



MEETING AGENDA
Planning & Zoning Commission
REGULAR SESSION PLANNING & ZONING COMMISSION
July 26, 2023

HAL BALDWIN MUNICIPAL COMPLEX COUNCIL CHAMBERS
1400 SCHERTZ PARKWAY BUILDING #4
SCHERTZ, TEXAS 78154

CITY OF SCHERTZ CORE VALUES

Do the right thing

Do the best you can

Treat others the way you want to be treated

Work cooperatively as a team

AGENDA

WEDNESDAY, JULY 26, 2023 at 7:00 p.m.

The Planning and Zoning Commission will hold the regularly scheduled meeting at 7:00p.m., Wednesday, July 26, 2023, at the City Council Chambers. In lieu of attending the meeting in person, residents will have the opportunity to watch the meeting via live stream on the City's YouTube Channel.

1. CALL TO ORDER

2. SEAT ALTERNATE TO ACT IF REQUIRED

3. HEARING OF RESIDENTS

Residents who choose to watch the meeting via live stream, but who would like to participate in Hearing of Residents, should email their comments to the Planning Division, at planning@schertz.com by 5:00p.m. on Tuesday, July 25, 2023, so that the Planning Division may read the public comments into the record under the hearing of residents. In the body of the email please include your name, your address, phone number, agenda item number if applicable or subject of discussion, and your comments.

This time is set aside for any person who wishes to address the Planning and Zoning Commission. Each person should fill out the Speaker's register prior to the meeting. Presentations should be limited to no more than three (3) minutes. Discussion by the Commission of any item not on the agenda shall be limited to statements of specific factual information given in response to any inquiry, a recitation of existing policy in response to an inquiry, and/or a proposal to place the item on a future agenda. The presiding officer, during the Hearing of Residents portion of the agenda, will call on those persons who have signed up to speak in the order they have registered.

4. CONSENT AGENDA:

A. Minutes for the June 28, 2023 Regular Meeting.

B. PLFP20230173 Consider and act upon a request for approval of a Final Plat of the FM 1518 Schertz Multifamily Apartments, approximately 15 acres of land generally located 2,200 feet southeast of the intersection of Lower Seguin Road and FM 1518, Parcel ID 309999, City of Schertz, Bexar County, Texas.

- C. PLFP20230148 - Consider an act upon a request for approval of a final plat of the Royal Manufacturing Phase III Subdivision, an approximately 87 acre tract of land to the south of Tejas Way, approximately 750 feet west of Doerr Lane, also identified as ParcelIDs: 412335, 74404, 74490, 74458, City of Schertz, Comal County, Texas.

5. **PUBLIC HEARING:**

The Planning and Zoning Commission will hold a public hearing related to zone change requests and replats within this agenda. The public hearing will be opened to receive a report from staff, the applicant, the adjoining property owners affected by the applicant's request, and any other interested persons. Upon completion, the public hearing will be closed. The Commission will discuss and consider the application, and may request additional information from staff or the applicant, if required. After deliberation, the Commission is asked to consider and act upon the following requests and make a recommendation to the City Council if necessary.

- A. PLSPU20220116– Conduct a public hearing and make a recommendation on a request for a Specific Use Permit to allow a convenience store with gas pumps on approximately 5.5 acres of land, more specifically described 1008 and 1020 FM 78, Schertz, TX 78154, also known as Guadalupe County Property Identification Number: 67650 and 67552, City of Schertz, Guadalupe County, Texas.

6. **REQUESTS AND ANNOUNCEMENTS:**

- A. Requests by Commissioners to place items on a future Planning and Zoning Agenda

- B. Announcements by Commissioners

- City and community events attended and to be attended
- Continuing education events attended and to be attended

- C. Announcements by City Staff.

- City and community events attended and to be attended.

7. **INFORMATION AVAILABLE IN THE PLANNING AND ZONING COMMISSION PACKETS- NO DISCUSSION TO OCCUR**

- A. Current Projects and City Council Status Update

8. **ADJOURNMENT OF THE REGULAR MEETING**

CERTIFICATION

I, Samuel Haas, Senior Planner, of the City of Schertz, Texas, do hereby certify that the above agenda was posted on the official bulletin boards on this the 21st day of July, 2023 at 5:00 p.m., which is a place readily accessible to the public at all times and that said notice was posted in accordance with chapter 551, Texas Government Code.

Samuel Haas

Samuel Haas, Senior Planner

I certify that the attached notice and agenda of items to be considered by the Schertz Planning & Zoning Commission was removed from the official bulletin board on _____ day of _____, 2023. _____ title: _____

This facility is accessible in accordance with the Americans with Disabilities Act. Handicapped parking spaces are available. If you require special assistance or have a request for sign interpretative services or other services please call 619-1030 at least 24 hours in advance of meeting.

The Planning and Zoning Commission for the City of Schertz reserves the right to adjourn into executive session at any time during the course of this meeting to discuss any of the matters listed above, as authorized by the Texas Open Meetings Act.

Executive Sessions Authorized: This agenda has been reviewed and approved by the City's legal counsel and presence of any subject in any Executive Session portion of the agenda constitutes a written interpretation of Texas Government Code Chapter 551 by legal counsel for the governmental body and constitutes an opinion by the attorney that the items discussed therein may be legally discussed in the closed portion of the meeting considering available opinions of a court of record and opinions of the Texas Attorney General known to the attorney. This provision has been added to this agenda with the intent

to meet all elements necessary to satisfy Texas Government Code Chapter 551.144(c) and the meeting is conducted by all participants in reliance on this opinion.

PLANNING AND ZONING COMMISSION MEETING: 07/26/2023
Agenda Item 4 A

TO: Planning and Zoning Commission
PREPARED BY: Emily Delgado, Planning Manager
SUBJECT: Minutes for the June 28, 2023 Regular Meeting.

Attachments

Minutes for the June 28, 2023 Regular P&Z Meeting - DRAFT

DRAFT

PLANNING AND ZONING MINUTES

June 28, 2023

The Schertz Planning and Zoning Commission convened on June 28, 2023 at 6:00 p.m. at the Municipal Complex, Council Chambers, 1400 Schertz Parkway Building #4, Schertz, Texas.

Present: Glen Outlaw, Chairman; Richard Braud, Commissioner; Gordon Rae, Commissioner; Roderick Hector, Commissioner; Judy Goldick, Commissioner; Tamara Brown, Commissioner; John Carbon, Commissioner

Absent: Ernie Evans, Vice Chairman; Patrick McMaster, Commissioner

Staff present: Brian James, Deputy City Manager; Emily Delgado, Planning Manager; Samuel Haas, Senior Planner; Ameriz Gamez, Planner; Daisy Marquez, Planner; Tiffany Danhof, Administrative Assistant

1. CALL TO ORDER

Chairman Mr. Outlaw called the meeting to order at 6:00 P.M.

2. SEAT ALTERNATE TO ACT IF REQUIRED

Mr. Carbon was seated as an alternate.

3. HEARING OF RESIDENTS

Residents who choose to watch the meeting via live stream, but who would like to participate in Hearing of Residents, should email their comments to the Planning Division, at planning@schertz.com by 5:00p.m. on Tuesday, June 27, 2023, so that the Planning Division may read the public comments into the record under the hearing of residents. In the body of the email please include your name, your address, phone number, agenda item number if applicable or subject of discussion, and your comments.

This time is set aside for any person who wishes to address the Planning and Zoning Commission. Each person should fill out the Speaker's register prior to the meeting. Presentations should be limited to no more than three (3) minutes. Discussion by the Commission of any item not on the agenda shall be limited to statements of specific factual information given in response to any inquiry, a recitation of existing policy in response to an inquiry, and/or a proposal to place the item on a future agenda. The presiding officer, during the Hearing of Residents portion of the agenda, will call on those persons who have signed up to speak in the order they have registered.

No one spoke.

4. CONSENT AGENDA:

A. Minutes for the June 14, 2023 Regular Meeting.

B. PLFP20230152 - Consider and act upon a request for approval of a final plat of the Core5 Subdivision, an approximately 165 acre tract of land generally located at the northwest corner of the intersection of Scenic Lake Drive and IH-10, also identified as Parcel IDs: 619013, 619006, 619017, City of Schertz, Bexar County, Texas

Motioned by Commissioner Gordon Rae to approve the consent agenda's,
seconded by Commissioner Judy Goldick

Vote: 7 - 0 Passed

5. PUBLIC HEARING:

The Planning and Zoning Commission will hold a public hearing related to zone change requests and replats within this agenda. The public hearing will be opened to receive a report from staff, the applicant, the adjoining property owners affected by the applicant's request, and any other interested persons. Upon completion, the public hearing will be closed. The Commission will discuss and consider the application, and may request additional information from staff or the applicant, if required. After deliberation, the Commission is asked to consider and act upon the following requests and make a recommendation to the City Council if necessary.

- A.** PLUDC20230133 - Hold a public hearing, workshop and discussion and possible action to make a recommendation on amendments to Part III of the Schertz Code of Ordinances, Unified Development Code (UDC) to Article 8, Section 21.8.4 - Home Occupations

Mr. Haas provided a presentation.

Mr. Outlaw opened the public hearing at 6:08 P.M.

No one spoke.

Mr. Outlaw closed the public hearing at 6:08 P.M.

Motioned by Commissioner Judy Goldick to approve with conditions, seconded by
Commissioner Gordon Rae

Vote: 7 - 0 Passed

6. ITEMS FOR INDIVIDUAL CONSIDERATION:

- A.** PLPP20230139 - Consider and act upon a request for approval of a preliminary plat for the Palapas - John Subdivision, an approximately 3.5 acre tract of land located approximately 250 feet west of the intersection of Schertz Parkway and IH 35, City of Schertz, Guadalupe County. Parcel ID: 64689, 64677, & 64687.

Mr. Haas provided a presentation

Motioned by Commissioner Richard Braud to approve, seconded by Commissioner
Judy Goldick

Vote: 7 - 0 Passed

7. WORKSHOP AND DISCUSSION:

- A.** Workshop, Discussion, and Possible Action in relation to UDC Section 21.4.3. Notice Requirements, specifically in relation to public hearing notification signs

Mrs. Delgado provided a presentation, and no action was needed.

8. REQUESTS AND ANNOUNCEMENTS:

A. Requests by Commissioners to place items on a future Planning and Zoning Agenda

There were no requests from Commissioners.

B. Announcements by Commissioners

- City and community events attended and to be attended
- Continuing education events attended and to be attended

There were no announcements by City staff.

C. Announcements by City Staff.

- City and community events attended and to be attended.

There were announcements by City Staff.

**9. INFORMATION AVAILABLE IN THE PLANNING AND ZONING COMMISSION
PACKETS- NO DISCUSSION TO OCCUR**

A. Current Projects and City Council Status Update

10. ADJOURNMENT OF THE REGULAR MEETING

Chairman Mr. Outlaw adjourned the regular meeting at 6:59 P.M.

Chairman, Planning and Zoning Commission

Recording Secretary, City of Schertz

PLANNING AND ZONING COMMISSION MEETING: 07/26/2023
Agenda Item 4 B

TO: Planning and Zoning Commission
PREPARED BY: Ameriz Gamez, Planner
CASE: PLFP20230173
SUBJECT: PLFP20230173 Consider and act upon a request for approval of a Final Plat of the FM 1518 Schertz Multifamily Apartments, approximately 15 acres of land generally located 2,200 feet southeast of the intersection of Lower Seguin Road and FM 1518, Parcel ID 309999, City of Schertz, Bexar County, Texas.

GENERAL INFORMATION:

Owner: Karen L. Dahle
Applicant Alejandro Jimenez, MTR Engineers, LLC

APPLICATION SUBMITTAL DATE:

Date:	Application Submittal Type:
07/14/2023	Final Plat

ITEM SUMMARY:

The applicant is proposing to Final Plat approximately 15 acres of land to establish 1 lot to construct a 300 unit multifamily apartment complex that will consist of 8 apartment building, a clubhouse, and a maintenance/laundry building. The site is currently zoned Planned Development District (PDD). The zoning ordinance number is 22-S-41 and was approved by City Council on September 14, 2022. The proposed development will adhere to the City's Apartment/Multi-Family Residential District (R-4) standard design requirements as dictated by the Unified Development Code and PDD.

GENERAL LOCATION AND SITE DESCRIPTION:

The property is generally located approximately 2,200 feet southeast of the intersection of Lower Seguin Road and FM 1518. The property is across FM 1518 from the intersection of Long Leaf Parkway and 1518.

ACCESS AND CIRCULATION:

The property will have three access points. The first will be the main entrance from FM 1518, the second will be an emergency access only easement on FM 1518, and the third will be another emergency access that goes from FM 1518 to the adjacent property to the east through a 26-foot wide emergency access easement for future development.

TREE MITIGATION AND PRESERVATION:

The applicant will be responsible for complying with the Unified Development Code (UDC), Section 21.9.9 Tree Preservation and Mitigation. The property will be removing protected and/or heritage trees and tree mitigation fees will be reviewed with the development of the site.

PUBLIC SERVICES:

The proposed FM 1518 Multifamily Apartments will be serviced by City of Schertz for water and sewer, Cibolo Creek Municipal Authority (CCMA) for sewer, CPS, Spectrum, and AT&T.

PUBLIC IMPROVEMENTS:

All public improvements required for this subdivision are required to be installed prior to recording of the final plat per UDC, Section 21.4.15., unless otherwise specified in an approved improvement agreement.

Water: The property will be serviced by the City of Schertz through a 12inch water line and will be stubbed for future development.

Sewer: The property will be serviced by the City of Schertz through a 12inch sewer line and will be stubbed for future development.

Drainage: The applicant is responsible for all drainage associated with the subject property, and for compliance with stormwater regulations. A Stormwater Management Plan has been reviewed with no objections by the Engineering and Public Works Departments.

Sidewalks: Sidewalks will be constructed along FM 1518 in accordance with the City of Schertz standards.

Road Improvements: The subject property is adjacent to FM 1518 which is identified on the City of Schertz Master Thoroughfare Plan as a Principal Arterial, with a 120'-130' of Right of Way. Due to the property being adjacent to FM 1518 TxDot has reviewed the plat exhibit and provided a letter of no objection to the proposed plat. Included within the proposed final plat is a 0.07 acre variable width Right of Way dedication along a portion of the subject property adjacent to FM 1518.

STAFF ANALYSIS AND RECOMMENDATION:

The final plat is consistent with the applicable requirements, ordinances, and regulations for this property. It has been reviewed with no objections by the Engineering, Public Works, Fire, and Planning Departments. Therefore, staff recommends approval of the final plat as proposed.

Planning Department Recommendation	
X	Approve as submitted
	Approve with conditions*
	Denial

* While the Commission can impose conditions; conditions should only be imposed to meet requirements of the UDC.

COMMISSIONERS CRITERIA FOR CONSIDERATION:

The Planning and Zoning Commission is the final approval authority of the proposed final plat. In considering final action on a final plat, the Commission should consider the criteria within UDC, Section 21.12.10 D.

Attachments

Aerial Exhibit
Final Plat



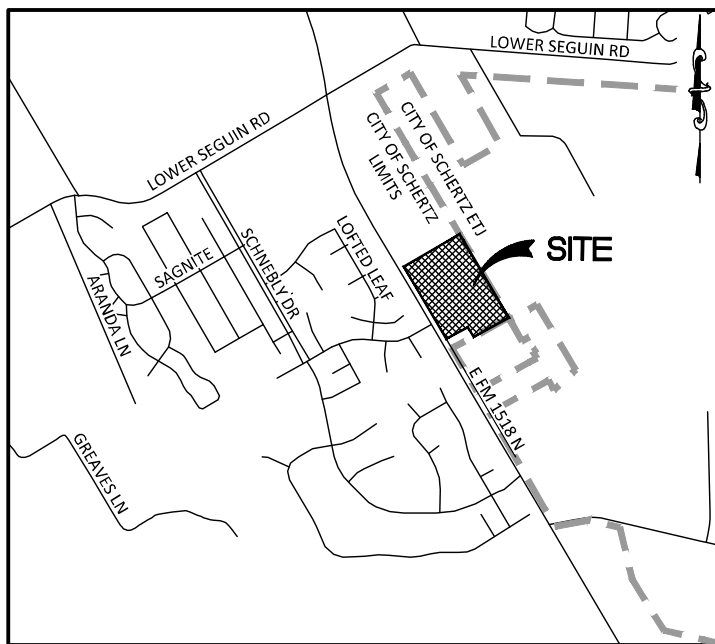
Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

SCHERTZ
COMMUNITY • SERVICE • OPPORTUNITY

**FM 1518 SCHERTZ
MULTIFAMILY APARTMENTS
(PLFP20230173)**

<all other values>	<all other values>	Planned Secondary Arterial	Commercial Collector B	10"	30"	Schertz Gravity	Hydrant	Schertz Treatment Plant	(DVL) Development Agreement (Delayed Annexation)
Highways	Freeway	Secondary Rural Arterial	Planned Commercial Collector B	2", 2 1/2"	36"	Schertz Pressure	Manholes	CCMA Treatment Plant	Schertz Municipal Boundary
Major Roads	Minor Roads	Planned Secondary Rural Arterial	Commercial Collector A	3"	Neighboring Main	Neighboring Gravity	Schertz Lift Station	CCMA Lift Station	Schertz ETJ Boundary
Other Cities	Planned Principal Arterial	Residential Collector	Planned Commercial Collector A	4"	Private	Neighboring Pressure	CCMA Lift Station	Split Manhole	County Boundaries
	Secondary Arterial	Planned Residential Collector		6"	12"	Private Gravity	Private Lift Station	200' Buffer	
				8"	18"	Private Pressure			
					24"				

1 Inch = 250 Feet



LOCATION MAP

LEGEND

- E.G.T.V.E. ELECTRIC, GAS, TELEPHONE, & CABLE TELEVISION EASEMENT
- O.P.R.B.C.T. OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY TEXAS
- VOL. VOLUME
- PG. PAGE
- DOC.# DOCUMENT NUMBER
- 639,767 S.F. LOT SQUARE FOOTAGE
- S.F. SQUARE FEET
- AC. ACRE
- 689 --- EXISTING CONTOUR
- ⊕ CENTERLINE
- --- APPROXIMATE SCHERTZ CITY LIMITS BOUNDARY
- 12"SS--- PROPOSED SANITARY SEWER MAIN
- ⊙ PROPOSED SANITARY SEWER MANHOLE
- IRON ROD SET AS NOTED

- CITY OF SCHERTZ NOTES:**
- NOTICE: SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS IS A VIOLATION OF CITY ORDINANCES AND STATE LAW AND IS SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND PERMITS.
 - ACCORDING TO FLOOD INSURANCE RATE MAP, PANEL 48029C0315F DATED SEPTEMBER 29, 2010, IS LOCATED IN ZONE "X" AND IS NOT WITHIN THE 100-YEAR FLOODPLAIN.
 - ALL OPEN SPACE, COMMON AREAS, GREENBELTS, DRAINAGE EASEMENTS OR OTHER AREAS IDENTIFIED AS PRIVATE SHALL BE THE RESPONSIBILITY OF OWNER OR OWNERS SUCCESSORS AND/OR ASSIGNS PROVIDED SUCH SUCCESSOR OR ASSIGN IS APPROVED BY THE CITY.
 - THE TOTAL NUMBER OF LOTS PROPOSED BY THIS PLAT IS 1.

- NOTES:**
- SET 1/2" IRON RODS AT ALL PROPERTY CORNERS UNLESS OTHERWISE NOTED.
 - THE COORDINATES SHOWN ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE, NAD83.

CCMA NOTE:
THIS PROPOSED DEVELOPMENT PLAT HAS BEEN REVIEWED AND APPROVED BY THE CIBOLO CREEK MUNICIPAL AUTHORITY (CCMA) FOR WASTEWATER TREATMENT PLANT CAPACITY. ALL FEES DUE FOR IMPACT TO THE SYSTEM AT TIME OF CONNECTION WILL BE CALCULATED AT SUBMITTAL OF BUILDING PERMIT APPLICATION AT THE THEN CURRENT FEE SCHEDULE.

CPS ENERGY NOTE:

- CITY PUBLIC SERVICE BOARD (CPS ENERGY) - IS HEREBY DEDICATED EASEMENTS AND RIGHTS-OF-WAY FOR UTILITY, TRANSMISSION, AND DISTRIBUTION INFRASTRUCTURE AND SERVICE FACILITIES IN THE AREAS DESIGNATED ON THIS PLAT AS "ELECTRIC EASEMENT", "ANCHOR EASEMENT", "SERVICE EASEMENT", "OVERHANG EASEMENT", "UTILITY EASEMENT", "GAS EASEMENT", "TRANSFORMER EASEMENT" AND/OR "RECYCLED WATER EASEMENT" FOR THE PURPOSE OF INSTALLING, CONSTRUCTING, RECONSTRUCTING, MAINTAINING, REMOVING, INSPECTING, PATROLLING, AND ERECTING UTILITY INFRASTRUCTURE AND SERVICE FACILITIES FOR THE REASONS DESCRIBED ABOVE. CPS ENERGY SHALL ALSO HAVE THE RIGHT TO RELOCATE SAID INFRASTRUCTURE AND SERVICE FACILITIES WITHIN EASEMENT AND RIGHT-OF-WAY AREAS, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS FOR THE PURPOSE OF ACCESSING SUCH INFRASTRUCTURE AND SERVICE FACILITIES AND THE RIGHT TO REMOVE FROM SAID LANDS ALL TREES OR PARTS THEREOF, OR OTHER OBSTRUCTIONS WHICH ENDANGER OR MAY INTERFERE WITH THE EFFICIENCY OF GAS, AND/OR ELECTRIC INFRASTRUCTURE AND SERVICE FACILITIES. NO BUILDINGS, STRUCTURE CONCRETE SLABS, OR WALLS WILL BE PLACED WITHIN EASEMENT AREAS WITHOUT AN ENCROACHMENT AGREEMENT WITH THE RESPECTIVE UTILITY.
- ANY CPS ENERGY MONETARY LOSS RESULTING FROM MODIFICATIONS REQUIRED OF CPS EQUIPMENT, LOCATED WITHIN SAID EASEMENTS, DUE TO GRADE CHANGES OR GROUND ELEVATION ALTERATIONS SHALL BE CHARGED TO THE PERSON OR PERSONS DEEMED RESPONSIBLE FOR SAID GRADE CHANGES OR GROUND ELEVATION ALTERATIONS.
- THIS PLAT DOES NOT AMEND, ALTER, RELEASE OR OTHERWISE AFFECT ANY EXISTING ELECTRIC, GAS, WATER, SEWER, DRAINAGE, TELEPHONE, CABLE EASEMENTS OR ANY OTHER EASEMENTS FOR UTILITIES UNLESS THE CHANGES TO SUCH EASEMENTS ARE DESCRIBED BELOW.

- TxDOT NOTES:**
- FOR RESIDENTIAL DEVELOPMENT DIRECTLY ADJACENT TO STATE RIGHT-OF-WAY, THE DEVELOPER SHALL BE RESPONSIBLE FOR ADEQUATE SETBACK AND/OR SOUND ABATEMENT MEASURES FOR FUTURE NOISE MITIGATION.
 - THE OWNER/DEVELOPER IS RESPONSIBLE FOR PREVENTING ANY ADVERSE IMPACT TO THE EXISTING DRAINAGE SYSTEM WITHIN THE HIGHWAY RIGHT-OF-WAY, OUTFALLS FOR WATER QUALITY AND/OR DETENTION PONDS TREATING IMPERVIOUS COVER RELATED TO THE DEVELOPMENT AND STRUCTURES FOR REDUCTION OF DISCHARGE VELOCITY WILL NOT ENCROACH BY STRUCTURE OR GRADING INTO STATE ROW OR INTO AREAS OF ROW RESERVATION OR DEDICATION. FOR PROJECTS IN THE EDWARDS AQUIFER RECHARGE, TRANSITION OR CONTRIBUTING ZONES, PLACEMENT OF PERMANENT STRUCTURAL BEST MANAGEMENT PRACTICE DEVICES OR VEGETATIVE FILTER STRIPS WITHIN STATE ROW OR INTO AREAS OF ROW RESERVATION OR DEDICATION WILL NOT BE ALLOWED. NO NEW EASEMENTS OF ANY TYPE SHOULD BE LOCATED IN AREAS OF ROW RESERVATION OR DEDICATION.
 - MAXIMUM ACCESS POINTS TO STATE HIGHWAY FROM THIS PROPERTY WILL BE REGULATED AS DIRECTED BY TxDOT'S, "ACCESS MANAGEMENT MANUAL". THE PROPERTY IS ELIGIBLE FOR MAXIMUM COMBINED TOTAL OF 1 (ONE) ACCESS POINTS, BASED ON AN OVERALL PLATTED HIGHWAY FRONTAGE OF APPROXIMATELY 872.37' FEET, WHERE TOPOGRAPHY OR OTHER EXISTING CONDITIONS MAKE IT INAPPROPRIATE OR NOT FEASIBLE TO CONFORM TO THE CONNECTION SPACING INTERVALS, THE LOCATION OF REASONABLE ACCESS WILL BE DETERMINED WITH CONSIDERATION GIVEN TO TOPOGRAPHY, ESTABLISHED PROPERTY OWNERSHIPS, UNIQUE PHYSICAL LIMITATIONS, AND/OR PHYSICAL DESIGN CONSTRAINTS. THE SELECTED LOCATION SHOULD SERVE AS MANY PROPERTIES AND INTERESTS AS POSSIBLE TO REDUCE THE NEED FOR ADDITIONAL DIRECT ACCESS TO THE HIGHWAY. IN SELECTING LOCATIONS FOR FULL MOVEMENT INTERSECTIONS, PREFERENCE WILL BE GIVEN TO PUBLIC ROADWAYS THAT ARE ON LOCAL THROUGHFARE PLANS.
 - IF SIDEWALKS ARE REQUIRED BY APPROPRIATE CITY ORDINANCE, A SIDEWALK PERMIT MUST BE APPROVED BY TxDOT, PRIOR TO CONSTRUCTION WITHIN STATE RIGHT-OF-WAY. LOCATIONS OF SIDEWALKS WITHIN STATE RIGHT OF WAY SHALL BE AS DIRECTED BY TxDOT.
 - ANY TRAFFIC CONTROL MEASURES (LEFT-TURN LANE, RIGHT-TURN LANE SIGNAL, ETC.) FOR ANY ACCESS FRONTING A STATE MAINTAINED ROADWAY SHALL BE THE RESPONSIBILITY OF THE DEVELOPER/OWNER.

OWNER / DEVELOPER:
KAREN L. DAHLE
9120 E.F.M. 1518 N
SCHERTZ, TX 78154
(210) 669-8272

STATE OF TEXAS
COUNTY OF BEXAR

THE OWNER OF THE LAND SHOWN ON THIS PLAT, IN PERSON OR THROUGH A DULY AUTHORIZED AGENT, DEDICATES TO THE USE OF THE PUBLIC, EXCEPT AREAS IDENTIFIED AS PRIVATE, OR PART OF AN ENCLAVE OR PLANNED UNIT DEVELOPMENT, FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

OWNER:

STATE OF TEXAS
COUNTY OF BEXAR
BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED

KAREN L. DAHLE _____ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT SHE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF _____

NOTARY PUBLIC,
BEXAR COUNTY, TEXAS

STATE OF TEXAS
COUNTY OF BEXAR
I, THE UNDERSIGNED, CITY ENGINEER OF THE CITY OF SCHERTZ, TEXAS HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATION AND THE CITY AS TO WHICH THIS APPROVAL IS REQUIRED.

BY _____
CITY ENGINEER

STATE OF TEXAS
COUNTY OF BEXAR

THIS PLAT OF _____ F.M. 1518 SCHERTZ MULTIFAMILY APARTMENTS _____ HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF SCHERTZ, TEXAS, IS HEREBY APPROVED BY SUCH COMMISSION.

DATED THIS ____ DAY OF _____ A.D., _____

BY _____
CHAIRMAN

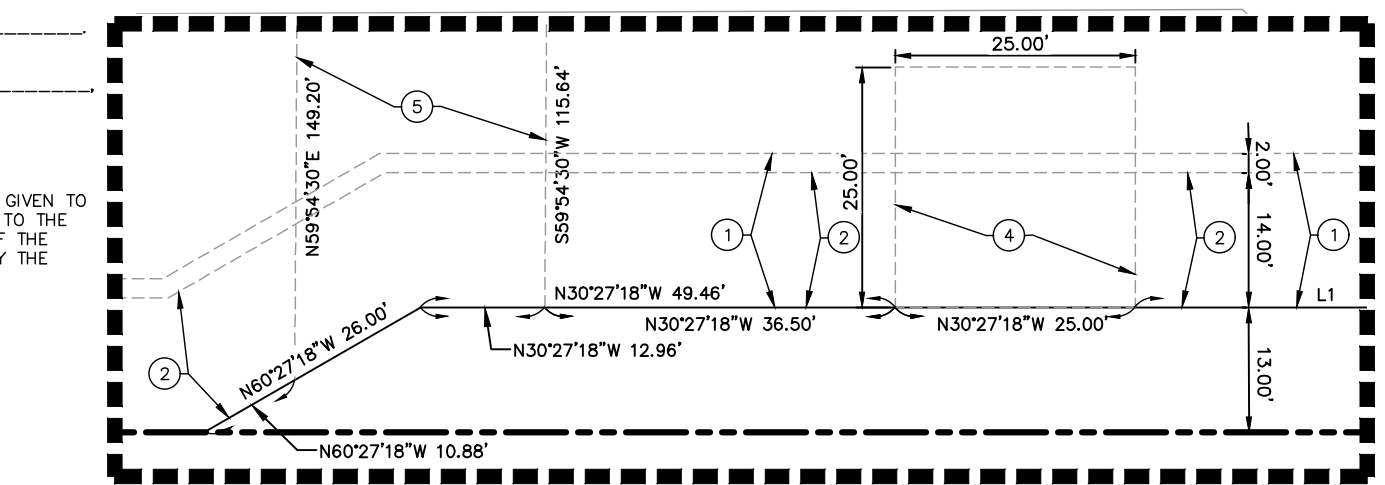
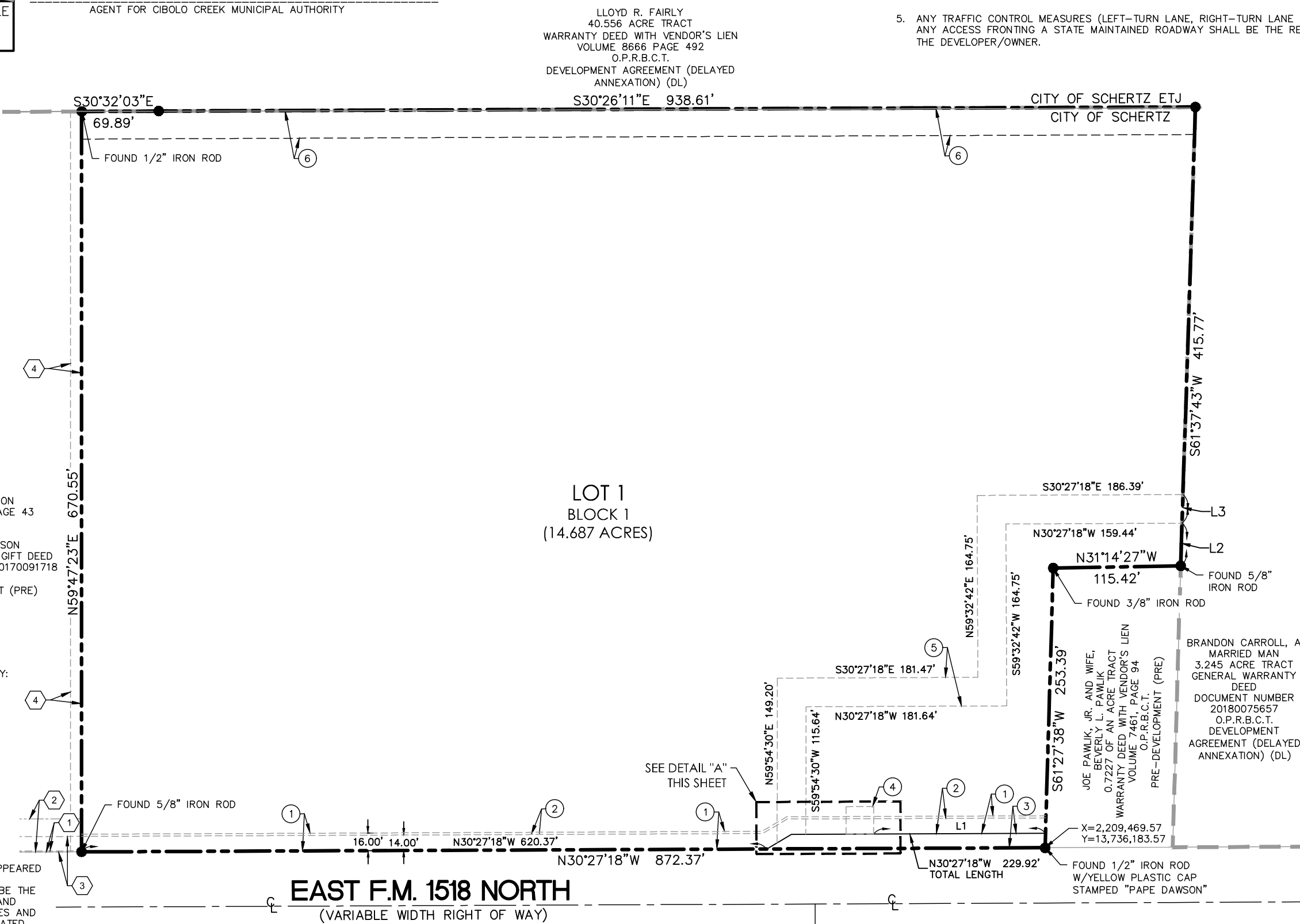
BY _____
SECRETARY

STATE OF TEXAS
COUNTY OF BEXAR

I, _____, COUNTY CLERK OF BEXAR, DO HEREBY CERTIFY THAT THIS PLAT WAS FILED FOR RECORD IN MY OFFICE, ON THE DAY OF _____ A.D. 20____ AT _____ M. AND DULY RECORDED THE _____ DAY OF _____ A.D. 20____ AT _____ M. IN THE RECORDS OF _____ AND _____ OF SAID COUNTY, IN BOOK VOL. _____ ON PG. _____ IN TESTIMONY WHEREOF, WITNESS MY HAND AND OFFICIAL SEAL OF OFFICE, THIS _____ DAY OF _____ A.D. 20____

COUNTY CLERK, BEXAR COUNTY, TEXAS

BY: _____ DEPUTY



KEYNOTES

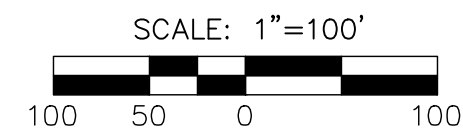
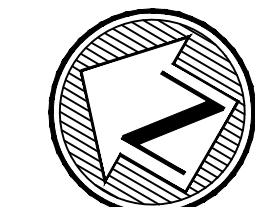
- 16' WATER EASEMENT
- 14' ELECTRIC, GAS, TELEPHONE, AND CABLE TELEVISION EASEMENT
- VARIABLE WIDTH ROW DEDICATION (0.07 ACRES)
- 25'x25' SANITARY SEWER EASEMENT
- 26' EMERGENCY ACCESS EASEMENT
- 25' SANITARY SEWER EASEMENT

DETAIL "A"

SCALE: 1"=20'

KEYNOTES

- 1' NON-ACCESS EASEMENT (VOLUME 9539, PAGE 43 O.P.R.B.C.T.)
- 30' BUILDING SETBACK LINE (VOLUME 9539, PAGE 43 O.P.R.B.C.T.)
- 14' GAS AND ELECTRIC EASEMENT (VOLUME 9539, PAGE 43 O.P.R.B.C.T.)
- 10' GAS AND ELECTRIC EASEMENT (VOLUME 9539, PAGE 43 O.P.R.B.C.T.)



LINE TABLE		
LINE	LENGTH	BEARING
L1	155.47'	N30°27'18"W
L2	38.58'	S61°37'43"W
L3	26.02'	S61°37'43"W

STATE OF TEXAS
COUNTY OF BEXAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET FORTH BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND BY:

MOY TARIN RAMIREZ ENGINEERS, LLC

STEPHANIE L. JAMES, R.P.L.S.
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5950
MOY TARIN RAMIREZ ENGINEERS, LLC
12770 CIMARRON PATH STE. 100
SAN ANTONIO, TEXAS 78249
PH# (210) 698-5051

STATE OF TEXAS
COUNTY OF BEXAR
BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED
STEPHANIE L. JAMES _____ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF _____

NOTARY PUBLIC,
BEXAR COUNTY, TEXAS

STATE OF TEXAS
COUNTY OF BEXAR
I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT TO THE MATTERS OF STREETS, LOTS, AND DRAINAGE LAYOUT. TO THE BEST OF MY KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT CODE, EXCEPT FOR THOSE VARIANCES GRANTED BY THE CITY OF SCHERTZ PLANNING & ZONING COMMISSION.

RAYMOND TARIN, JR., P.E.
LICENSED PROFESSIONAL ENGINEER NO. 87060
MOY TARIN RAMIREZ ENGINEERS, LLC
12770 CIMARRON PATH STE. 100
SAN ANTONIO, TEXAS 78249
PH# (210) 698-5051

STATE OF TEXAS
COUNTY OF BEXAR
BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED
RAYMOND TARIN, JR. _____ KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF _____

NOTARY PUBLIC,
BEXAR COUNTY, TEXAS



TBPELS: ENGINEERING F-5297/SURVEYING: F-10131500
12770 CIMARRON PATH, SUITE 100
TEL: (210) 698-5051
SAN ANTONIO, TEXAS 78249 FAX: (210) 698-5085

FINAL SUBDIVISION PLAT ESTABLISHING

**F.M. 1518 SCHERTZ
MULTIFAMILY APARTMENTS**

A 14.687 ACRE (639,766.78 SQUARE FEET) TRACT OF LAND IN THE CITY OF SCHERTZ, BEXAR COUNTY, TEXAS, WHICH INCLUDES A 0.07 ACRE VARIABLE WIDTH RIGHT OF WAY DEDICATION TO THE CITY OF SCHERTZ, SITUATED IN THE JULIAN DIAZ SURVEY NO. 66, ABSTRACT 187, COUNTY BLOCK NO. 5059, BEING A PORTION OF A 10.000 ACRE TRACT AS CONVEYED TO KAREN L. DAHLE AND SPOUSE, MICHAEL H. DAHLE BY WARRANTY DEED WITH VENDOR'S LIEN AS RECORDED IN VOLUME 10257, PAGE 210 AND A PORTION OF A 5.095 ACRE TRACT AS CONVEYED TO KAREN L. DAHLE, A MARRIED PERSON, BY WARRANTY DEED WITH VENDOR'S LIEN AS RECORDED IN VOLUME 10337, PAGE 840, BOTH OF THE OFFICIAL PUBLIC RECORDS OF BEXAR COUNTY, TEXAS.

DATE OF PREPARATION: June 15, 2023

PLANNING AND ZONING COMMISSION MEETING: 07/26/2023
Agenda Item 4 C

TO: Planning and Zoning Commission
 PREPARED BY: Samuel Haas, Senior Planner
 CASE: PLFP20230148
 SUBJECT: PLFP20230148 - Consider an act upon a request for approval of a final plat of the Royal Manufacturing Phase III Subdivision, an approximately 87 acre tract of land to the south of Tejas Way, approximately 750 feet west of Doerr Lane, also identified as ParcelIDs: 412335, 74404, 74490, 74458, City of Schertz, Comal County, Texas.

GENERAL INFORMATION:

Owner: Schertz 312, LLC.
 Applicant: Clayton Strolle, Pacheco Koch Engineers

APPLICATION SUBMITTAL DATE:

Date: Application Submittal Type:
 06/27 Final Plat

ITEM SUMMARY:

The applicant is proposing to final plat approximately 87 acres of land establishing 2 industrial lots to construct 2 industrial buildings. The site is currently zoned Manufacturing District - Light (M-1) and will adhere to the design requirements as dictated by the Unified Development Code.

	Lot Size and Dimensions			Setbacks			Misc. Requirements	
Code	Area Sq. Ft.	Width	Depth	Front	Rear	Side	Max Ht.	Imp. Cover.
M-1	10,000	100	100	25	0	0	120	80%

Zoning	Lot # Block 3	Acreage
M-1	1	11.431
M-1	2	75.246

GENERAL LOCATION AND SITE DESCRIPTION:

This site is approximately 750 feet west of Doerr Lane, abutting Tejas Way, approximately 2,600 feet north of Lookout Road. Comal County records indicate the subject property being parcel IDs: 412335, 74404, 74490, 74458.

ACCESS AND CIRCULATION:

The entire site abuts the Union Pacific Railroad to the south. To the north will be the main point of access as the majority of the property abuts the existing Tejas Way road section. Tejas Way will be extended into a cul-de-sac during Phase II of development in the same subdivision.

TREE MITIGATION AND PRESERVATION:

The applicant is responsible for complying with the Unified Development Code (UDC), Section 21.9.9 Tree Preservation and Mitigation. The applicant has submitted a tree affidavit which indicates that the site does not contain protected or heritage trees.

PUBLIC SERVICES:

The site is serviced by Schertz water and sewer, Cibolo Creek Municipal Authority (CCMA), CPS Energy, AT&T, Spectrum, and Center Point Energy.

PUBLIC IMPROVEMENTS:

All public improvements required for this subdivision are required to be installed prior to recording of the final plat per UDC, Section 21.4.15., unless otherwise specified in an approved improvement agreement.

Water: The site will be serviced through an existing 12" water line that runs along Tejas Way.

Sewer: The site will be serviced by an 8" sewer line that runs parallel to the Union Pacific Railroad along the southern end of the property.

Drainage: The applicant is responsible for all drainage associated with the subject property, and for compliance with the Stormwater regulations. A drainage report has been reviewed and approved by the City Engineer.

Sidewalks: Sidewalks have been constructed along both sides of the street throughout the subdivision.

Road Improvements: Tejas Way has been constructed with curbing and sidewalks. Any further construction plans for public improvements have been submitted and reviewed with no objection from the Public Works and Engineering Departments.

STAFF ANALYSIS AND RECOMMENDATION:

The final plat is consistent with the applicable requirements, ordinances, and regulations for this property. It has been reviewed with no objections by the Engineering, Public Works, Fire, and Planning Departments. Therefore, staff recommends approval of the final plat.

Planning Department Recommendation	
X	Approve as submitted
	Approve with conditions*
	Denial

* While the Commission can impose conditions; conditions should only be imposed to meet requirements of the UDC.

COMMISSIONERS CRITERIA FOR CONSIDERATION:

The Planning and Zoning Commission is the final approval authority of the proposed final plat. In considering final action on a final plat, the Commission should consider the criteria within UDC, Section 21.12.9 D.

Attachments

- Aerial Exhibit
 - Plat Exhibit
-



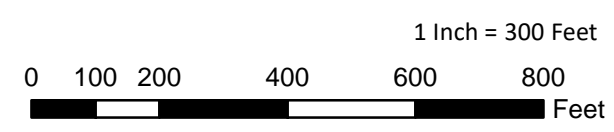
Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community



Royal Manufacturing
Phase III Final Plat
(PLFP20230148)

- | | | | | | | | |
|--------------------|----------------------------|----------------------------------|--------------------------------|-----|-----|-----|---------------------|
| <all other values> | <all other values> | Planned Secondary Arterial | Commercial Collector B | 1" | 8" | 20" | Schertz Gravity |
| Highways | Freeway | Secondary Rural Arterial | Planned Commercial Collector B | 2" | 10" | 24" | Schertz Pressure |
| Major Roads | Principal Arterial | Planned Secondary Rural Arterial | Commercial Collector A | 3" | 12" | 30" | Neighboring Gravity |
| Minor Roads | Planned Principal Arterial | Residential Collector | Planned Commercial Collector A | 4" | 16" | 36" | Private Pressure |
| Other Cities | Secondary Arterial | Planned Residential Collector | 6" | 18" | | | |

- Hydrant
- Manholes
- 200' Buffer
- Schertz Municipal Boundary
- County Boundaries



NOTES

- Bearing system for this survey is based on the Texas Coordinate System of 1983 (2011 adjustment), South Central Zone 4204, based on observations made on February 21, 2022 with a combined scale factor of 1.00014.
- Subject property is shown on the National Flood Insurance Program Flood Insurance Rate Map for Comal County, Texas and Incorporated Areas, Map No. 48091C0485F, Community-Panel No. 485463 0485 F, Revised Date: September 2, 2009. There is no Zone "A" or Zone "AE" Floodplain in the proposed area. The location of the said floodzones is based on said map, is approximate and is not located on the ground. Relevant zones are defined on said map as follows:
Zone "X" - Other Areas: Areas determined to be outside the 0.2% annual chance floodplain
- Notice: Selling a portion of this addition by metes & bounds in violation of city ordinance and state law and is subject to fines and withholdings of utilities and permits.
- All open space, common areas, green belts, drainage easements, or other areas identified as private, shall be the responsibility of the owner or owners successors and/or assigns provided such successor or assign is approved by the City.
- Maintenance of dedicated utility easements is the responsibility of the property owner. Any use, of an easement, or any portion of it, including landscaping or drainage features, is subject to and shall not conflict with the terms and conditions in the easement, must not endanger or interfere with the rights granted by the easement to City of Schertz utilities, its successors and assigns, and shall be subject to applicable permit requirements of City of Schertz or any other governing body. The property owner must obtain, in advance, written agreement with the utilities to utilize the easement, or any part of it.
- Buildable Lots: 2 (Two)
LOT 1, BLOCK 3 ACRES 11.431
LOT 2, BLOCK 3 75.246
- Development shall be in accordance with floodplain ordinance in effect at the time of construction application.

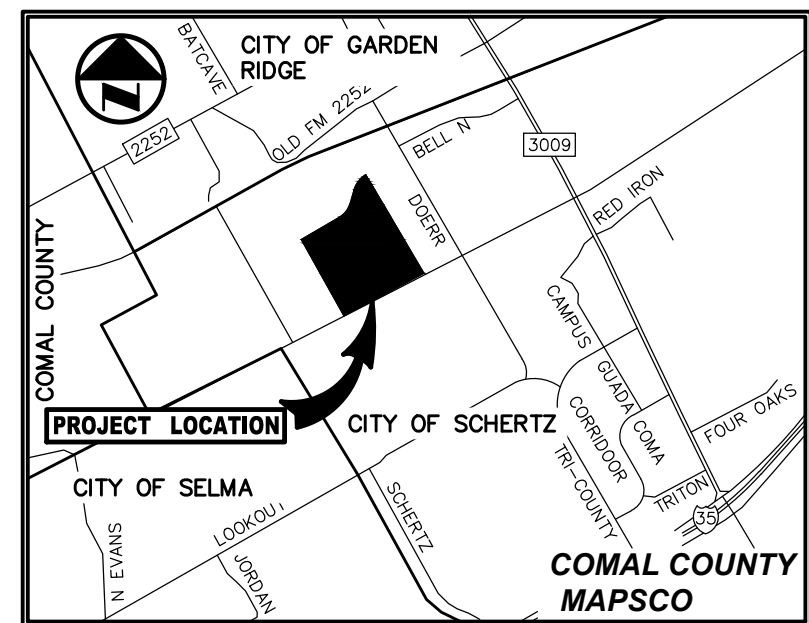
OWNER:
SCHERTZ 312, LLC
BEN SPENCER
9601 McALLISTER FREEWAY, SUITE 1120
SAN ANTONIO, TX 78216
210-338-5220

CIVIL ENGINEER:
WESTWOOD PROFESSIONAL SERVICES
8701 N. MOPAC EXPY, SUITE 320
AUSTIN, TEXAS 78759
CONTACT: CLAYTON J. STROLLE, PE
512-485-0831
clayton.strolle@westwoodps.com

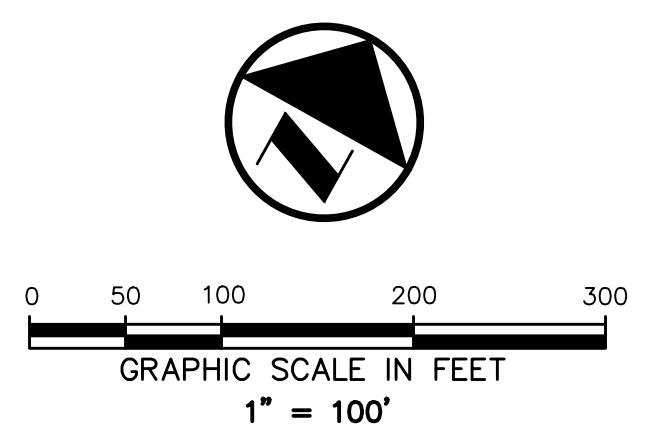
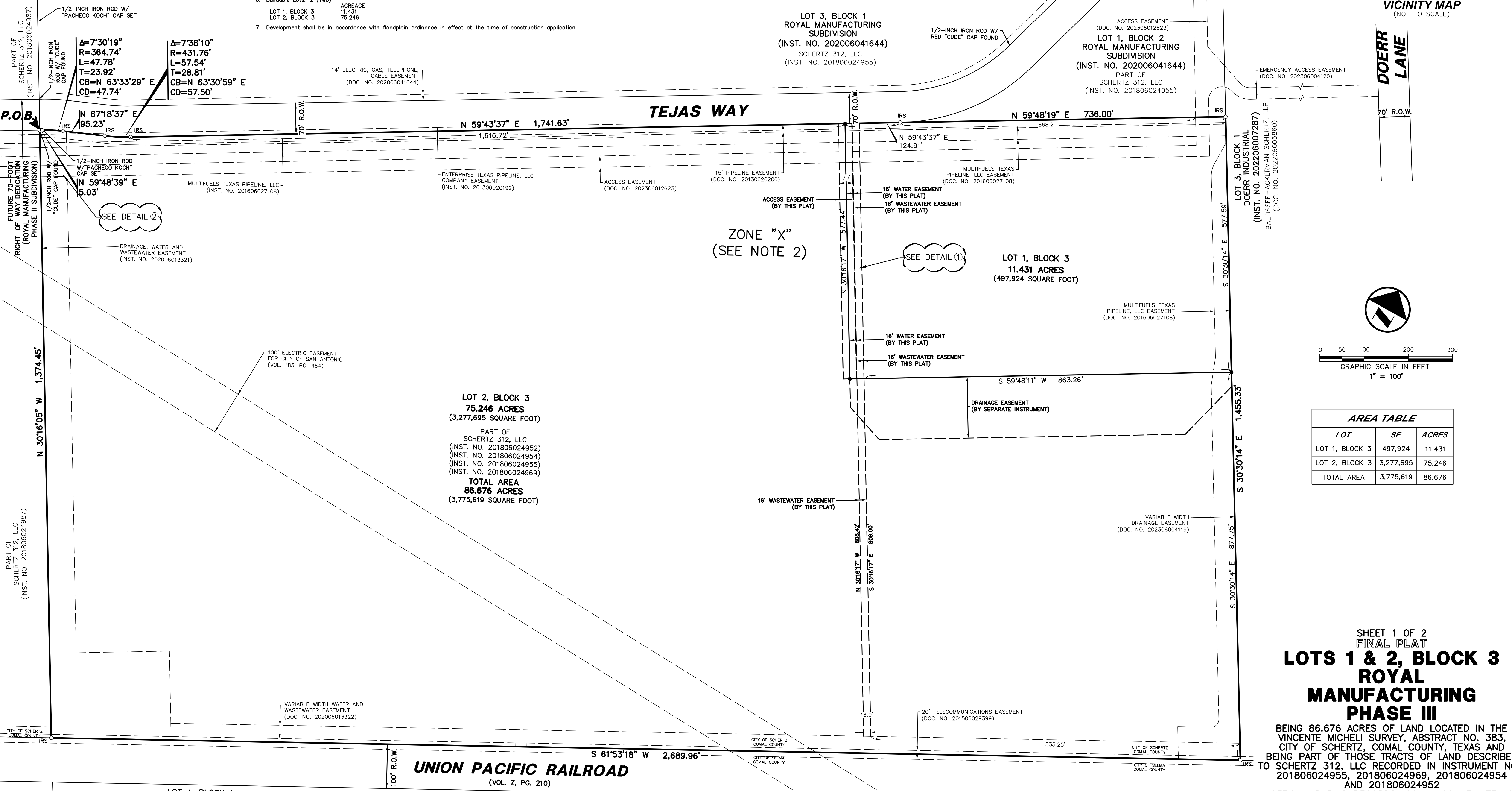
SURVEYOR:
WESTWOOD PROFESSIONAL SERVICES
4060 BRYANT IRVIN ROAD
FORT WORTH, TEXAS 76109
CONTACT: DUSTIN C. PUSTEJOVSKY, RPLS
817-412-7155
dustin.pustejevsky@westwoodps.com

LEGEND

- PROPERTY LINE
- - - EASEMENT LINE
- - - SETBACK LINE
- (C.M.) CONTROLLING MONUMENT
- IRS 1/2-INCH IRON ROD W/ W/"PACHECO KOCH" CAP SET
- XS "+" CUT IN CONCRETE SET
- INTERNAL LOT CORNERS



VICINITY MAP
(NOT TO SCALE)



AREA TABLE		
LOT	SF	ACRES
LOT 1, BLOCK 3	497,924	11.431
LOT 2, BLOCK 3	3,277,695	75.246
TOTAL AREA	3,775,619	86.676

SHEET 1 OF 2
FINAL PLAT
**LOTS 1 & 2, BLOCK 3
ROYAL
MANUFACTURING
PHASE III**

BEING 86.676 ACRES OF LAND LOCATED IN THE VINCENTE MICHELI SURVEY, ABSTRACT NO. 383, CITY OF SCHERTZ, COMAL COUNTY, TEXAS AND BEING PART OF THOSE TRACTS OF LAND DESCRIBED TO SCHERTZ 312, LLC RECORDED IN INSTRUMENT NOS 201806024955, 201806024969, 201806024954 AND 201806024952
OFFICIAL PUBLIC RECORDS, COMAL COUNTY, TEXAS

Pacheco Koch a Westwood company
4060 BRYANT IRVIN ROAD
FORT WORTH, TX 76109
817.412.7155

DRAWN BY GAL	CHECKED BY DCP	SCALE 1"=100'	DATE AUG 2022	JOB NUMBER 5212-22.011
-----------------	-------------------	------------------	------------------	---------------------------

DORUSTEJOVSKY, RPLS
\\NASNET\WORKSPACE\COMAL\DWG\5212-22.011\DWG\SURVEY_C3D_2018\5212-22.011FP.DWG

FINAL PLAT - LOTS 1 & 2, BLOCK 3, ROYAL MANUFACTURING PHASE III

COUNTY CLERK CERTIFICATION
STATE OF TEXAS ~
COUNTY OF COMAL ~
I, Bobby Koepf, County Clerk of said County, do hereby certify that this plat was filed for record in my office on the _____ day of _____, 2023 at _____ and duly recorded the _____ day of _____, 2023 at _____ in Document No. _____ Official Public Records of Comal County, Texas.
COUNTY CLERK, COMAL COUNTY, TEXAS
By: _____
DEPUTY

CIBOLO CREEK MUNICIPAL AUTHORITY:
This proposed development has been reviewed and approved by the Cibolo Creek Municipal Authority (CCMA) for wastewater treatment plant capacity and easements. All fees due for impact to the system at time of connection will be calculated at submittal of building permit application.
By: _____
Agent for Cibolo Creek Municipal Authority

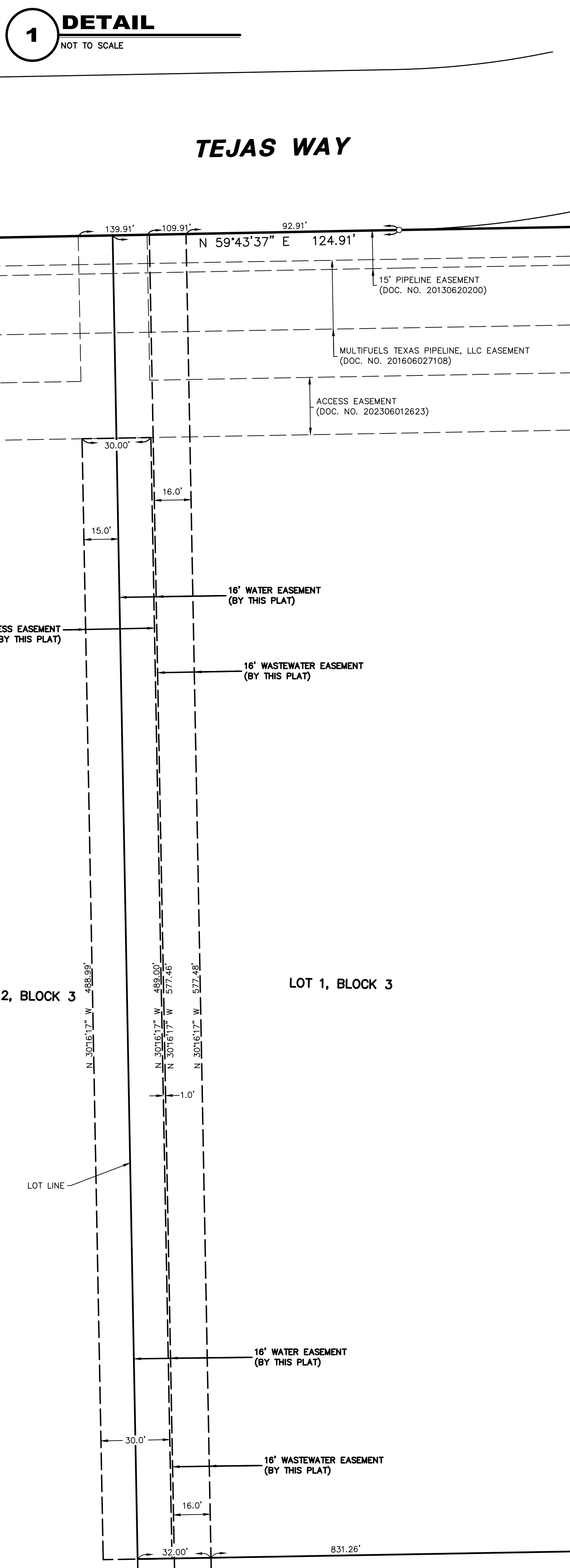
CITY ENGINEER CERTIFICATION
I, the undersigned, City Engineer of the City of Schertz, Texas, hereby certify that this subdivision plat conforms to all requirements of the subdivision regulations of the county as to which this approval is required.
City Engineer

PLANNING AND ZONING CERTIFICATION
This plat of Lots 1 & 2, Block 3, ROYAL MANUFACTURING PHASE III Subdivision has been submitted to and considered by the Planning & Zoning Commission of the City of Schertz, and hereby approved by such commission.
By _____
Chairman
By _____
Secretary

OWNER CERTIFICATE & DEDICATION STATEMENT
STATE OF TEXAS ~
COUNTY OF COMAL ~
NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
That, Schertz 312, LLC, being the sole owner of the land shown on this plat, acting by and through the undersigned, its duly authorized agent, dedicates to the use of the public, except areas identified as private or part of an enclave or planned unit development, forever all streets, alleys, parks, watercourses, drains, easements and public places thereon shown for the purpose and consideration therein expressed.
WITNESS, my hand the _____ day of _____, 2023.
SCHERTZ 312, LLC
6300 RIVERSIDE PLAZA LANE, NW STE. 200
ALBUQUERQUE, NEW MEXICO 87120
505-998-0167
Ben F. Spencer, Manager
STATE OF NEW MEXICO ~
COUNTY OF BERNALILLO ~
BEFORE ME, the undersigned, a Notary Public in and for said County and State, on this day personally appeared Ben F. Spencer, as Manager of Titan Property Management, LLC, as Manager of Schertz 312 Management, LLC, as Manager of Schertz 312, LLC known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.
GIVEN UNDER MY HAND AND SEAL OF OFFICE on the _____ day of _____, 2023.
Notary Public in and for The State of New Mexico
My Commission expires: _____

CPS/SAWS/COSA UTILITY NOTE

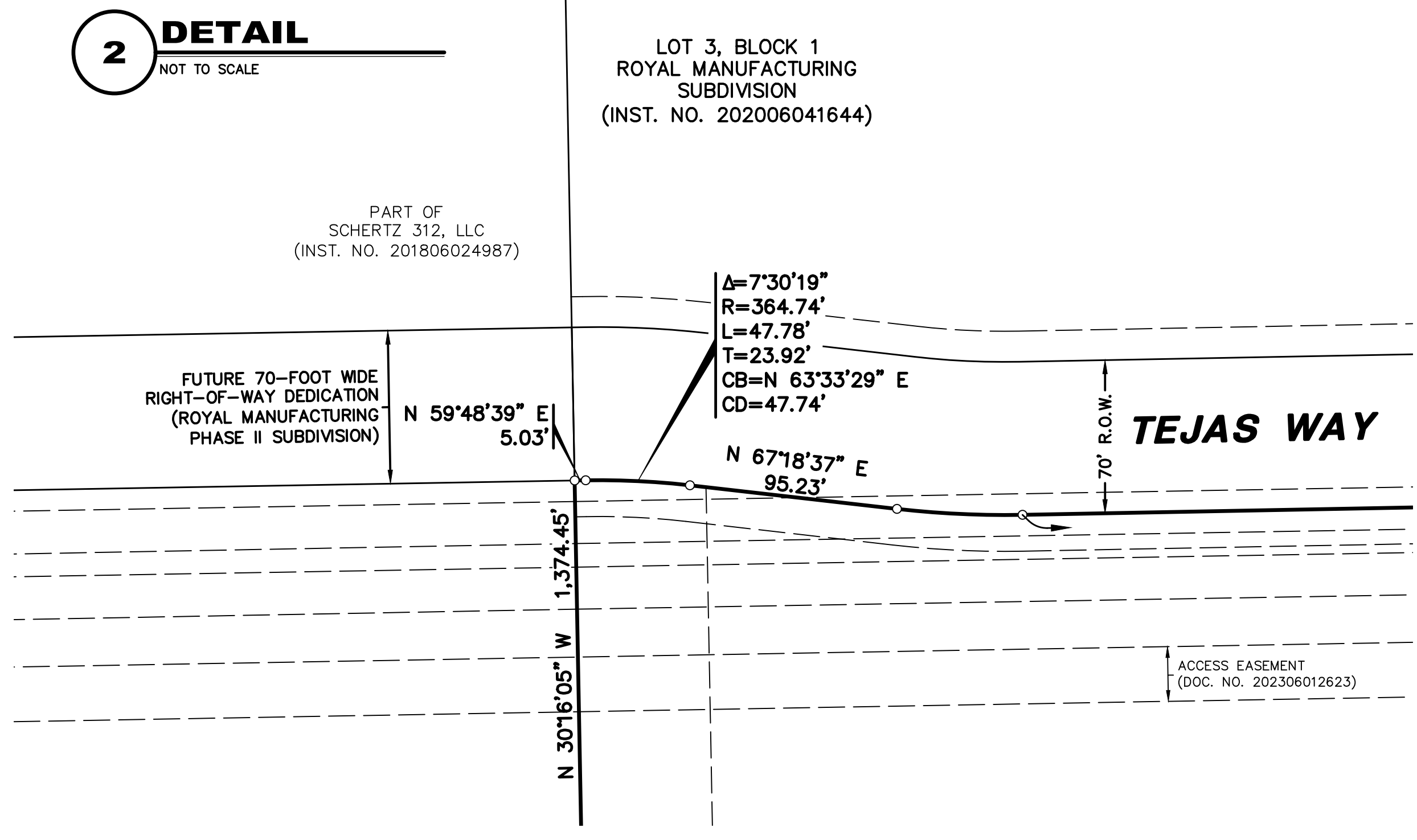
- The City of Schertz as part of its electric, gas, water, and wastewater systems—City Public Service Board (CPS Energy) and San Antonio Water Systems (SAWS)—is hereby dedicating easements and rights-of-way for utility, transmission and distribution infrastructure and service facilities in the areas designated on this plat as "Electrical Easement," "Anchor Easement," "Service Easement," "Overhang Easement," "Utility Easement," "Gas Easement," "Transformer Easement," "Water Easement," "Sanitary Sewer Easement" and/or "Recycled Water Easement" for the purpose of installing, constructing, reconstructing, maintaining, removing, inspecting, patrolling, and erecting utility infrastructure and service facilities for the reasons described above. CPS Energy and SAWS shall also have the right to relocate said infrastructure and service facilities within easement and right-of-way areas, together with the right of ingress and egress over grantor's adjacent lands for the purpose of accessing such infrastructure and service facilities and the right to remove from said lands all trees or parts thereof, or other obstructions which endanger or may interfere with the efficiency of water, sewer, gas, and/or electric infrastructure and service facilities. No buildings, structures, concrete slabs, or walls will be placed within easement areas without an encroachment agreement with the respective utility.
- Any CPS Energy or SAWS monetary loss resulting from modifications required of CPS Energy or SAWS infrastructure and service facilities, located within said easements, due to grade changes or ground elevation alterations shall be charged to the person or persons deemed responsible for said grade changes or ground elevation alterations.
- This plat does not amend, alter, release or otherwise affect any existing electric, gas, water, sewer, drainage, telephone, cable TV easements or any other easements for utilities unless the changes to such easements are described hereon.
- Concrete driveway approaches are allowed within the five (5) and ten (10) foot wide electric and gas easements when lots are served only by underground electric and gas facilities.
- Roof overhangs are allowed within the five (5) and ten (10) foot wide electric and gas easements when only underground electric and gas facilities are proposed or existing within those five (5) and ten (10) foot wide easements.



SURVEYOR'S CERTIFICATE
STATE OF TEXAS
COUNTY OF TARRANT
I, Dustin C. Pustejovsky, Registered Professional Land Surveyor, do hereby certify that the plat shown hereon accurately represents the property as determined by an on the ground survey, made under my direction and supervision on February 24, 2022 and that all corners are shown hereon.



ENGINEERS CERTIFICATE
STATE OF TEXAS ~
COUNTY OF TRAVIS ~
I, Clayton J. Strolle, a Registered Professional Engineer in the State of Texas, hereby certify that proper Engineering consideration has been given this plat.
Clayton J. Strolle
Professional Engineer No. 108906
clayton.strolle@westwoodps.com
www.westwoodps.com



SHEET 2 OF 2
FINAL PLAT
**LOTS 1 & 2, BLOCK 3
ROYAL
MANUFACTURING
PHASE III**
BEING 86.676 ACRES OF LAND LOCATED IN THE VINCENTE MICHELI SURVEY, ABSTRACT NO. 383, CITY OF SCHERTZ, COMAL COUNTY, TEXAS AND BEING PART OF THOSE TRACTS OF LAND DESCRIBED TO SCHERTZ 312, LLC RECORDED IN INSTRUMENT NOS 201806024955, 201806024969, 201806024954 AND 201806024952
OFFICIAL PUBLIC RECORDS, COMAL COUNTY, TEXAS

Pacheco Koch a Westwood company		4060 BRYANT IRVIN ROAD FORT WORTH, TX 76109 817.412.7155		
DRAWN BY GAL	CHECKED BY DCP	SCALE 1"=100'	DATE AUG 2022	JOB NUMBER 5212-22.011

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FINAL PLAT - LOTS 1 & 2, BLOCK 3, ROYAL MANUFACTURING PHASE III

PLANNING AND ZONING COMMISSION MEETING: 07/26/2023
Agenda Item 5 A

TO: Planning and Zoning Commission
PREPARED BY: Emily Delgado, Planning Manager
CASE: PLSPU20220116
SUBJECT: PLSPU20220116– Conduct a public hearing and make a recommendation on a request for a Specific Use Permit to allow a convenience store with gas pumps on approximately 5.5 acres of land, more specifically described 1008 and 1020 FM 78, Schertz, TX 78154, also known as Guadalupe County Property Identification Number: 67650 and 67552, City of Schertz, Guadalupe County, Texas.

GENERAL INFORMATION:

Owner / Applicant: BK 515 Investments LLC
Project Engineer: RAO's Consulting Engineers

APPLICATION SUBMITTAL DATE:

Date:	Application Submittal Type:
07/29/2022	Original Specific Use Permit Application

PUBLIC NOTICE:

Thirteen (13) public hearing notices were mailed to surrounding property owners within two hundred (200) feet of the subject property on July 7, 2023, and a public hearing notice will be published in the San Antonio Express prior to the City Council public hearing. At the time of this staff report, staff has received one (1) responses in favor, one (1) response opposed, and one (1) responses neutral to the proposed request.

ITEM SUMMARY:

The applicant is requesting a Specific Use Permit to allow a convenience store with gas pumps on approximately 5.5 acres of land located at 1008 and 1020 FM 78, Schertz, TX 78154, also known as Guadalupe County Property Identification Number: 67650 and 67552, City of Schertz, Guadalupe County, Texas. More specifically, per the letter of intent submitted with the application, the proposed project would include a 6,500 square foot convenience store with gas pumps, a 2,500 square foot Burger King fast food restaurant with drive-thru, a 2,040 square foot restaurant with drive-thru and an automated car wash.

The subject property was previously developed as a convenience store with gas pumps which have been demolished.

LAND USES:

	Zoning	Land Use
North	Right of Way	FM 78
South	General Business District (GB) and Manufactured Home Park (MHP)	Undeveloped
East	General Business District (GB)	Residential
West	General Business District (GB)	Commercial / VFW Post 8315

IMPACT ON EXISTING ADJACENT DEVELOPMENT:

The subject property is directly adjacent to FM 78, which is classified as a Principal Arterial and is currently zoned General Business District (GB). The site was previously a convenience store with gas pumps that has been demolished. The surrounding properties are also zoned General Business District (GB) with a commercial establishment (the VFW) on the west and properties used for residential purposes on the east.

The Comprehensive Land Use Plan identifies two land use designations for this property. Adjacent to FM 78, approximately 160 feet into the subject property is designated as Commercial Campus. The rest of the property is identified as Parks, Open Space. Commercial Campus is intended to encourage development of lower intensity commercial and office uses such as research, flex-office, and supporting uses, light industrial and assembly uses. Parks, Open Space is intended to be utilized for open space and for sensitive areas such as floodplain areas. The subject property is within the floodplain as identified by FEMA. The identified floodplain is consistent with the areas identified on the Comprehensive Land Use Plan designation of Parks, Open Space. The submitted conceptual plan identifies that the proposed convenience store with gas pumps would be located outside the floodplain area.

The proposed business would take advantage of the FM 78 frontage as it is a transportation oriented business and is dependent on the traffic generated on roadways such as FM 78 as a principal arterial. Additionally, the proposed convenience store with gas pumps and food establishments is consistent with other businesses on FM 78.

The proposed Specific Use Permit for a convenience store with gas pumps is generally in conformance with the Comprehensive Land Use Plan and is compatible with adjacent businesses located along FM 78.

The subject property had previously had a convenience store with gas pumps and a car wash that had been abandoned. From aerial imagery it appears the site was used as a convenience store since at least 1995. In fall of 2022, the structures were demolished with the ultimate goal being to obtain a Specific Use Permit in order to construct a new convenience store with gas pumps in addition to two food establishments within the building.

CONCEPTUAL SITE PLAN:

The applicant is proposing to construct a 6,500 square foot convenience store with gas pumps, a 2,500 square foot Burger King fast food restaurant with drive-thru, a 2,040 square foot restaurant with drive-thru and an automated car wash on an approximately 5.5 acre tract of land. Per the conceptual plan, the applicant is proposing two driveway locations onto FM 78, which will be reviewed by the Texas Department of Transportation.

If the Specific Use Permit is approved, the applicant will go through the site plan process in conformance with Unified Development Code (UDC) Article 9, Section 21.9.12 and will have to meet all City of Schertz UDC requirements as listed in Article 9. At the time of the site plan, a Traffic Impact Analysis Study will be reviewed by both the City of Schertz Engineering Department and the Texas Department of Transportation as this property is located on FM 78. In addition, the proposed parking areas will have to meet all current regulations within UDC Article 10 including the required parking ratios and dimensions. Additionally, the site will be required to comply with all landscaping, screening and buffering requirements as identified in the UDC.

STAFF ANALYSIS AND RECOMMENDATION:

Due to the limited adverse impact on adjacent development and the compatibility between the proposed land use and the Comprehensive Land Use Plan, along with the land previously being used for a convenience store with gas pumps, Staff recommends approval of the Specific Use Permit to allow a convenience store with gas pumps at the subject property conditioned upon the following:

1. A building permit is approved within two (2) years of the adoption of the SUP Ordinance in accordance with Unified Development Code Article 5, Section 21.5.11.F *Expiration of Specific Use Permit*.

Planning Department Recommendation	
X	Approve as submitted
	Approve with conditions*
	Denial

* While the Commission can impose conditions; conditions should only be imposed to meet requirements of the UDC.

COMMISSIONERS CRITERIA FOR CONSIDERATION:

The Planning and Zoning Commission is making a recommendation to City Council on the proposed Specific Use Permit. In considering action on a Specific Use Permit application, the Commission should consider the criteria within UDC Article 5, Section 21.5.11.D.

Attachments

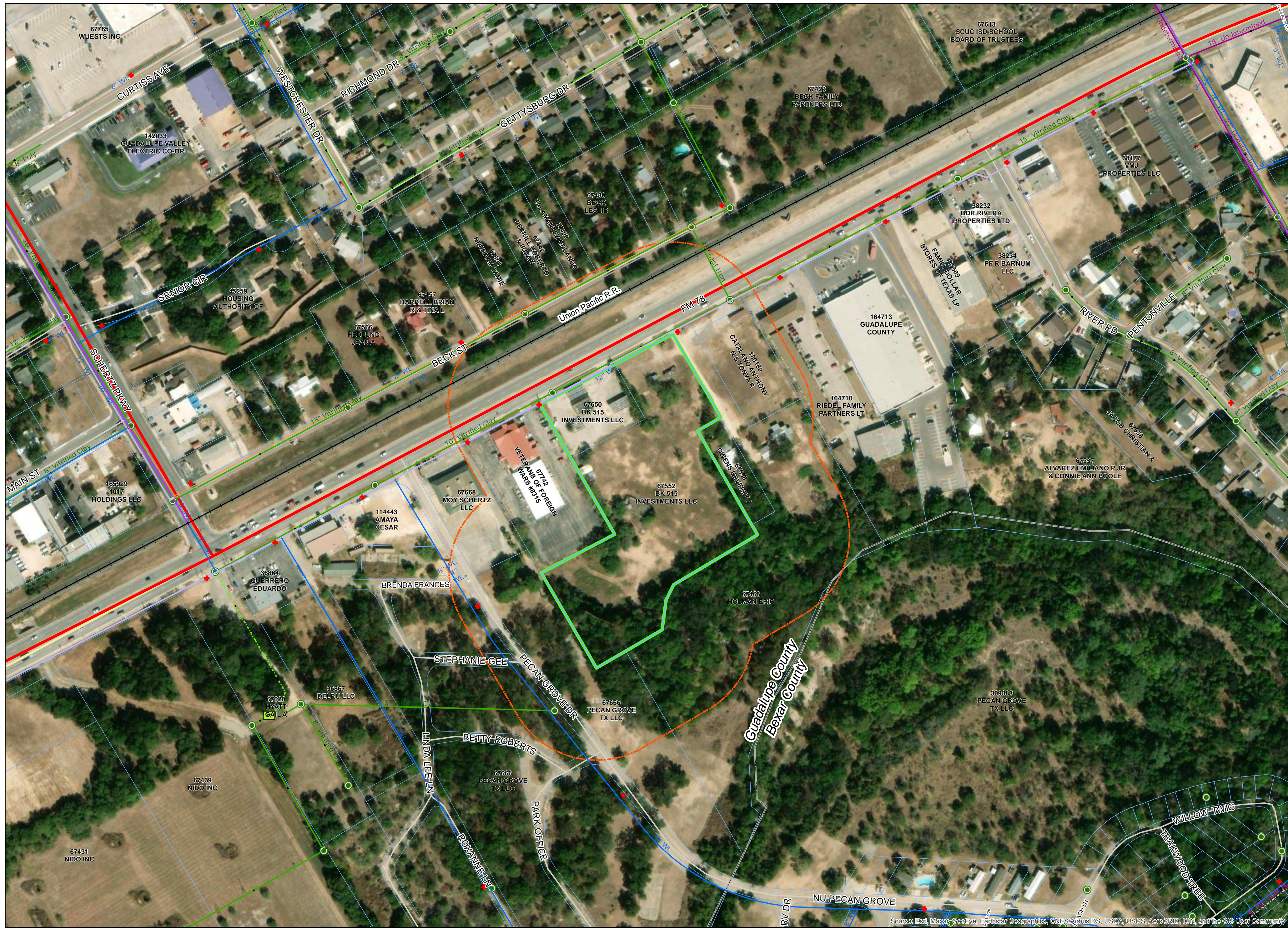
Aerial Exhibit

Specific Use Permit (SUP) Exhibit

Public Hearing Notice Map

Public Hearing Responses

Conceptual Site Plan Exhibits



BURGER KING FM 78
 5.397 AC.
 (PLSPU20220116)

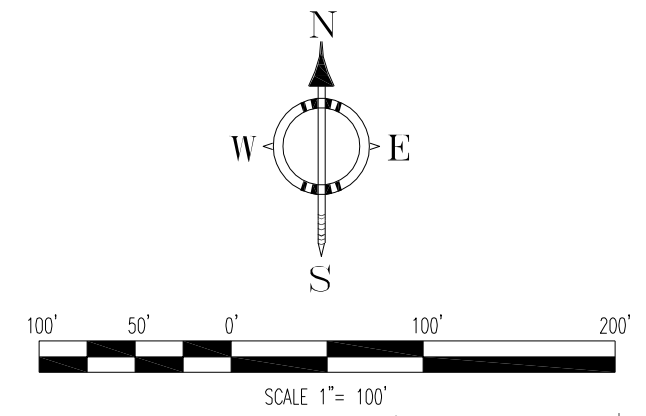
- | | | | | | | |
|--------------------|----------------------------|----------------------------------|--------------------------------|-----|-----|---------------------|
| <all other values> | <all other values> | Planned Secondary Arterial | Commercial Collector B | 1" | 8" | Schertz Gravity |
| Highways | Freeway | Secondary Rural Arterial | Planned Commercial Collector B | 2" | 10" | Schertz Pressure |
| Major Roads | Principal Arterial | Planned Secondary Rural Arterial | Commercial Collector A | 3" | 12" | Neighboring Gravity |
| Minor Roads | Planned Principal Arterial | Residential Collector | Planned Commercial Collector A | 4" | 16" | Private Pressure |
| Other Cities | Secondary Arterial | Planned Residential Collector | 6" | 18" | | |

Hydrant
 Manholes
 200' Buffer
 Schertz Municipal Boundary
 County Boundaries

Sources: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

0 75 150 300 450 600 Feet
 1 Inch = 150 Feet

SPECIFIC USE EXHIBIT



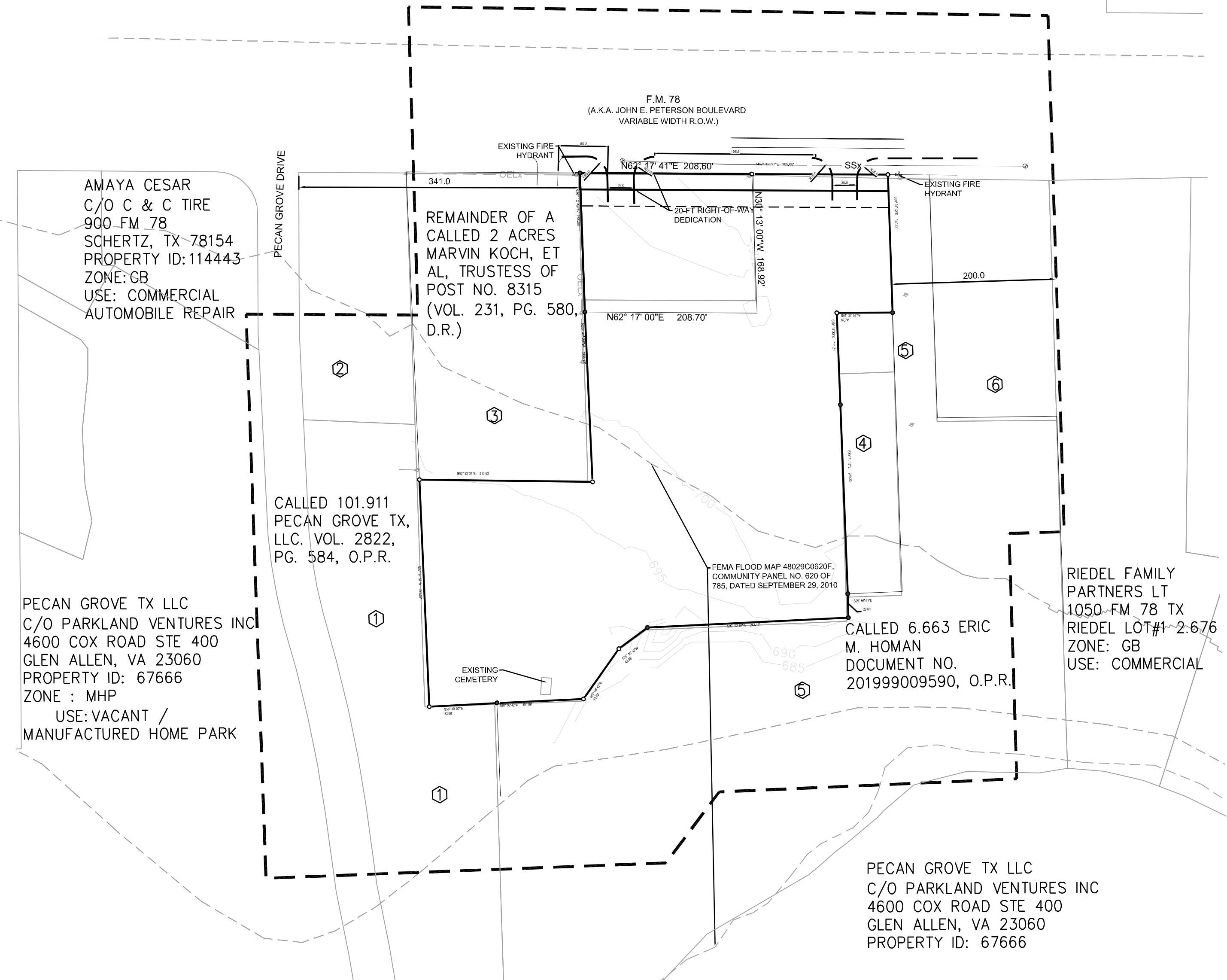
OWNER/DEVELOPER:
 BK 515 INVESTMENTS LLC
 3122 RUNNING FAWN,
 SAN ANTONIO, TX, 78261
 PHONE: (281)687-8636

ENGINEER:
 RAO'S CONSULTING ENGINEERS
 P.O. BOX 592991
 SAN ANTONIO, TEXAS 78258
 TEL: (210)549-7557
 FAX: (512)-856-4595

SURVEYOR:
 MATKIN HOOVER ENGINEERING & SURVEYING
 8 SPENCER ROAD, SUITE 300
 BOERNE, TEXAS 78006
 PHONE: (830)249-0600

LEGEND

====	EXISTING CONCRETE CURB
⊗	EXISTING FIRE HYDRANT
---	MISC. TRAFFIC SIGN
●	GUARD POST
⊙	EXISTING WATER VALVE
⊠	LIGHT POLE
○	POWER POLE
---	EXISTING FENCE
---	PROPERTY LINE
---OELx---	EXISTING OVERHEAD ELECTRIC
---600---	EXISTING CONTOUR
---SSx---	EXISTING SANITARY SEWER
---	200-FT NOTIFICATION LIMITS



AMAYA CESAR
 C/O C & C TIRE
 900 FM 78
 SCHERTZ, TX 78154
 PROPERTY ID: 114443
 ZONE: GB
 USE: COMMERCIAL
 AUTOMOBILE REPAIR

REMAINDER OF A
 CALLED 2 ACRES
 MARVIN KOCH, ET
 AL, TRUSTESS OF
 POST NO. 8315
 (VOL. 231, PG. 580,
 D.R.)

CALLED 101.911
 PECAN GROVE TX,
 LLC. VOL. 2822,
 PG. 584, O.P.R.

PECAN GROVE TX LLC
 C/O PARKLAND VENTURES INC
 4600 COX ROAD STE 400
 GLEN ALLEN, VA 23060
 PROPERTY ID: 67666
 ZONE : MHP
 USE: VACANT /
 MANUFACTURED HOME PARK

CALLLED 6.663 ERIC
 M. HOMAN
 DOCUMENT NO.
 201999009590, O.P.R.

RIEDEL FAMILY
 PARTNERS LT
 1050 FM 78 TX
 RIEDEL LOT#1-2.676
 ZONE: GB
 USE: COMMERCIAL

PECAN GROVE TX LLC
 C/O PARKLAND VENTURES INC
 4600 COX ROAD STE 400
 GLEN ALLEN, VA 23060
 PROPERTY ID: 67666

- ① PECAN GROVE TX LLC
 C/O PARKLAND VENTURES INC
 4600 COX ROAD STE 400
 GLEN ALLEN, VA 23060
 PROPERTY ID: 67666
 ZONE: MHP
 USE: MANUFACTURED HOME PARK
- ② MOY SCHERTZ LLC
 950 FM 78
 SCHERTZ, TX 78154
 PROPERTY ID: 67668
 ZONE: GB & PORTION IN MHP
 USE: COMMERCIAL
- ③ VETERANS OF FOREIGN WARS #8315
 1000 FM 78
 SCHERTZ, TX 78154
 PROPERTY ID: 67742
 ZONE: GB
 USE: COMMERCIAL
- ④ OWENS BEVERLY J
 1028 FM 78
 SCHERTZ, TX 78154
 PROPERTY ID: 67598
 ZONE: GB
 USE: RESIDENTIAL
- ⑤ HOLMAN ERIC
 1032 FM 78
 SCHERTZ, TX 78154
 PROPERTY ID: 67463
 ZONE: GB
 USE: SINGLE FAMILY RESIDENCE
- ⑥ CATALANO ANTHONY N & TONYA R
 1032 FM 78
 CIBOLO, TX 78108
 PROPERTY ID: 180189
 ZONE: GB
 USE: COMMERCIAL

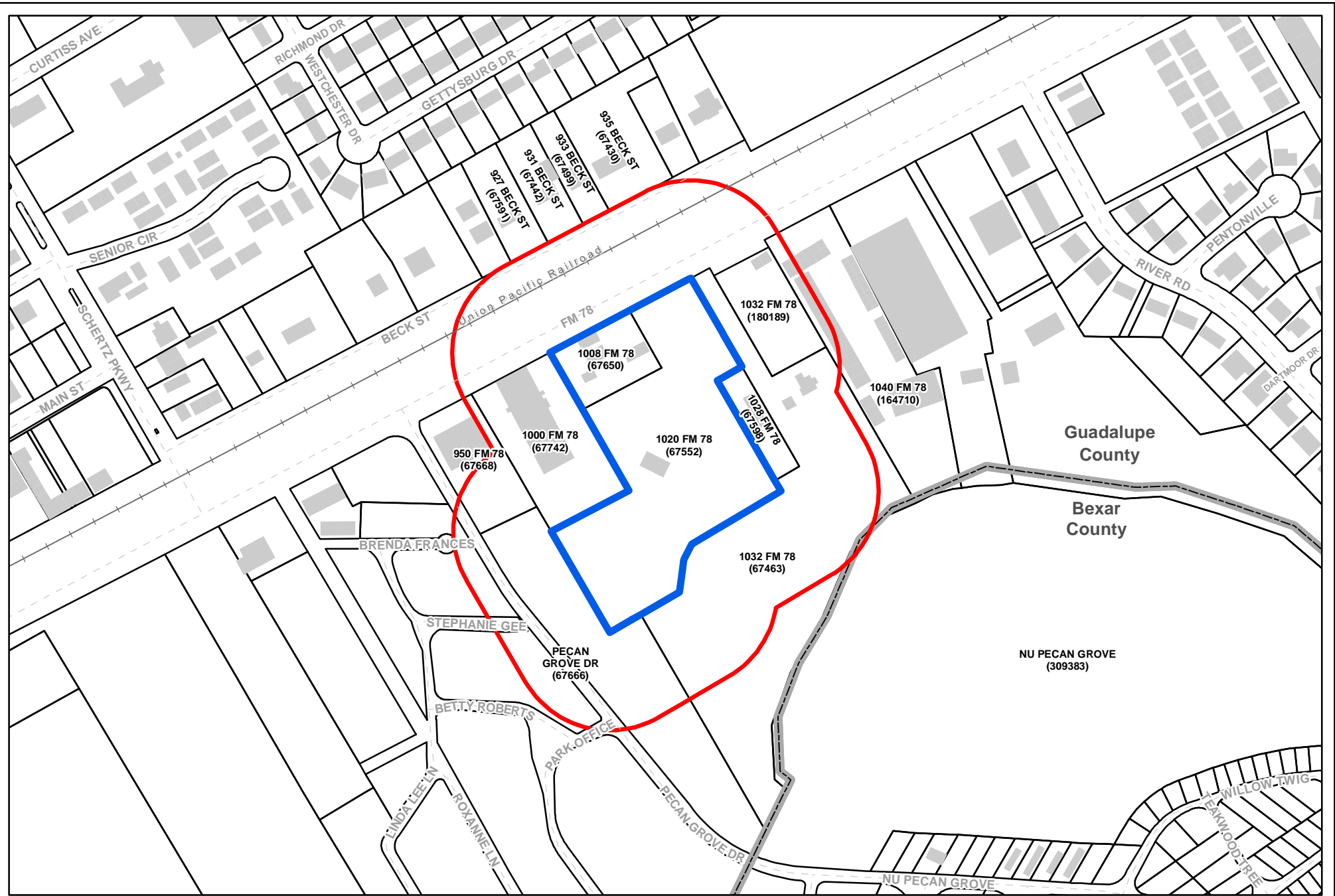
NOTE:
 PORTIONS OF REFERENCED PROPERTY ARE IN ZONE "X", AREAS DETERMINED TO BE
 OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AND ZONE "A" SPECIAL FLOOD HAZARD
 AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, NO BASED FLOOD
 ELEVATIONS DETERMINED, AS SHOWN ON THE FEMA FLOOD MAP 48029C0620F,
 COMMUNITY PANEL NO. 620 OF 785, DATED SEPTEMBER 29, 2010.

ZONING SUMMARY

CURRENT ZONING (5.397 ACRES)	GB (0.807 ACRE W/GAS PUMPS)
PROPOSED ZONING (5.397 ACRES)	GB (W/GAS PUMPS)

RAO'S CONSULTING ENGINEERS
RCE
 P.O. BOX. 592991
 SAN ANTONIO TX 78258
 TXPE FIR#17655
 PHONE: 210.549.7557. www.raoengineering.com

**SPECIFIC USE
 EXHIBIT FOR
 BURGER KING**
 (THE G. MALPAZ SURVEY NO. 6)
 ADDRESS: 1008 & 1020 FM 78



City of Schertz

Burger King FM 78 - 5.397 AC. (PLSPU20220116)

-  Project Area
-  200' Buffer
-  County Boundaries



NOTICE OF PUBLIC HEARING

July 7, 2023

Dear Property Owner,

The Schertz Planning and Zoning Commission will conduct a public hearing on Wednesday, July 26, 2023, at 7:00 p.m. located at the Municipal Complex Council Chambers, 1400 Schertz Parkway, Building #4, Schertz, Texas to consider and make recommendation on the following item:

PLSPU20220116- A request for a Specific Use Permit to allow a convenience store with gas pumps on approximately 5.5 acres of land, more specifically described 1008 and 1020 FM 78, Schertz, TX 78154, also known as Guadalupe County Property Identification Number: 67650 and 67552, City of Schertz, Guadalupe County, Texas.

The Planning and Zoning Commission would like to hear how you feel about this request and invites you to attend the public hearing. This form is used to calculate the percentage of landowners that support and oppose the request. You may return the reply form below prior to the first public hearing date by mail or personal delivery to Emily Delgado, Planning Manager, 1400 Schertz Parkway, Schertz, Texas 78154, or by e-mail planning@schertz.com. If you have any questions please feel free to call Emily Delgado, Planning Manager directly at (210) 619-1784.

Sincerely,

Emily Delgado

Emily Delgado
Planning Manager

Reply Form

I am: in favor of [] opposed to [] neutral to [X] the request for PLSPU20220116

COMMENTS:

NAME: Leslie Berk SIGNATURE: [Signature] (PLEASE PRINT)

STREET ADDRESS: 941 Beck St. Schertz

DATE: July 13, 2023

From: Tony Catalano
Sent: Thursday, July 13, 2023 4:47 PM
To: planning@schertz.com; Emily Delgado; Tony Catalano
Subject: Hearing reply form

Hi Emily

Please see attached reply form
We're excited to see new growth on FM78

Thank you
Tony Catalano ☺

NOTICE OF PUBLIC HEARING

July 7, 2023

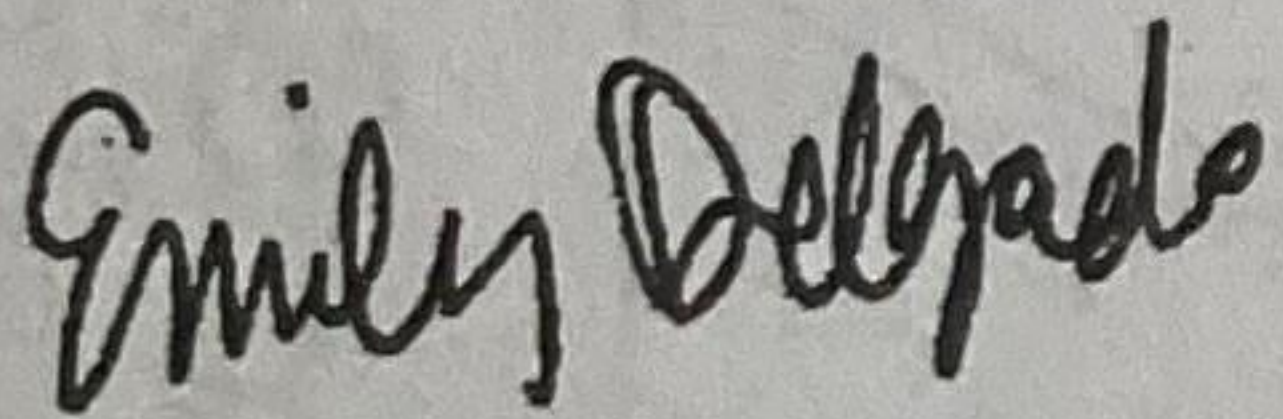
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Sincerely,



Emily Delgado
Planning Manager

Reply Form

I am: in favor of opposed to neutral to the request for PLSPU20220116

COMMENTS: We are looking forward to the commercial growth and adding value to area

NAME: Anthony Catalano (PLEASE PRINT) SIGNATURE: Anthony Catalano

STREET ADDRESS: 1032 FM 78 Schertz 78154

DATE: 7/13/23

From: Beverly h
Sent: Friday, July 14, 2023 12:46 PM
To: planning@schertz.com
Subject: Opposition to build

Beverly J Owens
1028 FM 78
Schertz, TX 78154-2009

PLSPU20220116

Attention: Emily Delgado

As the owner and resident of the over stated property, I vehemently **oppose** the building of a convenience store with gas pumps. I ask that Schertz Planning and Zoning Commission deny the request for gas station development. These are the reasons why this is not the best location for such development.

For the 32 years I have live on this property, I have enjoyed fresh clean water from the well that provides water to my home and property. The pollution that occurs when gas tanks leak toxic chemicals into the ground soil caused by a gas station storage tanks and surface runoff in such close proximity to my water well is a health and safety issue for me and my family. Modern health and safety guidelines suggest that a safe distance from a gas station should be at least 500 feet. This distance takes into account the possibility of spills, leaks, and other accidents that can occur at a gas station. There have been other municipalities that have adopted ordinances that require gas stations be built 500 feet from residential homes.

Having this type of business next to my property will greatly decrease the value of my home. There is a risk of fire/explosions from gas pumps. Safety concerns intensify from traffic and vagrants that come with this type of business. A gas station constructed adjacent to my home will increase the amount of noise, air, and light pollution. Vehicles and pedestrians causing an increase of litter, chemicals and exhaust fumes in and around my home. There will be convenience/gas station lights shining onto my home and property. It also generates and attracts substances, and odors that will greatly affect myself, my children, grandchildren and my pets.

There is already 3 gas stations on FM 78 that are within 1 mile of the proposed gas station site. The increased traffic will also impact my ability to enter and exit my driveway.

Allowing a business like this to develop next door to my home and property will considerably impact/impede me and my families ability to enjoy my home and outdoor living as we have done for the last 32 years.

Please Consider,
Beverly Owens

CONCEPTUAL SITE PLAN / NOT AN APPROVED DOCUMENT

OWNER/DEVELOPER:
BK 515 INVESTMENTS LLC
3122 RUNNING FAWN,
SAN ANTONIO, TX, 78261

ENGINEER:
RAO'S CONSULTING ENGINEERS
P.O. BOX 592991
SAN ANTONIO, TEXAS 78258
TEL: (210)549-7557
FAX: (512)-856-4595

SURVEYOR:
MATKIN HOOVER ENGINEERING & SURVEYING
8 SPENCER ROAD, SUITE 300
BOERNE, TEXAS 78006
PHONE: (830)249-0600

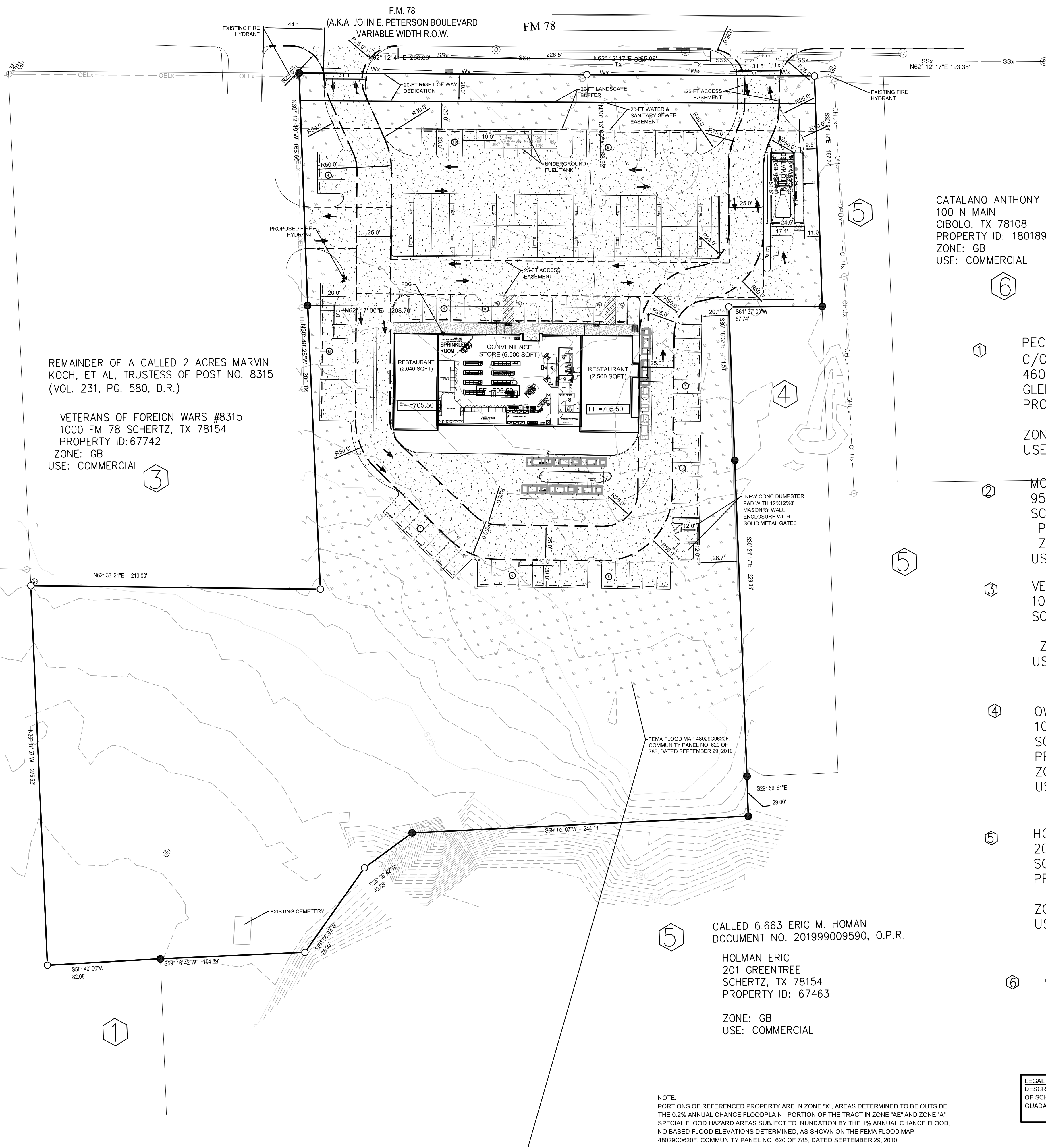
SITE SUMMARY	
PROPOSED USE:	RETAIL, RESTAURANT, CONVENIENCE STORE WITH GAS STATION
ZONING DISTRICT:	GENERAL BUSINESS (GB)
LOT AREA:	235,093 SQFT / 5.397 ACRES
EXISTING IMPERVIOUS COVER:	43,690 SQFT / 1.003 ACRES (18.6%)
PROPOSED IMPERVIOUS COVER:	107,950 SQFT / 2.48 ACRES (46%)
BUILDING AREA:	11,040 SQFT
BUILDING HEIGHT:	34 FT 3 IN
REQUIRED PARKING:	25 SPACES (RESTAURANT 2500 SQ.FT) 21 SPACES (RESTAURANT 2040 SQ.FT) 26 SPACES (CONVENIENCE STORE 6500 SQ.FT)
PROVIDED PARKING:	86 SPACES
ACCESSIBLE PARKING:	4 SPACES

WHEEL STOP NOTE:
WHEEL STOPS ARE REQUIRED FOR ALL AREAS OF HEAD-IN PARKING ADJACENT TO LANDSCAPED AREAS. WHEEL STOPS WILL BE PLACED SO THAT THE OVERHANG OF VEHICLES IS CONTAINED TOTALLY WITHIN THE PARKING SPACE.

LIGHT NOTE:
THIS SITE WILL COMPLY WITH ALL LIGHTING AND CLARE STANDARDS ACCORDING TO THE UNIFIED DEVELOPMENT CODE AT THE TIME OF BUILDING PERMIT.

SIGNAGE NOTE:
ALL SIGNAGE WILL COMPLY WITH UNIFIED DEVELOPMENT CODE AT THE TIME OF BUILDING PERMIT.

FLOODPLAIN NOTE:
PORTIONS OF REFERENCED PROPERTY ARE IN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. PORTION OF THE TRACT IN ZONE "AE" AND ZONE "A" SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD. NO BASED FLOOD ELEVATIONS DETERMINED, AS SHOWN ON THE FEMA FLOOD MAP 48029C0620F, COMMUNITY PANEL NO. 620 OF 785, DATED SEPTEMBER 29, 2010.



REMAINDER OF A CALLED 2 ACRES MARVIN KOCH, ET AL, TRUSTESS OF POST NO. 8315 (VOL. 231, PG. 580, D.R.)

VETERANS OF FOREIGN WARS #8315
1000 FM 78 SCHERTZ, TX 78154
PROPERTY ID: 67742
ZONE: GB
USE: COMMERCIAL

CATALANO ANTHONY N & TONYA R
100 N MAIN
CIBOLO, TX 78108
PROPERTY ID: 180189
ZONE: GB
USE: COMMERCIAL

PECAN GROVE TX LLC
C/O PARKLAND VENTURES INC
4600 COX ROAD STE 400
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ZONE: GB
USE: COMMERCIAL

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950 FM 78
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ZONE: GB
USE: COMMERCIAL

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OWENS BEVERLY J
1028 FM 78
SCHERTZ, TX 78154
PROPERTY ID: 67598
ZONE: GB
USE: RESIDENTIAL

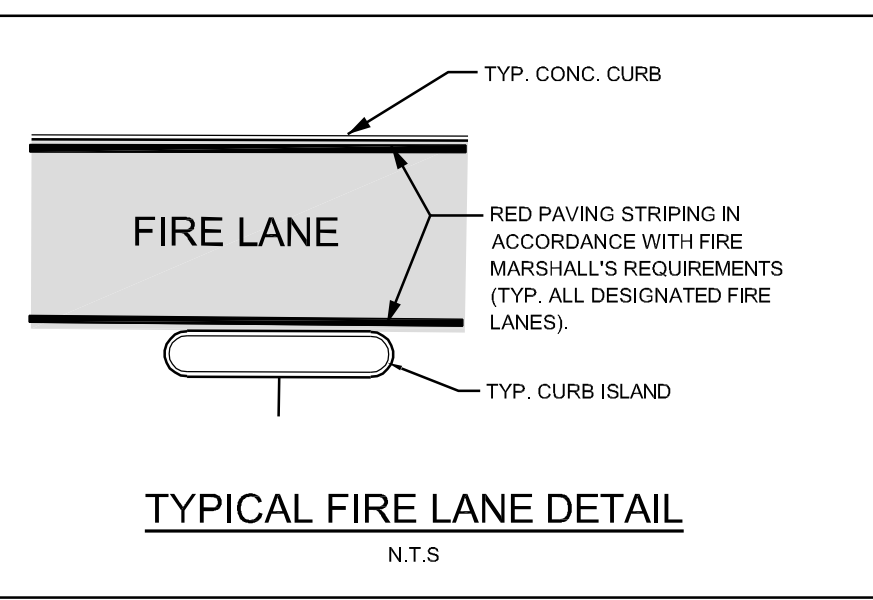
HOLMAN ERIC
201 GREENTREE
SCHERTZ, TX 78154
PROPERTY ID: 67463
ZONE: GB
USE: COMMERCIAL

CALLER 6.663 ERIC M. HOMAN
DOCUMENT NO. 201999009590, O.P.R.

HOLMAN ERIC
201 GREENTREE
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USE: COMMERCIAL

CATALANO ANTHONY N & TONYA R
100 N MAIN
CIBOLO, TX 78108
PROPERTY ID: 180189
ZONE: GB
USE: COMMERCIAL

LEGAL DESCRIPTION:
DESCRIPTION OF A CALLED 5.397 ACRE TRACT OF LAND, SITUATED IN THE CITY OF SCHERTZ, TEXAS, OUT OF IN THE G. MALPAZ SURVEY NO. 67, ABSTRACT 221, GUADALUPE COUNTY, TEXAS.



REV. NO.	DESCRIPTION	DATE

Notes:

LEGEND

- PROPOSED CONCRETE HEADER CURB
- PROPOSED CONCRETE CURB
- EXISTING CONCRETE CURB
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- FIRE DEPARTMENT CONNECTION
- PROPOSED REMOTE FIRE DEPARTMENT CONNECTION
- MISC. TRAFFIC SIGN
- GUARD POST
- EXISTING WATER VALVE
- PROPOSED WATER VALVE
- LIGHT POLE
- POWER POLE
- GRATE
- TRAFFIC LIGHT
- ACCESSIBLE PARKING
- EXISTING CONCRETE AREAS
- WHEELSTOP
- EXISTING FENCE
- PROPOSED FENCE
- EXISTING OVERHEAD ELECTRIC
- RETAINING WALL
- 8" MASONRY SCREEN WALL
- LANDSCAPE
- PROPOSED CONCRETE PAVEMENT
- PROPOSED FIRE LANE
- EXISTING CONTOUR

SIGNATURE/SEAL

RCE RAO'S CONSULTING ENGINEERS
TYPE: 00000000
P.O. BOX 592991 SAN ANTONIO, TX 78258
PHONE: 210.549.7557, FAX: 512.856.4595
www.raosengineering.com

PROJECT DESCRIPTION:
 BURGER KING
1008 FM 78
SCHERTZ, TX 78154

TITLE:
SITE PLAN

DATE :	10/26/22	JOB NO. :	2021-868
DESIGNED BY :	RV	DRG NO. :	C1
DRAWN BY :	MO	CHECKED BY :	RV

PERMIT SET

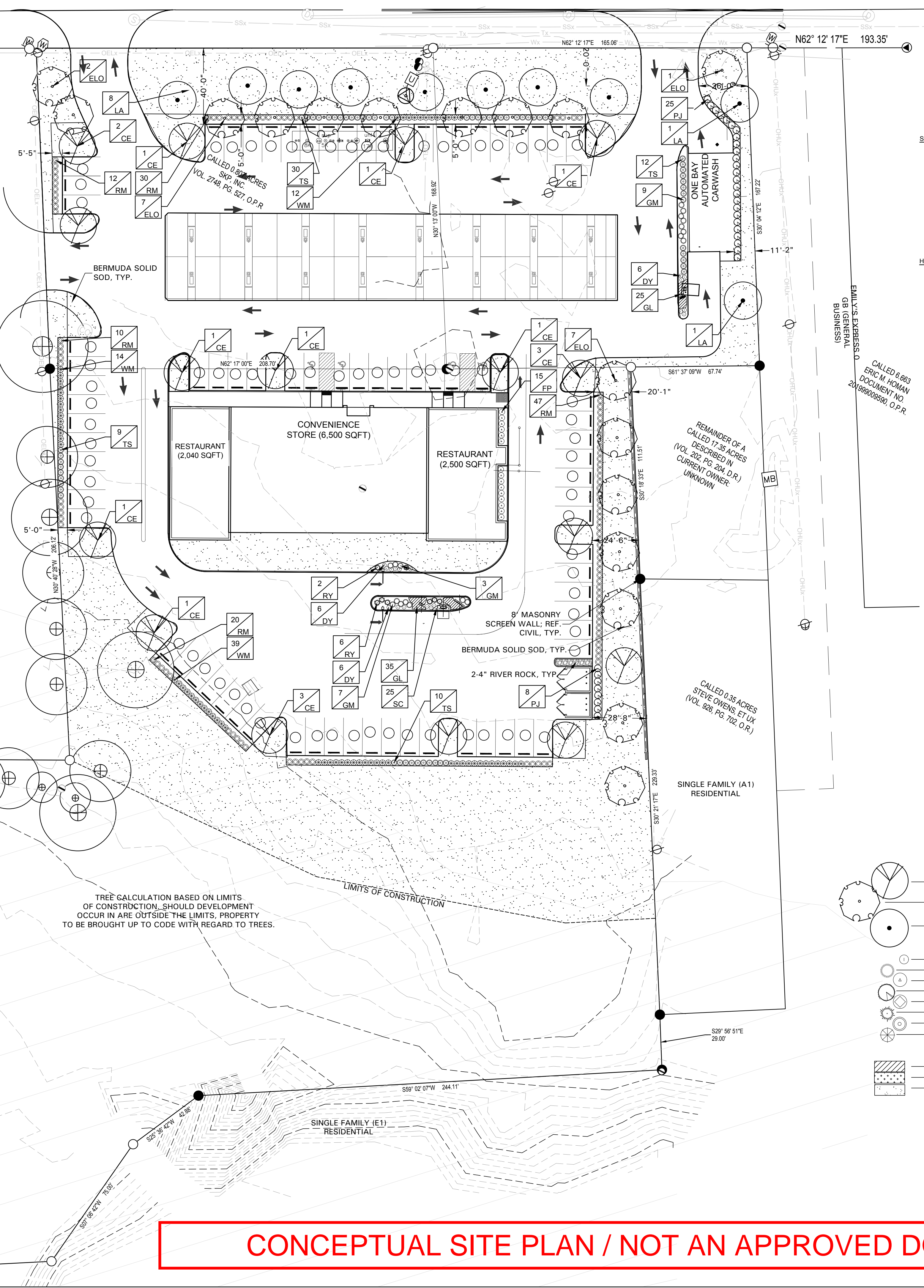
LANDSCAPE TABULATIONS for Schertz, TX	
Site: 234,915 s.f.	
Limits of Construction: 143,006 s.f.	
Landscape Required	
1. A minimum of 20% of the total land area of any proposed non residential development shall be landscaped.	PROVIDED
2. Properties shall provide 9 trees per acre of lot area.	PROVIDED
28,601 s.f. (20%) (of limits of construction)	43,129 s.f. (30.2%)
99,877 s.f. impervious cover (69.8% of the developed area)	
29 trees	2 existing trees; 43 proposed trees
Parking Area	
1. Parking lots shall be screened from public view and adjacent properties.	
2. A minimum of 10% of the gross parking area shall be devoted to living landscaping which includes grass, groundcovers, plants, shrubs and trees.	
3. There shall be a minimum of 1 shade tree planted for each 400 s.f. of required interior landscape area.	
Parking Lot Area: 45564 s.f. (80 spaces)	
REQUIRED	PROVIDED
parking lot screening	parking lot screening
4,556 s.f. (10%)	4,608 s.f.
11 trees	17 trees
Perimeter Landscape Area	
1. All parking lots and vehicular use areas shall be screened from all abutting properties with a wall, fence, hedge berm or other durable landscape barrier. (30" ht)	
2. A 20' buffer shall be provided along FM78.	
3. Street trees shall be provided 1 per 50 l.f.	
Street: 374 l.f.	
REQUIRED	PROVIDED
hedge	hedge
20' buffer	20' buffer
19 trees	19 trees
South and East:	
20' buffer	20' BUFFER
West:	
5' planting strip	5' planting strip along vehicular use
Residential Adjacency	
1. Adjacent to residential, an 8' masonry fence shall be provided	
2. A 20' buffer shall be provided adjacent to residential with 1 tree per 30 l.f. and 10 shrubs per 50 l.f.	
207 l.f.	
REQUIRED	PROVIDED
8' masonry fence	8' masonry fence
20' buffer	20' buffer
7 trees	8 trees
41 shrubs	55 shrubs

GB (GENERAL BUSINESS) BAR/DANCEHALL

REQUIRED: parking lot screening, 4,556 s.f. (10%), 11 trees

PROVIDED: parking lot screening, 4,608 s.f., 17 trees

REQUIRED: 8' masonry fence, 20' buffer, 7 trees, 41 shrubs



GENERAL LAWN NOTES

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER
- LAWN AREAS SHALL BE LEFT 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION
- CONTRACTOR TO FIND GRADE AREAS TO ACHIEVE FINAL CONTOURS AS SHOWN ON CIVIL DRAWINGS. POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. ROUNDING AT TOP AND BOTTOM OF SLOPES SHALL BE PROVIDED AND IN OTHER BREAKS IN GRADE. CORRECT AREAS WHERE STANDING WATER MAY OCCUR.
- ALL LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR LANDSCAPE ARCHITECT PRIOR TO LAWN INSTALLATION.
- CONTRACTOR SHALL REMOVE ALL ROCKS 3/4" IN DIAMETER AND LARGER REMOVE ALL DEBRIS, STICKS, BRUSH, TRASH ETC PRIOR TO PLACING TOPSOIL AND GRASS INSTALLATION.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT IF NECESSARY.

- SOLID SOD:
- SOLID SOD SHALL BE PLACED ALONG ALL IMPERVIOUS EDGES, AT A MINIMUM DEPTH OF 4" PRIOR TO TOPSOIL AND HYDROMULCH INSTALLATION.
 - BERMUDA GRASS SEED SHALL BE EXTRA HULLED, TREATED LAWN TYPE. SEED SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL MEET ALL STATE/LOCAL LAW REQUIREMENTS.
 - FIBER SHALL BE 100% WOOD CELLULOSE FIBER, DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AS MANUFACTURED BY 'COMBER' OR EQUAL.
 - FIBER TACK SHALL BE DELIVERED TO THE SITE IN ITS UNOPENED CONTAINER AND SHALL BE TACKED ONE, AS MANUFACTURED BY GROWERS, INC OR APPROVED EQUAL.
 - HYDROMULCH WITH BERMUDA GRASS SEED AT A RATE OF 2 POUNDS PER 1000 S.F.
 - USE A BATTER BOARD AGAINST ALL BED AREAS TO PREVENT OVER SPRAY.
 - IF INADEQUATE MOISTURE IS PRESENT IN SOIL, APPLY WATER AS NECESSARY FOR OPTIMUM MOISTURE FOR SEED APPLICATION.
 - IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1ST AND MAY 1ST, ALL HYDROMULCH AREAS SHALL BE OVER-SEED WITH WINTER RYE GRASS AT A RATE OF FOUR POUNDS PER ONE THOUSAND SQUARE FEET. CONTRACTOR SHALL BE REQUIRED TO RE-HYDROMULCH WITH BERMUDA GRASS THE FOLLOWING GROWING SEASON AS PART OF THIS CONTRACT.
 - AFTER APPLICATION, NO EQUIPMENT SHALL OPERATE OVER APPLIED AREAS. WATER SEEDER AREAS IMMEDIATELY AFTER INSTALLATION TO SATURATION.
 - ALL LAWN AREAS TO BE HYDROMULCHED SHALL ACHIEVE 100% COVERAGE PRIOR TO FINAL ACCEPTANCE.

- HYDROMULCH:
- SCARIFY AND LOOSEN ALL AREAS TO BE HYDROMULCHED TO A MINIMUM DEPTH OF 4" PRIOR TO TOPSOIL AND HYDROMULCH INSTALLATION.
 - BERMUDA GRASS SEED SHALL BE EXTRA HULLED, TREATED LAWN TYPE. SEED SHALL BE DELIVERED TO THE SITE IN ITS ORIGINAL UNOPENED CONTAINER AND SHALL MEET ALL STATE/LOCAL LAW REQUIREMENTS.
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PRUNING AND TRIMMING NOTES

- CONTRACTOR SHALL PRUNE ALL EXISTING TREES ON-SITE USING STANDARD GUIDELINES IN THE INDUSTRY.
- ALL TREES SHALL BE TRIMMED SO THAT NATURAL SHAPES OF THE PLANTS ARE RETAINED.
- DO NOT TOP OR HEAD TREES.
- IF BALLING OR SHEARING OF TREES HAS OCCURRED IN THE PAST, DISCONTINUE THIS PRACTICE AND ALLOW PLANTS TO GROW INTO NATURAL SHAPE.
- REMOVE SUCKERS, DEAD, DYING, DISEASED, BROKEN AND / OR WEAK BRANCHES FROM ALL TREES ALONG THE MAIN TRUNK STRUCTURE AND WITHIN THE BRANCHING AREA.
- CONTRACTOR SHALL PRUNE EXISTING DECIDUOUS HARDWOOD BY REMOVING LOWER LIMBS TO RAISE THE CANOPY. THE BOTTOM OF THE CANOPY SHALL BE RAISED TO 12" ABOVE GRADE FOR DECIDUOUS HARDWOOD TREES, WHEN POSSIBLE. THE INTEGRITY OF THE CANOPY AND STRUCTURE OF THE TREE SHALL BE MAINTAINED. DO NOT CUT OR PRUNE CENTRAL LEADERS.
- CONTRACTOR SHALL TRIM THE CANOPY BY ONE-FOURTH. PRUNE TREE TO EVENLY SPACE BRANCHES WITHIN THE CANOPY WHENEVER POSSIBLE. REMOVE THOSE LIMBS THAT CROSS OTHERS, DOUBLE LEADERS AND THOSE THAT EXCESSIVELY EXTEND BEYOND THE NATURAL CROWN OF THE TREE.
- CONTRACTOR SHALL PROVIDE DEEP ROOT FEEDINGS AND INNOVIGATION OF EXISTING TREES. THIS SHALL BE ORGANIC BASED NUTRIENTS BASED FOR ROOT GROWTH AND LEAF GROWTH STIMULATION.
- CONTRACTOR SHALL BE REQUIRED TO CHIP ALL REMOVED BRANCHES, LEAVES, ETC.

LANDSCAPE NOTES

- CONTRACTOR TO VERIFY AND LOCATE ALL PROPOSED AND EXISTING UTILITIES. NOTIFY LANDSCAPE ARCHITECT OR DESIGNATED REPRESENTATIVE FOR ANY LAYOUT DISCREPANCIES OR ANY CONDITION THAT WOULD PROHIBIT THE INSTALLATION AS SHOWN. SURVEY DATA OF EXISTING CONDITIONS SHALL BE SUPPLIED BY OTHERS.
- CONTRACTOR SHALL CALL 811 TO VERIFY AND LOCATE ANY AND ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. LANDSCAPE ARCHITECT SHOULD BE NOTIFIED OF ANY CONFLICTS. CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING NEAR UNDERGROUND UTILITIES.
- A MINIMUM OF 2% SLOPE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- GRASS ISLANDS SHALL BE CROWNED, AND UNIFORM THROUGHOUT THE SITE.
- PLANTING AREAS AND SOD TO BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS OR CURBS. EDGING NOT TO BE MORE THAN 1/2" ABOVE FINISHED GRADE. EDGING SHALL BE CUT AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND/OR CURBS.
- MULCH SHALL BE INSTALLED AT 1/2" BELOW THE TOPS OF SIDEWALKS AND CURBING.
- QUANTITIES ON THESE PLANS ARE FOR REFERENCE ONLY. THE SPACING OF PLANTS SHOULD BE AS INDICATED ON PLANS OR OTHERWISE NOTED. ALL TREES AND SHRUBS SHALL BE PLANTED PER DETAILS.
- CONTAINER GROWN PLANT MATERIAL IS PREFERRED HOWEVER BALL AND BURLAP PLANT MATERIAL CAN BE SUBSTITUTED IF NEED BE AND IS APPROPRIATE TO THE SIZE AND QUALITY INDICATED ON THE PLANT MATERIAL LIST.
- TREES SHALL BE PLANTED AT A MINIMUM OF 5' FROM ANY UTILITY LINE, SIDEWALK OR CURB. TREES SHALL ALSO BE 10' CLEAR FROM FIRE HYDRANTS.
- 4" OF SHREDDED HARDWOOD MULCH (2" SETTLED THICKNESS) SHALL BE PLACED OVER WEED BARRIER FABRIC. MULCH SHALL BE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL. PINE STRAW MULCH IS PROHIBITED.
- WEED BARRIER FABRIC SHALL BE USED IN PLANT BEDS AND AROUND ALL TREES AND SHALL BE MIRAF 1405 WEED BARRIER OR APPROVED EQUAL.
- CONTRACTOR TO PROVIDE UNIT PRICING OF LANDSCAPE MATERIALS AND BE RESPONSIBLE FOR OBTAINING ALL LANDSCAPE AND IRRIGATION PERMITS.

IRRIGATION

- ALL REQUIRED LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC IRRIGATION SYSTEM WITH A FREEZE/RAIN SENSOR. SYSTEM SHALL ALSO HAVE AN ET WEATHER BASED CONTROLLER AND BE DESIGNED AND INSTALLED BY A LICENSED IRRIGATOR.

MAINTENANCE REQUIREMENTS:

- VEGETATION SHOULD BE INSPECTED REGULARLY TO ENSURE THAT PLANT MATERIAL IS ESTABLISHING PROPERLY AND REMAINS IN A HEALTHY GROWING CONDITION APPROPRIATE FOR THE SEASON. IF DAMAGED OR REMOVED, PLANTS MUST BE REPLACED BY A SIMILAR VARIETY AND SIZE.
- MOWING, TRIMMING, EDGING AND SUPERVISION OF WATER APPLICATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE OWNER OR OWNER'S REPRESENTATIVE ACCEPTS AND ASSUMES REGULAR MAINTENANCE.
- ALL LANDSCAPE AREAS SHOULD BE CLEANED AND KEPT FREE OF TRASH, DEBRIS, WEEDS AND OTHER MATERIAL.

MISCELLANEOUS MATERIALS:

- STEEL EDGING SHALL BE 3/16" X 4 X 16" DARK GREEN DURAEDGE STEEL. STEEL EDGING UNLESS NOTED OTHERWISE ON PLANS/DETAILS.

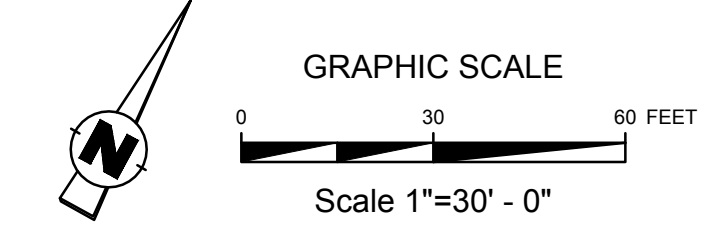
PLANT SCHEDULE

QTY	LABEL	COMMON NAME	SCIENTIFIC NAME	SIZE	NOTES
SHADE TREES					
16	CE	Cedar Elm	<i>Ulmus crassifolia</i>	3" cal.	12' ht., 4' spread, matching
17	ELO	Escarpment Live Oak	<i>Quercus fusiformis</i>	3" cal.	12' ht., 4' spread, matching
10	LA	Lacey Oak	<i>Quercus glaucooides</i>	3" cal.	12' ht., 4' spread, matching
SHRUBS					
18	DY	Dwarf Yaupon Holly	<i>Ilex vomitoria 'Condeaux'</i>	5 gal.	full, 24" sprd, 24" o.c.
19	GM	Gulf Muhly	<i>Muhlenbergia capillaris</i>	3 gal.	full, 30" o.c.
15	FP	Firecracker Plant	<i>Russelia equisetiformis</i>	5 gal.	full, 18" sprd, 24" o.c.
33	PJ	Primrose Jasmine	<i>Jasminum mesnyi</i>	5 gal.	full, 24" sprd, 42" o.c.
106	RM	Upright Rosemary	<i>Rosmarinus officinalis 'Upright'</i>	5 gal.	full, 24" sprd, 36" o.c.
8	RY	Red Yucca	<i>Hesperaloe parvifolia</i>	5 gal.	full, 24" sprd, 30" o.c.
61	TS	Texas Sage 'Green Cloud'	<i>Leucophyllum frutescens 'Green Cloud'</i>	5 gal.	full, 24" sprd, 36" o.c.
65	WM	Wax Myrtle	<i>Myrica cerifera</i>	5 gal.	full, 24" sprd, 36" o.c.
GROUNDCOVER/VINES/GRASS					
60	GL	Giant Liriope	<i>Liriope gigantea</i>	1 gal.	full, 18" o.c.
25	SC	Seasonal Color		4" pnts	full, 12" o.c.
		Bermuda Solid Sod	<i>Cynodon dactylon</i>		

Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. Trees shall have a strong central leader and be of matching specimens. All plant material shall meet or exceed remarks as indicated.

TREE CALCULATION BASED ON LIMITS OF CONSTRUCTION. SHOULD DEVELOPMENT OCCUR IN ARE OUTSIDE THE LIMITS, PROPERTY TO BE BROUGHT UP TO CODE WITH REGARD TO TREES.

CONCEPTUAL SITE PLAN / NOT AN APPROVED DOCUMENT



**RESTAURANT/
COMMERCIAL**
1008 FM 78
SCHERTZ, TX 78154



Project Number: 22047

Drawn By: AWR
Checked By: AWR

Issue Date: 11-22-22

Revisions

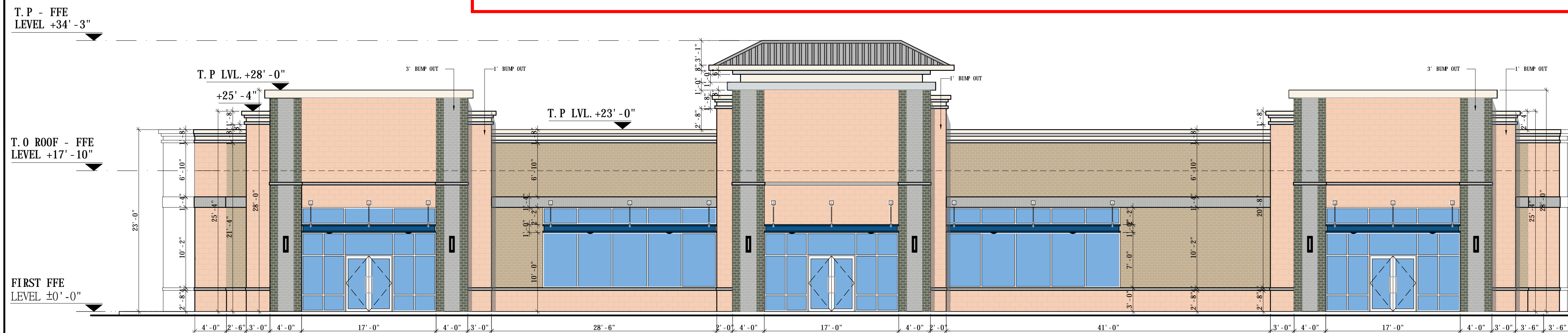
Sheet Title:

LANDSCAPE PLAN

Sheet Number:

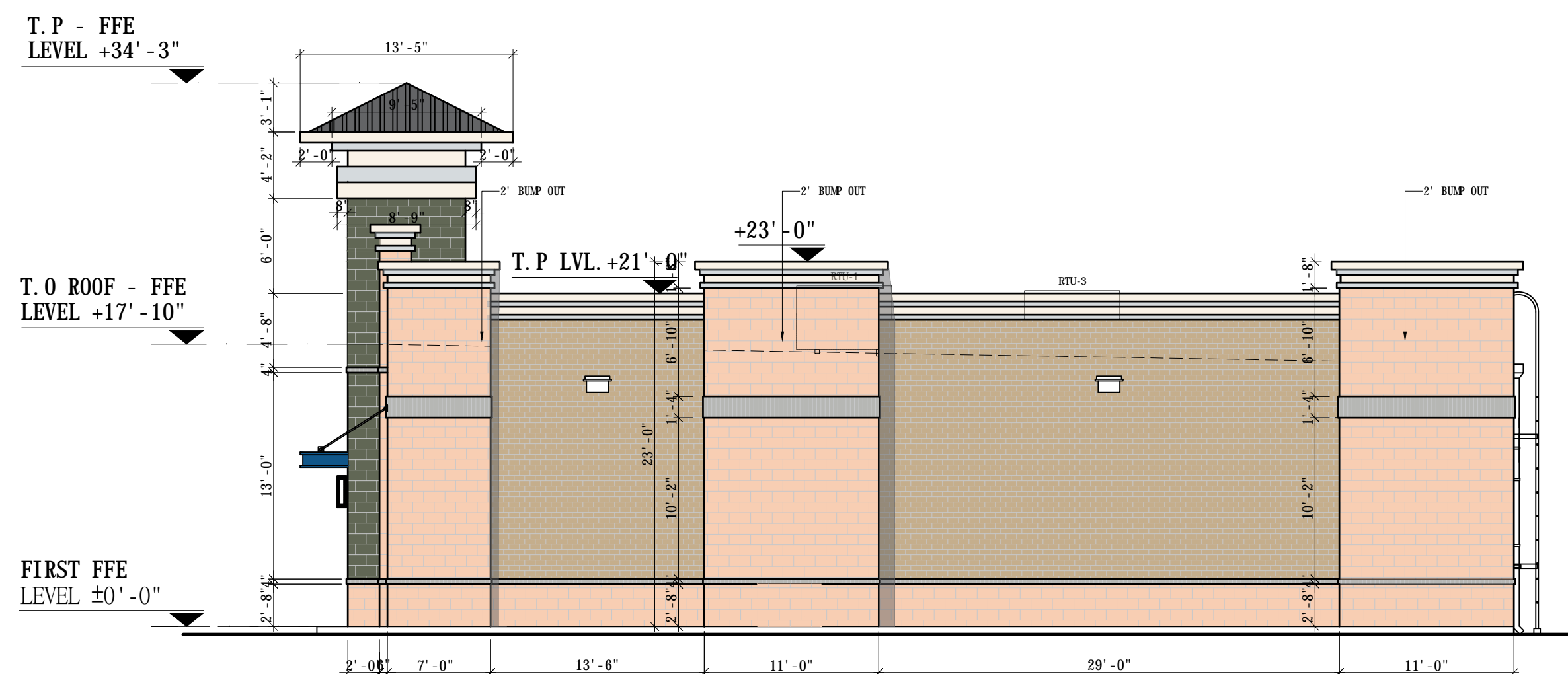
L1.02

CONCEPTUAL SITE PLAN / NOT AN APPROVED DOCUMENT



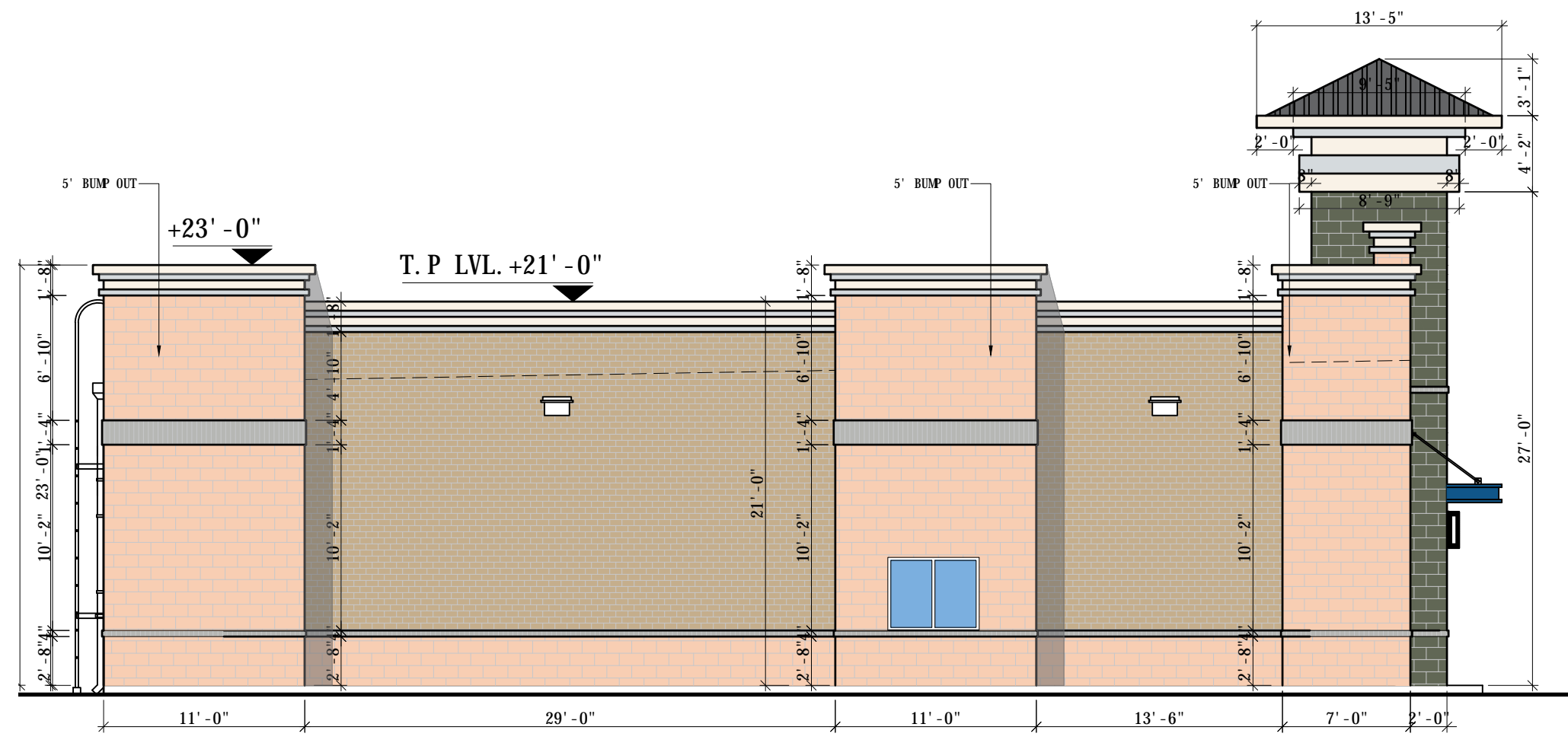
ELEVATION - 1

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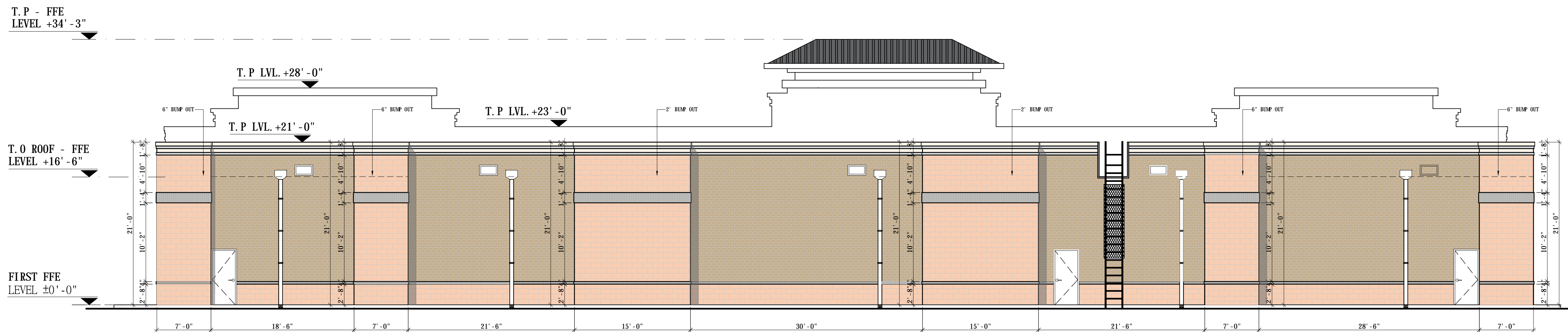
ELEVATION - 2

Scale: 1/8"=1'0"



ELEVATION - 3

Scale: 1/8"=1'0"



ELEVATION - 4

Scale: 1/8"=1'0"

EXTERIOR MATERIAL FINISH SCHEDULE

MATERIAL	DESCRIPTION	COLOR
POLISHED CONCRETE MASONRY UNITS	NITTERHOUSE MASONRY PRODUCTS Stretcher Unit (A-53) 5-5/8" x 7-5/8" x 15-5/8"	
PREMER GLAZED THIN BRICK	ACME BRICK (MDRAINE) Modular size (2 1/4" x 7 5/8" x 5/8")	
PREMER GLAZED THIN BRICK	ACME BRICK (PANAMA CITY GLOSSY) Modular size (2 1/4" x 7 5/8" x 5/8")	
PREMER GLAZED THIN BRICK	ACME BRICK (CONTINETAL) Modular size (2 1/4" x 7 5/8" x 5/8")	
SOLDIER COURSE THIN BRICK	ACME BRICK (PANAMA CITY GLOSSY) Modular size (2 1/4" x 7 5/8" x 5/8")	
3/4" STUCCO BAND PAINTED FINISH	SHERWN- WILLIAMS (SW 6371) VANILLIN	
3/4" STUCCO BAND PAINTED FINISH	SHERWN- WILLIAMS (SW 6255) MDRNING FOG	
STAND SEEM LIGHT GRAY METAL ROOFING	METAL SUPPLIER	

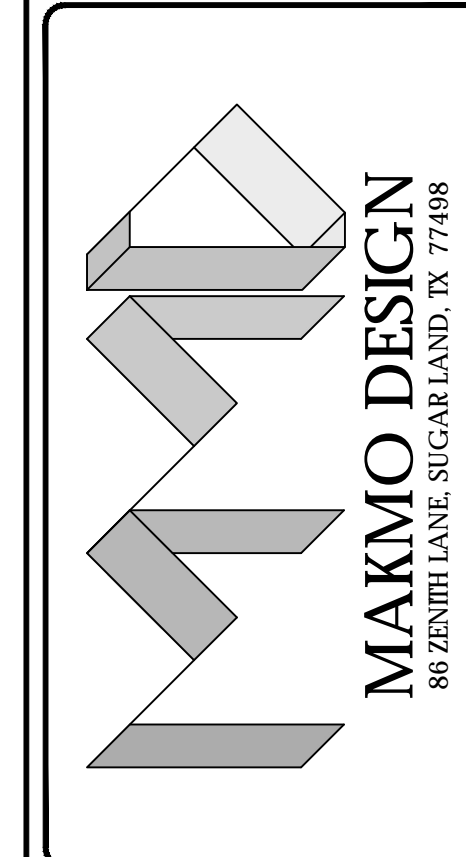
MATERIAL TAKE-OFF

	CMU BLOCK	THIN BRICK	OTHERS	GLAZING	TOTAL
ELEVATION-1	1459 SF	1949 SF	74 SF	1068 SF	4550 SF
TOTAL MASONRY EXCLUDING DOORS / WINDOWS					
ELEVATION-2 & 4	307 SF	850 SF	92 SF	0 SF	1249 SF
TOTAL MASONRY EXCLUDING DOORS / WINDOWS					
ELEVATION-3	594 SF	2678 SF	287 SF	63 SF	3622 SF

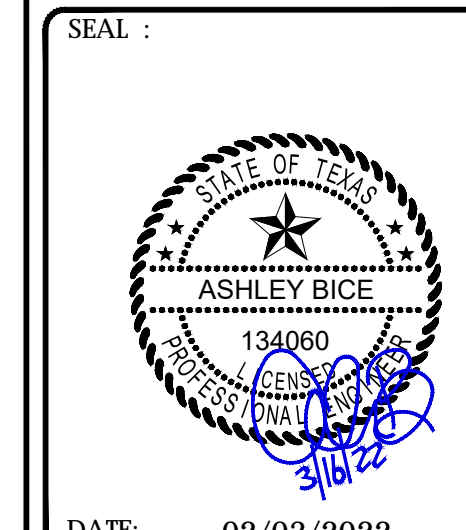
ISSUE FOR:
FOR INTER REVIEW ONLY
BID ONLY
PERMITS SET
CONSTRUCTION SET

REVISIONS:

NO.	DATE	DESCRIPTION



**PROPOSED BURGER KING, C-STORE
& GAS STATION**
LOCATED AT
1008 FM 78, SCHERTZ, TX 78154



DATE: 02/03/2022
PROJECT NUMBER: E22000-1
SCALE: :
DRAWN BY: : A.B
CHECKED BY: : A.B
SHEET TITLE: :

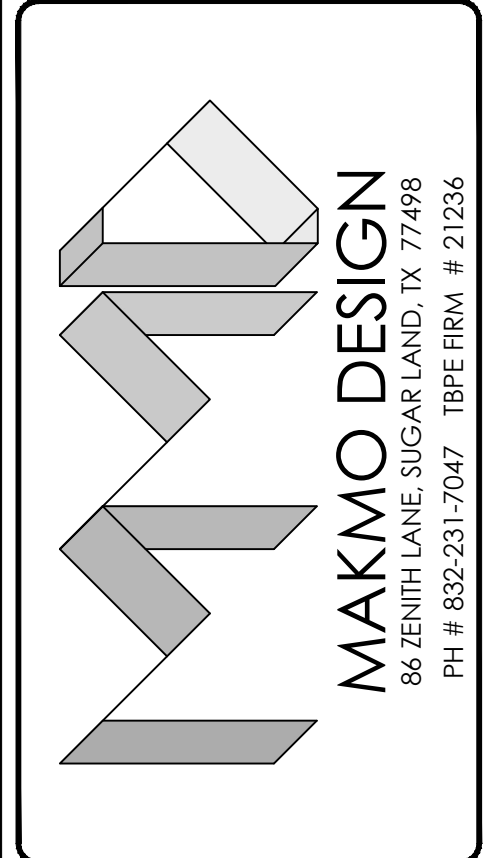
**ELEVATION
1 & 2**

DRAWING NUMBER:
A-2.0

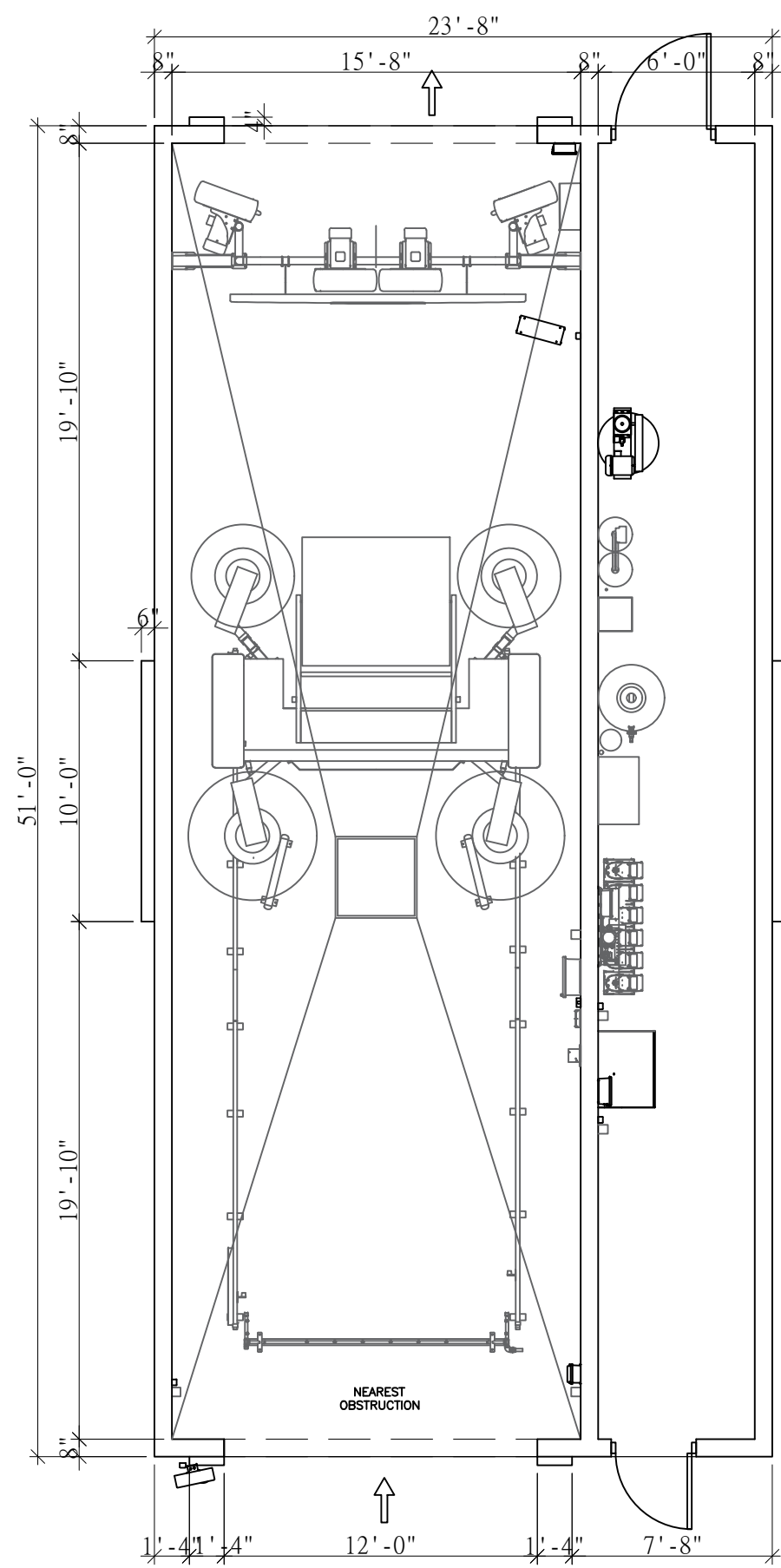
CONCEPTUAL SITE PLAN / NOT AN APPROVED DOCUMENT

ISSUE FOR:
 FOR INTER REVIEW ONLY
 BID ONLY
 PERMITS SET
 CONSTRUCTION SET

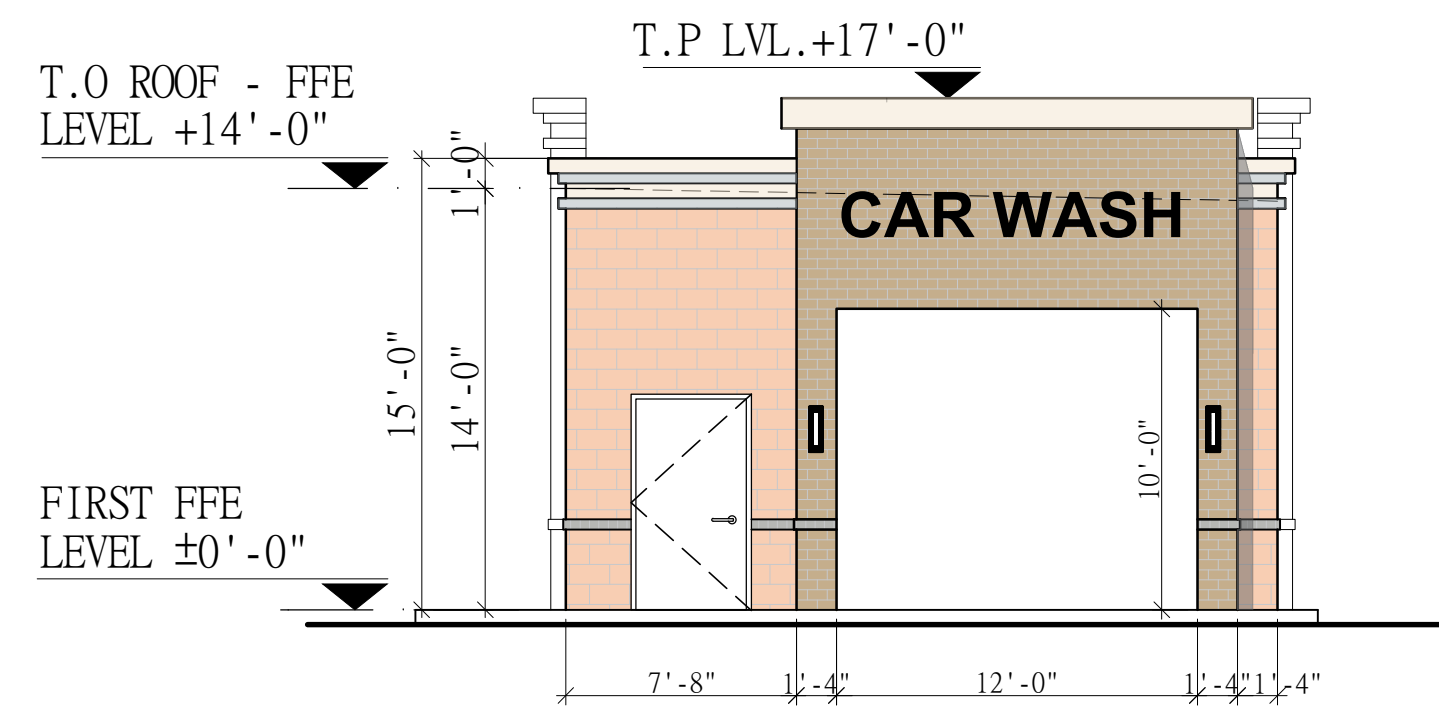
REVISIONS:		
NO.	DATE	DESCRIPTION



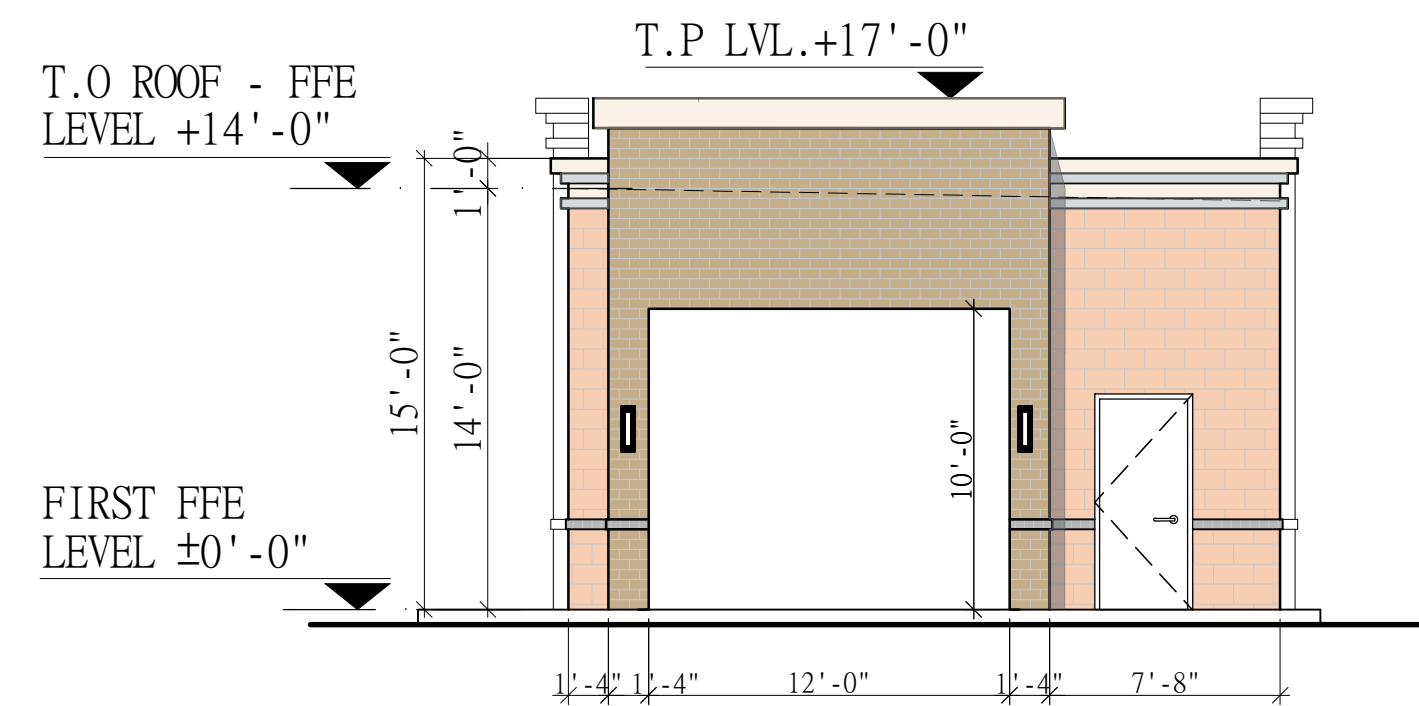
**PROPOSED BURGER KING, C-STORE
 & GAS STATION**
 LOCATED AT
 1008 FM 78, SCHERTZ, TX 78154



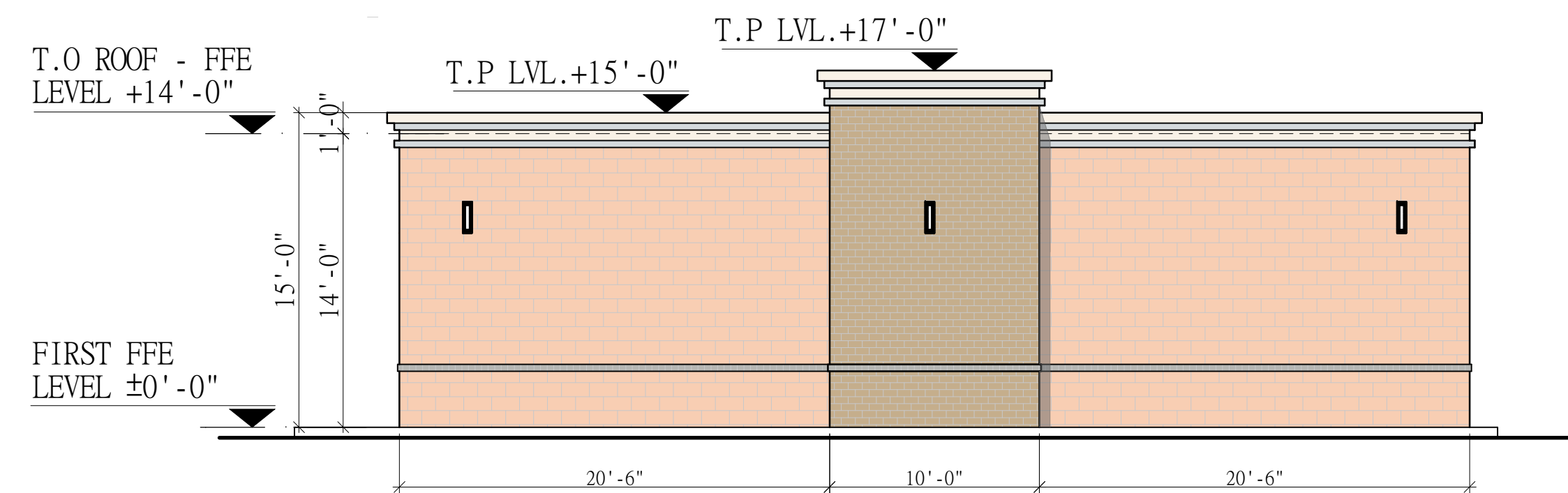
CAR WASH FLOOR PLAN
 Scale: 3/16"=1'-0"



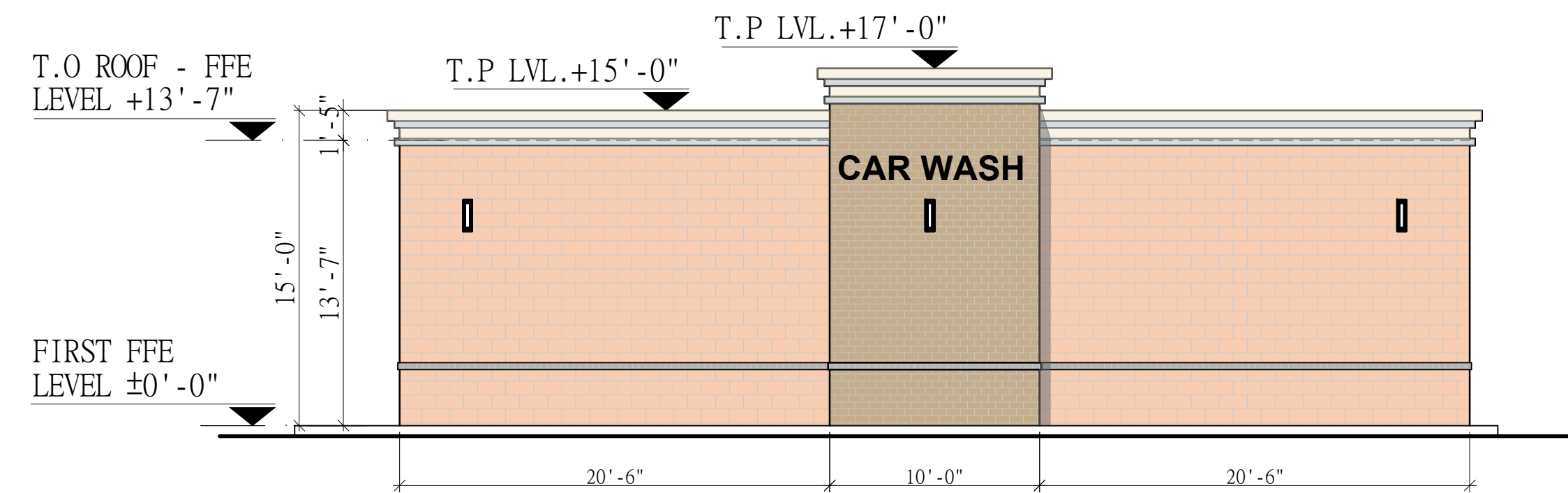
ELEVATION -3
 Scale: 1/8"=1'0"



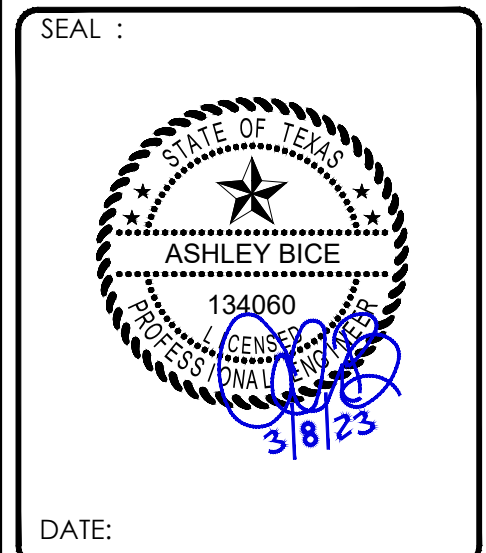
ELEVATION -1
 Scale: 1/8"=1'0"



ELEVATION -4
 Scale: 1/8"=1'0"



ELEVATION -2
 Scale: 1/8"=1'0"



DATE: _____
 PROJECT NUMBER : 22-000
 SCALE : N.T.S.=1'-0"
 DRAWN BY : A.B.
 CHECKED BY : A.B.
 SHEET TITLE :

**CAR WASH
 FLOOR PLAN &
 ELEVATION**

DRAWING NUMBER:
A-1.1

SUBJECT

Current Projects and City Council Status Update

DEVELOPMENT INFORMATION

The following is being provided for information purposes only so that the Planning and Zoning Commission is aware of the current status of new site plan applications, status of applications heard by the Commission and recommended for final action by the City Council, and the status of administratively approved applications.

NEW SITE PLAN APPLICATIONS:

- The following new site plan application was submitted to the Planning and Community Development Department between June 24, 2023 and July 21, 2023.
 - Core 5 Logistics Center at Interstate 10, Lot 1 and Lot 2, Block 1 (10260 and 10264 Viewpoint Ridge)
 - Site Plan for a proposed 534,886 square foot office / warehouse and a 466,990 square foot office / warehouse
 - FM 1518 Schertz Multifamily Apartments Lot 1, Block 1 (9120 E FM 1518)
 - Site Plan for a proposed apartment complex to include 300 dwelling units

CITY COUNCIL RESULTS: The following development applications were recommended for final action to the City Council:

- Ord. 23-S-13 Conduct a public hearing and consideration and/or action on amendments to Part III of the Schertz Code of Ordinances, Unified Development Code (UDC) to Article 5, Section 21.8.5 Permitted Use Table, and Article 16 Definitions
 - Recommended for approval at the May 24, 2023 P&Z meeting (5-0)
 - Approved via first reading at the July 11, 2023 CC Meeting (5-0)
 - Scheduled for second reading at the August 1, 2023 CC Meeting
- Ord. 23-S-14 Conduct a public hearing and consideration and/or action on a request to rezone approximately 25 acres of land from Pre-Development District (PRE) to Planned Development District (PDD), generally located approximately 2,200 feet southeast of the intersection of Country Club Boulevard and IH-35 access road, also known as Comal County Property Identification Number 377261 and Guadalupe County Property Identification 63833, City of Schertz, Comal County and Guadalupe County, Texas.
 - Recommendation for approval at the June 14, 2023 P&Z Meeting (5-1)
 - Approved via first reading at the July 18, 2023 CC Meeting (4-3)
 - Scheduled for second reading at the August 1, 2023 CC Meeting
- Ord. 23-S-15 Conduct a public hearing, and consideration and/or action on amendments to Part III of the Schertz Code of Ordinances, Unified Development Code (UDC) to Article 8, Section 21.8.4 Home Occupations.
 - Recommended for approval at the June 28, 2023 P&Z Meeting (7-0)
 - Tentatively scheduled for first reading at the August 15, 2023 CC Meeting

ADMINISTRATIVELY APPROVED PROJECTS:

- The following development applications were administratively approved between June 24, 2023 and July 21, 2023.
 - FM 1518 Schertz Multifamily Apartments Lot 1, Block 1 (9120 E FM 1518)
 - Site Plan for a proposed apartment complex to include 300 dwelling units

- • Approval Date: July 5, 2023
 - Bedstone IH 35 Warehouses Lot 1, Block 1 (18735 Ih 35N)
 - Site Plan for eight (8) office / warehouse buildings to be developed in two phases
 - Approval Date: June 26, 2023
-