

REAL ESTATE CONTRACT
CR 258 Right of Way—Parcel 18

THIS REAL ESTATE CONTRACT (“Contract”) is made by STEVEN D. STEWART and JUDY S. STEWART (referred to in this Contract as “Seller”) and WILLIAMSON COUNTY, TEXAS (referred to in this Contract as “Purchaser”), upon the terms and conditions set forth in this Contract.

ARTICLE I
PURCHASE AND SALE

By this Contract, Seller sells and agrees to convey, and Purchaser purchases and agrees to pay for, the tract(s) of land described as follows:

All of that certain 0.008 acre (approximately 377 Sq. Ft.) in the B. Manlove Survey, Abstract No. 417, Williamson County; being more fully described by metes and bounds in Exhibit “A”, attached hereto and incorporated herein (**Parcel 18**)

together with all and singular the rights and appurtenances pertaining to the property, including any right, title and interest of Seller in and to adjacent streets, alleys or rights-of-way (all of such real property, rights, and appurtenances being referred to in this Contract as the “Property”), and any improvements situated on and attached to the Property described in Exhibit “A” not otherwise agreed herein to be retained by Seller, for the consideration and upon and subject to the terms, provisions, and conditions set forth below.

ARTICLE II
PURCHASE PRICE

Purchase Price

2.01. The Purchase Price for the Property, any improvements thereon, and any damage or cost of cure for the remaining Property of Seller shall be the sum of FIVE THOUSAND FOUR HUNDRED TEN and 00/100 Dollars (\$5,410.00).

Payment of Purchase Price

2.02. The Purchase Price shall be payable in cash at the Closing.

Special Provisions

2.03. As additional compensation for the purchase of the Property, and as an obligation which shall survive the Closing of this transaction, Purchaser agrees to construct one (1) replacement concrete driveway connection between the proposed County Road 258 roadway improvements and the remaining property of Seller, and one (1) replacement mailbox structure within the Property acquired herein. The driveway and mailbox will be constructed as part of the CR 258 construction project at the sole expense of Purchaser, and shall be built in the locations and according to the material, design, notes and specifications as set out in the plan sheets attached hereto as Exhibit "B". Upon request Seller agrees to provide Purchaser any necessary temporary construction easements on the remaining property which are required to carry out the obligations of this paragraph.

2.04. By execution of this contract Purchaser further agrees that Seller may relocate or replace the existing single post mounted gate control keypad within the right of way Property being acquired herein, with the same or similar single pole mounting, and at a location that shall not be closer than twenty (20) feet from the edge of the completed CR 258 roadway pavement (including shoulder) as shown in the plans attached as Exhibit "B", or at other location that is agreed to between the parties and approved by Purchaser prior to installation.

ARTICLE III PURCHASER'S OBLIGATIONS

Conditions to Purchaser's Obligations

3.01. The obligations of Purchaser hereunder to consummate the transactions contemplated hereby are subject to the satisfaction of each of the following conditions (any of which may be waived in whole or in part by Purchaser at or prior to the Closing).

Miscellaneous Conditions

3.02. Seller shall have performed, observed, and complied with all of the covenants, agreements, and conditions required by this Contract to be performed, observed, and complied with by Seller prior to or as of the closing.

ARTICLE IV REPRESENTATIONS AND WARRANTIES OF SELLER

Seller hereby represents and warrants to Purchaser as follows, which representations and warranties shall be deemed made by Seller to Purchaser also as of the Closing Date, to the best of Seller's current actual knowledge:

(1) There are no parties in possession of any portion of the Property as lessees, tenants at sufferance, or trespassers, other than as previously disclosed to Purchaser;

(2) Seller has complied with all applicable laws, ordinances, regulations, statutes, rules and restrictions relating to the Property, or any part thereof;

The Property herein is being conveyed to Purchaser under threat of condemnation.

ARTICLE V
CLOSING
Closing Date

5.01. The Closing shall be held at the office of Texas American Title Company on or before June 30th, 2015, or at such time, date, and place as Seller and Purchaser may agree upon, or within 10 days after the completion of any title curative matters if necessary for items as shown on the Title Commitment or in the contract (which date is herein referred to as the "Closing Date").

Seller's Obligations at Closing

5.02. At the Closing Seller shall:

(1) Deliver to Purchaser a duly executed and acknowledged Deed conveying good and indefeasible title to Williamson County, Texas in fee simple to all of the Property described in Exhibit "A", free and clear of any and all liens and restrictions, except for the following:

- (a) General real estate taxes for the year of closing and subsequent years not yet due and payable;
- (b) Any exceptions approved by Purchaser pursuant to Article III hereof; and
- (c) Any exceptions approved by Purchaser in writing.

The Deed shall be in the form as shown in Exhibit "C" attached hereto and incorporated herein.

(2) Deliver to Purchaser a Texas Owner's Title Policy at Purchaser's sole expense, issued by Title Company, in Grantee's favor in the full amount of the purchase price, insuring Purchaser's contracted interests in and to the Property subject only to those title exceptions listed herein, such other exceptions as may be approved in writing by Purchaser, and the standard printed exceptions contained in the usual form of Texas Owner's Title Policy, provided, however:

- (a) The boundary and survey exceptions shall be deleted;
- (b) The exception as to restrictive covenants shall be endorsed "None of Record", if applicable; and
- (c) The exception as to the lien for taxes shall be limited to the year of Closing and shall be endorsed "Not Yet Due and Payable".
- (d) Deliver to Purchaser possession of the Property if not previously done.

Purchaser's Obligations at Closing

5.03. At the Closing, Purchaser shall:

- (a) Pay the cash portion of the Purchase Price.

Prorations

5.04. General real estate taxes for the then current year relating to the Property shall be prorated as of the Closing Date and shall be adjusted in cash at the closing. If the Closing shall occur before the tax rate is fixed for the then current year, the apportionment of taxes shall be upon the basis of the tax rate for the next preceding year applied to the latest assessed valuation. Agricultural roll-back taxes, if any, shall be paid by Purchaser.

Closing Costs

5.05. All costs and expenses of closing in consummating the sale and purchase of the Property shall be borne and paid as follows:

- (1) Owner's Title Policy and survey to be paid by Purchaser.
- (2) Deed, tax certificates, and title curative matters, if any, paid by Purchaser.
- (3) All other closing costs shall be paid by Purchaser.
- (4) Attorney's fees paid by each respectively.

**ARTICLE VI
BREACH BY SELLER**

In the event Seller shall fail to fully and timely perform any of its obligations hereunder or shall fail to consummate the sale of the Property for any reason, except Purchaser's default, Purchaser may: (1) enforce specific performance of this Contract; or (2) request that the Escrow Deposit, if any, shall be forthwith returned by the title company to Purchaser.

**ARTICLE VII
BREACH BY PURCHASER**

In the event Purchaser should fail to consummate the purchase of the Property, the conditions to Purchaser's obligations set forth in Article III having been satisfied and Purchaser being in default and Seller not being in default hereunder, Seller shall have the right to receive the Escrow Deposit, if any, from the title company, the sum being agreed on as liquidated damages for the failure of Purchaser to perform the duties, liabilities, and obligations imposed upon it by the terms and provisions of this Contract, and Seller agrees to accept and take this cash payment as its total damages and relief and as Seller's sole remedy hereunder in such event. If no Escrow Deposit has been made then Seller shall receive the amount of \$500 as liquidated damages for any failure by Purchaser.

**ARTICLE VIII
MISCELLANEOUS**

Notice

8.01. Any notice required or permitted to be delivered hereunder shall be deemed received when sent by United States mail, postage prepaid, certified mail, return receipt requested, addressed to Seller or Purchaser, as the case may be, at the address set forth opposite the signature of the party.

Texas Law to Apply

8.02. This Contract shall be construed under and in accordance with the laws of the State of Texas, and all obligations of the parties created hereunder are performable in Williamson County, Texas.

Parties Bound

8.03. This Contract shall be binding upon and inure to the benefit of the parties and their respective heirs, executors, administrators, legal representatives, successors and assigns where permitted by this Contract.

Legal Construction

8.04. In case any one or more of the provisions contained in this Contract shall for any reason be held to be invalid, illegal, or unenforceable in any respect, this invalidity, illegality, or unenforceability shall not affect any other provision hereof, and this Contract shall be construed as if the invalid, illegal, or unenforceable provision had never been contained herein.

Prior Agreements Superseded

8.05. This Contract constitutes the sole and only agreement of the parties and supersedes any prior understandings or written or oral agreements between the parties respecting the within subject matter.

Time of Essence

8.06. Time is of the essence in this Contract.

Gender

8.07. Words of any gender used in this Contract shall be held and construed to include any other gender, and words in the singular number shall be held to include the plural, and vice versa, unless the context requires otherwise.

Memorandum of Contract

8.08. Upon request of either party, the parties shall promptly execute a memorandum of this Contract suitable for filing of record.

Compliance

8.09 In accordance with the requirements of Section 20 of the Texas Real Estate License Act, Purchaser is hereby advised that it should be furnished with or obtain a policy of title insurance or Purchaser should have the abstract covering the Property examined by an attorney of Purchaser's own selection.

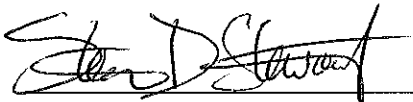
Effective Date

8.10 This Contract shall be effective as of the date it is approved by Williamson County, Texas which date is indicated beneath the County Judge's signature below.

Counterparts

8.11 This Contract may be executed in any number of counterparts, which may together constitute the Contract. Signatures transmitted by facsimile or electronic mail may be considered effective as originals for purposes of this Contract.


SELLER:



Steven D. Stewart

Address: 2709 CR 258
Liberty Hill, TX 78642

Date: 7/31/15



Judy S. Stewart

Address: 2709 CR 258
Liberty Hill, TX 78642

Date: 7/31/15

PURCHASER:

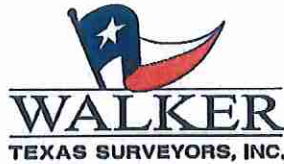
WILLIAMSON COUNTY, TEXAS

By: _____
Dan A. Gattis
County Judge

Address: 710 Main Street, Suite 101
Georgetown, Texas 78626

Date: _____

EXHIBIT "A"



P. O. Box 324
Cedar Park, Texas 78630-0324
(512) 259-3361
T.B.P.L.S. Firm No. 10103800

**0.008 ACRE RIGHT-OF-WAY PARCEL NO. 18
STEVEN D. STEWART AND JUDY S. STEWART
B. MANLOVE SURVEY, ABSTRACT NO. 417
WILLIAMSON COUNTY, TEXAS**

A DESCRIPTION OF 0.008 ACRES (APPROXIMATELY 377 SQ. FT.) IN THE B. MANLOVE SURVEY, ABSTRACT NO. 417, WILLIAMSON COUNTY, TEXAS, BEING A PORTION OF LOT 3, KIRK ACRES, A SUBDIVISION OF RECORD IN DOCUMENT NO. 2003078950, ALSO RECORDED UNDER CABINET X, SLIDES 371-372 OF THE PLAT RECORDS OF WILLIAMSON COUNTY, TEXAS, CONVEYED TO STEVEN D. STEWART AND JUDY S. STEWART IN A GENERAL WARRANTY DEED DATED NOVEMBER 20, 2012 AND RECORDED IN DOCUMENT NO. 2012102851 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS; SAID 0.008 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at a calculated point in the existing north right-of-way line of County Road 258 (right-of-way width varies) for the southeast corner of said Lot 3 and the southeast corner of the herein described tract of land, being also the southwest corner of Lot 2 of said Kirk Acres, from which a 1/2" iron rod found in the existing north right-of-way line of County Road 258 at the southeast corner of said Lot 2 bears North 80°51'06" East, a distance of 137.41 feet;

THENCE with the existing north right-of-way line of County Road 258, being the south line of said Lot 3, the following two (2) courses and distances:

1. South 80°51'06" West, a distance of 57.29 feet to a 1/2" iron rod found with "CCC 4835" cap found;
2. With a curve to the left, having a radius of 765.00 feet, a delta angle of 02°22'05", an arc length of 31.62 feet, and a chord bearing South 79°40'54" West, a distance of 31.62 feet to a 1/2" iron rod with "Walker 5283" cap set in the proposed north right-of-way line of County Road 258 for the west corner of the

herein described tract of land, from which a 1/2" iron rod found at an angle point in the existing north right-of-way line of County Road 258, at the southwest corner of said Lot 3, being also in the east line of a 30.819 acre tract described in Volume 840, Page 771 of the Deed Records of Williamson County, Texas bears with a curve, to the left, having a radius of 765.00, a delta angle of 02°54'55", an arc length of 38.93 feet and a chord bearing South 77°02'24" West, a distance of 38.92 feet;

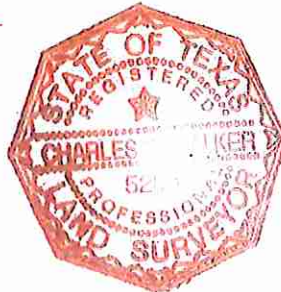
THENCE crossing said Lot 3, with the proposed north right-of-way line of County Road 258, with a curve to the right, having a radius of 660.09 feet, a delta angle of 07°39'57", an arc length of 88.32 feet, and a chord bearing North 76°01'16" East, a distance of 88.25 feet to a 1/2" iron rod with "Walker 5283" cap set in the east line of said Lot 3, being the west line of said Lot 2 for the northeast corner of the herein described tract of land, from which a 1/2" iron rod found at a common corner of said Lots 2 and 3 bears North 17°12'45" West, a distance of 809.03 feet;

THENCE South 17°12'45" East, with the east line of said Lot 3, being the west line of said Lot 2, a distance of 6.85 feet to the **POINT OF BEGINNING**, containing 0.008 acres of land, more or less.

Bearing Basis: The Texas Coordinate System of 1983 (NAD83), Central Zone, based on GPS solutions from the National Geodetic Survey (NGS) On-Line Positioning User Service (OPUS). Attachments: Survey Drawing No. 075029-PARCEL 18.

Charles G. Walker *11.26.14*

Charles G. Walker Date
Registered Professional Land Surveyor
State of Texas No. 5283
Walker Texas Surveyors, Inc.
T.B.P.L.S. FIRM NO. 10103800



SKETCH TO ACCOMPANY A DESCRIPTION OF 0.008 ACRES (APPROXIMATELY 377 SQ. FT.) IN THE B. MANLOVE SURVEY, ABSTRACT NO. 417, WILLIAMSON COUNTY, TEXAS, BEING A PORTION OF LOT 3, KIRK ACRES, A SUBDIVISION OF RECORD IN DOCUMENT NO. 2003078950, ALSO RECORDED UNDER CABINET X, SLIDES 371-372 OF THE PLAT RECORDS OF WILLIAMSON COUNTY, TEXAS, CONVEYED TO STEVEN D. STEWART AND JUDY S. STEWART IN A GENERAL WARRANTY DEED DATED NOVEMBER 20, 2012 AND RECORDED IN DOCUMENT NO. 2012102851 OF THE OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS.

LEGEND	
○	1/2" IRON ROD WITH "WALKER 5283" CAP SET
●	1/2" IRON ROD FOUND (UNLESS NOTED OTHERWISE)
● ^{CCC}	1/2" IRON ROD WITH "CCC 4835" CAP FOUND
△	CALCULATED POINT
D.R.W.C.T.	DEED RECORDS OF WILLIAMSON COUNTY, TEXAS
P.R.W.C.T.	PLAT RECORDS OF WILLIAMSON COUNTY, TEXAS
O.P.R.W.C.T.	OFFICIAL PUBLIC RECORDS OF WILLIAMSON COUNTY, TEXAS
()	RECORD INFORMATION

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S80°51'06"W	57.29'
	(S81°05'59"W)	(57.28')
L2	S17°12'45"E	6.85'
L3	N19°02'42"W	20.99'
	(N81°47'09"W)	(20.99')

CURVE TABLE					
CURVE	RADIUS	DELTA	ARC	BEARING	CHORD
C1	765.00'	2°22'05"	31.62'	S79°40'54"W	31.62'
C2	660.09'	7°39'57"	88.32'	N76°01'16"E	88.25'
C3	765.00'	2°54'55"	38.93'	S77°02'24"W	38.92'
C4	765.00'	5°17'01"	70.54'	S78°13'27"W	70.52'
	(765.00')	(5°16'55")	(70.52')	(S78°27'32"W)	(70.50')

BEARING BASIS: THE TEXAS COORDINATE SYSTEM OF 1983 (NAD83), CENTRAL ZONE, BASED ON GPS SOLUTIONS FROM THE NATIONAL GEO DETIC SURVEY (NGS) ON-LINE POSITIONING USER SERVICE (OPUS).

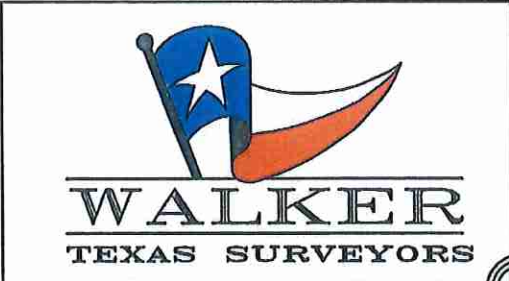
COMBINED SCALE FACTOR = 0.999860020
(FOR SURFACE TO GRID CONVERSION)

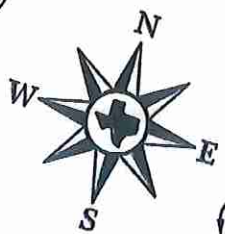
INVERSE SCALE FACTOR = 1.00014
(FOR GRID TO SURFACE CONVERSION)

SCALED ABOUT 0,0

WALKER TEXAS SURVEYORS, INC.
P.O. BOX 324
CEDAR PARK, TEXAS 78630
(512) 259-3361
T.B.P.L.S. FIRM NO. 10103800

DATE OF SURVEY: 11/26/14
DRAWING NO.: 075029-PARCEL 18
PROJECT NO.: 075029
DRAWN BY: CWW
PAGE 3 OF 4





SCALE: 1" = 50'

CLIFFORD H. STEWART
11.58 ACRES
(2013049196)

B. MANLOVE SURVEY
ABS. 417

PT534
N: 10222400.72
E: 3077768.76
(SURFACE)

N: 10220969.78
E: 3077337.94
(GRID)

PT535
N: 10222422.03
E: 3077854.40
(SURFACE)

N: 10220991.10
E: 3077423.56
(GRID)

ROBERT E. PONTIUS
AND
JOANNE M. PONTIUS
30.819 ACRE
(840/771)
D.R.W.C.T.

N19°02'42"W 500.83
(N18°47'45"W 500.71')

479.84' (N18°47'09"W 479.74')

LOT 3
KIRK ACRES
(2003078950)
O.P.R.W.C.T.
(X/371-372)
P.R.W.C.T.

LOT 2
KIRK ACRES
(2003078950)
O.P.R.W.C.T.
(X/371-372)
P.R.W.C.T.

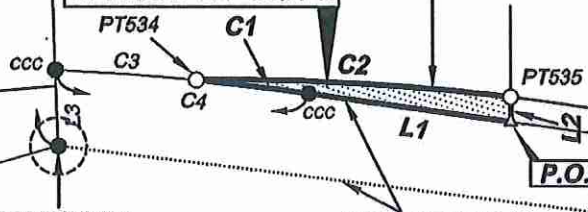
PARCEL 18
0.008 ACRES
APPROX. 377 SQ. FT.

PROPOSED
R.O.W. LINE

50' B.L. (675/644)
D.R.W.C.T.



PROPOSED
R.O.W. LINE



SEE DETAIL "B"

R.O.W. DEDICATED
(2003078950)
(X/371-372)

COUNTY ROAD 258
(R.O.W. WIDTH VARIES)

ROBERT V. PHILLIPS AND DORETHA B. PHILLIPS
8.61 ACRES DESCRIBED IN 1456/153
(2001071141)
O.P.W.C.T.



Charles Walker 11.26.14

LOT 4
THE CRAIGEN ADDITION
(2001054055)
(U/372-373)

PROPOSED
R.O.W. LINE

THIS SURVEY WAS PERFORMED WITHOUT
BENEFIT OF A TITLE COMMITMENT AND NO
TITLE SEARCH WAS PERFORMED BY THE
SURVEYOR. THERE MAY BE EASEMENTS OR
OTHER INSTRUMENTS PERTAINING TO THIS
PROPERTY THAT ARE NOT SHOWN HEREON.

DRAWING NO.: 075029-PARCEL 18
PAGE 4 OF 4

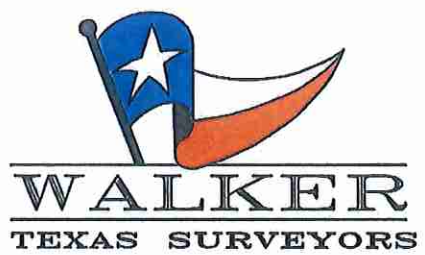
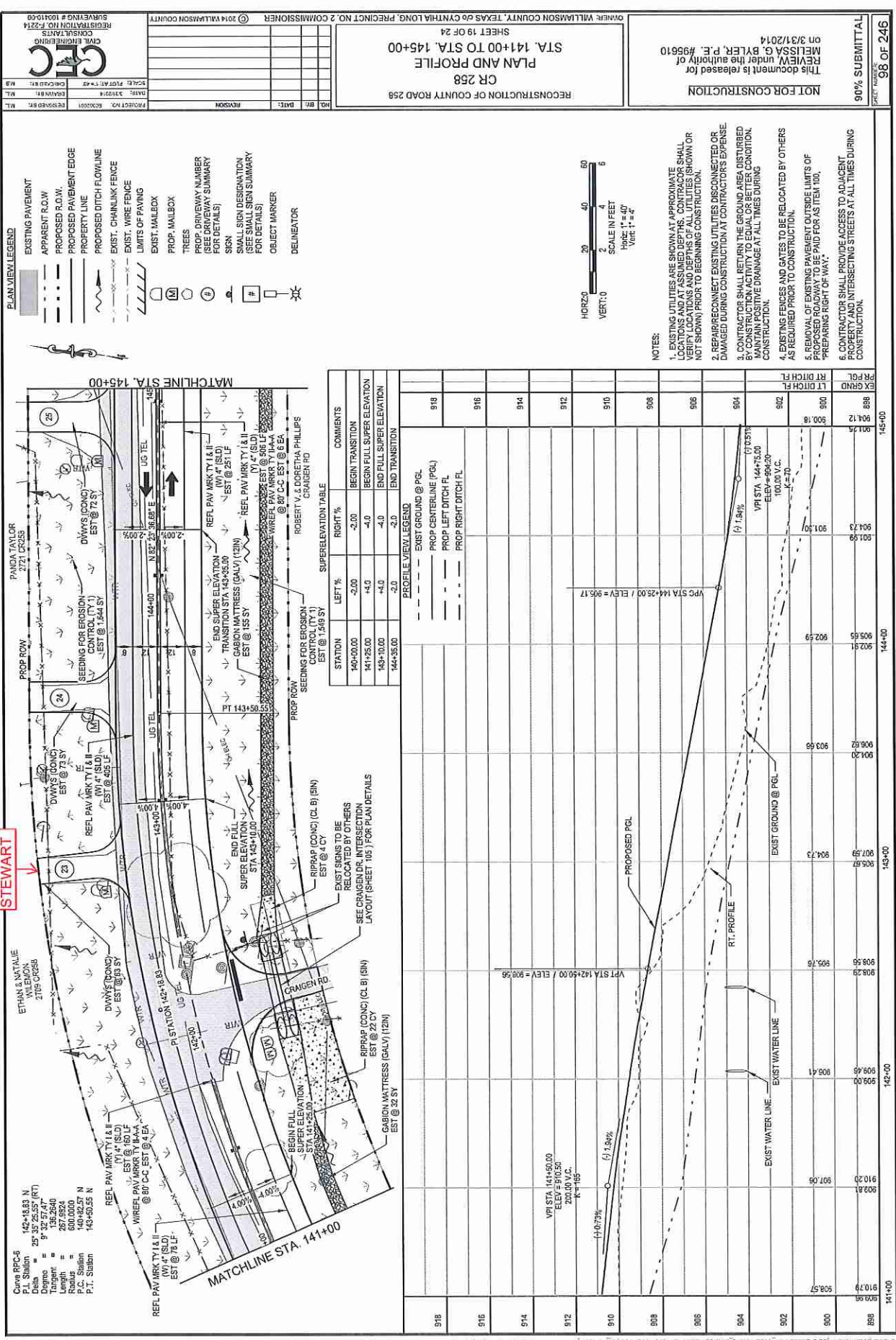


EXHIBIT "B" TO CONTRACT



- PLAN VIEW LEGEND**
- EXISTING PAVEMENT
 - APPARENT R.O.W.
 - PROPOSED PAVEMENT EDGE
 - PROPERTY LINE
 - PROPOSED DITCH FLOWLINE
 - EXIST. CHAINLINK FENCE
 - LIMITS OF PAVING
 - EXIST. WIRE FENCE
 - EXIST. MALEOX
 - PROP. MALEOX
 - TREES
 - PROP. DRIVEWAY NUMBER (SEE DRIVEWAY SUMMARY FOR DETAILS)
 - SIGN
 - SMALL SIGN DESIGNATION (SEE SMALL SIGN SUMMARY FOR DETAILS)
 - OBJECT MARKER
 - DELMINATOR



- NOTES:**
- EXISTING UTILITIES ARE SHOWN AT APPROXIMATE LOCATIONS AND AT ASSUMED DEPTHS. CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES (SHOWN OR NOT SHOWN) PRIOR TO BEGINNING CONSTRUCTION.
 - REPAIR/CONNECT EXISTING UTILITIES DISCONNECTED OR DAMAGED DURING CONSTRUCTION AT CONTRACTOR'S EXPENSE.
 - CONTRACTOR SHALL RETURN THE GROUND AREA DISTURBED BY CONSTRUCTION ACTIVITY TO EQUAL OR BETTER CONDITION. MAINTAIN POSITIVE DRAINAGE AT ALL TIMES DURING CONSTRUCTION.
 - EXISTING FENCES AND GATES TO BE RELOCATED BY OTHERS AS REQUIRED PRIOR TO CONSTRUCTION.
 - REMOVAL OF EXISTING PAVEMENT OUTSIDE LIMITS OF PROPOSED ROADWAY TO BE PAID FOR AS ITEM 100, "PREPARING RIGHT OF WAY".
 - CONTRACTOR SHALL PROVIDE ACCESS TO ADJACENT PROPERTY AND INTERSECTING STREETS AT ALL TIMES DURING CONSTRUCTION.



CIVIL ENGINEERING
REGISTERED PROFESSIONAL ENGINEER
STATE OF TEXAS
NO. 12211

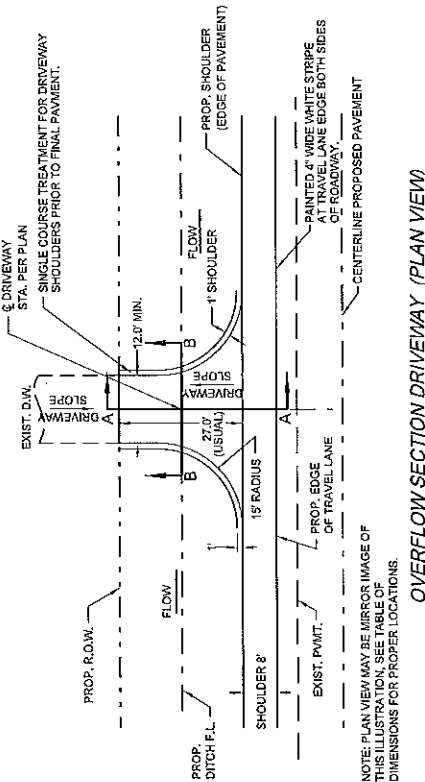
NO.	REV.	DATE	DESCRIPTION

RECONSTRUCTION OF COUNTY ROAD 268
MISCELLANEOUS ROADWAY
AND DRIVEWAY DETAILS

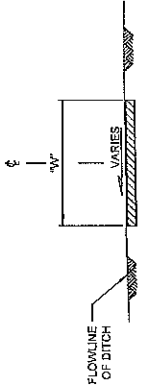
SHEET 2 OF 3
OWNER: WILLIAMSON COUNTY, TEXAS
CENHIA LONG, PRECINCT NO. 2 COMMISSIONER
© 2014 WILLIAMSON COUNTY

NOT FOR CONSTRUCTION
REVIEW under the authority of
MEISSA G. BYLER, P.E. #95610
on 3/31/2014

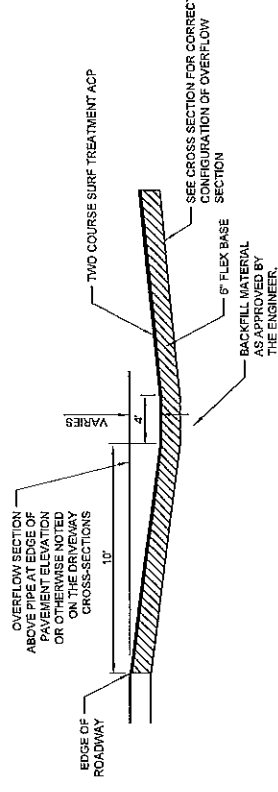
90% SUBMITTAL
SHEET NUMBER: 111 OF 246



OVERFLOW SECTION DRIVEWAY (PLAN VIEW)
N.T.S.



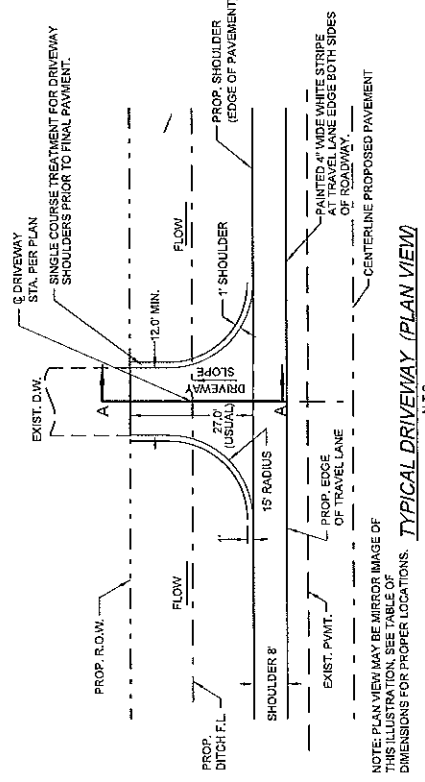
TYPICAL SECTION "B-B"
N.T.S.



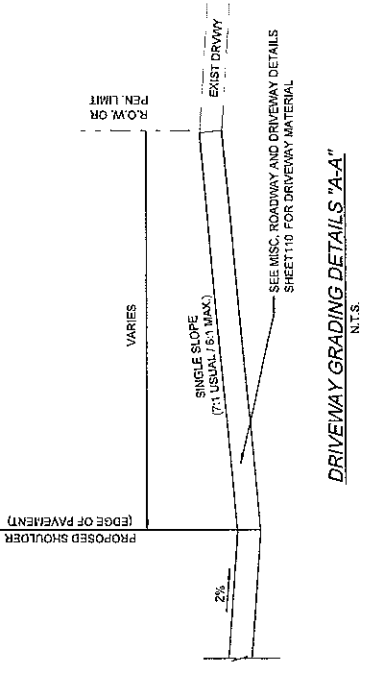
OVERFLOW SECTION PROFILE "A-A"
N.T.S.

NOTE: SEE CROSS-SECTIONS FOR LOCATIONS OF CENTERLINE WHITE STRIPE AND DRIVEWAY NOT A PART ITEM; SUBSIDIARY TO DRIVEWAY CONSTRUCTION.

DRIVEWAY TYPE III



TYPICAL DRIVEWAY (PLAN VIEW)
N.T.S.



DRIVEWAY GRADING DETAILS "A-A"
N.T.S.

DRIVEWAY TYPE II

Note: Mailbox installations in sidewalk or on standard PEB-05 for pedestrian facilities.

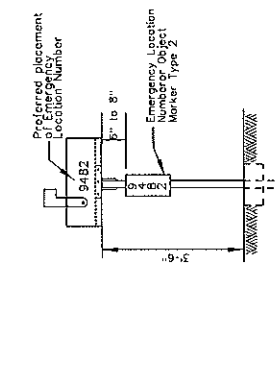
Note: Mailbox shall be made of light weight sheet metal or plastic. The use of iron or galvanized materials shall not be used on the state highway system.

TYPICAL MAILBOX SIZE		LIGHT WEIGHT MATERIAL	
SIZE	LENGTH INCHES	HEIGHT INCHES	SHEET METAL * PLASTIC MAXIMUM WEIGHT POUNDS
SMALL	19 1/2	7	5
MEDIUM	22 1/2	8	7
LARGE	23 1/2	11 1/2	10

* Maximum allowed dimensions for mailbox
 ** Existing Mailbox Plastic on 4 x 4 Post

MAILBOX SIZES

Note: Mailbox installations in sidewalk or on standard PEB-05 for pedestrian facilities.

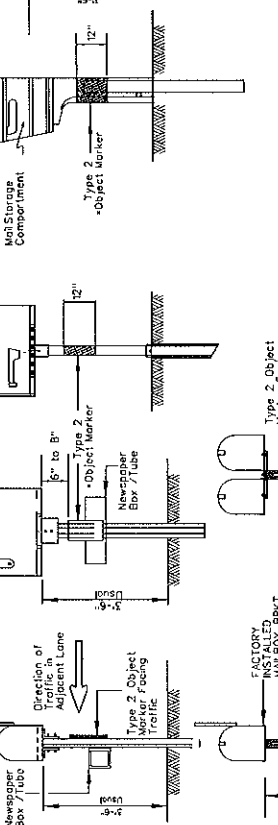


EMERGENCY LOCATION MARKER

Location Number shall be placed on a yellow, black or blue background. The color of the numbers shall be black or white. The color of the background shall be black, white, green or blue. The object marker, other contrasting color configuration, as approved, may be used. (Use white type place on approved background.) Recommended sign size is 6" by 12".

NOTE: ALL WELDS 1/2" AROUND ALL JOINTS. POWDERCOAT WHITE.

Note: Mailbox installations in sidewalk or on standard PEB-05 for pedestrian facilities.



SINGLE AND DOUBLE MAILBOX MOUNT FOR SUPPORT/FOUNDATION

DETAILS SEE SHEET 3 OF 4

* Type 2 object marker in accordance with Traffic Engineering Standard Detectors & Object Markers with 12" Conformable Reflective Sheeting in accordance with DMS B300 for tubular post meeting or 5 each of 3" x 4" Conformable Reflective Sheeting tabs (DHT 185382) or each of 3" x 12" Reflective Sheeting.

Factory Installed Mailbox Bracket. Type 2 Object Facing Traffic. 2-1/4" x 12" GALVANIZED STEEL OR GALVANIZED STEEL COATED PIPE. DHT 184116.

ANCHOR. 2-1/4" x 12" GALVANIZED STEEL OR GALVANIZED STEEL COATED PIPE. DHT 184116.

FOR SUPPORT/FOUNDATION DETAILS SEE SHEET 3 OF 4.

Note: Mailbox installations in sidewalk or on standard PEB-05 for pedestrian facilities.



DOUBLE AND MULTIPLE MAILBOX MOUNT FOR SUPPORT/FOUNDATION

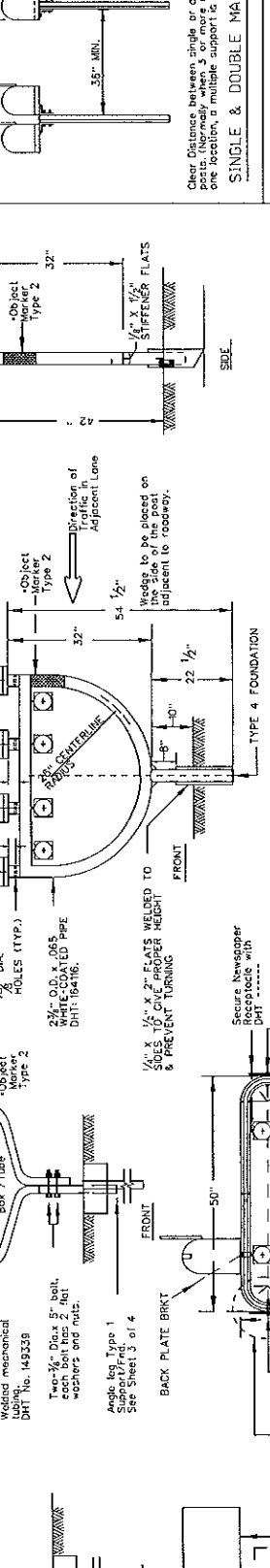
DETAILS SEE SHEET 3 OF 4

Note: Mailbox installations in sidewalk or on standard PEB-05 for pedestrian facilities.

FOR SUPPORT/FOUNDATION DETAILS SEE SHEET 3 OF 4.

Note: Mailbox installations in sidewalk or on standard PEB-05 for pedestrian facilities.

Note: Mailbox shall be made of light weight sheet metal or plastic. The use of iron or galvanized materials shall not be used on the state highway system.



MULTIPLE MAILBOX PLACEMENT

Clear Distance between single or double mounted posts. (Normally, when 3 or more mailboxes are in one location, a multiple support is used.)

Single & Double Mailbox Placement

Standard Plans
 Texas Department of Transportation
 Maintenance Division
 MAILBOX MOUNTING AND SPACING
 MB-11(1)

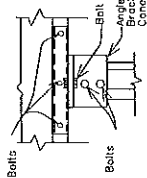
Sheet 1 of 4

REV.	DATE	BY	CHKD.	APP. (D)	DESCRIPTION
1	01/20/01	...	...	...	...

07/27/01 Revised to show...
 10/12/01 Added note to show...
 07/27/01 Added note to show...
 07/27/01 Added note to show...
 07/27/01 Added note to show...

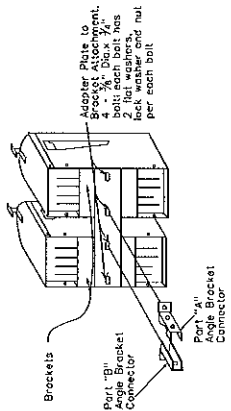
INDEX OF MAILBOX DETAIL SHEETS

1 of 4	MAILBOX MOUNTING AND SPACING
2 of 4	MAILBOX BRACKET CONNECTING DETAILS
3 of 4	MAILBOX SUPPORT / FOUNDATION
4 of 4	TABLE OF DHT NUMBERS



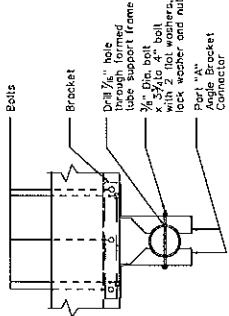
For bolt sizes see details below for "SMALL MAILBOX" and "LARGE MAILBOXES"

SINGLE MAILBOX CONNECTION

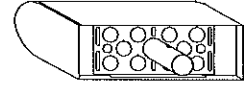


DOUBLE MAILBOX CONNECTION

(Not permitted for Large Mailboxes)

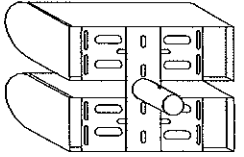


MULTIPLE MAILBOX CONNECTION



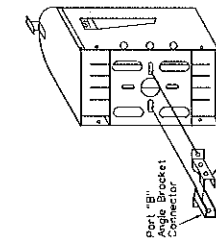
WELDED SINGLE MAILBOX BRACKET CONNECTION

To be used with 2 1/2" OD RR or thinwall Steel posts.



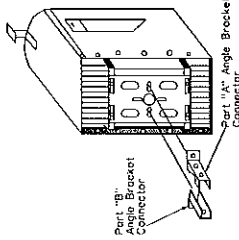
WELDED DOUBLE MAILBOX BRACKET CONNECTION WITH ADAPTER PLATE

To be used with thinwall Steel posts. Not to be used with RR posts.

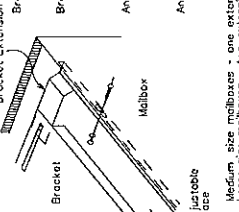


Bracket to mailbox attachment: 6 1/4" Dia. x 1/2" bolt with flat washers and nut per each bolt. 2 3/4" Dia. x 1/2" bolt with flat washers, lock washer and nut per each bolt.

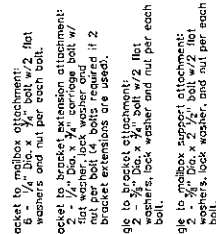
SMALL MAILBOX



Use both Parts "a" and "b" for Winged Channel Posts

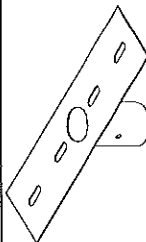


Medium size mailboxes - one extension bracket. Large size mailboxes - two extension brackets.



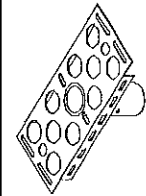
GENERAL NOTES

1. Connecting hardware details on this sheet is for the hardware that the Department stocks on the Regional Warehouses. This hardware is available to the contractor only when so stated elsewhere in the plans or specifications.
2. Hardware for mounting mailboxes to the support/foundation shall be in accordance with the "Approved Products List" of the Maintenance Division "Approved Products List." Only mailbox hardware that have been crash tested in accordance with NCHRP Report 350, will be on the approved list.
3. Hardware furnished by industry shall be erected in accordance with the manufacturer's recommendation.
4. Bracket and bracket extension shall be constructed of 14 gauge galvanized steel sheet metal.
5. The angles, brackets and adapter plates shall be constructed of 12 gauge galvanized steel sheet metal.
6. Items with evidence of damage to the galvanized coating or wet storage stains (white rust) will not be accepted.



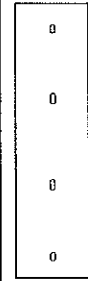
DHT 162323

For use with galvanized thinwall steel posts. DHT = 14.3426 or powder-coated thinwall steel post DHT = 162321.



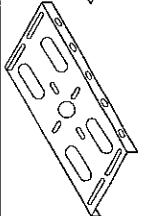
DHT 161443

For use with RCR post DHT = 161442 or thinwall steel post. DHT = 14.3426 or powder-coated thinwall steel post. DHT = 162321.



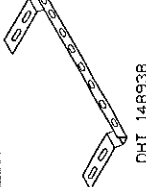
DHT = 3789

Used for mounting two Mailboxes on the same post.



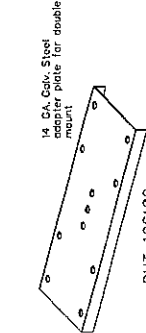
DHT 148939

Mailbox Bracket



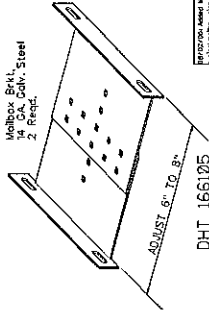
DHT 148938

Used for extending 6" wide bracket to attach larger mailboxes.



DHT 166108

14 GA. Galv. Steel adapter plate for double mount



DHT 166195

Mailbox Bracket, 14 GA. Galv. Steel

Standard Plans
Texas Department of Transportation
Maintenance Division

MAILBOX BRACKET CONNECTING DETAILS MB-11(1)

Sheet 2 of 4

REV.	DATE	BY	CHKD.	APP.	DESCRIPTION
1	08/11/00	...	...	...	...

Revisions shown herein apply to this drawing only. For all other revisions, refer to the drawing's revision log.

HARDWARE AT TxDOT REGIONAL WAREHOUSES

Brackets and adapter plates shown in this section are available at the following regional warehouses. Locations are shown in plans or specifications.

1	2	3	4	5	6	7	8	9	10	11	12
---	---	---	---	---	---	---	---	---	----	----	----

THIS DRAWING IS THE PROPERTY OF THE TEXAS ENGINEERING EXPERIMENT STATION AND IS LOANED TO YOU FOR YOUR INFORMATION ONLY. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT THE WRITTEN PERMISSION OF THE TEXAS ENGINEERING EXPERIMENT STATION.

TABLE OF DHT NUMBERS

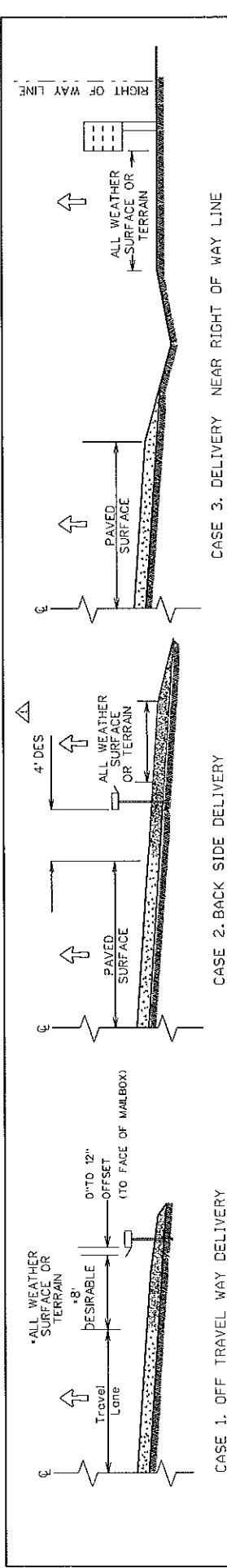
Sheet 4 of 4
MB-11(1)

NO. REVISIONS	DATE	BY	REASON FOR REVISION
1	10/10/00	...	...
2	...	...	...
3	...	...	...
4	...	...	...
5	...	...	...
6	...	...	...
7	...	...	...
8	...	...	...
9	...	...	...
10	...	...	...
11	...	...	...
12	...	...	...

DHT NUMBER	DESCRIPTION
FOUNDATIONS	
4B225	WEDGE FOR V-WING SOCKET FOR TYPE 1 FOUNDATION
4B240	N-WING SOCKET FOR TYPE 1 FOUNDATION
4B243	WEDGE FOR TYPE 2 FOUNDATION
4B244	ANCHOR FOR TYPE 2 FOUNDATION
4B245	ANCHOR FOR TYPE 7 FOUNDATION
4B246	SOCKET FOR TYPE 4 FOUNDATION
4B247	WEDGE FOR TYPE 4 FOUNDATION
4B248	WEDGE FOR TYPE 7 FOUNDATION
POSTS	
4B249	WINGED CHANNEL MAILBOX POST
4B250	MULTIPLE MAILBOX POST (GALVANIZED TUBING)
4B251	MULTIPLE MAILBOX POST (WHITE COATED)
4B252	MULTIPLE MAILBOX POST (WHITE COATED OCTAGONAL)
4B253	MULTIPLE MAILBOX POST (GALVANIZED OCTAGONAL)
4B254	RECYCLED RUBBER POST FOR SMALL MAILBOX ONLY
4B255	THIN-WALL GALVANIZED STEEL TUBE 2.375" OUTER DIAMETER
4B256	THIN-WALL WHITE STEEL TUBE 2.375" OUTER DIAMETER
4B257	SINGLE OR DOUBLE THIN-WALL MAILBOX POST GALVANIZED
4B258	2" OCTAGONAL
4B259	SINGLE OR DOUBLE THIN-WALL MAILBOX POST WHITECOATED
4B260	2" OCTAGONAL
REFLECTIVE SHEETING	
4B261	REFLECTIVE SHEETING FOR EMERGENCY LOCATION NUMBER PANEL
CONNECTING HARDWARE	
4B262	ANGLE BRACKET USED FOR TEMPORARY MAILBOX SUPPORT
4B263	BRACKET FOR SINGLE MOUNTING OF MAILBOXES (MOUNTING KIT)
4B264	PLATE FOR DOUBLE MOUNTING OF MAILBOXES
4B265	BRACKET FOR DOUBLE MOUNTING OF MAILBOXES (MOUNTING KIT)
4B266	BRACKET FOR MULTIPLE MOUNTING OF MAILBOXES (MOUNTING KIT)
4B267	BRACKET FOR ATTACHING SMALL OR MEDIUM SIZE MAIL BOX
4B268	EXTENDER TO BRACKET FOR ATTACHING LARGE MAILBOX
4B269	ANGLE BRACKET PART A
4B270	ANGLE BRACKET PART B
4B271	BRACKET FOR DOUBLE MOUNTING OF MAILBOXES ON THINWALL
4B272	STEEL POST GALVANIZED OR POWDERCOATED
4B273	BRACKET FOR ATTACHING MAILBOX TO RECYCLED RUBBER POST
4B274	AND TO MULTIPLE WHITE MAILBOX POST
4B275	CASTING (NEWSPAPER RECEIPTABLE BRACKET)
4B276	1-58011 (NEWSPAPER RECEIPTABLE BRACKET)

1	2	3	4	5	6	7	8	9	10	11	12
1	2	3	4	5	6	7	8	9	10	11	12

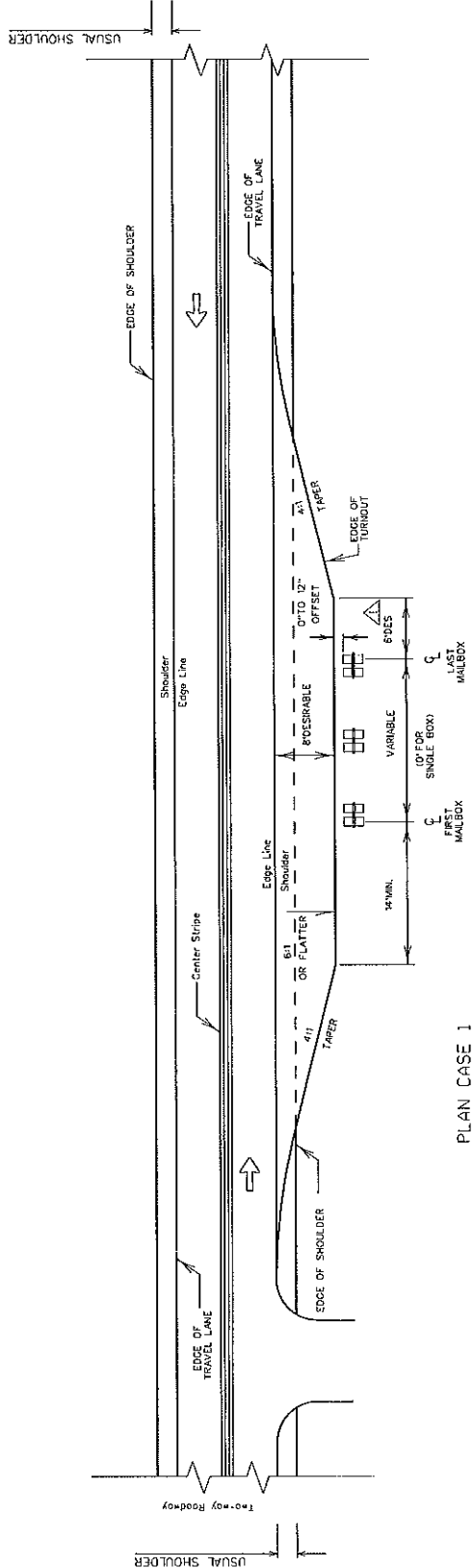
DISCLAIMER: The use of this standard is governed by the Texas Engineering Practice Act. No warranty is made by TxDOT for any purpose whatsoever. TxDOT assumes no responsibility for the consequences of the standard or other formats or for incorrect results or damages resulting from its use.



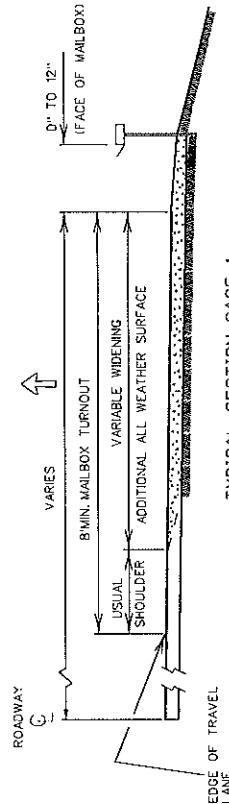
CASE 3. DELIVERY NEAR RIGHT OF WAY LINE

CASE 2. BACK SIDE DELIVERY

CASE 1. OFF TRAVEL WAY DELIVERY



PLAN CASE 1



TYPICAL SECTION CASE 1

GENERAL NOTES:

1. CASE 1 IS THE MOST COMMON METHOD.
2. TURN OUT BEHIND MAILBOX FOR CASE 2 WILL NORMALLY BE ALLOWED FOR NATURAL TERRAIN THAT WILL SERVE AS AN ALL WEATHER SURFACE.
3. ALL WEATHER DRIVEWAYS FOR CASE 3 MAILBOXES LOCATED AT THE RIGHT OF WAY LINE SHOULD NORMALLY BE PLACED IN CONJUNCTION WITH COUNTY ROADS OR OTHER CONNECTING COMMUNITY ROADS OR STREETS. IF THE NUMBER OF MAILBOXES EXCEEDS FOUR, A COMMUNITY MAIL BOX SHOULD BE ENCOURAGED AT THESE LOCATIONS.

Standard Plans
 Texas Department of Transportation
 Maintenance Division
 Guidelines
 MAILBOX SIDE ROAD PLACEMENT
 AND TURNOUTS
 MB-09(2)

Sheet 1 of 1

PROJECT	MB-09(2)	DATE	08/08/08
DESIGNED BY	...	CHECKED BY	...
DRAWN BY	...	DATE	...
SCALE	AS SHOWN	PROJECT NO.	...
DATE	...	DESIGNER	...
APPROVED BY	...	DATE	...

MAIL DELIVERY VEHICLE TRAVEL DIRECTION

EXHIBIT "C" TO CONTRACT

Parcel 18

DEED
County Road 258 Right of Way

THE STATE OF TEXAS

§

COUNTY OF WILLIAMSON

§

§

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OF THE FOLLOWING INFORMATION FROM THIS ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That STEVEN D. STEWART and JUDY S. STEWART, hereinafter referred to as Grantor, whether one or more, for and in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable consideration to Grantor in hand paid by Williamson County, Texas, the receipt and sufficiency of which is hereby acknowledged, and for which no lien is retained, either expressed or implied, have this day Sold and by these presents do Grant, Bargain, Sell and Convey unto WILLIAMSON COUNTY, TEXAS, all that certain tract or parcel of land lying and being situated in the County of Williamson, State of Texas, along with any improvements thereon, being more particularly described as follows:

All of that certain 0.008 acre (approximately 377 Sq. Ft.) in the B. Manlove Survey, Abstract No. 417, Williamson County; being more fully described by metes and bounds in Exhibit "A", attached hereto and incorporated herein (**Parcel 18**)

SAVE AND EXCEPT, HOWEVER, it is expressly understood and agreed that Grantor is retaining title to the following improvements located on the property described in said Exhibit "A" to wit: NONE

RESERVATIONS FROM AND EXCEPTIONS TO CONVEYANCE AND WARRANTY:

Visible and apparent easements not appearing of record;

Any discrepancies, conflicts, or shortages in area or boundary lines or any encroachments or any overlapping of improvements which a current survey would show;

Easements, restrictions, reservations, covenants, conditions, oil and gas leases, mineral severances, and encumbrances for taxes and assessments (other than liens and conveyances) presently of record in the Official Public Records of Williamson County, Texas, that affect the property, but only to the extent that said items are still valid and in force and effect at this time.

Grantor reserves all of the oil, gas and other minerals in and under the land herein conveyed but waives all rights of ingress and egress to the surface thereof for the purpose of exploring, developing, mining or drilling or pumping the same; provided, however, that operations for exploration or recovery of any such minerals shall be permissible so long as all surface operations in connection therewith are located at a point outside the acquired parcel and upon the condition that none of such operations shall be conducted so near the surface of said land as to interfere with the intended use thereof or in any way interfere with, jeopardize, or endanger the facilities of Williamson County, Texas or create a hazard to the public users thereof; it being intended, however, that nothing in this reservation shall affect the title and the rights of Grantee to take and use without additional compensation any, stone, earth, gravel, caliche, iron ore, gravel or any other road building material upon, in and under said land for the construction and maintenance of CR 258, but shall not be used or exported from the Property for any other purpose.

TO HAVE AND TO HOLD the property herein described and herein conveyed together with all and singular the rights and appurtenances thereto in any wise belonging unto Williamson County, Texas and its assigns forever; and Grantor does hereby bind itself, its heirs, executors, administrators, successors and assigns to Warrant and Forever Defend all and singular the said premises herein conveyed unto Williamson County, Texas and its assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof.

This deed is being delivered in lieu of condemnation.

IN WITNESS WHEREOF, this instrument is executed on this the ____ day of _____, 2015.

GRANTOR:

Steven D. Stewart

Judy S. Stewart

PREPARED IN THE OFFICE OF:

Sheets & Crossfield, P.C.
309 East Main
Round Rock, Texas 78664

GRANTEE'S MAILING ADDRESS:

Williamson County, Texas
Attn: County Judge
710 Main Street, Suite 101
Georgetown, Texas 78626

AFTER RECORDING RETURN TO: