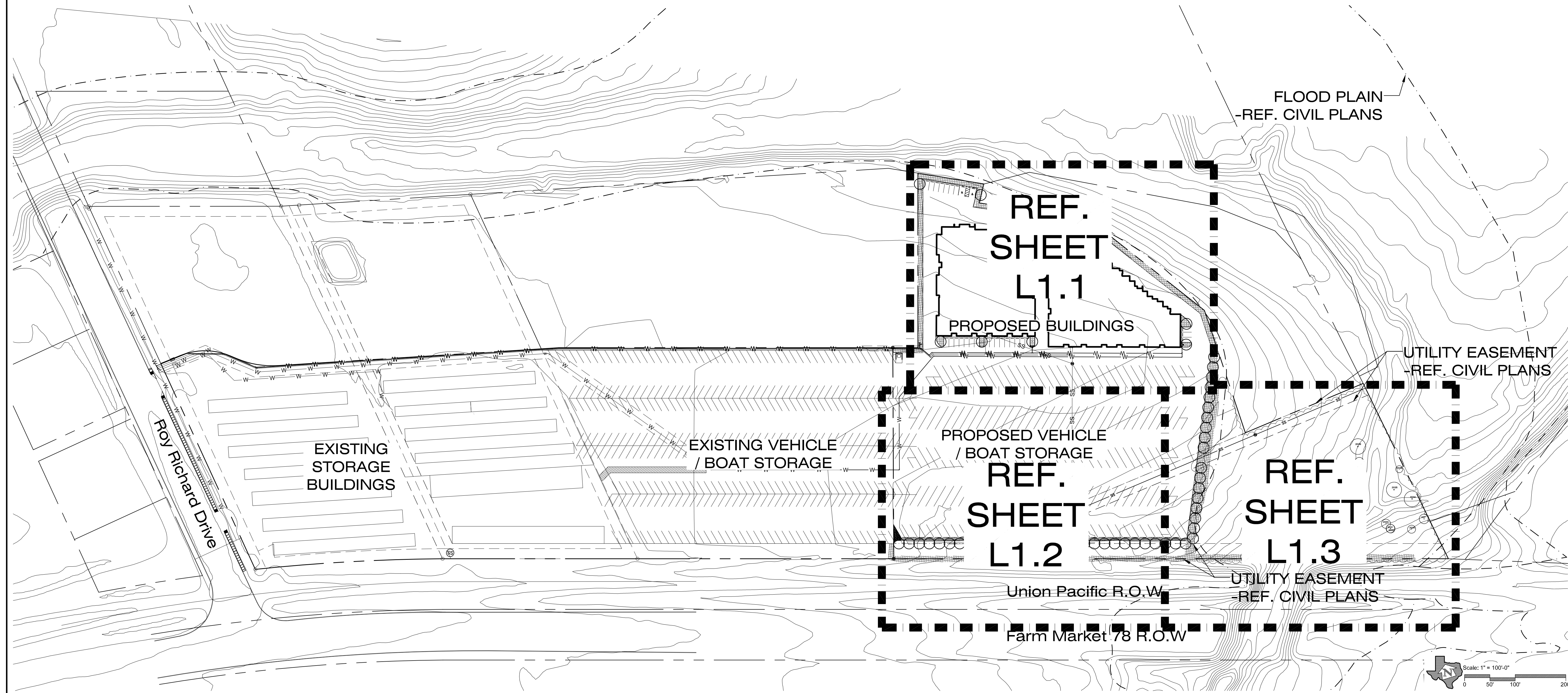
Drawn By: jv  
 Checked By: jr

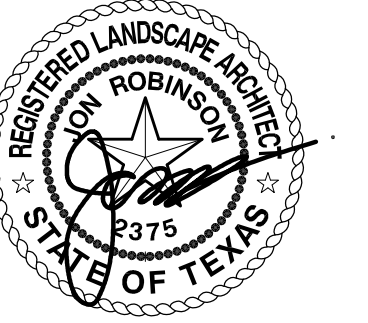
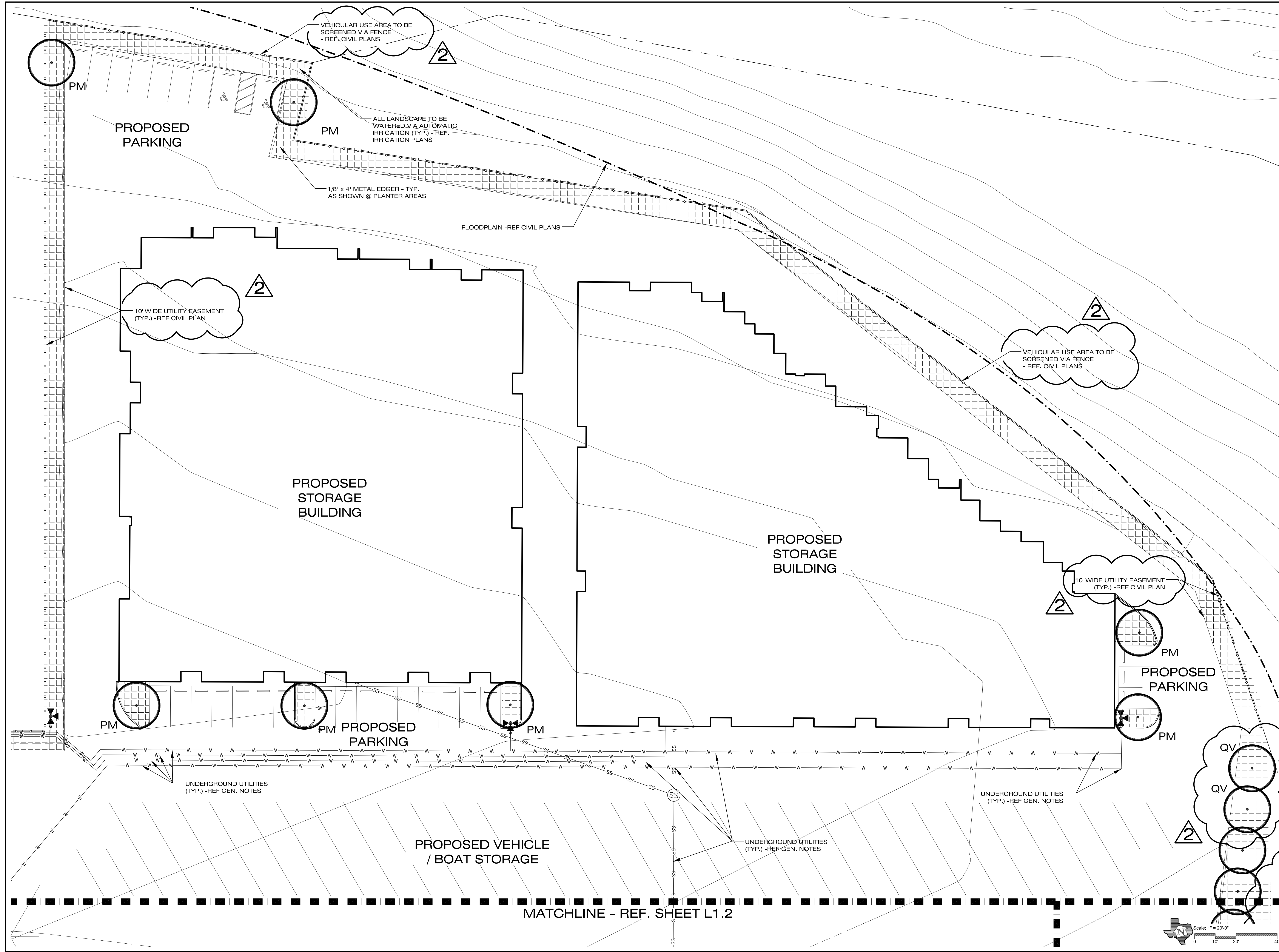
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**OVERALL LANDSCAPE PLANTING PLAN**

Sheet Number:

**L1.0**

Issue Date:  
**May 29, 2020**





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 Schertz, TX 78154

REVISIONS

1.	City Comments	10/22/20
2.	City Comments	12/4/20

PROJECT NUMBER  
 2019-212

Drawn By: jv  
 Checked By: jr

Sheet Title:  
**LANDSCAPE PLANTING PLAN**

Sheet Number:

**L1.1**

Issue Date:  
 May 27, 2020

MATCHLINE - REF. SHEET L1.1

PROPOSED VEHICLE / BOAT STORAGE

PROPOSED VEHICLE / BOAT STORAGE

PROPOSED VEHICLE / BOAT STORAGE

PROPOSED VEHICLE / BOAT STORAGE

PROPOSED VEHICLE / BOAT STORAGE

MATCHLINE - REF. SHEET L1.3

HORIZON DESIGN AND DEVELOPMENT  
PLANNING, LANDSCAPE ARCHITECTURE  
DEVELOPMENT CONSULTING  
14607 San Pedro Ave., Suite 200  
San Antonio, Texas 78232  
210.831.8564 jrobbinson@horizondesign-ia.com



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LockAway Storage

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Irvine, CA 92612

PROJECT  
LockAway Storage  
Building Addition

200 Roy Richard Dr.  
Schertz, TX 78154

REVISIONS		
1.	City Comments	10/22/20
2.	City Comments	12/4/20

PROJECT NUMBER  
2019-212

Drawn By: jv  
Checked By: jr

Sheet Title:  
LANDSCAPE  
PLANTING  
PLAN

Sheet Number:

L1.2

Issue Date:  
May 27, 2020

RIVER ROCK (TYP.) -REF  
PLANT SCHEDULE

25' WIDE UTILITY EASEMENT  
(TYP.) -REF CIVIL PLAN

UNDERGROUND UTILITIES  
(TYP.) -REF GEN. NOTES

30' WIDE UTILITY EASEMENT  
(TYP.) -REF CIVIL PLAN

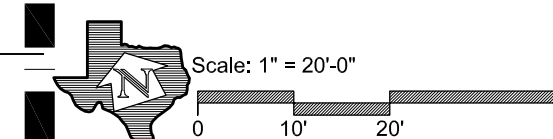
1/8" x 4" METAL EDGER - TYP.  
AS SHOWN @ PLANTER AREAS

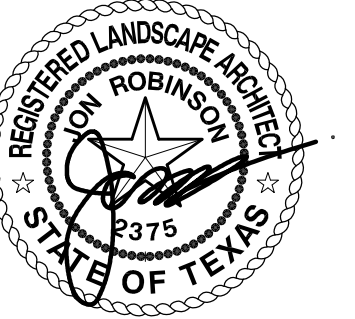
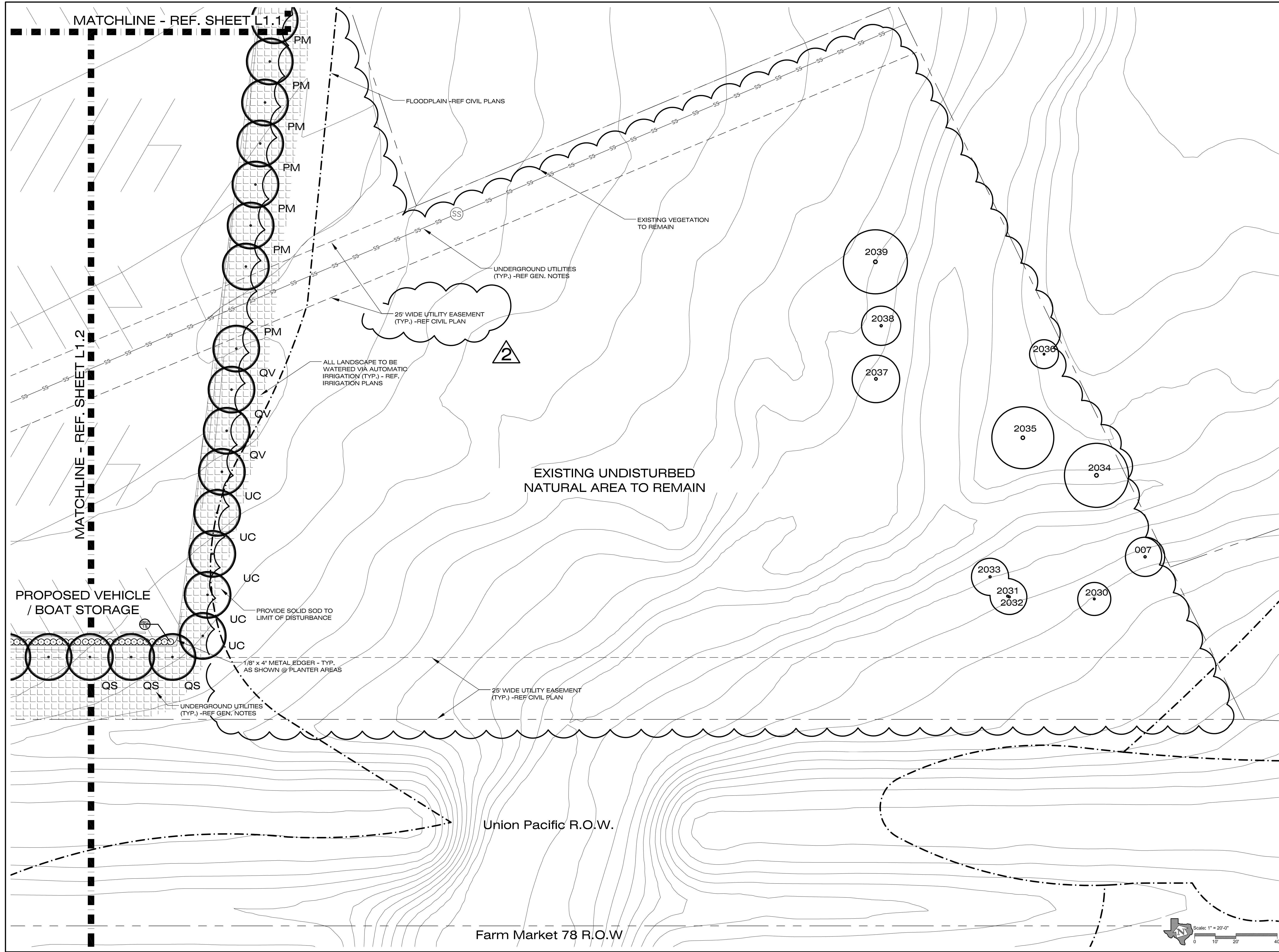
ALL LANDSCAPE TO BE  
WATERED VIA AUTOMATIC  
IRRIGATION (TYP.) - REF.  
IRRIGATION PLANS

UNDERGROUND UTILITIES  
(TYP.) -REF GEN. NOTES

Union Pacific R.O.W.

Farm Market 78 R.O.W.





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PROJECT  
**LockAway Storage  
 Building Addition**

200 Roy Richard Dr.  
 Schertz, TX 78154

REVISIONS		
1.	City Comments	10/22/20
2.	City Comments	12/4/20

PROJECT NUMBER  
**2019-212**

Drawn By: jv  
 Checked By: jr

Sheet Title:  
**ENLARGED  
 LANDSCAPE  
 PLANTING PLAN**

Sheet Number:

**L1.3**

Issue Date:  
**May 27, 2020**

## PART 1 - GENERAL

- 1.1 Work Included
  - A. Place and spread topsoil and planting mix.
  - B. Install edging at planter areas.
  - C. Excavate and prepare plant pits.
  - D. Place plants in pits and backfill with planting mix.
  - E. Prune plants.
  - F. Apply mulch to planter areas.
  - G. Install solid sod, hydromulch, or seed mix.
  - H. Guarantee plants.
  - I. Inspect plants during the Guarantee Period.

- 1.2 Reference Standards
  - A. Nomenclature and size. All plants must be true to name and size in conformance with the following standards:
  - B. American Joint Committee on Horticultural Nomenclature, 1942 ed. of Standardized Plant Names (Mount Pleasant Press, J. Horace McFarland Co., Hartsburg PA)
  - C. American Standard of Nursery Stock, 1973 ed. (American Association of Nurserymen, Inc., Washington DC)

- 1.3 Submittals
  - A. Submit weed control program in accordance with Sec. 01300
    1. Indicate chemicals to be employed, manufacturer's printed instructions as to dilution and application, solution strength, application method, rates, and frequency of manual weeding.
    2. Submit chemical manufacturer's written certificate that material proposed for use meets local, state, and federal regulations for the type of material proposed and that the material is not toxic to humans and animals if applied per the manufacturer's written instructions.
  - B. Submit topsoil sample (min. 1-gal. bag) in accordance with Sec. 01300
    1. Indicate topsoil supplier source.
    2. Provide laboratory test results indicating compliance w/ topsoil composition requirements.
  - C. Submit planting mix sample (min. 1-gal. bag) in accordance with Sec. 01300
    1. Indicate planting mix supplier source.
    2. Provide laboratory test results indicating compliance w/ planting mix composition requirements
  - D. Submit bark mulch sample (min. 1-gal. bag) in accordance with Sec. 01300
    1. Indicate bark mulch supplier source.
  - E. Submit decomposed granite sample (min. 1-gal. bag) in accordance with Sec. 01300
    1. Indicate decomposed granite supplier source.
    2. Submit irrigation system product data in accordance with Sec. 01300.
    3. Provide manufacturers' cut sheets indicating compliance with all equipment specified in the Irrigation Plans

- 1.4 Product Delivery, Storage, and Handling
  - D. Handle and store all materials in such a manner as to prevent damage.

- 1.5 Existing Conditions
  - A. Prior to commencement of work, investigate the site, locate and identify all existing underground utilities that may conflict with the installation of the work described in the contract documents, and notify the Landscape Architect of the conflict and do not proceed with construction in the affected area without specific direction.
  - B. Protect identified utilities from damage during installation.

- 1.6 Guarantee
  - A. All plants will be guaranteed against defects, including death and unsatisfactory growth, for a period of 12 months following the date of Substantial Completion. If replacement plants are installed, they will be guaranteed for an additional 12 months following their installation.

- 1.7 Responsibilities of Owner and Contractor
  - A. The Contractor will provide monthly inspections of the project during construction and the guarantee period and immediately provide to the Owner and the Landscape Architect a written report identifying any irregularities which affect the guarantee.
  - B. The Contractor will monitor any construction, whether conducted by other trades or the Owner's employees, adjacent to new and existing plants. The Contractor will identify and document any damage to the plants and immediately notify the Landscape Architect of same. The Contractor will replace any damaged plants at no expense to the Owner. Any reimbursement from other trades or contractors shall be the sole responsibility of the Contractor.
  - C. The Contractor will remove and replace all dead plants.
  - D. The Contractor will ensure all plants are installed in an upright position and to proper finish grade and will reset any plants not installed accordingly.
  - E. The Contractor will have the sole responsibility for ensuring that all plants are maintained and watered adequately.

- 1.8 Final Inspection
  - A. At the conclusion of the guarantee period, the Landscape Architect will inspect the planting to assess the final acceptance of the installation. Only plants that are alive and healthy will be accepted. The Contractor will replace any plants that are dead or, in the sole opinion of the Landscape Architect, in an unhealthy or unsightly condition or have lost their natural form due to dead or removed branches. The Contractor will bear the cost of replacing any plants.

- 1.9 Quality Assurance
  - A. Before entering into a contract with any subcontractor, the General Contractor will investigate the proposed subcontractor's reputation and ability to perform the work and determine whether the subcontractor is stable, reputable, and skilled in this area of work. The General Contractor will require and review a minimum of the following submittals:
    1. Experience. The subcontractor will be a single firm specializing in landscape installation with a minimum 5 years documented experience. Documentation will demonstrate a minimum 10 installations of equal or greater size. The subcontractor will furnish the name, address, and telephone number for both the General Contractor and Owner on these projects, as well as the contract price, the company name under which the work was performed, and completion date.
    2. Personnel. The subcontractor will provide a list of the project manager and foreman proposed to complete the work, their years of experience in the industry, any formal training, and years of service with the current company. If a separate irrigation subcontractor is to be used, the same information will be provided.
    3. Business Expertise. The subcontractor will submit a current audited financial statement, current insurance certificate, contact information for their insurance company, bonding capacity and bonding company, and contact information for their bonding company.
  - B. Should the subcontractor selected by the General Contractor default on the contract, fail to complete the work in conformance with the Contract Documents, or enter into bankruptcy, the Owner will pay the Landscape Architect as an additional service for any additional work occasioned by the subcontractor's default

## PART 2 - PRODUCTS

- 2.1 Materials
  - A. Topsoil. Provided by the landscape subcontractor from local sources, sandy loam which is fertile, friable, surface soil. Topsoil will be free of rocks, stones, subsoil, building debris, weeds, grass, clay lumps, and other materials which would be detrimental to turfgrass growth. Topsoil composition will be not less than 7% nor more than 12% clay and not more than 12% silt.
  - B. Planting Mix. Plant mix composition will be 35% compost, 33% red sand, 16% composted topsoil, and 16% pine bark mulch.
  - C. Commercial Fertilizer. Complete fertilizer of neutral character, with some elements derived from organic sources and containing available plant nutrients in the following percentages:
    1. For trees and shrubs - Woodace Top Dress Special (20-4-11, 6-9 month formula) at a rate of 5 to 10 lbs. per 100 SF.
    2. For lawns - Min. 1 lb. of actual nitrogen per 100 SF of lawn area, min. 4% phosphoric acid, and min. 2% potassium. Provide nitrogen in a form that will be available to turfgrass during the initial period of growth and in a minimum 50% organic form.

- 2.2 Plant Materials
  - A. The drawings contain a complete list of plant species, quantities, sizes, and other requirements. In the event that discrepancies occur between the quantities of plants indicated on the plant list and as indicated on the drawings, the plant quantities shown on the drawings will be given precedence.
  - B. No substitutions of plants will be permitted without express prior written authorization by the Landscape Architect.
  - C. All plants will comply with state and federal inspection and diseases infestation laws.
  - D. All plants will be typical of their species or variety, with normal, well-developed branches and vigorous root systems.
  - E. All plants will be healthy and vigorous, free from defects, disfiguration, knots, abrasions, sunscald, diseases, insect eggs or larvae, borers, and all other forms of diseases or infestations.
  - F. All plants will be nursery stock. Any plants gathered from native stands must be kept under nursery conditions for a minimum of 1 full growing season, must be free from all foreign plants and weeds, and must meet all other requirements of the Contract Documents.
  - G. Container-grown plants must exhibit development of fibrous roots and have a root mass that will retain its shape when removed from the container. Plants grown in smaller containers must have root growth sufficient to reach the sides of the container. Root-bound container-grown plants will be rejected.
  - H. Container sizes of a large grade than listed in the American Standard for Nursery Stock (ASNS) shall be determined by the volume of the root ball specified in the ASNS for plants of the same size.
  - I. All bare root plants must have a heavy, fibrous root system and dormant buds at the time of planting.
  - J. All plants must have average height and spread proportions and branching habit in accordance with the appropriate sections of the ASNS.
  - K. All plants which have girdled roots, stem, or major branch, have deformities of the stem or major branch, lack symmetrical growth habits, have dead or defoliated portions, or have any defect, injury, or conditions which in the sole opinion of the Landscape Architect renders them unsuitable, will be rejected.

- L. Balled and burlapped plants must have a solid ball of earth of minimum specified size held securely in place by burlap and stout rope. Oversized or exceptionally heavy plants will be accepted provided the size of the root ball or spread of the roots is increased proportionally. Root balls must be tight, unbroken, and free of weed or foreign plant growth. Root balls shall have the following depth-to-diameter ratios: root ball diameters of less than 20" = minimum depth of 75% of the diameter; root ball diameters of 20" to 30" = minimum depth of 2/3 of the diameter; root ball diameters over 30" = minimum depth of 60% of the diameter.
- M. Plants delivered as a single unit of 25 or less of the same size, species, and variety must be clearly marked and tagged. Plants delivered in large quantities of more than 25 must be segregated as to variety, grade, and size, and 1 plant in each 25 plants, or fraction thereof, of each size, species, and variety, must be tagged.
- N. Plants stored under temporary conditions will be the responsibility of the Contractor and must be protected at all times from extreme weather conditions by insulating the root balls with sawdust, soil, mulch, or other approved measure. Plants stored on paved areas must be separated from the pavement with an insulating layer.
- O. Protecting stored plants from theft or vandalism will be the sole responsibility of the Contractor. Any stolen plants will be replaced at no cost to the Owner.

- 2.3 Miscellaneous Materials
  - A. Mulch. Shredded native mulch applied to a depth of 4" beneath all new trees and 4" beneath all shrubs.
  - B. Stakes. Sound new hardwood, treated softwood, or redwood stakes, free of knot holes and other defects, or metal stakes. Provide wire ties and guys of 2-strand, twisted, pliable galvanized iron wire, minimum 12-gauge, with zinc-coated turnbuckles. Provide minimum 1/2" diameter rubber or plastic hose, cut to required lengths and of uniform color, material, and size, to protect tree trunks and branches from damage by wires. All new trees are to be staked.
  - C. Anti-Dessicant. Emulsion type, film-forming agent designed to permit transpiration but retard excessive loss of moisture from plants. Deliver in manufacturer's full identified containers and mix in accordance with manufacturer's instructions.
    - D. Plastic trunk protectors: Provide ArborGard+, AG 9-4+ by Deep Root Partners, L.P. (or equal), (1-800-458-7668) to protect new trees from damage by string trimmers and mowers.

## PART 3 - EXECUTION

- 3.1 Inspection
  - A. Inspect existing site conditions and progress of other trades before commencing landscape installation.
  - B. Verify that construction has progressed to a point at which the landscape will not be adversely affected by subsequent construction and that existing conditions are acceptable for landscape installation.
  - C. Report adverse conditions to the Landscape Architect and do not proceed with the work until adverse conditions have been rectified.
  - D. Commencement of the landscape installation will constitute acceptance of the site conditions without qualification.

- 3.2 Preparation of Subsoil
  - A. Inspect subsol for the presence of objectionable materials such as rocks (2" diameter and greater), concrete waste, building debris, weeds, grass, and other material that would be detrimental to the growth of plants and turfgrass. Protect existing underground improvements from damage.
  - B. Cultivate the subsoil to a depth of 3" or, if the subsoil is compacted due to heavy equipment traffic or storage, cultivate to a depth of 6".

- 3.3 Spreading Topsoil
  - A. See lawn installation for topsoil spreading procedures in turfgrass areas.
  - B. Spread topsoil and planting mix to required finish grades. Fill turfgrass areas with topsoil to a minimum depth of 4."
    - C. Cultivate with a mechanical tiller to break up clods and cultivate by hand in inaccessible areas. Rake until the surface is smooth.
    - D. Remove from the site any foreign or objectionable material collected during cultivation.
    - E. Grade to eliminate rough spots and low spots where ponding may occur, maintaining smooth and uniform grades that will encourage positive drainage. Continue to grade the topsoil until it is firm and settled with a smooth surface, watering, drying, and re-grading as necessary.
    - F. The landscape Contractor is solely responsible for ensuring positive drainage regardless of the condition of the subgrade. If extreme pr objectionable conditions exist, notify the Landscape Architect before proceeding.
    - G. Mix the specified soil amendments and fertilizers with topsoil at the specified rates. Do not mix fertilizers unless planting will follow the spreading of topsoil or planting mix within 48 hours.
    - H. All planting areas must be prepared so that they remain free of debris and weeds until planting occurs.
    - I. Weed control in the planting areas will consist of killing all weeds and maintaining a weed-free condition in accordance with the weed control program until completion of the project.
    - J. Protect adjacent plants from damage due to overspray of weed control chemicals.

- 3.4 Planting
  - A. The Contractor will begin planting when other work divisions such as topsoil spreading have progressed sufficiently to permit planting.
  - B. Planting will occur where it is shown on the Contract Documents unless obstruction overhead or underground are encountered or where changes in construction have been made. Prior to the excavation of shrub or tree pits, the Contractor will locate and identify all underground utility lines, electrical cables, irrigation lines, and conduits. If such obstructions are found, promptly notify the Landscape Architect and do not proceed without clear direction.
  - C. No planting pits will be excavated until the proposed locations and plant sizes have been reviewed and approved by the Landscape Architect. Each plant will be planted in an individual pit dug with straight vertical sides. All plants will be set such that their original soil level is equal to the ultimate finish grade. No filling will be done around the trunks and stems. All ropes, wires, staves, etc., will be removed from the sides and top of the root ball and removed from the pit before filling. Burlap will be properly cut and removed from the sides of the root ball. When a depth is specified for the plant pit, it will be construed as the depth below adjacent finish grade. Excess excavation from plant pits shall be either used elsewhere or removed from the site entirely.
  - D. The Landscape Architect will review and approve the location and orientation of all plants prior to excavation of their pits. All trees will be planted in pits a minimum 24" greater in diameter than the container size or spread of their roots. In the event that solid rock is encountered in the bottom of the pit, break up and loosen the sides and bottom of the pit so that water will drain effectively. The pit will be a minimum of 9" deeper than the depth of the root ball and will have a crown from the middle to the sides in order to direct drainage away from the root ball. Place planting mix in the bottom of the pit and tamp down to prevent settling. Backfill the pits with planting mix in layers no greater than 9" and tamp down to avoid settling. Provide enough planting mix to bring to finish grade and form a saucer with a minimum 4" lip around the perimeter of the tree's root ball so water will pond and soak into the root ball.
  - E. Stake trees immediately after planting, then remove the stakes after one (1) year.
  - F. If deciduous trees are planted in full-leaf, spray with anti-dessicant to provide an adequate film over the trunk, branches, stems, and foliage.
  - G. Shrubs will be planted in pits a minimum of 12" greater in width than the diameter of the root ball or container. In the event that solid rock is encountered in the bottom of the pit, break up and loosen the sides and bottom of the pit so that water will drain effectively. The depth of the pit will be sufficient to accommodate the root ball and to set the plant at finish grade. Backfill the pit with planting mix, tamp down and settle thoroughly, bring to finish grade, and form a slight saucer to hold additional water and soak the root ball. After planting has been approved, apply bark mulch to a depth of 2" around all plants in the planting area.
  - H. All ground cover material will be planted as follows:
    1. One gallon material will be planted the same as one gallon shrubs.
    2. 4" pot material will be planted in pits the same size as or larger than the root system, then firmly tamped by hand and watered in using a fine spray.
    3. Where settlement occurs, backfill with additional planting mix to cover exposed roots and to bring to finish grade.
  - I. After planting has been reviewed and approved, apply decomposed granite to a compacted depth of 2".
  5. Thoroughly water each plant using a root stimulator solution (Green Light or equal) mixed according to the manufacturer's recommendations.
  6. Neatly prune and/or clip each plant as necessary to preserve the natural character. Conduct all pruning with sharp, clean tools and clip bruised or broken branches with a clean cut. Paint pruning cuts 2" in diameter and larger with an approved tree wound paint.
  7. Apply water as required to keep the mulch damp at all times during germination and initial growth period or as directed by the Landscape Architect.

- 3.5 Lawn Installation
  - A. Do not commence lawn installation until after the irrigation system has been completely installed and is operational.
  - B. Do not commence any lawn installation until the Landscape Architect has reviewed and approved all areas prepared for sodding.

- 3.6 Sodded Lawns
  - A. Prior to spreading topsoil and in all areas to receive lawn, cultivate the subsoil to a minimum depth of 4". Cultivation may be conducted by disc, spring tooth harrow, rototiller, or similar mechanical means, and should be done in a direction perpendicular to the natural flow of water.
  - B. After the topsoil has been spread, mechanically till the area to a depth of 4", then roll rake and drag to remove all large clods, rocks, debris, and litter over 1" in diameter. Dispose of clutter at an off-site location.
  - C. Using a lightweight, water-filled roller, roll the raked topsoil to two (2) opposite directions.
  - D. Rake the rolled topsoil to a smooth, level surface, removing ridges and filling depressions. Remove all remaining rocks and debris over 1" in diameter.
  - E. Hold the finish grade 1-1/2" below adjacent curbs, sidewalks, paving, and other hard surfaces.
  - F. Apply the fertilizer at a rate of 2 lbs. per 1000 SF.
  - G. Rake the fertilizer into the surface soil at a depth of 1/2" to 1".
  - H. Roll the fertilized topsoil in one (1) direction, water lightly of the surface soil is dry, then allow to dry.
  - I. Lay the sod within 24 hours of stripping. Working from plywood boards to avoid disturbing the topsoil or sod, but the ends and sides of sod strips without overlapping, stagger strips to offset joints in adjacent courses, and tamp or roll lightly to ensure good contact with the surface soil. Sift topsoil into minor cracks between sod pieces, then remove excess from the top. Do not lay dormant sod.

- J. On slopes in excess of 20% (5:1), anchor sod with wooden stakes.
- K. Water sod thoroughly with a fine spray immediately after application.
- L. Erect a barrier of stakes and ropes around the perimeter of the sodded areas and post warning signs to deter foot traffic.
- M. Water as necessary to keep the sod damp at all times through germination and initial growth period.

- 3.7 Cultivation and Cleanup
  - A. Upon completion of the planting, all excess material shall be removed and disposed of at a location off-site. Bring the finish grade in planter areas to a uniform grade, 1-1/2" below all adjacent paving or hard surfaces. Loosen the soil surrounding each individual plant to a distance of three (3) feet around each new tree and large shrub and 12" around each new small shrub and ground cover.

- 3.8 Maintenance and Restoration
  - A. The Contractor will ensure adequate and proper care of all plants and work done on this project until final acceptance, but in no case less than 30 days following Substantial Completion. This will include keeping all plants in a healthy growing condition by watering, cultivating, pruning, and spraying, keeping the planting areas free from insect infestation, weeds and grass, litter, and debris, and retaining the finish grade in a neat and uniform manner. Plant crowns, runners, and branches will be kept free of mulch at all times.
  - B. Protect all lawn areas from vehicle and pedestrian traffic.
  - C. Repair all sod areas damaged by any cause prior to final acceptance.
  - D. The lawn establishment period will begin immediately after the lawn planting area has been accepted by the Landscape Architect, will extend for a minimum of 30 days or until the end of the contract, and will consist of caring for all lawn areas within the project limits of work.
  - E. During the lawn establishment period, the Contractor will be responsible for ensuring healthy growth of the turfgrass. This responsibility includes all labor and materials necessary keep the project in a presentable condition, including, but not limited to, litter removal, mowing, trimming, weed control, removal of grass clipping, edging, and any necessary re-sodding and repair.
  - F. During the lawn establishment period the Contractor will as often as conditions dictate mow the turfgrass to a cutting height of 1-1/2". The turfgrass shall never exceed 3" in height and all clipping will be removed from the site.
  - G. During the months of March through September, the Contractor will edge at least once every month or as directed by the Landscape Architect.
  - H. During the months of March through September, the Contractor will apply water to sodded areas at an even rate of 1" of water per week, although the Landscape Architect may change this rate as conditions warrant.
  - I. Final acceptance of the lawn areas will be based on the presence of a uniform stand of grass at a uniform grade at the time of final inspection. Areas 24" square and large that are bare, have a poor stand of grass, or have an finish grade that is not uniform will be at the Contractor's expense re-graded, re-sodded, and fertilized as specified herein.
  - J. Upon completion of the initial planting, the Landscape Architect will make an inspection of all plantings and notify the Contractor in writing of any replacements or corrective actions necessary to meet the provisions of the Contract Documents. The Contract will then replace all the rejected or missing plants and perform the specified corrective measures.
  - K. All replacement plants will be of the same species, size, and quality. All rejected plants will be replaced within 30 days of notification.

- 3.9 Acceptance
  - A. Upon receipt of a written request from the Contractor at least seven (7) prior, the Landscape Architect will inspect the planting and maintenance to determine its completion and the beginning of the guarantee period. All plants must be alive and healthy in order for the installation to be considered complete. Where inspected work does not comply with the requirements of the Contract Documents, replace rejected work and continue to perform the specified maintenance until the Landscape Architect re-inspects the work and finds it acceptable. Remove rejected plants and materials from the site.

END OF SECTION

## H O R I Z O N

DESIGN AND DEVELOPMENT

PLANNING LANDSCAPE ARCHITECTURE DEVELOPMENT CONSULTING

14607 San Pedro Ave., Suite 200  
San Antonio, Texas 78232  
210.831.8564 jrobinson@horizondesign-sa.com



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OWNER

LockAway Storage

18881 Von Karmen Ave., Suite 150  
Irvine, CA 92612

PROJECT

LockAway Storage  
Building Addition

200 Roy Richard Dr.  
Schertz, TX 78154

REVISIONS

PROJECT NUMBER

2019-212

Drawn By: jv

Checked By: jr

Sheet Title:

LANDSCAPE  
SPECIFICATIONS

Sheet Number:

L2.0

Issue Date:

May 29, 2020

EXISTING PROTECTED TREE INVENTORY

May 27, 2020

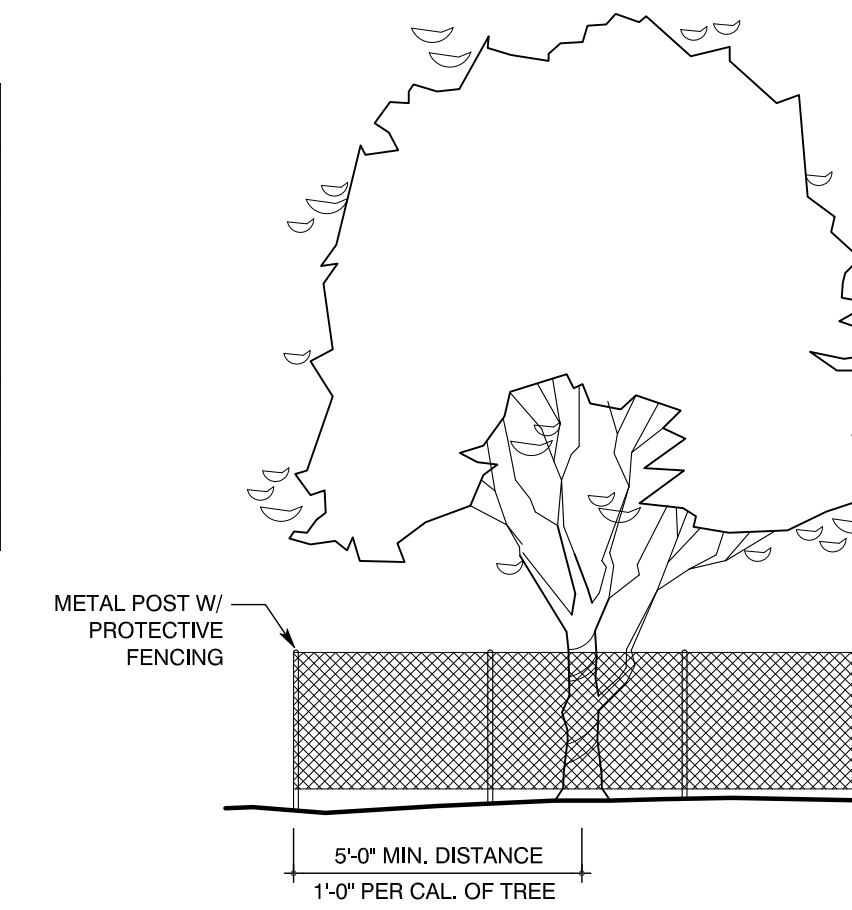
TAG#	SPECIES	SIZE	PROTECTED PRESERVED	PROTECTED REMOVED	HERITAGE PRESERVED	HERITAGE REMOVED (3:1)	EXEMPT	COMMENTS
2029	Elm	11	11					
2030	Elm	8	8					
2031	Elm	9	9					
2032	Elm	9	9					
2033	Elm	10	10					
2034	Texas Ash	23	23					
2035	Texas Ash	22	22					
2036	Elm	16	16					
2037	Elm	15	15					
2038	Elm	11	11					
2039	Elm	23	23					
<b>TOTALS</b>			157	0	0	0	0	

TREE PRESERVATION SUMMARY

TOTAL CAL. INCHES ON-SITE:	157
TOTAL EXEMPT CAL. INCHES ON-SITE:	0
PROTECTED CAL. INCHES ON-SITE:	157
Protected Cal. Inches Preserved:	157
Protected Cal. Inches Removed:	0
<b>Protected Class Mitigation Due (1:1):</b>	<b>0.0</b>
HERITAGE CAL. INCHES ON-SITE:	0
Heritage Cal. Inches Preserved:	0
Heritage Cal. Inches Removed:	0
<b>Heritage Class Mitigation Due (3:1):</b>	<b>0.0</b>
Overall Preservation Ratio:	100.00%
Required Overall Preservation Ratio:	25%
<b>TOTAL MITIGATION DUE:</b>	<b>0</b>

EXISTING TREE PRESERVATION AND REMOVAL NOTES:

- UNLESS OTHERWISE SPECIFICALLY INDICATED, THIS DOCUMENT SHOWS ONLY EXISTING PROTECTED-SIZE TREES AS DEFINED BY THE CITY OF SAN ANTONIO UNIFIED DEVELOPMENT CODE (THE "UDC") IN EFFECT ON THE DATE HEREOF. CONTRACTOR IS SOLELY RESPONSIBLE FOR INSPECTING THE PROJECT SITE AND DETERMINING FOR HIMSELF IF OTHER EXISTING TREES, SHRUBS, OR VEGETATION ARE PRESENT WHICH MUST BE REMOVED IN ORDER TO CONSTRUCT THE IMPROVEMENTS PROPOSED HEREBY.
- BY ACT OF SUBMITTING A BID TO REMOVE THE EXISTING TREES SHOWN ON THIS PLAN, CONTRACTOR WARRANTS THAT HE (A) HAS PERSONALLY VISITED THE PROJECT SITE, (B) HAS INVESTIGATED THE EXISTING CONDITIONS SUFFICIENTLY TO DETERMINE WHAT, IF ANY, ADDITIONAL EXISTING TREES, SHRUBS, AND VEGETATION MUST BE REMOVED IN ORDER TO CONSTRUCT THE IMPROVEMENTS PROPOSED HEREBY, AND (C) HAS A CLEAR UNDERSTANDING OF THE TERMS "PROTECTED TREE, SIGNIFICANT TREE, HERITAGE TREE, AND FLOOD PLAIN, AND OF ANY OTHER CITY GUIDELINES, STANDARDS, AND REQUIREMENTS WHICH MAY IMPACT REMOVAL OF THE EXISTING TREES DEPICTED ON THIS PLAN. IN THE EVENT CONTRACTOR ENCOUNTERS ADDITIONAL EXISTING TREES, SHRUBS, AND VEGETATION NOT SHOWN ON THIS PLAN, BUT WHICH MUST REASONABLY BE REMOVED IN ORDER TO CONSTRUCT THE IMPROVEMENTS PROPOSED HEREBY, CONTRACTOR SHALL REMOVE THE ADDITIONAL EXISTING TREES, SHRUBS, AND VEGETATION AT NO ADDITIONAL COST TO THE OWNER, SUBJECT TO ANY APPLICABLE REQUIREMENTS, GUIDELINES, STIPULATIONS, OR APPROVALS ENFORCED BY THE CITY OF SAN ANTONIO.

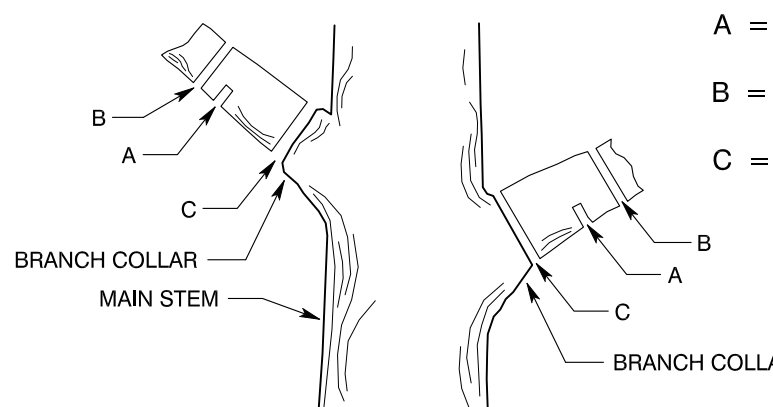


TREE PROTECTION DETAIL

NOT TO SCALE

PRUNING NOTES:

- ALL PRUNING IS TO BE DONE BY A LICENSED ARBORIST UNDER THE FIELD DIRECTION OF THE OWNER AND/OR LANDSCAPE ARCHITECT.
- WHERE FEASIBLE, PRUNE TREES BEFORE COMMENCEMENT OF CONSTRUCTION.
- PAINT ALL WOUNDS ON OAK TREES WITHIN 30 MINUTES OF PRUNING.



TREE PRUNING DETAIL

NOT TO SCALE

NOTES:

- LANDSCAPE SUBCONTRACTOR TO PROVIDE PRUNING AND FERTILIZATION FOR ALL EXISTING TREES TO BE PRESERVED BY A CITY OF SAN ANTONIO TREE MAINTENANCE LICENSED AND I.S.A. CERTIFIED ARBORIST.
- APPLY APPROVED SLOW-RELEASE FERTILIZER INJECTED INTO SOIL BEFORE CONSTRUCTION COMMENCES AND AGAIN AFTER CONSTRUCTION IS COMPLETE.
- ALL PRUNING OF EXISTING TREES MUST COMPLY WITH THE CITY OF SAN ANTONIO'S APPROVED PRUNING DETAIL AND IS TO BE DONE UNDER THE FIELD DIRECTION OF THE OWNER AND/OR LANDSCAPE ARCHITECT.
- PROTECTIVE FENCING MUST BE IN PLACE BEFORE ANY CONSTRUCTION ACTIVITIES MAY COMMENCE.
- PROTECTIVE FENCING TO BE A MIN. 4'-0" HT. EXTENDING FROM TRUNK 12" PER CALIPER INCH OF TREE (MINIMUM 5'-0" ON ONE SIDE ONLY). THE OPTIMUM DISTANCE IS TO INSTALL FENCE DIRECTLY BENEATH DRIPLINE OF TREE AS SHOWN.
- PROTECTIVE FENCING TO BE STAKED IN FIELD BY CONTRACTOR AND APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT.
- DURING CONSTRUCTION, NO EXCESS SOIL, FILL MATERIAL, EQUIPMENT, LIQUIDS, OR CONSTRUCTION DEBRIS SHALL BE PLACED WITHIN THE PROTECTIVE FENCING. NOR SHALL ANY SOIL BE REMOVED FROM WITHIN THE FENCING.
- APPLY COARSE GROUND OR SHREDDED ORGANIC BARK MULCH TO 6" DEPTH @ ALL EXISTING TREES TO BE PRESERVED.
- THE PROPOSED FINISH GRADE WITHIN THE ROOT PROTECTION ZONE (RPZ) OF ANY TREE TO BE PRESERVED SHALL NOT BE RAISED OR LOWERED MORE THAN THREE (3) INCHES.



52920

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OWNER

LockAway Storage

18881 Von Karmen Ave., Suite 150  
Irvine, CA 92612

PROJECT

LockAway Storage  
Building Addition

200 Roy Richard Dr.  
Schertz, TX 78154

REVISIONS

PROJECT NUMBER  
2019-212

Drawn By: jr  
Checked By: jr

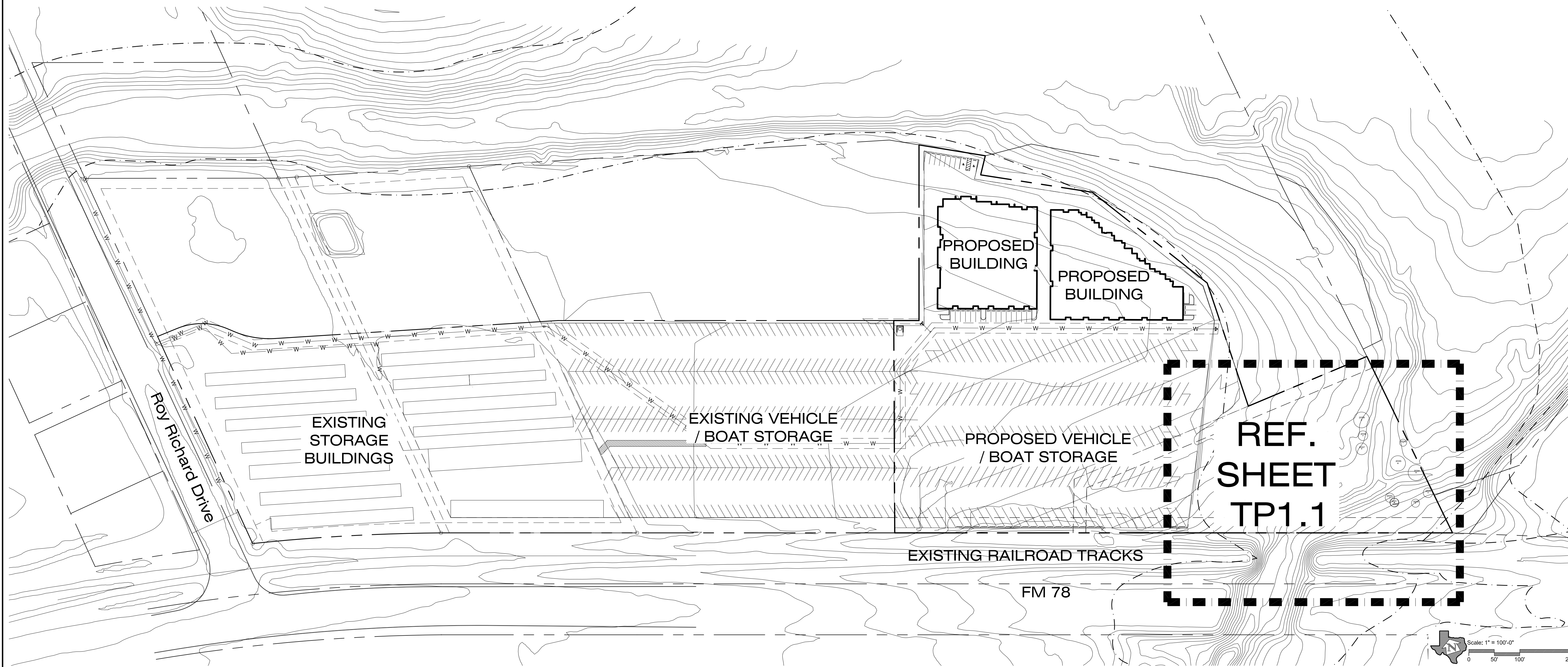
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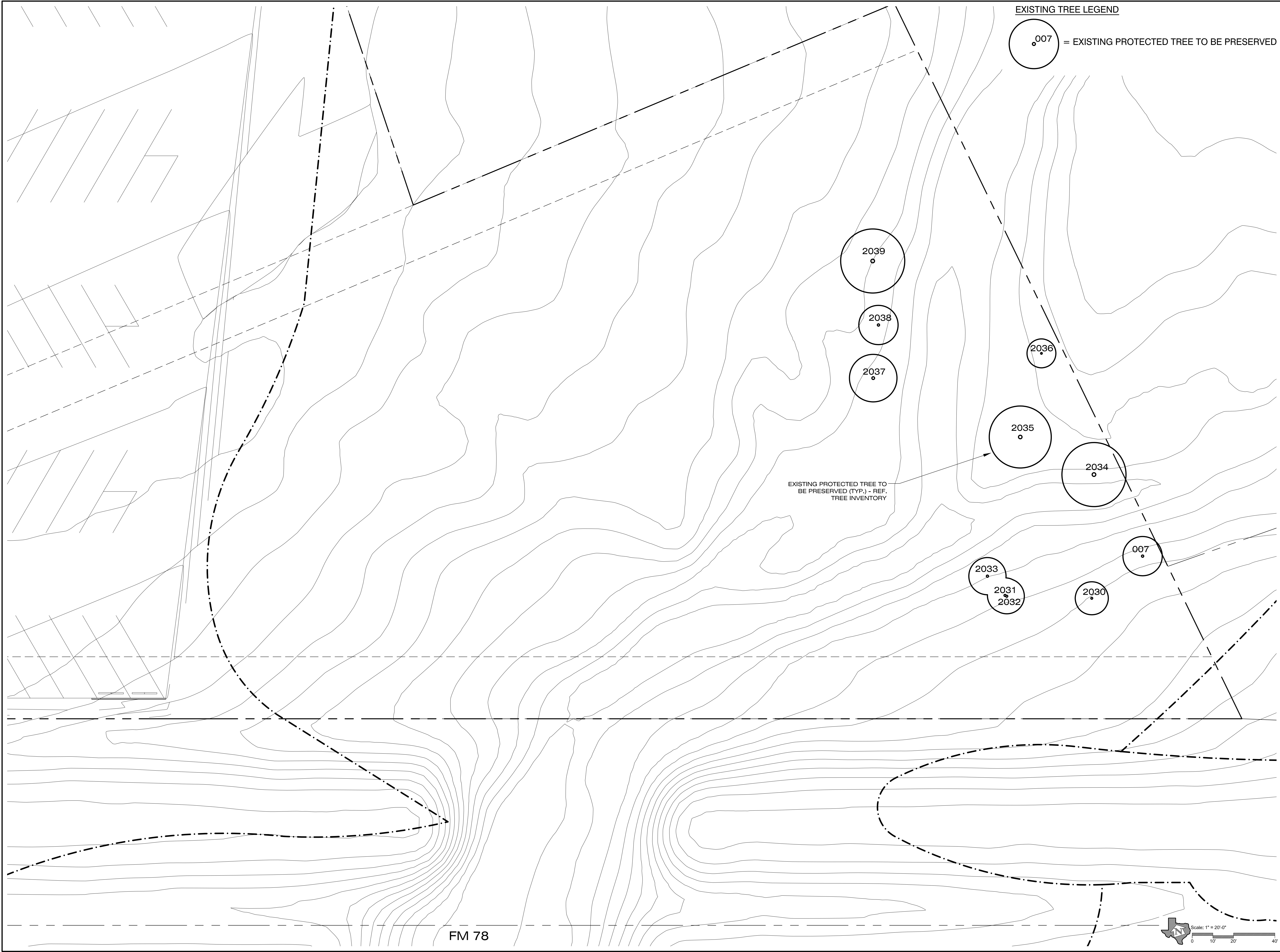
Sheet Number:

**TP1.0**

Issue Date:

May 29, 2020



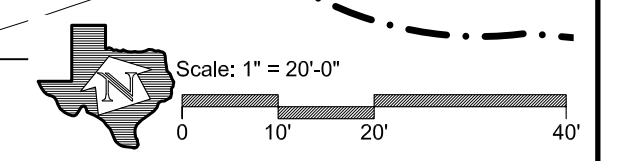


**EXISTING TREE LEGEND**

○007 = EXISTING PROTECTED TREE TO BE PRESERVED

EXISTING PROTECTED TREE TO BE PRESERVED (TYP.) - REF. TREE INVENTORY

FM 78



**H O R I Z O N**  
 DESIGN AND DEVELOPMENT  
 PLANNING LANDSCAPE ARCHITECTURE  
 DEVELOPMENT CONSULTING  
 14607 San Pedro Ave., Suite 200  
 San Antonio, Texas 78232  
 210.831.8564 jrobinson@horizondesign-sa.com



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OWNER  
**LockAway Storage**

18881 Von Karmen Ave., Suite 150  
 Irvine, CA 92612

PROJECT  
**LockAway Storage Building Addition**

200 Roy Richard Dr.  
 Schertz, TX 78154

REVISIONS

PROJECT NUMBER  
 2019-212

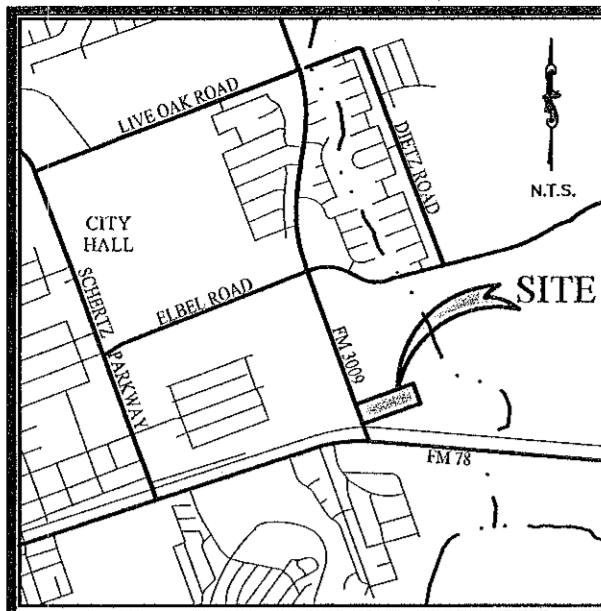
Drawn By: jv  
 Checked By: jr

Sheet Title:  
**ENLARGED TREE PRESERVATION PLAN**

Sheet Number:

**TP1.1**

Issue Date:  
**May 29, 2020**



LOCATION MAP  
N.T.S.

**NOTES**

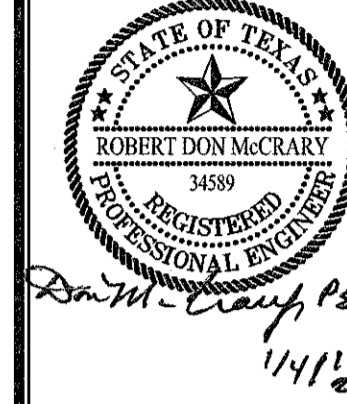
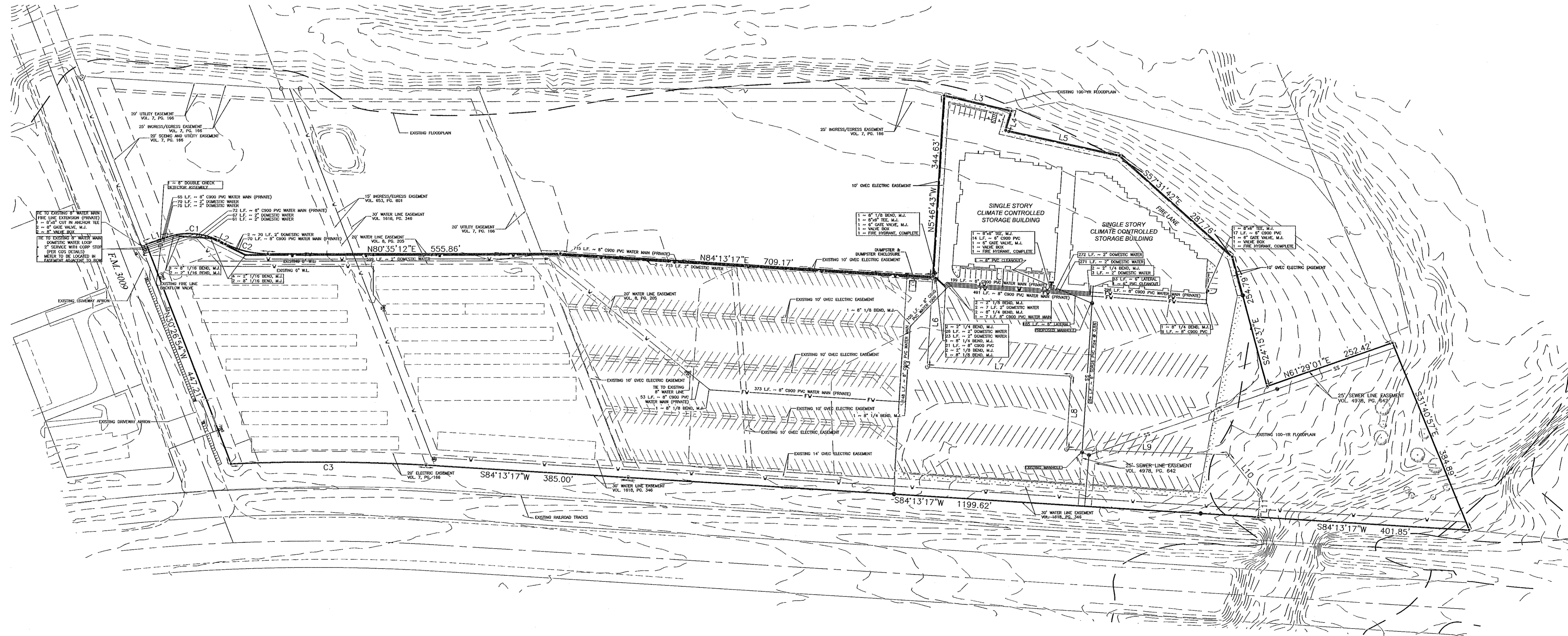
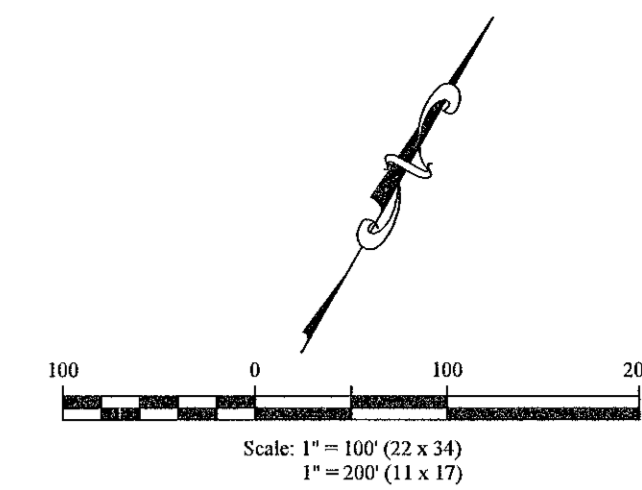
1. THE SUBJECT PROPERTY IS CURRENTLY ZONED GB AND IS 36.29 ACRES.
2. ACCORDING TO FLOOD INSURANCE RATE MAP, PANEL 240 & 220, DATED November 2, 2007, IS LOCATED IN ZONE(S) AE & X AND IS WITHIN THE 100-YEAR FLOODPLAIN.
3. EXISTING MANHOLE INVERT ELEVATIONS MUST BE FIELD VERIFIED BEFORE CONSTRUCTION.
4. FIRE MAIN EXTENSION MUST MEET CITY OF SCHERTZ REQUIREMENTS FOR MATERIALS AND SPECIFICATIONS.

Curve Table						
Curve #	Length	Radius	Delta	Tangent	Chord	Chord Bearing
C1	101.32'	129.00'	45°00'00"	53.43'	98.73'	N84°33'18"E
C2	83.15'	180.00'	26°28'06"	42.33'	82.42'	S86°10'45"E
C3	370.45'	3816.77'	5°33'40"	185.37'	370.30'	S80°58'50"W

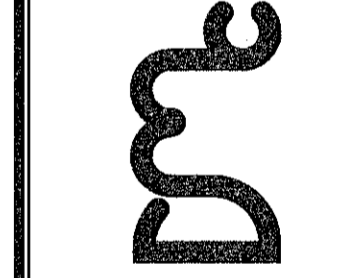
Line Table		
Line #	Length	Direction
L1	41.48'	N62°03'18"E
L2	13.99'	S72°56'42"E
L3	131.91'	S86°29'21"E
L4	38.49'	S7°51'26"W
L5	221.47'	S86°56'45"E
L6	172.06'	S5°46'43"E
L7	273.94'	N84°13'17"E
L8	139.31'	S5°46'43"E
L9	306.33'	N82°30'11"E
L10	97.77'	S47°57'28"E
L11	41.96'	S5°46'43"E

**LEGEND**

- PROPERTY BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- EXISTING BUILDING
- EXISTING WATER LINE
- SS — EXISTING SANITARY SEWER LINE
- EXISTING PARKING STRIPE
- EXISTING RAILROAD TRACKS
- EXISTING EASEMENT
- FOUND 1/2" IRON ROD
- SET IRON ROD WITH YELLOW CAP
- BUILDING
- W — WATER LINE
- SS — SANITARY SEWER LINE
- GVEC ELECTRIC EASEMENT
- PARKING STRIPE
- EDGE OF CONCRETE
- ... LANDSCAPE AREA



DON MCCRARY & ASSOCIATES, INC.  
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529 BRESSORT  
SAN ANTONIO, TEXAS 78216-2602  
(210) 349-2651



LOCKAWAY STORAGE - 200 ROY RICHARDS DRIVE  
UTILITY PLAN  
CITY OF SCHERTZ, TEXAS

**LOCKAWAY STORAGE  
200 ROY RICHARDS DRIVE  
UTILITY PLAN**

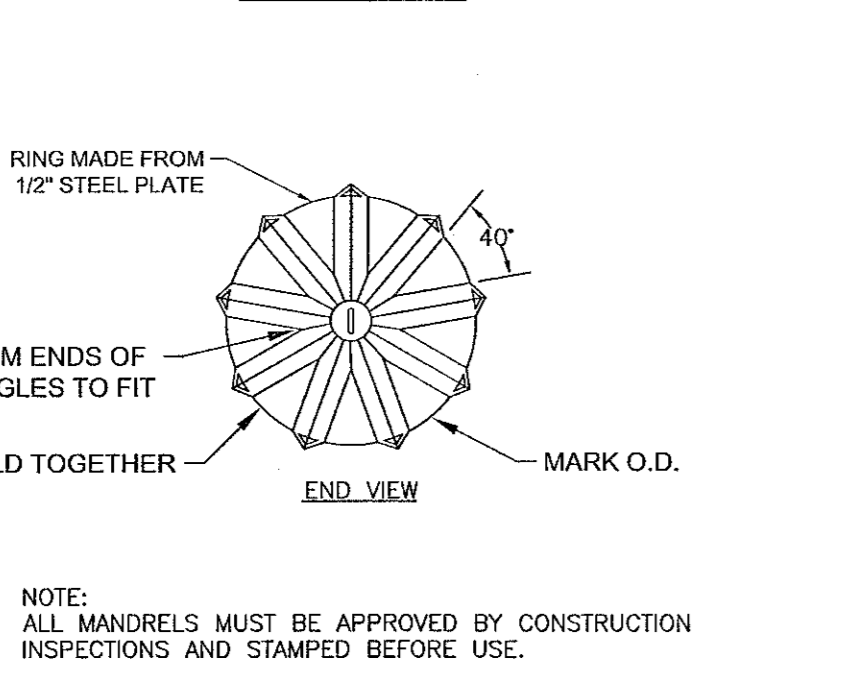
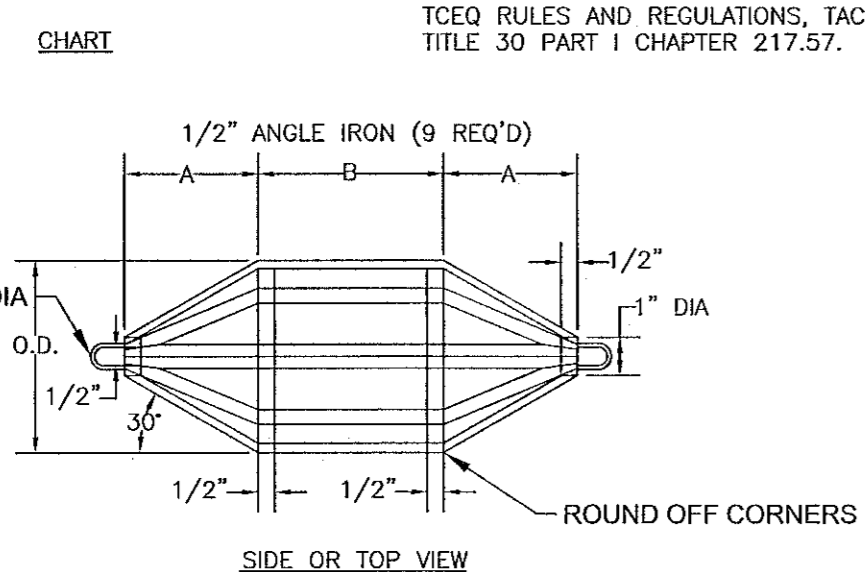
BEING 13.74 ACRES OF LAND, MORE OR LESS, OUT OF THE S. MALPAZ SURVEY NO. 67, ABSTRACT 221, CITY OF SCHERTZ, GUADALUPE COUNTY, TEXAS BEING 6.78 ACRES OUT OF LOT 2R, BLOCK 1, OF THE SANDERS SUBDIVISION AS RECORDED IN VOLUME 7, PAGE 188 OF THE PLAT RECORDS OF GUADALUPE COUNTY, TEXAS AND 13.74 ACRES OUT OF A 32.881 ACRE TRACT DESCRIBED IN VOLUME 876 PAGE 437 OF THE OFFICIAL RECORDS OF GUADALUPE COUNTY, TEXAS.

**RECORD OWNERS/DEVELOPERS:**  
3621 WHITESTONE BLVD, LLC  
A TEXAS LIMITED LIABILITY COMPANY  
2055 3rd AVENUE SUITE 200  
SAN DIEGO, CA 92101  
949-275-1955  
LOCK AWAY 200 ROY RICHARD DRIVE, LLC  
A TEXAS LIMITED LIABILITY COMPANY  
2055 3rd AVENUE SUITE 200  
SAN DIEGO, CA 92101  
949-275-1955

SHEET C3.00	
DRAWN BY: J. McNEW	CHECKED BY: EIM
DATE December 2020	PROJ. NO. 19026

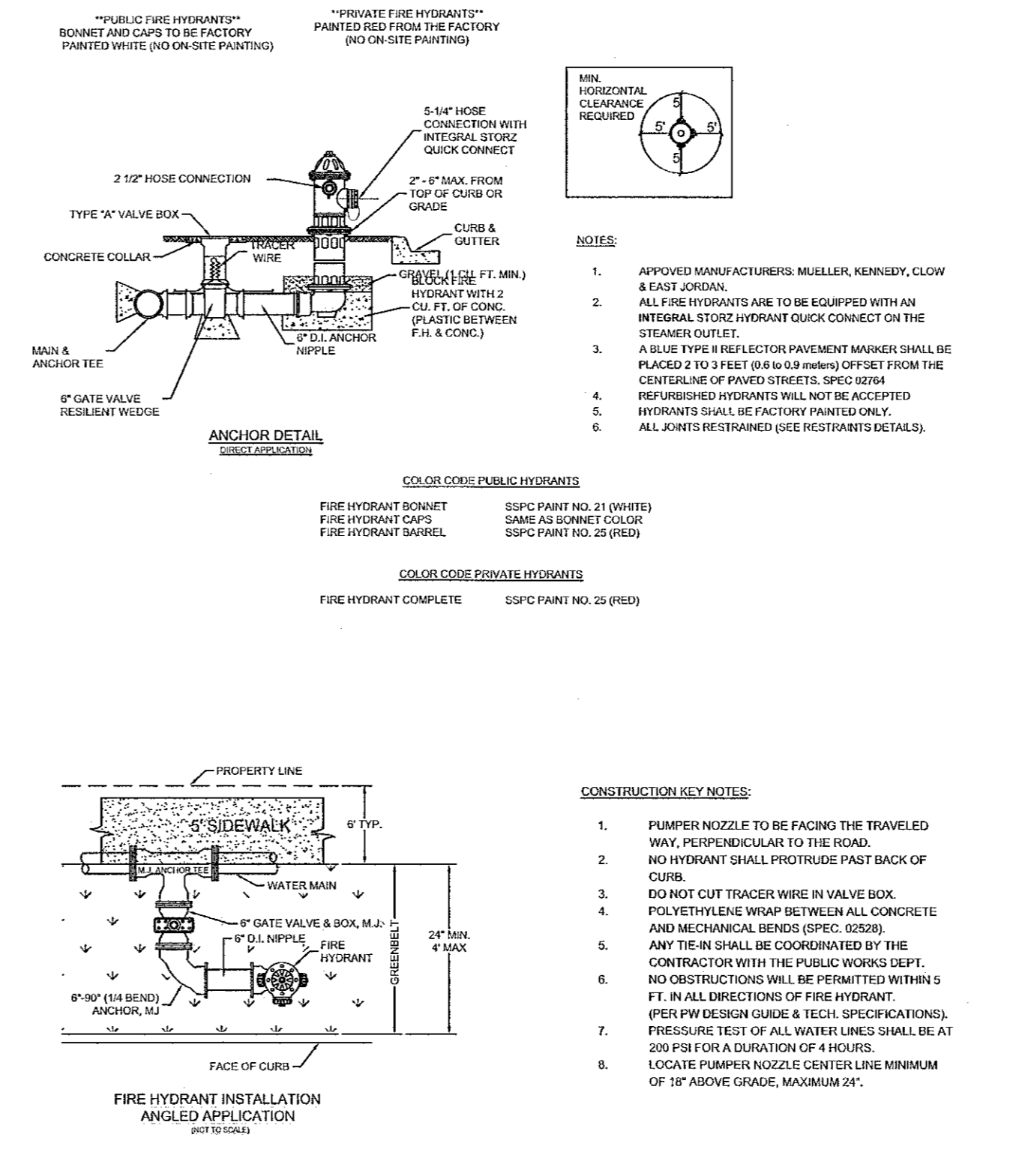
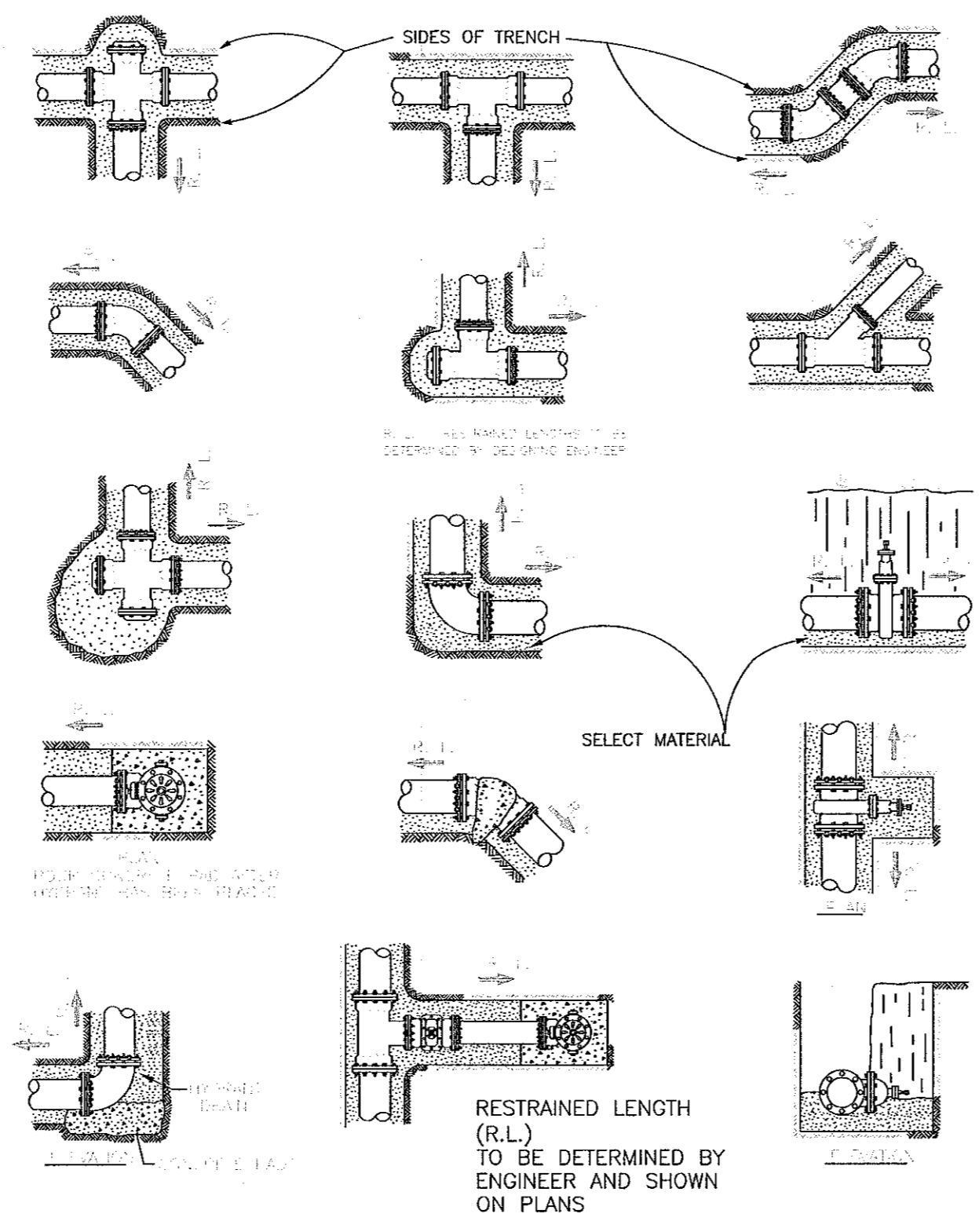
Date: Dec 31, 2020, 8:38am User ID: jmcnew  
File: \DWG-PROD-1\Project\DWG\B002A SHEET C3.00 - UTILITY PLAN.dwg

SIZE	MANDREL O.D.		RING O.D.	
	A	B	PSM (SDR-26)	PSM (SDR-35)
6"	4.0"	4.5"	5.50	4.79
8"	5.5"	6.0"	7.37	6.66
10"	7.0"	7.5"	9.21	8.50
12"	8.0"	9.0"	10.96	10.25
15"	10.0"	11.0"	13.42	12.71
18"	12.0"	13.5"	—	—
21"	14.0"	16.0"	—	—
24"	16.0"	18.0"	—	—
27"	18.0"	20.0"	—	—



NOTE:  
ALL MANDRELS MUST BE APPROVED BY CONSTRUCTION INSPECTIONS AND STAMPED BEFORE USE.

NOTES:  
PVC PIPES AND FITTINGS SIX INCHES (6") TO FIFTEEN INCHES (15") IN DIAMETER SHALL CONFORM TO ASTM D-3034.  
PVC PIPES AND FITTINGS EIGHTEEN INCHES (18") TO TWENTY-SEVEN INCHES (27") IN DIAMETER SHALL CONFORM TO ASTM F-679.  
THIS INFORMATION IS PROVIDED AS A REFERENCE. ALL DEFLECTION TESTING SHALL BE DONE IN ACCORDANCE WITH TCEC RULES AND REGULATIONS, TAC TITLE 30 PART 1 CHAPTER 217.57.



**SCHERTZ**  
COMMUNITY \* SERVICE \* OPPORTUNITY

**DEFLECTION TESTING MANDREL**

ENGINEERING AND PUBLIC WORKS

STANDARD DETAIL

DATE: 2018

**SCHERTZ**  
COMMUNITY \* SERVICE \* OPPORTUNITY

**RESTRAINTS FOR FITTINGS**

ENGINEERING AND PUBLIC WORKS

STANDARD DETAIL

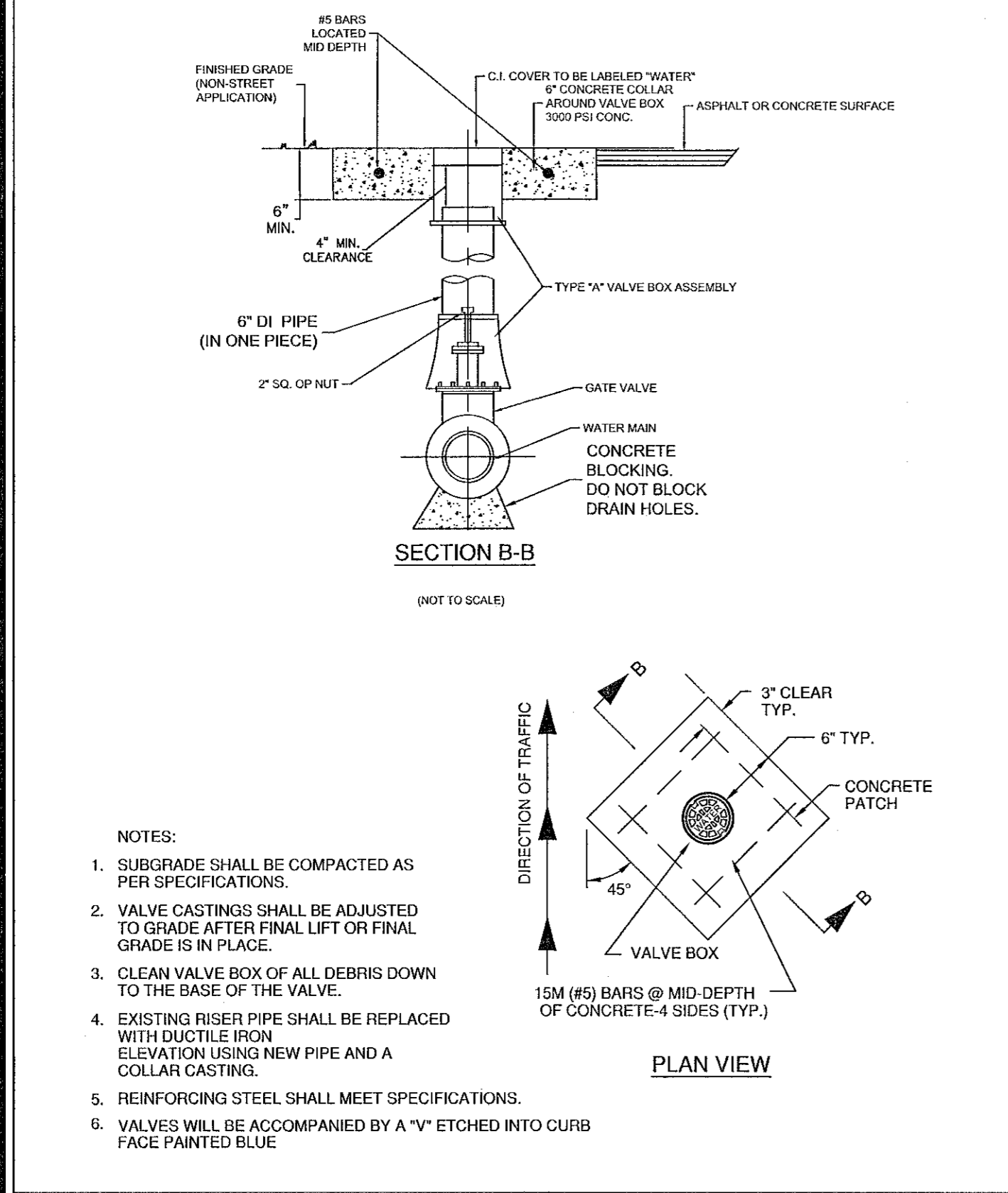
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**CITY OF SCHERTZ TEXAS**  
ENGINEERING AND PUBLIC WORKS

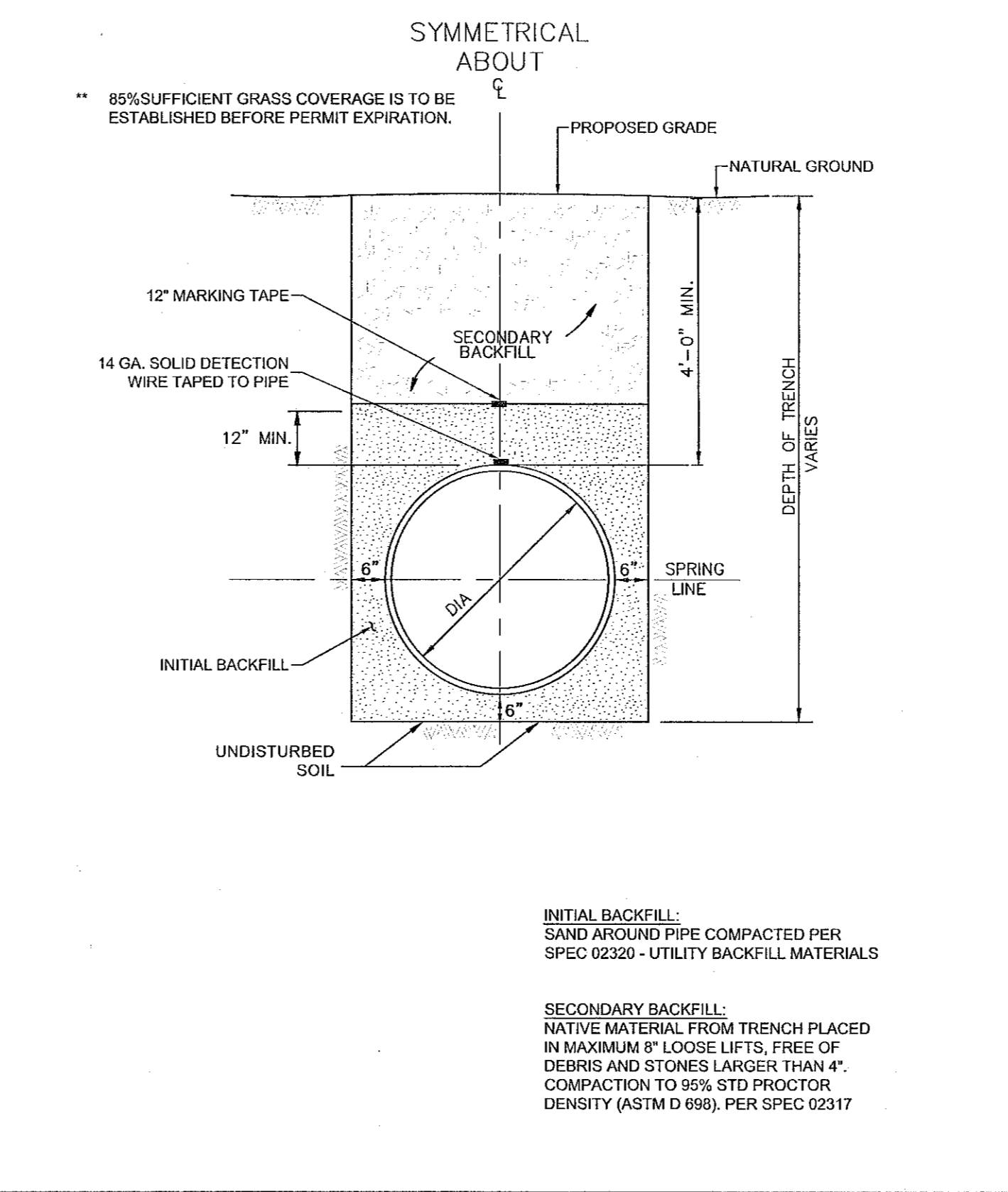
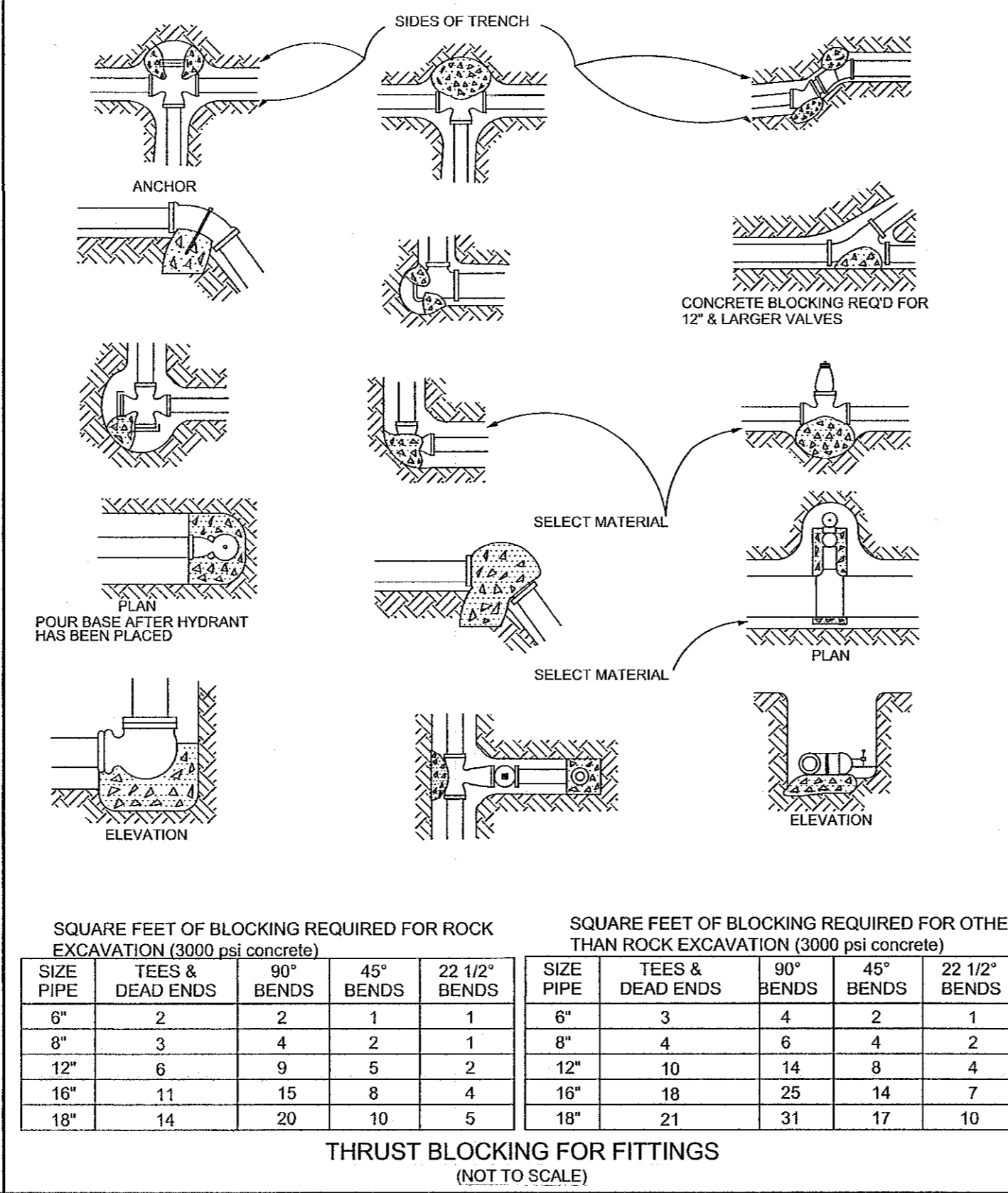
**FIRE HYDRANT**

STANDARD DETAIL

DATE: 2018



- NOTES:
- SUBGRADE SHALL BE COMPACTED AS PER SPECIFICATIONS.
  - VALVE CASTINGS SHALL BE ADJUSTED TO GRADE AFTER FINAL LIFT OR FINAL GRADE IS IN PLACE.
  - CLEAN VALVE BOX OF ALL DEBRIS DOWN TO THE BASE OF THE VALVE.
  - EXISTING RISER PIPE SHALL BE REPLACED WITH DUCTILE IRON ELEVATION USING NEW PIPE AND A COLLAR CASTING.
  - REINFORCING STEEL SHALL MEET SPECIFICATIONS.
  - VALVES WILL BE ACCOMPANIED BY A "V" ETCHED INTO CURB FACE PAINTED BLUE.



**CITY OF SCHERTZ TEXAS**  
ENGINEERING AND PUBLIC WORKS

**VALVE BOX**

STANDARD DETAIL

DATE: 2018

**CITY OF SCHERTZ TEXAS**  
ENGINEERING AND PUBLIC WORKS

**THRUST BLOCKING FOR FITTINGS**

STANDARD DETAIL

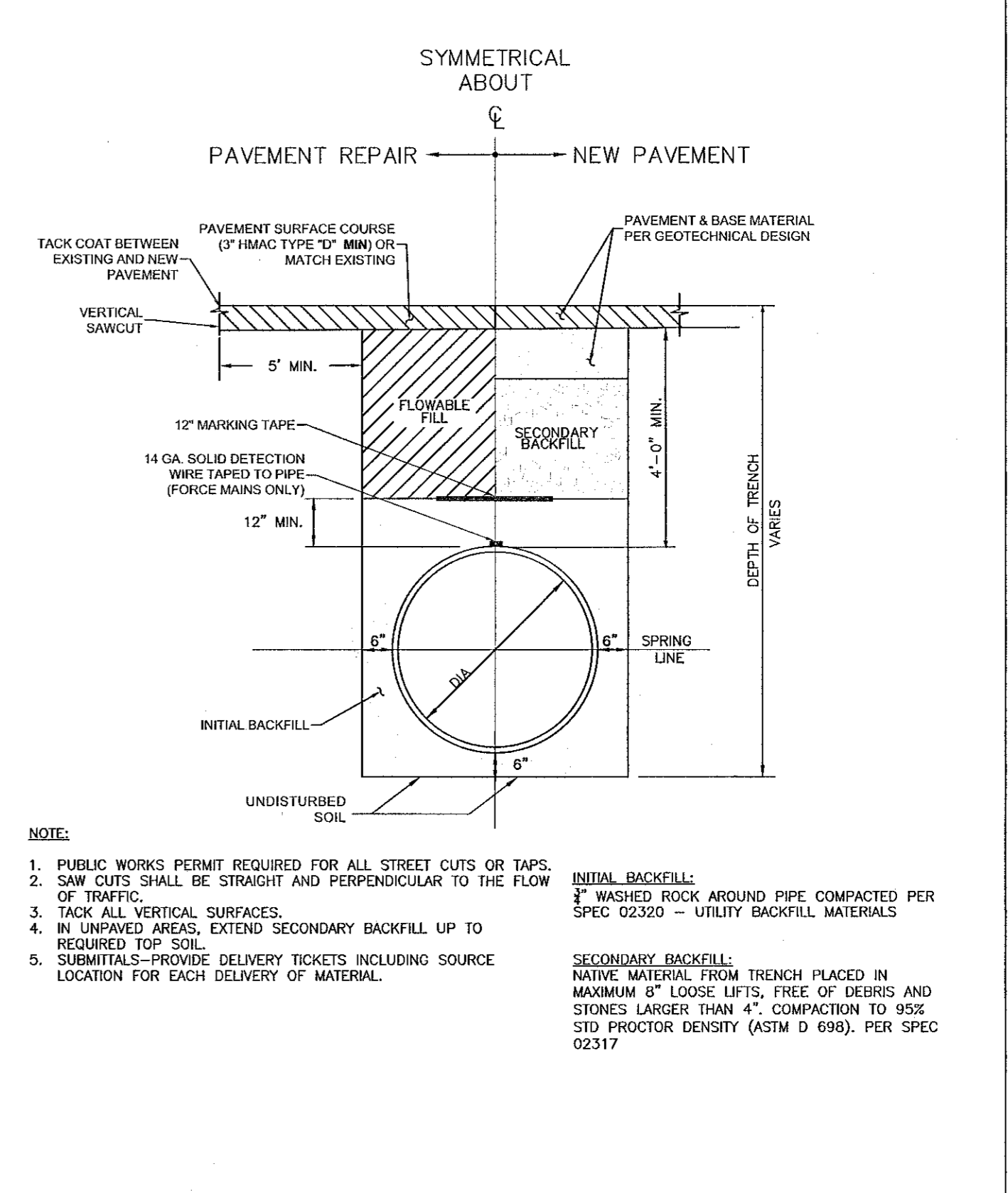
DATE: 2018

**CITY OF SCHERTZ TEXAS**  
ENGINEERING AND PUBLIC WORKS

**WATER MAIN TRENCH IN UNPAVED AREA**

STANDARD DETAIL

DATE: 2018



**SCHERTZ**  
COMMUNITY \* SERVICE \* OPPORTUNITY

**MAIN IN TRENCH**

ENGINEERING AND PUBLIC WORKS

DATE: 2018

LOCKAWAY STORAGE - 200 ROY RICHARDS DRIVE

UTILITY DETAILS

CITY OF SCHERTZ, TEXAS

SHEET C3.01

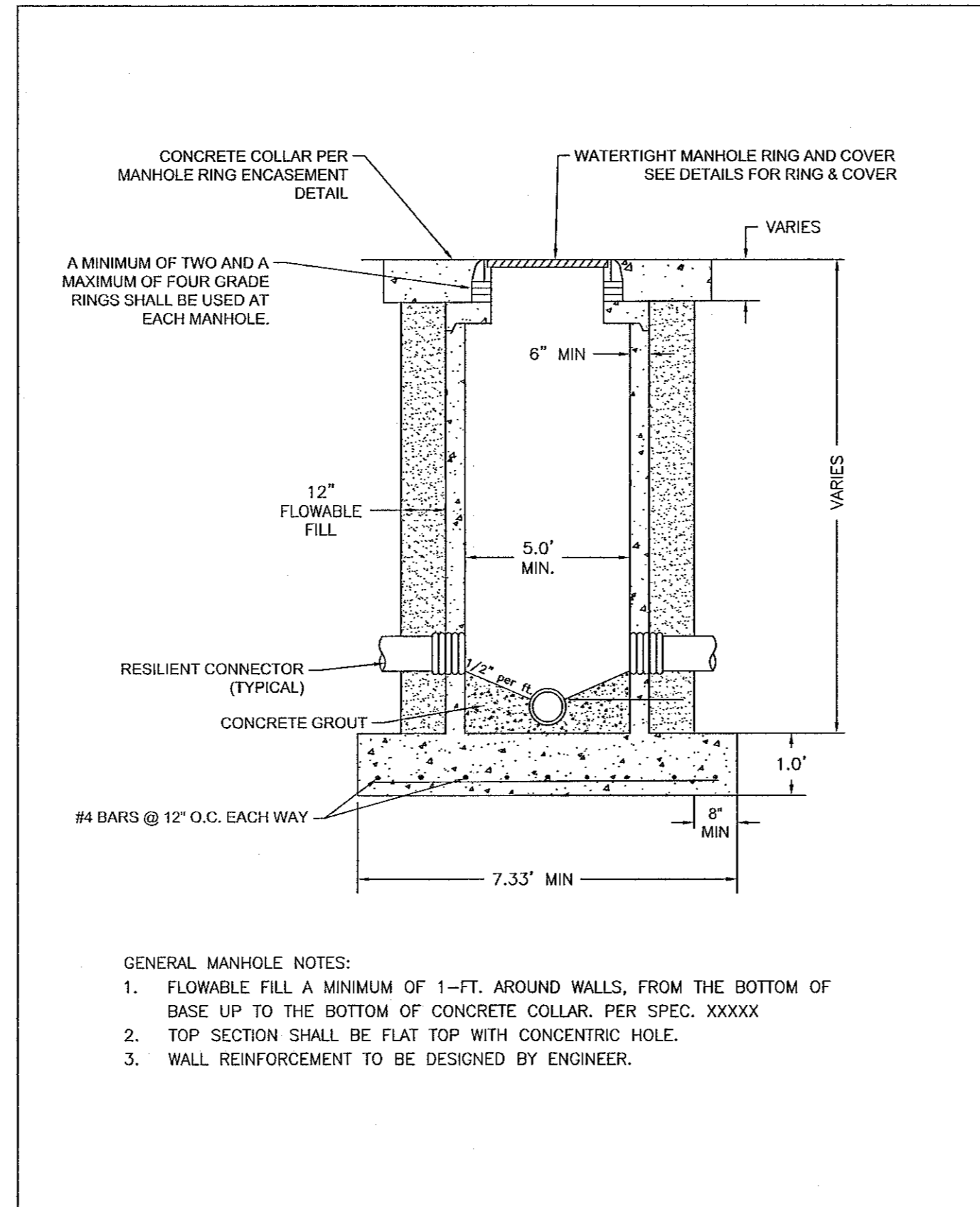
DATE: December 2020

PROJ. NO. 19026

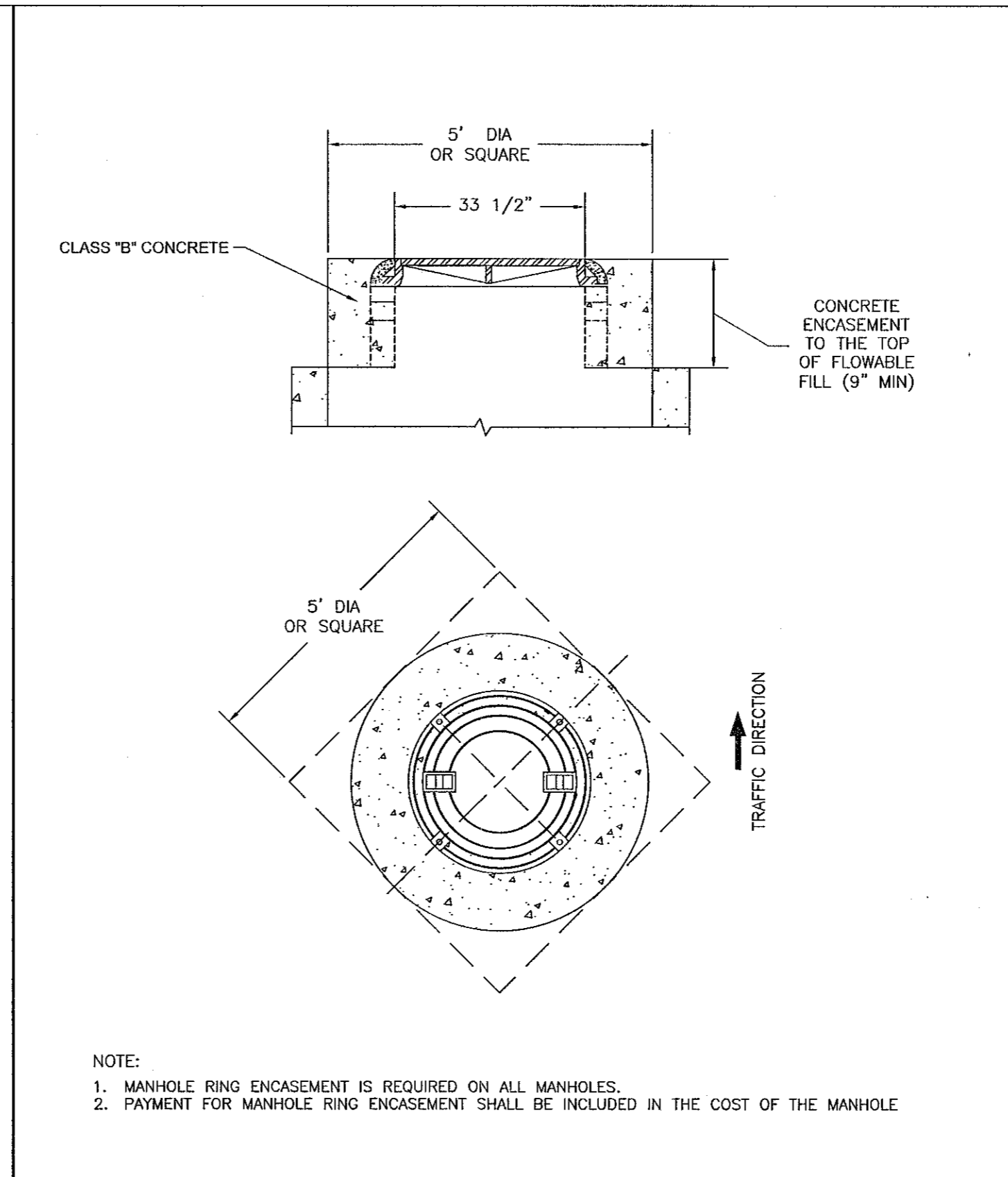
STATE OF TEXAS  
REGISTERED PROFESSIONAL ENGINEER  
ROBERT DON MCCRARY  
34589  
Don McCrary  
1/4/21

DON MCCRARY & ASSOCIATES, INC.  
ENGINEERS & SURVEYORS  
323 BREEZES & SURVEYORS  
SARASOTA, TEXAS 78216-2602  
(210) 349-2651

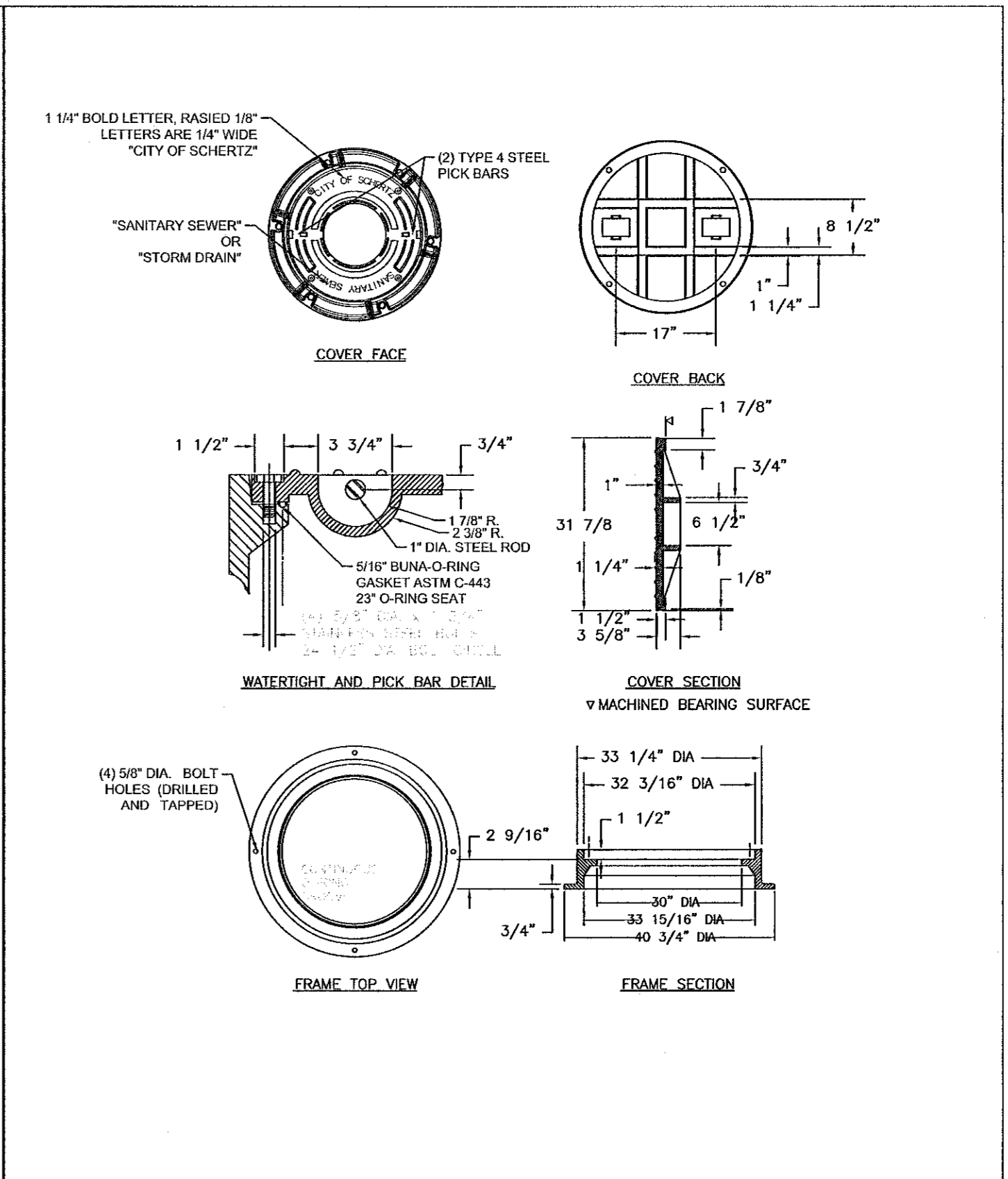
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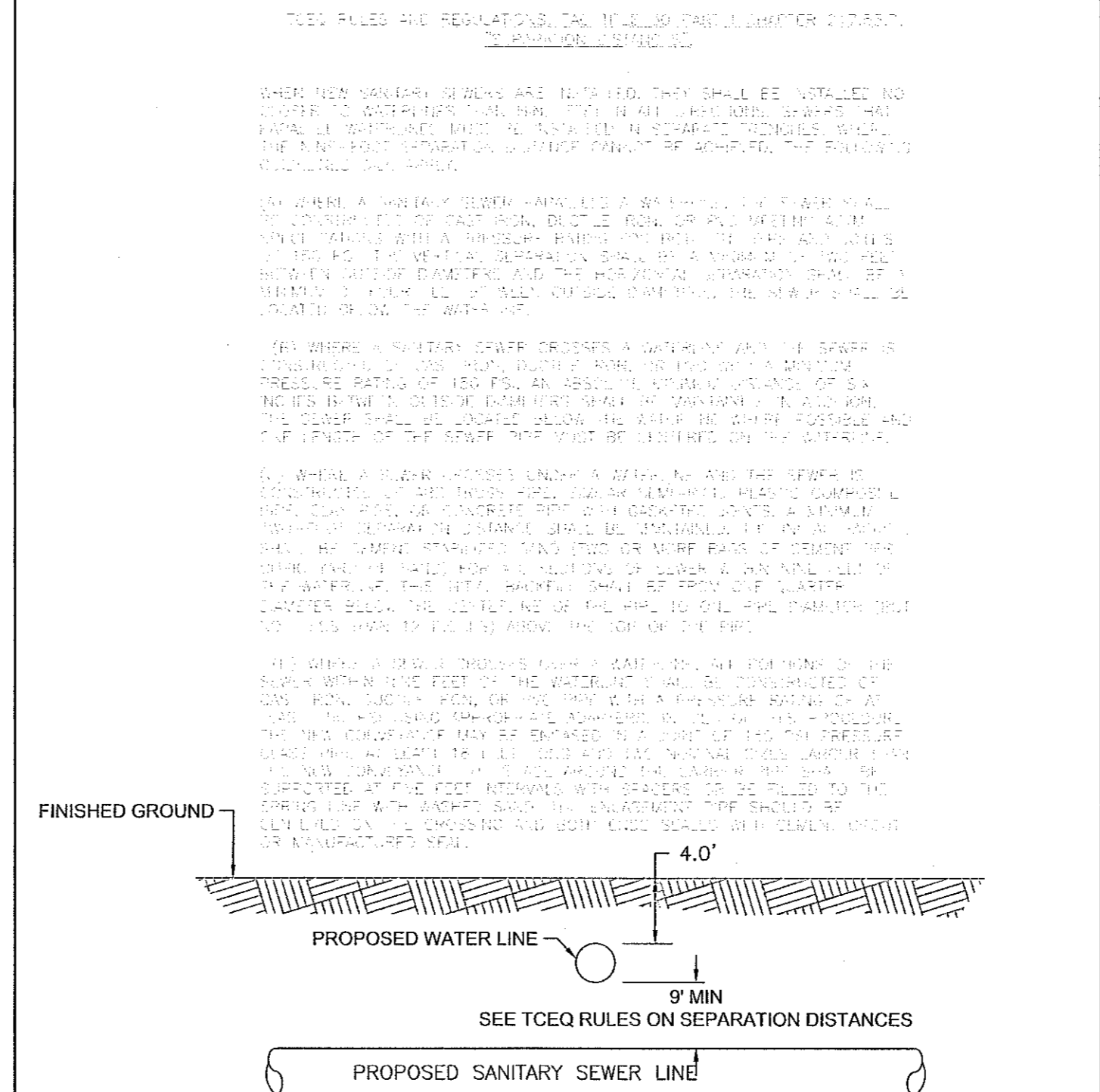
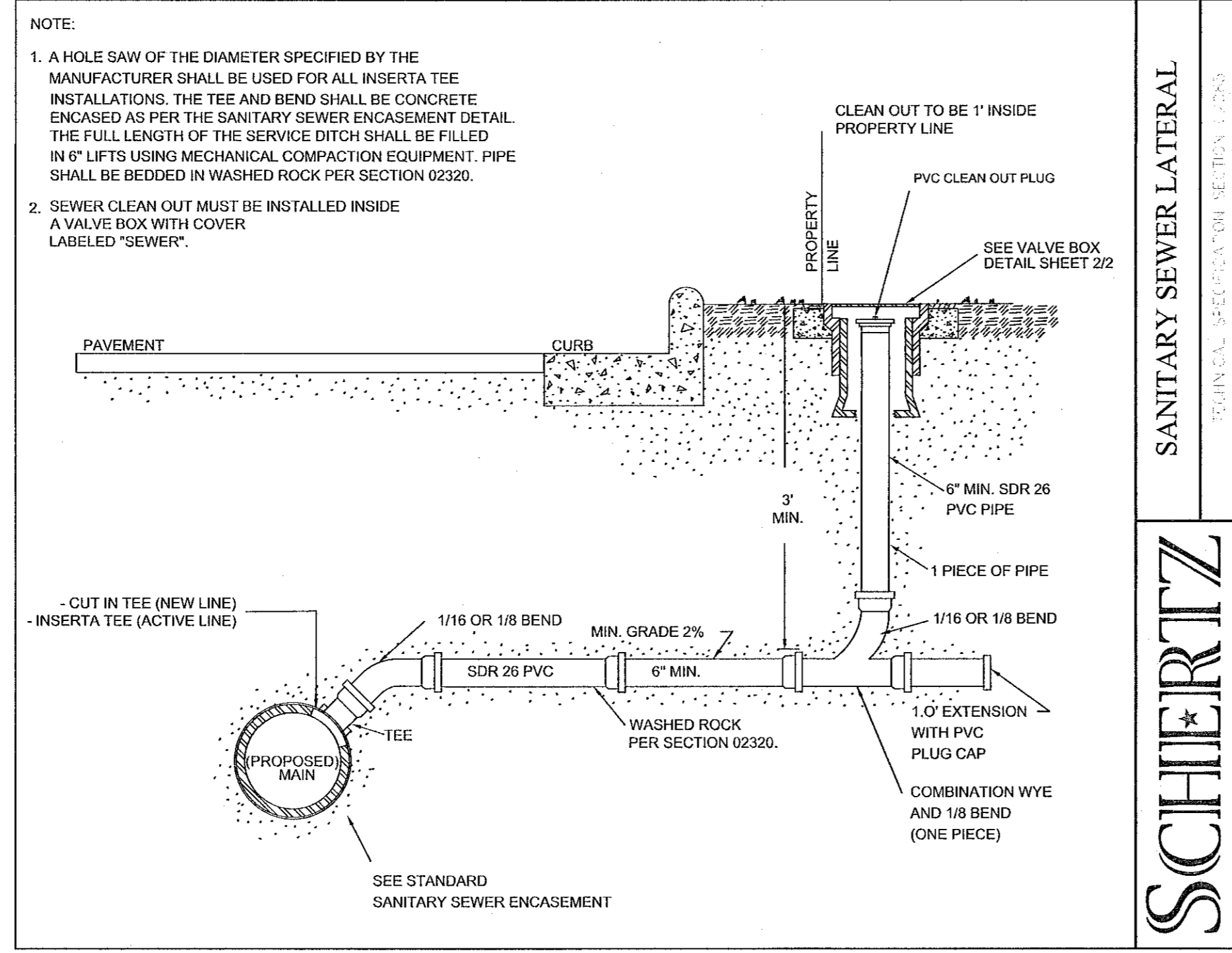
<b>SCHERTZ</b> COMMUNITY • SERVICE • OPPORTUNITY	MANHOLE
	ENGINEERING AND PUBLIC WORKS



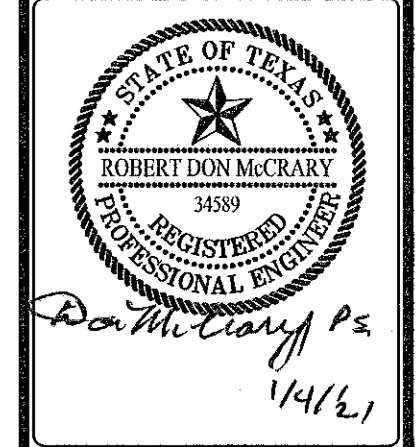
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	ENGINEERING AND PUBLIC WORKS



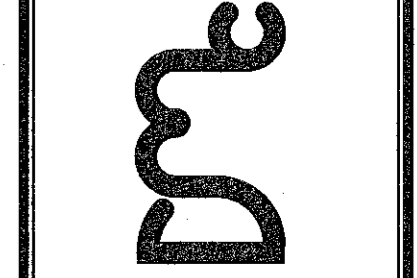
<b>SCHERTZ</b> COMMUNITY • SERVICE • OPPORTUNITY	MANHOLE RING AND COVER
	ENGINEERING AND PUBLIC WORKS



<b>SCHERTZ</b> COMMUNITY • SERVICE • OPPORTUNITY	TCEQ WW/WTR CROSSING
	ENGINEERING AND PUBLIC WORKS



DON MCCRARY & ASSOCIATES, INC.  
ENGINEERS & SURVEYORS  
325 BREESEPORT  
SAN ANTONIO, TEXAS 78216-2602  
(210) 349-2651



LOCKAWAY STORAGE - 200 ROY RICHARDS DRIVE  
UTILITY DETAILS  
CITY OF SCHERTZ, TEXAS

SHEET C3.02	
DRAWN BY: J. McNEW	CHECKED BY: EIM
DATE December 2020	PROJ. NO. 19026

Date: Dec 31, 2020, 8:40am User ID: jmcnew  
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