



**SECOND AMENDED AND RESTATED CONTRACT
FOR CONSTRUCTION
(Cooperative Purchasing – Omnia – Contract Number R200107)**

PROJECT: **Jail Magistrate Court, Elevator, and Chiller Additions
("Project")**

GENERAL CONTRACTOR: **J. T. Vaughn Construction, LLC ("GC")**
Doug Boram, Senior Project Manager
6604 N. Lamar
Austin, TX 78752

ARCHITECT/ ENGINEER: **Talex, Inc. ("A/E")**
Thomas R. Alexander, P.E.
763 Tumbleweed Tr
Lockhart, TX 78644

**COUNTY'S DESIGNATED
REPRESENTATIVE:** **Williamson County Facilities Management**
Attn: Director of Facilities
3101 SE Inner Loop
Georgetown, Texas 78641 / 78626

THIS SECOND AMENDED AND RESTATED CONTRACT FOR GENERAL CONSTRUCTION ("Second Amended Contract") is made and entered into effective as of the latest date of the signatories indicated at the conclusion of this document (the "Effective Date"), by and between **Williamson County**, a body corporate and politic under the laws of the State of Texas ("County") and GC.

RECITALS

WHEREAS, County desires to retain a GC for the **renovation of the magistrate court and supporting spaces, plus the addition of a new elevator and new chiller at the Williamson County Jail** (hereinafter called the "Project");

WHEREAS, County and GC desire to amend and restate that original **Contract for Construction** ("Original Contract") being dated effective **August 31, 2021** and the **First Amended and Restated Contract for General Construction** ("Amended Contract") being dated effective **October 11, 2022**, wherein GC agreed to render, diligently and competently in accordance with the highest standards used in the profession, all general contractor services which shall be necessary or advisable for the expeditious, economical, and satisfactory completion of the Project;

NOW, THEREFORE, County and GC, in consideration of the mutual undertakings herein contained, do mutually agree as follows:

ARTICLE 1 SCOPE OF WORK

GC has overall responsibility for and shall provide complete construction services and furnish all materials, equipment, tools and labor as necessary or reasonably inferable to complete the Work, or any phase of the Work, in accordance with the Specifications and Drawings for the Project and County's requirements. The Specifications and Drawings were prepared for County by A/E. GC shall do everything required by the Contract Documents.

ARTICLE 2 GENERAL PROVISIONS

2.1 CONTRACT DOCUMENTS

2.1.1

The Contract Documents consist of this Second Amended Contract and all exhibits and attachments listed, contained, or referenced in this Second Amended Contract, the Williamson County Uniform General Conditions ("UGC's"), Supplementary or other Conditions, if any, the Drawings, Specifications, Addenda issued prior to the Effective Date of this Second Amended Contract, The Bid/Proposal Documents as defined by the Invitation for Bidders/Request for Proposals, and all Change Orders and any other Modifications issued after the Effective Date of this Second Amended Contract, all of which form this Second Amended Contract and are as fully a part of this Second Amended Contract as if attached to this Second Amended Contract.

2.1.2

This Second Amended Contract represents the entire and integrated agreement between the Parties hereto and supersedes prior negotiations, representations, or agreements, either written or oral. If anything in the other Contract Documents, other than a Modification, is inconsistent with this Second Amended Contract, this Second Amended Contract shall govern. To the extent of any direct conflict or inconsistency between any of the Contract Documents, GC shall immediately notify County and seek clarification from A/E and County.

2.1.3

The term "GC" shall be interchangeable with the terms "Proposer," "Bidder," "Respondent," "Contractor," and "General Contractor" or other similar terms as appropriate in the Contract Documents.

2.2 RELATIONSHIP OF THE PARTIES

GC accepts the relationship of trust and confidence established by this Second Amended Contract and shall cooperate with A/E and County and exercise GC's skill and judgment in furthering the interests of County; to furnish efficient construction administration, management services and

supervision; to furnish at all times an adequate supply of workers and materials; and to perform the Work in an expeditious and economical manner consistent with County's interests.

2.3 GENERAL CONDITIONS

2.3.1

The term "Contractor" as used herein or in the UGCs shall mean GC.

2.3.2

The term "Owner" as used herein or in the UGCs shall mean County.

2.3.3

The term "Architect" as used herein or in the UGCs shall mean A/E.

ARTICLE 3 CONTRACT TIME

3.1

County shall provide a Notice to Proceed in which a date for commencement of the Work shall be started. GC shall achieve Substantial Completion for all aspects of the Work, not including elevator delivery and installation, within **One Hundred Twenty Days (120) calendar days** after the Notice to Proceed commencement date. For all Work relating the elevator, GC shall achieve Substantial Completion of the elevator Work within **Three Hundred Sixty Five (365) calendar days** after the Notice to Proceed commencement date. Such Substantial Completion dates may be extended by approved Change Orders. Unless otherwise specified in writing, GC shall achieve Final Completion for all aspects of the Work, not including elevator delivery and installation, within **thirty (30) calendar days** of Substantial Completion of all aspects of the Work that is not related to the elevator delivery and installation. Unless otherwise specified in writing, GC shall achieve Final Completion for all Work relating the elevator within **thirty (30) calendar days** of Substantial Completion of the Work relating the elevator. The time set forth for completion of the work is an essential element of the Second Amended Contract.

3.2 LIQUIDATED DAMAGES

GC acknowledges and recognizes that County is entitled to full and beneficial occupancy and use of the completed Work following expiration of the Contract Time and that County has entered into, or will enter into, binding agreements upon GC's achieving Substantial Completion of the Work within the Contract Time. GC further acknowledges and agrees that if GC fails to complete substantially or cause the Substantial Completion of any Phase of the Work within the Contract Time, County will sustain extensive damages and serious loss as a result of such failure. In the cases of missed scheduled events, which incur exact losses of revenue and exact expenses for fees and other cancellation costs, GC shall be responsible for the exact amount of damages sustained by County. In other cases, the exact amount of such damages will be extremely difficult to ascertain. Therefore, County and GC agree as set forth below:

3.2.1

Subject to the other terms and conditions herein, if Substantial Completion is not achieved by the date specified above or by such date to which the Contract Time may be extended, the Contract Sum shall be reduced by **Five Hundred Dollars (\$ 500) per calendar day** as liquidated damages and not as a penalty, until the date of Substantial Completion. Force majeure shall apply relative to both rain/snow delays (acts of nature) and/or supply delays over which GC has no control, and such force majeure delays shall not be subject to such reduction of the Contract Sum.

3.2.2

County may deduct liquidated damages described herein from any unpaid amounts then or thereafter due GC under this Second Amended Contract. Any liquidated damages not so deducted from any unpaid amounts due GC shall be payable by GC to County at the demand of County, together with the interest from the date of the demand at a rate equal to the prime interest rate as published by the Wall Street Journal on the **first (1st) business day** after such amounts are demanded.

3.2.3

Notwithstanding anything to the contrary in this Second Amended Contract, if County is unable to recover any portion of liquidated damages in accordance with the terms and conditions herein because it is found to be unenforceable or invalid as a penalty or otherwise, then, County shall be entitled to recover from GC all of County's actual damages in connection with the failure by GC to achieve Substantial Completion of the Work within the Contract Time, including, without limitation, direct, indirect, or consequential damages.

ARTICLE 4 GC REPRESENTATIONS

4.1

In order to induce County to enter into this Second Amended Contract, GC makes the following representations:

4.1.1

GC has examined and carefully studied the Contract Documents and the other related data identified in the Bid/Proposal Documents.

4.1.2

GC has visited the Site and become familiar with and is satisfied as to the general, local, and Site conditions that may affect cost, progress, and performance of the Work.

4.1.3

GC is familiar with and is satisfied as to all federal, state, and local laws and regulations that may affect cost, progress, and performance of the Work.

4.1.4

GC has considered the information known to GC; information commonly known to contractors doing business in the locality of the Site; information and observations obtained from visits to the Site; the Contract Documents; and the Site-related reports and drawings identified in the Contract Documents, with respect to the effect of such information, observations, and documents on (1) the cost, progress, and performance of the Work; (2) the means, methods, techniques, sequences, and procedures of construction to be employed by GC, including any specific means, methods, techniques, sequences, and procedures of construction expressly required by the Contract Documents; and (3) GC's safety precautions and programs.

4.1.5

Based on the information and observations referred to in **Paragraph 4.1.4** above, GC does not consider that further examinations, investigations, explorations, tests, studies, or data are necessary for the performance of the Work at the Contract Sum, within the Contract Times, and in accordance with the other terms and conditions of the Contract Documents.

4.1.6

GC is aware of the general nature of work to be performed by County and others at the Site that relates to the Work as indicated in the Contract Documents.

4.1.7

GC has given A/E written notice of all conflicts, errors, ambiguities, or discrepancies that GC has discovered in the Contract Documents, and the written resolution thereof by A/E is acceptable to GC.

4.1.8

The Contract Documents are generally sufficient to indicate and convey understanding of all terms and conditions for performance and furnishing of the Work.

ARTICLE 5 THE CONTRACT SUM

5.1 Contract Sum.

County shall pay GC for completion of the Work in accordance with the Contract Documents the amount of **Three Million, One Hundred Sixty-Seven Thousand, Seven Hundred Nine Dollars (\$ 3,167,709).**¹

5.2 Contract Payments.

Method and terms of payment of the Contract Sum shall be in accordance with the Contract Documents.

¹ The Contract Sum includes those payments previously paid to the GC by County under the Original Contract in the amount of \$653,886.90.

5.3 Owner's Contingency.

County and GC acknowledge the Work has become necessary due to **concealed conditions revealed during the demolition process** that have not allowed for all plans and specifications to be fully developed. Therefore, County and GC anticipate the need for future Change Orders to be issued after **the Work commences. To provide funding for such Change Orders, a not to exceed amount of Fifty Thousand Dollars (\$ 50,000)** shall serve as the Owner's Contingency from which such changes in the Work are to be paid in accordance with the General Conditions.

5.3.1

Owner's Contingency is controlled solely by County.

5.3.2

Expenditures from the Owner's Contingency must be made by Change Order issued by County in accordance with the General Conditions.

5.3.3

Unless otherwise provided in the Contract Documents, County will not pay a mark-up for profit and overhead on any change paid out of the Owner's Contingency. GC shall not be entitled to any compensation from any unused amounts of the Owner's Contingency.

5.3.4

For purposes of **Local Government Code Section 262.031** (calculation for maximum change order cap), the Contract Sum set out in **Paragraph 5.1** above, plus the Owner's Contingency (set out in **Paragraph 5.3** above), shall serve as the original Contract price.

5.4 Allowable Overhead and Profit Markup on Changes in the Work.

In case of an increase in the Contract Sum due to a change in the Work and in accordance with **UGC 7**, the amounts GC may add to the pricing of a change for overhead and profit are as follows:

5.4.1

For Work performed directly by GC with its Own Employees: GC may add up to **fifteen percent (15%)** for Work performed directly by GC for any specific change.

5.4.2

For Managing Subcontracted Work: GC may add up to **ten percent (10%)** for managing subcontracted Work for any specific change.

Only one percentage, referenced above, shall be used for the purpose of calculating the markup for a specific change amount. For changes involving both additions and deletions, the allowed markup will be allowed only on the net addition. The allowed markup shall cover all overhead expenses and profit of any kind relating to the specific change.

ARTICLE 6 PROJECT TEAM

County's Designated Representative for purposes of this Second Amended Contract is as follows:

Williamson County Facilities Management
Attn: Director of Facilities
3101 SE Inner Loop
Georgetown, Texas 78626

County shall have the right, from time to time, to change the County's Designated Representative by giving GC written notice thereof. With respect to any action, decision, or determination which is to be taken or made by County under this Second Amended Contract, the County's Designated Representative may take such action or make such decision or determination or shall notify GC in writing of an individual responsible for, and capable of, taking such action, decision, or determination, and shall forward any communications and documentation to such individual for response or action. Actions, decisions or determinations by County's Designated Representative on behalf of County shall be done in his or her reasonable business judgment unless express standards or parameters therefor are included in this Second Amended Contract, in which case, actions taken by County's Designated Representative shall be in accordance with such express standards or parameters. Any consent, approval, decision, or determination hereunder by County's Designated Representative shall be binding on County; *provided, however*, County's Designated Representative shall not have any right to modify, amend, or terminate this Second Amended Contract or executed Contract Amendment. County's Designated Representative shall not have any authority to execute a Contract Amendment unless otherwise granted such authority by the Williamson County Commissioners Court.

GC's Designated Representative for purposes of this Second Amended Contract is as follows:

J. T. Vaughn Construction, LLC ("GC")
Doug Boram, Senior Project Manager
6604 N. Lamar
Austin, TX 78752

GC shall have the right, from time to time, to change GC's Designated Representative by giving County written notice thereof. With respect to any action, decision, or determination which is to be taken or made by GC under this Second Amended Contract, GC's Designated Representative may take such action or make such decision or determination, or shall notify County in writing of an individual responsible for and capable of taking such action, decision, or determination and shall forward any communications and documentation to such individual for response or action. Actions, decisions, or determinations by GC's Designated Representative on behalf of GC shall be done in his or her reasonable business judgment unless express standards or parameters therefor are included in this Second Amended Contract, in which case, actions taken by GC's Designated Representative shall be in accordance with such express standards or parameters. Any consent, approval, decision, or determination hereunder by GC's Designated Representative shall be binding on GC. GC's Designated Representative shall have the right to modify, amend, and execute Contract Amendments on behalf of GC.

ARTICLE 7

NOTICE

Any notice required to be given under the provisions of this Second Amended Contract shall be in writing and shall be duly served when it shall have been deposited, enclosed in a wrapper with

the proper postage prepaid thereon, and duly registered or certified, return receipt requested, in a United States Post Office, addressed to County or GC at the following addresses. If mailed, any notice or communication shall be deemed to be received **three (3) days** after the date of deposit in the United States Mail. Unless otherwise provided in this Second Amended Contract, all notices shall be delivered to the following addresses:

County: Williamson County Judge
710 Main Street, Suite 101
Georgetown, Texas 78626

With copy to: Williamson County Facilities Management
Attn: Director of Facilities
3101 SE Inner Loop
Georgetown, Texas 78641 / 78626

and to: Office of General Counsel
Williamson County Commissioners Court
401 W. 6th Street
Georgetown, Texas 78626

GC: J. T. Vaughn Construction, LLC
~~6604 N. Lamar~~ **10355 WESTPARK DR.**
~~Austin, TX 78752~~ **HOUSTON, TX 77042**

Attention: ~~Doug Boram~~ **Danny Thompson**
~~Senior Project Manager~~ **Chief Executive Officer**

Either party may designate a different address by giving the other party **ten (10) days** written notice.

ARTICLE 8 DISPUTE RESOLUTION

Any Claim or Dispute between County and GC shall be resolved in accordance with the provisions set forth in **UGC 15**.

ARTICLE 9 MISCELLANEOUS PROVISIONS

9.1 MEANING OF TERMS

Terms in this Second Amended Contract shall have the same meaning as those in the UGCs.

9.2 NO WAIVER OF IMMUNITY

Nothing herein shall be construed as a waiver of sovereign immunity by Williamson County.

9.3 GOVERNING LAW

This Second Amended Contract and all of the rights and obligations of the parties and all of the terms and conditions shall be construed, interpreted and applied in accordance with and governed by and enforced under the laws of the State of Texas without reference to its conflicts of law provisions. Williamson County shall be the sole place of venue for any legal action arising from or related to this Second Amended Contract or the Project in which County is a party.

9.4 ASSIGNMENT

County and GC, respectively, bind themselves, their agents, successors, assigns and legal representatives to this Second Amended Contract. GC shall not assign this Second Amended Contract without the written consent of County. If GC attempts to make an assignment without County's consent, GC shall nevertheless remain legally responsible for all obligations under this Second Amended Contract.

9.5 OTHER PROVISIONS

9.5.1

GC represents and warrants the following to County (in addition to any other representations and warranties contained in the Contract Documents), as an inducement to County to execute this Second Amended Contract, which representations and warranties shall survive the execution and delivery of this Second Amended Contract, any termination of this Second Amended Contract, and the final completion of the Work:

- .1 that it and its Subcontractors are financially solvent, able to pay all debts as they mature, and possessed of sufficient working capital to complete the Work and perform all obligations hereunder;
- .2 that it is able to furnish the tools, materials, supplies, equipment, and labor required to complete the Work and perform its obligations hereunder;
- .3 that it is authorized to do business in the State of Texas and properly licensed by all necessary governmental and public and quasi-public authorities having jurisdiction over it and over the Work and the project;
- .4 that its execution of this Second Amended Contract and its performance thereof is within its duly authorized powers;
- .5 that its duly authorized representative has visited the site of the Project, familiarized himself with the local and special conditions under which the Work is to be performed, and correlated its observations with the requirements of the Contract Documents; and
- .6 that it possesses a high level of experience and expertise in the business administration, construction, construction management, and superintendence of projects of the size, complexity, and nature of this particular Project, and it will perform the Work with the care, skill, and diligence of such a contractor.

ARTICLE 10

SCOPE OF SECOND AMENDED CONTRACT AND CONTRACT DOCUMENTS

10.1

This Second Amended Contract represents the entire and integrated agreement between County and GC and supersedes all prior negotiations, representations, or agreements, either written or oral. This Second Amended Contract may be amended only by written instrument signed by both County and GC.

10.2

The following documents comprise the Contract Documents:

1. This Second Amended Contract between County and GC;
2. Exhibit A – Construction Documents
3. Exhibit B – Minimum Insurance Coverages and Minimum Coverage Amounts
4. Exhibit C – Williamson County Vendor Reimbursement Policy
5. Exhibit D – Williamson County Uniform General Conditions

10.3

In the event of a dispute or conflict relating to the terms and conditions of the Contract Documents, applicable documents will be referred to for the purpose of clarification, conflict resolution or for additional detail in the following order of precedence:

1. Second Amended Contract between County and GC;
2. Special Conditions or Supplementary Conditions (if any);
3. Williamson County Uniform General Conditions;
4. all Addenda issued prior to the Effective Date of the Second Amended Contract between County and GC; and
5. The Construction Documents

ARTICLE 11

SIGNATORY WARRANTY

The undersigned signatory for GC hereby represents and warrants that the signatory is an officer of the organization for which he/she has executed this Second Amended Contract and that he/she has full and complete authority to enter into this Second Amended Contract on behalf of the Company. The above-stated representations and warranties are made for the purpose of inducing County to enter into this Second Amended Contract.

IN WITNESS WHEREOF, County has caused this Second Amended Contract to be signed in its name by its duly authorized County Judge, or presiding officer of the Williamson County Commissioners Court in the absence of the County Judge, thereby binding the parties hereto, their successors, assigns, and representatives for the faithful and full performance of the terms and provisions hereof. NO OFFICIAL, EMPLOYEE, AGENT, OR REPRESENTATIVE OF THE COUNTY HAS ANY AUTHORITY, EITHER EXPRESS OR IMPLIED, TO AMEND, TERMINATE, OR MODIFY THIS SECOND AMENDED CONTRACT, EXCEPT PURSUANT TO SUCH EXPRESS AUTHORITY AS MAY BE GRANTED BY THE WILLIAMSON COUNTY COMMISSIONERS COURT.

11/1/2023
Jail Magistrate Court/ Elevator/ Chiller

GC:

J. T. Vaughn Construction, LLC

By: 
Signature

Printed Name Danny Thompson
Chief Executive Officer

Title

Date Signed: 11/01/2023

COUNTY:

Williamson County, Texas

By: _____
Signature

Printed Name

Title

Date Signed: _____

EXHIBIT A
DESIGN DOCUMENTS

Attach Design Documents below:

WILLIAMSON COUNTY
JAIL RENOVATIONS
306 W. 4TH ST.
GEORGETOWN, TX 78626

SHEET INDEX

GENERAL

- G-100 - COVER SHEET
- G-101 - ADA STANDARDS
- G-102 - ADA STANDARDS
- G-103 - ADA STANDARDS
- G-104 - ADA STANDARDS

ARCHITECTURE

- A-001 - GENERAL ABBREVIATIONS AND NOTES
- A-002 - SPECIFICATIONS
- A-110 - FLOOR PLAN - DEMOLITION
- A-111 - FLOOR PLAN - PROPOSED
- A-112 - FLOOR PLAN - PROPOSED ENLARGED
- A-120 - REFLECTED CEILING PLANS
- A-401 - INTERIOR ELEVATIONS
- A-501 - PROJECT DETAILS
- A-510 - PROJECT DETAILS
- A-530 - DOOR DETAILS
- A-540 - WINDOW DETAILS
- A-601 - DOOR SCHEDULE AND WINDOW TYPES
- A-610 - FINISH SCHEDULE
- A-701 - MILLWORK

MEP

- M0.1N - MECHANICAL PLAN 1st FLOOR - DEMO
- M1.1N - MECHANICAL PLAN 1st FLOOR - PROPOSED
- M5.1 - MECHANICAL DETAILS
- M5.2 - MECHANICAL DETAILS
- M5.3 - MECHANICAL DETAILS
- M6.1 - MECHANICAL SCHEDULES
- E0.1N - ELECTRICAL PLAN 1st FLOOR - DEMO
- E1.1N - LIGHTING PLAN 1st FLOOR - PROPOSED
- E2.1N - ELECTRICAL PLAN 1st FLOOR - PROPOSED
- P0.1N - PLUMBING PLAN 1st FLOOR - DEMO
- P1.1N - PLUMBING PLAN 1st FLOOR - PROPOSED
- P6.1 - PLUMBING SCHEDULES

SECURITY & FIRE ALARM

- F1.1N - FIRE SAFETY PLAN 1st FLOOR - DEMO & PROPOSED
- S1.1N - SECURITY PLAN 1st FLOOR - DEMO & PROPOSED

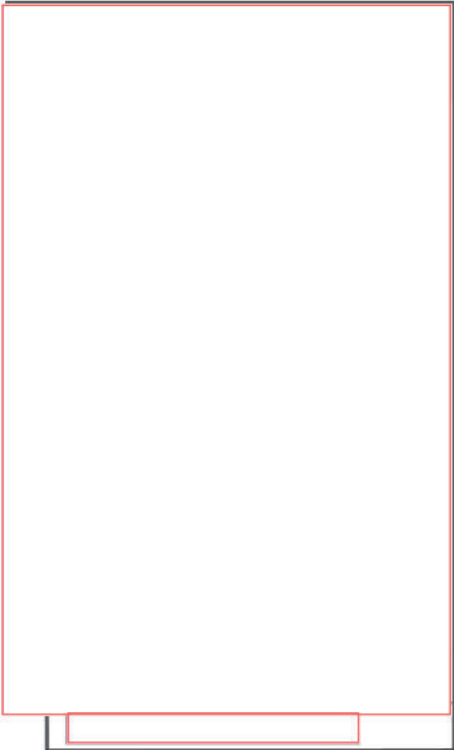
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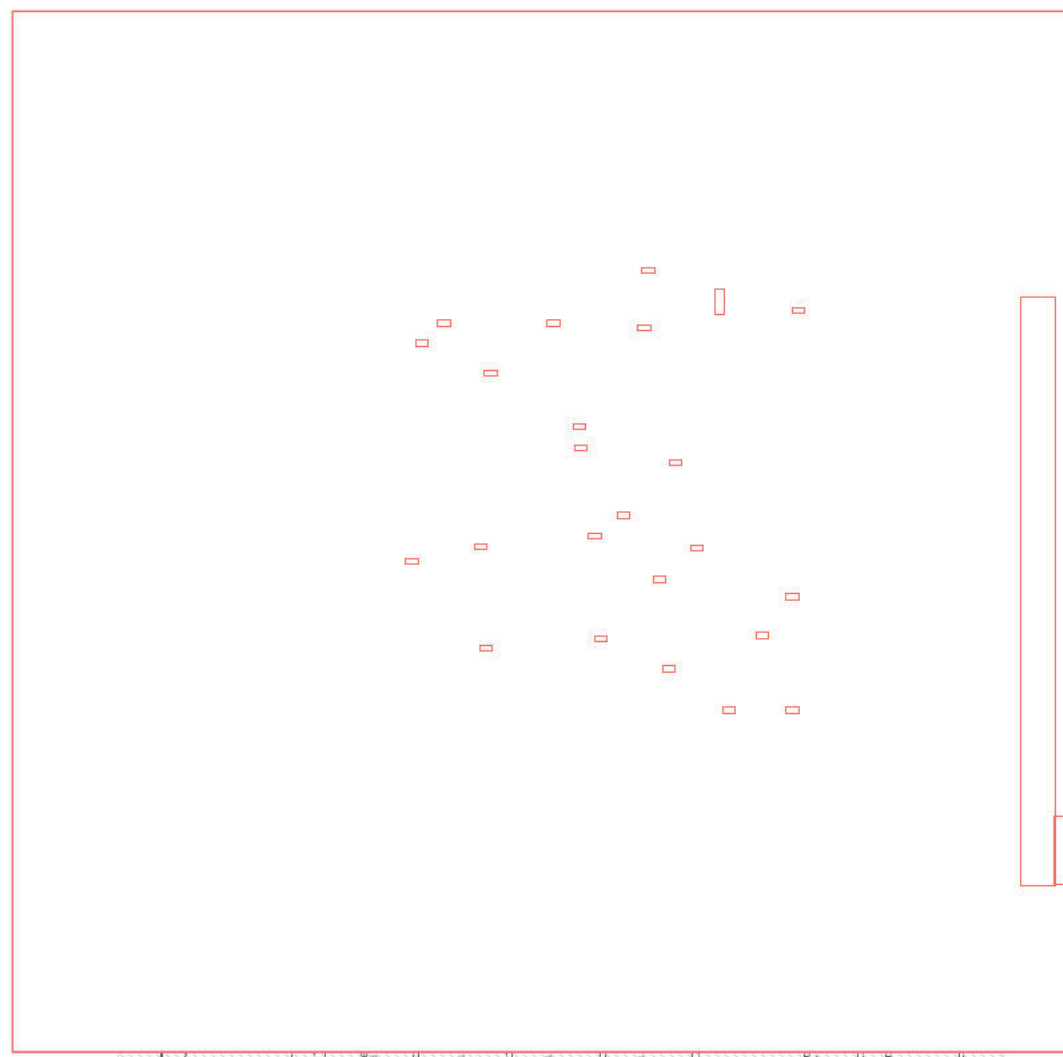
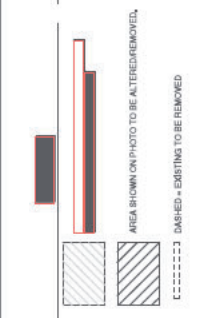
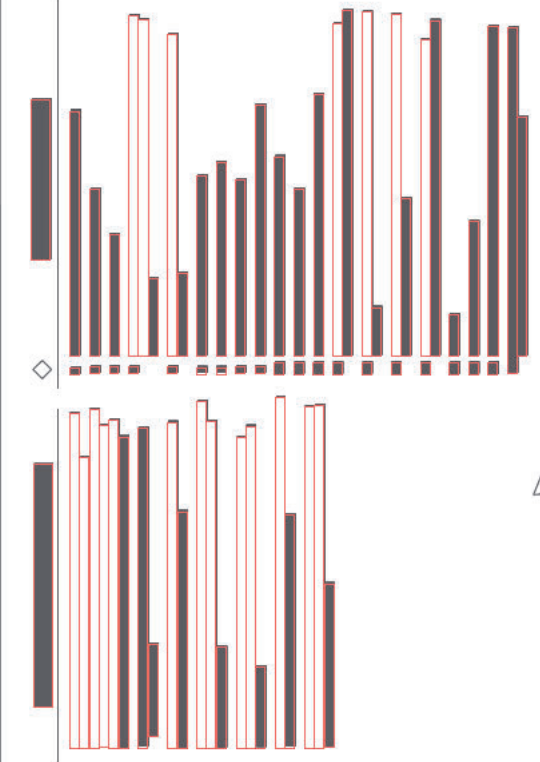


PRIME A/E & MEP FIRM



ARCHITECTURAL FIRM





LEGEND

- ALL SPACES IN AREA TO REMAIN UNALTERED DURING THIS CONSTRUCTION PERIOD
- EXISTING WALL TO REMAIN
- NEW STUD WALL
- NEW CMU WALL WITH FULL FINISHES AND MATCH EXIST. WALL
- GRAVELLED CELLS, WHERE NECESSARY, TO BE MATCHED TO EXIST. WALL

GENERAL NOTES

- ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY UNLESS NOTED OTHERWISE.
- ALL CONSTRUCTION TO BE IN COMPLIANCE WITH THE LATEST EDITION OF THE TEXAS DEPARTMENT OF LICENSING AND REGULATION ARCHITECTURAL BARBERS. ANY CONSTRUCTION CONTRARY TO THESE STANDARDS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
- STUDS TO BE 16" METAL U/LG, ONLY TO BE 16" U/LG.
- ALL IMPROVEMENTS, REMOVALS OR DAMAGES BY CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR TO MAINTAIN FIRE SYSTEM IN WORKING ORDER FOR THE DURATION OF THE PROJECT. NOTIFY OWNER.

REVISION



CP&Y
ARCHITECTS
SURVEYORS

OFFICE 254-772-8273 • 200 WEST STATE HWY. 6
SUITE 600 • WACO, TEXAS 76712

TEL: 512.451.6579
FAX: 512.451.6579





CP&Y
ARCHITECTS
SURVEYORS

OFFICE 254-772-8273 • 200 WEST STATE HWY. 6
SUITE 600 • WACO, TEXAS 76712

TEL: 512.451.6579
FAX: 512.451.6579

WILLIAMSON COUNTY
MAGISTRATE COURT
306 W. 4TH STREET
GEORGETOWN, TX 78626

PROJECT NO.	254-772-8273
DATE	08/15/2023
BY	CP&Y
CHECKED BY	CP&Y
DATE	08/15/2023

SHEET TITLE
FLOOR PLAN
NORTH JAIL
1ST FLOOR
A-111
SHEET 4 OF 14

LEGEND

- ALL SPACES IN AREA TO REMAIN
EXISTING WALL TO REMAIN
CONSTRUCTION PHASE
- EXISTING WALL TO REMAIN
- NEW STUD WALL
- NEW PARTIAL LIGHT WALL,
RE-SET 1/4" WIDE
- NEW CMU WALL, 16" FULL
GRADED CELLS WHERE
HURLING OPENINGS, MATCH
EXIST. CMU WIDTH

TRIA
Tribal Firm Inc.
P.O. Box 1000
P.O. 512,451,66379



CP&Y
ARCHITECTS
ENGINEERS
SURVEYORS
OFFICE: 354.774.0272
SUITE 400 - WACO, TEXAS 76712
300 WEST STATE HWY 8
WACO, TEXAS 76712

**WILLIAMSON COUNTY
MAGISTRATE COURT**
306 W. 4TH STREET
GEORGETOWN, TX 78626

NO. 1	NO. 2	NO. 3	NO. 4	NO. 5	NO. 6	NO. 7	NO. 8	NO. 9	NO. 10
DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE	DATE
PROJECT NO.	PROJECT NO.	PROJECT NO.	PROJECT NO.	PROJECT NO.	PROJECT NO.	PROJECT NO.	PROJECT NO.	PROJECT NO.	PROJECT NO.
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ASB CONFORMED
SET 1-24-23

SHEET TITLE
FLOOR PLAN
NORTH JAIL
1ST FLOOR

A-112
SHEET 5 OF 14



CP&H
ARCHITECTS
ENGINEERS
SURVEYORS
OFFICE 254-772-8272 • 200 WEST STATE HWY 6
SUITE 620 • WACO, TEXAS 76712

WILLIAMSON COUNTY
MAGISTRATE COURT
306 W. 4TH STREET
GEORGETOWN, TX 78626

SW-0403	AS-02 SET
SW-0403	AS-01 SET
MARK	DATE
PROJECT NO: TALX02100224	
CREW IN CH:	RAA
DESIGNED BY:	DW
CHECKED BY:	DW

SHEET TITLE
REFLECTED
CEILING PLAN

A-120

SHEET 6 of 14



ARCHITECTS
ENGINEERS
SURVEYORS

CP&Y

OFFICE 204.779.8272
SUITE 620 • WACO, TEXAS 76712

WILLIAMSON COUNTY
MAGISTRATE COURT
306 W. 4TH STREET
GEORGETOWN, TX 78626

DATE	DESCRIPTION
PROJECT NO.	11-100000
DRAWN BY	RAA
DESIGNED BY	DV
CHECKED BY	DV
ASI CONFORMED	
SET 1-24-23	
SHEET TITLE	
INTERIOR ELEVATIONS	

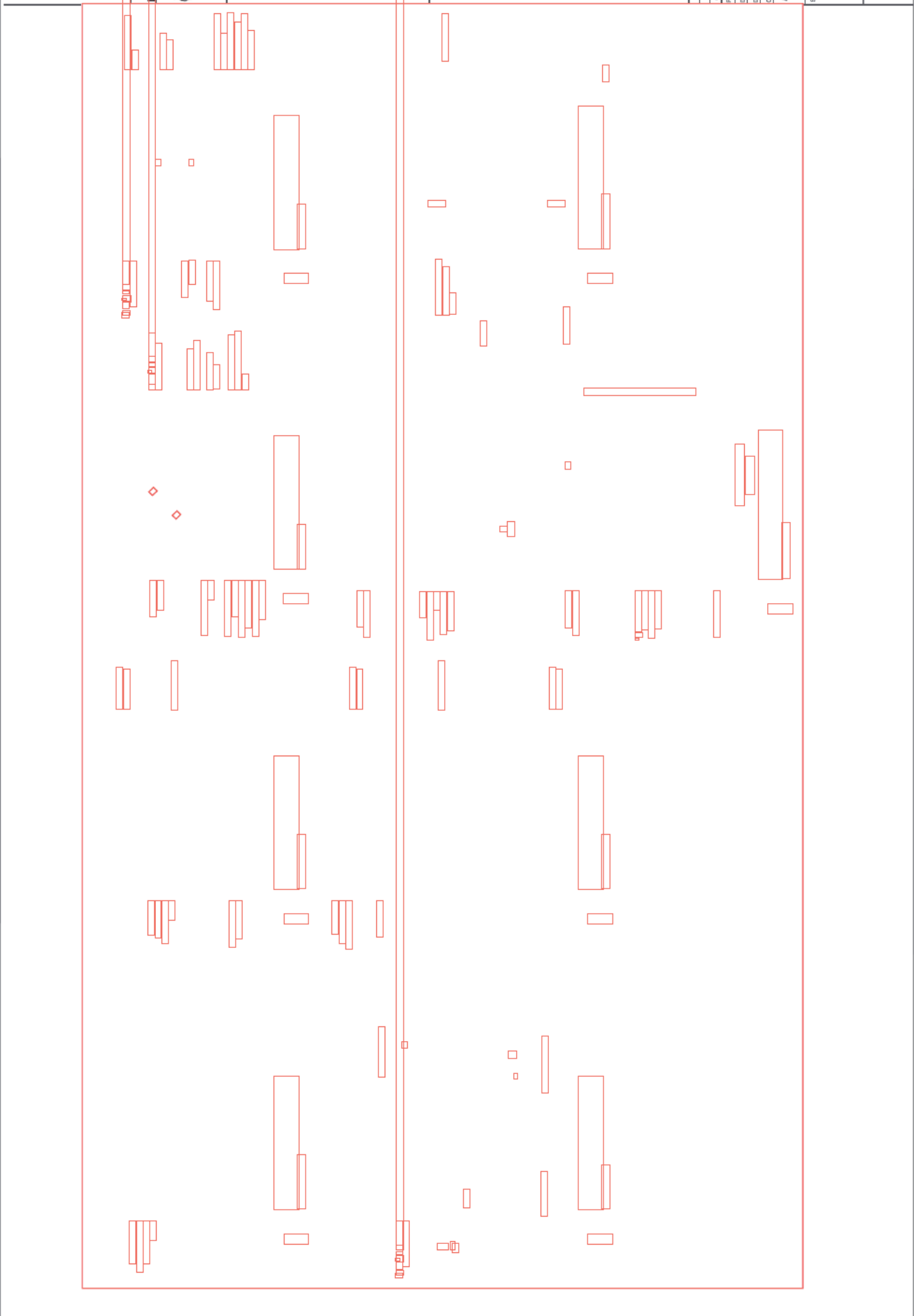
A-401
SHEET 7 of 14





REV	DATE	DESCRIPTION
1		PROJECT NO. T1A0210024
2		DRAWN BY: RAA
3		DESIGNED BY: DVI
4		CHECKED BY: DVI
ASI CONFORMED SET 1-24-23		

SHEET TITLE
PROJECT
DETAILS





THESE PLANS WERE PREPARED BY THE ENGINEER OR ARCHITECT AND ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ENGINEER OR ARCHITECT.



ARCHITECTS
ENGINEERS
SURVEYORS



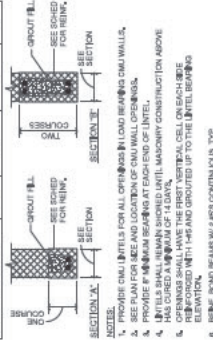
OFFICE: 200 W. 4TH STREET
SUITE 200
GEORGETOWN, TX 78626
PHONE: 512.451.5879
FAX: 512.451.5879

WILLIAMSON COUNTY
MAGISTRATE COURT
306 W. 4TH STREET
GEORGETOWN, TX 78626

PROJECT NO.	11-24-23
PROJECT NAME	WALL BRACING
DRAWN BY	RYA
CHECKED BY	DV
DATE	11/24/23
ASIT CONFORMED	SET 1-24-23
SHEET TITLE	PROJECT DETAILS

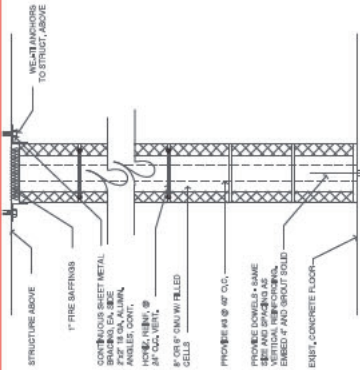
A-510
SHEET 9 OF 14

LOAD BEARING LINTEL SCHEDULE			
IMAGINARY OPENING	SPAN	SPACING	ACTION
1. 10' 0" 10' 0" 10' 0"	10' 0"	10' 0"	10' 0"
2. 10' 0" 10' 0" 10' 0"	10' 0"	10' 0"	10' 0"
3. 10' 0" 10' 0" 10' 0"	10' 0"	10' 0"	10' 0"
4. 10' 0" 10' 0" 10' 0"	10' 0"	10' 0"	10' 0"
5. 10' 0" 10' 0" 10' 0"	10' 0"	10' 0"	10' 0"
6. 10' 0" 10' 0" 10' 0"	10' 0"	10' 0"	10' 0"
7. 10' 0" 10' 0" 10' 0"	10' 0"	10' 0"	10' 0"
8. 10' 0" 10' 0" 10' 0"	10' 0"	10' 0"	10' 0"
9. 10' 0" 10' 0" 10' 0"	10' 0"	10' 0"	10' 0"
10. 10' 0" 10' 0" 10' 0"	10' 0"	10' 0"	10' 0"

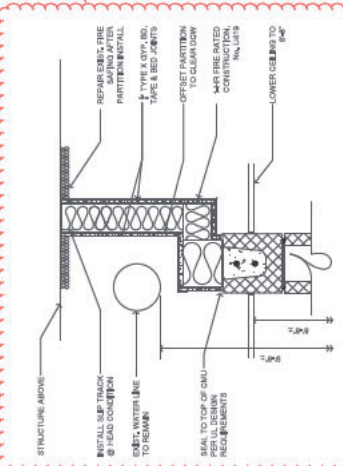


8 CMU LINTEL SCHEDULE
N.T.S.

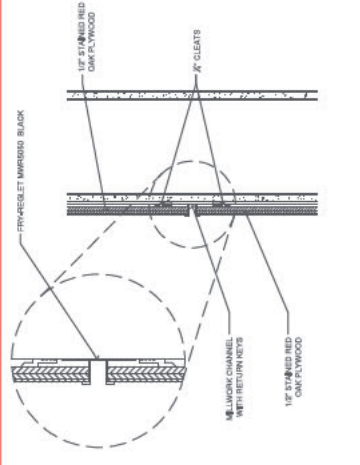
RFI #005



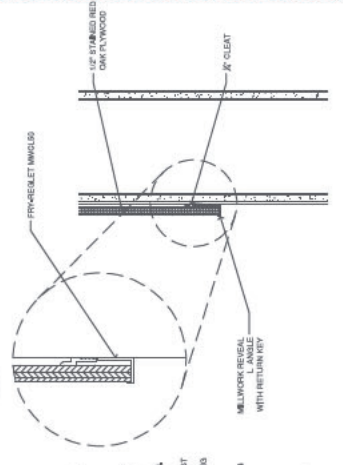
7 WALL SECTION
SCALE 1/2"=1'-0"



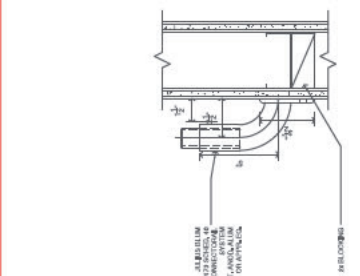
11 WALL OFFSET
SCALE 1/2"=1'-0"



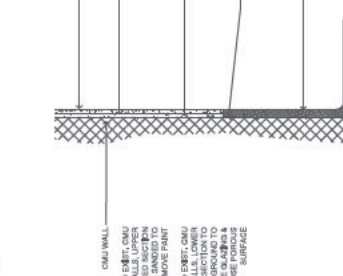
6 WALL TRIM DETAIL
SCALE N.T.S.



10 WALL TRIM DETAIL
SCALE N.T.S.

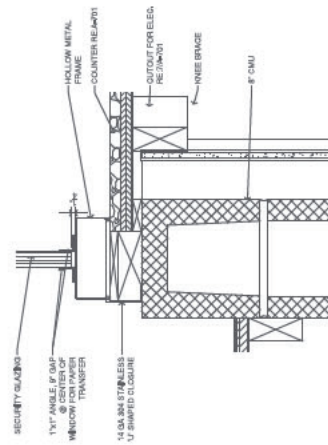


5 HANDRAIL DETAIL
SCALE 3/4"=1'-0"

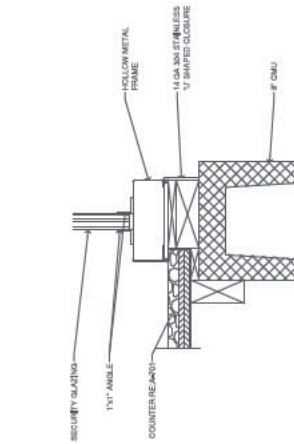


9 WALL TILE @ SHOWER
SCALE N.T.S.

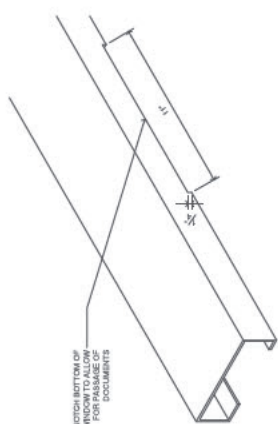
12 CFM WALL BRACING
SCALE 1/2"=1'-0"



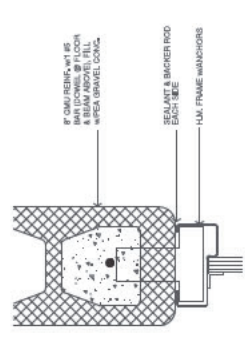
1 SILL DETAIL
SCALE: 3/4"=1'-0"



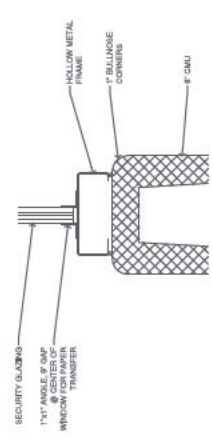
2 SILL DETAIL
SCALE: 3/4"=1'-0"



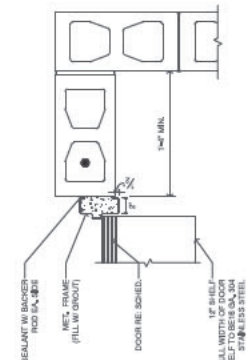
3 PASS THROUGH DETAIL
SCALE: NTS



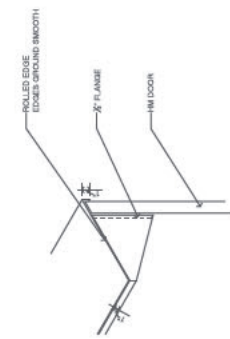
4 JAMB DETAIL
SCALE: 3/4"=1'-0"



5 SILL DETAIL
SCALE: 3/4"=1'-0"



6 DOOR DETAIL
SCALE: 1/2"=1'-0"



7 DOOR DETAIL
SCALE: NTS

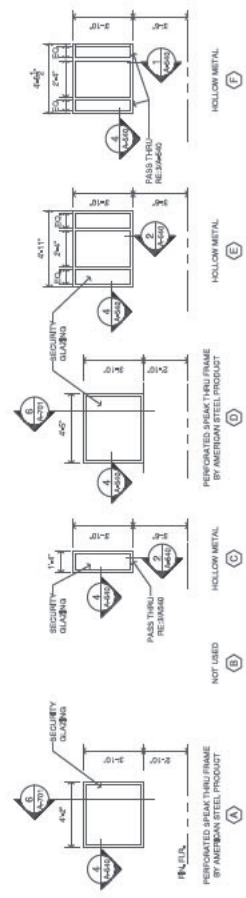
PROVIDE SHELF @ DOOR # 117



PROJECT NO. 14-0000000
SHEET 12 OF 14

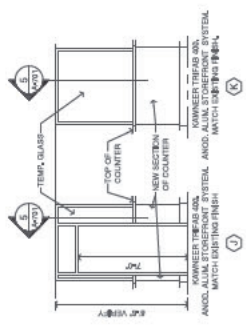
DOOR SCHEDULE									
MARK	Type	DOOR			FRAME			Rtg	REMARKS
		Matl	Hght	Thk	Matl	Hght	Thk		
101	INT/INT	1/2"	7'-2"	1 3/4"	1/2"	7'-2"	1 3/4"	1	---
102	INT/INT	1/2"	7'-2"	1 3/4"	1/2"	7'-2"	1 3/4"	1	---
103	INT/INT	1/2"	7'-2"	1 3/4"	1/2"	7'-2"	1 3/4"	1	---
104	INT/INT	1/2"	7'-2"	1 3/4"	1/2"	7'-2"	1 3/4"	1	---
105	INT/INT	1/2"	7'-2"	1 3/4"	1/2"	7'-2"	1 3/4"	1	---
106	INT/INT	1/2"	7'-2"	1 3/4"	1/2"	7'-2"	1 3/4"	1	---
107	INT/INT	1/2"	7'-2"	1 3/4"	1/2"	7'-2"	1 3/4"	1	---
108	INT/INT	1/2"	7'-2"	1 3/4"	1/2"	7'-2"	1 3/4"	1	---
109	INT/INT	1/2"	7'-2"	1 3/4"	1/2"	7'-2"	1 3/4"	1	---
110	INT/INT	1/2"	7'-2"	1 3/4"	1/2"	7'-2"	1 3/4"	1	---
111	INT/INT	1/2"	7'-2"	1 3/4"	1/2"	7'-2"	1 3/4"	1	---
112	INT/INT	1/2"	7'-2"	1 3/4"	1/2"	7'-2"	1 3/4"	1	---
113	INT/INT	1/2"	7'-2"	1 3/4"	1/2"	7'-2"	1 3/4"	1	---
114	INT/INT	1/2"	7'-2"	1 3/4"	1/2"	7'-2"	1 3/4"	1	---
115	INT/INT	1/2"	7'-2"	1 3/4"	1/2"	7'-2"	1 3/4"	1	---
116	INT/INT	1/2"	7'-2"	1 3/4"	1/2"	7'-2"	1 3/4"	1	---
117	INT/INT	1/2"	7'-2"	1 3/4"	1/2"	7'-2"	1 3/4"	1	---
118	INT/INT	1/2"	7'-2"	1 3/4"	1/2"	7'-2"	1 3/4"	1	---
119	INT/INT	1/2"	7'-2"	1 3/4"	1/2"	7'-2"	1 3/4"	1	---
120	INT/INT	1/2"	7'-2"	1 3/4"	1/2"	7'-2"	1 3/4"	1	---
121	INT/INT	1/2"	7'-2"	1 3/4"	1/2"	7'-2"	1 3/4"	1	---
122	INT/INT	1/2"	7'-2"	1 3/4"	1/2"	7'-2"	1 3/4"	1	---
123	INT/INT	1/2"	7'-2"	1 3/4"	1/2"	7'-2"	1 3/4"	1	---
124	INT/INT	1/2"	7'-2"	1 3/4"	1/2"	7'-2"	1 3/4"	1	---
125	INT/INT	1/2"	7'-2"	1 3/4"	1/2"	7'-2"	1 3/4"	1	---
126	INT/INT	1/2"	7'-2"	1 3/4"	1/2"	7'-2"	1 3/4"	1	---
127	INT/INT	1/2"	7'-2"	1 3/4"	1/2"	7'-2"	1 3/4"	1	---
128	INT/INT	1/2"	7'-2"	1 3/4"	1/2"	7'-2"	1 3/4"	1	---
129	INT/INT	1/2"	7'-2"	1 3/4"	1/2"	7'-2"	1 3/4"	1	---
130	INT/INT	1/2"	7'-2"	1 3/4"	1/2"	7'-2"	1 3/4"	1	---

- NOTE:
1. DETENTION GRADE DOOR & FRAMES
 2. DETENTION GRADE MESH DOOR & FRAMES
 3. 18 GA. HEAVY DUTY HM DOOR & FRAMES
 4. 18 GA. HEAVY DUTY HM DOOR, INTERCOM SWITCH TO CENTRAL CONTROL
 5. 18 GA. HEAVY DUTY HM DOOR, INTERCOM SWITCH TO CENTRAL CONTROL
 6. CARD READER



WINDOW TYPES

1/4" = 1'-0"



1 NOT USED

1" = 1'-0"

ROOM FINISH SCHEDULE

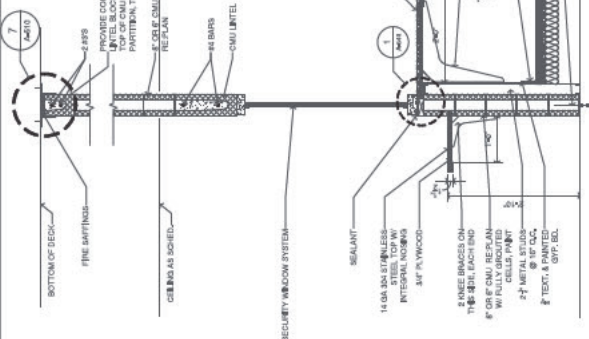
ROOM	FINISH	QTY	UNIT	NOTES
M001	BOONVILLE			
M002	COMMON			
M003	INFORMATION OFFICE			
M004	LOBBY			
M005	JUDGES RECEPTION			
M006	DEFENSE			
M007	PROSECUTION			
M008	DEFENDANT WAITING			
M009	INTERVIEW ROOM			
M010	INTERVIEW ROOM			
M011	INTERVIEW ROOM			
M012	INTERVIEW ROOM			
M013	BOONVILLE			
M014	PAVILION			
M015	WASHROOM			
M016	COMMON			
M017	PROPERTY STORAGE			
M018	RELEASE			
M019	EMPLOYEE STORAGE			
M020	RECEPTION			
M021	RECEPTION DESK			
M022	ENTRY			
M023	GRAN LOOKER			
M024	COMMON			
M025	SECURITY SCREENING			
M026	SECURITY SCREENING			

GENERAL NOTES

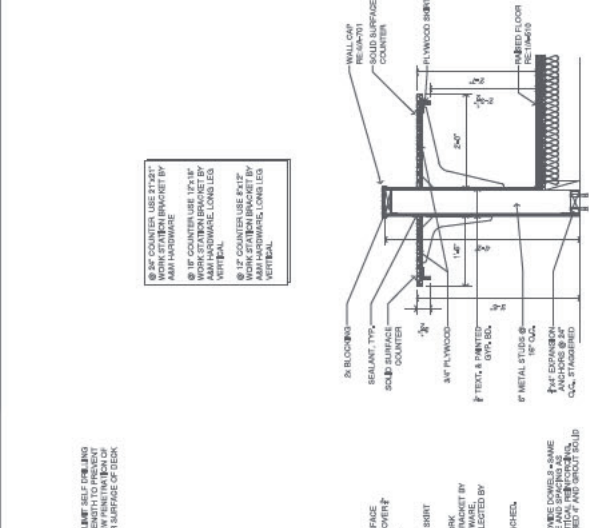
1. ALL FINISHES TO MATCH EXISTING, UNLESS OTHERWISE NOTED.
2. ALL FINISHES TO BE 1/2" ABOVE FLOOR FINISH, UNLESS OTHERWISE NOTED.
3. ALL FINISHES TO BE 1/2" ABOVE FLOOR FINISH, UNLESS OTHERWISE NOTED.
4. NOTIFY OWNER IMMEDIATELY IF ANY FINISHES AND MATERIALS ARE DAMAGED OR MISSING, AND LEAVE TIME FOR REPAIRS.

LEGEND

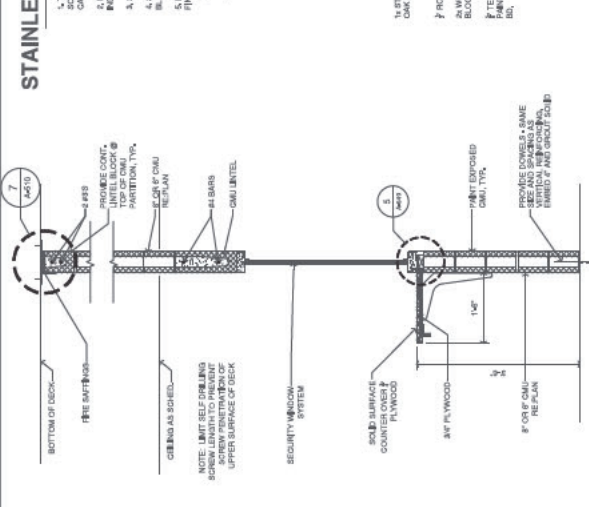
- CARPET TILE
- BROADLOOM CARPET
- LVT
- REINFORCED FLOORING
- EXISTING TO REMAIN



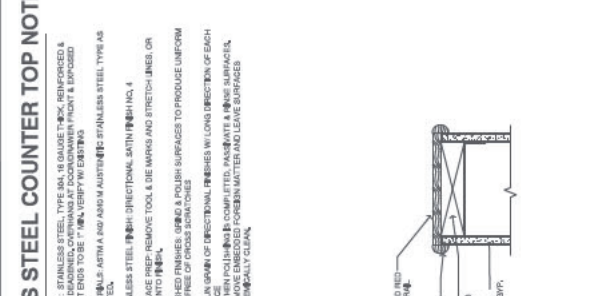
1 MILLWORK SECTION
SCALE: 3/4"=1'-0"



2 MILLWORK SECTION
SCALE: 3/4"=1'-0"



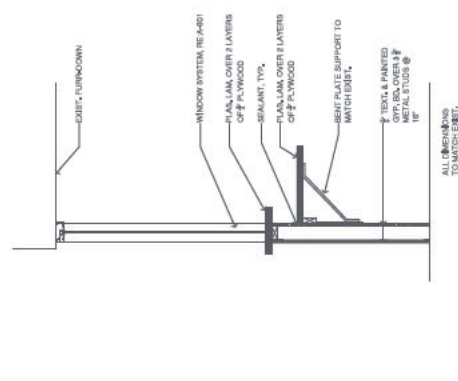
3 MILLWORK SECTION
SCALE: 3/4"=1'-0"



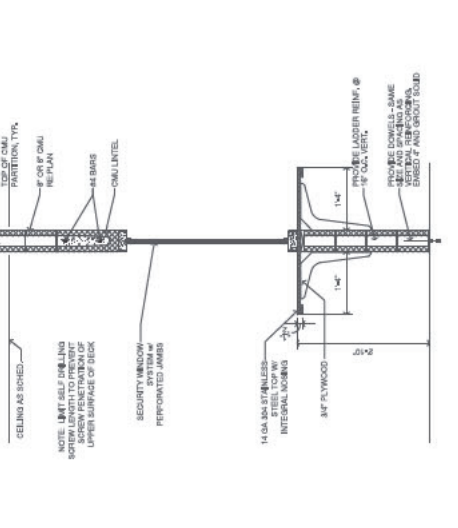
4 WALL CAP DETAIL
SCALE: 3/4"=1'-0"

STAINLESS STEEL COUNTER TOP NOTES

1. TYPE: STAINLESS STEEL, TYPE 304, 18 GAUGE THICK, REINFORCED & SOUND DEADENED, OVERHANG AT DISCONTINUITY POINT & EDGES.
2. MATERIALS: ASTM A 304 AND A 304 M AUSTENITIC STAINLESS STEEL TYPE AS SPECIFIED.
3. FINISH: STAINLESS STEEL, TYPE 304, 18 GAUGE THICK, REINFORCED & SOUND DEADENED, OVERHANG AT DISCONTINUITY POINT & EDGES.
4. STAINLESS STEEL, TYPE 304, 18 GAUGE THICK, REINFORCED & SOUND DEADENED, OVERHANG AT DISCONTINUITY POINT & EDGES.
5. POLISHED FINISHES: 200 & 400 GRIT SURFACES TO PRODUCE UNIFORM FINISHES.
6. ALL GRINDING OF MECHANICAL JOINTS WILL BE LONGITUDINAL, OF EACH JOINT.
7. WHEN POLISHED, COMPLETELY POLISH WHITE & BARE SURFACES, REMOVE ALL OIL, GREASE, AND OTHER CONTAMINANTS. SURFACES SHALL BE CHIMICALLY CLEAN.



5 MILLWORK SECTION
SCALE: 3/4"=1'-0"



6 MILLWORK SECTION
SCALE: 3/4"=1'-0"



7 MILLWORK SECTION
SCALE: 3/4"=1'-0"



8 WALL CAP DETAIL
SCALE: 3/4"=1'-0"

STAINLESS STEEL COUNTER TOP NOTES

1. TYPE: STAINLESS STEEL, TYPE 304, 18 GAUGE THICK, REINFORCED & SOUND DEADENED, OVERHANG AT DISCONTINUITY POINT & EDGES.
2. MATERIALS: ASTM A 304 AND A 304 M AUSTENITIC STAINLESS STEEL TYPE AS SPECIFIED.
3. FINISH: STAINLESS STEEL, TYPE 304, 18 GAUGE THICK, REINFORCED & SOUND DEADENED, OVERHANG AT DISCONTINUITY POINT & EDGES.
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7. WHEN POLISHED, COMPLETELY POLISH WHITE & BARE SURFACES, REMOVE ALL OIL, GREASE, AND OTHER CONTAMINANTS. SURFACES SHALL BE CHIMICALLY CLEAN.

WILLIAMSON COUNTY
MAGISTRATE COURT
306 W. 4TH STREET
GEORGETOWN, TX 77626

ARCHITECTS
ENGINEERS
SURVEYORS
C&P
OFFICE: 2002 W. 20TH STREET
SUITE 202 • WACO, TEXAS 76712

ARCHITECTS
ENGINEERS
SURVEYORS
C&P
OFFICE: 2002 W. 20TH STREET
SUITE 202 • WACO, TEXAS 76712

DATE	DESCRIPTION
11/11/2024	PROJECT NO. 1111111111
11/11/2024	DRAWN BY: RAA
11/11/2024	DESIGNED BY: DV
11/11/2024	DESIGNED BY: DV
11/11/2024	ASI CONFORMED SET 1-24-23
11/11/2024	SHEET TITLE
11/11/2024	MILLWORK

A-701
SHEET 14 of 14

E0.1N

1st FLOOR

ELECTRICAL
DEMO PLANS

SHEET TITLE

100% CONSTRUCTION

DOCUMENTS

CHECKED BY

DATE

DESIGNED BY

DATE

PROJECT NO.

DATE

DESCRIPTION

WILLIAMSON COUNTY
MAGISTRATE COURT
306 W. 4TH STREET
GEORGETOWN, TX 78626

CP&Y
an STV Company
OFFICE 254-770-8772 ■ 200 WEST STATE HWY 6
SUITE 620 ■ WACO, TEXAS 76712





GEORGE TOWN, Y / 8829

100

5

SHEET

E2.1N

1st FLOOR

PLAN

POWER

SHEET TITLE

DOCUMENTS

100% CONSTRUCTION

CHECKED BY

DESIGNED BY

DATE

PROJECT NO.

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11/11/2020

WILLIAMSON COUNTY
MAGISTRATE COURT
306 W. 4TH STREET
GEORGETOWN, TX 78626

CP&Y
an STV Company
Office 254-772-4772 ■ 200 WEST STATE HWY 6
SUITE 400 ■ WACO, TEXAS 76712



TRAID
Texas Firm #42371
Ph: 512.451.6579



F1.1N
SHEET

SHEET TITLE
FIRE ALARM
PLAN
1st FLOOR

100% CONSTRUCTION
DOCUMENTS

CHECKED BY: TA

DATE: 05/11/2017

PROJECT NO: 2017-01

DATE: 05/11/2017

DATE: 05/11/2017

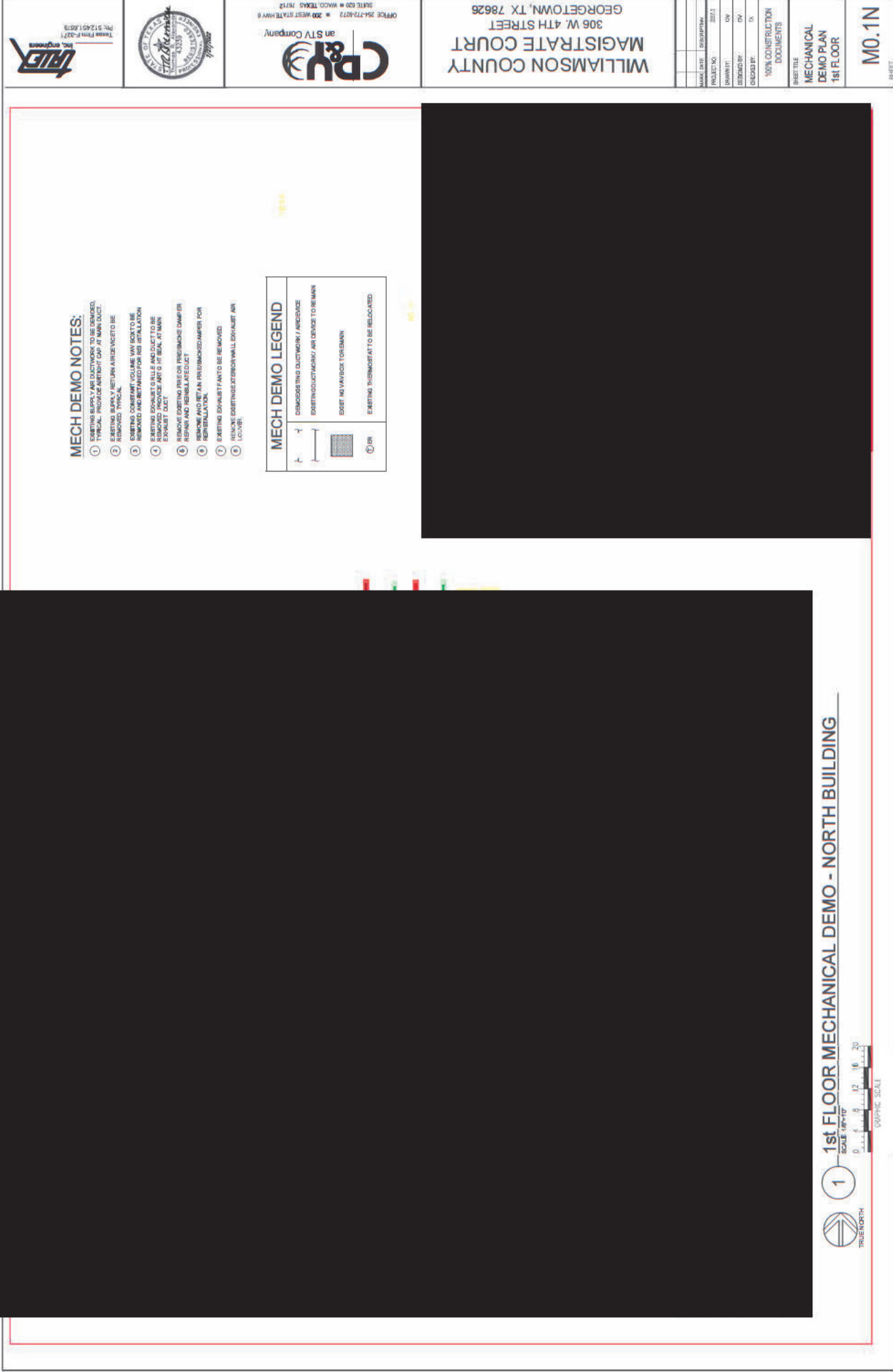
DATE: 05/11/2017

WILLIAMSON COUNTY
MAGISTRATE COURT
306 W. 4TH STREET
GEORGETOWN, TX 78626

CP&Y
an STV Company
OFFICE 254-770-6772 # 200 WEST STATE HWY 6
BLAIR 630 # WACO, TEXAS 76712



TRAID
Texas Firm #4271
Ph: 512.451.6579



MECH DEMO NOTES:

- 1 EXISTING SUPPLY AND EXHAUST DUCTS TO BE DEMOLISHED. PROVIDE AIRTIGHT CAP AT MAIN DUCT. REMOVED. TYPICAL.
- 2 EXISTING SUPPLY RETURN AIR DUCTS TO BE DEMOLISHED. TYPICAL.
- 3 EXISTING CONSTANT VOLUME VAV BOX TO BE REMOVED AND RETAINED FOR REB INSTALLATION.
- 4 EXISTING EXHAUST GALLEY AND DUCT TO BE DEMOLISHED. PROVIDE AIRTIGHT CAP AT MAIN EXHAUST DUCT.
- 5 REMAINS EXISTING PRECIPITATION DRAINAGE DAMPER. REPAIR AND RETAIN PRECIPITATION DRAINAGE DAMPER.
- 6 EXISTING EXHAUST FAN TO BE REMOVED.
- 7 EXISTING EXHAUST FAN TO BE REMOVED.
- 8 EXISTING EXHAUST FAN TO BE REMOVED.

MECH DEMO LEGEND

	EXISTING DUCTWORK / AIR PASSAGE
	EXISTING DUCTWORK / AIR PASSAGE TO BE MAIN
	EXISTING DUCTWORK / AIR PASSAGE
	EXISTING DUCTWORK / AIR PASSAGE

1st FLOOR MECHANICAL DEMO - NORTH BUILDING



GRAPHIC SCALE

TRUE NORTH

M1.1N

1st FLOOR

MECHANICAL

PLAN

100% CONSTRUCTION

DOCUMENTS

PROJECT NO.

DATE

BY

FOR

PROJECT NO.

DATE

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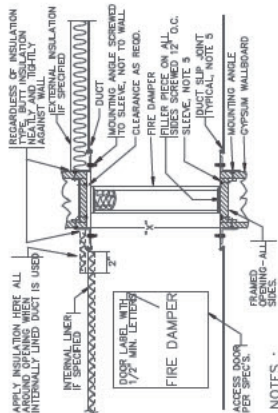
PROJECT NO.

DATE

BY

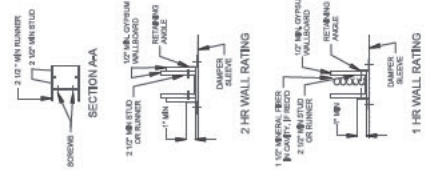
FOR

1/1/2024 10:00 AM

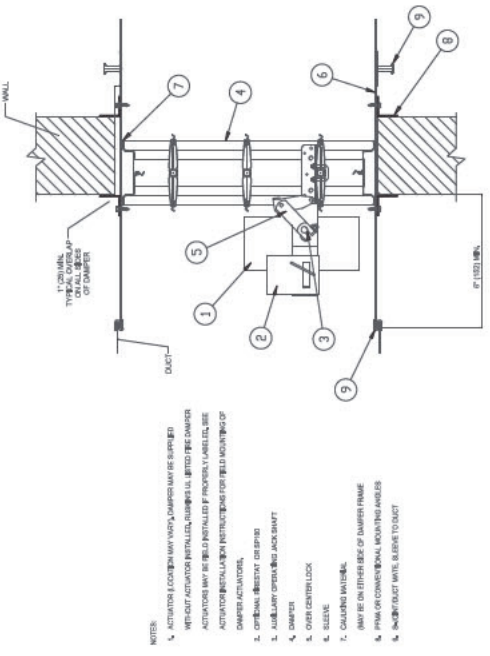


- NOTES:**
1. THIS DETAIL IS NOT INTENDED NOR REPRESENTED TO BE COMPLETE. ACTUAL INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AS TO MATERIALS, DIMENSIONS, METHOD, ETC.
 2. CONTRACTOR SHALL OBTAIN AND PROVIDE TO THE GENERAL CONTRACTOR A COMPLETE SET OF MANUFACTURER'S INSTALLATION INSTRUCTIONS INCLUDING ANY WALL FRAMING REQUIRED TO ACCEPT THE FIRE DAMPER.
 3. THE ILLUSTRATIVE DETAIL ABOVE SHOWS A TYPE "A" DAMPER. OTHER TYPES OF DAMPERS MAY BE USED PROVIDED THEY COMPLY WITH NOTE 1 AND 2 IF OTHER TYPES HAVE SIMILAR INSTALLATION INSTRUCTIONS. TYPE "A" MAY BE USED ONLY IF DIMENSION "X" IS MORE THAN 16 INCHES.
 4. THE ILLUSTRATIVE DETAIL ABOVE SHOWS A ONE-HOUR RATED WALL WITH OPPOSITE BOARD AND METAL STUDS. OTHER WALL TYPES OR RATINGS ARE USED, COMPLY WITH NOTES 1 AND 2.
 5. DAMPER SLEEVE CLEARANCE SHALL BE OTHER AS SHOWN OR AS SPECIFIED BY THE MANUFACTURER. SLEEVE GAGE MAY BE USED AS DUCT GAGE PROVIDED DAMPER AND SLEEVE ARE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. A MANUFACTURER AS A UNIT AND PROVIDED AN APPROVED SLIP JOINT IS USED TO CONNECT THE SLEEVE AND THE DUCT.

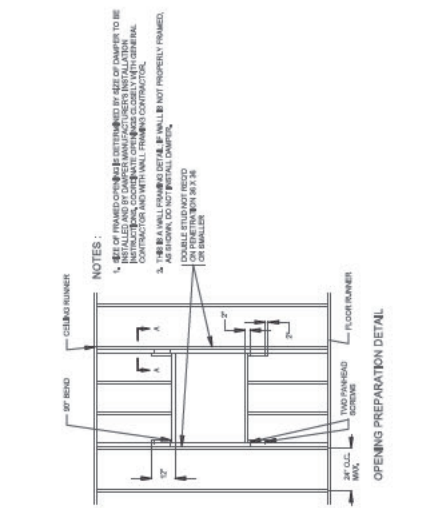
A WALL FIRE DAMPER DETAIL
SCALE: NONE



B WALL FIRE/SMOKE DAMPER DETAIL
SCALE: NONE



C FIRE OR FIRE/SMOKE DAMPER FRAMING DETAIL
NOT TO SCALE



D OPENING PREPARATION DETAIL
NOT TO SCALE

FIRE OR FIRE/SMOKE DAMPER FRAMING DETAIL

NOT TO SCALE

M5.2

SHEET

MECHANICAL DETAILS

100% CONSTRUCTION DOCUMENTS

100% CONSTRUCTION DOCUMENTS

100% CONSTRUCTION DOCUMENTS

100% CONSTRUCTION DOCUMENTS

100% CONSTRUCTION DOCUMENTS

100% CONSTRUCTION DOCUMENTS

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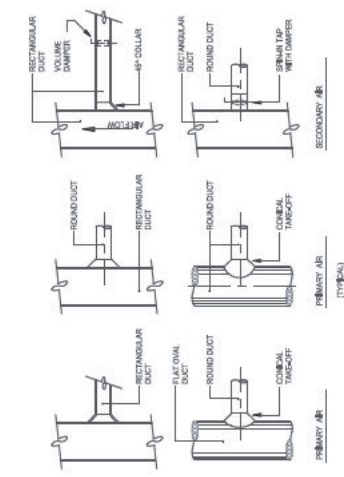
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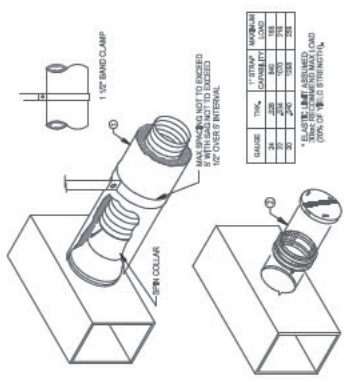
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A TYPICAL DUCT TAKE OFFS

 SCALE: NONE



NOTES:

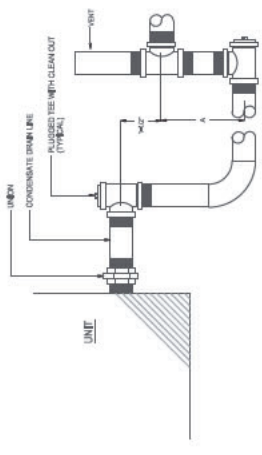
 1. FLEX DUCT WITH EXTERNAL INSULATION AND VAPOR

 2. INSULATION MINIMUM 1/2" THICK

 3. INSULATION MINIMUM 1/2" THICK

D MISC. DUCTWORK DETAIL

 SCALE: NONE



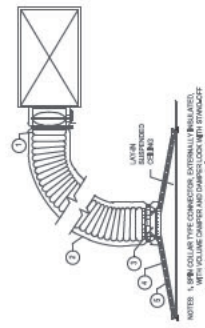
ELEVATION

*A-MINIMUM = TOTAL POSITIVE STATIC PRESSURE (DRAW THRU)

 *A-MAXIMUM = TOTAL NEGATIVE STATIC PRESSURE (DRAW THRU)

B CONDENSATE DRAIN TRAP

 SCALE: NONE



NOTES:

 1. 1/2" COLLAR TYPE CONNECTOR, EXTERNALLY INSULATED

 2. 1/2" COLLAR TYPE CONNECTOR, EXTERNALLY INSULATED

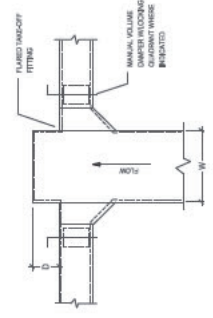
 3. 1/2" COLLAR TYPE CONNECTOR, EXTERNALLY INSULATED

 4. 1/2" COLLAR TYPE CONNECTOR, EXTERNALLY INSULATED

 5. 1/2" COLLAR TYPE CONNECTOR, EXTERNALLY INSULATED

E LAY-IN CEILING DIFFUSER DETAIL

 SCALE: NONE



NOTES:

 1. 1/2" COLLAR TYPE CONNECTOR, EXTERNALLY INSULATED

 2. 1/2" COLLAR TYPE CONNECTOR, EXTERNALLY INSULATED

 3. 1/2" COLLAR TYPE CONNECTOR, EXTERNALLY INSULATED

 4. 1/2" COLLAR TYPE CONNECTOR, EXTERNALLY INSULATED

C TYPICAL DUCTWORK DETAIL

 SCALE: NONE



WILLIAMSON COUNTY
MAGISTRATE COURT
306 W. 4TH STREET
GEORGETOWN, TX 78626

MARK DATE	08/08/2014
PROJECT NO.	2013J
DRAWN BY	SR
DESIGNED BY	OV
CHECKED BY	SR

100% CONSTRUCTION
DOCUMENTS

M6.1
MECHANICAL
SCHEDULES

SHEET

SPLIT HEAT PUMP AIR CONDITIONING UNIT SCHEDULE

MARK	AREA SERVED	INIT TYPE	DX COOLING COIL				MOOR UNIT				HEAT PUMP HEATING & HT				OUTDOOR UNIT				ELECTRICAL	LG. MODEL NO.
			CFM	NOMINAL TONS	CLIM. CAP. (TONS)	SENS. CAP. (BHP)	EXT HP (BHP)	EXT HP (KW)	LAT (F)	EXT SW (HP)	FAN WTR HP	HEATING (BHP)	HEATING (KW)	SEER	TEMP (F)	MARK	VOLT (PH)	MCA		
B-1	COURT	EXHAUST	800	34	800	800	81.67	41.9667	0.26	1.0	14.0	8.6	20.0	115	200/11	22.0	30	120/10/14		

SPLIT HP AIR CONDITIONING UNIT NOTES:

1. PROVIDE WALL MOUNTED, ELECTRONIC (T) DAY PROGRAMMABLE THERMOSTAT.
2. THE FAN COMPRESSOR WARRANTY SHALL BE 5 YEARS.
3. PROVIDE REMOTE CONTROL WITH REMOTE CONTROL.
4. PROVIDE HARD START ON SINGLE PHASE UNITS.
5. LOG IS SCHEDULED AS THE MANUFACTURER, SUBSTITUTED BY ENGINEER APPROVAL.

FAN SCHEDULE

MARK	SERVICE	TYPE OF FAN	CFM	ELSP (HP)	POWER (HP)	MOTOR RPM	DRIVE TYPE	VOLTAGE / PH	MAX INLET SONES	FAN CONTROL (SEE NOTE 6)	MANUFACTURER / MODEL NO.
B-1	TOILET ROOMS	SEWALL	160	2.50	1.12	94	DIRECT	120/1	1.0	E	GREENHECK OLS V0 100W-A
B-2	PROPERTY ROOM	BLADE FAN	100	1.50	1.0	86	DIRECT	120/1	1.3	D	GREENHECK OLS V0 146

FAN SCHEDULE NOTES:

1. FACTORY WIRE DISCONNECT SWITCH.
2. SHUNT BACKFIRE DAMPER.
3. PROVIDE REMOTE CONTROL WITH REMOTE CONTROL.
4. UNIT FAN CONTROL OPTIONS:
 - A. METELOCK WITH LIGHT SWITCH
 - B. PROVIDE WALL MOUNTED THERMOSTAT (ADJUSTABLE)
 - C. PROVIDE REMOTE CONTROL WITH REMOTE CONTROL
 - D. WALL MOUNTED THERMOSTAT WITH REMOTE CONTROL
 - E. FAN SHALL RUN CONTINUOUSLY

CONSTANT VAV AIR TERMINAL UNIT SCHEDULE

MARK	ROOMS SERVED	MANUFACTURER FRAME										
		MAX CFM	INTERING AIR TEMP (F)	MAX DISCHARGE IN	HEATING HW	MOCP	VOLTAGE / PH	INLET SIZE	MODEL NO.	UNIT SIZE	UNIT WT (LBS.)	
C/W-11	COURT ROOM	1200	300	55	18	4.0	20	277 / 1	1"	KCC-12	12	35.0
C/W-15	PROPERTY ROOM	1200	300	55	18	4.0	20	277 / 1	1"	KCC-12	12	35.0

CONSTANT VAV AIR TERMINAL UNIT NOTES:

1. PROVIDE 20 LINE VOLTAGE 24 VOLT CONTROL, POWER TRANSFORMER.
2. PROVIDE 1" THICK FIBERFREE INSULATION.
3. PROVIDE EACH UNIT WITH HANGER BRACKETS.
4. SUBMIT SOUND ON A PER AHR 88-08 AND W/ A MAX INLET SP OF 0.75 IN H₂O.
5. PROVIDE DISCONNECT SWITCH AND CONTROL ENCLOSURE.
6. PROVIDE WALL MOUNTED THERMOSTAT FOR EACH UNIT TO MATCH BUILDING STANDARD. CONNECT TO EXISTING BUILDING MANAGEMENT SYSTEM. PROVIDE NECESSARY THERMOWIRE, SOP WIRE AND GRAPHICS FOR NEW CONTROLS TO WORK SEAMLESSLY WITH THE EXISTING CONTROL SYSTEM. THE EXISTING HVAC CONTROL SYSTEM IS AUTOMATIC LOGIC.

AIR DEVICE SCHEDULE

MARK	SERVICE	DESCRIPTION	FACE SIZE (IN.)	NECK SIZE (IN.)	FINISH	MANUFACTURER / MODEL NO.
A	SUPPLY	SQUARE, DOWNFIRE FACE CEILING DIFFUSER IN LAY-IN TYPE CEILING FOUR (4) INCHES ALL STEEL CONSTRUCTION	24 x 24	SEE PLANS	WHITE	TITUS TMS
A1	SUPPLY	SAME AS TYPE A EXCEPT 12X12 FACE SIZE	12 x 12	SEE PLANS	WHITE	TITUS TMS
B	RETURN	SQUARE, REPERFORATED FACE CEILING RETURN AIR GRILLE WITH FRAME CONSTRUCTION	24 x 24	SEE PLANS	WHITE	TITUS PAR
B1	RETURN	SAME AS TYPE B EXCEPT 12X12 FACE SIZE	12 x 12	SEE PLANS	WHITE	TITUS PAR
C	EXHAUST	ALUMINUM CONSTRUCTION, EXHAUST GRILLE WITH LAY-IN CEILING, DIFFUSER FOR DUCTING	24 x 24	SEE PLANS	WHITE	TITUS SSF
C1	EXHAUST	SAME AS TYPE C EXCEPT 12X12 FACE SIZE	12 x 12	SEE PLANS	WHITE	TITUS SSF
D	SUPPLY	SECRET SUPPLY AIR DIFFUSER WITH A HEAVY GAUGE STEEL FACE	9 x 9	SEE PLANS	WHITE	SS DC
E	RETURN	SECRET RETURN AIR GRILLE WITH A HEAVY GAUGE STEEL FACE	9 x 9	SEE PLANS	WHITE	SS DC

AIR DEVICE SCHEDULE NOTES:

1. PROVIDE REMOTE CONTROL WITH REMOTE CONTROL.
2. PROVIDE REMOTE CONTROL WITH REMOTE CONTROL.
3. PROVIDE REMOTE CONTROL WITH REMOTE CONTROL.
4. CONTRACTOR SHALL VERIFY AND CORRECT ALL FINISHES WITH ARCHITECT.
5. FURNISH ALL MATERIALS IN ACCORDANCE WITH THE PROJECT SCHEDULE.
6. VERIFY ALL MATERIALS WITH ARCHITECT.

1. MECHANICAL REVISIONS (PPT'S RESPONSES)

P0.1N

1ST FLOOR

PLAN

PLUMBING DEMO

SHEET TITLE

DOCUMENTS

100% CONSTRUCTION

CHECKED BY

DATE

PROJECT NO

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PROJECT NO

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WILLIAMSON COUNTY
MAGISTRATE COURT
306 W. 4TH STREET
GEORGETOWN, TX 78626

CP&Y
an STV Company
OFFICE 264-726-2772 IN 200 WEST STATE HWY 6
SUITE 620 IN WACO, TEXAS 76712



INC. ENGINEERS
P.O. BOX 140271
FPO: 512-651-6579

P1.1N

1ST FLOOR

PLAN

PLUMBING

100% CONSTRUCTION

DOCUMENTS

CHECKED BY: TA

DRAWN BY: CW

PROJECT NO: 2022-001

DATE: 10/10/2022

PROJECT NAME: 100% CONSTRUCTION

WILLIAMSON COUNTY
MAGISTRATE COURT
306 W. 4TH STREET
GEORGETOWN, TX 78626

CP&Y
an STV Company
OFFICE 204-773-0272 IN 200 WEST STATE HWY 6
SUITE 620 W MACO, TEXAS 76712



INC. ENGINEERS
P.O. Box 1000
P.O. 512, 651, 6579

PLUMBING GENERAL NOTES:

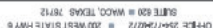
- A. NEW DRAINAGE WASTE PIPING SHALL BE CAST IRON ABOVE FLOOR AND SCH 40 PVC BELOW SLAB.
- B. NEW WATER PIPING SHALL BE TYPE L UNION COPPER.
- C. NEW SHUTOFF OR ISOLATION VALVES SHALL BE FULL PORT VALVES WITH FLANGED ENDS OR FORGED CONNECTIONS - NO SWAGT CONNECTIONS.
- D. INSULATE COLD WATER LINES ABOVE SLAB WITH 1/2" FIBERGLASS OR GLOBE CELL ELASTOMERIC PRODUCT SUCH AS ARMAFLEX WITH ALL JOINTS AND SEAMS GLOBE INSULATED FOR WATER CIRCULATING DRAFT WITH 1" FIBER INSULATION.
- E. PROVIDE PIPE LABELS ON COLD WATER AND HOT WATER PIPING. INSTALL LABELS ON EACH SIDE OF EACH WALL PENETRATION AND EVERY TEN FEET OTHERWISE.
- F. CAULK WALL MOUNTED PLUMBING FIXTURES TO THE WALL - GULF BESCOTCH 80MB TO THE WALL AT EACH WALL PENETRATION.
- G. DO NOT CUT, DRILL OR ALTER ANY STRUCTURAL ELEMENT OF A WALL, FLOOR OR CEILING FOR PLUMBING. PROVIDE ALL NECESSARY REINFORCEMENTS FROM ARCHITECT. ALL CUTS SHALL BE MADE WITH A CUTTING TOOL.
- H. SUPPORT SINGLE PIPING ABOVE CEILING WITH CLEVIS TYPE HANGERS. PROVIDE SUPPORTS FOR ALL WALL, FLOOR AND CEILING PENETRATIONS. PROVIDE GULF BESCOTCH 80MB INSULATION BUNDLES FOR INSULATED PIPING.
- I. SUPPORT PIPING IN WALLS TO PREVENT AVOIDANCE OF PIPING AT FIXTURE CONNECTIONS. PROVIDE ISOLATION OF DISSIMILAR METALS.
- J. AFTER INSTALLATION, TEST WATER AND COLD PIPING SYSTEMS PER REQUIREMENTS OF LOCAL AUTHORITY PLUMBING JURISDICTION.
- K. AFTER INSTALLATION AND TESTING, PROVIDE DRAINFECTION AND TESTING OF POTABLE WATER SYSTEM PER STATE REQUIREMENTS.

PLUMBING FIXTURE SCHEDULE						
MARK	WALL CONNECTIONS			TYPE	FIXTURE	TBN
	CW	FW	VENT			
BHW-1	1/2"	1"	1"	WALL MOUNTED SHOWER STATION ADA COMPLIANT	ADORN, MODEL LR-1714 QM SERIES SHOWER STATION WITH PRESSURE FACTORY ASSESSED AND TESTED. LACTURE RESISTANT VALVES, PRESSURE GAUGES, BALL VALVES, THERMOMETERS AQUAFAT, CHECK STOPS ON INLETS	TYPE 304 STAINLESS STEEL FIXTURE SHALL BE FINISHED WITH POLISHED FINISH. CONICAL DRAINER HEADS AND TWO HEMISPHERICAL PUSH BUTTONS ADA COMPLIANT CONTROL VALVE
BHW-2	1/2"	1"	1"	WALL MOUNTED SHOWER STATION	ADORN, MODEL LR-1714 QM SERIES SHOWER STATION WITH PRESSURE FACTORY ASSESSED AND TESTED. LACTURE RESISTANT VALVES, PRESSURE GAUGES, BALL VALVES, THERMOMETERS AQUAFAT, CHECK STOPS ON INLETS	TYPE 304 STAINLESS STEEL FIXTURE SHALL BE FINISHED WITH POLISHED FINISH. CONICAL DRAINER HEADS AND ONE HEMISPHERICAL PUSH BUTTON

NOTES:
1. FOR MOUNTED HEIGHTS OF INDIVIDUAL WALL-MOUNTED FIXTURES, REFER TO ARCHITECTURAL ELEVATION DRAWINGS.

FIRE PROTECTION NOTES:

- A. ALL DRAIN IS CURRENTLY FULLY SPRINKLED. REUSE EXISTING SPRINKLER SYSTEM TO PROVIDE FAL CONFORMANCE FOR NEW LAYOUT. REFER TO ARCHITECTURAL PLANS FOR NEW CEILING HEIGHTS.
- B. PROVIDE NEW SPINKLES PIPING THAT IS STEEL OR COPPER WITH FITTINGS AND SUPPORTS PER NFPA 1.
- C. PROVIDE NEW SPINKLES THAT ARE RECESSED WITH CHROME E85020 ICON.



GEORGETOWN, TX 78626

DOCUMENTS

S1.1N

SHEET

T1.1N

1st FLOOR

PLAN

TECHNOLOGY

DOCUMENTS

100% CONSTRUCTION

CHECKED BY: TA

DESIGNED BY: ESR

PROJECT NO: 20213

DATE: 05/22/20

BY: 5/22/20

5/22/20

5/22/20

5/22/20

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