

NOTES

- Bearing system for this survey is based on the Texas Coordinate System of 1983 (2011 adjustment), South Central Zone 4204, based on observations made on February 21, 2022 with a combined scale factor of 1.00014.
- Subject property is shown on the National Flood Insurance Program Flood Insurance Rate Map for Comal County, Texas and Incorporated Areas, Map No. 48091C0485F, Community-Panel No. 485463 0485 F, Revised Date: September 2, 2009. There is no Zone "A" or Zone "AE" Floodplain in the proposed area. The location of the said floodzones is based on said map, is approximate and is not located on the ground. Relevant zones are defined on said map as follows:
Zone "X" - Other Areas: Areas determined to be outside the 0.2% annual chance floodplain
- Notice: Selling a portion of this addition by metes & bounds in violation of city ordinance and state law and is subject to fines and withholdings of utilities and permits.
- All open space, common areas, green belts, drainage easements, or other areas identified as private, shall be the responsibility of the owner or owners successors and/or assigns provided such successor or assign is approved by the City.
- Maintenance of dedicated utility easements is the responsibility of the property owner. Any use, of an easement, or any portion of it, including landscaping or drainage features, is subject to and shall not conflict with the terms and conditions in the easement, must not endanger or interfere with the rights granted by the easement to City of Schertz utilities, its successors and assigns, and shall be subject to applicable permit requirements of City of Schertz or any other governing body. The property owner must obtain, in advance, written agreement with the utilities to utilize the easement, or any part of it.
- Buildable Lots: 2 (Two)
LOT 1, BLOCK 3 ACRES 11.431
LOT 2, BLOCK 3 75.246
- Development shall be in accordance with floodplain ordinance in effect at the time of construction application.

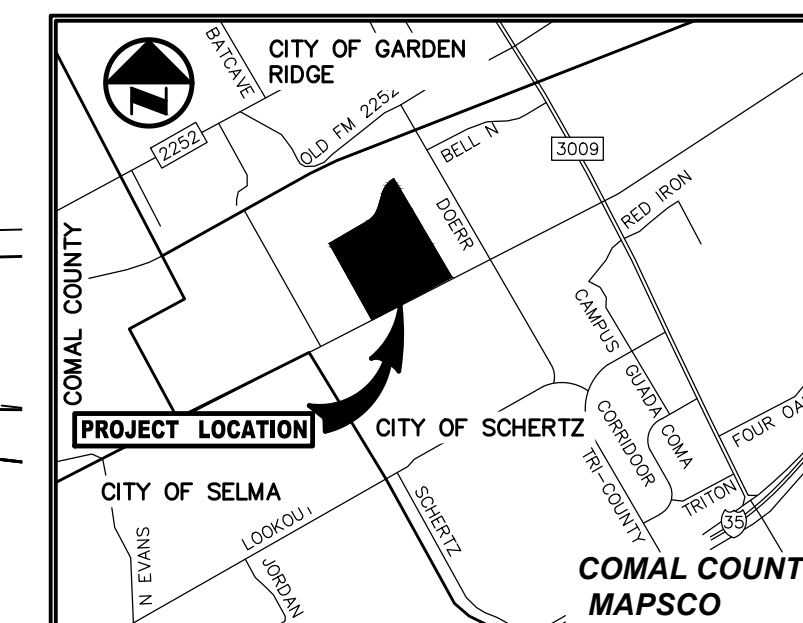
OWNER:
SCHERTZ 312, LLC
BEN SPENCER
9601 McALLISTER FREEWAY, SUITE 1120
SAN ANTONIO, TX 78216
210-338-5220

CIVIL ENGINEER:
WESTWOOD PROFESSIONAL SERVICES
8701 N. MOPAC EXPY., SUITE 320
AUSTIN, TEXAS 78759
CONTACT: CLAYTON J. STROLLE, PE
512-485-0831
clayton.strolle@westwoodps.com

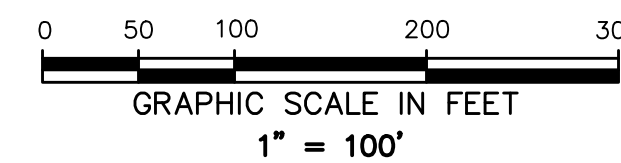
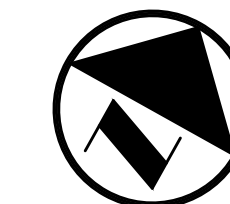
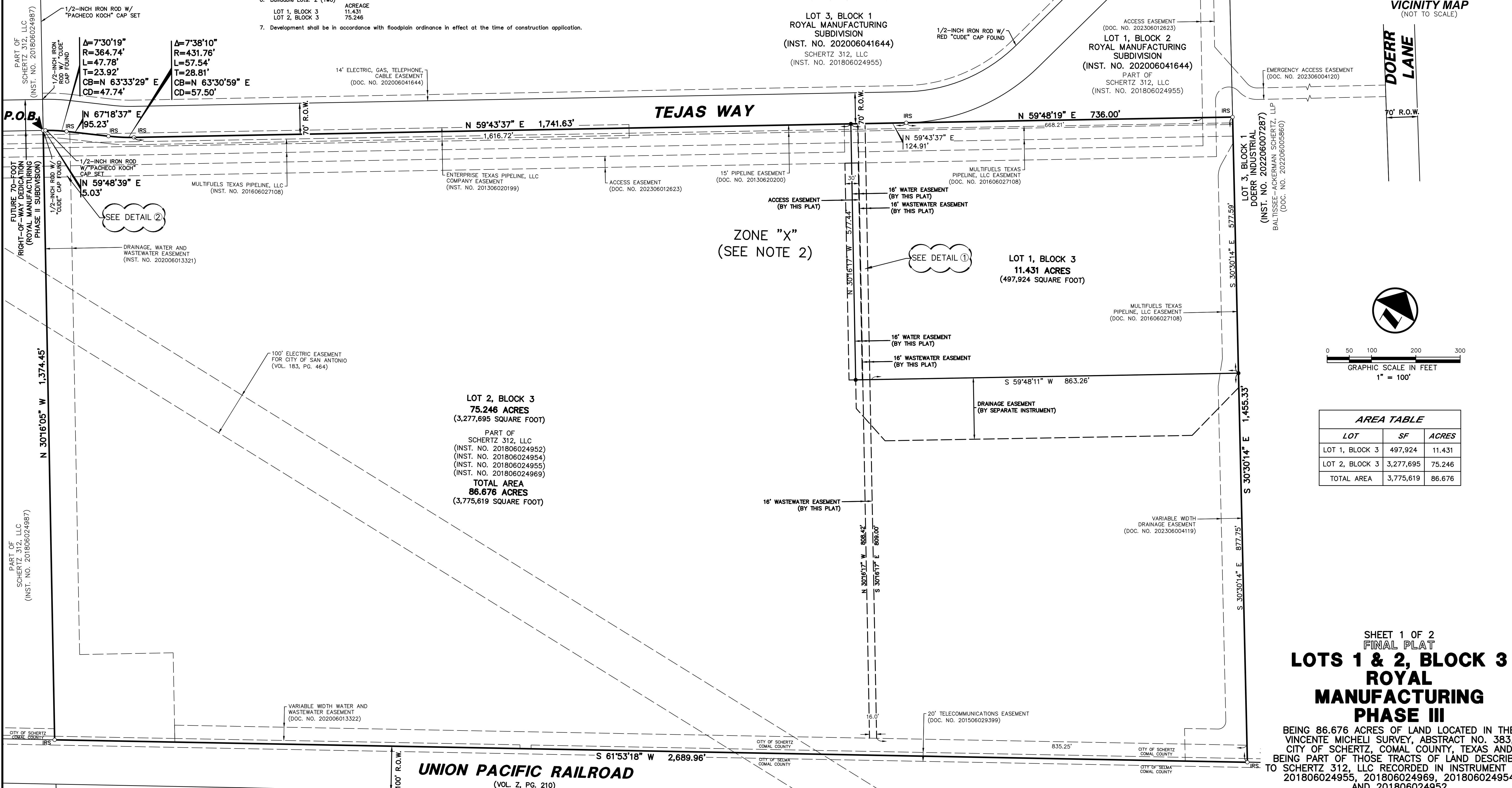
SURVEYOR:
WESTWOOD PROFESSIONAL SERVICES
4060 BRYANT IRVIN ROAD
FORT WORTH, TEXAS 76109
CONTACT: DUSTIN C. PUSTEJOVSKY, RPLS
817-412-7155
dustin.pustejevsky@westwoodps.com

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- SETBACK LINE
- (C.M.) CONTROLLING MONUMENT
- IRS 1/2-INCH IRON ROD W/ "PACHECO KOCH" CAP SET
- XS "+" CUT IN CONCRETE SET
- INTERNAL LOT CORNERS



VICINITY MAP
(NOT TO SCALE)



AREA TABLE		
LOT	SF	ACRES
LOT 1, BLOCK 3	497,924	11.431
LOT 2, BLOCK 3	3,277,695	75.246
TOTAL AREA	3,775,619	86.676

SHEET 1 OF 2
FINAL PLAT
LOTS 1 & 2, BLOCK 3
ROYAL
MANUFACTURING
PHASE III

BEING 86.676 ACRES OF LAND LOCATED IN THE VINCENTE MICHELI SURVEY, ABSTRACT NO. 383, CITY OF SCHERTZ, COMAL COUNTY, TEXAS AND BEING PART OF THOSE TRACTS OF LAND DESCRIBED TO SCHERTZ 312, LLC RECORDED IN INSTRUMENT NOS 201806024955, 201806024969, 201806024954 AND 201806024952
OFFICIAL PUBLIC RECORDS, COMAL COUNTY, TEXAS

Pacheco Koch a Westwood company
4060 BRYANT IRVIN ROAD
FORT WORTH, TX 76109
817.412.7155

DRAWN BY GAL	CHECKED BY DCP	SCALE 1"=100'	DATE AUG 2022	JOB NUMBER 5212-22.011
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DORUSTEJOVSKY, RPLS
WESTWOOD PROFESSIONAL SERVICES, L.P.
\\NASNET\WORKSPACE\COMAL\DWG\5212-22\011\DWG\SURVEY_C3D_2018\5212-22_011\FIP.DWG

FINAL PLAT - LOTS 1 & 2, BLOCK 3, ROYAL MANUFACTURING PHASE III

COUNTY CLERK CERTIFICATION

STATE OF TEXAS ~
COUNTY OF COMAL ~
I, Bobby Koepf, County Clerk of said County, do hereby certify that this plat was filed for record in my office on the 2023 at day of 2023 at and duly recorded the day of 2023 at in Document No. Official Public Records of Comal County, Texas.
COUNTY CLERK, COMAL COUNTY, TEXAS
By: DEPUTY

CIBOLO CREEK MUNICIPAL AUTHORITY

This proposed development has been reviewed and approved by the Cibolo Creek Municipal Authority (CCMA) for wastewater treatment plant capacity and easements. All fees due for impact to the system at time of connection will be calculated at submittal of building permit application.
By: Agent for Cibolo Creek Municipal Authority

CITY ENGINEER CERTIFICATION

I, the undersigned, City Engineer of the City of Schertz, Texas, hereby certify that this subdivision plat conforms to all requirements of the subdivision regulations of the county as to which this approval is required.
City Engineer

PLANNING AND ZONING CERTIFICATION

This plat of Lots 1 & 2, Block 3, ROYAL MANUFACTURING PHASE III Subdivision has been submitted to and considered by the Planning & Zoning Commission of the City of Schertz, and hereby approved by such commission.
By: Chairman
By: Secretary

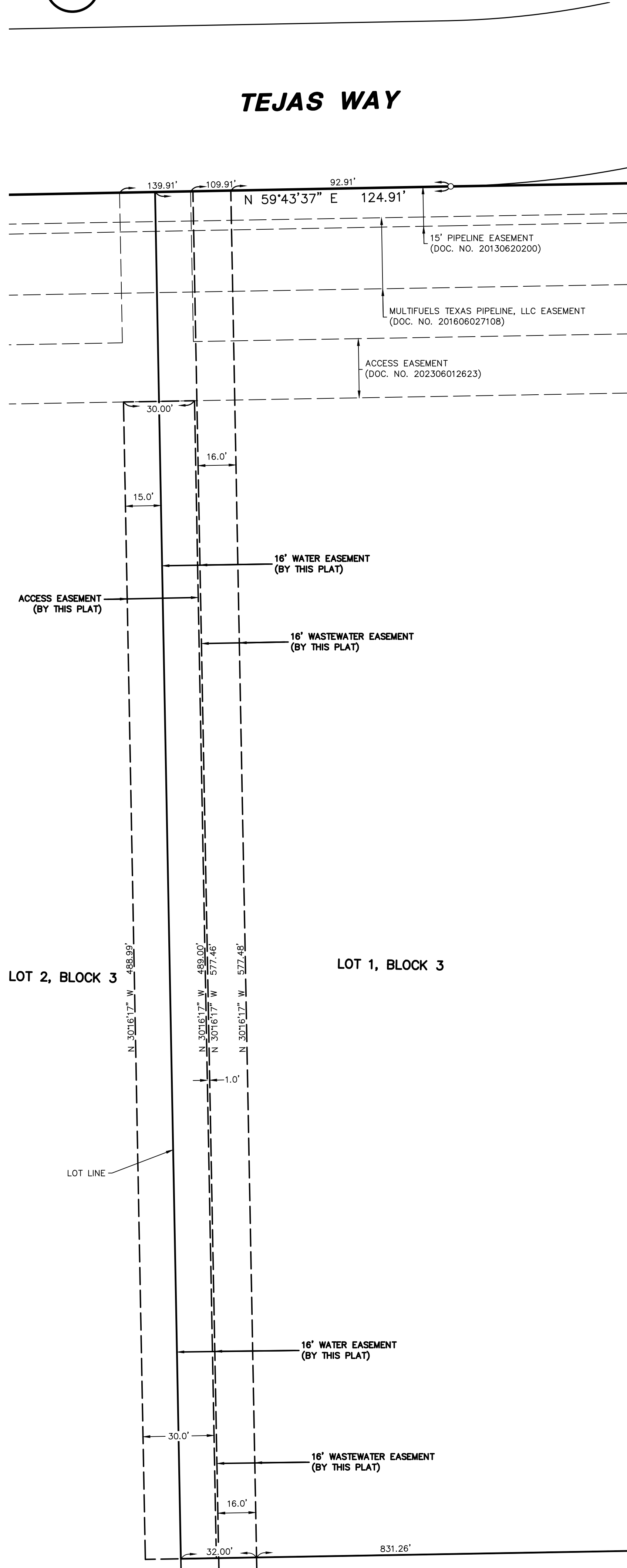
OWNER CERTIFICATE & DEDICATION STATEMENT

STATE OF TEXAS ~
COUNTY OF COMAL ~
NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
That, Schertz 312, LLC, being the sole owner of the land shown on this plat, acting by and through the undersigned, its duly authorized agent, dedicates to the use of the public, except areas identified as private or part of an enclave or planned unit development, forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown for the purpose and consideration therein expressed.
WITNESS, my hand the day of 2023.
SCHERTZ 312, LLC
6300 RIVERSIDE PLAZA LANE, NW STE. 200
ALBUQUERQUE, NEW MEXICO 87120
505-998-0167
Ben F. Spencer, Manager
STATE OF NEW MEXICO ~
COUNTY OF BERNALILLO ~
BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Ben F. Spencer, as Manager of Titan Property Management, LLC, as Manager of Schertz 312 Management, LLC, as Manager of Schertz 312, LLC known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.
GIVEN UNDER MY HAND AND SEAL OF OFFICE on the day of 2023.
Notary Public in and for The State of New Mexico
My Commission expires:

CPS/SAWS/COSA UTILITY NOTE

- 1. The City of Schertz as part of its electric, gas, water, and wastewater systems-City Public Service Board (CPS Energy) and San Antonio Water Systems (SAWS)-is hereby dedicated easements and rights-of-way for utility, transmission and distribution infrastructure and service facilities in the areas designated on this plat as "Electrical Easement," "Anchor Easement," "Service Easement," "Overhang Easement," "Utility Easement," "Gas Easement," "Transformer Easement," "Water Easement," "Sanitary Sewer Easement" and/or "Recycled Water Easement" for the purpose of installing, constructing, reconstructing, maintaining, removing, inspecting, patrolling, and erecting utility infrastructure and service facilities for the reasons described above.
2. Any CPS Energy or SAWS monetary loss resulting from modifications required of CPS Energy or SAWS infrastructure and service facilities, located within said easements, due to grade changes or ground elevation alterations shall be charged to the person or persons deemed responsible for said grade changes or ground elevation alterations.
3. This plat does not amend, alter, release or otherwise affect any existing electric, gas, water, sewer, drainage, telephone, cable TV easements or any other easements for utilities unless the changes to such easements are described hereon.
4. Concrete driveway approaches are allowed within the five (5) and ten (10) foot wide electric and gas easements when lots are served only by underground electric and gas facilities.
5. Roof overhangs are allowed within the five (5) and ten (10) foot wide electric and gas easements when only underground electric and gas facilities are proposed or existing within those five (5) and ten (10) foot wide easements.

1 DETAIL
NOT TO SCALE



SURVEYOR'S CERTIFICATE

STATE OF TEXAS
COUNTY OF TARRANT
I, Dustin C. Pustejovsky, Registered Professional Land Surveyor, do hereby certify that the plat shown hereon accurately represents the property as determined by an on the ground survey, made under my direction and supervision on February 24, 2022 and that all corners are shown hereon.



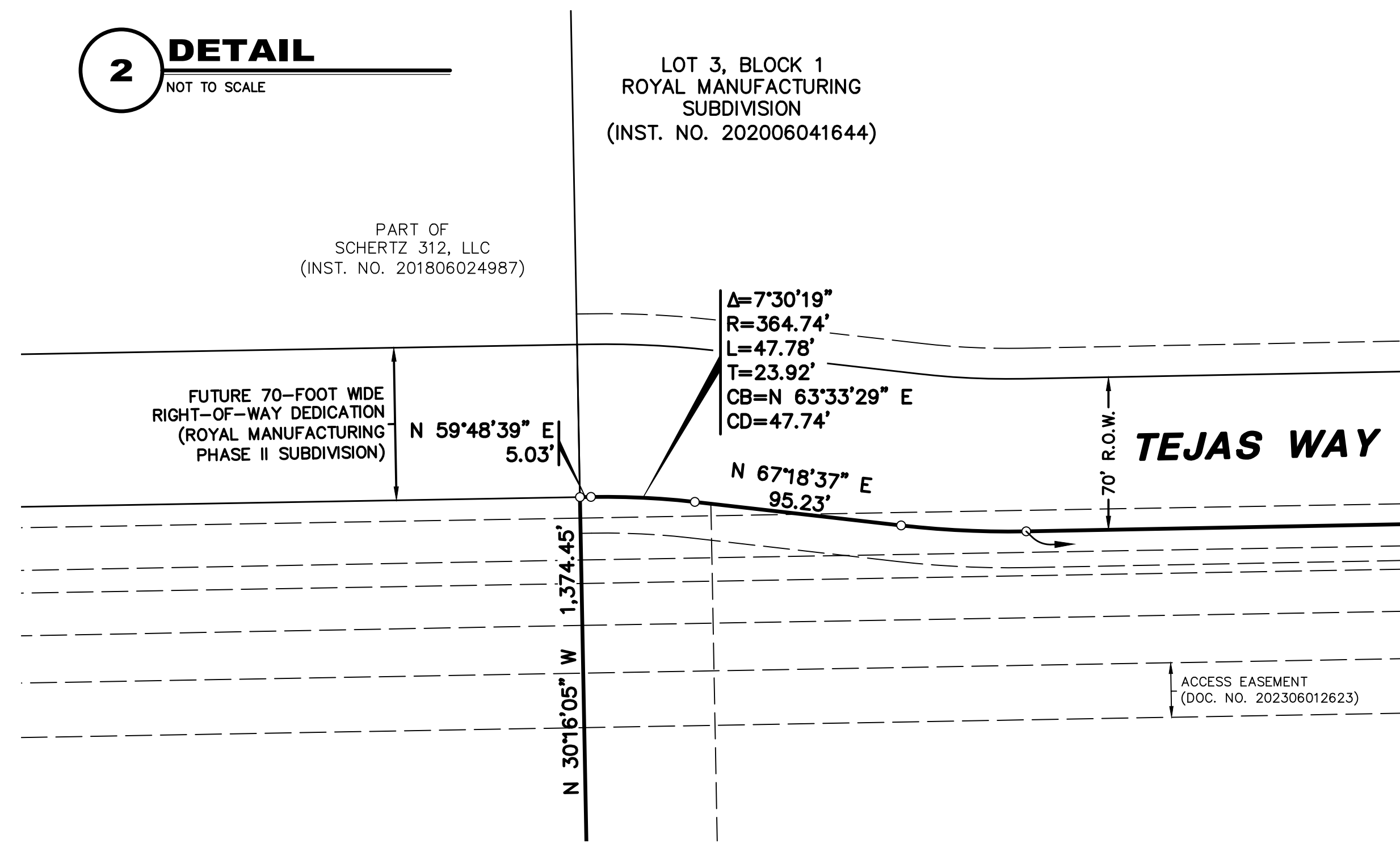
Dustin C. Pustejovsky
Registered Professional Land Surveyor
No. 6690
Dustin.Pustejovsky@westwoodps.com
www.westwoodps.com

ENGINEERS CERTIFICATE

STATE OF TEXAS ~
COUNTY OF TRAVIS ~
I, Clayton J. Strolle, a Registered Professional Engineer in the State of Texas, hereby certify that proper Engineering consideration has been given this plat.

Clayton J. Strolle
Professional Engineer No. 108906
clayton.strolle@westwoodps.com
www.westwoodps.com

2 DETAIL
NOT TO SCALE



NOTES

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SHEET 2 OF 2
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LOTS 1 & 2, BLOCK 3
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Pacheco Koch logo and contact information: 4060 BRYANT IRVIN ROAD FORT WORTH, TX 76109 817.412.7155. Includes a table with columns for DRAWN BY, CHECKED BY, SCALE, DATE, and JOB NUMBER.

Vertical text on the left margin: D:\PUSTEJOVSKY... 2018\3212-22\011P.DWG

Vertical text on the right margin: FINAL PLAT - LOTS 1 & 2, BLOCK 3, ROYAL MANUFACTURING PHASE III